# Attachment F



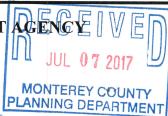
FILE #: 1/1/70572



# MONTEREY COUNTY RESOURCE MANAGEMENT PLANNING

168 West Alisal, 2nd Floor, Salinas, CA 93901 Telephone: (831) 755-5025 Fax: (831) 757-9516

http://www.co.monterey.ca.us/planning PN170572



# INLAND DESIGN APPROVAL APPLICATION FORM

ACCECCOD'S DADCEL NUMBER 045 522 000 000			
ASSESSOR'S PARCEL NUMBER: 015-522-008-000			
PROJECT ADDRESS: 24980 OUTLOOK DR. CARMEL CA 93923			
MAL COLINA/ADTZ A LALIDA TDYON			
PROPERTY OWNER: MAL SCHWARTZ & LAURA TRYON Telephone: C/O ARCHITECT			
Address: C/O ARCHITECT Fax:			
PROPERTY OWNER: MAL SCHWARTZ & LAURA TRYON Telephone: C/O ARCHITECT Address: C/O ARCHITECT Fax: City/State/Zip:Email:			
APPLICANT: STUDIO CARVER ARCHITECTS  Telephone: 831-624-2304			
Address: PO BOX 2684 Fax: 831-624-0364 City/State/Zip: CARMEL. CA 93921 Email: robert@studiocarver.com			
City/State/Zip: CARMEL. CA 93921 Email: robert@studiocarver.com			
ACENT: Tolombono.			
AGENT: Telephone: Fax:			
Address: Fax: City/State/Zip: Email:			
Email:			
Mail Notices to: ☐ Owner ☐ Applicant ☐ Agent			
(Check only one)			
2,670			
PROJECT DESCRIPTION: (Attach Scope of Work) Remodel of an (E) 2048 sf single story residence and the construction of a			
355 addition with skylight. Scope of work also includes the replacement of exterior siding, doors, and windows. Proposed grading will include the			
import of 1448 cu yds of fill. 4 fruit trees are proposed and 2 planters for herb garden.			
MATERIALS TO BE USED: Composition roofing, James Hardie siding, aluminum doors & windows			
MATERIALS TO BE USED: Composition roofing, James Hardie siding, aluminum doors & windows			
See sheet A2.3 & A3.3 for images			
COLORS TO BE USED: Composition roofing to match existing, woodstock brown siding, bronze			
anodized aluminum doors and windows.			
I acknowledge that I will need a building permit and must comply with the Monterey County Building			
Ordinance and that this approval is for design of the structures and compliance with zoning regulations only.			
For properties served by Onsite Wastewater Treatment System (OWTS), the Environmental Health Bureau			
(EHB) will not review this application but may need to require redesign of the project in the subsequent			
construction permit application to address impacts related to the existing OWTS or future standby area. A			
project redesign may require a subsequent Design Approval application and additional fees.			
project redesign may require a subsequent Design reprovat apprecation and additional rees.			
PROPERTY OWNER/AGENT SIGNATURE: Votan Carvo DATE: 7-7-17			
1900-10-10-10-10-10-10-10-10-10-10-10-10-1			
EOD DEDADTMENT LICE ONLY			
FOR DEPARTMENT USE ONLY			
ZONING: LDR/B-6-D-S-RAZ ADVISORY COMMITTEE: CARMEL VALLEY MP AREA PLAN: CARMEL VALLEY MASTER PLAN RELATED PERMITS:			
ADVISORY COMMITTEE: CARMEL VALLEY MP RELATED PERMITS:			
WITHIN ARCH BUFFER ZONE? ☐ YES ☐ NO ON SEPTIC SYSTEM (OWTS)? ☐ YES ☐ NO			
LEGAL LOT: CARMEL VIEWS NO 2 TRACK 628			
·			
FINDINGS:			
The project is consistent with the 2010 General Plan, the applicable Area Plan, and meets the			
regulations in Title 21 (Zoning Ordinance-Inland); and			
The design of the proposed project assures protection of the public viewshed, is consistent with			
neighborhood character, and assures visual integrity without imposing undue restrictions on			
private property because: Minor change from existing exterior footprint. Re-dosign			
to avoid further encroachment into setback. Colors at are			
earthtones to blend w/ surroundings			
DECISION:   OVER-THE-COUNTER   ADMINISTRATIVE			
ACTION: APPROVED DENIED			
CONDITIONS: TATTACHED FOR NONE			
APPROVED BY: Chery Ky DATE: OITIF			
10112111			
COPY TO APPLICANT:   IN PERSON OR   MAILED   DATE:			

# COLOR SAMPLES FOR PROJECT FILE NO.

# **SEE SHEET A2.3 & A3.3**

Materials:	Colors:
Description:	
	SEE SHEET A2.3 & A3.3
Materials:	Colors:
•	
	SEE SHEET A2.3 & A3.3
Materials:	Colors:

It is unlawful to alter the substance of any official form or document of Monterey County.

DA Request Form Instructions with Photo Guidelines Rev. 06/24/2015



# GENERAL PLAN POLICY CONSISTENCY CHECKLIST FOR DESIGN APPROVALS (Inland Only) To be completed by Applicants

LAND USE DES	IGNATION: LDR/B-6-D-S-RAZ	APN: 015-522-008-000	PLANNING NUMBER:	
AREA PLAN:		PROJECT DESCRIPTION:	11141 103 12	
Cachag	ua Area Plan Valley Master Plan	INTERIOR REMODEL WIT	H NEW SIDING, DOORS &	
☐ Central	Salinas Valley Area Plan	WINDOWS. 355 SF ADDI	TION IN COURTYARD WITH	
	d Master Plan Monterey Peninsula Area Plan	SKYLIGHT.		
☐ Greater	Salinas Area Plan		RECEIVED	
	County Area Plan County Area Plan			
☐ Toro Aı	rea Plan		JUL 0 7 2017	
Agricul	ture & Winery Corridor Plan			
	Please answer each ques	tion based on the description of the estionnaire for policy references)	MONTEREY COUNTY  PESSURCE MANAGEMENT AGENCY	
	(see back of qu	estionnaire for policy references)	LAND USE DIVISION	
	The project is for:  ■ Residential use □ Commercial use	D A ani aultural area	· D.11:	
☐ Yes ■ No	The project proposes a cell-site, telcom (di	☐ Agricultural use ☐ Public or Que gital) communication facility/site?	uasi-Public use	
☐ Yes ■ No	The project includes the construction of a r	iew structure?		
■ Yes □ No	The project includes the enlarging, altering	, repairing, moving, improving, or rei	moving of existing structures?	
■ Yes □ No	If "yes", describe CONSTRUCTION OF A 35 The project includes demolition work? If "	ves" describe DEMOLITION OF INTER	IOR WALLS	
☐ Yes ■ No	Project includes the use of roofing material	s that are different in type and/or cold	or from the original materials?	
Yes No	Project includes replacement and/or repair	of (50%) or more of the exterior walls	s of a structure?	
Yes No	Project includes historical structure or a str Project includes an accessory structure(s)?			
Yes No	Project includes the placement of a manufa		or prefabricated unit?	
	Private property Park installa		(mobile home park)	
Yes No	Project includes retaining walls?  Project involves new, change or modification	ong to ovigting utilities and/or never	lines?	
Yes No	Project involves new, change of modification to an app		imes?	
☐ Yes ■ No	Does the project propose a lot line adjustme	ent or subdivision?		
☐ Yes ■ No	Does the project include subdivision creating	ng five or more lots, or new commerc	ial/industrial use that creates intensity	
☐ Yes ■ No	equal to or greater than five residences?  Is the project located near an incorporated a	area (City)?		
☐ Yes ■ No	Is the project located within a Community	Area or Rural Center?		
Yes No	Is the project located within ¼ mile of a pu	blic airport?		
Yes No	Is this the first residence on a property?  Does the project propose a secondary unit?			
☐ Yes ■ No	Would native vegetation be removed with t			
Yes No	Would proposed development occur within	100 feet a creek/drainage (including		
Yes No	Does the project propose any tree removal?  Project includes grading, dirt importation, of			
☐ Yes ■ No	Would the project be connected to an existi			
☐ Yes ■ No	The project includes constructing, enlarging		ing or removing a well.	
☐ Yes ■ No	Project is associated with a new or improve	ments to a water system.  system	number of connections	
☐ Yes ■ No	Does the project include a new individual o			
Yes No	The project includes constructing, enlarging		ing or removing a septic tank/system?	
Yes No	Does the project propose development on s  Is the project 50 feet from a bluff?	lopes over 25%?		
Yes No	Project is located within 100 feet of seasons	al or permanent drainage, lake, marsh	, ocean, pond, slough, stream,	
	wetlands. If "yes", describe			
Yes No	Does the project include cultivation of land Does the project propose non-agricultural u		4	
Yes No	Is the project located within the winery corn	idor?		
☐ Yes ■ No	Would any portion of the proposed develop	ment be visible from a public road, d	esignated vista point, or public park?	
☐ Yes ■ No	If yes, is it located on a slope or near the to Does the project propose or require afforda			
Yes No	Does the project propose of require arrordal Does the project require a General Plan Am			
☐ Yes ■ No	Is the project located within a Special Treat			
Yes No	Is the project located within a Study Area?  Project involves or includes an existing or project.	proposed trail or assement		
L Tes INO	rroject involves of includes an existing of p	proposed trail or easement.		
I, the undersign	gned, have authority to submit application for	r a permit on the subject property. I h	ave completed this questionnaire	
County Generated	sed on the proposed project description. It is ral Plan. I understand that Monterey County	my interpretation that the project is c	onsistent with the 2010 Monterey other permit/entitlement if the project	
County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.				
Signature	6 Colon Can	Data	7,7-17.	
	July Sur	Date_	11/2/1/2	
_	ROBERT CARVER, AIA			
It is unlawful to	alter the substance of any official form or document of N	Monterey County. DA	Request Form Inland Only Rev. 06/24/2015	

	Staff Use Only	
BASED ON REVIEW OF THE PROJECT	☐ CONSISTENT WITH THE 2010 M	MONTEREY COUNTY GENERAL PLAN
DESCRIPTION PROPOSED , THE PROJECT IS:	☐ INCONSISTENT WITH THE 2010	0 MONTEREY COUNTY GENERAL PLAN
NOTES / COMMENTS:		
		RECEIVED
		JUL 0 7 2017  MONTEREY COUNTY
PLANNER: PLANN	ING TEAM:	LAND USE DIVISION

P(	DLICY REFERENCE BASED ON TOPIC
GENERAL PLAN AMENDMENT	LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6,
WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING	LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14
COMMUNITY AREAS	LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4,PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5,
RURAL CENTERS	LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32,OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5,
SPECIAL TREATMENT AREAS	T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5,
STUDY AREAS	GS-1.7, GS-1.11, CSV-1.4, CV-1.26
WINERY CORRIDOR	AG-4.1 thru AG-4.5, AWCP
DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS	LU-1.19, S-2.7, OS-3.6
DEVELOPMENT ON SLOPES OVER 25%	LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6
CONVERSION TO AGRICULTURE	OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3NC-3.10, NC-3.11, CV-6.2, CV-6.4,
ROUTINE AND ON-GOING AG ACTIVITIES	AG-3.1 thru AG-3.3
NON-AG ADJACENT TO AG USES	LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8
AGRICULTURE (F, PG, & RG)	LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT
FARM WORKER HOUSING	AG-1.6
AG EMPLOYEE HOUSING	AG-1.7
AG SUPPORT FACILITIES	AG-2.1 thru AG-2.9
RURAL RESIDENTIAL (LDR, RDR, & RC)	LU-2.34 thru LU-2.37
URBAN RESIDENTIAL (HDR & MDR)	LU-2.33
COMMERCIAL (LC, HC, & VPO)	LU-4.1 thru LU-4.8, ED-2.3, ED-4.2
INDUSTRIAL (AI, LI, & HI)	LU-5.1 thru LU-5.9, ED-2.3, ED-4.2
PUBLIC / QUASI PUBLIC (PQP)	LU-6.1 thru LU-6.5
AFFORDABLE HOUSING	LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27
SECONDARY UNITS	LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1
SUBDIVISION	LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S 2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4,
LOT LINE ADJUSTMENT	LU-1.14 thru LU-1.16
OFF-SITE ADVERTISING	LU-1.10
EXTERIOR LIGHTING	LU-1.13
LANDSCAPING	OS-5.6, OS-5.14
TREE REMOVAL	OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7.
CIRCULATION (e.g. roads, transportation)	Chapter 2.0

# **EXISTING PROPERTY PHOTOS**



SOUTH ELEVATION - OUTLOOK DRIVE



SOUTH ELEVATION



WEST ELEVATION



EAST COURTYARD ELEVATION

# ADCUITECTUDAL ADDDEVIATIONS

W(O)/ WITH (OR WITHOUT)

