

Exhibit A

This page intentionally left blank.

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

WOLOVSKY KATHERINE (PLN220043)

RESOLUTION NO. ---

Resolution by the Monterey County Planning
Commission:

- 1) Certifying that an Addendum has been considered together with the Potrero Subdivision (Phase E) of the Santa Lucia Preserve, (SCH Number 2002051095) pursuant to CEQA Guidelines Section 15164;
- 2) Approving a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval for the construction of an approximately 3,794 square foot one-story single family dwelling with an attached 407 square foot one-car garage, 753 square foot detached garage with attached 420 square foot workshop, 819 square foot detached non-habitable accessory structure, 1,430 square feet of covered porches and associated site improvements. Grading consists of approximately 512 cubic yards of cut and 530 cubic yards of fill; and
 - b. Use Permit to allow removal of 2 landmark Coast Live Oak trees.

[PLN220043, Katherine Wolovsky, 2 Wild Boar Run, Carmel, (Santa Lucia Preserve – Lot E1), Carmel Valley Master Plan, (Assessor’s Parcel Number: 239-102-004-000)]

The WOLOVSKY KATHERINE application (PLN220043) came on for a public hearing before the Monterey County Planning Commission on March 29, 2023. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- The 2010 Monterey County General Plan;
 - Carmel Valley Master Plan;
 - Monterey County Zoning Ordinance (Title 21); and
 - The Potrero Subdivision, Planning File No. PLN010001, Resolution No. 05-046

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The 22.67-acre parcel is located at 2 Wild Boar Run, Carmel, (Assessor's Parcel Number 239-102-004-000), Santa Lucia Preserve Phase E within the Carmel Valley Master Plan area. The parcel is zoned Rural Grazing with a maximum gross density of one unit/10 acres with Design Control, Site Plan Review and Residential Allocation Zoning District overlays or "RG/10-D-S-RAZ", which allows one single family dwelling and accessory structures per legal lot of record. The project is a Combined Development Permit consisting of an Administrative Permit and Design Approval to allow the construction of a 3,794 square foot one-story single family dwelling with an attached 407 square foot one-car garage, 753 square foot detached garage with an attached 420 square foot workshop, 819 square foot detached non-habitable accessory structure, 1,430 square feet of covered porches, associated site improvements and Use Permit for removal of two (2) landmark Coast Live Oak trees. Grading consists of approximately 512 cubic yards of cut and 530 cubic yards of fill. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The property is shown in its current configuration as Lot 1 as shown on the Map of Tract No. 1443, "Santa Lucia Preserve Phase E," filed for record on July 13, 2005 (Volume 23, Cities and Towns, Page 7). Therefore, the County recognizes the parcel as a legal lot of record.
- d) Development Standards. The development standards for the RG zoning district are identified in Title 21 Section 21.32.060. Required setbacks for main dwellings are 30 foot (front), 20 foot (sides), and 20 foot (rear) and the minimum distance between accessory and main structures are 10 feet. The maximum allowed height is 35 feet. As proposed, the one-story single family dwelling with an attached one-car garage meets and exceeds all setbacks. Height of the dwelling is 17 feet 10 inches from average natural grade which is below the maximum allowed.

Required setbacks for non-habitable accessory structures are 50 foot (front), 6 foot (sides), and 6 foot (rear) and the distance between accessory structures is 6 feet. The maximum allowed height is 35 feet. As proposed, the two detached accessory structures meet and exceed all required setbacks. Height of the detached garage with an attached non-habitable accessory structure is 14 feet 5 inches, and the detached non-habitable accessory structure is 15 feet 4 ½ inches (from average natural grade) which both are below the maximum allowed. The proposed structures are located within the "homeland boundary" or designated

building envelope on the property. The applicant has complied with all setback and height requirements pursuant to the Monterey County Code (MCC).

- e) Site Coverage. Pursuant to Title 21 Section 21.34.060.D, the maximum allowed site coverage is 5 percent. The property is 22.67-acres or approximately 987,505 square feet, which allows site coverage of 49,375.25 square feet. The proposed project results in site coverage of 7,623 square feet which equals 0.77 percent. Thus, the project coverage is within the maximum thresholds allowed.
- f) Design/Neighborhood and Community Character. Pursuant to Title 21 Chapter 21.44, the project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 3 and supporting evidence, the new single family dwelling with attached garage and two detached accessory structures are consistent with the purpose and regulations of the Design Control District.
- g) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, which is intended to provide regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application. The project is proposed within a designated homeland boundary and has been appropriately sited to minimize impact to slopes in excess of 30% and removal of protected trees. A fuel management plan was included in the application which included measures to maintain vegetation surrounding the home to reduce fire hazards. A geotechnical report was prepared for the project which analyzed the soil conditions of the site and determined it was suitable for the development of a single family home with detached accessory structures.
- h) Santa Lucia Preserve. The project site is located within the Santa Lucia Preserve. See Finding No. 5 with supporting evidence below.
- i) Tree Removal. The project proposes to remove two landmark Coast Live Oak trees. Pursuant to Title 21 section 21.64.260.D.2, this entitlement includes a Tree Removal Permit. See Finding No. 5 and supporting evidence below.
- j) Land Use Advisory Committee (LUAC) Review. Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application does not require LUAC review because no LUAC operates in this area.
- k) The project planner conducted a site inspection on November 16, 2022, to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services,

HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District (FPD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to tree resources and soils. The following reports have been prepared:
 - “Arborist Report” (LIB220155) prepared by Ono Consulting, Pacific Grove, CA, March 25, 2021.
 - “Lot-Specific Fuel Management Plan” (LIB220156) prepared by Carol Rice, Fire Ecologist, CA, May 11, 2021.
 - “Soil Engineering Investigation Report” (LIB220157) prepared by LandSet Engineers, Inc., Salinas, CA, May 21, 2021.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.
- c) Staff conducted a site inspection on November 16, 2022, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

- 3. FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- EVIDENCE:**
- a) Pursuant to Chapter 21.44 of Title 21 of the Monterey County Code (MCC), the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) Neighborhood Character. The proposed single family dwelling is comparable in size and appearance to other dwellings in the vicinity. The project includes construction of a one-story single family dwelling with attached garage and detached non-habitable accessory structures on a vacant lot within the Santa Lucia Preserve. Height, setback, coverage, and floor area limitations are all complied with.
 - c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the area’s setting and surrounding residences. The single family dwelling is designed to reflect a contemporary style architecture that matches the surrounding neighborhood. Proposed colors and materials of the main structure include a mix of light gray and cream stucco exterior siding, natural Douglas Fir wood trim and eaves, black metal framed windows and doors with accents of light gray limestone veneer. Cedar wood is proposed for the garage doors. Roofing material consists of bronze seam metal with mounted solar photovoltaic

systems proposed over flat roof areas. All detached accessory structures will be designed to match the main structure. Landscape lighting fixtures consist of metal nickel-plated downlit pillar and round-mounted path lights which complies with the Monterey County lighting ordinance. Exterior lighting for the main residence and accessory structures have been made a condition of approval for the project (Condition No. 10). The project also includes a formal landscape plan and fuel management plan. Site improvements consist of a seeded gravel driveway, concrete retaining walls, and patios with stabilized granite pathways. The proposed exterior finishes described above are designed to be fire resistant to ensure building safety, blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood.

- d) Visual Resources. The site was staked and flagged, and a site visit was conducted to verify the visual integrity of the proposed development. The single family dwelling with detached accessory structures are situated amongst the existing mature Coast Live Oak trees on the property and are subordinate to the natural features of the area. Staking and flagging were not visible when driving from either direction along Carmel Valley Road. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) The project planner conducted a site inspection on November 16, 2022, to verify that the project on the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN220043.

4. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional (FPD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. The applicant submitted a letter from the Santa Lucia Community Services District (CSD) dated April 6, 2022, indicating sufficient water flow and pressure to serve the subject parcel. The CSD General Manager also reviewed and approved

the proposed landscape and outdoor water use design. The parcel will be served by two on-site wastewater treatment systems, 2,000-gallon to serve the main residence and detached garage with attached accessory structure and 1,500-gallon to serve the detached non-habitable accessory structure, which was reviewed and approved by the Environmental Health Bureau on November 1, 2022.

- c) The subject parcel is located within a State Responsibility Area classified as having a very high fire hazard. The construction of the new single family dwelling is designed to be a fire-resistant structure that meets current fire and building code standards. The project also includes a Fuel Management Plan to ensure fire safety regulations are met for the proposed construction. See Finding No. 3, Evidence “c” above.
- d) The parcel has a designated building envelope referred to as the homeland boundary that was established when the subdivision was created for the purpose of minimizing Oak tree removal and potential impacts from debris flow (Board of Supervisors Resolution No. 05-046). The purpose of this boundary is to ensure future development would not encroach within the conservation easement over sloped areas surrounding the parcel.
- e) Staff conducted a site inspection on November 16, 2022, to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

5. FINDING: POTRERO SUBDIVISION (PHASE E): TREE REMOVAL –
The project is consistent with all tree removal conditions pursuant to Use Permit PLN010001 (Resolution No. 05-046) for the Potrero Subdivision.

- EVIDENCE:**
- a) Carmel Valley Master Plan Policy CVMP-3.11 indicates removal of healthy, native oak, madrone, and redwood trees in the planning area shall be discouraged. (Title 21) section 21.64.260 – Preservation of Oak and Other Protected Trees, provides implementing regulations for this policy.
 - b) In 2003, a Use Permit was approved in connection with the approval of the Potrero Subdivision (Phase E) of the Santa Lucia Preserve, for the removal of up to 295 oak trees associated with development of lots and infrastructure in the subdivision (PLN010001, Resolution No. 05-046). The Wolovsky project is located on Lot E1 within the Potrero Subdivision. The Maximum Tree Removal Chart allocated zero trees for residential development within the homeland boundary on Lot E1. Two trees are proposed for removal, therefore, the tree amount indicated for the property does not meet the amount approved for the site, according to the Maximum Tree Removal List (Condition No. 25). Removal of 2 Coast Live Oak trees for this project would bring the overall total authorized tree removal within the Potrero Subdivision to 193 trees. Condition No. 25 of the Use Permit for tree removal within the Potrero Subdivision does not allow tree removal that exceeds the amount shown on the Maximum Tree

Removal Chart within the Potrero Subdivision without the benefit of a Use Permit approved by the Planning Commission. This resolution includes findings for granting the required Use Permit for removal of two additional trees.

- c) Approval of a Use Permit for removal of trees in excess of the amount allotted is subject to regulations for removal of Oaks and other protected trees (Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21) and shall also comply with Condition No. 28 in (Mitigation Measure No. 11.8 in Use Permit PLN010001 (Resolution No. 05-046)) which limits Oak tree removal to no more than 25% of all Oak trees within the home-land boundary. Tree removal requires making a finding that the tree removal is the minimum required under the circumstances of the case and that the removal will not involve a risk of adverse environmental impacts. The project proposes the removal of 2 landmark Coast Live Oak trees at 48” (tree #1807) and 84” (tree #1802) in diameter due to poor condition and health, as well as pruning of several existing adjacent Oak trees. An Arborist Report (LIB220155) was prepared by Ono Consulting for the proposed tree removal. The report identified the trees proposed for removal are considered “landmark trees” which are defined as being 24 inches or more in diameter when measured two feet above the ground, or trees which are visually significant, historically significant, or exemplary of their species. The Arborist categorized the existing condition of the project site to be a declining uneven-aged and fragmented Oak woodland forest surrounded by open grassland. Several trees on site are exhibiting signs of internal decay due to insect infestation which is affecting the structural integrity of the trees. Additionally, tree crown dieback was noted and believed to be caused by several years of below-average rainfall. However, only two trees were recommended for removal because the 84” Oak has a decaying base which poses a safety hazard, and the 48” Oak is adjacent to the proposed single family dwelling and already showing signs of poor health. Recommended tree replacement will be at a ratio of 5:1 for landmark trees. The removal of 2 landmark Oak trees will be replaced by 10 trees as recommended by the arborist and to compensate for possible failure of some new trees to achieve the 90% success rate (Condition No. 9). Staff has reviewed the forester recommendations which include trimming of trees, it will be implemented part of the project (See Exhibits D and E).
- d) A condition of project approval (Condition No. 9) has been applied to the project, requiring the applicant to submit evidence of tree replacement as well six months after the replacement to submit evidence demonstrating that the replacement trees are in a healthy growing condition. The condition also requires the applicant to submit a letter prepared by a County-approved tree consultant reporting whether or not the tree replacement was successful.

- e) Existing trees not being removed shall be protected through construction. The County's tree protection condition has been applied to the project as Condition No. 8, requiring the applicant to wrap and protect trees not being removed during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree Resources Assessment prepared for the project.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

6. FINDING: CEQA (Addendum) – An Addendum to a previously certified EIR was prepared in accordance with CEQA Guidelines Section 15164 to reflect changes or additions in a project that do not cause substantial changes or new information that would require major revisions to the adopted SEIR.

- EVIDENCE:**
- a) A Supplemental Environmental Impact Report (SEIR) for the Potrero Area Subdivision within the Santa Lucia Preserve was prepared and certified by the Board of Supervisors in 2003 (SCH Number 2002051095).
 - b) An Addendum to the Environmental Impact Report for the Potrero Subdivision was prepared for this project pursuant to California Code of Regulations, Title 11 Section 15162 (CEQA Guidelines), and none of the conditions detailed in Section 15162 requiring the preparation of a subsequent EIR or Negative Declaration have occurred. Unless the lead agency determines that substantial changes are proposed which require major revisions to the previously certified EIR or substantial changes occur with respect to the circumstances under which the project was approved that result in new significant environmental effects, no subsequent environmental review is required. In this case, no new information has been presented to warrant further environmental review. The structures and tree removal are within the designated building envelope, and tree removal is within the overall amount analyzed for the subdivision. An addendum to the previously certified EIR has been prepared to reflect the removal of two trees on Lot E1 of the subdivision. This change does not alter the conclusions within the SEIR and does not trigger substantial revisions to the previously certified SEIR.
 - c) There have been no substantial changes in the project, no changes in circumstance, and no new information which would require major revisions to the previous SEIR. The SEIR considered the potential for residential development within the homeland boundaries for each of the 29 lots created. The subject project includes residential development within the homeland boundary on one of those lots. The increase in two additional trees does not result in new or substantially more severe impacts. Tree removal counts are still within the total number of trees analyzed in the SEIR (295 trees).

- d) The project includes development of a single family dwelling with attached garage and two detached non-habitable structures on a lot intended for residential use will not have a significant effect on the environment and impacts to forest resources will remain consistent with the impacts identified as part of the approval of the subdivision with the minor revisions to reflect the two additional trees.
- e) Tree replacement requirements from for the Santa Lucia Preserve Phase E (Condition No. 39 in Use Permit PLN010001) have been incorporated as project conditions. A total of 10 trees will be replanted. This amount represents a 5:1 replacement ratio for landmark trees as recommended by the arborist (Condition No. 9).
- f) No adverse environmental effects were identified during staff review of the development application during a site visit on November 16, 2022.
- g) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

7. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on November 16, 2022, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN220043.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: Board of Supervisors. Pursuant to Title 21 Section 21.80.050.A, an appeal of the Planning Commission’s approval for this project may be made to the Board of Supervisors by any public agency or person aggrieved by their decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 2. Certify that they considered an Addendum together with the Potrero Subdivision (Phase E) of the Santa Lucia Preserve (SCH Number 2002051095) pursuant to CEQA Guidelines Section 15164;
- 3. Approve a Combined Development Permit consisting of:

- a. Administrative Permit and Design Approval for the construction of an approximately 3,794 square foot one-story single family dwelling with an attached 407 square foot one-car garage, 753 square foot detached garage with attached 420 square foot workshop, 819 square foot detached non-habitable accessory structure, 1,430 square feet of covered porches and associated site improvements. Grading consists of approximately 512 cubic yards of cut and 530 cubic yards of fill; and
- b. Use Permit to allow removal of 2 landmark Coast Live Oak trees.

All of which are in general conformance with the project plans and subject to the conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March 2023, upon motion of Commissioner _____, seconded by Commissioner _____, by the following vote:

AYES:
 NOES:
 ABSENT:
 ABSTAIN:

Craig Spencer, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD'S OFFICE ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

- 1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220043

1. PD001 - SPECIFIC USES ONLY

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN220043) allows the construction of an approximately 3,794 square foot one-story single family dwelling with an attached 407 square foot one-car garage, 753 square foot detached garage with attached 420 square foot workshop, 819 square foot detached non-habitable accessory structure, 1,430 square feet of covered porches, associated site improvements, removal of 2 landmark Oak trees, and grading consisting of approximately 512 cubic yards of cut and 530 cubic yards of fill. The property is located at 2 Wild Boar Run, Carmel, (Assessor's Parcel Number 239-102-004-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 239-102-004-000 on March 29, 2023. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0006 - CARMEL VALLEY

Responsible Department: HCD-Engineering Services

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: HCD-Engineering Services

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

6. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

7. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

8. PD049 - TREE AND ROOT PROTECTION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

9. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 5:1 Oak trees
 - Replacement ratio recommended by arborist: Two landmark sized trees (greater than 24" diameter) need removal, therefore a total of 10 replacement trees are required by the guidelines for the removal of two landmark size trees.
 - Other: Once the tree removal and fuel management plans have been completed the planting areas will be selected for optimum success and planted in those areas with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

10. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

12. PD016 - NOTICE OF REPORT

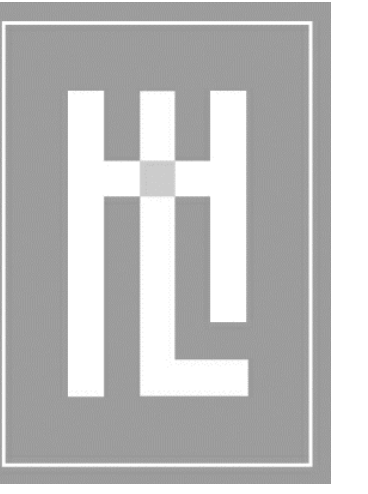
Responsible Department: HCD-Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (Library No. LIB220155), was prepared by Ono Consulting on March 25, 2021, A Lot-Specific Fuel Management Plan (LIB220156) prepared by Carol Rice on May 11, 2021, A Soil Engineering Investigation Report (LIB220157) prepared by LandSet Engineers on May 21, 2021, and are on file in Monterey County HCD - Planning. All development shall be in accordance with this report."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

WOLOVSKY RESIDENCE



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 09.12.2022

SCALE:

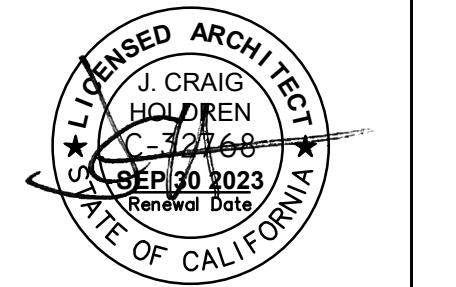
DRAWN: DWD

JOB NUMBER: 19.22

REVISION

PLANNING CONDITIONS
07.29.2022

PLANNING REV'S
02.01.2023



COVER SHEET, PROJECT DATA

WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A0.0

GENERAL NOTES

- CONTRACTOR LICENSE. THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE, AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL. IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS. UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL NOTICES/CODE COMPLIANCE. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS. (2007 C.B.C.)
- RESPONSIBILITY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, LOCAL, STATE & COUNTY SAFETY REGULATIONS.
- INSURANCE. LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTOR LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION. THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS / DAMAGES / LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANUP. THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS. PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GULCH LAMINATED BEAMS AND PREFABRICATED TRUSSES, WINDOW & DOORS, FINISH CARPENTRY. SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
- CHANGE ORDERS. NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION BRACING & SHORING. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS. ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

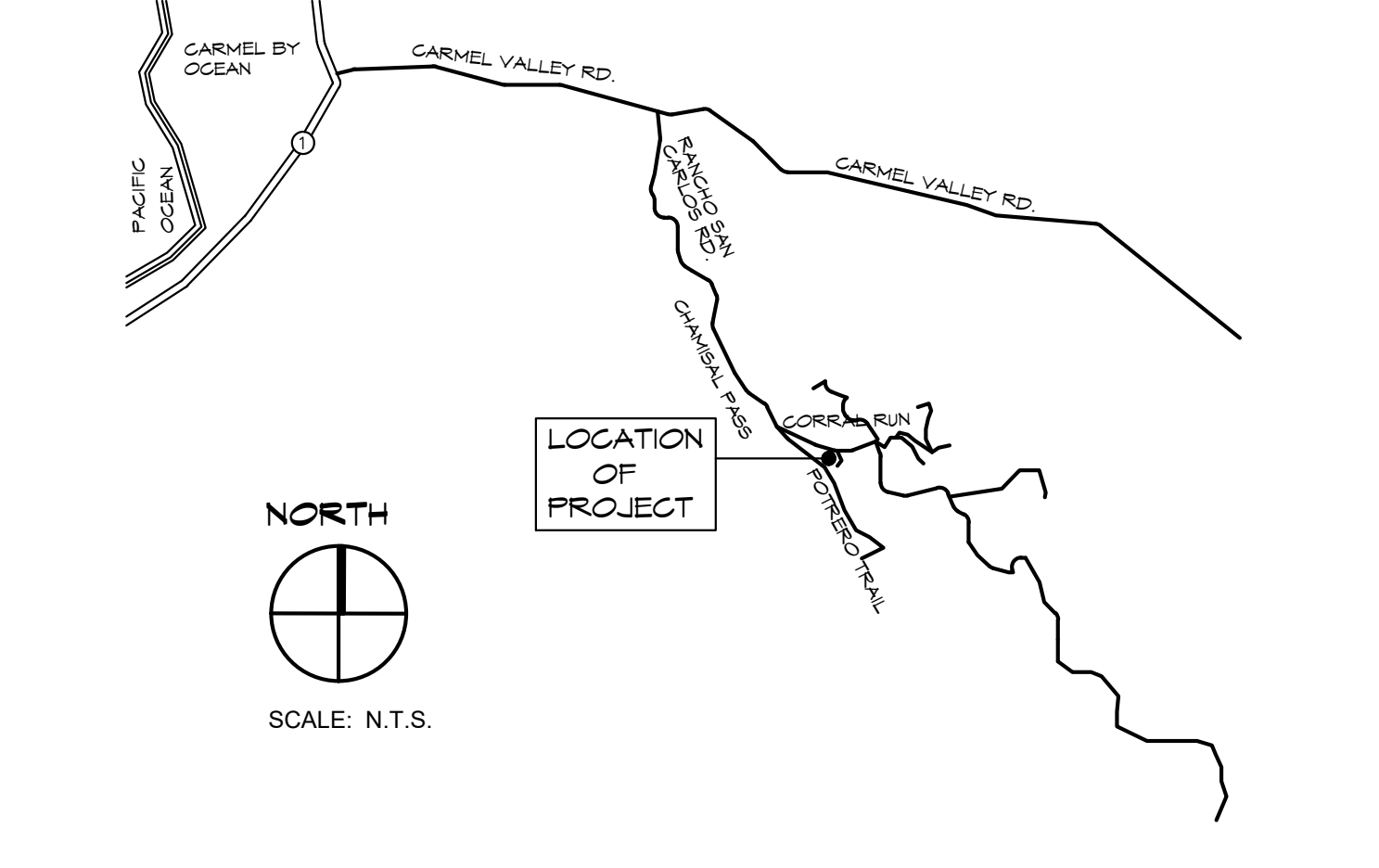
FIRE SAFETY REQUIREMENTS

- DRIVEWAYS - SHALL NOT BE LESS THAN 12' WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15'. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15%. WHERE GRADE EXCEEDS 8% A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.11 FEET OF ASPHALTIC CONCRETE OR 0.34 OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25'. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4" SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 300' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDDLE OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 300 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400' INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12' WIDE AND 30' LONG WITH A MINIMUM OF 25' PAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150' OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50' OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40' FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE 'T' SHALL BE MINIMUM OF 60' IN LENGTH.
- GATES - ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30' FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12' WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A WATERED ENTRANCE A 40' TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OF OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
- ADDRESSES FOR BUILDINGS - ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4" HEIGHT, 2" STROKE, CONTRASTING WITH THE BACKGROUND COLOR. THE SIGN AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- DEFENSIBLE SPACE REQUIREMENT - MANAGE COMBUSTIBLE VEGETATION WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE. LIMB TREES 6" UP FROM GROUND, REMOVE LIMBS WITHIN 10' OF CHIMNEYS, ADDITIONAL AND/OR OTHER FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- FIRE PROTECTION - SPRINKLER SYSTEM (STANDARD) - THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF (4) FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH-IN INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.
- ROOF CONSTRUCTION (VERY HIGH HAZARD SEVERITY ZONE) - ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50% OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MIN. OF ICBO CLASS 'A' ROOF CONSTRUCTION.
- FIRE030 - MANUAL DRY STANDPIPE SYSTEM, CLASS 1 - A FIRE DEPARTMENT CONNECTION (FDC) AND DRY STANDPIPES WITH FIRE VALVES ARE REQUIRED. THE LOCATIONS ARE TO BE DETERMINED BY THE FIRE DISTRICT. PRIOR TO INSTALLATION, A MINIMUM OF FOUR SETS OF PLANS SHALL BE PREPARED AND SUBMITTED BY THE INSTALLING CONTRACTOR OR BY A REGISTERED ENGINEER. THE PLANS SHALL BE SUBMITTED IN A TIMELY MANNER SO THEY CAN BE APPROVED BY THE FIRE DISTRICT PRIOR TO INSTALLATION. INSPECTIONS, HYDROSTATIC PRESSURE TESTING, ACCEPTANCE TESTING AND MAINTENANCE SHALL BE CONDUCTED IN ACCORDANCE WITH NFPA STANDARDS 15, 24, AND OTHER APPLICABLE STANDARDS.
- FIRE024 - FIRE ALARM SYSTEM - THE RESIDENCE SHALL BE FULLY PROTECTED WITH AN APPROVED HOUSEHOLD FIRE WARNING SYSTEM AS DEFINED BY NFPA STANDARD 72. PLANS AND SPECIFICATIONS FOR THE HOUSEHOLD FIRE WARNING SYSTEM SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-10 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. HOUSEHOLD FIRE WARNING SYSTEMS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE SHALL BE REQUIRED TO BE PLACED AND AS PERMANENT BUILDING EQUIPMENT.
- PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS DESCRIBED IN FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51162 PER CRC R321.15.

OWNERSHIP NOTES

- OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:
- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY HOLDREN LIETZKE ARCHITECTURE. HEREINAFTER REFERRED TO AS "DESIGNERS" WITHOUT FURTHER VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
 - THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
 - THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
 - IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

VICINITY MAP



PROJECT TEAM

- OWNER:**
KATHERINE WOLOVSKY
PO BOX 2115
CARMEL, CA 93921
PH: 831.280.9009
- CIVIL ENGINEER:**
CONTACT: GUY GRAIDO
LANDSET ENGINEERS, INC.
520B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PH: 831.443.6970
- FIRE MANAGEMENT:**
CONTACT: CAROL RICE
WILDLAND RESIDENTIAL MANAGEMENT
PH: 510.502.4131
- GEOTECHNICAL:**
CONTACT: BRIAN PAPURELLO
LANDSET ENGINEERS, INC.
520B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
PH: 831.443.6970
- STRUCTURAL ENGINEER:**
CONTACT: YUTAKA UYEDA
UYEDA & ASSOCIATES
1010 CASS STREET, SUITE 4-1
MONTEREY, CA 93940-4515
PH: 831.373.3101
- ARCHITECT:**
CONTACT: CRAIG HOLDREN
HOLDREN + LIETZKE ARCHITECTURE
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH: 831.649.6001
- ARBOREST:**
CONTACT: FRANK ONO
ONO CONSULTING
1213 MILLS AVENUE
PACIFIC GROVE, CA 93950
PH: 831.973.1096
- LANDSCAPE DESIGNER:**
CONTACT: MICHELLE COMEAU
COMEAU DESIGN
PO BOX 222152
CARMEL, CA 93922
PH: 831.622.0111
- SURVEYOR:**
RASMUSSEN LAND SURVEYING INC.
PO BOX 3135
MONTEREY, CA 93942
PH: 831.975.2545

PROJECT DATA

- SCOPE OF WORK:
CONSTRUCTION OF NEW 3744.0 SQ. FT. SINGLE FAMILY RESIDENCE WITH ATTACHED 407.0 SQ. FT. ONE CAR GARAGE. CONSTRUCTION OF NEW 420 SQ. FT. DETACHED WORKSHOP WITH ATTACHED 183 SQ. FT. TWO CAR GARAGE. CONSTRUCTION OF NEW 819.0 SQ. FT. BARN/STORAGE STRUCTURE.
- APN: 239.102.004.000
- LOT DESCRIPTION: LOT E-1
- LOT SIZE: 487,505 SQ. FT. (22.67 ACRES)
- ZONING: RG/10-D-S-RAZ/
LDR/5-D-S-RAZ
- TREE INFORMATION: 2 TREES TO BE REMOVED
- OCCUPANCY GROUP: RESIDENCE: R-3
GARAGE: U
- TYPE OF CONSTRUCTION: V-B
- AVERAGE NATURAL GRADE: 495.5'
- GRADE AT HIGHEST RIDGE: 493.5'
- RIDGE HEIGHT ABOVE LOWEST GRADE: 19'-6" (30'-0" COUNTY MAX.)
- GRADING CUT/FILL: 511.64 C.Y. CUT / 530.08 C.Y. FILL (18.44 C.Y. IMPORT)
- PARKING PROVIDED: 3 COVERED, 3 UNCOVERED
- WATER SUPPLIER: SANTA LUCIA PRESERVE
- SEWER: ON-SITE SEPTIC SYSTEM
- FIRE SPRINKLERS @ RESIDENCE: YES

MAIN STRUCTURE SETBACKS:	REQUIRED	PROPOSED
FRONT	30'-0"	135'-6" +/-
REAR	20'-0"	170'-6" +/-
SIDE (NORTH)	20'-0"	145'-10" +/-
SIDE (SOUTH)	20'-0"	168'-6" +/-
MAX. BUILDING HEIGHT	30'-0"	16'-11"
BUILDING SITE COVERAGE:	ALLOWED	PROPOSED
PRIMARY RESIDENCE		4201.0 S.F.
WORKSHOP/GARAGE		1173.0 S.F.
BARN/STORAGE		819.0 S.F.
TOTAL BUILDING		6193.0 S.F.
COVERED PORCH		1430.0 S.F.
TOTAL SITE	236,367.2 S.F. (25.0%)	7623.0 S.F. (3.2%)

SHEET INDEX

ARCHITECTURAL

- A0.0 - COVER SHEET, PROJECT DATA
A1.0 - SITE DIAGRAM

1 OF 1 - TOPOGRAPHIC MAP

CIVIL

- C1 - COVER SHEET
C2 - TOPOGRAPHIC MAP/EXISTING CONDITIONS
C3 - GRADING, DRAINAGE & UTILITY PLAN - PROJECT OVERVIEW
C4 - GRADING, DRAINAGE & UTILITY PLAN - MAIN RESIDENCE
C5 - GRADING, DRAINAGE & UTILITY PLAN - BARN & DRIVEWAY
C6 - GRADING SECTIONS
C7 - STANDARD PLANS & CONSTRUCTION DETAILS
C8 - EROSION & SEDIMENT CONTROL PLAN
- SEPT1 - ON-SITE WASTE WATER TREATMENT PLAN
SEPT2 - ON-SITE WASTE WATER TREATMENT PLAN
- A2.0 - 1/2" FLOOR PLANS
A2.1 - 1/2" FLOOR PLAN - PUBLIC WING
A2.2 - 1/2" FLOOR PLAN - BEDROOM WING
A2.3 - 1/2" GARAGE & BARN PLANS
A2.4 - 1/2" MAIN ROOF PLAN
A2.5 - 1/2" GARAGE & BARN ROOF PLANS
A3.1 - 1/2" SCALE EXTERIOR ELEVATIONS
A3.2 - EXTERIOR ELEVATIONS
A3.3 - INTERIOR ELEVATIONS
A3.4 - EXTERIOR ELEVATIONS
A3.5 - BUILDING SECTIONS
A3.6 - BUILDING SECTIONS
A4.0 - WINDOW NOTES, SCHEDULE & TYPES
A4.1 - DOOR NOTES, SCHEDULE & TYPES
A4.2 - WINDOW DETAILS
A4.3 - WINDOW DETAILS
A4.4 - DOOR DETAILS
A4.5 - DOOR DETAILS
A4.6 - DOOR DETAILS
A4.7 - SCALE EXTERIOR DETAILS
A4.8 - ARCHITECTURAL DETAILS
A4.9 - ARCHITECTURAL DETAILS
A4.4 - ARCHITECTURAL DETAILS
A4.5 - ARCHITECTURAL DETAILS
E2.1 - MAIN FLOOR - PUBLIC WING ELECTRICAL MECHANICAL & PLUMBING PLAN
E2.2 - MAIN FLOOR - PRIVATE WING ELECTRICAL MECHANICAL & PLUMBING PLAN
E2.3 - GARAGE ELECTRICAL MECHANICAL & PLUMBING PLAN
E2.4 - BARN ELECTRICAL MECHANICAL & PLUMBING PLAN

STRUCTURAL

- S-1.1 - GENERAL NOTES & SPECIAL INSPECTION
S-1.2 - GENERAL NOTES & SPECIAL INSPECTION
S-2.1 - MAIN HOUSE FOUNDATION PLAN
S-2.2 - MAIN HOUSE FIRST FLOOR & FOUNDATION PLAN
S-2.3 - MAIN HOUSE FIRST FLOOR & FOUNDATION PLAN
S-2.4 - MAIN HOUSE ROOF PLAN
S-2.5 - MAIN HOUSE ROOF PLAN
S-2.6 - GARAGE/STUDIO FOUNDATION & ROOF PLANS
S-2.7 - BARN FOUNDATION & ROOF PLANS
S-3.1 - FOUNDATION DETAILS
S-3.2 - FOUNDATION DETAILS
S-3.3 - FOUNDATION DETAILS
S-3.4 - FOUNDATION DETAILS
S-4.1 - ROOF/FLOOR FRAMING DETAILS
S-4.2 - ROOF/FLOOR FRAMING DETAILS
S-4.3 - ROOF/FLOOR FRAMING DETAILS
S-4.4 - ROOF/FLOOR FRAMING DETAILS
S-4.5 - ROOF/FLOOR FRAMING DETAILS
MS1 - WOOD STRONG WALL DETAILS
MS2 - WOOD STRONG WALL DETAILS

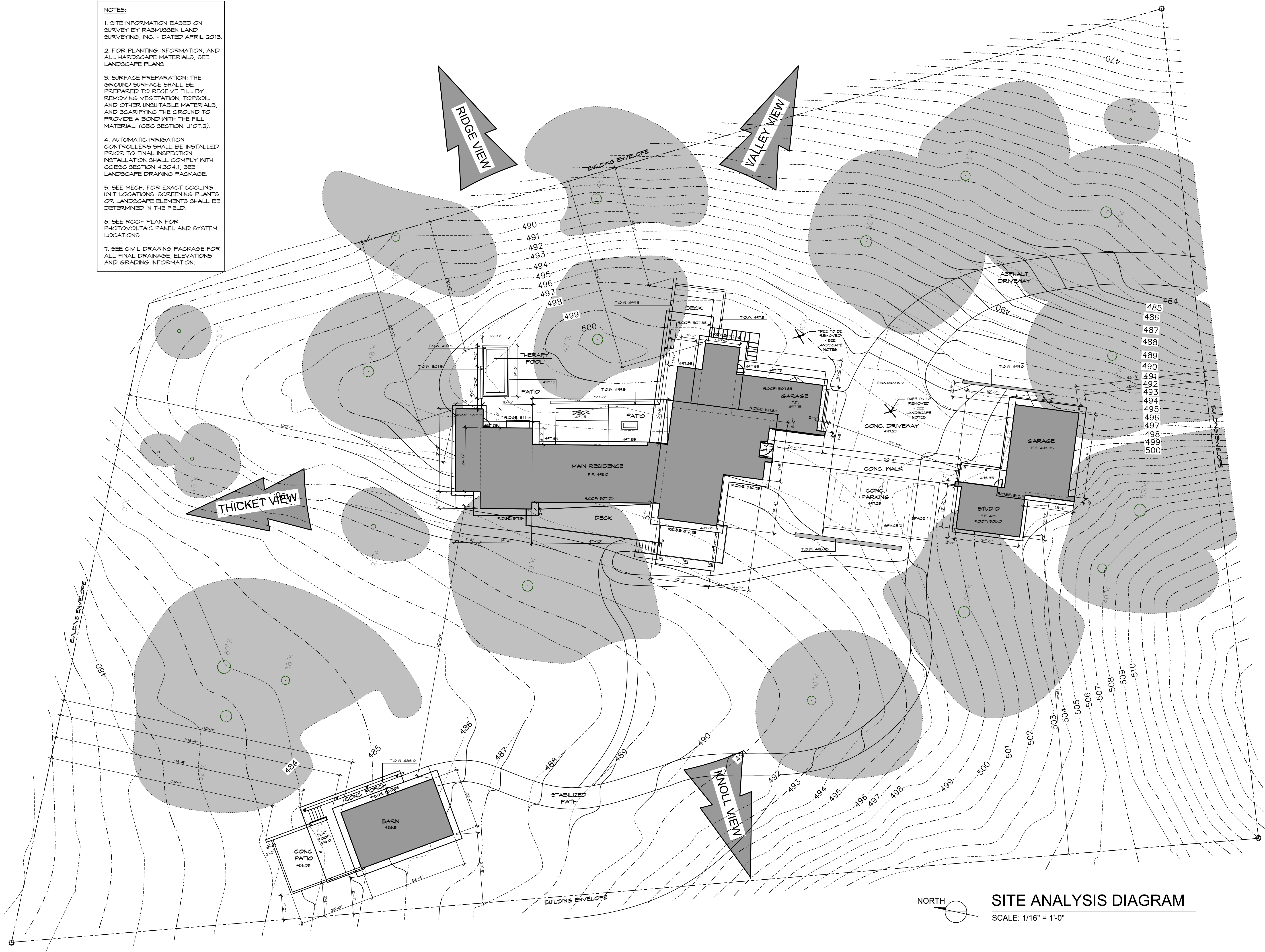
MECHANICAL

- M0.2 - MECHANICAL NOTES
M2.1 - MAIN RESIDENCE HVAC PLAN
M2.2 - STUDIO & BARN HVAC PLAN
PV2.1 - SOLAR PHOTOVOLTAIC ROOF LAYOUT & NOTES

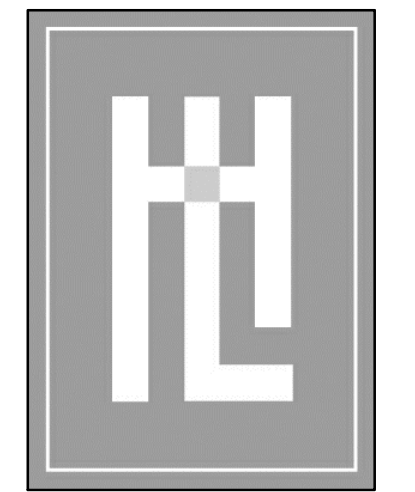
LANDSCAPE

- L-1 - SITE PLAN
L-2 - PLANTING PLAN
L-3 - PLANTING PLAN BARN
L-4 - LIGHTING & IRRIGATION PLAN
L-5 - DISPERSION TRENCH PLAN
L-6 - FUEL MANAGEMENT
L-7 - NOTES
L-8 - IMAGES

- NOTES:**
1. SITE INFORMATION BASED ON SURVEY BY RASMUSSEN LAND SURVEYING, INC. - DATED APRIL 2013.
 2. FOR PLANTING INFORMATION, AND ALL HARDSCAPE MATERIALS, SEE LANDSCAPE PLANS.
 3. SURFACE PREPARATION: THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL. (CBC SECTION: J107.2).
 4. AUTOMATIC IRRIGATION CONTROLLERS SHALL BE INSTALLED PRIOR TO FINAL INSPECTION. INSTALLATION SHALL COMPLY WITH CGBSC SECTION 4.304.1, SEE LANDSCAPE DRAWING PACKAGE.
 5. SEE MECH. FOR EXACT COOLING UNIT LOCATIONS. SCREENING PLANTS OR LANDSCAPE ELEMENTS SHALL BE DETERMINED IN THE FIELD.
 6. SEE ROOF PLAN FOR PHOTOVOLTAIC PANEL AND SYSTEM LOCATIONS.
 7. SEE CIVIL DRAWING PACKAGE FOR ALL FINAL DRAINAGE, ELEVATIONS AND GRADING INFORMATION.



