

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

KOSSLER (PLN200240)

RESOLUTION NO. ___

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the demolition of an existing 2,338 square foot two-story single-family dwelling, inclusive of an attached 380 square foot two-car garage, and the construction of an approximately 3,233 square foot two-story single-family dwelling, inclusive of an attached 440 square foot two-car garage, removal of three protected trees, and associated grading consisting of 3 cubic yards of cut and 465 cubic yards of fill, subject to four (4) conditions of approval.

1019 Rodeo Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-341-010-000)

The Kossler application (PLN200240) was considered during a public hearing before the Monterey County Zoning Administrator on February 25, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY / NO VIOLATIONS / SITE SUITABILITY -**
The proposed project and/or use, as conditioned, is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, Monterey County Zoning Ordinance (Title 21), and other County health, safety, and welfare ordinances related to land use development. The site is physically suitable for the development proposed, and no violations exist on the property.
EVIDENCE: a) The proposed project involves the demolition of an existing 2,338 square foot two-story single-family dwelling, inclusive of an attached 380 square foot garage, and the construction of an approximately 3,233 square foot two-story single-family dwelling, inclusive of an attached 440 square foot two-car garage. The project also includes 793 square foot covered terraces, 67 square foot stairs, a 19-square foot elevator, and removal of three protected trees (one Coast live oak and two Monterey pine). Associated site grading consists of 3 cubic

yards of cut and 465 cut yards of fill. Also see Finding No. 2 and supporting evidence.

- b) The subject property is located at 1019 Rodeo Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-341-010-000). The subject parcel is zoned Medium Density Residential, 4 units per acre, with Building Site 6, Design Control, and Recreational Equipment Storage zoning overlays (MDR/4-B-6-D-RES). Development of residential dwellings is an allowed use pursuant to Monterey County Code (MCC) Section 21.12.030.A. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development. Pursuant to MCC Section 21.44.040.C, in this case, the Zoning Administrator is the appropriate authority to consider and decide the Design Approval.
- c) The subject parcel is located in a developed residential subdivision (Monterey Peninsula County Club Subdivision No. 2) and sits approximately 170 feet from the Monterey Peninsula Country Club Dunes Golf Course and 430 feet East of 17-Mile Drive. Residences surround the subject property on all sides, while the Monterey Peninsula County Club Dunes Golf Course is located further to the west, just behind a row of single-family dwellings that are situated directly in between the subject property and the golf course.
- d) The original parcel was created as Lot 8, Block 211, on the Final Map for the Monterey Peninsula Country Club Subdivision No. 2, recorded November 20, 1972 (Volume X-5, Record of Survey, Page 99). The parcel has been previously developed with a single-family dwelling and is recognized by the County as legal lot of record.
- e) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).
- f) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in the applicable documents.
- g) Review of Development Standards. The development standards for the MDR zoning district are identified in MCC Section 21.12.060. Required setbacks in the MDR district for main dwelling units are typically 20 feet (front), 10 feet (rear), and 5 feet (sides). However, pursuant to MCC Section 21.12.070.D, parcels located within the Del Monte Forest (DMF) are additionally subject to side setbacks of 10 feet for the first story and 20 feet for the second story. These setback requirements were established in 1969 by a blanket variance (HCD-Planning File No. ZA00595) and a subsequent ordinance to ensure residences developed on the relatively small parcels would not loom over adjacent properties. Additionally, pursuant to MCC Section 21.62.040.Q, in the case of back-to-back corner lots, such as the subject parcel, the required setback from the common street property line shall not be less than the side setback of the district in which the back-to-back corner lots are situated. Since Rodeo Road is the commonly shared street between Lot 1 and Lot 8 (the subject parcel),

the setback from Rodeo Road shall be not less than the designated side setback, 10 feet. The west side setback from Rodeo Road will be 10 feet, as well as the east side setback. This designates the setback from Valdez Road as the front and the setback from the shared lot line as the rear. As proposed, the single-family dwelling with an attached garage has setbacks of 20 feet (front), 10 feet (rear), and 10 and 11 feet (first story side setbacks, east and west, respectively). The second story has side setbacks of 20 feet.

Pursuant to MCC Section 21.12.070.D, the maximum main structure height is 27 feet. The proposed height for the single-family dwelling is 25 feet.

Pursuant to MCC Section 21.12.070.D, the maximum allowed site coverage and floor area ratio in the DMF MDR/4 district are both 35 percent. The property is 0.21 acres or 9,237 square feet, which allows site structural coverage and floor area of 3,233 square feet. The proposed single-family dwelling results in site coverage of 3,223 square feet (35 percent) and floor area of 3,233 square feet (35 percent). The total floor area of the proposed development includes the main residence (main floor and upper floor), the elevator, the stairs, and the attached two-car garage. The covered terraces are not included in the 3,233-square foot floor area calculation. Therefore, as proposed, the project meets all required development standards.

- h) The project has been reviewed for site suitability by HCD-Planning. The project planner reviewed the application materials and plans, as well as the County's GIS database, to verify that the proposed project on the subject site conforms to the applicable plans, and that the site is suitable for the proposed development. Conditions recommended by HCD-Planning have been incorporated.
- i) The following technical reports have been prepared:
 - Preliminary Cultural Resources Reconnaissance (LIB200193) prepared by Haro, Kasunich and Associates, Watsonville, California, March 23, 2020,
 - Phase I Arborist Review (LIB200191) prepared by Maureen Hamb, Santa Cruz, California, March 2, 2020,
 - Phase I Historic Review (LIB210005) prepared by Kent L. Seavey, Pacific Grove, California, October 25, 2010, and
 - Geotechnical Investigation (LIB200192) prepared by Susan Morley, Marina, California, March, 2020.

County staff has independently reviewed these reports and concurs with their conclusions.

- j) Staff conducted a site inspection on November 24, 2020 and confirmed the site is suitable for implementation of the proposed development.
- k) Design. See Finding No. 2.
- l) Long-Term Sustainable Water Supply and Adequate Water Supply System. See Finding No. 5.
- m) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.

- n) Tree Removal. The project involves the removal of five (5) trees; two non-native trees (holly and palm), and three (3) protected trees (1 Coast live oak and 2 Monterey pine). The two non-native trees are located within the development of the proposed residence and therefore are proposed to be removed. The three protected trees were recommended for removal by the prepared arborist report (LIB2002191) due to their poor health and/or location being within the proposed building footprint. One of the two Monterey pine trees recommended for removal had an infestation of Red Turpentine Beetles and was also located within the proposed development of the residence, and therefore was recommended for removal. Pursuant to MCC Section 21.64.260D, the removal of three or fewer protected trees can be approved by the Director of Planning and does not require a separate use permit entitlement. In this case, the Zoning Administrator is the appropriate authority to consider and decide the Design Approval and therefore, consider and decide the removal of three protected trees.
- o) Cultural Resources. The project site is in an area identified in County records as having a high archaeological sensitivity. An archeological report (LIB200193) prepared for the project site concluded that there is no surface evidence of potentially significant archaeological resources. In addition, although located in an area of high sensitivity, the area of proposed development has been disturbed by previous structural, hardscape, and landscape development. Therefore, there is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- p) The project was referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the project is a Design Approval subject to review by the Zoning Administrator. The LUAC, at a duly-noticed public meeting on January 21, 2020, voted seven (7) – 0, with one absent member, to support the project as proposed.
- q) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200240.

2. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public view shed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE: a) The Applicant proposes to re-develop the existing 0.21-acre lot with an approximately 3,233 square foot two-story single-family dwelling, inclusive of an attached 470 square foot two-car garage. The project also includes 793 square foot covered terraces, 67 square foot stairs, a 19 square foot elevator, and removal of three protected trees (see

Finding No. 1 (n). Associated site grading consists of 3 cubic yards of cut and 465 cubic yards of fill.

- b) Pursuant to Section 21.44, Title 21 (Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control Combining District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public view shed and neighborhood character.
- c) Neighborhood Character. The proposed two-story (above grade) single-family dwelling would replace an existing two-story residence, would have a slightly larger footprint than the existing residence, and would have a comparatively similar layout to other residences in the vicinity. As proposed, the visible structure and floor area increases by 895 square feet when compared to the existing residence, but will remain comparable to the bulk and mass of other dwellings in the vicinity. The surrounding residences along Rodeo Road are an eclectic mix of residential design styles. Many of the residences in the surrounding neighborhood have developed to the full floor area ratio allowed. Of the 48 residences along Hacienda Road, 31 have either a full or partial second story and 21 of which are adjacent to the Dunes Golf Course and face 17-Mile Drive.
- d) Material and Color Finishes. The proposed project is a Mediterranean Country style single-family dwelling. The proposed exterior colors and materials are consistent with the residential setting. The primary colors and materials include antique French tile caps (beige, brown and red blend roofing material), beige smooth plaster and rustic limestone veneer exterior building and walls, 'Moss' metal clad wood windows and doors, Douglas Fir trim and cedar plank garage door, and hand-forged iron railing and guardrail for second-story terrace. The proposed exterior finishes blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood.
- e) Visual Resources. The project site is not within an area of visual sensitivity, as designated on Figure 14 (Greater Monterey Peninsula Scenic Highway Corridors and Visual Sensitivity Map) of the 2010 Monterey County General Plan. Although the property is approximately 430 feet East of 17-Mile Drive, the project site will not be visible from 17-Mile Drive since existing trees, vegetation and neighboring houses adjacent to the intervening golf course screen the proposed development from 17-Mile Drive. Therefore, as proposed, the project will not result in adverse visual impacts, and the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Monterey Peninsula Area Plan.
- f) The project planner reviewed the application materials, plans, and County GIS records to verify that the proposed project on the subject parcel conforms to the applicable plans and MCC, and will not adversely impact the neighborhood character or scenic/visual resources.
- g) Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood

character (i.e., structural design features, colors, and material finishes). The proposed development also does not have a significant impact on a public view shed. As proposed, the project assures protection of the public view shed, is consistent with neighborhood character, and assures visual integrity.

3. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts the replacement or reconstruction of existing structures where the new structure(s) will be located on the same site as the structure(s) replaced and will have substantially the same purpose and capacity as the structure(s) replaced.
 - b) The subject project consists of the demolition of a single-family dwelling, and construction of a single-family dwelling on a residentially-zoned parcel within a developed neighborhood. Therefore, the proposed development is consistent with CEQA Guidelines Section 15302.
 - c) Due to the lack of physical integrity and historical significance, the subject property does not meet the criteria established by the County of Monterey to qualify for inclusion in the Monterey County Historic Resources Inventory, and therefore cannot be considered a historic resource as defined by CEQA (see Historical Assessment Report LIB210005).
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because there is no feature or condition of the project that distinguishes the project from the exempt class. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
 - e) No adverse environmental effects were identified during staff review of the development application.
4. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project has been reviewed by HCD-Planning, and conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The existing single-family dwelling has public water and sewer connections provided by the

California American Water Company and the Pebble Beach Community Services District, respectively, and the new residence will continue to use these same connections.

- c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 22, 2020.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN200240.

5. **FINDING:**

LONG-TERM SUSTAINABLE WATER SUPPLY AND ADEQUATE WATER SUPPLY SYSTEM

– The project has an adequate water supply system to serve the development, and the project is not required to provide proof of a Long-Term Sustainable Water Supply under Monterey County 2010 General Plan Policies PS-3.1 and PS-3.2, respectively.

EVIDENCE:

- a) The proposed residence is not required to provide proof of a Long-Term Sustainable Water Supply under General Plan Policy PS-3.1 because these structures fall under the exemption as the first single-family dwelling and non-habitable accessory structure/use on an existing lot of record. The existing single-family dwelling is currently serviced by the California American Water Company. The proposed project will demolish the existing single-family dwelling and still be considered the first single-family dwelling on the recorded lot.
- b) The new development will use or require the use of water. The water source for the proposed development is the California American Water Company (Cal Am), a regulated public utility that is mandated to provide water that meets public health standards and thus has adequate water quality as required by PS-3.2(a). Cal Am also has the technical, managerial, and financial capability to provide water to the subject site consistent with PS-3.2(c).
- c) The project planner reviewed the project application materials and plans, as well as the County's GIS database, to verify that the project on the subject parcel conforms to the plans listed above and that the site is suitable for this use. The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in HCD-Planning File No. PLN200240.

6. **FINDING:**

APPEALABILITY - The decision on this project may be appealed to the Monterey County Planning Commission.

EVIDENCE:

Pursuant to Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21), the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator. The decision of the Planning Commission would be final and may not be appealed.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project qualifies as a Class 2 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
- B. Approve a Design Approval to allow demolition of a 2,338 square foot two-story single-family dwelling, inclusive of an attached 380 square foot two-car garage, and the construction of an approximately 3,233 square foot two-story single-family dwelling, inclusive of an attached 440 square foot two-car garage, removal of three protected trees, and associated grading consisting of 3 cubic yards of cut and 465 cubic yards of fill, subject to four (4) conditions of approval.

PASSED AND ADOPTED this 25th day of February, 2021.

John M. Dugan, FAICP
Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

Monterey County RMA Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200240

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This design approval permit (PLN200240) allows the demolition of existing 2,338 square foot single-family dwelling, and the construction of new approximately 2,795 square foot two-story single-family dwelling with an attached 440 square foot two-car garage, 793 square foot covered terraces, 67 square foot stairs, and 19 square foot elevator. The property is located at 1019 Rodeo Road, Pebble Beach (Assessor's Parcel Number 007-314-010-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD- Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD- Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 007-314-010-000 on February 25, 2021. The permit was granted subject to four (4) conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD- Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD- Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD- Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD- Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD- Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD- Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD035 - UTILITIES UNDERGROUND

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (HCD - Planning and PWF&P- Public Works)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall install and maintain utility and distribution lines underground.

ASSESSOR PARCEL MAP



NOTES

GENERAL

- All project work shall comply with the 2016 California Building Code (CBC), Title 24, 2016 California Residential Code (CRC), 2016 California Plumbing Code (CPC), 2016 California Mechanical Code (CMC), 2016 California Electrical Code (CEC), 2016 California Energy Code (CEnc), 2016 California Green Building Standards Code (CGBSC), and current editions of Monterey County Code & adopting ordinances.
- New buildings (building materials, systems, assemblies and methods of construction) located within any Fire Hazard Severity Zone or any Wildland-Urban Interface Fire Area designated by the local jurisdiction or in a State Responsibility Area shall comply with the requirements of CRC Sec. R337 for exterior wildfire exposure.
- At the time of final inspection a copy of the operation & maintenance manual, compact disc or web based reference, shall be placed in the building and/or provided to building occupant per California Green Building Standards.
- All utility electrical, cable, television and phone lines shall be placed underground.
- Prior to building permit issuance, the property shall be certified to be in compliance with the vegetation management requirements prescribed in California Fire Code Section 4906. Refer to landscape plans for any additional specifications.
- All construction-related truck trips for trucks with a gross vehicle weight rating of three tons or more shall not be scheduled during peak hours (7-9 am and 4-6 pm).

NOTIFICATIONS

Notify the **Soils Engineer** 48 hours before the following times:

- Prior to the time that the site grading work begins.
- After foundation excavations have been made and prior to placing reinforcing steel and formwork.
- Prior to all concrete pours.

Notify the **Structural Engineer** 48 hours before the following times:

- Prior to the time that the site grading work begins.
- After foundation excavations have been made and prior to placing reinforcing steel and formwork.
- Prior to all concrete pours.
- Prior to placing the first course of concrete masonry units.
- When rough framing is completed and prior to start of finish work.
- Prior to covering any plywood sheathing nailing.
- Prior to covering any shear wall hold-down anchors.