W WIDE, WIDTH

W.C. WATER CLOSET

WLP. WALL PAPER

W.P. WATERPROOFING

W.R.B. WATER RESISTIVE BARRIER

WA. WALNUT

WD. WOOD

WDW. WINDOW

WT. WEIGHT

YD YARD

ARCHITECTURAL ABBREVIATIONS							
&	AND	E	EAST	JAN.	JANITOR	R	RADIUS / RISER
<	ANGLE	(E)	EXISTING	JT.	JOINT	R.A.	RETURN AIR
@	AT	EA.	EACH	_		R.D.	ROOF DRAIN
000	DIAMETER	E.J.	EXPANSION JOINT	L	ANGLE	REF.	REFRIGERATOR
2CP 3CP	2 COAT PLASTER	EL. ELEC.	ELEVATION ELECTRICAL	LB. LG.	POUND LONG, LENGTH	reinf. Res.	REINFORCED RESIN
3CP	3 COAT PLASTER	ELEV.	ELEVATOR	LG. LAM.	LAMINATE(ION)	RES. REV.	REVISED(ION)
AB.	AGGREGATE BASE	EMER.	EMERGENCY	LAW.	LAVATORY	REQD.	REQUIRED
A.B.T	ANCHOR BOLT	E.M.R	ELEVATOR MACHINE RM.	LLH	LONG LEG HORZ.	RM.	ROOM
AC.	AIRCONDITIONER	ENCL.	ENCLOSURE, ENCLOSED	LLV	LONG LEG VERT.	R.O.	ROUGH OPENING
ACD.	ACCESS DOOR	ENGR.	ENGINEER	LT(G)	LIGHT(ING)		
ACT.	ACOUSTIC TILE	ENTR.	ENTRANCE	LVR.	LOUVER	S	SOUTH
AD.	AREA DRAIN	EQ.	EQUAL			SAFB	SOUND ATTENTUATION FIRE BLANKET
A.D.A	AMERICANS WITH	EQP.	EQUIPMENT	MACH.	MACHINE	SC.	SEALED CONCRETE SOLID CORE
VD I	DISABILITIES ACT ADJUSTABLE	EST. EX.	ESTIMATE	MAX. MECH.	MAXIMUM MECHANICAL	SCH. SCP	SCHEDULE SKIM COAT PLASTER
ADJ. A.F.F.	ABOVE FINISH FLOOR	EXH.	EXISTING EXHAUST	MEMB.	MEMBRANE	SEC.	SECTION
AL.	ALUMINUM	EXP.	EXPANSION	MEZZ.	MEZZANINE	S.F.	SQUARE FEET
ANOD.	ANODIZED	EXT.	EXTERIOR	MFR.	MANUFACTURER	SHT.	SHEET
A.P.	ACCESS PANEL		22	MH.	MAN HOLE	SIG.	SOUND INSULATING GLASS
ARCH.	ARCHITECTURAL	F.A.I.	FRESH AIR INTAKE	MIN.	MINIMUM	SIM.	SIMILAR
AVG.	AVERAGE	F.D.	FLOOR DRAIN	MISC.	MISCELLANEOUS	SIP	Structural Insulated Panel
		FDN.	FOUNDATION	M.O.	MASONRY OPENING	S.J.	SCORED JOINT
BO.	BOARD	F.E.	FIRE EXTINGUISHER	MTD.	MOUNTED		SPRINKLER
BITUM.		FF F.C	FINISH FLOOR OR FINISHED FACE	MTG.	MEETING	SPKR.	SPEAKER
BLDG. BLK.	BUILDING BLOCKING	F.G. FGL.	FINISH GRADE FIBERGLASS	MTL.	METAL	SQ. S.S.	SQUARE STAINLESS STEEL
BM.	BEAM	F.H.	FIRE HYDRANT, FLAT HEAD	N	NORTH	SMI	SEE MANUFACTURERS INSTRUCTIONS
B.M.	BENCH MARK	F.H.C.	FIRE HOSE CABINET	NAT.	NATURAL	SED	SEE ENGINEERING DRAWINGS
B.O.	BOTTOM OF	FIN.	FINISH	N.I.C.	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWINGS
BR.	BRASS	FLR.	FLOOR	NO.	NUMBER	ST	STONE TILE / STONE
BRK.	BRICK	FL.	FLUORESCENT	NOM.	NOMINAL	STL.	STEEL
B.S.	BOTH SIDES	F.O.	FACE OF	NRC	NOISE REDUCTION	STC.	SOUND TRANSMISSION COEFFICIENT
BSMT.	BASEMENT	F.O.C.	FACE OF CONC.		COEFFICIENT	STD.	STANDARD
B.U.R.	BUILT-UP ROOF	F.O.M.	FACE OF MASONRY	N.T.S.	NOT TO SCALE	STOR.	STORAGE
CAB.	CABINET	F.O.S F.P.	FACE OF STUD FIRE PROOFING	0/	OVER	STRUCT SUSP.	STRUCTURAL SUSPENDED
CAB. CAP.	CAPACITY	F.F.	FRAME / FIRE RATED	0.C.	ON CENTER	SW.	STAINED WOOD
CAT.	CATALOG	F.S.	FULL SIZE/SCALE	O.D.	OUTSIDE DIAMETER	SVV.	STAINED WOOD
	CLOSED CELL	FT.	FOOT/FEET	OFF.	OFFICE	T	TREAD
	FOAM INSULATION	FTG.	FOOTING	O.H.	OPPOSITE HAND	TB.	TILE BACKER BOARD
C.B.	CATCH BASIN	FXTR.	FIXTURE	OPG.	OPENING	T.C.	TERRA COTTA
CE.	CEDAR	GA.	GAUGE	OPP.	OPPOSITE	TEL.	TELEPHONE
CEM.	CEMENTITOUS	GALV.	GALVANIZED	OVHD.	OVERHEAD	TEMP.	TEMPORARY
CER.	CERAMIC	G.C	GENERAL CONTRACTOR			TERR.	TERRACE
CFM. C.I.	CUBIC FEET/MIN. CAST IRON	GEN. GFCI.	GENERAL GROUND FAULT	PERF.	PERFORATED	T&G THK.	TONGUE AND GROOVE THICK
C.I. C.L.	CENTERLINE	GFUI.	CIRCUIT INTERRUPTER	PERF. PL.	PLATE	THRU.	THROUGH
CLG.	CEILING	G.I.	GALVANIZED IRON	PLAS.	PLASTER	TMPD	TEMPERED
CLOS.	CLOSET	GL.	GLASS	PLBG.	PLUMBING	(T)	TEMPERED
CLR.	CLEAR	GLM	GLUELAM	PLG.	PANELLING	T.O.P.	TOP OF PLATE
CLW.	CLEAR FINISH WOOD	GLZ.	GLAZING	PLY	PLYWOOD	T.O.S	TOP OF SLAB
C.J.	CONTROL JOINT	GMT.	GLASS MOSIAC TILE	PM.	PERF. MTL.		TOP OF WALL
CMU.	CONC. MASONRY UNIT	GR.	GRADE	POL.	POLISH(ED)	T.S.S.	TOP OF STRUCTURAL STEEL
CNTR.	COUNTER	GT.	GLASS TILE	PR.	PAIR	TYP.	TYPICAL
C.O.	CLEANOUT	GWB.	GYPSUM WALL BOARD	PT.	PAINTED	TZ	TERRAZZO
CONF. COL.	CONFERENCE COLUMN	GYP.	GYPSUM	PTN. PW.	PARTITION PAINTED WOOD	UNF.	UNFINISHED
	COMMUNICATION	HC.	HOLLOW CORE	ı VV.	I VIINTEN MAOON	U.N.O	UNLESS NOTED OTHERWISE
CONC.		HD(R).	HEAD(ER)	QT.	QUARRY TILE	UPD.	UPHOLSTERED
	CONSTRUCTION	HDWD.		QTY.	QUANTITY	J. J.	
CONT.	CONTINOUS		HARDWARE			VENT.	VENTILATION
CORR.	CORRIDOR	H.M.	HOLLOW MTL.			VERT.	VERTICAL
CPT.	CARPET	HORZ.	HORIZONTAL			VEST.	VESTIBULE
CRS.	COURSE	HR.	HOUR			VIF.	VERIFY IN FIELD
CT.	CERAMIC TILE	H.S.	HEADED STUD			V.R.	VENEER PLASTER
CTR.	COLD WATER	HT. HTC	HEIGHT			V.P.	VENETIAN PLASTER

DEMO DEMOLITION

DF. DOUGLAS FIR

DIA. DIAMETER

DIAG. DIAGONAL

DN. DOWN

DIM. DIMENSION

D.O. DOOR OPENING DR. DOOR

D.S. DOWNSPOUT DTL. DETAIL DWG. DRAWING

DET. DETAIL

# **SHEET INDEX**

G1.0	COVER SHEET
G1.1	GENERAL NOTES
G1.2	SURVEY
G1.3	EROSION CONTROL / CONSTRUCTION MGMNT PLAN
G1.4	EROSION CONTROL / CONSTRUCTION MGMNT NOTES
G1.5	GRADING/SLOPE MAP & DRAINAGE PLAN
A1.0	SITE PLAN
A2.0	EXISTING/DEMO FLOOR PLAN
A2.1	PROPOSED FLOOR PLAN
A2.3	PROPOSED ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	BUILDING SECTIONS
A3.3	BUILDING SECTIONS

# **SCOPE OF WORK**

REMODEL OF AN (E) 2,645 SF SINGLE STORY RESIDENCE AND THE CONSTRUCTION OF A 355 SF ADDITION WITH SKYLIGHT. SCOPE OF WORK ALSO INCLUDES THE REPLACEMENT OF EXTERIOR SIDING, DOORS, AND WINDOWS. PROPOSED GRADING WILL INCLUDE THE IMPORT OF 14.48 CU YDS OF FILL. 4 FRUIT TREES ARE PROPOSED AND PLANTERS FOR HERB GARDEN.

MONTEREY BAY ENGINEERS, INC.

Phone: (831) 899-7899 Fax: (831) 899-7879 E-mail: mbayengr@mbay.net

607 Charles Ave. Suite B

Seaside, CA 93955

	PROJECT TEAM	(E) BUILDING AREA:		
OWNER	MAL SCHWARTZ & LAURA TRYON	(E) RESIDENCE & GARAGE (E) DECKS (24" abv grade)	2,670 176	SF SF
	C/O ARCHITECT	(P) ADDITION		
ARCHITECT	STUDIO CARVER ARCHITECTS	PROPOSED ADDITION	355	SF
	P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 Fax: (831) 624-0364 E-mail: Robert@StudioCarver.com Contact: Robert Carver, AIA, Leed AP	REMODELED BUILDING AREA: REMODELED RESIDENCE & GARAGE	3,025	SF

# **LOT COVERAGE**

**BUILDING AREA** 

PROJECT INFORMATION

24980 OUTLOOK DR.,

CARMEL, CA 93923

015-522-008-000

LDR/B-6-D-S-RAZ

R-3 / SINGLE FAMILY RESIDENCE

ELEV. = 98' - 5"

ELEV. = 128' - 5"

ELEV. = 111' - 11"

ELEV. = 112' - 5"

RESIDENTIAL

TYPE V-B

U / GARAGE

PROPERTY ADDRESS

GENERAL PLAN LAND USE

TYPE OF CONSTRUCTION

WILDLAND URBAN INTERFACE AREA YES

ALLOWED HEIGHT LIMIT ABOVE A.N.G 30' - 0"

(ALL MATERIALS & CONSTRUCTION

TO COMPLY WITH CHAPTER 7A OF

**AVERAGE NATURAL GRADE** 

(E) HEIGHT ABOVE A.N.G.

(P) HEIGHT ABOVE A.N.G

OCCUPANCY GROUP

APN

ZONING

**DESIGNATION** 

THE 2016 CBC)

LOT SIZE	.57651 AC	CRES (25,113 SF)
ALLOWABLE LOT COVERAGE	25% OR 6	5,278 SF
(E) LOT COVERAGE:  (E) RESIDENCE & GARAGE  (E) DECKS (24" abv grade)  TOTAL	2,670 176 2,846	SF SF SF OR 11.3%
NEW LOT COVERAGE  REMODELED RESIDENCE & GARAGE  EXISTING & NEW DECKS  TOTAL	3,025 0 3,025	SF SF SF OR 12%

# **VICINITY MAP**

PROJECT SITE

HTG. HEATING HTR. HEATER

HW HOT WATER

INCHES

INSL. INSULATION

INV. INVERT

HVAC HEATING VENTILATION

& AIR CONDITIONING

INSIDE DIAMETER

# **PROJECT SITE**

**SURVEYOR** 

ELQUEST	TAX CODE AREA  FEBRUC EDITEMENT  MONTEDET CO  E-00 DG GB	COUNTY OF MONTEREY ASSESSOR'S MAP BOOK 015 PAGE 52
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PARCEL MAP

# **GRADING ESTIMATES**

GRADING CUT	23.82 CU.YDS.
GRADING FILL	126.12 CU.YDS.
GRADING NET IMPORT	102.3 CU.YDS.

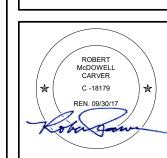
# MISCELL ANEOLIS

MISCELLANEOUS			
WATER SOURCE	CAL AM		
SEWER SYSTEM	CAWD		
TREES TO BE REMOVED	0		
REQUIRED PARKING	2 SPACES		
EXISTING PARKING	4 SPACES (1 COVERED)		

NOT FOR CONSTRUCTION

# SCHWARTZ REMODEL

24980 OUTLOOK DR. CARMEL, CA 93923



**PLANNING** DEPARTMENT

SUBMITTAL





REVISION #

ARCHITECTURAL **COVER SHEET** 

Drawn By:

G1.0 9/29/2017

# Carmel Highlands/Cypress Fire Protection Districts

Date: 9/5/2017 Project Address: 24980 Outlook Dr., Carmel CA 93923 Owner Name: Malvin Schwartz & Laura Tryon

Assessor's Parcel Number: <u>015-522-008-000</u> Permit Number: PLN170572

We are in the process of reviewing construction plans for the above project and need your assistance. The Pebble Beach Community Services District has adopted Section 102.1 Subsection 5 of the Monterey Fire Code Amendments of the 2013 California Fire Code. This section requires residential sprinklers to be installed in major remodels and additions. If the project meets the requirement of this section, the entire residence must have a residential sprinkler system installed.

Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2013 California Fire Code

Existing structures Alterations and repairs. All new work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structural and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official.