SITE ANALYSIS DIAGRAM
SCALE: 1/16" = 1'-0"



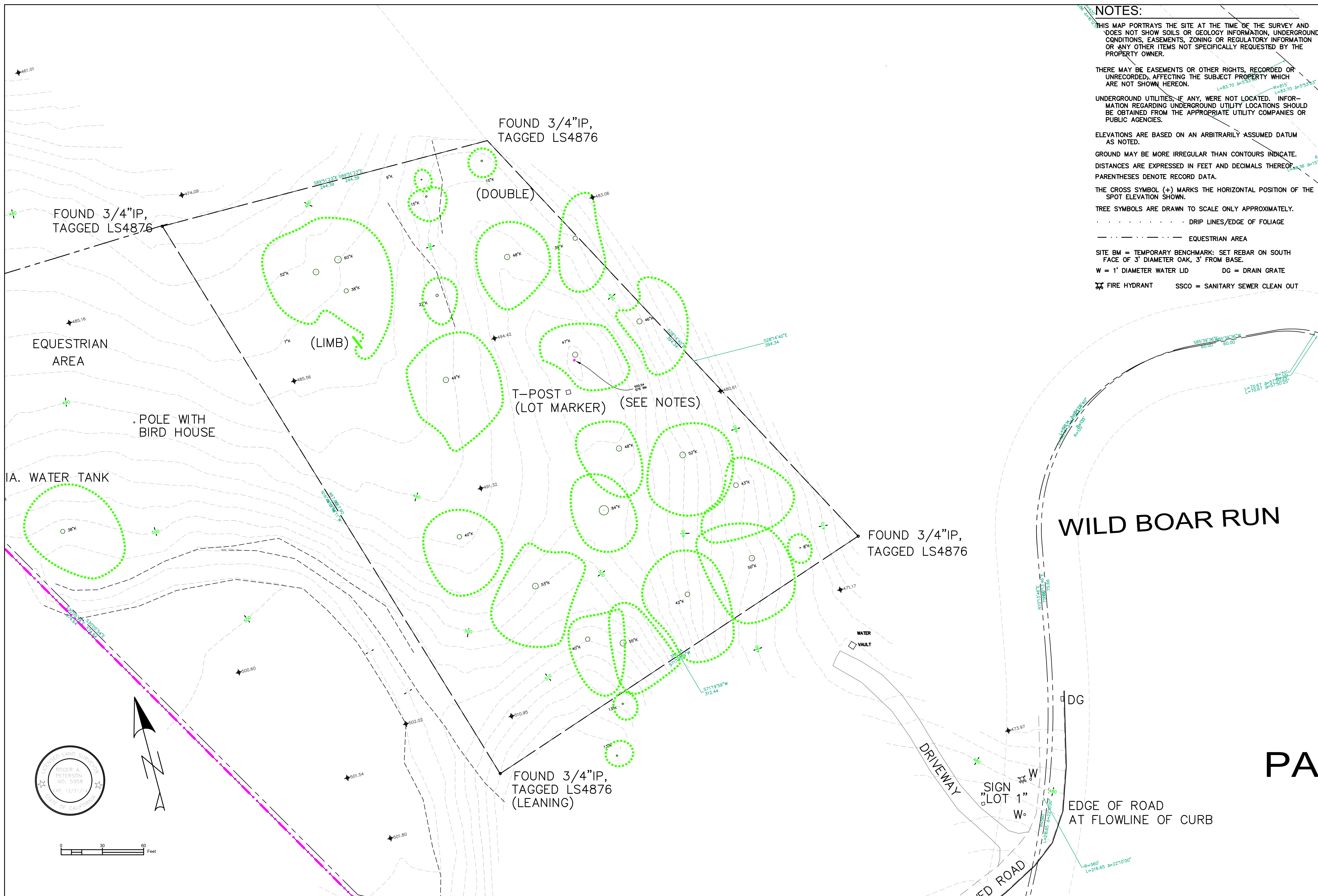
**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE:	12.17.2021
SCALE:	1/16" = 1'-0"
DRAWN:	DWD
JOB NUMBER:	19.22
REVISION:	

SITE ANALYSIS DIAGRAM
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A1.0



NOTES:

THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.

..... DRIP LINES/EDGE OF FOLIAGE

----- EQUESTRIAN AREA

SITE BM = TEMPORARY BENCHMARK: SET REBAR ON SOUTH FACE OF 3" DIAMETER OAK, 3' FROM BASE.

W = 1' DIAMETER WATER LID DG = DRAIN GRATE

⊕ FIRE HYDRANT SSCO = SANITARY SEWER CLEAN OUT

DATE OF SURVEY: APR. 22 & 23, 2013
 DRAWING SCALE: 1" = 30'
 DRAWN BY: RP/JBG
 REVISED:

RASMUSSEN LAND SURVEYING, INC.
 P.O. BOX 3135
 MONTEREY, CALIFORNIA 93942
 (831)375-7240 (831)375-2545 FAX

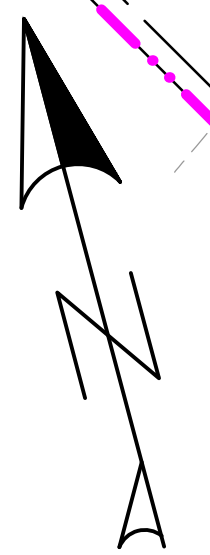
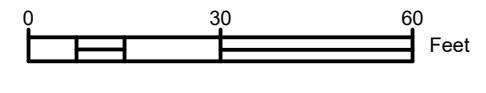
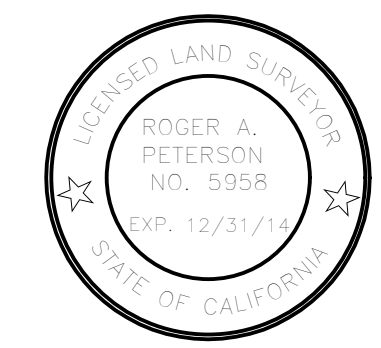


SHOWING EXISTING CONDITIONS ON A PORTION OF THAT REAL PROPERTY DESCRIBED AS LOT E-1, TRACT 1443, SANTA LUCIA PRESERVE PHASE E, EL POTRERO DE SAN CARLOS RANCHO, MONTEREY COUNTY, CALIFORNIA.

TOPOGRAPHIC SURVEY

PROJECT NO. 13031

PREPARED FOR: AARON & ELIZABETH HILL



NOTES:
 THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.

THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED. INFORMATION REGARDING UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES OR PUBLIC AGENCIES.

ELEVATIONS ARE BASED ON AN ARBITRARILY ASSUMED DATUM AS NOTED.

GROUND MAY BE MORE IRREGULAR THAN CONTOURS INDICATE. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. PARENTHESES DENOTE RECORD DATA.

THE CROSS SYMBOL (+) MARKS THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

TREE SYMBOLS ARE DRAWN TO SCALE ONLY APPROXIMATELY.

..... DRIP LINES/EDGE OF FOLIAGE

----- EQUESTRIAN AREA

SITE BM = TEMPORARY BENCHMARK: SET REBAR ON SOUTH FACE OF 3" DIAMETER OAK, 3' FROM BASE.

W = 1" DIAMETER WATER LID DG = DRAIN GRATE

⊕ FIRE HYDRANT SSCO = SANITARY SEWER CLEAN OUT

DATE OF SURVEY: APR. 22 & 23, 2013
 DRAWING SCALE: 1" = 60'
 DRAWN BY: RP/BG
 REVISED:

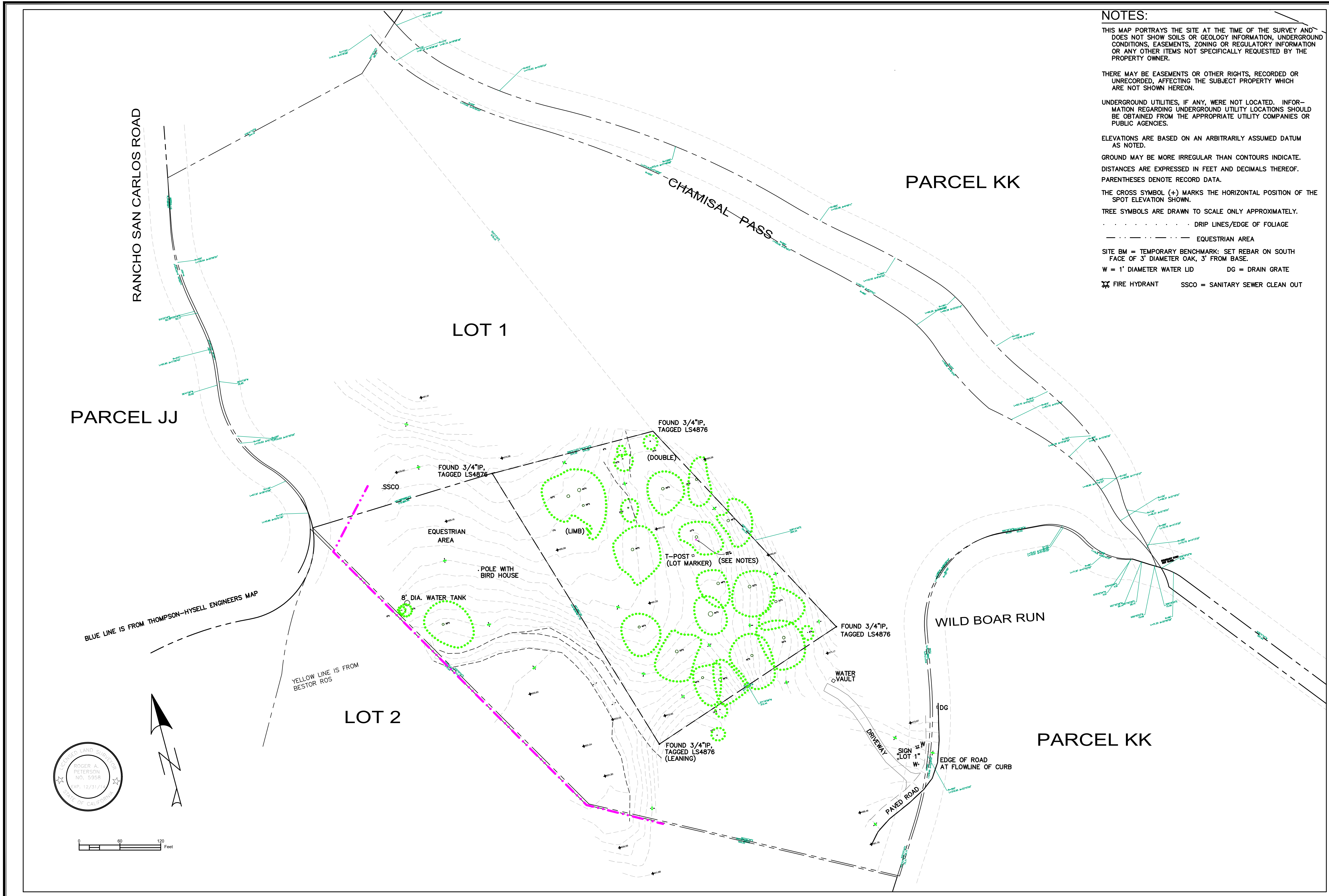
RASMUSSEN LAND SURVEYING, INC.
 P.O. BOX 3135
 MONTEREY, CALIFORNIA 93942
 (831)375-7240 (831)375-2545 FAX



SHOWING EXISTING CONDITIONS ON A PORTION OF THAT REAL PROPERTY DESCRIBED AS LOT E-1, TRACT 1443, SANTA LUCIA PRESERVE PHASE E, EL POTRERO DE SAN CARLOS RANCHO, MONTEREY COUNTY, CALIFORNIA.
 PREPARED FOR: AARON & ELIZABETH HILL

TOPOGRAPHIC SURVEY

PROJECT NO. 13031



PARCEL JJ

LOT 1

LOT 2

PARCEL KK

PARCEL KK

RANCHO SAN CARLOS ROAD

CHAMISAL PASS

WILD BOAR RUN

BLUE LINE IS FROM THOMPSON-HYSELL ENGINEERS MAP

YELLOW LINE IS FROM BESTOR ROS

FOUND 3/4"IP, TAGGED LS4876

FOUND 3/4"IP, TAGGED LS4876

FOUND 3/4"IP, TAGGED LS4876

FOUND 3/4"IP, TAGGED LS4876 (LEANING)

EQUESTRIAN AREA

.POLE WITH BIRD HOUSE

8' DIA. WATER TANK

(DOUBLE)

(LIMB)

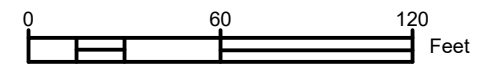
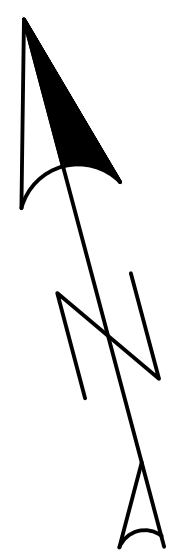
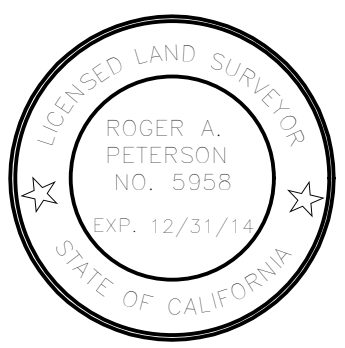
T-POST (LOT MARKER) (SEE NOTES)

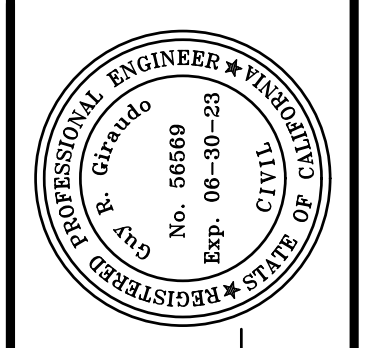
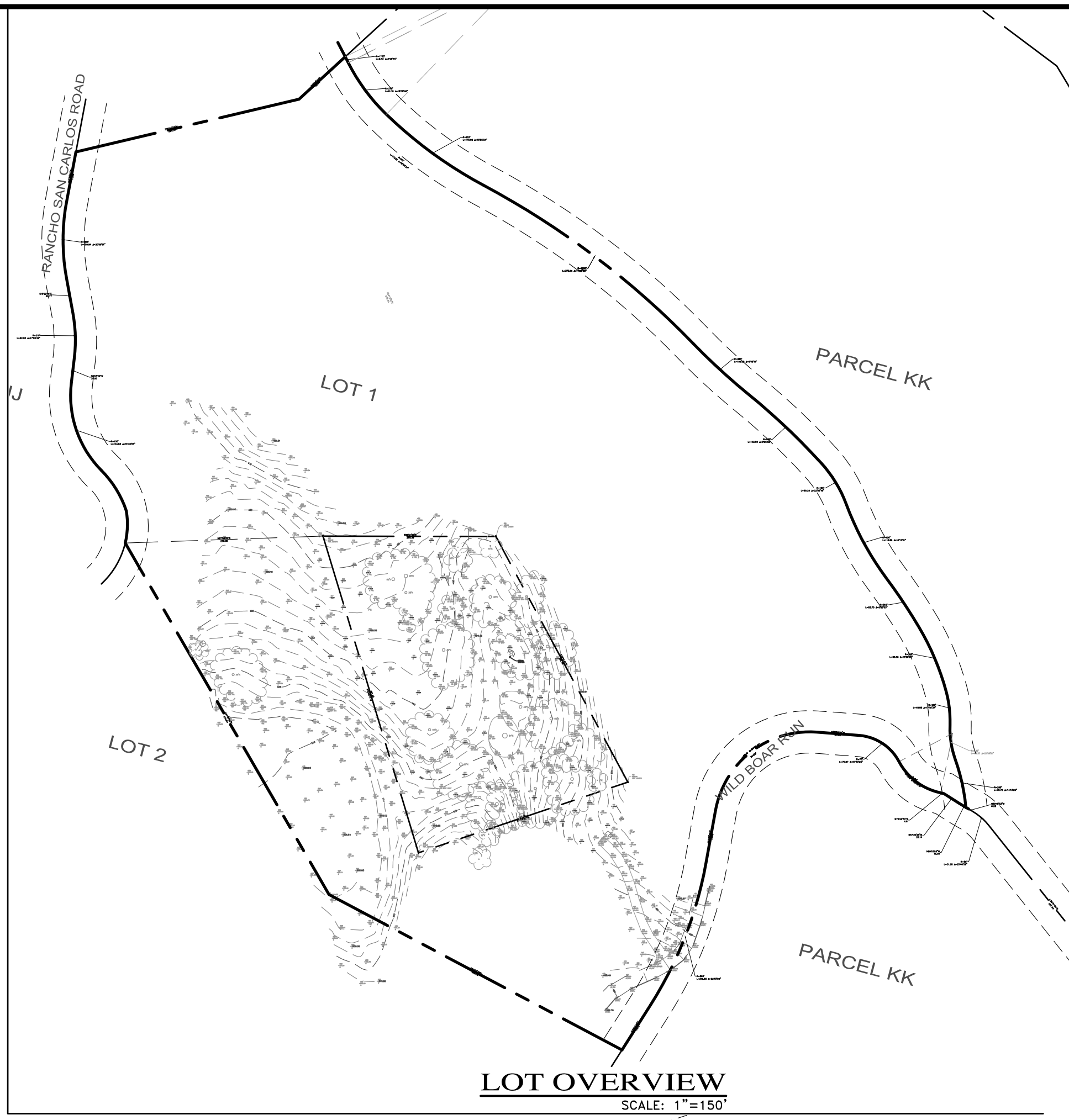
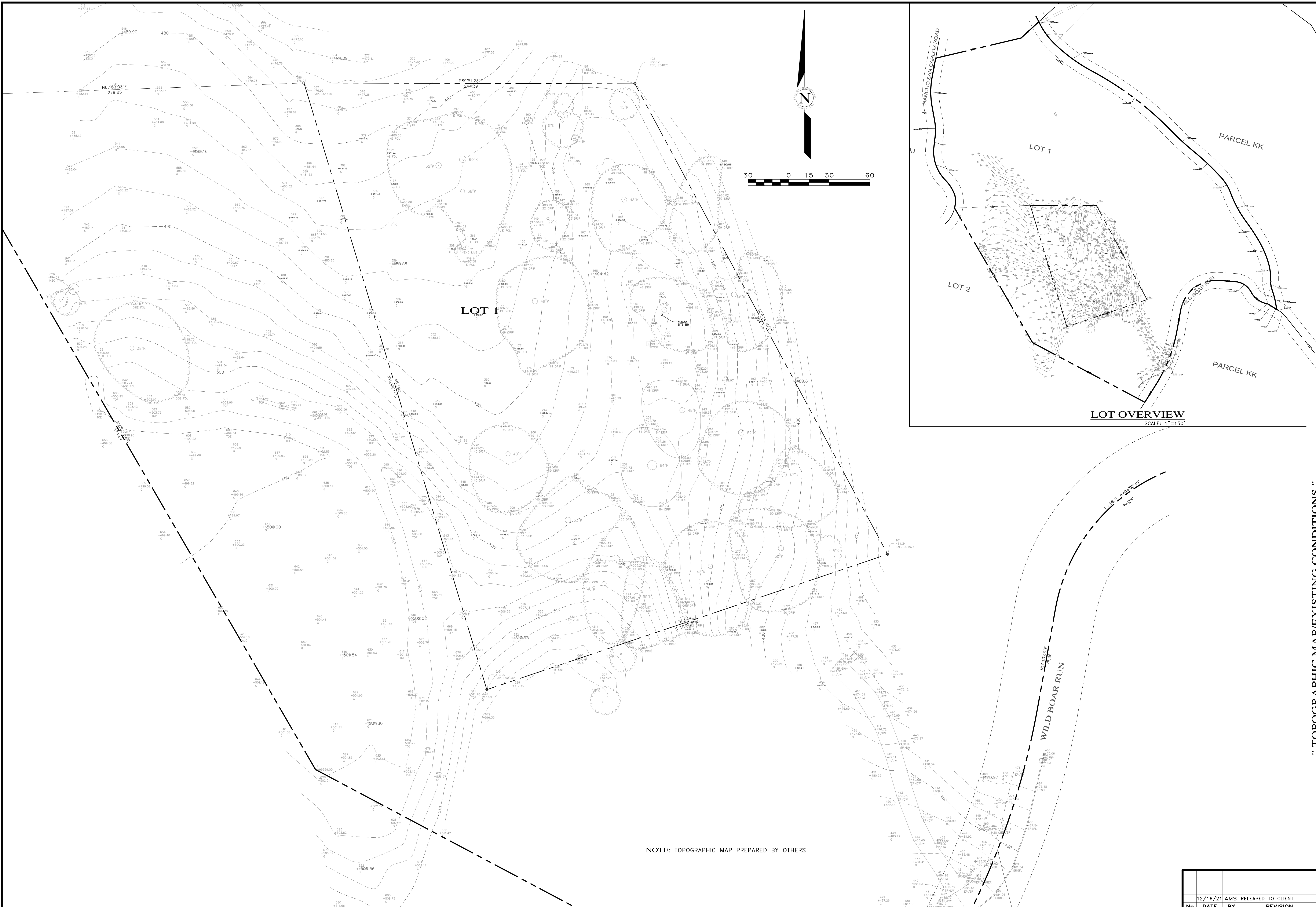
WATER VAULT

DRIVEWAY

SIGN LOT

EDGE OF ROAD AT FLOWLINE OF CURB





APPROVED BY:
GUY R. GIRAUDO



" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

WOLOVSKY RESIDENCE

A.P.N.: 239-102-004

CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA

FOR

MR. & MRS. WOLOVSKY

SCALE: 1"=40'

DATE: MAY 2021

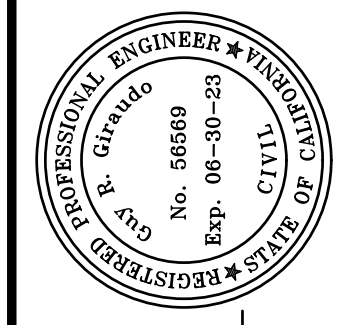
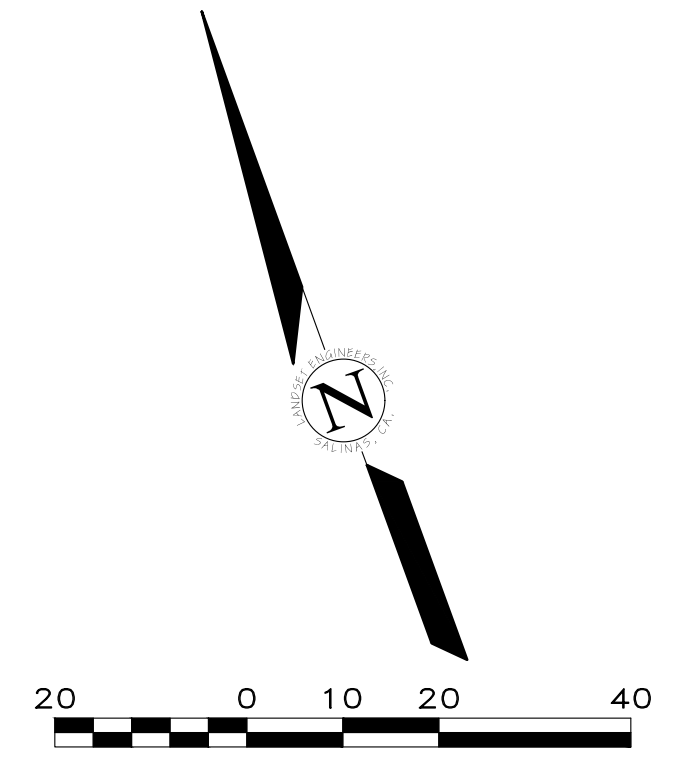
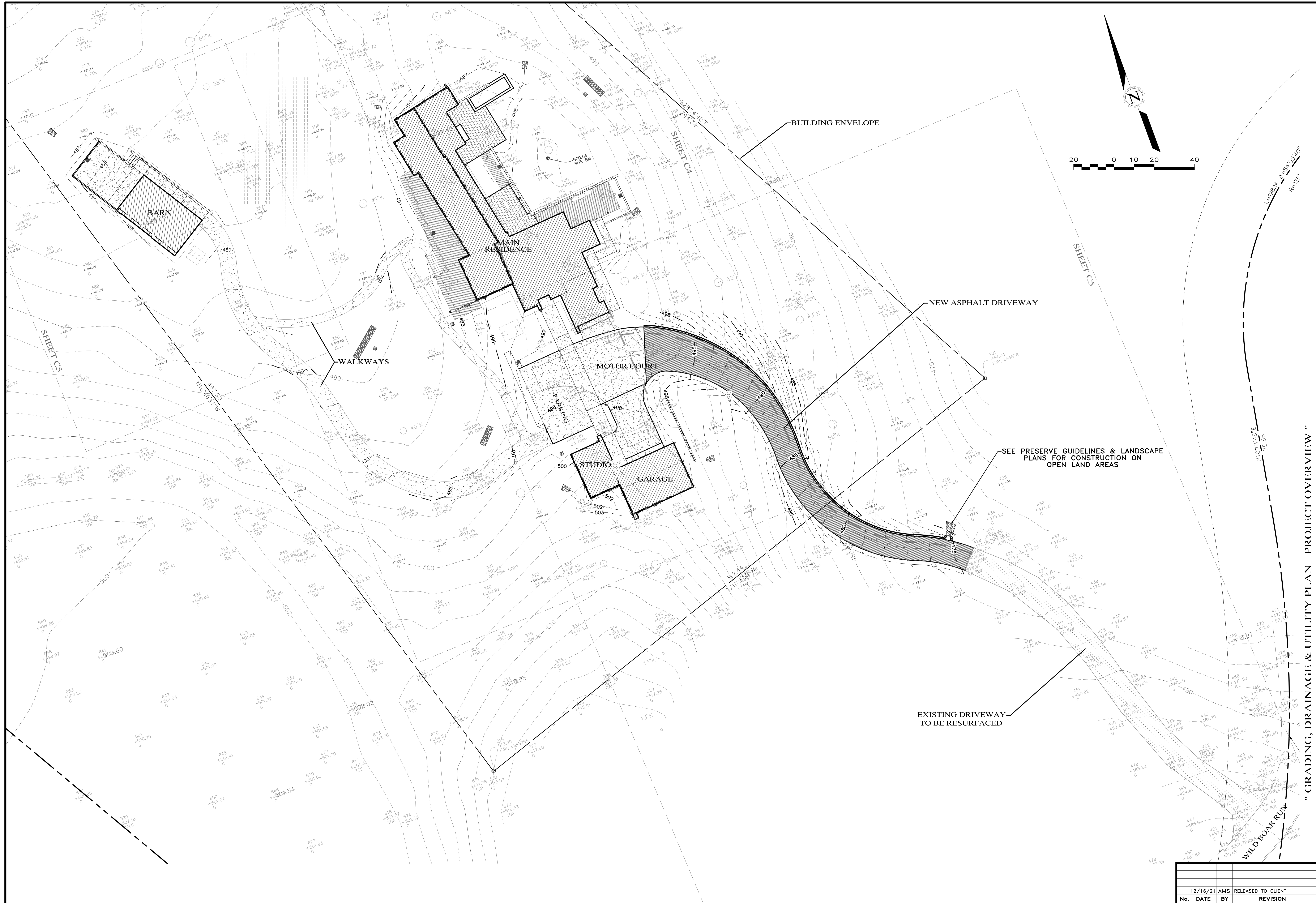
JOB NO. 2268-02

SHEET **C2**

OF 8 SHEETS

No.	DATE	BY	REVISION
	12/16/21	AMS	RELEASED TO CLIENT

NOTE: TOPOGRAPHIC MAP PREPARED BY OTHERS



APPROVED BY:
GUY R. GIRAUDO

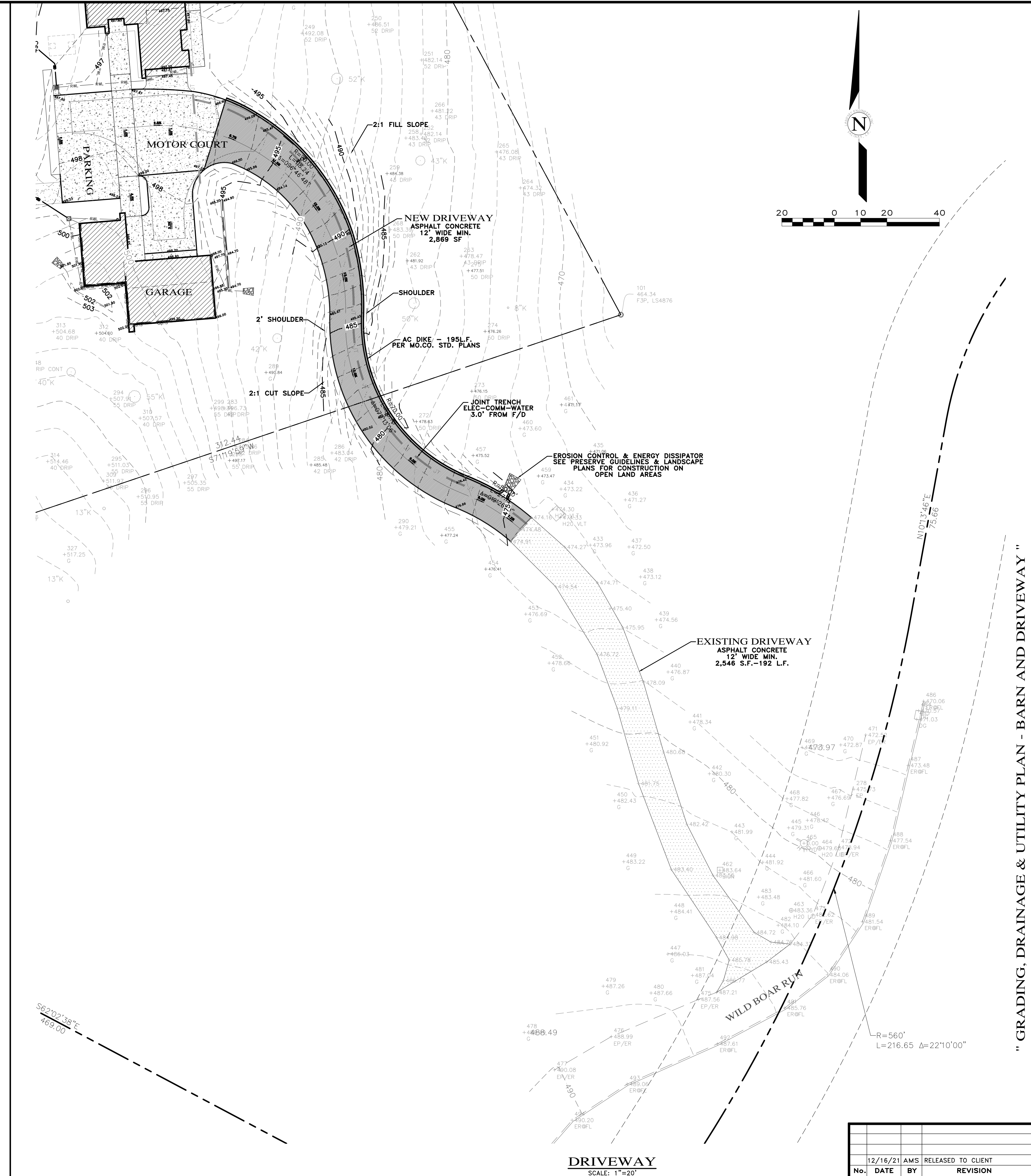
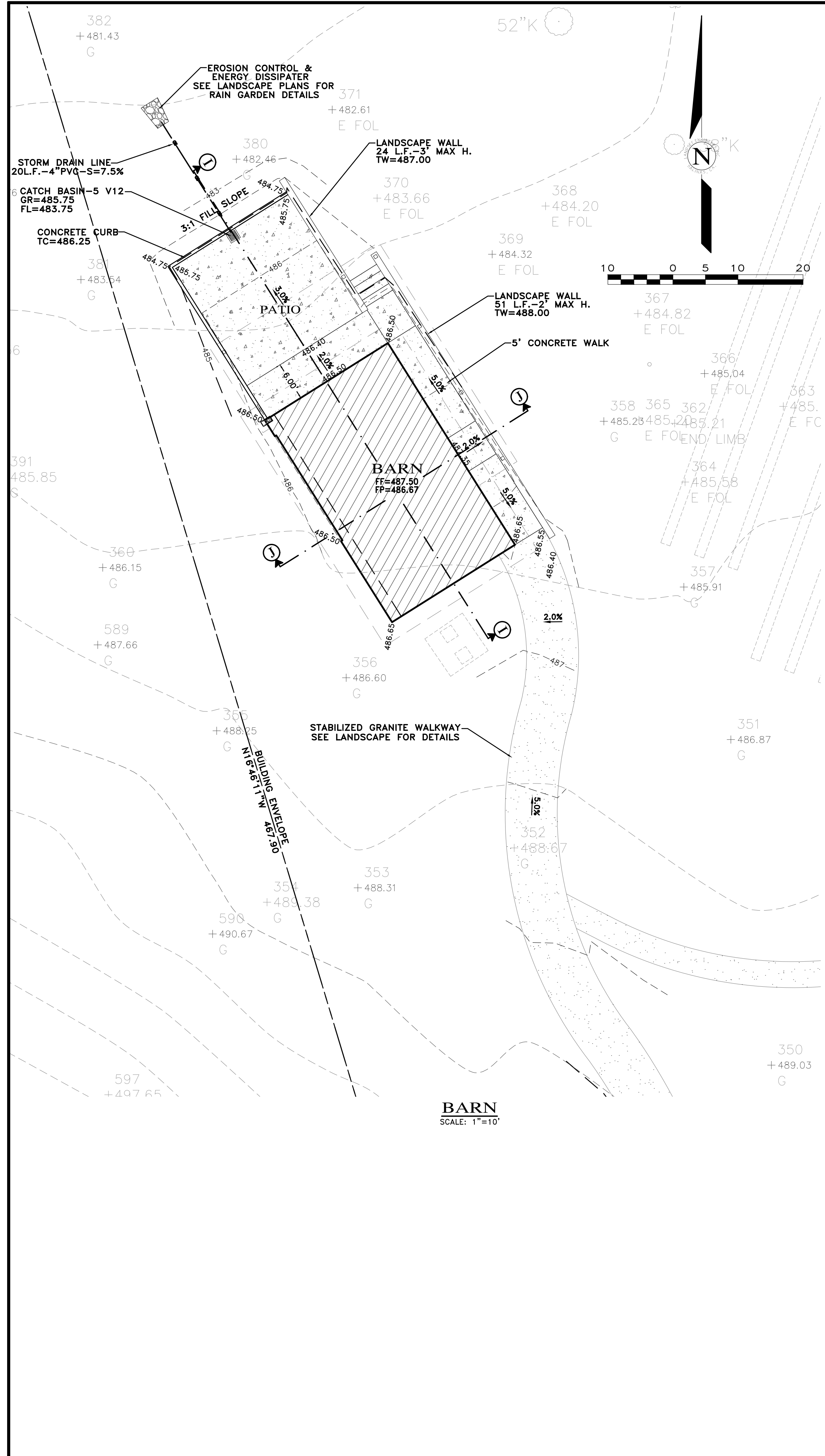


