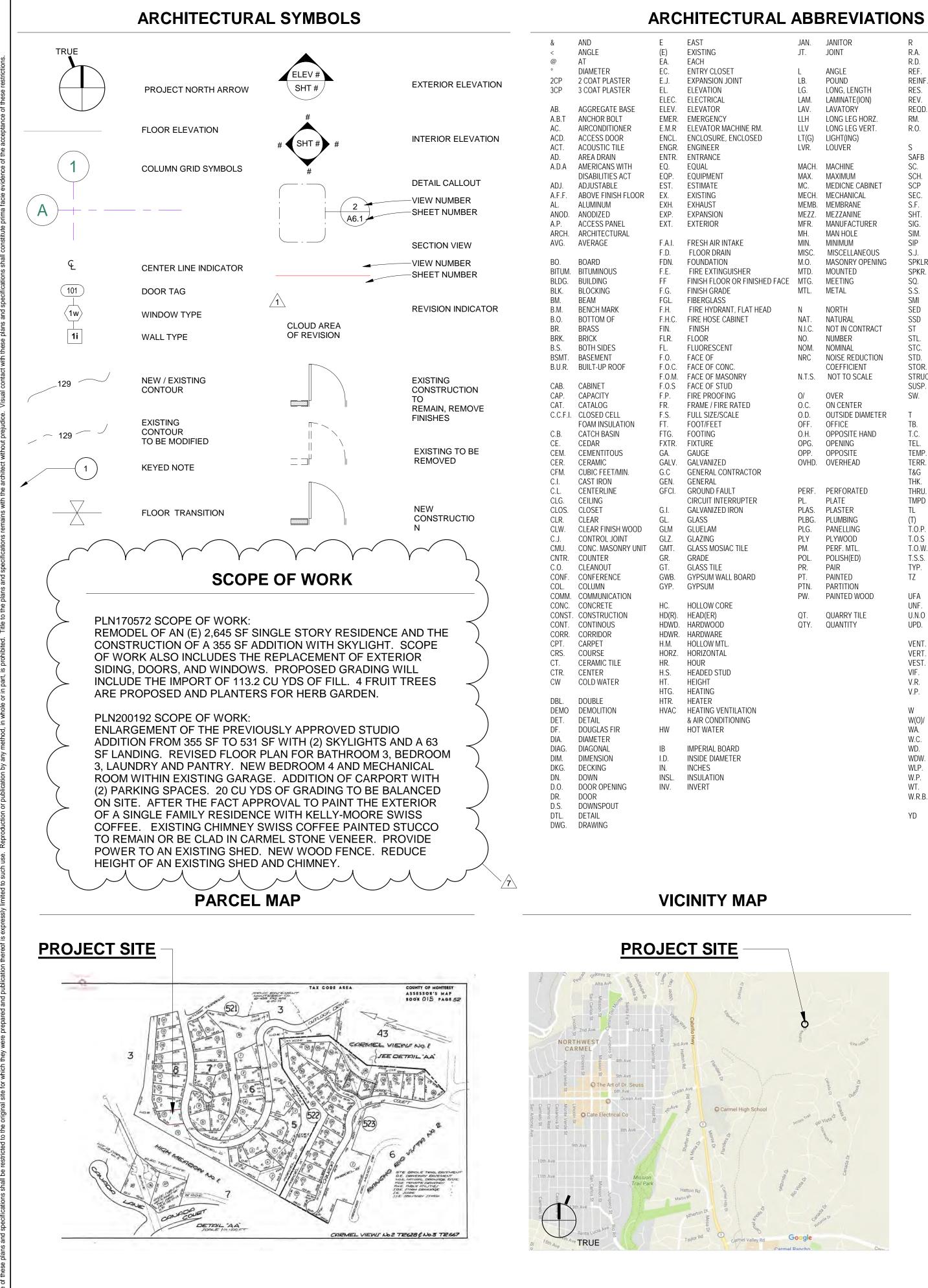
# Attachment I

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ING	JAN. JT.	Janitor Joint	R R.A.	RADIUS / RISER RETURN AIR
			R.D.	ROOF DRAIN
Y CLOSET	L	ANGLE		REFRIGERATOR
NSION JOINT	LB.	POUND	REINF.	
ATION	LG.	LONG, LENGTH	RES.	RESIN
FRICAL	LAM.	LAMINATE(ION)	REV.	REVISED(ION)
ATOR	LAV.	LAVATORY	REQD.	REQUIRED
GENCY	LLH		RM.	ROOM
ATOR MACHINE RM.	LLV	LONG LEG VERT.	R.O.	ROUGH OPENING
OSURE, ENCLOSED		LIGHT(ING)		
IEER	LVR.	LOUVER	S	SOUTH
ANCE			SAFB	SOUND ATTENTU
L	MACH.	MACHINE	SC.	SEALED CONCRE
PMENT	MAX.	MAXIMUM	SCH.	
IATE	MC.	MEDICNE CABINET	SCP	SKIM COAT PLAS
ING	MECH.		SEC.	SECTION
UST	MEMB.		S.F.	SQUARE FEET
NSION	MEZZ.		SHT. SIG.	SHEET
RIOR	MFR.			SOUND INSULATI
	MH.		SIM.	SIMILAR Structural Insulated
H AIR INTAKE	MIN.		SIP	Structural Insulated SCORED JOINT
OR DRAIN DATION	MISC. M.O.	MISCELLANEOUS MASONRY OPENING	s.j. Spklr.	
EXTINGUISHER	MTD.	MOUNTED	SPKLR. SPKR.	SPEAKER
FLOOR OR FINISHED FACE		MEETING	SPKR. SQ.	SQUARE
I GRADE	MTG. MTL.		SQ. S.S.	STAINLESS STEE
GLASS	IVI I L.	METAL	s.s. SMI	SEE MANUFACTU
HYDRANT, FLAT HEAD	Ν	NORTH	SED	SEE ENGINEERIN
HOSE CABINET	NAT.	NATURAL	SSD	SEE STRUCTURA
H	NAL.	NOT IN CONTRACT	ST	STONE TILE / STO
R	NO.	NUMBER	STL.	STEEL
RESCENT	NOM.	NOMINAL	STC.	SOUND TRANSMI
OF	NRC	NOISE REDUCTION	STD.	
OF CONC.		COEFFICIENT	STOR.	
OF MASONRY	N.T.S.			STRUCTURAL
OF STUD				SUSPENDED
PROOFING	0/	OVER	SW.	STAINED WOOD
E / FIRE RATED	0.C.	ON CENTER		
SIZE/SCALE	0.D.	OUTSIDE DIAMETER	Т	TREAD
/FEET	OFF.	OFFICE	TB.	TILE BACKER BOA
ING	0.H.	OPPOSITE HAND	T.C.	TERRA COTTA
RE	OPG.	OPENING	TEL.	TELEPHONE
	OPP.		TEMP.	TEMPORARY
ANIZED	OVHD.	OVERHEAD	TERR.	TERRACE
RAL CONTRACTOR RAL			T&G THK.	TONGUE AND GR
IND FAULT	PERF.	PERFORATED	THRU.	THROUGH
JIT INTERRUPTER	PL.	PLATE	TMPD	TEMPERED
ANIZED IRON	PLAS.	PLASTER	TL	TILE
S	PLBG.	PLUMBING	(T)	TEMPERED
LAM	PLG.		(1) T.O.P.	
NG	PLY		T.O.S	TOP OF SLAB
S MOSIAC TILE	PM.	PERF. MTL.	T.O.W.	TOP OF WALL
E	POL.	POLISH(ED)	T.S.S.	TOP OF STRUCTL
S TILE	PR.	PAIR	TYP.	TYPICAL
UM WALL BOARD	PT.	PAINTED	ΤZ	TERRAZZO
UM	PTN.			
	PW.	PAINTED WOOD	UFA	UNDER FLOOR AG
OW CORE			UNF.	UNFINISHED
(ER)	QT.	QUARRY TILE	U.N.O	UNLESS NOTED C
WOOD	QTY.	QUANTITY	UPD.	UPHOLSTERED
WARE				
OW MTL.			VENT.	
ZONTAL			VERT.	VERTICAL
			VEST.	VESTIBULE
ED STUD			VIF.	VERIFY IN FIELD
IT NC				VENEER PLASTER
NG ER			V.P.	VENETIAN PLAST
ER NG VENTILATION			W	WIDE, WIDTH
CONDITIONING			vv W(O)/	WIDE, WIDTH WITH (OR WITHOU
VATER			W(O)/ WA.	WALNUT
			WA. W.C.	WATER CLOSET
RIAL BOARD			WD.	WOOD
E DIAMETER			WD.	WINDOW
S			WLP.	WALL PAPER
ATION			W.P.	WATERPROOFING
2T			WT.	WEIGHT
			W.R.B.	WATER RESISTIV

Roof Drain EFRIGERATOR EINFORCED ESIN REVISED(ION) EQUIRED ROOM ROUGH OPENING OUTH OUND ATTENTUATION FIRE BLANKET EALED CONCRETE SOLID CORE CHEDULE KIM COAT PLASTER ECTION QUARE FEET HEET OUND INSULATING GLASS IMILAR structural Insulated Panel CORED JOINT PRINKLER SPEAKER QUARE TAINLESS STEEL SEE MANUFACTURERS INSTRUCTIONS EE ENGINEERING DRAWINGS SEE STRUCTURAL DRAWINGS STONE TILE / STONE TFFI OUND TRANSMISSION COEFFICIENT TANDARD TORAGE TRUCTURAL SUSPENDED STAINED WOOD READ LE BACKER BOARD ERRA COTTA ELEPHONE EMPORARY ERRACE ONGUE AND GROOVE HICK HROUGH EMPERED EMPERED OP OF PLATE OP OF SLAB OP OF WALL OP OF STRUCTURAL STEEL YPICAL ERRAZZO INDER FLOOR ACCESS INFINISHED INLESS NOTED OTHERWISE JPHOLSTERED ENTILATION /ERTICAL **ESTIBULE** ERIFY IN FIELD ENEER PLASTER ENETIAN PLASTER VIDE, WIDTH ITH (OR WITHOUT) VALNUT VATER CLOSET VOOD VINDOW VALL PAPER VATERPROOFING /EIGHT W.R.B. WATER RESISTIVE BARRIER YD YARD

## **SHEET INDEX**

G1.0 G1.1 G1.2 G1.5 G1.6 G1.7	COVER SHEET GENERAL NOTES SURVEY EROSION CONTROL / CONSTRUCTION MGMNT PLAN EROSION CONTROL / CONSTRUCTION MGMNT NOTES GRADING/SLOPE MAP & DRAINAGE PLAN
G1.7	GRADING/SLOFE MAP & DRAINAGE FLAN
A1.0	SITE PLAN
A2.0	EXISTING/ PHASE 2 DEMO FLOOR PLAN
A2.1	PROPOSED PHASE 2 FLOOR PLAN
A2.3	PROPOSED ROOF PLAN
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	CARPORT PLAN & ELEVATIONS
A3.5	BUILDING & WALL SECTIONS
A3.8	SHED ELEVATIONS

### **PROJECT TEAM**

OWNER	MAL SCHWARTZ & LAURA TRYON C/O ARCHITECT
ARCHITECT	STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 Fax: (831) 624-0364 E-mail: Robert@StudioCarver.com Contact: Robert Carver, AIA, Leed AP
SURVEYOR	MONTEREY BAY ENGINEERS, INC. 607 Charles Ave. Suite B Seaside, CA 93955 Phone: (831) 899-7899 Fax: (831) 899-7879 E-mail: mbayengr@mbay.net
STRUCTURAL	SEZEN & MOON STRUCTURAL ENGINEERING, INC. 274 E. Hamilton Avenue, Suite C Campbell, CA 95008 Phone: (408) 871-7273 E-mail: smseinc@aol.com
MECHANICAL	MONTEREY ENERGY GROUP 26465 Carmel Rancho Blvd. #8 Carmel, CA 93923 Phone: (831) 372-8328 E-mail: dave@meg4.com

### **BUILDING CODE INFO**

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), THE 2019 CALIFORNIA MECHANICAL CODE (CMC) THE 2019 CALIFORNIA PLUMBING CODE (CPC) THE 2019 CALIFORNIA ELECTRICAL CODE (CEC) THE 2019 CALIFORNIA ENERGY CODE (CEC)

