

County of Monterey

Monterey County Planning Commission
Monterey County Government Center - Board of Supervisors Chambers
168 W. Alisal St.



Meeting Agenda - Final

Wednesday, January 11, 2023
9:00 AM

Monterey County Planning Commission

Francisco Mendoza, Chair
Etna Monsalve, Vice Chair
Craig Spencer, Secretary

The Recommended Action indicates the staff recommendation at the time the agenda was prepared. That recommendation does not limit the Planning Commission's alternative actions on any matter before it.

IMPORTANT NOTICE REGARDING COVID-19 AND PARTICIPATION IN THE PLANNING COMMISSION MEETING

Monterey County Planning Commission will be held by teleconference to minimize the spread of the COVID-19 virus, in accordance with the State of Emergency proclaimed by Governor Newsom on March 4, 2020, Government Code section 54953 as amended by AB 361, and the Monterey County Health Officer recommendation of social distancing measures for meetings of legislative bodies.

To participate in this Monterey County Planning Commission meeting, the public are invited to observe and address the Commission telephonically or electronically. Instructions for public participation are below:

PARTICIPATE VIA ZOOM LINK:

<https://montereycty.zoom.us/j/97722386573>

PARTICIPATE BY PHONE: by dialing 1-669-900-6833 and then when prompted, entering the Meeting ID Access Code 977 2238 6573

Public Participation Instructions:

The meeting will be conducted via teleconference using the Zoom program, and Commissioners will attend electronically or telephonically. The meeting will have no physical location to physically attend.

The public may observe the Zoom meeting via computer by clicking on the following link:

<https://montereycty.zoom.us/j/97722386573>, or the public may listen via phone by dialing 1-669-900-6833 and then when prompted, entering the Meeting ID Access Code: 977 2238 6573

You will be asked for a "Participant ID". You do not need a Participant ID to join the meeting, press the pound key (#) again and you will be automatically connected.

1. If a member of the public wishes to comment on a particular agenda item, the public is strongly encouraged to submit their comments in writing via email to the County Housing and Community Development at pchearingcomments@co.monterey.ca.us by 2:00 p.m. on the Tuesday prior to the Commission meeting. To assist County staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line. Comments received by the 2:00 p.m. Tuesday deadline will be distributed to the Commission and will be placed in the record.
2. Applicants and members of the public wishing to comment on a specific agenda item while the matter is being heard during the meeting may participate by any of the following means:
 - a. When the Chair calls for public comment on an agenda item, the Secretary of the Commission or his or her designee will first ascertain who wants to testify (among those who are in the meeting electronically or telephonically) and will then call on speakers and unmute their device one at a time.

Public speakers including the applicant may be broadcast in audio form only.

b. If speakers or other members of the public have documents they wish to distribute to the Commission for an agenda item, they are encouraged to submit such documents by 2:00 p.m. on Tuesday before the meeting to: pchearingcomments@co.monterey.ca.us. To assist staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line.

c. If applicants or members of the public want to present documents/Power Point presentations while speaking, they should submit the document electronically by 2:00 p.m. on Tuesday before the meeting at pchearingcomments@co.monterey.ca.us. (If submitted after that deadline, staff will make best efforts, but cannot guarantee, to make it available to present during the Commission meeting.)

d. While the matter is being heard, a member of the public may submit a comment via email, preferably limited to 250 words or less, to the Secretary of the Commission at pchearingcomments@co.monterey.ca.us. To assist staff in identifying the agenda item to which the comment relates, the public is requested to indicate the Planning Commission date and agenda number in the subject line. If the comment is received prior to close of public comment on an agenda item, every effort will be made to read the comment into the record, but some comments may not be read out loud due to time limitations or length of the comment (if the comment exceeds 250 words). Comments received prior to the close of the public comment period on an agenda item will be made part of the record for that item.

3. Members of the public who wish to make a general public comment for items not on the day's agenda may submit their comment via email, preferably limited to 250 words or less, to the Secretary of the Commission at pchearingcomments@co.monterey.ca.us. The Planning Commission date and "general comment" should be indicated in the subject line. The comment will be placed in the record for the meeting, and every effort will be made to read the comment into the record at the appropriate time on the agenda.

4. Individuals with disabilities who desire to request a reasonable accommodation or modification to observe or participate in the meeting may make such request by sending an email to pchearingcomments@co.monterey.ca.us. The request should be made no later than noon on the Monday prior to the Commission meeting in order to provide time for County to address the request.

5. The Chair and/or Secretary may set reasonable rules as needed to conduct the meeting in an orderly manner.

BREAKS will be taken approximately at 10:15 a.m. and 3:00 p.m.

DOCUMENT DISTRIBUTION: Documents relating to agenda items that are distributed to the Planning Commission less than 72 hours prior to the meeting are available by request by sending an email to pchearingcomments@co.monterey.ca.us. Documents distributed by County staff at the meeting of the Planning Commission will be available upon request by sending an email to pchearingcomments@co.monterey.ca.us.

If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. For information regarding how, to whom and when a person with a disability who requires a modification or

accommodation in order to participate in the public meeting may make a request for disability-related modification or accommodation including auxiliary aids or services or if you have any questions about any of the items listed on this agenda, please call the Monterey County Housing and Community Development at (831) 755-5025.

The Planning Commission Clerk must receive all materials for the agenda packet by noon on the Tuesday one week prior to the Wednesday Planning Commission meeting in order for the materials to be included in the agenda packet distributed in advance to the Commission.

INTERPRETATION SERVICE POLICY: The Monterey County Planning Commission invites and encourages the participation of Monterey County residents at its meetings. If you require the assistance of an interpreter, please contact the Monterey County Housing and Community Development Department located in the Monterey County Government Center, 1441 Schilling Place, 2nd Floor South, Salinas - or by phone at (831) 755-5025. The Clerk will make every effort to accommodate requests for interpreter assistance. Requests should be made as soon as possible, and at a minimum 24 hours in advance of any meeting of the Planning Commission.

AVISO IMPORTANTE SOBRE COVID-19 Y PARTICIPACIÓN EN LA REUNIÓN DE LA COMISIÓN DE PLANIFICACIÓN

La Comisión de Planificación del Condado de Monterey se llevará a cabo por teleconferencia para minimizar la propagación del virus COVID-19, de acuerdo con el Estado de Emergencia proclamado por el Gobernador Newsom el 4 de Marzo del 2020, Orden Ejecutiva N-29-20 emitida por el Gobernador Newsom el 17 de Marzo del 2020, y la Orden de Refugio en el Lugar (aka "Quedate en Casa") emitida por el Oficial de Salud del Condado de Monterey el 17 de Marzo del 2020, según se pueda enmendar periódicamente.

Para participar en esta reunión de la Comisión de Planificación del Condado de Monterey, el público están invitados a observar y hacer frente a la Comisión telefónicamente o por vía electrónica. Las instrucciones para la participación pública están a continuación:

Instrucciones de participación pública:

La reunión se llevará a cabo por teleconferencia utilizando el programa Zoom, y los Comisionados asistirán por vía electrónica o telefónica. La reunión no tendrá un lugar físico para asistir físicamente. El público puede observar la reunión Zoom a través de computadora haciendo clic en el siguiente enlace: <https://montereycty.zoom.us/j/97722386573>, o el público puede escuchar a través del teléfono llamando al 1-669-900-6833 y cuando se le solicite el código de acceso para entrar a la reunión, presione los siguientes números: 977 2238 6573

Se le pedirá una "identificación de participante". No necesita una identificación de participante para unirse a la reunión, presione la tecla numeral (#) nuevamente y se conectará automáticamente.

1. Si un miembro del público desea comentar sobre un tema de la agenda en particular, se le es sumamente recomendable que envíe sus comentarios por escrito por correo electrónico a la Agencia de Administración de Recursos del Condado (Housing and Community Development) a pchearingcomments@co.monterey.ca.us antes de las 2:00 P. M. el

Martes antes de la reunión de la Comisión. Para ayudar al personal del Condado a identificar el numero del proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de la agenda en la línea de asunto. Comentarios recibidos en la fecha limite del Martes a las 2 P.M, serán distribuidos a la Comisión y serán colocados en el registro.

2. Los aplicantes del proyecto y miembros del público que desean comentar en un proyecto específico, mientras que el proyecto se este presentando durante la reunión, pueden participar por cualquiera de los siguientes medios:

a. Cuando el Presidente del los Comisionarios (Chair of the Planning Commission) solicite comentarios públicos sobre un tema de la agenda, el Secretario de la Comisión o su designado, primero determinará quién quiere testificar (entre los que están en la reunión por vía electrónica o telefónica) y luego llamará a los oradores (speakers) y activará la bocina para el orador, uno a la vez. Todo orador, incluyendo el aplicante del proyecto, serán transmitidos por audio en altavoz solamente.

b. Si los oradores u otros miembros del público tienen documentos que desean distribuir a la Comisión para un tema o proyecto de la agenda, se les recomienda enviar dichos documentos antes de las 2:00 P.M. el Martes antes de la reunión a: pchearingcomments@co.monterey.ca.us . Para ayudar al personal a identificar el numero del proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de agenda en la línea de asunto.

c. Si los aplicantes o miembros del público desean presentar documentos o presentaciones de PowerPoint mientras hablan, deben enviar el documento electrónicamente antes de las 2:00 P.M. del Martes antes de la reunión a pchearingcomments@co.monterey.ca.us (Si se presenta después de ese plazo, el personal hará los mejores esfuerzos, pero no puede garantizar que esté disponible su PowerPoint para presentar durante la reunión de la Comisión).

d. Mientras se escucha el proyecto, un miembro del público puede enviar un comentario por correo electrónico, preferiblemente limitado a 250 palabras o menos, al Secretario de la Comisión a pchearingcomments@co.monterey.ca.us . Para ayudar al personal a identificar el proyecto de la agenda con el cual se relaciona el comentario, se solicita al público que indique la fecha de la Comisión de Planificación y el número de agenda en la línea de asunto. Si el comentario se recibe antes del cierre del comentario público sobre un tema de la agenda, se hará todo lo posible para leer el comentario en el registro, pero algunos comentarios pueden no leerse en voz alta debido a limitaciones de tiempo o duración del comentario (si el comentario supera las 250 palabras). Los comentarios recibidos antes del cierre del período de comentarios públicos sobre un proyecto de la agenda serán parte del registro de ese proyecto.

3. Los miembros del público que deseen hacer un comentario público general para los temas que no están en la agenda del día pueden enviar su comentario por correo electrónico , preferiblemente limitado a 250 palabras o menos, al Secretario de la Comisión en pchearingcomments@co.monterey.ca.us . La fecha de la Comisión de Planificación y el "comentario general" deben indicarse en la línea de asunto. El comentario se colocará en el registro de la reunión, y se hará un gran esfuerzo para leer el comentario en voz alta para su registro verbalmente en el momento apropiado de la agenda.

4. Las personas con discapacidades que deseen solicitar una modificación o modificación razonable para observar o participar en la reunión pueden realizar dicha solicitud enviando un correo electrónico a pchearingcomments@co.monterey.ca.us . La solicitud debe hacerse a más tardar el

mediodía del Lunes antes de a la reunión de la Comisión para dar tiempo al Condado para que atienda la solicitud .

La Comisión de Planificación del Condado de Monterey invita y apoya la participación de los residentes del Condado de Monterey en sus reuniones. Si usted requiere la asistencia de un interprete, por favor comuníquese con la Departamento de Vivienda y Desarrollo Comunitario localizada en el Centro de Gobierno del Condado de Monterey, (Monterey County Government Center), 1441 Schilling Place, 2nd Floor South, Salinas – o por teléfono al (831) 755-5025. La Asistente hará el esfuerzo para acomodar los pedidos de asistencia de un interprete. Los pedidos se deberán hacer lo mas pronto posible, y a lo mínimo 24 horas de anticipo de cualquier reunión de la Comisión de Planificación.

NOTE: All agenda titles related to numbered items are live web links. Click on the title to be directed to corresponding Staff Report.

9:00 A.M. - CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Richard Coffelt	Ernesto G. Gonzalez
Amy Roberts	Francisco Javier Mendoza
Martha Diehl	Katharine Daniels
Etna Monsalve	Ben Work
Paul C. Getzelman	Nathalia Carrillo

PUBLIC COMMENTS

This is a time set aside for the public to comment on a matter that is not on the agenda.

WRITTEN CORRESPONDENCE FOR ITEMS NOT ON THE AGENDA

This is a time to review/discuss correspondence letters received from the public for items not on the agenda.

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

The Commission Clerk will announce agenda corrections, deletions and proposed additions, which may be acted on by the Planning Commission as provided in Sections 54954.2 of the California Government Code.

COMMISSIONER COMMENTS AND REQUESTS

This is a time set aside for the Commissioners to comment or request a matter that is on or not on the agenda.

REFERRALS AND OTHER MATTERS

1. PLANNING COMMISSION REFERRALS

APPROVAL OF CONSENT AGENDA

2. Approval of the December 7, 2022 Planning Commission Meeting Minutes

Attachments: [Draft PC Minutes_120722](#)

9:00 A.M. – SCHEDULED MATTERS**3. PLN160401 - Moss Landing Commercial Park, LLC**

Continued from December 7, 2022 - Public hearing to consider a General Development Plan and after-the-fact approval of existing commercial cannabis activities in 23 structures, the establishment of commercial cannabis activities in 5 existing structures, and the allowance of on-going multi-tenant commercial, industrial, and commercial cannabis use within 34 structures.

Project Location: 7697 Highway 1, Moss Landing, North County Land Use Plan/Moss Landing Community Plan area (APN: 133-172-013-000)

Proposed CEQA Action: Consider and adopt a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Plan.

Attachments: [Staff Report](#)

4. PLN210066 - 5B SMD LLC

Public hearing to consider the demolition a 3,446 square foot single family dwelling and detached 558 square foot garage and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage within environmentally sensitive habitat areas, in proximity of a positive archaeological resource, and resulting in ridgeline development.

Project Location: 3141 17 Mile Drive, Pebble Beach

Proposed CEQA Action: Find the project Categorically Exempt Per Sections 15301(l) and 15303(a) of the CEQA Guidelines

Attachments: [Staff Report](#)
[Exhibit A - Project Discussion](#)
[Exhibit B - Draft Resolution](#)
[Exhibit C - Del Monte Forest LUAC Minutes](#)
[Exhibit D - Vicinity Map](#)

5. PLN220174 - ROMAN CATHOLIC BISHOP OF MTY

Public hearing to consider allowing alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence. The caretaker unit will be demolished in order to expose, excavate and treat the foundation of Majordomo residence that underlies the existing caretaker residence.

Project Location: 1 Mission Rd, Jolon, 93928

Proposed CEQA action: Find the project categorically exempt pursuant to Sections 15301 and 15331 of the CEQA Guidelines

Attachments: [Staff Report](#)
 [Exhibit A - Draft Resolution](#)
 [Exhibit B - Historic Resources Review Board Resolution No. 22-008](#)
 [Exhibit C - Historic Report \(LIB220249\)](#)
 [Exhibit D - Letter Describing Foundation Treatment Approach](#)
 [Exhibit E - Vicinity Map](#)

6. MONTEREY COUNTY PLANNING COMMISSION NOMINATION COMMITTEE

Appointment by current Planning Commission Chair of a Nominating Committee for 2023 Chair and Vice Chair positions

DEPARTMENT REPORT

ADJOURNMENT



County of Monterey

Item No.1

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 22-109

January 11, 2023

Introduced: 12/8/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLANNING COMMISSION REFERRALS



County of Monterey

Item No.2

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: MIN 23-001

January 11, 2023

Introduced: 12/21/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Minutes

Approval of the December 7, 2022 Planning Commission Meeting Minutes

County of Monterey

Monterey County Planning Commission
Monterey County Government Center - Board of Supervisors Chambers
168 W. Alisal St.
Salinas, CA 93901



Meeting Minutes - Draft

Wednesday, December 7, 2022

9:00 AM

Monterey County Planning Commission

Francisco Mendoza, Chair

Etna Monsalve, Vice Chair

Craig Spencer, Secretary

9:00 A.M. - CALL TO ORDER

The meeting was called to order by Chair Mendoza at 9:00 a.m.

This meeting was conducted via teleconference using Zoom.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Daniels.

ROLL CALL

Nathalia Carrillo

Rich Coffelt

Katharine Daniels

Martha Diehl

Paul C. Getzelman

Ernesto Gonzalez

Etna Monsalve – absent during roll call, joined later during meeting

Amy Roberts

Ben Work

Francisco Javier Mendoza

Absent:

None

Planning Commission Secretary Craig Spencer went over the procedures for the Zoom hearing.

PUBLIC COMMENTS

None

WRITTEN CORRESPONDENCE FOR ITEMS NOT ON THE AGENDA

None

AGENDA ADDITIONS, DELETIONS AND CORRECTIONS

Commission Clerk Sophia Magana informed the Commission of correspondence received from the public for agenda item number no. 5 – PLN100338 Signal Hill LLC, agenda item no. 7 – PLN180109 - BJSP LLC and agenda item no. 8 – PLN160401 – Moss Landing Community Park LLC.

COMMISSIONER COMMENTS AND REQUESTS

Commissioner Carrillo stated for the record that she will be recusing herself from agenda item no. 7 and agenda item no. 8.

Chair Mendoza informed the Commission that there are a couple other

Commissioners including himself that will be recusing themselves from a couple items.

REFERRAL ITEMS AND OTHER MATTERS

1. PLANNING COMMISSION REFERRALS

Secretary Spencer informed the Commission that there are currently no new updates and staff will continue to add requested items to the referral list and is available for any questions.

PUBLIC COMMENTS

None

APPROVAL OF CONSENT CALENDAR

- 2. Approval of the November 9, 2022 Planning Commission Meeting Minutes.**

3. CONSIDER AND APPROVE THE 2023 MONTEREY COUNTY PLANNING COMMISSION MEETING DATES

Chair Mendoza asked if anyone in the public would like to pull an item from the Consent Calendar.

No members of the public requested to pull an item.

It was moved by Commissioner Carrillo, seconded by Commissioner Daniels and passed by the following vote to approve the Consent Calendar.

AYES: Carrillo, Coffelt, Daniels, Diehl, Getzelman, Gonzalez, Roberts, Work, Mendoza

NOES: None

ABSENT: Monsalve

ABSTAIN: None

9:00 A.M. – SCHEDULED MATTERS

4. REF220020/REF220017/REF220018 - GENERAL PLAN HOUSING ELEMENT SIXTH CYCLE UPDATE

Receive a second presentation on the General Plan Housing Element Sixth Cycle Update (2023-31), Safety Element Update, and new Environmental Justice Element and consider the Draft Community Engagement Plan.

Project Location: Unincorporated County of Monterey

Proposed CEQA Action: Statutory Exemption pursuant to Section 15262 of the CEQA Guidelines

Melanie Beretti, Project Planner presented this item.

Hitta Mosesman Vice President of Community Development & Housing –

Harris & Associates**Darin Neufeld, Director of Sustainability – Harris & Associates****Harris & Associates staff presented slides on the Housing Element, Safety Element Update, Environmental Justice Element and Community Engagement.****PUBLIC COMMENTS****Margie Kay****No Action required for this item.****5. PLN100338 - SIGNAL HILL LLC**

Public hearing to consider the demolition of a 4,124 square foot single family residence and the construction of a new three level 11,933 square foot single family residence including an attached three-car garage, a 986 square foot entry court, 106 square feet of uncovered terraces, approximately 2,600 square feet of covered terraces, new driveway, and approximately 2,040 cubic yards of grading (1,210 cubic yards cut/830 cubic yards fill) and restoration of approximately 1.67 acre of native dune habitat; The project includes development on a ridgeline, on slopes exceeding 30 percent, within 100 feet of environmentally sensitive habitat area and within 750 feet of a known archeological resources, removal of two Monterey Cypress trees and demolition of a listed historic resource.

Project Location: 1170 Signal Hill Road, Pebble Beach, Del Monte Forest Area Land Use Plan, Coastal Zone

Proposed CEQA Action: Certify an Environmental Impact Report and adopt CEQA Findings and a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Plan.

Erik Lundquist, Director of Housing & Community Development requested a continuance of the hearing to January 25, 2023.

Owner/Applicant – Massy Mehdipour

PUBLIC COMMENTS**Bill Bernstein, Mike Clair, Dale Ellis**

It was moved by Commissioner Diehl, seconded by Commissioner Roberts and passed by the following vote to continue the public hearing to a date certain of January 25, 2023 Planning Commission meeting.

AYES: Carrillo, Daniels, Diehl, Getzelman, Gonzalez, Roberts, Work, Mendoza

NOES: Coffelt

ABSENT: Monsalve

ABSTAIN: None

The Commission recessed for break at 10:40 a.m. and resumed at 10:50 a.m.

Roll Call after break – All Commissioners present except for Commissioner Monsalve

6. PLN210148 - PHELPS ERIC C & ERICA D TRS

Public hearing to consider construction of an approximately 5,495 square foot one-story single-family dwelling inclusive of an attached garage, a 936 square foot detached garage, a 598 square foot detached guesthouse, and associated site improvements. The project includes ridgeline development.

Project Location: The property is located at 25800 Paseo De Los Robles, Salinas, Toro Area Plan.

Proposed CEQA Action: Find the project Categorical Exemption pursuant to Section 15303 of the California Environmental Quality Act and none of the exceptions under Section 150300.2 apply.

Fionna Jensen, Project Planner presented this item.

Applicants Representative – Jeff Crocket

Applicant – Eric Phelps

PUBLIC COMMENTS

None

It was moved by Commissioner Diehl, seconded by Commissioner Roberts and passed by the following vote to find the project categorically exempt per Sections 15303 of the CEQA guidelines and approve the Combined Development Permit, as amended. The amendments include adding condition No. 11 – Indemnification Agreement and a revision to Finding No. 8 evidence a.

AYES: Carrillo, Coffelt, Daniels, Diehl, Getzelman, Gonzalez, Roberts, Work, Mendoza

NOES: None

ABSENT: Monsalve

ABSTAIN: None

7. PLN180109 - BJSP LLC

Public hearing to consider establishment of commercial cannabis activities consisting of cultivation, nursery, non-volatile manufacturing and self-distribution within approximately 121,690 square feet of existing greenhouses and warehouses.

Project Location: 37 McGinnis Road, Royal Oaks, North County Land Use Plan

Proposed CEQA action: Consider the North Monterey County Cannabis Facilities Projects Initial Study/Negative Declaration (IS/ND) (State Clearinghouse No. 2020060325, HCD-Planning File No. REF220024), per California Environmental Quality Act (CEQA) Guidelines Section 15074.

Kayla Nelson, Project Planner presented this item.

Connor Cappi – Environmental Health Bureau

PUBLIC COMMENTS**Margie Kay**

It was moved by Commissioner Getzelman, seconded by Commissioner Diehl and passed by the following vote to consider the North County Cannabis Facilities Projects Initial Study/Negative Declaration (IS/ND) (State Clearinghouse No. 2020060325, HCD Planning File No. REF220024), per CEQA Guidelines section 15074 and approve the Coastal Development permit.

AYES: Diehl, Getzelman, Gonzalez, Roberts, Work, Daniels**NOES: Coffelt****ABSENT: Monsalve****BSTAIN: None****8. PLN160401 - MOSS LANDING COMMERCIAL PARK, LLC**

Public hearing to consider a General Development Plan and after-the-fact approval of existing commercial cannabis activities in 23 structures, the establishment of commercial cannabis activities in 5 existing structures, and the allowance of on-going multi-tenant commercial, industrial, and commercial cannabis use within 34 structures.

Project Location: 7697 Highway 1, Moss Landing, North County Land Use Plan/Moss Landing Community Plan area (APN: 133-172-013-000).

Proposed CEQA Action: Consider and adopt a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Plan.

Fionna Jensen, Project Planner presented this item.

Anna Quenga, Principal Project Planner

Applicant – Paul Moncreif

PUBLIC COMMENTS**Margie Kay, Jennifer Rosenthal**

Commissioner Monsalve joined the Commission at 12:50 p.m., after the presentation on item no. 8

It was moved by Commissioner Diehl, seconded by Commissioner Mendoza and passed by the following vote to continue the hearing to a date certain of January 11, 2022 to achieve clarity related to the proposed General Development Plan.

AYES: Coffelt, Daniels, Diehl, Getzelman, Gonzalez, Work, Mendoza**NOES: None****ABSENT: None**

ABSTAIN: Monsalve

DEPARTMENT REPORT

Craig Spencer stated that at the recent Board of Supervisors meeting it present the Department and Information technology Department an innovation award from the State Association of Counties (CSAC) for the Monterey County Car Week Special Events map webpage.

Craig Spencer also stated that the Board adopted a resolution and an ordinance amending the North County Land Use Plan for the Caltrans Highway 156 Interchange project that was previously recommended by the planning Commission. He stated that the Board also adopted three Mills Act Contracts and eight Williamson Act Contracts.

Craig Spencer informed the Commission that the next meeting will be in the new year and we will need to take up the idea of meeting remotely. If the Governor continues to indicate that he intends to terminate that proclamation of emergency at the end of February, then staff will work with Counsel on how to move forward with future meetings into the new year.

Erik Lundquist informed the Commission that the Board adopted the 2022 California Building Standard Codes, which will become effective January 1, 2023.

Erik Lundquist informed the Commission that the Department will be closed during an eco-recess beginning December 23, 2022 and reopening January 3, 2023. Any submittal submitted during that time won't be processed until January 3, 2023 and that will fall under the new California Building Standard Codes.

ADJOURNMENT

The meeting was adjourned at 1:09 p.m. by Chair Mendoza.

APPROVED:

CRAIG SPENCER
PLANNING COMMISSION SECRETARY

ATTEST:

BY: _____
SOPHIA MAGANA
PLANNING COMMISSION CLERK

APPROVED ON _____



County of Monterey

Item No.3

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 23-002

January 11, 2023

Introduced: 1/4/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN160401 - Moss Landing Commercial Park, LLC

Continued from December 7, 2022 - Public hearing to consider a General Development Plan and after-the-fact approval of existing commercial cannabis activities in 23 structures, the establishment of commercial cannabis activities in 5 existing structures, and the allowance of on-going multi-tenant commercial, industrial, and commercial cannabis use within 34 structures.

Project Location: 7697 Highway 1, Moss Landing, North County Land Use Plan/Moss Landing Community Plan area (APN: 133-172-013-000)

Proposed CEQA Action: Consider and adopt a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Plan.

PROJECT INFORMATION

Property Owner: Moss Landing Commercial Park, LLC

Agent: Paul Hart, Hart and Associates

APN: 133-172-013-000

Zoning: Heavy Industrial, Coastal Zone [HI (CZ)]

Parcel Size: 183.74 acres

Flagged and Staked: No

SUMMARY/RECOMMENDATION

The subject property is located at the intersection of Dolan Road and Highway 1, in Moss Landing. From the mid-1900s until 2002, the subject property was used by Kaiser Aluminum Refractories and then the National Refractories and Minerals Corporation to produce magnesium oxide, specialties containing magnesium oxide and refractory brick. In 2003, the parcel was purchased by the Moss Landing Commercial Park, LLC. The project site contains 34 existing industrial and warehouse structures. In 2015, commercial cannabis operations began to occur within 23 of the existing 34 structures without the benefit of a Coastal Development Permit. These existing cannabis operations are currently operating under Department of Cannabis Control provisional licenses. The remaining 11 structures are vacant warehouses (7), used for office space (1), industrial workshops (1), or research and development facilities (2). The proposed project includes legalizing the existing cannabis operations, allowing commercial cannabis activities in 5 vacant buildings, and establishing multi-tenant commercial, industrial, and commercial cannabis activities to occur within the existing structures.

On December 7, 2022, the Planning Commission considered the proposed project. Questions regarding the allowed uses of the underlying zoning district, as well as the proposed General Development Plan, were raised by Commission members. After receiving public testimony, the Planning Commission motioned to continue the public hearing to January 11, 2023 to allow the

applicant to work with HCD-Planning staff to revise and clarify the existing and proposed uses of the General Development Plan (GDP). A revised GDP has not been received. Therefore, staff recommends the Planning Commission continue the public hearing to January 25, 2023 to provide the applicant additional time to provide the necessary information.

