

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

GREAT BAY PARTNERS INVESTMENT INC (PLN250053)

RESOLUTION NO. 25-056

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines Section and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow construction of a 6,230 square foot two-story single-family dwelling with an attached 1,322 square foot, 336 square foot shed, ground mounted photovoltaic system with (20) modules and 8.20 kW and a 400A electrical panel, and associated site improvements. Grading to consist of 520 cubic yards of excavation and 2,120 cubic yards of fill. Colors and materials to consist of slate roof (brown), metal standing seam roof (brown), stucco siding (beige), natural stone veneer (tan & beige) and aluminum clad windows and doors (bronze).

[PLN250053 Great Bay Partners Investment Inc, 7572 Paseo Vista Place, Monterey, Greater Monterey Peninsula Area Plan (APN: 259-101-116-000)]

The Great Bay Partners Investment Inc application (PLN250053) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on November 5, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval (Attachment 1) and project plans (Attachment 2), the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) During the course of the review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of the review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The project proposes the construction of a 6,230 square foot two-story single-family dwelling with an attached 1,322 square foot garage, 336 square foot shed, ground mounted photovoltaic system with (20) modules and 8.20 kW and a 400A electrical panel, and associated site improvements. Site improvements include a 250 linear foot driveway, and motor court and patios, and grading of 520 cubic yards of excavation and 2,120 cubic yards of fill.
- c) Allowed Use. The property is located at 7572 Paseo Vista Place, Monterey, Greater Monterey Peninsula Area Plan, APN 259-101-116-000. The parcel is zoned Rural-Density Residential; B-6 Overlay, Urban Reserve, Design Control District, and Site Plan Review [RDR/B-6-UR-D-S]. Site Plan Review zoning allows residential development as a principal use, subject to granting an Administrative Permit as outlined in Title 21 Section 21.45.030.A. A site plan was included in the application showing the location and design of the proposed development and demonstrating that it is appropriate for the site. The project is consistent with the requirements for the Urban Reserve and B-6 Overlay Zoning Districts. The proposed project is the only dwelling unit proposed on this parcel. No subdivision is proposed, and the new dwelling will be located on an existing legal lot of record in the Monterra Ranch Subdivision. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject 4.990-acre parcel (217,364 square feet), Assessor's Parcel Number 259-101-116-000, is identified in its current configuration in (Volume 24 Page 53 Lot 52). Additionally, within the Monterra Ranch Subdivision – Phase 1 Tract 1177. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Design/Neighborhood and Community Character. The zoning of the subject property includes a Design Control overlay ("D") which is intended to regulate the location, size, configuration, materials, and colors of structures to ensure the protection of public viewshed, neighborhood character, and the visual integrity of certain developments without imposing undue restrictions on private property as outlined in Title 21 Chapter 21.44. The colors and materials consist of a slate roof (brown), metal standing seam roof (brown), stucco siding (beige), and natural stone veneer (tan & beige) and aluminum clad windows and doors (bronze). The proposed project exhibits the installation of down-lit, unobtrusive lighting (see attached plans). The project, as designed, assures the protection of the public viewshed, is consistent with the neighborhood character, and blends in with the surrounding areas. The

project design, colors, and materials are consistent with those of other residences and structures in the Monterra Ranch Subdivision Phase 1.

- f) Development Standards. As proposed, the project meets all required development standards. The development standards for the Rural-Density Residential Zoning District are identified in MCC Section 21.16.020. The minimum setbacks for main structures in the RDR district are 30 feet (front), to a maximum required of 20 feet side and 20 feet rear setback. The maximum allowed height is 30 feet. The proposed project has a maximum height of 30 feet and is within the building envelope established for the proposed site. Therefore, setbacks are consistent with the minimum required and meet the height requirement for the zoning district in which it is located. The allowable maximum site coverage is 25 percent. The subject property is 217,364 square feet, allowing site coverage of 161,082 square feet at the assigned building envelope. The proposed project would result in structural site coverage of 7,149 square feet (3.29% percent), therefore meeting the coverage standard.
- g) Cultural Resources. Monterey County Geographic Information System (GIS) indicates the subject property to have a moderate archaeological sensitivity. Title 21 section 21.66.050. C.1.b requires an Archaeological Report for areas mapped as moderate with environmental assessment. As demonstrated in Finding 5, the project is categorically exempt from CEQA. Therefore, a report was not required. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by incorporation of a standard note on the plans indicating the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Land Use Advisory Committee. Pursuant to the Land Use Advisory Committee (LUAC) Procedure Guidelines adopted by the Monterey County Board of Supervisors, administrative (i.e., projects not requiring a public hearing) permits and design approvals are not required to be referred to the LUACs for review.
- i) Tree Removal. Title 21, Section 21.64.260.D.1 allows the Director of Planning to approve the removal of no more than three protected trees per lot in a one-year period. A Tree Removal permit (TRM250169) was approved to remove one triple stemmed Oak tree for the development. A condition of approval requires replacement trees shall be located within the same general location as the trees being removed.
- i) The project planner verified that the project on the subject parcel conforms to the plans listed above.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN250053.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and

Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations. There has been no indication from these departments/agencies that the site is not suitable for the development.

- b) All technical reports were submitted with the certified EIR prepared for the Monterra Ranch Subdivision and are consistent with the proposed project. County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development and design shall be in accordance with these reports.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250053.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. There are no project conditions as the staff has ensured that the proposed project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Cañada Woods Water/Sewer District will serve the proposed project as the water connection and have a new 3,000 -gallon on-site wastewater treatment system.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250053.

4. FINDING: NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250053.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the development of the new single-family dwelling and accessory structures within residentially zoned areas.
 - b) The project consists of a new single-family dwelling. Therefore, the proposed development qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15303.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulatively significant impact.
 - d) No adverse environmental effects were identified during the staff review of the development application during a site visit on
 - e) See supporting Findings Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250053.
6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:**
- a) Pursuant to Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines Section and there are no exceptions pursuant to Section 15300.2; and
2. Approve the Administrative Permit and Design Approval to allow construction of a 6,230 square foot two-story single family dwelling with an attached 1,322 square foot, 336 square foot shed, ground mounted photovoltaic system with (20) modules and 8.20 kW and a 400A electrical panel, and associated site improvements. Grading to consist of 520 cubic yards of excavation and 2,120 cubic yards of fill. Colors and materials to consist of slate roof (brown), metal standing seam roof (brown), stucco siding (beige), natural stone veneer (tan & beige) and aluminum clad windows and doors (bronze). All of these are in general conformance with the attached sketch (Attachment 2) and subject to the attached conditions (Attachment 1), all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 5th day of November 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250053

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval (PLN250053) allows construction of a 6,230 square foot two-story single family dwelling with an attached 1,322 square foot garage with a 1,075 square foot accessory dwelling unit over proposed garage, ground mounted photovoltaic system with (20) modules and 8.20 kW and a 400A electrical panel, new 336 square foot storage shed, new 250 linear foot driveway, new motor court and patios. Grading to consist of 520 cubic yards of excavation and 2,120 cubic yards of fill. Colors and materials to consist of slate roof (brown), metal standing seam roof (brown), stucco siding (beige), natural stone veneer (tan & beige) and aluminum clad windows and doors (bronze). The property is located at 7572 Paseo Vista Place, Lot 52 Monterra Ranch Subdivision Phase I Tract 1177, Greater Monterey Peninsula Area Plan (APN: 259-101-116-000)]. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "An Administrative Permit and Design Approval (Resolution Number _____) was approved by the chief of Planning for Assessor's Parcel Number 259-101-116-000 on November 5, 2025. The permit was granted subject to two conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

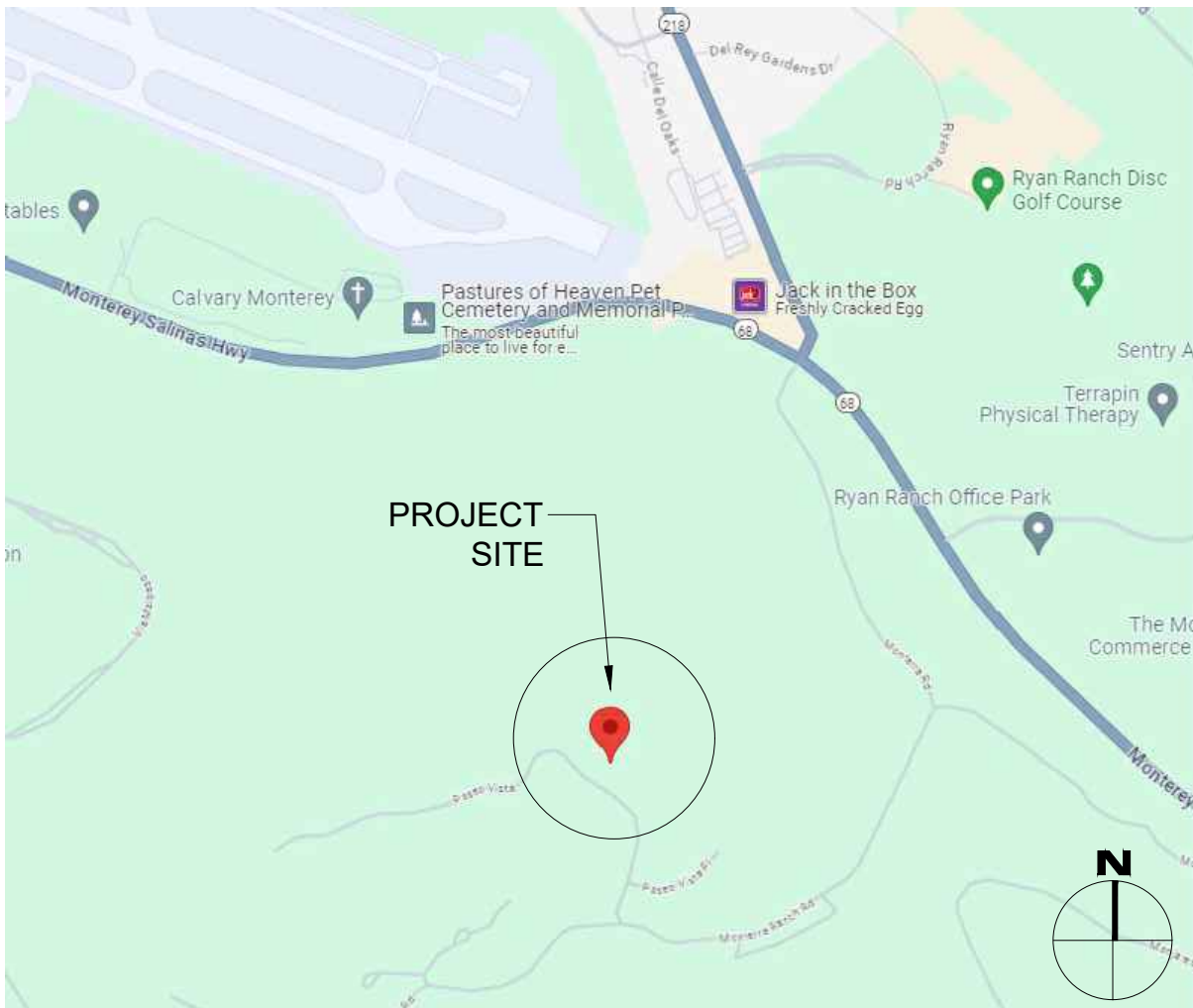
GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
- SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHLL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE COUNTY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
- CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

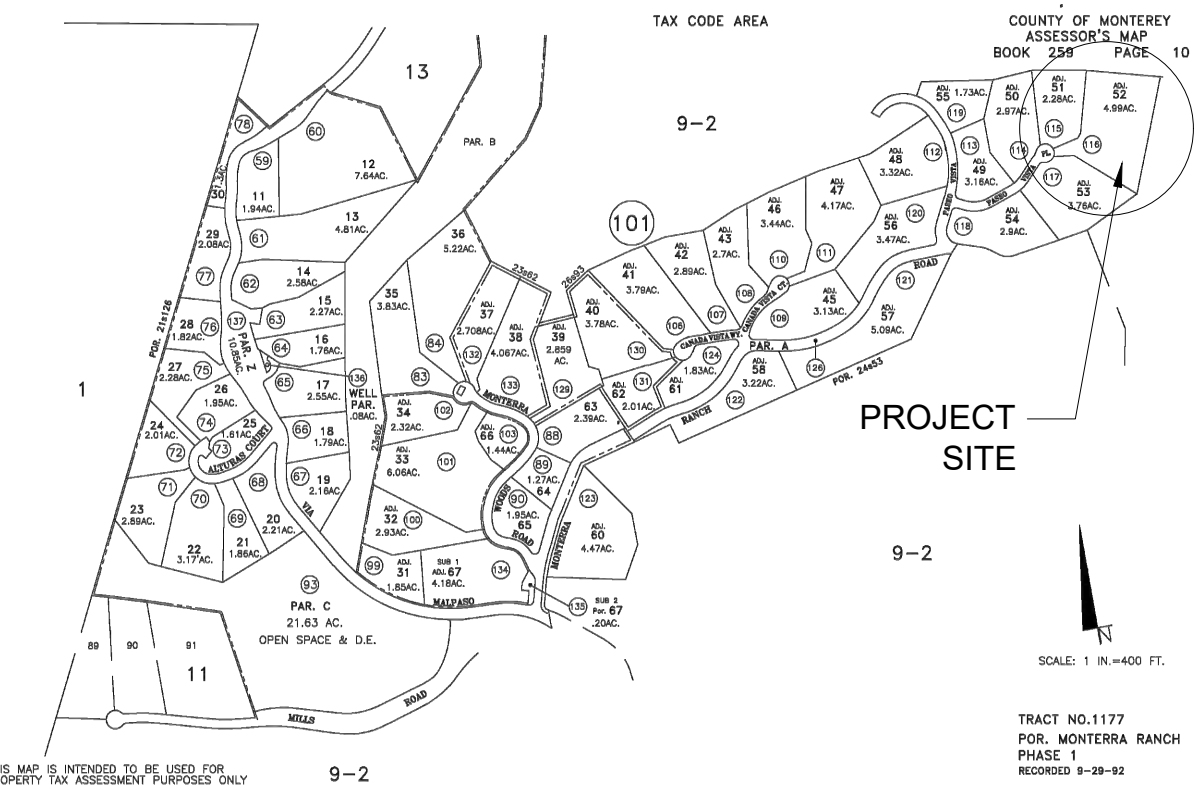
MISCELLANEOUS

WATER SOURCE	CANADA WOODS WATER COMPANY
WASTE DISPOSAL SYSTEM	PRIVATE SEPTIC
TREES TO BE REMOVED	(3) - SEE ARBORIST REPORT FOR INFO.
GRADING ESTIMATES:	
(P) CUT	2,120 CU.YDS.
(P) FILL	520 CU.YDS.
(P) NET CUT	1,600 CU.YDS. (SEE CIVIL FOR MORE INFO.)
(P) PARKING	3 SPACES (COVERED)
(P) BUILDING SPRINKLERED	YES

VICINITY MAP



PARCEL MAP



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L-1.2	LANDSCAPE PLAN
L-1.3	PLANT IMAGERY

EXISTING SITE PHOTOS



ENTRANCE TO PROPERTY LOOKING EAST



VIEW OF PROPOSED BUILDING SITE

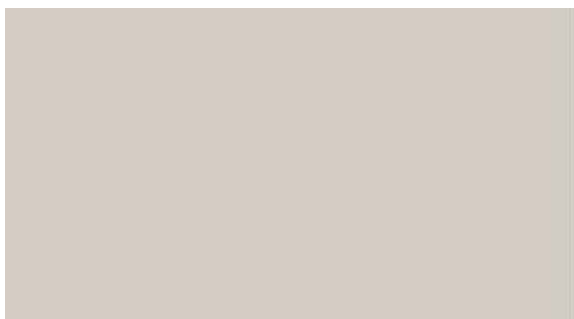
PROPOSED MATERIALS



SLATE ROOF BY 'EAGLE ROOFING' -
'BEL AIR SERIES' IN 'BRIDGEPOINT
BLEND COPPER' COLOR



METAL STANDING SEAM ROOF IN
BRONZE/COPPER COLOR



PAINTED STUCCO SIDING -
'SHERWIN WILLIAMS' - SW7634
'PEDIMENT'



NATURAL STONE VENEER -
'COOPER MARIA'



ALUM. CLAD WINDOWS & DOOR BY
'JELD-WEN' IN 'CHESTNUT BRONZE'
COLOR



STAINED WOOD TRIM - 'MINWAX' -
238 'CHERRY'

BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF
THE 2022 CBC, AND CHAPTER 3, SECTION 337R OF THE 2022 CRC.

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C-2.1	DRAINAGE PLAN
C-3.0	UTILITY PLAN

PROJECT TEAM

OWNER	GREAT BAY PARTNERS INVESTMENTS INC. C/O KAI WANG 7572 PASEO VISTA PLACE MONTEREY, CA 93940
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUEL.PITNICK@GMAIL.COM
STRUCTURAL ENGINEER	UYEDA & ASSOCIATES 1010 CASS ST D-9, MONTEREY, CA 93940 PHONE: (831) 373-3181
M & P / TITLE 24 / SOLAR	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD, CARMEL, CA 93923 PHONE: (831) 372-8328
SURVEYOR & CIVIL	BOWMAN & WILLIAMS 3949 RESEARCH PARK CT #100 SOQUEL, CA 95073 PHONE: (831) 426-3560
GEOTECHNICAL ENGINEER	HARO KASUNICH & ASSOCIATES INC. 116 E LAKE AVE, WATSONVILLE, CA 95076 PHONE: (831) 722-4175
LANDSCAPE ARCHITECT	MICHAEL ARNONE & ASSOCIATES 3370 SAMUEL PL, SANTA CRUZ, CA 95062 PHONE: (831) 462-4988
ARCHAEOLOGIST	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE, MARINA, CA 93933 PHONE: (831) 277-9071
BIOLOGICAL	REGAN BIOLOGICAL CONSULTING 8 ALISO ROAD, CARMEL VALLEY, CA 93924 PHONE: (831) 659-1991
ARBORIST	ONO CONSULTING 311 FOREST AVENUE PACIFIC GROVE, CA 93950 PHONE: (831) 373-7086

PROJECT INFORMATION

PROPERTY ADDRESS	7572 PASEO VISTA PLACE MONTEREY, CA 93940
APN	259-101-116-000
ZONING	RDR/B-6-UR-D-S
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE

SCOPE OF WORK

CONSTRUCTION OF A NEW 6,230 SF TWO STORY SINGLE FAMILY HOUSE WITH AN ATTACHED 1,322 SF GARAGE. CONSTRUCTION OF A NEW 1,075 SF A.D.U. OVER PROPOSED GARAGE. CONSTRUCTION OF A NEW 336 SF STORAGE SHED. CONSTRUCTION OF A NEW DRIVEWAY APPROX. 250' LONG, NEW MOTOR COURT, AND STONE PATIOS.

