

## Exhibit B

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**EXHIBIT B**  
**DRAFT RESOLUTION**

**Before the Planning Commission**  
**in and for the County of Monterey, State of California**

In the matter of the application of:

**26195 SCENIC HOLDINGS LLC (PLN200052)**

**RESOLUTION NO.**

Resolution by the Planning Commission to:

- 1) Adopt a Mitigated Negative Declaration;
- 2) Approve a Combined Development Permit consisting of:
  - a) Coastal Administrative Permit and Design Approval for a new 1,035 sq. ft. single family dwelling, and
  - b) Coastal Administrative Permit to allow development within 750 feet of a known archaeological resource; and
- 3) Adopt a Mitigation Monitoring and Reporting Program.

[PLN200052, 26195 SCENIC HOLDINGS LLC, 26195 Scenic Road, Carmel, Carmel Area Land Use Plan (APN: 009-422-023-000)]

The Scenic Holdings application (PLN200052) for a Combined Development Permit to allow the construction of a single-family dwelling came on for public hearing before the Monterey County Planning Commission on March 31, 2021. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Planning Commission finds and decides as follows:

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
    - *1982 Monterey County General Plan*;
    - Carmel Area Land Use Plan (LUP);
    - Coastal Implementation Plan (CIP) Part 4; and
    - Monterey County Zoning Ordinance (Title 20)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The property is located at 26195 Scenic Road, Carmel (Assessor's Parcel Number 009-422-023-000), Carmel Area LUP. The parcel is zoned "MDR/2 -D(18)(CZ)" or Medium Density Residential in the Coastal Zone with a design control overlay, maximum gross density 2 units/acre and a 18-foot height limit. A single-family residence is a principal use allowed within this zone.
  - c) The subject parcel is within 750 feet of known archaeological resources. Pursuant to the Coastal Implementation Plan Chapter

20.146.090 of Monterey County Zoning ordinance (Title 20) for the Carmel Area Land Use Plan, an archaeological report is required. The archaeological assessment (File No. LIB200085) prepared by Susan Morley, M.A. identifies mitigations to reduce potential impacts to less than significant (See Finding 4 below).

- d) The project is consistent with Carmel LUP Key Policy 2.8.2 to incorporate all site planning and design features to minimize or avoid impacts to archaeological resources because there are no sunken elements, thereby limiting grading or landform alteration to only the amount necessary to implement a standard foundation.
- e) The 15'-7" height proposed is below the 18-foot maximum height limit allowed pursuant to Section 20.1.060 of Title 20. To ensure the height of the house is implemented in substantial conformance with the approved plans, Condition No. 3 is applied to the project requiring height verification.
- f) The project was referred to the Carmel Area Land Use Advisory Committee (LUAC) for review. Based on LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors (Resolution No. 15-103), this application warranted referral to the LUAC because the project is within a Design Control overlay district and is subject to a public hearing. The Carmel Area LUAC meeting of July 20, 2020 resulted in a vote of 6 (ayes) - 1 (noe) to recommend approval of the project subject to height verification.
- g) The subject parcel is within the public viewshed as defined in Chapter 2.2 of the Carmel Area LUP. Due to the unique parcel characteristics of shape, slopes, and orientation, structures would be publicly visible in any location on the property. Flagging, staking, and on-site inspection confirm that development on the parcel would be visible from Scenic Road and minimally from Carmel Beach. Siting and design control measures shall be applied in accordance with Policy 2.2.4.10 of the Carmel LUP.

*Colors and materials* – Proposed colors and materials for the dwelling include cement faux wood shingle roof, cedar wood, and Carmel stone. Proposed colors and materials were selected for compatibility with the neighborhood character and design of the adjoining residences, including the historic Kuster House.

*Lighting* – All exterior lighting is directed downward to reduce long-range visibility and to light only the intended area.

*Landscaping* – Additional landscape screening would not be appropriate in this residential neighborhood setting. The existing mature Monterey Cypress at the edge of the property does provide screening, and the proposed landscaping with ornamental vegetation that is consistent with landscapes throughout the neighborhood would soften and accent the hardscapes.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200052.



2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Environmental Services, Cypress Fire Protection District (FPD), HCD-Development, and Environmental Health Bureau (EHB). There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) The following technical reports were prepared:
    - “Soils Engineering Investigation” (LIB200086) prepared 28 February 2020 by LandSet Engineers Inc., Salinas, CA.
    - “Cypress Point Fault Study and Focused Geologic Report” (LIB200100) prepared 8 June 2020 by Haro, Kasunich and Assoc., Inc., Watsonville, CA.
    - “Preliminary Cultural Resources Reconnaissance” (LIB200085) prepared February 2020 by Susan Morley M.A., Marina, CA.

The abovementioned technical reports by outside consultants indicate there are no physical or environmental constraints that render the site unsuitable for the use proposed. Staff has independently reviewed the reports and concurs with their conclusions.
  - c) The existing access to the parcel is via a shared driveway, from Scenic Road that will remain as access to the residence on the subject parcel without any modifications.
  - d) Construction of the single-story residence requires grading of approximately 5 cubic yards of cut and 65 cubic yards of fill. In accordance with Carmel Area LUP Policy 2.2.3.7, the amount of excavation proposed for development is the minimal amount necessary for implementation of the proposed project.
  - e) The subject parcel drains into the Carmel Area of Special Biological Significance (ASBS). Condition No. 8 requires submittal of a stormwater control plan to manage impervious surface water runoff by incorporating design measures to reduce runoff. The stormwater control plan would be subject to review and approval by HCD-Environmental Services (ES).
  - f) Pursuant to Policy 2.7.4.3 of the Carmel Area LUP, a Geological report was required and prepared by Haro, Kasunich, and Assoc., Inc. 6 November 2017 (File No. LIB200100). The report asserts the average bluff location appears consistent from the years 1949-2017 and any perceived change appears negligible. Therefore, the potential for bluff retreat is considered low.
  - g) The existing structure on the subject parcel was constructed 50 or more years ago. Therefore, a Phase 1 Historic Review was requested and prepared by Kent L. Seavey (File No. LIB170179). The report indicates the structure meets none of the criteria for historical significance. Therefore, no further assessment is required.
  - h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-

Planning for the proposed development are found in Project File PLN200052.

6. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for would not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning, Cypress Fire Protection District, HCD-Development, HCD-Environmental Services (ES), and Environmental Health Bureau (EHB). The respective agencies have recommended conditions, where appropriate, to ensure that the project would not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Staff conducted a site inspection on 16 July 2020 to verify that the site is suitable for this use.
  - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200052.
7. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on 16 July 2020 to verify that the site has no violations.
  - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200052.
8. **FINDING:** **ENVIRONMENTAL REVIEW** - The Planning Commission finds, on the basis of the whole record before it, there is no substantial evidence the project would have a significant effect on the environment, and the mitigated negative declaration prepared for the project reflects the County's independent judgment and analysis.
- EVIDENCE:**
- a) Pursuant to California Environmental Quality Act (CEQA) Guidelines §15063(a), an initial study may be conducted to determine if a proposed project would have a significant impact on the environment. Staff has prepared a Mitigated Negative Declaration for the proposed project.
  - b) Pursuant to §15070(b) of CEQA Guidelines, a mitigated negative declaration may be prepared for a project when the initial study identifies potential environmental impacts. The initial study identified potential impacts to biological resources and tribal cultural resources.

- c) Proposed mitigations that would reduce potential impacts to less than significant have been agreed upon by the applicant.
- d) No significant adverse impacts would result on endangered, rare or threatened species or their habitat pursuant to section 15065; no hazardous materials exist at or around the project site that may be disturbed or removed; and no adverse impacts will result that are significant when viewed cumulatively with past, current, or probable future projects.
- e) There is no substantial evidence in light of the whole record that the project, as conditioned, would have significant adverse effect on the environment.
- f) The initial study prepared for the Scenic Holdings (PLN200052) project was circulated for public review February 25 through March 29, 2021.
- g) The custodian of documents and materials which constitute the record of proceedings upon which the decision is based is the County Housing and Community Development, 1441 Schilling Place South, 2<sup>nd</sup> floor, Salinas, California.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN200052.

9. **FINDING:**

**INITIAL STUDY – LESS THAN SIGNIFICANT**

**ENVIRONMENTAL IMPACTS -** The initial study prepared for the project identified less than significant impacts for the following resources: aesthetics, biological resources, cultural resources, geology/soils, hydrology and water quality, and land use/planning. Implementation of the project would incorporate standards conditions of approval to assure compliance with County requirements, which reduce the identified potential impacts to less than significant. Therefore, mitigations would not be necessary for the project to have a less than significant impact on these resources.

**EVIDENCE:**

- a) The subject parcel is within the viewshed from the public viewing area of Carmel City Beach as defined in the Coastal Implementation Plan. The residence has the potential to degrade the area's visual quality due to the parcel's visually prominent siting within the public viewshed. The visual resource policies set forth in the Carmel Area Land Use Plan require that the design and siting of structures not detract from the natural beauty of the scenic shoreline in the public viewshed, that development be designed to minimize visibility and blend into the natural surroundings, and that siting and design control measures be applied to new development to ensure protection of the Carmel area scenic resources. The project is subject to Section 20.146.030 of the Coastal Implementation Plan, Part 4, that sets forth visual resources development standards to ensure all development within the Carmel area public viewshed minimize visibility. Standards include appropriate siting on the parcel, unimposing height and massing, and colors and materials that subordinate the structure to the environment and integrate with the site surroundings. There are also standards for lighting, landscaping, and existing trees

and vegetation. Conditions of approval are applied to the project requiring submittal of lighting and landscape plans for approval by HCD-Planning. Therefore, adherence requirements of the conditions would reduce potential impacts on aesthetics to less than significant.

- b) The project would not involve tree removal, and a condition of approval requires placement of orange protective fencing around each nearby tree during construction activity. Therefore, the project would not result in a loss of the minimal habitat present at the site. Notwithstanding, the existing trees onsite and on adjacent properties could provide nesting habitat for birds that could be displaced by the disturbance caused by construction activities. If project-related ground or vegetation disturbance, demolition or construction occur during the bird breeding season (February 15 through August 15) and to identify if nesting habitat exists on the property, a condition is applied to the project to conduct a nesting bird survey not more than 14 days prior to initiation of ground disturbance and project-related activity. Implementation of and adherence to this condition would reduce potential impacts on nesting raptors and migratory birds to less than significant.
- c) The proposed project is located approximately 30 feet west of the Kuster property which is listed on the Monterey County's Local Official Register of Historic Resources. The Kuster House DPR forms 523a and b indicate the house is considered "significant". Alterations to the original setting through construction and subdivision have long ago lowered the integrity of the Kuster House's historical setting to such an extent that the proposed construction of the single-family residence on the subject property would not contribute to adverse impact to the neighboring historic Kuster House. According to the Phase I and the *de facto* Phase II archaeological studies, although the subject parcel is reportedly within the boundaries of CA-MNT-16, none of the indicators exist for presence of prehistoric or cultural materials. A condition is applied that requires there be no further excavation in the area surrounding the remains until the coroner and the NAHC, if applicable, are contacted and the find is treated in accordance with Public Resources Code Sections 5097.98 – 5097.994. With adherence to existing regulations and conditions of approval, impacts to archaeological resources would be less than significant.
- d) The soils engineering report finds the project feasible and implementation will be required to comply with all California Building Code Standards related to seismic hazards. Therefore, adherence to existing regulations would reduce to less than significant potential impact related to geology/soils.
- e) The site is within the Carmel Point Watershed Protection Area for the Carmel Bay Area of Special Biological Significance (ASBS), as designated by the California State Water Resources Control Board. Monterey County operates storm drain systems that discharge into the Carmel Bay ASBS; these discharges are regulated under the County's Phase II Municipal General Permit. During project construction, soil and pollutants could exit the site, resulting in surface water degradation. The project is required to comply with

Monterey County Code Title 16 that regulates stormwater runoff, erosion, sediment movement, and non-stormwater discharge. The limited scope of construction activity would not contribute runoff water exceeding drainage system capacity, alter drainage patterns, impede or redirect flood flows, or violate water quality standards. Therefore, adherence to existing regulations would reduce impacts related to hydrology and water quality to less than significant.

10. **FINDING: INITIAL STUDY – POTENTIAL ENVIRONMENTAL IMPACTS LESS THAN SIGNIFICANT WITH MITIGATIONS**

- The Initial Study identified mitigations that would reduce potentially significant impacts to less than significant for paleontological resources and tribal cultural resources. Implementation of recommended mitigations would reduce potential impacts to less than significant. Therefore, adoption of the mitigated negative declaration prepared for this project is required prior to implementation of the project.

- a) The project site is currently developed and does not contain unique geologic features. Given the small disturbance area for the project, it is unlikely that any previously unknown paleontological resources would be encountered during construction activities. However, ground disturbing activities always involve the possibility of such a discovery. In the event a previously unknown fossil is uncovered during project-related ground disturbance, all work shall cease until a certified professional paleontologist can investigate the finds and make appropriate recommendations. Therefore, a mitigation measure requires a note on the construction plans (each of the demolition and grading sheets) encompassing the language contained in this mitigation measure, including all compliance actions.
- b) The subject parcel is located in the aboriginal territory of Ohlone/Costanoan-Esselen Nation (OCEN). Pursuant to AB 52, tribal consultation took place regarding the proposed project. The outcome of the consultation with OCEN was a recommendation to have a Native American Monitor from OCEN, approved by the OCEN Tribal Council, be present onsite during any ground disturbance for the project.
- d) The Initial Study for the project provides mitigation measures that reduce impacts to less than significant for both paleontological resources and Tribal Cultural Resources, and that are included as Conditions of Approval.

11. **FINDING: PUBLIC ACCESS** - The project is consistent with the ordinances related to public trust or public use, and is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program pursuant to 20.146.130 of Monterey County Code Title 20 Coastal Implementation Plan Part 4 for the Carmel Area Land Use Plan.

- EVIDENCE:**
- a) The subject parcel is located between the sea and the first through public road, State Highway 1. Therefore, in accordance with Section 20.70.050.B.4 of Title 20 Zoning Code for Monterey County Coastal

Zone, the project is required to be in conformance with public access and public recreation policies of the Coastal Act.

- b) Monterey County Code section 20.70.050.B.4.a – *Protection of Historic Access and/or Public Trust*. There is no established trail or use area, nor any beach subject to ocean waves seaward of the first line of vegetation. Therefore, implementation of the new single family dwelling would not interfere with any form of historic public use or trust rights.
- c) Monterey County Code section 20.70.050.B.4.b – *Provision of Public Access*. Adequate access to the shoreline is available at Carmel City Beach, about 20 feet across the road from the subject property. Therefore, public access provision is not required for this new development project in accordance with PRC Section 30212 of the California Coastal Act.
- d) Monterey County Code section 20.70.050.B.4.c(i) – *Application of Access Requirements to Single Family Residential Development*. Given the proximity of public access to the shore at Carmel City Beach, the modest size of the parcel and of the residence, and no effects on natural sources of sand production necessary to maintain public beaches or tidelands, public access to tidelands or recreational areas would not be required through the subject property.

12. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and to the California Coastal Commission (CCC).
- a) The subject parcel is within 300 feet of the inland extent of a beach. Therefore, in accordance with Section 20.86.080.A.1 of Title 20, a decision on this project may be appealed to the CCC.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

- 1. Adopt a Mitigated Negative Declaration;
  - 2. Approve Combined Development Permit consisting of:
    - a) Coastal Administrative Permit and Design Approval for construction of a new 1,035 sq. ft. single family dwelling, and
    - b) Coastal Administrative Permit for development within 750 feet of a known archaeological resource; and
  - 3. Adopt a Mitigation Monitoring and Reporting Program
- for Assessor's Parcel Number 009-422-023-000 (6,671 sq. ft.) in general conformance with the attached Plan set and subject to the nine (9) Conditions of Approval and two (2) Mitigation Measures, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31<sup>st</sup> day of March 2021 upon motion of \_\_\_\_\_, seconded by \_\_\_\_\_, by the following vote:

AYES:

NOES:

ABSENT:  
ABSTAIN:

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Erik Lundquist, AICP, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200052

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN200052) allows construction of a 1,035 sq. ft. one-story single family dwelling to occur within 750 feet of a known archaeological resource. The property is located at 26195 Scenic Road (Assessor's Parcel Number 009-422-023-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit] (Resolution Number \_\_\_\_\_) was approved by the Planning Commission for Assessor's Parcel Number 009-422-023 on 31 March 2021 The permit was granted subject to 9 conditions of approval and 2 Mitigation Measures which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.



### 3. PD041 - HEIGHT VERIFICATION

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Chief of Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Chief of Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Chief of Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

#### 4. CC01 INDEMNIFICATION AGREEMENT

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

#### 5. PW0031 – BOUNDARY SURVEY

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Owner/Applicant shall have a professional land surveyor perform a boundary survey of the Southeasterly boundary line(s) of the subject parcel and have said line monumented.

**Compliance or Monitoring Action to be Performed:** Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the Southeasterly boundary line(s) of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

## 6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

## 7. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** RMA-Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD- Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD- Development Services.

## 8. STORMWATER CONTROL PLAN

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The applicant shall provide a stormwater control plan to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by HCD-Environmental Services. (HCD-Environmental Services)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of any grading or building permits, the applicant shall submit a stormwater control plan to HCD-Environmental Services for review and approval.

## 9. WINTER INSPECTIONS - AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)

**Responsible Department:** Environmental Services

**Condition/Mitigation Monitoring Measure:** The owner/applicant shall schedule weekly inspections with HCD-Environmental Services during the rainy season, October 15th to April 15th, to ensure contaminants are not discharged into the Carmel Bay Area of Special Biological Significance. This inspection requirement shall be noted on the Erosion Control Plan. (HCD-Environmental Services)

**Compliance or Monitoring Action to be Performed:** During construction, the owner/applicant shall schedule weekly inspections with HCD-Environmental Services in the rainy season (October 15th to April 15th).

#### 10. PDSP001 - Mitigation Measure (MM) No. 1 - Note on Plans: Paleontological Resources

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** Ground disturbing activities always involve the possibility of uncovering previously unknown paleontological resources. In the event a previously unknown fossil is uncovered during project-related ground disturbance, all work shall cease until a certified professional paleontologist can investigate the finds and make appropriate recommendations. Recommendations shall include fossil salvage, curation, and reporting requirements. Owner/applicant shall include a note on the construction plans (each of the demolition and grading sheets) encompassing the language contained in this mitigation measure, including all compliance actions.

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of permits from HCD-Building Services, owner/applicant shall submit to HCD-Planning for review and approval construction plans containing the language of this mitigation measure.

## 11. PDSP002 - Mitigation Measure (MM) No. 2 - TRIBAL CULTURAL MONITOR

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** To ensure that Tribal Cultural Resources incur less than significant impacts, a Tribal Monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or another appropriately NAHC-recognized representative, shall be on-site during project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall contact a qualified professional archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA). This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Any artifacts found that are not associated with a finding of human remains shall be cataloged by both the Tribal monitor and the qualified professional archaeologist. To facilitate data recovery of smaller midden components, such as beads or lithic debitage, the excavated soil from the project site shall be screened during monitoring. Once cataloged, the qualified professional archaeologist shall take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, all artifacts, at the discretion of the property owner, shall be returned within one year to a representative of the appropriate local tribe as recognized by the NAHC, or of the Monterey County Historical Society.

**Compliance or  
Monitoring  
Action to be Performed:**

**Mitigation Measure Action (MMA) No. 2.a**

Prior to the issuance of permits from HCD-Building Services, the owner/applicant shall include a note on the construction plans (each of the demolition and grading sheets) encompassing the language contained in Mitigation Measure No. 2, including all compliance actions. The owner/applicant shall submit said plans to HCD-Planning for review and approval.

**Mitigation Measure Action (MMA) No. 2.b**

Prior to the issuance of permits from HCD-Building Services, the applicant/owner shall submit evidence to the satisfaction of the Chief of HCD-Planning that a Tribal monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or another appropriately NAHC-recognized representative, has been retained to monitor the appropriate construction activities. This Tribal Monitor shall be retained for the duration of any project-related grading and excavation to a reasonable depth as requested by the Tribal monitor, and in consultation with HCD-Planning.

**Mitigation Measure Action (MMA) No. 2.c**

Prior to construction of the residence allowed under the permit issued by HCD-Building Services, the Tribal monitor or another appropriately NAHC-recognized representative shall submit a letter to HCD-Planning confirming participation in the monitoring and provide a summary of archaeological and/or cultural finds or no finds, as applicable.

**Mitigation Measure Action (MMA) No. 2.d**

Within one year following completion of the field work for uncovered resources, if any, a final technical report shall be submitted to HCD-Planning and the Northwest Information Center of the California Historical Resources Information System at Sonoma State University, that contains results of all analyses implemented throughout Mitigations Measure No. 2. Artifacts associated with a finding of human remains shall be reburied in accordance with State Law and penalty for violation pursuant to PRC section 5097.994.

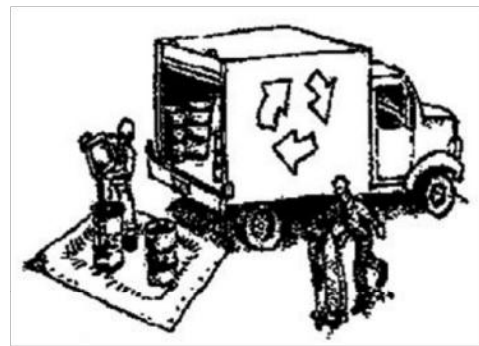






# CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



## MATERIALS & WASTE MANAGEMENT

### Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

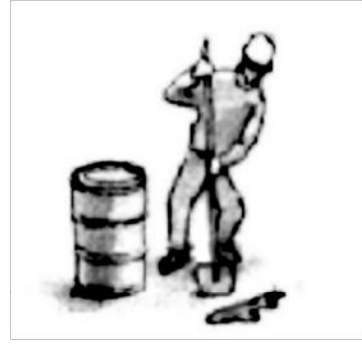
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

### Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

### Maintenance and Parking

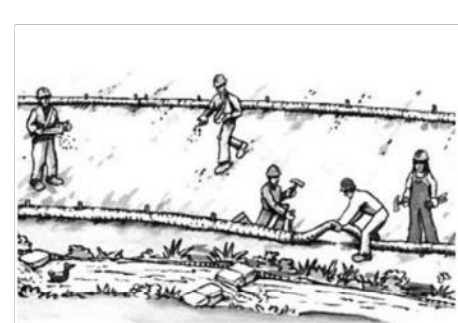
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.



## EQUIPMENT MANAGEMENT & SPILL CONTROL

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



## EARTHWORK & CONTAMINATED SOILS

### Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
  - Unusual soil conditions, discoloration, or odor
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.

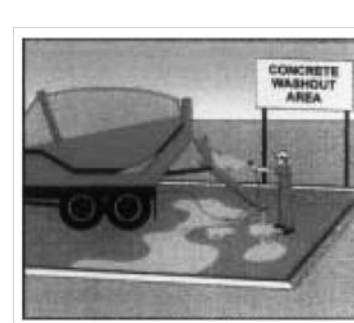


## PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

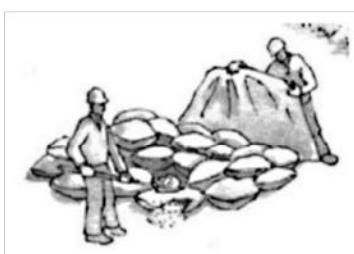
### Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.