Prepared by: Fionna Jensen, Associate Planner, Ext. 6407

Reviewed by: Anna Quenga, AICP, Principal Planner

Approved by: Craig Spencer, HCD Chief of Planning

cc: Front Counter Copy; California Coastal Commission; Craig Spencer, HCD Chief of Planning; Anna Quenga, AICP, Principal Planner; Fionna Jensen, Associate Planner; HCD-Engineering Services; Environmental Health Bureau; HCD-Environmental Services; North County Fire Protection District; Moss Landing Commercial Park, LLC, Applicant/Owner; Paul Hart, Agent; Kevin Ponce; Department of Cannabis Control; Molly Erickson (Friends, Artists, and Neighbors of Elkhorn Slough); California Department of Fish and Wildlife (Region 4); The Open Monterey Project (Molly Erickson); LandWatch; Project File PLN160401



County of Monterey Planning Commission

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No. 3 Legistar File Number: PC 23-002

January 11, 2023

Introduced: 1/4/2023

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN160401 - Moss Landing Commercial Park, LLC

Continued from December 7, 2022 - Public hearing to consider a General Development Plan and after-the-fact approval of existing commercial cannabis activities in 23 structures, the establishment of commercial cannabis activities in 5 existing structures, and the allowance of on-going multi-tenant commercial, industrial, and commercial cannabis use within 34 structures.

Project Location: 7697 Highway 1, Moss Landing, North County Land Use Plan/Moss Landing Community Plan area (APN: 133-172-013-000)

Proposed CEQA Action: Consider and adopt a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Plan.

PROJECT INFORMATION

Property Owner: Moss Landing Commercial Park, LLC

Agent: Paul Hart, Hart and Associates

APN: 133-172-013-000

Zoning: Heavy Industrial, Coastal Zone [HI (CZ)]

Parcel Size: 183.74 acres

Flagged and Staked: No

SUMMARY/RECOMMENDATION

The subject property is located at the intersection of Dolan Road and Highway 1, in Moss Landing. From the mid-1900s until 2002, the subject property was used by Kaiser Aluminum Refractories and then the National Refractories and Minerals Corporation to produce magnesium oxide, specialties containing magnesium oxide and refractory brick. In 2003, the parcel was purchased by the Moss Landing Commercial Park, LLC. The project site contains 34 existing industrial and warehouse structures. In 2015, commercial cannabis operations began to occur within 23 of the existing 34 structures without the benefit of a Coastal Development Permit. These existing cannabis operations are currently operating under Department of Cannabis Control provisional licenses. The remaining 11 structures are vacant warehouses (7), used for office space (1), industrial workshops (1), or research and development facilities (2). The proposed project includes legalizing the existing cannabis operations, allowing commercial cannabis activities in 5 vacant buildings, and establishing multi-tenant commercial, industrial, and commercial cannabis activities to occur within the existing structures.

On December 7, 2022, the Planning Commission considered the proposed project. Questions regarding the allowed uses of the underlying zoning district, as well as the proposed General Development Plan, were raised by Commission members. After receiving public testimony, the Planning Commission motioned to continue the public hearing to January 11, 2023 to allow the

applicant to work with HCD-Planning staff to revise and clarify the existing and proposed uses of the General Development Plan (GDP). A revised GDP has not been received. Therefore, staff recommends the Planning Commission continue the public hearing to January 25, 2023 to provide the applicant additional time to provide the necessary information.

Prepared by: Fionna Jensen, Associate Planner, Ext. 6407

Reviewed by: Anna Quenga, AICP, Principal Planner

Approved by: Craig Spencer, HCD Chief of Planning

cc: Front Counter Copy; California Coastal Commission; Craig Spencer, HCD Chief of Planning; Anna Quenga, AICP, Principal Planner; Fionna Jensen, Associate Planner; HCD-Engineering Services; Environmental Health Bureau; HCD-Environmental Services; North County Fire Protection District; Moss Landing Commercial Park, LLC, Applicant/Owner; Paul Hart, Agent; Kevin Ponce; Department of Cannabis Control; Molly Erickson (Friends, Artists, and Neighbors of Elkhorn Slough); California Department of Fish and Wildlife (Region 4); The Open Monterey Project (Molly Erickson); LandWatch; Project File PLN160401



County of Monterey

Item No.4

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 22-113

January 11, 2023

Introduced: 12/21/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN210066 - 5B SMD LLC

Public hearing to consider the demolition a 3,446 square foot single family dwelling and detached 558 square foot garage and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage within environmentally sensitive habitat areas, in proximity of a positive archaeological resource, and resulting in ridgeline development.

Project Location: 3141 17 Mile Drive, Pebble Beach

Proposed CEQA Action: Find the project Categorically Exempt Per Sections 15301(l) and 15303(a) of the CEQA Guidelines

RECOMMENDATION:

It is recommended that the Monterey County Planning Commission adopt a resolution to:

1. Find that the project involves the demolition and rebuild of single family dwelling, which qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to Sections 15301(l) and 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit to allow the demolition of a 3,446 square foot single family dwelling and 558 square foot detached garage;
 - b. Coastal Administrative Permit and Design Approval to allow construction of a 6,590 square foot two-story single family dwelling with a 1,400 square foot attached garage;
 - c. Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat area;
 - d. Coastal Development Permit to allow development within 750 feet of a positive archaeological resource; and
 - e. Coastal Development Permit to allow ridgeline development.

The attached draft resolution includes findings and evidence for consideration **(Exhibit B)**. Staff recommends approval subject to 18 conditions of approval.

PROJECT INFORMATION:

Agent: Anthony Lombardo & Associates

Owner: 5B SMD LLC

APN: 008-261-003-000

Zoning: Low Density Residential, 1.5 acres per unit with a Design Control overlay, Coastal Zone or "LDR/1.5-D(CZ)"

Parcel Size: 1.3 acres

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY:

The subject property is located on the eastern side of 17-Mile Drive within an established residential neighborhood, south of the intersection of 17-Mile Drive and Signal Hill Road in Pebble Beach. The property is approximately 3 miles northwest from the incorporated City of Carmel-by-the-Sea. The subject property is zoned Low Density Residential with a maximum gross density of 1.5 acres/unit and a Design Control Overlay or "LDR/1.5-D(CZ)." The site was developed in 1956 and in its current condition, contains a single family dwelling and detached garage, a driveway and turnaround area, flatwork (patios, landing, etc.), ornamental landscaping, non-native vegetation and sparse dune areas. The project involves demolition of the existing structures and construction of a two-story single family dwelling. Although the new dwelling is much larger than the existing, the project has been designed and sited that limit improvements within an area graded to create the driveway and building pad.

Based on coastal resource information contained in the Del Monte Forest Land Use Plan, the site is located within: an environmentally sensitive habitat area (ESHA), a fault buffer, viewshed from 17-Mile Drive and vista points, and an area with known archaeological resources.

The project has been reviewed for consistency with the Del Monte Forest Land Use Plan (DMF LUP), Monterey County Coastal Implementation Plan (CIP), Parts 1 (Title 20, Zoning Ordinance) and 5 (Regulations for Development in the Del Monte Forest Land Use Plan Area). The applicant has modified the project design throughout the permit process to achieve consistency with the LUP and where appropriate, staff has recommended conditions of approval as required by the CIP.

Project issues and staff's analysis is provided in the detailed discussion attached as **Exhibit A**.

CEQA:

The project is categorically exempt from environmental review pursuant to Sections 15301 (e) and 15303 (a) of the CEQA Guidelines. These exemptions apply to the demolition of a single family dwelling and construction of a single family dwelling and accessory structure in residential zones. The demolition of an existing 3,446 square foot single family dwelling and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room are consistent with these exemptions. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, near a scenic highway, is not likely to effect cultural resources and will not have a significant effect on the environment. Therefore, the project is categorically exempt.

LUAC:

Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC). At their September 16, 2021 meeting, the LUAC considered the project and design changes presented by the project architect. No members of the public were present and the primary concern of the LUAC was that staff confirm the project complies with the County's ridgeline development requirements. The LUAC voted to support the modified project as presented provided ridgeline development requirement are met. See **Exhibit C**.

Prepared by: Anna V. Quenga, AICP, Principal Planner
Reviewed by: Craig Spencer, HCD Chief of Planning
Approved by: Erik V. Lundquist, AICP, Director of Housing and Community
Development

The following attachments are on file with the HCD:

Exhibit A - Project Discussion

Exhibit B - Draft Resolution, including:

- Conditions of Approval
- Project Plans
- Colors and Materials
- Restoration Plan

Exhibit C - Del Monte Forest LUAC Minutes

Exhibit D - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Erik Lundquist, HCD Director, Craig Spencer, Chief of Planning; Mary Israel, Supervising Planner; Anna Quenga, AICP, Principal Planer; Anthony Lombardo & Associates, Applicant; 5B SMD LLC, Owner; The Open Monterey Project (Molly Erickson); LandWatch (Executive Director); Project File PLN210066.



County of Monterey Planning Commission

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No. 4
Legistar File Number: PC 22-113

January 11, 2023

Introduced: 12/21/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN210066 - 5B SMD LLC

Public hearing to consider the demolition a 3,446 square foot single family dwelling and detached 558 square foot garage and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage within environmentally sensitive habitat areas, in proximity of a positive archaeological resource, and resulting in ridgeline development.

Project Location: 3141 17 Mile Drive, Pebble Beach

Proposed CEQA Action: Find the project Categorically Exempt Per Sections 15301(l) and 15303(a) of the CEQA Guidelines

RECOMMENDATION:

It is recommended that the Monterey County Planning Commission adopt a resolution to:

1. Find that the project involves the demolition and rebuild of single family dwelling, which qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to Sections 15301(l) and 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit to allow the demolition of a 3,446 square foot single family dwelling and 558 square foot detached garage;
 - b. Coastal Administrative Permit and Design Approval to allow construction of a 6,590 square foot two-story single family dwelling with a 1,400 square foot attached garage;
 - c. Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat area;
 - d. Coastal Development Permit to allow development within 750 feet of a positive archaeological resource; and
 - e. Coastal Development Permit to allow ridgeline development.

The attached draft resolution includes findings and evidence for consideration **(Exhibit B)**. Staff recommends approval subject to 18 conditions of approval.

PROJECT INFORMATION:

Agent: Anthony Lombardo & Associates

Owner: 5B SMD LLC

APN: 008-261-003-000

Zoning: Low Density Residential, 1.5 acres per unit with a Design Control overlay, Coastal Zone or "LDR/1.5-D(CZ)"

Parcel Size: 1.3 acres

Plan Area: Del Monte Forest Land Use Plan

Flagged and Staked: Yes

SUMMARY:

The subject property is located on the eastern side of 17-Mile Drive within an established residential neighborhood, south of the intersection of 17-Mile Drive and Signal Hill Road in Pebble Beach. The property is approximately 3 miles northwest from the incorporated City of Carmel-by-the-Sea. The subject property is zoned Low Density Residential with a maximum gross density of 1.5 acres/unit and a Design Control Overlay or "LDR/1.5-D(CZ)." The site was developed in 1956 and in its current condition, contains a single family dwelling and detached garage, a driveway and turnaround area, flatwork (patios, landing, etc.), ornamental landscaping, non-native vegetation and sparse dune areas. The project involves demolition of the existing structures and construction of a two-story single family dwelling. Although the new dwelling is much larger than the existing, the project has been designed and sited that limit improvements within an area graded to create the driveway and building pad.

Based on coastal resource information contained in the Del Monte Forest Land Use Plan, the site is located within: an environmentally sensitive habitat area (ESHA), a fault buffer, viewshed from 17-Mile Drive and vista points, and an area with known archaeological resources.

The project has been reviewed for consistency with the Del Monte Forest Land Use Plan (DMF LUP), Monterey County Coastal Implementation Plan (CIP), Parts 1 (Title 20, Zoning Ordinance) and 5 (Regulations for Development in the Del Monte Forest Land Use Plan Area). The applicant has modified the project design throughout the permit process to achieve consistency with the LUP and where appropriate, staff has recommended conditions of approval as required by the CIP.

Project issues and staff's analysis is provided in the detailed discussion attached as **Exhibit A**.

CEQA:

The project is categorically exempt from environmental review pursuant to Sections 15301 (e) and 15303 (a) of the CEQA Guidelines. These exemptions apply to the demolition of a single family dwelling and construction of a single family dwelling and accessory structure in residential zones. The demolition of an existing 3,446 square foot single family dwelling and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room are consistent with these exemptions. None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, near a scenic highway, is not likely to effect cultural resources and will not have a significant effect on the environment. Therefore, the project is categorically exempt.

LUAC:

Based on the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC). At their September 16, 2021 meeting, the LUAC considered the project and design changes presented by the project architect. No members of the public were present and the primary concern of the LUAC was that staff confirm the project complies with the County's ridgeline development requirements. The LUAC voted to support the modified project as presented provided ridgeline development requirement are met. See **Exhibit C**.

Prepared by: Anna V. Quenga, AICP, Principal Planner
Reviewed by: Craig Spencer, HCD Chief of Planning
Approved by: Erik V. Lundquist, AICP, Director of Housing and Community
Development

The following attachments are on file with the HCD:

Exhibit A - Project Discussion

Exhibit B - Draft Resolution, including:

- Conditions of Approval
- Project Plans
- Colors and Materials
- Restoration Plan

Exhibit C - Del Monte Forest LUAC Minutes

Exhibit D - Vicinity Map

cc: Front Counter Copy; California Coastal Commission; Erik Lundquist, HCD Director, Craig Spencer, Chief of Planning; Mary Israel, Supervising Planner; Anna Quenga, AICP, Principal Planner; Anthony Lombardo & Associates, Applicant; 5B SMD LLC, Owner; The Open Monterey Project (Molly Erickson); LandWatch (Executive Director); Project File PLN210066.

Exhibit A

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EXHIBIT A PROJECT DISCUSSION

As detailed in the cover report, the project includes the demolition and reconstruction of a single family dwelling and garage. Site improvements will primarily be located within the footprint of the existing structure. However, approximately 3,578 square feet of building, landings, patios and walkways will occur outside of the structural footprint but within building pad and ornamental landscape area established on the site in 1956.

As described below, the proposed development is located in proximity of biological and cultural resources and is within the public viewshed. The project was analyzed for consistency with the Del Monte Forest Land Use Plan (DMF LUP) and Monterey County Coastal Implementation Plan (CIP), Parts 1 (Title 20, Zoning Ordinance) and 5 (Regulations for Development in the Del Monte Forest Land Use Plan Area) for the protection of coastal resources. The project as proposed and subsequently modified was found consistent. Conditions of approval have been incorporated to ensure temporary construction activities and site disturbance maintain consistency through implementation.

Environmentally Sensitive Habitat Areas (ESHA)

The subject property is located within an area known to contain remnant native sand dune habitat. As such, the applicant was required to submit a biological assessment to determine presence/absence of ESHA on the site and if present, assess if the development would be compatible with the long-term maintenance of ESHA. On February 8, 2020, consulting biologist Patrick Regan, surveyed the property. Regan described the site to contain Dune scrub and Monterey Cypress woodland habitat and noted the property and surrounding areas were heavily invaded with non-native ice plants (see Figure 1 below).



Figure 1. Native and non-native dune scrub (left). Dense ice plant mats (right).

Based on data and site indicators, Regan presumed the site could support several rare, threatened or endangered plant species; specifically Beach Layia, Tidestrom's lupin, Monterey Spineflower, and Menzies wallflower. However, confirmation of presence/absence would require a site assessment between April 20 and May 10 during the flowering period for the above mentioned species. As such, Regan conducted a spring survey on April 29, 2021. Prior to returning to the

subject property, Regan visited nearby locations where the target species were known to be present to confirm that their foliage and flower could be seen. He observed three out of the four target plants on these sites and determined that this was sufficient empirical evidence that they should be identifiable if present on the subject property. Regan surveyed the building pad, surrounding dune features and the property boundaries and concluded that the target species were not present onsite.

Although not observed, Regan noted that the Northern California legless-lizard may nest, occupy or forage on the subject property and recommended that protective fencing be installed prior to site disturbance to ensure accidental impacts to the lizard does not occur.

DMF LUP ESHA Key Policy states that Del Monte Forest ESHA are unique, limited and fragile resources that shall be protected, maintained, and where possible, enhanced and restored. As mentioned above, the project includes structural improvement in areas that have been previously disturbed and Regan concluded that the development would not result in an impact to ESHA. Even so, the applicant has submitted a Preliminary Restoration Plan in accordance the Key Policy which includes monitoring by a qualified biologist, conducting a preconstruction meeting and periodic checks by the biologist during demolition and construction activities. This plan also outlines the goals and objectives of restoration, methods to be used, a specific planting list as well as an ongoing monitoring and maintenance program. As illustrated in Figure 2 below, successful implementation of this plan would result in restoration of 7,754 square feet of Dune scrub.

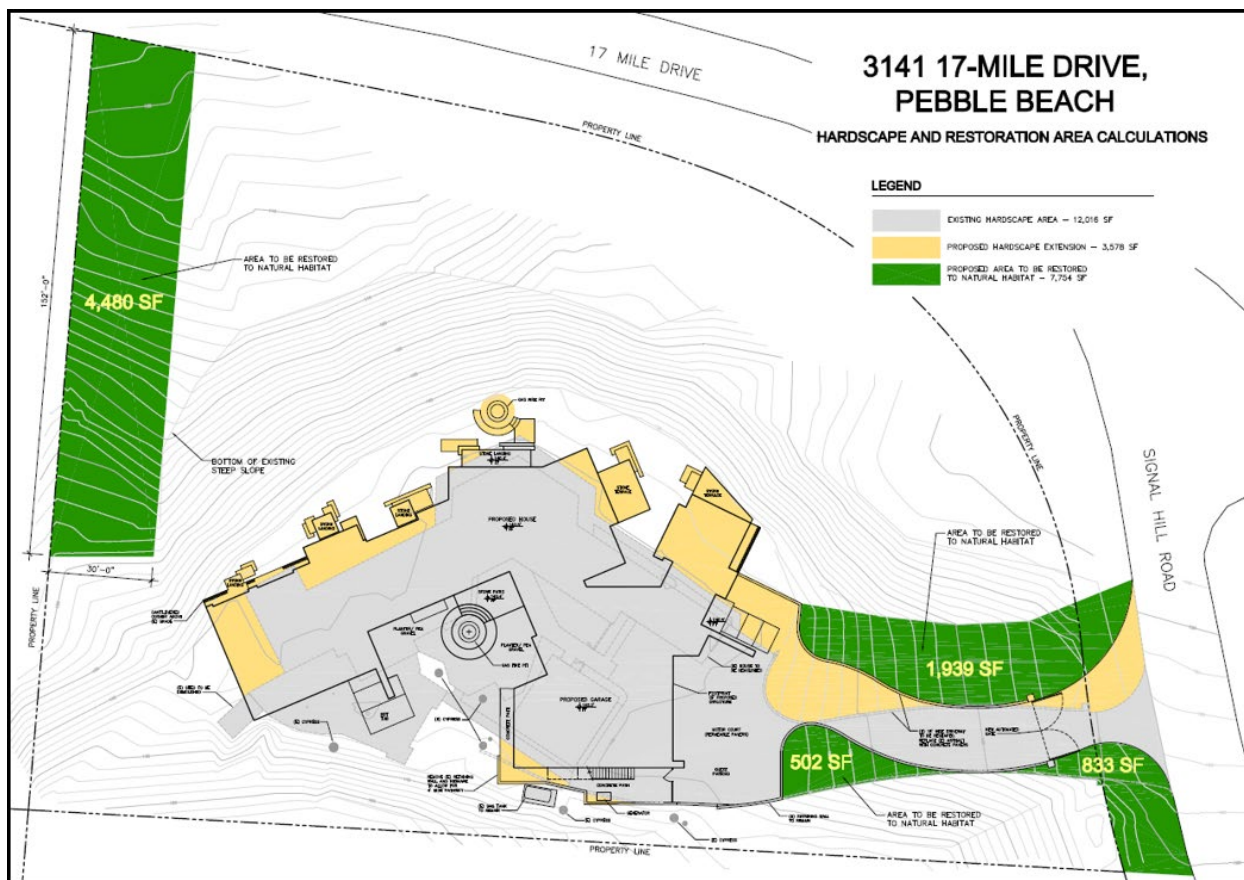


Figure 2. Preliminary Restoration Plan.

Consistent with DMF LUP ESHA policies and CIP regulations, the project has also been conditioned requiring tree and root protection, installing staking to demonstrate grading/disturbance limits, conducting nesting bird survey(s) and conveying areas of the subject property outside of the approved development footprint to the Del Monte Forest Foundation through a permanent conservation easement. Final language of this easement will allow and exception for maintenance of the restored dune ESHA as well as additional restoration should the current or future owners of the property wish to do so.

Cultural Resources

Monterey County resource data indicates that a known archaeological resource was identified in proximity to the subject property. As such, the applicant was required to submit an archaeological report with the development application. A Phase I Archaeological Assessment was prepared March 2021 by archaeologist Susan Morley. In this report Morley assessed impacts relative to a project scope with a slab foundation and sub-excavation of soils. As such, Morley assumed extensive ground disturbance and recommended a pre-construction meeting with the demolition and construction crew and monitoring by an archaeologist and Tribal Cultural monitor. In April 2022, revised plans were prepared and submitted the County altering the foundation design to helical piers and grade beams, resulting in reducing the total grading to approximately 100 cubic yards. Feasibility of this redesign was confirmed by the project geotechnical engineer (Grice) and Morley prepared a Phase II Archaeological Assessment on October 2022 reevaluating the project with the helical pier foundation. Based on the reduced ground disturbance and analysis of boring soils obtained Grice, Morley found monitoring unnecessary in this case. However, in accordance with standard County practice, the project has been conditioned require construction halt and appropriate actions be taken if cultural resources are accidentally uncovered.

Public Viewshed/Ridgeline

DMF LUP Figure 3 identifies that the subject property is within the public viewshed of 17-Mile Drive and Fanshell Beach. On December 23, 2022, staff confirmed that the subject property is visible from 17-Mile Drive and Fanshell Beach. See Figure 3.



Figure 3. Unaided view from Fanshell Beach (left). Zoomed view from Fanshell Beach (right).

DMF LUP Policy 48 states that development within visually prominent settings shall be sited and designed to avoid significant adverse impacts -*a visual impact which, considering the condition of the existing viewshed, the proximity and duration of view when observed with normal unaided vision, causes an existing visual experience to be materially degraded on public views.* Implementing regulations require development harmonize with the natural setting by being subordinate and blending into the environment as well as maintaining a 50 feet setback of from such setting.

Based on the project siting, design, colors and materials, redevelopment of the site was found to be consistent with DMF LUP visual resource protection policies, including ridgeline development. As illustrated in Figure 2 above, the structures will be placed within the existing development footprint, maintaining the existing setbacks. Although the project includes new 2nd story elements, the proposed design is a modern take on the Prairie architectural style which emphasis on the horizontal as opposed to the primary element of the existing structure jutting out towards the public viewshed. In addition, incorporation of dark colors, natural materials and large overhangs over the rows of windows allow the structure to blend into the natural environment. As demonstrated in Figure 4 below, this far better meets the visual policies than the existing structure as well as the surrounding built environment.

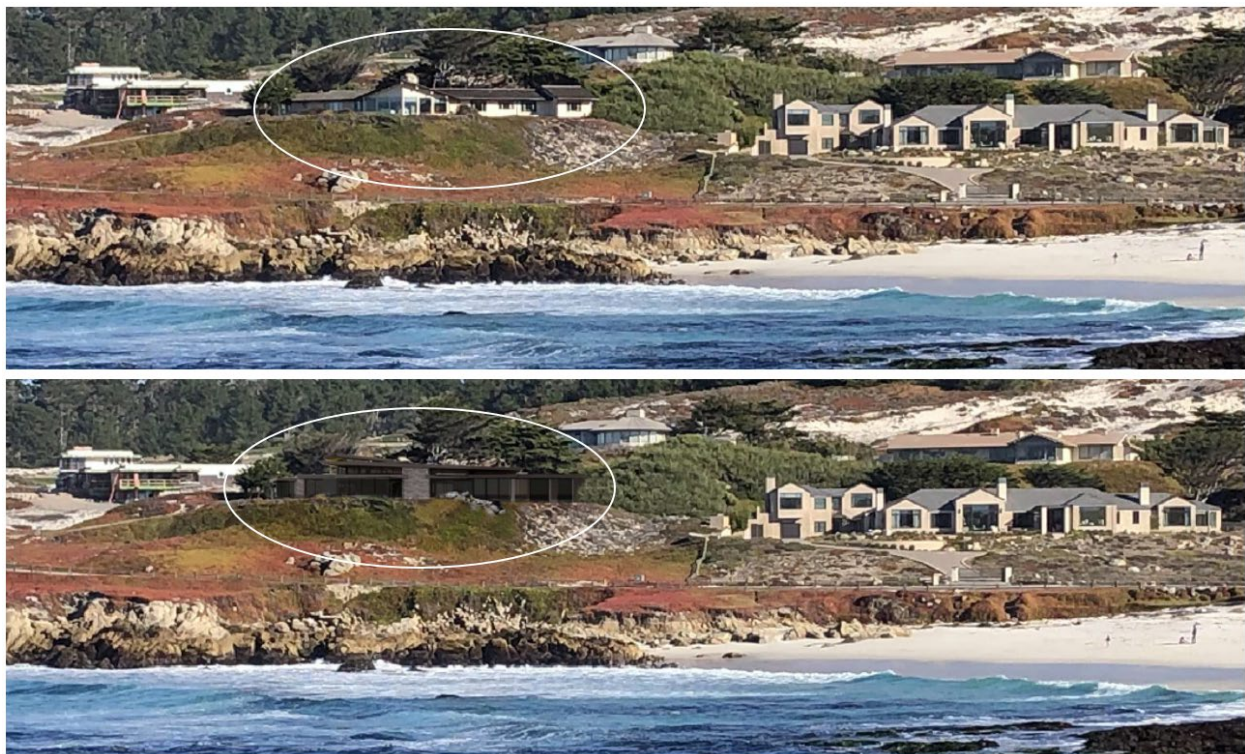


Figure 4. Existing dwelling (top). Proposed dwelling (bottom).

Ridgeline development is defined as development on the “*crest of a hill which has the potential to create a silhouette or other substantially adverse impact when viewed from a common public viewing area.*” As illustrated in Figure 3, both the existing and proposed development is considered ridgeline development from 17-Mile Drive, Fanshell Beach as portions of the structure would create a silhouette against the sky. As discussed above and in this case, ridgeline

development would not result in a substantial visual impact. Further, ridgeline development cannot be avoided due to existing topography and site constraints. Resiting the structure to the west would potentially eliminate silhouetting against the sky. However, this would result in greater disturbance of ESHA and greatly increase potential impacts to cultural resources. This location would locate development on the site closer to the public viewshed which would potentially create an adverse visual impact.

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Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

5B SMD LLC (PLN210066)

RESOLUTION NO. ---

Resolution by the Monterey County Planning
Commission:

1. Finding that the project involves the demolition of an existing single family dwelling and construction of a new single family dwelling which qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to Sections 15301(l) and 15303(a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of a 3,446 square foot one-story single family dwelling with a 558 square foot detached garage, and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room;
 - b. Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat area (remnant dune habitat);
 - c. Coastal Development Permit to allow development within 750 feet of a positive archaeological resource; and
 - d. Coastal Development Permit to allow ridgeline development.

[PLN210066 – 5B SMD LLC, 3141 17 Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-261-003-000)]

The 5B SMD LLC Combined Development Permit (PLN210066) came on for a public hearing before the Monterey County Planning Commission on January 11, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as proposed and conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) The project has been reviewed for consistency with the text, policies, and regulations in:

- 1982 Monterey County General Plan (General Plan);
- Del Monte Forest Land Use Plan (DMF LUP);
- Monterey County Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area (DMF CIP); and
- CIP, Part 1, Monterey County Coastal Zoning Ordinance (Title 20).