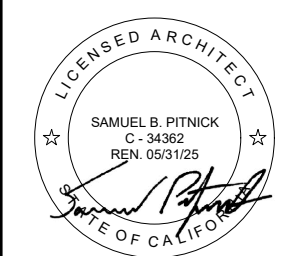
BUILDING INFORMATION & LOT COVERAGE

LOT SIZE	217,364 SF (4.99 ACRES)
ALLOWABLE SITE COVERAGE	25% OR 54,341 SF
(P) SITE COVERAGE:	
(P) STRUCTURES	6,238 SF
(P) EAVES > 30"	685 SF
(P) DECKS/PATIOS > 24"	226 SF
TOTAL	7,149 SF OR 7.8%
(P) FLOOR AREA:	
(P) LOWER LEVEL	1,650 SF
(P) MAIN LEVEL	4,580 SF
(P) GARAGE	1,322 SF
SUB-TOTAL	7,552 SF
(P) STORAGE SHED	336 SF
(P) A.D.U.	1,075 SF
TOTAL	8,963 SF

DEFERRED SUBMITTALS

- FIRE SPRINKLER SYSTEM DRAWINGS & DETAILS
- ELEVATOR SYSTEM DRAWINGS & DETAILS

LI
RESIDENCE
7572 PASEO VISTA PL.
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REVISIONS DATE

REVISIONS	DATE

ARCHITECTURAL

PROJECT
INFORMATION

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.0

12/28/2024

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BATHROOM ELECTRICAL NOTES

- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOM WITHIN 3'-0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION. [CEC 210.52(D), 210.11(C)(3) & 210.8(A)(1)]
- ALL 125VOLT, 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT. [CEC 406.12]
- BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLINGS. [CEC 210.12(A)]
- NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM, UNLESS LIGHT FIXTURE(S) IN SHOWER ENCLOSURE AREA IS LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS. [CEC 410.10(D)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED AND LABELED. [CENC 150.0(K)1A]
- A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)1C. ONLY JA8-2019-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION. [CENC 150(K)1C]
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. [CENC 150(K)2B]

BATHROOM MECHANICAL NOTES

- BATH AND TOILET ROOMS SHALL HAVE AN EXHAUST RATE OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS. [CMC TABLE 403.7]
- EACH BATHROOM, OR ROOM CONTAINING A BATHTUB, SHOWER, OR TUB SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50 PERCENT TO A MAXIMUM OF 80 PERCENT. THE CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. [CMC 402.5, CALGREEN 4.506]
- BATH AND TOILET ROOM WINDOWS SHALL NOT BE LESS THAN 3 SQUARE FEET, ONE HALF OF WHICH MUST BE OPERABLE. [CRC R303.3]
- A BATH EXHAUST FAN, WITH BACK DRAFT DAMPER AND HUMIDITY CONTROL, IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW (ROOM CONTAINING A BATHTUB, SHOWER, SPA OR OTHER SIMILAR SOURCE OF MOISTURE). [CRC R303.3]
- EXHAUST MUST VENT TO OUTDOOR IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FEET FROM AN OPENING OR PROPERTY LINE. [CMC 504.5]
- MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY PLUMBING VENTS AND SUCH OPENING SHALL BE LOCATED A MINIMUM OF 3 FEET BELOW THE CONTAMINANT SOURCE. [CRC R303.5]
- SHOW FAN/DUCT/VENT TERMINATION LOCATIONS. INDICATE THAT FAN AND DUCT OPENINGS (ENVIRONMENTAL AIR DUCTS) SHALL TERMINATE AT LEAST THREE (3) FEET FROM PROPERTY LINES OR OPENINGS INTO THE BUILDING WITH BACK DRAFT DAMPER. PLUMBING VENTS WITHIN TEN (10) FEET OF OPERABLE SKYLIGHTS SHALL EXTEND A MINIMUM OF THREE (3) FEET ABOVE SUCH OPENINGS. [CMC 504.1, 504.5, CPC 906.2]

PLUMBING NOTES

- ALL PLUMBING FIXTURES ARE REQUIRED TO BE LISTED BY AN ACCEPTABLE NATIONALLY RECOGNIZED TESTING LABORATORY. PER CPC 2022, MAXIMUM PLUMBING FIXTURE FLOW RATES SHALL BE:

WATER CLOSET	1.28 GPF
KITCHEN FAUCET	1.8 GPM @ 60 PSI
LAVATORY FAUCET	1.2 GPM @ 60 PSI
SHOWER HEAD	1.8 GPM @ 80 PSI
DISHWASHER	2.0 GPM
CLOTHES WASHER	2.0 GPM
- THIS IS A PARTIAL LIST OF PRIMARY PLUMBING FIXTURES, AND IS NOT INTENDED AS A COMPREHENSIVE LIST OF ALL PLUMBING FIXTURES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL FIXTURES, SUPPLIES, PARTS, AND EQUIPMENT TO ENSURE PROPER FUNCTIONING OF ALL FIXTURES.
- PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE. [4.303.2 CGBSC]
- PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE SPECIFIED PERFORMANCE REQUIREMENTS OF SECTION 4.303 OF CGBSC.
- USE WATER RESISTANT GYPSUM WALL BOARD BEHIND NEW TILE, SHOWERS, AND SINKS.
- EXTERIOR HOSE BIBS: PROVIDE ANTI-SIPHON DEVICE AT ALL HOSE BIBS, ALL HOSE BIBS SHALL BE PROTECTED BY A LISTED NON-REMOVABLE HOSE BIB TYPE BACKFLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER.

BATHROOM PLUMBING NOTES

- BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET EXCEPT AT THE CENTER OF THE FRONT CLEARANCE AREA FOR FIXTURES AND AT SHOWERS THE CEILING HEIGHT MAY BE 6 FEET 8 INCHES. [CRC R305.1 AND R305.1 EXCEPTION 2]
- PROVIDE SAFETY GLAZING IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. [CRC R308.4.5]
- SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [CPC 408.3]
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. [R702.3.8, R307.2]
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. [CPC 408.9]
- A MINIMUM 12"x12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED. [CPC 402.11]
- SITE BUILT SHOWER STALLS SHALL BE WATER TESTED BEFORE CLOSEIN. [CPC 408.0]
- WHEN ADDITIONAL WATER CLOSETS (TOILETS) ARE INSTALLED, A MAXIMUM OF 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE LINE.[CPC TABLE 703.2]
- THE HOT WATER CONTROL SHALL BE INSTALLED ON THE LEFT SIDE OF LAVATORY FAUCET. [CPC 417.5]
- WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER (AT BASEMENT), SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE PER [CPC 710.1]
- DRAINAGE PIPING SERVING FIXTURES THAT ARE LOCATED BELOW THE CROWN LEVEL OF THE MAIN SEWER (AT BASEMENT) SHALL DISCHARGE INTO AN APPROVED WATER-TIGHT SUMP OR RECEIVING TANK, SO LOCATED AS TO RECEIVE THE SEWAGE OR WASTES BY GRAVITY. [CPC 710.2]

LAUNDRY ROOM NOTES

- LAUNDRY - AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

KITCHEN PLUMBING NOTES

- FAUCETS AT KITCHENS SHALL NOT HAVE A FLOW RATE OF GREATER THAN 1.8 GPM AT 60 PSI.
- NEW GAS APPLIANCES AT KITCHEN SHOULD BE SPECIFIED. PROVIDE A SINGLE LINE DIAGRAM OF GAS PIPING, SHOWING PIPE SIZES, LENGTHS, AND BTU DEMAND RATINGS FOR ALL GAS APPLIANCES.
- GAS TEST DURATION SHALL BE NOT LESS THAN ONE-HALF (½) HOUR FOR EACH FIVE-HUNDRED (500) CUBIC FEET OF PIPE VOLUME OF FRACTION THEREOF. WHEN TESTING A SYSTEM HAVING A VOLUME LESS THAN TEN (10) CUBIC FEET OR A SYSTEM IN A SINGLE-FAMILY DWELLING, THE TEST DURATION SHALL BE NOT LESS THAN TEN (10) MINUTES. THE DURATION OF THE TEST SHALL NOT BE REQUIRED TO EXCEED TWENTY FOUR (24) HOURS. [NFPA 54-8.1.4.3, CPC 1214.3.3]
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. [CPC 1211.1.6]
- AN ACCESSIBLE, APPROVED MANUAL SHUTOFF VALVE WITH A NONDISPLACEABLE VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUTLET INSTALLED WITHIN SIX (6) FEET OF THE APPLIANCE IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. [CPC 1211.5]
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. [CPC 807.4]

KITCHEN MECHANICAL NOTES

- IN KITCHEN SPECIFY THE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. [CENC 150(O), EXC. 5 TO 152(A) & ASHRAE STD. 62.2]
- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. PROVIDE BACK DRAFT DAMPER [CMC 504.2]
- UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER [CMC 916.1.2]

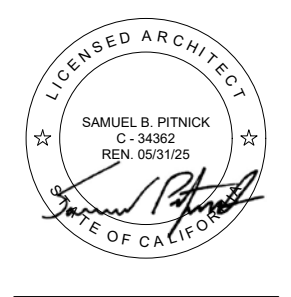
LIGHTING NOTES

- ALL INTERIOR LIGHTS SHALL BE DIMMABLE UNLESS OTHERWISE NOTED.
- ALL BATHROOM FANS SHALL HAVE TIMER OPTIONS.
- ALL BATHROOM LIGHTS SHALL HAVE OCCUPANCY SENSORS.
- OUTLET BOXES INSTALLED FOR LUMINARIES OR LIGHTING SHALL BE PERMITTED TO SUPPORT 50 POUNDS OR LESS. LUMINARIES WEIGHING MORE THAN 50 POUNDS MUST BE LISTED AND MARKED FOR THE MAXIMUM WEIGHT.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED LABELED.
- SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING:
 - SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
 - SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JA8; AND
 - THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2019 OR JA8-2019-E.
- RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED ZERO-CLEARANCE INSULATION COVER TYPE, CERTIFIED AIR TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. [CENC 150.0(K)1C]
- LUMINARIES INSTALLED IN CLOSETS SHALL BE 12" FROM EDGE OF STORAGE SHELF FOR INCANDESCENT OR LED SURFACE MOUNTED, SURFACE MOUNTED OR RECESSED FLUORESCENT, RECESSED INCANDESCENT OR LED, 6".
- SURFACE MOUNTED FLUORESCENT OR LED PERMITTED IN STORAGE AREA IF LISTED FOR USE.
- RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
- AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR.

KITCHEN ELECTRICAL NOTES

- ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE AFCI & GFCI PROTECTED. [CEC 210.8(A) (6)]
- ALL 125VOLT, 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLE. [CEC 406.12]
- BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS. [CEC 210.12(A)]
- WALL COUNTER SPACE, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLES OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 18 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE. [CEC 210.52 (C) (1)]
- ISLAND COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. [CEC 210.52(C) (2)]
- PENINSULAR COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. A PENINSULAR COUNTER TOP IS MEASURED FROM THE CONNECTING EDGE. [CEC 210.52(C) (3)]
- SEPARATE SPACES: COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES IN APPLYING THE REQUIREMENTS OF CEC 210.52 (C) (1) (2) (3). [CEC 210.52(C) (4)]
- COUNTER TOP RECEPTACLE OUTLET LOCATION: RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, APPLIANCE GARAGES, SINKS, OR RANGE TOPS AS COVERED IN 210.52(C)(1), EXCEPTION, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. [CEC 210.52 (B) (5)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52 (B)(1), (2)]
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. [CEC 210.11(C) (1) & 422.10 (A)]
- GARBAGE DISPOSAL CORD AND PLUG CONNECTED WITH A FLEXIBLE CORD 18" TO 36" LONG. [CEC 422.16 (B)(1)]
- DISHWASHER CORD 36" TO 78" LONG. [CEC 422.16(B)(2)]
- MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. [CEC 210.23(A)]
- PROVIDE DEDICATED CIRCUIT FOR KITCHEN HOOD. [CEC 210.52 (B) (2)]
- IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]
- RANGE HOODS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECT WHEN THE CORD IS TERMINATED WITH GROUNDING TYPE, NOT LESS THAN 18 INCHES AND NOT OVER 36", THE RECEPTACLE IS ACCESSIBLE AND SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT. [CEC 422.16 (B) (4)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2019 CERTIFIED AND LABELED.
- SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING:
 - THE LUMINAIRES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
 - THE LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND
 - THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2019 OR JA8-2019-E
- RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. [CENC 150.0(K)1C]
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN CENC 150.0(K)1C. A JA8-2019-E LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED CEILING DOWNLIGHT LUMINAIRES.
- EXHAUST FANS AND UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. [CENC 150.0(K)2B]
- BLANK ELECTRICAL BOXES, ALL UNUSED ELECTRICAL BOXES MOUNTED ABOVE 5 FEET FROM THE FINISHED FLOOR SHALL BE NO MORE THAN THE NUMBER OF BEDROOMS AND SHALL BE SERVED BY DIMMER OR VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL [CENC 150.0(K)1B]
- FOR OCCUPANCIES WITH A HORIZONTAL RATED SEPARATION (FLOOR/CEILING ASSEMBLY), THE RECESSED FIXTURES MUST BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED TO THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.

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ADDITIONAL CONSTRUCTION NOTES

- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. ALL 120-VOLT 15 AND 20 AMPERE OR BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, KITCHENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION-TYPE. GUESTROOMS (210-18) AND GUEST SUITES THAT ARE PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI. [210-12 (B)].
- DWELLING UNIT RECEPTACLE OUTLETS. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. ANY SPACE 2' OR MORE IN WIDTH INCLUDING SPACE MEASURED AROUND CORNERS AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. FLOOR RECEPTACLE SHALL NOT BE COUNTED AS A PART OF THE REQUIRED RECEPTACLES UNLESS WITHIN 18" OF WALL. [210-52 (A)]
- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION. (R327)
- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
- LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED "SUITABLE FOR WET/DAMP LOCATIONS".
- RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, LAUNDRY ROOM (CLOTHES DRYER) KITCHEN AND WET BAR COUNTERTOP SURFACES, GARAGES, HEAT PUMPS (150V, 50A)... IN GARAGES, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY AND WITHIN 5.5 FEET ABOVE THE FLOOR.
- SURGE PROTECTION DEVICE (SPD), TYPE 1 OR TYPE 2, REQUIRED FOR ALL SERVICES SUPPLYING DWELLING UNITS AS AN INTEGRAL PART OF SERVICE EQUIPMENT OR LOCATED IMMEDIATELY ADJACENT THERETO.
- RESERVED SPACES IN PANELBOARD SHALL BE PROVIDED WITH BRANCH CIRCUIT WIRING FOR HEAT PUMP WATER HEATERS, HEAT PUMP SPACE HEATERS, ELECTRIC COOKTOPS AND ELECTRIC CLOTHES DRYERS, ALL WITHIN 3 FEET OF GAS OR PROPANE UNITS AND IDENTIFIED "240V READY" (30-AMP MIN. FOR HPWH; 50-AMP MIN. FOR COOKTOP; 30-AMP FOR ELECTRIC CLOTHES DRYER) PER CALIFORNIA ENERGY CODE, 150.0. ASSURE EXISTING ELECTRIC PANEL CAN HANDLE THIS, LARGER PANELS MAY BE REQUIRED.
- FOR FUTURE ENERGY STORAGE SYSTEM (ESS) PROVIDE DEDICATED RACEWAYS, FOUR DESIGNATED BRANCH CIRCUITS AND ISOLATION DEVICES AS SPECIFIED IN THE CA ENERGY CODE, SECT. 150.0(S).

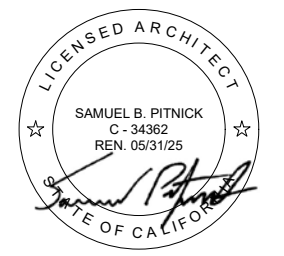
CONSTRUCTION NOTES FOR VERY HIGH FIRE HAZARD SEVERITY ZONES

- NEW BUILDINGS AND STRUCTURES LOCATED IN "HIGH" FIRE HAZARD SEVERITY ZONES SHALL COMPLY WITH THE REQUIREMENTS OF CBC AND, CHAPTER 7A SECTION 701A.1. & CRC, CHAPTER 3, SECTION 337R.
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4]
- ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND EMBERS, THE ATTIC SPACE IS SPRINKLERED IN ACCORDANCE WITH CBC SEC. 903.3.1.1, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [§R327.6.3]
- EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [§R327.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [§R327.7.3.1]
- THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED EAVES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYPSUM BOARD, OR EXTERIOR PORTION OF AN APPROVED ONE HOUR WALL ASSEMBLY. [§R327.7.4] SEE EXCEPTIONS TO THESE SECTIONS FOR OTHER ALTERNATIVES.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

POLLUTANT CONTROL MEASURES

- IN ACCORDANCE WITH SECTION 4.504, THE FOLLOWING POLLUTANT CONTROL MEASURES SHALL BE IMPLEMENTED.
- PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
 - AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
 - CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
 - 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
 - PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. RESPONSE

LI
RESIDENCE
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REVISIONS	DATE

ARCHITECTURAL

CONSTRUCTION
NOTES

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.2

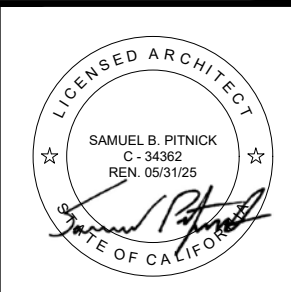
12/28/2024



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

LI
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REVISIONS DATE

ARCHITECTURAL

CALGREEN
RESIDENTIAL
CHECKLIST

Scale: SEE DWG.

Drawn By: SBP

Job: -

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12/28/2024

Y	NA	RESPON. PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New CHAPTER 4 RESIDENTIAL MANDATORY MEASURES SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous, enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code. 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
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Y	NA	RESPON. PARTY	4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Exceptions: 1 When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces 2 When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. Notes: a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required. Notes: a. Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. Exception: Areas of parking facilities served by parking lifts. 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall be designed to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements. 4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options: 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3. 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). a. Surface space for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. 4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A. 4.106.4.2.3 EV space requirements. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code. 2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on ampacity of installed or future receptacles or EVSE, raceway method(s), wiring schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
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Y	NA	RESPON. PARTY	Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s). 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Notes: 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. DIVISION 4.2 ENERGY EFFICIENCY 4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 80 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi. Note: Where comping faucets are unavailable, aerators or other means may be used to achieve reduction. 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A). <table><tr><th colspan="2">TABLE H-2</th></tr><tr><th colspan="2">STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019</th></tr><tr><th>PRODUCT CLASS (spray force in ounces force (ozf))</th><th>MAXIMUM FLOW RATE (gpm)</th></tr><tr><td>Product Class 1 (≤ 5.0 ozf)</td><td>1.00</td></tr><tr><td>Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)</td><td>1.20</td></tr><tr><td>Product Class 3 (> 8.0 ozf)</td><td>1.28</td></tr></table> Title 20 Section 1605.3 (h)(4)(A): Commercial pre-rinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf) [113 grams-force(gf)] 4.303.2 Submersers for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submersers shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. <table><tr><th colspan="2">TABLE - MAXIMUM FIXTURE WATER USE</th></tr><tr><th>FIXTURE TYPE</th><th>FLOW RATE</th></tr><tr><td>SHOWER HEADS (RESIDENTIAL)</td><td>1.8 GPM @ 80 PSI</td></tr><tr><td>LAVATORY FAUCETS (RESIDENTIAL)</td><td>MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI</td></tr><tr><td>LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS</td><td>0.5 GPM @ 60 PSI</td></tr><tr><td>KITCHEN FAUCETS</td><td>1.8 GPM @ 60 PSI</td></tr><tr><td>METERING FAUCETS</td><td>0.2 GAL/CYCLE</td></tr><tr><td>WATER CLOSET</td><td>1.28 GAL/FLUSH</td></tr><tr><td>URINALS</td><td>0.125 GAL/FLUSH</td></tr></table>	TABLE H-2		STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019		PRODUCT CLASS (spray force in ounces force (ozf))	MAXIMUM FLOW RATE (gpm)	Product Class 1 (≤ 5.0 ozf)	1.00	Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20	Product Class 3 (> 8.0 ozf)	1.28	TABLE - MAXIMUM FIXTURE WATER USE		FIXTURE TYPE	FLOW RATE	SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI	LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	KITCHEN FAUCETS	1.8 GPM @ 60 PSI	METERING FAUCETS	0.2 GAL/CYCLE	WATER CLOSET	1.28 GAL/FLUSH	URINALS	0.125 GAL/FLUSH
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URINALS	0.125 GAL/FLUSH																																

Y	NA	RESPON. PARTY	4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at https://www.water.ca.gov/ DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the local boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq. ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a locally enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42645.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
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DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, palm substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

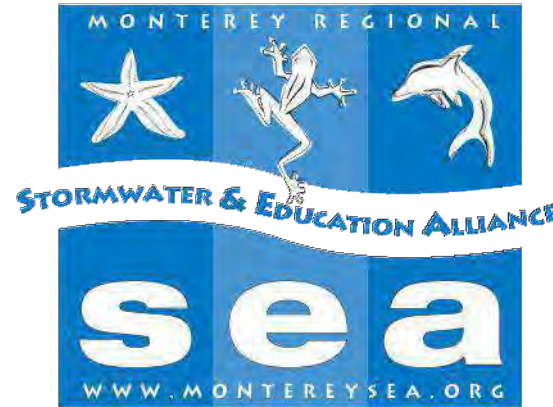
COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardwood, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93220.1.