Contact **County Fire Department** for inspection requirements.

TREE PROTECTION AND REPLACEMENT

- All native trees within 25 ft. of proposed ground disturbances shall be temporarily fenced with chain-link or other material satisfactory to P&D throughout all grading and construction activities. The fencing shall be installed 6 ft. outside the dripline of each native tree, and shall be staked every 6 ft., to the maximum extent
- No construction equipment shall be parked, stored, or placed within 6 ft. of any native tree dripline.
- No fill soil, rocks, or construction materials shall be stored or placed within 6 ft. of the dripline of all native trees.
- Any roots encountered that are 1 inch in diameter or greater shall be cleanly cut. This shall be done under the direction of a P&D approved arborist/biologist.
- Any trenching required within the dripline or sensitive root zone of any specimen tree shall be done by hand.
- No permanent irrigation shall occur within the dripline of any existing oak tree.
- Any construction activity required within 3 ft. of a native tree's dripline shall be done with hand tools.
- Any unanticipated damage that occurs to trees or sensitive habitats resulting from construction activities shall be mitigated in a manner approved by P&D. This condition may include but is not limited to posting of a performance security, tree replacement on a 10:1 ratio and hiring of an outside consulting biologist to assess the damage and recommend mitigation. The required mitigation shall be done immediately under the direction of P&D prior to any further work occurring on site. Any performance securities required for installation and maintenance of replacement trees will be released by P&D after its inspection and approval of such installation.
- All trees located within 25 feet of proposed buildings shall be protected from stucco or paint during construction.
- All native trees with grading or construction work occurring within 6 ft. of the dripline shall have trunk protection, constructed of solid material (wood), installed to protect said trunks from damage by machinery/implements.

SPECIAL INSPECTIONS

- All special inspections shall conform to section 1701 of the Uniform Building Code.
- Structural special inspections and observations are required for this project, refer to structural plans for additional specifications.
- Required for all concrete with a design ultimate 28 day compressive strength in excess of 2500 psi.
- Required for all installation of epoxied anchors.
- During excavation process, a thorough search shall be made under the direction of soils engineer, to locate and remove any man-made buried structures and utilities
- Inspection of the finished building pad shall be conducted by the soils engineer.
- Soils engineer to review foundation and grading plans prior to submittal for building permit.
- A representative of soils engineer shall be requested to inspect all excavations prior to backfilling, steel reinforcement and concrete or soil placement.

SEPARATE PERMITS & DEFERRED SUBMITTALS

**All separate permits & deferred submittals per contractor U.N.O., refer to consultant listings for contact.*

- Provide grading under separate permit. **Civil plans for grading and driveway construction are provided for reference only and are not part of this permit.*
- Provide fire sprinklers under separate permit.
- Provide alarm under separate permit.
- Provide solar photovoltaic under separate permit.
- Provide separate permit for any site walls above 6'.
- Provide truss plans and calculations under deferred submittal.

SHEET INDEX

ARCHITECTURAL

A0.0	Title Sheet, Project Data, Sheet Index	
A0.-	Architectural Specifications & Notes	<i>*Not Included</i>
	Parcel Survey	
A1.1	Architectural Site Plans	
A1.2	Construction Management Plan	
A2.1-A2.2	Residence Floor Plans	
A3.1	Residence Roof Plans	
A4.1	Residence Reflected Ceiling Plans	<i>*Not Included</i>
A5.1	Residence Building Sections	<i>*Not Included</i>
A6.1-A6.2	Residence Exterior Elevations	
A7.1	Residence Interior Elevations	<i>*Not Included</i>
A8.1	Finish Schedules	
A8.2	Door & Window Schedules	<i>*Not Included</i>
A9.-	Architectural Details	<i>*Not Included</i>

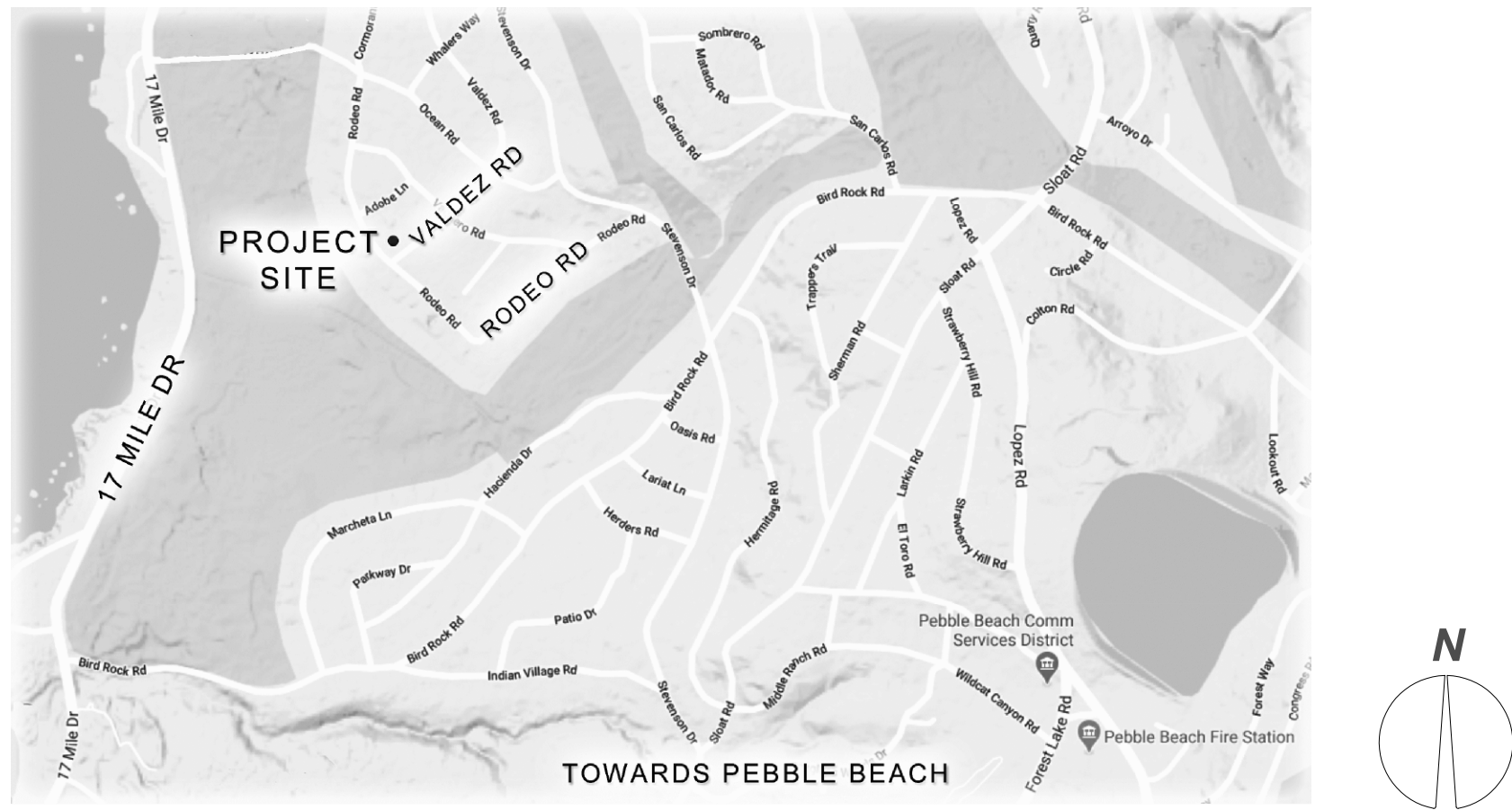
CIVIL

C1	Grading & Drainage Plan
C2	Erosion Control Plan

LANDSCAPE

L1.0	Planting Plan
L2.0	Lighting Plan
L2.1	Lighting Product Sheets

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS	1019 Rodeo Road Pebble Beach, CA 93953
OWNER	John Kossler & Kinuko Kumamoto
SCOPE OF WORK	Demolition of existing single family residence and construction of new proposed two story residence with attached 2 car garage. <i>*Refer to separate permits & deferred submittals notes on this page for additional info</i>

PLANNING DATA

APN	007-314-010
ZONE	MDR / B-6-DRES
COASTAL ZONE	No
LOT/BLOCK	8 / 211
LOT SIZE	.21 AC / 9237 SF
LOT COVERAGE	Proposed: 2663 SF / 29%
AVERAGE NATURAL GRADE	57.2
SETBACKS	Front: 20' Sides: 10' Rodeo / 20' Valdez Rear: 10'
GRADING	Yes, refer to notes & civil plans, estimated earthwork: Cut: 3 CY / Fill: 465 CY
TREES TO BE REMOVED	Yes, refer to notes & landscape plans
IMPERVIOUS COVERAGE	Proposed Structures: 3266 SF / 35% Proposed Site Surfaces: 1151 SF / 12%
PARKING	Proposed: 2 Covered / 2 Open Guest
WASTE WATER SYSTEM	Sewer
WATER SERVICE	PBCSD

BUILDING DATA

OCCUPANCY GROUP	R-3/U
TYPE OF CONSTRUCTION	VB
SPRINKLERS	Yes
STORIES	2
MAXIMUM ALLOWABLE BUILDING HEIGHT	27' Above Average Natural Grade
PROPOSED BUILDING HEIGHT	24.9'
MAXIMUM ALLOWABLE FAR	35%
PROPOSED FAR	.35
PROPOSED FLOOR AREA	3233 SF
FLOOR AREAS - EXISTING	
RESIDENCE	2338 SF
FLOOR AREAS - PROPOSED	GROSS / NET
FIRST FLOOR (INCLUDING STAIR & ELEVATOR)	2223 SF / 2099 SF
SECOND FLOOR (NOT INCLUDING STAIR & ELEVATOR)	570 SF / 498 SF
STAIR	67 SF
ELEVATOR	19 SF
GARAGE	440 SF / 400 SF
COVERED TERRACES	793 SF

CONSULTANTS

SURVEY John D Hagemeyer Carmel, CA Lic. Ca. No. 4986	CIVIL C3 Engineering, Inc. 126 Bonifacio Place, Suite C Monterey, CA 93940 831.647.1192	LANDSCAPE ARCHITECT BFS Landscape Architects 425 Pacific Street #201 Monterey, CA 93940
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REVISION SCHEDULE

NO.	DESCRIPTION	DAT
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KOSSLER RESIDENCE
1019 RODEO ROAD
PEBBLE BEACH, CALIFORNIA 93953

TITLE SHEET



Date SEP 2020
Scale
Drawn JS

Sheet

A0.0

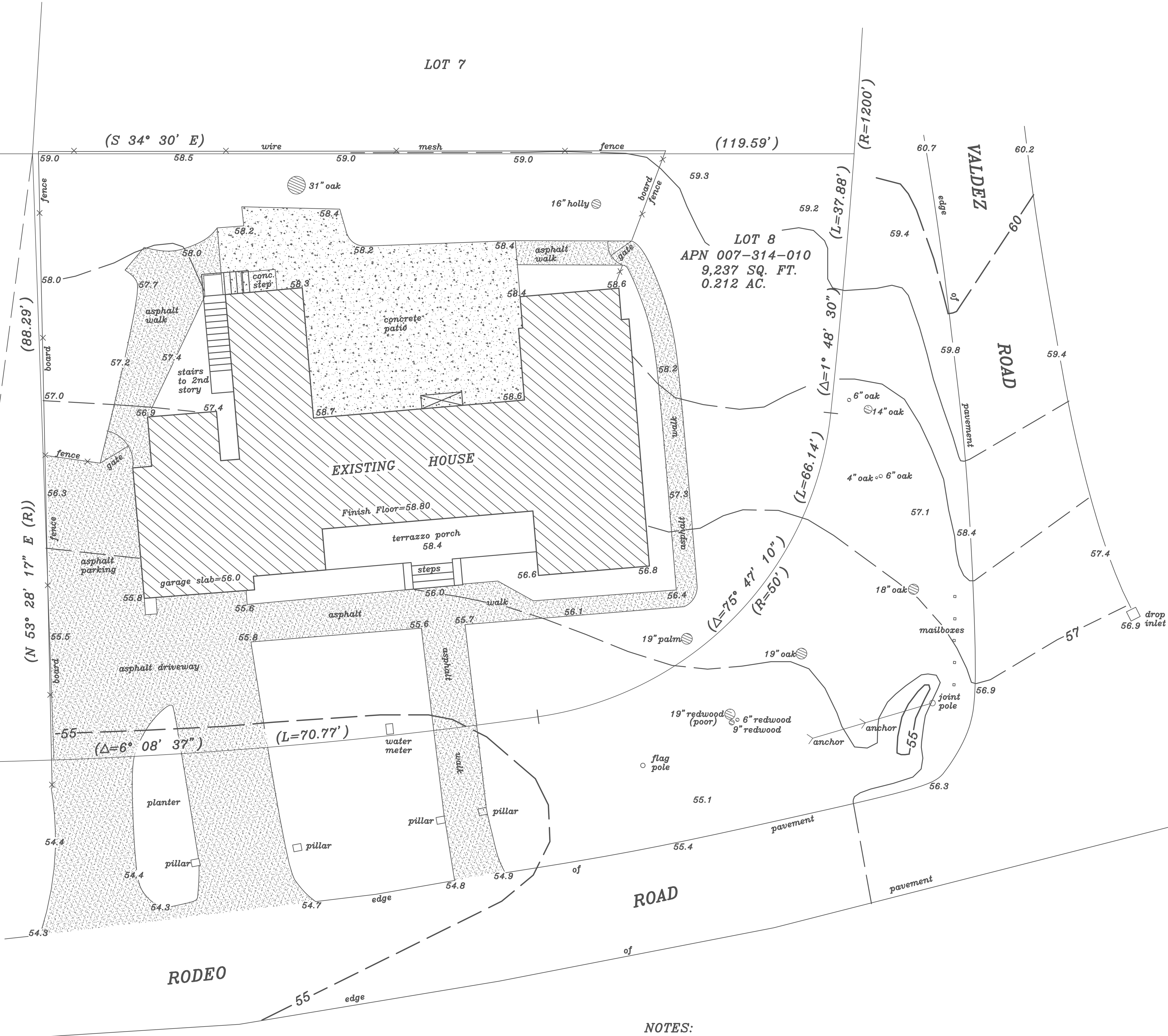
NOT FOR CONSTRUCTION

LOT 2

LOT 7

LOT 1

VOL. X-5 SUR PG. 99



NOTES:

1. Elevation datum is assumed.
2. Points found or set are so indicated, others are shown for reference only.
3. Record data is shown in parenthesis (.....).
4. Check for direction of tree growth in field where pertinent to location of improvements.
5. Distances and elevations are expressed in feet and decimals thereof.

TOPOGRAPHIC MAP

of a portion of Lot 8, Block 211, as shown on Map of Monterey Peninsula Country Club Subd. No. 2, Monterey County, California.