No conflicts were found to exist that are not remedied through direction of the codes. The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Allowed Use. The subject property is located at 3141 17 Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan area (APN: 008-261-003-000). The subject parcel is zoned Low Density Residential with a maximum gross density of 1.5 acres/unit and a Design Control Overlay, Coastal Zone or “LDR/1.5-D(CZ)”. Per Title 20, sections 20.14.040.A, a single family dwelling is an allowed use. The project involves demolition of an existing 3,446 square foot single family dwelling and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room within the general footprint of the existing structure. Therefore, the project is an allowed use.
- c) Lot Legality. The 1.7324 acre parcel (APN: 008-261-003-000), is shown in its current configuration and size as “Lot 37A” of the 1972 Assessor’s Map of El Pescadero Ro., Block 151A, Book 8 Page 26. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design. The project is subject to the Design Control Zoning District (“D” district) standards contained in Title 20 Chapter 20.44, which is intended to regulate the location, size, materials and colors of the structures to assure protection of the public viewshed and neighborhood character. The development includes colors and materials consisting of gray non-reflective aluminum roofing, gray smooth stucco exterior walls, stone veneer and cedar wood siding accents, and black metal clad wood doors and windows (see attached colors and materials). Although the homes within the area have a variety of architectural styles, the design and architectural elements of the new residence are consistent with the neighborhood character and will not detract the visual integrity of the site.
- e) Review of Development Standards. The LDR zoning district requires setbacks for main structures to be a minimum of 30 feet (front) and 20 feet (rear and side) and a maximum 30-foot height limitation. The subject property is a corner lot that fronts along two roads, 17-Mile Drive and Signal Hill Road. In accordance with DMF CIP Section 20.147.070.B.13, the setback from 17 Mile Drive is 100 feet whereas

the front from Signal Hill Road is 30 feet. The newly constructed single family dwelling and attached garage is sited to exceed the minimum required front and side setbacks and while meeting the rear setback of 20 feet. As illustrated in the attached plans, the height of the new two-story single family dwelling will be at 27 feet and 1 inch. To confirm the project setbacks align with County regulations, HCD-Engineering Services applied a condition of approval (No. 17) requiring a boundary survey prior to foundation setting which requires a professional land surveyor provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The maximum building site coverage in the LDR district is 15% (or 8,649 square feet) and floor area ratio is 17.5% (or 10,090 square feet). In accordance with the attached plans, the project will result in 13.5% (7,795 square feet) building site coverage and a floor area ratio of 14.8% (7,990 square feet). The project meets the building site coverage and floor area ratio regulations. As summarized above, the project complies with the development standards listed within this zoning district per Title 20 Section 20.14.060.

- f) Environmentally Sensitive Habitat. As demonstrated in Finding 4, the project is designed to avoid impacts to environmentally sensitive habitat areas (ESHA) on the parcel and through voluntary restoration of previously degraded dune habitat, the project is consistent with the ESHA policies and regulations within the DMF LUP and CIP.
- g) Visual Resources/Ridgeline Development. As demonstrated in Finding 5, the project is located and designed to avoid significant adverse impacts on public views and scenic character of the area.
- h) Cultural Resources. The project site is mapped as a high archaeological sensitive area and as demonstrated in Finding 6, the project has been found compatible with the objective of the DMF LUP Cultural Resources Key Policy.
- i) Public Access. As demonstrated in Finding 8, the development is consistent with public access policies of the DMF LUP and CIP.
- j) Land Use Advisory Committee (LUAC) Review. In accordance with the LUAC procedure guidelines adopted by the Monterey County Board of Supervisors, the project was referred to the Del Monte Forest LUAC for review and recommendation to the Planning Commission. On the September 16, 2021, the LUAC held a duly noticed meeting and the applicant presented revised plans which reduced the massing and roofline heights. The LUAC unanimously recommended the project for approval (8 ayes, 0 noes) provided that staff confirms that the project complies with the County's ridgeline development requirements. As demonstrated in Finding 5, ridgeline development cannot be avoided and the project has been designed to avoid a substantial adverse visual impact.
- k) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210066.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project includes the demolition and construction single family dwelling and the continuance of the established use within an existing residential neighborhood. The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Pebble Beach Community Services District and the Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Potential impacts to forest, biological, archaeological and historical resources as well as hazards relative to soil/slope stability were identified. The following reports have been prepared and submitted with the application:

- Tree Assessment/Forest Management Plan (LIB210107) prepared by Frank Ono, Salinas, CA with revisions on June 30, 2021.
- Biological Assessments (LIB210109) prepared by Patrick Regan, Regan Biological & Horticultural Consulting, Carmel Valley, CA on February 20, 2021 and May 6, 2021.
- Preliminary Cultural Resources Report and Phase II Archaeological Assessment (LIB210108) prepared by Susan Morley, Marina on March 20, 2021 and October 2022, respectively.
- Historical Assessment (LIB210111) prepared by Anthony Kirk, Santa Barbara, CA on October 19, 2020.
- Geotechnical Report (LIB210110) prepared by Grice Engineering, Inc., Salinas on April 28, 2021.

County staff independently reviewed these reports and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. Implementation of Condition No. 9 requires that all development associated with this Combined Development Permit shall be in accordance with these reports.

- c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210066.

- 3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Pebble Beach Community Services District and the Environmental Health Bureau. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are existing on the subject property. California American Water Company is the domestic water purveyor

and wastewater services are provided by Carmel Area Wastewater District through the Pebble Beach Community Services District. The project is not expected to require additional water credits because the water fixture count is balanced between the existing and those required by the replacement single family dwelling to require the same total unit count. Therefore, both potable water and wastewater services can serve the project.

- c) Preliminary civil plans were not processed as a part of the planning permit but for the construction permit, the applicant will be required to comply with erosion control regulations as outline in Chapter 16.12. HCD-Engineering Services reviewed the project submittal which included a Construction Management Plan (CMP). Although most of the roads in the Pebble Beach area are private roads, HCD-Engineering Services reviewed potential increased traffic on the public roads that will need to be taken to get to the project site in Pebble Beach. Implementation of the CMP will minimize traffic on public roads.
- d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210066.

4. FINDING:

ENVIRONMENTALLY SENSITIVE HABITAT AREA – The project minimizes impacts on environmentally sensitive habitat areas (ESHA) in accordance with the applicable goals and policies of the 1982 Monterey County General Plan (1982 GP) and Del Monte Forest Land Use Plan (DMF LUP) as well as the regulations contained in the Monterey County Coastal Implementation Plan, Part 5 (DMF CIP) and Part 1 (Title 20).

- EVIDENCE:**
- a) Identification of ESHA. DMF LUP Policy 8 states that development adjacent to ESHA shall be compatible with long-term maintenance of the habitat area, and such land use and development shall be sited and designed to prevent impacts that would significantly degrade the habitat areas. In accordance with DMF CIP Section 20.147.040.B.1, biological assessments (see Finding 2, Evidence “b”) were submitted with the project application. These reports identified that the subject property is located within the southern terminus of the Asilomar Dunes complex and contains Dune scrub and Monterey Cypress woodland habitat, which are both natural plant communities considered ESHA. The majority of the site has been heavily invaded by ice plant. However, there are localized areas that contain intact habitat. Pursuant to Title 20 Section 20.14.030.E, this project requires a Coastal Development Permit because it is within 100 feet of identified ESHA.
 - b) Special Status Plant Species. On February 8, 2020, the project biologist, Patrick Regan, conducted a site visit and noted that the property could potentially support several rare, threatened or endangered plant species. On April 29, 2021, during the appropriate blooming period, Regan revisited the site to confirm or deny the presence or absence of Beach Layia (*Layia carnosa*), Tidestrom’s lupin (*Lupinus tidestromii*), Monterey Spineflower (*Chorizanthe pungens* var. *pungens*), and Menzies wallflower (*Erysimum menziesii*

ssp menziesii). In order to confirm these species could be identified on the site, Regan first visited nearby locations where they are known to be present; 3 out of the 4 were observed. Regan surveyed the building pad, surrounding dune features and the property boundaries. The species listed above were not present onsite and no new species were identified.

- c) Special Status Animal Species. Regan noted that the Northern California legless-lizard (*Anniella pulchra*) and Smith's blue butterfly (*Euphilotes enoptes smithi*) may nest, occupy or forage on the property. After his site visits, Regan concluded that the host plant for the Smit's blue butterfly, sea cliff buckwheat (*Eriogonum parvifolium*), is located approximately 600 feet from the development on an adjacent property. As such, impacts from the project would be low. On the other hand, protective fencing should be installed prior to site disturbance to ensure accidental impacts to the Northern California legless-lizard do not occur.
- d) Compatibility with ESHA Requirements of Del Monte Forest. The project is located on approximately the same footprint as the existing development and does not expand significantly into any area considered ESHA. A small portion of the house, the driveway, walkways and retaining walls will encroach into previously graded and ecologically degraded habitat resulting from the creation of the building pad and installation of ornamental landscaping in 1956 as well as the unfortunate invasion of the dense non-native ice plant mats. One small area of the upper floor cantilevers over sand dune but does not impact it. Consistent with the development standards listed in DMF CIP Section 20.147.040.C.1 and 2, Regan recommends installation of protection fencing prior site disturbance and removal of ice plant. The recommendations of Regan's reports have been incorporated in the project through Condition No. 9, which requires all development occur in accordance with the reports' recommendations. Standard conditions requiring installation of tree and root protection (Condition No. 6), grading and easement staking (Condition No. 12), and conducting a migratory bird nesting survey (Condition No. 14) have also been incorporated. Therefore, the project is consistent with the DMF LUP and CIP biological resource policies and regulations and the development would not cause significant impact to ESHA in this case.
- e) Voluntary Restoration. Although removal of ESHA is avoided, the project includes voluntary rehabilitation of degraded habitat. The preliminary Restoration Plan (as attached to this resolution) identifies 3 separate restoration areas which would result in approximately 7,754 square feet of restored Dune scrub. Regan concludes that this would encourage the germination and recovery of native dune species. To ensure successful restoration, Condition No. 15 has been incorporated requiring submittal and approval of a finalized restoration plan to HCD-Planning prior to issuance of construction permits and submittal of evidence of successful restoration from a qualified biologist prior to final of construction permits. In addition, Condition No. 16 requires the owner/applicant to receive approval

and install landscape planting consistent with biological resource policies and regulations for Del Monte Forest.

- f) Conservation Easement. DMF LUP Policy 13 and DMF CIP Section 20.147.040.C.3.b requires the protection of ESHA through permanent open space conservation and scenic easement (CSE) conveyed to the Del Monte Forest Foundation (DMFF). As such, Condition No. 10 has been incorporated requiring the owner applicant convey the areas outside of the approved development footprint to the DMFF through a CSE deed. The conveyance will allow maintenance of existing intact ESHA as well as the restored areas discussed in Evidence “d” above. In addition, this easement area would be contiguous to existing areas conveyed over ESHA on adjacent parcels.
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210066.

5. FINDING:

SCENIC AND VISUAL RESOURCES/RIGELINE

DEVELOPMENT – The project, as proposed and conditioned, is compatible with the existing scenic and visual resources of Del Monte Forest and is consistent with the applicable scenic and visual resource protection policies set forth in the Del Monte Forest Land Use Plan (DMF LUP) and the regulations contained in Monterey County Coastal Implementation Plan, Part 5 (DMF CIP) and Part 1 (Title 20). The ridgeline development, as proposed and conditioned, will not create a substantially adverse visual impact when viewed from a common public viewing area and no alternative location exists on the subject property which would allow a reasonable development without the potential for ridgeline development.

- EVIDENCE:**
- a) Identification of Viewshed. DMF LUP Figure 3 identifies that the subject property is within the public viewshed of 17-Mile Drive and Fanshell Beach. On December 23, 2023, staff confirmed that the subject property is visible from 17-Mile Drive and Fanshell Beach. Due to distance, topography and existing vegetation, only a portion of the site was observed from Seal Rock Beach.
 - b) Identification of Ridgeline Development. On December 23, 2023, staff observed the existing visual conditions of the site as well as staking and flagging of the proposed development. The elevation of 17-Mile Drive roadway ranges from approximately 24 to 35 feet above sea level (ASL) whereas the building pad graded and leveled in 1956 ranges in from 138.3 to 141.5 feet ASL. Although both the existing and new development are sited greater than 100 feet from 17-Mile Drive, the existing topography and elevation difference is such that ridgeline development when viewed from 17-Mile Drive, Fanshell Beach and Seal Rock Beach cannot be avoided. Pursuant to Title 20 Section 20.66.010.C, this Combined Development Permit includes a Coastal Development Permit to allow ridgeline development.
 - c) Compatibility with Scenic and Visual Resource Requirements of Del Monte Forest. DMF LUP Policy 48 states that development within visually prominent settings shall be sited and designed to avoid blocking or having a significant adverse impact on significant public

views. This policy is implemented through DMF CIP Section 20.147.070.B which requires incorporation of development standards to ensure the siting and design of the structures minimizes impacts on public views by harmonizing with the natural setting, being subordinate and blending into the environment and maintaining a minimum setback of 50 feet from such setting. Title 20 Section 20.06.1275 defines “substantial adverse visual impact” as “a visual impact which, considering the condition of the existing viewshed, the proximity and duration of view when observed with normal unaided vision, causes an existing visual experience to be materially degraded.” As described in Finding 1, Evidence “b” and “e” and as illustrated in the attached plans, redevelopment of the subject property will occur within the existing development footprint. When viewed from west, the primary 2nd story elements are clearstory windows topped with a metal fascia which extends from 4 to almost 7 feet above the first story. The remaining 2nd story elements is a section with an office, bedrooms, bathrooms and a sitting room located towards the east of the property, furthest away from the most visually sensitive portion of the site. When viewed from the west, this area extends above the 1st story by from approximately 9 to 11 feet. The architectural style incorporates flat roofing and wide elements evoking a low-lying horizontal structure. Avoiding vertical bulk and limiting the 2nd story elements results in avoiding an increased visual impact beyond what exists. Further, the exterior finish of the existing structure includes a white stucco body with a brown wooden roof, resulting in a clear contrast with the foreground and background. Conversely, and as described in Finding 1, Evidence “d”, the subdued colors and materials of the new structure will blend with the surrounding environment. The project is designed to be subordinate to and blend with the surrounding environment and neighborhood character and will not block significant public views of the beach, ocean or the dunes. Therefore, the project would not result in a substantial adverse visual impact and is consistent with the DMF LUP policies and DMF CIP regulations for scenic and visual resources.

- d) Ridgeline Development and Substantially Adverse Visual Impact. Title 20 Section 20.06.950 defines “ridgeline development” as development on the “crest of a hill which has the potential to create a silhouette or other substantially adverse impact when viewed from a common public viewing area.” As described in preceding Evidence “b”, the existing and proposed development is considered ridgeline development from 17-Mile Drive, Fanshell Beach and Seal Rock Beach as portions of the structure would create a silhouette against the sky. However, findings allowing ridgeline development set forth in Title 20 Section 20.66.010.D can be made in this particular case. As demonstrated in Evidence “c” above, the project will not result in a substantial visual impact. As demonstrated in Evidence “b” above and Finding 4, ridgeline development cannot be avoided due to existing topography and site constraints relative to ESHA.

- e) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210066.

6. **FINDING:** **CULTURAL RESOURCES** – The siting, location, size and design of the development ensures that Del Monte Forest’s cultural resources are maintained, preserved, and protected.
- EVIDENCE:**
- a) Identification of Cultural Resources. In accordance with DMF LUP Policy 58 and DMF CIP Section 20.147.080.B, Archaeological Reports (see Finding 2, Evidence “b”) were submitted with the application. The reports identified that the entire subject property was methodically inspected for evidence of prehistoric or historic materials. The survey concluded that none of the indicators expected of a prehistoric archaeological or historical resource in this region were found and the closest prehistoric site is approximately 400 feet away from the subject property. Pursuant to DMF CIP Section 20.147.080.A.1, this Combined Development Permit includes a Coastal Development Permit to allow development within 750 feet of a known archaeological resource.
 - b) Compatibility with Cultural Resource Requirements of Del Monte Forest. A Phase I Archaeological Assessment was prepared March 2021. At that time, the project included a slab foundation and due to loose soils, extensive sub-excavation would be required. As such, the archaeologist recommended a pre-construction meeting with the demolition and construction crew and monitoring by an archaeologist and Tribal Cultural monitor. In April 2022, revised plans were prepared and submitted changing the foundation design to helical piers and grade beams resulting in limited grading (approximately 100 cubic yards (see Finding 3, Evidence “c”). A Phase II Archaeological Assessment was prepared October 2022 reevaluating the project with the helical pier foundation. Based on the reduced ground disturbance and analysis of boring soils obtained by the project geotechnical engineer, the archaeologist no longer finds monitoring necessary.
 - c) Conditions of Approval. The potential for inadvertent impacts to cultural resources is addressed through incorporation of 2 standard conditions of approval. Condition No. 3 requires construction be halted if archaeological resources are accidentally uncovered and necessary steps be taken if human remains are found. Condition No. 9 requires that all development occur in accordance with the recommendations of the Phase I and II assessments (construction training and halting construction if previously unidentified resources are discovered).
 - d) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in HCD-Planning File No. PLN210066.
7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Sections 15301 (e) and 15303 (a) categorically exempt demolition of a single family dwelling and construction of single family dwellings in residential zones.
 - b) The demolition of an existing single family dwelling and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room are consistent with these exemptions. Therefore, the project qualifies for a Class 1 and Class 3 categorical exemption pursuant to Section 15301 (e) and 15303 (a) of the CEQA guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource (see Finding 2, Evidence b), a hazardous waste site, development located within view of a State scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Although 17-Mile Drive is considered scenic in the LUP, it is not a State scenic highway. No adverse environmental effects were identified during staff review of the development application.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN210066.

- 8. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, Section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - e) Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Fanshell Beach. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
 - f) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210066.

9. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN210066.
10. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the Coastal Commission.
- EVIDENCE:** a) Board of Supervisors. Pursuant to Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) Coastal Commission. Pursuant to Title 20 Section 20.86.080, a project is subject to appeal by/to the California Coastal Commission because it involves development located between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project involves the demolition of an existing single family dwelling and construction of a new single family dwelling, which qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to Sections 15301 (l) and 15303 (a) of the CEQA Guidelines, and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow the demolition of a 3,446 square foot one-story single family dwelling with a 558 square foot detached garage, and construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage and mechanical room;
 - b. Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat area (remnant dune habitat);
 - c. Coastal Development Permit to allow development within 750 feet of a positive archaeological resource; and
 - d. Coastal Development Permit to allow ridgeline development.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 11th day of January, 2023, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Craig Spencer, Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210066

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit (PLN210066) allows the demolition of a single family dwelling and detached garage, construction of a 6,590 square foot two-story single family dwelling with an attached 1,400 square foot garage within environmentally sensitive habitat areas, in proximity of a positive archaeological resource, and resulting in ridgeline development. The property is located at 3141 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-261-003-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 008-261-003-000 on January 13, 2023. The permit was granted subject to 18 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Chief of HCD Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and HCD - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.
- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist for on-call archaeological services should resources be discovered during construction activities. Submit the letter to the Director of the HCD – Planning for approval.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&Rs, and shall be included as a note on an additional sheet of the final/parcel map.

Prior to Final, the Owner/Applicant, per the Archaeologist, shall submit a report or letter from the archaeologist summarizing their methods, findings, and recommendations if their services are needed during construction or if no resources were found.

4. PD005(A) - NOTICE OF EXEMPTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to CEQA Guidelines § 15062, a Notice of Exemption shall be filed for this project. The filing fee shall be submitted prior to filing the Notice of Exemption. (HCD-Planning)

Compliance or Monitoring Action to be Performed: After project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

5. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of Chief of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

8. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD016 - NOTICE OF REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"A Tree Assessment/Forest Management Plan (Library No. LIB210107), was prepared by Frank Ono on June 30, 2021 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report.

A Preliminary Cultural Resources Report and Phase II Archaeological Assessment (Library No. LIB210108), were prepared by Susan Morley on March 20, 2021 and October 2022 and are on file with Monterey County HCD - Planning. All development shall be in accordance with this report.

Biological Assessments (Library No. LIB210109), were prepared by Patrick Regan on February 20, 2021 and May 6, 2021 and are on file with Monterey County HCD - Planning. All development shall be in accordance with this report.

A Geotechnical Report (Library No. LIB210110), was prepared by Grice Engineering on April 28, 2021 and is on file in Monterey County HCD - Planning. All development shall be in accordance with this report."

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

10. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the Director of HCD - Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval

Prior to or concurrent with recording the parcel/final map, prior to the issuance of grading and building permits, or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

11. PD041 - HEIGHT VERIFICATION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

12. PD042 - GRADING/EASEMENT STAKING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The conservation and scenic easement(s) and proposed grading shall be staked with 18" stakes at intervals as necessary to clearly delineate the easement and grading. The staking shall be consistent with recorded easement lines and proposed grading as indicated in the official record at Monterey County HCD - Building Services. The staking shall be verified at the grading pre-site inspection by the grading inspector. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the pre-site inspection, the Owner/Applicant shall stake the easement(s) and proposed grading with 18" stakes at intervals as necessary to clearly delineate the easement and grading. The staking shall be consistent with recorded easement lines and proposed grading as indicated in the official record at Monterey County HCD -Building Services and shall be verified by the grading inspector at the pre-site inspection.

13. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.
- All Air District standards shall be enforced by the Air District.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

14. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

15. PDSP001 – RESTORATION PLAN (NON-STANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In order to ensure successful restoration of previously disturbed native Dune scrub habitat on the site, the Owner/Application shall submit a final Restoration Plan incorporating the recommendations contained in the "Restoration Plan for 3141 17-Mile Drive July 2022" prepared by Patrick Regan, Consulting Biologist. Upon completion of the development, the area disturbed shall be restored to a condition to correspond with the adjoining area, in accordance with the goals and objectives set forth by the Consulting Biologist, and subject to the approval of the Chief of the HCD - Planning. Evidence of successful restoration shall be submitted to and approved by the Chief of the HCD - Planning prior to final of construction permits.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the Owner/Applicant shall submit a restoration plan to HCD - Planning for review and approval.

Prior to final of construction permits, the Owner/Applicant shall submit evidence by a qualified biologist demonstrating implementation of the restoration activities took place in accordance with the approved plan and have been successful to HCD - Planning for review and approval.

16. PDSP002 – LANDSCAPE PLAN & MAINTENANCE (MPWMD AND DEL MONTE FOREST) (NON-STANDARD)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Chief of HCD – Planning consistent with the approved restoration plan (see Condition No. 15, PDSP001 – RESTORATION PLAN) and in accordance with Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area section 20.147.040.C.10. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the "Restoration Plan for 3141 17-Mile Drive July 2022" prepared by Patrick Regan, Consulting Biologist as applicable. In accordance with Coastal Implementation Plan, Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area section 20.147.040.C.10, the use of plant species native to the Del Monte Forest shall be required in landscape materials. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

17. PW0031 – BOUNDARY SURVEY

Responsible Department: RMA-Public Works

Condition/Mitigation Monitoring Measure: Owner/Applicant shall have a professional land surveyor perform a boundary survey of the easterly boundary line(s) of the subject parcel and have said lines monumented.

Compliance or Monitoring Action to be Performed: Prior to foundation inspection, Owner/Applicant shall have a professional land surveyor survey and monument the easterly boundary line(s) of the subject parcel and provide evidence to the County Surveyor of conformance to the setbacks shown on the approved Site Plan. The surveyor shall be responsible for compliance with the requirements of Section 8762 of the California Business and Professions Code (PLS Act).

18. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

PROPERTY OWNER:	5B SMD, LLC P.O.BOX 792 PEBBLE BEACH, CA 93953
PROJECT ADDRESS:	3141 17-MILE DRIVE PEBBLE BEACH, CA 93953
PROJECT DESCRIPTION:	DEMOLITION OF (E) SINGLE-STORY SINGLE FAMILY RESIDENCE (SFR) WITH DETACHED GARAGE AND CONSTRUCTION OF A NEW TWO-STORY SFR WITH ATTACHED GARAGE. OUTDOOR TERRACES/ PATIOS WITH GAS FIRE PITS (2). RESHAPE (E) DRIVEWAY AND REPLACE ASPHALT WITH PERMEABLE CONCRETE PAVERS. NEW AUTOMATED GATE. EXISTING MATURE CYPRESS TREES TO REMAIN.
APN:	008-261-003
LOT AND BLOCK:	
ZONING:	LDR/1.5-D(CZ)
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	R-3, U
STORIES:	2
HEIGHT LIMIT:	30'
GRADING:	CUT - 0 C.Y. FILL - 0 C.Y.
TREE REMOVAL:	2 TREES: TEA (8") AND CYPRESS (CLUSTER)
APPLICABLE CODES:	2019 CBC, 2019 CRC, 2019 CFC, 2019 CPC, 2019 CEC, 2019 CMC, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING CODE
LOT AREA:	1,324 AC. (57,658 S.F.)

FLOOR AREA ALLOWED 17.5% = 10,090 S.F.

	EXISTING FLOOR AREA	PROPOSED FLOOR AREA
HOUSE MAIN FLOOR	3,446 S.F.	5,396 S.F.
HOUSE UPPER FLOOR	0 S.F.	1,195 S.F.
GARAGE & MECH.	558 S.F.	1,399 S.F.
TOTAL FAR	4,004 S.F.	7,990 S.F.

FLOOR AREA PROPOSED 14% = 7,990 S.F.

SITE COVERAGE ALLOWED 15% = 8,649 S.F.

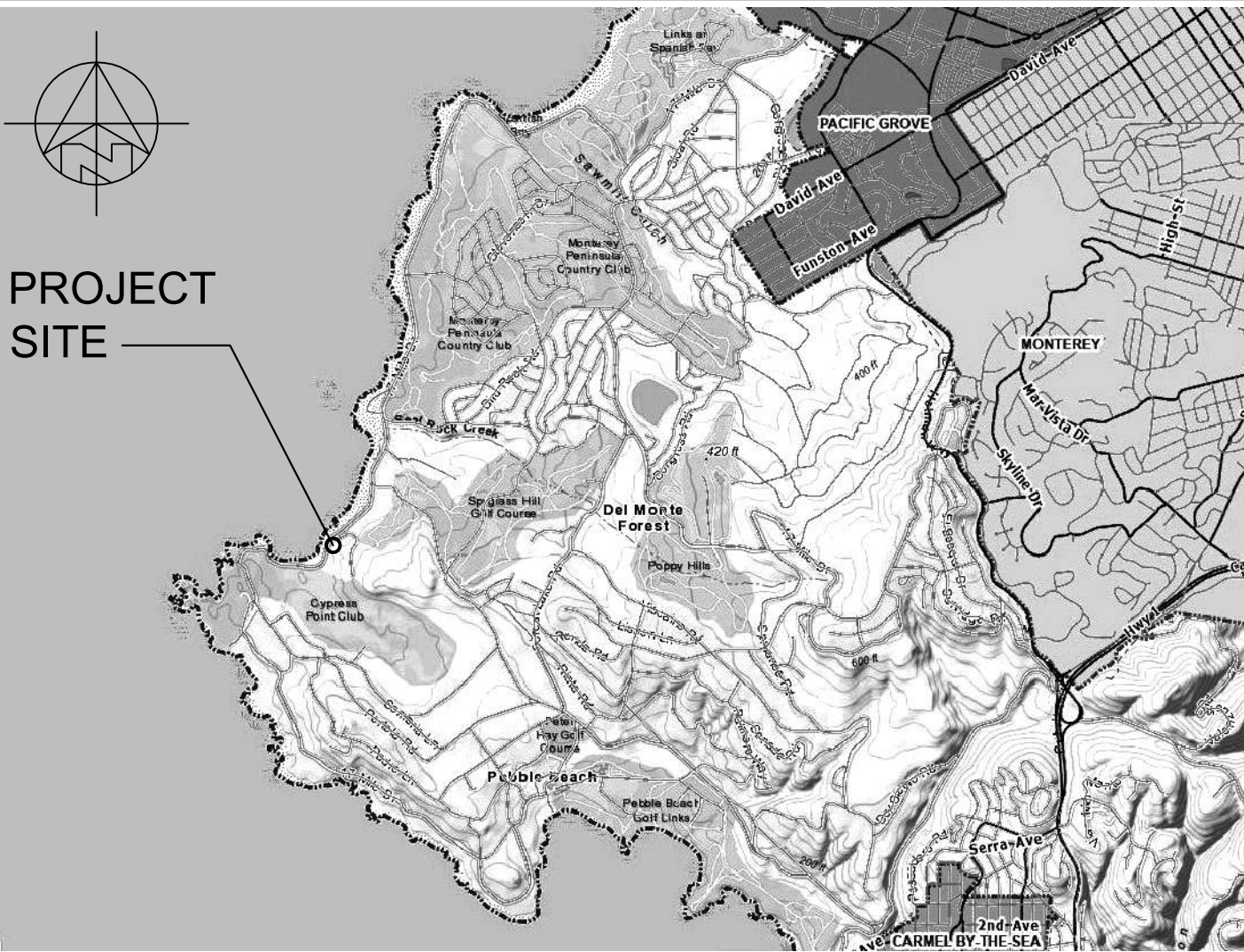
	EXISTING	PROPOSED
HOUSE & GARAGE FOOTPRINT (INCLUDING ROOF OVERHANG)	5,884 S.F.	7,795 S.F.
SHED	80 S.F.	
TOTAL COVERAGE	5,964 S.F.	7,795 S.F.