DIRECT VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

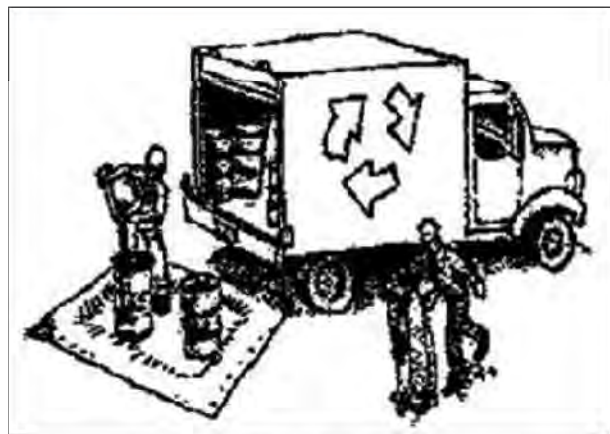
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CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs)
on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



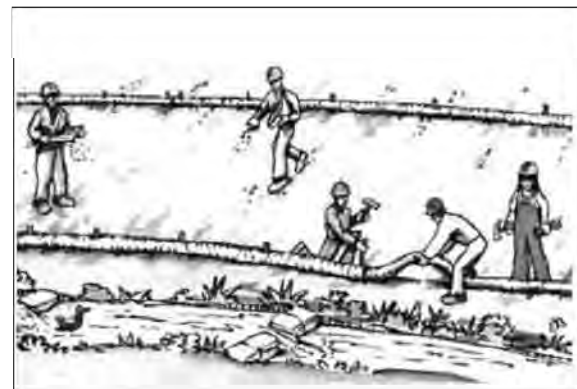
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.



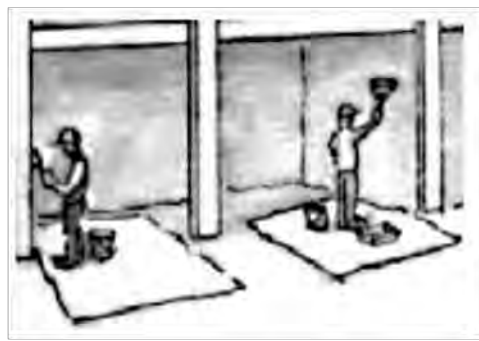
CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

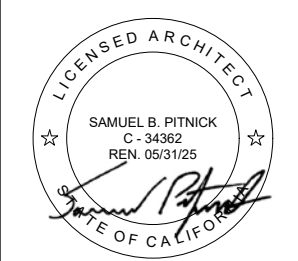


DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

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REVISIONS	DATE

ARCHITECTURAL

BEST
MANAGEMENT
PRACTICES

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.5

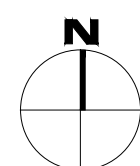
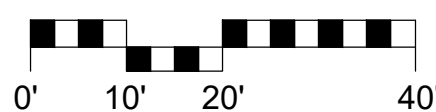
12/28/2024

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

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1 FUEL MANAGEMENT PLAN
SCALE: 1"=20'-0"



FUEL MANAGEMENT NOTES

'GREEN ZONE' WITHIN 30 FEET SURROUNDING THE BUILDING:

- CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER, EXCEPT FOR LANDSCAPING, AS FOLLOWS:
 - CUT DRY AND DEAD GRASS TO A MAXIMUM HEIGHT OF 4 INCHES.
 - MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
 - MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
 - TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. O TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.
 - REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.
 - REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
 - REMOVE ALL CUT MATERIAL FROM THE AREA.
 - REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
 - PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN ONE-HALF INCH IN SIZE.
 - POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS.
- 'REDUCED FUEL ZONE' BETWEEN 30 AND 100 FEET AROUND THE BUILDING:
- CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE "TOPPED OFF" LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
 - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
 - CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
 - DO NOT USE HERBICIDE OR OTHER CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT LEGEND

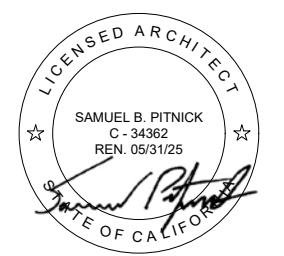


'GREEN ZONE'
WITHIN 30 FEET SURROUNDING THE BUILDING



'REDUCED FUEL ZONE'
BETWEEN 30 AND 100 FEET AROUND THE BUILDING

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REVISIONS DATE

ARCHITECTURAL

FUEL
MANAGEMENT
PLAN

Scale: SEE DWG.

Drawn By: SBP

Job: -

G1.6

12/28/2024

ABBREVIATIONS

AC	ASPHALT CONCRETE	N&TAG	NAIL & TAG
APN	ASSESSOR'S PARCEL NUMBER	NT	NO TAG
BLDG	BUILDING	OH	OVERHEAD
BLRD	BOLLARD	±	PLUS OR MINUS
CI	CAST IRON	PA	PLANTING AREA
CL	CENTERLINE	PKNG	PARKING
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE
COMM	COMMUNICATIONS	PVMT	PAVEMENT
DBL	DOUBLE	RSR	RISER
DOC#	DOCUMENT NUMBER	S=	SLOPE
DWY	DRIVEWAY	S/O	SHUT-OFF
ELEC	ELECTRIC	SCRBD	SCRIBED
FC	FACE OF CURB	SPK	SPIKE
FD	FOUND	SS	SANITARY SEWER
HB	HOSE BIBB	SSCO	SANITARY SEWER CLEANOUT
HR	HOSE	TC	TOP OF CURB
IP	IRON PIPE	TCD	THRU CURB DRAIN
JP	JOINT POLE	THRS	THRESHOLD
LE	LENGTH	TS	TOP OF STEP
LDNG	LANDING	TW	TOP OF WALL
LS	LAND SURVEYOR	TYP	TYPICAL
MAG	MAGNETIC	WM	WATER METER
MTR	METER	WTR	WATER

LEGEND

—	CONTOUR (MAJOR)
—	CONTOUR (MINOR)
—X—X—	FENCE LINE
—W—	WATER LINE
—	PROPERTY LINE
—	EASEMENT LINE
—	BUILDING ENVELOPE
—	25% SLOPE LINE
—	30% SLOPE LINE
—SD—	STORM DRAIN PIPE
△	SET RANDOM NAIL
+46.21	SPOT ELEVATION
●	TREE AS NOTED
W	WATER VALVE

CONTOUR INTERVAL = 1 FOOT

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

NOTE:

ONLY THE IMPROVEMENTS THAT WERE EVIDENT FROM A VISUAL INSPECTION OF THE PROPERTY ARE SHOWN ON THIS SURVEY.

THE UTILITY LINE, SIZES, DIRECTIONS AND TYPES SHOWN HEREON ARE BASED UPON ABOVE GROUND SURFACE. THE SURVEYOR CAN NOT ATTEST TO THE EXACT LOCATION, SIZE, TYPE, OR DIRECTION OF UNDERGROUND LINES SHOWN HEREON. OTHER UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST. THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOULD BE INDEPENDENTLY VERIFIED PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION.

TREE NOTE

ONLY TREES 6 INCHES IN DIAMETER OR GREATER WERE LOCATED AS A PART OF THIS SURVEY. TREE DIAMETERS WERE MEASURED BY THE DIAMETER AT BREAST HEIGHT (DBH) METHOD (4.5 FEET ABOVE GRADE). CAUTION SHOULD BE USED WHEN DESIGNING CLOSELY TO TREE TRUNKS. THERE ARE LIMITATIONS IN FIELD ACCURACY AND DRAFTING ACCURACY AS WELL AS THE "SPREAD" OR "LEAN" OF TREES.

THE TREE SPECIES AND SIZES SHOWN HEREON HAVE BEEN IDENTIFIED TO THE BEST OF THE SURVEYOR'S KNOWLEDGE. THE SURVEYOR CAN NOT CERTIFY, NOR ATTEST, TO THE ACCURACY OF THESE NOTATIONS IF CERTIFICATION OF THIS INFORMATION IS REQUIRED, PLEASE CONTACT A LICENSED URBAN FORESTER, OR AN ARBORIST FOR CONFIRMATION.

THE INFORMATION ON THIS MAP REPRESENTS THE SITE CONDITIONS FROM A SURVEY MADE IN APRIL 2022 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THE ORIGINAL LOT WAS CREATED BY THE MAP FILED IN VOLUME 18, OF CITIES AND TOWNS, PAGE 1. THE LOT WAS THEN ADJUSTED BY A RECORD OF SURVEY IN VOLUME 24, OF SURVEYS, PAGE 53. THE LOCATION OF THE CUL-DE-SAC WAS REVISED, BUT THE UNDERLYING EASEMENTS WERE POSSIBLY NOT ABANDONED.

DRAINAGE PIPES MAY RUN UNDER THE BUILDING ENVELOPE, FURTHER DETERMINATION OF THEIR PATHS IS RECOMMENDED.

THE BUILDING ENVELOPE IS MARKED BY REBARS WITH PLASTIC PIPES ON TOP. THEY ARE WITHIN 1.07 FEET OF THE CALCULATED POSITION.

AN ATTEMPT WAS MADE TO OBTAIN AS BUILT PLANS OF THE DRAINAGE SYSTEM BY CALLING MONTEREY COUNTY PUBLIC WORKS AND L&S ENGINEERING (THE COMPANY THAT HAS WWD ENGINEERING RECORDS).

BASIS OF ELEVATIONS (BENCHMARK)

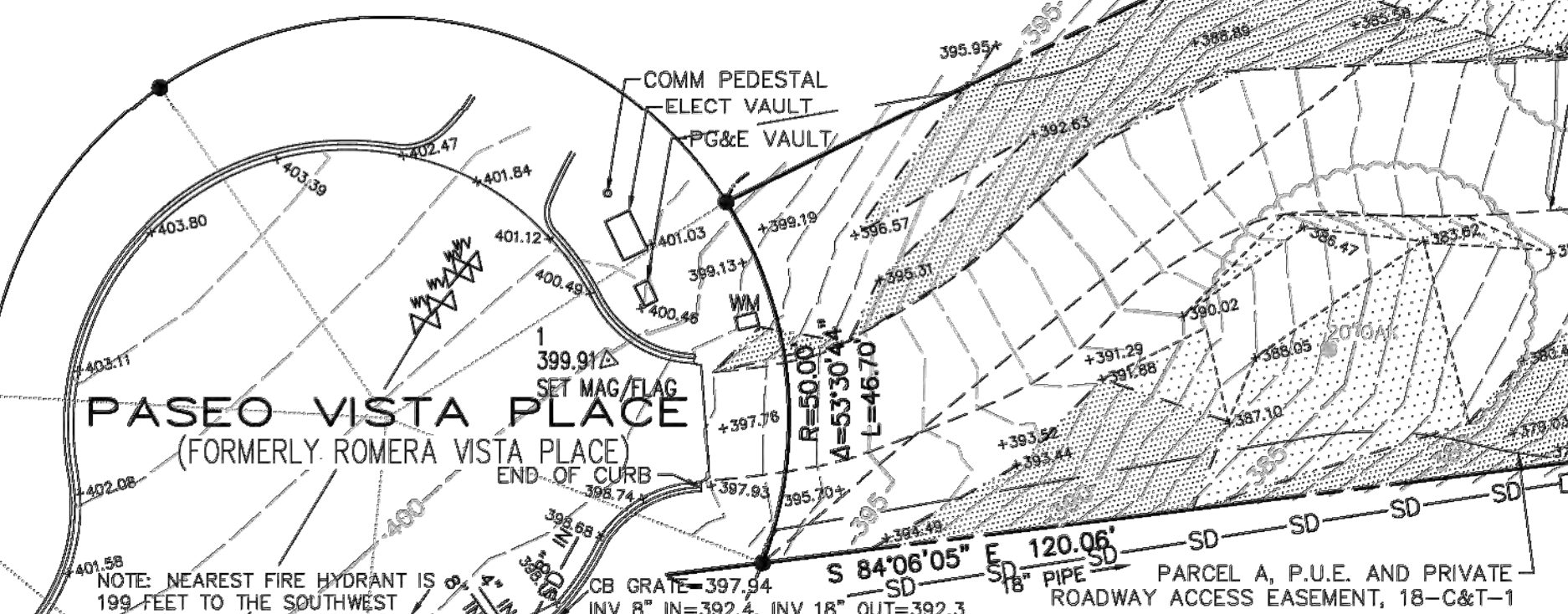
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS A GPS STATIC OBSERVATION (OPUS SOLUTION) ON POINT #2, A HARDNAIL SET IN THE PAVEMENT 148.88 FEET SOUTHWESTERLY FROM POINT #1 ELEV = 393.85' (NAVD88)

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALCULATED LINE BETWEEN FOUND 8" REBARS TAGGED RCE24400 ON THE MOST WESTERLY CORNER AND THE MOST EASTERLY CORNER OF ADJ.-LOT 52, AS SHOWN ON THAT CERTAIN MAP ENTITLED PLN 000-121, RECORD OF SURVEY, MONTERA RANCH, FILED FOR RECORD ON FEBRUARY 6, 2001 IN VOLUME 24 OF SURVEY, AT PAGE 53, MONTEREY COUNTY RECORDS, AS SHOWN HEREON
= N 63°18'38" E

LIMITS OF PARCEL A
P.U.E. AND PRIVATE
ROADWAY ACCESS
EASEMENT, 18-C&T-1

END OF DRAINAGE EASEMENT, 18-C&T-1



SCENIC EASEMENT

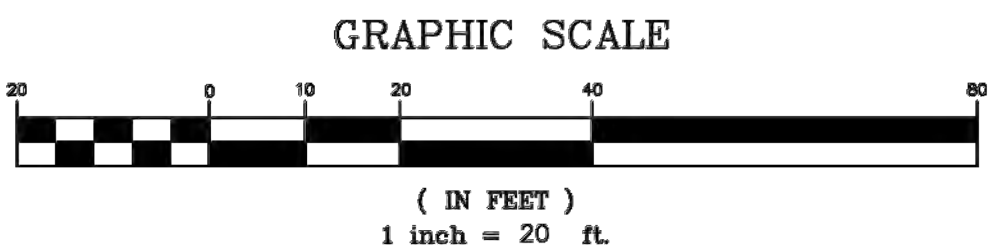
SCENIC EASEMENT

LEGEND	
IP	= IRON PIPE
FD	= FOUND
R&M	= RECORD AND MEASURED, 24-SUR-53
SNF	= SEARCHED FOR NOT FOUND
()	= DATA PER 24-SUR-53
●	= FD 8" REBAR RCE24400, UNLESS NOTED

ALL DISTANCES ARE IN FEET & DECIMALS THEREOF

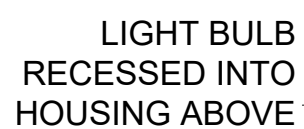
18-C&T-1
24-SUR-53

GREAT BAY PARTNERS INVESTMENT, INC.
DOC# 2022010570
3/3/2022



APN 259-101-116

REVISED			
MAY 25, 2022 - ADD 25% AND 30% SLOPE LINES			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SQUEL, CA 95073-2094 (831) 428-3560		TOPOGRAPHIC SURVEY	
7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA		SHEET 1 OF 1	
SCALE 1" = 20'	DRAWN BJS	JOB NO. 28760	DATE APRIL 28, 2022
DATE APRIL 28, 2022	CHECKED BFH	INDEX MONTEREY CO.	DESIGN
DWG NAME SEARCH	FILE NO. 28760		

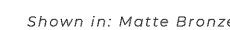
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2 SCALE: N.T.S.

12V Luna Horizontal Step Light
ITEM NUMBER HIN360681

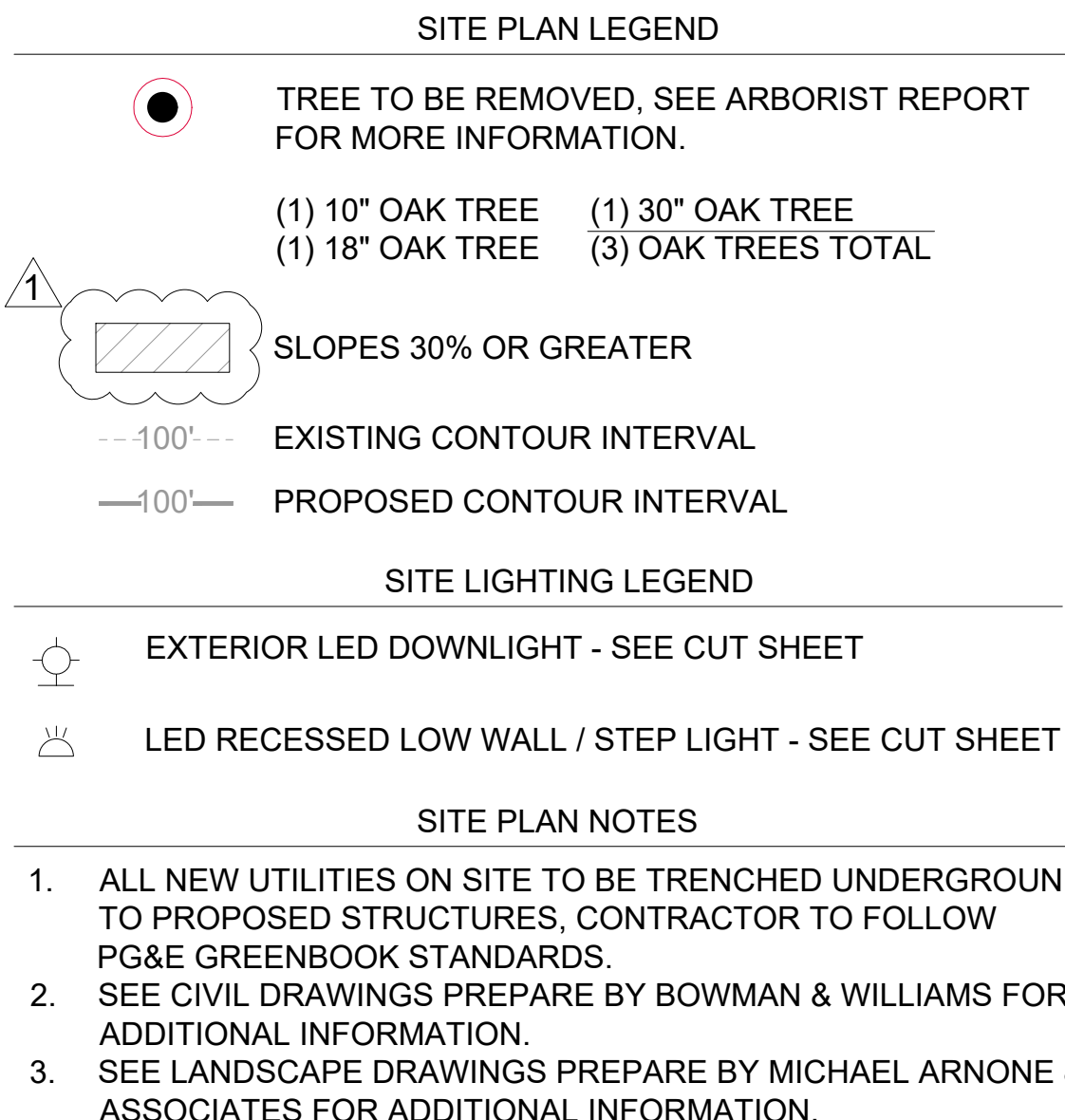
Hinkley Lighting

Hinkley's 12V Luna Horizontal Step Light features: Bronze, Satin Black, Matte Bronze, Satin White, or Titanium finish. Made from the cast zinc aluminum alloy. Fits in standard junction box. Accessories included: Wiring kit. One 3.8 watt 12 volt LED module is included. 4.5 inch width x 3 inch height x 1.5 inch depth. UL listed for wet locations.



SHADE COLOR	N/A
BODY FINISH	Matte Bronze
WATTAGE	3.9W
DIMMER	Low Voltage Magnetic
DIMENSIONS	4.5" W x 3" H x 1.5" D
LAMP	1 x LED/3.9W/2V LED
<i>Technical Information</i>	
LUMINOUS FLUX	200 lumens
LUMENS/WATT	52.63
LAMP COLOR	2700 K
COLOR RENDERING	90 CRI

3) PROPOSED
SCALE: N.T.S.



SCALE: 1/16"=1'-0"



SAMUEL PITNICK ARCHITECTS
P.O. BOX 22412, CARMEL, CA 93922
PHONE: (831) 241-1895
EMAIL: SAMUEL@PITNICK.COM

[illegible]

ARCHITECTURAL

PROPOSED SITE PLAN

Scale: SEE DWG.