PROJECT INFO	ORMATION	SCHWARTZ
PROPERTY ADDRESS	24980 OUTLOOK DR., CARMEL, CA 93923	REMODEL
APN	015-522-008-000	24980 OUTLOOK DR.,
ZONING	LDR/B-6-D-S-RAZ	CARMEL, CA 93923
GENERAL PLAN LAND USE		
DESIGNATION TYPE OF CONSTRUCTION	RESIDENTIAL TYPE V-B	ROBERT McDOWELL CARVER C -18179
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE	REN. 09/30/21
WILDLAND URBAN INTERFACE AREA (ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2016 CBC)	YES	PLANNING DEPARTMENT SUBMITTAL
AVERAGE NATURAL GRADE	ELEV. = 98' - 5"	USA 624.0364 ?.COM
ALLOWED HEIGHT LIMIT ABOVE A.N.G	30' - 0" ELEV. = 128' - 5"	·
(E) HEIGHT ABOVE A.N.G.	13' - 6" ELEV. = 111' - 11"	4 - 93921 17 - F.82 DCARV
(P) HEIGHT ABOVE A.N.G	14' - 9 1/2" ELEV. = 113' - 2 1/2"	DX 268. IEL CA 522.783
PLANNING PERMIT BUILDING PERMIT	PLN170572 PLN200192 17CP03455 21CP00166	PO BOX CARMEL T.831,622 www.STL
BUILDING	AREA	DESIGN
(E) BUILDING AREA: (E) GARAGE (E) RESIDENCE	375 SF 2,295 SF	INTERIOR
(E) RESIDENCE TOTAL (E) DECKS (24" abv grade)	2,295 SF 2,670 SF 551 SF	
(P) ADDITION PROPOSED ADDITION	531 SF	PLANNING
REMODELED BUILDING AREA: REMODELED RESIDENCE (E) DECKS (24" abv grade)	3,201 SF 551 SF	CARVER ARCHITECTURE +
LOT COVE	RAGE	
LOT SIZE	.57651 ACRES (25,113 SF)	<u>o</u>
ALLOWABLE LOT COVERAGE	25% OR 6,278 SF	G
(E) LOT COVERAGE: (E) GARAGE (E) RESIDENCE (E) DECKS (24" abv grade) TOTAL	375SF2,295SF551SF3,221SF OR 12.8%	Б СО СО
NEW LOT COVERAGE REMODELED RESIDENCE CARPORT	3,201 SF 447 SF	223
EXISTING & NEW DECKS (24" abv g TOTAL		
GRADING ES	STIMATES	REVISION #
GRADING CUT GRADING FILL GRADING NET IMPORT	<ul> <li>20 CU.YDS.</li> <li>20 CU.YDS.</li> <li>0 CU.YDS.</li> </ul>	1 1/08/18 PLAN REVIEW COMMENT 2 8/5/2020 PLN17057 REVISION
MISCELLA	NEOUS	3 3/24/2021 Revision 3 4 4/1/2021 FENCE 7 7/12/2021 Planning Revision
WATER SOURCE	CAL AM	
SEWER SYSTEM	CAWD	
TREES TO BE REMOVED	0	
REQUIRED PARKING	2 SPACES/UNIT	COVER SHEE
PROPOSED PARKING	4 SPACES (2 COVERED)	
BUILDING CO	DE DATA	Scale: 1/8" = 1'-0' @ 24x36
SPRINKLERS	YES	Drawn By: DP Job: 1713
		G1.0

GENERAL FIRE DEPARTMENT NOTES
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RE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE	1.	SPECIAL INSPECT PLACEMENT AND DETERMINE THAT PROVISIONS OF T
DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAYS TURNS, AN ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE	2.	DEVELOPMENT A REMOVAL OR PLA PROHIBITED ON S NORTH COUNTY I
DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL LONG WITH A MINIMUM 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE 40 FEET FROM THE CENTER WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE	3.	THE SLOPE OF CI AND SHALL BE NO UNLESS THE OWI JUSTIFYING A STI
OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH. RE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE	4.	FILL MATERIAL SH SIMILAR IRREDUC INCLUDED IN FILL
BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE	5.	ALL FILL MATERIA ASTM D 1557, MO
PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION	6.	OTHERWISE SPE A "FINAL SOILS LE COMPLETED WAS REPORT SHALL B
PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE. RE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 30 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE	7.	THE CONTRACT E DOCUMENT A201 SPECIFICATIONS, IN THE AGREEME
FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION. RE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION	8.	ANY DISCREPANO COMMENCEMENT
SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. RE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING)	9.	VERIFY ALL EXIST OR CONFLICTING WRITTEN DIMENS DIMENSION DURI
WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.	10.	CONTRACTOR SH COMPLETION OF
RE026 - ROOF CONSTRUCTION (STANDARD) ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS B ROOF CONSTRUCTION.	11.	DIMENSIONS ARE OTHERWISE NOT OR CHANGES ON
	12.	CONDITIONS NOT ACCORDANCE W INSTALLATION OF
	13.	CALIFORNIA BUIL AND METHODS SI BUILDING STAND, CALIFORNIA ELEC CODE, PART 6 - C BUILDING STAND, APPLICABLE COD
	14.	SAFETY: THE CON TO ALL FEDERAL,
	15.	CONSTRUCTION I BRACING AND SH
	16.	DO NOT STORE C THAT DESIGN LIV MATERIALS ON O
	17.	TREES LOCATED FROM CONSTRUC OF ANY TYPE AG/ FEEDING ZONE O PRIOR TO THE IS DEPARTMENT.
	18.	NO PERSON MAY EMERGENCY AID SUPPLYING WATE
	19.	NO POTABLE WA ACTIVITIES WHER
	20.	POTABLE WATER ALL HOSES USED WHEN AN AUTOM TYPE OF HOSE IN USE NON-REMOV
	21.	GLAZING USED IN BE FULLY TEMPE THE CURRENT AD
	22.	INSTALL CERTIFIE INSULATION INST CALIFORNIA TITLE
	23.	IN ADDITION TO T VALVE, AN APPRO OPERATION FOR THAT PREVENTS
	24.	THE CONTRACTO COMPONENTS. TI DISSIMILAR META DISSIMILAR META PENETRATE THES WITH METAL COM
	25.	CONTRACTOR SH STRUCTURAL ST
	26.	ALL MATERIALS T
	27.	IN ADDITION TO T ITEMS AS NECES INCLUDING ITEMS REMOVAL OF DEI ALL EQUIPMENT
	28.	PROVIDE ALL NEO ITEMS, RESTROC
	29.	
	30.	ALL EXTERIOR SV