Prepared for

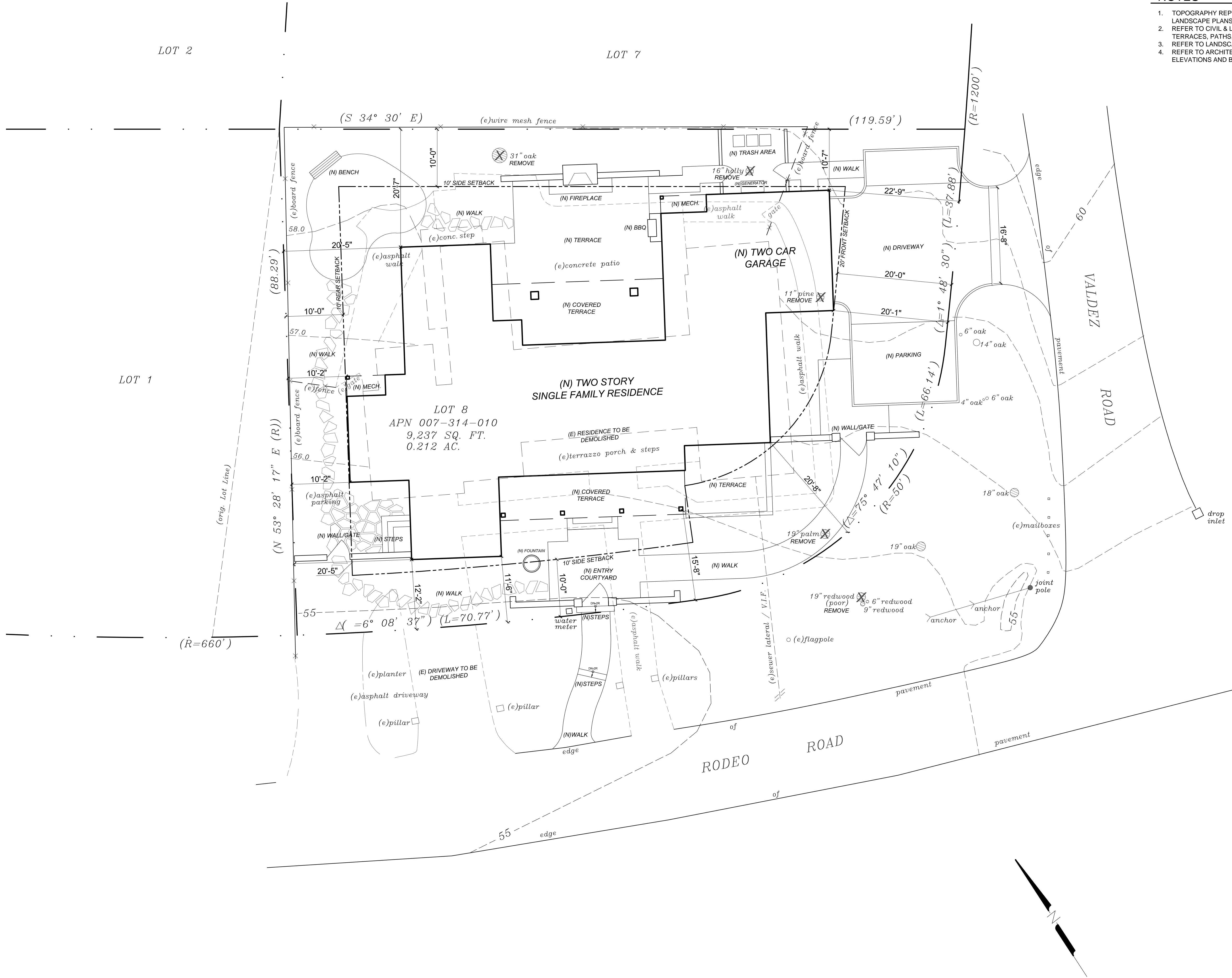
JOHN KOSSLER

Jon D. Hagemeyer Licensed Land Surveyor
Carmel, California.
Scale: 1" = 8' W.O. 5471 January, 2011



This map correctly represents a survey made by me or under my direction in January, 2011.

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NOTES

1. TOPOGRAPHY REPRESENTS EXISTING GRADE. REFER TO CIVIL & LANDSCAPE PLANS FOR PROPOSED GRADING & DRAINAGE.
2. REFER TO CIVIL & LANDSCAPE PLANS FOR LAYOUT OF DRIVEWAY, TERRACES, PATHS, STEPS, SITE WALLS & LIGHTING.
3. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL LEGEND AND NOTES.
4. REFER TO ARCHITECTURAL FLOOR PLANS FOR BUILDING FLOOR ELEVATIONS AND BUILDING ENVELOPE FOOTPRINT DIMENSIONING.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

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SITE PLAN



Date SEP 2020
Scale 1/8" = 1'-0"
Drawn JS

Sheet

NOT FOR CONSTRUCTION

SITE PLAN
SCALE 1/8" = 1'-0"

A1.1

NOTES

CONSTRUCTION NOTES

- Contractor shall provide a construction coordinator that can be contacted during construction should questions arise during construction (in case of both regular inquiries and in emergencies). Their contact information (including their address and 24 hour phone number) shall be conspicuously posted at the job site in a manner that the contact information is readily visible from public viewing areas. The posting shall indicate that the construction coordinator should be contacted to answer any questions that arise during construction (in case of both regular inquiries and in emergencies). The construction coordinator shall record the name, phone number, and nature of all complaints and take remedial actions if necessary, within 24 hours of receipt of the complaint or inquiry.
- All work shall take place during daylight hours, Monday - Saturday / 7 AM - 6 PM.
- Water all active construction areas at least twice per day, frequency should be based upon the type of operation, soil, and wind exposure.
- All grading activities shall be halted during periods of high winds, 15 MPH or greater.
- Haul trucks shall maintain 2 feet freeboard and be covered.
- All inactive construction storage piles to be covered.
- The signed permits and the approved construction plans shall be maintained in a conspicuous location at the construction job site at all times and with copies to be available for agency review upon request. All persons involved with the construction shall be briefed on the content & meaning of the permits, the approved construction plans, and the public review requirements applicable to them prior to commencement of construction.
- Equipment washing, refueling and servicing shall take place only onsite. Appropriate best management practices shall be used to ensure that no spills of petroleum products or other chemicals take place during these activities. the construction site shall maintain good construction site housekeeping controls and procedures (e.g. cleanup all leaks, drips, and other spills immediately, keep materials covered and out of the wet weather, including covering exposed piles of soils and wastes, dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather.
- Refer to civil plans for proposed construction entrance, materials staging & stockpiling areas, inlet protection, concrete washout, and erosion control plans & details for further specifications.
- All erosion and sediment controls shall be in place prior to the commencement of construction as well as at the end of each workday.
- All toxic materials are recycled per local ordinance.
- All sub-contractors are held to the same standard and procedure.

CONSTRUCTION SUMMARY

All construction activities will be planned and executed in a professional and workmanlike manner complying with all local and state building codes and practices. The project will begin with demolition of the existing structure and the off-hauling of materials. The project will continue with the installation of foundation and framing and continue through the finish stages. The contractor will secure the proper encroachment permits for any staging of vehicles impeding the main thoroughway during demo, grading/hauling, and construction portions of the job. Construction and waste management will recycle and/or reuse a minimum of 65% of the non-hazardous construction & demolition waste in accordance with the California Green Building Standards, Chapter 4, Division 4.4. Care will be taken to maintain a schedule that avoids the hauling of material or substantial traffic impacts during peak commute hours or school transportation schedules. Precautions will be taken to deal with and treat any site water run-off and storm water management systems will be in place.

CONSTRUCTION ACTIVITY

CONSTRUCTION SCHEDULING / DURATION	18 Months, beginning upon permit issuance
CONSTRUCTION HOURS	Monday-Friday / 8 AM - 5 PM
CONSTRUCTION VEHICLES	5-10 regular pickup trucks per day
CONSTRUCTION WASTE MANAGEMENT	Trash and unrecycled debris are collected on site in a portable trailer and removed by towing behind a regular pickup truck once a month to approved waste collection landfill site. All toxic materials are to be disposed or recycled per local ordinance.
CONSTRUCTION GRADING	Yes, minimal site grading, 250 cu yd max. per day, per Air Quality Management District Standards, refer to civil plans

TREE PROTECTION AND REPLACEMENT

- All native trees within 25 ft. of proposed ground disturbances shall be temporarily fenced with chain-link or other material satisfactory to P&D throughout all grading and construction activities. The fencing shall be installed 6 ft. outside the dripline of each native tree, and shall be staked every 6 ft., to the maximum extent
- No construction equipment shall be parked, stored, or placed within 6 ft. of any native tree dripline.
- No fill soil, rocks, or construction materials shall be stored or placed within 6 ft. of the dripline of all native trees.
- Any roots encountered that are 1 inch in diameter or greater shall be cleanly cut. This shall be done under the direction of a P&D approved arborist/biologist.
- Any trenching required within the dripline or sensitive root zone of any specimen tree shall be done by hand.
- No permanent irrigation shall occur within the dripline of any existing oak tree.
- Any construction activity required within 3 ft. of a native tree's dripline shall be done with hand tools.
- Any unanticipated damage that occurs to trees or sensitive habitats resulting from construction activities shall be mitigated in a manner approved by P&D. This condition may include but is not limited to posting of a performance security, tree replacement on a 10:1 ratio and hiring of an outside consulting biologist to assess the damage and recommend mitigation. The required mitigation shall be done immediately under the direction of P&D prior to any further work occurring on site. Any performance securities required for installation and maintenance of replacement trees will be released by P&D after its inspection and approval of such installation.
- All trees located within 25 feet of proposed buildings shall be protected from stucco or paint during construction.
- All native trees with grading or construction work occurring within 6 ft. of the dripline shall have trunk protection, constructed of solid material (wood), installed to protect said trunks from damage by machinery/implements.

CONSTRUCTION PLAN LEGEND

- Proposed residence & garage
- Construction entrance
- Concrete washout area
- Construction materials staging area
- Temporary porta potty
- Temporary vehicular parking

CONSTRUCTION WASTE HAULING ROUTE

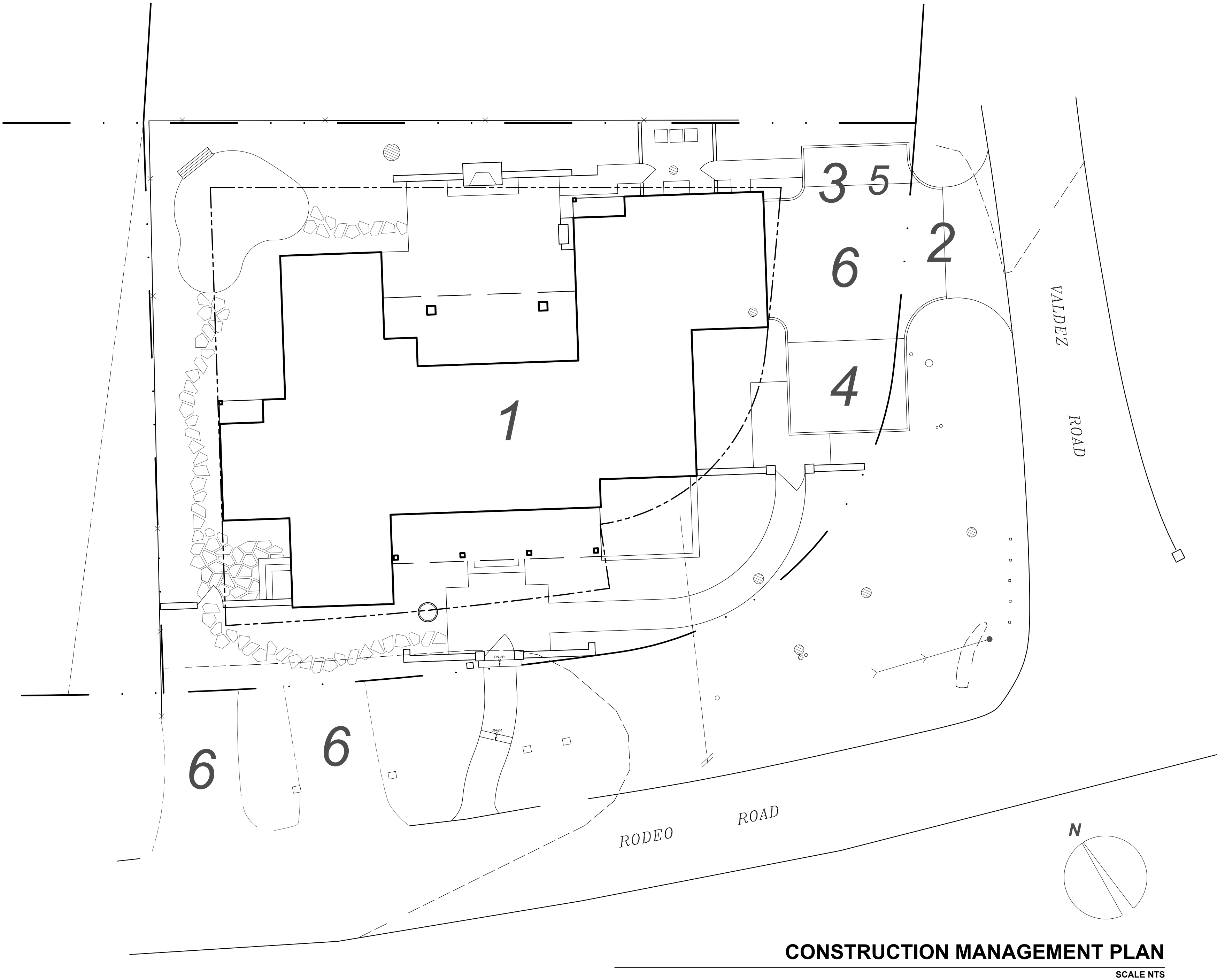


VICINITY MAP



PROJECT DATA

PROJECT ADDRESS	1019 Rodeo Road Pebble Beach, CA 93953
OWNER / PRIMARY CONTACT	John Kossler (jkoss-summit@sbcglobal.net) & Kinuko Kumamoto
AGENT / SECONDARY CONTACT	Tom Meaney (tom@tommeaney.com)
SCOPE OF WORK	Demolition of existing single family residence and construction of new proposed two story residence with attached 2 car garage.