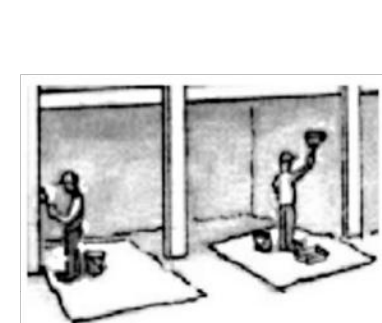
## CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



## LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



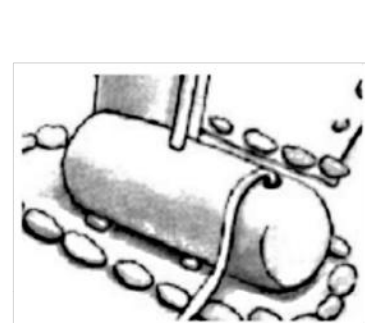
## PAINTING & PAINT REMOVAL

### Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint Removal

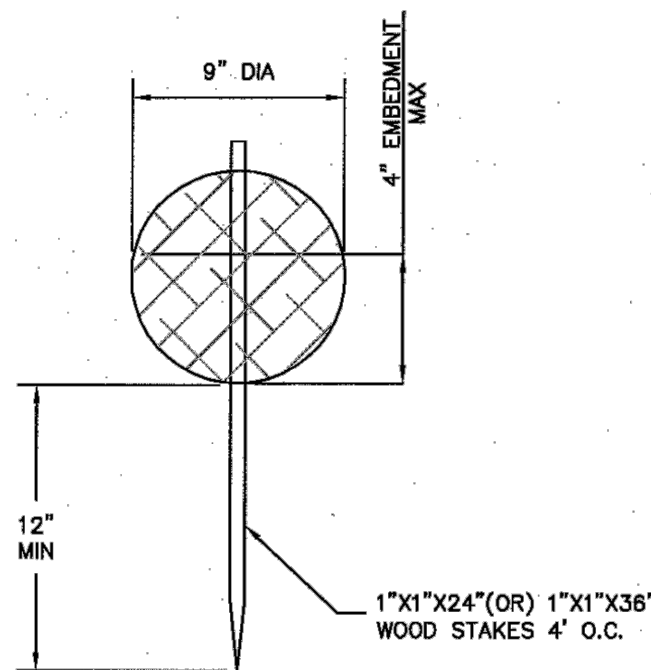
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



## DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

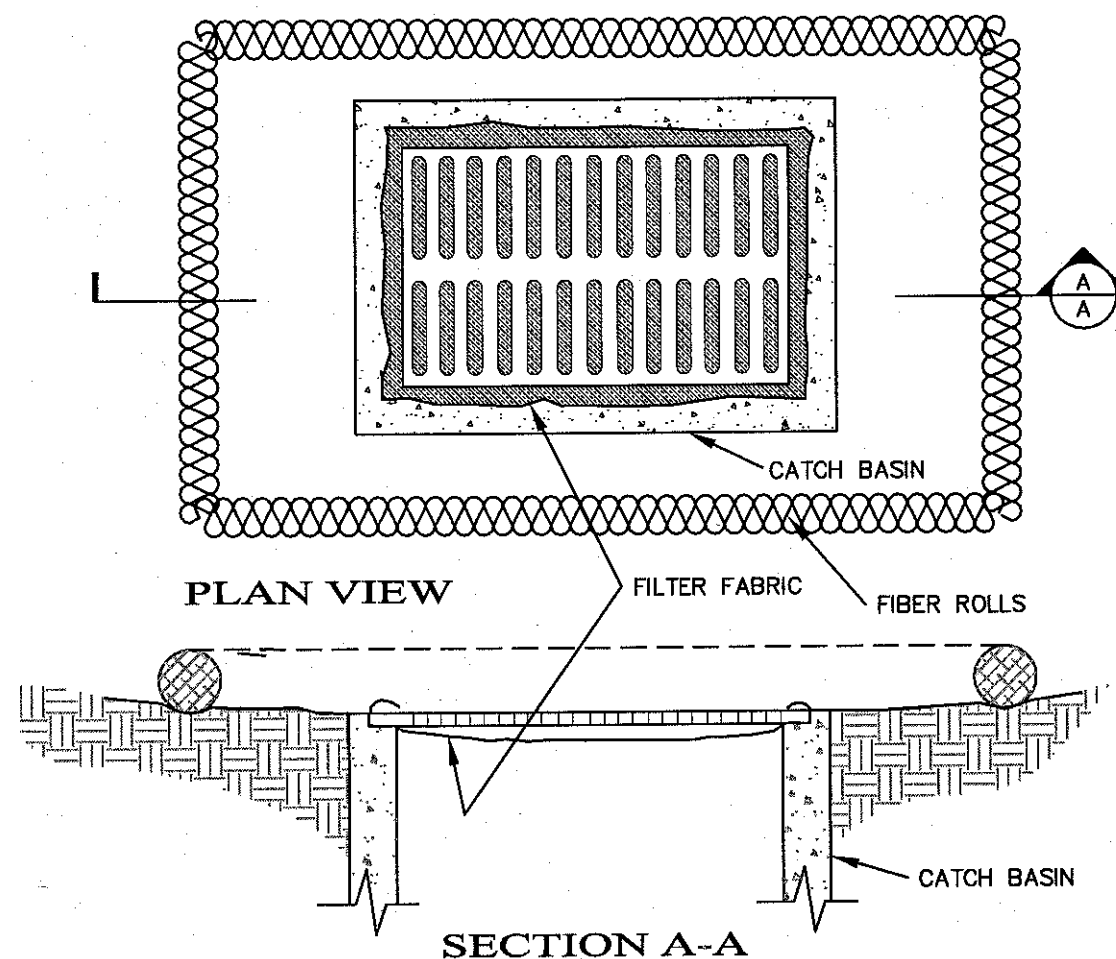
## STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



- INSTALLATION**
1. USE 1\"/>
  2. POSITION FIBER ROLLS END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
  3. PLACE FIBER ROLLS SECURELY IN A TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

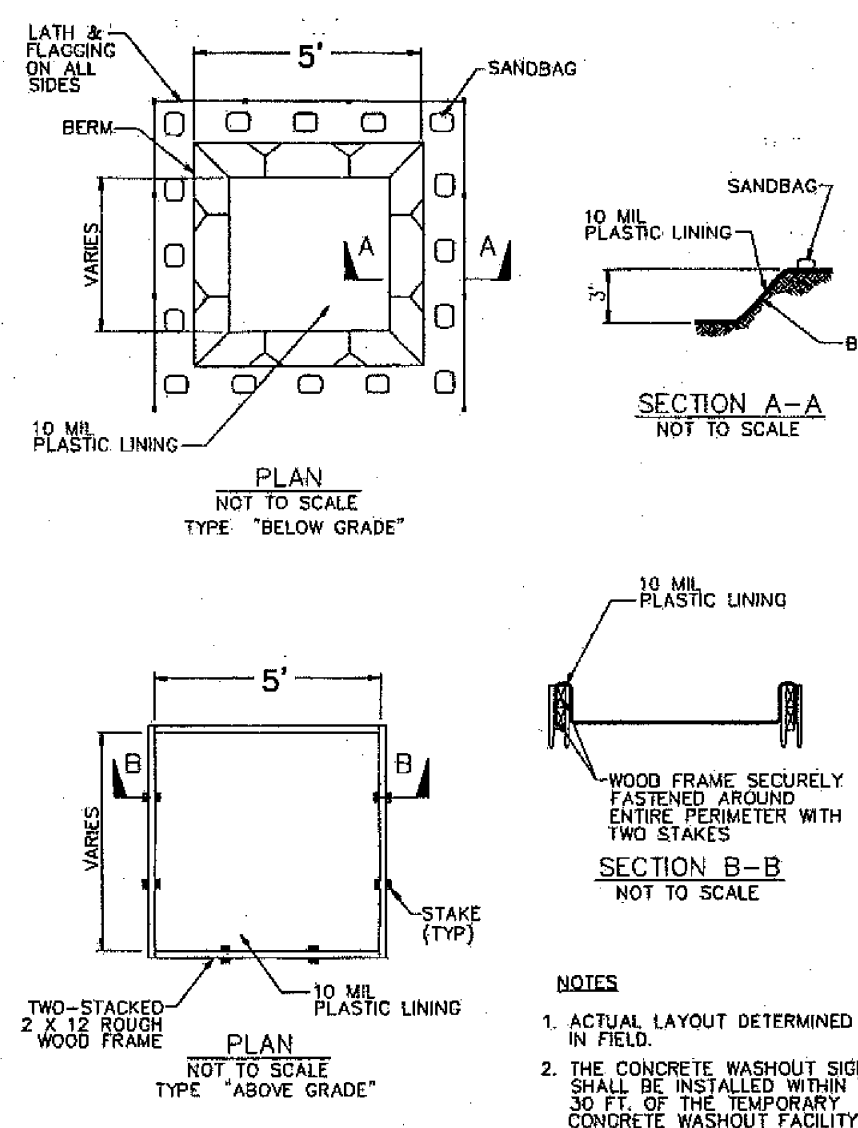
## TYP. FIBER ROLL INSTALLATION

SCALE: N.T.S.



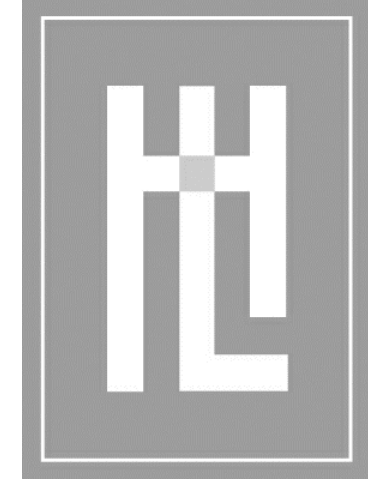
## TYP. DRAIN PROTECTION

SCALE: N.T.S.



## TYP. CONC. CLEANOUT

SCALE: N.T.S.



## HOLDREN+LIETZKE ARCHITECTURE

225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940

Ph: 831.649.6001

www.hl-arc.com

DATE: 05.01.2020

SCALE: N/A

DRAWN: DWD

JOB NUMBER: 18.15

REVISION

CONSTRUCTION BEST MANAGEMENT PRACTICES

SCENIC HOLDINGS LLC RESIDENCE

26195 SCENIC RD.  
CARMEL, CA

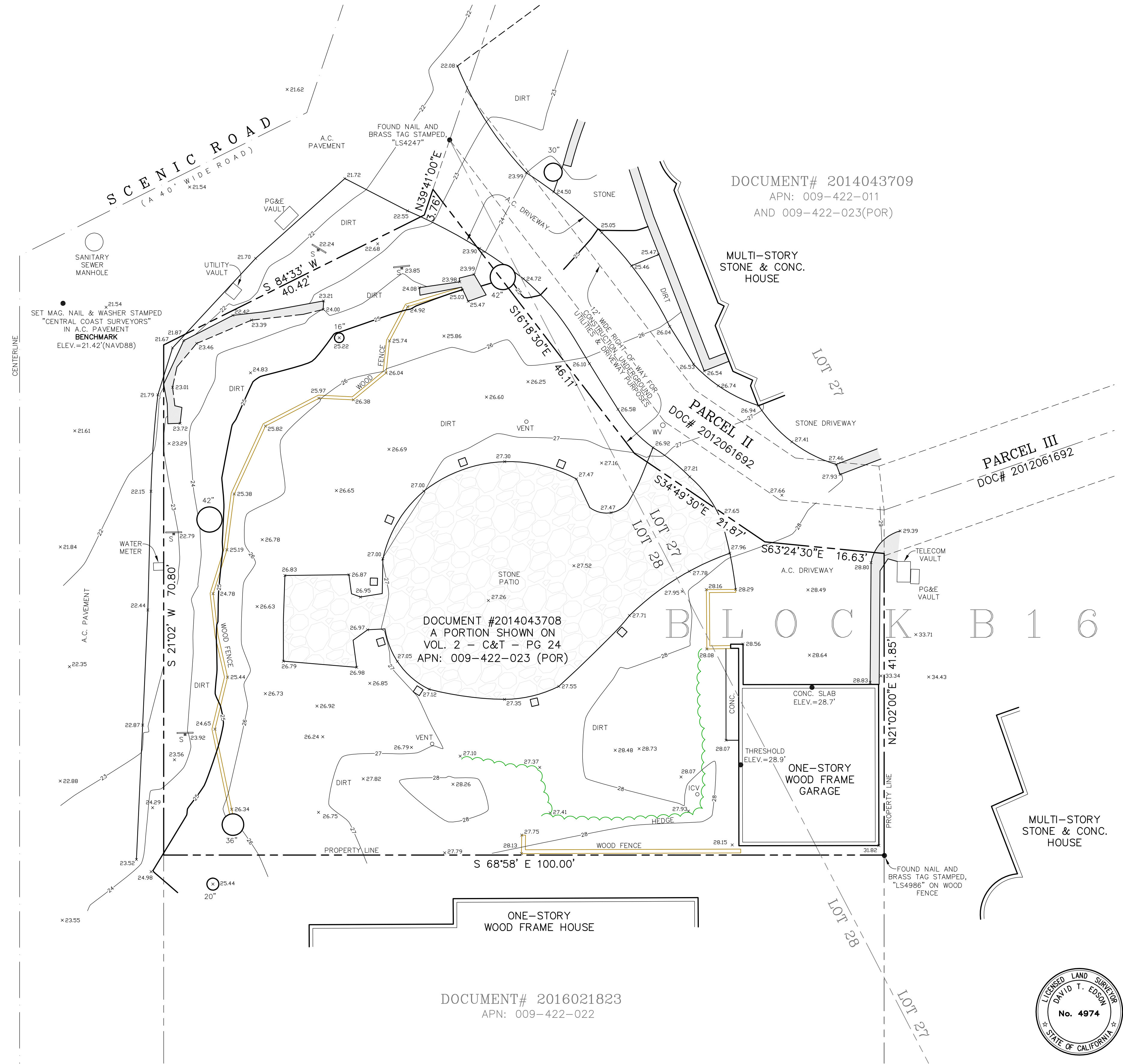
A.P.N. 009.422.023.000

A0.1



NOTES:

1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
3. ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF SCENIC ROAD NEAR A SANITARY SEWER MANHOLE, SHOWN HEREON.  
ELEVATION = 21.42 FEET (NAVD88)
4. CONTOUR INTERVAL = ONE FOOT.
5. ALL TREES ARE CYPRESS. DIAMETERS OF TREES ARE SHOWN IN INCHES.



TOPOGRAPHIC MAP

OF  
THE PARCEL DESCRIBED IN  
DOCUMENT# 2014043708  
BEING ALSO A PORTION OF  
LOT 27 & 28 IN BLOCK B16  
AS SHOWN ON THE "MAP OF ADDITION  
No.7 TO CARMEL-BY-THE-SEA  
FILED IN, VOL. 2 - C&T - PG. 24  
OFFICIAL RECORDS OF MONTEREY COUNTY

CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
Scenic Holdings, LLC

BY  
CENTRAL COAST SURVEYORS  
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940

Phone: (831) 394-4930  
Fax: (831) 394-4931

SCALE: 1" = 8' JOB No. 20-02 FEBRUARY 2020

PREPARED BY: LLJS

APN: 009-422-023 (POR)

REVISED JUNE 2020: DATUM CHANGED TO NAVD88.  
REVISED DECEMBER 2020: CONFORM TO 2014 CERTIFICATES OF COMPLIANCE



GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2016 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
- A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
- B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
- C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
- D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
15. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
16. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM.
17. CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
18. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (831) 443-3050.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
20. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
21. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OF PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
22. PAVEMENT SECTION TO BE DETERMINED AS SHOWN ON THESE PLANS.
23. A SEPARATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
24. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:

"SOIL ENGINEERING INVESTIGATION FOR THE SCENIC ROAD RESIDENCE  
(APN 009-422-023) 26195 SCENIC ROAD MONTEREY COUNTY, CALIFORNIA - PROJECT 2062-01"

PREPARED BY: LANDSET ENGINEERS, INC  
520-B CRAZY HORSE CANYON RD  
SALINAS, CA 93907  
(831) 443-6970

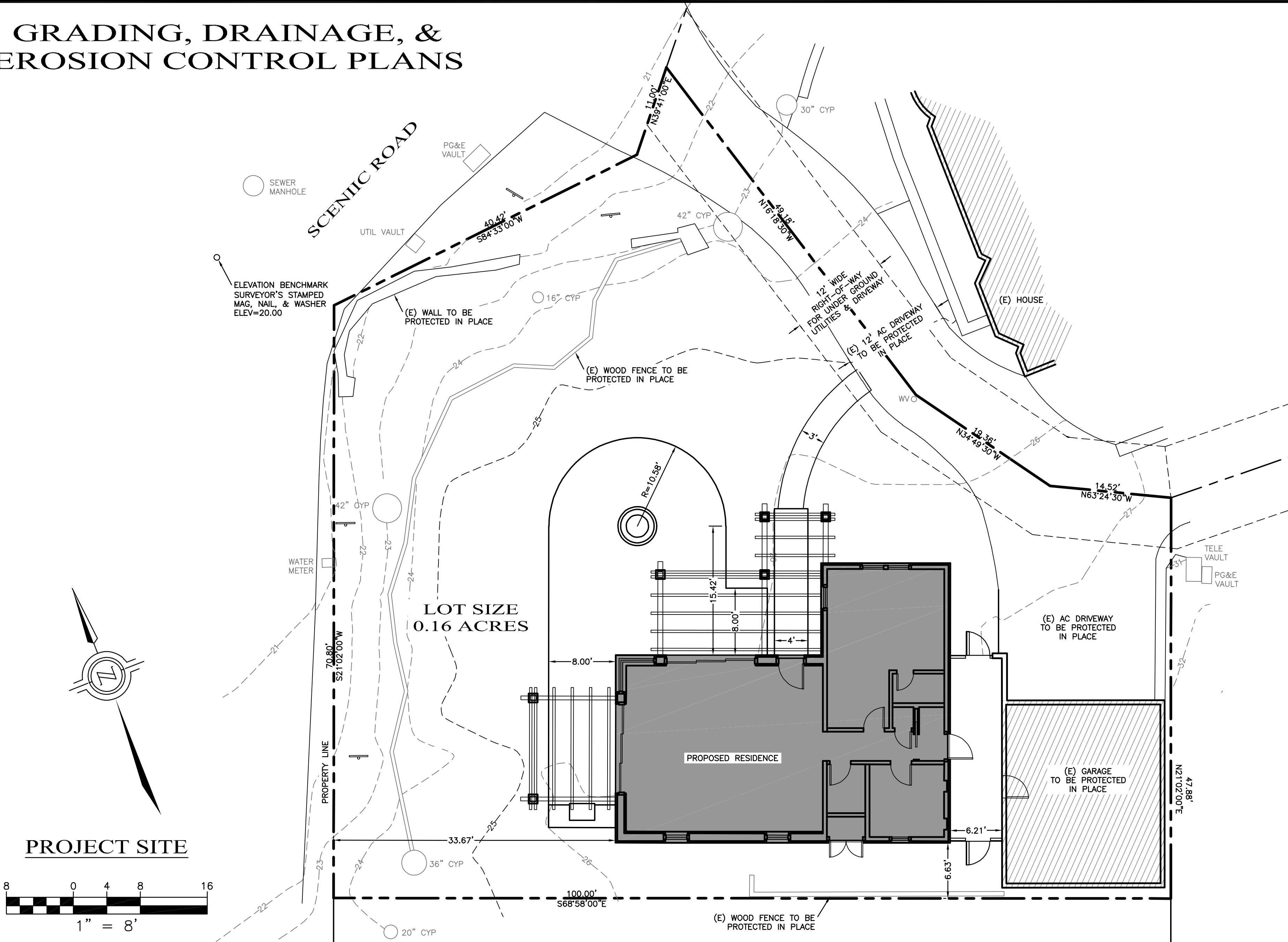
DATED: FEBRUARY 2020

3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ALL CUT AND FILL SLOPE SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
8. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
9. ELEVATION BENCHMARK: SEE SHEET C1.
10. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
12. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
13. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
14. IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED DURING CONSTRUCTION WORK SHALL BE STOPPED IMMEDIATELY WITHIN 165 FT OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA-PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF RESOURCES AND TO DEVELOPE PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
15. ALL HAUL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RESEEDED WHEN GRADING IS COMPLETE. NO HAUL ROADS SHALL BE ALLOWED IN AREAS WHICH ARE NOT SHOWN TO BE GRADED WITHOUT PRIOR APPROVAL OF THE ENGINEER. RESTORATION OF HAUL ROADS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C3.
17. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
18. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CROWN SHALL BE CLEARED OF ALL ROOTS LARGER THAN 4" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
19. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
- A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
- C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.0903)
20. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
21. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 5 FT, BY BENCHMARKING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
22. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH. NO ROCK OVER 12" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.
23. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
24. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
25. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
26. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

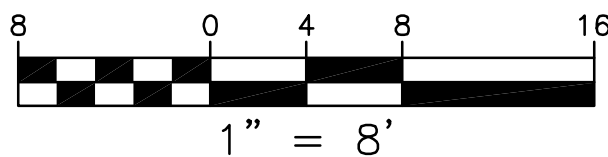
STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AT 26195 SCENIC ROAD, CARMEL CA 93923

GRADING, DRAINAGE, & EROSION CONTROL PLANS



PROJECT SITE



FIRE DEPARTMENT NOTES

1. FIRE011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE N01241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4" IN HEIGHT, 1/2" IN STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER.
2. FIRE020-REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FT OF STRUCTURES. LIMB TREES 6 FT UP FROM GROUND. REMOVE LIMBS WITHIN 10 FT OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
3. FIRE021-FIRE PROTECTION EQUIPMENT & SYSTEMS-FIRE SPRINKLER SYSTEM STANDARD. THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE-SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

| GEOTECHNICAL INSPECTION WITH TIMING OF INSPECTION          |   |                                  |                 |                  |
|--|---|----------------------------------|-----------------|------------------|
| DESCRIPTION OF THE REQUIRED INSPECTION:                    | WHEN INSPECTION IS TO BE COMPLETED:                                     | WHO WILL CONDUCT THE INSPECTION: | INSPECTOR NAME: | COMPLETION DATE: |
| INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:      | 1) PRIOR TO BACKFILLING   | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST KEYWAY/SUBEXCAVATION/OVEREXCAVATION:      | 2) DURING BACKFILL PLACEMENT - ONGOING                                  | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST BUILDING PAD SUBGRADE:                    | 1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT SLAB-ON-GRADE INSTALLATION:                        | 1) PRIOR TO CONCRETE PLACEMENT  | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST PATIO FILL, SUBGRADE, AND SAND PLACEMENT: | 1) DURING FILL PLACEMENT  | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST PATIO FILL, SUBGRADE, AND SAND PLACEMENT: | 2) SUBGRADE, PRIOR TO SAND PLACEMENT                                    | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST PATIO FILL, SUBGRADE, AND SAND PLACEMENT: | 3) SAND PRIOR TO PAVING   | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST DRAINAGE INSTALLATION:                    | 1) AFTER PIPE PLACEMENT, PRIOR TO BACKFILL PLACEMENT                    | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST DRAINAGE INSTALLATION:                    | 2) DURING BACKFILL PLACEMENT - ONGOING                                  | GEOTECHNICAL ENGINEER            |                 |                  |

ABBREVIATIONS

- AB AGGREGATE BASE  
AC ASPHALT CONCRETE  
AD AREA DRAIN  
BS BOTTOM OF STEP  
CB CATCH BASIN  
CL CENTERLINE  
DIA DIAMETER  
DWY DRIVEWAY  
E ELECTRICAL SERVICE  
(E) EXISTING  
EC END CURVE  
ELEV ELEVATION  
EP EDGE OF PAVEMENT  
FC FACE OF CURB  
FP FINISHED PAVEMENT  
FL FINISHED FLOOR ELEVATION  
FL FLOW LINE  
G GAS SERVICE  
HDPE HIGH DENSITY POLYETHYLENE  
JT JOINT UTILITY TRENCH  
K CURVE COEFFICIENT  
LF LINEAR FEET  
MIN MINIMUM  
N/A NOT APPLICABLE  
(N) NEW  
NTS NOT TO SCALE  
PG&E PACIFIC GAS & ELECTRIC  
PVC POLYVINYL CHLORIDE  
SD STORM DRAIN  
S SLOPE  
SS SANITARY SEWER  
SSCO SANITARY SEWER CLEAN-OUT  
FM FORCE MAIN  
TC TOP OF CURB  
TD TRENCH DRAIN  
TS TOP OF STEP  
TW TOP OF WALL  
TYP TYPICAL  
W WATER

LEGEND

- (E) CURB  
(E) EDGE OF PAVEMENT  
(E) MAJOR CONTOUR  
(E) MINOR CONTOUR  
PROPERTY LINE  
BUILDING ENVELOPE  
EASEMENT  
(E) JOINT UTILITY TRENCH  
(E) STORM DRAIN  
(E) SANITARY SEWER  
(E) WATER LINE  
(N) CURB  
(N) EDGE OF PAVEMENT  
(N) JOINT UTILITY TRENCH  
(N) STORM DRAIN  
(N) SANITARY SEWER  
(N) WATER LINE  
(N) WALL  
(N) SAWCUT LINE  
DESIGN MAJOR CONTOUR  
DESIGN MINOR CONTOUR  
(N) BUILDING FOOTPRINT

SHEET INDEX

- |    |                              |
|----|------------------------------|
| C1 | TITLE SHEET                  |
| C2 | DEMOLITION PLAN              |
| C3 | SITE GRADING & DRAINAGE PLAN |
| C4 | SITE CROSS SECTIONS          |
| C5 | CONSTRUCTION DETAILS         |
| C6 | EROSION CONTROL PLAN         |
| C7 | CONSTRUCTION MANAGEMENT PLAN |

**IS ENGINEERING AND SURVEYING, INC**

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LandSetEngineers.com

REGISTERED PROFESSIONAL ENGINEER  
MARK R. STEINER  
No. 69930  
EXP. 9-30-20  
CIVIL  
STATE OF CALIFORNIA

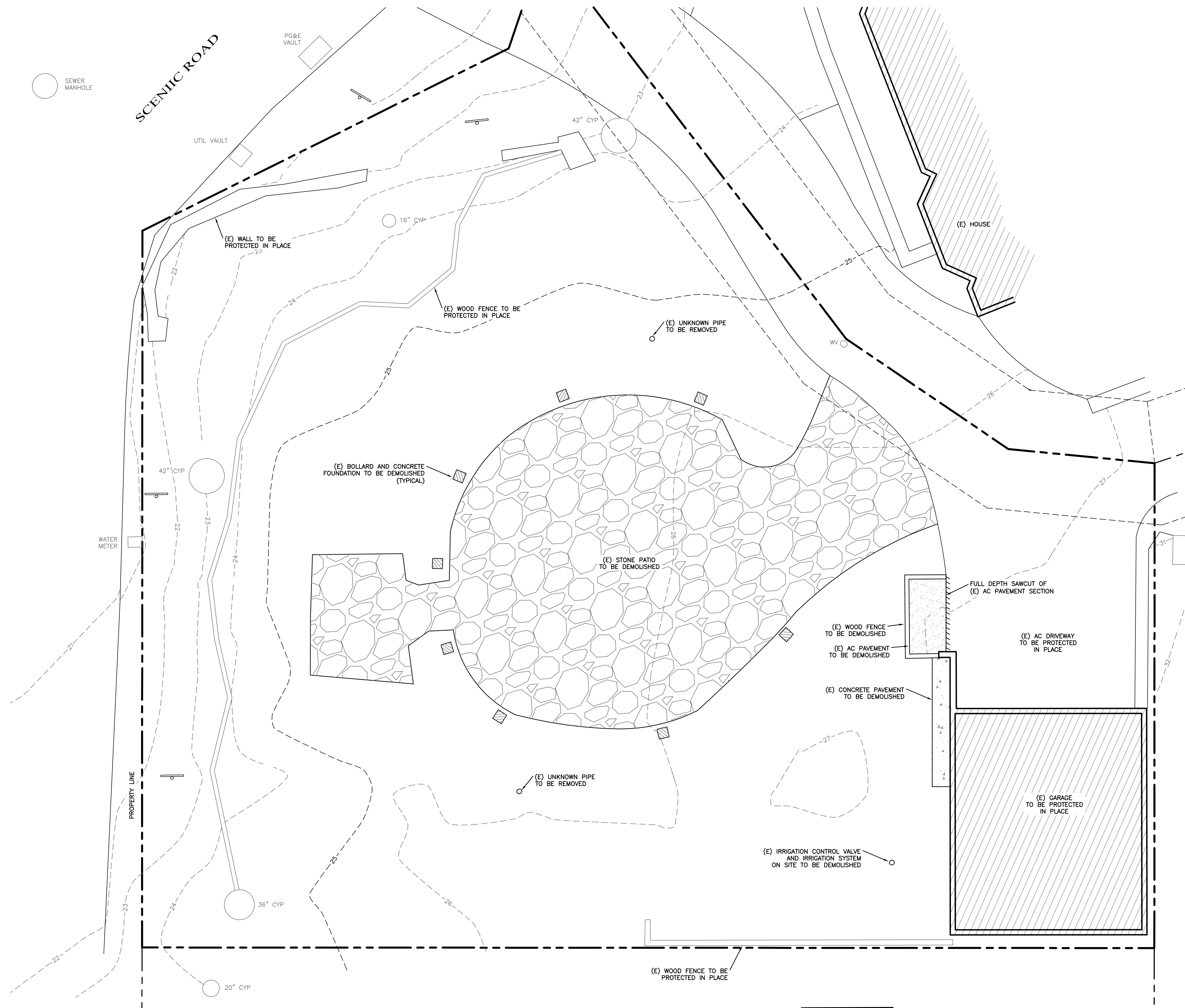
DRAWN BY: MRS  
DESIGNED BY: MRS  
DATE: 05-11-2020  
SCALE: AS SHOWN  
JOB NUMBER: 20-17  
LAST REVISED: N/A  
REVISED BY: N/A