Drawn By: SBP

Job: -

A1.0

10/29/2025

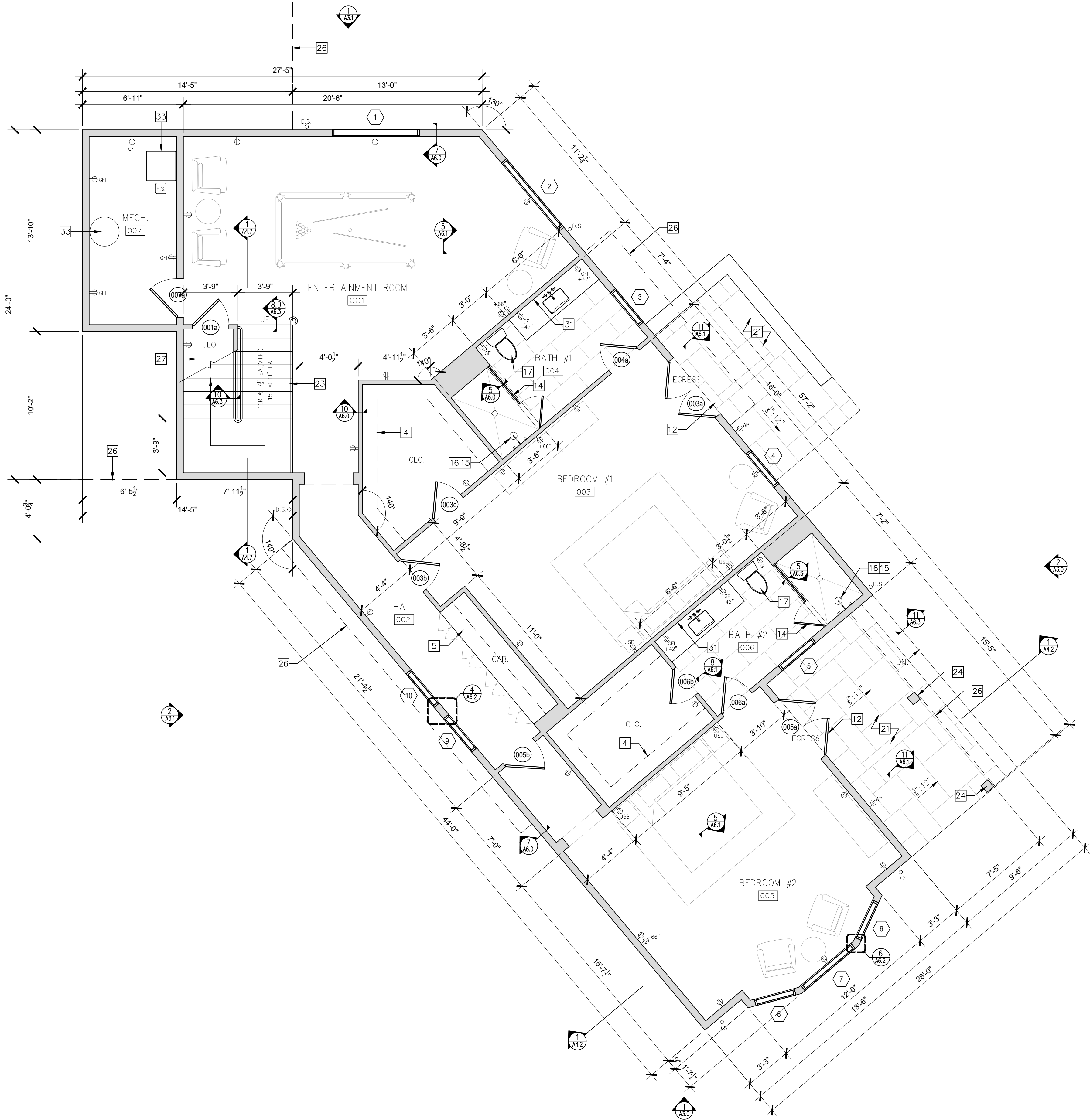
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FLOOR PLAN KEYNOTES

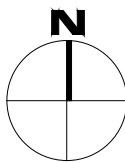
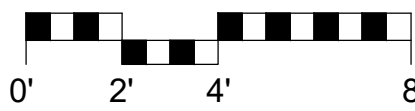
- 200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
- PROVIDE $\frac{5}{8}$ " TYPE 'X' GYPSUM WALL BOARD ALONG WALLS BETWEEN GARAGE & HOUSE
- 1-HOUR FIRE RATED WALL BETWEEN MAIN HOUSE & A.D.U.
- CUSTOM CLOSET BUILT-INS, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
- CUSTOM BUILT-IN CABINETRY, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
- DRYER VENT & 4" DIA. METAL DUCT, SEE DETAILS SHEET FOR MORE INFORMATION
- PROVIDE GAS HOOKUP & 240V OUTLET AT CLOTHES DRYER
- 36"H KITCHEN ISLAND W/ EAT-IN COUNTER
- 48" GAS RANGE W/ EXHAUST FAN ABV., DUCTED TO OUTSIDE, MIN. 5"DIA. FLEX DUCT & MAX 35' LONG, W/ A MIN. 100 CFM VENTILATION RATE
- PROVIDE GFCI POWER BELOW SINK FOR GARBAGE DISPOSAL AND DISHWASHER
- PROVIDE AIR GAP FOR DISHWASHER
- PROVIDE LEVEL LANDING @ EA. GRADE LEVEL EXIT THAT IS THE WIDTH OF THE DOOR AND A MIN. 36" IN THE DIRECTION OF TRAVEL. [CRC R311.3]
- OUTDOOR KITCHEN W/ 36" GAS BBQ
- $\frac{1}{2}$ " TEMPERED SHOWER GLASS DOOR/WALL
- SHOWERHEAD, 1.8 GPM
- PRESSURE BALANCED, THERMO-STATIC MIXING VALVES THAT PROVIDES SCALD & THERMAL SHOCK PROTECTION FOR SHOWER TOILET, 1.28 GPF
- FREESTANDING BATHTUB & TUB FILLER
- 48" WIDE DIRECT VENT GAS FIREPLACE
- STONE HEARTH
- STONE PATIO/LANDING, SLOPED TO DRAIN
- 42"H IRON GUARDRAIL, SEE DETAILS FOR MORE INFO.
- HANDRAIL, 36" AFF
- WOOD COLUMN, STAINED
- STONE CLAD COLUMN
- ROOF/STRUCTURE ABOVE
- ENCLOSED USABLE SPACE UNDER RESIDENTIAL STAIRWAYS REQUIRE $\frac{1}{2}$ " GYP. BD. ON ENCLOSED SIDE
- HALF-ROUND COPPER GUTTER, PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
- DOG WASHING STATION W/ HANDHELD SPRAYER
- RESIDENTIAL ELEVATOR BY 'SAVARIA-ECLIPSE' OR APPVD EQUAL
- PROVIDE POWER AT BATH VANITY MIRROR, TYP.
- SKYLIGHT ABOVE
- MECH./PLUMBING EQUIP., REFER TO DRAWINGS PREPARED BY MONTEREY ENERGY GROUP FOR MORE INFO.

FLOOR PLAN SYMBOLS LEGEND

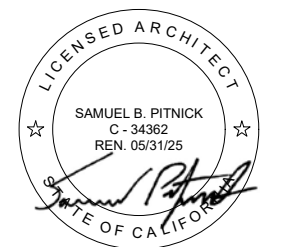
- | | |
|--|--|
| | TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS |
| | TAMPER RESISTANT QUAD OUTLET |
| | 220V TAMPER RESISTANT DUPLEX OUTLET |
| | TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING |
| | GROUND FAULT CIRCUIT INTERRUPT OUTLET |
| | WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT |
| | TAMPER RESISTANT FLOOR OUTLET |
| | GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP |
| | HOSE BIBB W/ ANTI-SIPHON DEVICE |
| | THERMOSTATIC CONTROL FOR HEATING SYSTEM |



1 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



LI
RESIDENCE
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93923



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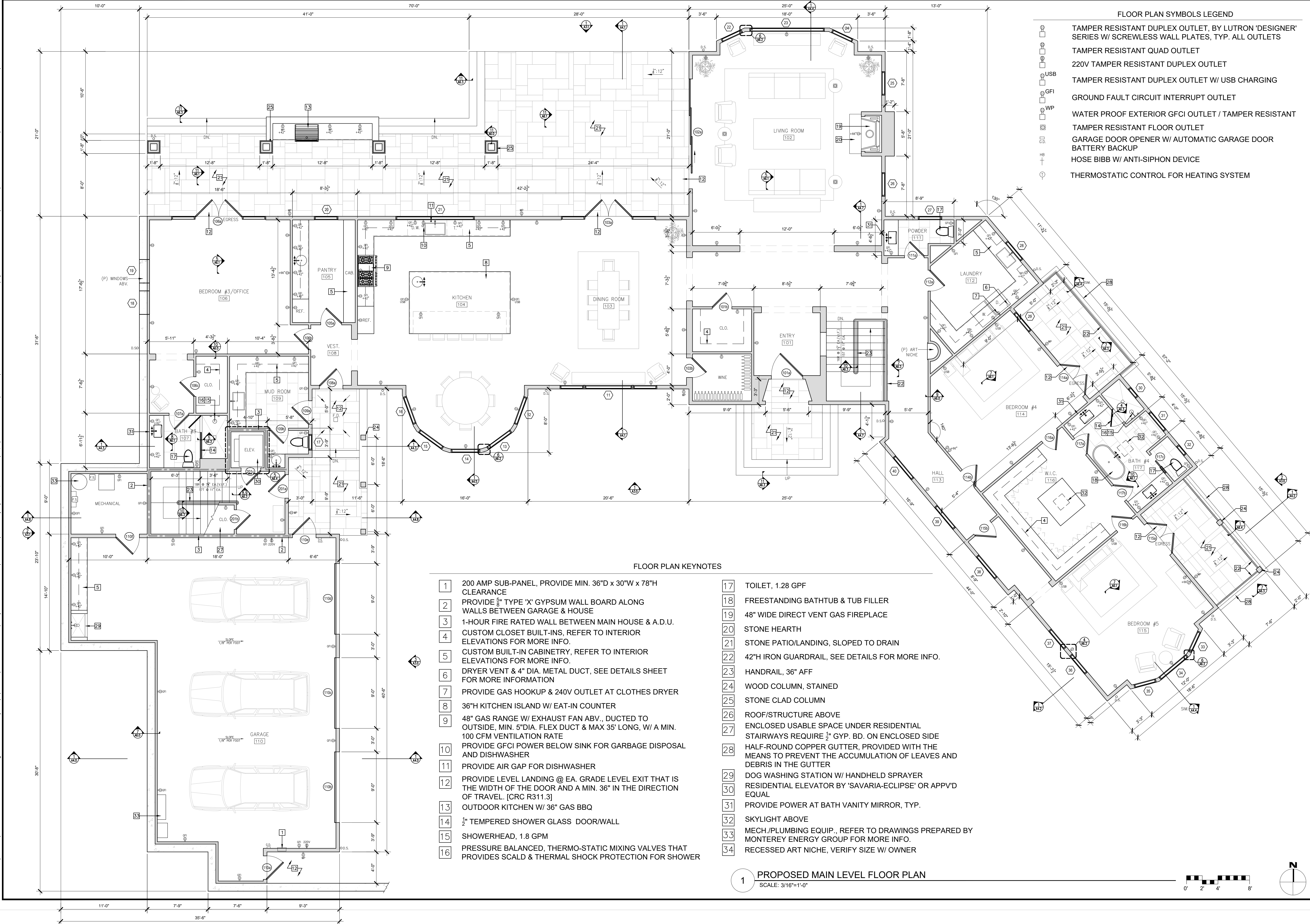
PROPOSED
LOWER LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.0

12/28/2024

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A.D.U. FLOOR PLAN KEYNOTES

- 1

200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
- 2

CUSTOM CLOSET BUILT-INS, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
- 3

CUSTOM BUILT-IN CABINETRY, REFER TO INTERIOR ELEVATIONS FOR MORE INFO.
- 4

36" GAS RANGE W/ EXHAUST FAN ABV., DUCTED TO OUTSIDE, MIN. 5"DIA. FLEX DUCT & MAX 35' LONG, W/ A MIN. 100 CFM VENTILATION RATE
- 5

PROVIDE GFCI POWER BELOW SINK FOR GARBAGE DISPOSAL AND DISHWASHER
- 6

PROVIDE AIR GAP FOR DISHWASHER
- 7

½" TEMPERED SHOWER GLASS DOOR/WALL
- 8

SHOWERHEAD, 1.8 GPM
- 9

PRESSURE BALANCED, THERMO-STATIC MIXING VALVES THAT PROVIDES SCALD & THERMAL SHOCK PROTECTION FOR SHOWER
- 10

TOILET, 1.28 GPF
- 11

42"H IRON GUARDRAIL, SEE DETAILS FOR MORE INFO.
- 12

HANDRAIL, 36" AFF
- 13

RESIDENTIAL ELEVATOR BY 'SAVARIA-ECLIPSE' OR APP'VD EQUAL
- 14

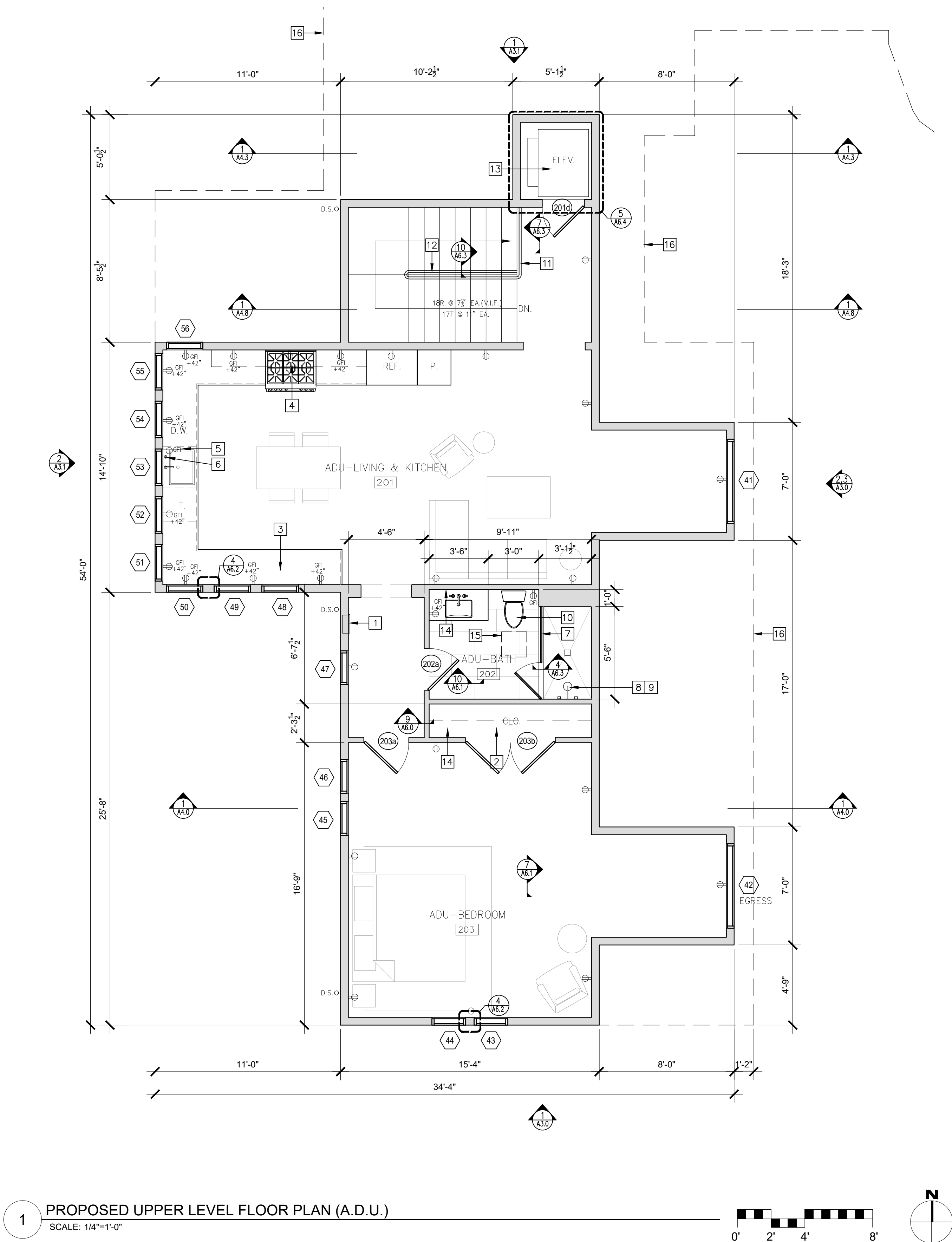
PROVIDE POWER AT BATH VANITY MIRROR, TYP.
- 15

SKYLIGHT ABOVE
- 16

STRUCTURE BELOW

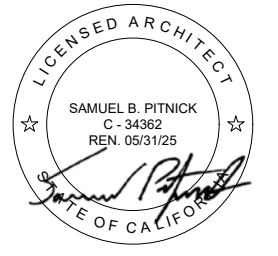
FLOOR PLAN SYMBOLS LEGEND

- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
- TAMPER RESISTANT QUAD OUTLET
- 220V TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
- TAMPER RESISTANT FLOOR OUTLET
- GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
- HOSE BIBB W/ ANTI-SIPHON DEVICE
- THERMOSTATIC CONTROL FOR HEATING SYSTEM



1 PROPOSED UPPER LEVEL FLOOR PLAN (A.D.U.)
SCALE: 1/4"=1'-0"

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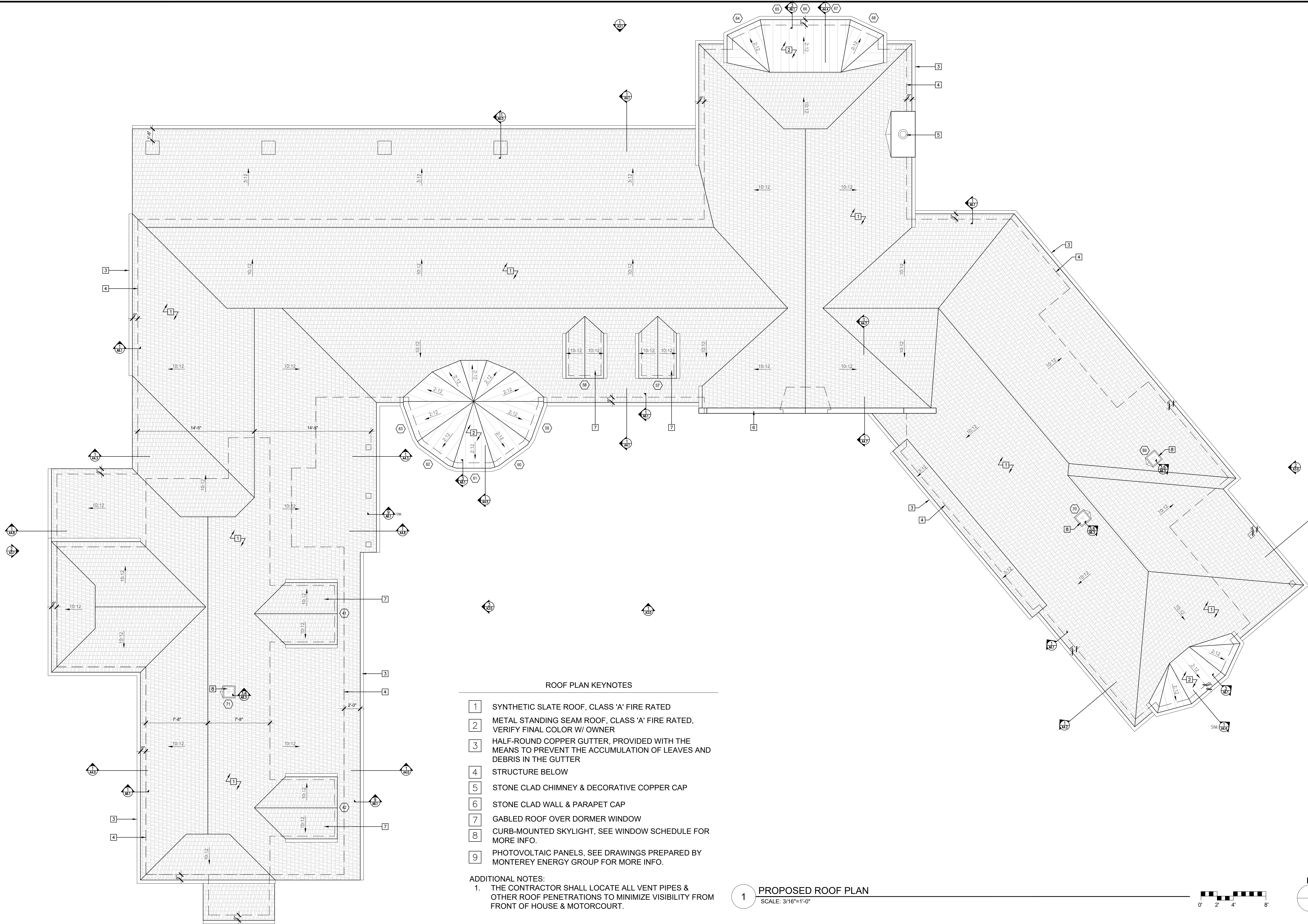
PROPOSED
UPPER LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.2

12/28/2024

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ROOF PLAN KEYNOTES

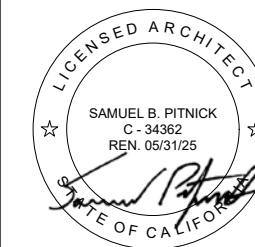
- 1 SYNTHETIC SLATE ROOF, CLASS 'A' FIRE RATED
- 2 METAL STANDING SEAM ROOF, CLASS 'A' FIRE RATED, VERIFY FINAL COLOR W/ OWNER
- 3 HALF-ROUND COPPER GUTTER, PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
- 4 STRUCTURE BELOW
- 5 STONE CLAD CHIMNEY & DECORATIVE COPPER CAP
- 6 STONE CLAD WALL & PARAPET CAP
- 7 GABLED ROOF OVER DORMER WINDOW
- 8 CURB-MOUNTED SKYLIGHT, SEE WINDOW SCHEDULE FOR MORE INFO.
- 9 PHOTOVOLTAIC PANELS, SEE DRAWINGS PREPARED BY MONTEREY ENERGY GROUP FOR MORE INFO.