REVISION SCHEDULE

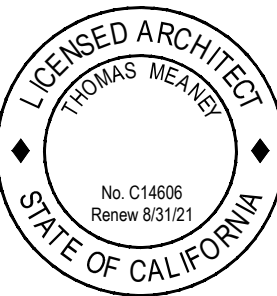
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CONSTRUCTION
MANAGEMENT
PLAN

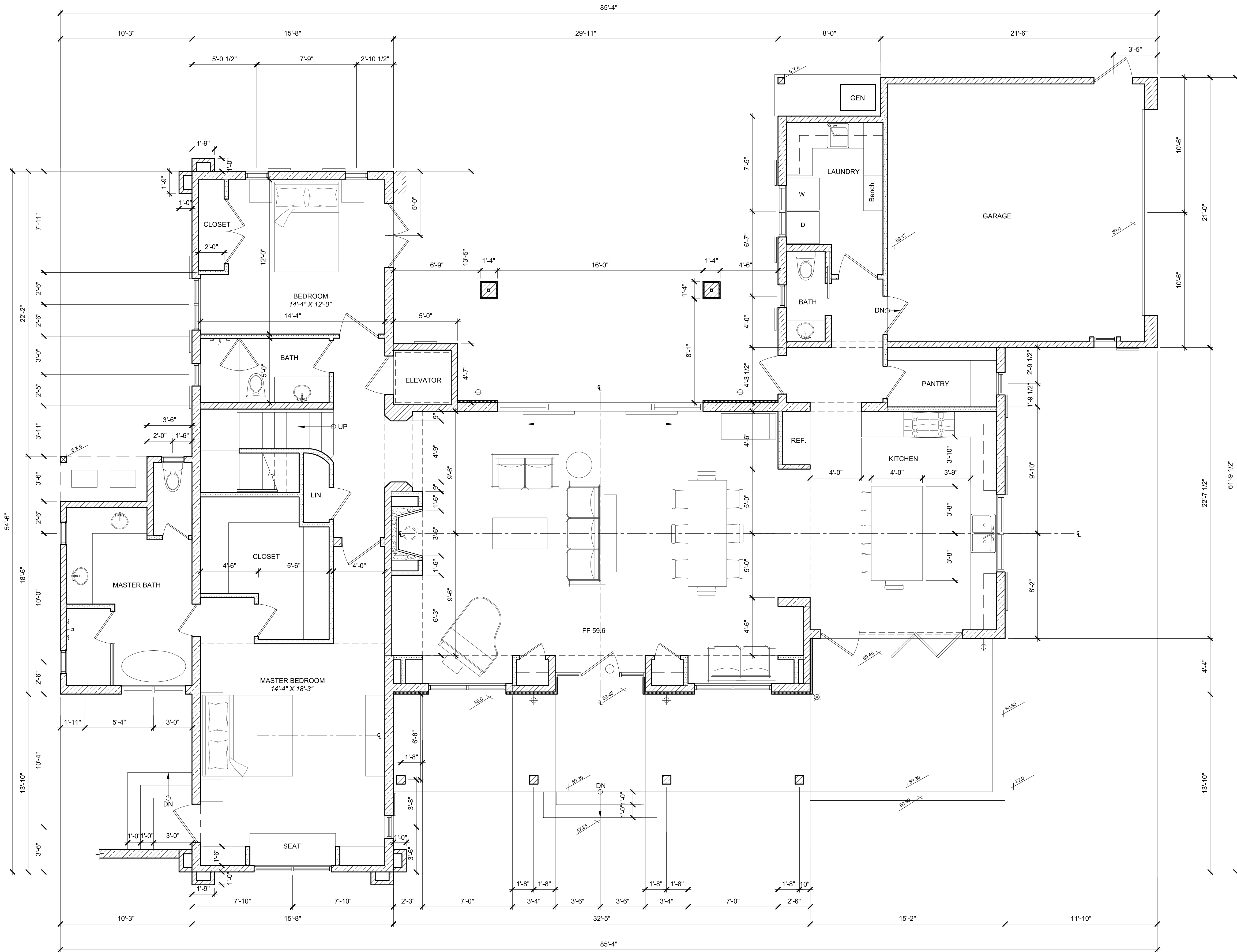


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A1.2

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WALL LEGEND

	12" CMU
	8" CMU
	2" X 6"
	2" X 4"
	2" X 8"

NOTES

1. ALL DIMENSIONS TO FACE OF FRAMING OR PLY PER PLAN. NOTIFY ARCHITECT PER ANY PLAN DISCREPANCIES.
2. ALL KEYNOTES PER FINISH SCHEDULE SHEET A8.1

GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

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GROUND
FLOOR PLAN

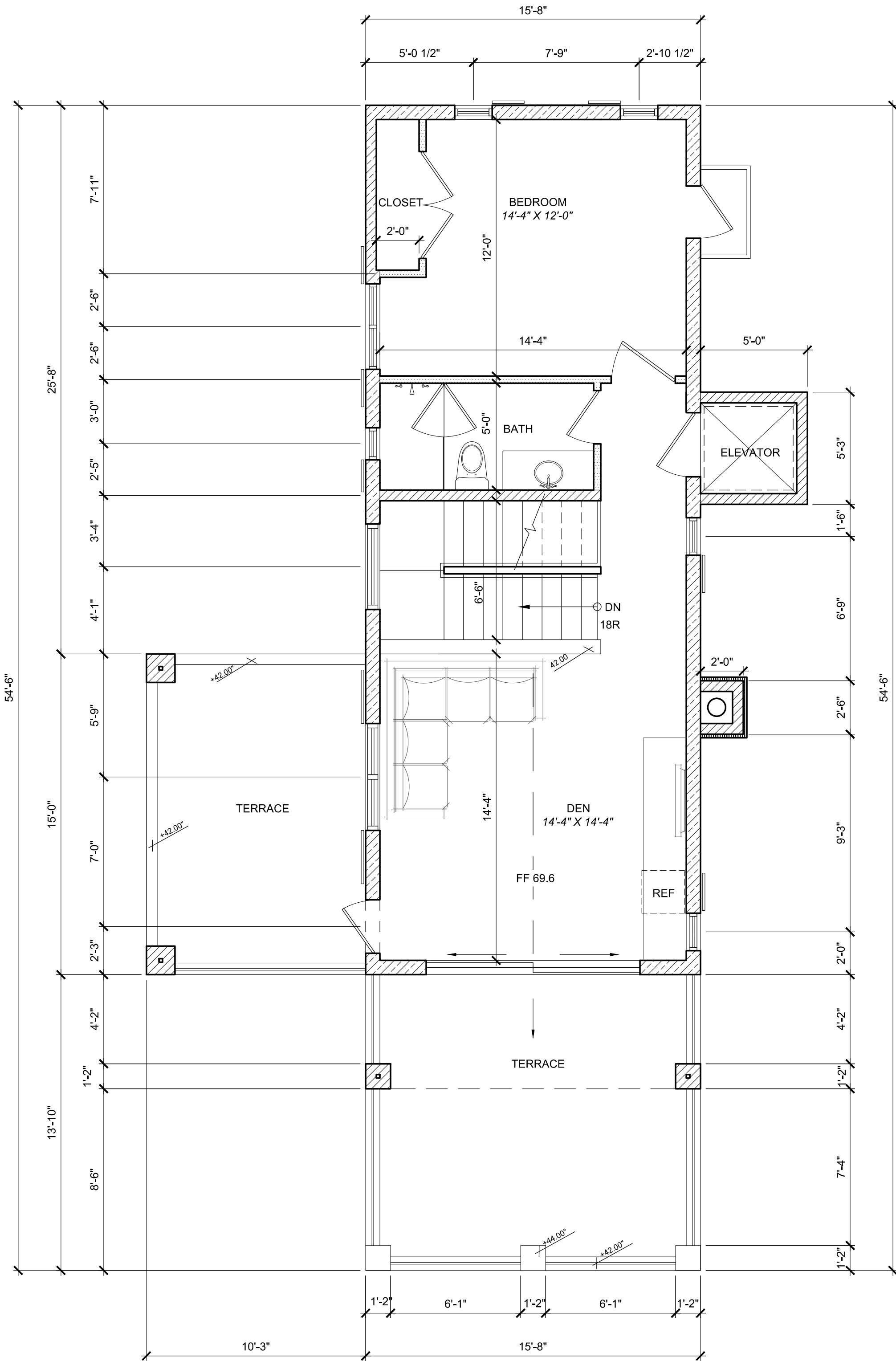


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WALL LEGEND

	12" CMU
	8" CMU
	2" X 6"
	2" X 4"
	2" X 8"

NOTES

1. ALL DIMENSIONS TO FACE OF FRAMING OR PLY PER PLAN, NOTIFY ARCHITECT PER ANY PLAN DISCREPANCIES.
2. ALL KEYNOTES PER FINISH SCHEDULE SHEET A8.1

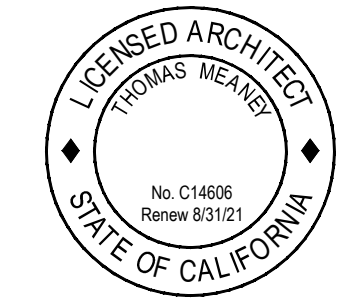
SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

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Date SEP 2020
Scale 1/4" = 1'-0"
Drawn JS

Sheet



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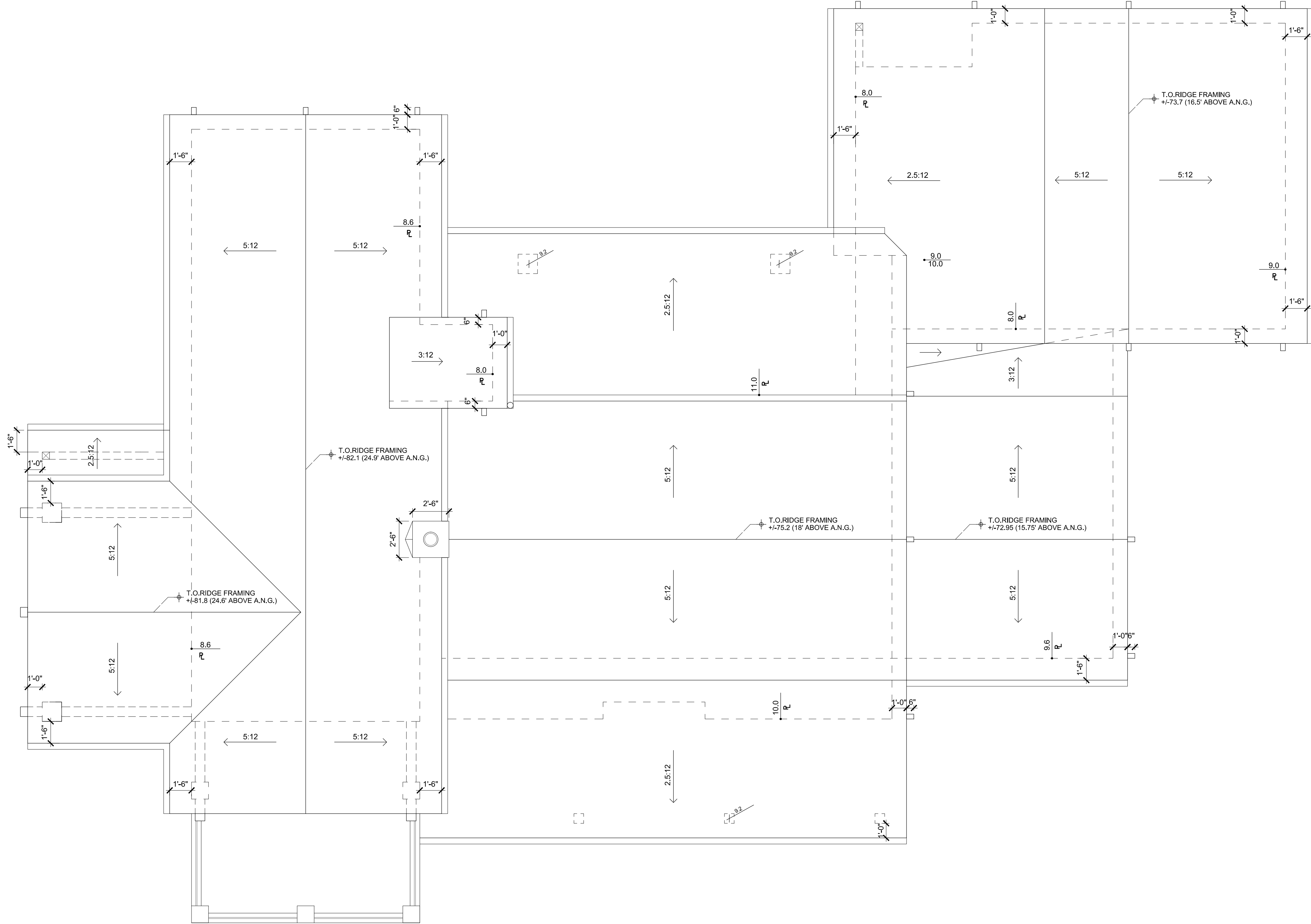
UPPER
FLOOR PLAN

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REVISION SCHEDULE		
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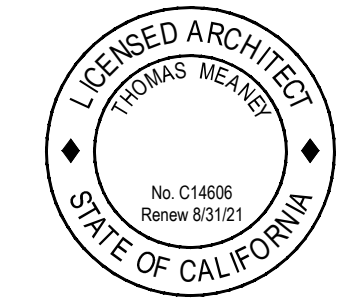
ROOF PLAN

SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Date SEP 2020
Scale 1/4" = 1'-0"
Drawn JS

Sheet



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ROOF PLAN

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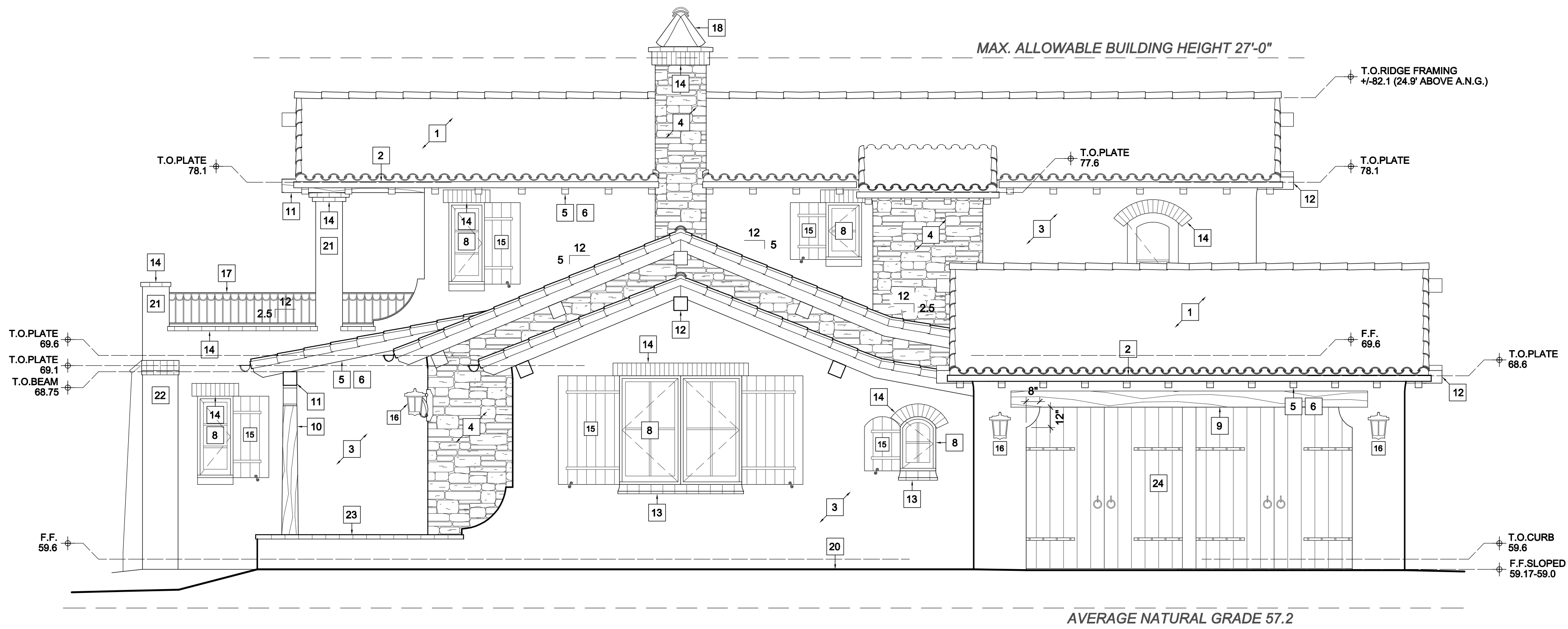
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

NOTES

1. ALL DIMENSIONS TO FACE OF FRAMING OR PLY PER PLAN, NOTIFY ARCHITECT PER ANY PLAN DISCREPANCIES.
2. ALL KEYNOTES PER FINISH SCHEDULE SHEET A8.1