TITLE SHEET

SCENIC HOLDINGS LLC RESIDENCE  
26195 SCENIC ROAD  
CARMEL, CALIFORNIA 93923  
APN 009-422-023

SHEET C1  
OF



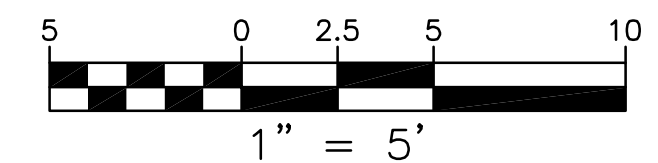


**LEGEND**

|  |                                    |
|--|------------------------------------|
|  | BUILDING TO BE PROTECTED IN PLACE  |
|  | STONE PATIO TO BE DEMOLISHED       |
|  | CONCRETE PAVEMENT TO BE DEMOLISHED |
|  | AC PAVEMENT TO BE DEMOLISHED       |

NOTE:  
THIS PROJECT PROPOSES NO TREE REMOVAL.  
ALL TREES TO BE PROTECTED IN PLACE  
UNLESS SHOWN OTHERWISE

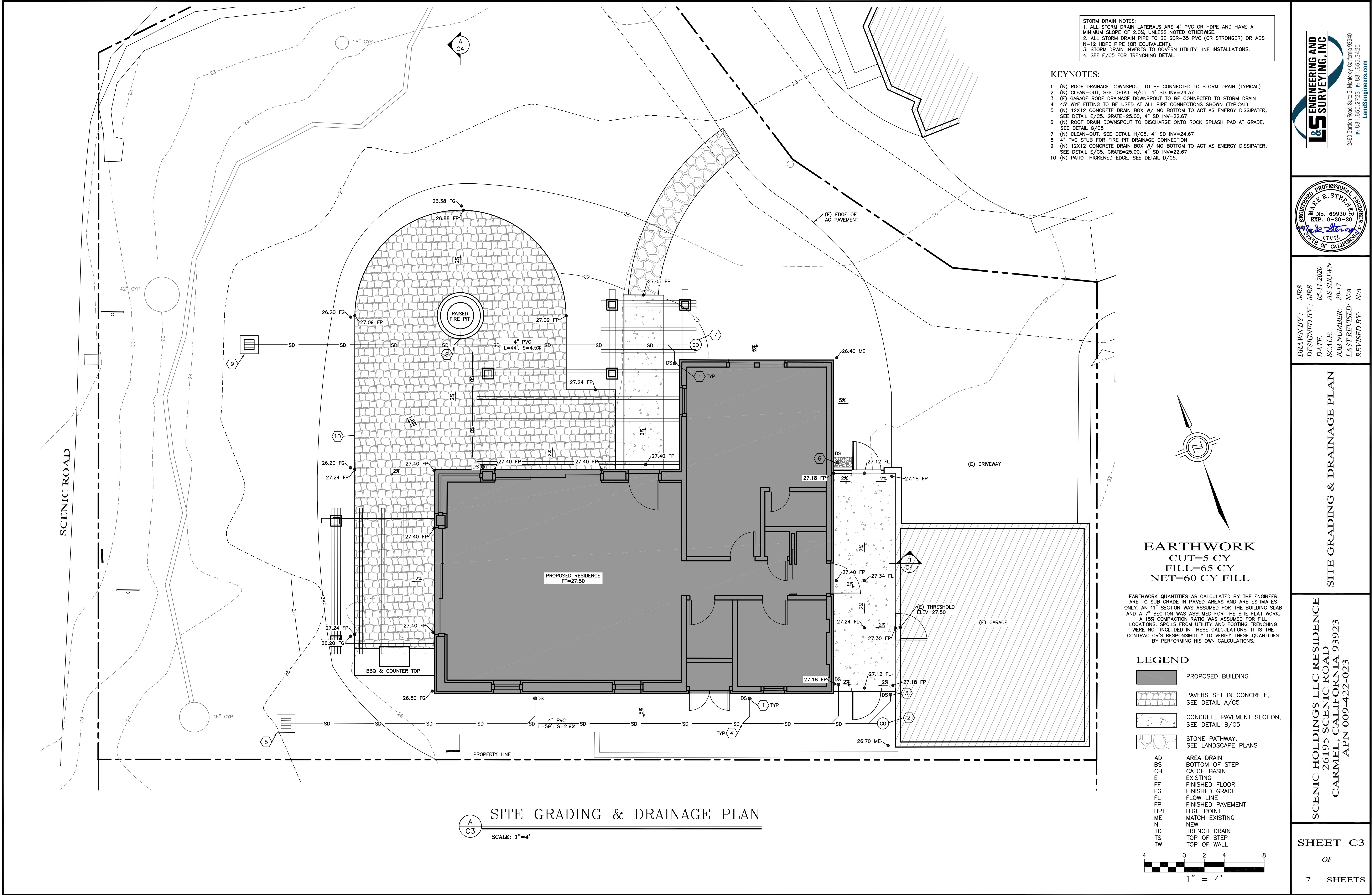
- NOTES:**
1. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SHOWN UNDERGROUND UTILITY LOCATIONS, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
  2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
  3. ALL UTILITIES AND STORM DRAIN TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE ON THIS PLAN.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE DEMOLISHED OR REMOVED.
  5. IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION, THIS WORK IS SUBJECT TO ADDITIONAL PERMITTING AND WORK CONTROLS. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND PERMITTING REQUIRMENTS FOR REMOVAL OF TYPE OF HAZARDOUS MATERIAL FOUND.



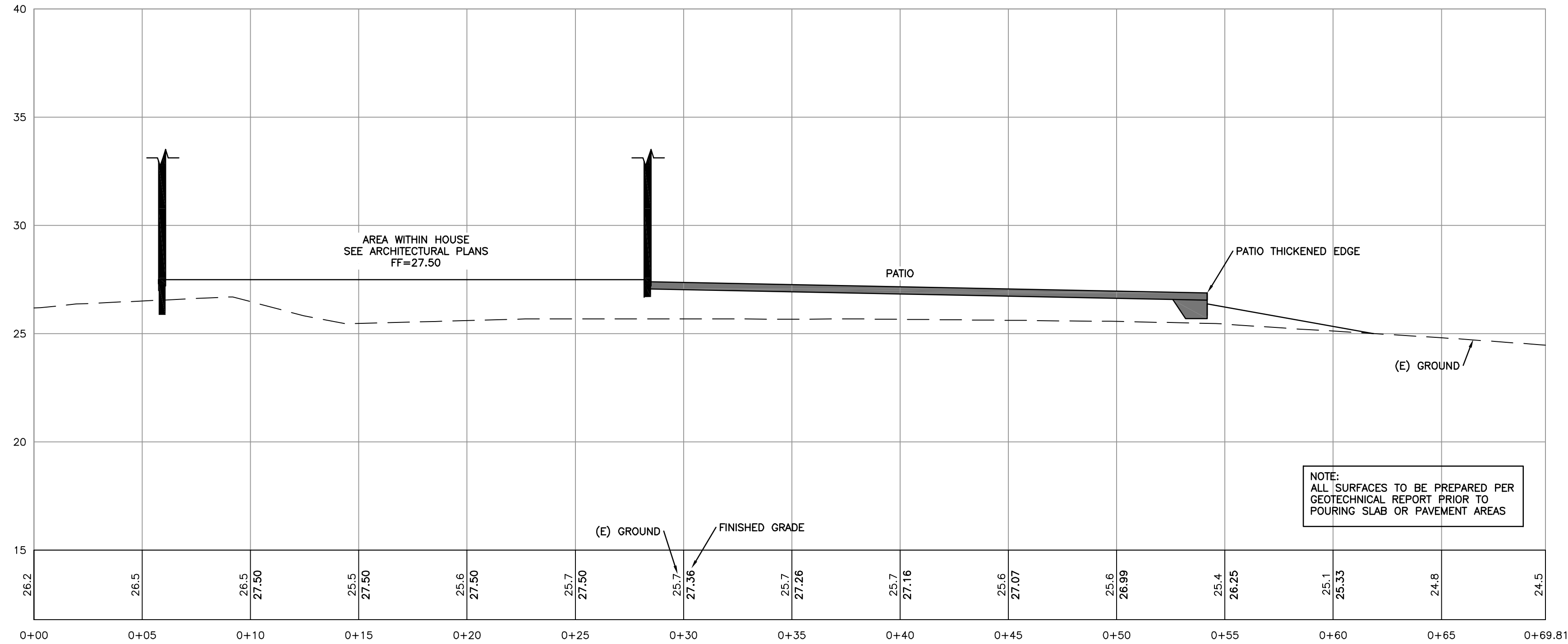
**DEMOLITION PLAN**  
SCALE: 1"=5'

|   |            |     |              |     |       |            |        |          |             |       |               |     |             |     |
|---|------------|-----|--------------|-----|-------|------------|--------|----------|-------------|-------|---------------|-----|-------------|-----|
|   |            |     |              |     |       |            |        |          |             |       |               |     |             |     |
|   |            |     |              |     |       |            |        |          |             |       |               |     |             |     |
| <table border="0"><tr><td>DRAWN BY:</td><td>MRS</td></tr><tr><td>DESIGNED BY:</td><td>MRS</td></tr><tr><td>DATE:</td><td>05-11-2020</td></tr><tr><td>SCALE:</td><td>AS SHOWN</td></tr><tr><td>JOB NUMBER:</td><td>20-17</td></tr><tr><td>LAST REVISED:</td><td>N/A</td></tr><tr><td>REVISED BY:</td><td>N/A</td></tr></table> | DRAWN BY:  | MRS | DESIGNED BY: | MRS | DATE: | 05-11-2020 | SCALE: | AS SHOWN | JOB NUMBER: | 20-17 | LAST REVISED: | N/A | REVISED BY: | N/A |
| DRAWN BY:   | MRS        |     |              |     |       |            |        |          |             |       |               |     |             |     |
| DESIGNED BY:  | MRS        |     |              |     |       |            |        |          |             |       |               |     |             |     |
| DATE:   | 05-11-2020 |     |              |     |       |            |        |          |             |       |               |     |             |     |
| SCALE:  | AS SHOWN   |     |              |     |       |            |        |          |             |       |               |     |             |     |
| JOB NUMBER:   | 20-17      |     |              |     |       |            |        |          |             |       |               |     |             |     |
| LAST REVISED:   | N/A        |     |              |     |       |            |        |          |             |       |               |     |             |     |
| REVISED BY:   | N/A        |     |              |     |       |            |        |          |             |       |               |     |             |     |
| <p align="center"><b>DEMOLITION PLAN</b></p>  |            |     |              |     |       |            |        |          |             |       |               |     |             |     |
| <p>SCENIC HOLDINGS LLC RESIDENCE<br/>26195 SCENIC ROAD<br/>CARMEL, CALIFORNIA 93923<br/>APN 009-422-023</p>   |            |     |              |     |       |            |        |          |             |       |               |     |             |     |
| <p><b>SHEET C2</b><br/>OF<br/>7 SHEETS</p>  |            |     |              |     |       |            |        |          |             |       |               |     |             |     |

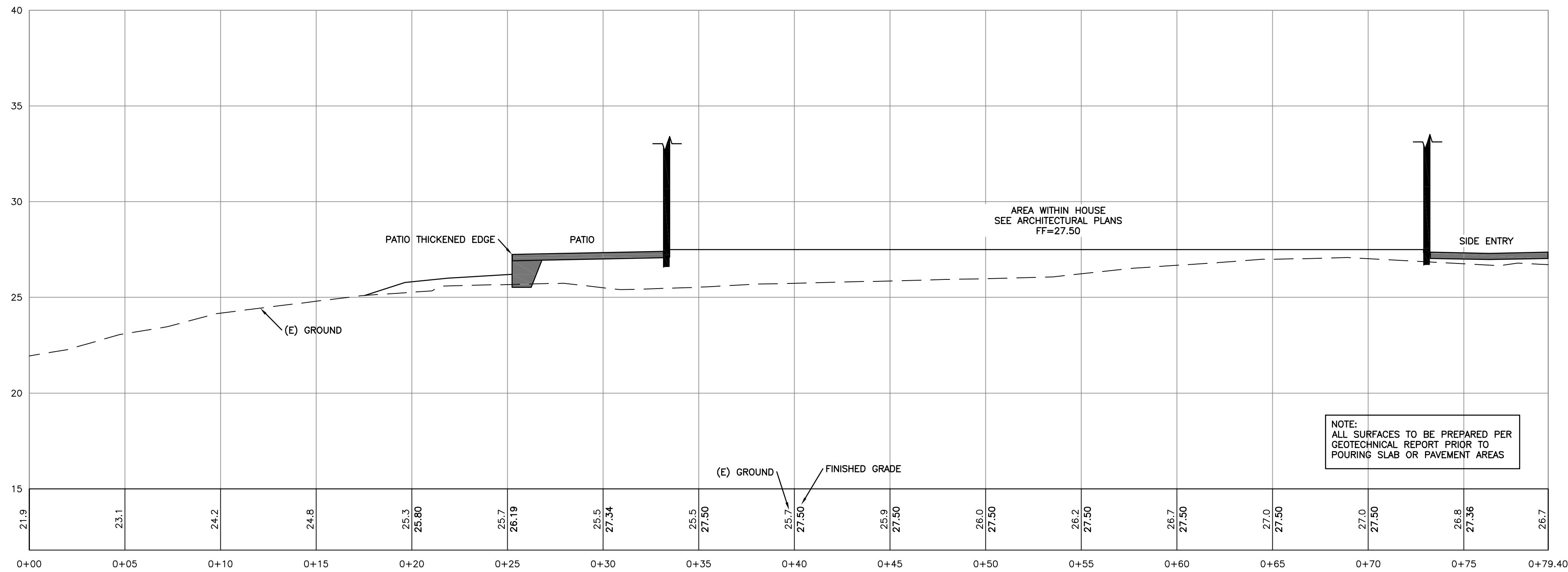




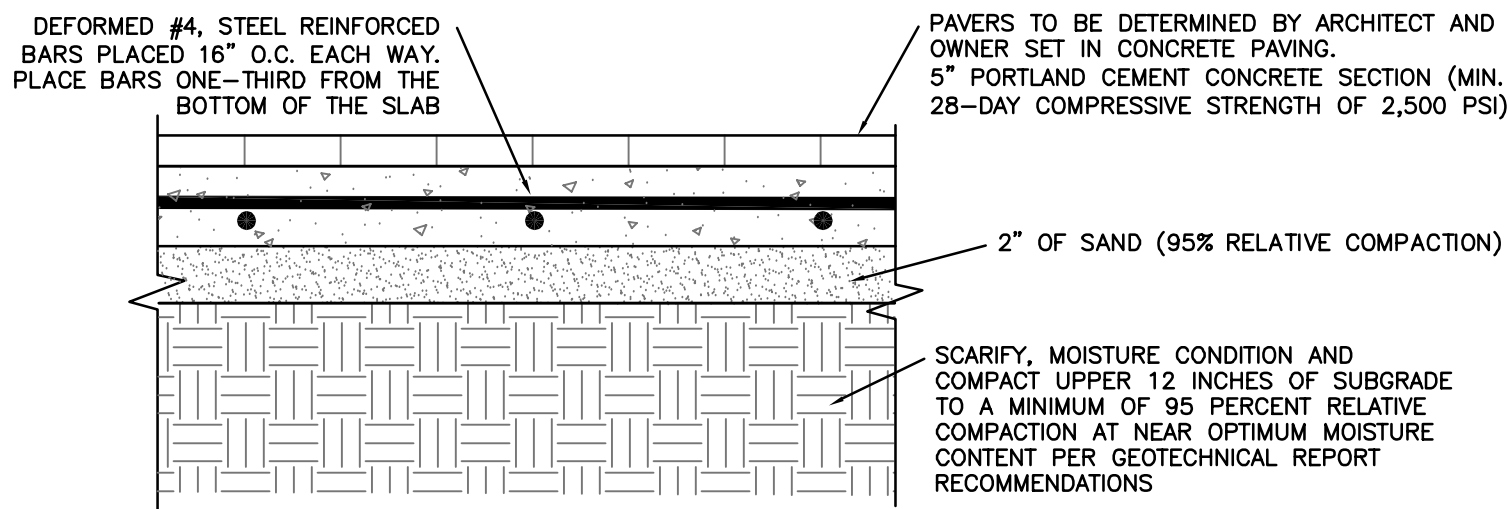




**A**  
C4  
SITE CROSS SECTION – LOOKING NORTH WEST  
SCALE: 1"=4'

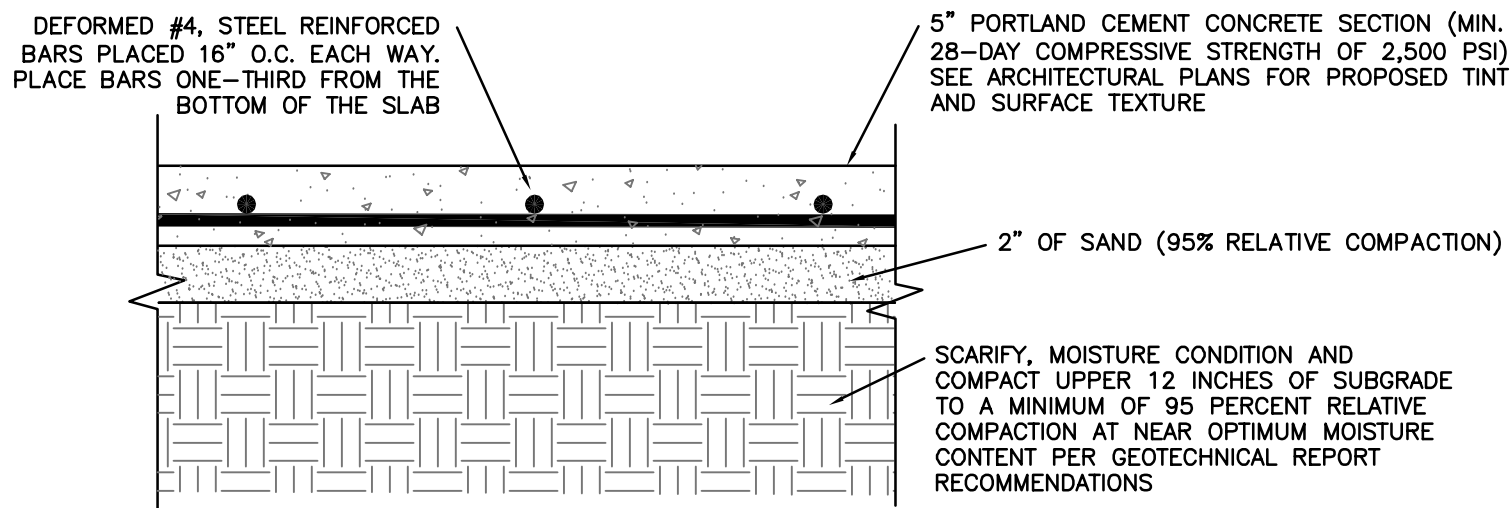


**B**  
C4  
SITE CROSS SECTION – LOOKING NORTH EAST  
SCALE: 1"=4'



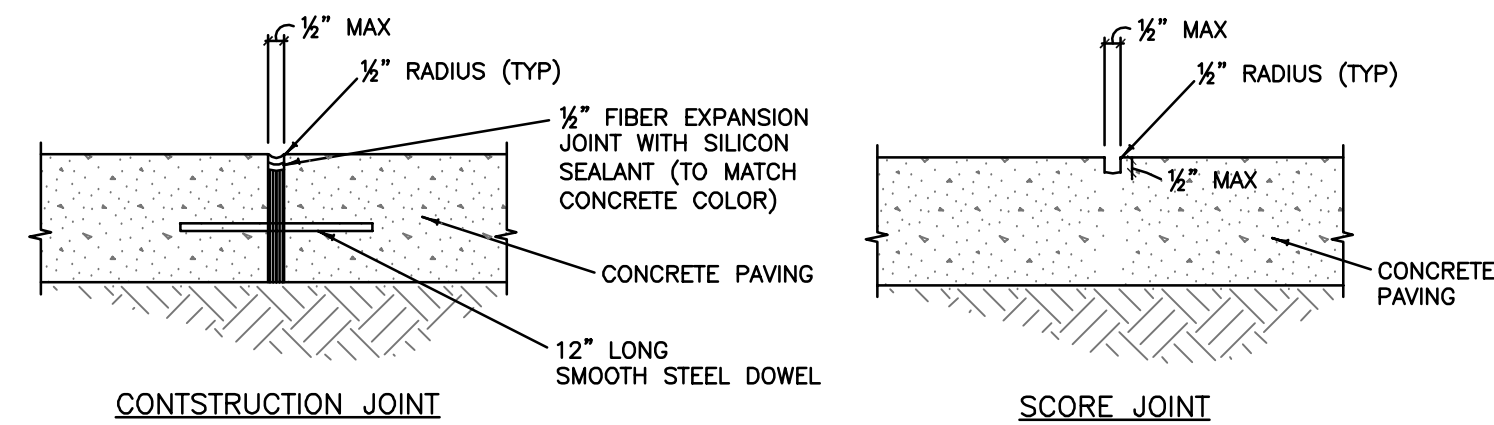
NOTE:  
1. CONCRETE TO BE CLASS B (5 SACK)  
2. SEE DETAIL C/C5 FOR CONCRETE JOINTS.

**CONCRETE PAVEMENT SECTION**  
A  
C5  
NTS



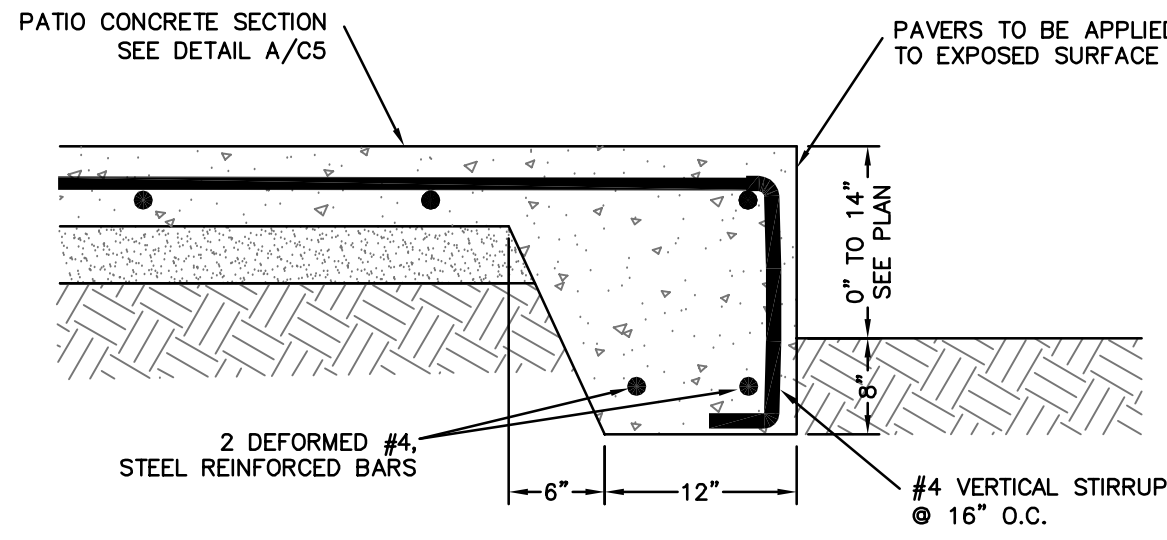
NOTE:  
1. CONCRETE TO BE CLASS B (5 SACK)  
2. SEE DETAIL C/C5 FOR CONCRETE JOINTS.