COMMENTARY: This section is for all projects involving structural modifications. The following "formula" has been agreed upon by the Fire Districts Committee of the Monterey County Fire Prevention Officers Association:

STEP	ACTION	LINEAR FEET
=	, nemen	8 3-00
1	Determine the length of the total length of all walls (interior and exterior) of the original existing building.	596' 2"
2	Determine the length of the total length of all walls to be replaced/relocated during the remodel of the building.	118' 2"
3	Determine the length of the total length of all walls that are proposed to be removed during the remodel of the building.	139' 1"
4	Determine the length of the total length of all walls of any addition that have not been already counted in Steps 2 and 3.	117' 9"
5	Add results of Steps 2, 3, and 4.	375′ 0″
6	Divide total of Step 5 by total of Step 1.	63%
7	If step 5 is 50% or more then automatic fire sprinklers are required for this project. Or if the cumulative total of projects within the 5 year period is 50% or more automatic fire sprinklers are required for this project.	YES

# I attest that the measurements and calculations stated above for this project are true and correct.

eted	by:
	eted

Printed Name: Robert Carver	Signature:	Representing Firm: <u>Studio Carver Archite</u>
Certification/License Number	Phone Number 831.622.7837	E-mail robert@studiocarver.com

# FIRE DEPT. NOTES

(FIRE007) -- DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH. (CAL-FIRE

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL COMPLETE THE INSTALLATION OF DRIVEWAY IMPROVEMENTS AND OBTAIN FIRE DEPARTMENT APPROVAL THE FINAL FIRE

(FIRE008) – ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12 FEET WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40-FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED. (CAL-FIRE COASTAL STATION)

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION. THE APPLICANT SHALL COMPLETE THE INSTALLATION OF THE ENTRY GATE AND OBTAIN FIRE DEPARTMENT APPROVAL THE FINAL FIRE INSPECTION.

(FIRE011) – ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE. (CAL-FIRE COASTAL

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL INSTALL THE REQUIRED ADDRESS SIGNAGE AND SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE FIRE DEPARTMENT FINAL

(FIRE014) - FOR DEVELOPMENT OF STRUCTURES TOTALING LESS THAN 3,000 SQUARE FEET ON A SINGLE PARCEL, THE MINIMUM FIRE PROTECTION WATER SUPPLY SHALL BE 4,900 GALLONS. FOR DEVELOPMENT OF STRUCTURES TOTALING 3,000 SQUARE FEET OR MORE ON A SINGLE PARCEL, THE MINIMUM FIRE PROTECTION WATER SUPPLY SHALL BE 9.800 GALLONS. FOR DEVELOPMENT OF STRUCTURES TOTALING MORE THAN 10,000 SQUARE FEET ON A SINGLE PARCEL, THE REVIEWING AUTHORITY MAY REQUIRE ADDITIONAL FIRE PROTECTION WATER SUPPLY. OTHER WATER SUPPLY ALTERNATIVES, INCLUDING ISO RURAL CLASS 8 MOBILE WATER SYSTEMS. MAY BE PERMITTED BY THE FIRE AUTHORITY TO PROVIDE FOR THE SAME PRACTICAL EFFECT. THE QUANTITY OF WATER REQUIRED BY THIS CONDITION SHALL BE IN ADDITION TO THE DOMESTIC DEMAND AND SHALL BE PERMANENTLY AND IMMEDIATELY AVAILABLE. (CAL-

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL COMPLETE THE INSTALLATION OF THE WATER SYSTEM IMPROVEMENTS AND SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE FINAL FIRE INSPECTION.

(FIRE015) – A FIRE HYDRANT OR FIRE VALVE IS REQUIRED. THE HYDRANT OR FIRE VALVE SHALL BE 18 INCHES ABOVE GRADE, 8 FEET FROM FLAMMABLE VEGETATION, NO CLOSER THAN 4 FEET AND NO FURTHER THAN 12 FEET FROM A ROADWAY, AND IN A LOCATION WHERE FIRE APPARATUS USING IT WILL NOT BLOCK THE ROADWAY. THE HYDRANT SERVING ANY BUILDING SHALL BE NOT LESS THAN 50 FEET AND NOT MORE THAN 1,000 FEET BY ROAD FROM THE BUILDING IT IS TO SERVE. MINIMUM HYDRANT STANDARDS SHALL INCLUDE A BRASS HEAD AND VALVE WITH AT LEAST ONE 2 1/2 INCH NATIONAL HOSE OUTLET SUPPLIED BY A MINIMUM 4 INCH MAIN AND RISER. MORE RESTRICTIVE HYDRANT REQUIREMENTS MAY BE APPLIED BY THE REVIEWING AUTHORITY. EACH HYDRANT/VALVE SHALL BE IDENTIFIED WITH A REFLECTORIZED BLUE MARKER, WITH MINIMUM DIMENSIONS OF 3 INCHES, LOCATED ON THE DRIVEWAY ADDRESS SIGN, NON-COMBUSTIBLE POST OR FIRE HYDRANT RISER. IF USED, THE POST SHALL BE WITHIN 3 FEET OF THE HYDRANT/VALVE, WITH THE BLUE MARKER NOT LESS THAN 3 FEET OR GREATER THAN 5 FEET ABOVE THE GROUND, VISIBLE FROM THE DRIVEWAY. ON PAVED ROADS OR DRIVEWAYS, REFLECTORIZED BLUE MARKERS SHALL BE PERMITTED TO BE INSTALLED IN ACCORDANCE WITH THE STATE FIRE MARSHAL'S GUIDELINES FOR FIRE HYDRANT MARKINGS ALONG STATE HIGHWAYS AND FREEWAYS. MAY 1988. (CAL-FIRE COASTAL STATION)

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL COMPLETE THE INSTALLATION OF THE WATER SYSTEM IMPROVEMENTS AND SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE FINAL FIRE INSPECTION.

(FIRE019) - MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES. OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE TREE LIMBS FROM WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATIVE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. (CAL-FIRE COASTAL STATION)

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL COMPLETE THE VEGETATION MANAGEMENT AND SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE FINAL FIRE INSPECTION.

(FIRE022) - THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. DUE TO SUBSTANDARD ACCESS, OR OTHER MITIGATING FACTORS, SMALL BATHROOM(S) AND OPEN ATTACHED PORCHES, CARPORTS, AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS (CAL-FIRE COASTAL STATION)

PRIOR TO REQUESTING A FRAMING INSPECTION, THE APPLICANT SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE ROUGH SPRINKLER INSPECTION.

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL COMPLETE THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM AND OBTAIN FIRE DEPARTMENT APPROVAL OF THE FINAL FIRE SPRINKLER INSPECTION.

(FIRE025) -- WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE CALIFORNIA BUILDING CODE OR CALIFORNIA RESIDENTIAL CODE, THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT. (CAL-FIRE COASTAL STATION)

PRIOR TO REQUESTING A FINAL BUILDING INSPECTION, THE APPLICANT SHALL OBTAIN FIRE DEPARTMENT APPROVAL OF THE FIRE ALARM SYSTEM ACCEPTANCE TEST.

(FIRE027) – ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION. (CAL-FIRE COASTAL STATION)

# **GENERAL NOTES**

- SPECIAL INSPECTIONS, BY GEOTECH ENGINEER, ARE REQUIRED FOR EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS. DURING FILL PLACEMENT, THE ENGINEER SHALL DETERMINE THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT. (CBC 1705.6)
- DEVELOPMENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL REMOVAL OR PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE PROHIBITED ON SLOPES GREATER THAN OR EQUAL TO 30% (GREATER THAN 25% FOR DEVELOPMENT IN NORTH COUNTY LUP) (16.12.040)
- THE SLOPE OF CUT AND FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE, AND SHALL BE NO STEEPER THAN TWO UNITS HORIZONTAL TO ONE UNIT VERTICAL (50% SLOPE) UNLESS THE OWNER OR AUTHORIZED AGENT FURNISHES A REPORT FROM A GEOTECHNICAL ENGINEER JUSTIFYING A STEEPER SLOPE. (MCC 16.08.300A & 16.08.310 B & F).
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 12 INCHES (305 mm) IN ANY DIMENSION SHALL BE INCLUDED IN FILLS. (MCC 16.08.310 E)
- ALL FILL MATERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR, IN LIFTS NOT EXCEEDING 12 INCHES (305 mm) IN DEPTH, UNLESS OTHERWISE SPECIFIED BY GEOTECHNICAL ENGINEER.
- A "FINAL SOILS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK COMPLETED WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, AIA DOCUMENT A201- 2007 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- ANY DISCREPANCIES / QUESTIONS SHALL BE REFERRED TO ARCHITECT VIA A WRITTEN R.F.I, PRIOR TO COMMENCEMENT OF WORK.
- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE THE WORK TO EXPEDITE COMPLETION OF THE WORK.
- DIMENSIONS ARE TO THE BUILDING GRID LINES OR THE FACE OF CONCRETE/ FACE OF STUD UNLESS OTHERWISE NOTED. CONSULT WITH THE ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- 12. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 13. CALIFORNIA BUILDING STANDARDS CODE, 2016 EDITION: AS APPLICABLE, ALL MATERIALS, WORKMANSHIP, AND METHODS SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE; [PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 2 - CALIFORNIA RESIDENTIAL CODE, PART 3 - CALIFORNIA ELECTRICAL CODE, PART 4 - CALIFORNIA MECHANICAL CODE, PART 5 - CALIFORNIA PLUMBING CODE, PART 6 -CALIFORNIA ENERGY CODE, PART 8 - CALIFORNIA FIRE CODE, PART 10 - CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 12 - CALIFORNIA REFERENCE STANDARDS CODE] AND OTHER APPLICABLE CODES AND ORDINANCES AS CURRENTLY ADOPTED BY THE LOCAL JURISDICTION.
- 14. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- 17. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SAID PROTECTION SHALL BE DEMONSTRATED PRIOR TO THE ISSUANCE OF BUILDING PERMITS SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 420).
- NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT & FROM MONTEREY COUNTY.
- 20. NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER OR OTHER SUB-POTABLE WATER APPROVED BY THE COUNTY HEALTH DEPARTMENT & APPROPRIATE FOR SUCH USE.
- 21. ALL HOSES USED FOR ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE & TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE. ALL HOSE BIBS SHALL USE NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICES.(CPC 603.3.7).
- 22. GLAZING USED IN DOORS, PANELS OF SHOWER AND TUB ENCLOSURES AND GLASS GUARD RAILS SHALL BE FULLY TEMPERED GLASS OR LAMINATED SAFETY GLASS APPROVED FOR USE IN SUCH LOCATIONS BY THE CURRENT ADOPTED BUILDING CODE.
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.
- 25. IN ADDITION TO THE REQUIRED PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE, AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL SHALL BE INSTALLED WHEN ANY DEVICE IS INSTALLED THAT PREVENTS PRESSURE RELIEF THROUGHOUT THE BUILDING SUPPLY. (CPC 608.3)
- THE CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTION TO AVOID GALVANIC REACTION IN ALL METAL COMPONENTS. THE CONTRACTOR SHALL AVOID THE DIRECT CONTACT OF DISSIMILAR METALS. WHERE DISSIMILAR METALS ARE USED, AN INTERMEDIATE LAYER OF INERT MATERIAL SHALL BE PLACED BETWEEN DISSIMILAR METALS. WHERE DISSIMILAR METALS ARE USED IN SERIES, THE CONTRACTOR SHALL NOT PENETRATE THESE MATERIALS WITH ANY METAL FASTENERS. METAL FASTENERS USED IN CONJUNCTION WITH METAL COMPONENTS SHALL BE OF THE SAME OR SIMILAR MATERIAL.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR CASEWORK, MILLWORK, STRUCTURAL STEEL, STAIRS AND OTHER ITEMS REQUIRING CUSTOM SHOP FABRICATION.
- 28. ALL MATERIALS TO BE NEW
- 29. IN ADDITION TO THE DEMOLITION SPECIFICALLY SHOWN, CONTRACTOR SHALL CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND WORK TO PROCEED - INCLUDING ITEMS SUCH AS RE-ROUTING OF EXISTING UTILITIES, REMOVAL OF ABANDONED ITEMS AND REMOVAL OF DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE. RETURN ALL EQUIPMENT TO BE REMOVED TO OWNER.
- PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CASEWORK, FIXTURES, ELECTRICAL ITEMS. RESTROOM ACCESSORIES, AND ALL OTHER ITEMS REQUIRING SIMILAR SUPPORT.
- CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS INCLUDING THE BUILDING PERMIT.

# **PLUMBING NOTES**

- ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY.
- PER CPC 2016, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL BE:

SINK FAUCET 1.5 GPM SHOWER VALVE 2.0 GPM KITCHEN FAUCET 1.8 GPM DISHWASHER 2.0 GPM CLOTHES WASHER 2.0 GPM

- THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL FIXTURES, SUPPLIES, PARTS, AND EQUIPMENT TO ENSURE PROPER FUNCTIONING OF ALL FIXTURES.
- SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [§ 418 CPC]. MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES.
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE. [4.303.2 CBC]
- PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303.3 OF CGBS.
- EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS. ALL HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER.