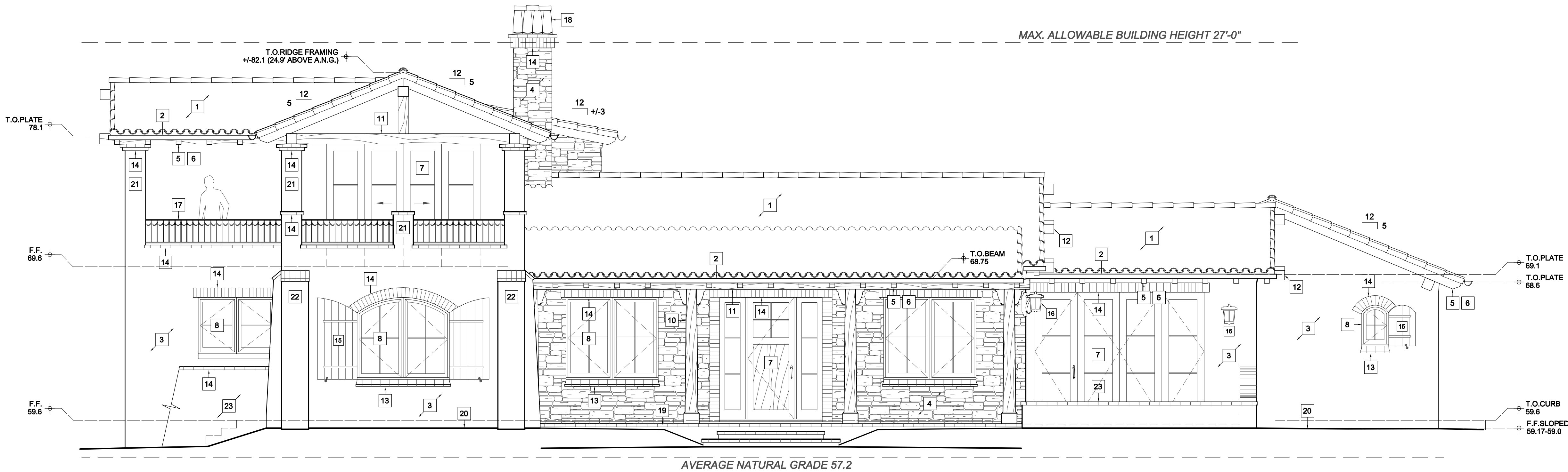
A3.1

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RESIDENCE - SOUTH
SCALE 1/4"=1'-0"

02



RESIDENCE - WEST
SCALE 1/4"=1'-0"

01

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KOSSLER RESIDENCE
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EXTERIOR
ELEVATIONS



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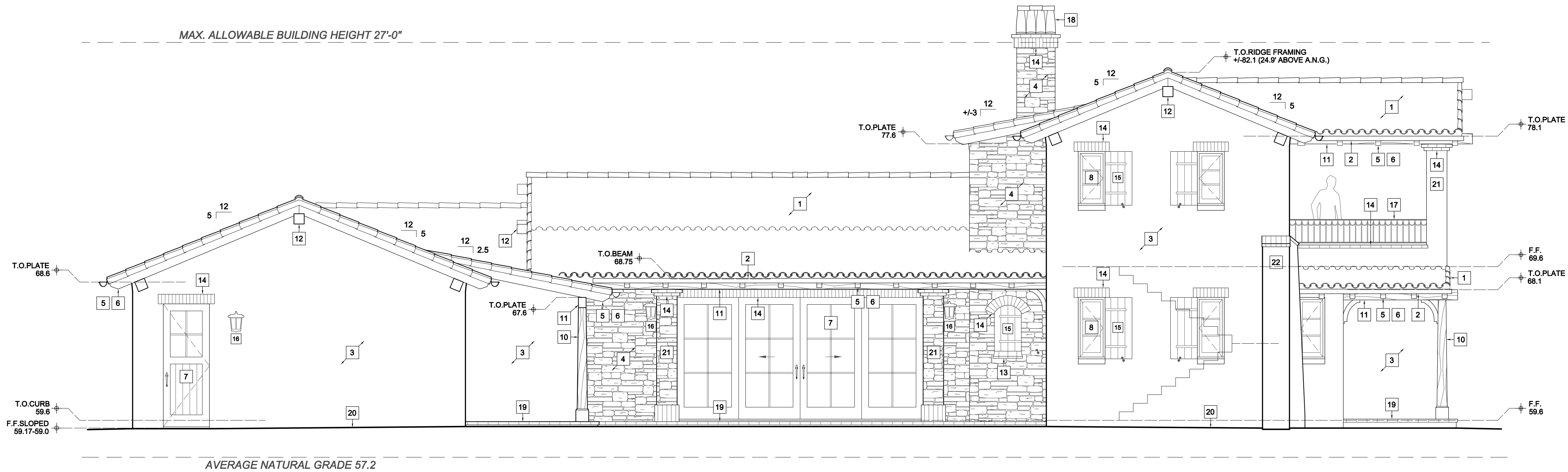
A6.1

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RESIDENCE - NORTH
SCALE 1/4"=1'-0"

02



RESIDENCE - EAST
SCALE 1/4"=1'-0"

01

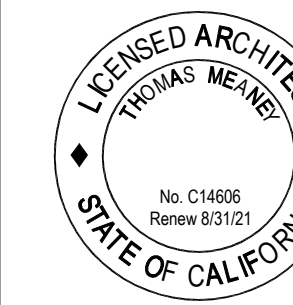
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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

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EXTERIOR
ELEVATIONS



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A6.2

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EXTERIOR FINISHES

- 1

CLASS 'A' ROOF, ANTIQUE FRENCH TILE CAPS W/ REDLANDS TILE PANS, SUPPLY/COLOR: VERIFY W/ ARCHITECT. STAGGER TILE FIELD 5 BOOSTERS PER SQUARE, WIRED INSTALLATION, STACK EAVE TILES TWO HIGH WITH STAGGERED OVERHANG TOP TILE OF 1'-3", MORTAR BIRDS MOUTH OPENING TO PREVENT THE INTRUSION OF POTENTIAL FLAMES AND EMBERS, OVER EXTERIOR PLY AND 2 LAYERS CLASS 'A' WATERPROOF BITUMINOUS UNDERLAYMENT (1 LAYER BASE SHEET NAILED & 1 LAYER GRANULATED TOP SHEET TORCH DOWN), VALLEY FLASHING 26 GAUGE MIN. CORROSION RESISTANT SHEET METAL OVER 36" MIN. WIDE UNDERLAYMENT OF 72# MINERAL-SURFACED NON-PERFORMANCE CAP SHEET (ASTM D3909) RUN FULL LENGTH OF VALLEY, "ICC-ES REPORT TO BE AVAILABLE TO THE FIELD INSPECTOR ON SITE [CRC R902, MONTECITO FIRE PROTECTION DISTRICT ORDINANCE]
- 2

SIMULATED ZINC 5"Ø HALF ROUND GUTTER W/ 4"Ø DOWNSPOUT, MFR/COLOR: VERIFY W/ ARCHITECT, PROVIDE HINGED GUTTER GUARD TO MATCH, LOCK ON STYLE, COMPATIBLE W/ 5" GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS, CONNECT DRAINAGE TO STORM DRAIN SYSTEM
- 3

7/8" EXTERIOR PLASTER SMOOTH, INTEGRAL COLOR, COLOR: SHERWIN WILLIAMS 6148 - WOOL SKEIN, PROVIDE SAMPLES IN FIELD, TIGHT HAND FORMED CORNERS AND SMOOTH STEEL TROWEL FINISH, INTEGRATE FIBERGLASS MESH INTO WET BASE BROWN COAT (OMEGA PRODUCTS INTERNATIONAL CRACK ISOLATION SYSTEM OR EQUIVALENT), OVER METAL LATHE, TYVEK (TWO LAYERS AT SHEAR WALLS), AND EXTERIOR PLY, EXTERIOR WALL FINISH TO EXTEND FROM TOP OF FOUNDATION TO ROOF TERMINATING AT 2' NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS
- 4

1 1/2" ADHERED RUSTIC GOLD LIMESTONE THIN VENEER, OVERGROUT TO MATCH, HORIZONTAL LAY RECTANGULAR W/ OVERSIZED CORNERS, OVER SCRATCH COAT, METAL LATHE, TYVEK (TWO LAYERS AT SHEAR WALLS), AND EXTERIOR PLY, SUPPLY/COLOR: VERIFY W/ ARCHITECT
- 5

4X8 APPLIED DOUGLAS FIR RAFTER TAILS PER DETAIL, +/-24" O.C., *REFER TO NOTE, COLOR: SEE FOOTNOTE
- 6

2X6 T&G KILN DRIED DOUGLAS FIR EAVES PER DETAIL, NO 'V' GROOVE, COLOR: SEE FOOTNOTE
- 7

EXTERIOR DOOR - PER DOOR SCHEDULE, MFR./COLOR: VERIFY W/ ARCHITECT
- 8

EXTERIOR WINDOW, METAL CLAD, PER WINDOW SCHEDULE, MFR./COLOR: LOEWEN - MOSS
- 9

EXPOSED CEDAR LINTEL AT GARAGE DOOR PER DETAIL, *REFER TO NOTE, COLOR: SEE FOOTNOTE
- 10

TAPERED DOUGLAS FIR POST (A)8X8:10X10 OR (B)6X6:8X8 PER PLAN & DETAIL, *REFER TO NOTE, COLOR: SEE FOOTNOTE
- 11

DOUGLAS FIR BEAM (A)8X8 OR (B)6X8 PER PLAN & DETAIL, *REFER TO NOTE, COLOR: SEE FOOTNOTE
- 12

8X8 DOUGLAS FIR OUTLOOKER BEAM PER PLAN & DETAIL, *REFER TO NOTE, COLOR: SEE FOOTNOTE
- 13

1 1/2" THICK TUMBLED BRICK SILL, OVER SCRATCH COAT, METAL LATHE, TYVEK AND EXTERIOR PLY, SUPPLY: GENERAL SHALE - CHESAPEAKE
- 14

1 1/2" THICK TUMBLED BRICK SURROUND TRIM OR CAP, OVER SCRATCH COAT, METAL LATHE, TYVEK AND EXTERIOR PLY, SUPPLY: GENERAL SHALE - CHESAPEAKE
- 15

BRUSHED CEDAR VERTICAL PLANK SHUTTERS W/ HAMMERED SHUTTER DOGS, COLOR: SEMI-TRANSPARENT STAIN - SHERWIN WILLIAMS 9152 - LET IT RAIN
- 16

EXTERIOR WALL OR CORNER MOUNTED SCONCE PER PLAN, LED HIGH EFFICIENCY BULB SHIELDED WITHIN FIXTURE TO COMPLETELY SHROUD ANY EXPOSED VISIBLE PORTION OF BULB, HEAVY SEEDED OBSCURED GLASS, INSTALLATION HEIGHT PER PLAN, SUPPLY: STEVEN HANDELMAN STUDIOS - MONTALESTO 9" WALL BRACKET, VERIFY W/ ARCHITECT
- 17

HAND FORGED IRON RAILING & GUARDRAIL PER DETAIL, +/-42"H TOP RAIL ABOVE FINISH SURFACE, HAMMERED SQUARE PICKETS TYPICAL FOR ALL IRONWORK, OPENINGS BETWEEN RAILING PICKETS SHALL BE LESS THAN 4", AT STAIR TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL SHALL BE LESS THAN 6" PER (CRC R312.3), PROVIDE SHOP DRAWINGS AND SAMPLE TO ARCHITECT
- 18

CHIMNEY PER DETAIL, W/ CLASS 'A' INSULATED DOUBLE WALL STAINLESS STEEL FLUE FOR ALL CHIMNEY LENGTHS & ASSOCIATED COMPONENTS PER MFR SPECS, REPORTS & LISTINGS (UL103, MFR: DURAVENT - DURATECH 12" (WWW.DURAVENT.COM), PROVIDE CAP/SHROUD AND SPARK ARRESTOR AT THE TERMINATION OF CHIMNEYS FOR FACTOR- BUILT FIREPLACES THAT ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT FIREPLACE SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MFR. SPEC., CHIMNEY TO EXTEND 2' ABOVE ANY PORTION OF THE BUILDING AND ROOF WITHIN 10' OF THE CHIMNEY OUTLET AND 3' ABOVE THE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH ROOF, NET FREE AREA UNDER CHIMNEY CAP TO BE 4 TIMES GREATER THAN THE AREA OF THE CHIMNEY FLUE OUTLET
- 19

TERRACE & LANDING PAVERS, SLOPE 1/8" PER FT. TO DRAIN AWAY FROM STRUCTURES, STAIR LANDINGS 2% SLOPE MAX., PROVIDE 36" MIN. LANDING AT EACH GRADE LEVEL, EXIT IN THE DIRECTION OF EGRESS, SUPPLY/COLOR: VERIFY W/ ARCHITECT
- 20

WEEP SCREED PER DETAIL, 26 GAUGE MIN., 4" MIN. ABOVE GRADE OR 2" MIN. ABOVE CONCRETE/PAVING WHERE OCCURS
- 21

PLASTER OR STONE COLUMN W/ BRICK BASE/CAP TO MATCH 14, PER PLAN/DETAIL
- 22

PLASTER BUTTRESS W/ BRICK CAP TO MATCH 14, PER PLAN/DETAIL
- 23

C.M.U. BLOCK WALL, WITH PLASTER TO MATCH 3, AND CAP TO MATCH 14
- 24

CEDAR PLANK GARAGE DOOR, WIRE BRUSHED PLANKS W/ EASED EDGES, HAND HAMMERED IRON STRAPS 2"x1/8" W/ CLAVOS EVERY OTHER BOARD, REFER TO DOOR SCHEDULE ELEVATIONS, COLOR/TEXTURE: VERIFY W/ ARCHITECT



*SEE KEYNOTE 16

**NOTE - ALL COLORS VERIFY W/ ARCHITECT, PROVIDE SAMPLE IN FIELD, ALL WOOD & HEAVY TIMBERS LIGHT SANDBLAST TEXTURE W/ EASED EDGES, SEMI-TRANSPARENT STAIN, COLOR: SHERWIN WILLIAMS 7046 - ANONYMOUS, U.N.O.*

INTERIOR FINISHES

- 101

DRYWALL - 5/8", CORNER FORM & TEXTURE PER ARCHITECT, W/ HAND FORMED CORNERS, PROVIDE SAMPLES
- 102

DRYWALL - 5/8" TYPE X, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
- 103

DRYWALL - 5/8" TYPE WR, CORNER FORM & TEXTURE PER ARCHITECT, PROVIDE SAMPLES
- 104

AIR IMPERMEABLE SPRAY FOAM INSULATION AT ALL RAFTER BAYS & ATTIC EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, MFR: ICYNENE - MD-C-200 (WWW.ICYNENE.COM / ICC ESR-3199), INSTALLATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING, ADDITIONAL INSTALLATION PER MFR SPECS
- 105

BATT INSULATION AT ALL EXTERIOR WALLS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECS
- 106

BATT INSULATION AT ALL INTERIOR WALLS AND FRAMED FLOORS, R-VALUE RATING PER T-24 ENERGY COMPLIANCE, INSTALLATION PER MFR SPECS
- 107