**CONCRETE PAVEMENT SECTION**  
B  
C5  
NTS

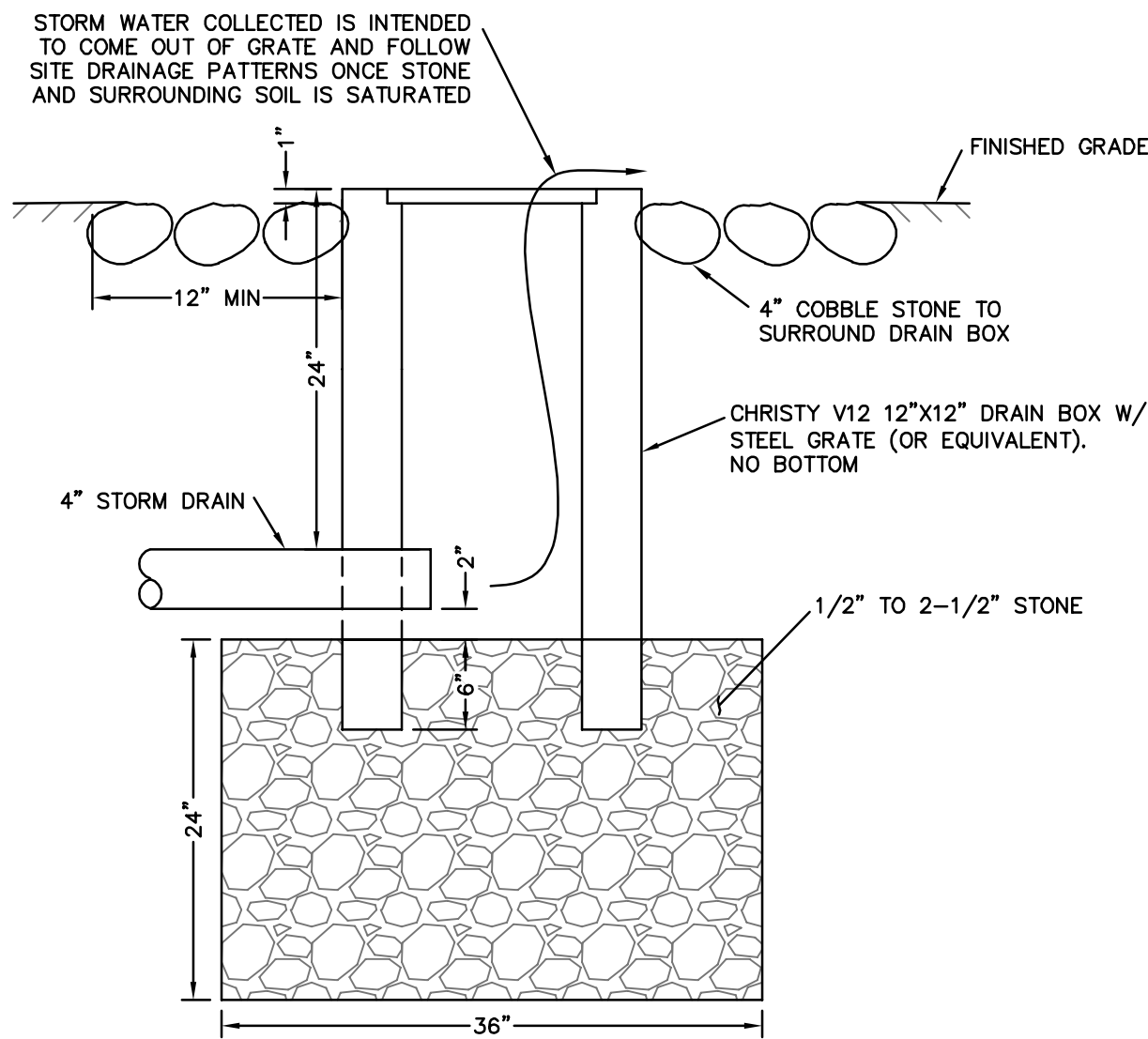


NOTES:  
1. PROVIDE CONSTRUCTION JOINTS AT CURVES, TANGENTS, CORNERS, AND WHERE ADJOINS BUILDING. AREAS SHOULD HAVE CONSTRUCTION JOINTS WITH SQUARE FOOTAGES LESS THAN 250 SF.  
2. SCORE JOINTS SHALL BE SPACED UNIFORMLY BETWEEN CONSTRUCTION JOINTS.  
3. ALL COLD JOINTS AND EXPANSION JOINTS (CONSTRUCTION JOINT) SHOULD BE CONSTRUCTED WITH 1/2"x12" SMOOTH STEEL DOWELS. DOWELS SHOULD BE SPACED AT A MAXIMUM SPACING OF 18 INCHES

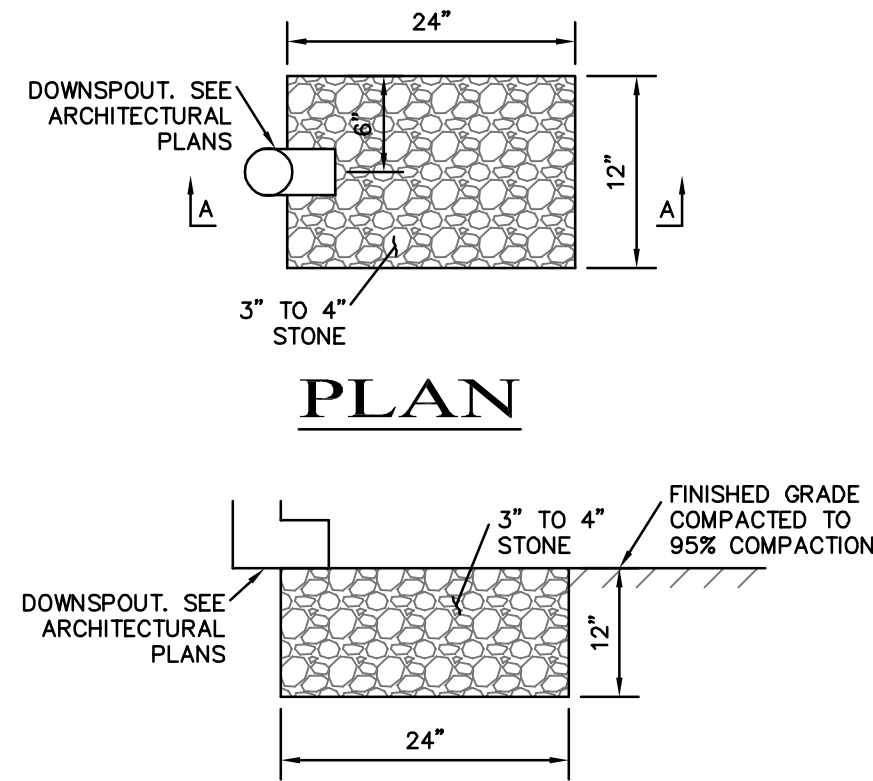
**CONCRETE JOINTS**  
C  
C5  
NTS



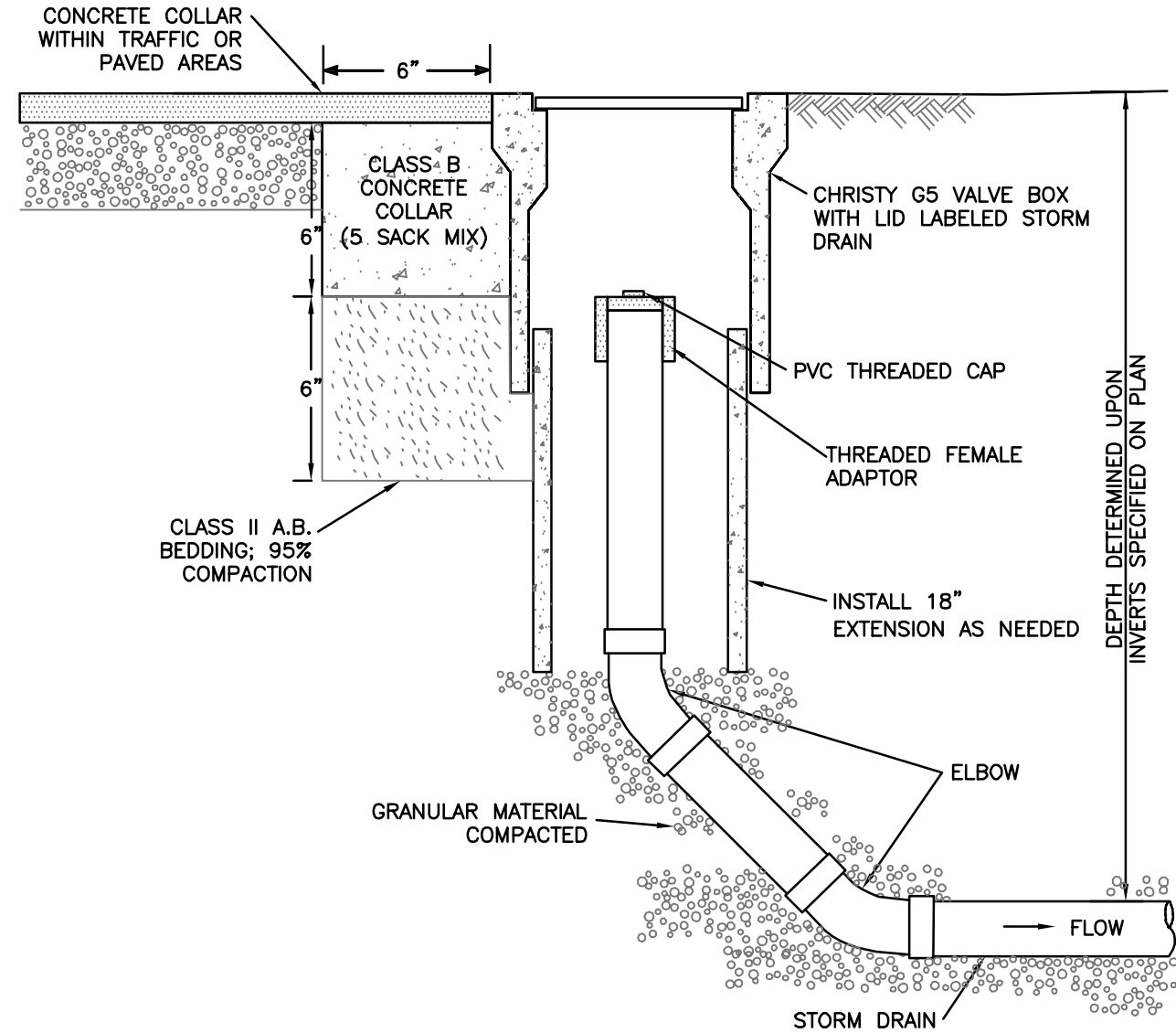
**PATIO THICKENED EDGE**  
D  
C5  
NTS



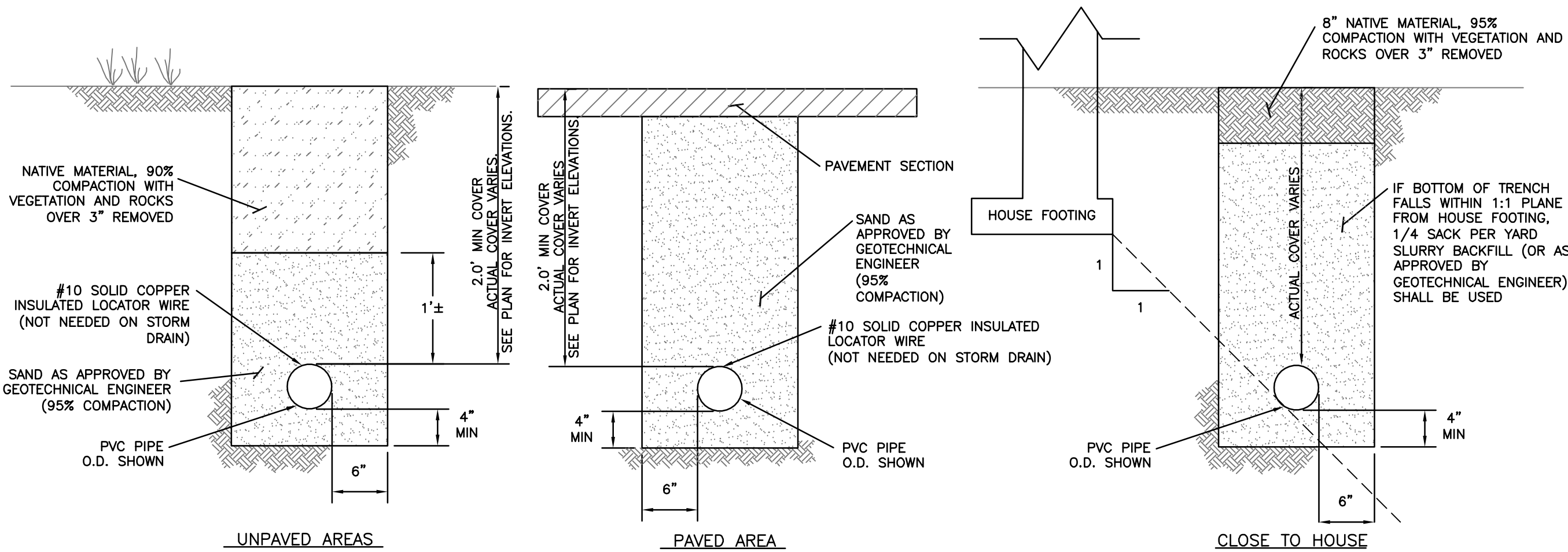
**DRAIN BOX ENERGY DISSIPATER**  
E  
C5  
NTS



**ROCK SPLASH PAD**  
G  
C5  
NTS



**STORM DRAIN CLEAN-OUT**  
H  
C5  
NTS



**UTILITY AND STORM DRAIN TRENCHING DETAIL**  
F  
C5  
NTS



EROSION/DUST CONTROL NOTES

1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:  
A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.  
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.  
C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.  
(MONTEREY COUNTY GRADING/EROSION ORD. 2806--16.12.090)
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEEDED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF RMA-PLANNING AND RMA-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:  
A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.  
B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.  
C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.  
D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
10. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

STORM DRAIN INLET PROTECTION

1. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. INSTALL FILTER BAGS FILLED WITH 1" GRAVEL AROUND CATCH BASINS THAT ARE AFFECTED BY CONSTRUCTION.
3. STORM DRAIN INLET PROTECTION SHALL BE INSPECTED MONTHLY DURING DRY PERIODS AND IMMEDIATELY AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.

FIBER ROLL

1. FIBER ROLLS WILL BE INSTALLED AT LOCATIONS SHOWN ON THIS PLAN AND PER DETAIL C/C6. CONTRACTOR MAY USE SILT FENCE AS AN ALTERNATE/SUPPLEMENTAL EROSION CONTROL/SEDIMENT BARRIER.

TYPICAL CONSTRUCTION ENTRANCE

1. CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER DETAIL B/C6 AT THE LOCATION SHOWN ON THE PLANS.
2. RUN-OFF FROM CONSTRUCTION ENTRANCE SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
3. ALL VEHICLES LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE MAIN ROAD.
4. ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE MAIN ROAD ADJACENT TO THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
5. THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED PERIODICALLY TO ENSURE PROPER FUNCTION.
6. THE CONSTRUCTION ENTRANCE MAY BE FIELD MODIFIED TO MEET SITE CONDITIONS.

CONCRETE WASHOUT

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS. THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION. DAMAGED OR OTHERWISE ILLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT ALL TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.

WASTE COLLECTION AREA

1. WATER TIGHT DUMPSTERS OF SUFFICIENT SIZE AND NUMBER SHALL BE PROVIDED TO CONTAIN THE SOLID WASTE GENERATED BY THE PROJECT AND SHALL BE PROPERLY SERVICED.
2. LITTERING ON THE PROJECT SITE SHALL BE PROHIBITED.
3. TRASH RECEPTACLES SHALL BE PROVIDED IN FIELD TRAILER AREAS AND IN LOCATIONS WHERE WORKERS CONGREGATE FOR LUNCH AND BREAK PERIODS.
4. CONSTRUCTION DEBRIS AND LITTER FROM WORK AREAS WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT SITE SHALL BE COLLECTED AND PLACED IN WATER TIGHT DUMPSTERS AT LEAST WEEKLY. COLLECTED LITTER OR DEBRIS SHALL NOT BE PLACED IN OR NEXT TO DRAIN INLETS, STORM WATER DRAINAGE SYSTEMS OR WATERCOURSES.
5. FULL DUMPSTERS SHALL BE REMOVED FROM THE PROJECT SITE AND THE CONTENTS SHALL BE DISPOSED OF AT A LEGALLY APPROVED LAND FILL LOCATION.
6. ALL DUMPSTERS SHALL BE HANDLED AND DISPOSED OF BY TRASH HAULING CONTRACTOR.
7. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE SITE EVERY TWO WEEKS OR SOONER IF NEEDED.
8. STORM WATER RUN ON SHALL BE PREVENTED FROM CONTACTING STOCKPILED SOLID WASTE THROUGH THE USE OF BERMS OR OTHER TEMPORARY DIVERSION STRUCTURES OR THROUGH THE USE OF MEASURES TO ELEVATE WASTE FROM SURFACE.
9. WASTE STORED IN STOCKPILES SHALL BE SECURLY COVERED FROM WIND AND RAIN BY COVERING WASTE WITH TARPS OR PLASTIC SHEETING WHILE WAITING FOR OFF HAUL OR TRANSFER TO DUMPSTER.
10. SEGREGATE HAZARDOUS WASTE FROM NON-HAZARDOUS WASTE. FOR DISPOSAL OF HAZARDOUS WASTE SEE BMP WM-6. HAVE HAZARDOUS WASTE HAULED TO AN APPROPRIATE DISPOSAL FACILITY IMMEDIATELY AFTER DEMOLITION OR USE.
11. MAKE SURE THAT TOXIC LIQUID WASTES AND CHEMICALS ARE NOT DISPOSED OF IN DUMPSTERS BUT ARE REMOVED OFF SITE APPROPRIATELY.

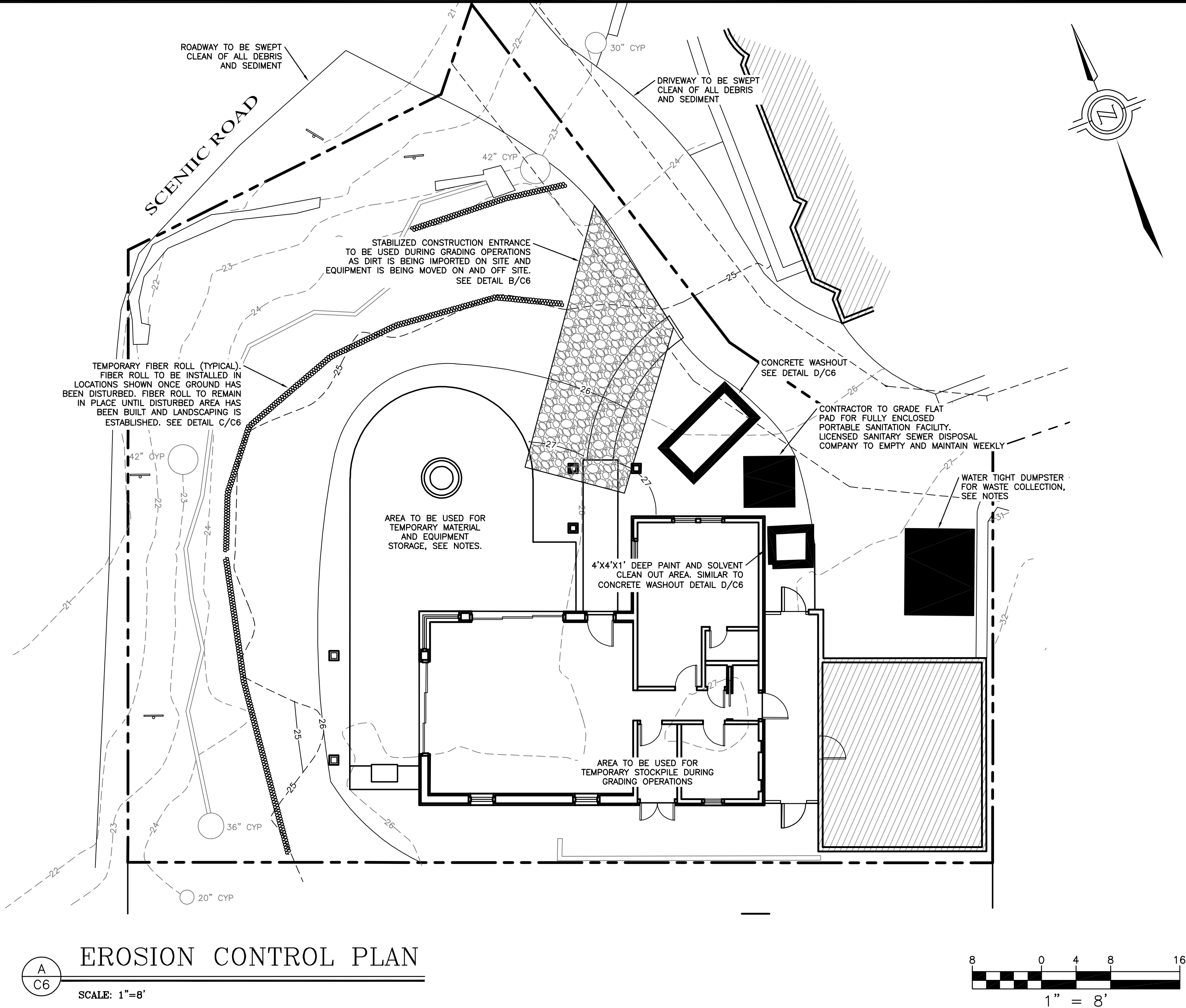
TREE PROTECTION

1. AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED ADJACENT TO CONSTRUCTION SITES, A BOUNDARY OF ORANGE FENCING SUPPORTED BY WOOD OR METAL STAKES OR FUNCTIONAL EQUIVALENT WILL BE ERECTED ALONG THE APPROXIMATE DRIP LINES OF SUCH PROTECTED TREES OR CLOSER WHERE SPECIFICALLY APPROVED BY A QUALIFIED FORESTER, ARBORIST, OR THE COUNTY OF MONTEREY. WHERE GUIDANCE OF A TREE PROFESSIONAL IS USED, ENCROACHMENT INTO THE DRIP LINE OF RETAINED TREES MAY OCCUR IN ORDER TO MINIMIZE TREE REMOVALS.
2. NO EXCAVATION, STORAGE OF EXCAVATED FILL, EQUIPMENT, OR CONSTRUCTION MATERIALS, NOR PARKING OF VEHICLES WILL BE PERMITTED WITHIN THE DRIP LINES OF THESE FENCE PROTECTED TREES.
3. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIP LINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL WILL EXCEED TWO INCHES WITHIN THE DRIP LINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER.
4. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIALS WILL BE PREVENTED BY FAITHFULLY RESPECTING THE TREE PROTECTION FENCING REQUIRED ABOVE.
5. ROOTS EXPOSED BY EXCAVATION WILL BE PRUNED TO PROMOTE CALLUSING, CLOSURE, AND REGROWTH, AND WILL BE RECOVERED AS SOON AS POSSIBLE IF TREE HEALTH IS TO BE REASONABLY MAINTAINED.

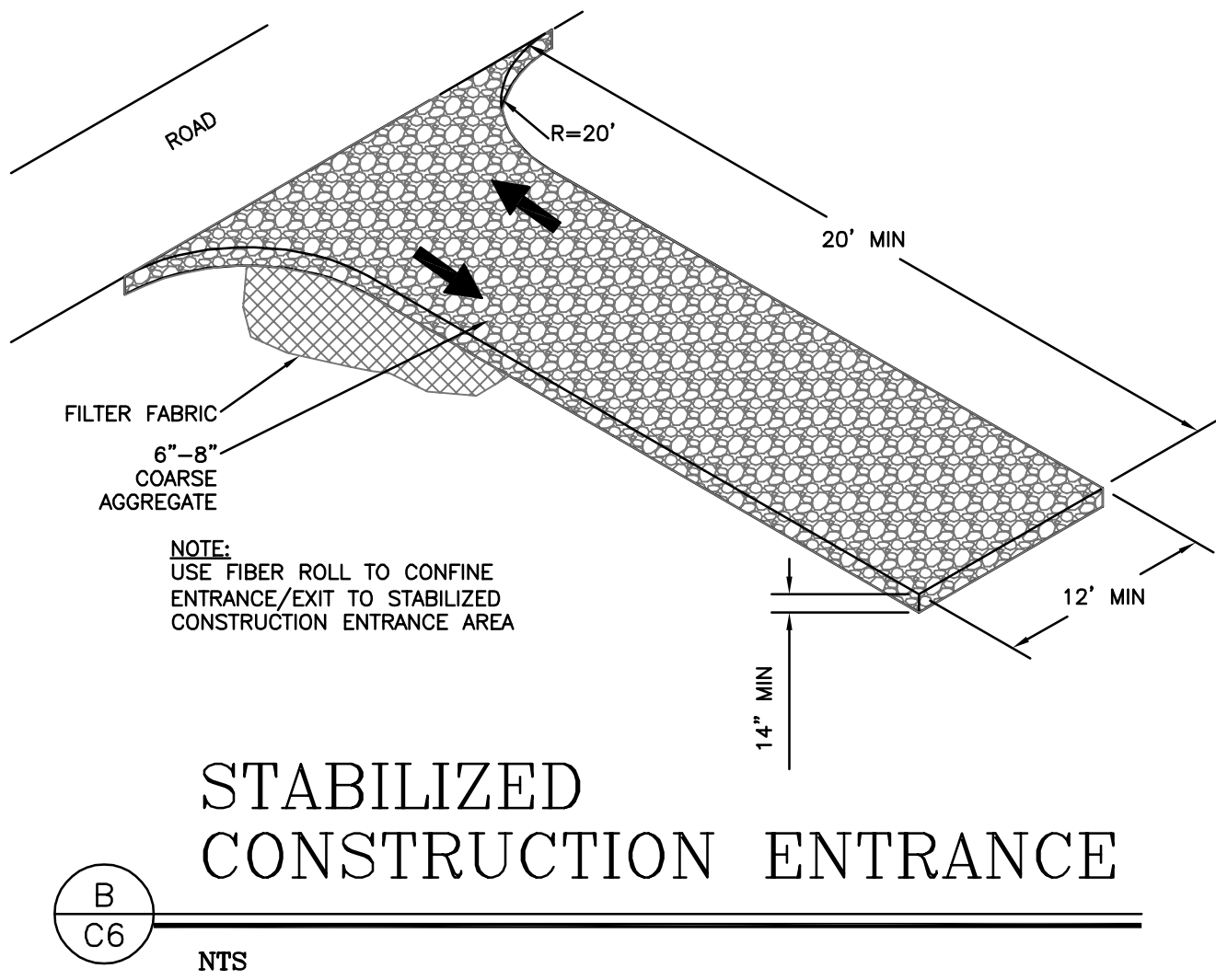
NOTE:  
ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15).