SITE COVERAGE PROPOSED 13.5% = 7,795 S.F.

	EXISTING	TO REMOVE	PROPOSED
HOUSE FOOTPRINT (INCL. NEW GARAGE)	3,446 S.F.	3,446 S.F.	6,933 S.F.
GARAGE FOOTPRINT	557 S.F.	557 S.F.	0 S.F.
SHED FOOTPRINT	80 S.F.	80 S.F.	0 S.F.
DRIVEWAY/MOTOR COURT/PARKING	4,330 S.F.	4,330 S.F.	3,644 S.F.
REAR PATIO(S)	1,920 S.F.	1,920 S.F.	475 S.F.
REAR PATHWAYS	303 S.F.	303 S.F.	206 S.F.
FRONT TERRACE(S)/LANDINGS	348 S.F.	348 S.F.	695 S.F.
FRONT PATHWAYS (GRAVEL)	129 S.F.	129 S.F.	586 S.F.
UTILITY COURT	0 S.F.	0 S.F.	245 S.F.
GAS TANK PAD	48 S.F.	0 S.F.	48 S.F.
TOTAL IMPERVIOUS COVERAGE	11,161 S.F.	11,113 S.F.	8,602 S.F.

NOTE: EXISTING ASPHALT DRIVEWAY AND MOTOR COURT TO BE REPLACED WITH PERMEABLE CONCRETE PAVERS

STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA – PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.



NOT TO SCALE

$$1/16'' = 1' - 0'$$

NOT TO SCALE





ANATOLY OSTRETSOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331
anatoly@aoarchdesign.com

Lucas

4917 LEARY AVE. NW.
SEATTLE, WA 98107
T (206) 735-7127

PEBBLE BEACH, CA 93953

THE RESIDENCE AT 3141 17-MILE DRIVE

APN: 008-261-003

3141 17-MILE DRIVE

REVISIONS:	
06-18-21	PLANNING REV.
10-07-21	LUAC REV.
10-14-21	OWNERS REV.
01-10-22	OWNERS REV.

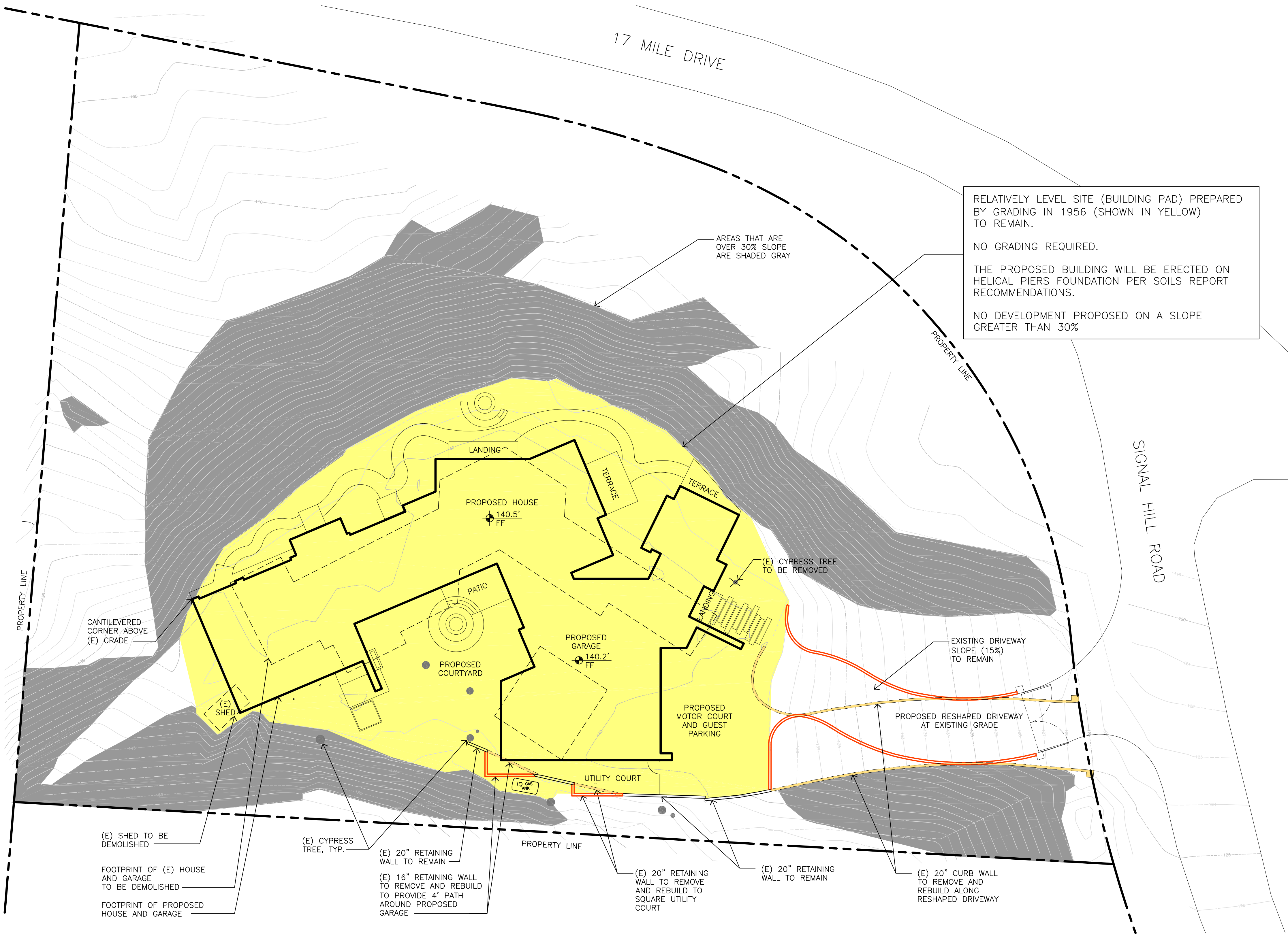
SITE PLAN
SLOPE STUDY

DATE: 03-14-21

DESIGN APPROVAL

SHEET NO.

A1.1



(E) RETAINING WALL TO REMAIN (20" HIGH)
(ALIGN AND APPLY STONE VENEER)



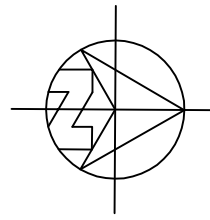
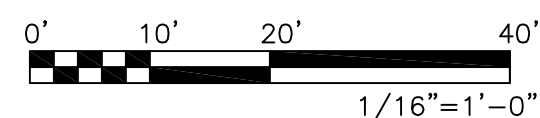
RESHAPE
(E) 16" HIGH RETAINING WALL



RESHAPE
(E) 16" HIGH RETAINING WALL

LEGEND

- (E) CURB WALL/ RETAINING WALL TO BE REMOVED
- (E) CURB WALL/ RETAINING WALL TO REMAIN
- PROPOSED CURB WALL/ RETAINING WALL
- SLOPE OVER 30% SHADED GRAY
- BUILDING PAD (RELATIVELY FLAT AREA)



SITE PLAN (RETAINING WALLS AND SLOPE STUDY)

1/16"=1'-0"





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anatoly@aoarchdesign.com



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SEATTLE, WA 98107
T (206) 735-7127

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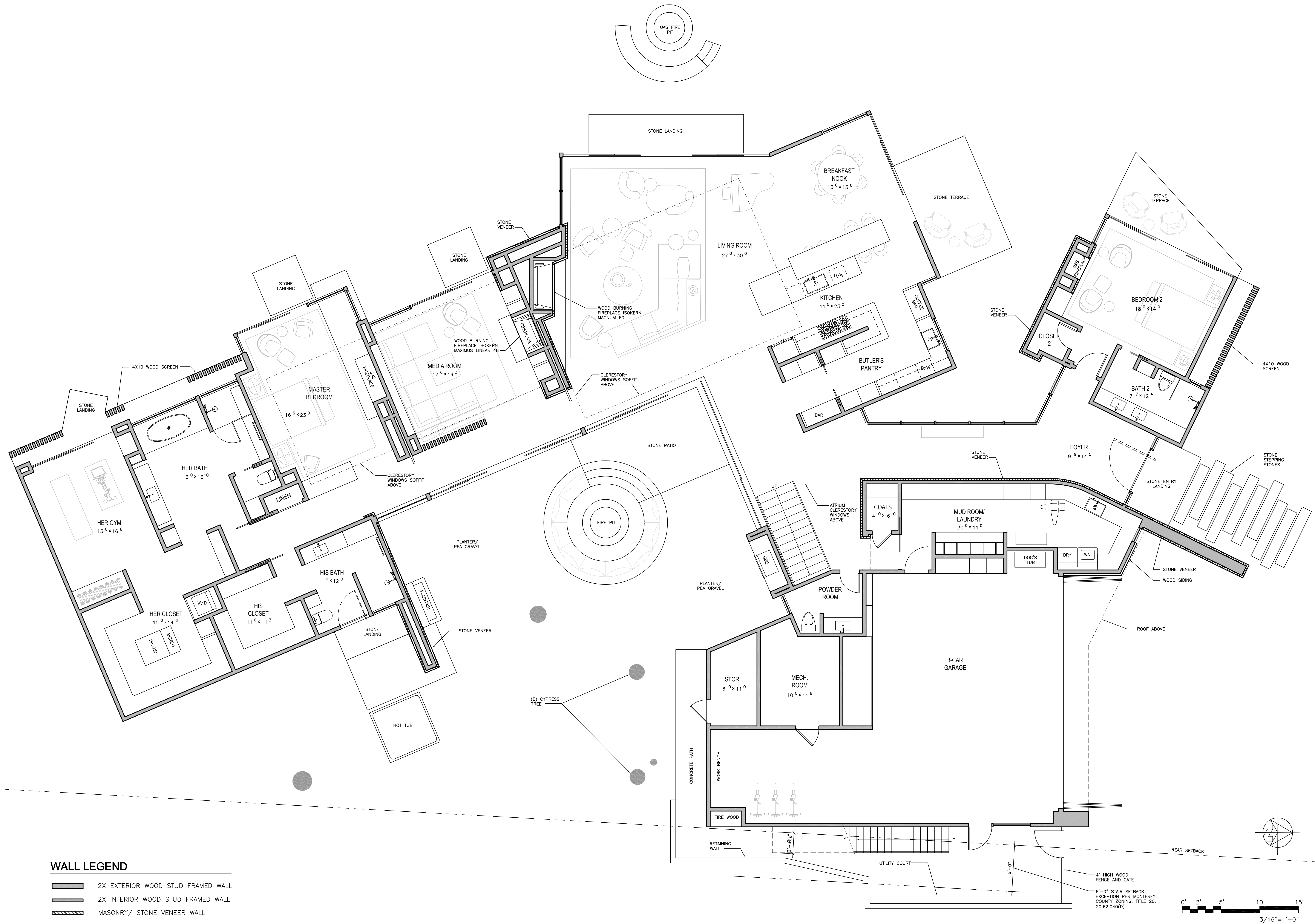
3141 17-MILE DRIVE

REVISIONS:	
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10-14-21	OWNERS REV.
01-10-22	OWNERS REV.

MAIN LEVEL
FLOOR PLAN

DATE: 03-14-21
DESIGN APPROVAL

SHEET NO.
A2.0



WALL LEGEND

- 2X EXTERIOR WOOD STUD FRAMED WALL
- 2X INTERIOR WOOD STUD FRAMED WALL
- MASONRY/ STONE VENEER WALL

MAIN LEVEL FLOOR PLAN 3/16"=1'-0"



ANATOLY OSTRETISOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331
anatoly@aoarchdesign.com

Lucas

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SEATTLE, WA. 98107
T (206) 735-7127

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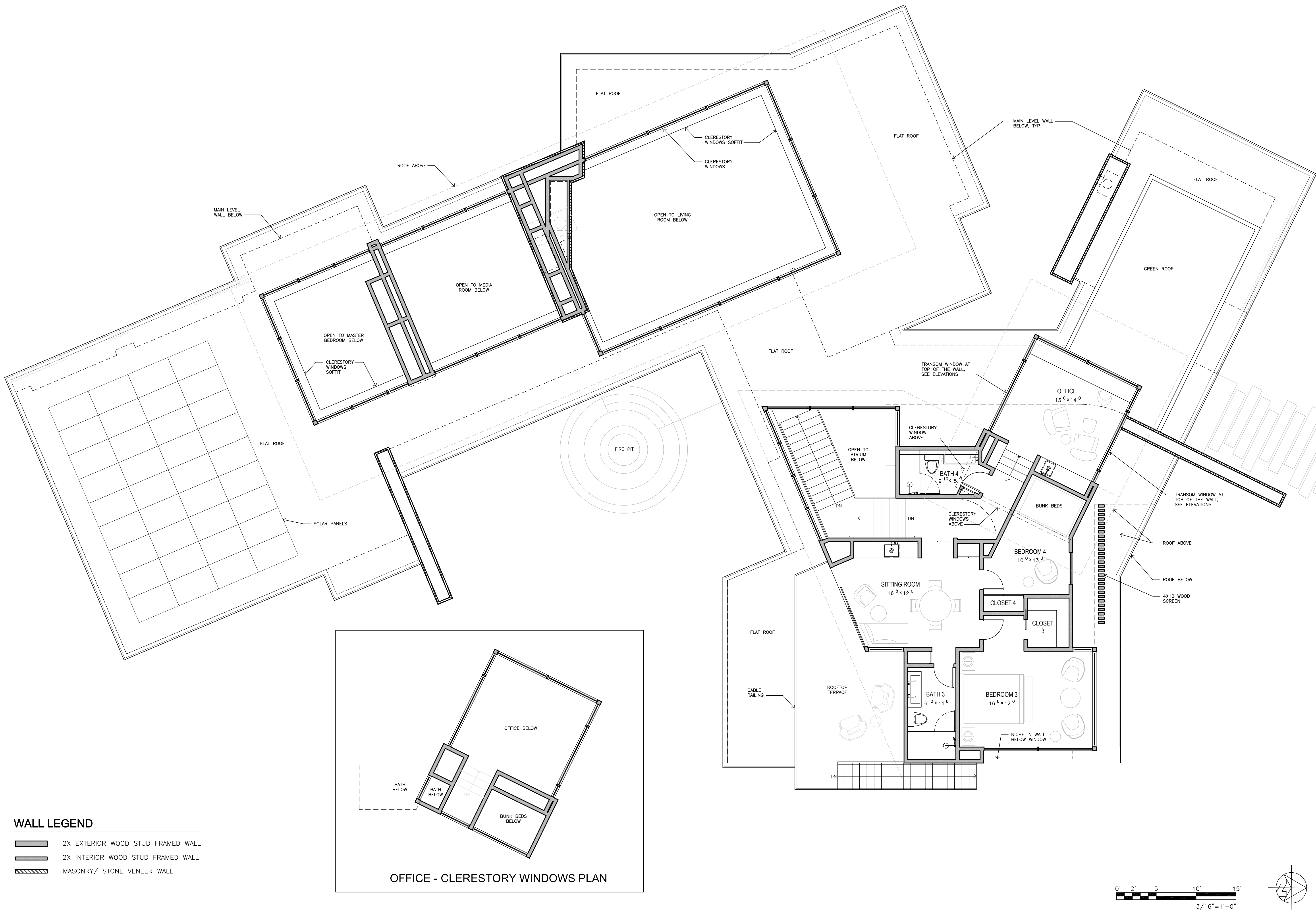
UPPER LEVEL
FLOOR PLAN

DATE: 03-14-21

DESIGN APPROVAL

SHEET NO.

A2.1

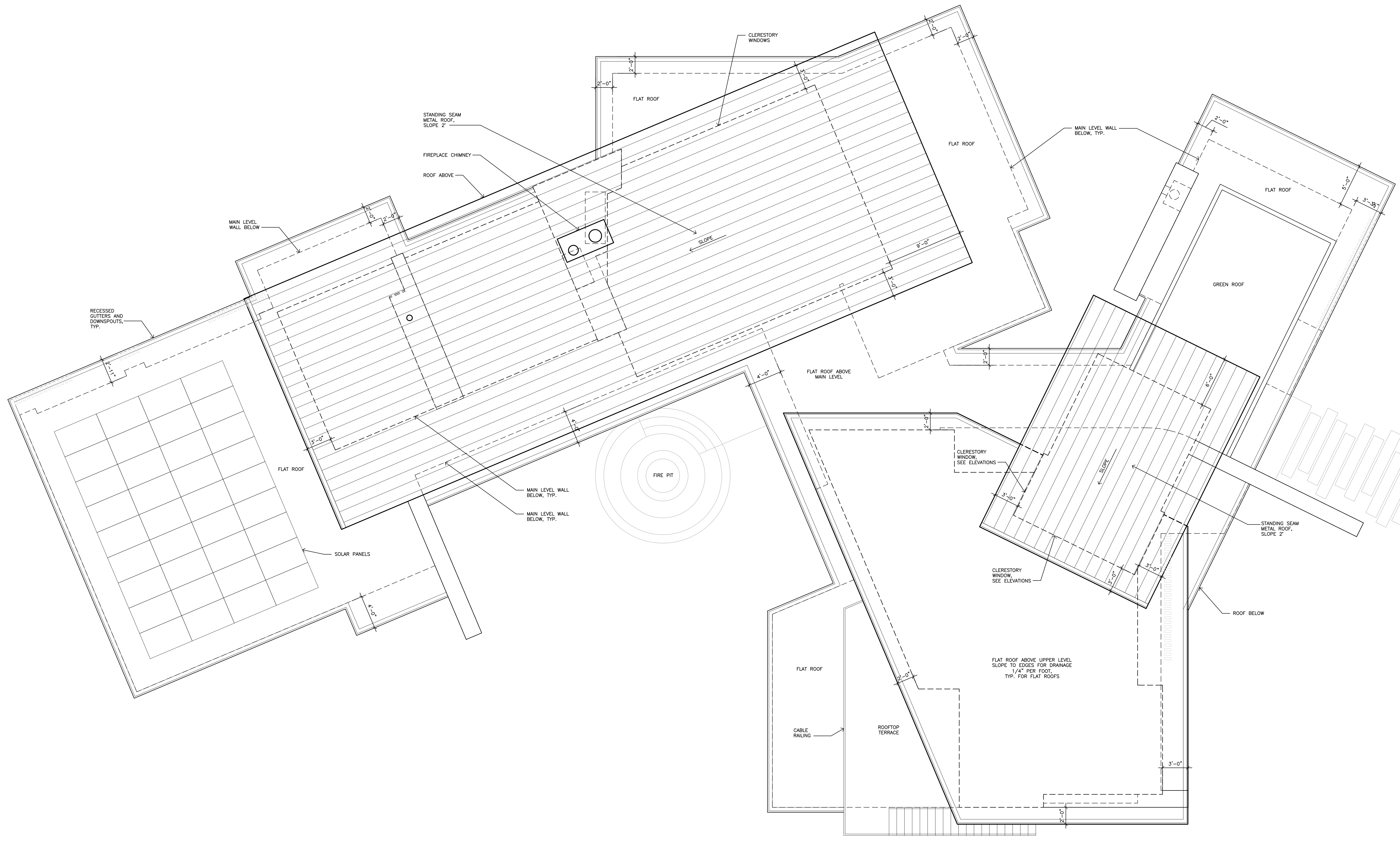


WALL LEGEND

- 2X EXTERIOR WOOD STUD FRAMED WALL
- 2X INTERIOR WOOD STUD FRAMED WALL
- MASONRY/ STONE VENEER WALL

UPPER LEVEL FLOOR PLAN

3/16"=1'-0"



ROOF PLAN 3/16"=1'-0"

AO ARCHITECTURAL
DESIGN

ANATOLY OSTRETSOV

P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331
anatoly@aoarchdesign.com

Lucas

4917 LEARY AVE. NW,
SEATTLE, WA 98107
T (206) 735-7127

THE RESIDENCE AT
3141 17-MILE DRIVE

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PEBBLE BEACH, CA 93953

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REVISIONS:	
<div></div>	06-18-21 PLANNING REV.
<div></div>	10-07-21 LUAC REV.
<div></div>	10-14-21 OWNERS REV.
<div></div>	01-10-22 OWNERS REV.

EXTERIOR
ELEVATIONS

DATE: 03-14-21
DESIGN APPROVAL

SHEET NO.
A6.0

FRONT (NORTH) ELEVATION 3/16"=1'-0"

OCEAN SIDE (WEST) ELEVATION 3/16"=1'-0"

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ANATOLY OSTRETSOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331
anatoly@aoarchdesign.com

Lucas

4917 LEARY AVE. NW,
SEATTLE, WA. 98107
T (206) 735-7127

PEBBLE BEACH, CA 93953

**THE RESIDENCE AT
3141 17-MILE DRIVE**

3141 17-MILE DRIVE
APN: 008-261-003

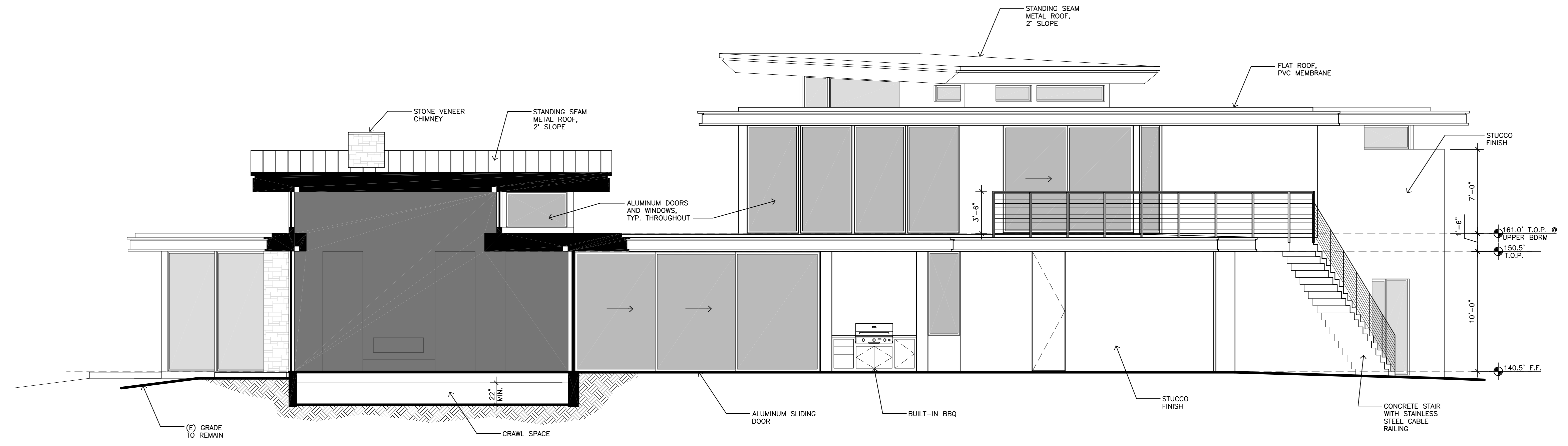
REVISIONS:

Δ	06-18-21	PLANNING REV.
Δ	10-07-21	LUAC REV.
Δ	10-14-21	OWNERS REV.
Δ	01-10-22	OWNERS REV.

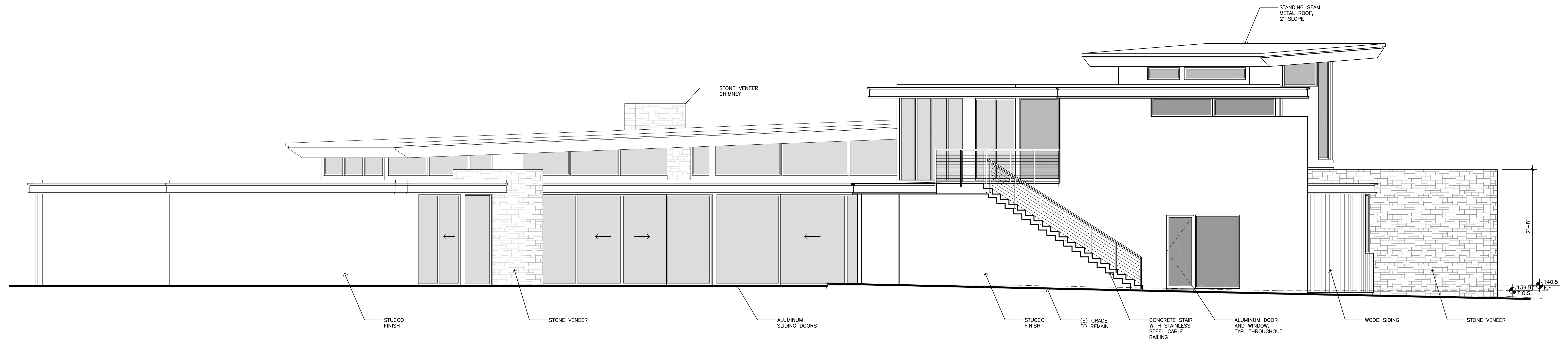
EXTERIOR
ELEVATIONS

DATE: 03-14-21
DESIGN APPROVAL

SHEET NO.
A6.1



REAR (SOUTH COURT YARD) ELEVATION 3/16"=1'-0"



EAST COURT YARD ELEVATION 3/16"=1'-0"

COLOR AND MATERIAL SAMPLES

FOR A RESIDENCE AT 3141 17-MILE DRIVE, PEBBLE BEACH, CA 93953

APN: 008-262-003

Note: all the photographs are for reference only and don't represent actual design

WALLS: SMOOTH STUCCO

COLOR: KELLY-MOORE "PEBBLE BEACH" KM 5817



PEBBLE BEACH KM 5817



AO ARCHITECTURAL DESIGN

WALLS: STONE VENEER (SPLIT FACE AEGEAN OR SIMILAR)



WALLS: WOOD SIDING
COLOR: NATURAL STAINED CEDAR



WINDOWS AND DOORS: METAL CLAD WOOD (KOLBE "VISTALUXE" OR EQUAL)
COLOR: BLACK



ROOF: STANDING SEAM PAINTED ALUMINUM (OCM OR EQUAL)
COLOR: GRAY QUARTZ ORE (NON-REFLECTIVE MATTE)



FASCIA GUTTERS AND DOWNSPOUTS:
COLOR: BLACK TO MATCH WINDOWS



GARAGE DOORS: METAL (AXOLOTL OR EQUAL)
COLOR: DARK GRAY



RAILING: STAINLESS STEEL CABLE SYSTEM (ATLANTIS OR EQUAL)



RETAINING WALLS: CONCRETE BLOCKS
COLOR: EARTH GRAY



TERRACE PAVERS: CONCRETE (STONE) PAVERS
COLOR: EARTH GRAY



STEPPING STONES AT LANDING: CONCRETE (STONE) SLABS



PATHWAYS: PEA GRAVEL



DRIVEWAY AND MOTOR COURT PAVERS: PERMEABLE CONCRETE PAVERS
COLOR: EARTH GRAY





RESTORATION PLAN

A voluntary restoration of native Dune scrub habitat in previously disturbed areas along the existing and revised driveway, to complement and enhance the project: demolition and rebuild of a single-family residence at 3141 17-mile Drive in Pebble Beach Ca

Patrick Regan
Consulting Biologist

Summary

SB investments has proposed to demolish and rebuild a single-family residence on 1.324-acre parcel at 3141 17-mile drive in Pebble Beach CA. Biological Surveys were conducted on the property on February 8 and April 29 of 2021. The earlier survey was a reconnaissance visit to see what the impact area would be and what potential habitat and special status species could be impacted. The second survey was specifically timed to coincide with the bloom period of several special status annual and perennial plants that occur in the Asilomar Dune complex from Signal Hill to Point Pios. No special status Plant or animal species was found on the site during either survey period.