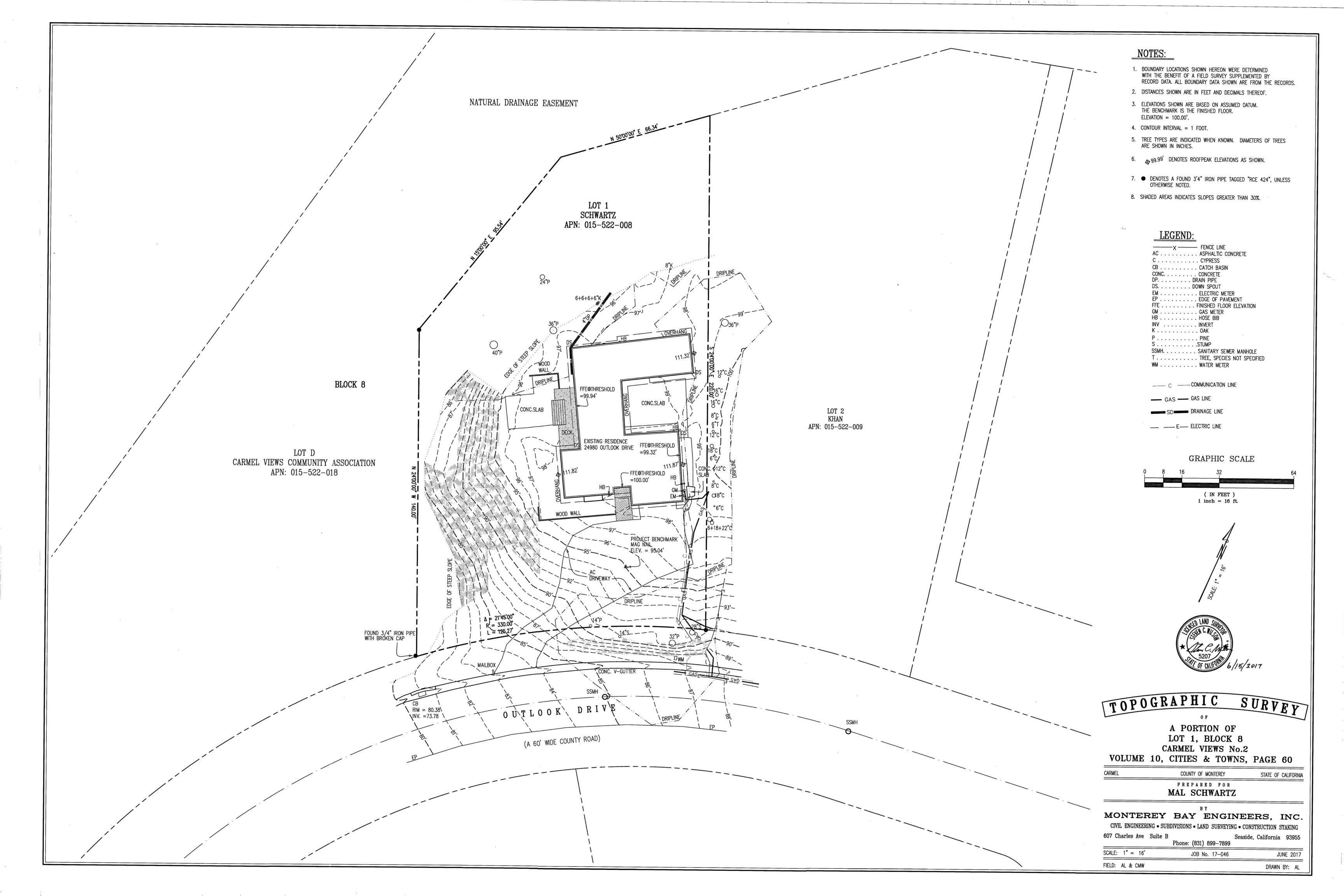
### **GENERAL NOTES**

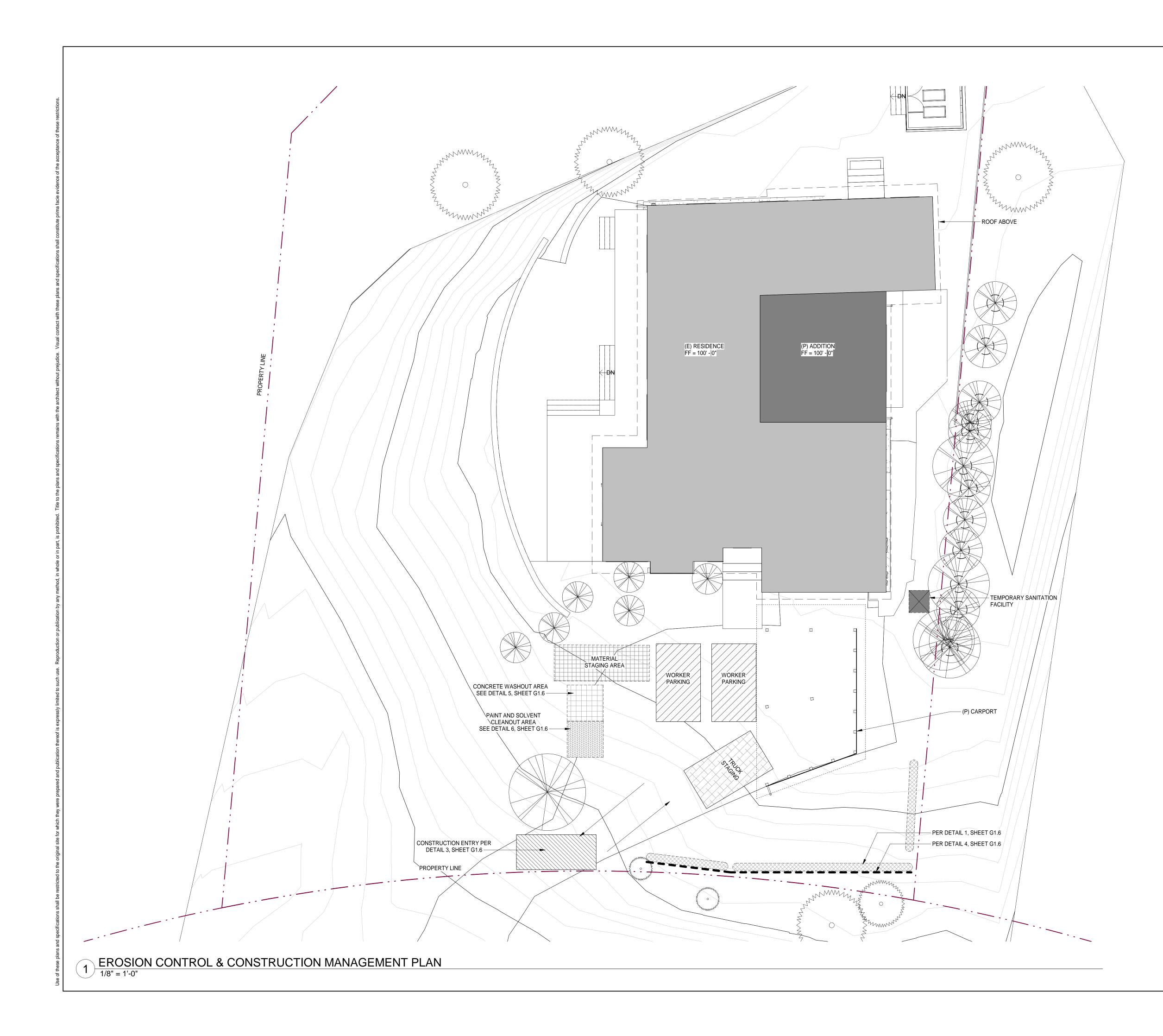
- PECTIONS, BY GEOTECH ENGINEER, ARE REQUIRED FOR EXISTING SITE SOIL CONDITIONS, FILL AND LOAD-BEARING REQUIREMENTS. DURING FILL PLACEMENT, THE ENGINEER SHALL THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE OF THE APPROVED GEOTECHNICAL REPORT. (CBC 1705.6)
- ENT AND RELATED CONSTRUCTION ACTIVITIES SUCH AS SITE CLEANING, GRADING, SOIL R PLACEMENT WHICH CAUSES A PERMANENT CHANGE TO EXISTING SITE CONDITIONS ARE ON SLOPES GREATER THAN OR EQUAL TO 30% (GREATER THAN 25% FOR DEVELOPMENT IN INTY LUP) (16.12.040)
- OF CUT AND FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE, BE NO STEEPER THAN TWO UNITS HORIZONTAL TO ONE UNIT VERTICAL (50% SLOPE) E OWNER OR AUTHORIZED AGENT FURNISHES A REPORT FROM A GEOTECHNICAL ENGINEER A STEEPER SLOPE. (MCC 16.08.300A & 16.08.310 B & F).
- AL SHALL NOT INCLUDE ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIALS. NO ROCK OR EDUCIBLE MATERIAL GREATER THAN 12 INCHES (305 mm) IN ANY DIMENSION SHALL BE I FILLS. (MCC 16.08.310 E)
- FERIAL SHALL BE COMPACTED TO 90 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY 7, MODIFIED PROCTOR, IN LIFTS NOT EXCEEDING 12 INCHES (305 mm) IN DEPTH, UNLESS SPECIFIED BY GEOTECHNICAL ENGINEER.
- LS LETTER" FROM THE GEOTECHNICAL ENGINEER STATING THAT ALL EARTHWORK WAS IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL ALL BE SUBMITTED PRIOR TO FINAL INSPECTION.
- ACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, AIA A201- 2007 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, DRAWINGS, ONS, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED EEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- PANCIES / QUESTIONS SHALL BE REFERRED TO ARCHITECT VIA A WRITTEN R.F.I, PRIOR TO MENT OF WORK.
- EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS TING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE MENSIONS ONLY; <u>DO NOT SCALE DRAWINGS</u> FOR THE PURPOSE OF DETERMINING A DURING CONSTRUCTION.
- OR SHALL COORDINATE THE WORK OF ALL TRADES AND SCHEDULE THE WORK TO EXPEDITE N OF THE WORK.
- ARE TO THE BUILDING GRID LINES OR THE FACE OF CONCRETE/ FACE OF STUD UNLESS NOTED. CONSULT WITH THE ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, S ON PLANS BEFORE PROCEEDING WITH THE WORK.
- NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN CE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE NO OF THEIR MATERIALS OR ITEMS.
- **BUILDING STANDARDS CODE, 2019 EDITION:** AS APPLICABLE, ALL MATERIALS, WORKMANSHIP, DS SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE; [PART 1 - CALIFORNIA ANDARDS ADMINISTRATIVE CODE, PART 2 - CALIFORNIA RESIDENTIAL CODE, PART 3 -ELECTRICAL CODE, PART 4 - CALIFORNIA MECHANICAL CODE, PART 5 - CALIFORNIA PLUMBING 6 - CALIFORNIA ENERGY CODE, PART 8 - CALIFORNIA FIRE CODE, PART 10 - CALIFORNIA GREEN ANDARDS CODE, PART 12 - CALIFORNIA REFERENCE STANDARDS CODE] AND OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED BY THE LOCAL JURISDICTION.
- E CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE ERAL, STATE, LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- TION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ID SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- RE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER IN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION ON OVERHANGING FRAMING.
- TED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE TRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL E AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE NE OR DRIP LINE OF THE RETAINED TREES. SAID PROTECTION SHALL BE DEMONSTRATED IE ISSUANCE OF BUILDING PERMITS SUBJECT TO THE APPROVAL OF THE BUILDING T
- MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR AD WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR WATER TO THE HYDRANT & FROM MONTEREY COUNTY.
- E WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER OR OTHER SUB-ATER APPROVED BY THE COUNTY HEALTH DEPARTMENT & APPROPRIATE FOR SUCH USE.
- JSED FOR ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. JTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE & SE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE. ALL HOSE BIBS SHALL MOVABLE TYPE BACKFLOW PREVENTION DEVICES.(CPC 603.3.7).
- ED IN DOORS, PANELS OF SHOWER AND TUB ENCLOSURES AND GLASS GUARD RAILS SHALL MPERED GLASS OR LAMINATED SAFETY GLASS APPROVED FOR USE IN SUCH LOCATIONS BY NT ADOPTED BUILDING CODE.
- TIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.
- TO THE REQUIRED PRESSURE OR COMBINATION PRESSURE AND TEMPERATURE RELIEF PPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT FOR THERMAL EXPANSION CONTROL SHALL BE INSTALLED WHEN ANY DEVICE IS INSTALLED INTS PRESSURE RELIEF THROUGHOUT THE BUILDING SUPPLY. (CPC 608.3)
- ACTOR IS TO TAKE ALL NECESSARY PRECAUTION TO AVOID GALVANIC REACTION IN ALL METAL IS. THE CONTRACTOR SHALL AVOID THE DIRECT CONTACT OF DISSIMILAR METALS. WHERE METALS ARE USED, AN INTERMEDIATE LAYER OF INERT MATERIAL SHALL BE PLACED BETWEEN METALS. WHERE DISSIMILAR METALS ARE USED IN SERIES, THE CONTRACTOR SHALL NOT THESE MATERIALS WITH ANY METAL FASTENERS. METAL FASTENERS USED IN CONJUNCTION COMPONENTS SHALL BE OF THE SAME OR SIMILAR MATERIAL.
- R SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR CASEWORK, MILLWORK, L STEEL, STAIRS AND OTHER ITEMS REQUIRING CUSTOM SHOP FABRICATION.
- LS TO BE NEW
- TO THE DEMOLITION SPECIFICALLY SHOWN, CONTRACTOR SHALL CUT, MOVE OR REMOVE ECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND WORK TO PROCEED -TEMS SUCH AS RE-ROUTING OF EXISTING UTILITIES, REMOVAL OF ABANDONED ITEMS AND F DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE. RETURN ENT TO BE REMOVED TO OWNER.
- L NECESSARY BLOCKING, BACKING AND FRAMING FOR CASEWORK, FIXTURES, ELECTRICAL ROOM ACCESSORIES, AND ALL OTHER ITEMS REQUIRING SIMILAR SUPPORT.
- OR TO ACQUIRE ALL REQUIRED PERMITS INCLUDING THE BUILDING PERMIT.
- OR SWINGING EXIT DOORS SHALL HAVE A THRESHOLD NOT EXCEED 1-1/2" IN HEIGHT.

### GENERAL ELECTRICAL NOTES

- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BA GARAGES, ATTICS AND BASEMENTS.
- 2. A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTABLE OUTLETS ROOM. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- A MINIMUM OF ONE-20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY RECEPTACLE OUTLETS SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- RECEPTACLES INSTALLED IN A KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY 1 TWO 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS. PER CEC 210.11(C).