# **CAL GREEN NOTES**

- MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.
- AT THE TIME OF FINAL INSPECTION. AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
- LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS, LOW FORMALDEHYDE WOOD, LOW VOC RESILIENT FLOORING SHALL COMPLY WITH CGBSC SECTION 4.504. CONTRACTOR SHALL HAVE SPEC SHEETS AND PRODUCT ON SITE AND AVAILABLE SUBJECT TO VERIFICATION DURING FIELD INSPECTION; PRODUCT SPECIFICATIONS AND CONTAINERS MUST BE AVAILABLE ON
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT [4,505,3 CGBSC]

FLOOR FRAMING

- MOISTURE CONTENT MUST BE VERIFIED IN COMPLIANCE WITH ALL OF THE FOLLOWING: MOISTURE CONTENT MUST BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT
- TYPE MOISTURE METER; MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END TO BE VERIFIED:
- AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO INSPECTOR. INSPECTOR MUST APPROVE MOISTURE CONTENT READING PRIOR TO ENCLOSING THE WALL AND

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CARMEL, CA 93923

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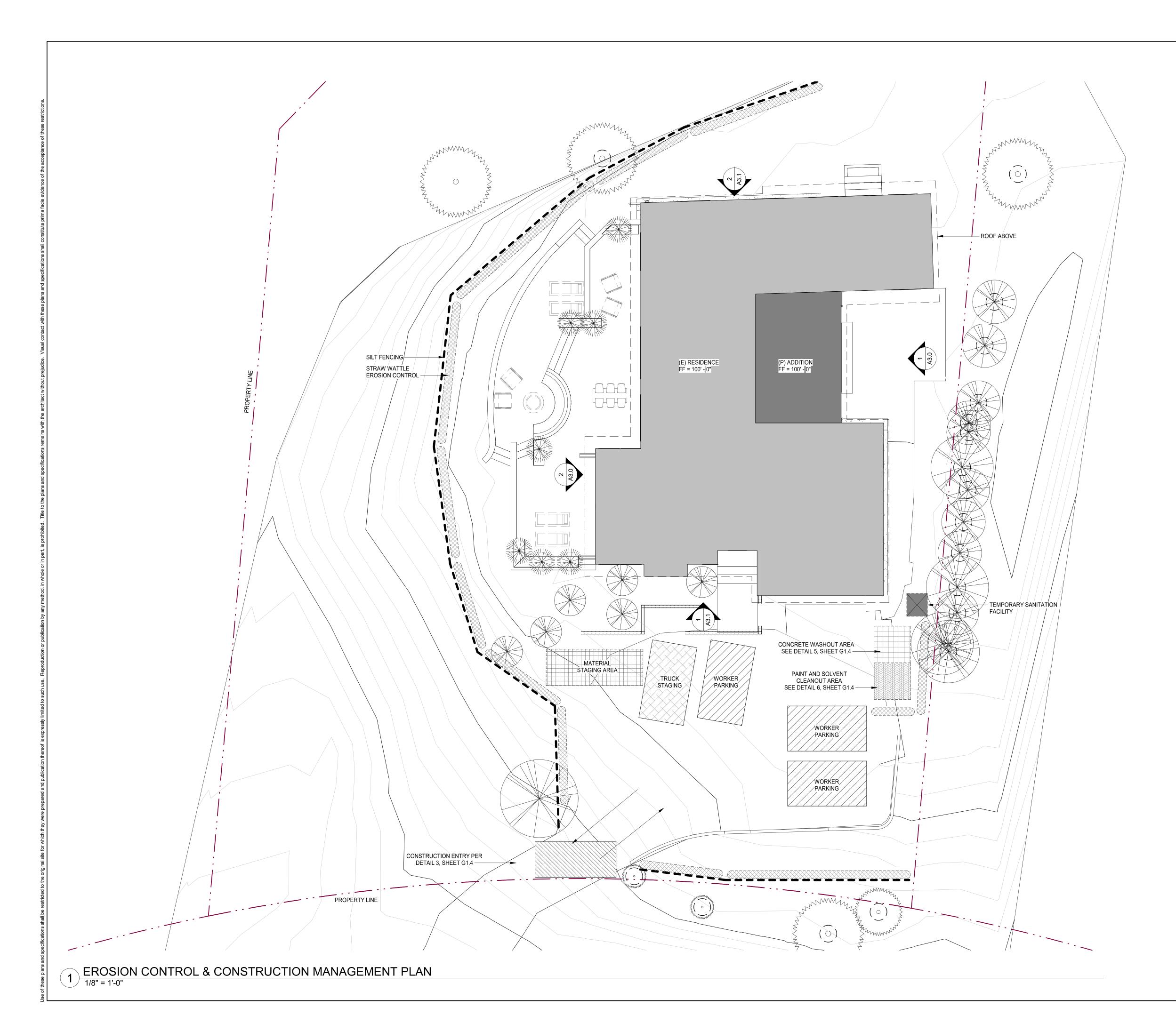




**REVISION** #

**ARCHITECTURAL IGENERAL NOTES** 

Drawn By: PL, SK



# **CONSTRUCTION MANAGEMENT NOTES:**

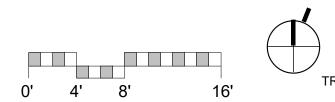
- DURATION OF CONSTRUCTION IS ESTIMATED TO BE 12-18 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
- WORK SHALL BE PERFORMED ON WEEKDAYS BETWEEN THE HOURS OF 7 AM AND 7 PM AND ON SATURDAYS FROM 8 AM TO 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR).
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING HIGHWAY 1 VIA WESTON RIDGE RD.
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.
- STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING
- ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
- SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
- USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
- CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
- DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.

STORMWATER DRAINAGE LEGEND

CONSTRUCTION ENTRY **WORKER PARKING** EQUIPMENT PARKING AND MATERIAL STAGING AREA TRUCK STAGING PAINT AND SOLVENT **CLEANOUT AREA** CONCRETE WASHOUT AREA TREE AND ROOT

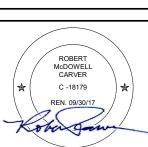
> STRAW WATTLE **EROSION CONTROL** TRAFFIC

SILT FENCE



SCHWARTZ

24980 OUTLOOK DR., CARMEL, CA 93923



**PLANNING** DEPARTMENT

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REVISION #

ARCHITECTURAL

**EROSION** 

CONTROL /

CONSTRUCTION

MGMNT PLAN

Scale: As indicated

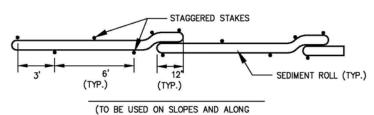
Drawn By:

Job:

@ 24x36

PROTECTION MEASURES PER

WOOD OR METAL STAKE MAX. 6' SPACING MAX. 6' SPACING SEDIMENT ROLL DETAILS



1. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH THREE (3" MIN.) TO FOUR (4") INCHES MAX. DEEP ALONG THE PROPOSED INSTALLATION ROUTE. 2. SOIL EXCAVATED IN TRENCHING SHOULD BE PLACED ON THE UPHILL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL. 3. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN SIX FEET (6') OF EACH END AND THEN EVERY SIX FEET (6') WITH 1" x 2" x 23"

4. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL. WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED TWELVE INCHES (12") MIN. TO PROVIDE A TIGHT JOINT, NOT ABUTTED TO ONE ANOTHER.

(W/ FILTER FABRIC OR SILT SACK (TYP.)) MIN. 2 LAYERS (TYP.) ALL CATCH BASINS IN PAVED AREAS SHALL BE CONSTRUCTED WITH A CATCH BASIN FILTER INSERT AFTER SITE CONSTRUCTION IS COMPLETE. SEE CIVIL DETAIL SHEET FOR DETAILS.

\*STONES TO BE 2"-3" AGGREGATE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT

TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT L SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT

\ PAINT AND SOLVENT CLEANOUT AREA

EXTRA STRENGTH FILTER FABRIC

NEEDED WITHOUT WIRE MESH SUPPORT

WOOD POST

STANDARD DETAIL

TRENCH WITH NATIVE BACKFILL

WOOD POST

WIRE MESH

2"x2" WOOD STAKE @ 10'

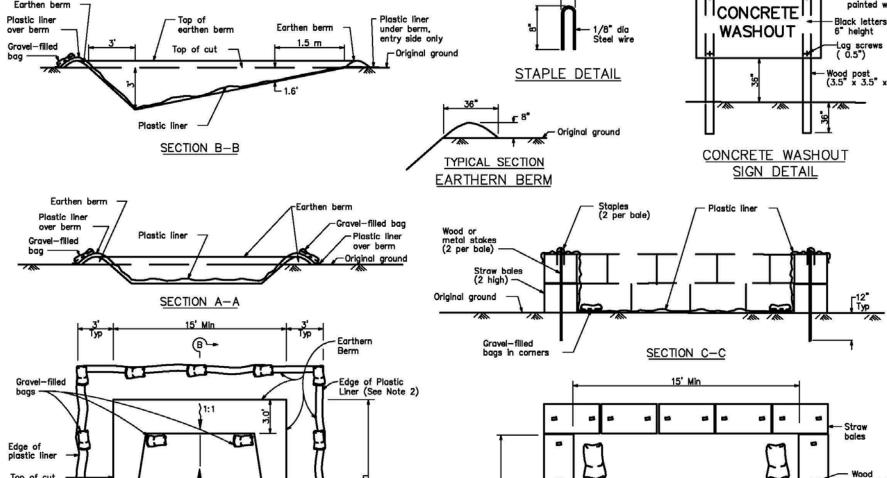
INTERVAL

CONTINUOUS COMPACTED

BACKFILL TRENCH ON

UPSLOPE SIDE -

FABRIC INLET PROTECTION



SILT FENCE DETAIL NOTE: STRAW WATTLES MAY BE

PLACED IN LIEU OF FILTER FABRIC. - SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED DURING AND IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURIN

- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE DURING THE TIME THE FENCE OR BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. - SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE- THIRD THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSE

TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED. - SILT BUILDUPS MUST BE REMOVED WHEN BULGES DEVELOP IN THE FENCE REGARDLESS OF DEPTH OF DEPOSITION.

ALTERNATE DETAIL

PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

CONCRETE WASHOUT AREA

BELOW GRADE WASHOUT

# Earthern Berm — ON GRADE WASHOUT

Plastic liner anchored with gravel—filled bags is optional for below grade concrete washout installations.

# **EROSION CONTROL NOTES:**

**EROSION AND SEDIMENT CONTROL MEASURES** THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING

THE RAINY SEASON. WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.

THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.

4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.

APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

6. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKFIER

INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

# **EMPLOYEE TRAINING**

STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:

 SPILL PREVENTION AND RESPONSE; LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES; GOOD HOUSEKEEPING; FINES AND PENALTIES;

MATERIAL MANAGEMENT PRACTICES

# OBSERVATION AND MAINTENANCE

VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS: A. INSPECT BMPs: WEEKLY, AND

• WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND

WITHIN 48 HOURS AFTER EACH STORM EVENT.

REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.

SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.

TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED

REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE. OR SHALL BE DISPOSED OF OFF-SITE.

REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPINDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

# NON-STORM WATER DISCHARGES

NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.

MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.

HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:

• FIRE HYDRANT FLUSHING,

• IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,

• PIPE FLUSHING AND TESTING,

WATER TO CONTROL DUST,

• UNCONTAMINATED GROUND WATER FROM DEWATERING,

• OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.

THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING

• THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD

• THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL

• THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN

• THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPS REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT

• THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS

• THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS

• THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT

IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED. THE DISCHARGE IS NOT

ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.

ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS

THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND

EROSION CONTROL DETAILS. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF

INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY

THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.

REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.

SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.

CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS

MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF: A) EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL

B) PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION, PURSUANT TO THE "COUNTY'S LANDSCAPE CRITERIA", WHEN THE PROJECT IS COMPLETED; C) MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION. ON SLOPES LESS THAT 20%. TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.

GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA HALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL

ROSION. (MCC 16.08.300 C.1) NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.

LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE KEPT TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.

19. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (MCC 16.08.310 D)

# EROSION CONTROL MAINTENANCE NOTES

(MCC 6.08.300 C.2)

(MCC 16.12.100)

MAINTENANCE IS TO BE PERFORMED AS FOLLOWS: A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.

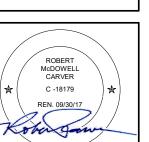
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED. C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.

D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT. E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. F. RILLS AND GULLIES MUST BE REPAIRED.

STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

MOT FOR CONSTRUCTION

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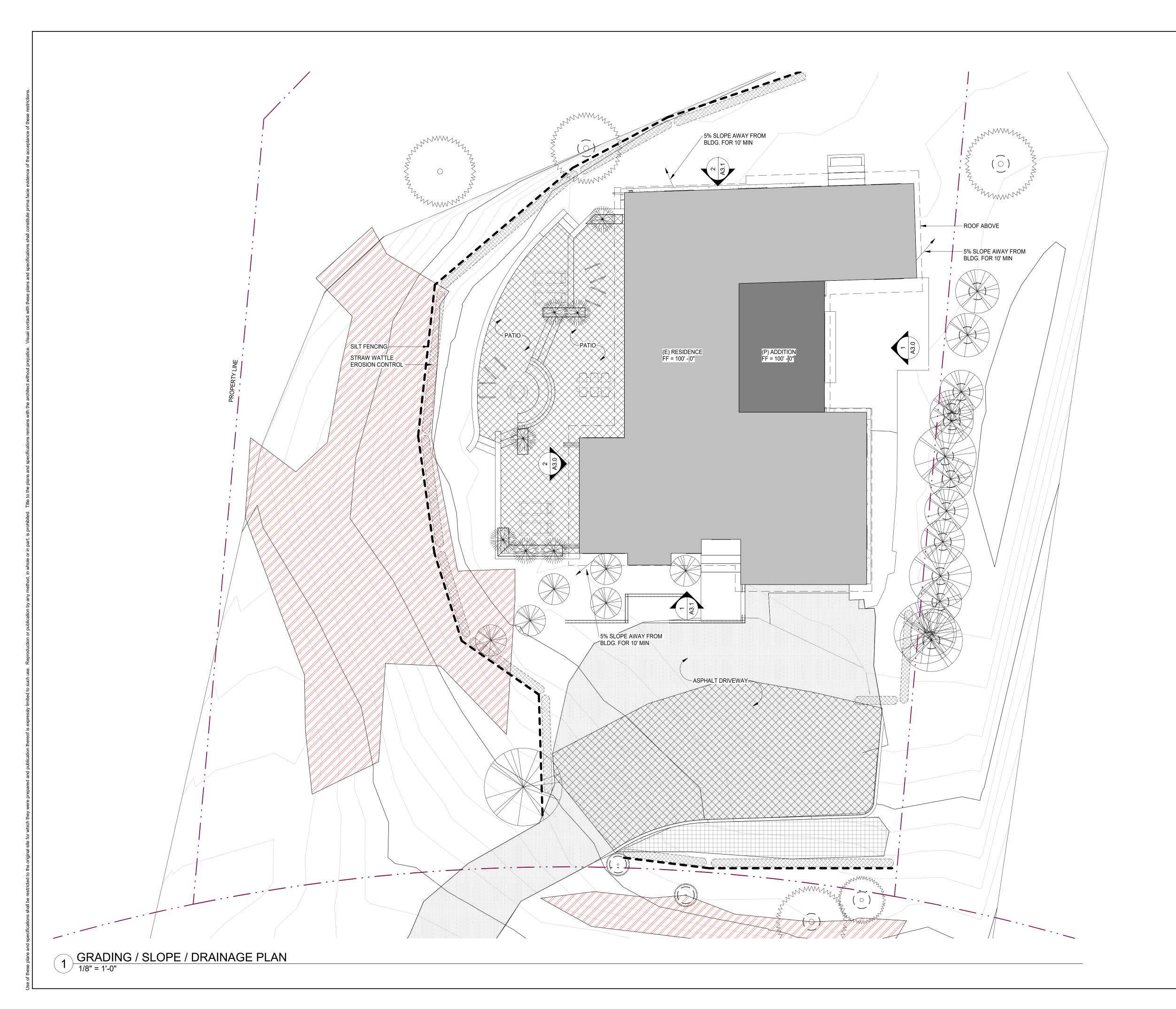
**REVISION** #

**ARCHITECTURAL EROSION** CONTROL CONSTRUCTION

MGMNT NOTES 1/2" = 1'-0" Scale: @ 24x36 Drawn By:

1713

Job:



# **GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPENCIES.

2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.