ATTIC ACCESS 30"x30" U.N.O. PER PLAN, PROVIDE 30" MIN. HEADROOM CLEARANCE ABOVE OPENINGS, FOR ACCESS ABOVE GARAGE PROVIDE SOLID WOOD DOOR NO LESS THAN 1 3/8" THICK THAT IS SELF CLOSING, LATCHING, AND TIGHT FITTING
- 108

WOOD FLOORING - TYP., FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
- 109

TILE FLOORING AT ALL BATHS & LAUNDRY, FLUSH W/ ADJACENT FLOORING, SUPPLY/FINISH: VERIFY W/ ARCHITECT
- 110

EPOXY COATING OVER CONCRETE SLAB
- 111

CAST ALUMINUM REGISTERS - TYP. WHERE OCCURS PER MECHANICAL PLANS, MFR: PACIFIC REGISTER CAST (WWW.PACIFICREGISTERCO.COM)
- 112

FIREPLACE PER PLAN & DETAIL, ALL FIREBOXES SET FLUSH W/ TOP OF HEARTH ON NON-COMBUSTIBLE METAL FRAMING PER MFR. SPEC., 20" MIN. CLEARANCE FROM FIREPLACE OPENING TO COMBUSTIBLE FLOORING, PROVIDE COMBUSTION AIR INTAKE FROM OUTSIDE AIR DIRECTLY INTO FIREBOX MIN. 6 SQUARE INCHES AND EQUIPPED WITH A READILY ACCESSIBLE / TIGHT-FITTING DAMPER, EXTERIOR AIR INTAKE BELOW FIREBOX AND SCREENED W/ 1/4" CORROSION-RESISTANT WIRE MESH, PROVIDE GAS SUPPLY & KEY IN ACCORDANCE TO MFR SPECS. AND WITHIN 6' MAX. FROM THE GAS OUTLET, PROVIDE GLASS DOORS COVERING THE ENTIRE OPENING OF FIREBOX, PROVIDE APPROVED INSTALLATION INSTRUCTIONS AT JOB SITE AT TIME OF INSPECTION

A. LIVING

ISOKERN SOLID FUEL MASONRY - MAGNUM / FIREBOX 3'-6"x4'-0"
- 113

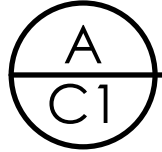
CONCRETE SLAB OR 3" CONCRETE RAT SLAB PER PLAN, OVER CLASS I VAPOR BARRIER, VERIFY W/ GEOTECHNICAL REPORT

**NOTE - ALL COLORS VERIFY W/ ARCHITECT, PROVIDE SAMPLE IN FIELD, ALL WOOD & HEAVY TIMBERS LIGHT SANDBLAST TEXTURE W/ EASED EDGES, SEMI-TRANSPARENT STAIN, COLOR: SHERWIN WILLIAMS 7046 - ANONYMOUS, U.N.O.*

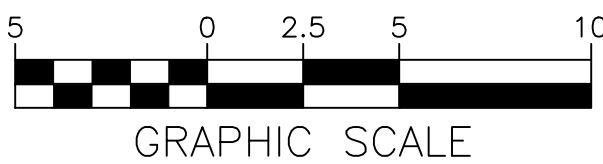
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SCALE: 1"=5'




KOSSLER RESIDENCE
1019 RODEO ROAD
PEBBLE BEACH, CA

C1

OF 2 SHEETS

PROJECT# 119171

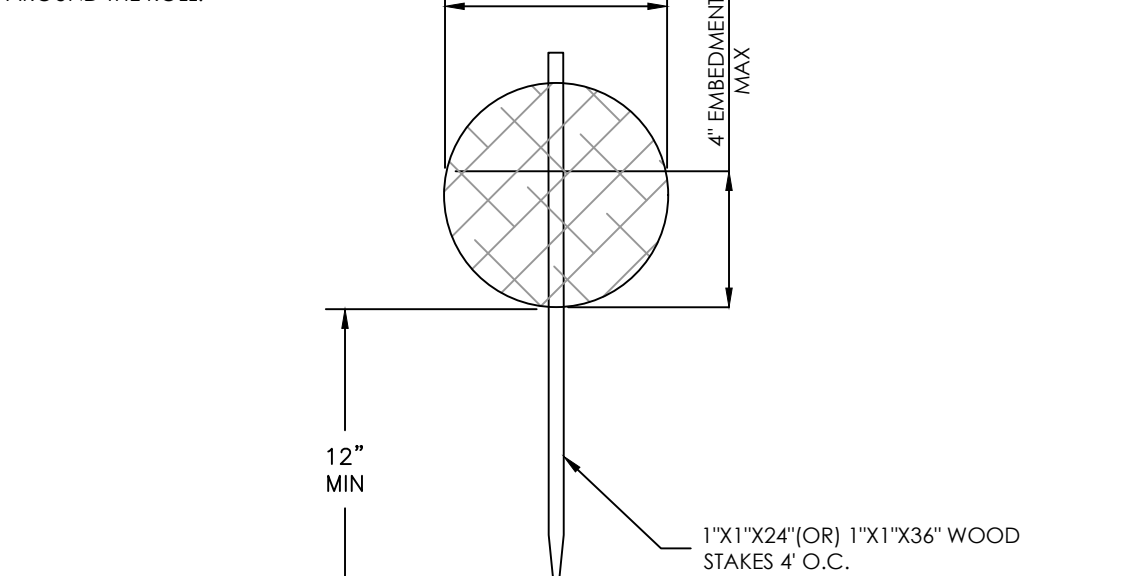
 AC3 ENGINEERING INCORPORATED	Civil Engineering Land Development Stormwater Control		126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (831) 647-1192 Fax: (831) 647-1194 mail@C3Engineering.net	Reg. No. <input type="text"/>	State <input type="text"/>	Incorporation <input type="text"/>	SV <input type="text"/>
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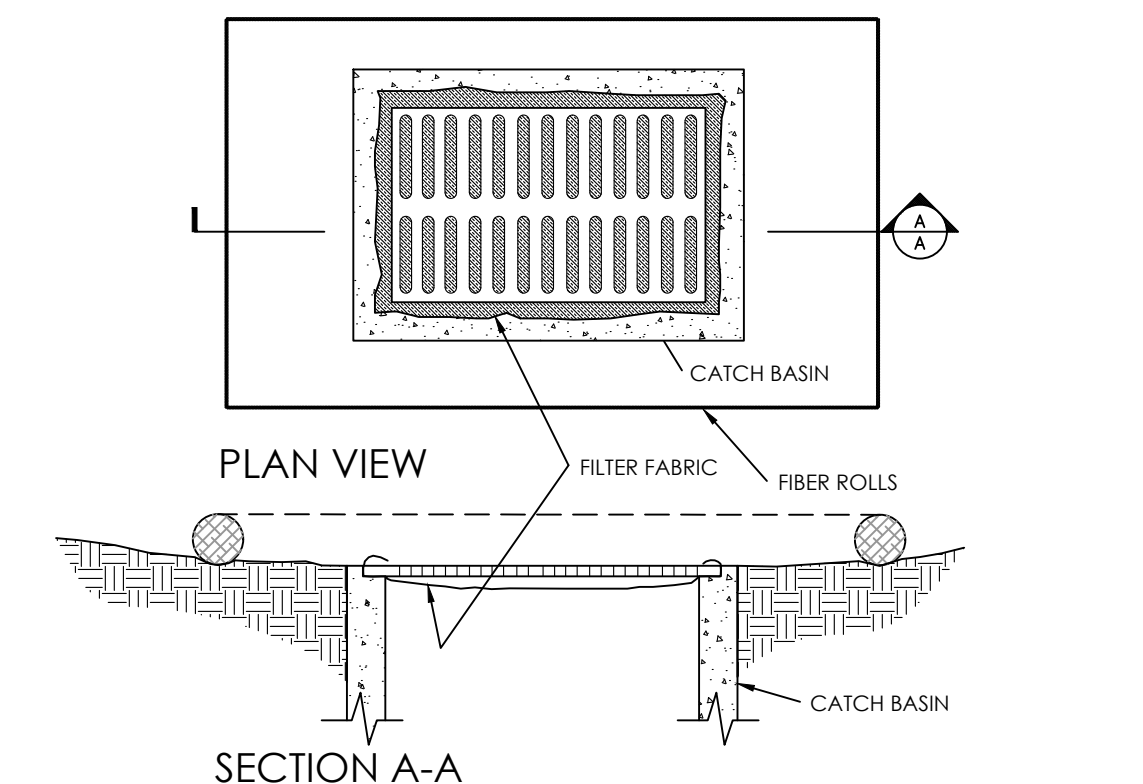
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE
REFUSED, REPRODUCTION, OR PUBLICATION, IN WHOLE OR IN PART,
IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

GENERAL NOTES
1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST CONTROL BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
C) KEEP CONSTRUCTION STREET FREE OF MUD AND DUST.
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
2. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
4. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE CITY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
A) VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
C) RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
[CONZALES GRADING/EROSION ORD. 2806-16.12.090]
E) THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
7. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY ARE CONTROLLED:
8. ALL NON-STORM WATER DISCHARGES ARE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED:
9. SITE BMPs ARE TO BE EFFECTIVE AND RESULT IN THE REDUCTION OR ELIMINATION OF POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY
10. STABILIZATION BMPs INSTALLED TO REDUCE OR ELIMINATE POLLUTANTS AFTER CONSTRUCTION IS COMPLETED.
11. BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY, FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQIA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK. CONTRACTOR RESPONSIBLE FOR OBTAINING AND REVIEWING THE DOCUMENT.
MONTEREY COUNTY INSPECTIONS
1. PRIOR TO COMMENCEMENT OF LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENTATION CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
4. THE APPLICANT SHALL PROVIDE CERTIFICATION FROM A LICENSED PRACTITIONER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTION IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.
GOOD SITE MANAGEMENT "HOUSEKEEPING"
1. POLLUTANTS IN STORM WATER DISCHARGES FROM THE PROJECT DURING CONSTRUCTION MAY ORIGINATE FROM THE DAILY OPERATION OF EQUIPMENT, GRADING OPERATIONS, AND STOCKPILING OF MATERIALS.
2. DISCHARGERS SHALL IMPLEMENT GOOD HOUSEKEEPING MEASURES ON THE CONSTRUCTION SITE TO CONTROL THE AIR DEPOSITION OF SITE MATERIALS AND FROM SITE OPERATIONS. SUCH PARTICULATES CAN INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT, NUTRIENTS, TRASH, METALS, BACTERIA, OIL AND GREASE AND ORGANICS.
WASTE MANAGEMENT POLLUTION CONTROL
1. THE DISCHARGER SHALL PREVENT DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PREVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM.
2. THE DISCHARGER SHALL ENSURE THE CONTAINMENT OF SANITATION FACILITIES (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER. THE SANITATION FACILITIES SHALL BE CLEANED, REPLACED, AND INSPECTED REGULARLY FOR LEAKS AND SPILLS.
3. WASTE DISPOSAL CONTAINERS SHALL BE COVERED AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT. NO DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE ALLOWED.
4. STOCKPILED MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
5. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NONHAZARDOUS SPILLS, EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE. SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
6. CONCRETE WASHOUT AREAS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
7. DISCHARGER SHALL MAINTAIN VEHICLES TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS. ALL EQUIPMENT OR VEHICLES SHALL BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs. LEAKS SHALL BE CLEANED IMMEDIATELY AND DISPOSED OF PROPERLY.
8. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WASTE MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
WM-1. MATERIAL DELIVERY AND STORAGE
WM-2. MATERIAL USE
WM-3. STOCKPILE MANAGEMENT
WM-4. SPILL PREVENTION AND CONTROL
WM-5. SOLID WASTE MANAGEMENT
WM-6. HAZARDOUS WASTE MANAGEMENT
WM-7. CONTAMINATED SOIL MANAGEMENT
WM-8. CONCRETE WASTE MANAGEMENT
WM-9. SANITARY/SEPTIC WASTE MANAGEMENT
WM-10. LIQUID WASTE MANAGEMENT
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]
9. THE CONTRACTOR SHALL REVIEW CONSTRUCTION ACTIVITIES TO IDENTIFY AND QUANTIFY LIKELY CONSTRUCTION MATERIALS AND WASTES. SPECIAL NOTICE SHALL BE MADE OF MATERIALS AND WASTES WITH SPECIAL HANDLING OR DISPOSAL REQUIREMENTS, SUCH AS LEAD CONTAMINATED SOILS, CONTAMINATED LIQUIDS, WASTE CHEMICALS AND EMPTY CHEMICAL CONTAINERS. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURERS' STORAGE AND HANDLING RECOMMENDATIONS AND FOLLOW ALL FEDERAL, STATE, AND LOCAL REGULATIONS, WHERE POSSIBLE, CONTRACTOR SHALL USE SAFER AND LESS POLLUTING PRODUCTS.
EROSION CONTROL (SOIL STABILIZATION)
1. SUFFICIENT EROSION CONTROL MATERIALS WILL BE MAINTAINED ON-SITE TO ALLOW FOR IMMEDIATE DEPLOYMENT BEFORE THE ONSET OF RAIN.
2. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVERS FOR INACTIVE AREAS (MORE THAN 14 DAYS UN-DISTURBED) AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED LOTS.
3. DISCHARGERS SHALL LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, THE DISCHARGER SHALL CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION.
4. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
EC-1. SCHEDULING
EC-2. PRESERVATION OF EXISTING VEGETATION
EC-3. HYDRAULIC MULCH
EC-4. HYDROSEEDING
EC-5. SOIL BINDERS
EC-6. STRAW MULCH
EC-7. GEOTEXTILES AND MATS
EC-8. WOOD MULCHING
EC-9. EARTH DIKES AND DRAINAGE SWALES
EC-10. VELOCITY DISSIPATION DEVICES
EC-11. SLOPE DRAINS
EC-12. STREAMBANK STABILIZATION
EC-13. POLYACRYLAMIDE
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]
5. SPECIAL CARE SHALL BE TAKEN SO THAT NO FILL MATERIALS SHALL BE PLACED, SPREAD, OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS.
SEDIMENT CONTROL
1. SUFFICIENT QUANTITIES OF TEMPORARY SEDIMENT CONTROL MATERIALS WILL BE MAINTAINED ON-SITE THROUGHOUT THE DURATION OF THE PROJECT, TO ALLOW IMPLEMENTATION OF TEMPORARY SEDIMENT CONTROL IN THE EVENT OF PRECIPITATION RAIN AND/OR RAPID RESPONSE TO FAILURES OR EMERGENCIES.
2. DISCHARGERS SHALL ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
3. DISCHARGERS SHALL EFFECTIVELY MANAGE ALL RUN-ON, ALL RUNOFF WITHIN THE SITE AND ALL RUNOFF THAT DISCHARGES OFF THE SITE. RUN-ON FROM OFF-SITE SHALL BE DIRECTED AWAY FROM ALL DISTURBED AREAS OR SHALL COLLECTIVELY BE IN COMPLIANCE WITH THE EFFLUENT LIMITATION OF THE PERMIT.
4. DISCHARGERS SHALL APPLY LINEAR SEDIMENT CONTROLS ALONG THE TOE OF THE SLOPE, FACE OF THE SLOPE, AND AT THE GRADE BREAKS OF EXPOSED SLOPES.
5. DISCHARGERS SHALL ENSURE THAT CONSTRUCTION ACTIVITY TRAFFIC TO AND FROM THE PROJECT IS LIMITED TO ENTRANCES AND EXITS THAT EMPLOY EFFECTIVE CONTROLS TO PREVENT OFFSITE TRACKING OF SEDIMENT.
6. DISCHARGERS SHALL ENSURE THAT ALL STORM DRAIN INLETS AND PERIMETER CONTROLS, RUNOFF CONTROL BMPs, AND POLLUTANT CONTROLS AT ENTRANCES AND EXITS (E.G. TIRE WASHOFF LOCATIONS) ARE MAINTAINED AND PROTECTED FROM ACTIVITIES THAT REDUCE THEIR EFFECTIVENESS.
7. DISCHARGERS SHALL INSPECT ON A DAILY BASIS ALL IMMEDIATE ACCESS ROADS DAILY.
8. AT A MINIMUM DAILY (WHEN NECESSARY) AND PRIOR TO ANY RAIN EVENT, THE DISCHARGER SHALL REMOVE ANY SEDIMENT OR OTHER CONSTRUCTION ACTIVITY RELATED MATERIALS THAT ARE DEPOSITED ON THE ROADS (BY VACUUMING OR SWEEPING).
9. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TEMPORARY AND FINAL SEDIMENT CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
SE-1. SILT FENCE
SE-2. SEDIMENT BASIN
SE-3. SEDIMENT TRAP
SE-4. CHECK DAMS
SE-5. FIBER ROLLS
SE-6. GRAVEL BAG BERM
SE-7. STREET SWEEPING AND VACUUMING
SE-8. SANDBAG BARRIER
SE-9. STRAW BALE BARRIER
SE-10. STORM DRAIN INLET PROTECTION
SE-11. CHEMICAL TREATMENT
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]
TRACKING CONTROL
1. TRACKING CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT, AT ALL ACCESS (INGRESS/EGRESS) POINTS TO THE PROJECT SITE WHERE VEHICLES AND/OR EQUIPMENT MAY TRACK SEDIMENT FROM THE CONSTRUCTION SITE ONTO PRIVATE OR PUBLIC ROADSWAYS.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE TRACKING CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
TC-1. STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC-2. STABILIZED CONSTRUCTION ROADWAY
TC-3. ENTRANCE/EXIT TIRE WASH
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]
WIND EROSION CONTROL
1. WIND EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED YEAR-ROUND AND THROUGHOUT THE DURATION OF THE PROJECT ON ALL DISTURBED SOILS ON THE PROJECT SITE THAT ARE SUBJECT TO WIND EROSION, AND WHEN SIGNIFICANT WIND AND DRY CONDITIONS ARE ANTICIPATED DURING PROJECT CONSTRUCTION. THE OBJECTIVE OF WIND CONTROLS IS TO PREVENT THE TRANSPORT OF SOIL FROM DISTURBED AREAS OF THE PROJECT SITE BY WIND.
2. IN GENERAL, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE WIND EROSION CONTROL DURING CONSTRUCTION WHERE APPLICABLE:
WE-1. WIND EROSION CONTROL
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]
NON-STORMWATER MANAGEMENT POLLUTION CONTROL
1. NON-STORMWATER DISCHARGES CONSIST OF ALL DISCHARGES TO/FROM A MUNICIPAL STORM WATER CONVEYANCE, WHICH DO NOT ORIGINATE FROM PRECIPITATION EVENTS (I.E., ALL DISCHARGES FROM A CONVEYANCE SYSTEM OTHER THAN STORM WATER).
2. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORM WATER DISCHARGES DURING CONSTRUCTION.
3. DISCHARGERS SHALL WASH VEHICLES IN SUCH A MANNER AS TO PREVENT NON-STORM WATER DISCHARGES.
4. DISCHARGERS SHALL CLEAN STREETS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED NON-STORM WATER DISCHARGES.
5. IN ADDITION TO THE ABOVE, THE PROJECT WILL IMPLEMENT THE FOLLOWING PRACTICES FOR EFFECTIVE NON-STORMWATER MANAGEMENT POLLUTION CONTROL WHERE APPLICABLE:
NS-1. WATER CONSERVATION PRACTICES
NS-2. DEWATERING OPERATIONS
NS-3. PAVING AND GRINDING OPERATIONS
NS-4. TEMPORARY STREAM CROSSING
NS-5. CLEAR WATER DIVERSION
NS-6. ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING
NS-7. POTABLE WATER / IRRIGATION
NS-8. VEHICLE AND EQUIPMENT CLEANING
NS-9. VEHICLE AND EQUIPMENT FUELING
NS-10. VEHICLE AND EQUIPMENT MAINTENANCE
NS-11. PILE DRIVING OPERATIONS
NS-12. CONCRETE CURING
NS-13. MATERIALS AND EQUIPMENT USE OVER WATER
NS-14. CONCRETE FINISHING
NS-15. STRUCTURE DEMOLITION/REMOVAL
NS-16. TEMPORARY BATCH PLANTS
[SOURCE: STORMWATER BEST MANAGEMENT HANDBOOK]