- AT LEAST ONE GFCI RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3' OF THE OUT BASIN AND LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED NO LI COUNTERTOP AT BASIN CABINET.
- ALL 120-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE
   AT LEAST ONE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTERTOP SPACE WITH A LONG OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER. THIS RECEPTACLE MUST BE PLACED AT PENINSULA COUNTER IF THE END IS > 6 FT. FROM THE WALL.
- ALL OUTLETS SERVING KITCHEN COUNTERTOPS, INCLUDING THOSE AT ISLANDS AND PENINSULA COU BOTH GFCI AND AFCI PROTECTION.
- 9. OUTLET BOXES INSTALLED FOR LUMINARIES OR LIGHTING SHALL BE PERMITTED TO SUPPORT 50 POU LUMINARIES WEIGHING MORE THAN 50 POUNDS MUST BE LISTED AND MARKED FOR THE MAXIMUM WI
- 10. PROVIDE SEPARATE 20-AMP BRANCH CIRCUITS FOR FIXED APPLIANCES SUCH AS FOOD WASTE GRINE WASHING MACHINES, DRYERS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, OR AM APPLIANCE WITH A MOTOR OF 1/4 H.P. OR LARGER.
- 11. PROVIDE OUTSIDE GFCI PROTECTED WEATHERPROOF 120-VOLT RECEPTACLE AT FRONT AND REAR ON INSTALLED WITHIN 6 FEET 6 INCHES OF GRADE.
- 12. OUTLET LOCATIONS:
  RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLO SPACE IS OVER 6 FEET FROM THE RECEPTACLE (ALLOWING 12 FEET MAX. BETWEEN RECEPTACLES O
  RECEPTACLES SHALL BE LOCATED ALONG ANY WALL THAT IS 2 FEET OR MORE IN LENGTH.
  RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12 INCHES OR ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OIL
- KITCHEN RECEPTACLE OUTLETS SERVING COUNTERTOPS, INCLUDING ISLAND & PENINSULA COUNTER
   HAVE GFCI AND AFCI PROTECTION.
   BE INSTALLED IN EACH COUNTER WALL 12 INCHES OR WIDER SO NO POINT ALONG THE WALL IS MOR
   SHALL BE INSTALLED IN EACH WALL SPACE SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS
   SHALL BE INSTALLED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND AND EACH PENINSULA CO A LONG DIMENSION OF 24 INCHES MINIMUM AND A SHORT DIMENSION OF 12 INCHES OR GREATER; PEI TOPS ARE MEASURED FROM THE CONNECTING EDGE. THIS RECEPTACLE MUST BE PLACED AT THE OF PENINSULA COUNTER IF THE END IS > 6 FT. FROM THE WALL.
- 14. GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHEE SPACES, KITCHEN AND WET BAR COUNTERTOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT IN HABITABLE ROOMS.
- 15. RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHE BE LISTED WEATHER RESISTANT TYPE.
- 16. A 15 OR 20 AMP RECEPTACLE SHALL BE INSTALLED WITHIN 25' AT AN ACCESSIBLE LOCATION FOR THE HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT.
- 17. OVERCURRENT [DISCONNECTS] DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED S OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER AT ITS HIGHEST POS THAN 6'-7" ABOVE FLOOR OR WORKING SURFACE.
- CLEAR WORKING SPACE DIMENSIONS AT ALL ELECTRICAL PANELS. A) WORKING SPACE AT THE FRON EQUIPMENT SHALL HAVE: A MINIMUM DEPTH OF 36 INCHES, WIDTH OF 30 INCHES, AND HEIGHT OF 6 FE LEAST ONE ENTRANCE OF 24 INCHES WIDE BY 6 FEET 6INCHES HIGH. C) WORKING SPACE SHALL NOT STORAGE. D) ILLUMINATION SHALL BE PROVIDED FOR ALL WORKING SPACES ABOUT SERVICE EQUIP! SWITCHBOARDS, PANEL BOARDS, OR MOTOR CONTROL CENTERS INSTALLED INDOORS.
- 19. PER 2019 CALIFORNIA ENERGY CODE, SECTION 150(K), ALL INSTALLED LUMINAIRES SHALL BE HIGH EF ACCORDANCE WITH TABLE 150.0-A; EITHER LISTED BY SOURCE TYPE **OR** BY BEING JA8-2019 CERTIFIEI
- 20. LUMINAIRES RECESSED INTO CEILINGS MUST BE SEALED WITH A GASKET OR CAULKED BETWEEN HOU AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND R READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. JA8-2019-E CERTIFIED AND MARKED LIC FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
- 21. LUMINARIES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCE MOUNTED. SURFACE MOUNTED OR RECESSED FLUORESCENT, RECESSED INCANDESCENT OR LED, 6'
- 22. DIMMERS **OR** VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCE REFERENCE JOINT APPENDIX JA8 (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-2 CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LU HALLWAYS.
- 23. AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLE SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D) THAT DOES NOT TURN ON AUTOMATICALLY OR OPTION. (150(K)3)
- 24. MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE AUTOMATIC CONTROL FUNCTIONS AND ANY C OVERRIDES THE AUTOMATIC CONTROLS TO ON MUST AUTOMATICALLY REACTIVATE THOSE CONTROL
- 25. RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDIN LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH **AND** CONTROLLED BY A PHOTOCELL A **OR** BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL **OR** BY ASTRONOMICAL TIME CLOCK AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS **OR** BY ENERGY MAN SYSTEM.
- 26. LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LO
- RECESSED LIGHT FIXTURES REQUIRE A 3" SPACE BETWEEN THE FIXTURE AND CLOSED CELL SPRAY A PROVIDE 3" RIGID INSULATION BOX TO PROTECT FIXTURE WHILE INSTALLING INSULATION.
- 28. FOR LIGHTING AND LIGHTING CONTROL SEE CEILING AND LIGHTING PLAN.
- CRC R314 SMOKE DETECTORS SHALL BE LOCATED IN THE FOLLOWING AREAS PER CRC R314: 1. IN EA 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON E STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAV UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INT BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IS SECTION R314.3. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED IN AN INDIVID THE DEVICES SHALL BE INTERCONNECTED IN SUCH A WAY THAT ALL ALARMS WILL SOUND WHEN ONE SMOKE ALARMS SHALL BE LOCATED ON THE CEILING, AT LEAST 4" FROM WALL OR ON A WALL WITHIN HIGHEST POINT OF THE CEILING. A MINIMUM OF 20-FEET FROM A PERMANENTLY INSTALLED COOKING
- 30. CRC R315 CARBON MONOXIDE DEVICES/ALARMS SHALL BE LOCATED IN THE FOLLOWING AREAS: 1. OI SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 2. ON EVERY OCCUPIABL DWELLING UNIT, INCLUDING BASEMENTS. 3. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. SI MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BATTERY BACKUP. WHERE MORE THAN ONE ALARM IS REQUIRED, THE ALARMS SHALL BE INTERCONN MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS.
- 31. NOTE: INSPECTOR TO COLLECT REGISTERED CF-3R FORM PRIOR TO FINAL