ADDITIONAL NOTES:

1. THE CONTRACTOR SHALL LOCATE ALL VENT PIPES & OTHER ROOF PENETRATIONS TO MINIMIZE VISIBILITY FROM FRONT OF HOUSE & MOTORCOURT.

1 PROPOSED ROOF PLAN
SCALE: 3/16"=1'-0"

LI
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ARCHITECTURAL

PROPOSED
ROOF PLAN

Scale: SEE DWG.

Drawn By: SBP

Job: -

A2.3

12/28/2024

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- CEILING PLAN KEYNOTES

1

GARAGE MOTOR & TRACK BY 'LIFTMASTER' OR APPV'D EQUAL, PROVIDE POWER IN CEILING PER MANUFACTURER SPEC'S, MOTOR TO HAVE BATTERY BACKUP

2

5/8" SHEETROCK CEILING, VERIFY FINISH W/ OWNER

3

5/8" TYPE 'X' SHEETROCK CEILING IN GARAGE

4

1X8 CEDAR SIDING W/ NICKEL GAP, CLASS 'A' FIRE RATED, STAINED, VERIFY FINISH W/ OWNER

5

WOOD BEAM PER STRUCTURAL, STAINED , VERIFY FINISH W/ OWNER

6

DECORATIVE WOOD BEAM, STAINED, VERIFY FINISH W/ OWNER

7

DECORATIVE WOOD TRUSS, STAINED, VERIFY FINAL DESIGN & FINISH W/ OWNER

8

DECORATIVE LIGHT, CENTER IN ROOM U.N.O.

9

EDGE OF ROOF/STRUCTURE ABOVE

10

ARCHED OPENING

11

SKYLIGHT ABOVE , SEE WINDOW SCHEDULE FOR MORE INFO.

12

ROOF EAVE, TREATED TO ACHIEVE A CLASS 'A' FIRE RATING, SEE DETAILS FOR MORE INFO.

13

STUCCO CEILING, PAINTED

14

PROVIDE ACCESS PANEL & POWER IN CEILING FOR MECHANICAL EQUIP., REFER TO MECH. DRAWINGS FOR MORE INFO

ADDITIONAL NOTES:

1. AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR.

2. AT ENCLOSED CEILINGS PROVIDE A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22 INCH BY 30 INCH, LOCATED WHERE AT LEAST 30 INCHES OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30 SQ FT. [CRC R807.1]
- CEILING PLAN SYMBOLS LEGEND

o

3" LED RECESSED LIGHT FIXTURE BY 'NORA' OR APPV'D EQUAL, "IC" LISTED FOR ZERO CLEARANCE & WET LOCATIONS, WITH DIMMING CAPABILITIES

⊕

INTERIOR LED WALL SCONCE

⊕

INTERIOR LED PENDANT/DECORATIVE LIGHT

⊕

EXTERIOR LED PENDANT/DECORATIVE LIGHT

⊕

EXTERIOR LED DOWNLIGHT

✕

CEILING FAN W/ LED LIGHT, SWITCHED

▬

1'X4' LED FLAT PANEL LIGHT, SURFACE MOUNTED

UNDER-CABINET/SHELF/TOE-KICK LED STRIP LIGHT, SWITCHED

\$

SINGLE SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES

\$

3-WAY SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES

\$

VACANCY SENSOR SWITCH, IN COMPLIANCE W/ CEnc 150.0(K)2I

■

EXHAUST FAN "PANASONIC" ULTRA SILENT 80 CFM -NO LIGHT- APPROVED FOR WET LOCATION ON GFI CIRCUIT, ENERGY STAR COMPLIANT. EXHAUST FAN SHALL HAVE HUMIDITY CONTROL, BACKDRAFT PROTECTION & SHALL TERMINATE NO CLOSER THAN 3' FROM BUILDING OPENINGS OR PROPERTY LINES.

SD

SMOKE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315

CO

CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315

1 PROPOSED LOWER LEVEL CEILING PLAN
SCALE: 1/4"=1'-0"

LI
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93923

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REVISIONS	DATE

ARCHITECTURAL

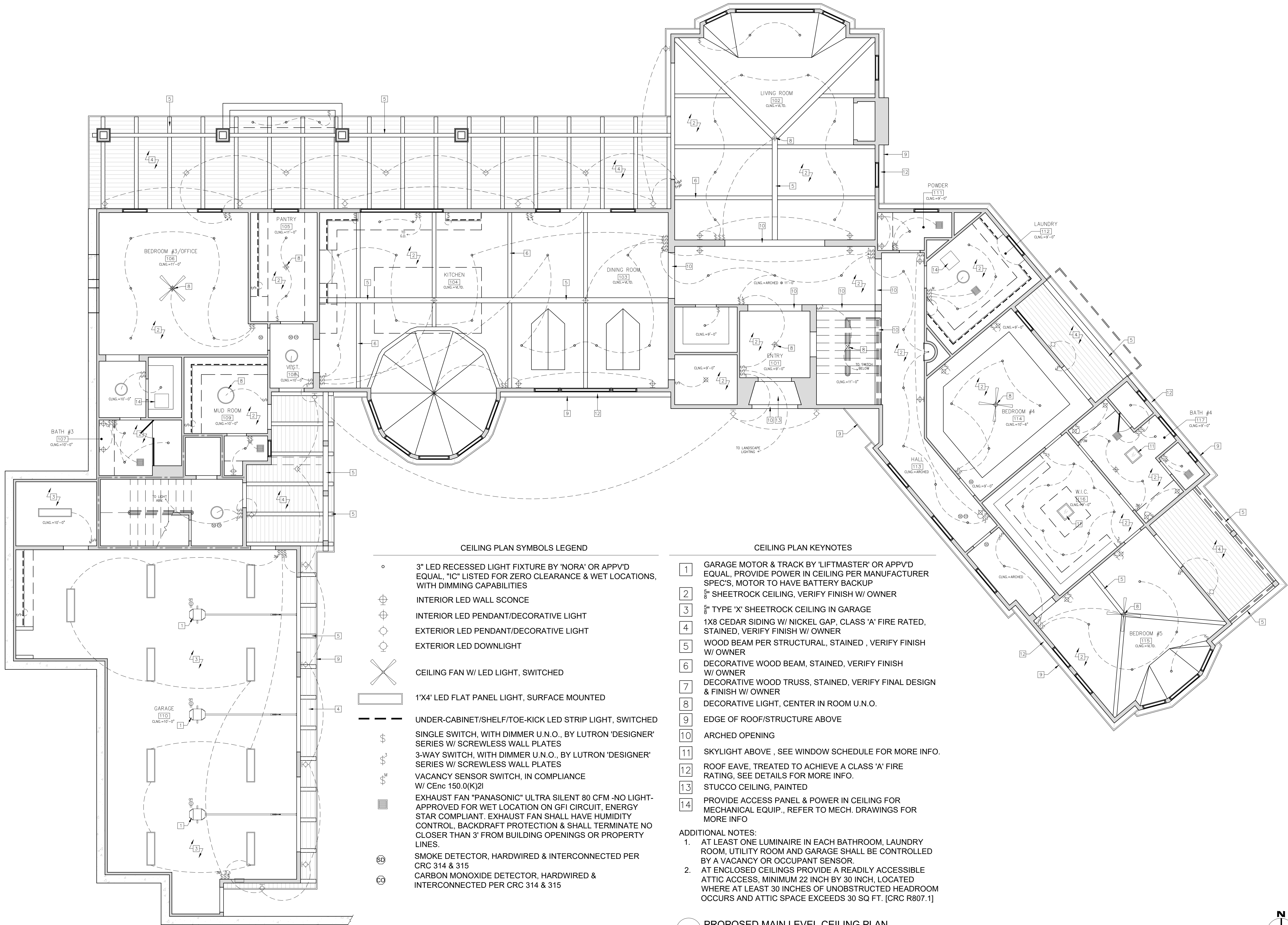
PROPOSED
LOWER LEVEL
CEILING PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

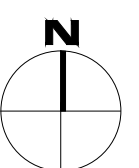
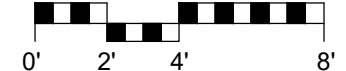
A2.4

12/28/2024

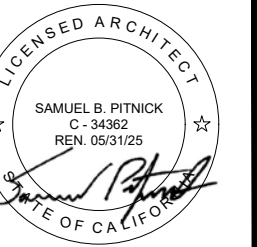
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1 PROPOSED MAIN LEVEL CEILING PLAN
SCALE: 3/16"=1'-0"



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REVISIONS	DATE

ARCHITECTURAL

PROPOSED
MAIN LEVEL
CEILING PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.5

12/28/2024

[illegible]

PROPOSED
UPPER LEVEL
CEILING PLAN

Scale: SEE DWG.

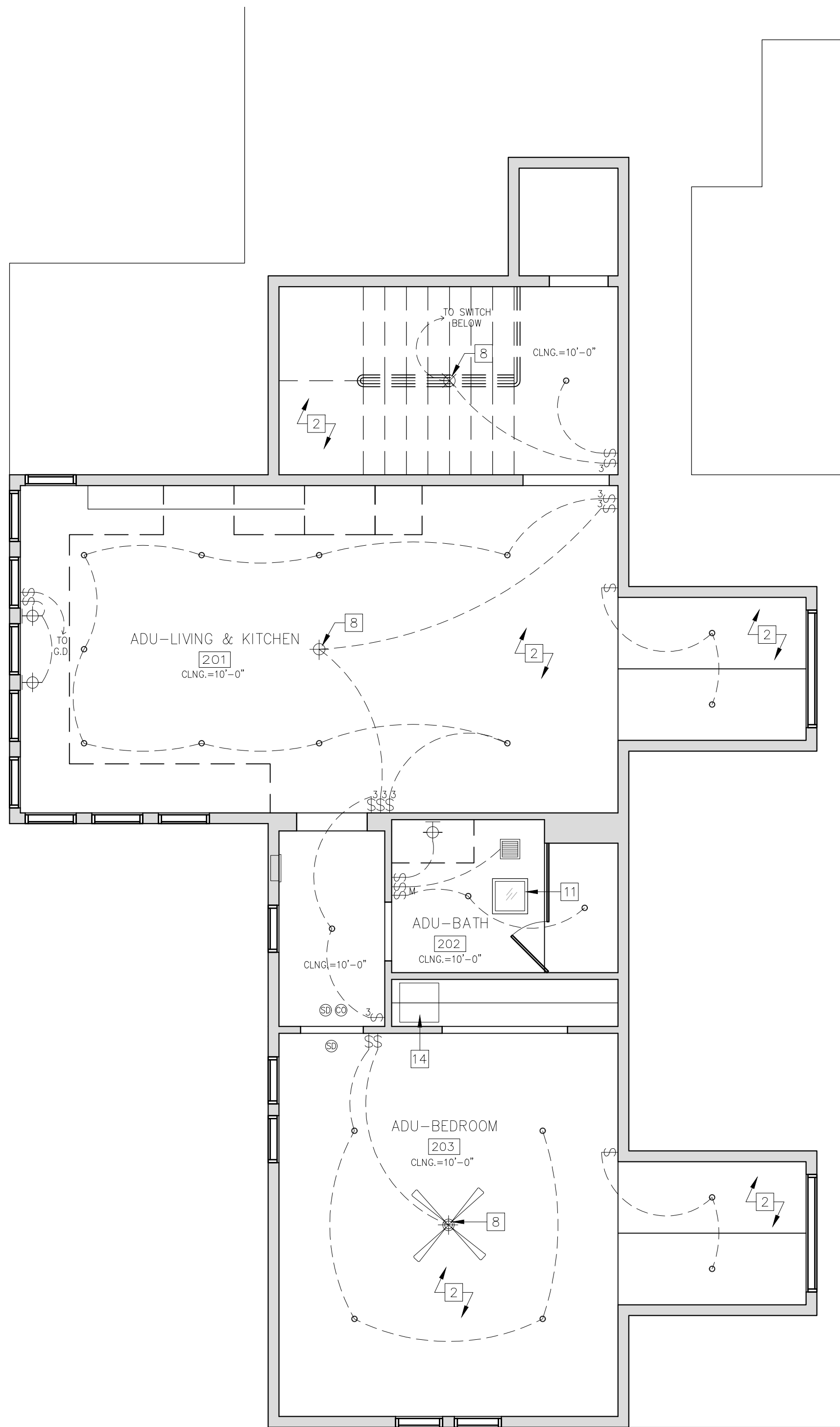
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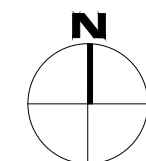
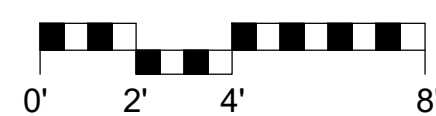
1	GARAGE MOTOR & TRACK BY 'LIFTMASTER' OR APPVD EQUAL, PROVIDE POWER IN CEILING PER MANUFACTURER SPEC'S, MOTOR TO HAVE BATTERY BACKUP
2	5 ⁸ 8 SHEETROCK CEILING, VERIFY FINISH W/ OWNER
3	5 ⁸ 8 TYPE 'X' SHEETROCK CEILING IN GARAGE
4	1X8 CEDAR SIDING W/ NICKEL GAP, CLASS 'A' FIRE RATED, STAINED, VERIFY FINISH W/ OWNER
5	WOOD BEAM PER STRUCTURAL, STAINED , VERIFY FINISH W/ OWNER
6	DECORATIVE WOOD BEAM, STAINED, VERIFY FINISH W/ OWNER
7	DECORATIVE WOOD TRUSS, STAINED, VERIFY FINAL DESIGN & FINISH W/ OWNER
8	DECORATIVE LIGHT, CENTER IN ROOM U.N.O.
9	EDGE OF ROOF/STRUCTURE ABOVE
10	ARCHED OPENING
11	SKYLIGHT ABOVE , SEE WINDOW SCHEDULE FOR MORE INFO.
12	ROOF EAVE, TREATED TO ACHIEVE A CLASS 'A' FIRE RATING, SEE DETAILS FOR MORE INFO.
13	STUCCO CEILING, PAINTED
14	PROVIDE ACCESS PANEL & POWER IN CEILING FOR MECHANICAL EQUIP., REFER TO MECH. DRAWINGS FOR MORE INFO

1. AT LEAST ONE LUMINAIRE IN EACH BATHROOM, LAUNDRY ROOM, UTILITY ROOM AND GARAGE SHALL BE CONTROLLED BY A VACANCY OR OCCUPANT SENSOR.
2. AT ENCLOSED CEILINGS PROVIDE A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22 INCH BY 30 INCH, LOCATED WHERE AT LEAST 30 INCHES OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30 SQ FT. [CRC R807.1]

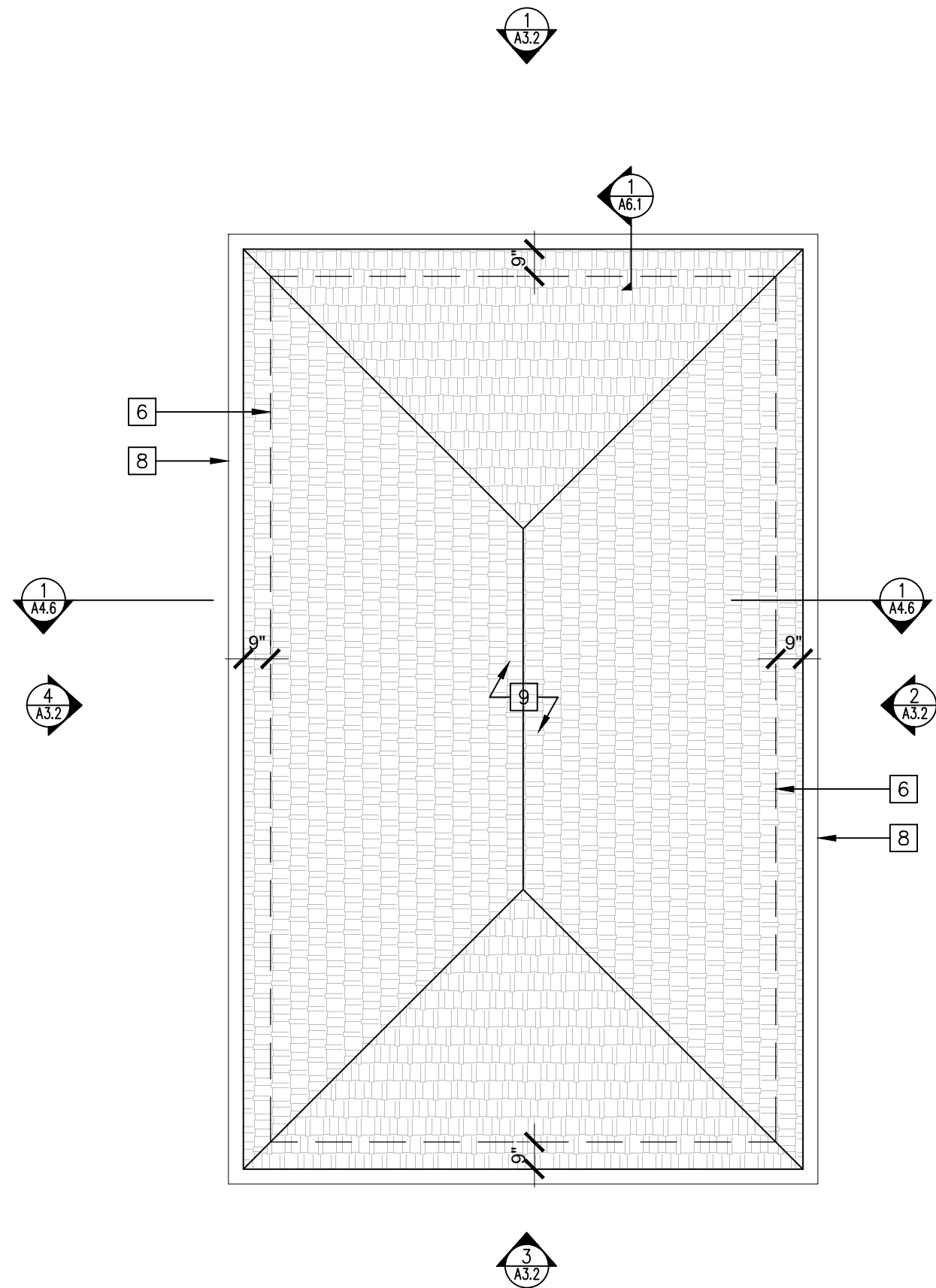
	3" LED RECESSED LIGHT FIXTURE BY 'NORA' OR APPV'D EQUAL, "IC" LISTED FOR ZERO CLEARANCE & WET LOCATIONS, WITH DIMMING CAPABILITIES
	INTERIOR LED WALL SCONCE
	INTERIOR LED PENDANT/DECORATIVE LIGHT
	EXTERIOR LED PENDANT/DECORATIVE LIGHT
	EXTERIOR LED DOWNLIGHT
	CEILING FAN W/ LED LIGHT, SWITCHED
	1'X4' LED FLAT PANEL LIGHT, SURFACE MOUNTED
	UNDER-CABINET/SHELF/TOE-KICK LED STRIP LIGHT, SWITCHED
	SINGLE SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES
	3-WAY SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES
	VACANCY SENSOR SWITCH, IN COMPLIANCE W/ Cenc 150.0(K)2I
	EXHAUST FAN "PANASONIC" ULTRA SILENT 80 CFM -NO LIGHT- APPROVED FOR WET LOCATION ON GFI CIRCUIT, ENERGY STAR COMPLIANT. EXHAUST FAN SHALL HAVE HUMIDITY CONTROL, BACKDRAFT PROTECTION & SHALL TERMINATE NO CLOSER THAN 3' FROM BUILDING OPENINGS OR PROPERTY LINES.
	SMOKE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315