The demolition of the existing house will include the house and the original hardscape elements on the building pad that was created for the original construction in the 1960's. The construction of the new house will cover that original impact area and include some new minor additions of hardscape that will create temporary impacts over the SE corner and several other odd-shaped areas along the outside edge of the original building pad. A section of the existing driveway will also be removed, and a 630 square foot section of dense ice plant will be cleared to allow the driveway to turn further toward the West. All together the architect has determined that 3578 square feet of new hardscape and house remodeling will be added to the project site. No impacts on special status plant or animal species are anticipated.

This restoration plan will cover the section of abandoned driveway and an additional section of dense ice plant just east of the existing driveway up to the eastern property line and through the Pebble Beach right of way to Signal Hill Road as well as a linear 150' by 30' section along the SW property line. The three areas selected (Area 1, approximately 1335 Square feet east of the existing and revised driveway, Area 2, approximately 1939 square feet on the west side of existing and revised driveway, and Area 3, approximately 4480 square feet on the SW corner of the lot) will provide approximately 7754 square feet of restored habitat to offset the roughly 3500 square feet of impacts; This will provide a net gain of Dune habitat on the property and create a contiguous section of dune habitat between the 3141 property and the easterly neighboring parcel on Signal Hill Road and along the SW property line with the restored habitat on the southern neighbor's property. While this restoration is being voluntarily offered above and beyond the level of anticipated impacts on the site, it does require some formal implementation to assure some level of success.

This document presents restoration measures to be implemented following demolition of the existing residence and construction of a new residence on the property at 3141 17-Mile Drive. It also outlines measures for short term monitoring and long-term maintenance of the restored areas and provides an implementation schedule. The areas targeted for restoration on the property are currently covered by ice plant or asphalt with a few scattered native perennial plants within and east of the existing driveway. The primary goal within the restoration area will be to reestablish native dune scrub vegetation.

Measures Prior to and During Construction

A qualified biologist¹ (Project Biologist) shall be retained by the property owner to guide and monitor all activities described in this restoration plan. The Project Biologist shall be selected and under contract prior to issuance of demolition/construction/building permits.

Prior to commencing any demolition or construction-related activities on the site, a pre- construction meeting shall be held with the architect or owner, construction manager, subcontractors, and the Project Biologist.

The Project Biologist shall inspect the site before demolition/construction and coordinate establishment of the construction boundary. The construction boundary shall be delimited with a 3–4-foot construction fence (snow fence or silt fence) to minimize impacts and avoid misinterpretation of the limits of work.

The Project Biologist shall periodically check the site during demolition/construction to confirm that all construction activities are limited to the area within the designated boundary and that no encroachment or other negative impacts occur outside of the designated impact area. In the event that any encroachment is observed, the Project Biologist shall have the authority to stop work on the project and require remedial measures as he/she considers appropriate before work can recommence.

Restoration Goal and Objectives

The goal of this plan is to restore native dune scrub vegetation within the approximately 0.18-acre (7750 sq. ft.) restoration areas. along both sides of the revised driveway and along the southwestern corner of the lot, shown on Figure 1. The specific objectives for accomplishing this goal are as follows:

- Remove all non-native landscape and weedy species, including the extensive ice plant mat on the east side of the existing driveway east to the eastern property line, north to the Pebble Beach Company (PBC) right-of-way² along Signal Hill Road.
- Remove the organic layer of material below the iceplant mat to establish a clean substrate of native sand for the introduction of dune species.
- Plant selected areas with native dune scrub species.
- Use local plant sources for revegetation material. Plants shall be propagated from seed or cuttings collected in dune and coastal scrub habitats along 17 Mile Drive and within the Asilomar Dunes complex (i.e. dune areas from Point Piños to Fan Shell Beach, including the Signal Hill Dune area).
- Establish a monitoring program to track success of non-native vegetation control and establishment of native species.
- Establish an ongoing maintenance program for non-native plant control and other actions noted during monitoring.

Weed Removal

¹ From the Monterey County list of approved Biological Consultants

² This total assumes continuing the eradication of ice plant out through the Pebble beach company Right-of-way along Signal Hill Road for which we will apply for an encroachment permit

Prior to demolition of the existing residence and construction of the new one, the iceplant on the east side of the existing driveway from Signal Hill Road to the house, shall be sprayed with a glyphosate-based herbicide, such as Roundup.

The dead and dried iceplant shall be removed within six weeks of spraying and disposed of at an offsite landfill location. The organic horizon within the 7750 square foot area shall be raked off and removed from the site. Any existing native dune and coastal scrub plants in the designated restoration area should be avoided and allowed to remain as elements of the restoration area. The Project Biologist shall coordinate with the property owners and contractor regarding shrubs and herbaceous plants designated to remain and shall oversee the weed removal.

Alternate method

In lieu of utilizing a glyphosate-based herbicide to kill the Iceplant in place, the entire 7750 square foot area shall be cleared by hand, with crew's hand pulling the living Ice plant and removing it from site and hauling it the Marina landfill. This method is slightly more labor-intensive but avoids any potential impacts to native species or neighboring property via drift or overspray of herbicide.

Planting Area

The restoration area will be revegetated with a planting mixture generally mimicking dune and coastal scrub vegetation in the nearby dune habitat fragments uphill from the project site along edges of the Spyglass Hill golf course. Native plants will be installed where the nonnative iceplant has been removed. Plant installation will be at the direction of the Project Biologist in collaboration with the owners and/or landscape designer(s). Species will be selected from the list recommended in Table 1. This list is based on nearby Dune scrub habitat and is meant to be a guide to target seed collection. Dominant species like *Artemisia pycnocephala* and *Camissoniopsis cheiranthifolia* are more common and easier to locate and collect seed from, but even small amounts of the other species will increase the diversity and habitat value of the restored area. A total of 200-250 plants (grown in 6" deep leach tubes or "stubby cones") will be needed to plant out the entire restoration area to attain good overall vegetative cover and leave some open sandy areas for the native annual and perennial species that may remain in the seedbank on site to germinate and reproduce. Plant material (e.g. seeds, cuttings, root divisions, seedlings, whole plants) will be collected from local sources within the Asilomar Dunes complex and along 17 Mile Drive. Seed collection will be made at the appropriate time for each targeted species. No seeds will be purchased from commercial seed suppliers. Plant installation will occur after the first rain has fallen early in the season and when more rain is projected. Seedling planting locations and spacing will be determined in the field by the Project Biologist in collaboration with the owners and landscape designer(s). The need for supplemental irrigation, fertilization or other relatively high maintenance plant establishment techniques will be reduced using appropriate native species at an appropriate life stage introduced at an appropriate time of year. However, supplemental, temporary irrigation may be used if the Project Biologist determines it is necessary.

At the completion of planting initial photographs of the entire restoration area will be taken to document the baseline conditions and a minimum of 8 photo-points will be established to use for subsequent documentation

and evaluation of the restoration area throughout the monitoring period.

Table 1: Recommended Plant Species for Restoration Area

Scientific Name	Common Name	Estimated quantity
<i>Abronia latifolia</i>	yellow sand verbena	10
<i>Abronia umbellata</i>	pink sand verbena	10
<i>Ambrosia chamissonis</i>	beach burr	30
<i>Artemisia pycnocephala</i>	beach sagewort	60
<i>Armeria maritima</i>	sea thrift	20
<i>Astragalus nuttallii</i>	rattle weed	20
<i>Camissonia cheiranthifolia</i>	beach primrose	30
<i>Cardionema ramosissimum</i>	sand mat	10
<i>Carex pansa</i>	dune sedge	20
<i>Cryptantha leiocarpa</i>	coast cryptantha	20
<i>Dudleya caespitosa</i>	sea lettuce	10
<i>Ericameria ericoides</i>	mock heather	20
<i>Erigeron glaucus</i>	seaside daisy	20
<i>Eriogonum parvifolium</i>	dune buckwheat	20
<i>Eriophyllum staechadifolium</i>	lizard tail	10
<i>Eschscholzia californica</i> var. <i>maritima</i>	coastal California poppy	20
<i>Lessingia filaginifolia</i>	California Corethrogyne	20
<i>Poa douglasii</i>	sand dune bluegrass	10
<i>Polygonum paronychia</i>	dune knotweed	10

Monitoring and Maintenance Program

Quarterly monitoring of the restoration area will occur during the first year following initial landscape removal and planting of native species, with biannual monitoring visits conducted for two additional years. The first monitoring visit will occur six months after completion of ice plant mat and nonnative landscape removal; subsequent visits during the first year will occur at three-month intervals. Two visits per year, once in the spring and once in the fall, will continue through years two and three. Monitoring will be conducted by the Project Biologist who will visually inspect the area to evaluate the following:

- Regeneration of non-native species
- Regeneration of native species from existing seedbank
- Health and vigor of installed plants
- Plant cover deficiencies

The results of each monitoring visit will trigger maintenance activities. Such activities will be recommended by the Project Biologist and could include:

- Continued removal of non-native species
- Adjustments to plant palette in some areas
- Watering of installed plantings
- Installation of replacement plantings

During the first summer following completion of initial landscape removal and native species planting, quantitative data will be collected to track the progress of the restoration efforts. The project biologist shall survey the Restoration area and note any mortality of planted species as well as presence of nonnative and native plant seedlings. A visual estimate of overall canopy cover of plants native and nonnative as well as individual percentage of native and percentage of nonnative species will be made. The Project Biologist will report to the Property owner and/or owners' representative on initial and ongoing maintenance activities, the results of the quantitative sampling, and provide recommendations for on-going management of the area including replanting and weed control as necessary.

Success criteria

Survival of container grown plants

Year 1 - 90% survival of container grown plants

Year 2 – 90% survival of container grown plants

Final - 80% survival of container grown plants (It is assumed that “survivors in year 3 will have gained in canopy cover significantly to offset any mortality losses)

Overall vegetative cover

Year 1 – 25% of restoration area occupied by vegetation

Year 2 – 40% of restoration area occupied by vegetation

Final – 50% of restoration area occupied by vegetation

Native Plant cover (including both planted and “volunteer” native plants

Year 1 – 80% of total vegetative cover from native species

Year 2 – 90% of vegetative cover from native species

Final - 95% of vegetative cover from native species

Failure to meet success criteria in first or second year will trigger requirement for additional planting and or weed eradication in subsequent year. Failure to meet Final success criteria will trigger a requirement for additional planting and or weed eradication and an additional year of monitoring or until all success criteria are met.

Implementation Schedule

Following is an estimated implementation schedule for the Restoration work. This schedule is season dependent both for seed collection and ideal timing of iceplant removal and new planting and may not match up perfectly with the demolition and construction schedule. Thus, it should be subordinate to the demolition and construction schedule even if it requires the bulk of the weed eradication and subsequent planting toward the end of the project.

Table 2: Implementation Schedule

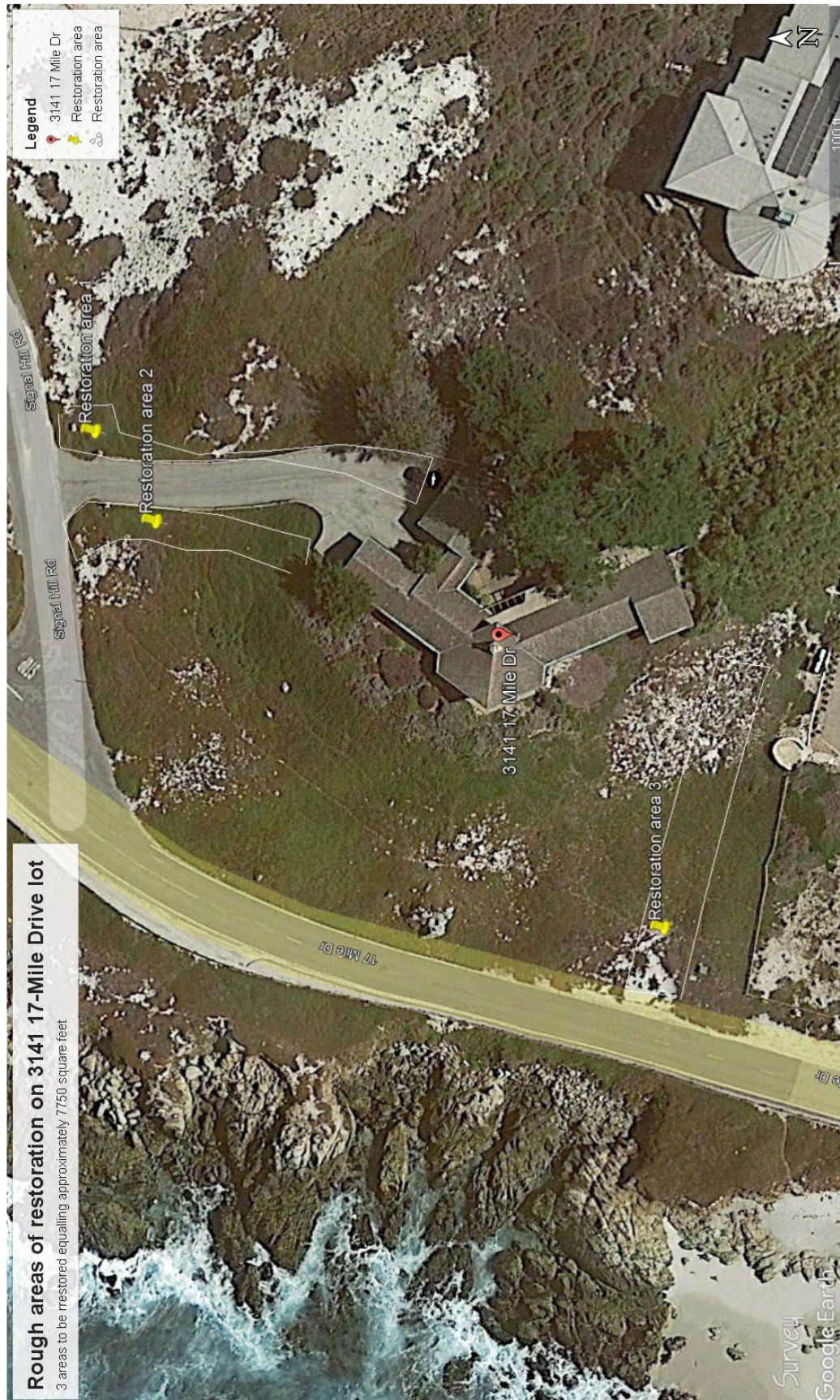
TASKS	TIMING
Select Project Biologist and installation contractor	Prior to issuance of demolition/grading permits.
Inform construction crews of sensitive habitat areas and install protective fencing around exterior of construction area	Prior to initiation of demolition or ground-disturbing activities
Monitor construction activities	Weekly during ground-disturbance activities.
Spray iceplant mat ³	September – October when native annuals and perennials have already dropped seed and before the rainy season
Alternate 1 -Hand remove living ice plant	July through November
Collect native plant seeds	July through November ⁴
Grow native plants in nursery	October through following summer
Install nursery plants in restoration area	October through February as directed by Project Biologist
Monitor habitat in restoration area	Quarterly for one year, biannual for two subsequent years, beginning six months after initial removal of exotics
Initial maintenance of restoration area	As directed by Project Biologist for first three years following implementation of restoration plan
Quantitative data collection in restoration area	Annually in the fall for three years following initial restoration activities
Prepare monitoring report for restoration area	At the end of the three-year monitoring period
Long-term management and maintenance of restoration area	By homeowner as recommended by Project Biologist to meet long-term restoration objectives.

³ If herbicide option is implemented it should be on a calm, wind free day

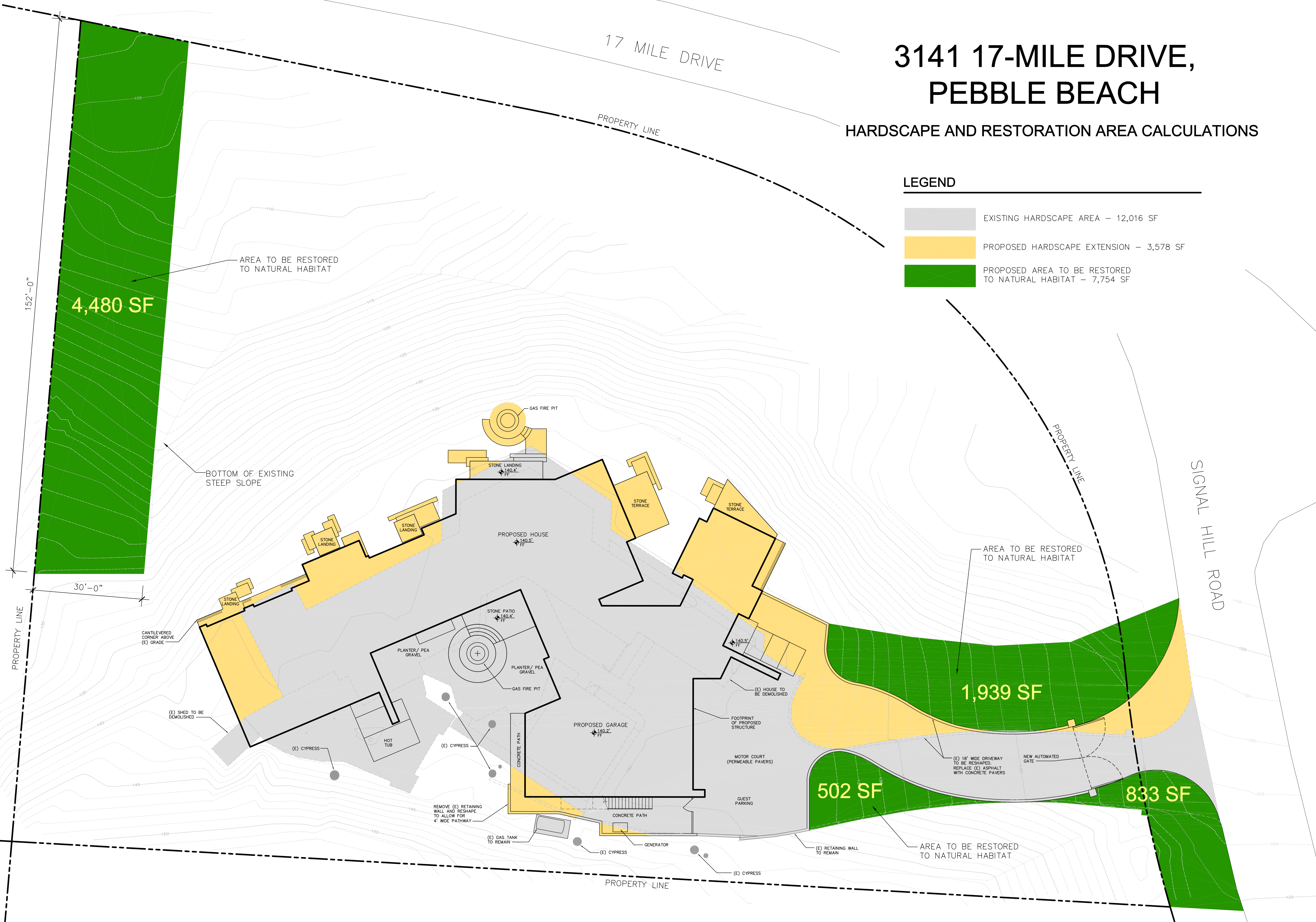
⁴ If Construction schedule delays restoration plan implementation past the first summer, it is recommended to initiate seed collection as soon as possible to allow for maximum opportunity to assure available plants for when planting can occur.



Figure 1: View of existing driveway and iceplant covering areas on either side. The new driveway will curve to the right about halfway up



HARDSCAPE AND RESTORATION AREA CALCULATIONS



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Exhibit C

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MINUTES
Del Monte Land Use Advisory Committee
Thursday, September 16, 2021



1. Meeting called to order by Lori Lietzke at 3:00 pm

2. Roll Call

Members Present:

Kimberly Caneer, Rick Verbanec, Ned Van Roekel, Bart Bruno, Kamlesh Parikh, Carol Church,
Maureen Lyon, Lori Lietzke (8)

Members Absent:

None

3. Approval of Minutes:

A. August 5, 2021 minutes

Motion: Rick Verbanec (LUAC Member's Name)

Second: Bart Bruno (LUAC Member's Name)

Ayes: Verbanec, Van Roekel, Bruno, Parikh, Church, Lyon (6)

Noes: 0

Absent: 0

Abstain: Caneer, Lietzke (2)

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. Scheduled Item(s)

6. Other Items:

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

None

7. Meeting Adjourned: 4:00 pm

Minutes taken by: Kimberly Caneer, Secretary

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025



Advisory Committee: Del Monte Forest

1. **Project Name:** 5B SMD LLC
File Number: PLN210066
Project Location: 3141 17 MILE DR PEBBLE BEACH
Assessor's Parcel Number(s): 008-261-003-000
Project Planner: SANDRA VILLATORO
Area Plan: DEL MONTE FOREST LAND USE PLAN
Project Description: Combined Development Permit consisting of: 1) Coastal Administrative Permit and Design Approval to allow demolition of an existing single family dwelling and construction of a 6,190 square foot two-story single family dwelling with an attached 1,310 square foot garage and mechanical room; 2) Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat area (remnant dune habitat); and 3) Coastal Development Permit to allow development within 750 feet of known archaeological resources.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of the those present)

Anatoly Ostretsov, Architect

Was a County Staff/Representative present at meeting? Sandra Villatoro & Phil Angelo (Name)

PUBLIC COMMENT: None

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Definition of "ridgeline development"		Confirm project is in compliance of ridgeline development per County's requirements

ADDITIONAL LUAC COMMENTS

- There have been changes to the plans (presented to the committee)
- Wall at end of covered breezeway is now in the setback requirement location

RECOMMENDATION:

Motion by: Rick Verbanec (LUAC Member's Name)

Second by: Maureen Lyon (LUAC Member's Name)

- Support Project as proposed
- X Support Project with changes/conditions listed above
- Continue the Item

Reason for Continuance: _____

Continue to what date: _____



Ayes: Caneer, Verbanec, Van Roekel, Bruno, Parikh, Church, Lyon, Lietzke (8)

Noes: 0

Absent: 0

Abstain: 0

Action by Land Use Advisory Committee

Project Referral Sheet

Monterey County Housing & Community Development
1441 Schilling Place 2nd Floor
Salinas CA 93901
(831) 755-5025



Advisory Committee: Del Monte Forest

2. **Project Name:** STEPHENS ANDREW G & KATHERINE H TRS
 File Number: PLN210096
 Project Location: 1256 PADRE LN PEBBLE BEACH
Assessor's Parcel Number(s): 008-471-016-000
 Project Planner: SANDRA VILLATORO
 Area Plan: DEL MONTE FOREST LAND USE PLAN
Project Description: Coastal Administrative Permit and Design Approval to allow 822 square feet of additions to an existing 3,762 square foot two-story single family residence.

Was the Owner/Applicant/Representative present at meeting? YES X NO

(Please include the names of the those present)

Katherine Stephens

Was a County Staff/Representative present at meeting? Sandra Villatoro & Phil Angelo (Name)

PUBLIC COMMENT: None

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
None		

ADDITIONAL LUAC COMMENTS

None

RECOMMENDATION:

Motion by: Rick Verbanec (LUAC Member's Name)

Second by: Carol Church (LUAC Member's Name)

- ☒ Support Project as proposed
☐ Support Project with changes
☐ Continue the Item

Reason for Continuance: _____

Continue to what date: _____



Ayes: Caneer, Verbanec, Van Roekel, Bruno, Parikh, Church, Lyon, Lietzke (8)

Noes: 0

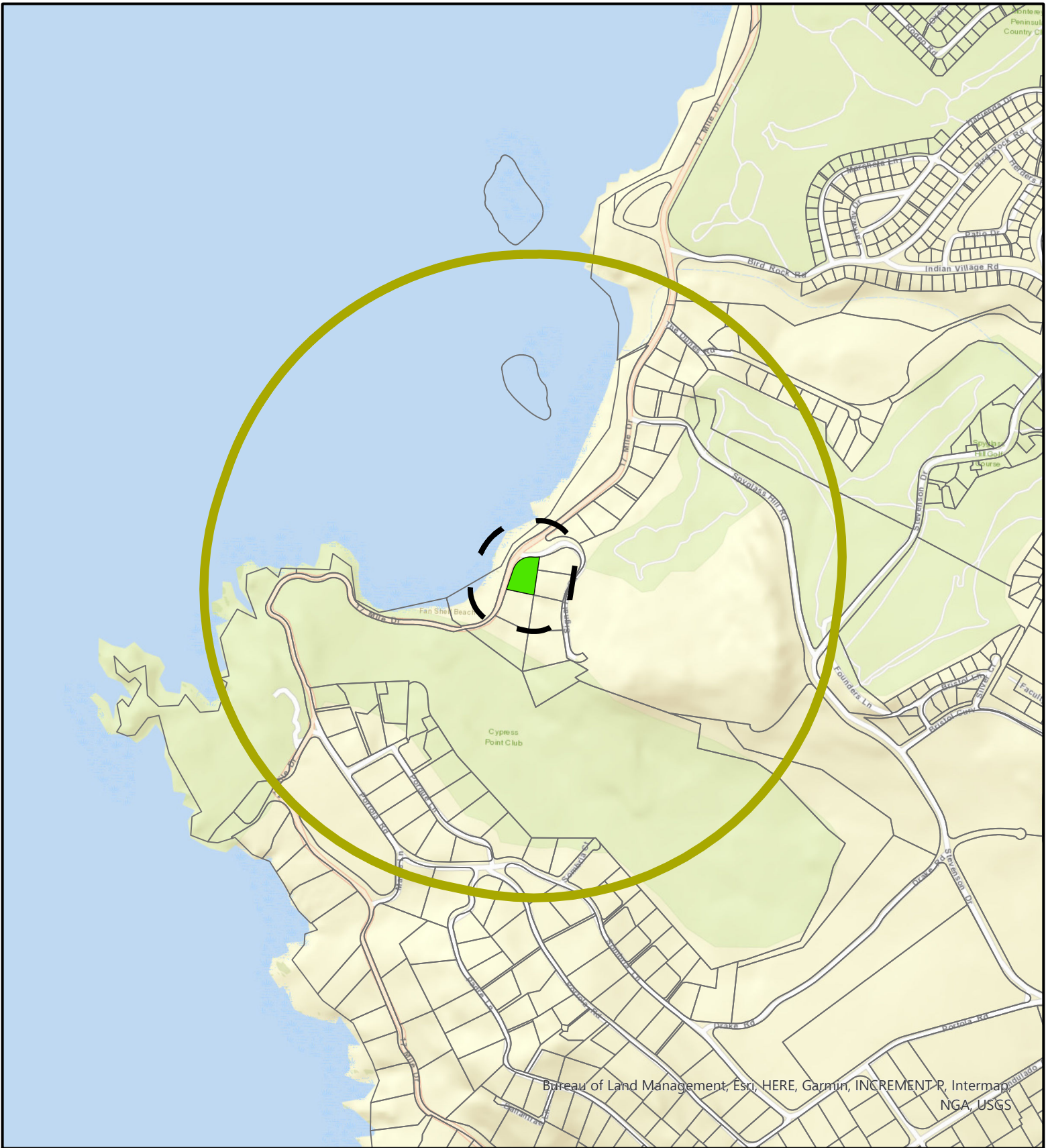
Absent: 0

Abstain: 0

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Exhibit D

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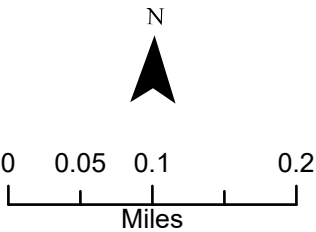


APPLICANT: 5B SMD LLC

APN: 008-261-003-000

FILE# PLN210066

2500' Buffer
 Selected Parcel
 300' Buffer



PLANNER: QUENGA

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County of Monterey

Item No.5

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 23-001

January 11, 2023

Introduced: 12/21/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN220174 - ROMAN CATHOLIC BISHOP OF MTY

Public hearing to consider allowing alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence. The caretaker unit will be demolished in order to expose, excavate and treat the foundation of Majordomo residence that underlies the existing caretaker residence.