			ıı
BATHROOMS.	1.	ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY	SCHWARTZ
IS IN THE LAUNDRY	2.	RECOGNIZED TESTING LABORATORY. THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A	REMODEL
IS IN THE BATHROOMS.	Ζ.	COMPREHENSIVE LIST OF FRIMART FLOMBING FIXTORES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL FIXTURES, SUPPLIES, PARTS, AND EQUIPMENT TO ENSURE PROPER FUNCTIONING OF ALL FIXTURES.	24980 OUTLOOK DR.,
Y NOT FEWER THAN	3.	PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE. [4.303.2 CBC]	CARMEL, CA 93923
UTSIDE EDGE OF EACH LESS THAN 12" BELOW	4.	PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303.3 OF CGBS.	ROBERT McDOWELL
LES. ONG DIMENSION OF 24" AT THE OPEN END OF A	5.	CPC 402.5 SETTING. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES.	CARVER C -18179 REN. 09/30/21
DUNTERS, SHALL HAVE	6.	CPC 408.6 SHOWER COMPARTMENTS. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE AND A 22-INCH CLEAR OPENING/DOOR.	PLANNING DEPARTMENT
DUNDS OR LESS. WEIGHT.	7.	CPC 408.3 INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION	SUBMITTAL
NDERS, DISHWASHERS ANY OTHER FIXED		PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW	USA .624.0364 R.COM
R OF DWELLING UNIT,	8.	RATES. CPC 408.9 LOCATION OF VALVES AND HEADS. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE	921 - F 831 4RVEI
LOOR IN ANY WALL ON THE SAME WALL).		ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.	684 2A 96 7837 210C
OR WIDER. NO POINT OUTLET IN THAT SPACE.	9.	EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS, ALL HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER.	PO BOX 2 CARMEL 0 T.831.622. www.STUL
ERTOPS, SHALL: ORE THAN 24 INCHES. IKS.	10.	SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE DRAIN INLET.	Z U
COUNTER SPACE WITH	11.	PER CPC 2019, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL BE:	R DESIGN
PENINSULA COUNTER OPEN END OF A		TOILET1.28 GALSINK FAUCET1.2 GPMSHOWER VALVE2.0 GPMKITCHEN FAUCET1.8 GPM	INTERIOR
ED BASEMENTS, CRAWL INTENDED AS		DISHWASHER 2.0 GPM CLOTHES WASHER 2.0 GPM	+
IERPROOF AND SHALL		GENERAL CAL GREEN NOTES	PLANNING
HE SERVICING OF	1.	MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL	*
O SO THAT THE CENTER DSITION IS NOT MORE		JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.	<b>CARVER</b> Architecture
DNT OF ELECTRICAL FEET 6 INCHES. B) AT DT BE USED FOR IPMENT,	2.	AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.	<b>CAR</b> Archite
EFFICACY IN ED LABELED.	3.	LOW VOC ADHESIVES, SEALANTS, PAINTS, COATINGS, CARPET SYSTEMS, LOW FORMALDEHYDE WOOD, LOW VOC RESILIENT FLOORING SHALL COMPLY WITH CGBSC SECTION 4.504. CONTRACTOR SHALL HAVE SPEC SHEETS AND PRODUCT ON SITE AND AVAILABLE SUBJECT TO VERIFICATION DURING FIELD INSPECTION; PRODUCT SPECIFICATIONS AND CONTAINERS MUST BE AVAILABLE ON SITE.	old
OUSING AND CEILING, D REPLACEMENT TO BE LIGHT SOURCE, RATED	4.	CAL GREEN 4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL	STI
CENT OR LED SURFACE 6".		NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED	
IRCES COMPLIANT WITH J-24 SOCKETS ON AUTOMATICALLY OR LUMINAIRES IN		LOCATION OF AN EV CHARGER. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.	203
LLED BY A VACANCY R HAVE AN ALWAYS ON	5.	BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT [4.505.3 CGBSC] A. MOISTURE CONTENT MUST BE VERIFIED IN COMPLIANCE WITH ALL OF THE	
		FOLLOWING: a. MOISTURE CONTENT MUST BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT TYPE MOISTURE METER;	
OLS WITHIN SIX HOURS. DINGS ON THE SAME L AND MOTION SENSOR		<ul> <li>b. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END TO BE VERIFIED;</li> <li>c. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO</li> </ul>	A REVISION #
CK CONTROL THAT ANAGEMENT CONTROL		INSPECTOR. INSPECTOR MUST APPROVE MOISTURE CONTENT READING PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING.	
LOCATIONS". ( APPLIED INSULATION.			
EACH SLEEPING ROOM. I EACH ADDITIONAL AWL SPACES AND NTERVENING DOOR CE FOR THE ADJACENT ER LEVEL. 4. SMOKE G OF A BATHROOM THAT M REQUIRED BY /IDUAL DWELLING UNIT, NE IS ACTIVATED. IN 4" 10 12" OF THE NG SURFACE.			ARCHITECTURAL GENERAL NOTES
OUTSIDE OF EACH BLE LEVEL OF A IIN A BEDROOM OR ITS SMOKE AND CARBON LL BE EQUIPPED WITH A NNECTED IN SUCH A			Scale:       12" = 1'-0"         @ 24x36         Drawn By:       DP         Job:       1713
		NOT FOR CONSTRUCTION	G1.1

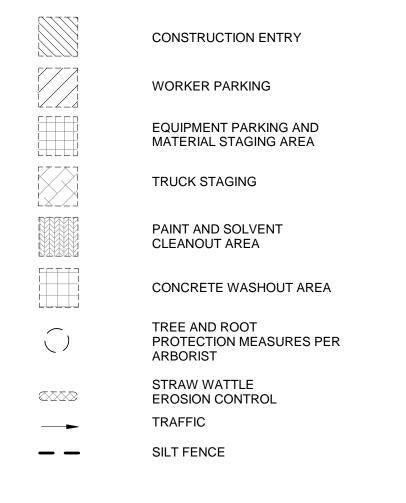




# **CONSTRUCTION MANAGEMENT NOTES:**

- DURATION OF CONSTRUCTION IS ESTIMATED TO BE 6-8 MONTHS 1. STARTING FROM THE DATE PERMITS ARE ISSUED.
- WORK SHALL BE PERFORMED ON WEEKDAYS BETWEEN THE HOURS OF 7 2. AM AND 7 PM AND ON SATURDAYS FROM 8 AM TO 6 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR).
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING CARMEL 3. VALLEY ROAD VIA OUTLOOK DR.
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE 4. CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED 5. PLANS PRIOR TO THE START OF CONSTRUCTION.
- STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN 6. STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
- ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE 7. THAN 5 MINUTES. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED 8.
- EQUIPMENT, WHERE FEASIBLE.
- USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE 9. FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
- CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK 10. HOURS TO REDUCE PEAK HOUR EMISSIONS.
- DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE 11. WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE 12. TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.

## STORMWATER DRAINAGE LEGEND



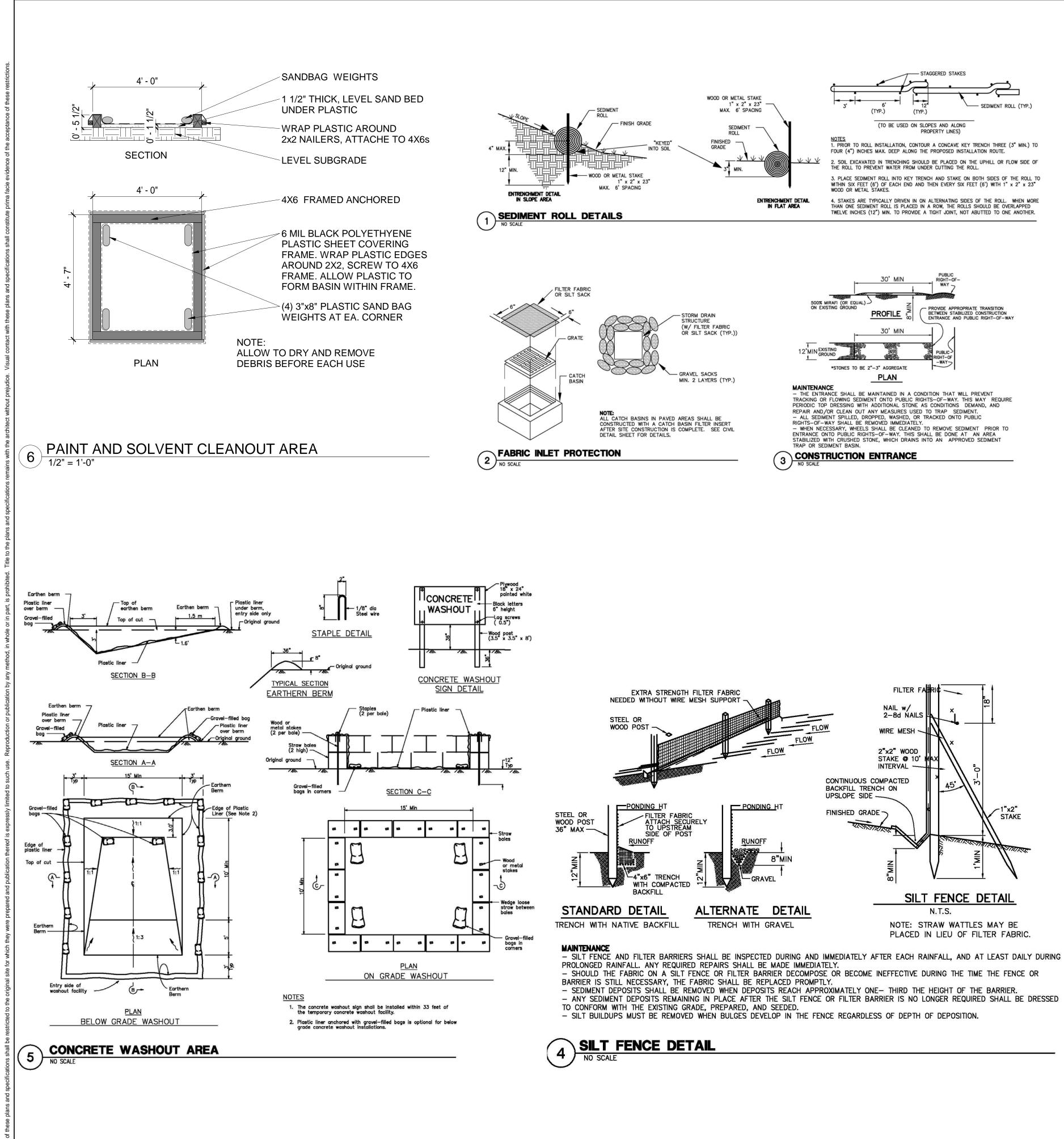
16'