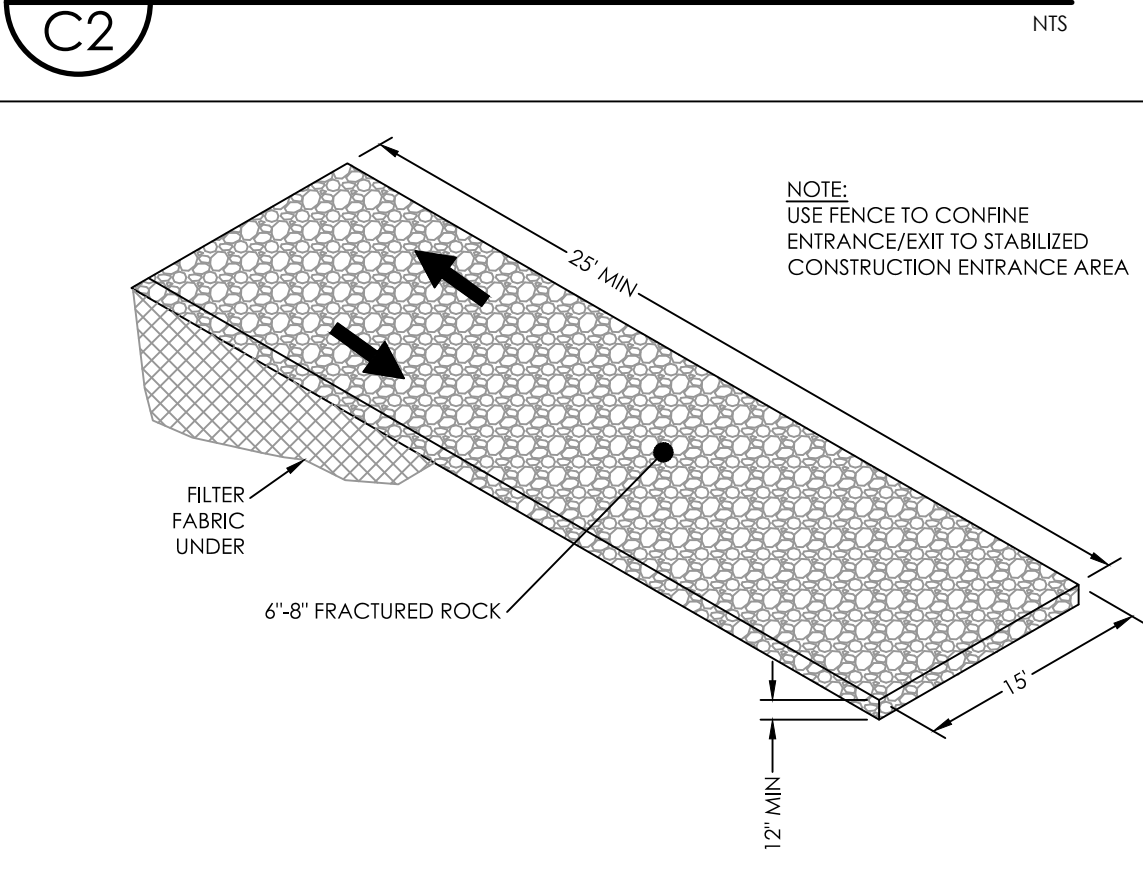
INSTALLATION
1. USE 1"X1"X2' OR 1"X1"X3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
2. CASQIA RECOMMENDS IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. IF CONTRACTOR DESIRES TO POSITION FIBER ROLLS END-TO-END, THEY SHALL TIE THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.
4. CONTRACTOR SHALL REVIEW CASQIA MANUAL FOR INSTALLATION GUIDANCE. (SE-5)
5. CASQIA RECOMMENDS THE ENDS OF THE FIBER ROLL BE TURNED UP-SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.



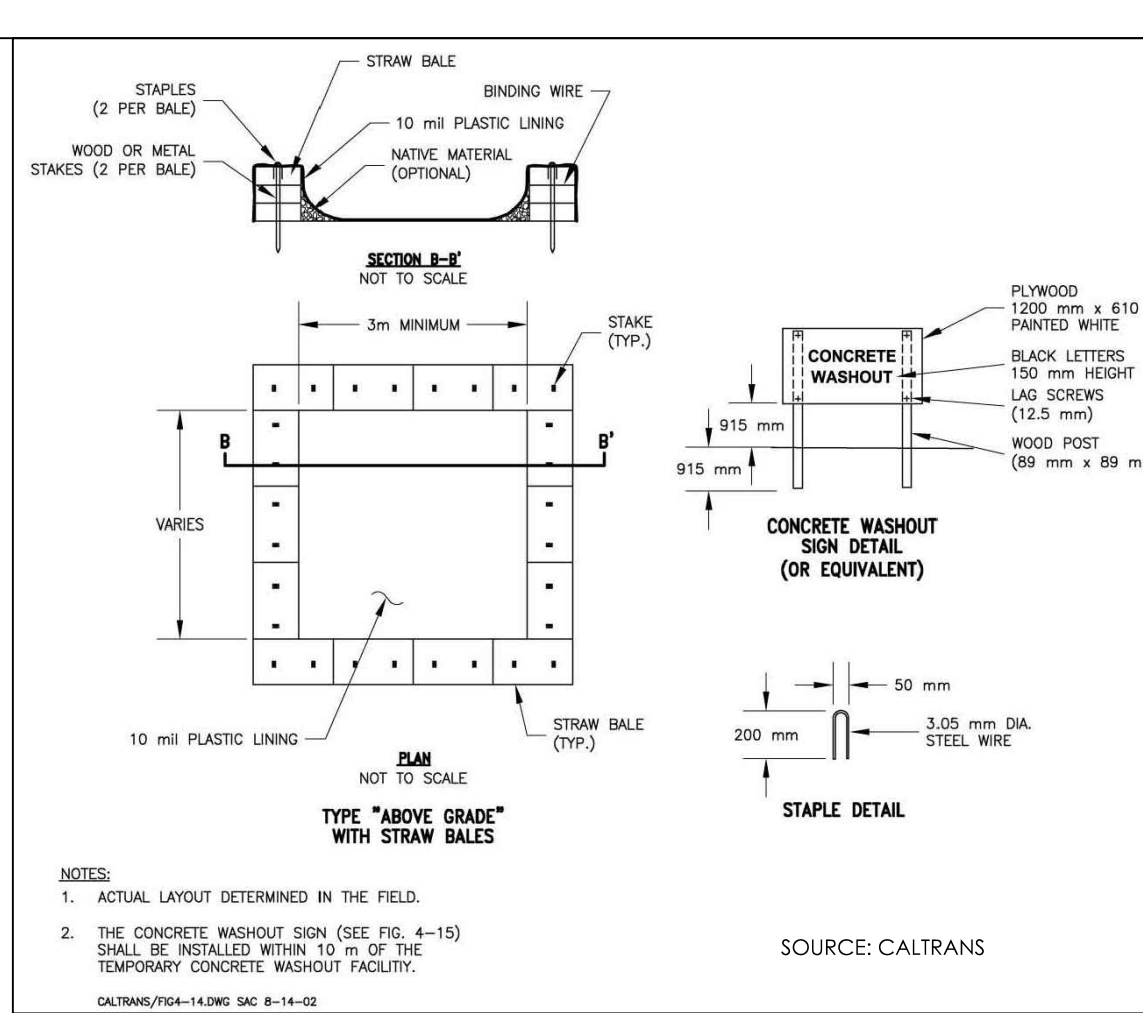
FIBER ROLL
NTS



INLET PROTECTION
NTS

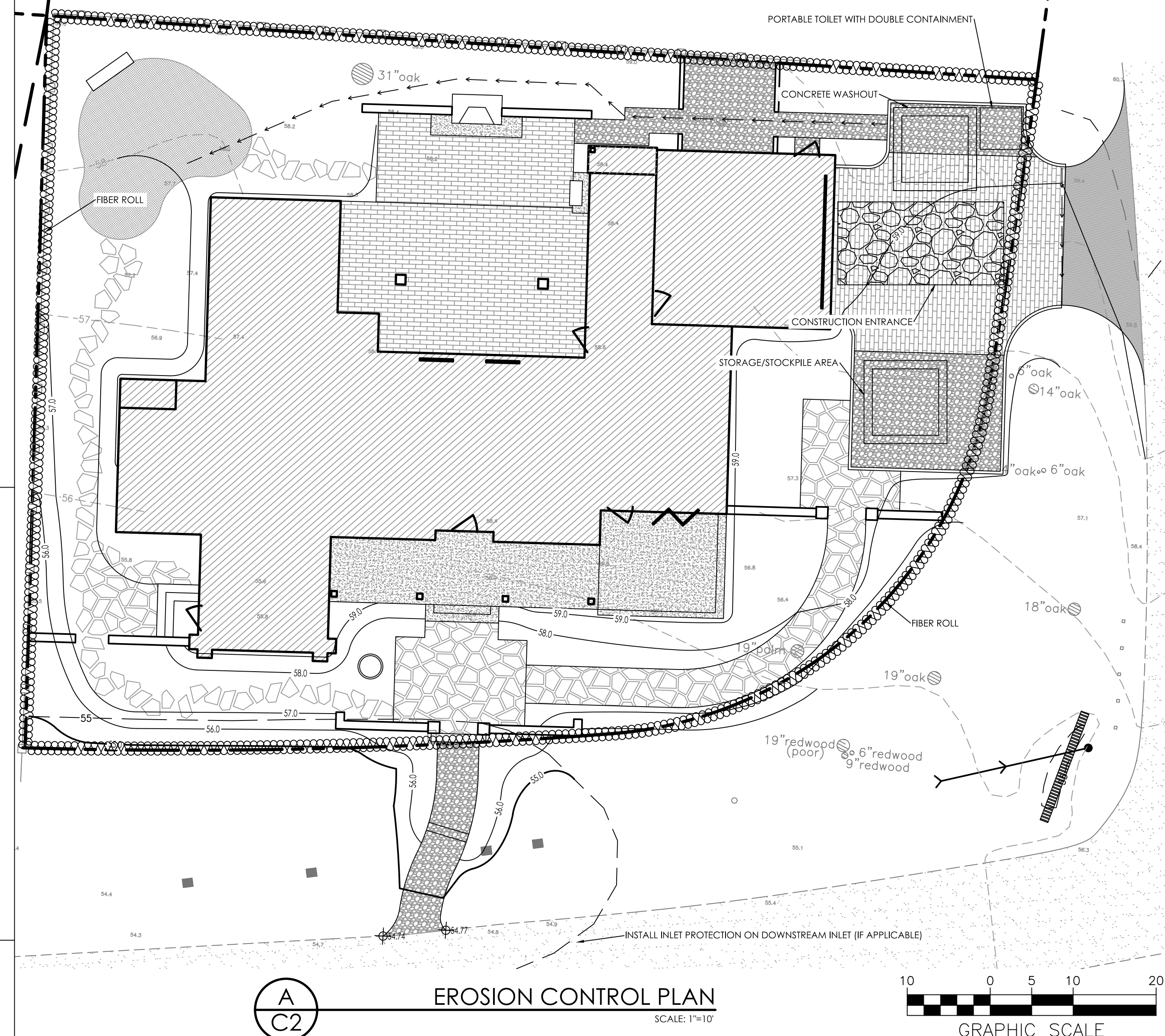


CONSTRUCTION ENTRANCE
NTS



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN (SEE FIG. 11-15) SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
[SOURCE: CALTRANS]