Project Location: 1 Mission Rd, Jolon, 93928

Proposed CEQA action: Find the project categorically exempt pursuant to Sections 15301 and 15331 of the CEQA Guidelines

RECOMMENDATIONS

It is recommended that the Planning Commission adopt a resolution:

- 1) Find that the project qualifies for Class 1 and Class 31 Categorical Exemptions Pursuant to CEQA Guidelines Sections 15301 and 15331 and that none of the exceptions in Section 15300.2 apply; and
- 2) Approve a Use Permit to allow alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Brett Brenkwitz

Property Owner: Roman Catholic Bishop of Mty

APN: 201-021-002-000

Parcel Size: 33.19 Acres

Zoning: PQP-HR

Plan Area: South County Area Plan

Flagged and Staked: N/A

SUMMARY

The project consists of demolishing a non-historic caretaker unit at the Mission San Antonio de Pauda, and revealing and treating the foundations of the historical "Majordomo" residence, which lie partially underneath the caretaker unit. The project was referred to the Monterey County Historic Resources Review Board who unanimously recommended approval.

DISCUSSION

The Mission San Antonio de Pauda is a historical California mission constructed in the early 1800's and re-constructed primarily between 1948 and 1952. The Mission is listed on the National, State, and Monterey County historical registers, and has a Historic Resources "HR" overlay zoning district. A detached caretaker unit constructed in 1935 was built over the foundations of the mission's historic (and no longer extant) "Majordomo" residence. The Majordomo's were the economic managers or administrators of the Missions. The unit was constructed during the Great Depression to oversee restoration work on the mission, and was later used to house the mission's parochial administrator. The caretaker unit is non-contributing to the historical mission complex.

Caretaker Unit

The project proposes to demolish an existing detached caretaker unit constructed in 1935 southwest of the mission's south wing. The unit was originally constructed for a contractor to oversee restoration work on the other mission buildings and was later used as an office for the mission priests and to house the mission's parochial administrator.

A historical resource assessment was prepared January 2010 by Architectural Resources Group (ARG) for the entire mission (LIB130010). ARG's report indicates that while the unit was built within the period of the significance for the mission between 1810 and 1952, it does not follow its form, and designates it as a non-contributing feature. Such features are described as *"... elements or features that have been remodeled, altered or added after the period of significance (see next section), and where additional alteration would not have a negative effect on the original integrity of the building. In some cases, removal of the noncontributing features has a positive effect on the building's overall integrity."*

An additional phase II historical assessment specifically focused on the proposed project was prepared by Kent L. Seavey dated June 10, 2022 (**LIB220249 / Exhibit C**). It describes the caretaker unit as a one-story adobe-framed building with a T shaped plan and low pitched red tile roof known as "The Casita". This report concurs that the 1935 unit is non-contributing, and concludes that it should be deemed a non historic feature. The also describes the current state of the unit as deteriorated: the unreinforced cement foundation is cracked throughout, the floor boards have been riven by pests and dry rot, and mold is present throughout the ceiling and walls. As the caretaker unit lacks both historical significance and integrity, it's removal would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

"Majordomo" Historic Foundations

Underneath the 1935 caretaker unit are the foundations of the mission's "Majordmo" residence. The role of the Majordomo (or Mayordomo) as an economic administrator within the mission system was established as early as the 1770's. Each mission appointed a Majordomo, generally a soldier from the mission guards. They became the accounting manager, oversaw the agricultural and crafting operations, directed work, and reported to the missionary regarding temporal affairs.

After the demolition of the existing caretakers unit, the project proposes to excavate and partially treat the underlying foundation of the Majordomo structure:

- The overlying earth on top of the foundations would be excavated.
- They would then be repaired with a similar material as needed, with the top of the foundation sloped so that water sheds away.
- The foundations would then be capped with a lime plaster and several layers of lime wash.
- A six square foot rustic metal and rustic wood frame sign interpretive sign would be installed.

This treatment approach would be similar to the foundations of other accessory structures at the mission. It has both a preservation and educational function. The lime wash acts as a sacrificial layer that protects the foundations from the elements and vandalism, and their visibility would allow visitors to better understand they layout and function of mission spaces. The project historian reviewed this approach (**Exhibit D**) and concluded it was consistent with National Parks Service Preservation Brief #5 on Adobe Buildings and the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The excavation would take place in an area the County has mapped as having a high sensitivity to archaeological resources and is approximately 70 feet northeast of the mission graveyard. Therefore, an archaeological report was prepared for the project by Robert L. Hoover, Ph.D., and David N. Hoover, M.A. (LIB220248). Archaeological reports are confidential in order to protect potential archaeological resources, however, the report recommends removal of the 1935 caretaker unit, and recommends excavation work be monitored by qualified archaeological and Salinian tribal cultural monitors. Staff recommends this monitoring be incorporated into the project as conditions of approval. Therefore, as conditioned, revealing these foundations would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

CEQA

The project is categorically exempt from environmental review pursuant to Section 15301 "Existing Facilities" and Section 15331 "Historical Resource Restoration/Rehabilitation" of the CEQA Guidelines. These exemptions respectively apply to demolition and removal of small structures and rehabilitation and preservation of historic structures consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties.

None of the exceptions under CEQA Guidelines Section 15300.2 apply to the project:

- The project consists of demolishing a non-contributing structure at a historical site and preserving an archaeological/historical resource (the foundations of the Majordomo residence), and would therefore not contribute to a potentially significant cumulative impact;
- There are no unusual circumstances that would create a reasonable possibility the project would have a significant effect;
- The project would not adversely affect any historical resources as: the structure proposed for removal is non-contributing; the project was referred to the County's Historic Resources Review Board (HRRB) who recommended approval as proposed; the proposed revealing of the foundations of the "Majordomo" residence are consistent with the Secretary fo the Interior Standards for the Treatment of Historic Properties under the Preservation treatment

approach; and the project has been conditioned to require archaeological and tribal cultural monitors during grading and earthwork to ensure no archaeological or tribal cultural resources are impacted.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services

HISTORIC RESOURCES REVIEW BOARD REVIEW

Alterations to historical sites require referral by the Historic Resources Review Board (HRRB), pursuant to Monterey County Code (MCC) Section 18.25.170. Alteration is defined by MCC Section 18.25.030 to encompass demolition of structures, placement of exterior objects such as signs, and change or modification of a site, including grading or vegetation removal.

As the project includes each of these components, it was referred to the HRRB, who at a duly noticed public meeting on November 3, 2022, adopted a resolution recommending approval of the project 7-0. The resolution further recommended that the project be conditioned to required archaeological and tribal cultural resource monitors during grading and excavation. These recommended conditions have been incorporated as Conditions Nos. 7 and 8.

Prepared by: Phil Angelo, Associate Planner, x5731

Reviewed and Approved by: Craig Spencer, Chief of Planning

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, & Elevations

Exhibit B - Historic Resources Review Board Resolution No. 22-008

Exhibit C - Historic Report (LIB220249)

Exhibit D - Letter Describing Foundation Treatment Approach

Exhibit E - Vicinity Map

cc: Front Counter Copy; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Phil Angelo, Planner; Anna Qunga, ACIP, Principal Planner; Craig Spencer, Chief of Planning; Brett Brenkwitz, Agent; Diocese Of Monterey Parish & School Operating Corp., Applicant; The Open Monterey Project; LandWatch (Executive Director); Planning File PLN220174



County of Monterey Planning Commission

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Agenda Item No. 5
Legistar File Number: PC 23-001

January 11, 2023

Introduced: 12/21/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

PLN220174 - ROMAN CATHOLIC BISHOP OF MTY

Public hearing to consider allowing alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence. The caretaker unit will be demolished in order to expose, excavate and treat the foundation of Majordomo residence that underlies the existing caretaker residence.

Project Location: 1 Mission Rd, Jolon, 93928

Proposed CEQA action: Find the project categorically exempt pursuant to Sections 15301 and 15331 of the CEQA Guidelines

RECOMMENDATIONS

It is recommended that the Planning Commission adopt a resolution:

- 1) Find that the project qualifies for Class 1 and Class 31 Categorical Exemptions Pursuant to CEQA Guidelines Sections 15301 and 15331 and that none of the exceptions in Section 15300.2 apply; and
- 2) Approve a Use Permit to allow alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence.

The attached draft resolution includes findings and evidence for consideration (**Exhibit A**). Staff recommends approval subject to 9 conditions of approval.

PROJECT INFORMATION

Agent: Brett Brenkwitz

Property Owner: Roman Catholic Bishop of Mty

APN: 201-021-002-000

Parcel Size: 33.19 Acres

Zoning: PQP-HR

Plan Area: South County Area Plan

Flagged and Staked: N/A

SUMMARY

The project consists of demolishing a non-historic caretaker unit at the Mission San Antonio de Pauda, and revealing and treating the foundations of the historical "Majordomo" residence, which lie partially underneath the caretaker unit. The project was referred to the Monterey County Historic Resources Review Board who unanimously recommended approval.

DISCUSSION

The Mission San Antonio de Pauda is a historical California mission constructed in the early 1800's and re-constructed primarily between 1948 and 1952. The Mission is listed on the National, State, and Monterey County historical registers, and has a Historic Resources "HR" overlay zoning district. A detached caretaker unit constructed in 1935 was built over the foundations of the mission's historic (and no longer extant) "Majordomo" residence. The Majordomo's were the economic managers or administrators of the Missions. The unit was constructed during the Great Depression to oversee restoration work on the mission, and was later used to house the mission's parochial administrator. The caretaker unit is non-contributing to the historical mission complex.

Caretaker Unit

The project proposes to demolish an existing detached caretaker unit constructed in 1935 southwest of the mission's south wing. The unit was originally constructed for a contractor to oversee restoration work on the other mission buildings and was later used as an office for the mission priests and to house the mission's parochial administrator.

A historical resource assessment was prepared January 2010 by Architectural Resources Group (ARG) for the entire mission (LIB130010). ARG's report indicates that while the unit was built within the period of the significance for the mission between 1810 and 1952, it does not follow its form, and designates it as a non-contributing feature. Such features are described as *"... elements or features that have been remodeled, altered or added after the period of significance (see next section), and where additional alteration would not have a negative effect on the original integrity of the building. In some cases, removal of the noncontributing features has a positive effect on the building's overall integrity."*

An additional phase II historical assessment specifically focused on the proposed project was prepared by Kent L. Seavey dated June 10, 2022 (**LIB220249 / Exhibit C**). It describes the caretaker unit as a one-story adobe-framed building with a T shaped plan and low pitched red tile roof known as "The Casita". This report concurs that the 1935 unit is non-contributing, and concludes that it should be deemed a non historic feature. The also describes the current state of the unit as deteriorated: the unreinforced cement foundation is cracked throughout, the floor boards have been riven by pests and dry rot, and mold is present throughout the ceiling and walls. As the caretaker unit lacks both historical significance and integrity, it's removal would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

"Majordomo" Historic Foundations

Underneath the 1935 caretaker unit are the foundations of the mission's "Majordmo" residence. The role of the Majordomo (or Mayordomo) as an economic administrator within the mission system was established as early as the 1770's. Each mission appointed a Majordomo, generally a soldier from the mission guards. They became the accounting manager, oversaw the agricultural and crafting operations, directed work, and reported to the missionary regarding temporal affairs.

After the demolition of the existing caretakers unit, the project proposes to excavate and partially treat the underlying foundation of the Majordomo structure:

- The overlying earth on top of the foundations would be excavated.
- They would then be repaired with a similar material as needed, with the top of the foundation sloped so that water sheds away.
- The foundations would then be capped with a lime plaster and several layers of lime wash.
- A six square foot rustic metal and rustic wood frame sign interpretive sign would be installed.

This treatment approach would be similar to the foundations of other accessory structures at the mission. It has both a preservation and educational function. The lime wash acts as a sacrificial layer that protects the foundations from the elements and vandalism, and their visibility would allow visitors to better understand they layout and function of mission spaces. The project historian reviewed this approach (**Exhibit D**) and concluded it was consistent with National Parks Service Preservation Brief #5 on Adobe Buildings and the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The excavation would take place in an area the County has mapped as having a high sensitivity to archaeological resources and is approximately 70 feet northeast of the mission graveyard. Therefore, an archaeological report was prepared for the project by Robert L. Hoover, Ph.D., and David N. Hoover, M.A. (LIB220248). Archaeological reports are confidential in order to protect potential archaeological resources, however, the report recommends removal of the 1935 caretaker unit, and recommends excavation work be monitored by qualified archaeological and Salinian tribal cultural monitors. Staff recommends this monitoring be incorporated into the project as conditions of approval. Therefore, as conditioned, revealing these foundations would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

CEQA

The project is categorically exempt from environmental review pursuant to Section 15301 "Existing Facilities" and Section 15331 "Historical Resource Restoration/Rehabilitation" of the CEQA Guidelines. These exemptions respectively apply to demolition and removal of small structures and rehabilitation and preservation of historic structures consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties.

None of the exceptions under CEQA Guidelines Section 15300.2 apply to the project:

- The project consists of demolishing a non-contributing structure at a historical site and preserving an archaeological/historical resource (the foundations of the Majordomo residence), and would therefore not contribute to a potentially significant cumulative impact;
- There are no unusual circumstances that would create a reasonable possibility the project would have a significant effect;
- The project would not adversely affect any historical resources as: the structure proposed for removal is non-contributing; the project was referred to the County's Historic Resources Review Board (HRRB) who recommended approval as proposed; the proposed revealing of the foundations of the "Majordomo" residence are consistent with the Secretary fo the Interior Standards for the Treatment of Historic Properties under the Preservation treatment

approach; and the project has been conditioned to require archaeological and tribal cultural monitors during grading and earthwork to ensure no archaeological or tribal cultural resources are impacted.

OTHER AGENCY INVOLVEMENT

The following agencies have reviewed the project, have comments, and/or have recommended conditions:

HCD-Engineering Services
Environmental Health Bureau
HCD-Environmental Services

HISTORIC RESOURCES REVIEW BOARD REVIEW

Alterations to historical sites require referral by the Historic Resources Review Board (HRRB), pursuant to Monterey County Code (MCC) Section 18.25.170. Alteration is defined by MCC Section 18.25.030 to encompass demolition of structures, placement of exterior objects such as signs, and change or modification of a site, including grading or vegetation removal.

As the project includes each of these components, it was referred to the HRRB, who at a duly noticed public meeting on November 3, 2022, adopted a resolution recommending approval of the project 7-0. The resolution further recommended that the project be conditioned to required archaeological and tribal cultural resource monitors during grading and excavation. These recommended conditions have been incorporated as Conditions Nos. 7 and 8.

Prepared by: Phil Angelo, Associate Planner, x5731

Reviewed and Approved by: Craig Spencer, Chief of Planning

The following attachments are on file with HCD:

Exhibit A - Draft Resolution including:

- Recommended Conditions of Approval
- Site Plans, Floor Plans, & Elevations

Exhibit B - Historic Resources Review Board Resolution No. 22-008

Exhibit C - Historic Report (LIB220249)

Exhibit D - Letter Describing Foundation Treatment Approach

Exhibit E - Vicinity Map

cc: Front Counter Copy; HCD-Environmental Services; HCD-Engineering Services; Environmental Health Bureau; Phil Angelo, Planner; Anna Qunga, ACIP, Principal Planner; Craig Spencer, Chief of Planning; Brett Brenkwitz, Agent; Diocese Of Monterey Parish & School Operating Corp., Applicant; The Open Monterey Project; LandWatch (Executive Director); Planning File PLN220174

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

ROMAN CATHOLIC BISHOP OF MTY (PLN220174)

RESOLUTION NO. ----

Resolution by the Monterey County Planning
Commission:

- 1) Finding that the project qualifies for Class 1 and Class 31 Categorical Exemptions Pursuant to CEQA Guidelines Sections 15301 and 15331 and that none of the exceptions in Section 15300.2 apply; and
- 2) Approving a Use Permit to allow alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence.

[PLN220174 ROMAN CATHOLIC BISHOP
OF MTY, 1 Mission Rd, Jolon, 93928, South
County Area Plan (APN: 201-021-002-000)]

The Roman Catholic Bishop of Mty application (PLN220174) came on for a public hearing before the Monterey County Planning Commission on January 11, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - South County Area Plan;
 - Monterey County Zoning Ordinance (Title 21); and
 - Preservation of Historic Resources Code of Monterey County (Monterey County Code Chapter 18.25)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The project consists of demolition an existing caretaker unit constructed in 1935. The remains of the foundations of the "Majordomo" residence, a historic structure from the original mission period are partially beneath

the caretaker unit. Portions of these foundations are directly beneath the caretaker unit. After demolition, the foundations of the Majordomo building would be revealed and treated, and an interpretive sign would be placed denoting them.

- c) The property is located at 1, Mission Rd, Jolon, South County Area Plan. The parcel is zoned Public/Quasi-Public with Historic Resources overlay zone, or “PQP-HR”, which allows public/quasi public uses such as churches. Therefore, the project is an allowed land use for this site.
- d) The property is shown in the 1964 Assessor’s Township maps in Township 22 South Range 7 East, and in the 1972 Assessor’s Map Book 201 Page 2. Therefore, the County recognizes the property as a legal lot of record.
- e) 2010 General Plan Policy OS-6.3 indicates that new development within high archaeological sensitivity zones complete a phase I archaeological survey. A phase I archaeological report was prepared by Robert L. Hoover, Ph.D. and David N. Hoover, M.A., to assess the potential of the project to impact archaeological resources. Due to the sensitivity of the site and nature of the project (revealing and treating an archaeological resource, the foundations of the historic "Majordomo" residence), the archaeologists recommended that archaeological and Salinan tribal monitors be present during earthwork and excavation. The project has been conditioned to require both archaeological (Condition No. 8) and Tribal Cultural (Condition No. 9) monitors, and the County’s standard Condition No. 3 has been applied, which requires that if human remains are identified during excavation, work will be immediately halted until the coroner is contacted; and if the coroner determines the remains are Native American, that the most likely descendent be contacted for recommendations on how to treat the remains with appropriate dignity. These three conditions shall ensure that the project does not impact tribal cultural resources.
- f) The Mission San Antonio de Pauda is a historical California mission constructed in the early 1800’s and re-constructed primarily between 1948 and 1952. The Mission is listed on the National, State, and Monterey County historical registers, and has a Historic Resources “HR” overlay zoning district. The HR zoning overlay district requires referral of projects involving “alterations” to the Historic Resources Review Board (HRRB) for review and a Use Permit. As proposed, the project involves an “alteration” within the designated historic site (the Mission).
- g) For alterations to a designated historic site, Monterey County Code Section 18.25.070.D.1. requires that the alteration be found not to adversely affect the significant historical features of the site. The caretaker unit was constructed in 1935 during the Great Depression to oversee restoration work on the mission, and was later used to house the mission’s parochial administrator. The unit was determined to be a non-contributing feature by historic statement for the entire mission prepared in 2010 by Architectural Resources Group (ARG). A follow up historical report prepared by historian Kent Seavey in 2022 concurred with this conclusion. Therefore, the removal of the caretaker unit will not adversely affect the historical features of the site.

- h) As both a historical and archaeological feature, Monterey County Code Section 18.25.070.D.1. applies to the revealing of the foundations of the “Majordomo” residence as well. The treatment approach for revealing the foundations is as follows: the overlying earth on top of the foundations would be excavated; they would then be repaired with a similar material as needed, with the top of the foundation sloped so that water sheds away; and the foundations would then be capped with a lime plaster and several layers of lime wash. This approach was reviewed by a qualified historian Kent Seavey and determined to be consistent with the National Parks Service Preservation Brief No. 5 on Adobe Buildings and the Secretary of the Interiors Standards for the Treatment of Historic Properties. Therefore, the revealing and treating of the “Majordomo” residence foundations will not adversely affect the historical features of the site.
- i) Monterey County Code Section 18.25.070.D.3. requires that new improvements be found to not adversely affect, and be compatible with, the historical features of the site. One new feature is proposed, a 6 square foot interpretive sign which will denote to visitors that the exposed and treated foundations are the “Majordomo” residence. The sign will be a rustic rusted metal and wood frame sign, consistent with the other directional and interpretive signs around the mission. With its compatible appearance and educational function, this improvement will be consistent with the historical features of the site.
- j) In accordance with the procedures detailed in Monterey County Code Section 18.25 and the Monterey County Zoning Ordinance Section 21.54.040, the project was referred to the Historical Resources Review Board (HRRB). At their November 3, 2022 meeting the HRRB adopted Resolution No. 22-008, unanimously recommending approval of the project subject to archaeological and tribal cultural monitoring conditions, which have been incorporated as Condition No. 8 and 9. Resolution No. 22-008 and its findings are incorporated by reference herein.
- k) The demolition and excavation will take place in close proximity to a number of sycamore trees. While none are proposed for removal, the project has been conditioned (Condition No. 5) to ensure that none are harmed during demolition or excavation.
- l) The project planner conducted a site inspection on August 17, 2022 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220174.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, and the Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and

regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

b) In order to address potential impacts to cultural resources, the following reports were prepared:

- Architectural Resources Group (ARG). (January, 2010). *Draft Focused Historic Structure Report* (LIB130010). San Francisco, CA.
- Hoover, R. L., & Hoover, D. N. (2022). *Archaeological Assessment and Recommendations for Contractor's Office Demolition* (LIB220174).
- Seavey, K. (November 30, 2022). *Phase II Historic Assessment*. (LIB220249) Pacific Grove, CA.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on August 17, 2022 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220174.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Due to the age of the caretaker unit (constructed in 1935), there is the potential for there to be asbestos or lead to be present. During demolition, these materials can become friable (pulverized with the potential to become airborne) and pose a danger to human health. Therefore, Condition No. 6 has been applied, which will require the applicant to follow Monterey Bay Air Resources District (MBARD) Rule No. 439, which requires that structures be sufficiently wetted before constructed, constructed inward, and prohibited when wind speeds exceed 15 miles an hour, which will prevent any contaminants from becoming airborne.
- c) The caretaker unit was determined to be connected to a substandard onsite wastewater treatment system (OWTS). In order to ensure that the OWTS is demolished or abandoned appropriately, the Environmental

Health Bureau (EHB) recommended a condition requiring an OWTS demolition permit be submitted for their review and approval prior to issuance of a demolition permit. This condition has been incorporated.

- d) Staff conducted a site inspection on August 17, 2022 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220174.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on August 17, 2022 and researched County records to assess if any violation exists on the subject property; and none were identified.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220174.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 “Existing Facilities” and Section 15331 “Historical Resource Restoration/Rehabilitation” categorically exempt demolition and removal of small structures and rehabilitation and preservation of historic structures consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties.
 - b) As the project is a demolition of an existing caretaker unit and revealing of the historical foundations of a previous structure underneath in a manner consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties, both exemptions apply.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in subsequent evidences d) through i).
 - d) The project is not in an area where a mapped environmental resource of hazardous or critical concern has been mapped.
 - e) The project consists of demolishing a non-contributing structure at a historical site and preserving an archaeological/historical resource (the foundations of the Majordomo residence), and would therefore not contribute to a potentially significant cumulative impact.
 - f) There are no unusual circumstances that would create a reasonable possibility the project would have a significant effect.
 - g) The project is not within view of a State Scenic Highway.
 - h) The project is not located on a hazardous waste site compiled pursuant to 65962.5 of the Government Code.
 - i) The project would not adversely affect any historical resources as: the

structure proposed for removal is non-contributing; the project was referred to the County's Historic Resources Review Board (HRRB) who recommended approval as proposed; the proposed revealing of the foundations of the "Majordomo" residence are consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties under the Preservation treatment approach; and the project has been conditioned to require archaeological and tribal cultural monitors during grading and earthwork to ensure no archaeological or tribal cultural resources are impacted.

- j) No adverse environmental effects were identified during staff review of the development application during a site visit on August 17, 2022.
- k) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220174.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Title 21 Section 21.80.040.D. indicates that the Board of Supervisors is the appeal authority to consider appeals of discretionary decisions made by the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies for a Class 1 and Class 31 Categorical Exemptions Pursuant to CEQA Guidelines Sections 15301 and 15331 and none of the exceptions in Section 15300.2 apply; and
2. Approve a Use Permit to allow alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence.

PASSED AND ADOPTED this 11^h day of January, 2023, upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220174

1. PD001 - SPECIFIC USES ONLY

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: This Use permit (PLN220174) allows alterations at the Mission San Antonio de Padua, including demolition of a caretaker unit and restoration of the foundation of the "Majordomo" residence. The property is located at 1 Mission Rd, Jolon, 93928, South County Area Plan (APN: 201-021-002-000). This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 201-021-002-000 on January 11th, 2023. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and HCD - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.
- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist for on-call archaeological services should resources be discovered during construction activities. Submit the letter to the Director of the HCD – Planning for approval.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&Rs, and shall be included as a note on an additional sheet of the final/parcel map.

Prior to Final, the Owner/Applicant, per the Archaeologist, shall submit a report or letter from the archaeologist summarizing their methods, findings, and recommendations if their services are needed during construction or if no resources were found.

4. PD005(A) - NOTICE OF EXEMPTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Pursuant to CEQA Guidelines § 15062, a Notice of Exemption shall be filed for this project. The filing fee shall be submitted prior to filing the Notice of Exemption. (HCD-Planning)

Compliance or Monitoring Action to be Performed: After project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD047 - DEMOLITION/DECONSTRUCTION (MBUAPCD RULE 439)

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;
 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;
 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.
- All Air District standards shall be enforced by the Air District.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition inspection activities as required by the Air District.

7. EHSP01 – DEMOLISH EXISTING ONSITE WASTEWATER TREATMENT SYSTEM (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The exiting caretaker unit was determined to be connected to a substandard Onsite Wastewater Treatment System (OWTS). While it was reported that sewer connection was capped off and that the wooden tank was filled with dirt, the OWTS shall be demolished or abandoned pursuant to the standards found in Monterey County Code (MCC), Chapter 15.20 and the Monterey County Local Agency Management Program (LAMP), as applicable.

Compliance or Monitoring Action to be Performed: Prior to issuance of the demolition permit, submit an OWTS demolition permit application for the existing system for review and approval by the Environmental Health Bureau.

Prior to final inspection, demolish the existing OWTS according to the standards found in MCC Chapter 15.20 and the LAMP, as applicable.