TOTAL AREA OF  
DISTURBANCE=0.11 AC

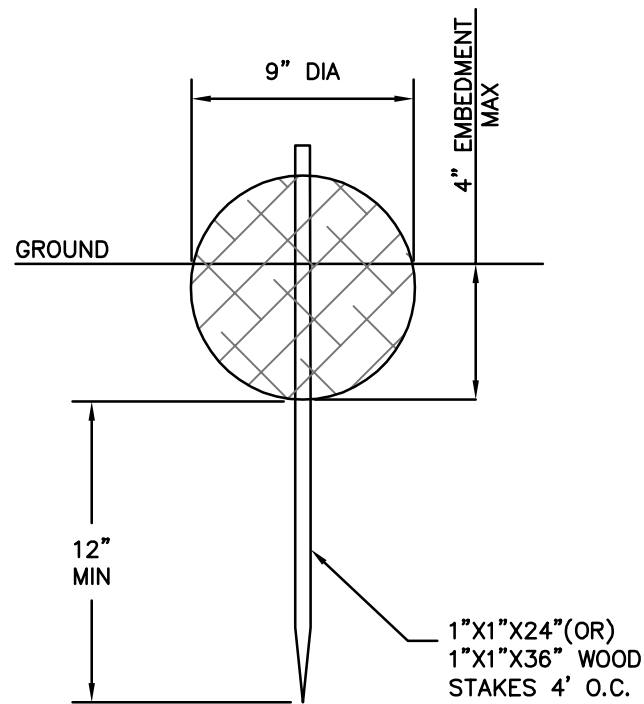
MAINTAIN ALL EROSION CONTROL MEASURES UNTIL  
LANDSCAPING IS ESTABLISHED



A  
C6  
EROSION CONTROL PLAN  
SCALE: 1"=8'

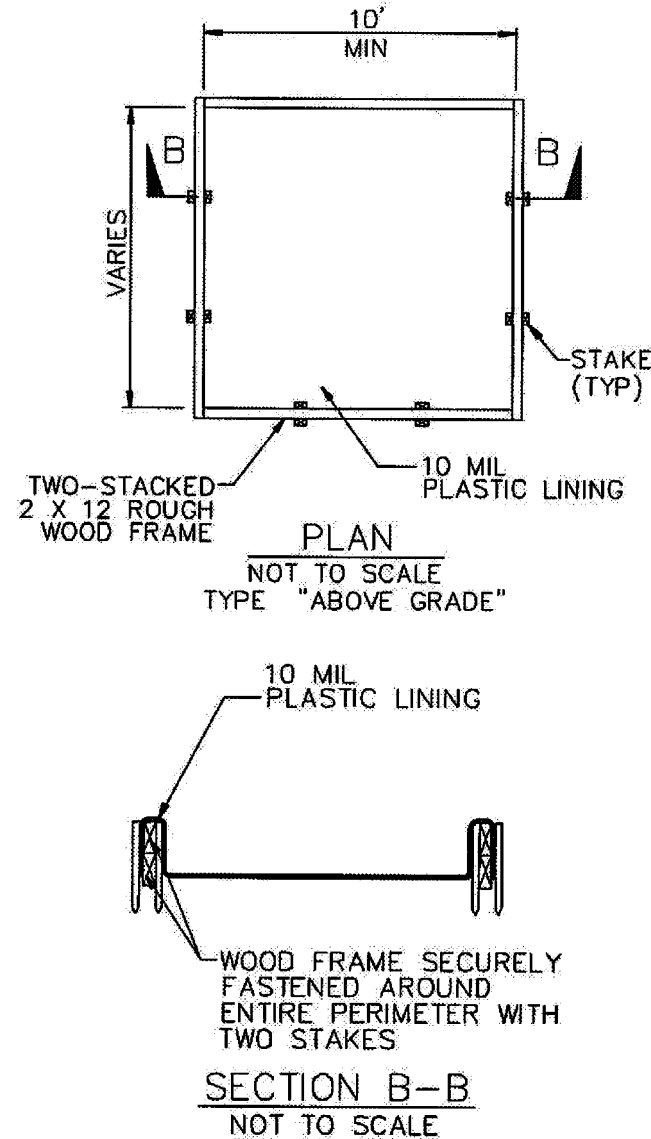


B  
C6  
STABILIZED  
CONSTRUCTION ENTRANCE  
NTS



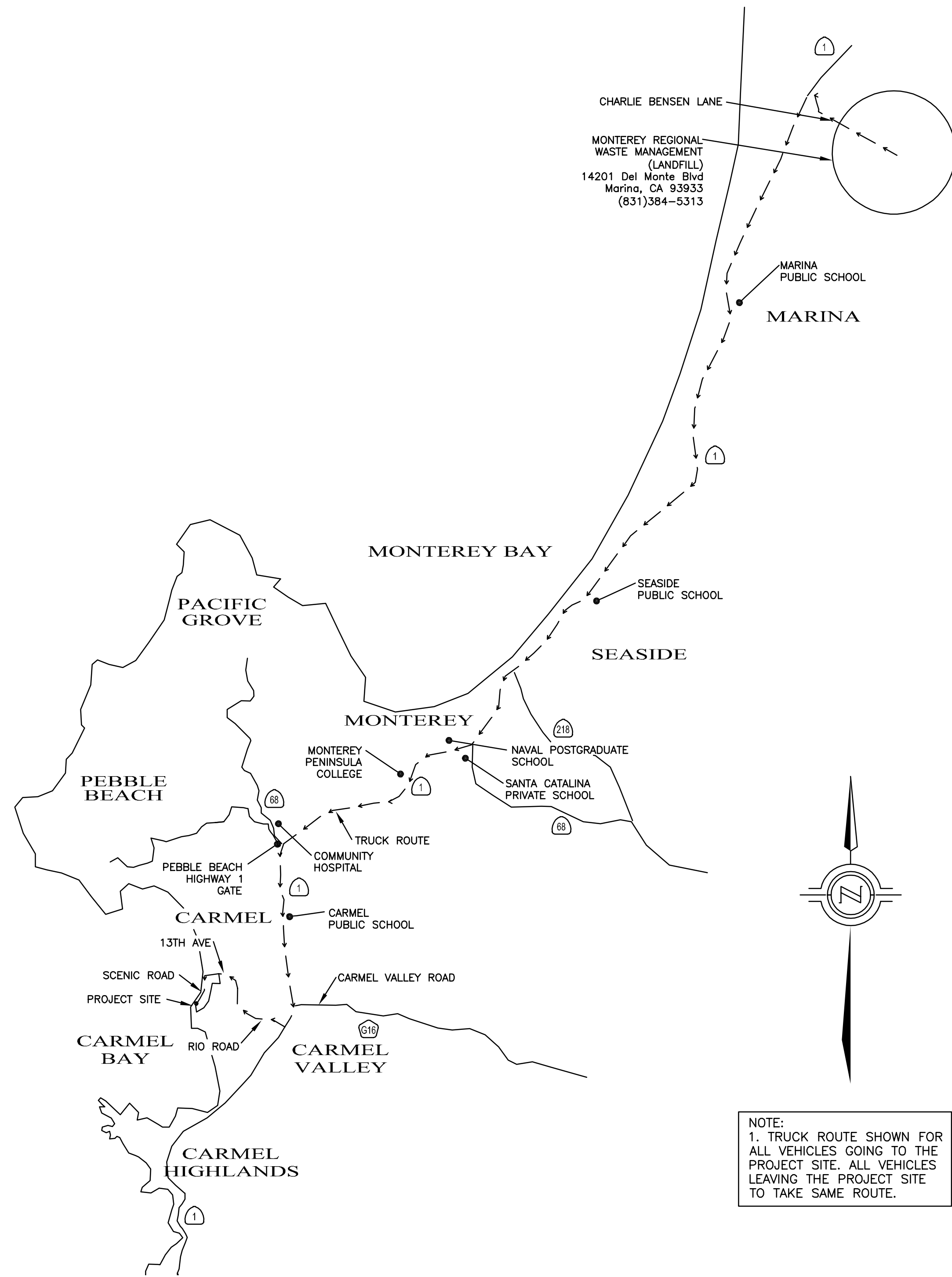
- INSTALLATION
1. USE 1"x1"x2' OR 1"x1"x3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
2. POSITION FIBER ROLLS END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
3. PLACE FIBER ROLLS SECURELY IN A TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

C  
C6  
FIBER ROLL  
NTS



D  
C6  
CONCRETE WASHOUT  
NTS



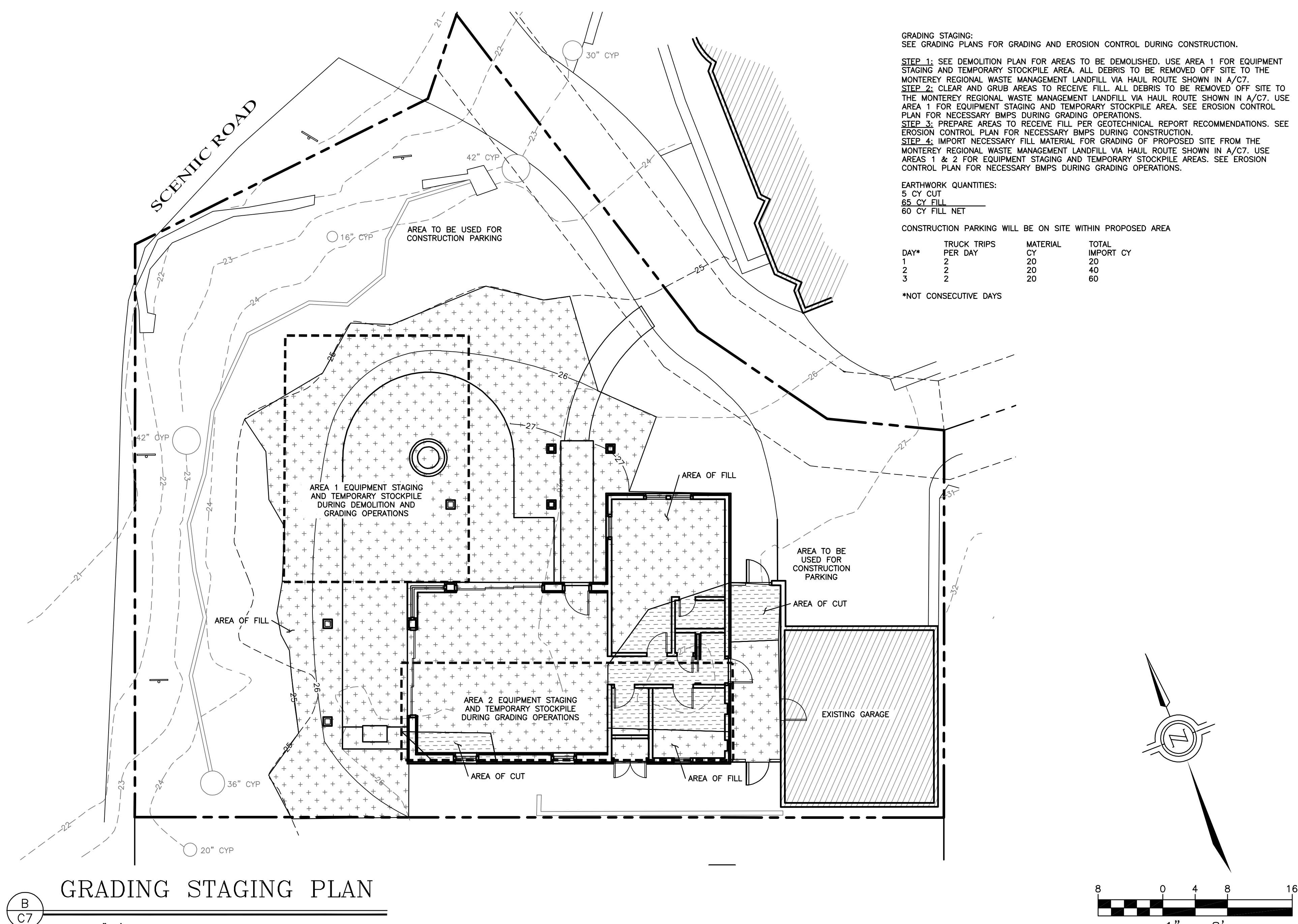


NOTE:  
1. TRUCK ROUTE SHOWN FOR ALL VEHICLES GOING TO THE PROJECT SITE. ALL VEHICLES LEAVING THE PROJECT SITE TO TAKE SAME ROUTE.

## OVERALL TRUCK ROUTING PLAN

A  
C7

SCALE: 1"=6000'



GRADING STAGING:  
SEE GRADING PLANS FOR GRADING AND EROSION CONTROL DURING CONSTRUCTION.

STEP 1: SEE DEMOLITION PLAN FOR AREAS TO BE DEMOLISHED. USE AREA 1 FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C7.

STEP 2: CLEAR AND GRUB AREAS TO RECEIVE FILL. ALL DEBRIS TO BE REMOVED OFF SITE TO THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C7. USE AREA 1 FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.

STEP 3: PREPARE AREAS TO RECEIVE FILL PER GEOTECHNICAL REPORT RECOMMENDATIONS. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING CONSTRUCTION.

STEP 4: IMPORT NECESSARY FILL MATERIAL FOR GRADING OF PROPOSED SITE FROM THE MONTEREY REGIONAL WASTE MANAGEMENT LANDFILL VIA HAUL ROUTE SHOWN IN A/C7. USE AREAS 1 & 2 FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREAS. SEE EROSION CONTROL PLAN FOR NECESSARY BMPs DURING GRADING OPERATIONS.

EARTHWORK QUANTITIES:  
5 CY CUT  
65 CY FILL  
60 CY FILL NET

| CONSTRUCTION PARKING WILL BE ON SITE WITHIN PROPOSED AREA |                     |             |                 |
|---|---------------------|-------------|-----------------|
| DAY*  | TRUCK TRIPS PER DAY | MATERIAL CY | TOTAL IMPORT CY |
| 1   | 2                   | 20          | 20              |
| 2   | 2                   | 20          | 40              |
| 3   | 2                   | 20          | 60              |

\*NOT CONSECUTIVE DAYS

## GRADING STAGING PLAN

B  
C7

SCALE: 1"=8'

## CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - SATURDAY, 8AM TO 6PM (EXCLUDING NATIONAL HOLIDAYS)
2. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.
4. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
5. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
6. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
7. THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 - DUST CONTROL):
  1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE. - NOT APPLICABLE TO SITE
  2. PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
  3. APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. - NOT APPLICABLE TO SITE
  4. APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA. - NOT APPLICABLE TO SITE
  5. MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
  6. COVER ALL TRUCKS HAULING DIRT SAND OR LOOSE MATERIALS.
  7. PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION - NOT APPLICABLE TO SITE
  8. PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
  9. COVER INACTIVE STORAGE PILES.
  10. INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS - NOT APPLICABLE TO SITE
  11. PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT - NOT APPLICABLE TO SITE
  12. SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE - NOT APPLICABLE TO SITE
  13. POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE M&A/PO WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
  14. LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
8. THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.

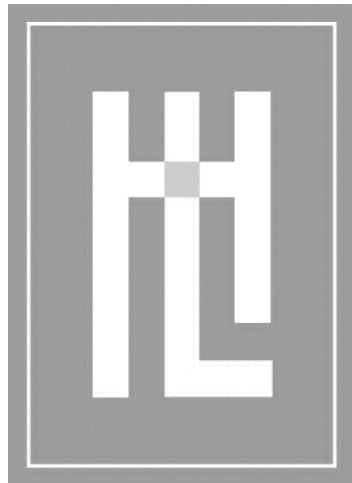
8. THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
9. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
10. THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
11. THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED CONSTRUCTION MANAGEMENT PLAN.
12. THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.

## CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION, SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

ADDITIONAL NOTES:  
1. THIS PROJECT SITE WILL EXPECT 2-6 WORKERS PER DAY.  
2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 1 TRUCK DELIVERY PER DAY.





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ARCHITECTURE

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|             |            |
|-------------|------------|
| DATE:       | 05.01.2020 |
| SCALE:      | 1/4"=1'-0" |
| DRAWN:      | DWD        |
| JOB NUMBER: | 18.15      |
| REVISION    |            |

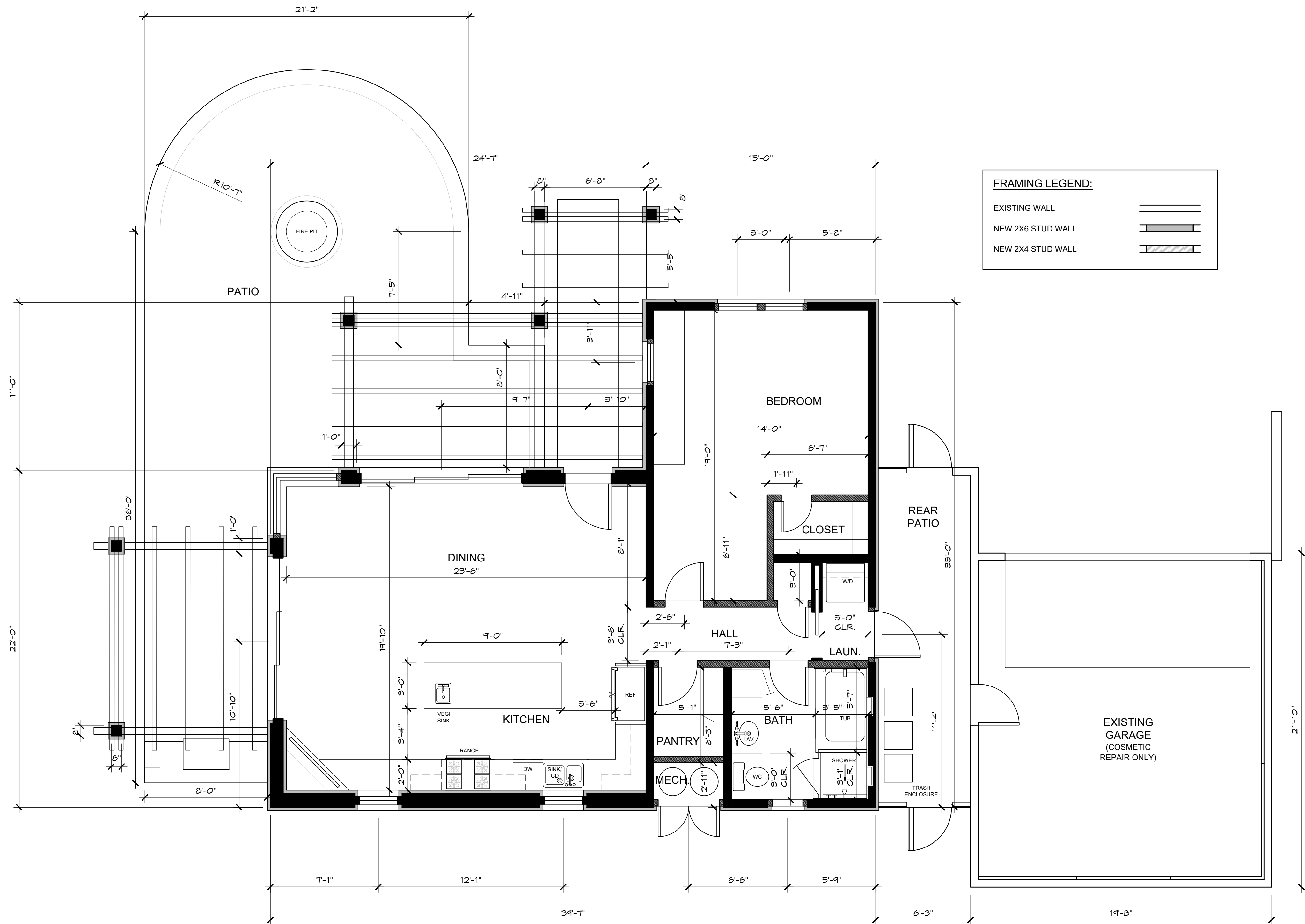
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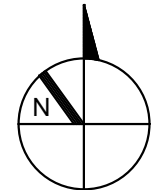
FLOOR PLAN  
SCENIC HOLDINGS LLC RESIDENCE

26195 SCENIC RD.  
CARMEL, CA  
A.P.N. 009.422.023.000

A2.1



PLAN NORTH



## FLOOR PLAN

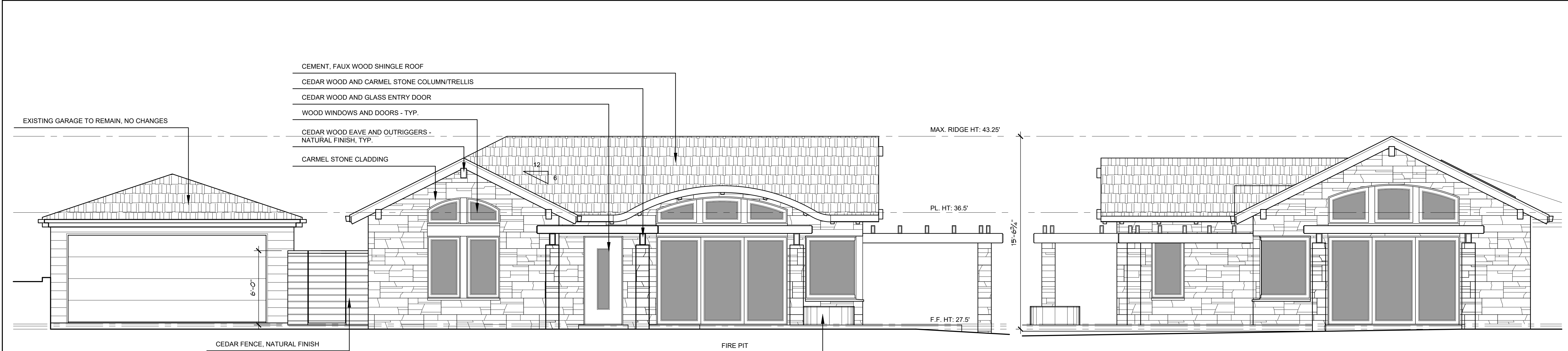
SCALE: 1/4" = 1'-0"

### PLAN NOTES:

- SLOPE 2% MIN. AWAY FROM BUILDING @ ALL PAVED AREAS ADJACENT TO FOUNDATION. SLOPE 5% MIN. AWAY FROM BLDG. @ ALL AREA OF GRADE WITHIN 10'-0" OF FOUNDATION.
- ALL PERIMETER DIMENSIONS ARE TO FACE OF PLYWOOD (FACE OF FOUNDATION WALL). REFER TO STRUCTURAL DRAWINGS FOR FOOTING & FOUNDATION WALL SIZES AND LOCATIONS.
- VERIFY DOOR AND WINDOW DIMENSIONS IN FIELD PRIOR TO MANUFACTURE.
- ALL WINDOW AND DOOR LOCATIONS ARE TO CENTER OF OPENING, U.O.N. - V.I.F. WITH MFR. SHOP DRAWINGS.

### PAGE NOTES

- EXTERIOR STONE VENEER FINISH: CARMEL STONE BLEND TO MATCH ADJACENT STRUCTURE O/ GROUT O/ LATH (SEC 2512.1) O/ 2 LAYERS' GRADE 'D' BLDG. PAPER O/ PLYWD. SHT'G. (SEC 2510.6) - WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION 1404.2.
- EXTERIOR TRIM: PAINTED WOOD, TO MATCH ADJACENT STRUCTURE.
- INTERIOR FINISH: TO MATCH (E) - 5/8" DRYWALL - TAPE, TEXTURE & PAINT. SEE INTERIOR DESIGN PACKAGE FOR ADDITIONAL INFORMATION.
- FINISHED FLOOR: CERAMIC TILE O/ GROUT O/ ANTI-CRACKING MEMBRANE O/ GYPCRETE & RADIANT HYDRONIC SYSTEM. SEE MECHANICAL DESIGN PACKAGE FOR HYDRONIC LAYOUT AND INSULATION REQUIREMENTS.
- CLOSED-CELL INSULATION: MANUFACTURED INSULATION SHALL COMPLY WITH CRC SEC. 806.
- ROOF: CEMENT SHAKE BY EAGLE ROOFING OR APPROVED EQUAL, O/ CLASS 'A' ROOF BUILDUP. INSTALL PER MFR. SPEC.