3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA--PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICALRESOURCES ARE UNCOVERED".

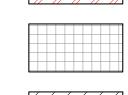
4. ALL GRADING WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT DATED 03/29/2017, PREPARED BY GRICE ENGINEERING.

5. TOPOGRAPHY WAS PREPARED BY MONTEREY BAY ENGINEERS, INC.

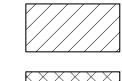
6. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINIATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

# LEGEND:

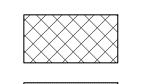
30% SLOPE OR GREATER



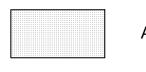
MAN-MADE SLOPE 30% OR GREATER



PROPOSED CUT



PROPOSED FILL



ASPHALT DRIVEWAY

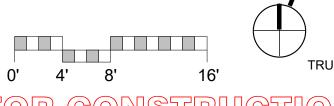




# **GRADING ESTIMATES:**

GRADING CUT GRADING FILL GRADING NET IMPORT

3.44 CU.YDS. 17.93 CU.YDS. 14.48 CU.YDS.



SCHWARTZ

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DEPARTMENT



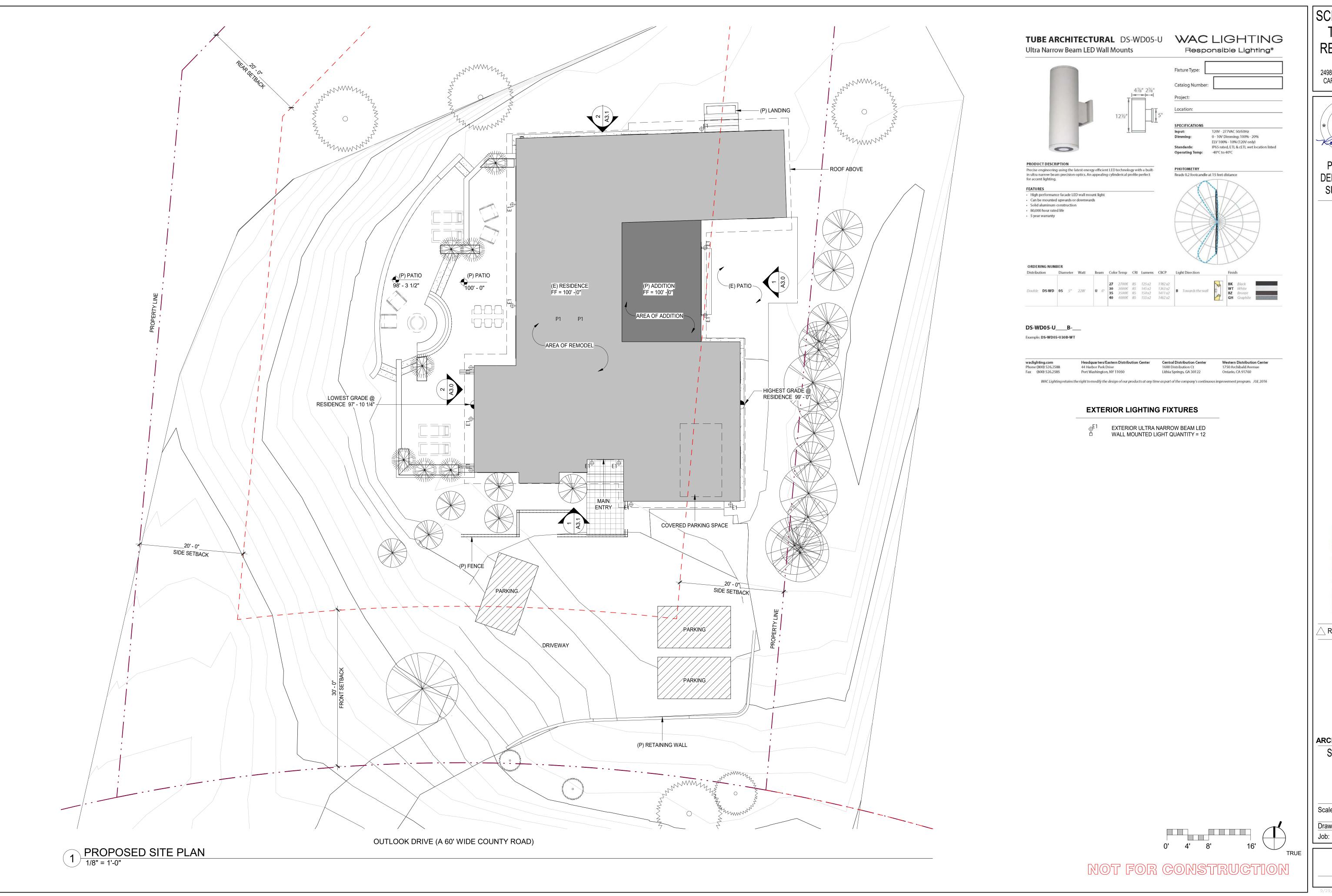


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ARCHITECTURAL GRADING/SLOPE MAP & DRAINAGE

Scale: As indicated @ 24x36 Drawn By:

G1.5



SCHWARTZ REMODEL

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**PLANNING** DEPARTMENT

SUBMITTAL

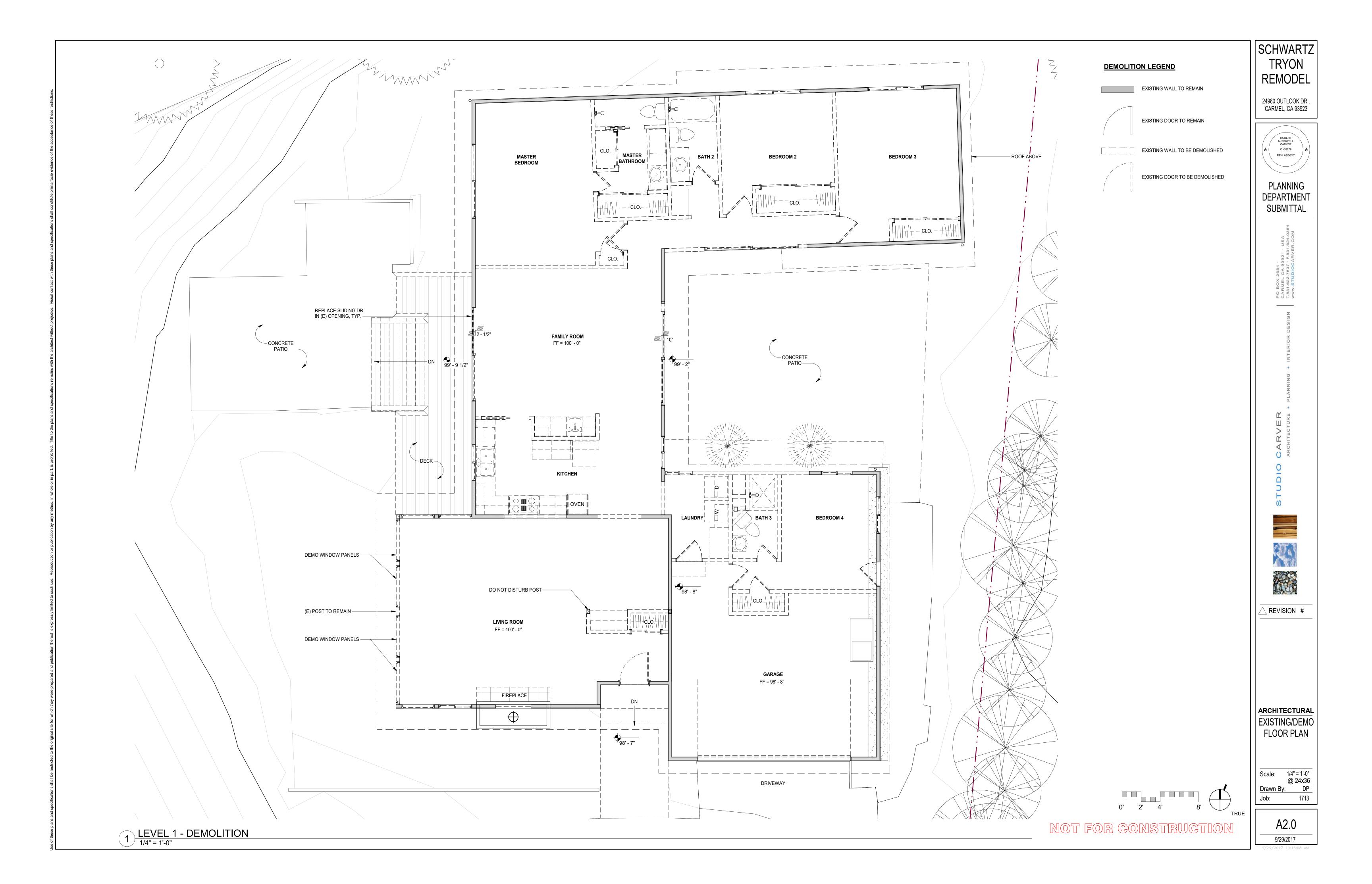


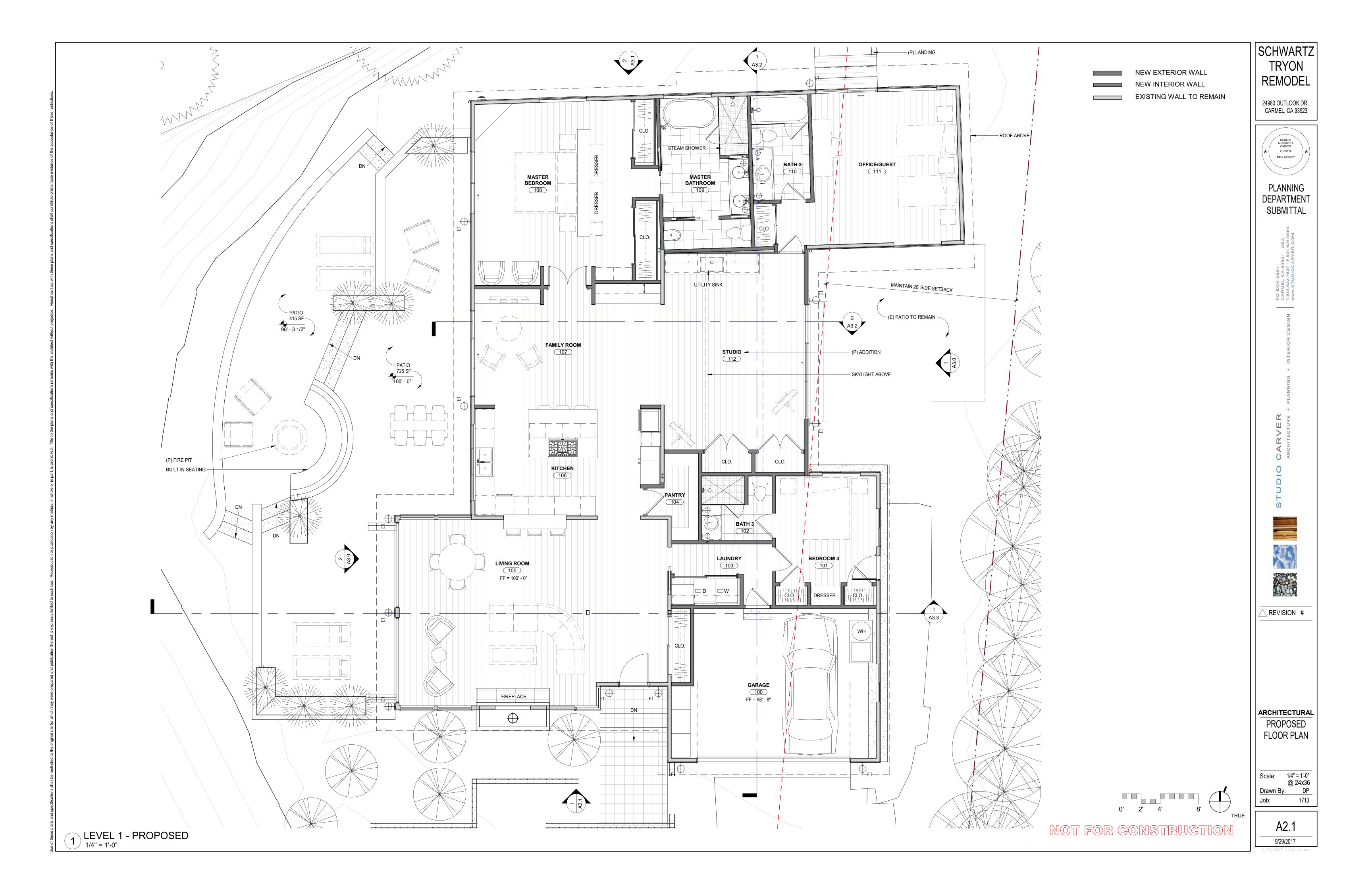


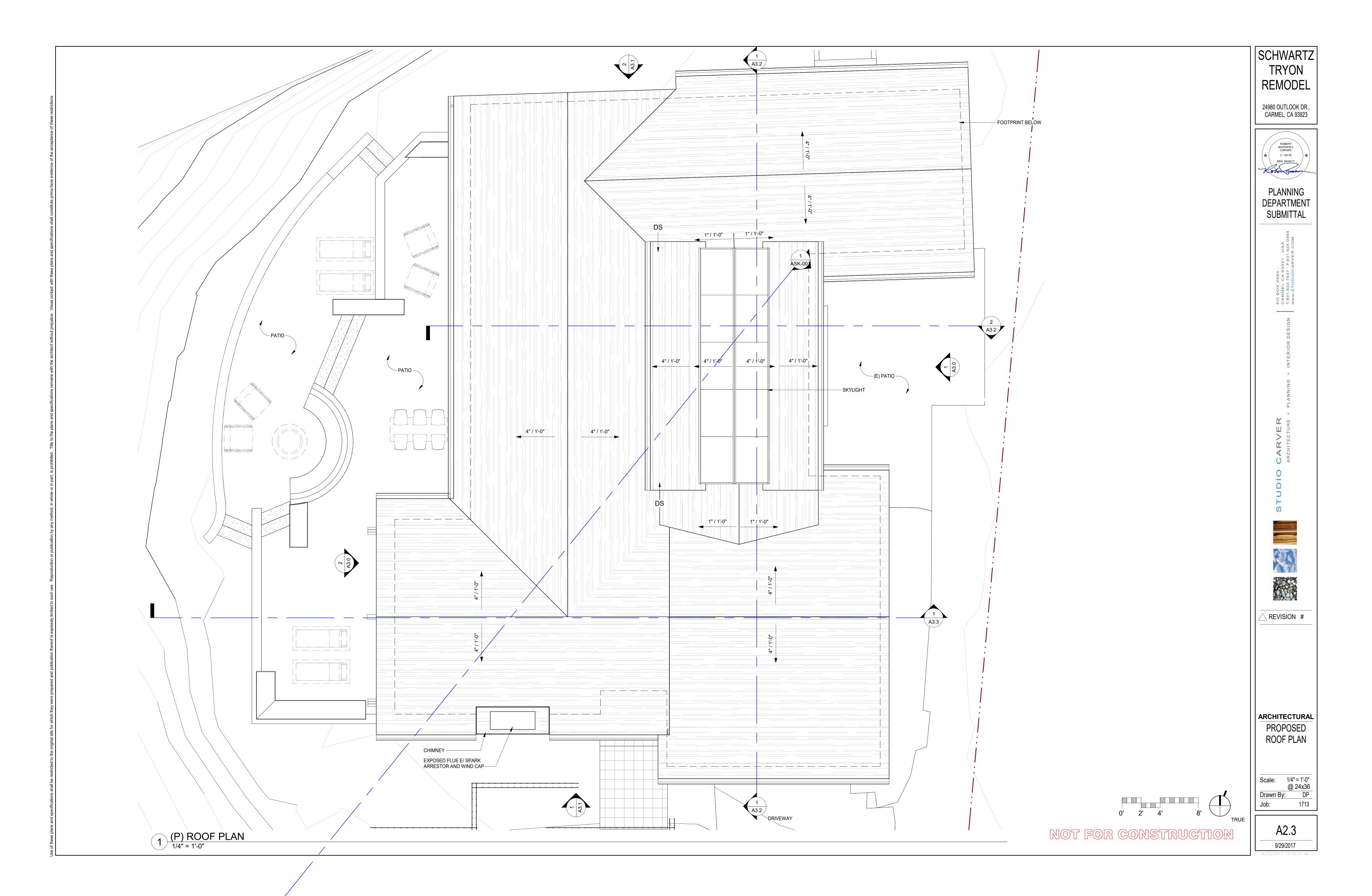
REVISION #

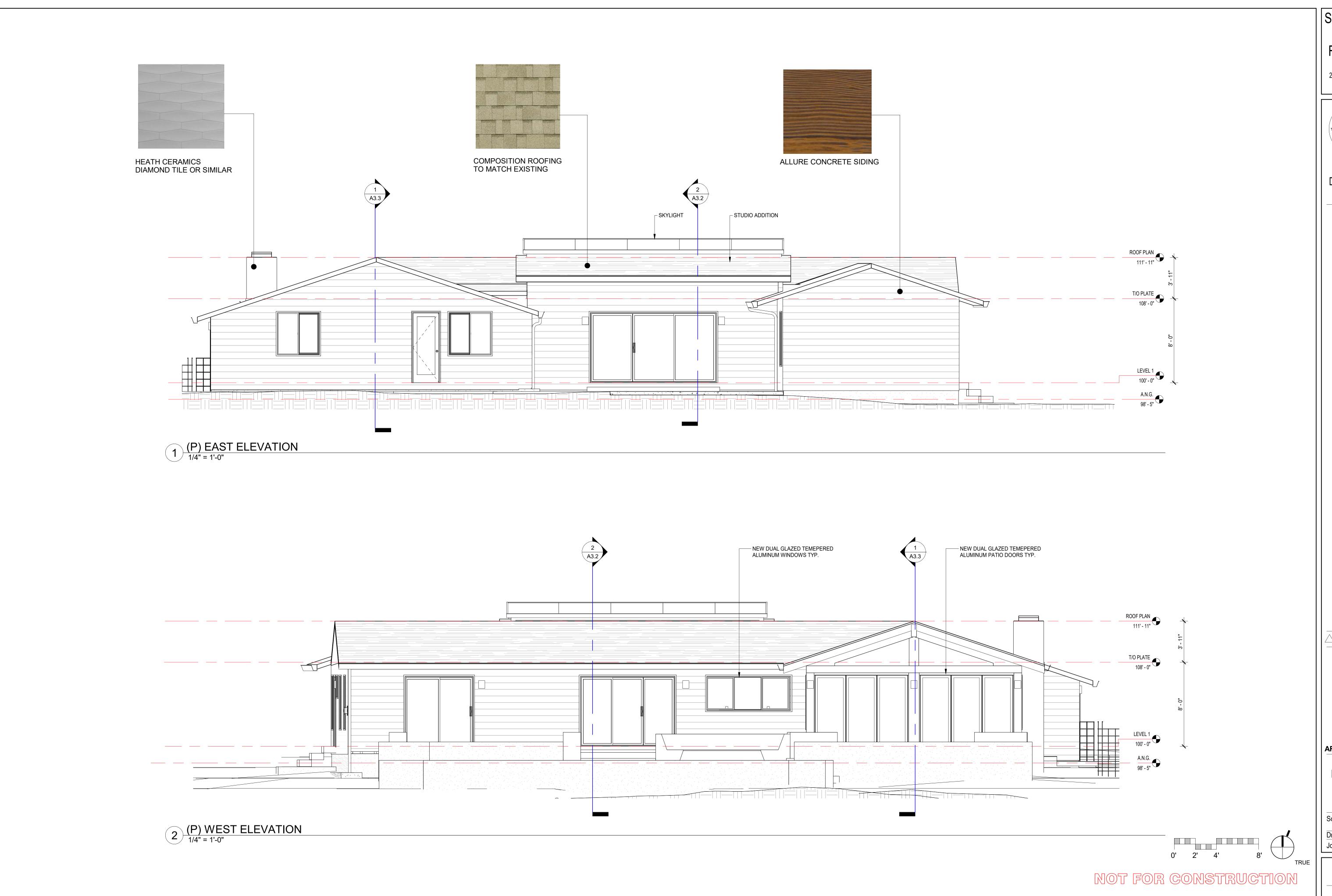
ARCHITECTURAL SITE PLAN

Scale: 1/8" = 1'-0" @ 24x36 Drawn By:



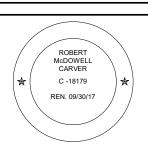






SCHWARTZ TRYON REMODEL

24980 OUTLOOK DR., CARMEL, CA 93923



PLANNING DEPARTMENT SUBMITTAL

DEPARTMEN SUBMITTAL

PO BOX 2684 · CARMEL CA 93921 · USA

TUDIO CARVER



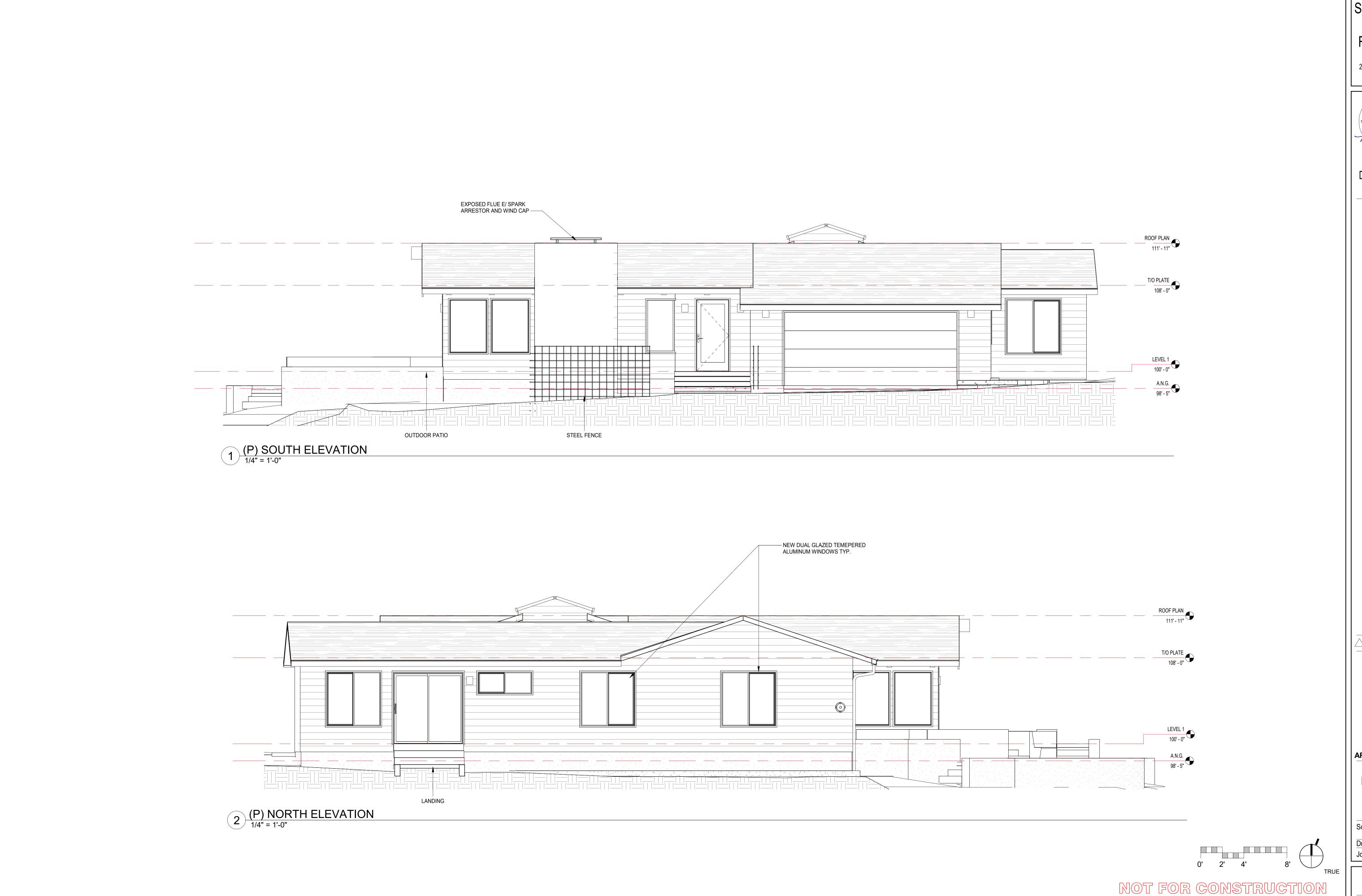


A REVISION #

EXTERIOR ELEVATIONS

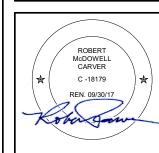
Scale: 1/4" = 1'-0" @ 24x36 Drawn By: DP Job: 1713