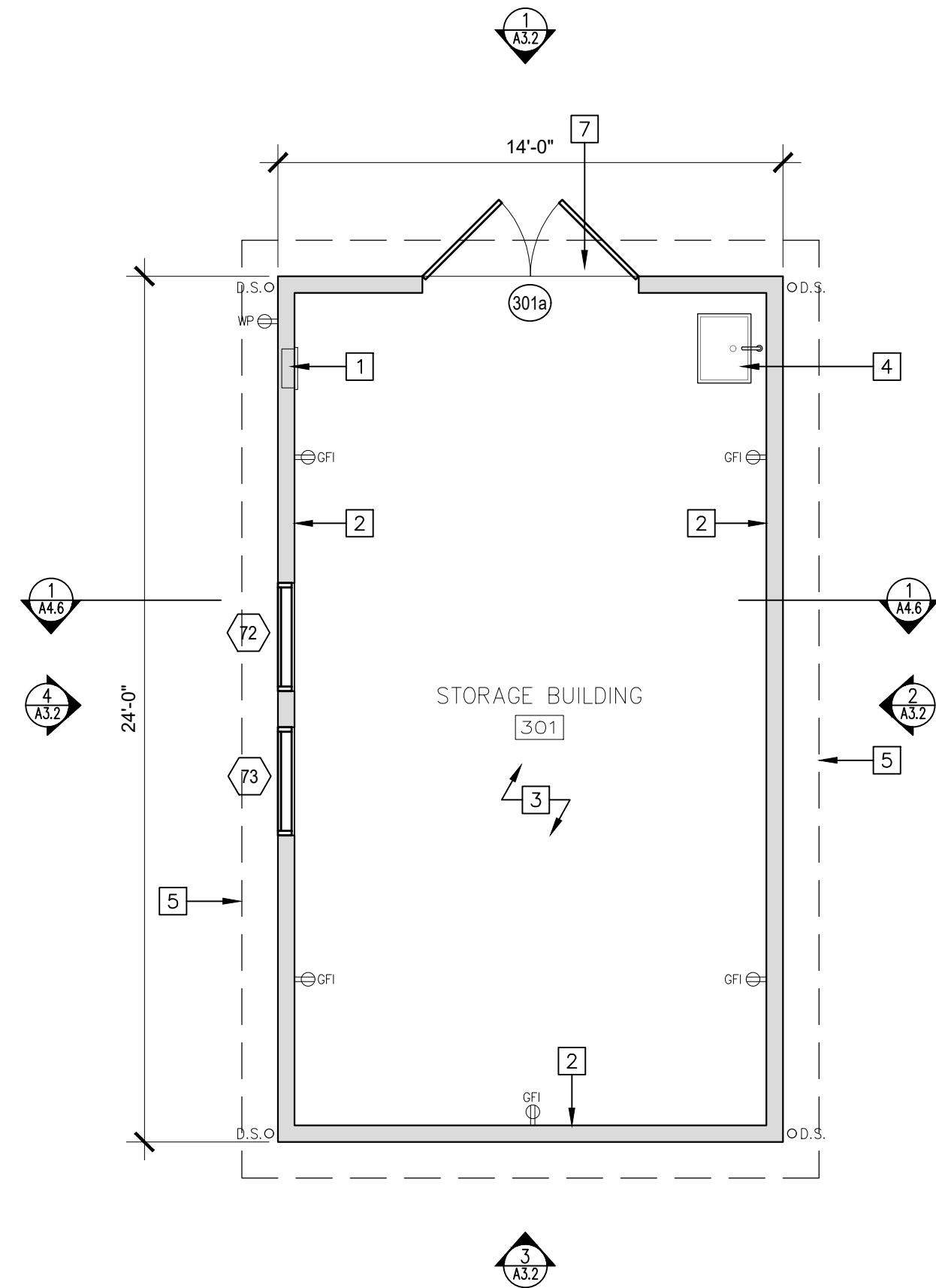
1 PROPOSED UPPER LEVEL CEILING PLAN (A.D.U.)
SCALE: 1/4"=1'-0"



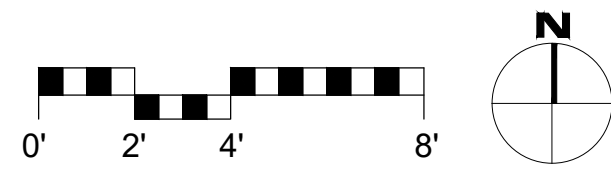
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3 PROPOSED STORAGE SHED ROOF PLAN
SCALE: 1/4"=1'-0"



1 PROPOSED STORAGE SHED FLOOR PLAN
SCALE: 1/4"=1'-0"



CEILING PLAN SYMBOLS LEGEND

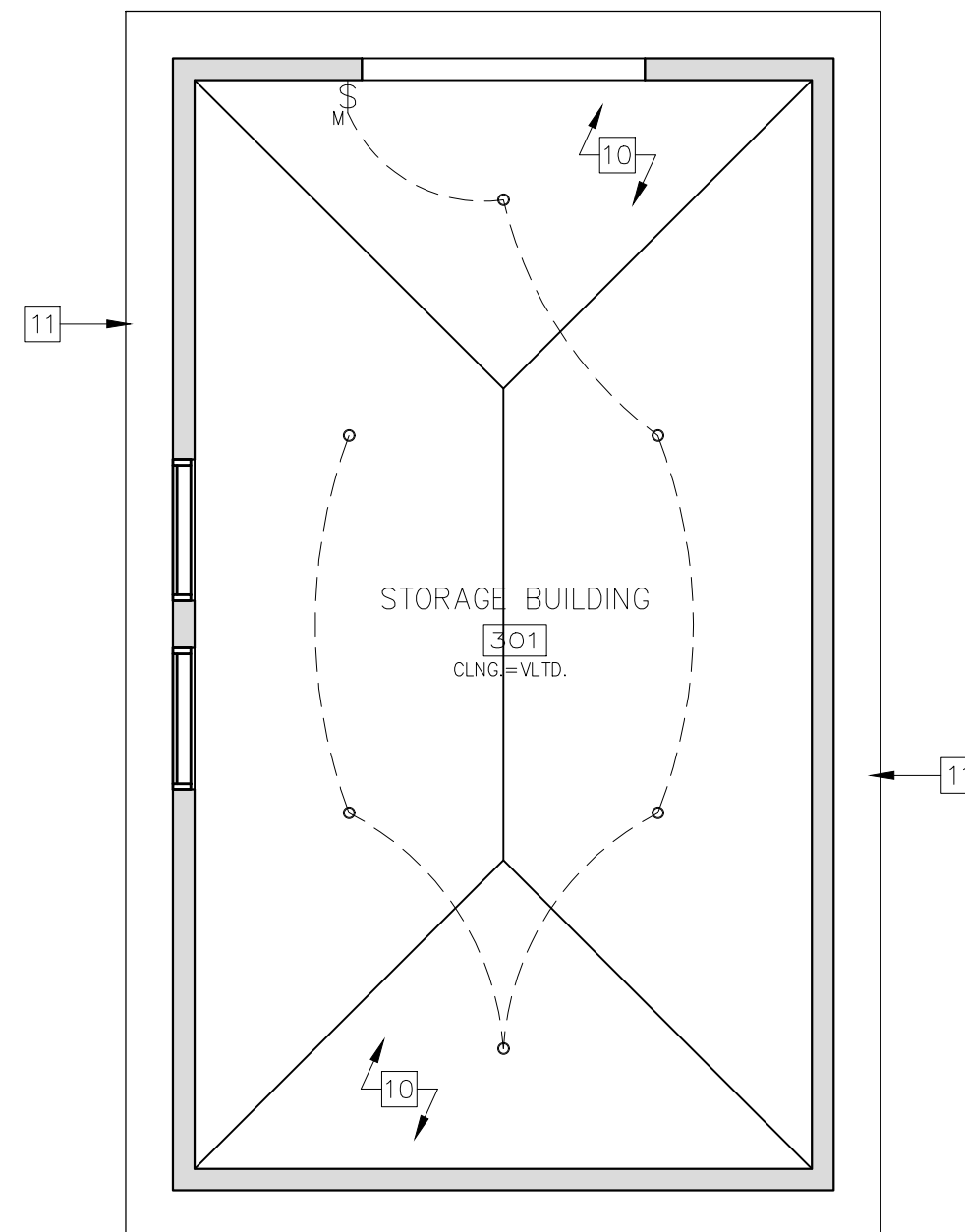
- 3" LED RECESSED LIGHT FIXTURE BY 'NORA' OR APPV'D EQUAL, "IC" LISTED FOR ZERO CLEARANCE & WET LOCATIONS, WITH DIMMING CAPABILITIES
- INTERIOR LED WALL SCONCE
- INTERIOR LED PENDANT/DECORATIVE LIGHT
- EXTERIOR LED PENDANT/DECORATIVE LIGHT
- EXTERIOR LED DOWNLIGHT
- 1'X4' LED FLAT PANEL LIGHT, SURFACE MOUNTED
- UNDER-CABINET/SHELF/TOE-KICK LED STRIP LIGHT, SWITCHED
- SINGLE SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES
- 3-WAY SWITCH, WITH DIMMER U.N.O., BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES
- VACANCY SENSOR SWITCH, IN COMPLIANCE W/ CEnc 150.0(K)2I
- EXHAUST FAN "PANASONIC" ULTRA SILENT 80 CFM -NO LIGHT- APPROVED FOR WET LOCATION ON GFI CIRCUIT, ENERGY STAR COMPLIANT. EXHAUST FAN SHALL HAVE HUMIDITY CONTROL, BACKDRAFT PROTECTION & SHALL TERMINATE NO CLOSER THAN 3' FROM BUILDING OPENINGS OR PROPERTY LINES.
- SMOKE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315
- CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED PER CRC 314 & 315

FLOOR PLAN SYMBOLS LEGEND

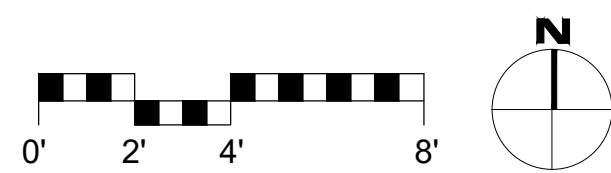
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
- TAMPER RESISTANT QUAD OUTLET
- 220V TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
- TAMPER RESISTANT FLOOR OUTLET
- GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
- HOSE BIBB W/ ANTI-SIPHON DEVICE
- THERMOSTATIC CONTROL FOR HEATING SYSTEM

STORAGE BUILDING KEYNOTES

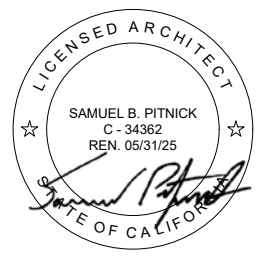
- 200 AMP SUB-PANEL, PROVIDE MIN. 36"D x 30"W x 78"H CLEARANCE
- PROVIDE 5/8" GYPSUM WALL BOARD ALONG WALLS
- CONCRETE SLAB PER STRUCTURAL, SEALED
- UTILITY SINK
- ROOF ABOVE
- STRUCTURE BELOW
- PROVIDE LEVEL LANDING @ EA. GRADE LEVEL EXIT THAT IS THE WIDTH OF THE DOOR AND A MIN. 36" IN THE DIRECTION OF TRAVEL. [CRC R311.3]
- HALF-ROUND COPPER GUTTER, PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
- SYNTHETIC SLATE ROOF, CLASS 'A' FIRE RATED
- 5/8" SHEETROCK CEILING, VERIFY FINISH W/ OWNER
- ROOF EAVE, TREATED TO ACHIEVE A CLASS 'A' FIRE RATING, SEE DETAILS FOR MORE INFO.



2 PROPOSED STORAGE SHED CEILING PLAN
SCALE: 1/4"=1'-0"



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REVISIONS	DATE

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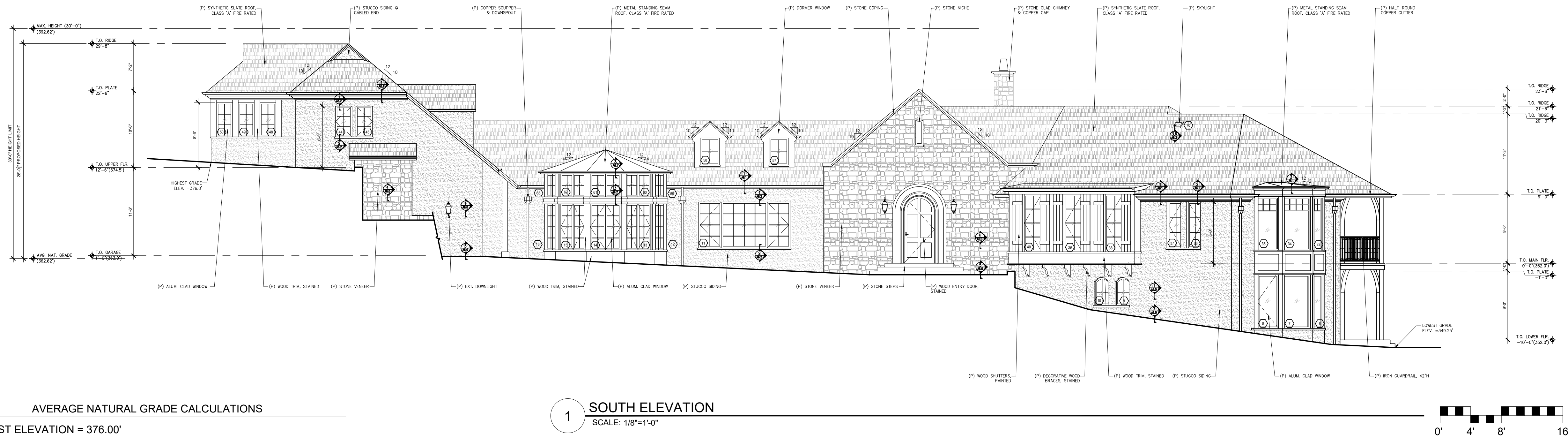
PROPOSED
STORAGE SHED
PLANS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.7

12/28/2024

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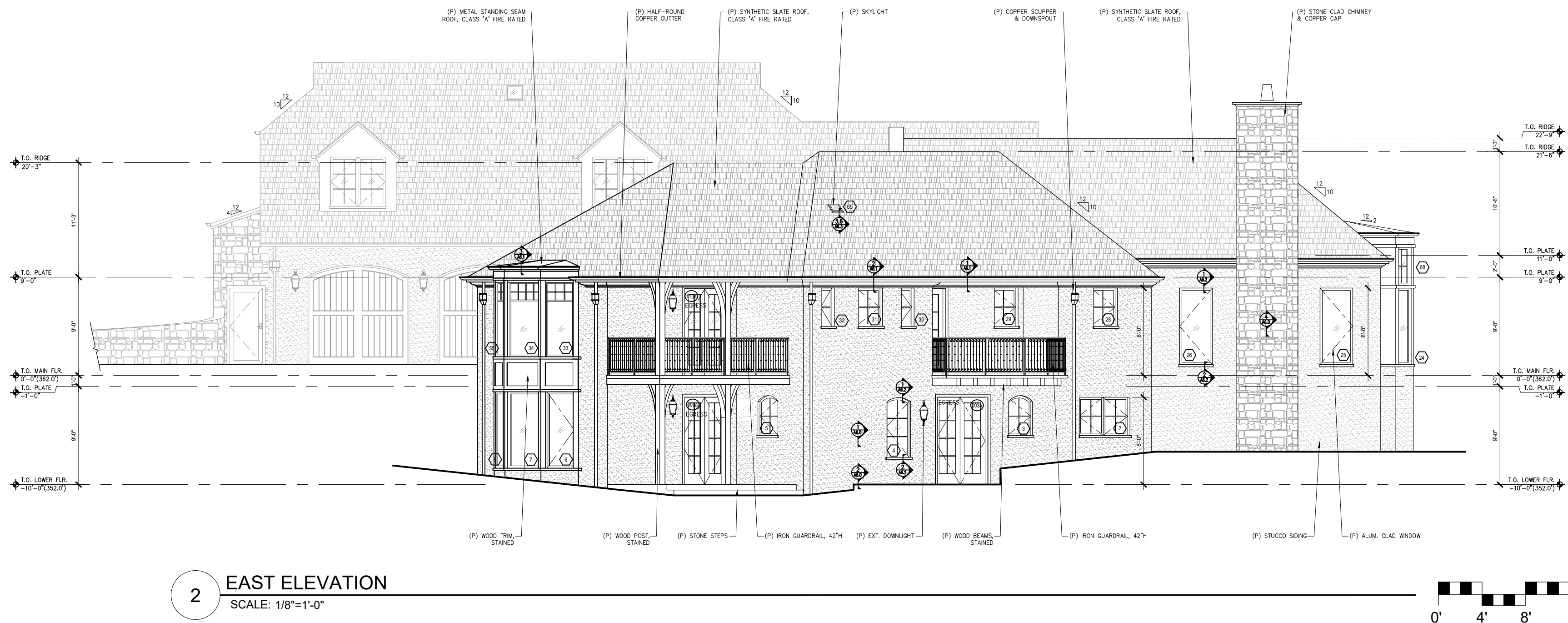
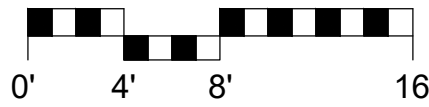
AVERAGE NATURAL GRADE CALCULATIONS

HIGHEST ELEVATION = 376.00'
LOWEST ELEVATION = 349.25'

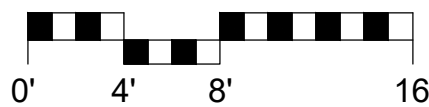
$(376.00+349.25)/2 = 362.62'$ AVERAGE NATURAL GRADE (A.N.G.)