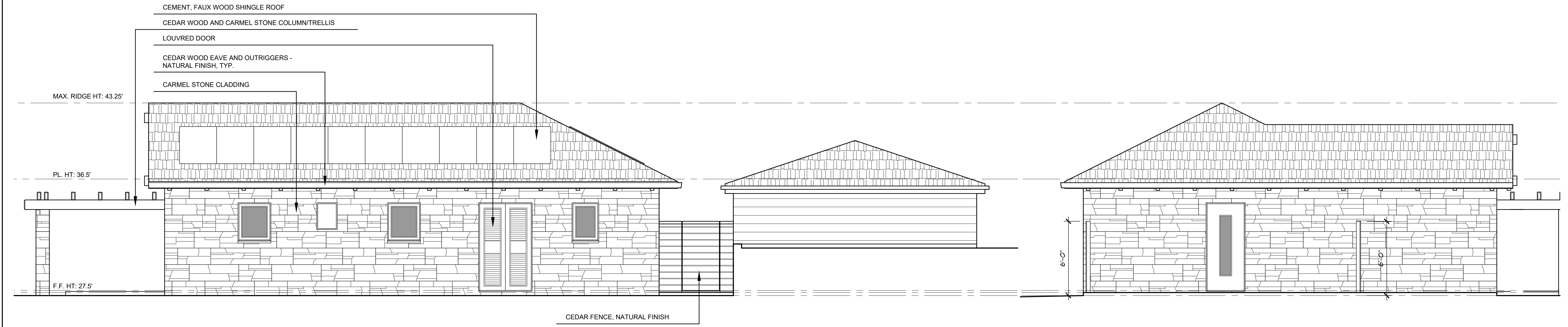


**NORTH ELEVATION (STREET)**

SCALE: 1/4" = 1'-0"

**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

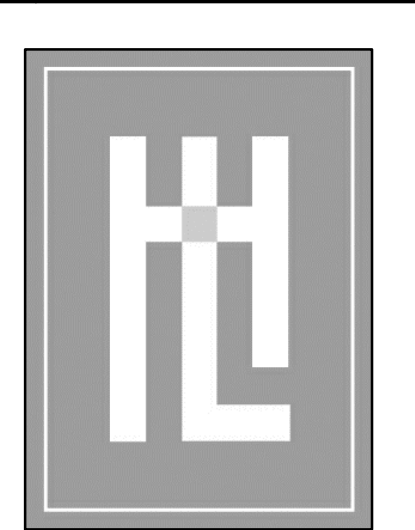


**SOUTH ELEVATION (STREET)**

SCALE: 1/4" = 1'-0"

**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**HOLDREN+LIETZKE  
ARCHITECTURE**

225 CANNERY ROW - SUITE A  
MONTEREY, CA 93940  
Ph: 831.649.6001  
www.hl-arc.com

|             |            |
|-------------|------------|
| DATE:       | 05.01.2020 |
| SCALE:      | 1/4"=1'-0" |
| DRAWN:      | DWD        |
| JOB NUMBER: | 18.15      |
| REVISION    |            |
|             |            |
|             |            |

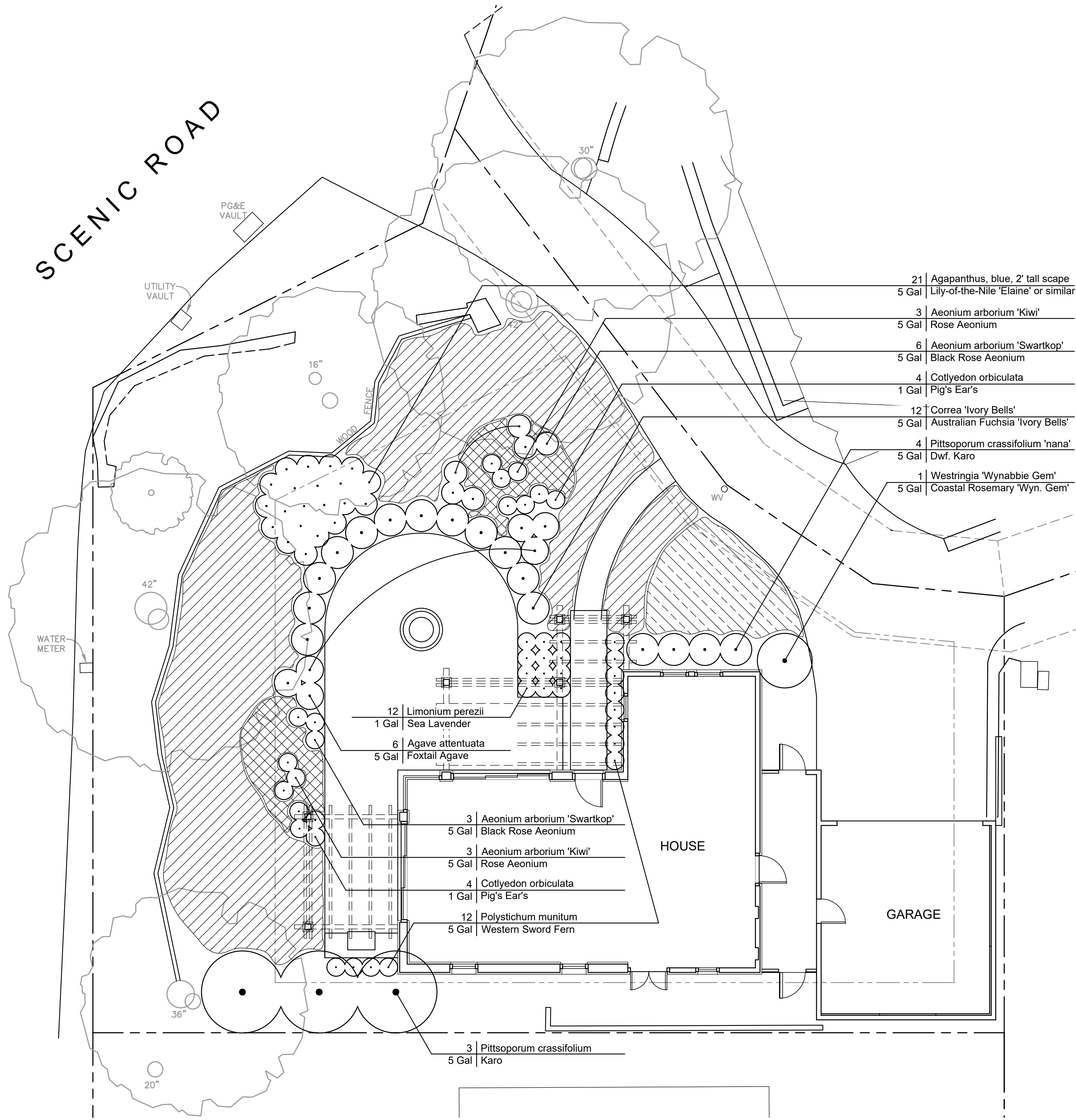
EXTERIOR ELEVATIONS

**SCENIC HOLDINGS LLC RESIDENCE**

26195 SCENIC RD.  
CARMEL, CA  
A.P.N. 009.422.023.000

**A3.1**

SCENIC ROAD



PLANTING LIST:

| Latin name                           | English Name                         | Amt. | Size   |
|--------------------------------------|--------------------------------------|------|--------|
| <b>Shrubs</b>                        |                                      |      |        |
| Westringia 'Wynabbie Gem'            | Coastal Rosemary 'Wyn. Gem'          | 1    | 5 gal. |
| Pittsoporum crassifolium             | Karo                                 | 3    | 5 gal. |
| Pittsoporum crassifolium 'nana'      | Dwf. Karo                            | 4    | 5 gal. |
| Correa 'Ivory Bells'                 | Australian Fuchsia 'Ivory Bells'     | 12   | 5 gal. |
| <b>Perennials and Ferns</b>          |                                      |      |        |
| Agapanthus, blue, 2' tall scape      | Lily-of-the-Nile 'Elaine' or similar | 21   | 5 gal. |
| Limonium perezii                     | Sea Lavender                         | 12   | 1 gal. |
| Polystichum munitum                  | Western Sword Fern                   | 12   | 5 gal. |
| <b>Grasses and Grass-like Plants</b> |                                      |      |        |
| Lomandra 'Shorty'                    | Dwf. Cape Rush 'Shorty'              | 18   | 1 gal. |
| <b>Groundcovers</b>                  |                                      |      |        |
| Ceanothus 'Yankee Point'             | CA Wild Lilac 'Yankee Point'         | 43   | 1 gal. |
| <b>Succulents</b>                    |                                      |      |        |
| Aeonium aborium 'Swartkop'           | Black Rose Aeonium                   | 9    | 5 gal. |
| Aeonium arborium 'Kiwi'              | Rose Aeonium                         | 6    | 5 gal. |
| Agave attenuata                      | Foxtail Agave                        | 6    | 5 gal. |
| Cotyledon orbiculata                 | Pig's Ear's                          | 8    | 1 gal. |
| Senecio madralense                   | Blue Chalk Fingers                   | 27   | 1 gal. |

PLANTING NOTES

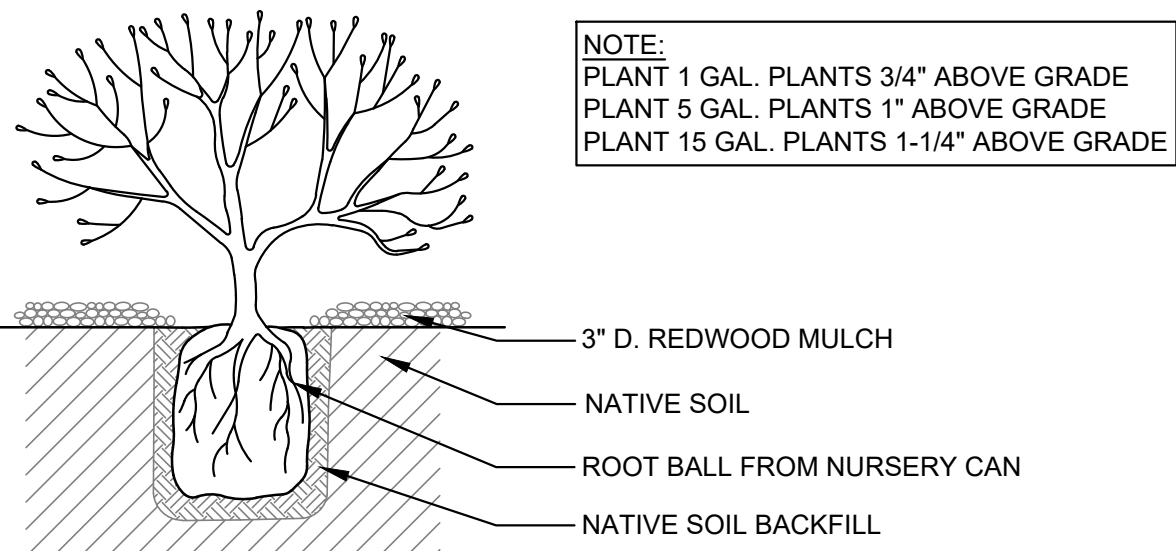
- PLANTING SEQUENCE:
  - BACKFILL MAIN IRRIGATION LINE TRENCHES AND FINISH ROUGH GRADING BEFORE PLANT LAYOUT.
  - CONTRACTOR TO PLACE PLANTS ON SITE, ACCORDING TO THE PLANTING PLAN, FOR FINAL REVIEW AND ADJUSTMENT BY L.A. DO NOT DIG PLANTING HOLES BEFORE PLANT LOCATIONS ARE APPROVED.
  - SOAKING: FOR ALL ONE-GALLON AND FIVE-GALLON PLANTS: CAREFULLY REMOVE PLANT FROM NURSERY POT AND PLACE IT IN A BUCKET OF WATER *DEEPER THAN IT'S NURSERY POT*. WAIT FOR PLANT TO SINK TO THE BOTTOM OF THE BUCKET, I.E., UNTIL ALL BUBBLES HAVE RISEN AND ALL AIR POCKETS ARE SATURATED. REMOVE AND CAREFULLY LOOSEN ROOT-BALL. WHEN FLEXIBLE GOPHER BASKETS ARE USED, LOOSEN ROOT-BALL AND PLACE GOPHER BASKET OVER ROOT-BALL *BEFORE* SUBMERGING IN WATER. THEN, DEPENDING ON SPECIES, PLANT ACCORDING TO PLANT DETAILS 2 AND 3.
- SEE DETAILS B AND C, L.5, FOR SOIL AMENDMENT. SEE L.2 FOR MULCH SPECIFICATIONS.
- MULCH ALL PLANTINGS, EXCEPT TURFBLOCK PLANTING AND HYDROSEEDDED AREAS, WITH 1" REDWOOD BARK 'MINI-MULCH.'

TREE PROTECTION

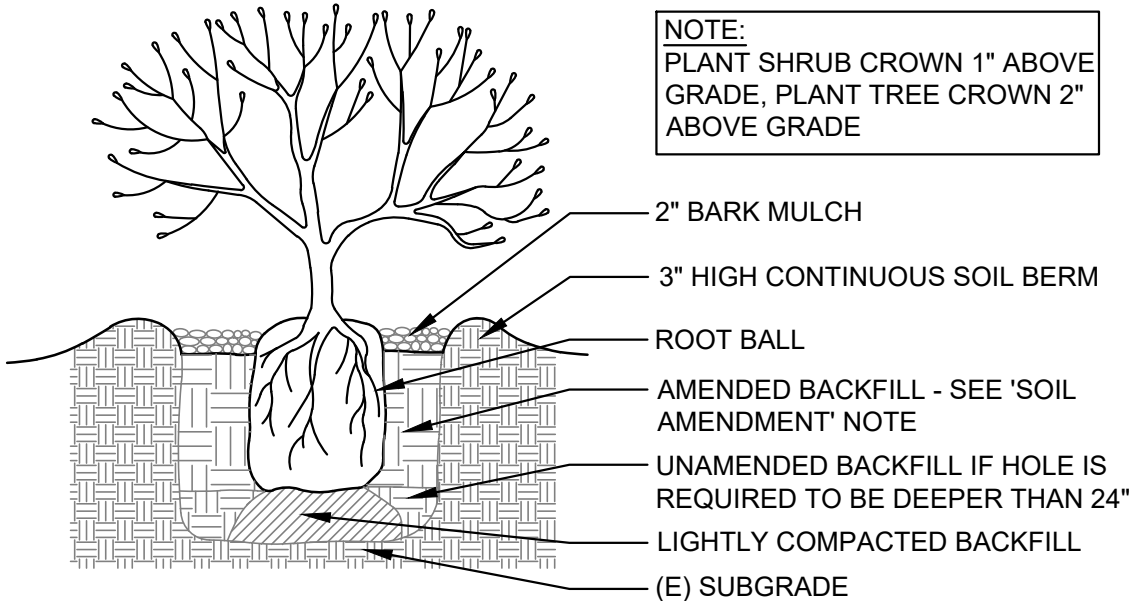
CONTRACTOR TO PROVIDE 6'-0" HIGH TEMPORARY CHAIN LINK OR EQUIVALENT (4'-0" PLASTIC WEBBING ON METAL STAKES) FENCE. PROTECTION TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED ON BOTH THE EXTERIOR OF THE HOUSE AND HARDSCAPE ELEMENTS OF THE LANDSCAPE PLAN. UNDER NO CIRCUMSTANCES WILL THE AREA WITHIN THE DRIPLINE OF AN EXISTING TREE BE USED AS A PARKING AREA, OR TO STORE ANY EQUIPMENT, BUILDING MATERIALS, OR TOOLS. NOR SHOULD HEAVY EQUIPMENT PASS OVER THE ROOT ZONE OF THE TREE.

CERTIFICATION

I, ROSEMARY WELLS, CERTIFY THAT THIS LANDSCAPING PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING THE USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES, LIMITED TURF, AND LOW-FLOW, WATER-CONSERVING IRRIGATION FIXTURES.



- INSTRUCTIONS:
- DIG THE SMALLEST HOLE POSSIBLE TO ACCOMMODATE ROOTBALL.
  - REMOVE PLANT FROM CAN. GENTLY, BY HAND, UNCOIL ANY GIRDLING ROOTS.
  - PLACE PLANT IN HOLE. DO NOT ADD FERTILIZER TABLET. BACKFILL WITH NATIVE SOIL. TAMP GENTLY.
  - WATER DEEPLY. SOAK PLANT TO REMOVE OXYGEN POCKETS. MULCH w/ 3" MULCH. CREATE SOIL COLLAR ONLY IF NECESSARY TO AID IN SOAKING. KEEP MULCH AWAY FROM BASE OF PLANT.



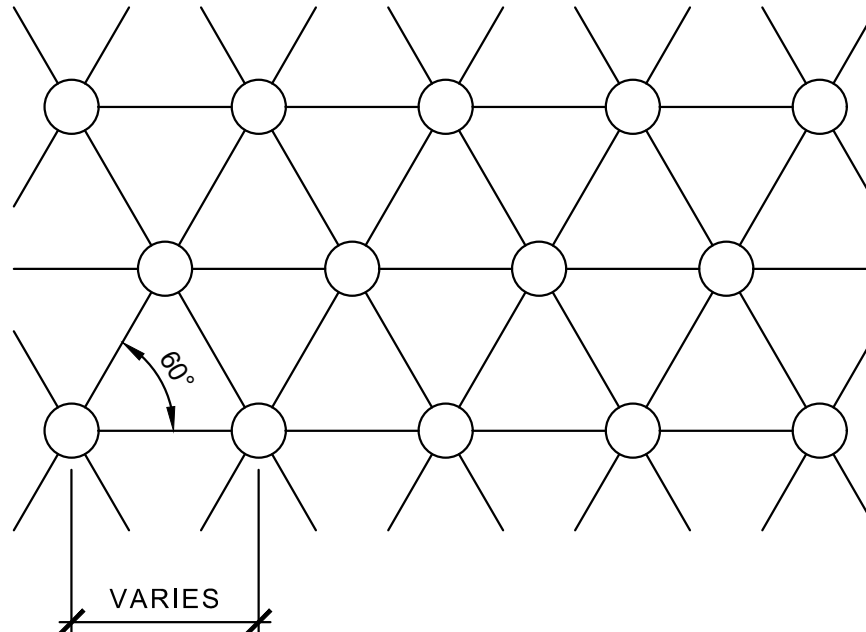
| PLANT SIZE / HOLE SIZE      |
|-----------------------------|
| 1 GAL. - 18" DIA x 18" DEEP |
| 5 GAL. - 2' DIA x 2' DEEP   |
| 1 GAL. - 3' DIA x 3' DEEP   |
| 1 GAL. - 4' DIA x 3' DEEP   |
| 1 GAL. - 5' DIA x 4' DEEP   |
| 1 GAL. - 6' DIA x 4' DEEP   |

- NOTES:
- SCARIFY SIDES OF PLANT HOLES. DO NOT USE AUGERS.
  - SCARIFY ROOT BALL. CUT ANY CIRCLING ROOTS.
  - BACKFILL TO BE APPROVED BY L.A.
  - TEST DRAINAGE IN HOLES. REPORT TO L.A. IF ANY HOLES DO NOT DRAIN IN 24 HOURS.
  - BACKFILL IN LIFTS - WATER TO SETTLE BETWEEN LIFTS.
  - CONTRACTOR TO CHECK SITE FOR EXISTENCE & DEPTH, IF FOUND, OF HARDPAN SOIL.

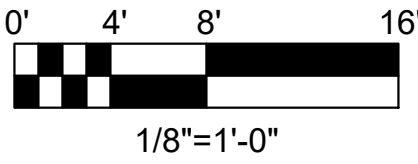
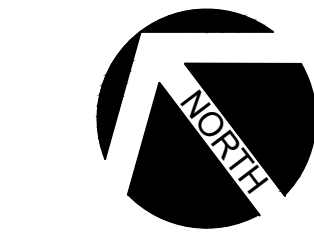
SOIL AMENDMENT:

TREES & SHRUBS - REMOVE NATIVE SOIL FROM HOLE AND COMBINE WITH GYPSUM & ORGANIC COMPOST AS FOLLOWS: 1 PART NATIVE SOIL, 2 PARTS COMPOST, 1 HANDFULL GYPSUM. USE THIS MIX TO BACKFILL WHEN PLANTING. DISCARD UN-USED NATIVE SOIL ON SITE.

GROUNDCOVER AREAS - ROTOTILL GROUNDCOVER AREAS TO A DEPTH OF 8". ADD 2" ORGANIC COMPOST, AND 7 LBS. GYPSUM PER 100 S.F.



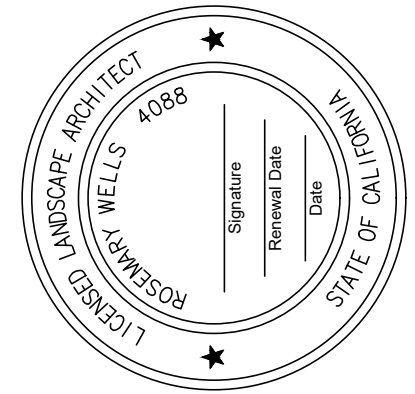
NOTE:  
GROUNDCOVER SPACING SHALL BE TRIANGULAR, AS SHOWN. REFER TO PLANT LIST FOR SPACING.



1/8"=1'-0"

Viridian Landscape Architecture

591 Lighthouse Avenue, Ste 15  
Pacific Grove, CA 93950  
Phone: 831.521.6692 - rosemaryw@vlastudio.com  
www.vlastudio.com



PLANTING PLAN

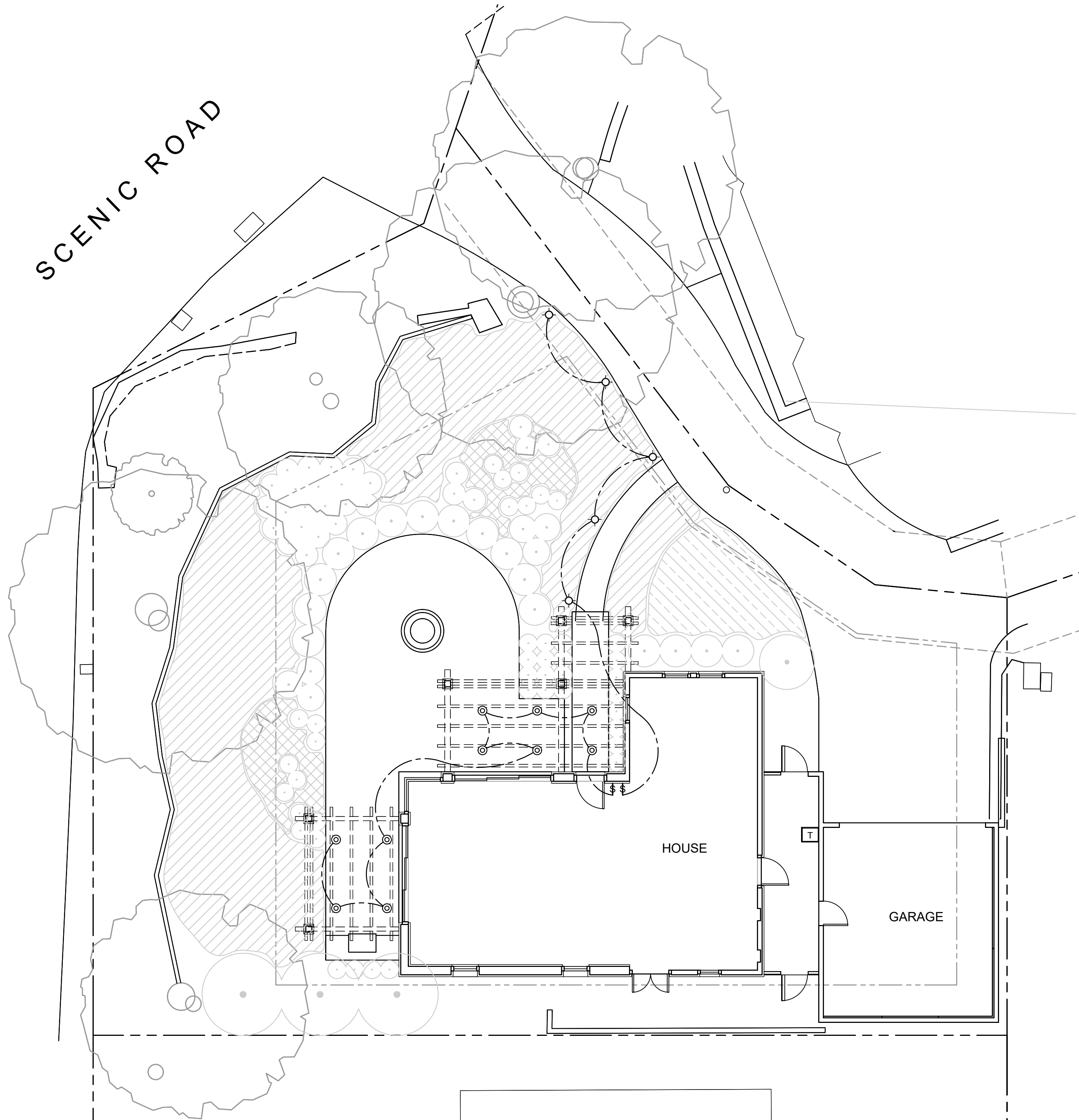
SCENIC HOLDINGS LLC RESIDENCE

26195 SCENIC ROAD  
CARMEL, CALIFORNIA  
APN: 009-422-023-000

|           |                |
|-----------|----------------|
| DATE:     | MARCH 24, 2020 |
| SCALE:    | 1/8" = 1'-0"   |
| DESIGNED: | RW             |
| DRAWN:    | SV             |
| REVISION: |                |

L.2





#### LIGHTING LEGEND

- PATH LIGHT: FX HC-1LED-BZ-18" RISER
- DOWNLIGHT IN ARBOR: FX VE-1LED-COPPER SLEEVE
- 12V WIRE
- SWITCH
- TRANSFORMER, EXACT POSITION TO BE DETERMINED BY ELECTRICIAN

#### LIGHTING NOTES

- CONTRACTOR TO PROVIDE ALL CONDUIT, WIRING, SWITCHES, AND TRANSFORMERS NECESSARY TO INSTALL LIGHTS IN A MANNER CONSISTENT WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL LOCAL AND STATE CODES AND ORDINANCES. CONTRACTOR IS RESPONSIBLE FOR ROUTING AND WIRING CIRCUITS AS NECESSARY FOR OPTIMUM SYSTEM PERFORMANCE, AND DETERMINING LOADS FOR TRANSFORMERS.
- ELECTRICAL CONTRACTOR TO INSTALL IRRIGATION CLOCK AND TO COORDINATE WIRING FOR IRRIGATION CONTRACTOR
- ALL FIXTURES ON 12V WIRE SUBJECT TO FIELD PLACEMENT BY LANDSCAPE ARCHITECT. PLAN IS FOR GENERAL LOCATION ONLY. CONTRACTOR TO PROVIDE AT LEAST 3'-0" OF FREE WIRE PER FIXTURE FOR FINAL PLACEMENT BY LANDSCAPE ARCHITECT.
- ELECTRICAL CONTRACTOR TO VERIFY POWER SOURCE AND PANEL CAPACITY TO OUT-DOOR CIRCUITS.
- ALL WIRING SHOWN IS DIAGRAMMATIC (SEE NOTE NUMBER 1).
- IN THE CASE OF FIELD MODIFICATIONS, ELECTRICAL CONTRACTOR TO PROVIDE SKETCH OF 'AS-BUILT' WIRING OVERLAID ON THIS DRAWING.

FXLuminaire.

LED Path Lights



The HC offers soft, efficient, and safe lighting solutions for pathways of all shapes, sizes, and locations. With a unique and sleek hat design, durability, and outstanding efficiency, it is the ideal choice for a wide array of path lighting scenarios.

FXLuminaire.

LED Wall Lights



The VE softly illuminates areas from above when hung from trees or architectural elements. Perfect for producing a moonlighting effect for seating areas, focal points, or landscaping features in 1 or 3 LED. An optional perforated sleeve can be used to create a special twilight ambience.