" GRADING, DRAINAGE & UTILITY PLAN - PROJECT OVERVIEW "
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
WOLOVSKY RESIDENCE
 A.P.N.: 239-102-004
 CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. & MRS. WOLOVSKY

SCALE: 1"=20'
 DATE: MAY 2021
 JOB NO. 2268-02

No.	DATE	BY	RELEASED TO CLIENT	REVISION

SHEET **C3**
 OF 8 SHEETS



" GRADING, DRAINAGE & UTILITY PLAN - BARN AND DRIVEWAY "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
WOLOVSKY RESIDENCE
A.P.N.: 239-I02-004
FOR
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
MR. & MRS. WOLOVSKY

APPROVED BY:

GUY R. GIRAUDO

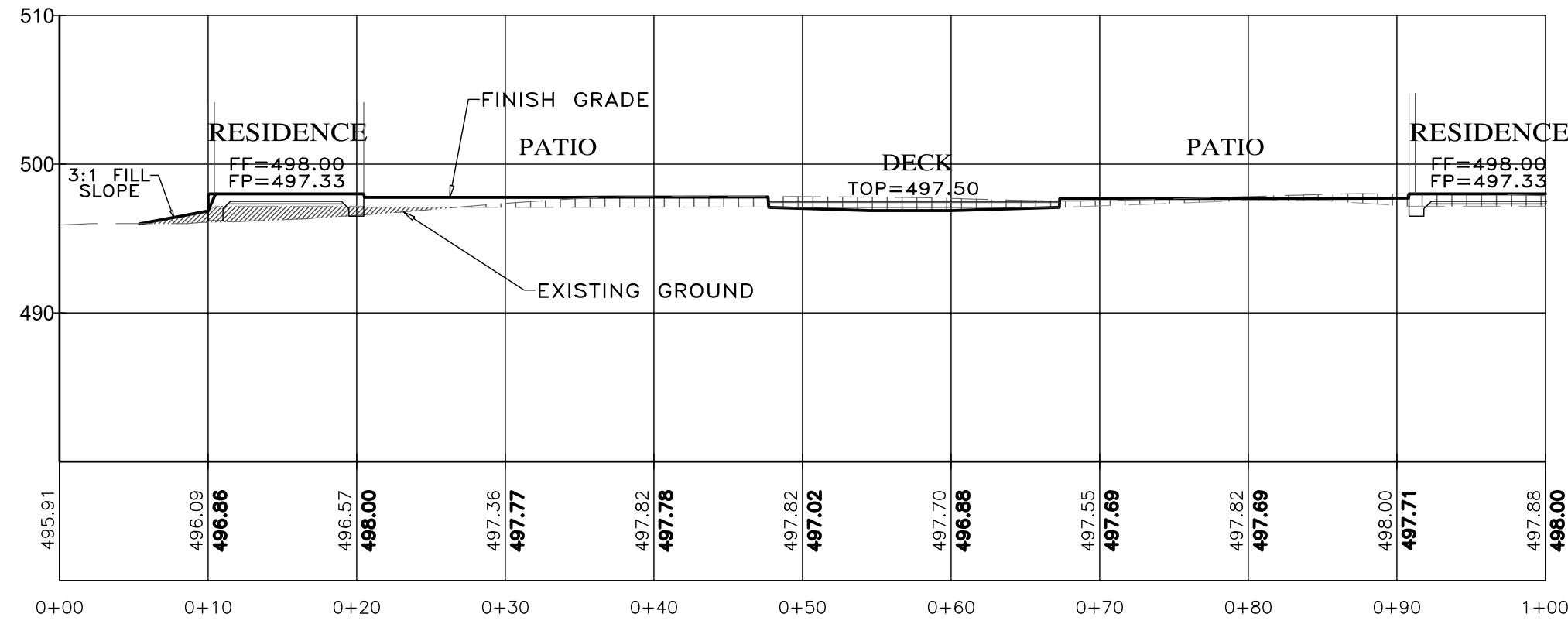
LANDSET
ENGINEERS, INC.
5208 Gray Horse Canyon Road
Livermore, California 94550
Office (925) 443-3801
www.landseteng.com

No.	DATE	BY	REVISION

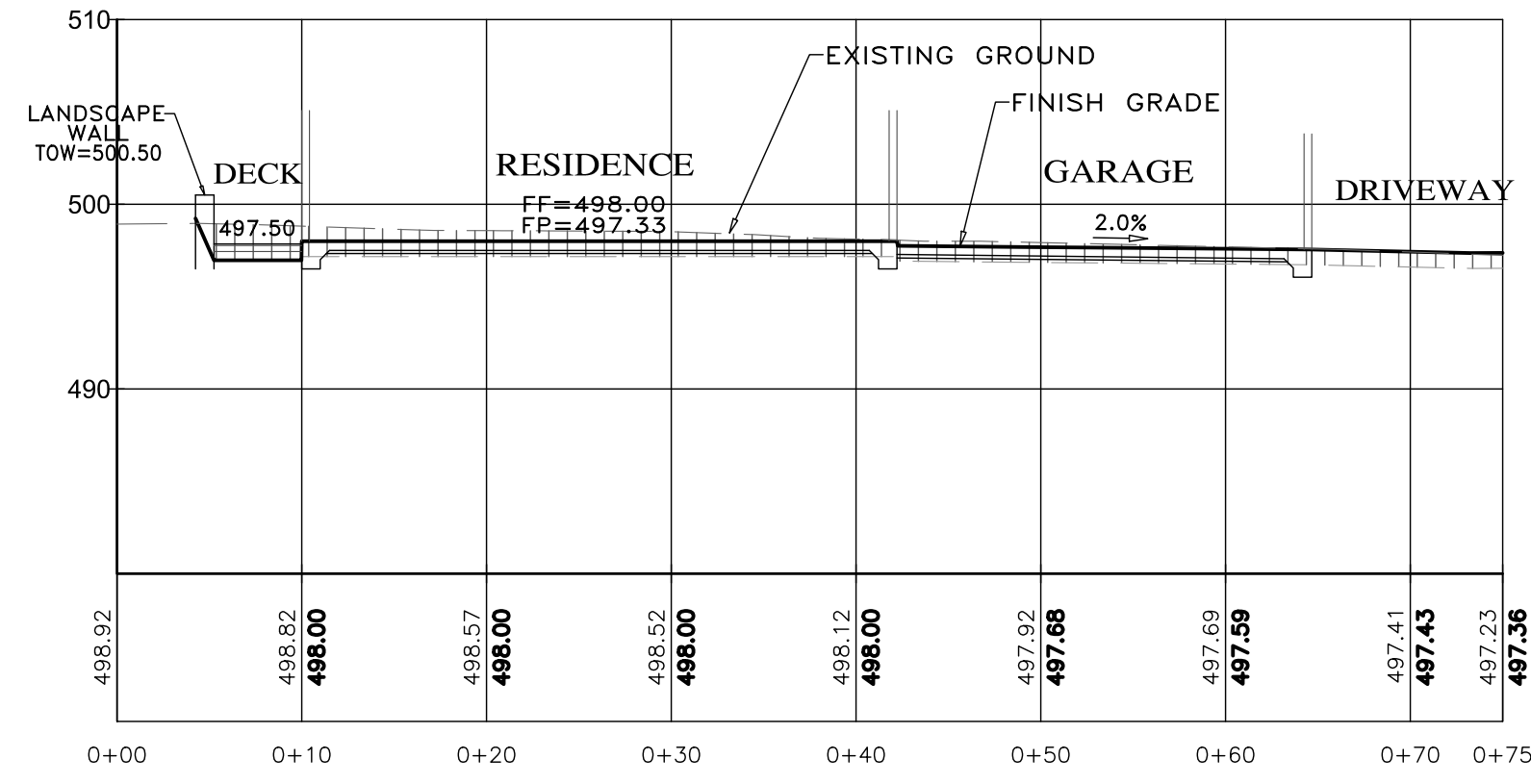
SCALE: AS SHOWN
DATE: MAY 2021
JOB NO. 2268-02

SHEET **C5**
OF 8 SHEETS

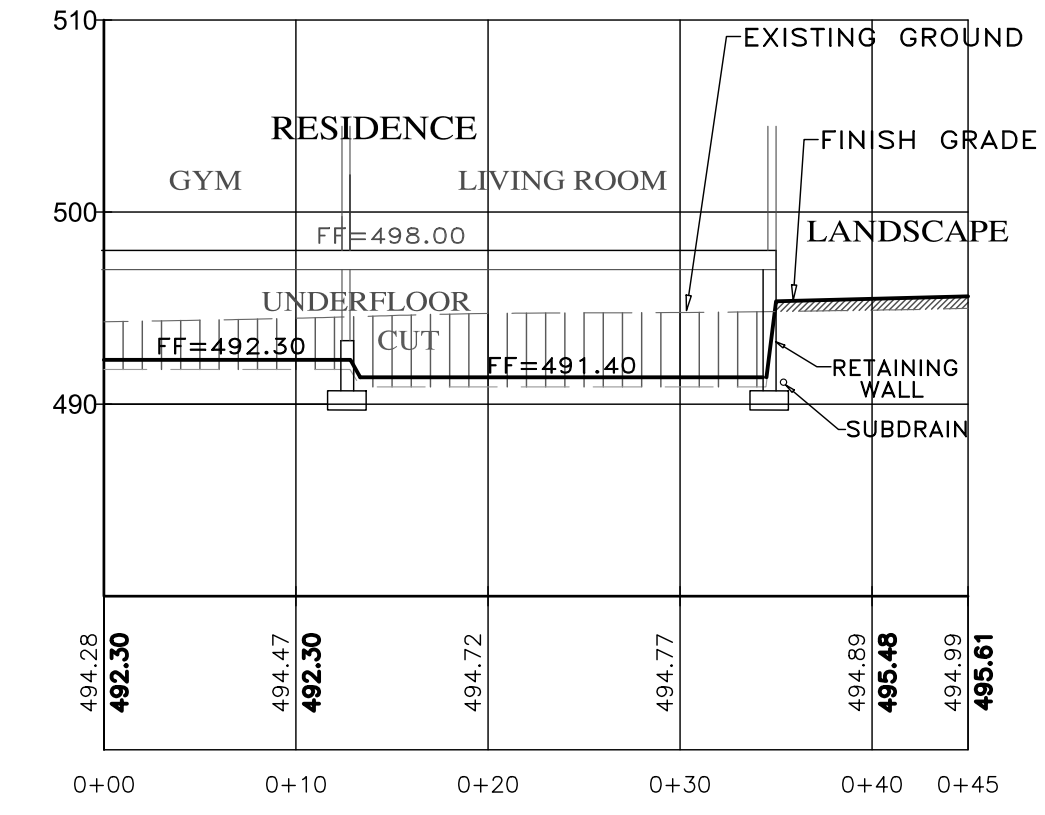
CSD\2268-WOLOVSKY.DWG\2268-ODECP.DWG\24x36CS



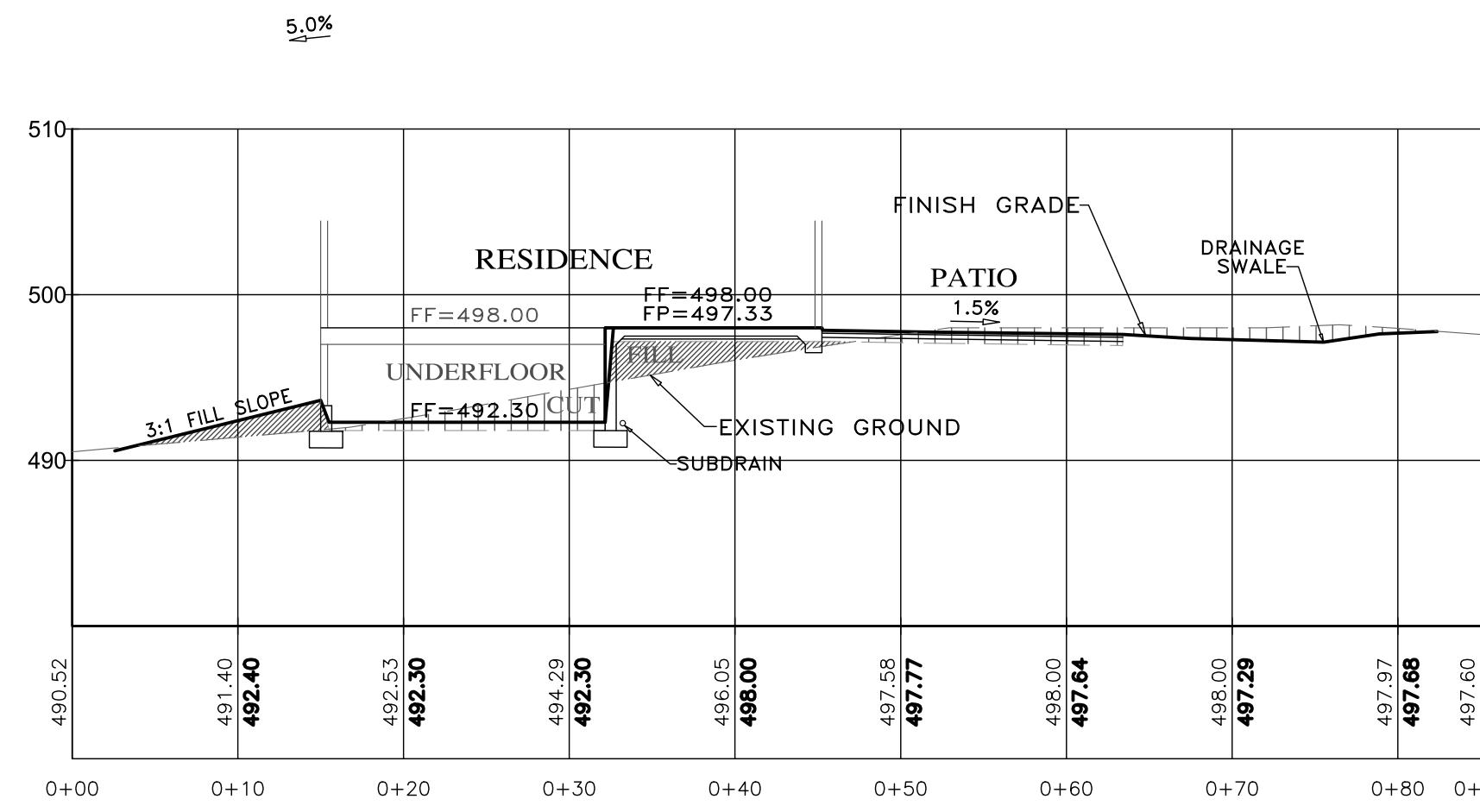
SECTION A-A
SCALE: 1"=10' H&V



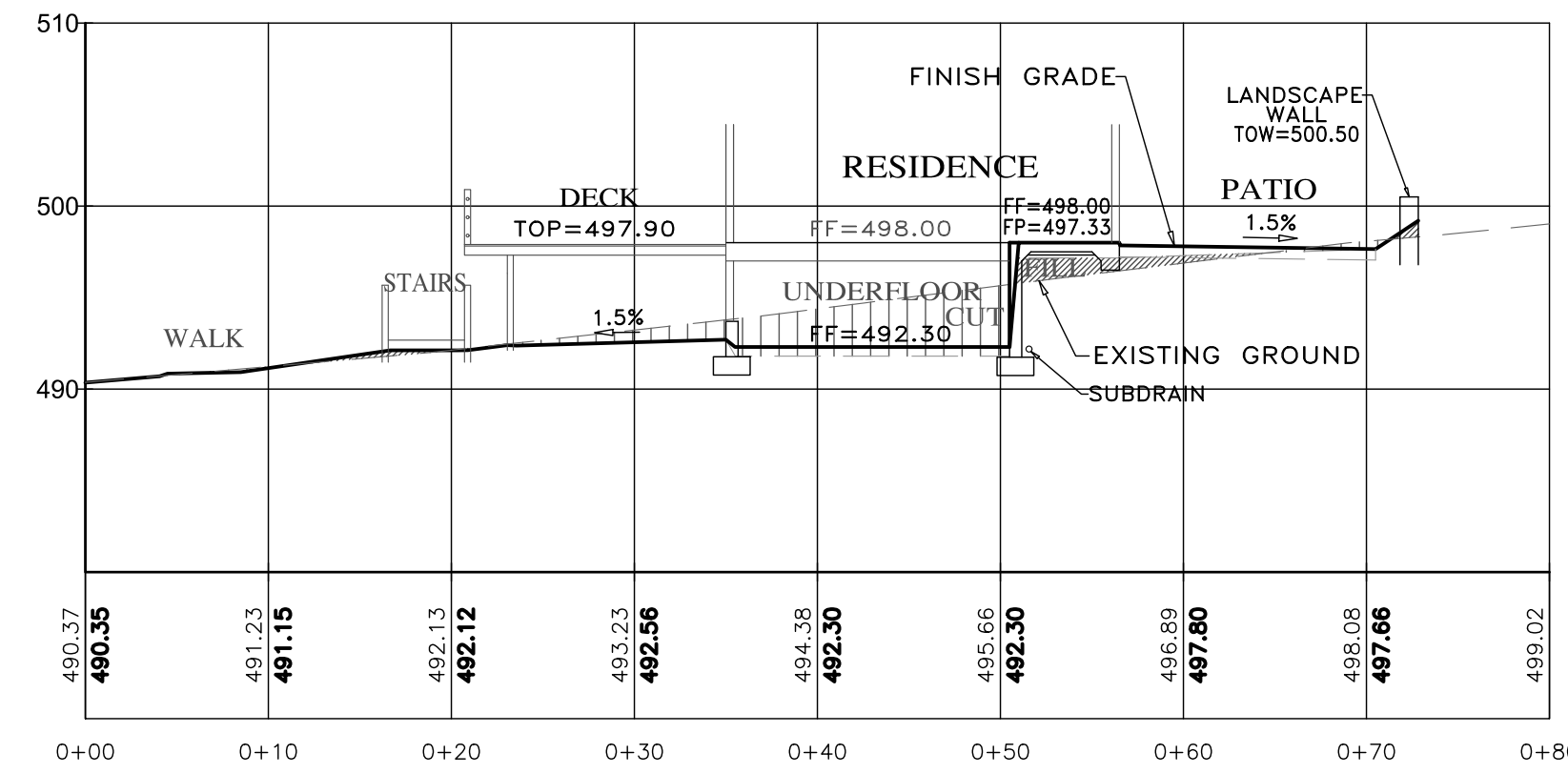
SECTION B-B
SCALE: 1"=10' H&V



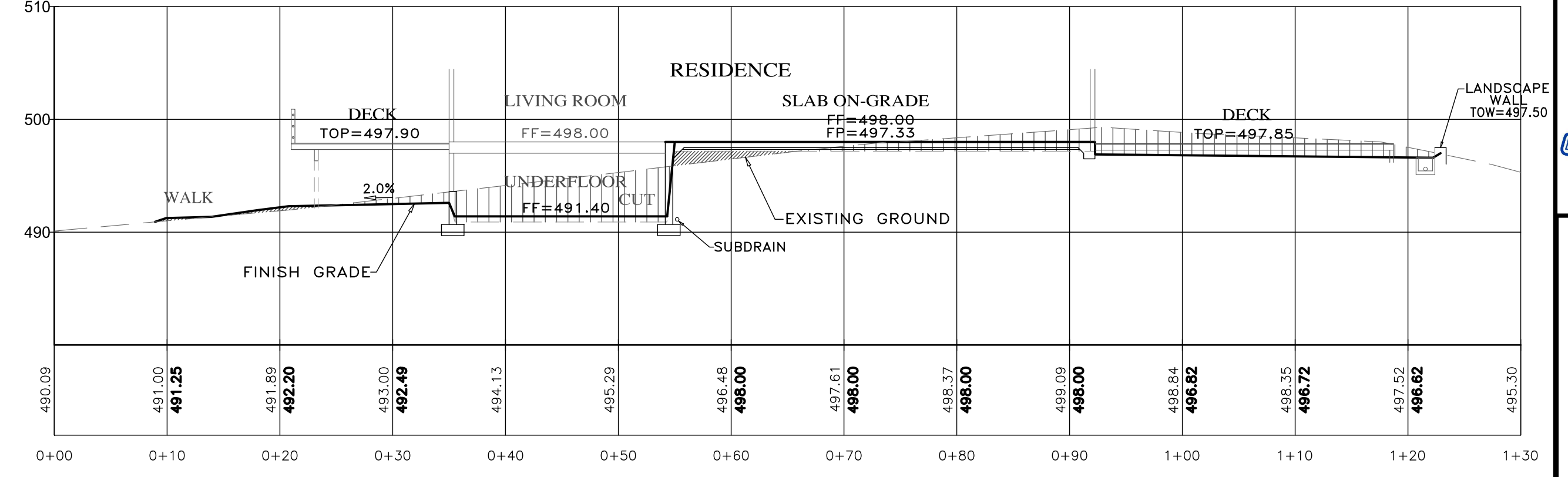
SECTION C-C
SCALE: 1"=10' H&V



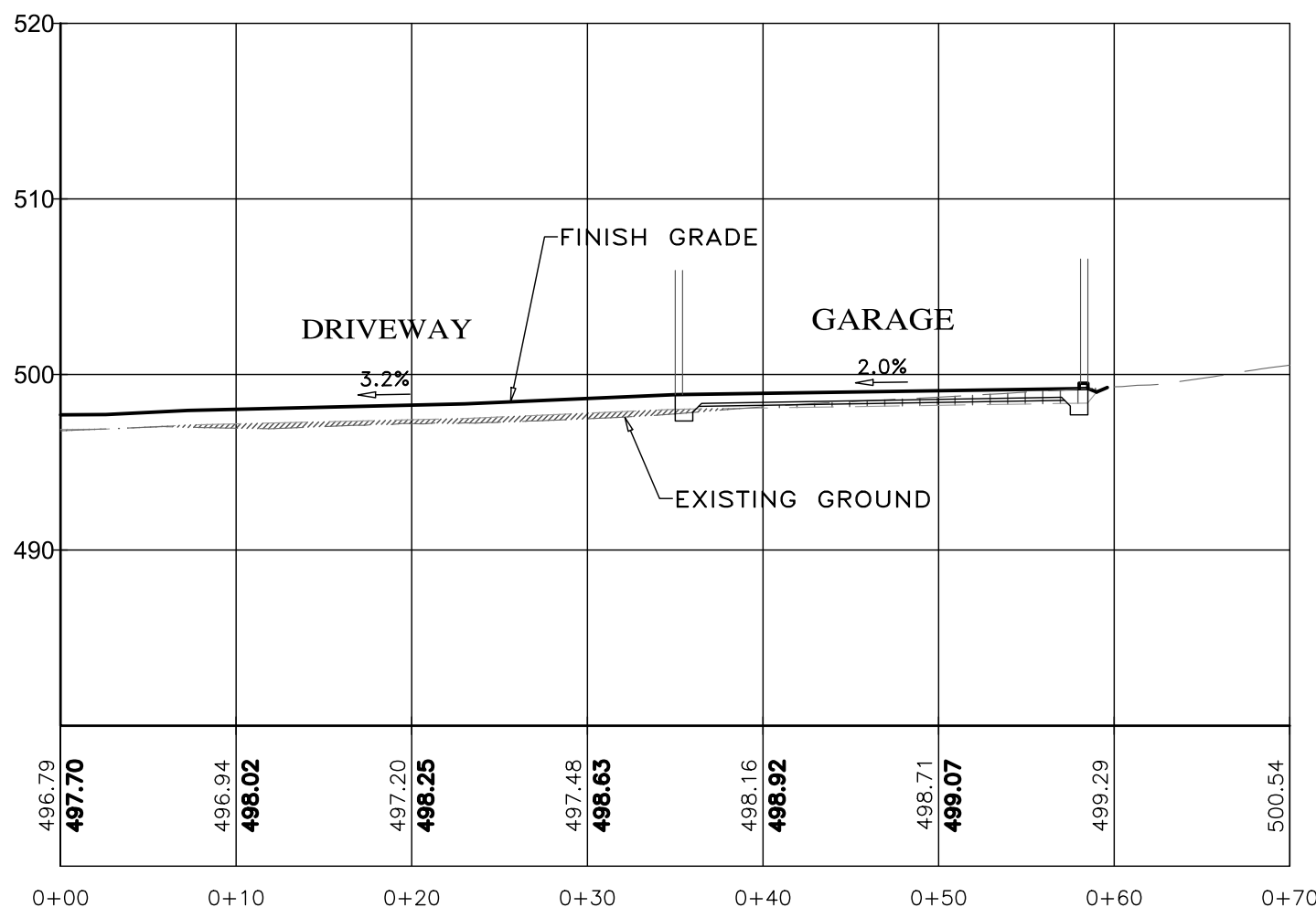
SECTION D-D
SCALE: 1"=10' H&V



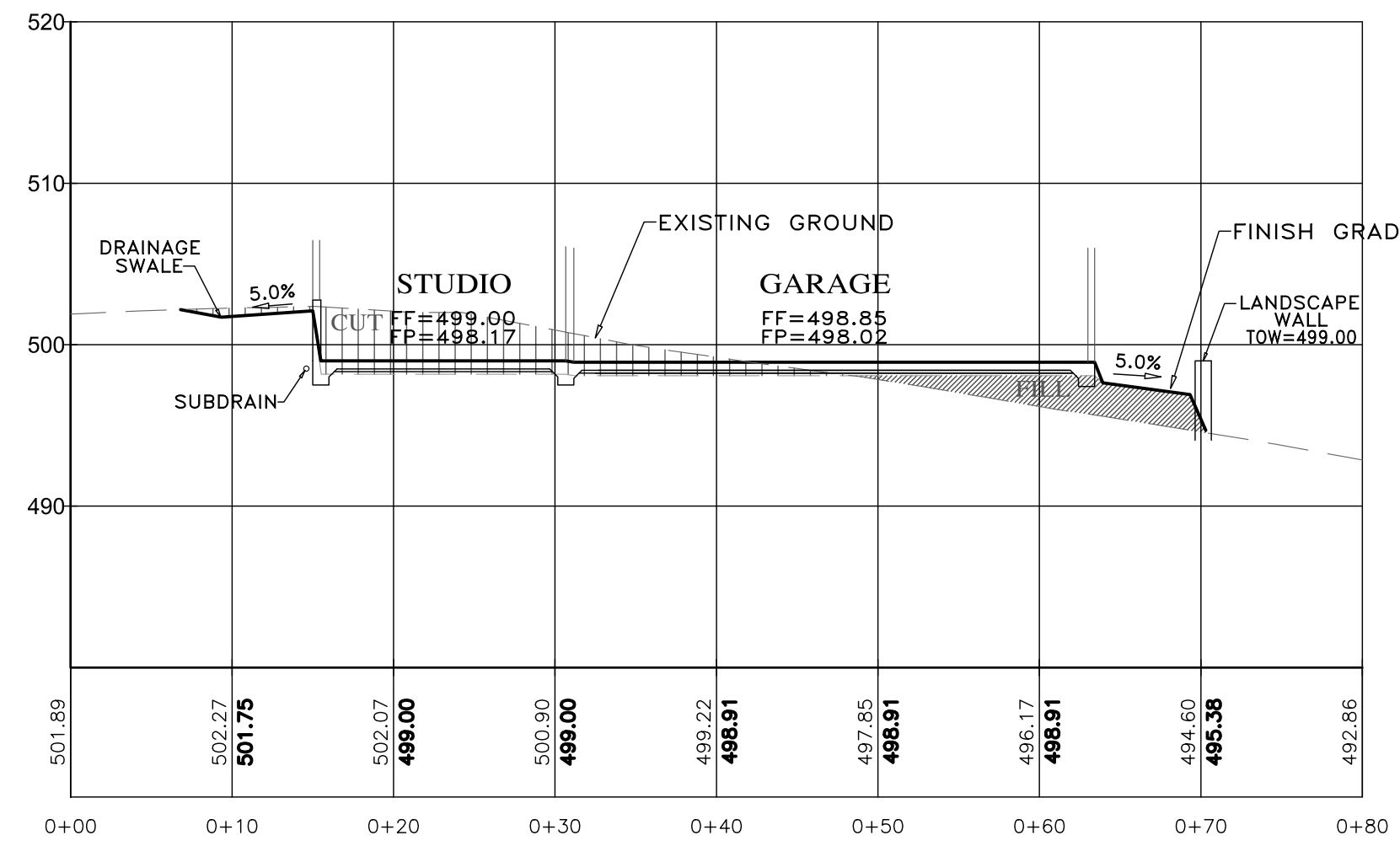
SECTION E-E
SCALE: 1"=10' H&V



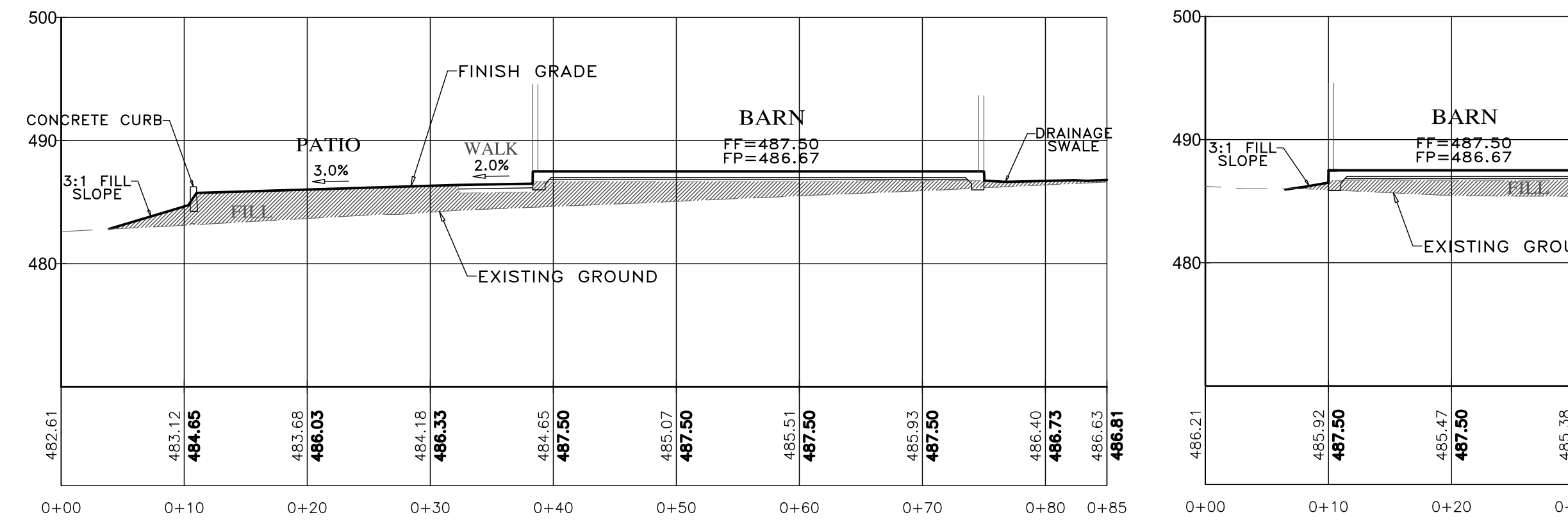
SECTION F-F
SCALE: 1"=10' H&V



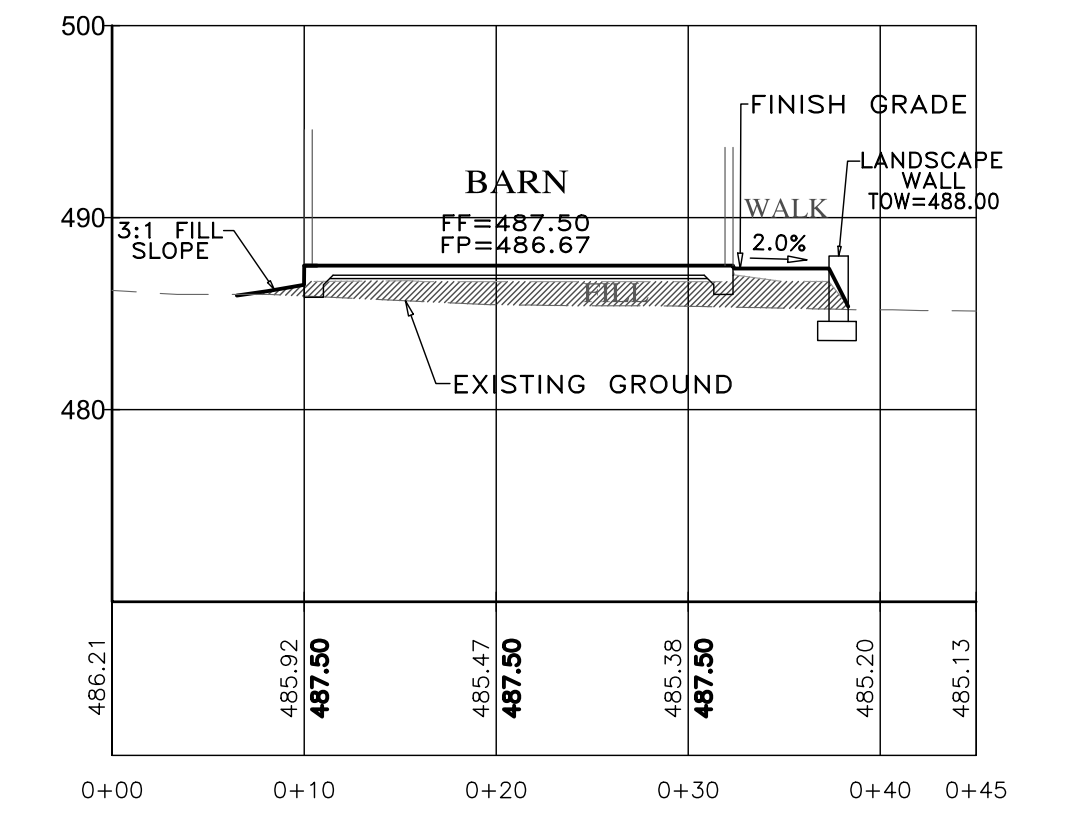
SECTION G-G
SCALE: 1"=10' H&V



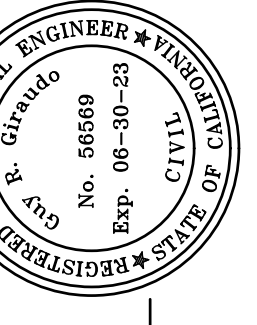
SECTION H-H
SCALE: 1"=10' H&V



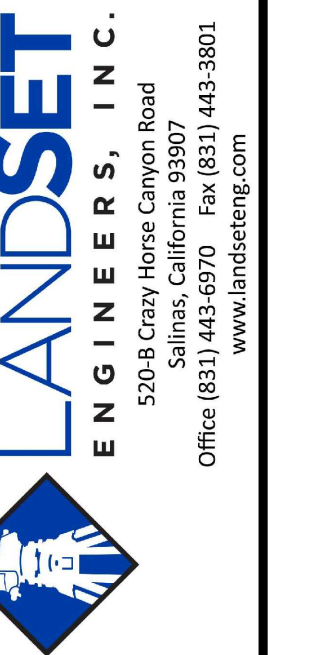
SECTION I-I
SCALE: 1"=10' H&V



SECTION J-J
SCALE: 1"=10' H&V



APPROVED BY:
GUY R. GIRAUDO



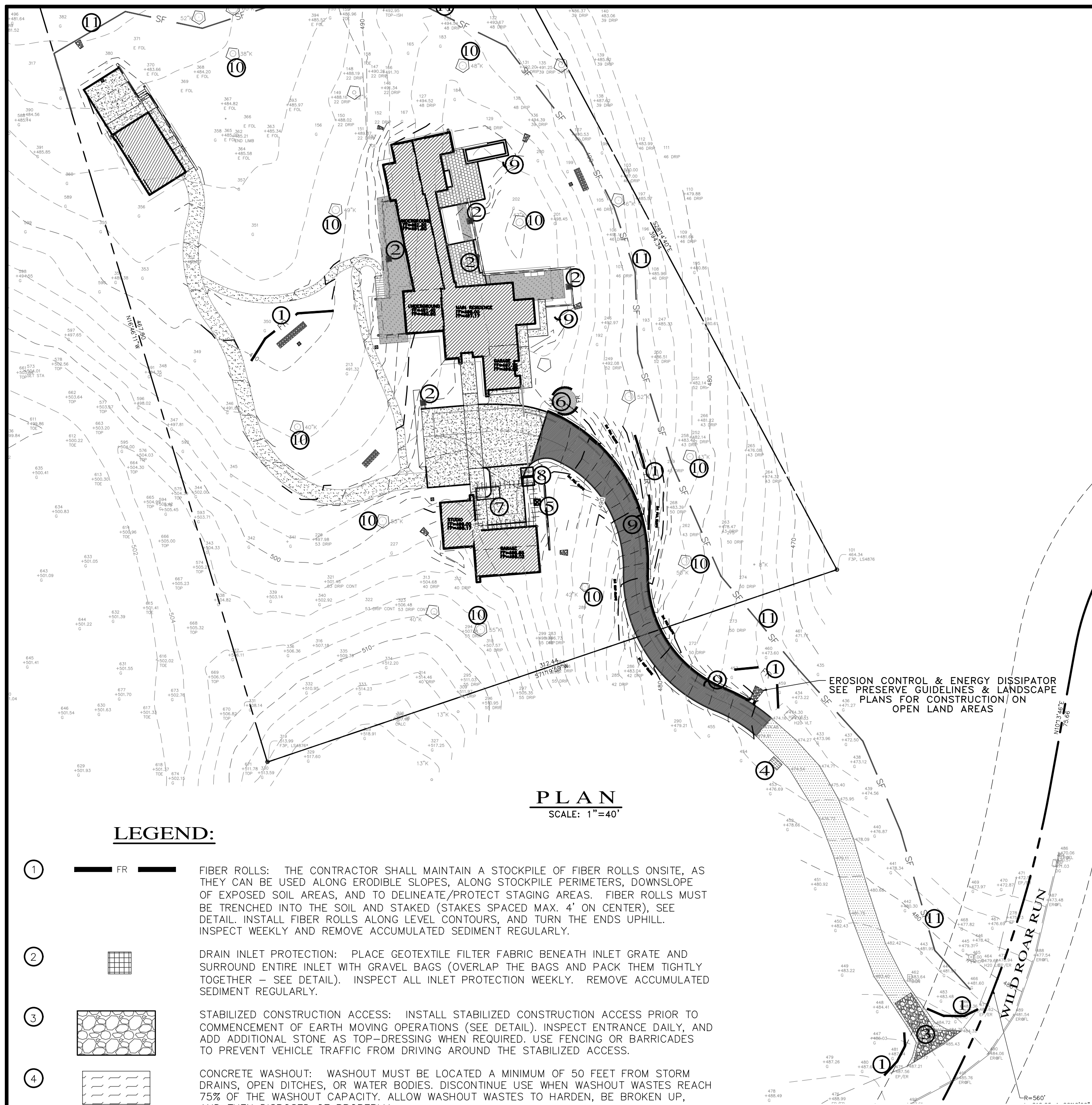
GRADING, DRAINAGE & EROSION CONTROL PLAN