A3.0



SCHWARTZ REMODEL

24980 OUTLOOK DR., CARMEL, CA 93923



PLANNING DEPARTMENT

SUBMITTAL



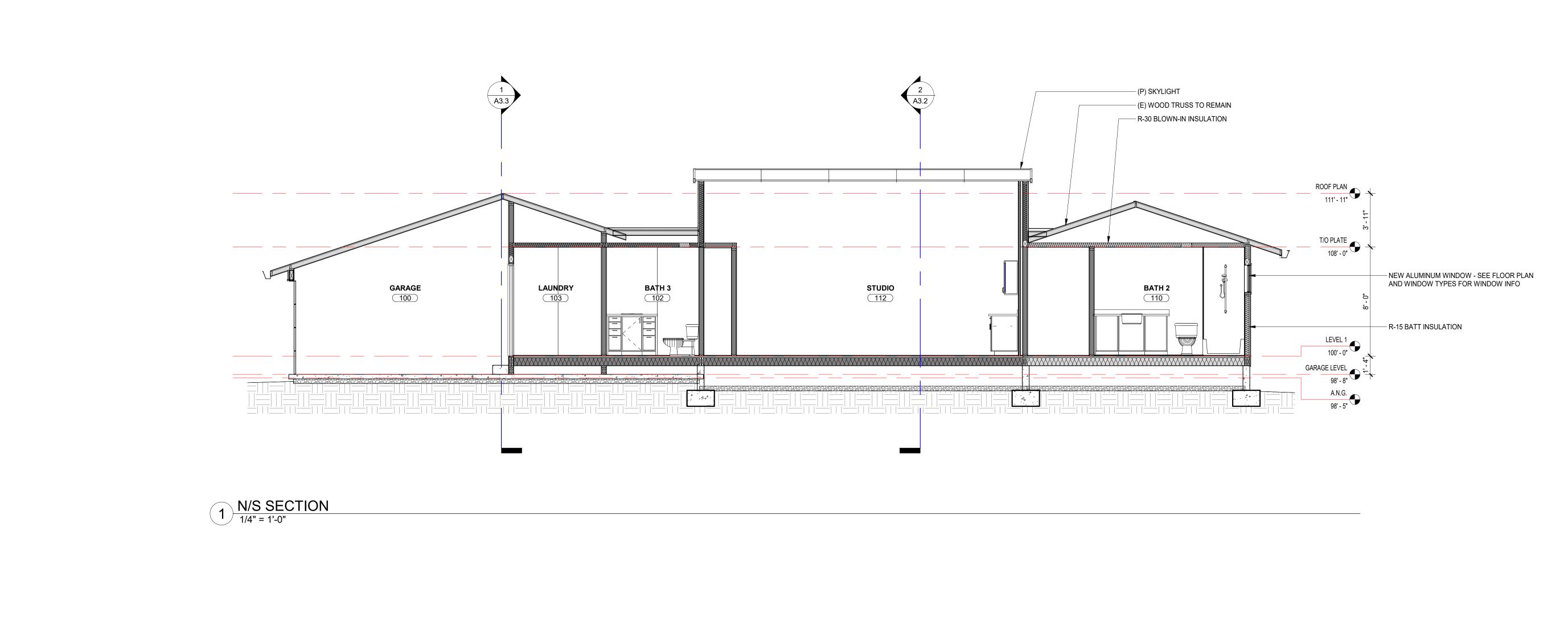
REVISION #

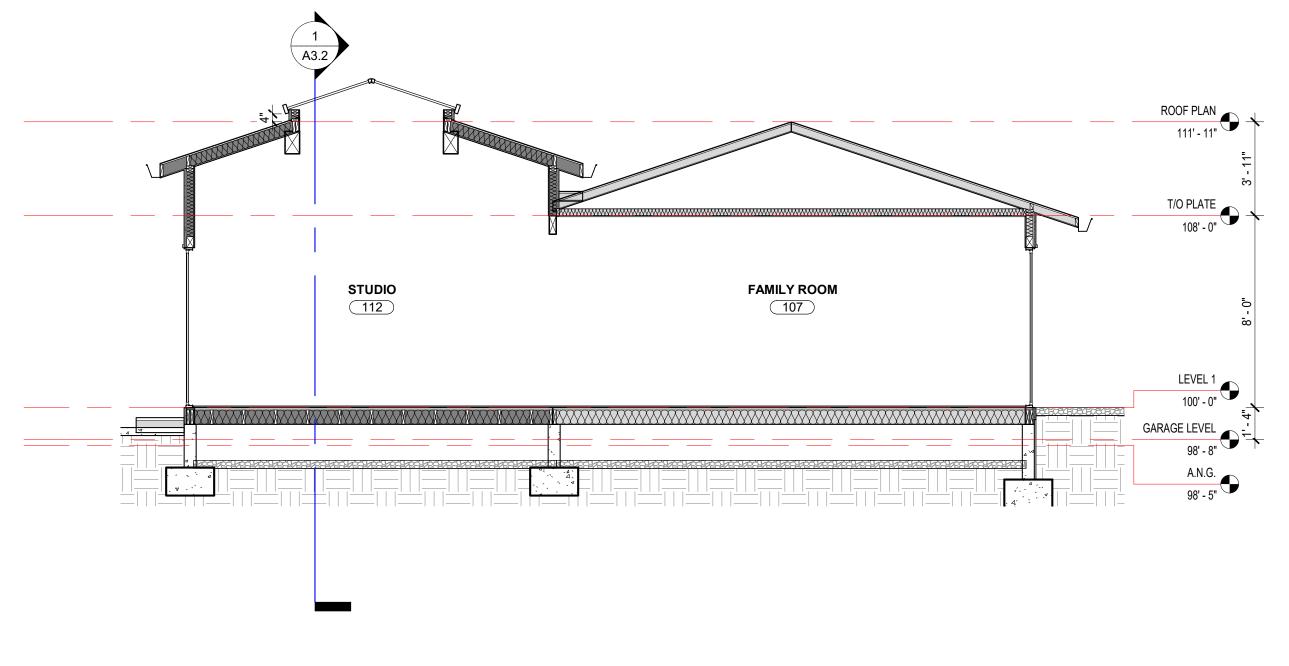
ARCHITECTURAL

**EXTERIOR ELEVATIONS** 

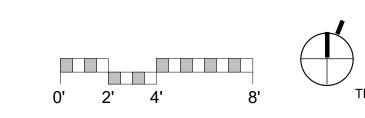
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A3.1





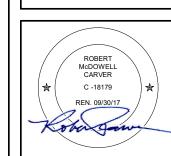
2 E/W SECTION 1/4" = 1'-0"



NOT FOR CONSTRUCTION

SCHWARTZ REMODEL

> 24980 OUTLOOK DR., CARMEL, CA 93923



PLANNING DEPARTMENT

SUBMITTAL



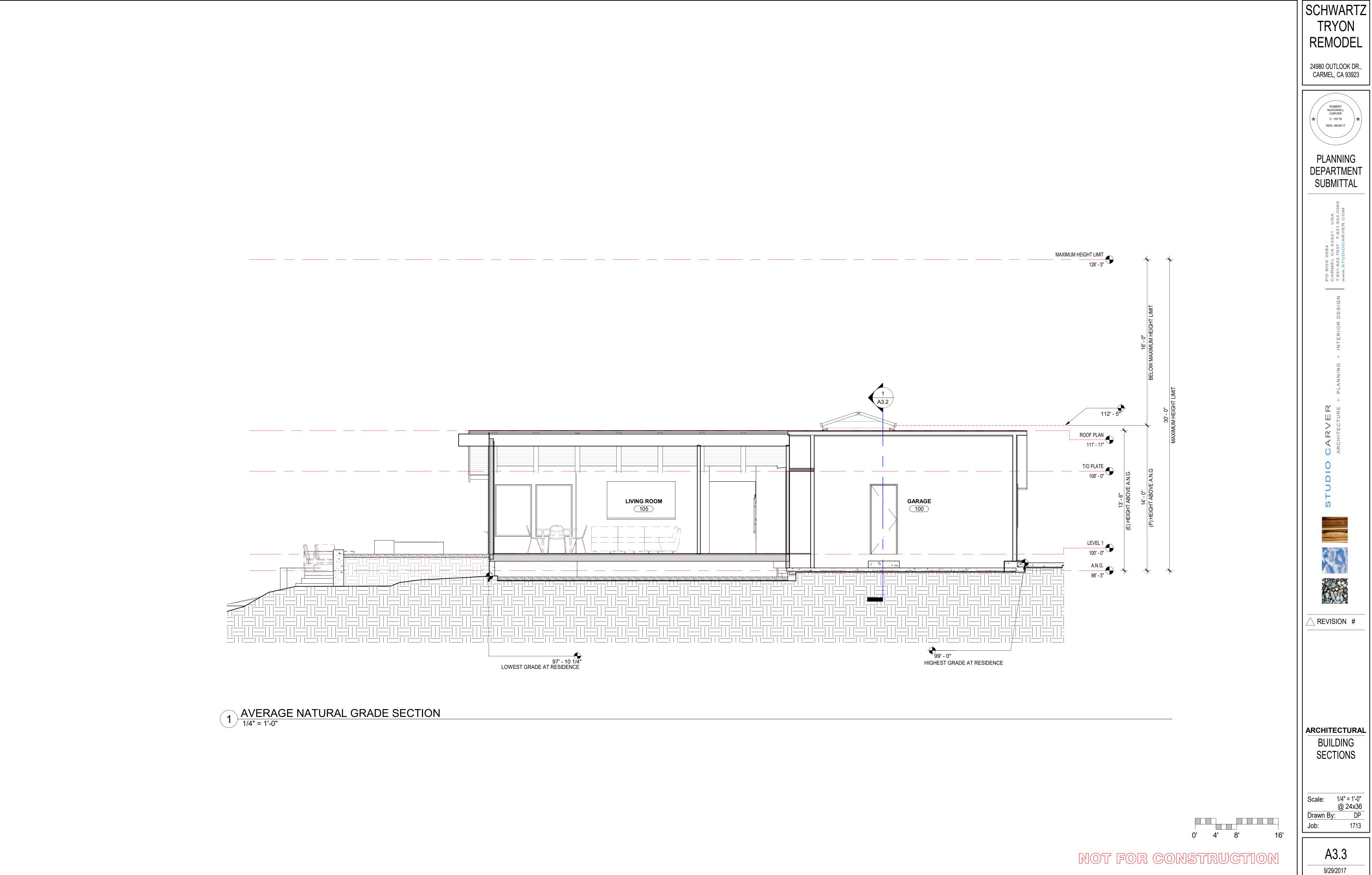


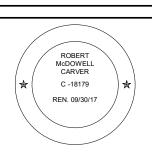
REVISION #

ARCHITECTURAL BUILDING SECTIONS

Scale: 1/4" = 1'-0" @ 24x36 Drawn By: DP Job:

A3.2 9/29/2017





# FILE #: DAIQOISY

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MAY 1 4 2019



# MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY

RESOURCE MANAGEMENT AGENCY

LAND USE & COMMUNITY DEVELOPMENT | PUBLIC WORKS OF THE STATE OF THE

1441 Schilling Place, South 2<sup>nd</sup> Floor Salinas, California 93901-4527

(831)755-4800 www.co.montercy.ca.us/rma

INLAND DESIGN APPROVAL A	APPLICATION FORM
--------------------------	------------------

TI (EIII ID DEDIGITIAL I III O VIII	LATILICATION FORM
ASSESSOR'S PARCEL NUMBER: 015-522-008	3-000
PROJECT ADDRESS: 24980 Outlook Drive, Carmel, C	CA
PROPERTY OWNER: Schwartz/Tryon	Telephone:
Address: 24980 Outlook Drive	Fax:
City/State/Zip: Carmel, CA 93923	Email:
APPLICANT: Matt Hanner/ Carmel Building & Design	Telephone: (831) 626-8606
Address: PO Box 2201 City/State/Zip: Carmel, CA 93921	Fax: (831) 626-8607 Email: matth@carmelbuilding.com
City/State/Zip: Carmer, CA 93921	Email: maturicizarmelouijoing.com
AGENT:	Telephone:
Address:	Fax:
City/State/Zip:	Email:
Mail Notices to:       □ Owner       ■ Applicant (Check only one)       □ Agent         PROJECT DESCRIPTION: (Attach Scope of Work)	ew 10' x 12' Tuff Shed Garden Shed.
MATERIALS TO BE USED: Grooved wood siding, comp	posite shingles
COLORS TO BE USED: Walls and trim to be Delicate W	hite, Shingles to be Desert Tan
I acknowledge that I will need a building permit and must c Ordinance and that this approval is for design of the structur For properties served by Onsite Wastewater Treatment Syst (EHB) will not review this application but may need to require construction permit application to address impacts related to project redesign may require a subsequent Design Approval PROPERTY OWNER/AGENT SIGNATURE:	res and compliance with zoning regulations only. em (OWTS), the Environmental Health Bureau ire redesign of the project in the subsequent to the existing OWTS or future standby area. A application and additional fees.
FOR DEPARTMEN'	T USE ONLY
ZONING: LOP B-6-D-5-RAZ ARI ADVISORY COMMITTEE: Carma Caley Advisory REI PLANNER: Man & Solad Sancher WITHIN ARCH BUFFER ZONE? DYES DNO ON LEGAL LOT: YES DNO DOI	A PLAN: Cornel Villey Muster Plan
FINDINGS:  The project is consistent with the 2010 General Pl regulations in Title 21 (Zoning Ordinance-Inland)  The design of the proposed project assures protec neighborhood character, and assures visual integr private property because:  Character  DECISION:  TOVER-THE-COUNTER   ADMINISTRAT ACTION:  PAPPROVED   DENIED CONDITIONS:   ATTACHED   ATTACHED APPROVED BY: MAY IN TABLE   AND IN COPY TO APPLICANT: IN PERSON OR   MAY	; and tion of the public viewshed, is consistent with ity without imposing undue restrictions on the neighborhash
COLLIGATILICANI. PUNTERSON OR LIMA	DATE: JIMP



# GENERAL PLAN POLICY CONSISTENCY CHECKLIST FOR DESIGN APPROVALS (Inland Only)

To be completed by Applicants

LAND USE DESIGNATION:	APN: 015-522-008-	PLANNING NUMBER: DAIGO154
AREA PLAN:	PROJECT DESCRIPTION:	Parties Address to the Control of th
☐ Cachagua Area Plan ☐ Carmel Valley Master Plan ☐ Central Salinas Valley Area Plan	120 59 PT Sh	ed RECEIVED
☐ Fort Ord Master Plan ☐ Greater Monterey Peninsula Area Plan		Constant Space
Greater Salinas Area Plan North County Area Plan		MAY 1 4 2019
South County Area Plan		
Agriculture & Winery Corridor Plan		Monterey County RMA