ALLOWABLE HEIGHT ABV. A.N.G. = 30'-0" OR 392.62'
PROPOSED HEIGHT ABV. A.N.G. = 28'-0 $\frac{1}{2}$ " OR 390.66'

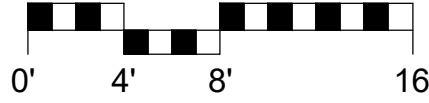
1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



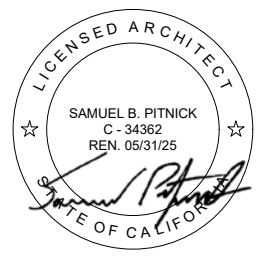
2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



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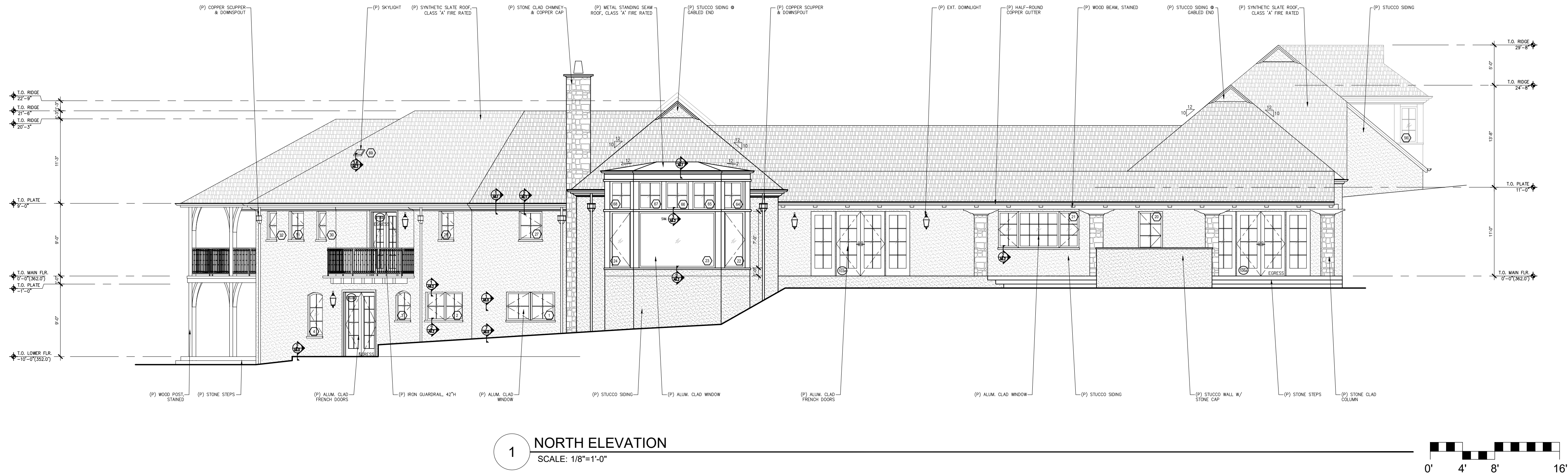
ARCHITECTURAL
BUILDING
ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

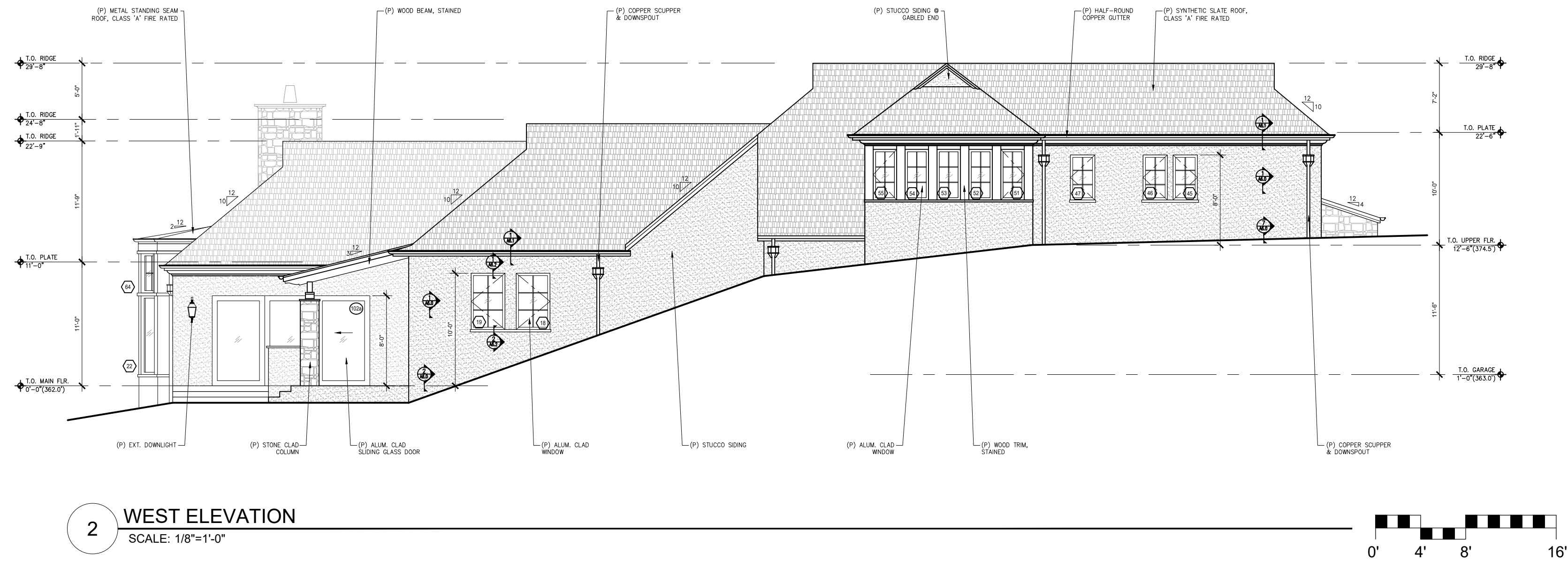
A3.0

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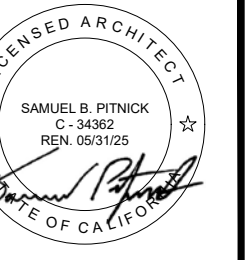


1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

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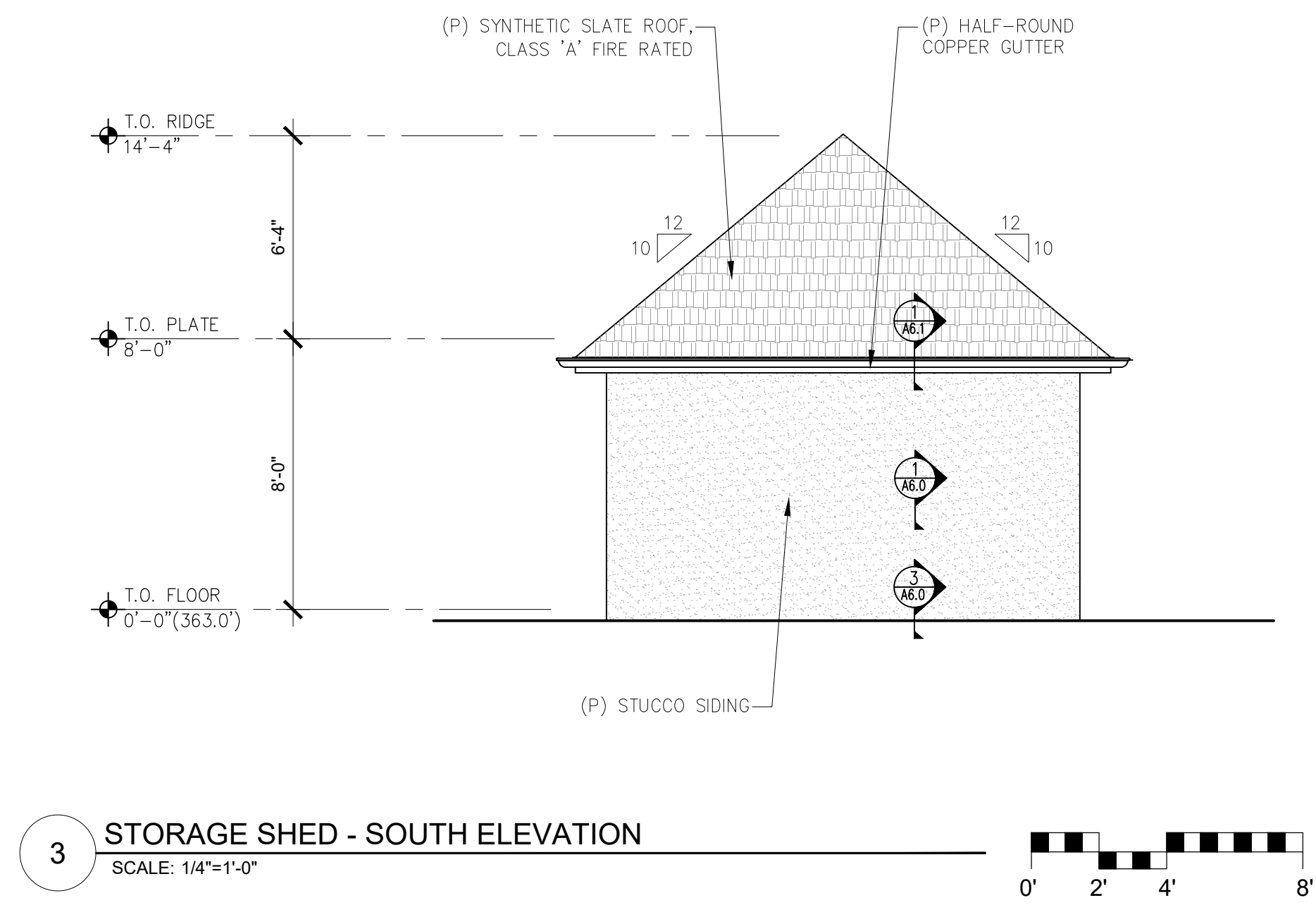
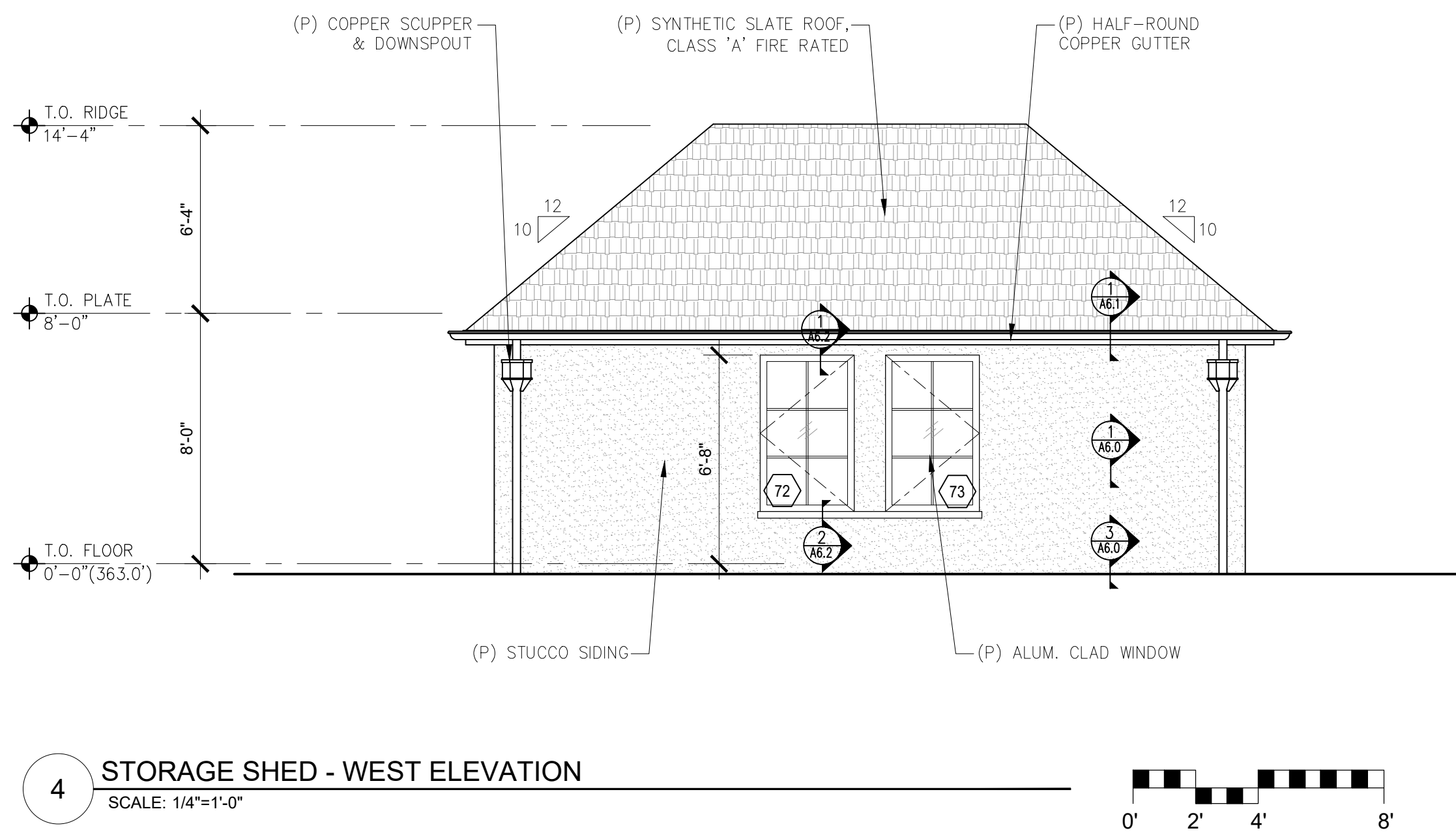
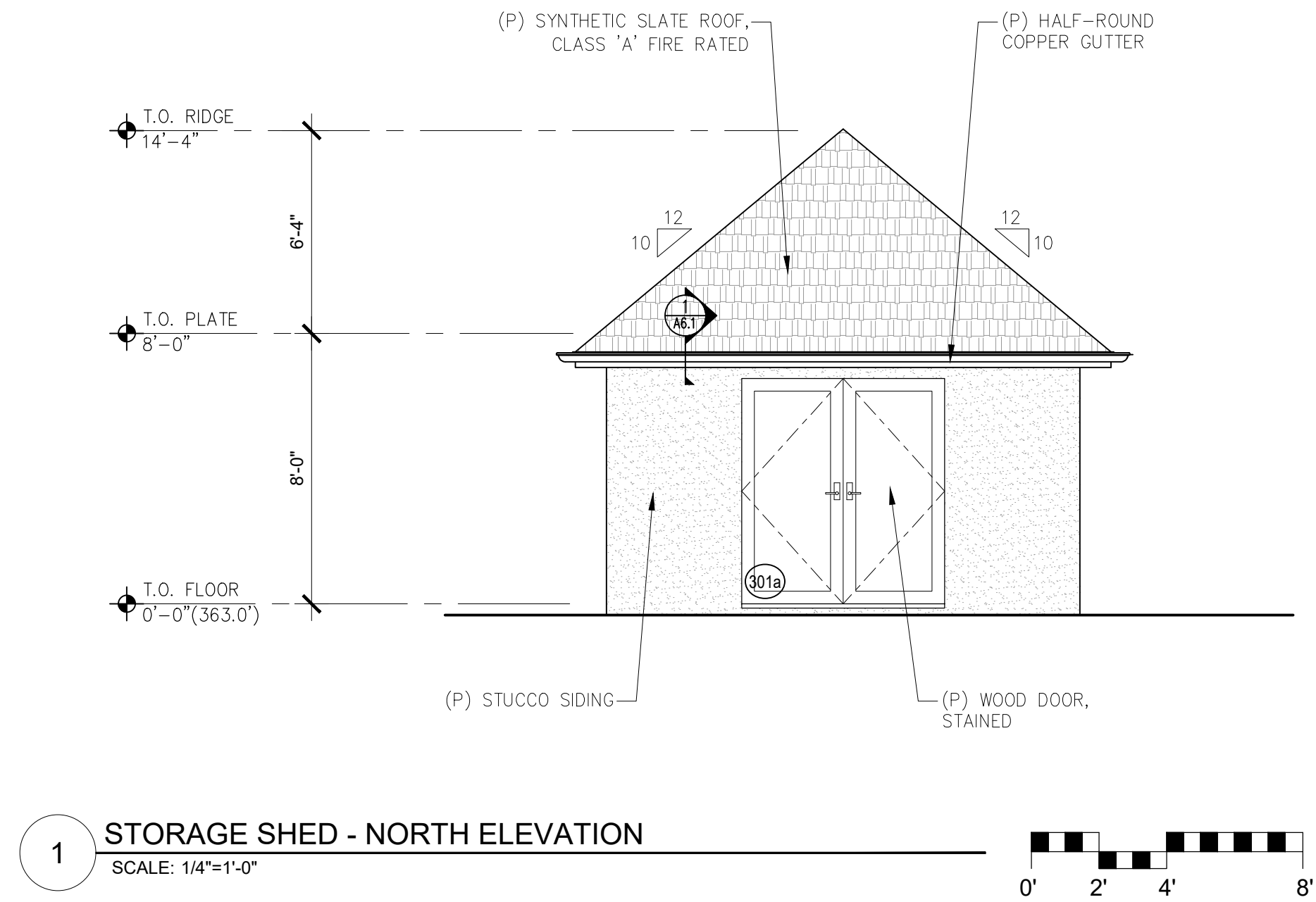
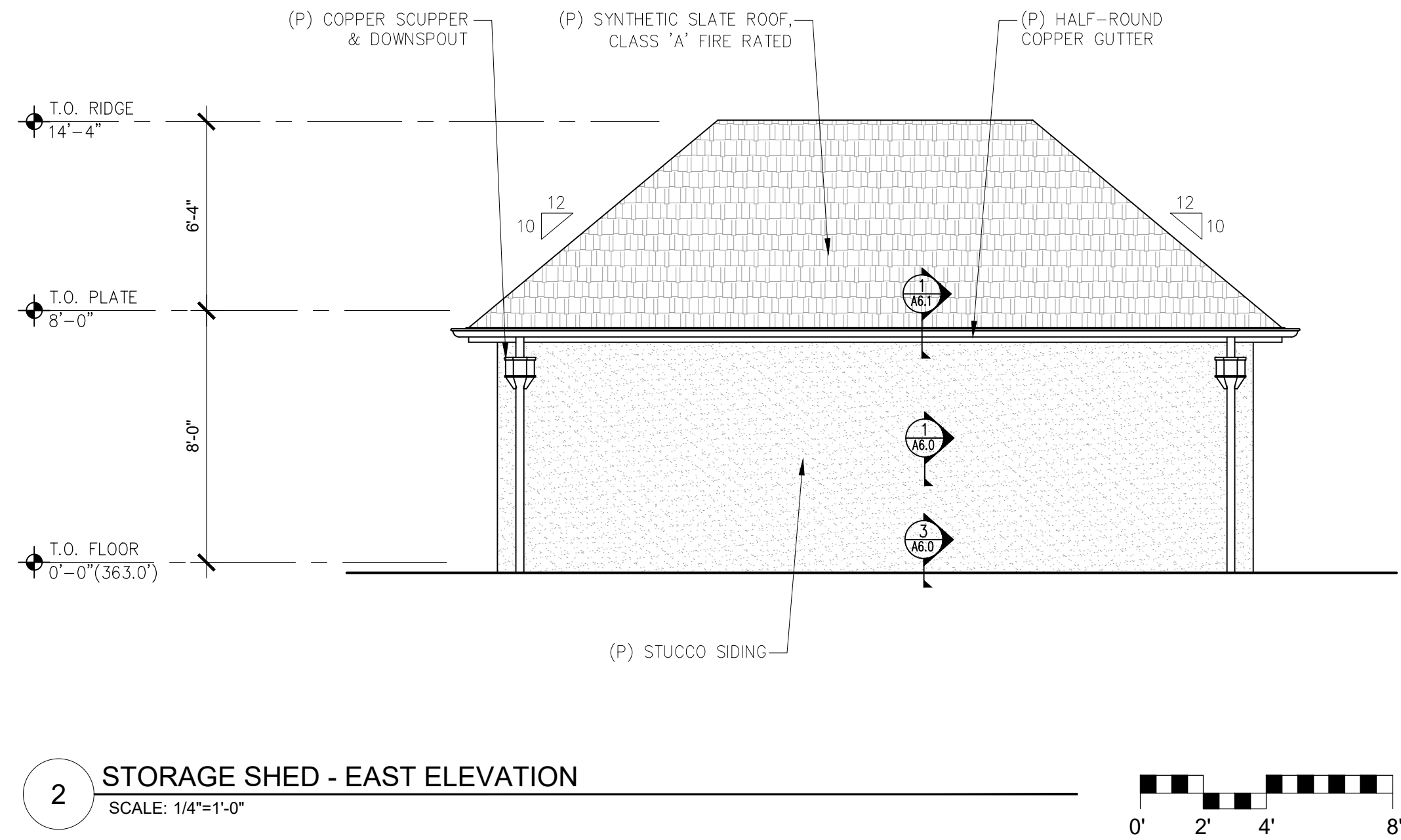
REVISIONS	DATE