WOLOVSKY RESIDENCE
A.P.N.: 239-102-004
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. WOLOVSKY

SCALE: 1"=10' H&V
DATE: MAY 2021
JOB NO. 2268-02

No.	DATE	BY	REVISION
	12/16/21	AMS	RELEASED TO CLIENT

C:\D\2268-WOLOVSKY\DWG\2268-02DCP.DWG/2436626



PLAN
SCALE: 1"=40'

- LEGEND:**
- 1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH TRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
 - 3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
 - 4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 - 5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
 - 6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
 - 7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
 - 8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
 - 9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK, TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
 - 10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
 - 11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION CONTROL & ENERGY DISSIPATOR
SEE PRESERVE GUIDELINES & LANDSCAPE
PLANS FOR CONSTRUCTION ON
OPEN LAND AREAS

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

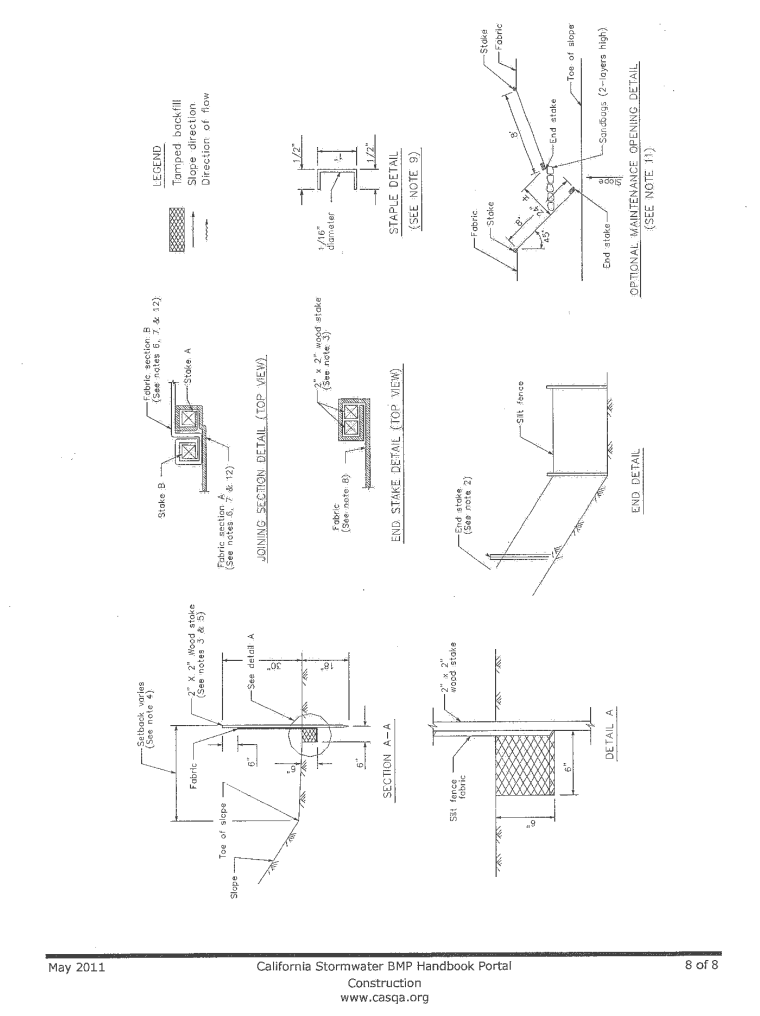
CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

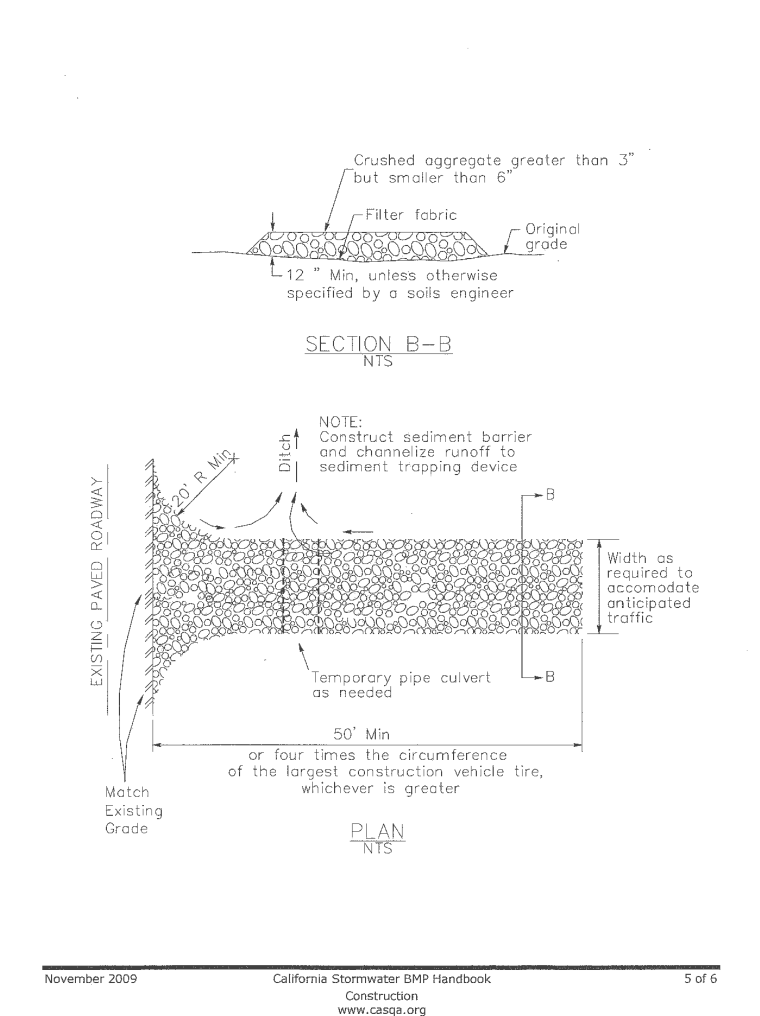
EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRUMOLATE LUSITANICA (A Mixture of Locally Native Wildflowers).
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

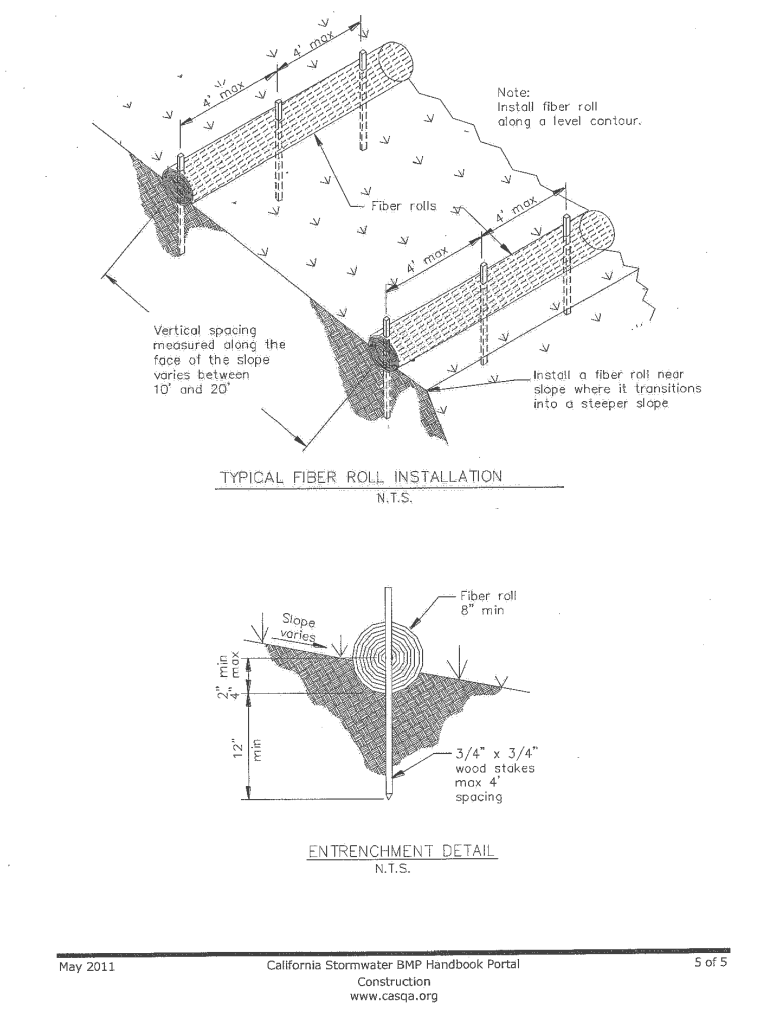
Silt Fence SE-1



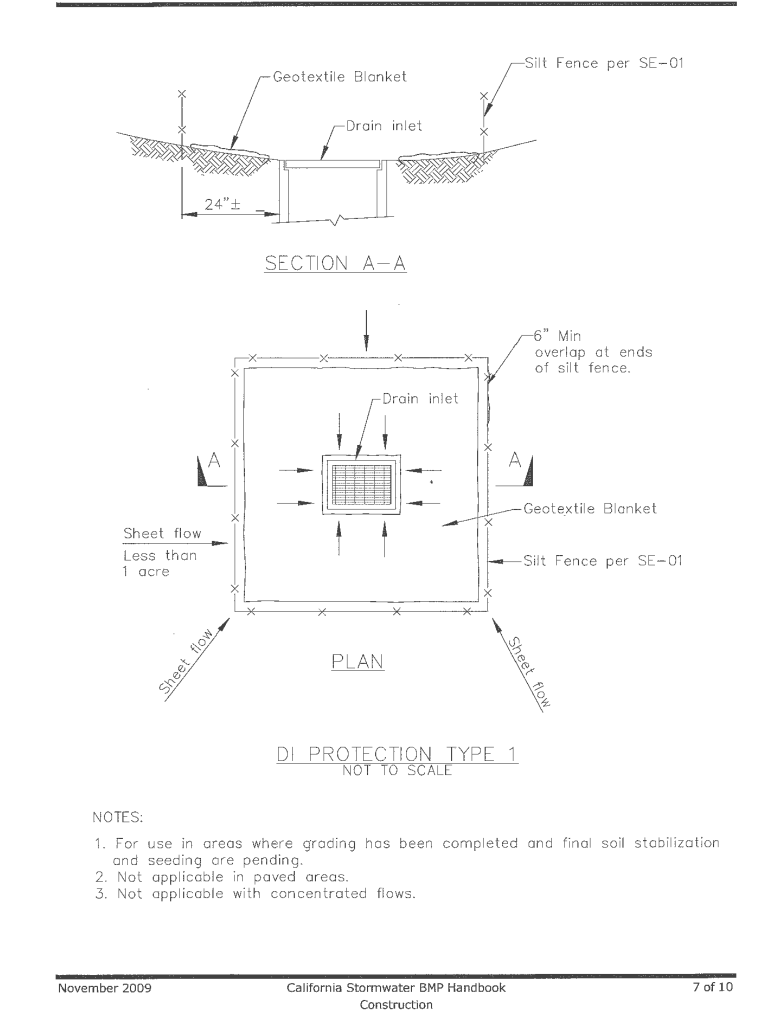
Stabilized Construction Entrance/Exit TC-1



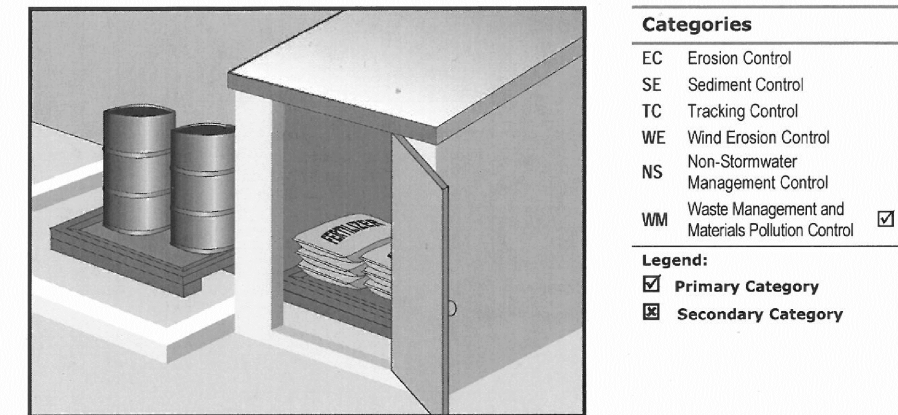
Fiber Rolls SE-5



Storm Drain Inlet Protection SE-10



Material Delivery and Storage WM-1

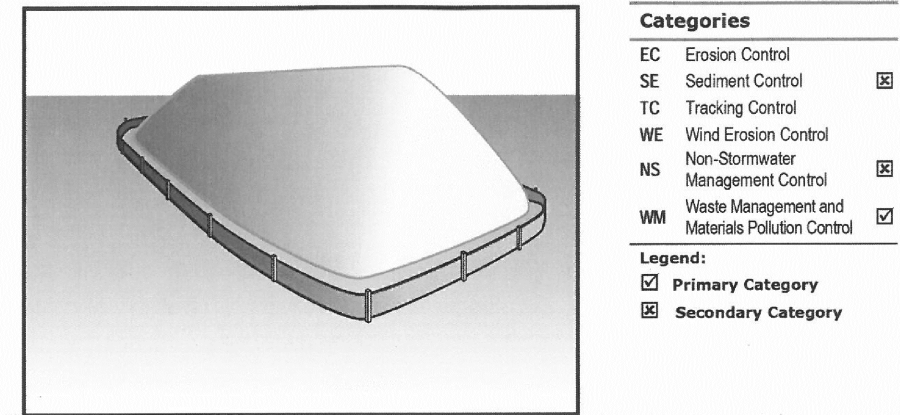


Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
 - ☐ Secondary Category
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None

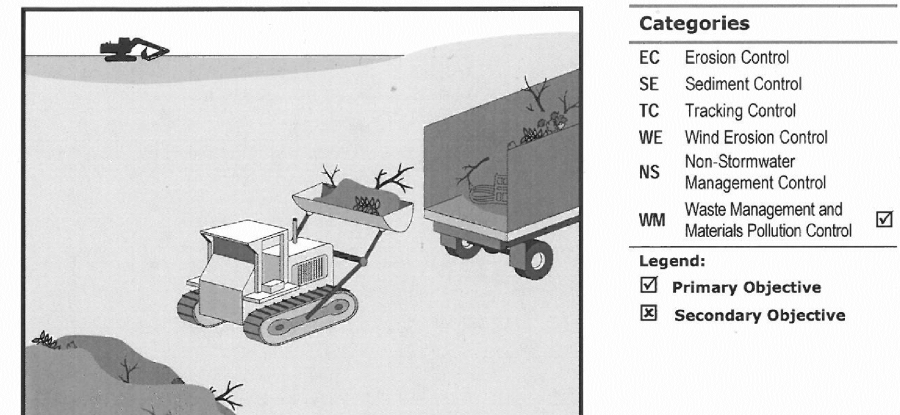
Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub-base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
 - ☐ Secondary Category
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None

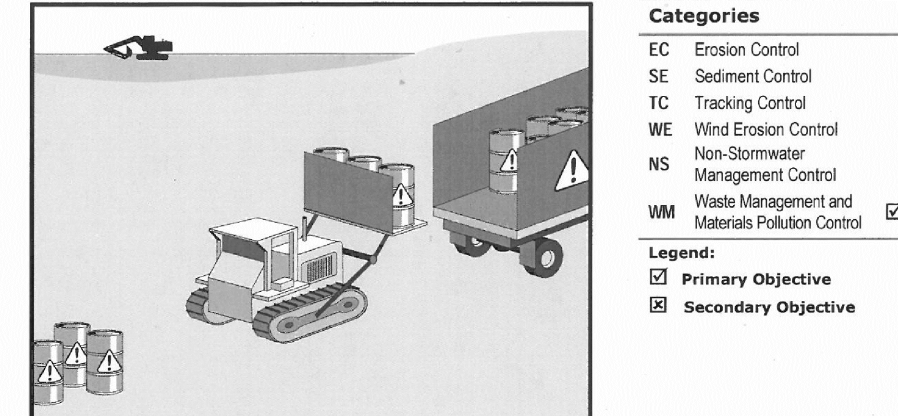
Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
 - ☐ Secondary Objective
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None

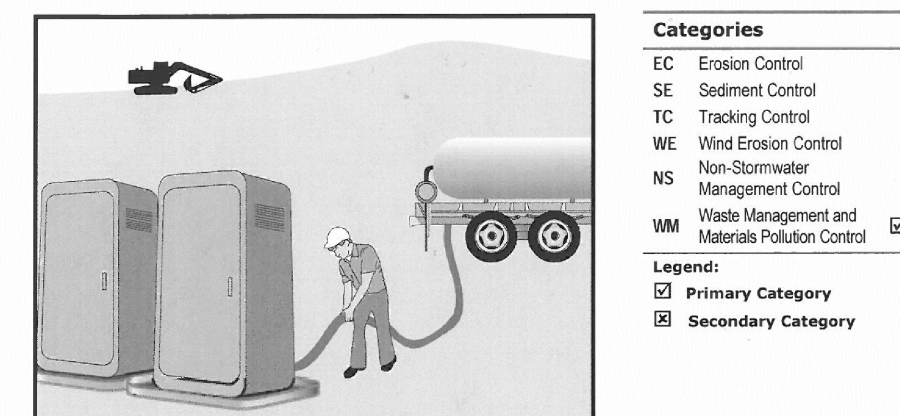
Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
 - ☐ Secondary Objective
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None

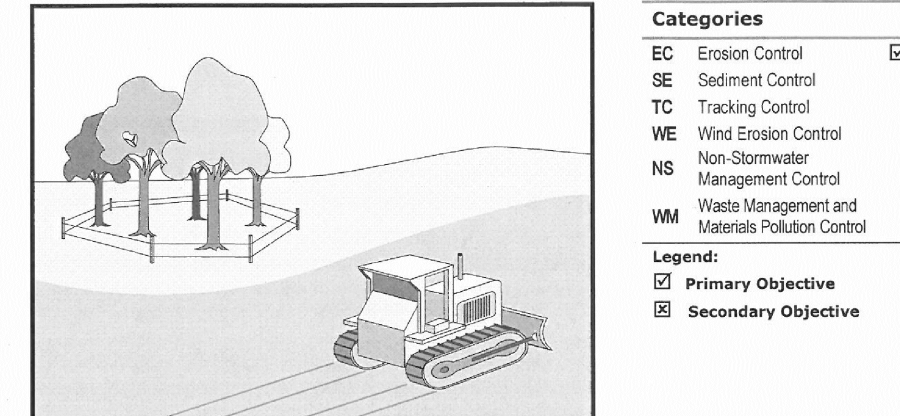
Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

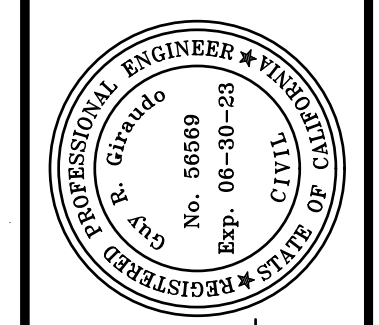
- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Category
 - ☐ Secondary Category
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - NS Non-Stormwater Management Control
 - WM Waste Management and Materials Pollution Control
- Legend:**
- ☑ Primary Objective
 - ☐ Secondary Objective
- Targeted Constituents**
- Sediment
 - Nutrients
 - Trash
 - Metals
 - Bacteria
 - Oil and Grease
 - Organics
- Potential Alternatives**
- None



APPROVED BY:
GUY R. GIRAUDO



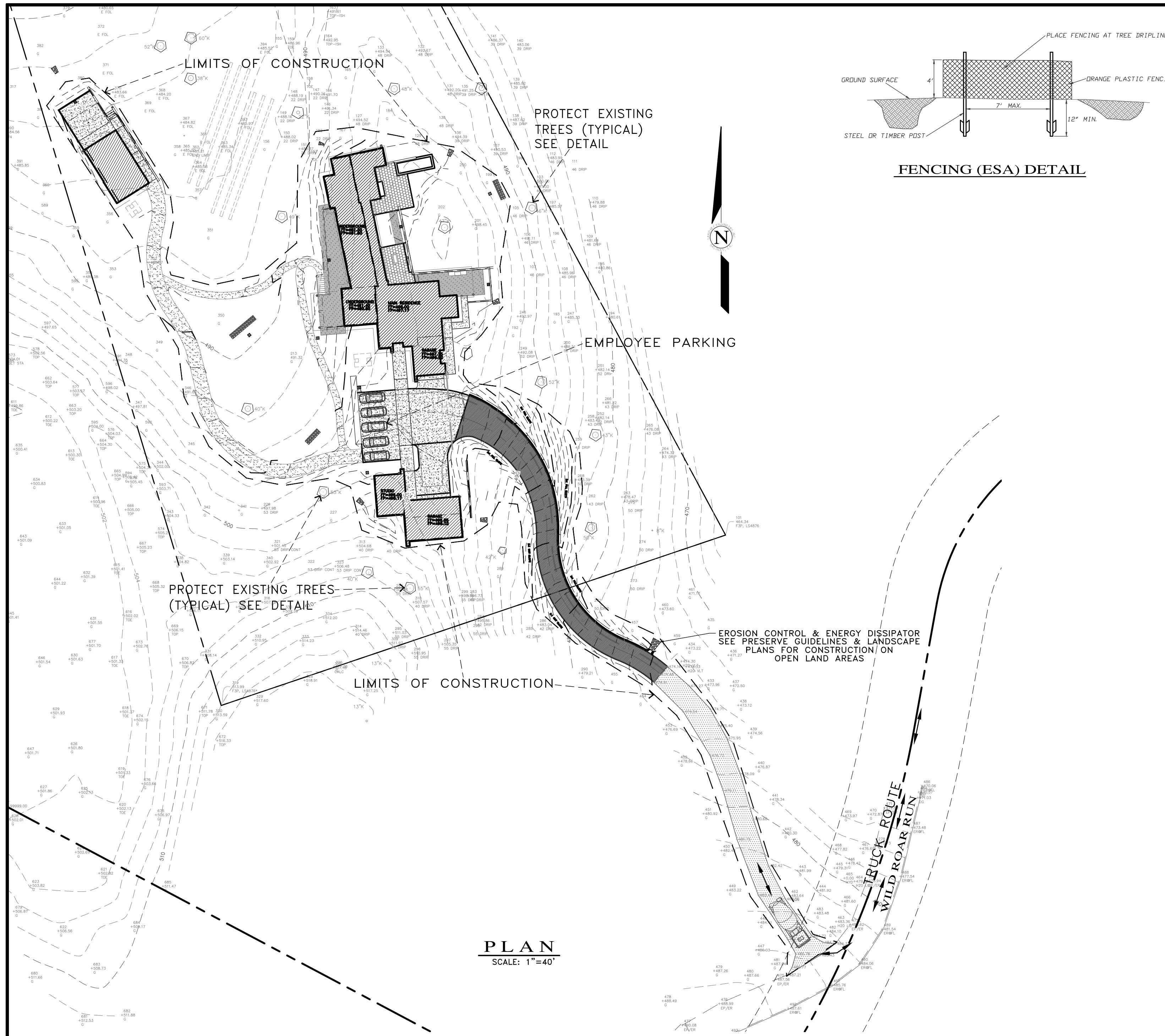
EROSION & SEDIMENT CONTROL PLAN

GRADING, DRAINAGE & EROSION CONTROL PLAN

FOR
WOLOVSKY RESIDENCE
A.P.N.: 239-102-004
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
MR. & MRS. WOLOVSKY

SCALE: AS SHOWN
DATE: MAY 2021
JOB NO. 2268-02
SHEET **C8**
OF 8 SHEETS

No.	DATE	BY	REVISION
12/16/21	AMS	RELEASED TO CLIENT	



(A) CONSTRUCTION STAGING PLAN



CONTACT INFORMATION:
PRIMARY: OWNER
KATE AND AARON WOLOVSKY
SECONDARY: ARCHITECT
HOLDREN+LEITZKE ARCHITECTURE
ATTN: MR. DAVID DWIGHT
225 CANNERY ROW, SUITE A
MONTEREY, CA 93940
PH (831)649-6001
SITE LOCATION:
2 WILD BOAR RUN
SANTA LUCIA PRESERVE
CARMEL VALLEY, CA

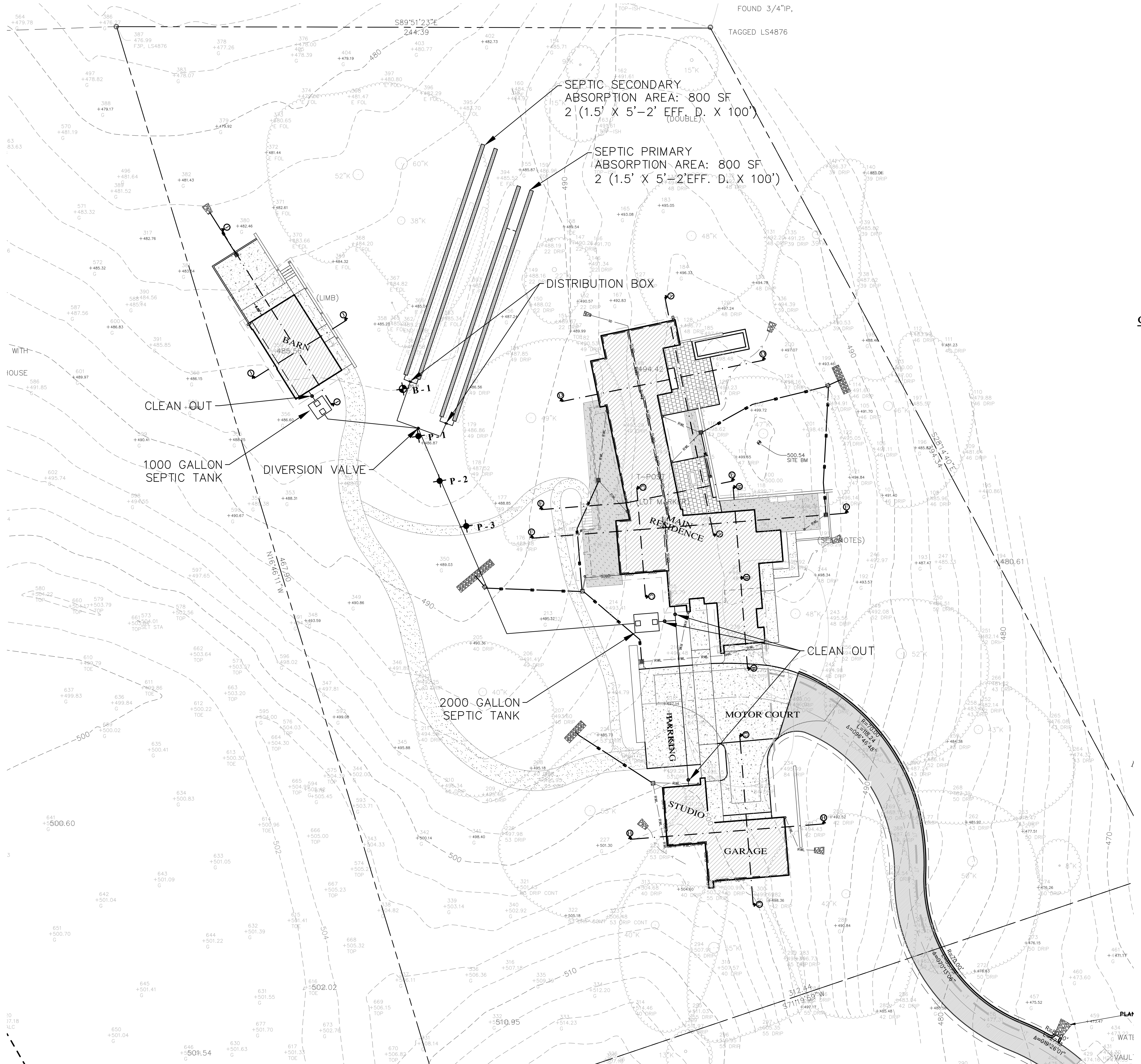
No.	DATE	BY	REVISION
12/16/21	AMS	RELEASED TO CLIENT	

APPROVED BY:
GUY R. GIRAUDO
PROFESSIONAL ENGINEER - TERRITORY OF CALIFORNIA
No. 56690
Exp. 06-30-21
www.landseteng.com

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

CONSTRUCTION MANAGEMENT PLAN
OF
WOLOVSKY RESIDENCE
A.P.N.: 239-102-004
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
MR. & MRS. WOLOVSKY

SCALE: AS SHOWN
DATE: MAY 2021
JOB NO. 2268-02
SHEET **CMP1**
OF 1 SHEETS



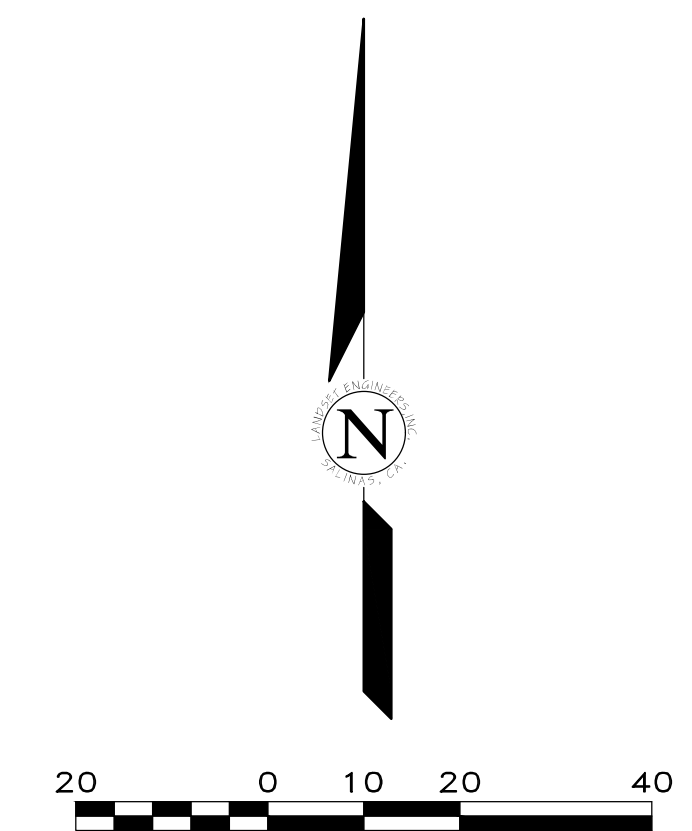
SEPTIC SECONDARY ABSORPTION AREA: 800 SF
2 (1.5' X 5'-2' EFF. D. X 100')
(DOUBLE)

SEPTIC PRIMARY ABSORPTION AREA: 800 SF
2 (1.5' X 5'-2' EFF. D. X 100')

DISTRIBUTION BOX

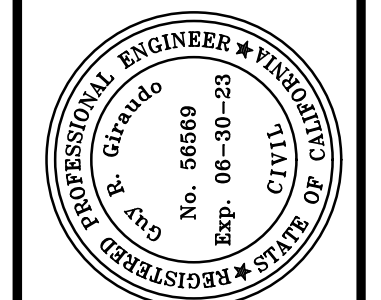
1000 GALLON SEPTIC TANK

2000 GALLON SEPTIC TANK



GENERAL NOTES:

- 1) SEPTIC SYSTEM CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST COUNTY OF MONTEREY HEALTH DEPARTMENT STANDARDS FOUND IN CHAPTER 15.20 OF THE MONTEREY COUNTY CODE AND THE LOCAL AGENCY MANAGEMENT PROGRAM.
- 2) SEPTIC SYSTEM LAYOUT AND DESIGN BASED UPON TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, AND PERCOLATION TESTING PERFORMED BY LANDSET ENGINEERS, INC.
- 3) NOT ALL UNDERGROUND UTILITIES WERE LOCATED, ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 4) THIS MAP DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 5) THE ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) IS DESIGNED FOR A VOLUME OF 450 GALLONS PER DAY BASED UPON A PROPOSED 3 BEDROOM MAIN RESIDENCE WITH A 1 BEDROOM GUEST HOUSE AND A BARN (NO BEDROOMS).
- 6) EACH DISPOSAL FIELD IS TO BE A MINIMUM OF 200 LINEAR FEET OF DISPOSAL TRENCH, WITH AN EFFECTIVE SECTION OF 2 FEET DEEP (TOTAL DEPTH OF 5 FEET) BY 1.5 FEET WIDE DETERMINED WITH THE MAXIMUM SOIL APPLICATION RATE OF 0.6 (GALLONS PER DAY PER SQUARE FEET).
- 7) SEPTIC TANK TO BE CHAPIN IPS2000 AND IPS100 OR EQUIVALENT 1000 AND 2000 GALLON CONCRETE TANK WITH WATER TIGHT ORENCO RISERS.
- 8) PIPING FROM STRUCTURE TO TANK UNIT TO BE SDR 35 OR SCHEDULE 40. MINIMUM SLOPE TO BE 2%.
- 9) SUPPLY LINES FROM SEPTIC TANK TO DISPOSAL FIELD TO BE SDR 35 OR SCHEDULE 40.
- 10) 2" FORCE MAIN FROM BARN GRINDER PUMP TO SEPTIC TANK INLET TO BE SDR 35 OR SCHEDULE 40.
- 11) DISPOSAL FIELD LATERALS TO BE 4" PERFORATED PIPE.
- 12) DISPOSAL TRENCH BOTTOM AND PERF PIPE TO BE APPROXIMATELY LEVEL. MAX TRENCH DEPTH TO BE 5" BELOW SURFACE.
- 13) INSPECTION RISERS TO BE PLACED AT THE ENDS OF EACH DISPOSAL TRENCH.
- 14) PRIMARY AND SECONDARY DISPOSAL FIELDS TO BE SEPARATED BY BULL RUN VALVE.
- 15) EFFECTIVE CROSS SECTION IN DRAINAGE TRENCH TO BE COMPRISED OF 3/4" TO 1 1/2" WASHED DRAIN ROCK.
- 16) CLEANOUTS SHALL BE INSTALLED AT THE EXIT OF ALL BUILDINGS, AT HORIZONTAL BENDS IN GRAVITY CONVEYANCE LINES, AND AT INTERVALS NOT EXCEEDING 100 FT IN GRAVITY FLOW PIPING.
- 17) ALL OPEN BOTTOM VAULTS, BOXES, OR COMPONENTS TO HAVE GOPHER WIRE OR SIMILAR PROTECTION FROM BURROWING ANIMALS INSTALLED.
- 18) TRACER WIRE AS REQUIRED BY COUNTY.
- 19) DISPOSAL FIELDS ARE TO MAINTAIN PROPER SETBACKS FROM STRUCTURES, TREES, PROPERTY BOUNDARIES, ETC., UNLESS SETBACK VARIANCE GRANTED.
- 20) THE SITE LAYOUT IS APPROXIMATE ONLY. THE COMPONENT ELEVATIONS, SEPTIC TANK LOCATION AND DISPOSAL FIELDS MAY BE ADJUSTED TO BETTER ACCOMMODATE SITE CONSTRAINTS. DISPOSAL FIELD LENGTHS NOTED ARE MINIMUM REQUIRED LENGTHS. SEPTIC TANK AND DISPOSAL FIELDS TO MAINTAIN ALL SETBACKS PER THE LAMP.
- 21) TREE REMOVAL PERMIT OR SETBACK VARIANCE MAY BE REQUIRED BY THE COUNTY OF MONTEREY. THE OWNER SHALL PROCURE IF REQUIRED.