TRUE

0' 4' 8' 16'



SCHWARTZ



EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING C THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTE CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLC

2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRAD SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO C GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED F STABILIZED CONSTRUCTION ENTRANCEWAYS.

CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACI POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED O SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.

APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTE STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

6. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCT IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION COM THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN S AND MULCH.

INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO P FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNC CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIE VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD REPRESENTATIVE OF ANY FIELD CHANGES.

EMPLOYEE TRAINING

STORM WATER POLLUTION PREVENTION TRAINING SHALL E BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTI EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVI CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHA NOT LIMITED TO:

- SPILL PREVENTION AND RESPONSE; LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTRO
- GOOD HOUSEKEEPING;
- FINES AND PENALTIES; MATERIAL MANAGEMENT PRACTICES.

**OBSERVATION AND MAINTENANCE** 

- VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS: A. INSPI WEEKLY, AND
- WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
- WITHIN 48 HOURS AFTER EACH STORM EVENT.
- B. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BM HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPEC THE BMP SUPPLIER OR MANUFACTURER.
- D. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING S INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOC MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED O
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRAI PERPINDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL CO NECESSARY.

### NON-STORM WATER DISCHARGES

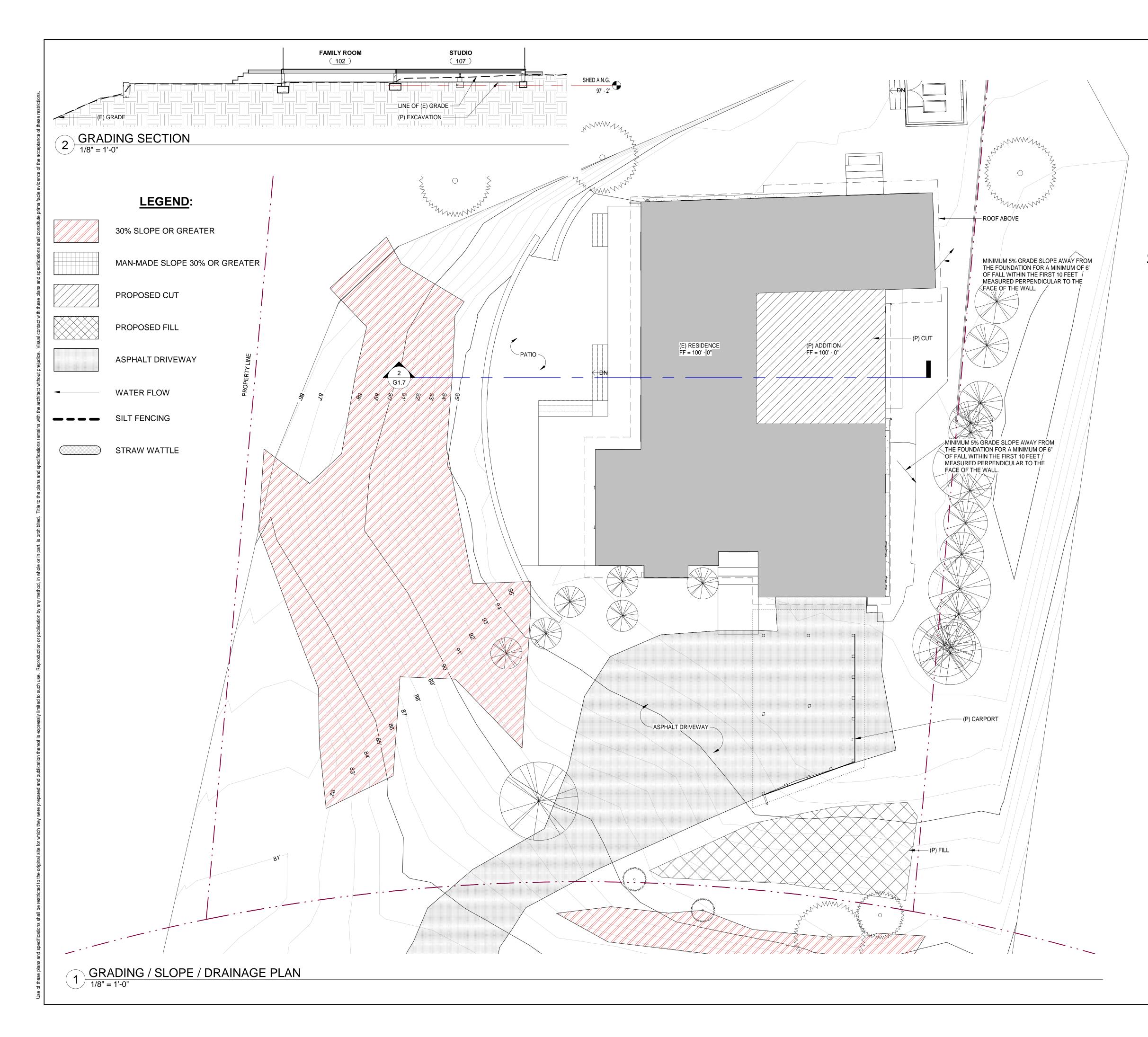
- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TA AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIG LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.

- IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
- PIPE FLUSHING AND TESTING,
- WATER TO CONTROL DUST,
- UNCONTAMINATED GROUND WATER FROM DEWATERING,

- THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE
- THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN
- 5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DIS AUTHORIZED.

EROSION CO		ROL NOTES:	TRYON
SION AND SEDIMENT CONTROL MEASURES THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL	1.	ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.	REMODEL
SION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL15. FACILITIES TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION TROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.	2.	ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS	24980 OUTLOOK DR., CARMEL, CA 93923
THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.	3.	THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15. A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW	ROBERT McDOWELL CARVER
CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE BILIZED CONSTRUCTION ENTRANCEWAYS.		B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE	C -18179 REN. 09/30/21
CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS IT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS LL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.		<ul> <li>PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.</li> <li>C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.</li> </ul>	PLANNING
APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR AW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.		D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.	DEPARTMENT SUBMITTAL
IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER EDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A EE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKFIER MULCH.		<ul> <li>E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.</li> <li>F.</li> </ul>	364
INJECH. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT M ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION TROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.	4.	AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE	3921 - USA - F.831.624.0 ARVER.CON
THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS T MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY RESENTATIVE OF ANY FIELD CHANGES.	5.	RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.	OX 2684 AEL CA 9 622.7837 STUDIOC
	6.	CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.	PO BC CARM T.831. WWW.5
STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE INNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL LOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE TRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE LIMITED TO:	7.	REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.	DESIGN
SPILL PREVENTION AND RESPONSE;     LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;	8.	SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.	RIOR
• GOOD HOUSEKEEPING; • FINES AND PENALTIES; • MATERIAL MANAGEMENT PRACTICES.	9.	DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.	+ +
ERVATION AND MAINTENANCE VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS: A. INSPECT BMPs: • WEEKLY, AND	10.	CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.	O NIN NA-
• WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND	11.	CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.	ت + س
• WITHIN 48 HOURS AFTER EACH STORM EVENT. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.	12.	WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.	111 0
SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPS BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.	13.	ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF A. EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST- GERMINATION SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE	CARVE
TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.		B. PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES OR OTHER VEGETATION, PURSUANT TO THE "COUNTY'S	0
REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.		LANDSCAPE CRITERIA", WHEN THE PROJECT IS COMPLETED; C. MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAT 20%, TOPSOIL SHOULD BE	TUI
REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPINDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.	14.	STOCKPILED AND REAPPLIED. D. GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THAT AREA HALL BE PLANTED UNDER THE PROVISIONS OF SECTION 16.08.340 TO CONTROL ROSION. (MCC	()
-STORM WATER DISCHARGES	15.	16.08.300 C.1)	
NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.	16.	SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION. (MCC 6.08.300 C.2) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.	
MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.	17.	IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION.	
HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:	18.	ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100) LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE KEPT TO	
• FIRE HYDRANT FLUSHING, • IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES.	10.	THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN.	A REVISION #
IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,     PIPE FLUSHING AND TESTING,	19.	THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (MCC 16.08.310 D)	1 1/08/18 PLAN REVIEW COMMENTS
WATER TO CONTROL DUST,     UNCONTAMINATED GROUND WATER FROM DEWATERING,	20.	PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL	
OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.		NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.	
THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:	21.	DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS	
THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD		OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.	ARCHITECTURAL
• THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT     • THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN	22.	PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.	EROSION CONTROL /
• THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPS REQUIRED BY	EROS 1.	ION CONTROL MAINTENANCE NOTES MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:	CONSTRUCTION MGMNT NOTES
THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT • THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR	í.	<ul> <li>A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END</li> <li>OF EACH WORKING DAY.</li> <li>B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.</li> </ul>	Scale: As indicated
(OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS  • THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS		C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED. D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL	@ 24x36 Drawn By: DP
• THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT		DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT. E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. F. RILLS AND GULLIES MUST BE REPAIRED.	Job: 1713
AUTHORIZED.	2. ONE H	STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS IALF THE HEIGHT OF ONE FOOT.	G1.6
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SCHWARTZ



# <u>GENERAL NOTES</u>

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPENCIES.

2. CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.

3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA--PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICALRESOURCES ARE UNCOVERED".

4. TOPOGRAPHY WAS PREPARED BY MONTEREY BAY ENGINEERS, INC.

5. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS AS REFERENCE ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINIATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

# **GEOTECHNICAL ENGINEER INSPECTION SCHEDULE**

When the	Who will conduct	Description of the	Name	Date
inspection is to be	the inspection	required		
completed		inspection		
Pre-Construction	Geotechnical			
Meeting	Engineer			
Completion of	Geotechnical	Observation and		
<b>Over-Excavation</b>	Engineer	testing		
Placement of Fill	Geotechnical	Observation and		
	Engineer	testing		

# **GEOTECHNICAL ENGINEER INSPECTION SCHEDULE**

INSPECTION - PRIOR TO LAND DISTURBANCE PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS. INSPECTION – DURING ACTIVE CONSTRUCTION

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

INSPECTION – FOLLOWING ACTIVE CONSTRUCTION PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

INSPECTION – FOLLOWING ACTIVE CONSTRUCTION PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED. GEOTECHNICAL CERTIFICATION

PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.