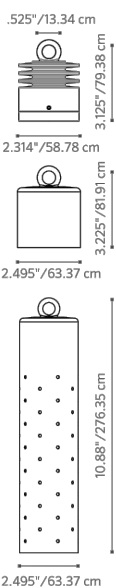
#### HC: Path Light

|   |                |
|---|----------------|
| NUMBER OF LEDs:                                     | 1              |
| HALOGEN LUMEN OUTPUT EQUIVALENT:                    | 10 Watt        |
| USEFUL LED LIFE (L70):                              | 50,000 hrs avg |
| INPUT VOLTAGE:                                      | 10 to 15V      |
| VA TOTAL: (Use this number to size the transformer) | 2.4            |
| WATTS USED:   | 2.0            |
| LUMENS PER WATT (EFFICACY)                          | 19.4           |
| MAX LUMENS:   | 39             |
| CCT (Ra)  | 86             |



#### VE: Down Light

|   |                |                |
|---|----------------|----------------|
| NUMBER OF LEDs:                                     | 1              | 3              |
| HALOGEN LUMEN OUTPUT EQUIVALENT:                    | 10 Watt        | 20 Watt        |
| USEFUL LED LIFE (L70):                              | 50,000 hrs avg | 50,000 hrs avg |
| INPUT VOLTAGE:                                      | 10 to 15V      | 10 to 15V      |
| VA TOTAL: (Use this number to size the transformer) | 2.4            | 4.5            |
| WATTS USED:   | 2.0            | 4.2            |
| LUMENS PER WATT (EFFICACY)                          | 45.51          | 49.71          |
| MAX LUMENS:   | 89.64          | 209            |
| CCT (Ra)  | 72.5           | 81.7           |

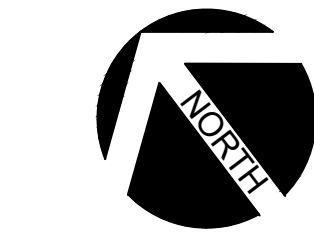


Learn more about FX Luminaire path lights. Visit: [fxl.com/products](http://fxl.com/products)

760.744.5240 | [fxl.com](http://fxl.com)

Learn more about FX Luminaire wall lights. Visit: [fxl.com](http://fxl.com)

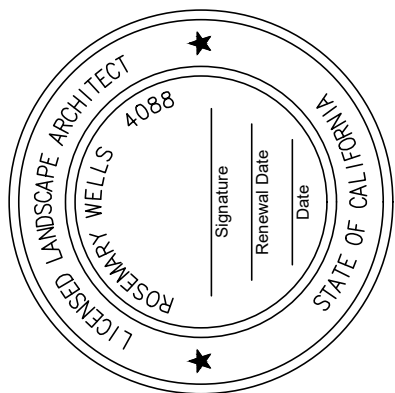
760.744.5240



1/8"=1'-0"

## Viridian Landscape Architecture

591 Lighthouse Avenue, Ste 15  
Pacific Grove, CA 93950  
Phone: 831.521.6692 - [rosemaryw@vlastudio.com](mailto:rosemaryw@vlastudio.com)  
[www.vlastudio.com](http://www.vlastudio.com)



### LIGHTING PLAN

#### SCENIC HOLDINGS LLC RESIDENCE

26195 SCENIC ROAD  
CARMEL, CALIFORNIA  
APN: 009-422-023-000

DATE: MAY 19, 2020  
SCALE: 1/8" = 1'-0"  
DESIGNED: RW  
DRAWN: SV  
REVISION:

L.3



[www.vlastudio.com](http://www.vlastudio.com)



REVISION:

Date \_\_\_\_\_

$$1/8'' = 1' - 0''$$



IRRIGATION WATERING SCHEDULES

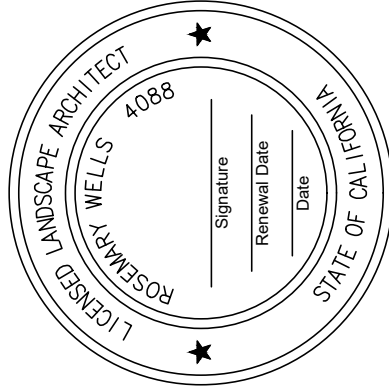
| MULTI-OUTLET DRIP EMITTER IRRIGATION FOR LOW WATER-USE SHRUBS   |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
|---|--|--------|---|-------|-------|------------------|-------|-------|--------------------|-------|-------|-------|-------|-------|--|--|--|--|--|--|--|--|--|
| SPRINKLER MANUFACTURER:   |  |        | RAIN BIRD                                       |       |       | LOCATION:        |       |       | CARMEL, CALIFORNIA |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| PRECIPITATION RATE (INCHES/HOUR):   |  |        | 0.57  |       |       | EMITTER SPACING: |       |       | VARIES             |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| IRRIGATION SYSTEM EFFICIENCY  |  |        | 0.81  |       |       | EMITTER FLOW:    |       |       | 1 GPH PER OUTLET   |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| PLANT FACTOR:   |  |        | 0.30  |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| YEAR 2 REDUCTION AMOUNT:  |  |        | -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
|   |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| MONTH:  |  | JAN    | FEB   | MAR   | APR   | MAY              | JUN   | JUL   | AUG                | SEP   | OCT   | NOV   | DEC   | TOTAL |  |  |  |  |  |  |  |  |  |
| ETO PER MONTH (INCHES):   |  | 1.86   | 2.24  | 3.41  | 4.20  | 5.58             | 6.30  | 6.51  | 5.89               | 4.40  | 3.41  | 2.40  | 1.86  | 48.16 |  |  |  |  |  |  |  |  |  |
| ETO PER WEEK (INCHES):  |  | 0.430  | 0.517   | 0.788 | 0.970 | 1.289            | 1.455 | 1.503 | 1.360              | 1.016 | 0.788 | 0.554 | 0.430 |       |  |  |  |  |  |  |  |  |  |
| APPLIED ETO PER WEEK (INCHES):  |  | 0.159  | 0.192   | 0.292 | 0.359 | 0.477            | 0.539 | 0.557 | 0.504              | 0.376 | 0.292 | 0.205 | 0.159 |       |  |  |  |  |  |  |  |  |  |
| MINUTES OF WATER PER WEEK:  |  | YEAR 1 | 17  | 20    | 31    | 38               | 50    | 57    | 59                 | 53    | 40    | 31    | 22    | 17    |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 15  | 18    | 28    | 34               | 45    | 51    | 53                 | 48    | 36    | 28    | 19    | 15    |  |  |  |  |  |  |  |  |  |
| DAYS PER WEEK:  |  | YEAR 1 | 2   | 2     | 2     | 2                | 3     | 3     | 3                  | 3     | 2     | 2     | 2     | 2     |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 2   | 2     | 2     | 2                | 3     | 3     | 3                  | 3     | 2     | 2     | 2     | 2     |  |  |  |  |  |  |  |  |  |
| MINUTES OF WATER PER DAY:   |  | YEAR 1 | 8   | 10    | 15    | 19               | 17    | 19    | 20                 | 18    | 20    | 15    | 11    | 8     |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 8   | 9     | 14    | 17               | 15    | 17    | 18                 | 16    | 18    | 14    | 10    | 8     |  |  |  |  |  |  |  |  |  |
| CYCLES PER DAY:   |  | YEAR 1 | 1   | 1     | 1     | 1                | 1     | 1     | 1                  | 1     | 1     | 1     | 1     | 1     |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 1   | 1     | 1     | 1                | 1     | 1     | 1                  | 1     | 1     | 1     | 1     | 1     |  |  |  |  |  |  |  |  |  |
| MINUTES PER CYCLE:  |  | YEAR 1 | 8   | 10    | 15    | 19               | 17    | 19    | 20                 | 18    | 20    | 15    | 11    | 8     |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 8   | 9     | 14    | 17               | 15    | 17    | 18                 | 16    | 18    | 14    | 10    | 8     |  |  |  |  |  |  |  |  |  |
|   |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| MULTI-OUTLET DRIP EMITTER IRRIGATION FOR MODERATE WATER-USE SHRUBS  |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| SPRINKLER MANUFACTURER:   |  |        | RAIN BIRD                                       |       |       | LOCATION:        |       |       | CARMEL, CALIFORNIA |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| PRECIPITATION RATE (INCHES/HOUR):   |  |        | 0.57  |       |       | EMITTER SPACING: |       |       | VARIES             |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| IRRIGATION SYSTEM EFFICIENCY  |  |        | 0.81  |       |       | EMITTER FLOW:    |       |       | 1 GPH PER OUTLET   |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| PLANT FACTOR:   |  |        | 0.50  |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| YEAR 2 REDUCTION AMOUNT:  |  |        | -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
|   |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| MONTH:  |  | JAN    | FEB   | MAR   | APR   | MAY              | JUN   | JUL   | AUG                | SEP   | OCT   | NOV   | DEC   | TOTAL |  |  |  |  |  |  |  |  |  |
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| ETO PER WEEK (INCHES):  |  | 0.430  | 0.517   | 0.788 | 0.970 | 1.289            | 1.455 | 1.503 | 1.360              | 1.016 | 0.788 | 0.554 | 0.430 |       |  |  |  |  |  |  |  |  |  |
| APPLIED ETO PER WEEK (INCHES):  |  | 0.265  | 0.319   | 0.486 | 0.599 | 0.795            | 0.898 | 0.928 | 0.840              | 0.627 | 0.486 | 0.342 | 0.265 |       |  |  |  |  |  |  |  |  |  |
| MINUTES OF WATER PER WEEK:  |  | YEAR 1 | 28  | 34    | 51    | 63               | 84    | 95    | 98                 | 88    | 66    | 51    | 36    | 28    |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 25  | 30    | 46    | 57               | 75    | 85    | 88                 | 80    | 59    | 46    | 32    | 25    |  |  |  |  |  |  |  |  |  |
| DAYS PER WEEK:  |  | YEAR 1 | 2   | 2     | 3     | 3                | 4     | 4     | 4                  | 3     | 3     | 2     | 2     |       |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 2   | 2     | 3     | 3                | 4     | 4     | 4                  | 4     | 3     | 3     | 2     | 2     |  |  |  |  |  |  |  |  |  |
| MINUTES OF WATER PER DAY:   |  | YEAR 1 | 14  | 17    | 17    | 21               | 21    | 24    | 24                 | 22    | 22    | 17    | 18    | 14    |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 13  | 15    | 15    | 19               | 19    | 21    | 22                 | 20    | 20    | 15    | 16    | 13    |  |  |  |  |  |  |  |  |  |
| CYCLES PER DAY:   |  | YEAR 1 | 1   | 1     | 1     | 1                | 1     | 1     | 1                  | 1     | 1     | 1     | 1     | 1     |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 1   | 1     | 1     | 1                | 1     | 1     | 1                  | 1     | 1     | 1     | 1     | 1     |  |  |  |  |  |  |  |  |  |
| MINUTES PER CYCLE:  |  | YEAR 1 | 14  | 17    | 17    | 21               | 21    | 24    | 24                 | 22    | 22    | 17    | 18    | 14    |  |  |  |  |  |  |  |  |  |
|   |  | YEAR 2 | 13  | 15    | 15    | 19               | 19    | 21    | 22                 | 20    | 20    | 15    | 16    | 13    |  |  |  |  |  |  |  |  |  |
|   |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |
| NOTES:<br>THE CHARTS ARE INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATE APPROXIMATE RUN TIMES (IN MINUTES) FOR EACH ZONE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE FIGURES SHOWN IN THIS SCHEDULE ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT MAXIMUM IRRIGATION REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND SPACING. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, ETC. |  |        |   |       |       |                  |       |       |                    |       |       |       |       |       |  |  |  |  |  |  |  |  |  |

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
- THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
- AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.
- 120 VOLT A.C. (2.5 AMP DEMAND) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. NO MORE THAN 6" OF THE GROUND ROD TO BE ABOVE GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. THIS WIRE SHOULD BE AS SHORT AS POSSIBLE, AVOIDING ANY KINKS OR BENDING. GROUND ROD SHALL BE A MINIMUM OF EIGHT FEET (8') FROM IRRIGATION CONTROL WIRE BUNDLE.
- IRRIGATION CONTROLLER TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE.
- CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMING THAT WILL NOT EXCEED THE MAXIMUM GALLONS PER MINUTE FLOW RATE STATED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAINLINE PIPING.
- IRRIGATION CONTROL WIRES SHALL BE COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. COMMON GROUND WIRE SHALL HAVE WHITE INSULATING JACKET. CONTROL WIRE SHALL HAVE INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICE SHALL BE MADE WITH 3M-DBR/Y-6 SEAL PACKS.
- FLOW SENSOR CABLE SHALL BE A SOLID COPPER SHIELDED PAIR CABLE, SIZE #16. NO SPLICES ALLOWED.
- INSTALL SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAINLINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. MINIMUM OF ONE SPARE WIRE PER CONTROLLER.
- SPLICING OF 24 VOLT WIRES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DBR/Y-6 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING WIRES IS NOT REQUIRED INSIDE SLEEVES.
- PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE RAIN BIRD.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).
- THE IRRIGATION CONTRACTOR SHALL FLUSH ALL SYSTEMS FOR OPTIMUM PERFORMANCE AND COVERAGE OF THE LANDSCAPE AREA. THIS SHALL INCLUDE ADJUSTING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- LOCATE EMITTER TUBES ON UP-HILL SIDE OF PLANT.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
  - NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
  - PERFORM TESTING AT HIS OWN EXPENSE.
  - CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTING SHALL BE COVERED.
  - APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.
    - TEST LIVE (CONSTANT PRESSURE) AND QUICK COUPLER LINE HYDROSTATICALLY AT 125 PSI MINIMUM. LINES WILL BE APPROVED IF TEST PRESSURE IS MAINTAINED FOR SIX (6) HOURS. THE LINE WILL BE APPROVED OR NOT APPROVED AS SUCH RESULTS MAY INDICATE. THE CONTRACTOR SHALL MAKE TESTS AND REPAIRS AS NECESSARY UNTIL TEST CONDITIONS ARE MET.
    - TEST RCV CONTROLLED LATERAL LINES WITH WATER AT LINE PRESSURE AND VISUALLY INSPECT FOR LEAKS. RETEST AFTER CORRECTING DEFECTS.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: 4 GPM AT 60 PSI STATIC PRESSURE AT IRRIGATION POINT OF CONNECTION. FIELD VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. IF ACTUAL WATER PRESSURE DIFFERS FROM THE STATED PRESSURE CONTACT ARCHITECT FOR DIRECTION AND POSSIBLE REVISION.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL T+2, CHRISTY'S ULTRA SEAL, OR APPROVED EQUAL.
- RECORD DRAWINGS:
  - THE CONTRACTOR SHALL MAINTAIN IN GOOD ORDER IN THE FIELD OFFICE ONE COMPLETE SET OF BLACK LINE PRINTS OF ALL IRRIGATION DRAWINGS WHICH FORM A PART OF THE CONTRACT, SHOWING ALL WATER LINES, EMITTERS, VALVES, CONTROLLERS AND STUB-OUTS. IN THE EVENT ANY WORK IS NOT INSTALLED AS INDICATED ON THE DRAWINGS, SUCH WORK SHALL BE CORRECTED AND DIMENSIONED ACCURATELY FROM THE BUILDING WALLS.
  - ALL UNDERGROUND STUB-OUTS FOR FUTURE CONNECTIONS AND VALVES SHALL BE LOCATED AND DIMENSIONED ACCURATELY FROM BUILDING WALLS ON ALL RECORD DRAWINGS.
  - UPON COMPLETION OF THE WORK, OBTAIN REPRODUCIBLE PRINTS FROM ARCHITECT AND NEATLY CORRECT THE PRINTS TO SHOW THE AS-BUILT CONDITIONS.
- FINE TUNE IRRIGATION SYSTEM TO PROVIDE COMPLETE AND UNIFORM COVERAGE OF THE LANDSCAPE WHILE AVOIDING RUNOFF OF WATER ONTO NON-IRRIGATED AREAS, PAVED AND OTHERWISE. THIS INCLUDES PROGRAMMING THE CONTROLLER RUN TIMES FOR OPTIMIZING SOIL INFILTRATION WITH OUT PUDDLING OR RUNOFF.
- WARRANTY:
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FILL AND REPAIR ALL NECESSARY PLANTING DUE TO THE SETTLEMENT OF IRRIGATION TRENCHES FOR ONE YEAR FOLLOWING COMPLETION AND ACCEPTANCE OF THE JOB.
  - THE CONTRACTOR SHALL ALSO WARRANTY ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED BY HIM TO BE FREE OF ALL DEFECTS OF WORKMANSHIP AND MATERIALS, AND SHALL AGREE TO REPLACE AT HIS EXPENSE, AT ANY TIME WITHIN ONE YEAR AFTER INSTALLATION IS ACCEPTED, ANY AND ALL DEFECTIVE PARTS THAT MAY BE FOUND.

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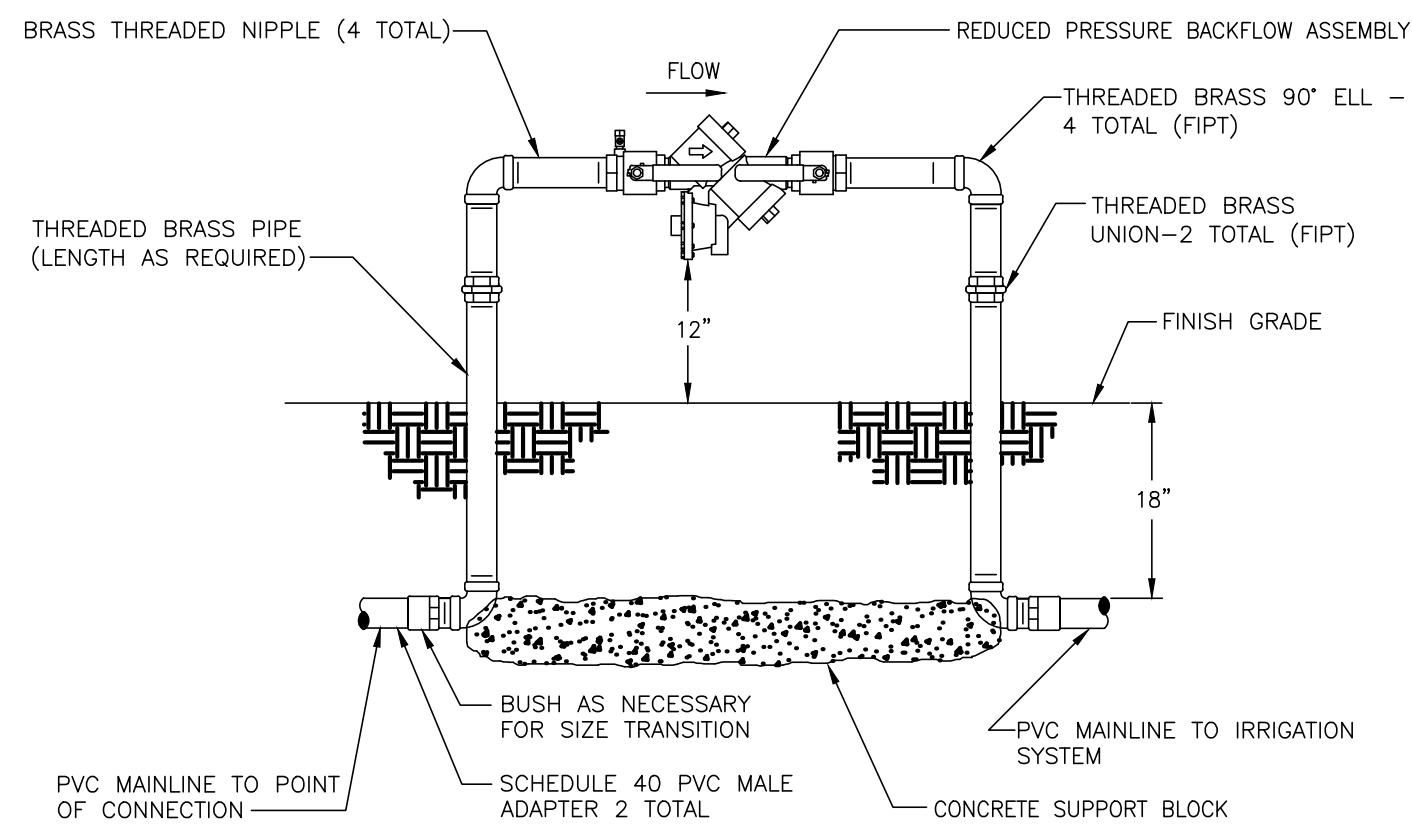
IRRIGATION PLAN

SCENIC HOLDINGS LLC RESIDENCE

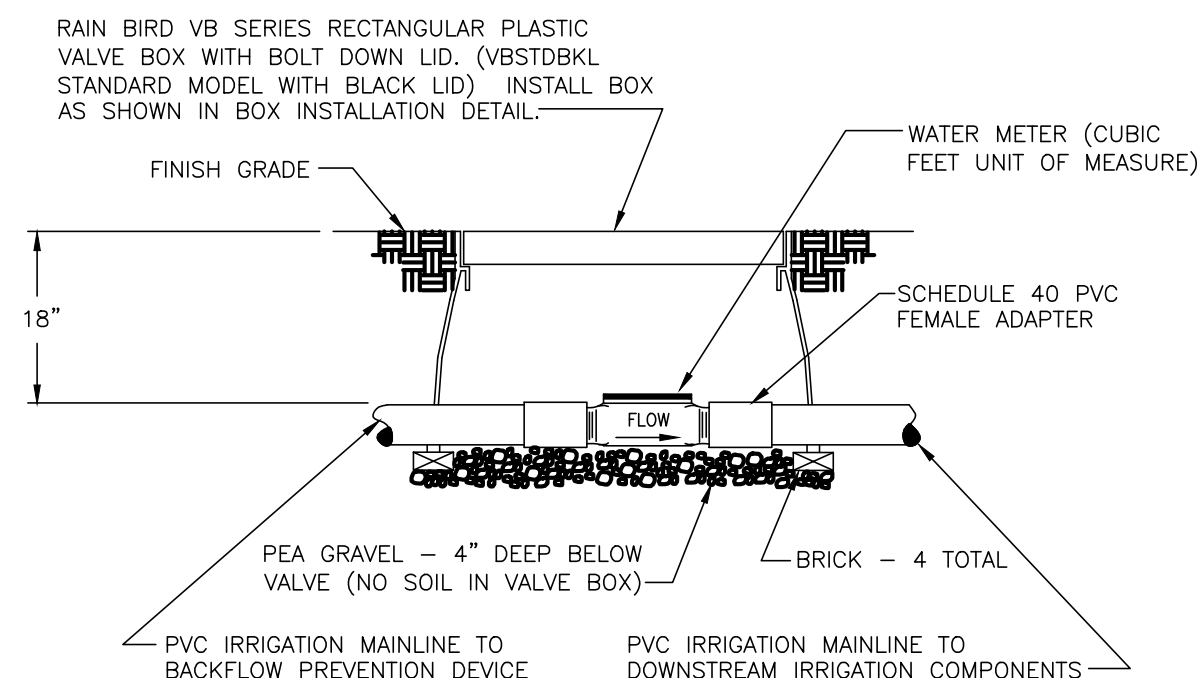
26195 SCENIC ROAD  
CARMEL, CALIFORNIA  
APN: 009-422-023-000

|           |                |
|-----------|----------------|
| DATE:     | MARCH 24, 2020 |
| SCALE:    | AS NOTED       |
| DESIGNED: | MD             |
| DRAWN:    | LMD            |
| REVISION: |                |