APPROVED BY:
GUY R. GIBSON
Professional Engineer
No. 56869
Exp. 06-30-23



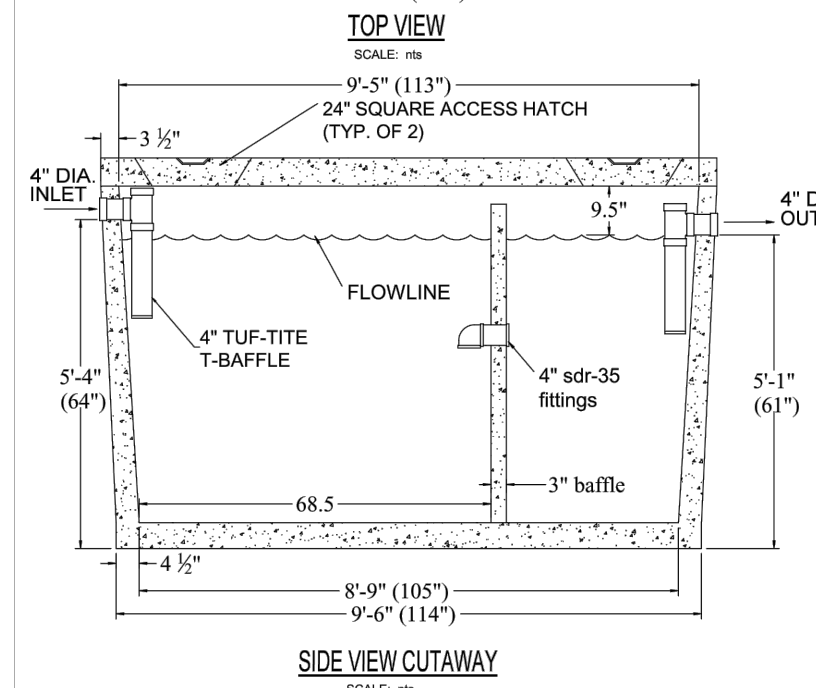
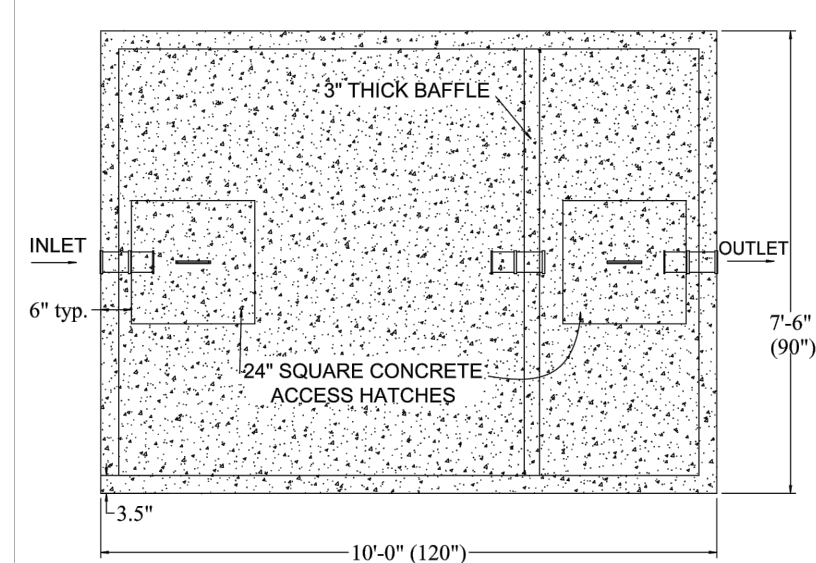
ONSITE WASTEWATER TREATMENT PLAN
 OF
WOLOVSKY RESIDENCE
 CARMEL VALLEY, CALIFORNIA
 FOR
MR. & MRS. WOLOVSKY

SCALE: 1" = 20'
 DATE: NOV 2021
 JOB NO. 2268-03

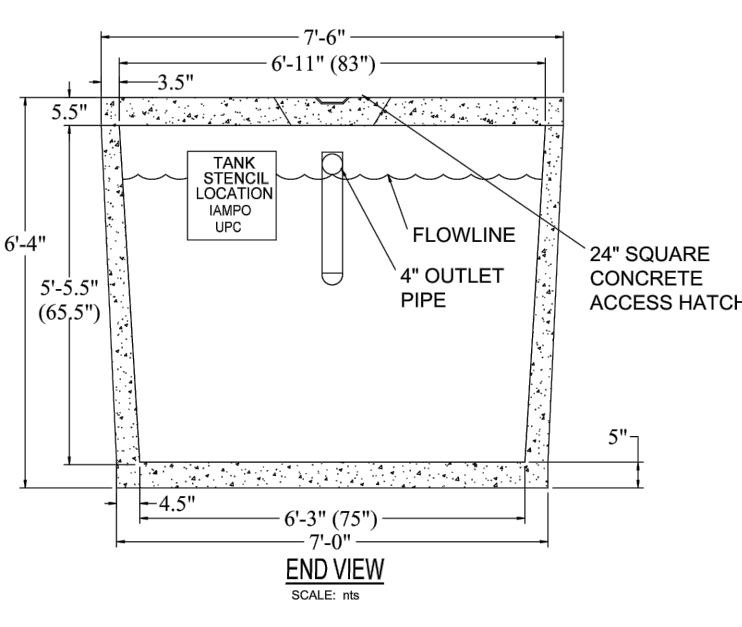
SHEET **SEP 1**
 OF 2 SHEETS

No.	DATE	BY	REVISION
07/15/22	AL		SEPTIC LAYOUT
11/29/21	PMG		PRELIM LAYOUT

IPS2000 SEPTIC TANK DETAILS
SCALE: NTS



- NOTES:**
- EXCAVATION SPECIFICATIONS:
LENGTH 11' - 0"
WIDTH 9' - 0"
DEPTH BELOW INLET 5'-4"
DON CHAPIN PRE-CAST MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
 - CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
 - THIS IS ALSO AVAILABLE AS AN H20 RATED ASSEMBLY
 - INTEGRAL TOP TO BODY DESIGN



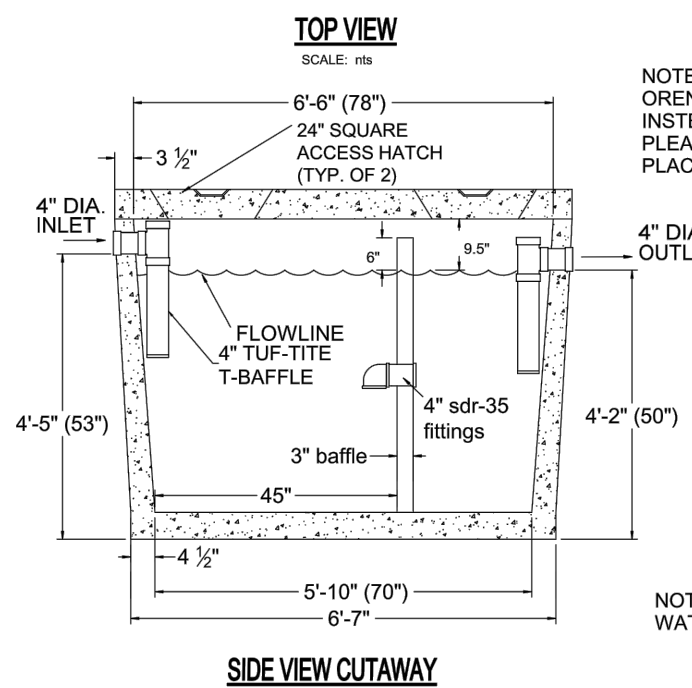
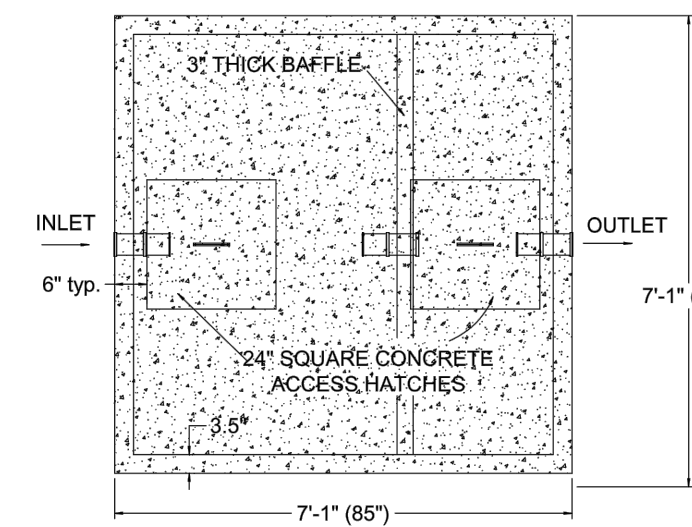
DON CHAPIN PRE-CAST
2735 BOLSA RD.
HOLLISTER, CA 95023
(831) 630-1042
(831) 630-5763

PRE-CAST CONCRETE WATER TIGHT
SEPTIC TANK
CAPACITY 2000 GALLONS
MODEL IPS2000

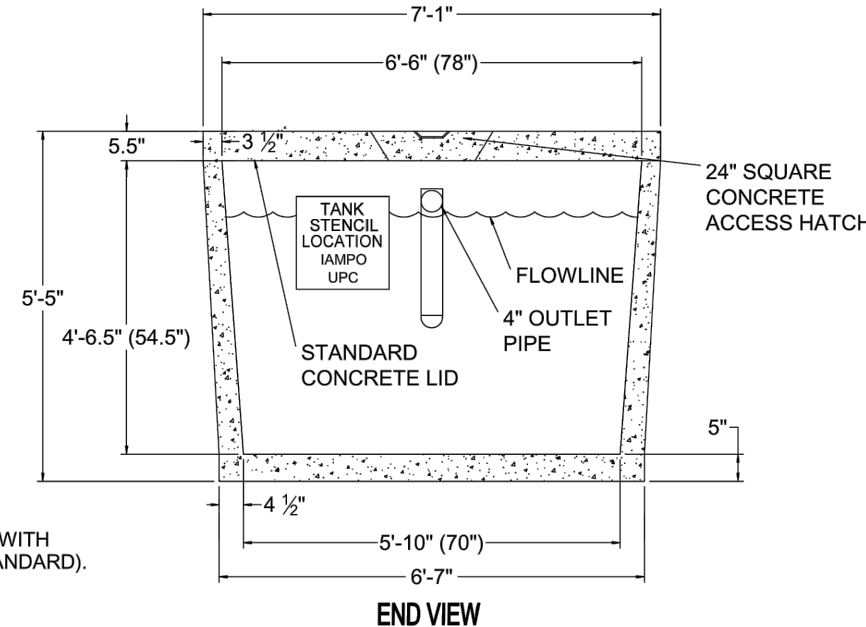


3/13/09

IPS1000 SEPTIC TANK DETAILS
SCALE: NTS



- NOTES:**
- EXCAVATION SPECIFICATIONS:
LENGTH 8' - 0"
WIDTH 8' - 0"
DEPTH BELOW INLET 4'-5"
DON CHAPIN PRE-CAST MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
 - CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
 - THIS IS ALSO AVAILABLE AS AN H20 RATED ASSEMBLY
 - INTEGRAL TOP TO BODY DESIGN



DON CHAPIN PRE-CAST
2735 BOLSA RD.
HOLLISTER, CA 95023
(831) 630-1042
(831) 630-5763

PRE-CAST CONCRETE WATER TIGHT
SEPTIC TANK
CAPACITY 1000 GALLONS
MODEL IPS1000

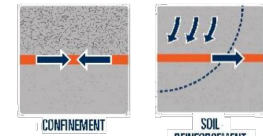


3/12/09

MIRAFI BXG 110 PRODUCT DATA SHEET



TENCATE GEOSYNTHETICS
Americas



Mirafi® BXG110

Mirafi® BXG110 geogrid is composed of polypropylene resin which is extruded, punched and drawn into a grid structure. Mirafi® BXG110 is inert to biological degradation and resistant to naturally encountered chemicals, alkalis, and acids.

TenCate Geosynthetics Americas Laboratories are accredited by Geosynthetic Accreditation Institute - Laboratory Accreditation Program (GAI-LAP).

Mechanical Properties	Test Method	Unit	Minimum Average Roll Value	
			MD	CD
Tensile Strength (at ultimate) ¹	ASTM D6637	lbs/ft (kN/m)	850 (12.4)	1300 (19.0)
Tensile Strength (at 2% strain) ¹	ASTM D6637	lbs/ft (kN/m)	280 (4.1)	450 (6.6)
Tensile Strength (at 5% strain) ¹	ASTM D6637	lbs/ft (kN/m)	580 (8.5)	920 (13.4)
Junction Strength ²		lbs/ft (kN/m)	795 (11.6)	1213 (17.7)
Junction Efficiency ²		%	93	
Flexural Rigidity ³		mg-cm	250,000	
Aperture Stability ⁴		m-N/deg	0.32	
Resistance to Installation Damage ⁵		% SC/SW/GP	95 / 93 / 89	
Resistance to Long Term Degradation ⁶		%	100	
Resistance to UV Degradation ⁷		%	100	

¹ True resistance to elongation when initially subjected to a load determined in accordance with ASTM D6637 without deforming test material under load before measuring such resistance or employing "secant" or "offset" tangent methods of measurement so as to overstate tensile properties.

² Load transfer capability expressed as a percentage of ultimate tensile strength.

³ Resistance to bending force determined in accordance with ASTM D7748, using specimens of width two ribs wide, with transverse ribs out flush with exterior edges of longitudinal ribs (as a "ladder"), and of length sufficiently long to enable measurement of the overhang dimension. The overall Flexural Rigidity is calculated as the square root of the product of MD and CD Flexural Rigidity values.

⁴ Resistance to in-plane rotational movement measured by applying a 20 kg-cm (2 m-N) moment to the central junction of a 9 inch x 9 inch specimen restrained at its perimeter in accordance with GRI G93.

⁵ Resistance to loss of load capacity or structural integrity when subjected to mechanical installation stress in clayey sand (SC), well graded sand (SW), and crushed stone classified as poorly graded gravel (GP). The geogrid shall be sampled in accordance with ASTM D5818 and load capacity shall be determined in accordance with ASTM D6637.

⁶ Resistance to loss of load capacity or structural integrity when subjected to chemically aggressive environments in accordance with EPA 9090 immersion testing.

⁷ Resistance to loss of load capacity or structural integrity when subjected to 500 hours of ultraviolet light and aggressive weathering in accordance with ASTM D4355.

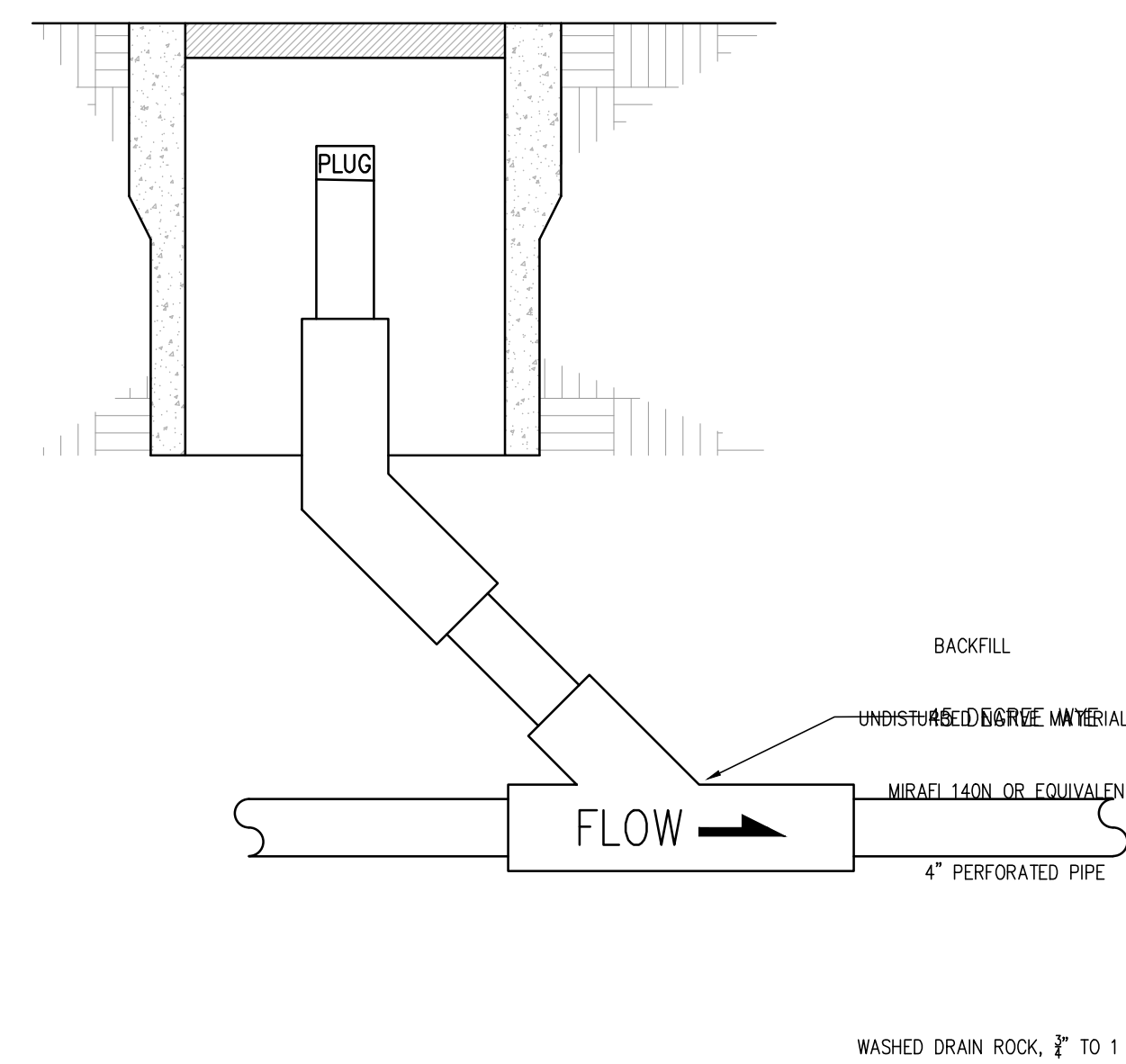
Physical Properties	Unit	Typical Value
Rib Thickness	in (mm)	0.03 (0.76) 0.03 (0.76)
Grid Aperture Size (MD)	in (mm)	0.9 (23.0)
Grid Aperture Size (CD)	in (mm)	1.3 (33.0)
Roll Dimensions (width x length)	ft (m)	12.9 x 246 (3.93 x 75)
Roll Area	yd ² (m ²)	353 (295)

Disclaimer: TenCate assumes no liability for the accuracy or completeness of this information or for the ultimate use by the purchaser. TenCate disclaims any and all express, implied, or statutory standards, warranties or guarantees, including without limitation any implied warranty as to merchantability or fitness for a particular purpose or arising from a course of dealing or usage of trade as to any equipment, materials, or information furnished herein. This document should not be construed as engineering advice.

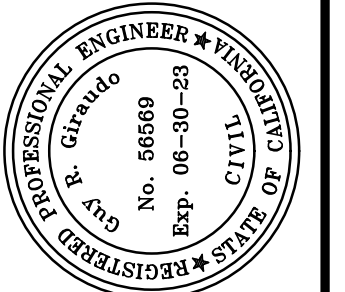
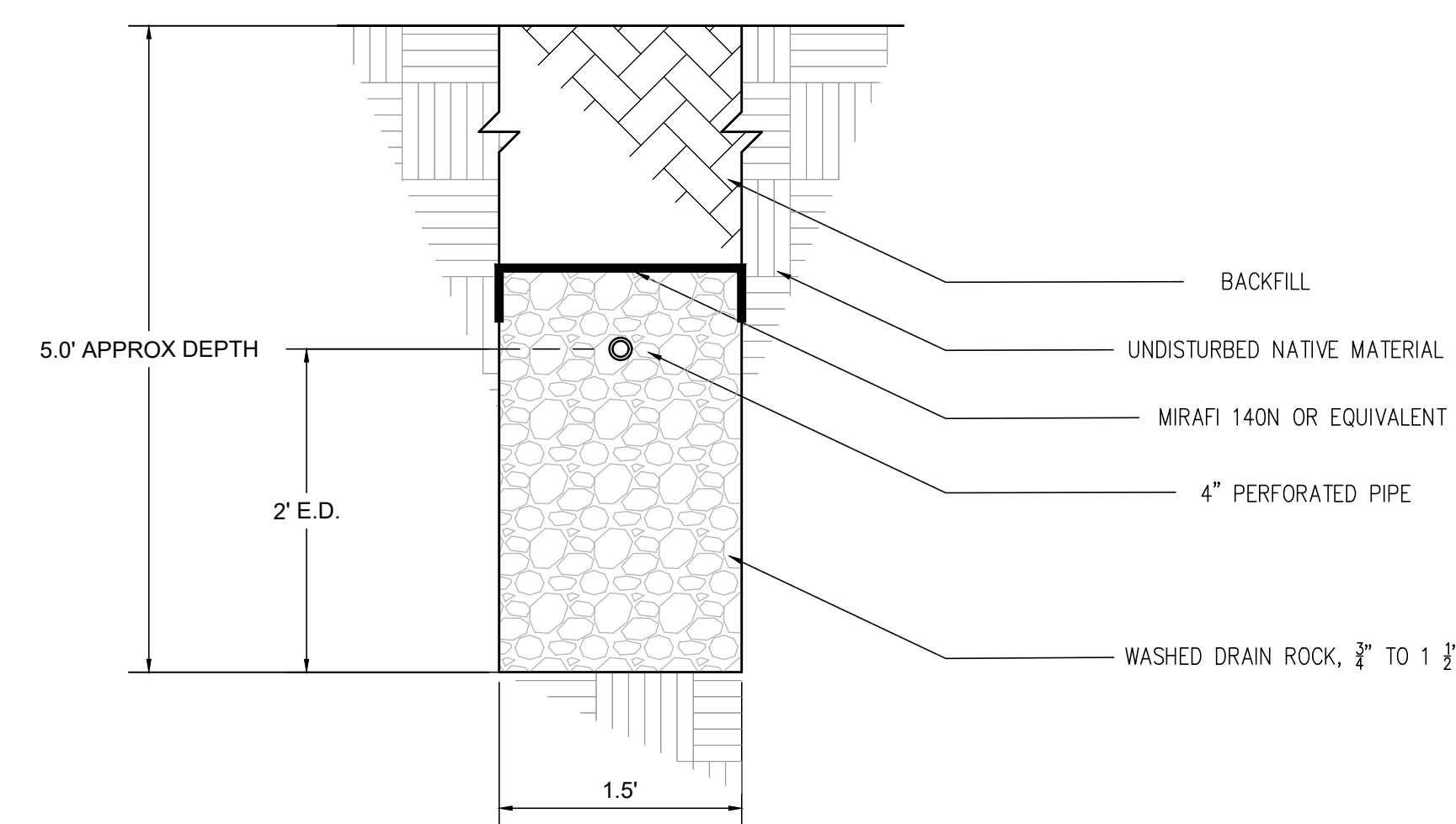
Mirafi® is a registered trademark of Nicolon Corporation.
365 South Holland Drive
Pensacola, FL 32507
Tel 706 693 2226
Tel 888 765 0808
Fax 706 693 4400
www.tencate.com
FGS000743
ETQR14

Copyright © 2015 Nicolon Corporation. All Rights Reserved.
GAI-LAP-25-97
GMA

CLEANOUT DETAIL
SCALE: NTS



DRAINAGE TRENCH CROSS SECTION
SCALE: NTS



APPROVED BY:
GUY R. GIRARDI
7/2/22



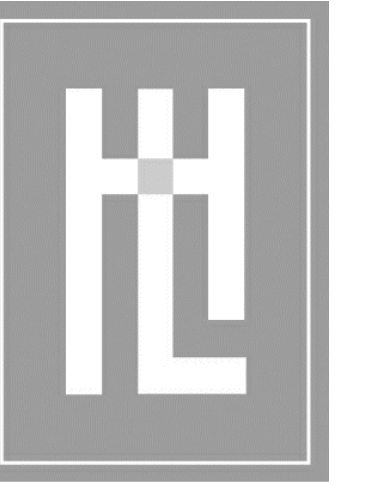
ONSITE WASTEWATER TREATMENT PLAN

OF
WOLOVSKY RESIDENCE
CARMEL VALLEY, CALIFORNIA
FOR
MR. & MRS. WOLOVSKY

SCALE: NTS
DATE: NOV 2021
JOB NO. 2356-01

SHEET **SEP 2**
OF 2 SHEETS

No.	DATE	BY	REVISION
07/15/22	AL		RELEASED TO CLIENT
11/18/21	PMG		RELEASED TO CLIENT



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

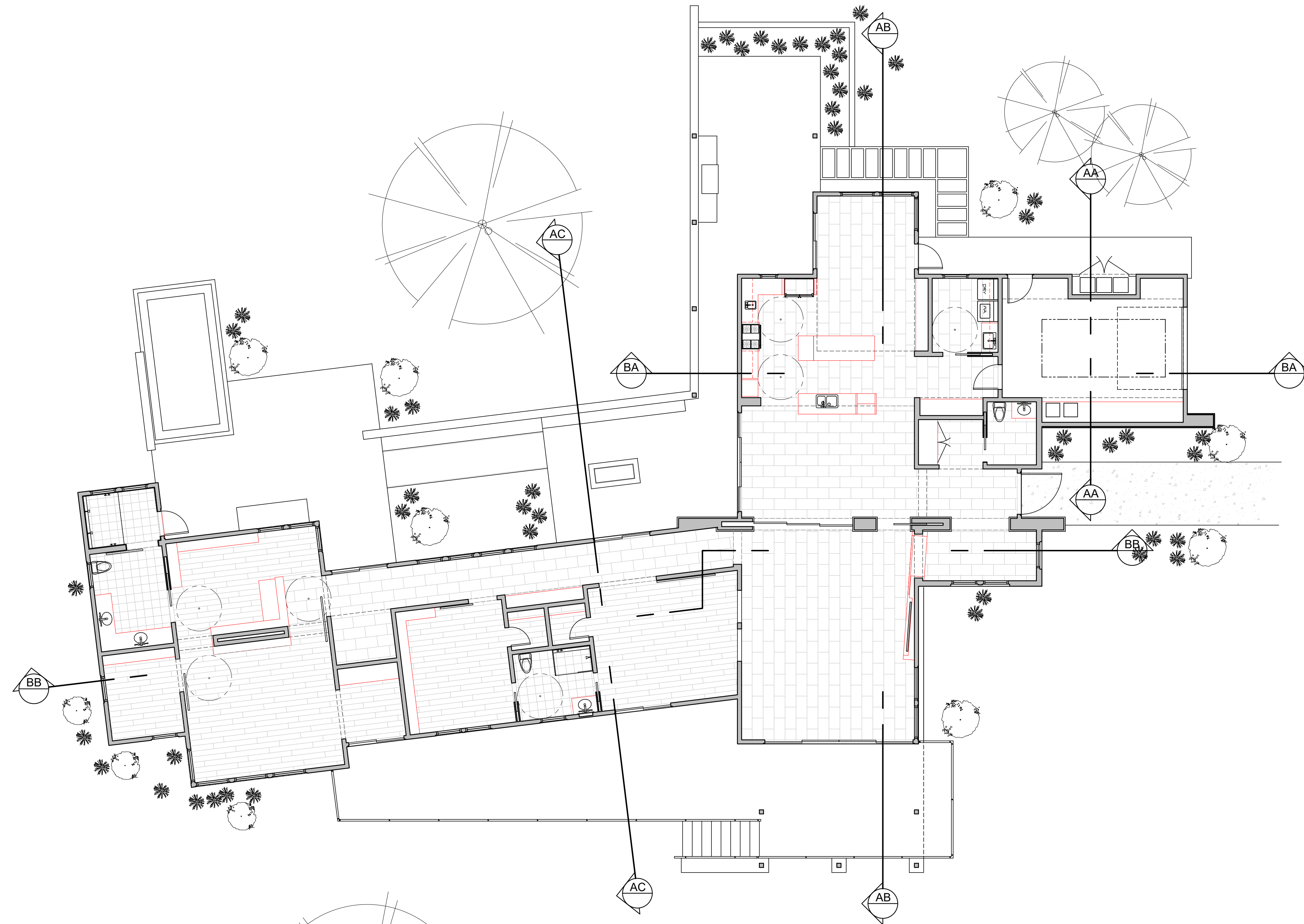
DATE: 09.12.2022

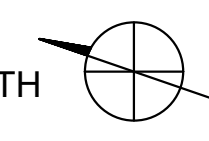
SCALE: 1/8"=1'-0"

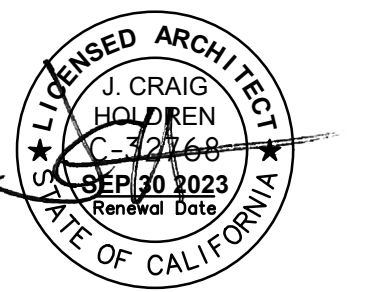
DRAWN: DWD

JOB NUMBER: 19.22

REVISION

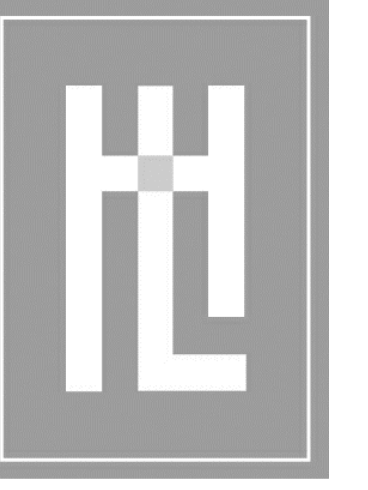


 NORTH
MAIN HOUSE
SCALE: 1/8" = 1'-0"



1/8" FLOOR PLANS
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

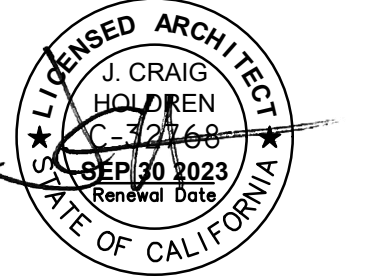
A2.0



**HOLDREN+LIETZKE
ARCHITECTURE**

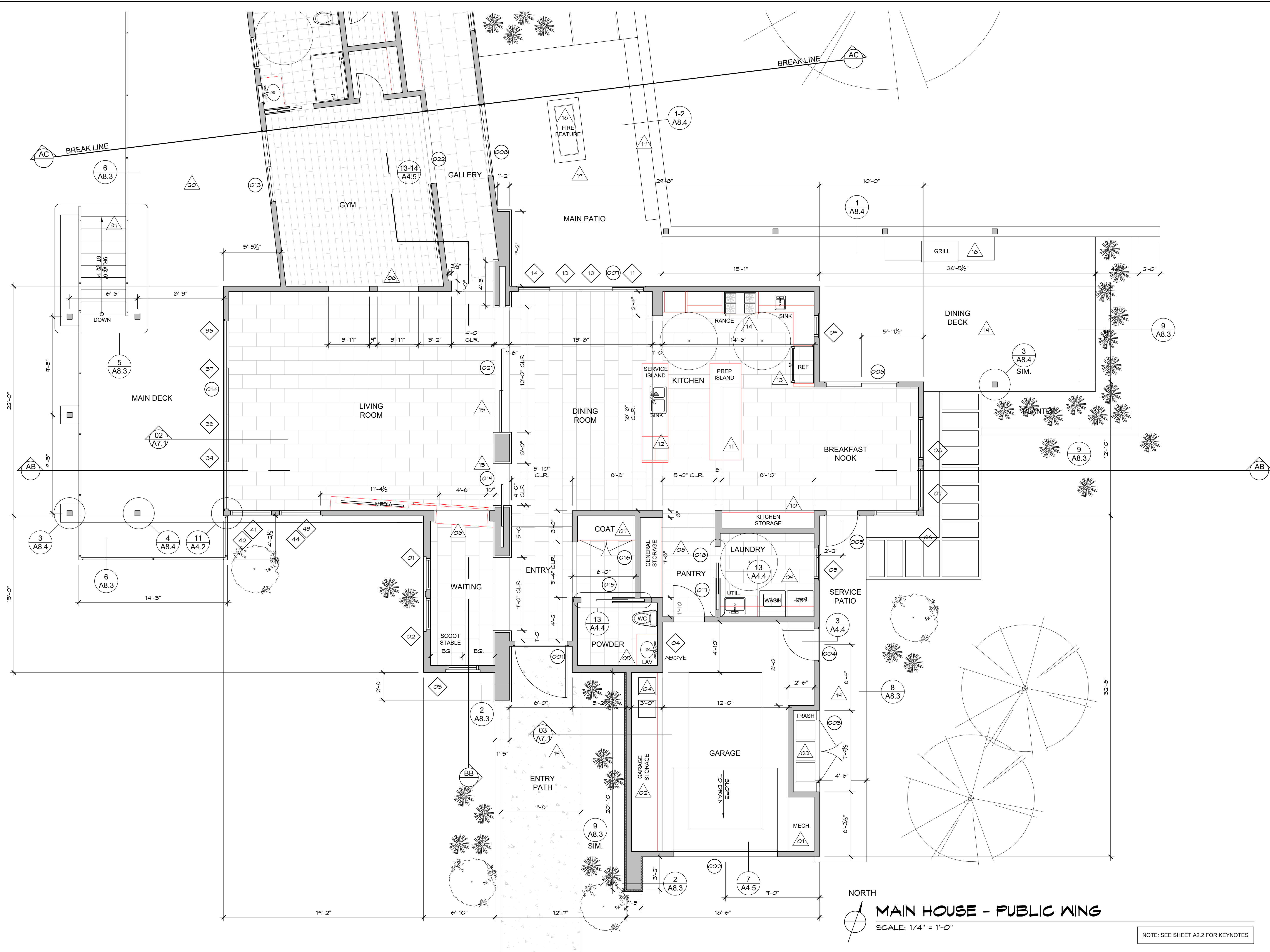
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 09.12.2022
SCALE: 1/4"=1'-0"
DRAWN: DWD
JOB NUMBER: 19.22
REVISION