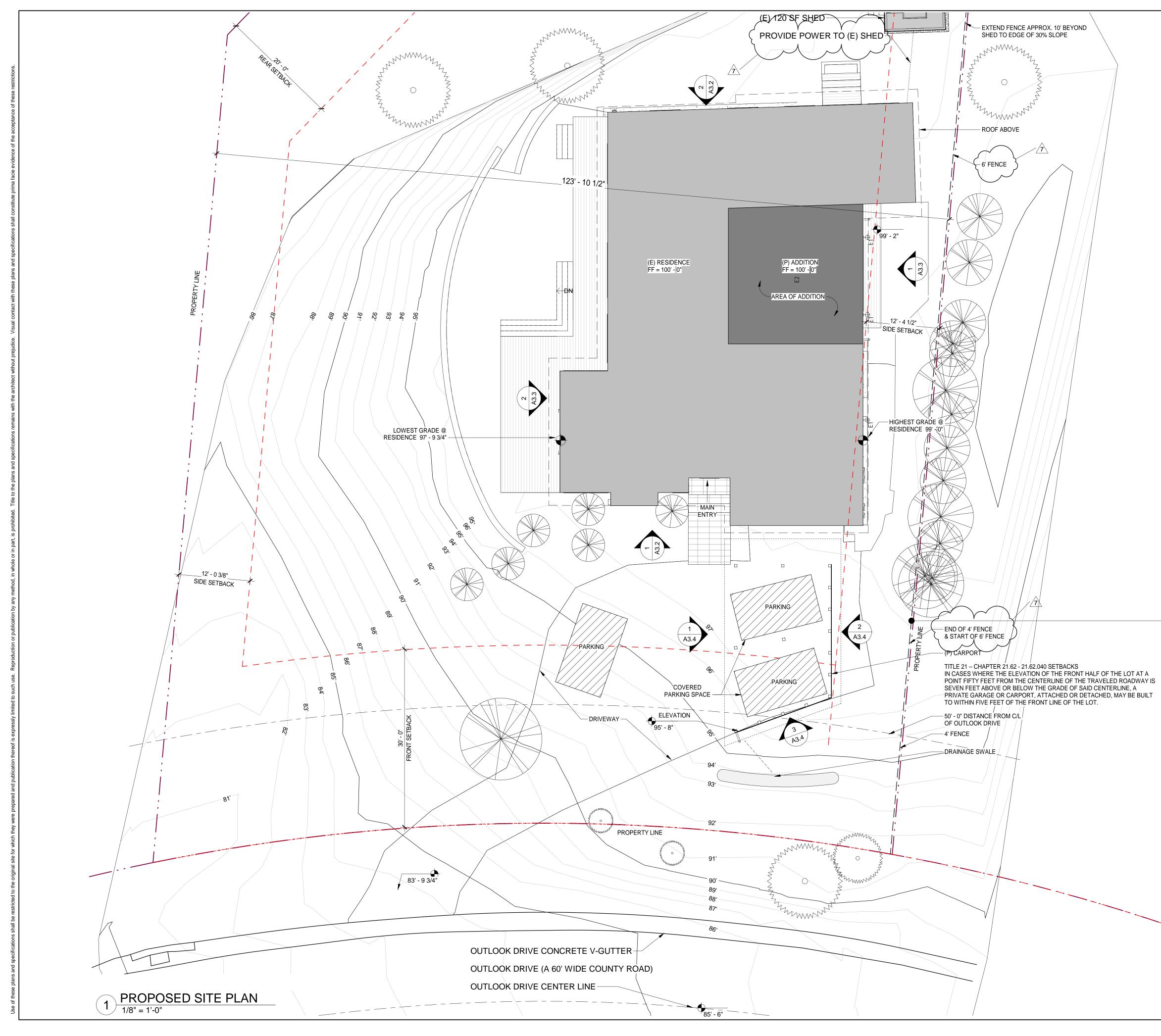
## **GRADING ESTIMATES**

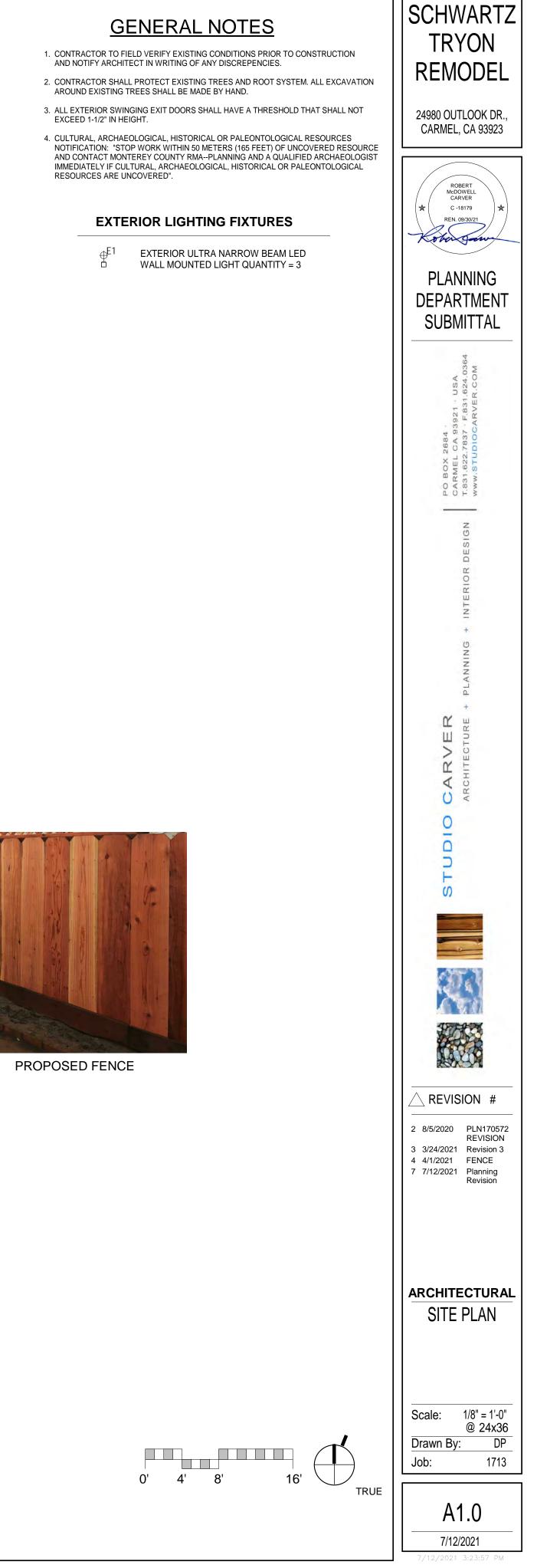
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GRADING FILL	20	CU.YDS.	
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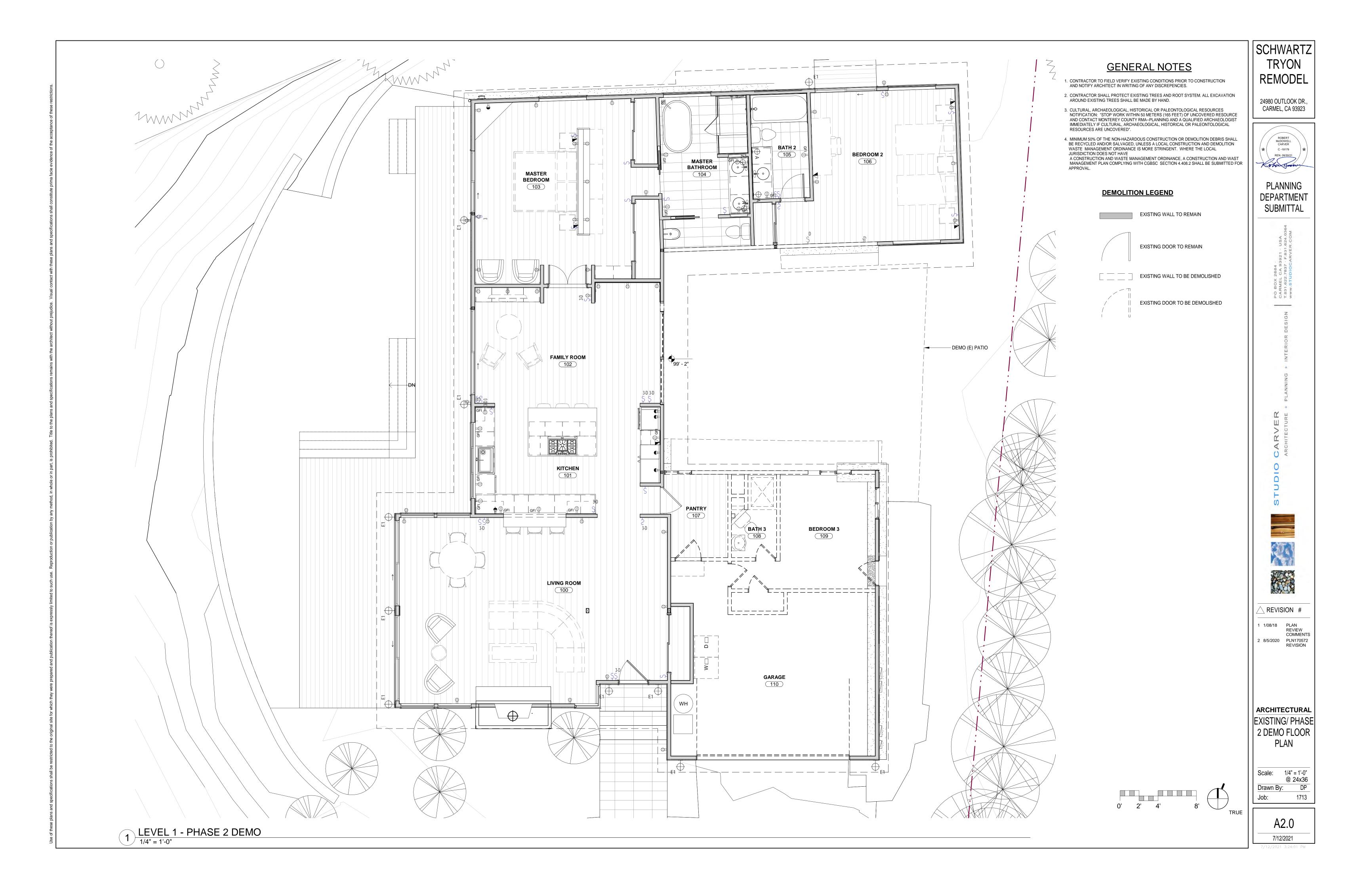
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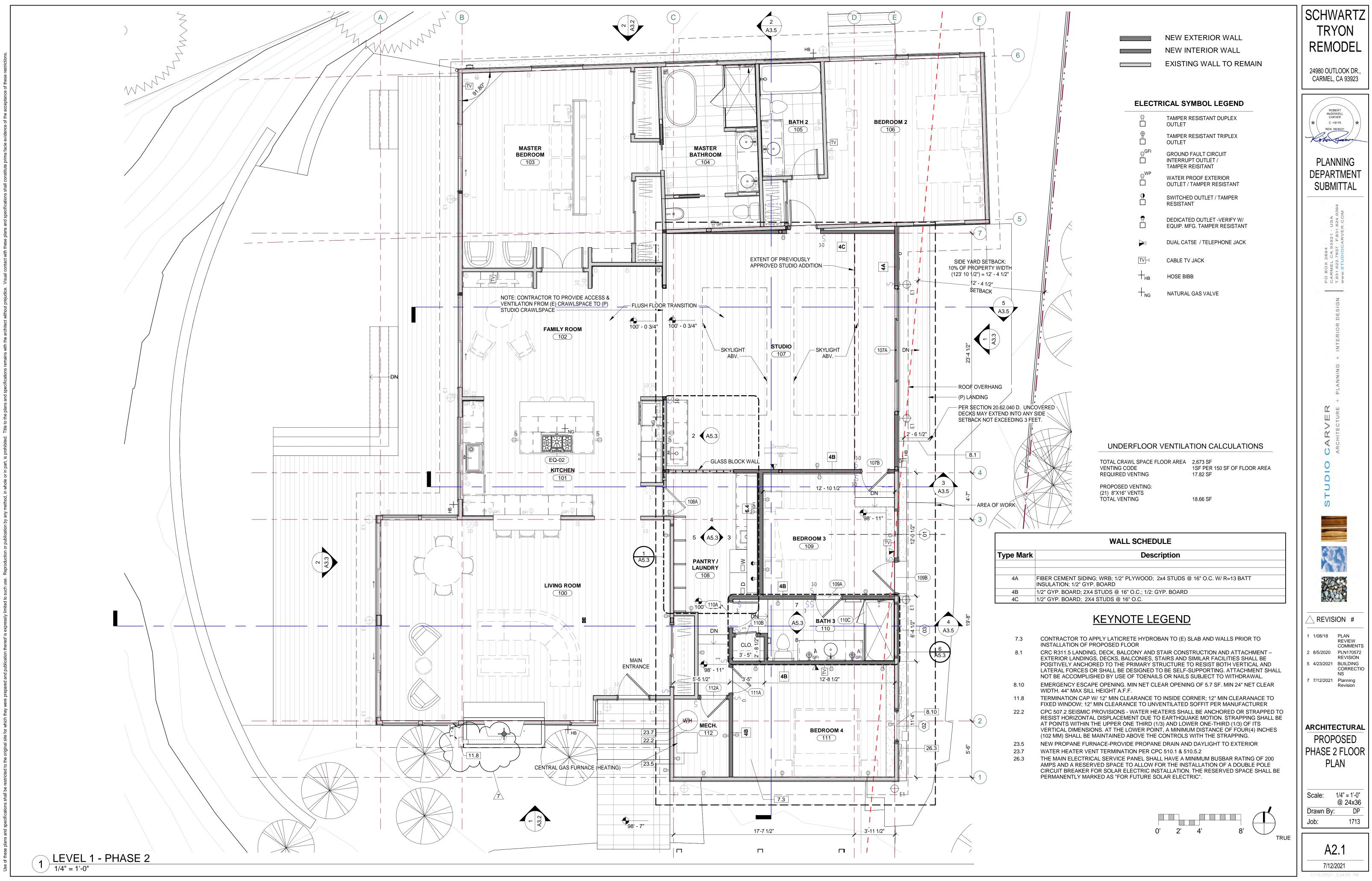
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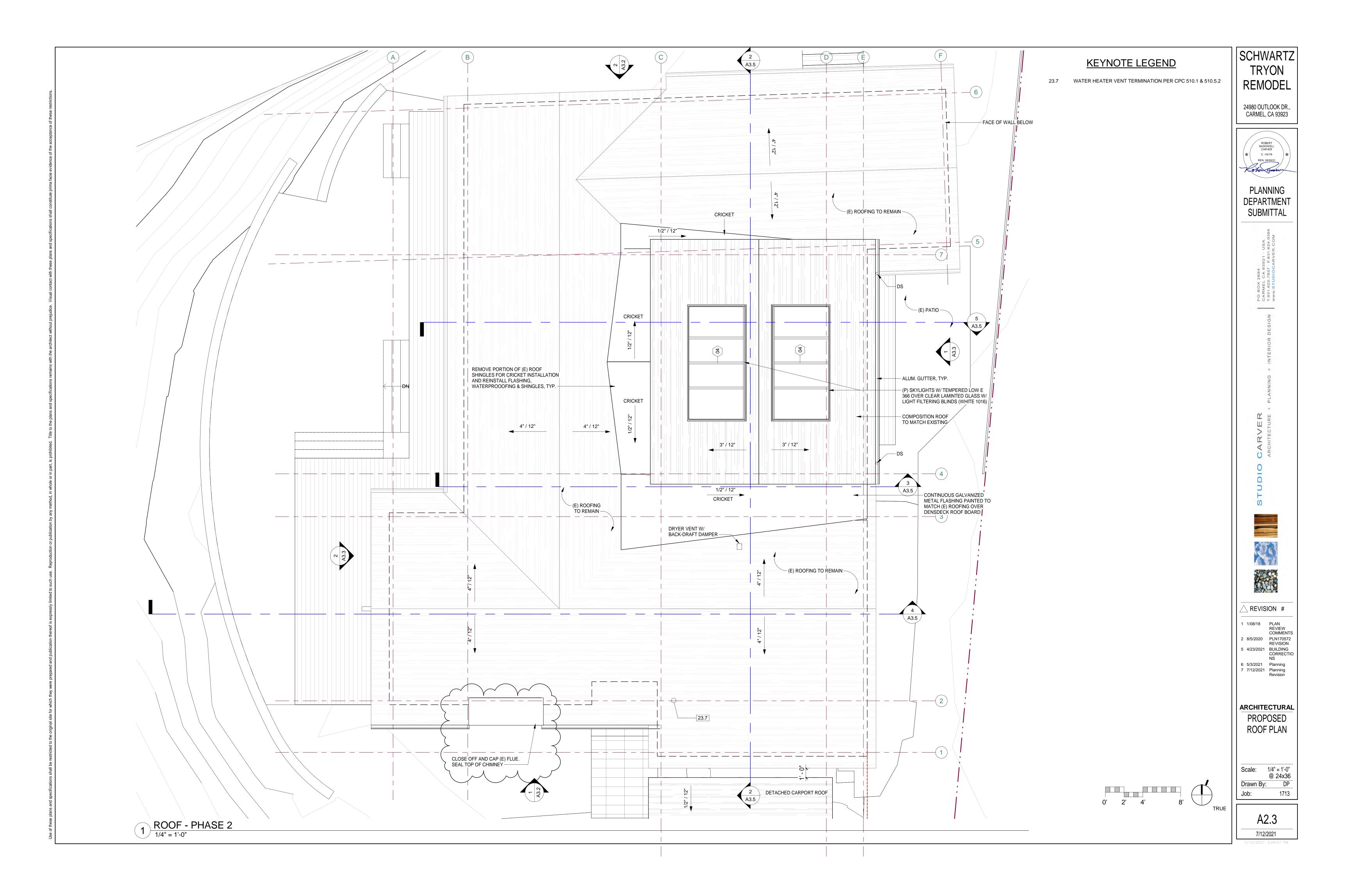