IR.2

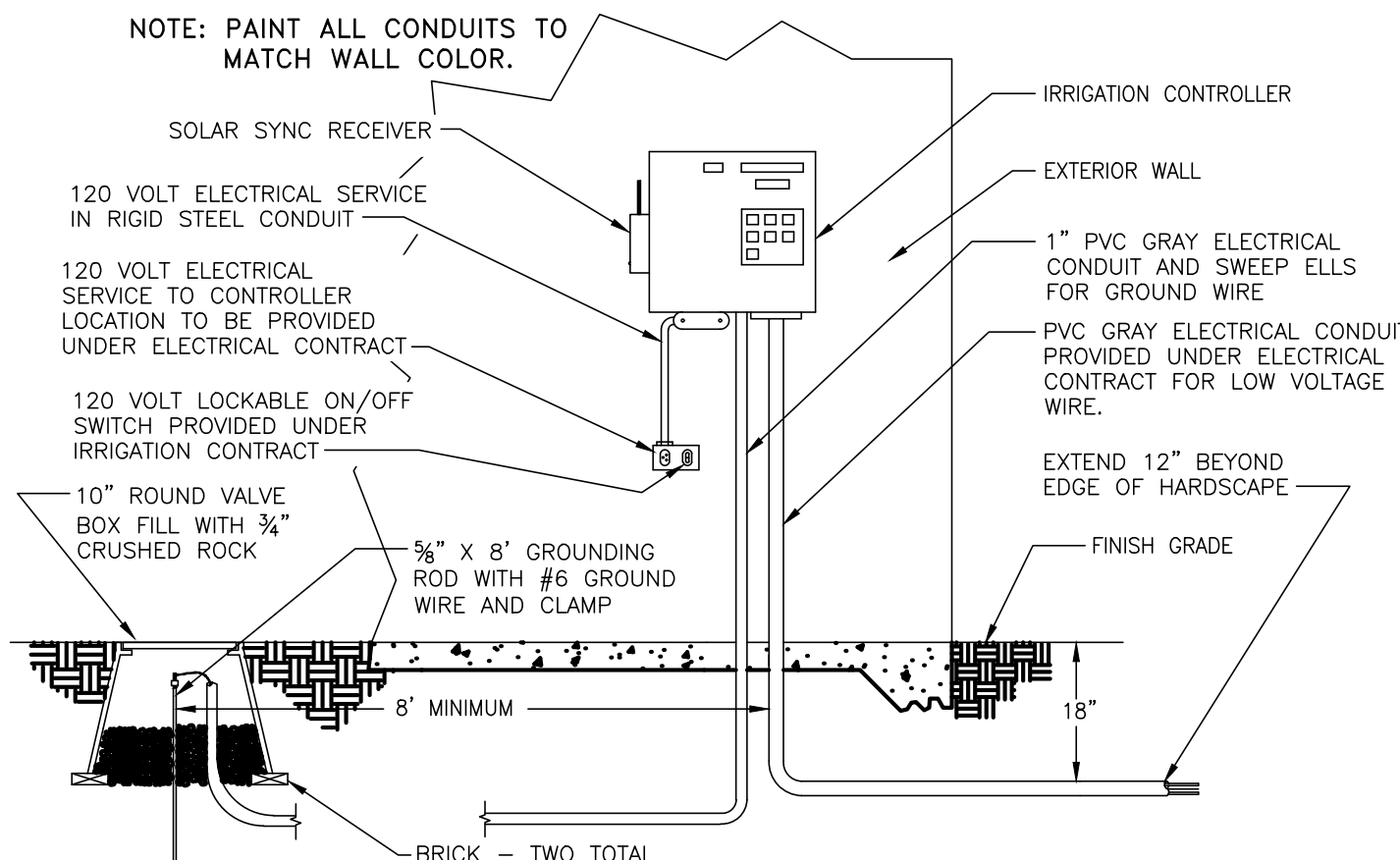


SUB-METER DETAIL  
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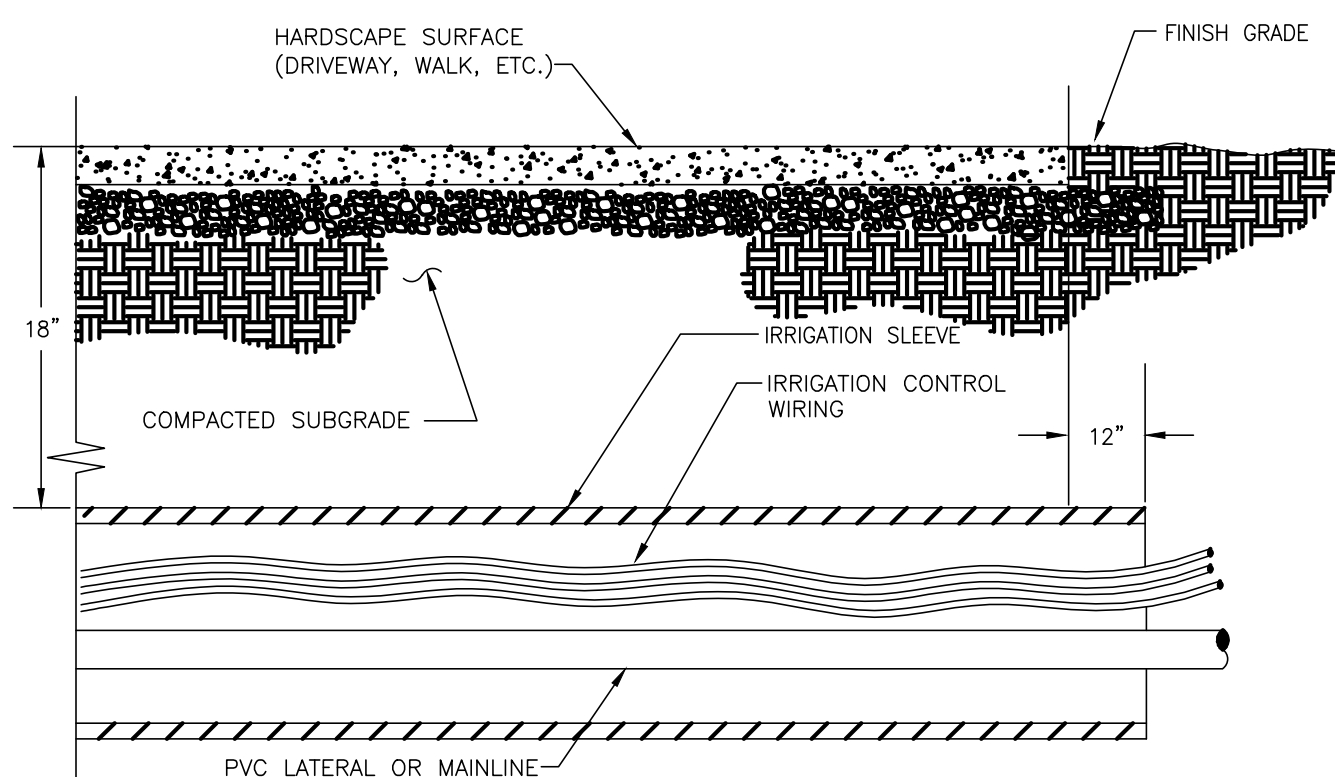
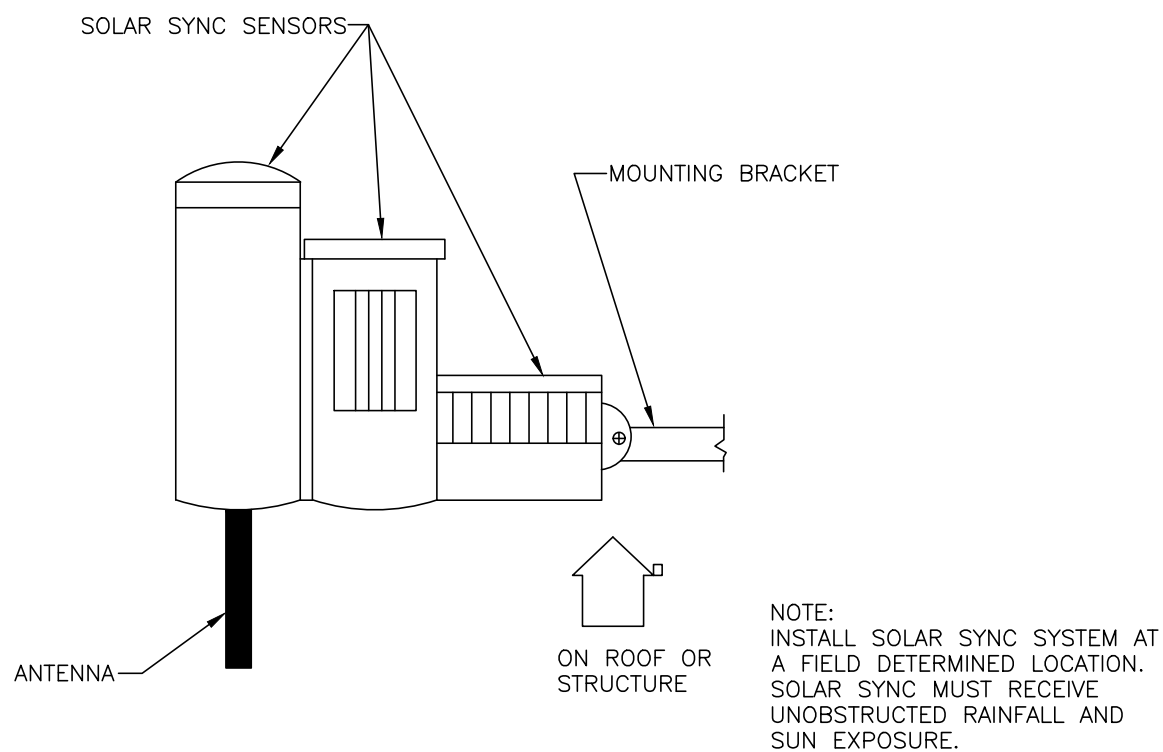


EXTERIOR WALL MOUNT CONTROLLER

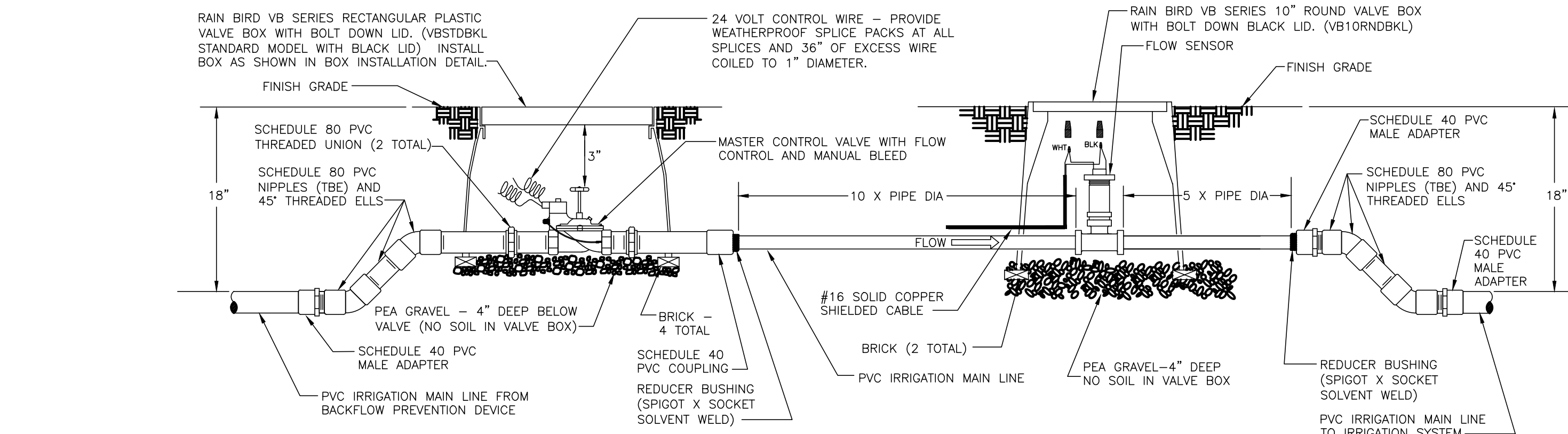
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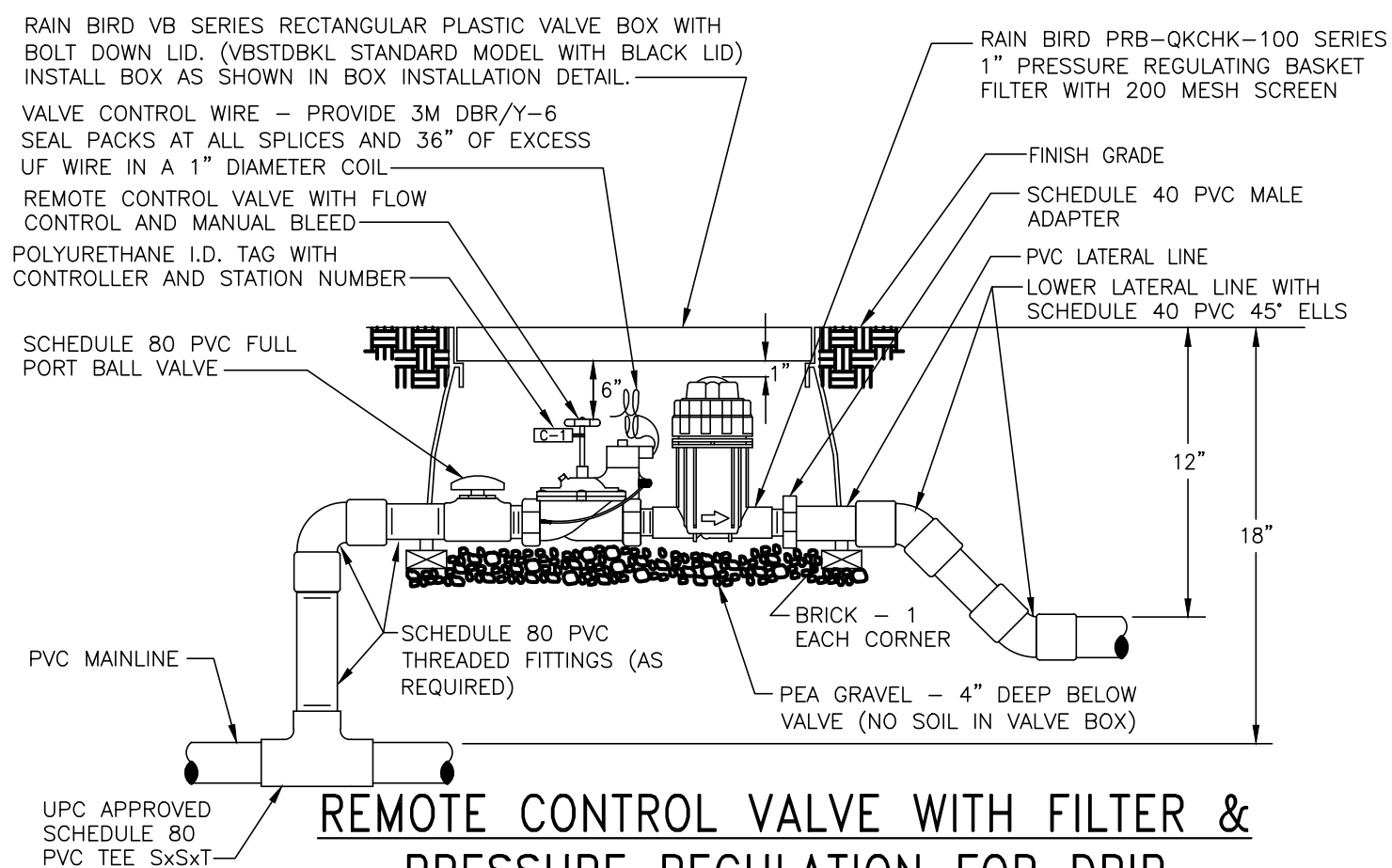
WIRELESS SOLAR SYNC SENSOR  
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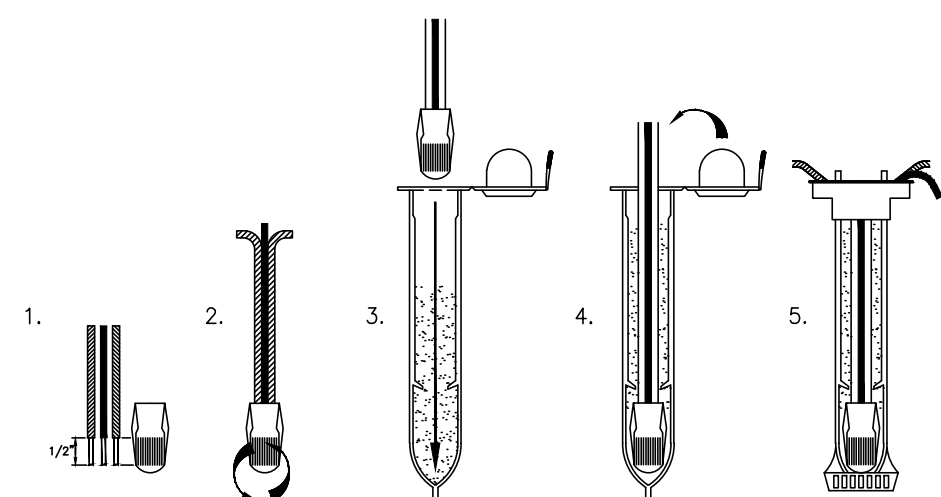
SLEEVING INSTALLATION  
NOT TO SCALE



MASTER VALVE / FLOW SENSOR  
NOT TO SCALE

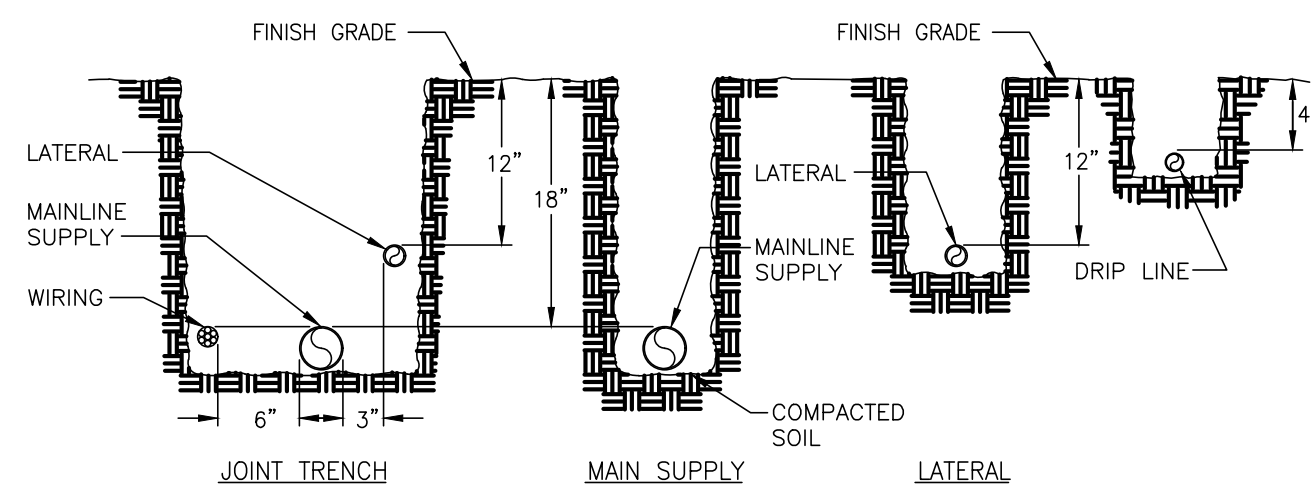


### REMOTE CONTROL VALVE WITH FILTER & PRESSURE REGULATION FOR DRIP



1. USE 3M-DBR/Y-6 WEATHER PROOF SPLICE.
2. STRIP WIRES APPROXIMATELY 1/2" (12.7 MM) TO EXPOSE WIRE.
3. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN
4. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
5. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
6. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

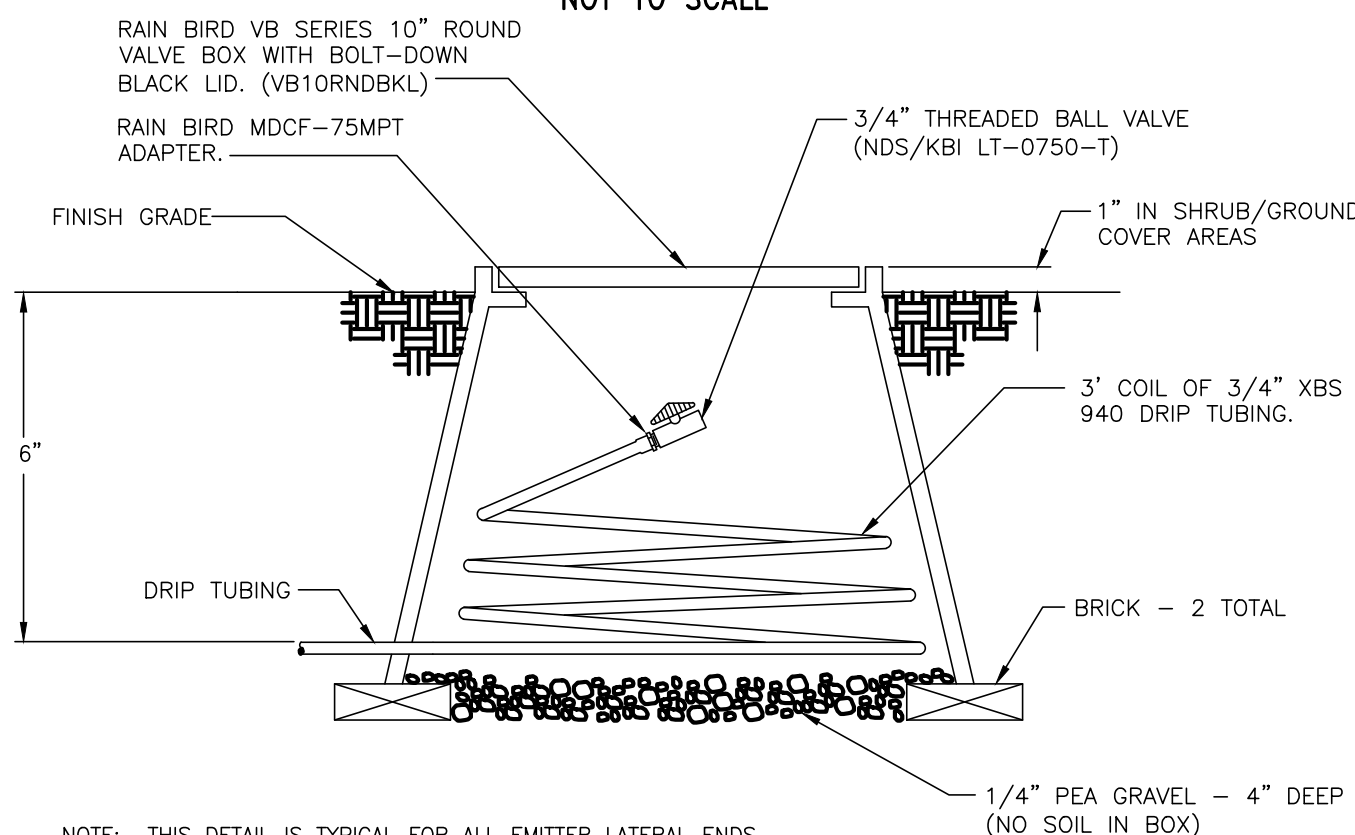
WEATHERPROOF SPLICE ASSEMBLY  
NOT TO SCALE



- NOTES:

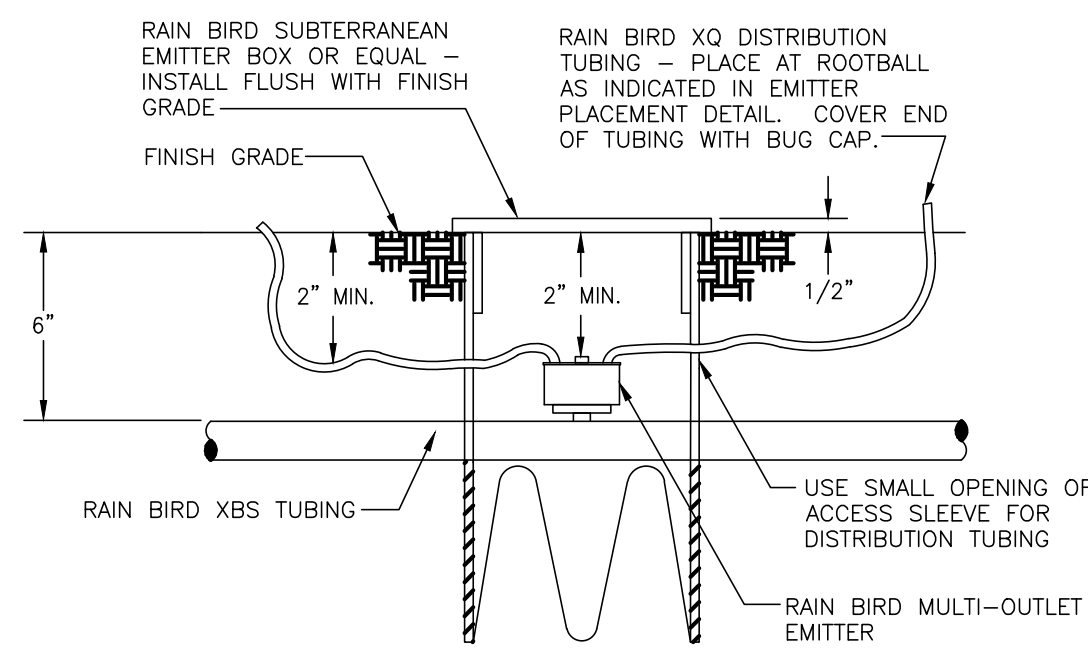
1. ALL PLASTIC PIPING SHALL BE INSTALLED IN THE TRENCH IN A SERPENTINE MANNER AS PER THE MANUFACTURER'S SPECIFICATIONS.
2. ALL SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
3. TAPE AND BUNDLE TUBING OR WIRING AT 10 FEET INTERVALS.
4. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
5. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS, CONCRETE CHUNKS, AND OTHER FOREIGN OR COARSE MATERIALS. IF NECESSARY SELECT BACKFILL THAT IS TO BE PLACED NEXT TO PLASTIC PIPE TO AVOID ANY SHARP OBJECTS WHICH MAY DAMAGE THE PIPE.

TRENCHING DETAIL  
NOT TO SCALE

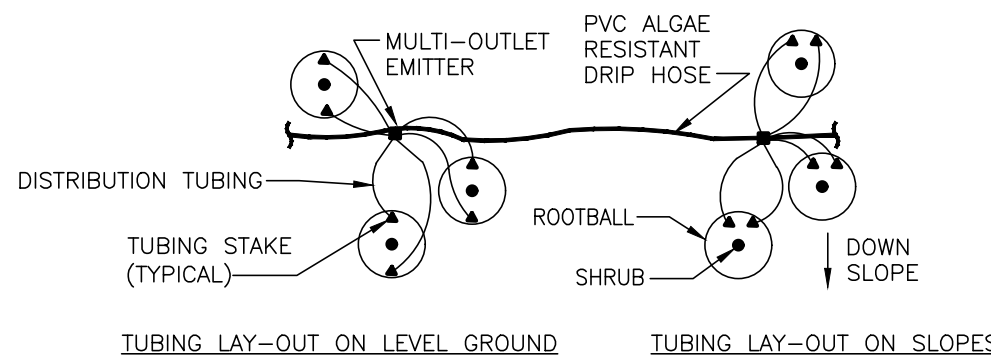


- NOTE: THIS DETAIL IS TYPICAL FOR ALL EMITTER LATERAL ENDS.

EMITTER LINE FLUSH VALVE  
NOT TO SCALE



MULTI-OUTLET EMITTER INSTALLATION  
NOT TO SCALE



SHRUB - TWO EMITTER TUBES

### EMITTER PLACEMENT

NOT TO SCALE

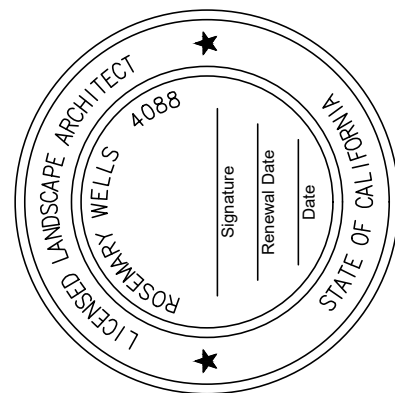


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## IRRIGATION PLAN

**SCENIC HOLDINGS LLC RESIDENCE**

# 26195 SCENIC ROAD

**CARMEL, CALIFORNIA**

APN: 009-422-023-000

DATE: MARCH 24, 2020

SCALE: AS NOTED

DESIGNED: MD

DRAWN: LMD

REVISION:

## IR.2











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