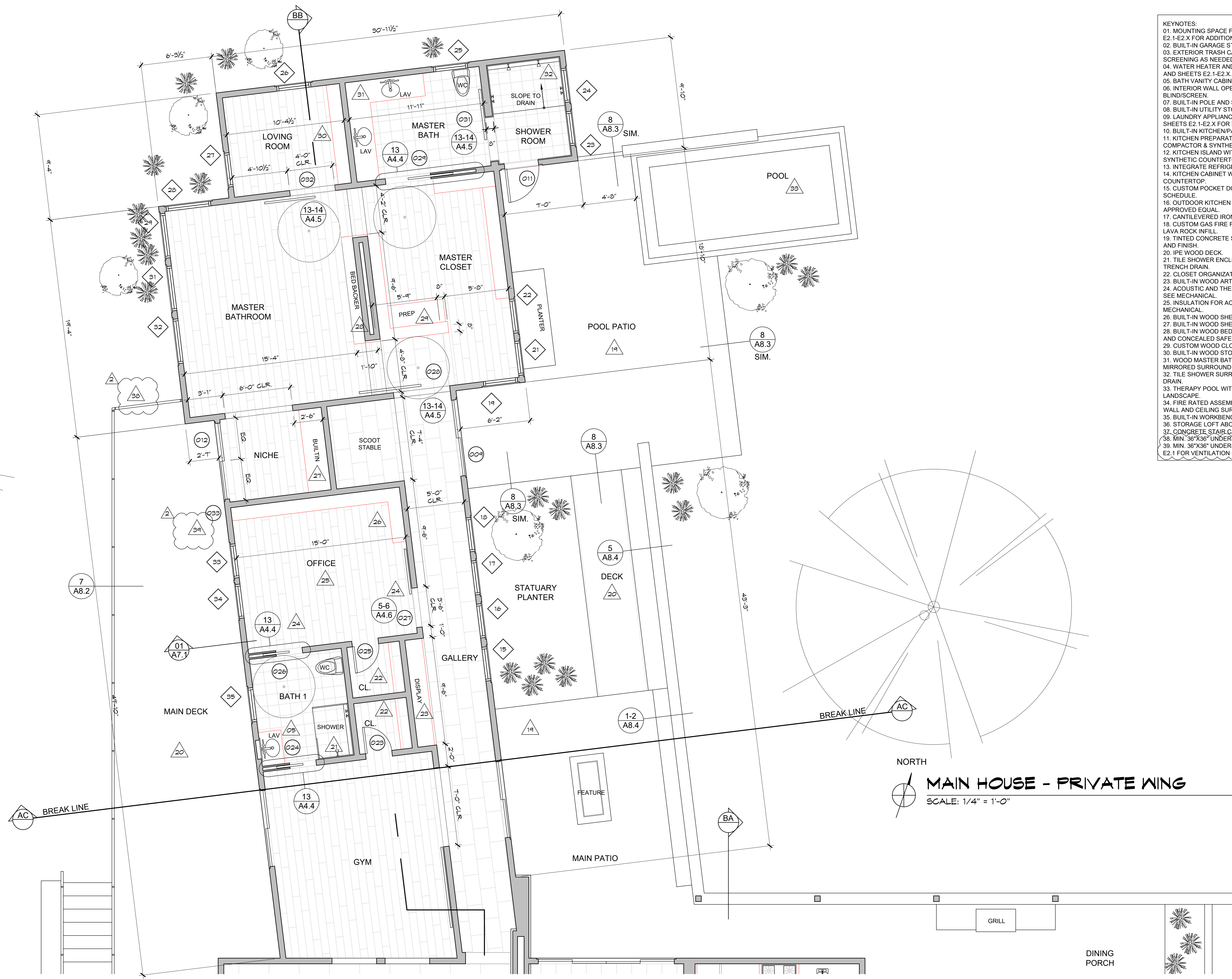
1/4" MAIN FLOOR PLAN - PUBLIC WING
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A2.1

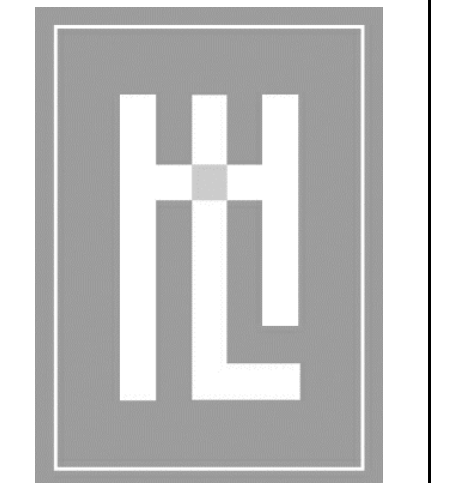


MAIN HOUSE - PUBLIC WING
SCALE: 1/4" = 1'-0"

NOTE: SEE SHEET A2.2 FOR KEYNOTES



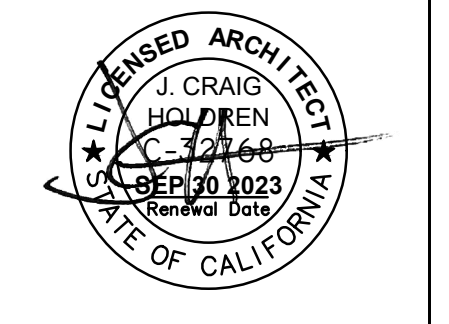
- KEYNOTES:
01. MOUNTING SPACE FOR CONTROL AND CUTOFF PANELS. SEE SHEETS E2.1-E2.X FOR ADDITIONAL INFORMATION.
 02. BUILT-IN GARAGE STORAGE.
 03. EXTERIOR TRASH CAN ENCLOSURE. INSTALL MESH SCREENING AS NEEDED. SEE DOOR SCHEDULE.
 04. WATER HEATER AND HEATING UNIT LOCATION. SEE MECH. AND SHEETS E2.1-E2.X.
 05. BATH VANITY CABINET WITH MIRROR ABOVE.
 06. INTERIOR WALL OPENING WITH CUSTOM WOOD PRIVACY BLIND/SCREEN.
 07. BUILT-IN POLE AND SHELF.
 08. BUILT-IN UTILITY STORAGE CABINET.
 09. LAUNDRY APPLIANCE LOCATION WITH SHELVING ABOVE. SEE SHEETS E2.1-E2.X FOR REQUIREMENTS.
 10. BUILT-IN KITCHEN/PANTRY STORAGE CABINET.
 11. KITCHEN PREPARATION AND STORAGE ISLAND WITH TRASH COMPACTOR & SYNTHETIC COUNTERTOP.
 12. KITCHEN ISLAND WITH SINK, DISH WASHER, PLATE STORAGE & SYNTHETIC COUNTERTOP.
 13. INTEGRATE REFRIGERATOR WITH CABINET FINISH.
 14. KITCHEN CABINET WITH RANGE, SINK & SYNTHETIC COUNTERTOP.
 15. CUSTOM POCKET DOOR/ROOM DIVIDER. SEE DOOR SCHEDULE.
 16. OUTDOOR KITCHEN BUILT-IN WITH GRILL BY LYNX OR APPROVED EQUAL.
 17. CANTILEVERED IRON WOOD BENCH. SEE DETAILS.
 18. CUSTOM GAS FIRE FEATURE WITH METAL SURROUND AND LAVA ROCK INFILL.
 19. TINTED CONCRETE SURFACE. SEE LANDSCAPE FOR COLOR AND FINISH.
 20. IPE WOOD DECK.
 21. TILE SHOWER ENCLOSURE WITH TEMP. GLASS. SLOPE TO TRENCH DRAIN.
 22. CLOSET ORGANIZATION BY CALIFORNIA CLOSETS.
 23. BUILT-IN WOOD ART DISPLAY.
 24. ACOUSTIC AND THERMAL SEPARATION PROVIDED AT DOOR. SEE MECHANICAL.
 25. INSULATION FOR ACOUSTIC AND THERMAL ISOLATION. SEE MECHANICAL.
 26. BUILT-IN WOOD SHELVING.
 27. BUILT-IN WOOD SHELVING AND STORAGE.
 28. BUILT-IN WOOD BED BACKER WITH INTEGRATED ELECTRICAL AND CONCEALED SAFE.
 29. CUSTOM WOOD CLOSET ORGANIZATION.
 30. BUILT-IN WOOD STORAGE AND SHELVING.
 31. WOOD MASTER BATHROOM VANITY WITH SINKS. CUSTOM MIRROR SURROUND ABOVE.
 32. TILE SHOWER SURROUND WITH FLOOR SLOPED TO TRENCH DRAIN.
 33. THERAPY POOL WITH CONCRETE & STONE SURROUND. SEE LANDSCAPE.
 34. FIRE RATED ASSEMBLY WITH TYPE 'X' GYPSUM BOARD AT ALL WALL AND CEILING SURFACES. SEE PAGE NOTES.
 35. BUILT-IN WORKBENCH. CONSULT CLIENT FOR LAYOUT.
 36. STORAGE LOFT ABOVE.
 37. CONCRETE STAIR CASE. SEE SHEET A8.3.
 38. MIN. 36"X36" UNDER-DECK ACCESS OPENING.
 39. MIN. 36"X36" UNDER-FLOOR LOUVRED ACCESS. SEE SHEET E2.1 FOR VENTILATION CALCULATIONS.



HOLDREN+LIETZKE
ARCHITECTURE

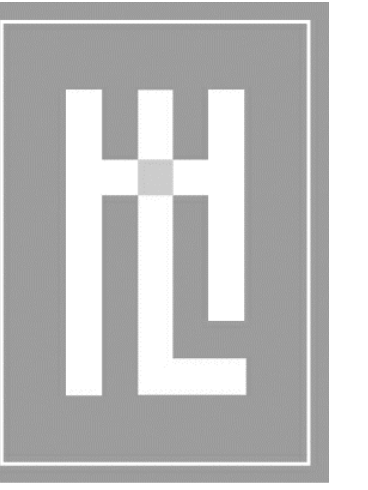
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE:	09.12.2022
SCALE:	1/4"=1'-0"
DRAWN:	DVD
JOB NUMBER:	19.22
REVISION	
2	PLAN CHECK REVS. 12.15.2022



1/4" MAIN FLOOR PLAN - BEDROOM WING
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

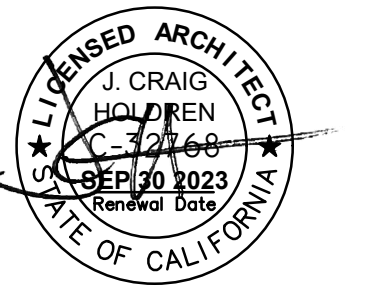
A2.2



**HOLDREN+LIETZKE
ARCHITECTURE**

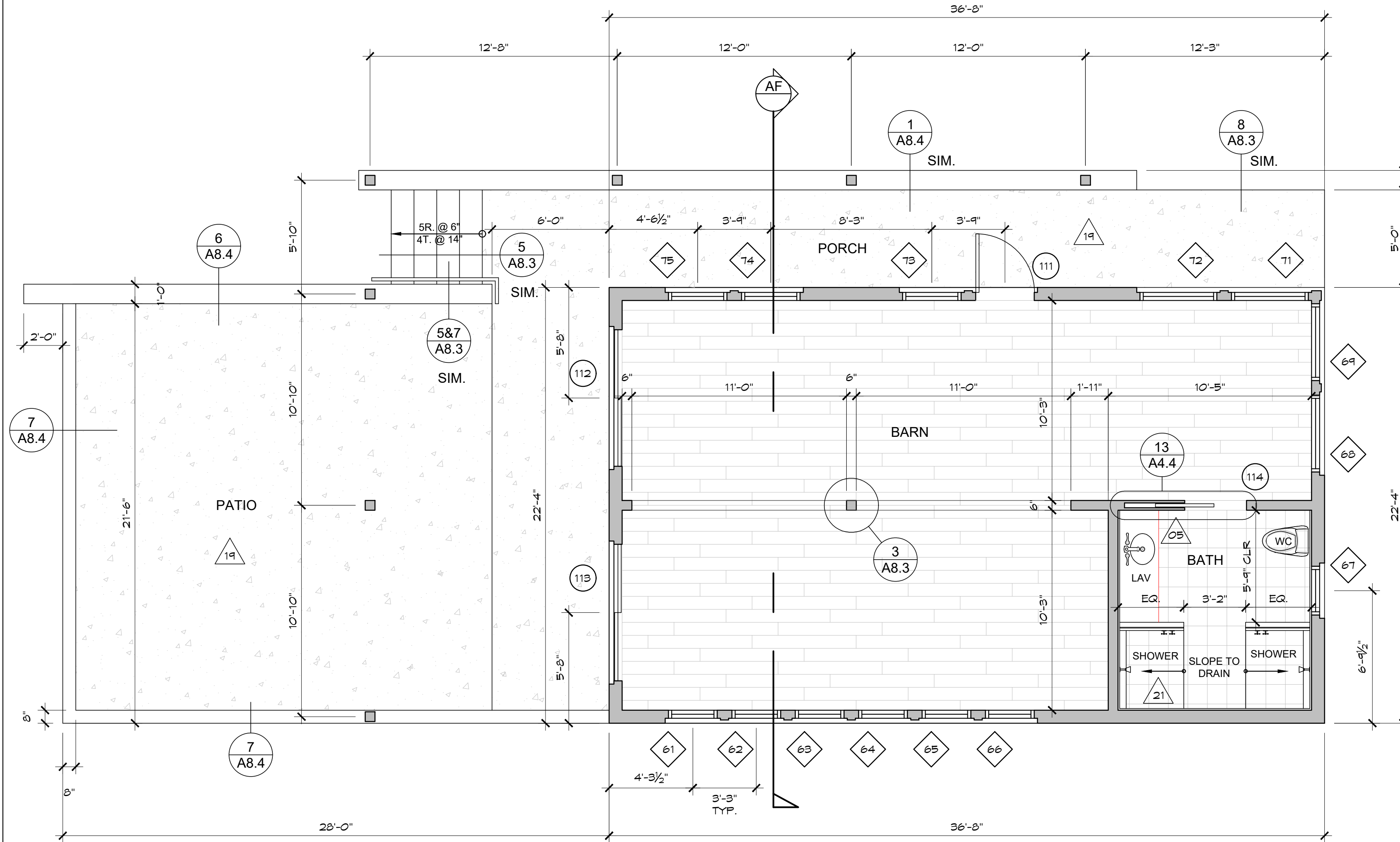
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 09.12.2022
SCALE: 1/4"=1'-0"
DRAWN: DWD
JOB NUMBER: 19.22
REVISION

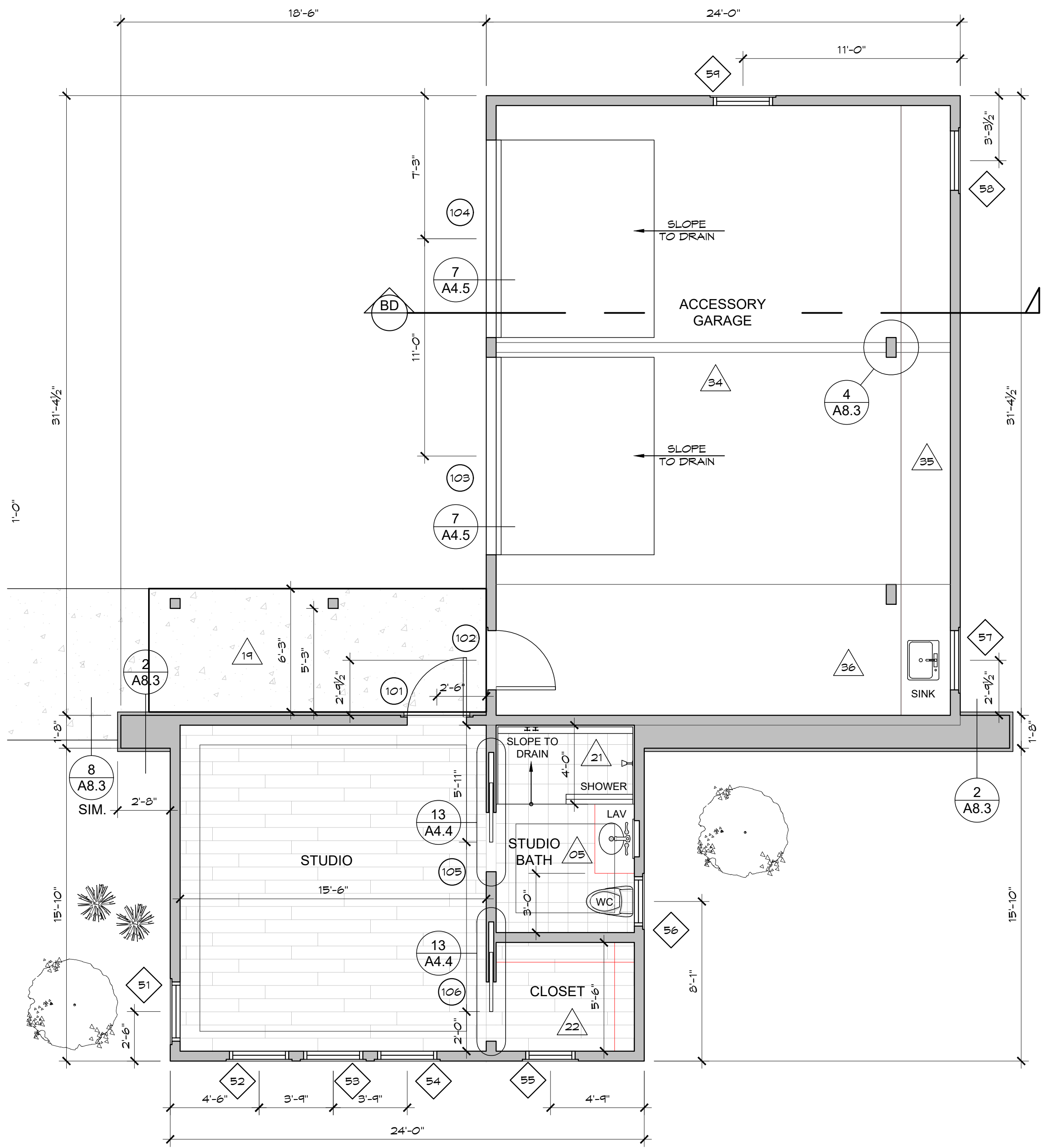


1/4" GARAGE & BARN PLANS
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A2.3

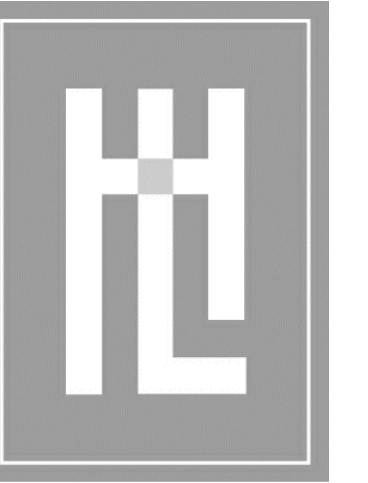


NORTH
BARN/STORAGE
SCALE: 1/4" = 1'-0"



NORTH
GARAGE/WORKSHOP
SCALE: 1/4" = 1'-0"

NOTE: SEE SHEET A2.2 FOR KEYNOTES



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 09.12.2022

SCALE: 1/8"=1'-0"

DRAWN: DWD

JOB NUMBER: 19.22

REVISION

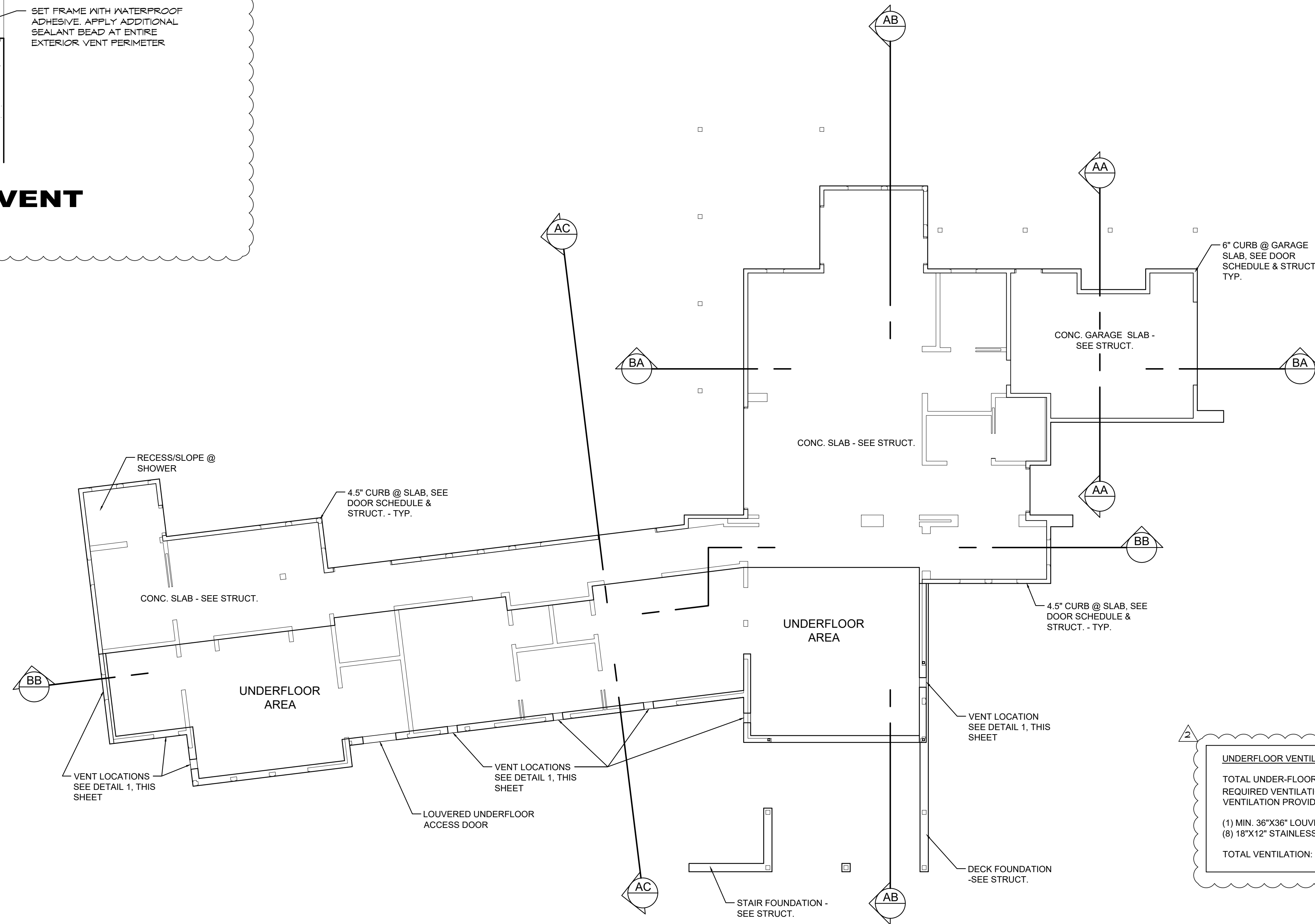
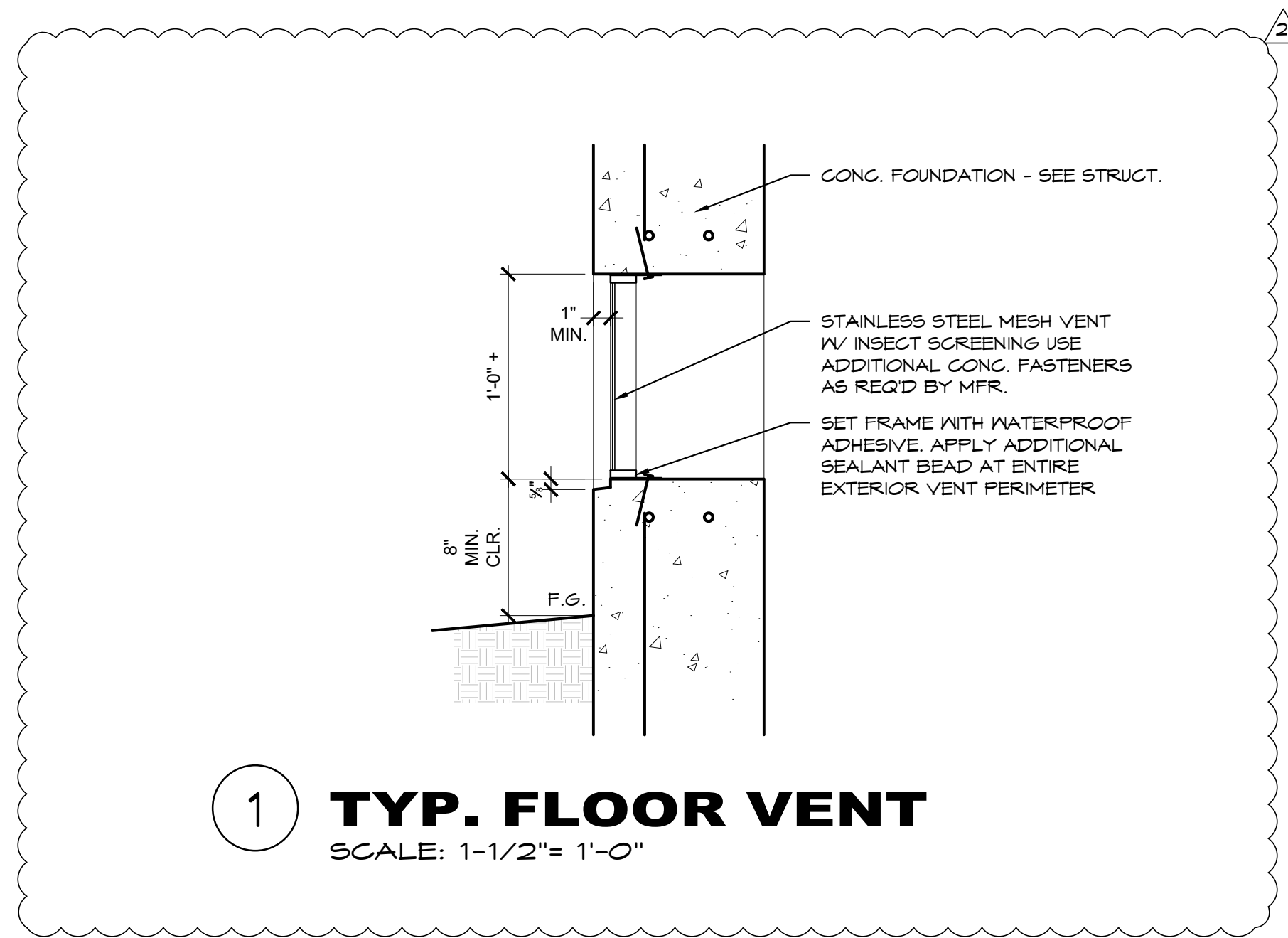
2 PLAN CHECK CORR.
12.15.2022



1/8" FLOOR PLANS
WOLOVSKY RESIDENCE

2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A2.4

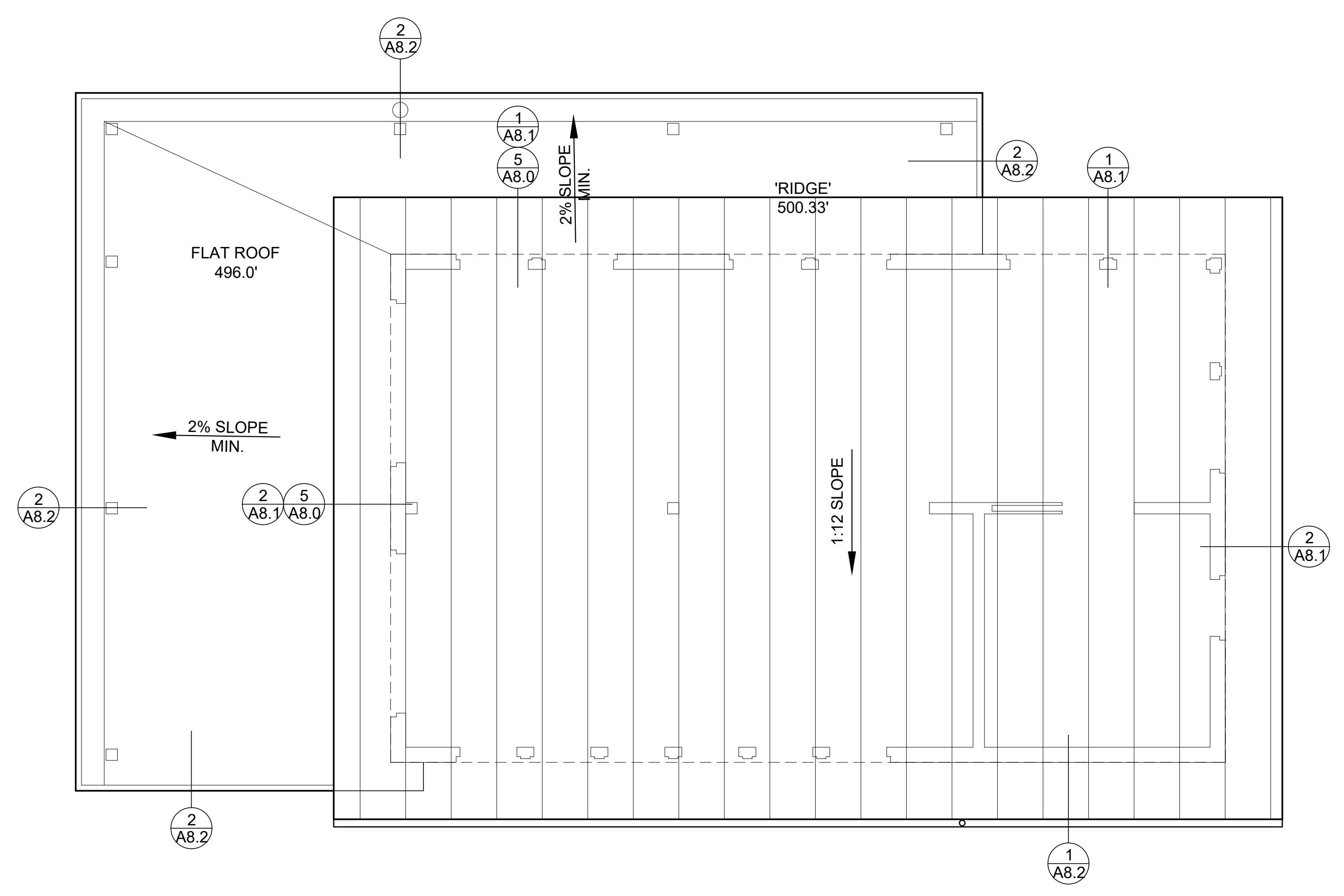


UNDERFLOOR VENTILATION CALCULATION:

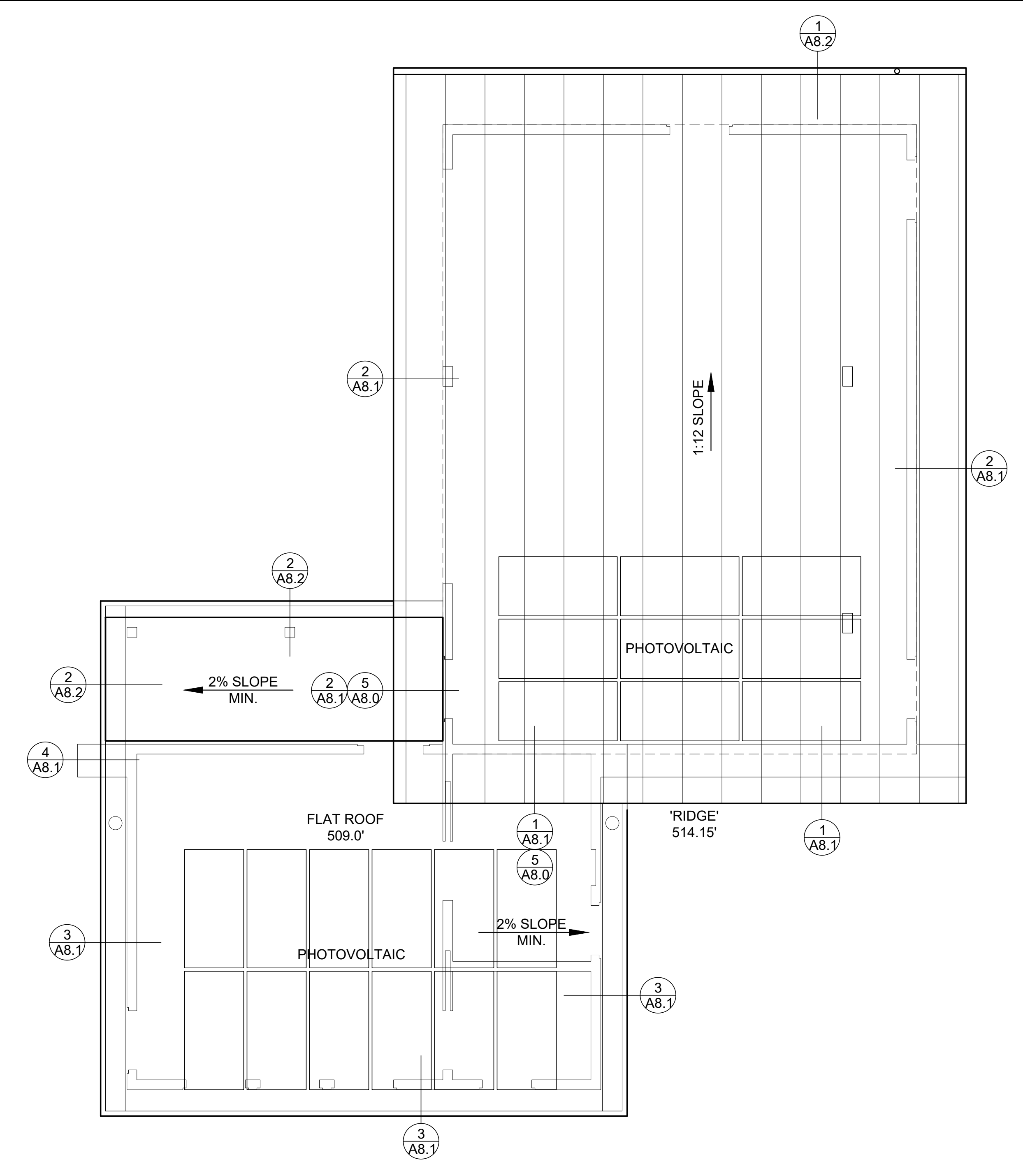
TOTAL UNDER-FLOOR AREA:	1518 S.F.
REQUIRED VENTILATION AREA:	10.12 S.F. (1/15)
VENTILATION PROVIDED:	
(1) MIN. 36"X36" LOUVERED ACCESS DOOR:	ASSUME 2 S.F. PROVIDED
(8) 18"X12" STAINLESS STEEL MESHED VENTS:	1.5 S.F. EA = 10 S.F. PROVIDED
TOTAL VENTILATION:	12 S.F. PROVIDED

MAIN HOUSE UNDERFLOOR/CURB PLAN
SCALE: 1/8" = 1'-0"
NORTH

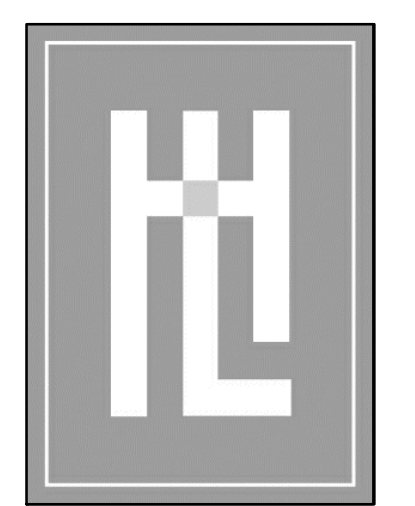
NOTES:
 1. ALL 'FLAT ROOF SURFACES SHALL BE COVERED WITH EPDM OR APPROVED EQUAL CLASS 'A' ROOFING SYSTEM - MFR. & COLOR T.B.D.
 2. ALL SLOPED ROOF SURFACES SHALL BE COVERED WITH ICE & FIRE SHIELD SYSTEM AND RAISED SEAM METAL ROOF - BRONZE COLOR, MFR. T.B.D.
 3. ALL FLAT ROOF SURFACES SHALL HAVE MOUNTED SOLAR PHOTOVOLTAIC SYSTEMS - ACTUAL DESIGN & LOCATION T.B.D.