CONCRETE WASHOUT
NTS



CONSTRUCTION HAUL ROUTE
NTS

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C3 ENGINEERING
INCORPORATED

Civil Engineering Land Development Stormwater Control

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax: (831) 647-1194
mailto:C3Engineering.net

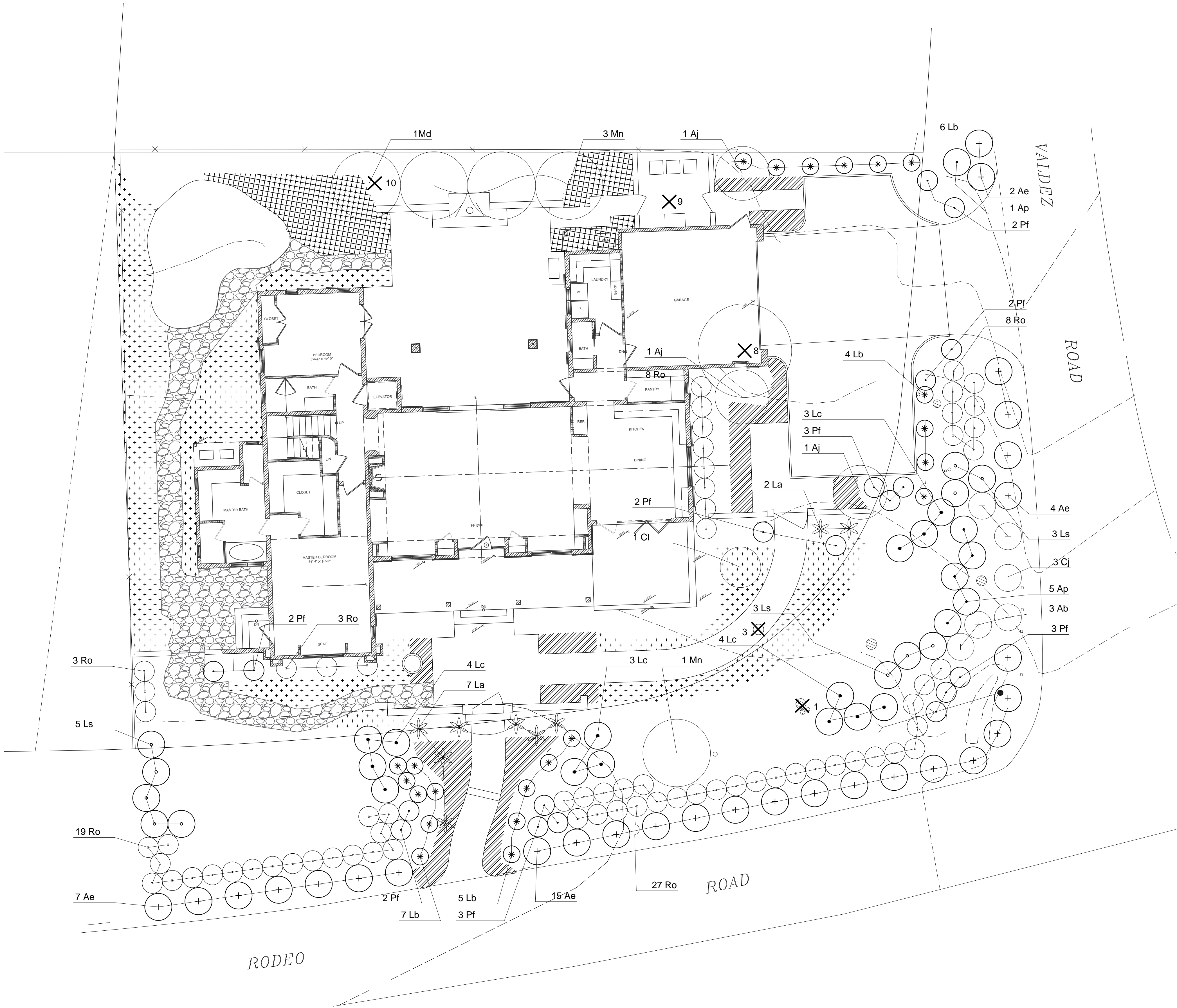
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EROSION CONTROL PLAN

KOSSLER RESIDENCE
1019 RODEO ROAD
PEBBLE BEACH, CA

SCALE: AS NOTED
DATE: 7/23/2020
DESIGN BY: JPR
DRAWN BY: JPR
CHECKED BY:
SHEET NUMBER:
C2
OF 2 SHEETS
PROJECT# 119171

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PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
Trees				
M Aj	Acer japonicum	Japanese Maple	15 Gal.	Multi-trunk
M Cl	Citrus Limon	Lemon Tree	15 Gal.	Multi-trunk
M Md	Malus domestica 'Fuji'	Fuji Apple Tree	15 Gal.	
L Mn	Melaleuca nesophila	Pink Melaleuca	15 Gal.	Multi-trunk
Shrubs				
L Ab	Arctostaphylos 'Baby Bear'	Baby Bear Manzanita	5 Gal.	
M Ae	Arctostaphylos edmundsii	Carmel Sur Manzanita	5 Gal.	
L Ap	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	5 Gal.	
L Cj	Ceanothus 'Julia Phelps'	CA Lilac 'Julia Phelps'	5 Gal.	
L La	Lavandula Agustofolia	English Lavender	1 Gal.	
L Ls	Leucodendron 'Safari Sunset'	Conebush	5 Gal.	
L Lc	Leucospermum condifolium 'Flame Giant'	Pincushion Bush	5 Gal.	
L Lb	Lomandra longifolia 'Breeze'	Mat Rush	1 Gal.	
M Pf	Pennisetum 'Fairy Tails'	Evergreen Fountain Grass	1 Gal.	
L Ro	Rosmarinus officinalis	Rosemary	5 Gal.	
Groundcovers				
L	Thymus serpyllum	Creeping Thyme	1 Gal.	
M	Fragaria chiloensis	Creeping strawberry	4" pot	
L	Carex tumulicola	Berkeley Sedge	1 Gal.	

TREE REMOVAL LEGEND

See Arborist's Report dated 3/2/20 for Details

X Tree to be Removed

Tree	DBH	Species	Health	Structure
#1	12.5	Monterey Pine	Poor	Poor
#3	18.5	Palm	Poor	Fair
#8	11.7	Monterey Pine	Fair	Fair
#9	17	Holly	Fair	Fair
#10	31	Coast Live Oak	Poor	Poor

Total Trees to be Removed 5

Total Mitigation Trees Required per Arborist Report 9

Total Mitigation Trees shown on Planting Plan 9

PLANTING PLAN

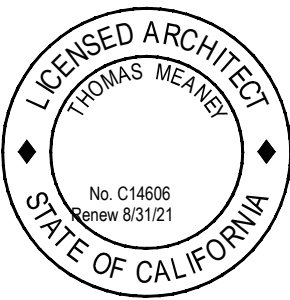
SCALE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

TOM MEANEY ARCHITECT

629 STATE STREET • SUITE 240 • SANTA BARBARA, CA • 93101
805.895.2836 • TOM@TOMMEANEY.COM • WWW.TOMMEANEY.COM

KOSSLER RESIDENCE
1019 RODEO ROAD
PEBBLE BEACH, CALIFORNIA 93953



Date: MAR 2020

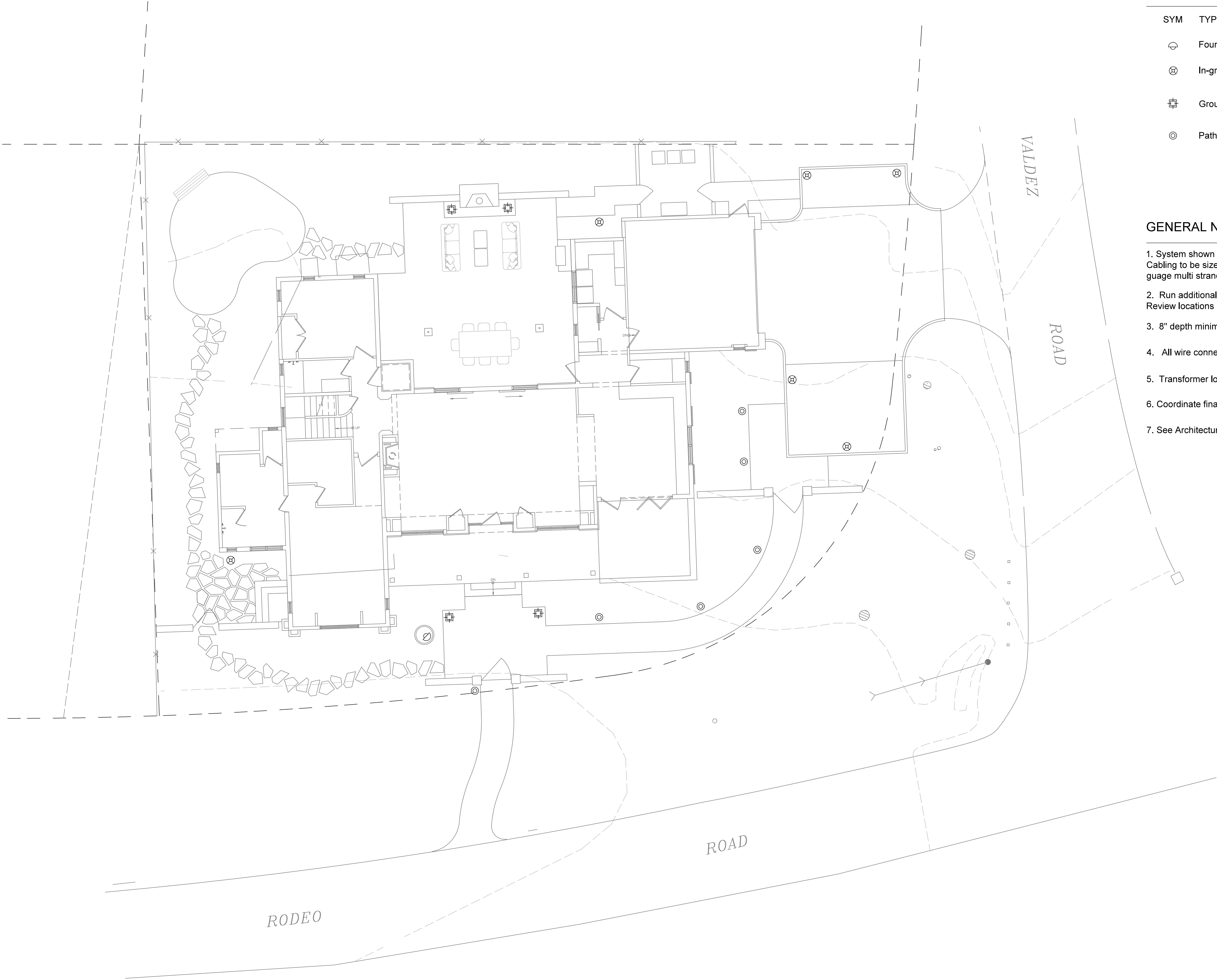
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Sheet:

L1.0

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FIXTURE LEGEND

SYM	TYPE	MANUFACTURER / NUMBER	LAMP	FINISH
	Fountain Light	Focus Industries, SL-33 AB-LED	5 Watt	Acid Rust Copper
	In-grade Fixture	BK Lighting -Mini-Micro Drive Star	3 Watt	Bronze Satin
	Ground Lantern	Contardi Lighting, Muse Outdoor LED Lantern. Customize and connect to site lighting circuit	3 Watt	Aged Iron
	Path Light	FX Lighting: FG-3LED-BZ	3 Watt	Bronze

GENERAL NOTES

1. System shown schematically for graphic clarity. Verify all light locations and cable runs in field with Landscape Architect. Cabling to be sized to provide a minimum 10.5 volts and a maximum of 11.5 volts to all fixtures. Minimum cable size is 12 guage multi strand direct burial cable.
2. Run additional 2" sleeves under all paving areas for possible future site lighting. Review locations in field with Landscape Architect
3. 8" depth minimum cable burial.
4. All wire connections shall be water-proofed using fully encapsulated, direct burial waterproof connectors.
5. Transformer locations to be determined.
6. Coordinate final switching with Owner.
7. See Architectural Drawings for all building mounted fixtures.



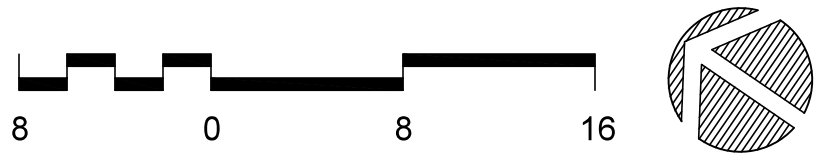
REVISIONS:		
NO.	DATE	DESCRIPTION

PROJECT:
KOSSLER
RESIDENCE
1019 Rodeo Road
Pebble Beach, CA 93953

PROJECT NO: 19.066
DATE: 06/04/2020
SCALE: AS SHOWN
DRAWN | CHECKED: JDL/SP
ISSUANCE:
PLANNING

SHEET NAME:
Lighting Plan

SHEET NO:
L-2.0






SURFACE MOUNT
MINI DRIVESTAR™

"I love this fixture because it is a great, inconspicuous light for garden pathways. Ron (the boss) hates using bollards in our landscape designs... they are far too commercial and distracting. The Mini DriveStar™ lights the pathway while letting the plants shine"

Kimberly Stuart, Ron Rule Consultants Ltd., BKU Fall 2017

MATERIAL

FOR USE WITH

Lighting

Surface Mount, Style 'K'
 (Shown in
 Clear Anodized Powder (CAP) finish)

2" Dia.
 (51mm)

Style 'K'

2" Dia.
 (51mm)

Style 'B'

9 1/4"
 (235mm)

1 1/8"
 (22mm)

6" Dia.
 (152mm)

1 5/8" Dia.
 (41mm)

See page 123 for Catalog ordering information.


B-K LIGHTING
 Quality to Last a Lifetime
www.bklighting.com

119

FXLuminaire

LED Path Lights

PROJECT

CATALOG #

TYPE

NOTES

FG Path Light

DESIGNER PREMIUM

Timeless design for practical area lighting. 1, 3, 6, or 9 LED. Copper and brass construction.

Quick Facts

- Copper/brass construction
- Natural, powder coated, or antiqued copper/brass
- Cree® integrated LEDs
- ProAim™ adjustability
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Dimmable
- Input voltage: 10-15V

5.0" (127 mm)

22.0" (559 mm)

6.9" (175 mm)

22.0" (559 mm)

LANDSCAPE LIGHTING

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