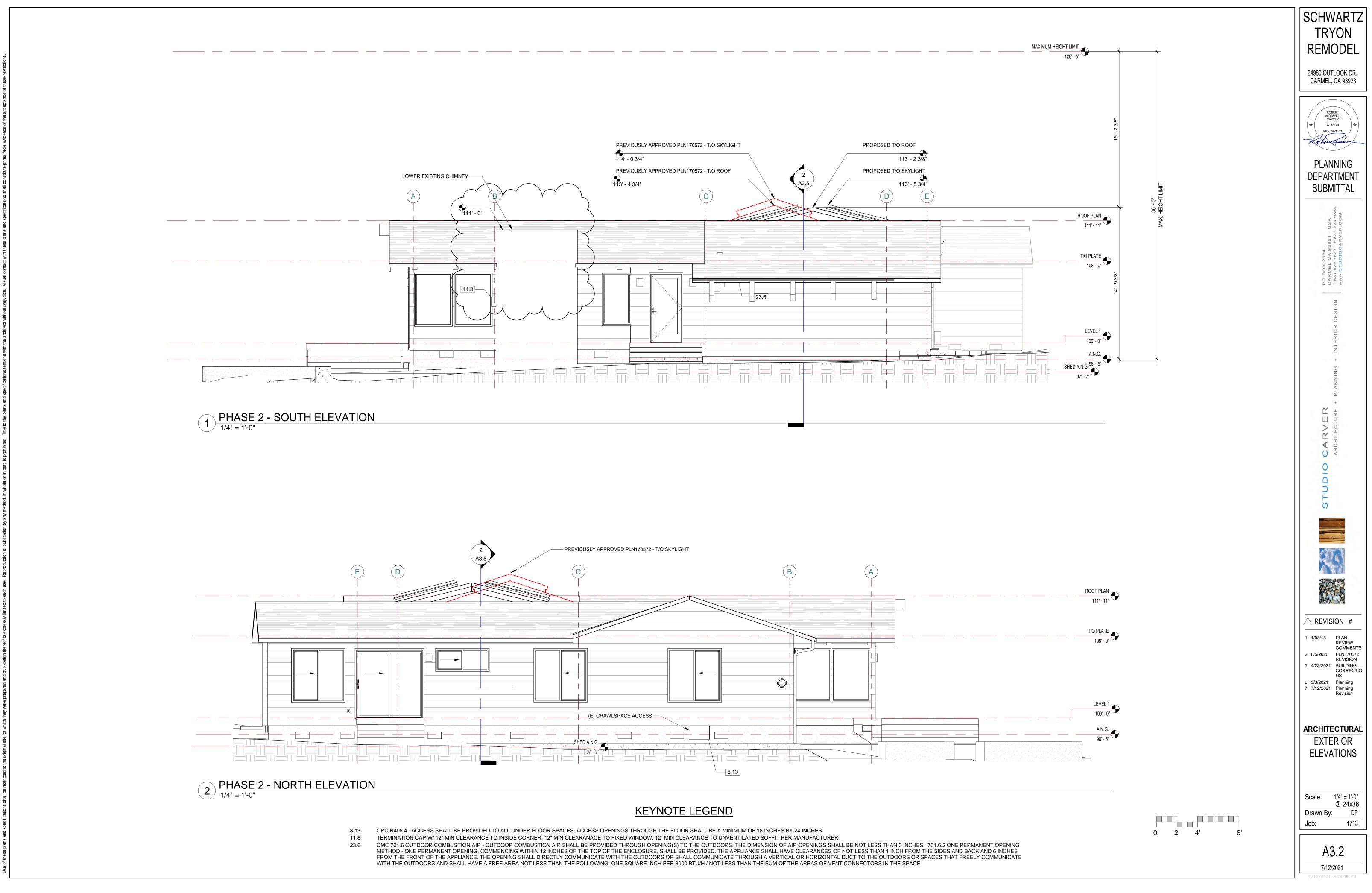


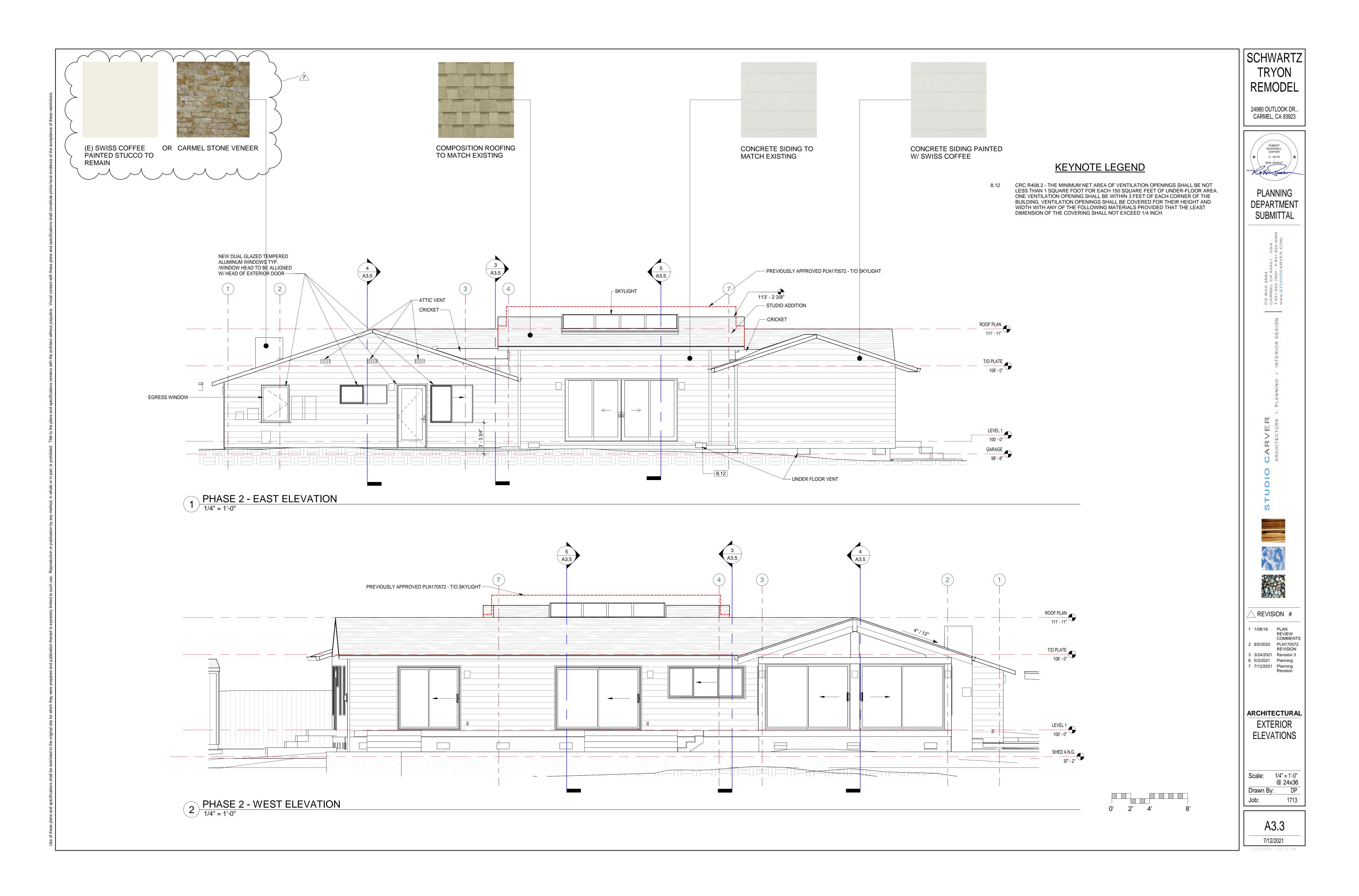


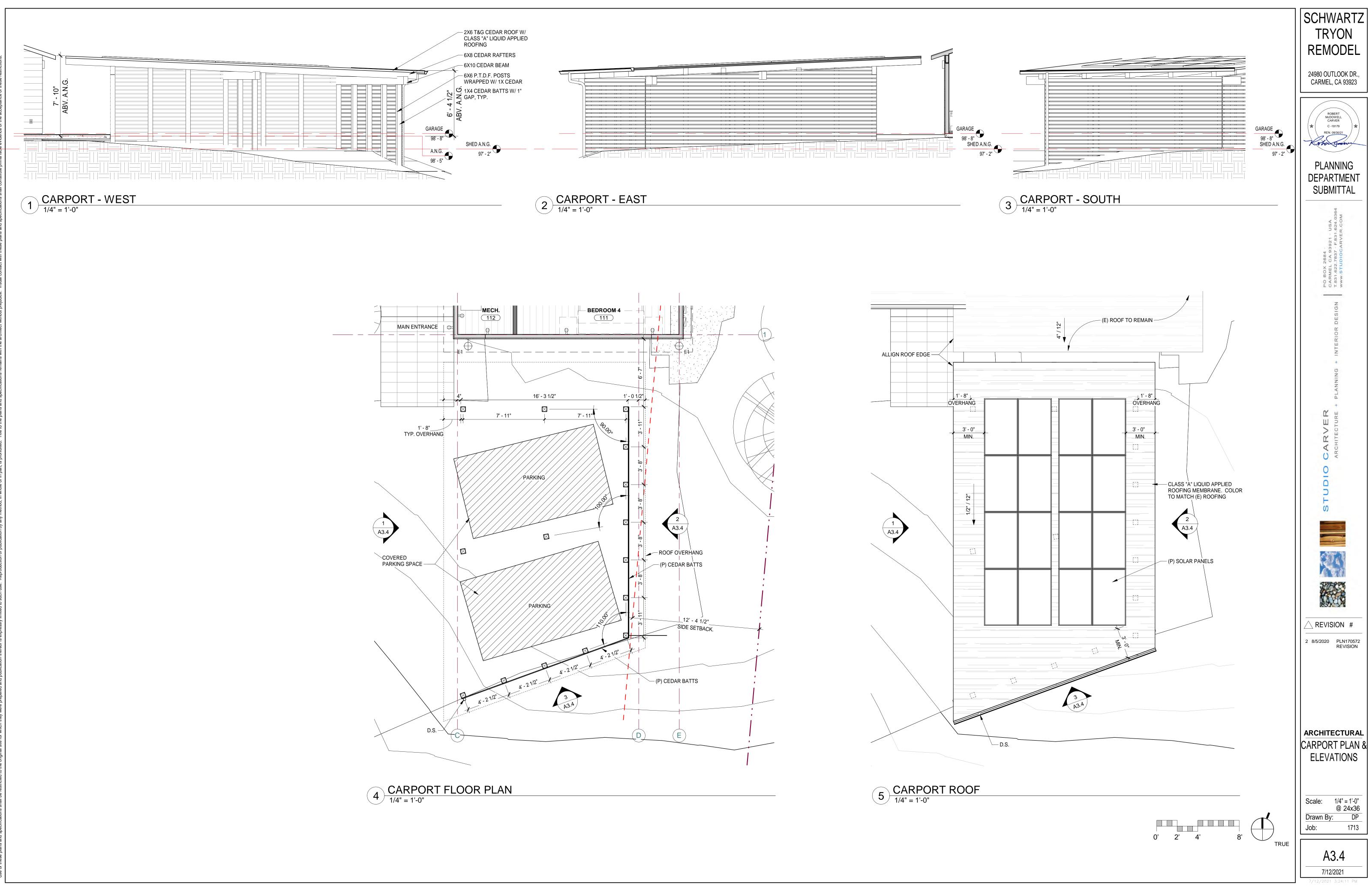


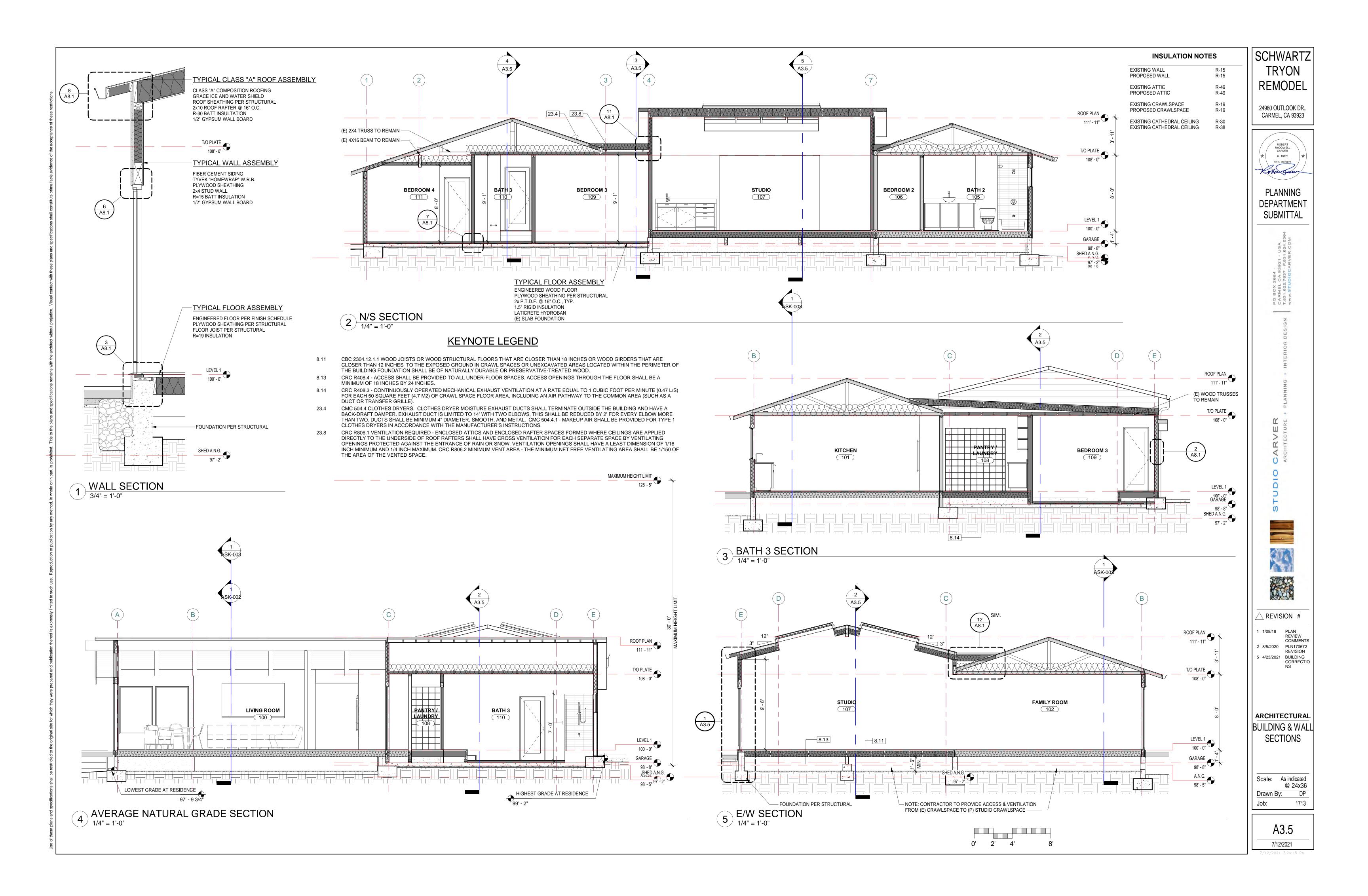


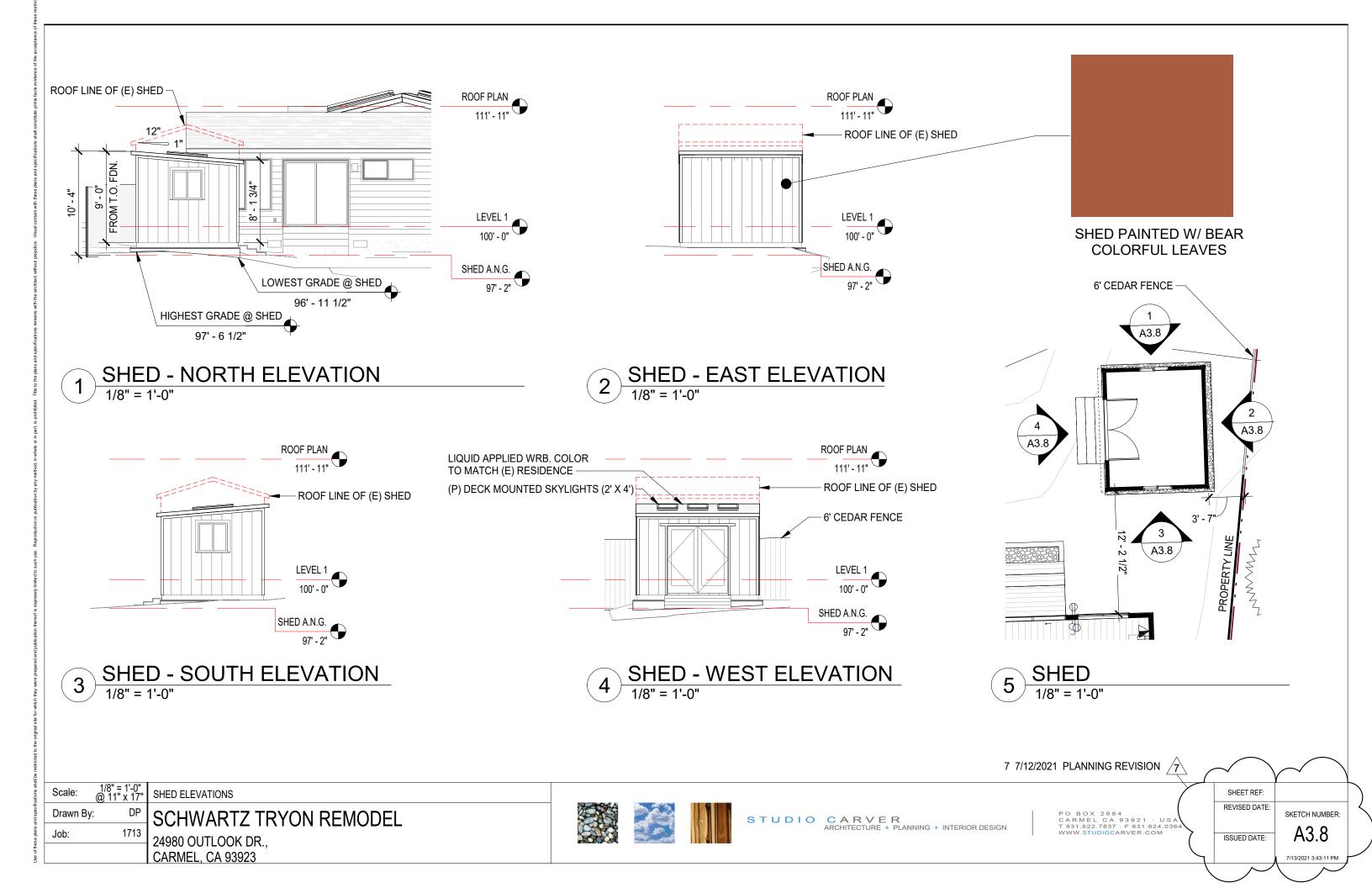












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