WORKSHOP/BARN
 SCALE: 1/4" = 1'-0"



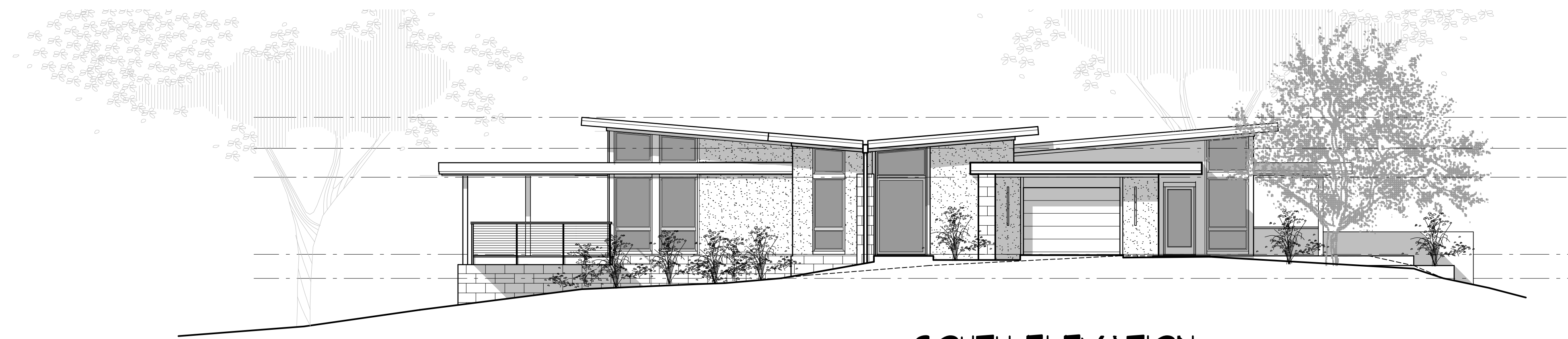
GARAGE & STUDIO
 SCALE: 1/4" = 1'-0"



HOLDREN+LIETZKE
 ARCHITECTURE
 225 CANNERY ROW - SUITE A
 MONTEREY, CA 93940
 Ph: 831.649.6001
 Fax: 831.649.6003
 www.hl-arc.com

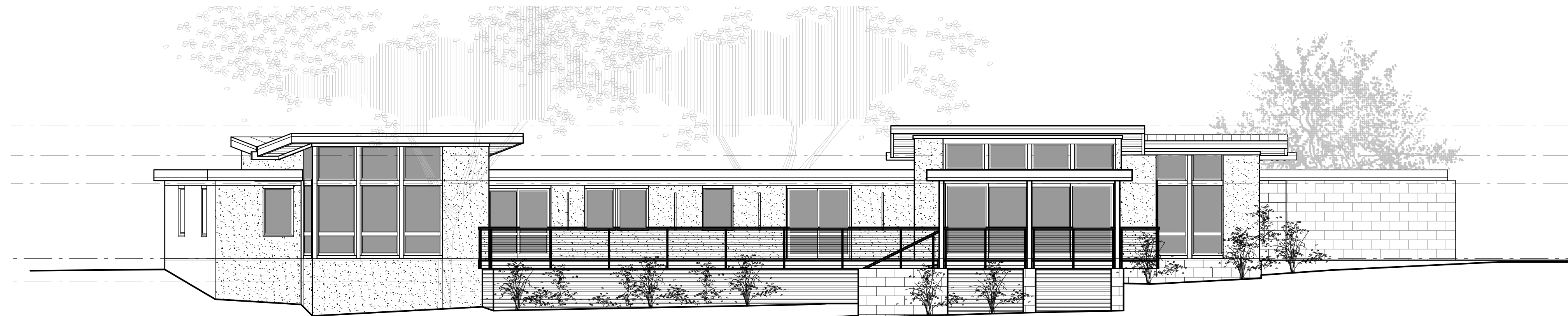
DATE:	12.01.2021
SCALE:	1/4"=1'-0"
DRAWN:	DVD
JOB NUMBER:	19.22
REVISION	

1/4" GARAGE & BARN ROOF PLANS
WOLOVSKY RESIDENCE
 2 WILD BOAR RUN
 CARMEL, CA
 A.P.N. 239-102-004



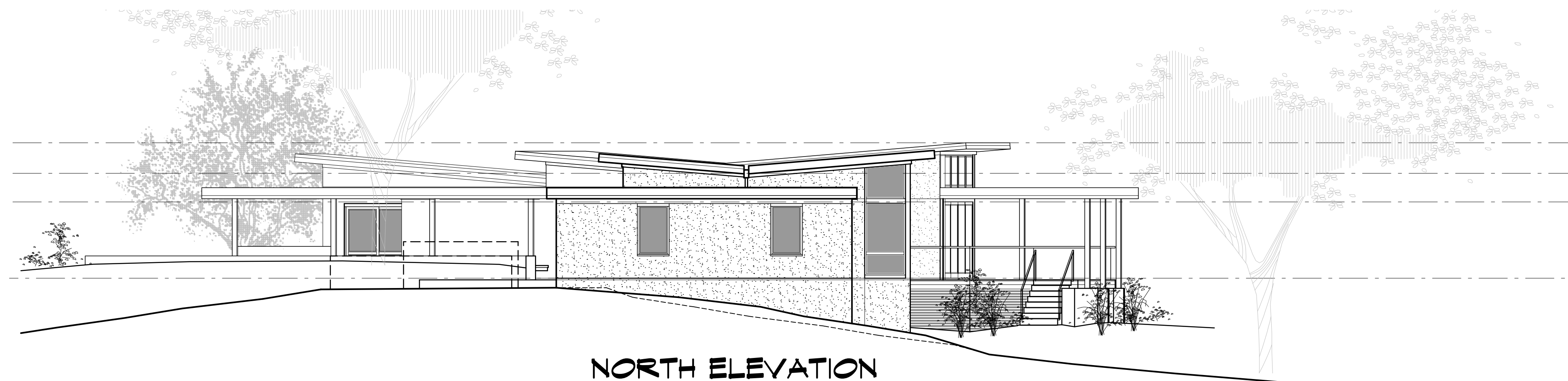
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



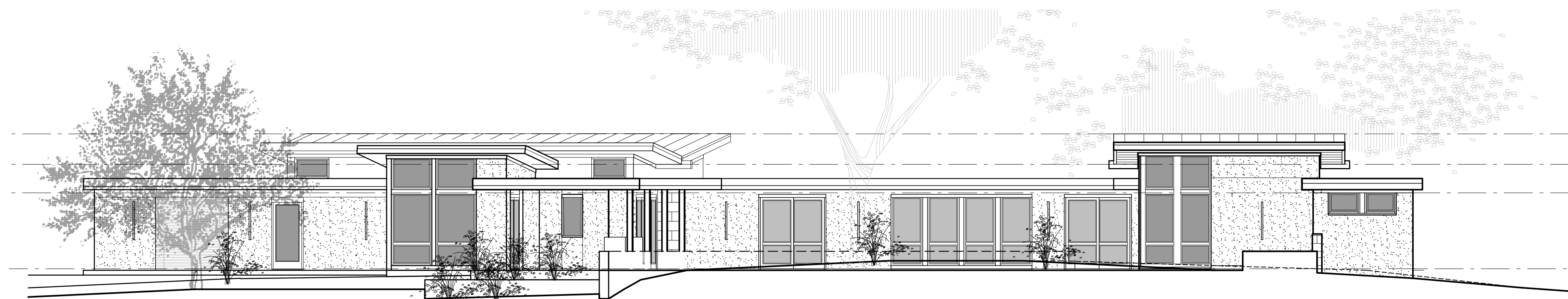
WEST ELEVATION

SCALE: 1/4" = 1'-0"



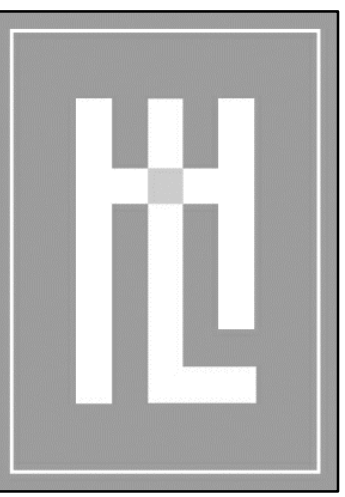
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

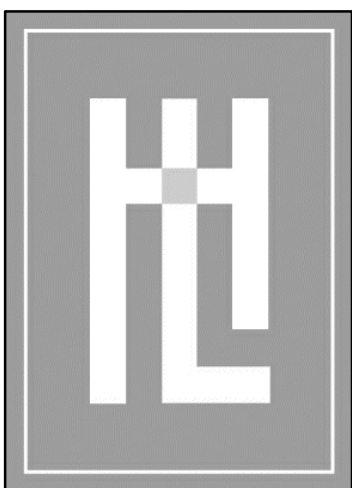
DATE: 12.17.2021
SCALE: 1/8"=1'-0"
DRAWN: DWD
JOB NUMBER: 20.17
REVISION

SUMMARY ELEVATIONS

WOLOVSKY RESIDENCE

2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A3.0



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 12.01.2021

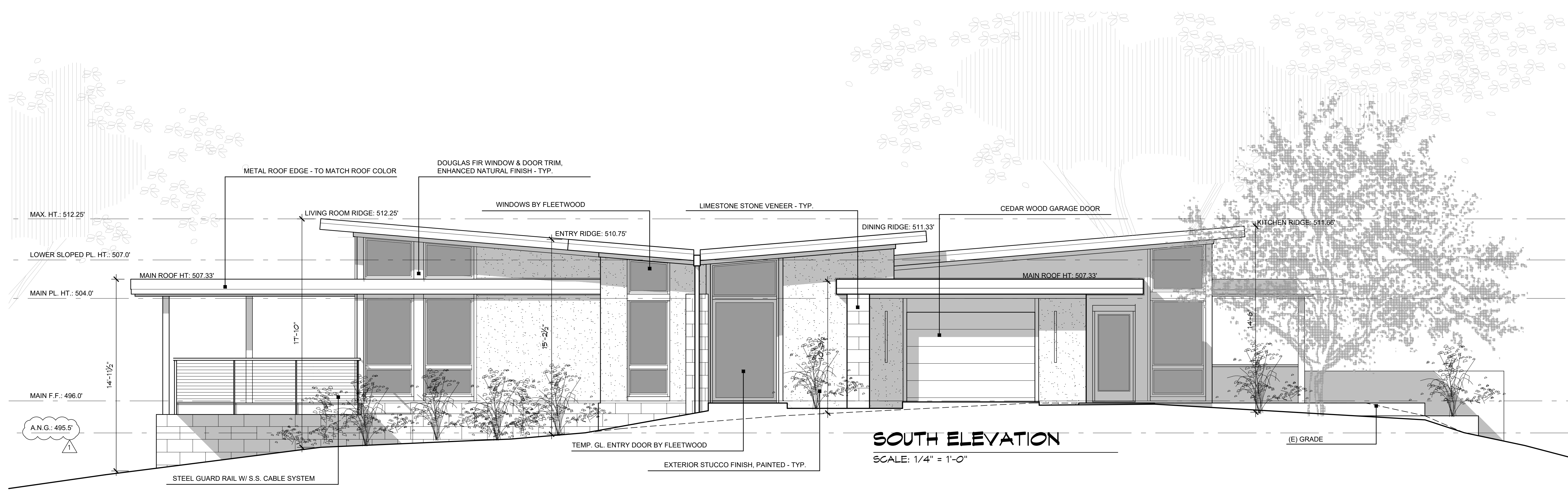
SCALE: 1/4" = 1'-0"

DRAWN: DWD

JOB NUMBER: 19.22

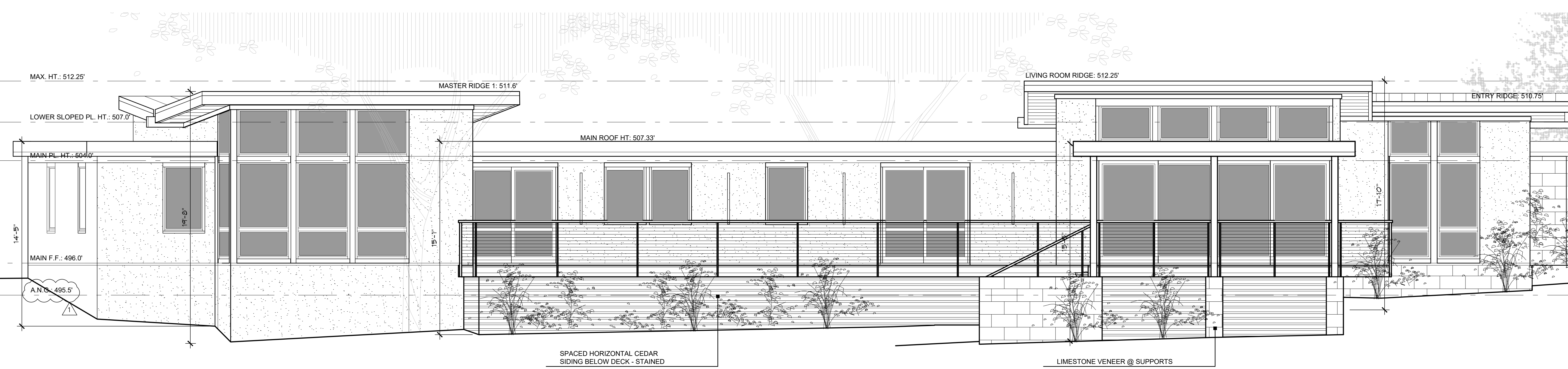
REVISION

1 PLANNING CONDITIONS
07.29.2022



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

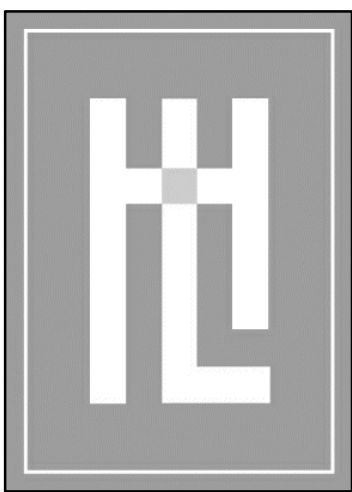
EXTERIOR ELEVATIONS - MAIN HOUSE

WOLOVSKY RESIDENCE

2 WILD BOAR RUN
CARMEL, CA

A.P.N. 239-102-004

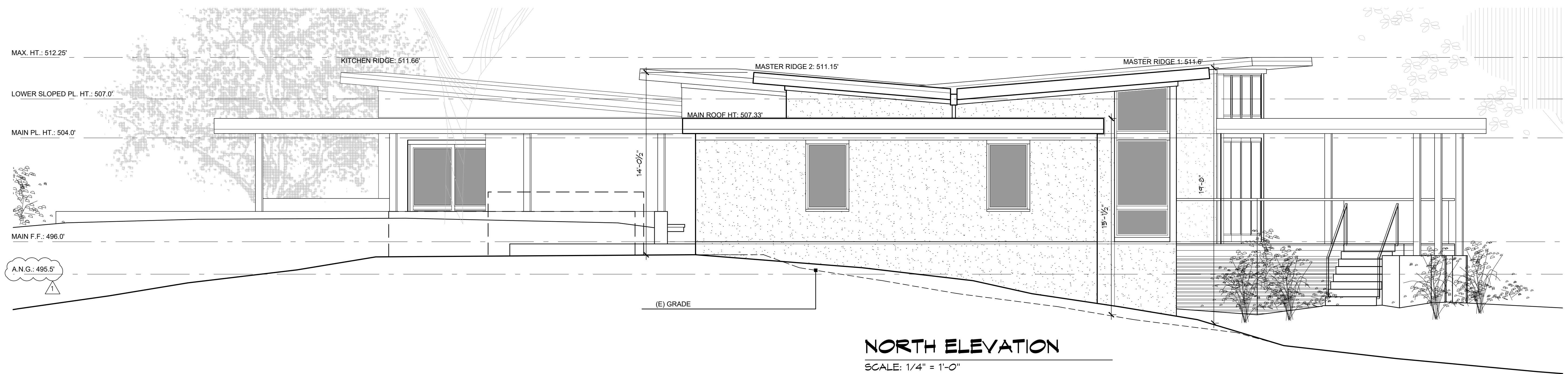
A3.1



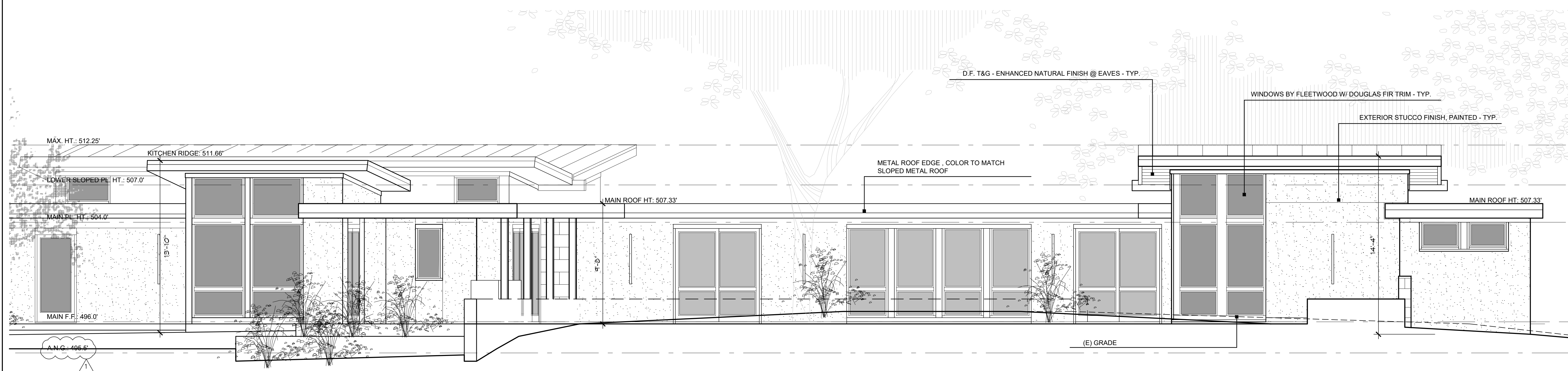
HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE:	12.17.2021
SCALE:	1/4" = 1'-0"
DRAWN:	DWD
JOB NUMBER:	19.22
REVISION	
▲	PLANNING CONDITIONS 07.29.2022



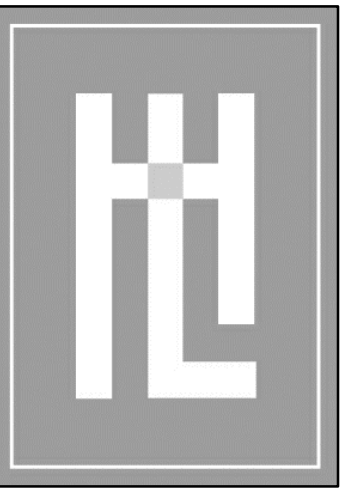
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS - MAIN HOUSE

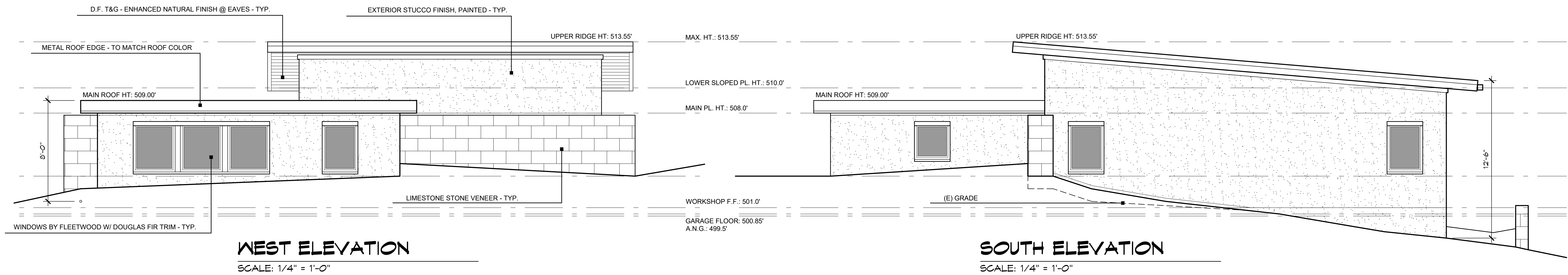
WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004



HOLDREN+LIETZKE
ARCHITECTURE

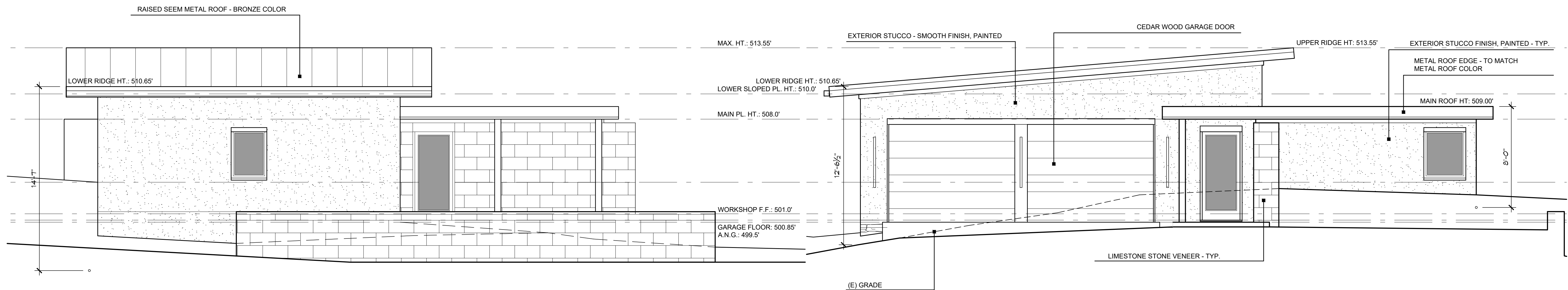
225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: 12.17.2021
SCALE: 1/4" = 1'-0"
DRAWN: DWD
JOB NUMBER: 19.22
REVISION



WEST ELEVATION
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

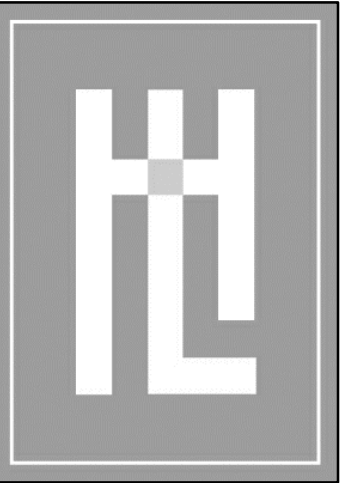


EAST ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS - GARAGE/STUDIO

WOLOVSKY RESIDENCE
2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

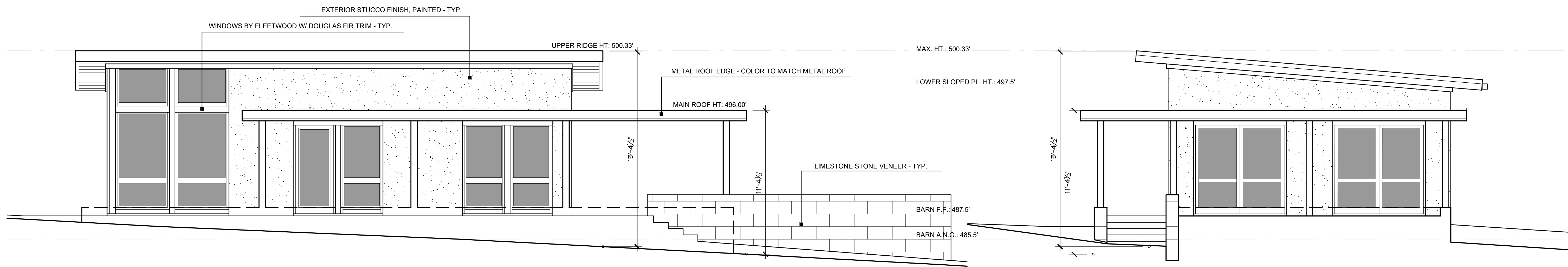
DATE: 12.01.2021

SCALE: 1/4" = 1'-0"

DRAWN: DWD

JOB NUMBER: 19.22

REVISION

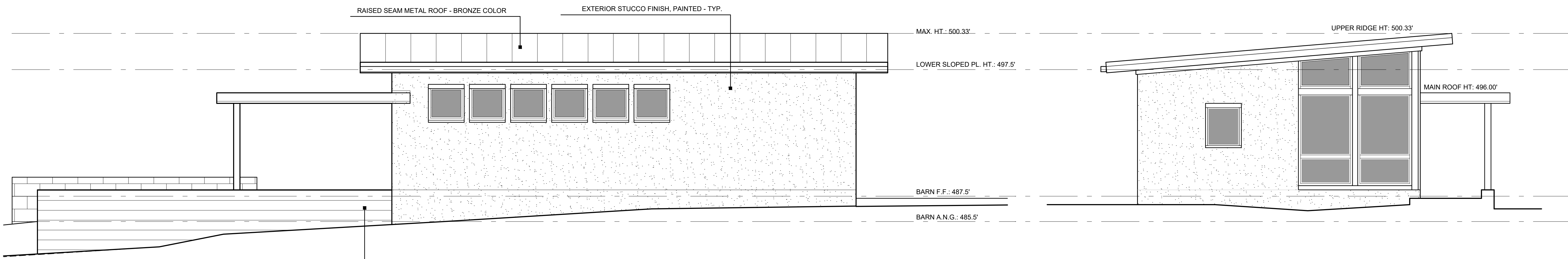


EAST ELEVATION

SCALE: 1/4" = 1'-0"

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

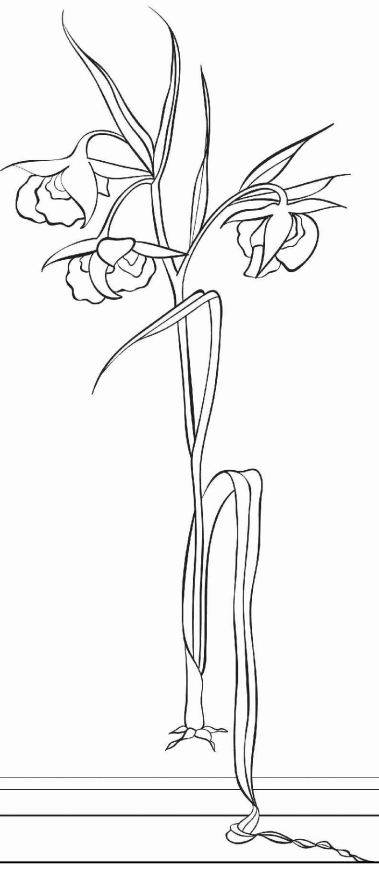
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS - BARN

WOLOVSKY RESIDENCE

2 WILD BOAR RUN
CARMEL, CA
A.P.N. 239-102-004

A3.4



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105

michelle@comeaudeesign.com

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Site Plan

Date: 12.21.21

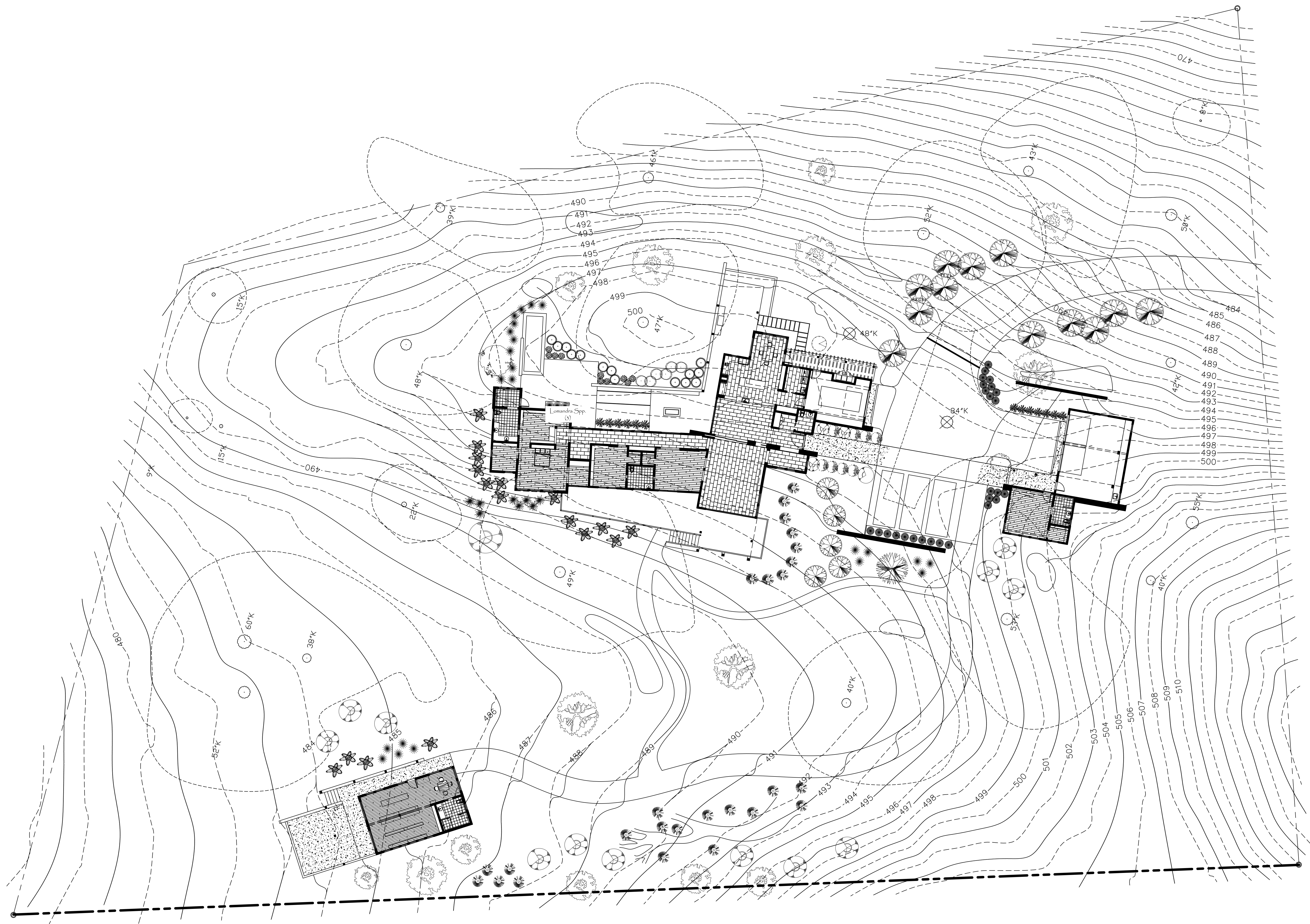
Scale: $\frac{1}{16}'' = 1'-0''$

Drawn By: GM

Revised:

Sheet: L-1

of: 8





MICHELLE COMEAU
LANDSCAPE DESIGN & INSTALLATION

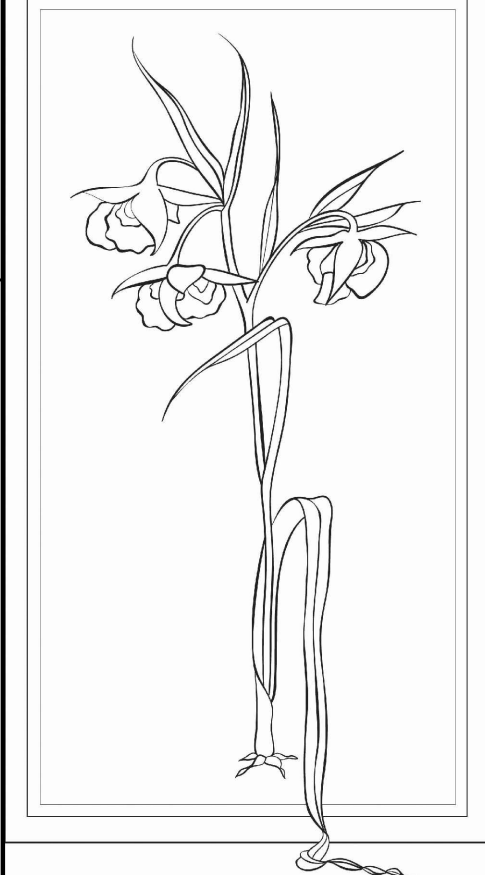
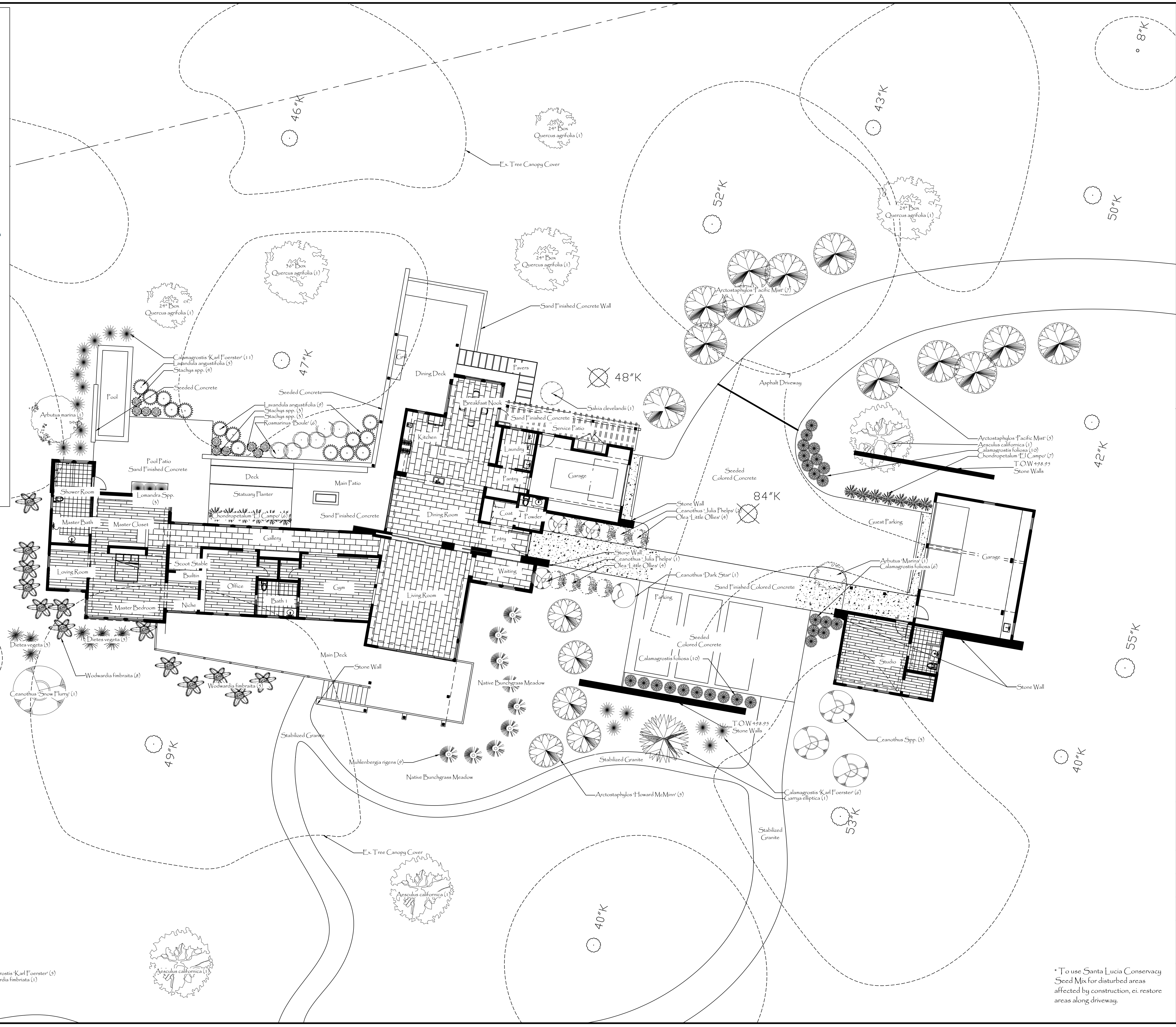
P.O. BOX 6327 ■ CARMEL, CA 93921
831.620.0111 ■ FAX 831.620.0105
www.comeaulesign.com
LICENSE NO. 582326

Wolovsky Plant List

QTY	Size	BOTANICAL NAME	COMMON NAME
Trees:			
<u>Trees</u>			
5	15"	*Aesculus californica	California Buckeye
2	24"	*Arbutus 'Marina'	Marina Strawberry Tree
6	24"	*Quercus agrifolia	Coast Live oak
5	15"	*Quercus agrifolia	Coast Live oak
2	36"	*Quercus agrifolia	Coast Live oak
Shrubs:			
<u>Shrubs</u>			
5	3g	*Arctostaphylos 'Howard McMinn'	Howard McMinn Manzanita
12	3g	*Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita
26	1g	*Calamagrostis foliolosa	Mendocino Reed Grass
45	4"	*Calamagrostis foliolosa	Mendocino Reed Grass
22	1g	Calamagrostis 'Karl Foerster'	Feather Reed Grass
4	3g	*Ceanothus 'Dark Star'	Dark Star Ceanothus
5	3g	*Ceanothus 'Julia Phelps'	Julia Phelps Ceanothus
9	3g	*Ceanothus thyrsiflorus	Ceanothus Snow Flurry
15	3g	Chondropetalum 'El Campo'	Small Cape Rush
8	3g	Diets vegeta	Fort-Night Lily
1	15g	*Garrya elliptica	Silk Tassel Bush
17	3g	Lavandula angustifolia	English Lavender
5	1g	Lomandra 'Platinum Beauty'	Platinum Beauty Lomandra
27	3g	*Muhlenbergia rigens	Deer grass
6	3g	Rosmarinus 'Boule'	Boule Rosemary
1	3g	*Salvia clevelandii	Cleveland Sage
10	1g	Stachys byzantina	Lamb's Ears
17	3g	*Woodwardia fimbriata	Giant Chain Fern
Premium Grassland Mix			Pacific Coast Seed
As approved by the Santa Lucia Conservancy			
* Denotes Ca. Native			

Oak Tree Placement and Sizes

Oaks by Dining Deck
1-36" Box Oak
Remainder of Oaks to be 24" Box Oaks
*All Plants to be Field Located



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6327
Carmel, Ca. 93921
P: 831-620-0111
F: 831-620-0105
michelle@comeaulesign.com

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 93923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Planting & Materials

Date: 12.21.21

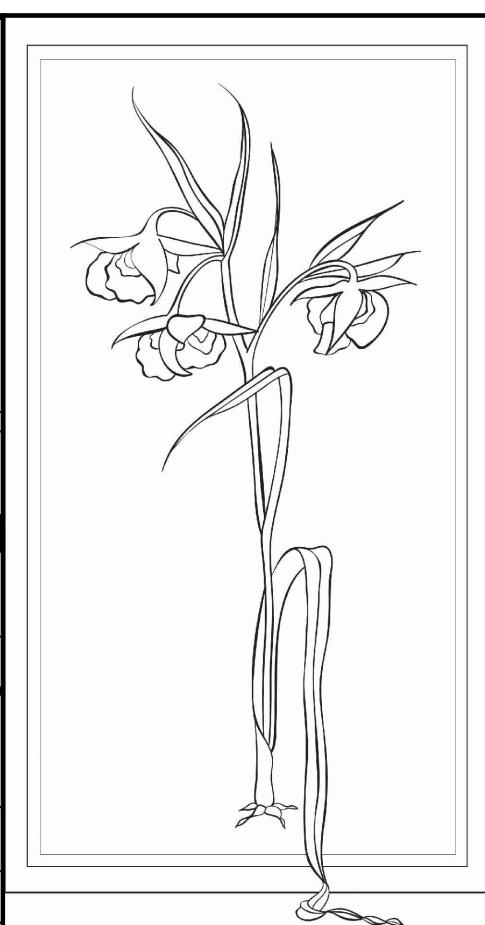
Scale: 3/32" = 1'-0"

Drawn By: GM

Revised:

Sheet: L-2
of: 8

* To use Santa Lucia Conservancy Seed Mix for disturbed areas affected by construction, ei. restore areas along driveway.