8. PDSP001 - ARCHAEOLOGICAL MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: A qualified archaeological monitor (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA) shall be present and observe all soil disturbance for all grading and excavation activities. If at any time, potentially significant archaeological resources or intact features are discovered, the monitor shall temporarily halt work until the find can be evaluated by the archaeological monitor. If the find is determined to be significant, work shall remain halted until a plan of action has been formulated, with the concurrence of HCD-Planning, and implemented.

Compliance or Monitoring Action to be Performed: Prior to issuance of demolition, grading, or construction permits, the owner/applicant shall submit to HCD-Planning a copy of the contract between the owner/applicant and a qualified archaeological monitor. The contract shall include a pre-construction meeting agenda with specific construction activities that the monitor shall be present for, any construction activities for which the archaeological monitor will not be present, how sampling of the excavated soil will occur, and any other logistical information such as when and how work on the site will be halted. The contract shall include provisions requiring the monitor be present and observe all soil disturbance for all grading and excavation, and authorizing the monitor to stop work in the event resources are found. In addition, the contract shall authorize the monitor to prepare a report suitable for compliance documentation to be prepared within four weeks of completion of the data recovery field work. The contract shall be submitted to HCD-Planning for review and approval.

Prior to issuance of demolition permits, the owner/applicant shall submit an up to date construction schedule indicating when any grading or excavation activities are expected to occur.

If archaeological resources are unexpectedly discovered during construction, work shall be halted on the parcel until the find can be evaluated and a plan of action formulated and implemented, with the concurrence of HCD-Planning. Data recovery shall be implemented during the construction and excavation monitoring. If intact archaeological features are exposed, they shall be screened for data recovery using the appropriate method for site and soil conditions. The owner/applicant shall allow the on-site Tribal Monitor (see Condition No. 9) an opportunity to make recommendations for the disposition of potentially significant archaeological materials found.

A final technical report containing the results of all analyses shall be completed within one year following completion of the field work. This report shall be submitted to HCD-Planning and the Northwest Regional Information Center at Sonoma State University.

9. PDSP002 - TRIBAL CULTURAL MONITOR

Responsible Department: RMA-Planning

Condition/Mitigation Monitoring Measure: To ensure that Tribal Cultural Resources incur a less than significant impact if encountered, a Tribal Monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, shall be on-site and observe all project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall refer to and comply with HCD-Planning Standard Condition PD003(B) as applicable. This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Compliance or Monitoring Action to be Performed: Prior to issuance of a demolition permit by HCD-Building Services, the Applicant/Owner shall submit evidence to the satisfaction of the Chief of HCD-Planning that a monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, has been retained to monitor the appropriate construction activities. This Tribal Monitor shall be retained for the duration of any project-related grading and excavation.

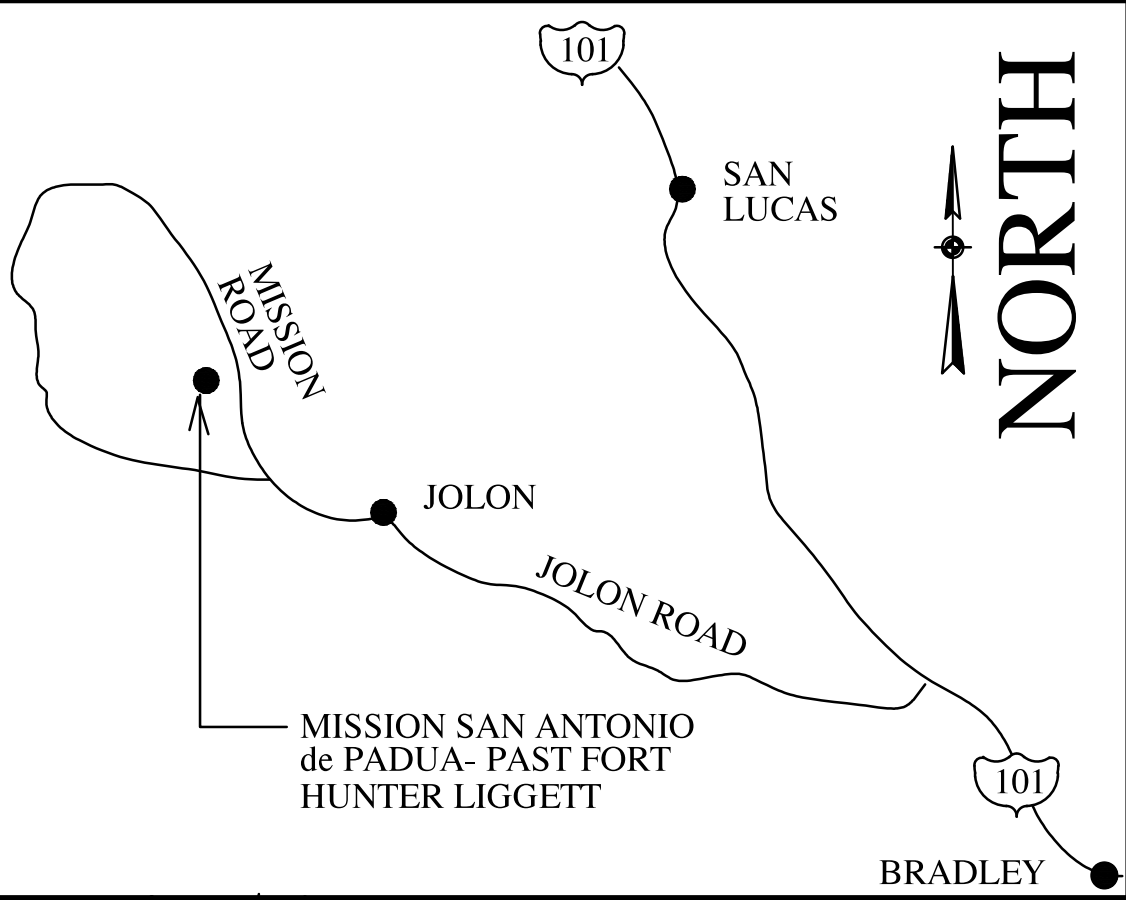
Any artifacts found that are not associated with a finding of human remains shall be cataloged by both the Tribal Monitor and the qualified archaeological monitor. Once cataloged, the qualified archaeological monitor will take temporary possession of the artifacts for testing and reporting purposes. Upon completion of these testing and reporting activities, all artifacts, at the discretion of the property owner, shall be returned within one (1) year to a representative of the appropriate local tribe as recognized by the Native American Heritage Commission, or the Monterey County Historical Society. A final technical report containing the results of all analyses shall be completed within one year following completion of the field work. This report shall be submitted to HCD-Planning and the Northwest Regional Information Center at Sonoma State University. Artifacts associated with a finding of human remains shall be reburied in accordance with State Law and penalty for violation pursuant to PRC section 5097.994.

Prior to final inspection of the demolition permit, the Tribal Monitor or other appropriately NAHC recognized representative shall submit a letter to HCD-Planning confirming participation in the monitoring and provide a summary of archaeological and /or cultural finds or no finds, as applicable.

MISSION SAN ANTONIO de PADUA

CONSTRUCTION OFFICE DEMOLITION PROJECT

END OF MISSION ROAD
PO BOX 803
JOLON, CA. 93928



5 NTS VICINITY MAP

PARCEL #: 201-021-002-000

ADDRESS: END OF MISSION ROAD
PO BOX 803
JOLON, CA. 93928

ZONING: PQP-HR

PROPOSED PROJECT:

DEMOLISH EXISTING C. 1935 CONSTRUCTION OFFICE BUILDING AND REVEAL OLDER, UNDERLYING C. 1823 MAYORDOMO'S FOUNDATION/ OUTLINE AND INCLUDE INTERPRETIVE SIGNAGE FOR VISITORS.

-THE FOLLOWING CODES ARE APPLICABLE:
A. 2019 CALIF. BUILDING CODE (CBC)
B. 2019 CALIF. MECHANICAL CODE (CMC)
C. 2019 CALIF. PLUMBING CODE (CPC)
D. 2019 CALIF. ELECTRICAL CODE (CEC)
E. 2019 CALIF. ENERGY CODE
F. 2019 CALIF. GREEN BUILDING STANDARDS CODE
G. 2019 CALIF. FIRE CODE
H. 2019 CALIF. RES. CODE (CRC)
I. 2019 CALIF. ENERGY STANDARDS
J. COUNTY OF MONTEREY AMENDMENTS

4 NTS PROJECT NOTES

THE FOLLOWING CODES ARE APPLICABLE:

-THE 2019 EDITIONS OF: CALIF. BLDG. CODE (CBC), CALIF. PLUMBING CODE (CPC), CALIF. MECH. CODE (CMC), CALIF. ENERGY CODE (CEnC), CALIF. ELECTRIC CODE (CEC), CALIF. HISTORICAL BUILDING CODE (CHBC), AND CALIF. EXISTING BUILDING CODE (CEBC) AS ADOPTED BY THE COUNTY OF MONTEREY ORDINANCE, WITH REQUESTS FOR CODE MOD. AS APPROVED BY THE COUNTY OF MONTEREY.

-DO NOT PROCEED WITH EXCAVATION OF ANY KIND WITHOUT NOTIFYING THE ARCHITECT. EXCAVATIONS DONE FOR ANY REASON SHALL BE OBSERVED BY THE PROJECT ARCHAEOLOGIST. NOTIFY THE ARCHEOLOGIST OF EXCAVATION SCHEDULE AND CONFIRM THE SCHEDULE WITH THE ARCHEOLOGIST 24 HOURS BEFORE BEGINNING AN EXCAVATION. DO NOT PROCEED WITH AN EXCAVATION WITHOUT OBSERVATION BY THE ARCHAEOLOGIST.

OWNER:
DIOCESE OF MONTEREY, PARISH & SCHOOL
OPERATING CORP.
PO BOX 2048
MONTEREY, CA. 93942
(831) 373-4345

ARCHITECT:
FRANKS & BRENKWITZ, LLP
PO BOX 597
APTOS, CA 95001
(831) 662-8800

ARCHEOLOGICAL:
DR. ROBERT HOOVER
1144 BUCHON ST.
SAN LUIS OBISPO, CA. 93401-3704
(805) 544-2528

HISTORICAL CONSULTANT:
KENT SEAVEY
310 LIGHTHOUSE AVE.
PACIFIC GROVE, CA. 93950
(831) 375-8739

SHEET NO.

DESCRIPTION

T-1
A-1
A-2
A-3
A-4

TITLE SHEET
SITE PLAN
MAYORDOMO'S HOUSE FLOOR PLAN
CONST. OFFICE FLOOR PLAN
CONST. OFFICE EXISTING ELEVATIONS

2 NTS NOTES

3 NTS PROJECT DATA

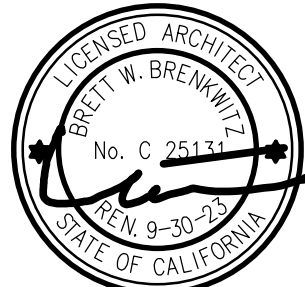
3 NTS SHEET INDEX

MISSION SAN ANTONIO de PADUA
CONSTRUCTION OFFICE DEMO. PROJECT

TITLE SHEET

REVISION:

DATE: 6-29-22



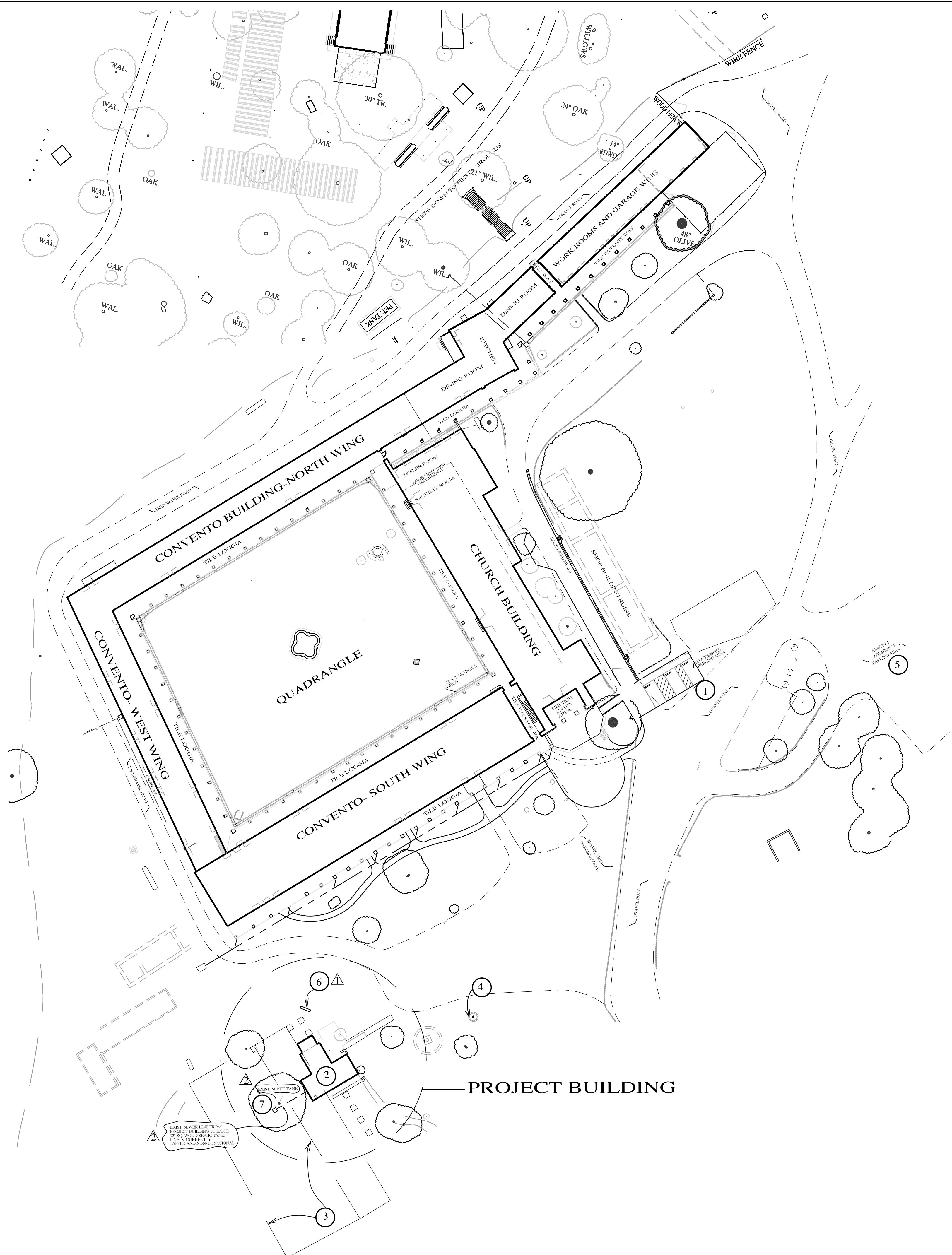
SCALE: NTS

SHEET NO.

T-1

OF 5 SHEETS





KEYED NOTES

- 1 ACCESSIBLE PARKING- 3 SPACES (INSTALLED PHASE 1 REF 13CP01617)
- 2 CONST. OFFICE BUILDING (PROJECT)
- 3 UNDERLYING MAYORDOMO'S HOUSE & OUT-BUILDINGS
- 4 EXIST. FIRE HYDRANT
- 5 PARKING FOR CONST. VEHICLES AND MATERIAL STORAGE / DELIVERY
- 6 PROPOSED INTERPRETIVE SIGNAGE FOR MAYORDOMO'S HOUSE- 6 SQ. FT.
- 7 EXISTING 32" SQ. WOODEN SEPTIC TANK. EXIST. SEWER LINE (30" DEEP) TO PROJECT BUILDING CAPPED. TO BE VERIFIED BEFORE BLDG. DEMO. TANK IS CURRENTLY FILLED WITH DIRT AND ABANDONED.

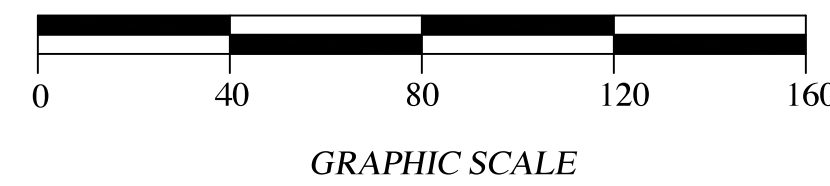
GENERAL NOTES

-THE SITE PLAN DEPICTS EXISTING CONDITIONS. CHANGES TO EXISTING ARE NOTED.

-EXISTING PARKING:
THERE ARE CURRENTLY APPROX. 72 PARKING SPACES ON SITE. ALL ARE UNMARKED AND NON- FORMAL ON D.G. SURFACES. SOME OF THE APRKING IS FOR TOUR BUSES.
PER CBC TABLE 11B-208.2, (3) ACCESSIBLE SPACES ARE REQUIRED TO BE SHOWN ON THE PLANS. SEE THIS SHEET.

-CONSTRUCTION MANAGEMENT PLAN:
1) HOURS OF CONST. TO BE 6 AM TO 6 PM M-SAT.
2) TYPES OF CONST VEHICLES TO INCLUDE TRACTORS, GRADEALLS, FORKLIFTS.
AND WORKER VEHICLES, APPROX 30-50 VEHIC. TRIPS/ DAY
3) AMOUNT OF GRADING: 0 CU YDS
4) TENT. DATES: FALL 2022
5) SITE CONTACT: JOAN STEELE, MISSION ADMINISTRATOR @ 831-385-4478 EXT 19

-THERE ARE NO PUBLIC STREETS OR SIDEWALKS AND THEREFORE AN ACCESSIBLE PATHWAY TO THESE FEATURES IS NOT POSSIBLE. THIS WAS DISCUSSED AND CLEARED BY THE BUILDING OFFICIAL IN THE FIRST PHASE.



MISSION SAN ANTONIO de PADUA CONSTRUCTION OFFICE DEMO. PROJECT

SITE PLAN

REVISION:
8-16-22
9-8-22

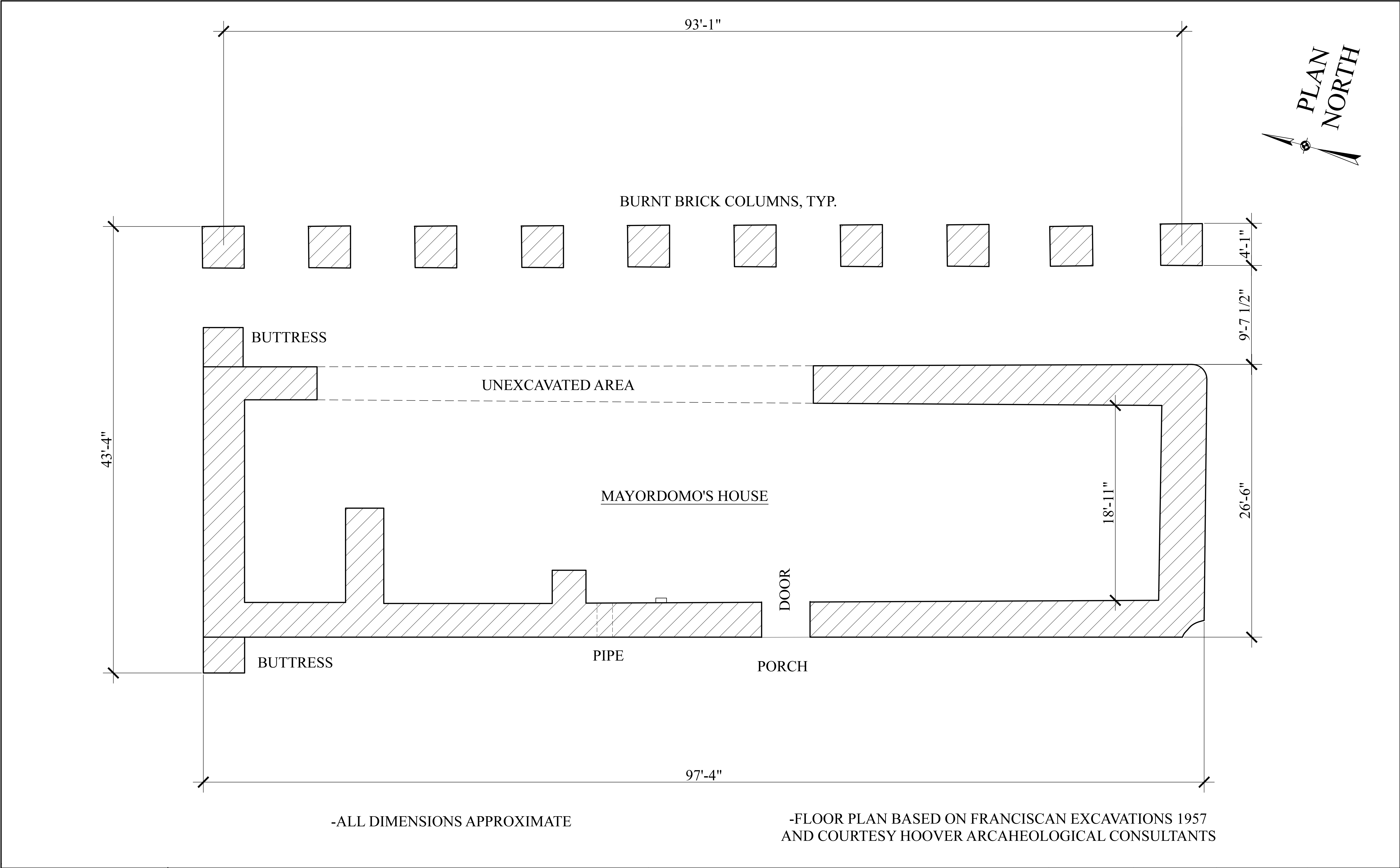
DATE: 6-29-22



SCALE: 1"=40'

SHEET NO.

A-1
OF 5 SHEETS



 <p>• FRANKS & BRENKWITZ, L.P. • ARCHITECTURE • PLANNING • HISTORICAL</p> <p>P.O. Box 597 Aptos, CA 95001 (831) 662-8800</p>	<p>MISSION SAN ANTONIO de PADUA CONSTRUCTION OFFICE DEMO. PROJECT</p>	<p>MAYORDOMO'S HOUSE FLOOR PLAN</p>	<p>REVISION:</p>		<p>DATE: 6-29-22</p> <p>SCALE: 3/16"=1'-0"</p>	<p>SHEET NO.</p> <p>A-2</p> <p>OF 5 SHEETS</p>
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CONSTRUCTION OFFICE:
752 SF HEATED SPACE



Exhibit B

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**Before the Historic Resources Review Board in and for the
County of Monterey, State of California**

Resolution No. 22-008

**ROMAN CATHOLIC BISHOP OF MTY
(PLN220174)**

Resolution by the Monterey County Historic Resources Review Board (HRRB) recommending approval of a Use Permit to allow alterations at the Mission San Antonio de Padua, consisting of: demolition of a circa 1935 caretaker unit; and partial excavation and treatment of the foundations of the historic "Majordomo" residence, which are partially covered by the caretaker unit.

WHEREAS, this matter was heard by the Historic Resources Review Board (HRRB) of the County of Monterey on November 3, 2022, pursuant to 21.54.040.B. and Title 18 Section 18.25.170 of the Monterey County Code.

WHEREAS, the project is located 1 Mission Road, Jolon (Assessor's Parcel Number 201-021-002-000), end of Mission Road, South County Area Plan, and the Mission San Antonio de Padua has been listed on the Monterey County Register of Historic Resources, as a Historical Landmark on the California Register of Historical resources, and on the National Register of Historical Places.

WHEREAS, Brett Brenkwitz (applicants agent) filed with the County of Monterey, an application for a Use Permit to allow alterations at the Mission San Antonio de Padua, consisting of: demolishing a circa 1935 caretaker unit; and partially excavating and treating the foundations of the historic "Majordomo" residence, which are partially covered by the caretaker unit.

WHEREAS, the Mission San Antonio de Pauda is a historical California mission constructed in the early 1800's and re-constructed primarily between 1948 and 1952. The project proposes to demolish the non-contributing 1935 caretaker unit (formerly contractor's office), partially excavate and treat the foundations of the underlying "Majordomo" residence, and install educational signage identifying these foundations.

WHEREAS, a historical resource assessment was previously prepared January 2010 by Architectural Resources Group (ARG) for the entire mission (LIB130010 / Exhibit C). ARG's report indicates that while the unit was built within the period of the significance for the mission between 1810 and 1952, it does not follow its form, and designates it as a non-contributing feature. Such features are described as "*... elements or features that have been remodeled, altered or added after the period of significance (see next section), and where additional alteration would not have a negative effect on the original integrity of the building. In some cases, removal of the noncontributing features has a positive effect on the building's overall integrity.*"

WHEREAS, a phase II historical assessment specifically focused on the proposed project was prepared by Kent L. Seavey dated June 10, 2022. It describes the caretaker unit as a one-story adobe-framed building with a T shaped plan and low pitched red tile roof known as “The Casita”. This report concurs that the 1935 unit is non-contributing, and concludes that it should be deemed a non historic feature. The also describes the current state of the unit as deteriorated: the unreinforced cement foundation is cracked throughout, the floor boards have been riven by pests and dry rot, and mold is present throughout the ceiling and walls. As the caretaker unit lacks both historical significance and integrity, it’s removal would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

WHEREAS, underneath the 1935 caretaker unit are the foundations of the mission’s “Majordmo” residence. The role of the Majordomo (or Mayordomo) as an economic administrator within the mission system was established as early as the 1770’s. Each mission appointed a Majordomo, generally a soldier from the mission guards. They became the accounting manager, oversaw the agricultural and crafting operations, directed work, and reported to the missionary regarding temporal affairs.

WHEREAS, after the demolition of the existing caretakers unit, the project proposes to excavate and partially treat the underlying foundation of the Majordomo residence: the overlying earth on top of the foundations would be excavated; they would then be repaired with a similar material as needed, with the top of the foundation sloped so that water sheds away; the foundations would then be capped with a lime plaster and several layers of lime wash; and a six square foot rustic metal and rustic wood frame sign interpretive sign would be installed.

WHEREAS, this treatment approach would be similar to the foundations of other accessory structures at the mission. It has both a preservation and educational function. The lime wash acts as a sacrificial layer that protects the foundations from the elements and vandalism, and their visibility would allow visitors to better understand they layout and function of mission spaces. The project historian reviewed this approach (Exhibit E) and concluded it was consistent with National Parks Service Preservation Brief #5 on Abohe Buildings and the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

WHEREAS, the excavation would take place in an area the County has mapped as having a high sensitivity to archaeological resources and is approximately 70 feet northeast of the mission graveyard. Therefore, an archaeological report was prepared for the project by Robert L. Hoover, Ph.D., and David N. Hoover, M.A. (LIB220248). Archaeological reports are confidential in order to protect potential archaeological resources, however, the report recommends removal of the 1935 caretaker unit, and recommends excavation work be monitored by qualified archaeological and Salinian tribal cultural monitors. Staff recommends this monitoring be incorporated into the project as conditions of approval. Therefore, as conditioned, revealing these foundations would not adversely affect the historic, archaeological, architectural, or engineering significance of the mission.

WHEREAS, at the conclusion of the hearing, the matter was submitted to the HRRB for a recommendation. Having considered all the written and documentary information submitted, oral testimony, and other evidence presented before the HRRB, the HRRB rendered its decision

to adopt findings and evidence to recommend approval of the Use Permit subject to the following findings:

- Finding: The proposed alteration, as conditioned, does not significantly and adversely affect the historic, archaeological, architectural, or engineering integrity of the resource.
- Finding: The proposed work is found to be consistent with the purposes of Monterey County Code Chapter 18.25 and will neither adversely affect the significant architectural features of the designated resource nor adversely affect the character of historical, architectural, or aesthetic interest or value of the designated resource and its site.
- Finding: The use and exterior of the proposed improvements will not adversely affect and will be compatible with the use and exterior of existing designated historical resources, improvements, buildings, natural features, and structures on such site.