Please answer each question based on the description of the project (see back of questionnaire for policy references)			
	The project is for:		
	■ Residential use ☐ Commercial use ☐ Agricultural use ☐ Public or Quasi-Public use ☐ Industrial use		
Yes 🔳 No	The project proposes a cell-site, telcom (digital) communication facility/site?		
Yes No	The project includes the construction of a new structure?		
☐ Yes ☐ No	The project includes the enlarging, altering, repairing, moving, improving, or removing of existing structures?  If "yes", describe		
Yes No	The project includes demolition work? If "yes", describe		
☐ Yes ☐ No	Project includes the use of roofing materials that are different in type and/or color from the original materials?		
Yes No	Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure?		
Yes No	Project includes historical structure or a structure more than fifty (50) years old?		
Yes No	Project includes an accessory structure(s)? If "yes", describe: 10' x 12' non habitable shed		
□ 37 ■ 37.	Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit?		
Yes No	Private property Park installation (mobile home park)		
. Yes No	Project includes retaining walls?		
Yes 🔳 No	Project involves new, change or modifications to existing utilities and/or power lines?		
Yes No	Project is change or modification to an approved application.		
Yes No	Does the project propose a lot line adjustment or subdivision?		
Yes No	Does the project include subdivision creating five or more lots, or new commercial/industrial use that creates intensity		
1 cs [m] 140	equal to or greater than five residences?		
Yes No	Is the project located near an incorporated area (City)?		
Yes No	Is the project located within a Community Area or Rural Center?		
Yes No	Is the project located within ¼ mile of a public airport?		
Yes No	Is this the first residence on a property?		
Yes No	Does the project propose a secondary unit?		
Yes No	Would native vegetation be removed with this project?		
Yes No	Would proposed development occur within 100 feet a creek/drainage (including seasonal) or river?		
☐ Yes ■ No	Does the project propose any tree removal? If "yes" Type Size Number		
Yes No	Project includes grading, dirt importation, dirt removal, and/or drainage changes.		
Yes No	Would the project be connected to an existing well or private water system?		
Yes No	The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well.		
Yes No	Project is associated with a new or improvements to a water system.		
	water system number of connections		
☐ Yes ■ No	Does the project include a new individual or existing wastewater system (e.g. septic)?		
Yes No	The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system?		
Yes No	Does the project propose development on slopes over 25%?		
Yes No	Is the project 50 feet from a bluff?		
Yes No	Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands. If "yes", describe		
Yes No	Does the project include cultivation of land that is currently not cultivated?		
Yes No	Does the project propose non-agricultural uses adjacent to agricultural uses?		
Yes No	Is the project located within the winery corridor?		
DVag EN	Would any portion of the proposed development be visible from a public road, designated vista point, or public park?		
Yes No	If yes, is it located on a slope or near the top of a hill? $\square$ Yes $\square$ No		
Yes No	Does the project propose or require affordable housing?		
Yes No	Does the project require a General Plan Amendment?		
☐ Yes ■ No	Is the project located within a Special Treatment Area?		
Yes No	Is the project located within a Study Area?		
☐ Yes ■ No	Project involves or includes an existing or proposed trail or easement.		

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature_	A	Date 5/10/19
D 1	Mott Hannard Correct Duilding & Design	

BASED ON REVIEW OF THE PROJECT
DESCRIPTION PROPOSED, THE PROJECT IS: MITH THE 2010 MONTEREY COUNTY GENERAL PLAN
NOTES (COMMENTS:
Consistant with neighbor hood character.

MAY 1 4 2019

Monterey County RMA

PLANNING TEAM: DATE: 5/14/19

	LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5,		
GENERAL PLAN AMENDMENT	LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6,		
WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING	LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14		
COMMUNITY AREAS	LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4,PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5,		
RURAL CENTERS	LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32,OS-5.17, OS-9.2 OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5,		
SPECIAL TREATMENT AREAS	T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5,		
STUDY AREAS	GS-1.7, GS-1.11, CSV-1.4, CV-1.26		
WINERY CORRIDOR	AG-4.1 thru AG-4.5, AWCP		
DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS	LU-1.19, S-2.7, OS-3.6		
DEVELOPMENT ON SLOPES OVER 25%	LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6		
CONVERSION TO AGRICULTURE	OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3NC-3.10, NC-3.11, CV-6.2, CV-6.4,		
ROUTINE AND ON-GOING AG ACTIVITIES	AG-3.1 thru AG-3.3		
NON-AG ADJACENT TO AG USES	LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8		
AGRICULTURE (F, PG, & RG)	LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT		
FARM WORKER HOUSING	AG-1.6		
AG EMPLOYEE HOUSING	AG-1.7		
AG SUPPORT FACILITIES	AG-2.1 thru AG-2.9		
RURAL RESIDENTIAL (LDR, RDR, & RC)	LU-2.34 thru LU-2.37		
URBAN RESIDENTIAL (HDR & MDR)	LU-2.33		
COMMERCIAL (LC, HC, & VPO)	LU-4.1 thru LU-4.8, ED-2.3, ED-4.2		
INDUSTRIAL (AI, LI, & HI)	LU-5.1 thru LU-5.9, ED-2.3, ED-4.2		
PUBLIC / QUASI PUBLIC (PQP)	LU-6.1 thru LU-6.5		
AFFORDABLE HOUSING	LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27		
SECONDARY UNITS	LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1		
SUBDIVISION	LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S 2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4,		
LOT LINE ADJUSTMENT	LU-1.14 thru LU-1.16		
OFF-SITE ADVERTISING	LU-1.10		
EXTERIOR LIGHTING	LU-1.13		
LANDSCAPING	OS-5.6, OS-5.14		
TREE REMOVAL	OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7.		
CIRCULATION (e.g. roads, transportation)	Chapter 2.0		

# **MONTEREY COUNTY**

# RESOURCE MANAGEMENT AGENCY

# **Planning Services**



1441 Schilling Place, Salinas, CA 93901 831-755-5025

http://www.co.monterey.ca.us/rma

# **Design Approval Permit**

File Number: DA190154

Owner Name: SCHWARTZ MAL

Project Address: 24980 OUTLOOK DR, CARMEL, CA 93923

**Primary APN:** 015-522-008-000

Coastal Zone: No

Date of Approval: 05/14/2019

**Project Description:** Design Approval to allow a 120 square foot, 8 foot high storage shed. Colors to

consist of "Delicate white" and "Desert tan". Materials to consist of wood and composite shingles. The property is located at 24980 Outlook Drive, Carmel (Assessor's Parcel Number 015-522-008-000), Carmel Valley Master Plan

# **Findings**

1. **Finding:** The project is consistent with the 2010 Monterey County General Plan, the applicable Area

Plan, and meets the regulations in Title 21 (Zoning Ordinance-Inland).

Evidence: CONSISTENT WITH THE SITE DEVELOPMENT STANDARDS OF THE ZONING DISTRICT IN WHICH IT

IS LOCATED

2. Finding: The design of the proposed project assures protection of the public viewshed, is consistent

with neiighboorhood character, and insures visual integrity without imposing undue

restrictions on private property;

Evidence: COLORS AND MATERIALS ARE CONSISTENT WITH THE NEIGHBORHOOD CHARACTER

This permit is approved subject to the Conditions of Approval attached as Exhibit A.

Approved By: MARIA ISABEL SANCHEZ Approved Date: 05/14/2019

Designee of Director of Planning

**Date Printed:** 3/26/2021 11:27:01AM

# **Exhibit A**

# **Conditions of Approval for Design Approval**

DA190154

# 1. DESIGN APPROVAL - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

**Date Printed:** 3/26/2021

3/26/2021 Page 2 of 2 11:27:01AM





TR-800 - 10' wide by 12' long
\*Prices based on installation zip code: 93923

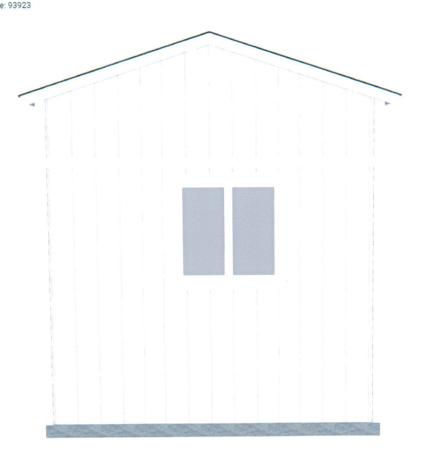
WEST ELEVATION



6

TR-800 - 10' wide by 12' lo.
\*Prices based on installation zip code: 93923

NORTH ELEVATION



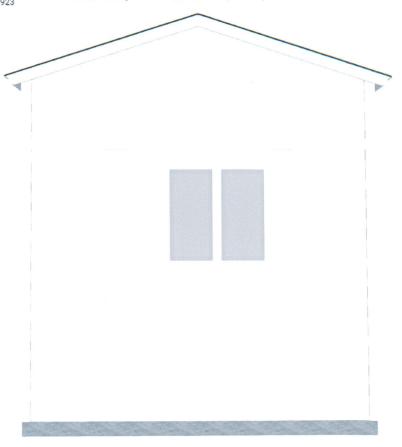
TR-800 - 10' wide by 12' long
\*Prices based on installation zip code: 93923

EAST ELEVATION



TR-800 - 10' wide by 12' lon \*Prices based on installation zip code: 93923

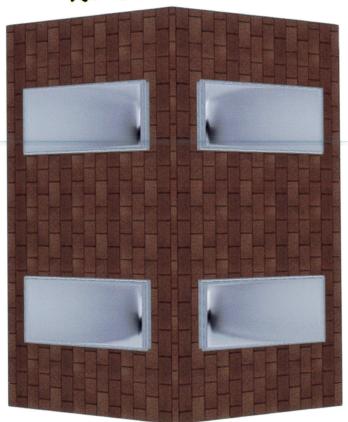
# South ELEVAT W



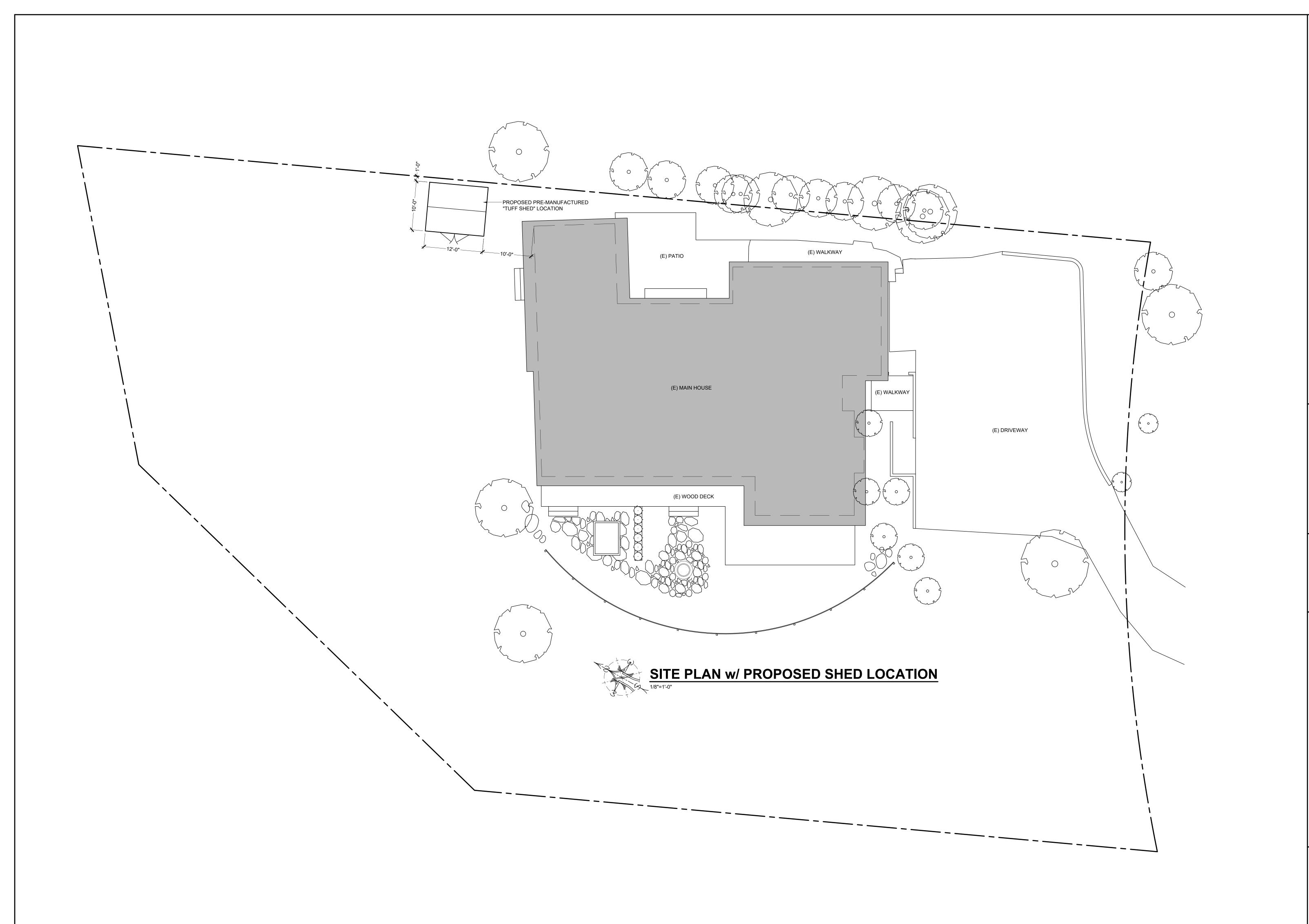
TR-800 - 10' wide by 12' long

\*Prices based on installation zip code: 93923

# ROOF



SHENGLES "DESERT TA"



PO Box 2201

Carmel, CA 93921

p. 831.626.8606

f. 831.626.8607

info@carmelbuilding cor

BUILDING &DESIGN

BUIL & BU

SCALE: SCALE

DRAWN BY: TMK

REVISION:

PROPOSED SITE PLAN

CHWARTZ-TRYC 4980 OUTLOOK DR. ARMEL, CA 93923

PAGE:

A1.1