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105
michelle@comeau.design.com

Landscape Plan Prepared For:
Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Sheet Title:
Planting Plan Barn
Date: 12.21.21
Scale: 1/8" = 1'-0"
Drawn By: GM
Revised:

Sheet: L-3
of: 8

Oak Tree Placement and Sizes
Barn Oaks
1-15g Oak
1-24" Box Oak
1-56" Box Oak
Oaks Along Property Line Near Tree Structure
2-15g Oaks
1-24" Box Oak
*All Plants to be Field Located

Lighting Legend

SYM	Qty	MODEL DESCRIPTION
T	3	FX Luminaire FX Transformer 500W
	3	FX Luminaire HC- 1 LEDs- 10 Watts- Barn Lights
	10	FX Luminaire JS- 1 LEDs- 10 Watts- Main Entry Lights Lights
X	5	FX Luminaire MO- 1 LEDs- 10 Watts- Barn Wall Lights

TRANSFORMER SCHEDULE

Model	Watt Capacity	Watt's Used	Area	Switch Code
T1 FX-Transformer	60w	30w	Deck Lights	SW1
T2 FX-Transformer	100w	70w	Main House Path	SW2
T3 FX-Transformer	100w	80w	Barn Lights	SW3

TRANSFORMER DETAIL

TRANS	Line	QTY	Fixture
T1	Line 1	3	FX-Luminaire JS
T2	Line 1	7	FX-Luminaire JS
T3	Line 1	3	FX-Luminaire HC
T3	Line 1	5	FX-Luminaire MO

NOTE: Transformer shall have photocell and motion control options

Lighting Fixtures



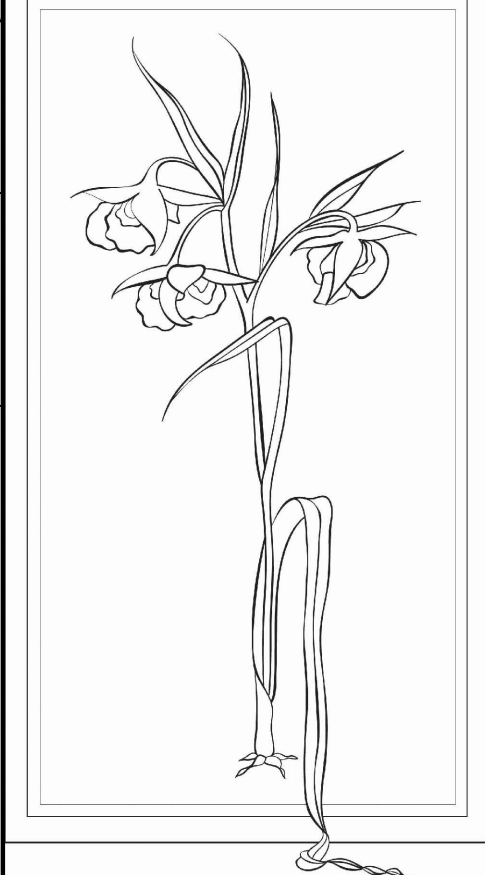
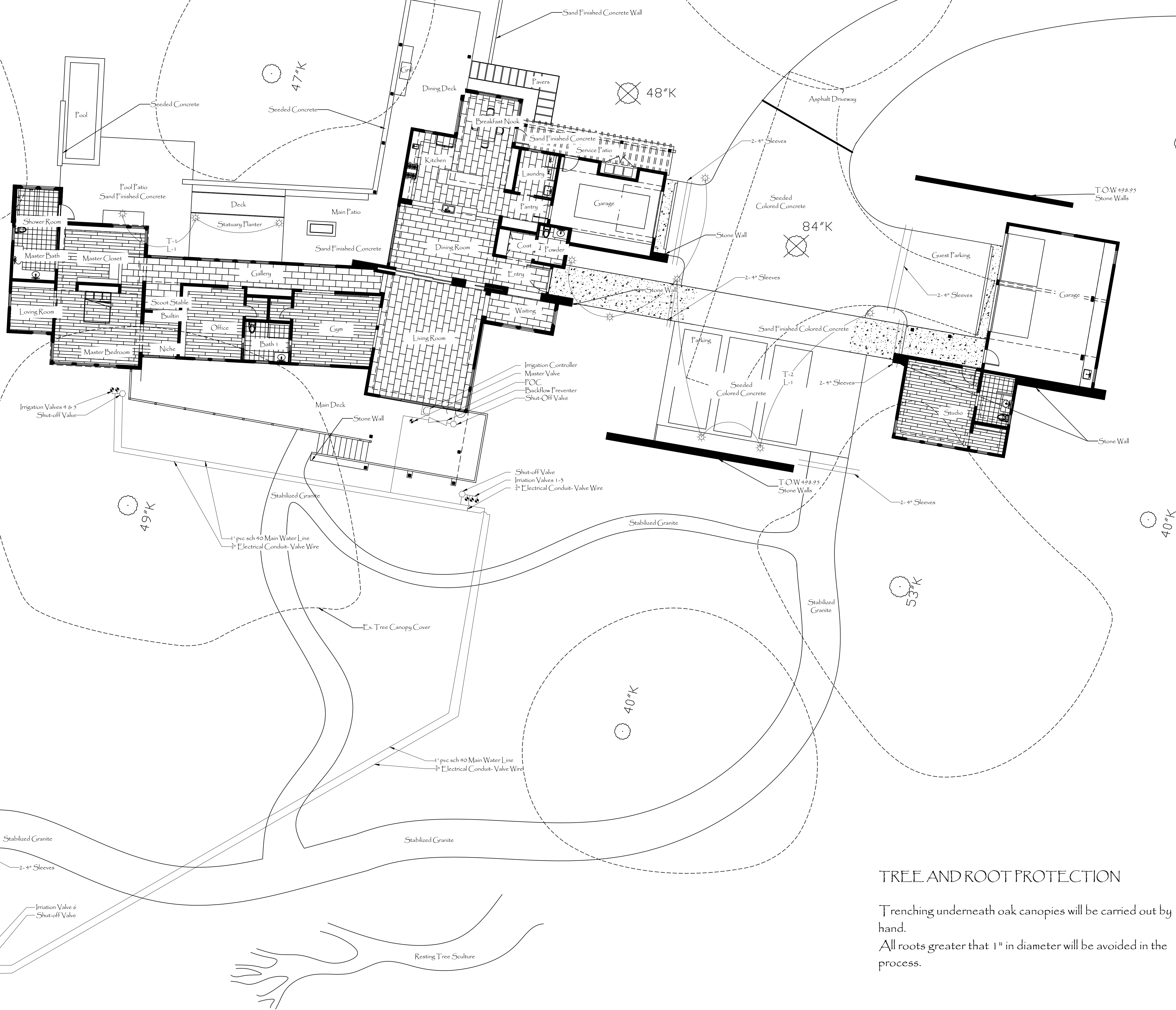
FX-HC



FX-JS



FX-MO



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105
michelle@comeau.design.com

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Lighting & Irrigation Plan

Date: 12.21.21

Scale: 1/2" = 1'-0"

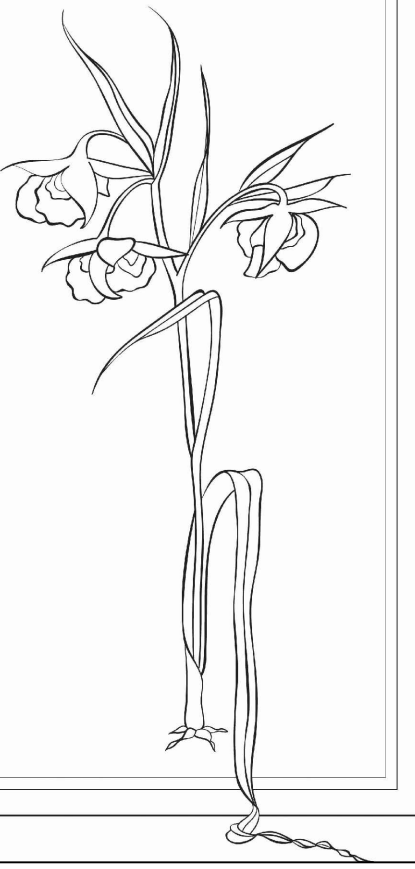
Drawn By: GM

Revised:

Sheet: L-4
of: 8

TREE AND ROOT PROTECTION

Trenching underneath oak canopies will be carried out by hand.
All roots greater than 1" in diameter will be avoided in the process.



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105

michelle@comeau.design

Wolowsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Dispersion Trench
Plan

Date: 12.21.21

Scale: $\frac{1}{8}" = 1'-0"$

Drawn By: GM

Revised:

Sheet: L-5

of: 8



*See Page L-8 for Rain Garden Detail

Fuel Management Zones

30' Fuel Management Zone

Remove surface litter so it does not exceed a depth of 3 inches. Surface litter consist of fallen leaves, needles, twigs, bark, cones, pods, small branches, etc.

Clean debris from roof, eaves and rain gutters.

Trim tree limbs within 10 feet of chimneys and/or stovepipes.

Trim dead tree limbs hanging over buildings.

Protect all chimney outlets or fuels with a ½ inch metal screen.

Post address number (4" min.) so they are visible from the street.

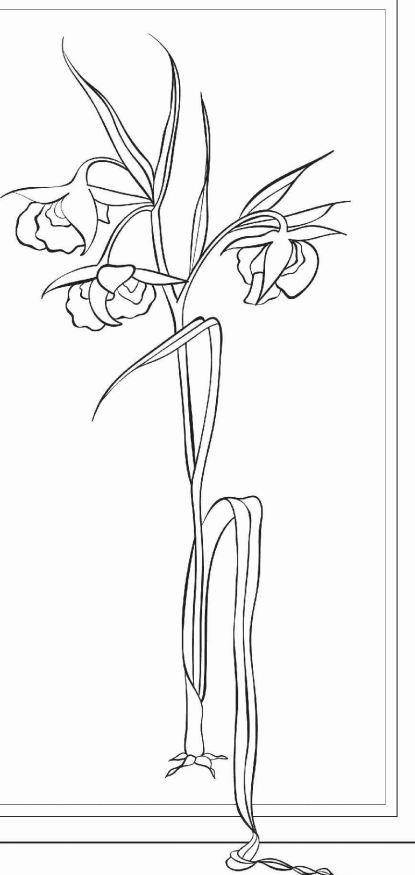
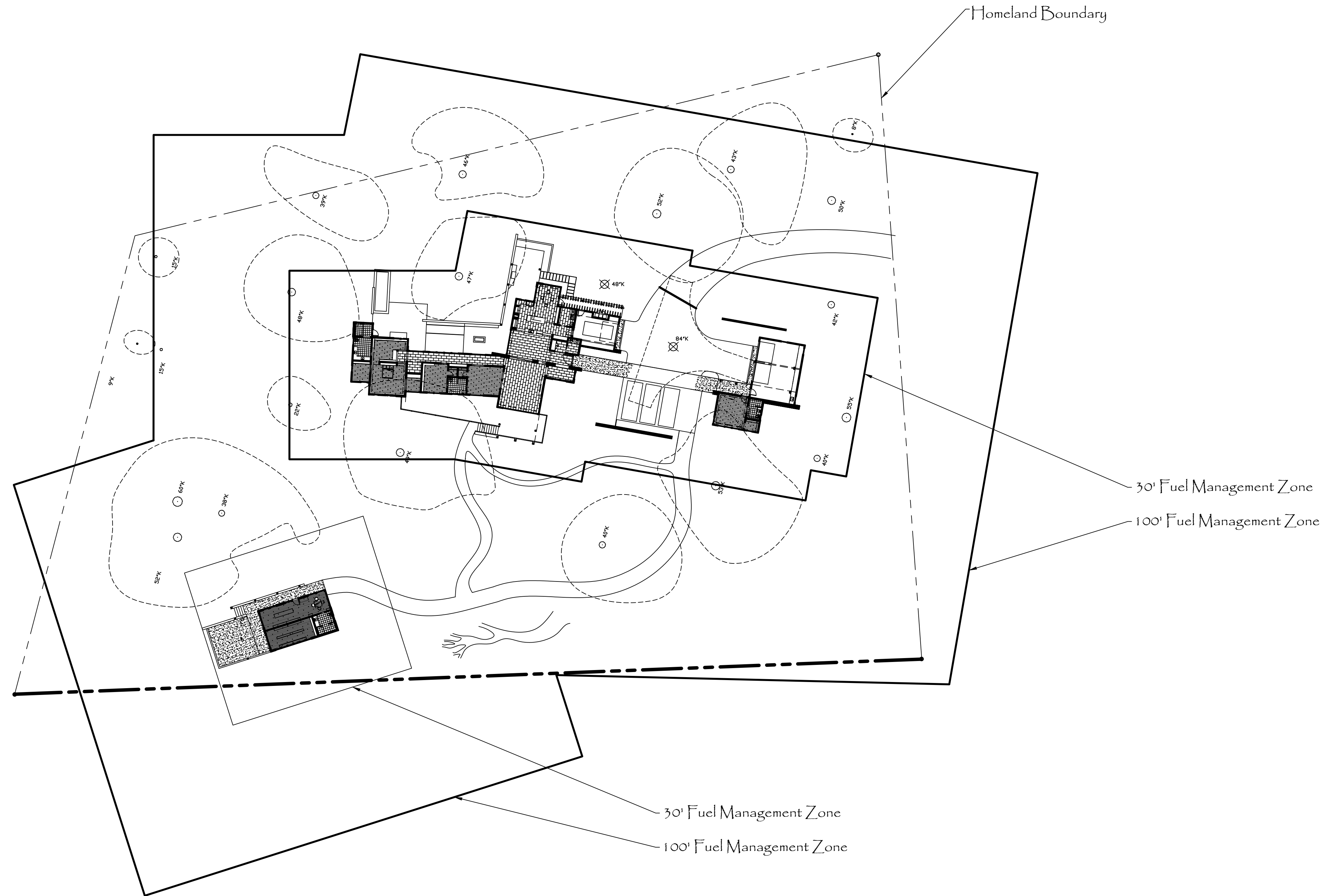
Provide a vertical clearance of 15 feet and a minimum with clearance of 12 feet on the driveway

100' Fuel Management Zone

Remove all flammable vegetation and any dead or dying plants within 100 feet of each building or structure.

You may keep single trees or other vegetation that are trimmed of all dead and dying foliage and are well pruned.

Trim tree limbs so they are at least 6 feet from the ground. This does not include ornamental trees within the 30 foot "Green Zone"



Michelle Comeau
Landscape Design
&
Installation
P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105
michelle@comeau.design.com

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Fuel Management


Date: 12.21.21

Scale: 1/32" = 1'-0"

Drawn By: GM

Revised:

Sheet: L-6
of: 8



MICHELLE COMEAU
LANDSCAPE DESIGN & INSTALLATION

P.O. BOX 6327 ■ CARMEL, CA 93921
831.620.0111 ■ FAX 831.620.0105
www.comeau.design.com
LICENSE NO. 582326

Wolovsky Plant List

QTY	Size	BOTANICAL NAME	COMMON NAME
Trees:			
<u>Trees</u>			
3	15g	* Aesculus californica	California Buckeye
2	24"	* Arbutus 'Marina'	Marina Strawberry Tree
6	24"	* Quercus agrifolia	Coast Live oak
3	15g	* Quercus agrifolia	Coast Live oak
2	36"	* Quercus agrifolia	Coast Live oak
Shrubs:			
5	5g	* Arctostaphylos 'Howard McMinn'	Howard McMinn Manzanita
12	5g	* Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita
26	1g	* Calamagrostis foliolis	Mendocino Reed Grass
45	4"	* Calamagrostis foliolis	Mendocino Reed Grass
22	1g	* Calamagrostis 'Karl Forester'	Feather Reed Grass
4	5g	* Ceanothus 'Dark Star'	Dark Star Ceanothus
3	2g	* Ceanothus 'Julia Phelps'	Julia Phelps Ceanothus
9	5g	* Ceanothus thyrsiflorus	Ceanothus Snow Flurry
13	2g	* Chondropetalum 'El Campo'	Small Cape Rush
8	5g	Dietes vegeta	Fort-Night Lily
1	15g	* Garrya elliptica	Silk Tassel Bush
17	5g	Lavandula angustifolia	English Lavender
3	1g	Lomandra 'Platinum Beauty'	Platinum Beauty Lomandra
27	5g	* Muhlenbergia rigens	Deer grass
6	2g	Rosmarinus 'Boule'	Boule Rosemary
1	5g	* Salvia clevelandii	Cleveland Sage
10	1g	Stachys byzantina	Lamb's Ears
17	5g	* Woodwardia fimbriata	Giant Chain Fern
		Premium Grassland Mix	Pacific Coast Seed
		As approved by the Santa Lucia Conservancy	
		* Denotes Ca. Native	

MICHELLE COMEAU
LANDSCAPE DESIGN & INSTALLATION

P.O. BOX 6327 * CARMEL, CA. 93921
(831) 620-0111 * FAX (831) 620-0105

NOTES FOR THE GENERAL CONTRACTOR:

- DESIGNATE A DISTINCT AREA FOR TOXIC CLEAN-OUT SUCH AS PAINT AND PLASTER IN AN AREA UNDER A FUTURE HARDCAPE SUCH AS A PATIO OR DRIVEWAY. THIS SHOULD BE CAPTURED AND DISPOSED OF PER COUNTY REQUIREMENTS
- MINIMIZE SITE DISTURBANCE FROM VEHICLE TRAFFIC & PARKING BY ROPING OFF AND LIMITING VEHICULAR ACCESS TO SPECIFIC AREAS
- PROVIDE ADEQUATE NOTICE TO ALLOW TIMELY SLEEVEING FOR WATER AND ELECTRICAL UNDER ALL HARDCAPED SUFRACES

NOTES FOR THE PLUMBER:

- PLEASE PROVIDE A "T" AND BALL VALVE LOCATED ON THE WATER MAIN DIRECTLY BEFORE IT ENTERS THE HOUSE. THIS ALLOWS THE IRRIGATION SYSTEM TO BE ISOLATED FROM THE HOUSE WATER SYSTEM AND ALLOWS FOR THE INSTALLATION OF THE BACKFLOW PREVENTION DEVICE. THE TEE SHOULD BE THE SAME SIZE AS THE WATER MAIN IN SCHEDULE 40 PVC.

NOTES FOR THE ELECTRICIAN:

- THE ELECTRICIAN WILL PROVIDE POWER FOR THE IRRIGATION CONTROLLER, HARDWIRE THE OUTDOOR LIGHTING TRANSFORMERS AND TO PROVIDE ADEQUATE SWITCHING CAPABILITIES FOR THE OUTDOOR LIGHTING AND POTENTIAL WATER FEATURES.

Tree Protection - Frank Ono Tree Assessment

Before the commencement of any construction activity the following tree protection measures shall be implemented and approved by a qualified arborist or forester:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment using temporary fencing set out to tree drip lines and through the wrapping of trunks with protective materials. No stripping of topsoil or unapproved grubbing of understory shall occur in tree preservation zones.
- Fenced areas and the trunk protection materials shall remain in place during the entire construction period. Should access to the area be necessary a Professional Forester or Certified Arborist must be contacted to inspect the site for a recommended course of action.
- Fencing shall consist of chain link, hay bales, or plastic mesh reinforced with dimensional lumber. Again, fencing shall be set to the tree dripline unless previously approved by a qualified professional.
- Fencing is not to be attached to the tree but free-standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade and should be placed to the farthest extent possible from the base of the tree to protect the area within the trees drip line (no closer than 10-12 feet away from the base of a tree or 5 times (5X's) the trunk diameter, whichever is furthest).
- In cases where access or space is limited for tree protection, it is permissible to protect the tree within the 10-12-foot distance after determination and approval by a qualified forester or arborist.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, cleaning of concrete or plaster, and/or dumping of spoils or materials shall not be allowed adjacent to trees on the property especially within or near fenced areas.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots shall be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots. Again, no stripping of topsoil or grubbing of understory shall occur in tree preservation zones.
- The project architect and/or qualified arborist shall be on-site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for retaining walls or footings located adjacent to any tree shall be done by hand where practical and any roots greater than 2-inches diameter shall be bridged or pruned appropriately.
- Any roots that must be cut shall be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock-saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation shall be exposed to sound tissue and cut cleanly with a saw.

If at any time significant roots (roots over 2" in diameter) are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.

PLANTING NOTES:

- Plant quantities are for contractors convenience only. Contractor is responsible for actual plant quantities and shall be verified from the planting plan. To meet the planting requirements, contractor may need to engage in contract with growers to ensure plant availability.
- Contractor to notify landscape designer in the event of plant unavailability immediately.
- Conditions permitting, the retention of water in planting pits for more than 1 hour shall be corrected by the contractor.
- All plant material shall match specification per species and comply with ANZSI Z601 "Standard for Nursery Stock", and shall be inspected by landscape designer.
- Plant materials may be adjusted in the field as directed by landscape designer at no extra cost to owner.
- Contractor shall erect tree protection barriers around existing trees to be saved on site, creating a tree protection zone, contractor shall be responsible for damage to existing trees.
- Contractor shall provide an allowance of \$2,000 for additional material.
- Top dress all planter areas with 2" of 3/8" - 3/4" gravel free of all dirt, sticks, dust or debris. Provide a 1 pint sample and source to Landscape Designer prior to ordering.
- Erosion control blanket/jute to be applied to all slope areas according to manufacturers specifications.
- All trees to be staked with two lodgepole stakes 10' x 2" a batter board and cinch ties, or with guy wires as necessary.
- All plants to be planted with 1/3 top soil, 1/3 organic planting mix, 1/3 harvest supreme organic amendment.
- All plants to be planted with organic fertilizer inoculated with appropriate mycorrhizae.
- No plant substitutions unless approved by designer.
- All irrigation lines to be SCH 40 PVC main lines.
- All valve wires to be sleeved with 3/4" electrical conduit, SCH 40.
- All direct burial low voltage wires to be sleeved with 3/4" electrical conduit, SCH 40 PVC.

IRRIGATION LEGEND

CONTROLLER
Weathermatic SL 1600 with Smart link Air Card, Flow Sensor and Master Valve
DRIP VALVE
1" 7911 Remote Control Valve, Nelson Plastic Valve Box
1" Brass Ball Valve Matco
1" # 975d Wilkins Reduced Pressure w/Y Strainer
1" Main Line, SCH 40, 18" Deep
3/4" B-401 Champion Bent Nose Garden Valve

VALVE DETAIL

STATION #	TYPE	LOCATION
1	Drip	Front Entry Driveway
2	Drip	Guest House Plants
3	12" Tee/line	Meadow (Temporary)
4	Drip	Deck Planters
5	Drip	Plants Around Deck
6	Drip	Barn Plants

IRRIGATION TIMETABLE

SPRING (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5, 6 T.F. 35MIN

SUMMER
VALVES 1, 2, 3, 4, 5, 6 T.F. 35MIN

FALL
VALVES 1, 2, 3, 4, 5, 6 T.F. 35MIN

WINTER (AS NECESSARY ACCORDING TO WEATHER)
VALVES 1, 2, 3, 4, 5, 6 T.F. 35MIN

MAWA Calculations

ETo - Annual Net Reference evaporation (inches)
0.7 - ET Adjustment Factor
LA - Landscape Area (sq.ft.)
0.62 - Conversion Factor (to Gallons per square foot)
SLA - Portion of the Landscape Area Identified as Special Land Area (sq.ft.)
0.3 - The Additional ET Adjustment Factor for the SLA (1.0 - 0.7 - 0.3)
325,851 - Gallons-per-Acre-Foot
748 - Hundred-Cubic-Feet/Year

E to Monterey = 36 in.
LA = 2,469 sq.ft.
SLA = 0

$$(ETo \times .62) [(7 \times LA) + (3 \times SLA)] = \text{Gallons/Year}$$

$$(36 \times .62) [(7 \times 2,469) + (3 \times 0)] = 55,108.1 \text{ Gallons/Year}$$

$$\frac{(36 \times .62) [(7 \times 2,469) + (3 \times SLA)]}{748 \text{ gallons per cubic ft.}} = 73.70 \text{ Hundred-Cubic-Feet/Year}$$

$$\frac{(36 \times .62) [(7 \times 2,469) + (3 \times SLA)]}{325,851 \text{ gallons per acre ft.}} = .17 \text{ Acre-Ft.}$$

ETWU Calculations

ETo - Annual Net Reference evaporation (36 in)
PF - Plant Factor
HA - Hydrozone Area (sq.ft.)
0.62 - Conversion Factor (to Gallons per square foot)
SLA - Portion of the Landscape Area Identified as Special Land Area (sq.ft.)
IE - Irrigation Efficiency (.81)

$$(ETo)(.62)(PF \times HA + SLA) = ETWU$$

Hydrozone Area (Drip/Low) = 2,469 sq.ft.
Plant Factor = .2 = 2,469 x .2 = 493.8 sq.ft.
IE = .81
SLA = 0

$$(36 \times .62) [(493.8) + (0)] = 13,606 \text{ gallons/year}$$

Lighting Legend

SYM	Qty	MODEL DESCRIPTION
T	3	FX Luminaire FX Transformer 300W
□	3	FX Luminaire HC- 1 LED- 10 Watts- Barn Lights
⊗	8	FX Luminaire JS- 1 LED- 10 Watts- Main Entry Lights
×	5	FX Luminaire MO- 1 LED- 10 Watts- Barn Wall Lights

TRANSFORMER SCHEDULE


Model	Watt Capacity	Watts Used	Area	Switch Code
T1 FX-Transformer	60w	30w	Deck Lights	SW1
T2 FX-Transformer	100w	50w	Main House Path	SW2
T3 FX-Transformer	100w	80w	Barn Lights	SW3

TRANSFORMER DETAIL


TRANS	Line	QTY	Fixture
T1	Line 1	3	FX-Luminaire JS
T2	Line 1	5	FX-Luminaire JS
T3	Line 1	3	FX-Luminaire HC
T3	Line 1	5	FX-Luminaire MO

NOTE: Transformer shall have photocell and motion control options


Lighting Fixtures



FX-HC



FX-JS



FX-MO



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6327
Carmel, Ca. 93921
P: 831-620-0111
F: 831-620-0105

michelle@comeau.design.com

Landscape Plan Prepared For:

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 93923
A.P.N. 293-102-004

Sheet Title:
Notes

Date: 12.21.21

Scale: No Scale

Drawn By: GM

Revised:

Sheet: L-7
of: 8

Resting Tree Sculpture



Stabilized Granite



Seeded Concrete Driveway



Concrete Retaining Wall



Lodi Gravel For Seeded Concrete



Wilkins Backflow

WILKINS a **VALVE** company

Model 975XL
Reduced Pressure Principle Assembly

SPECIFICATION SUBMITTAL SHEET

APPLICATION
Designed for installation on potable water lines to protect against both back-siphonage and backpressure of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists.

FEATURES
Sizes: 3/4" □ 1" □ 1 1/4" □ 1 1/2" □ 2"
Maximum working water pressure 175 PSI
Maximum working water temperature 180°F
Hydrostatic test pressure 350 PSI
End connections Threaded ANSI B1.20.1

OPTIONS
(Suffixes can be combined)
□ - with full port QT ball valves (standard)
□ L - less ball valves
□ U - with union ball valves
□ MS - with integral relief valve monitor switch
□ P - for reclaimed water systems
□ S - with bronze "Y" type strainer
□ BMS - with battery operated monitor switch
□ FDC - with fire hydrant connection, 2" only
□ TCU - with test cocks up
□ V - with union swivel elbows
□ SE - with street elbows
□ FT - with integral male 45° flare SAE test fitting

STANDARDS COMPLIANCE
• ASSE® Listed 1013
• IAPMO® Listed
• UL® Classified (less shut-off valves or with CS&Y valves)
• C-UL® Classified
• CSA® Certified
• AWWA Compliant C511
• Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California

MATERIALS
Main valve body Cast Bronze ASTM B 584
Access covers Cast Bronze ASTM B 584
Fasteners Stainless Steel, 300 Series
Elastomers Silicone (FDA Approved)
Polymers Noryl™, NSF Listed
Springs Stainless steel, 300 series

ACCESSORIES
□ Air gap (Model AG)
□ Repair kit (rubber only)
□ Thermal expansion tank (Model WXTTP)
□ Soft seated check valve (Model 40)
□ Shock arrester (Model 1250)
□ QT-SET Quick Test Fitting Set
□ Ball valve handle locks

Relief Valve discharge port:
3/4" - 1" - 0.63 sq. in.
1 1/4" - 2" - 1.19 sq. in.

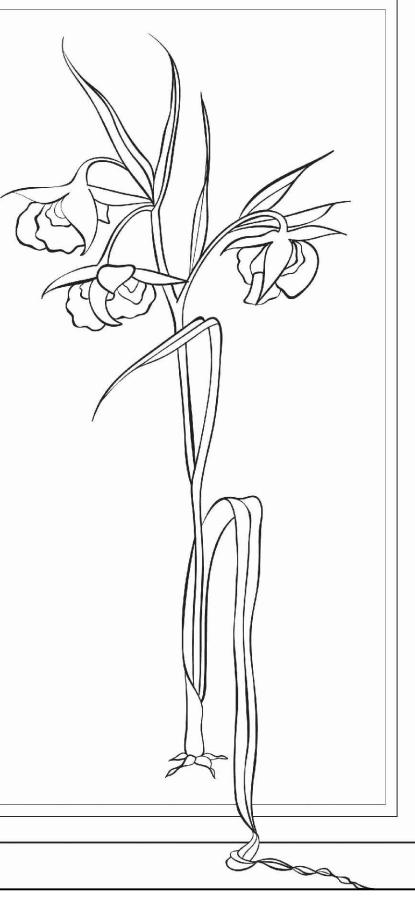
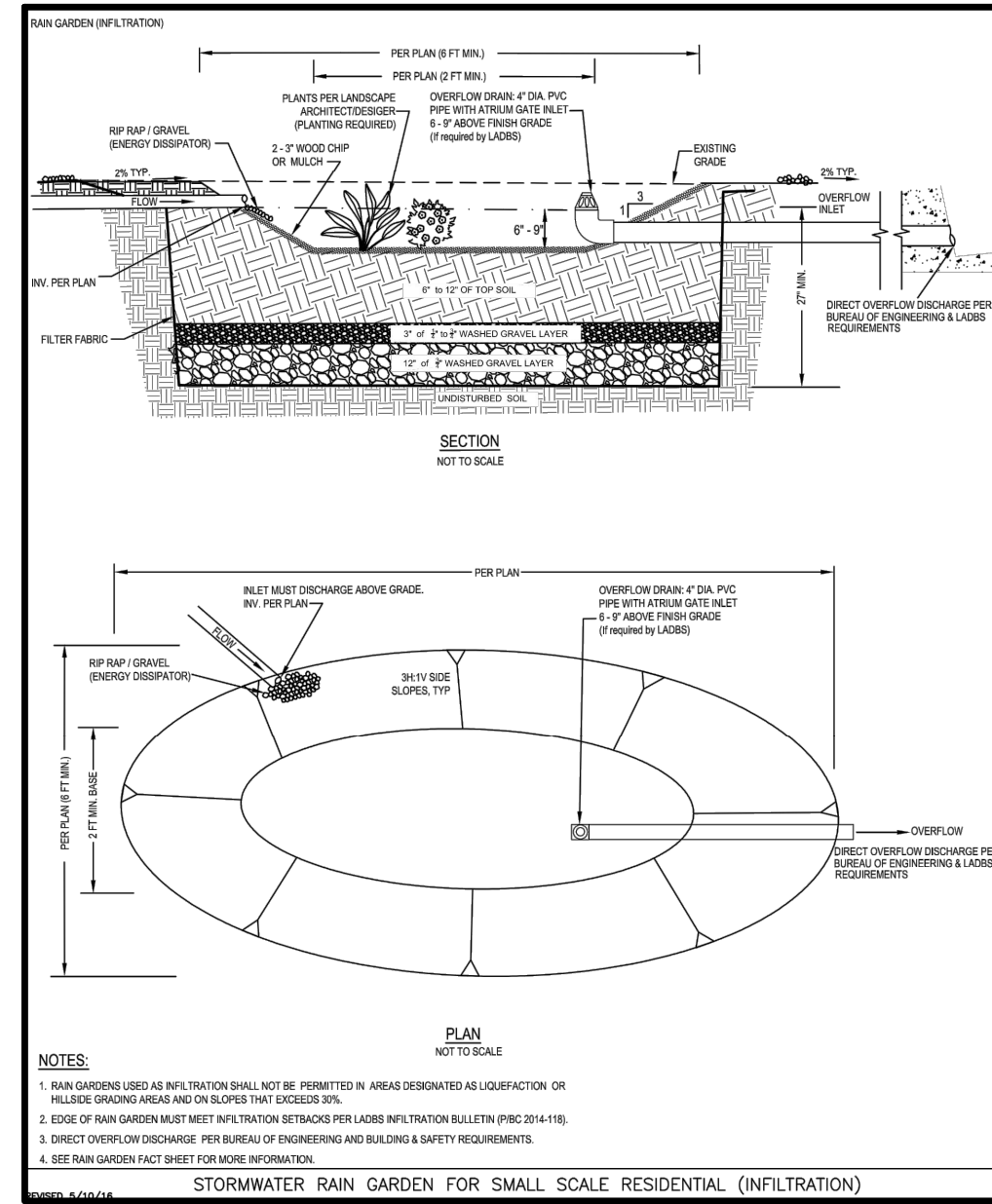
DIMENSIONS & WEIGHTS (do not include pkg.)

MODEL SIZE	DIMENSIONS (approximate)								WEIGHT		
	A	A UNION BALL VALVES	B LESS BALL VALVES	C	D	E	F	G	LESS BALL VALVES	WITH BALL VALVES	
in. mm	in. mm	in. mm	in. mm	in. mm	in. mm	in. mm	in. mm	in. mm	lb. kg	lb. kg	
3/4 20	12 305	14 356	7 3/4 197	2 1/8 54	3 75	5 1/2 89	5 1/2 89	12 305	402	10 4.5	12 5.4
1 28	13 330	14 356	7 3/4 197	2 1/8 54	3 75	5 1/2 89	5 1/2 89	17 304	481	12 5.4	14 6.3
1 1/4 32	17 432	18 457	10 254	2 3/4 70	3 3/4 95	6 1/2 163	6 1/2 163	27 680	611	22 10	25 11.2
1 1/2 40	17 3/8 441	20 508	10 1/2 267	2 3/4 70	3 3/4 95	6 1/2 163	6 1/2 163	33 301	887	28 13	31.7
2 30 1/2 762	23 1/2 591	26 661	13 1/2 341	3 1/2 91	4 1/2 114	8 1/2 216	8 1/2 216	55 127	124	45 20	50.4

DOCUMENT # 975XL101 REVISION: 1104

Page 1 of 2

Rain Garden Illustration



Michelle Comeau
Landscape Design
&
Installation

P.O. Box 6527
Carmel, Ca. 95921
P: 831-620-0111
F: 831-620-0105
michelle@comeau.design.com

Wolovsky Residence
2 Wild Boar Run
Carmel, Ca. 95923
A.P.N. 293-102-004

Landscape Plan Prepared For:

Sheet Title:
Images

Date: 12.16.21

Scale: No Scale

Drawn By: GM

Revised:

Sheet: L-8
of: 8

This page intentionally left blank