Evidence:

1. Regulations for Historic Resources Zoning Districts or “HR” Districts as contained in Monterey County Code Chapter 21.54.
2. Regulations for the Preservation of Historic Resources as contained in Monterey County Code Chapter 18.25.
3. Draft Focused Historic Structure Report (LIB130010) prepared by Architectural Resources Group (ARG), San Francisco, CA, January, 2010.
4. Phase II historic assessment (LIB220249) prepared by Kent Seavey, Pacific Grove, CA, November 30, 2020.
5. Archaeological Assessment and Recommendations for Contractor’s Office Demolition (LIB220174) prepared by Robert L. Hoover, Ph.D., and David N. Hoover, M.A., 2022.
6. Letter from Brett Brenkwitz dated August 24, 2022.
7. The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN220174.
8. Oral testimony and HRRB discussion during the public hearing and the administrative record.

THEREFORE, it is the decision of the Monterey County Historic Resources Review Board to recommend approval of the Roman Catholic Bishop of Mty Use Permit (PLN220174) subject to the following conditions:

1. A qualified archaeological monitor (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA) shall be present and observe all soil disturbance for all grading and excavation activities. If at any time, potentially significant archaeological resources or intact features are discovered, the monitor shall temporarily halt work until the find can be evaluated by the archaeological monitor. If the find is determined to be significant, work shall remain halted until a plan of action has been formulated, with the concurrence of HCD-Planning, and implemented.

2. To ensure that Tribal Cultural Resources incur a less than significant impact if encountered, a Tribal Monitor approved by the appropriate tribe traditionally and culturally affiliated with the vicinity of the subject parcel and that has consulted with the County and designated one lead contact person in accordance with AB 52 requirements, or other appropriately NAHC-recognized representative, shall be on-site and observe all project-related grading and excavation to identify findings with tribal cultural significance. This Tribal Monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If resources are discovered, the owner/applicant/contractor shall refer to and comply with HCD-Planning Standard Condition PD003(B) as applicable. This mitigation is not intended to alleviate responsibility of the owner or its agents from contacting the County Coroner and complying with State law if human remains are discovered.

Passed and adopted on this **3rd day of November 2022**, upon motion of Kellie Morgantini and seconded by Salvador Munoz, by the following vote:

AYES: Judy MacClelland, John Scourkes, Salvador Munoz, Sheila Lee Prader, Michael Bilich, Belinda Taluban, Kellie Morgantini

NOES: None

ABSENT: None

ABSTAIN: None

DocuSigned by:
Philip Angelo
16955456DE57483...

Attest

Philip Angelo, HRRB Secretary
November 3, 2022

Exhibit C

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KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

June 10, 2022

Monterey County Housing &
Community Development Office
1441 Schilling Place, South 2nd Floor
Salinas, CA 93901

To whom it may Concern:

Thank you for the opportunity to review the proposed removal of a non contributing c. 1935 construction office on the grounds of the Mission San Antonio de Padua, 1 Mission Rd. (APN#s 201-021-000 & 002) in Southern Monterey County. The proposed removal is in order to continue the archeologic investigation and preservation of the original historic c. 1840 mission *Majordomo*'s residence, on which the c.1935 non contributing building partially rests (see maps & drawings provided).

The subject property was constructed during the Great Depression for a building contractor overseeing restoration work on the mission buildings. It was later employed as office space for the mission priests. It was not associated with Works Progress Administration (WPA), or the State Emergency Relief Administration's (SERA) Depression emergency federal & state relief programs.

The subject property is a small, one-story, single-wythe, adobe-brick framed building, using cement as mortar. It is "T" shaped in plan. Commonly known as the "Casita", its low-pitched red-tiled roof was framed with both milled, and round wood members. The roof framing members pass through the top of the adobe walls, and there is no continuous structural wood roof plate tying the walls together. The floor-boards are only about 3 to 4 inches above the soil and the base of the building envelope has been riven by varmint's over time (see structural engineer's report by Urefer & Assoc., provided). The unreinforced cement foundation is cracked throughout and flooring is affected by both dry rot and mold. The kitchen was the contractor's original office. The bathroom & laundry later additions, with aluminum framed windows (see photos provided).

HISTORIC PRESERVATION MUSEUM INTERPRETATION

The missions were the “Wallmarts” of Spanish/Mexican California, as Mexico was never on time supplying the basic goods for normal living to the settlement. These goods & materials were developed by the missions through the efforts of the clergy and the neophytes, for food, clothing, construction and transportation. For this commerce the missions required accounting systems to pay their bills, including the salaries for civil guards, needed goods from other missions, and barter with visiting trading ships when available. Their system within the individual missions was through a *Majordomo*, or *Mayordomo*, generally speaking a selected soldier of the mission guards who became the accounting manager for goods purchased and sold from the mission properties and needed fees for artisans and craftsmen.

As early as the 1770s the economic management of each mission was exercised through their *Majordomos*. As recorded in Robert Archibald’s excellent text, *The Economic Aspects of the Missions*, “It was his job to assign Indians to their tasks each morning, oversee livestock and agriculture, supervise workshops and report to the missionary of temporal affairs. He hired artisans and craftsmen to instruct neophytes in the development of particular skills.”

This individual and his family generally had a household that was more warehouse and shops than a simple adobe. Such was the case with residence of Mission San Antonio’s *Majordomos*, that can be seen at far left in the c. 1850 drawing by an unknown artist, and is clearly present in form in the 1927 map by H.F. Cozzens & Wm. Davis, noting storerooms in the building envelope (see drawings & plans provided).

What is clear from the above, is that the foundations of Mission San Antonio de Padua’s *Majordomo*’s residence, as an archeological and historical resource for the better understanding of the economic underpinnings of the mission system, are far more significant to the history of the region than the altered, remains of a mid-twentieth century non contributing contractors office, overlaying the remains of the original c. 1840s feature. The removal of the former office, which lacks both physical integrity and historic significance, will not cause a significant adverse effect on the remains of the *Majordomo*’s residence or its environment.

The foundation and footings of the *Majordomo*’s residence retain a sufficient degree of physical integrity, as constructed c. 1840, to evoke a strong sense of time and place and of feeling and association with its important role in the practical operations of the missions function and purpose. CEQA states in CCR Section 15064.5 (2)(b) that the degree of potential adverse change to an identified non contributing feature, like the contractor’s office, can be considered “proportionate to the level of significance of an historic resource” based on its relative importance to history. As noted above the archaeological feature clearly supersedes the c.1935 office in its value to history’.

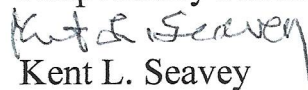
NOTE: The California Religious Land Use and Institutionalized Persons Act of 2000 (42 U.S.C. & 2000cc) generally stipulates that no government shall impose or implement a land use regulation in a manner that imposes a substantial burden on the religious exercise of a person including religious assembly or institution (this includes a land marking regulation on a religious entity).

COCLUSION:

The subject property retains a sufficient degree of physical integrity as constructed c. 1840 and subsequently stabilized as an archeologic feature in the historic interpretation of the Mission San Antonio de Padua, to evoke a strong sense of time and place and of feeling and association with the founding and subsequent expansion of the Catholic Mission chain in Alta California.

It is my professional opinion, based on the evidence provided, that the research and interpretive potential of the *Majordomo's* residence is far more important to the cultural history of the Mission San Antonio de Padua's evolution over time than retention of the altered c. 1935 contractor's office, which should be deemed a non historic feature.

Respectfully submitted:


Kent L. Seavey

BIBLIOGRAPHY

Archibald, Robert, *The Economic Aspects of the California Missions*, Academy of American Franciscan History, Washington, D.C., 1928.

Monterey Co. Assessor's records, Mo. Co. Assessor's off., Salinas.

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National Register Bulletin 16A: How to Complete the National Register Registration Form. U.S. Dept. of the Interior, National Park Service.

Schuetz-Miller, Mardith K., *Buildings and Builders in Hispanic California 1769-1850*, Southwestern Mission Research Center: Tucson, AZ, 1994.

Smith, Frances Rand, *The Mission of San Antonio de Padua (California)*, Stanford University Press: Stanford Univ., California, 1932.

Weeks, K.D., & Grimmer, A.E., *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Building*, Washington, D.C.: National Park Service, 1995.



Photo #3. Looking at interior ceiling mold, found throughout bldg. Kent Seavey, June, 2022.



Photo #4. Looking at typical cement foundation failure in living room, Kent Seavey, June, 2022.

Mission San Antonio de Padua
c.1935 Contractor's Office

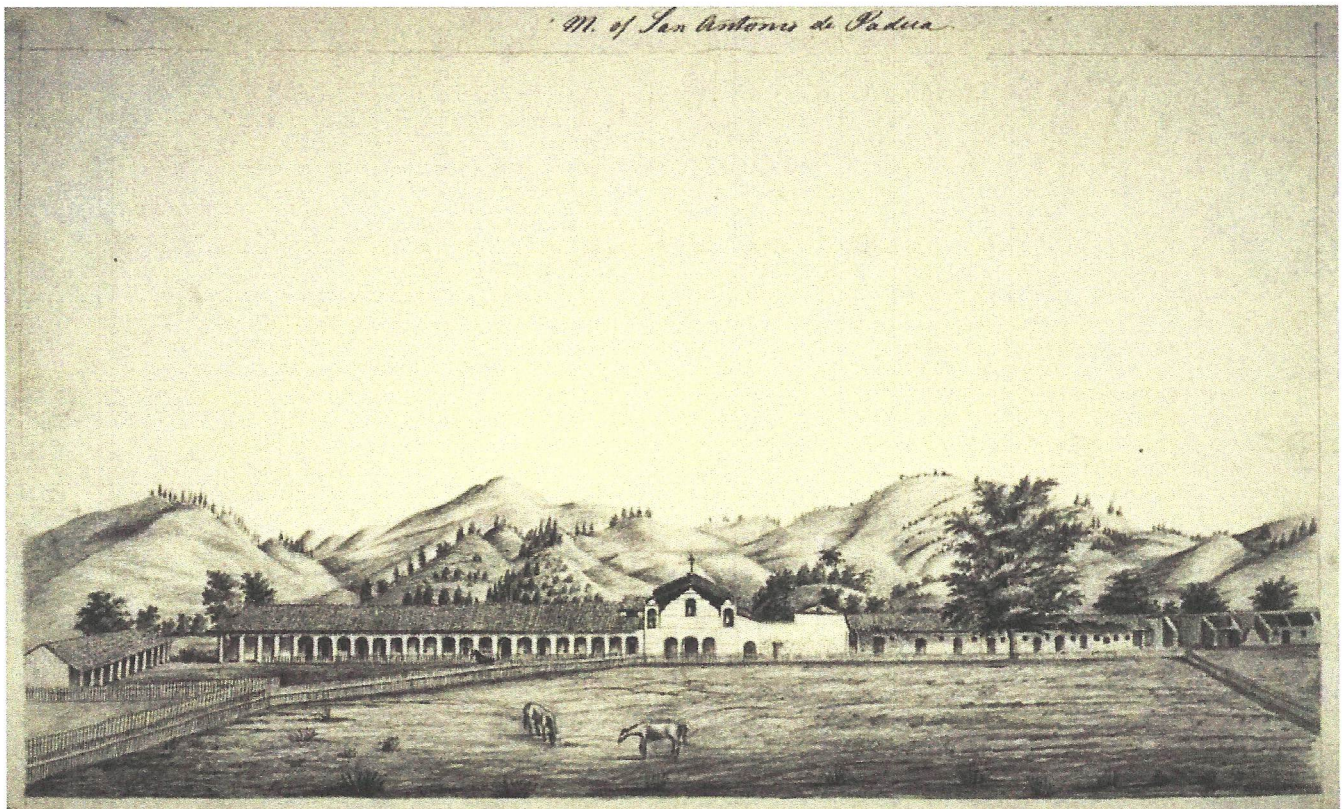


Photo #1. Looking East at the SW side-elevation of the Contractors Office, note mold, left & aluminum window, right, Kent Seavey, June, 2022.
(Note: roof tile to be repurposed covering cemetery wall.)



Photo #2. Looking NW at interior wall cladding, note single wythe adobe brick and use of cement mortar, Kent Seavey, June, 2022.

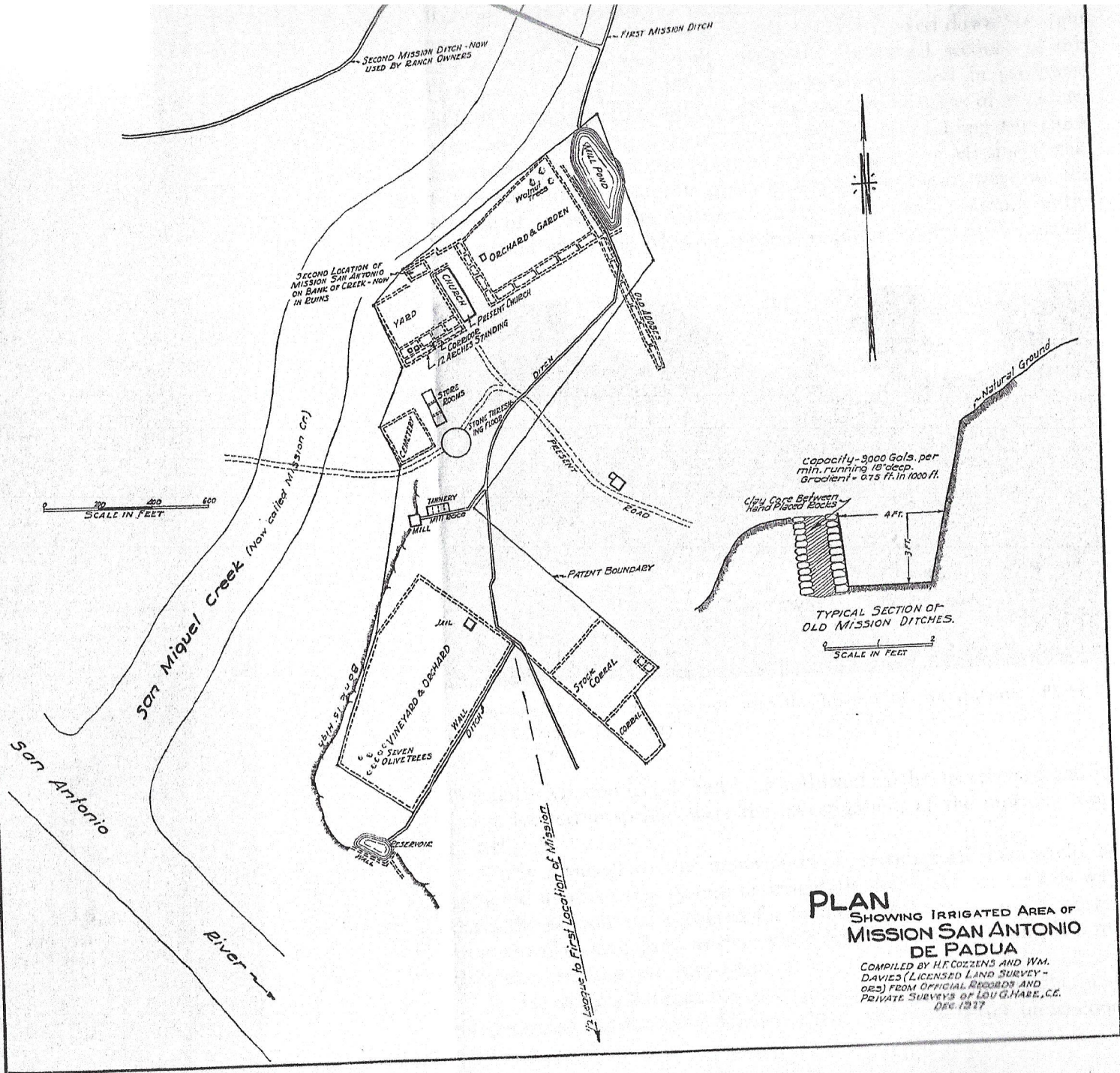
1821



[Save](#) 4

Mexico achieves its independence from Spain.

The drawing above is the earliest depiction of San Antonio Mission that I've been able to find. It is undated, but was drawn in 1850.



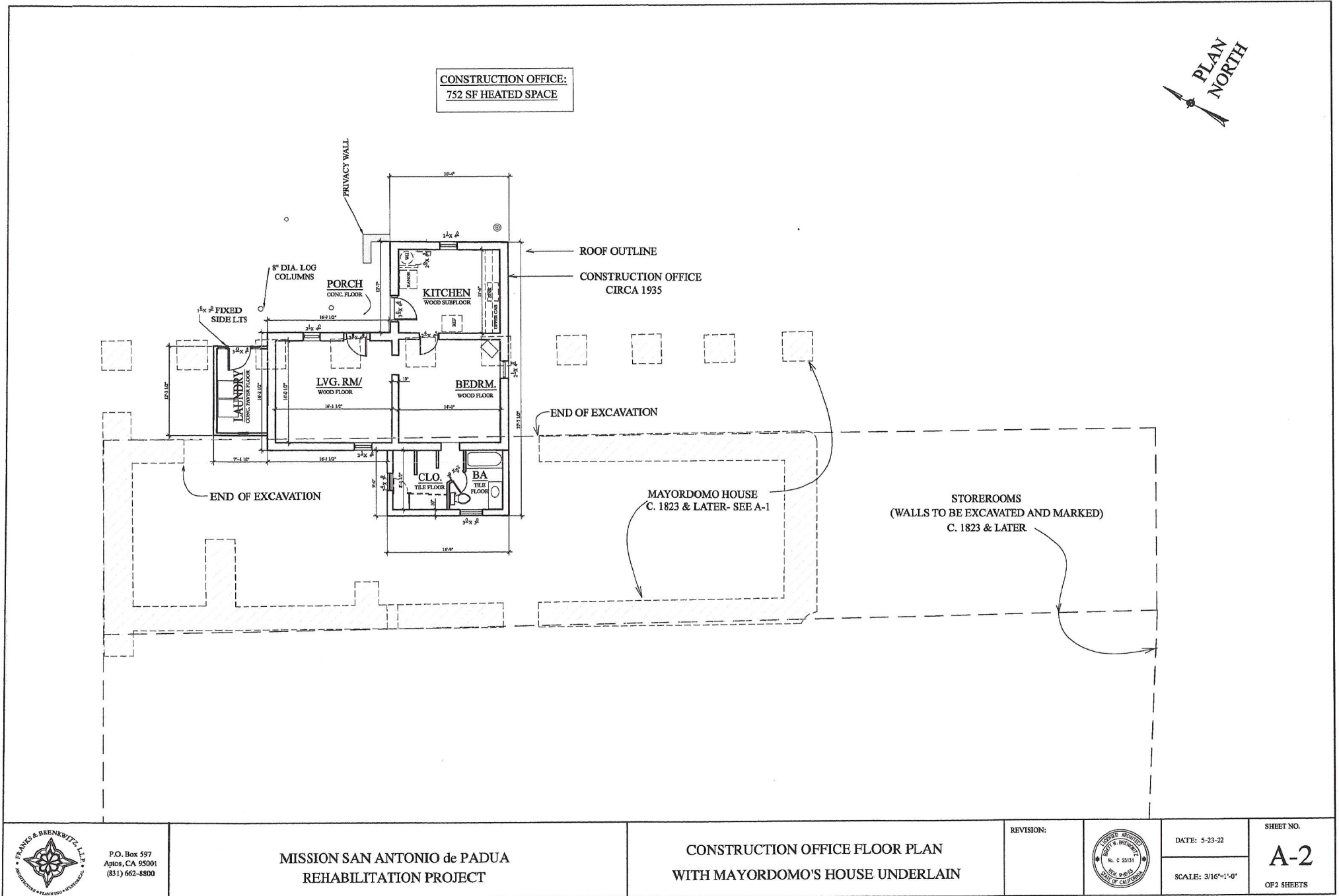
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tainable. Palóu
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No. 14 (Monte
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Russell Dutton
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The location
was obtained for
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and the westerly
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"Palóu's His-
of December, 177
of Monterey," H



P.O. Box 597
Agree, CA 95001
(831) 662-8800

MISSION SAN ANTONIO de PADUA
REHABILITATION PROJECT

CONSTRUCTION OFFICE FLOOR PLAN
WITH MAYORDOMO'S HOUSE UNDERLAIN

REVISION:



DATE: 5-23-22

SCALE: 3/16"=1'-0"

SHEET NO.

A-2

OF 2 SHEETS

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Exhibit D

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FRANKS & BRENKWITZ, LLP
ARCHITECTURE + PLANNING + HISTORICAL
PO Box 597, Aptos, CA 95001-0597
Phone (831) 662-8800

To: Phil Angelo, Associate Planner Monterey County
1441 Schilling Place, South 2nd Floor
Salinas, CA 93901

Re: PLN220174

Date: 8-24-22

Message: Dear Phil: per your 8-22-22 e-mail, here are our responses (in red) to your questions below:

- For the signs, could you just confirm the height/materials would be similar to the other directional/labeling signs onsite?

The new sign will exactly match the other directional / labeling on-site signs which consist of a rusted metal that has water-jet cut-out letter and numbers, all encased in a rustic wooden frame with posts into the ground. The height would be similar to the existing signs as well.

- For revealing the foundations, could you detail what the planned scope is. Would they be revealed and left as they are? Revealed and capped with the white plaster similar to other foundations in the Mission, etc.?

The foundation elements are adobe and so would be revealed via minor grading and then capped with plaster, similar to other revealed foundations on campus. After they are revealed, adobe consolidation would be performed (with tops slightly sloping away to shed water) with similar materials, and then a layer or two of lime plaster (NHL 3.5) would be applied. After this cures, several coats of lime wash would then be applied. This forms a "sacrificial" layer that still allows the adobe to "breathe" and not seal in water. Maintenance will need to be ongoing every few years to restore the lime wash as needed.

- For the approach taken with the foundations, could you provide some analysis on whether this is consistent with the secretary of the interior standards and if so under what treatment approach? (preservation, rehabilitation, etc.) This can be a letter or addendum email. I re-read Kent's historical report and it addresses the demolition of the contractors office in detail but I think the County's staff report should also address whether revealing the foundations would have a long term impact on their integrity, and if so, how that impact is addressed.

The Project Historian replied:

Dear Mr Brenkwitz

Your proposal for the treatment of the exposed foundations of the Mayordomo's Hse. at Mission San Antonio is consistent with the National Parks Service Preservation Brief #5 on Adobe Buildings. As noted your capping with a lime plaster should be preceded with repair, only as needed, of the foundation adobes with a material similar in nature to the actual bricks, which will probably be found on site as that was what the place was constructed with c 1850. The lime plaster you mention can then be employed to both protect the surface of the feature and dissuade visitors damaging the walls.

As a continuing treatment it would be useful to institute a program to rid the the foundations of all plant, insect and animal pests as possible and take preventative measures against their return. seedlings should be removed when found and any existing large plant carefully removed so their roots cannot dislodge adobe material. Regarding pests and insects, any pest control chemicals should be examined carefully in order to assess the immediate and long lasting effects of the chemicals on the building material, both for minimizing an damaging effect on the adobe itself, but also for reasons of human and environmental safety. These actions, with scheduled inspection and maintenance should insure the long term integrity of the building fabric, as called for in the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Kent Seavey, state certified historian and architectural historian

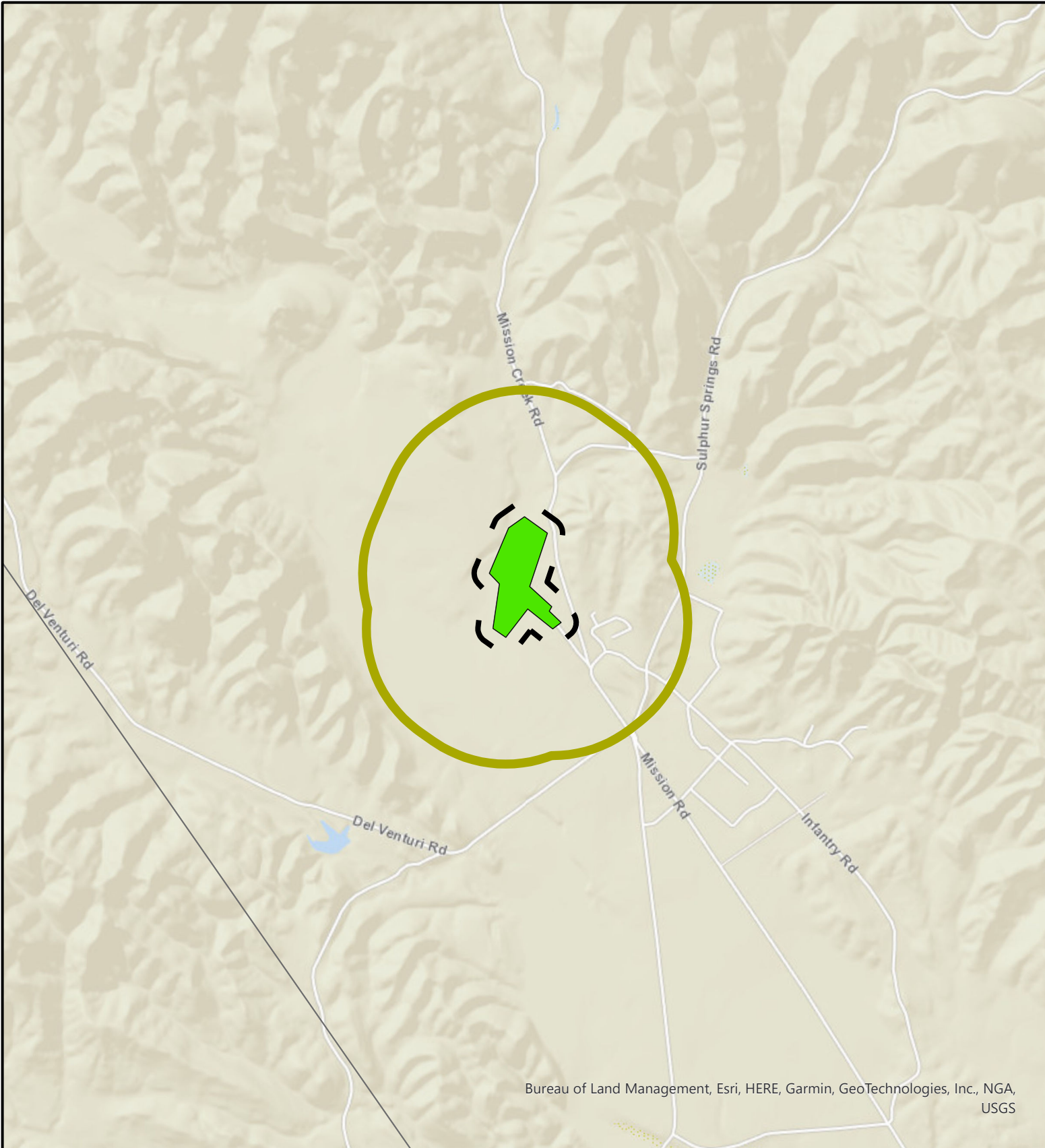
Respectfully,



Brett Brenkwitz, Principal

Exhibit E

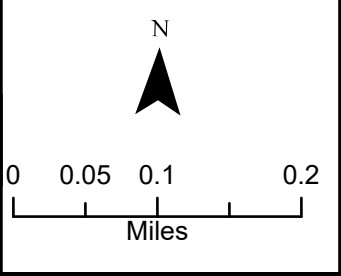
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APPLICANT: ROMAN CATHOLIC BISHOP
OF MONTEREY

APN: 201-021-002-000 FILE# PLN220174

 2500' Buffer  Selected Parcel  300' Buffer



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County of Monterey

Item No.6

Board Report

Board of Supervisors
Chambers
168 W. Alisal St., 1st Floor
Salinas, CA 93901

Legistar File Number: PC 22-110

January 11, 2023

Introduced: 12/8/2022

Current Status: Agenda Ready

Version: 1

Matter Type: Planning Item

MONTEREY COUNTY PLANNING COMMISSION NOMINATION COMMITTEE

Appointment by current Planning Commission Chair of a Nominating Committee for 2023 Chair and Vice Chair positions