ARCHITECTURAL
BUILDING
ELEVATIONS

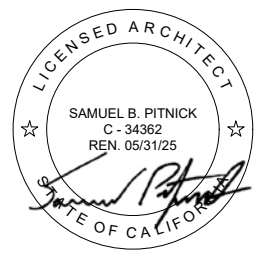
Scale: SEE DWG.
Drawn By: SBP
Job: -

A3.1
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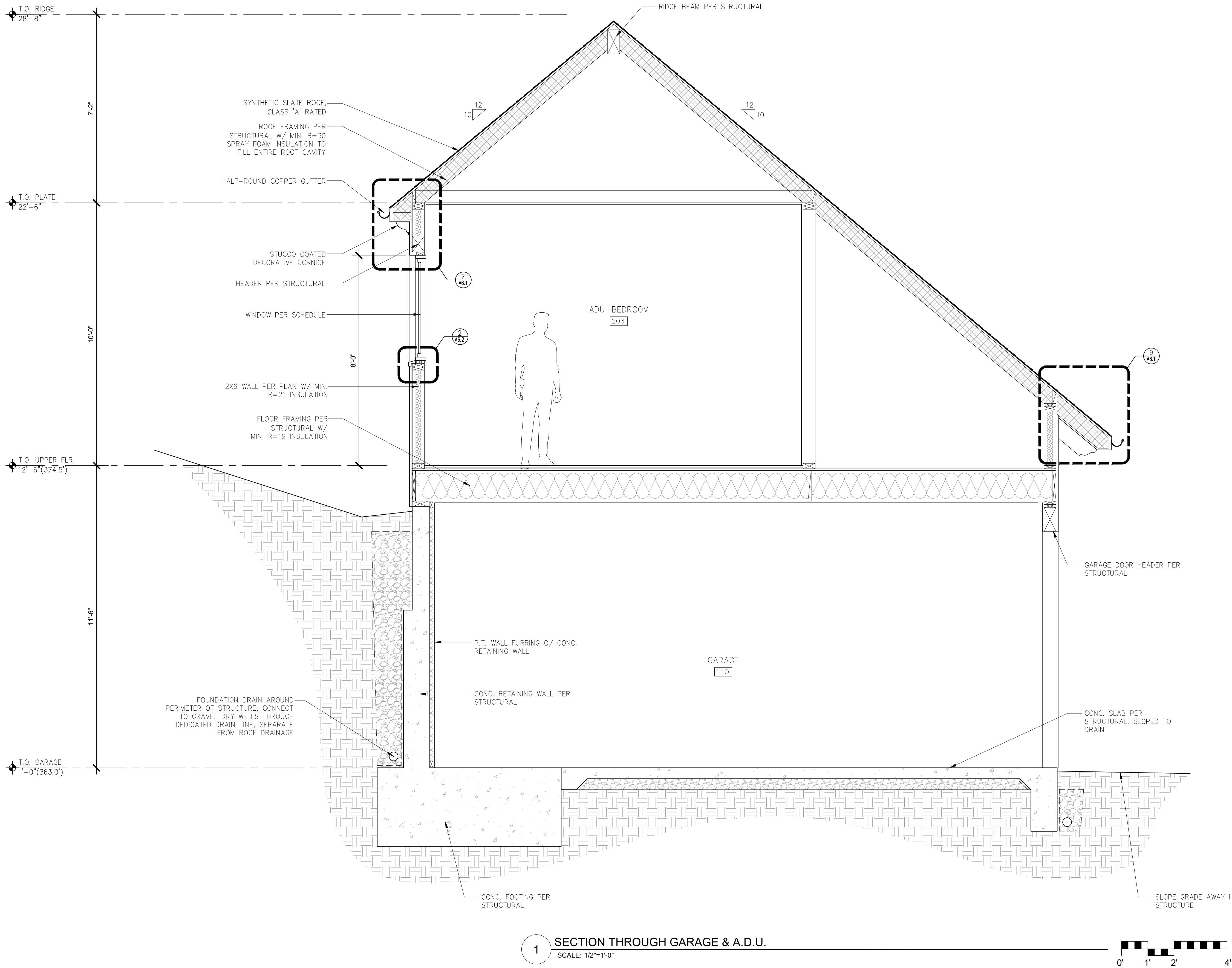
ARCHITECTURAL
BUILDING
ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

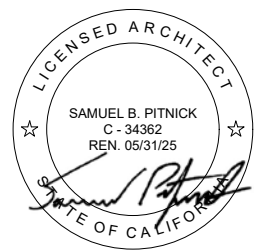
A3.2

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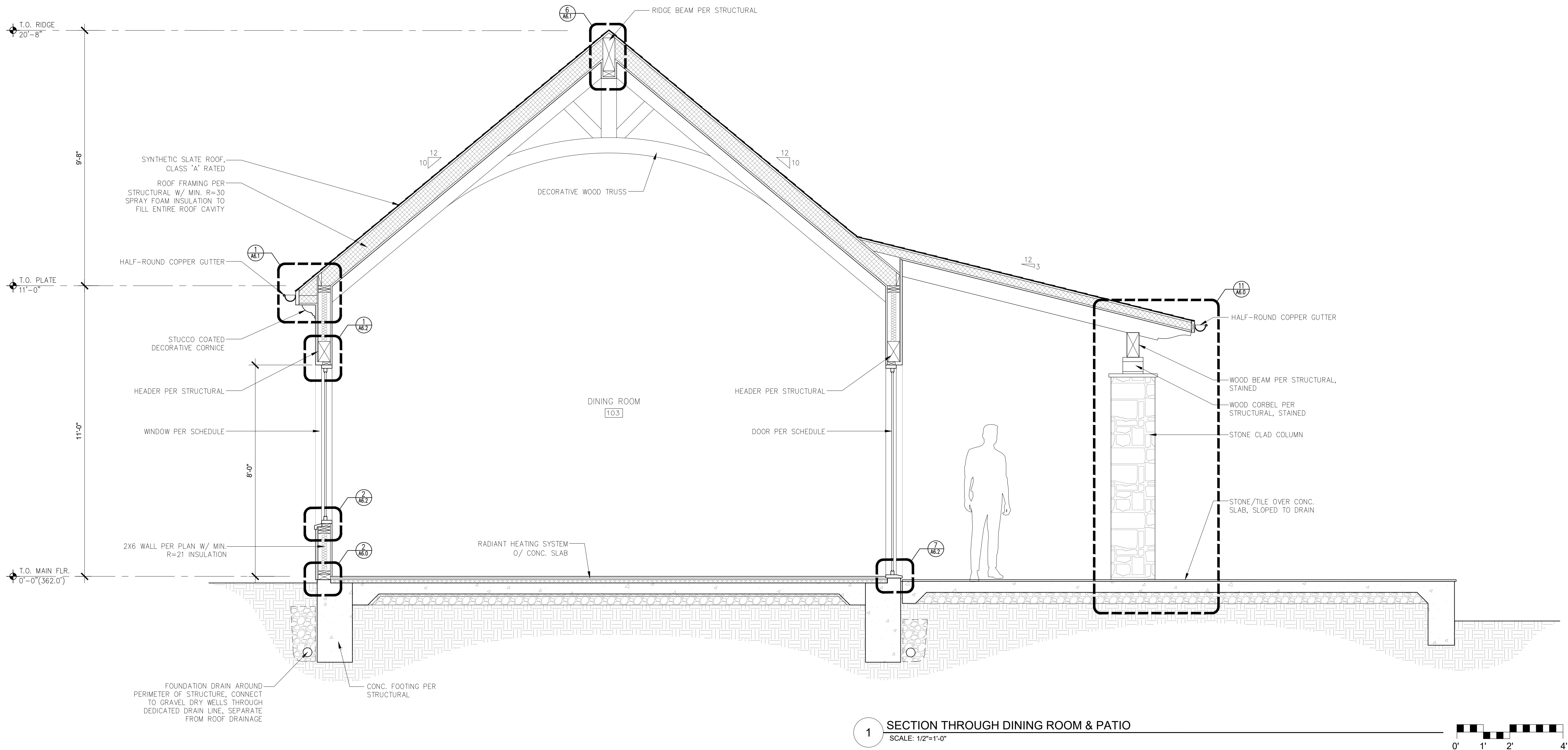
BUILDING
SECTIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

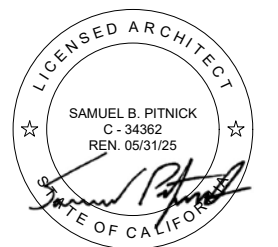
A4.0

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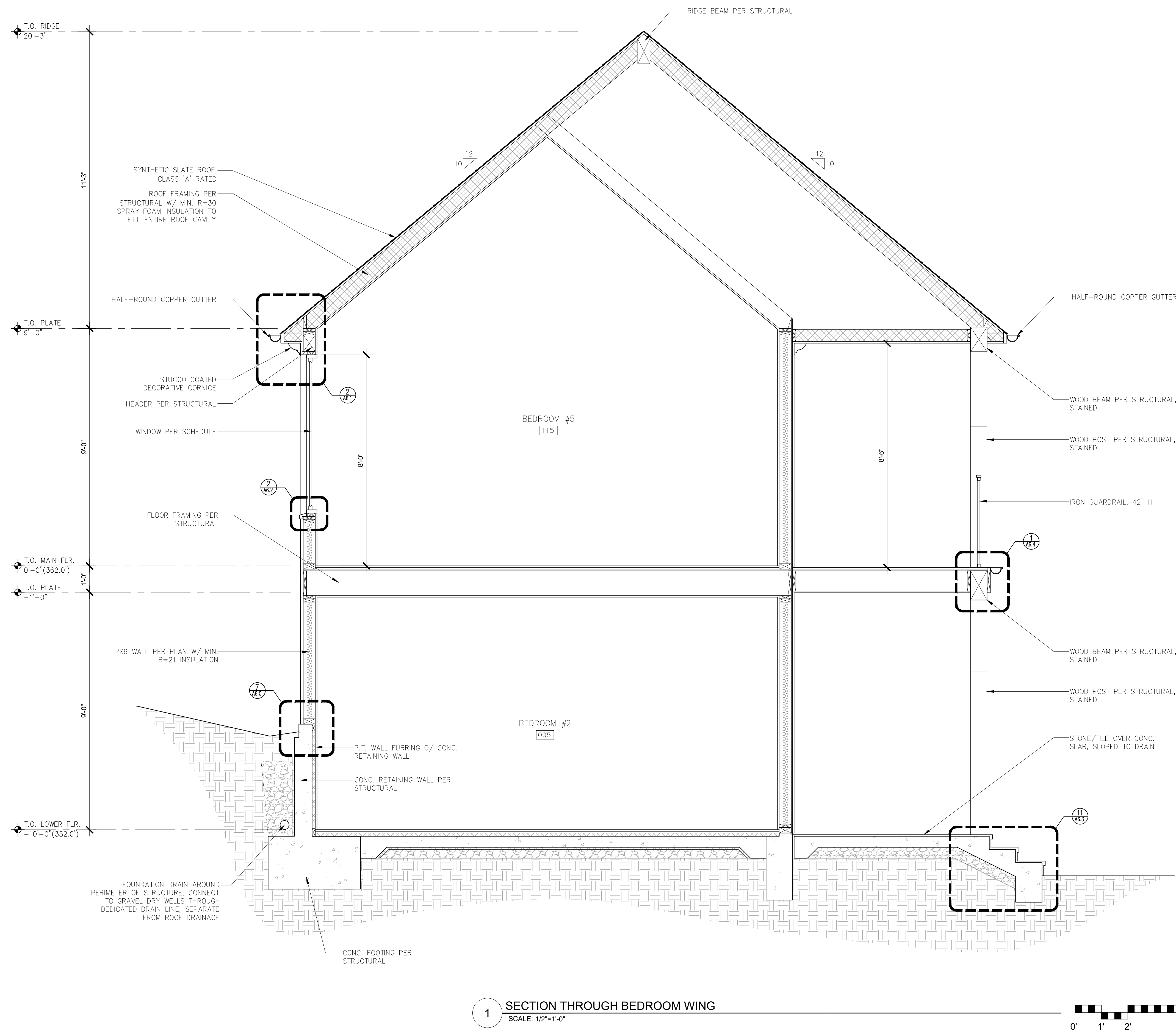
BUILDING
SECTIONS

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Drawn By: SBP
Job: -

A4.1

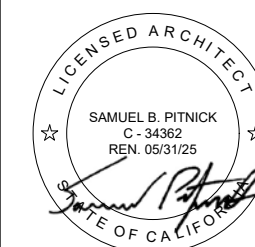
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1 SECTION THROUGH BEDROOM WING
SCALE: 1/2"=1'-0"

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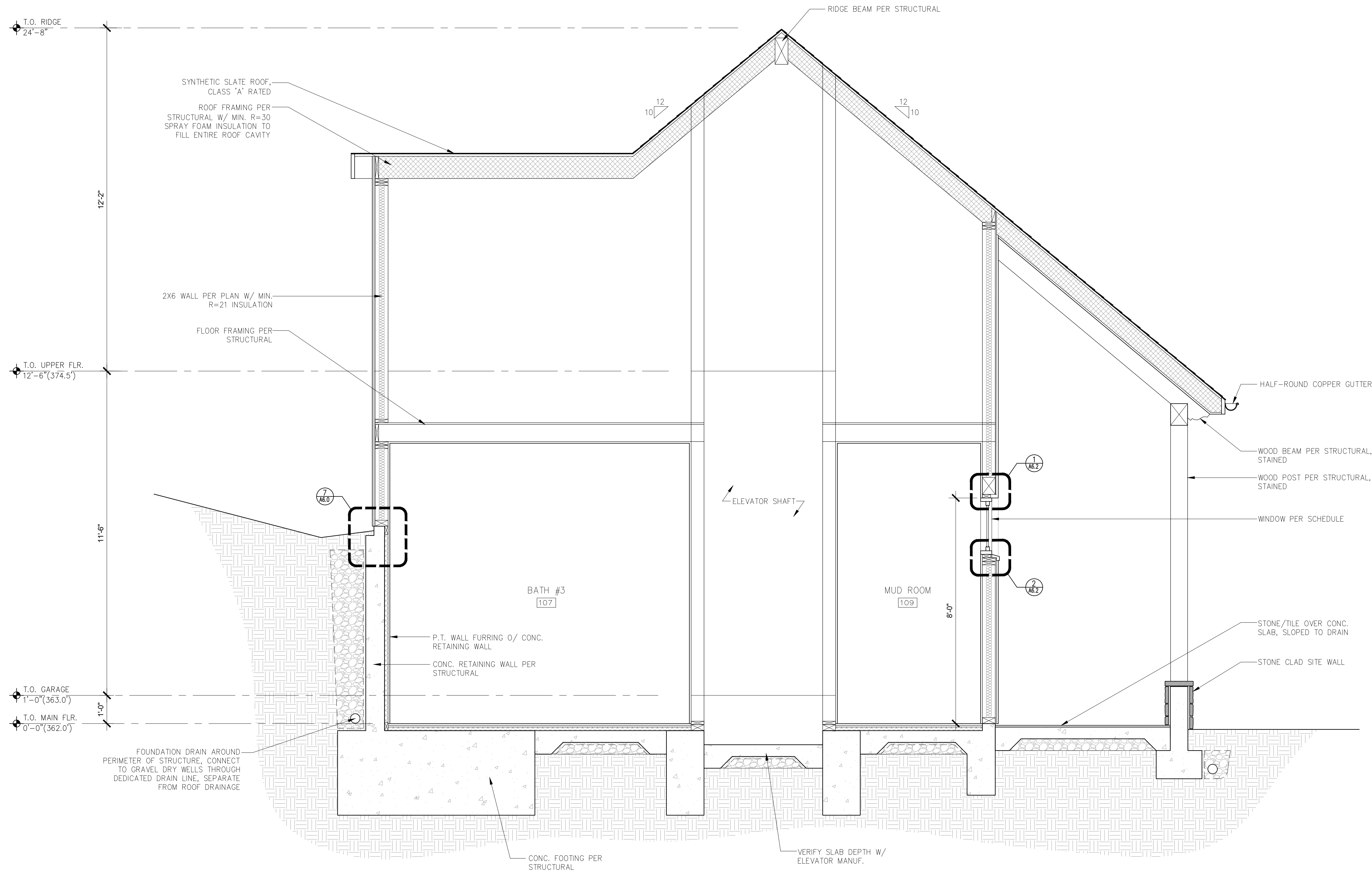
ARCHITECTURAL
BUILDING
SECTIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A4.2

12/28/2024

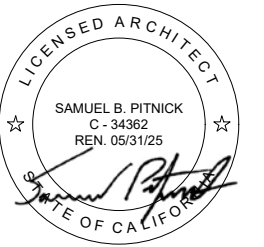
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1 SECTION THROUGH ELEVATOR
SCALE: 1/2"=1'-0"



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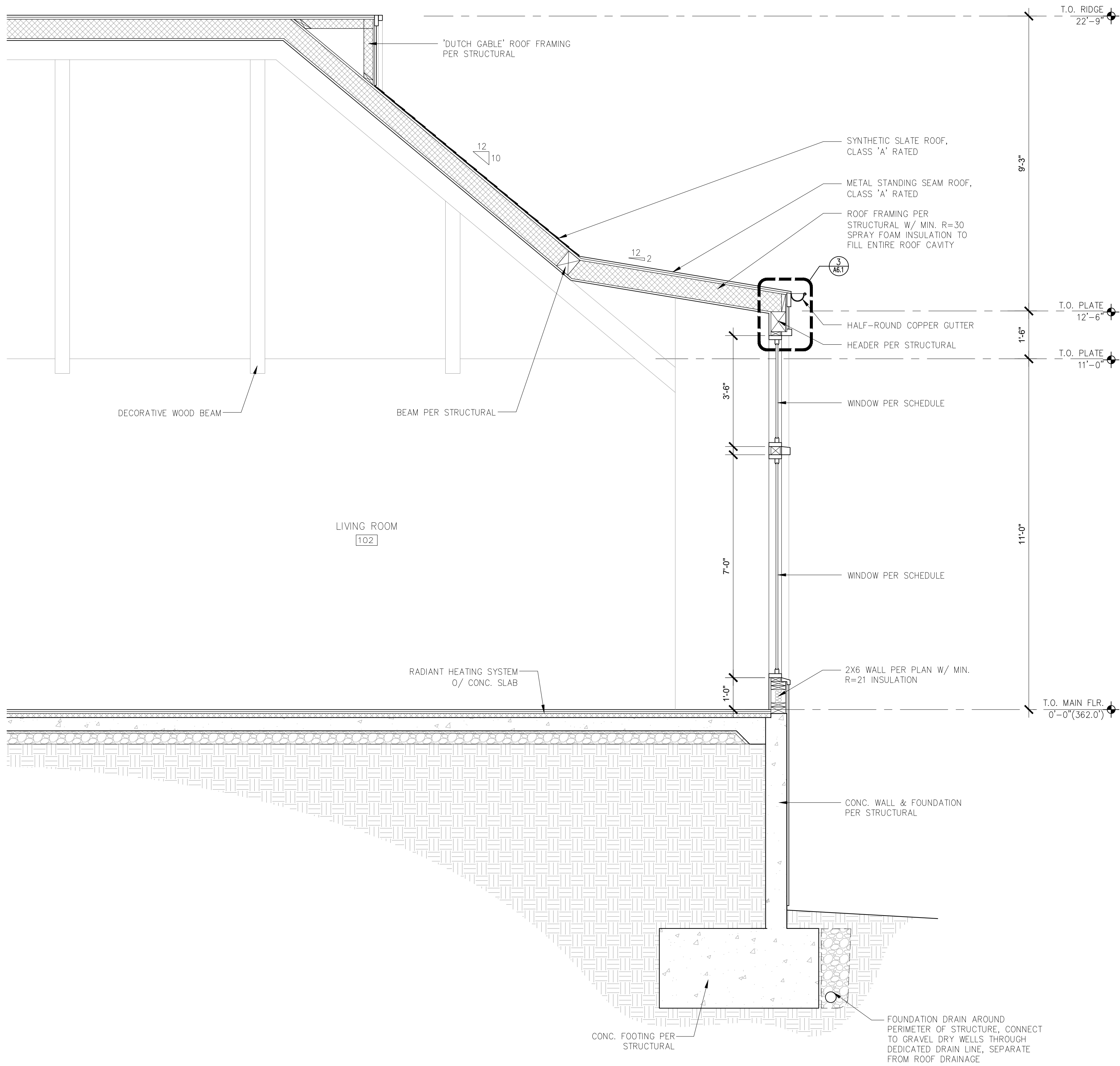
BUILDING
SECTIONS

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Job: -

A4.3

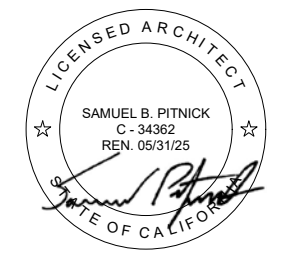
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1 SECTION THROUGH LIVING ROOM
SCALE: 1/2"=1'-0"

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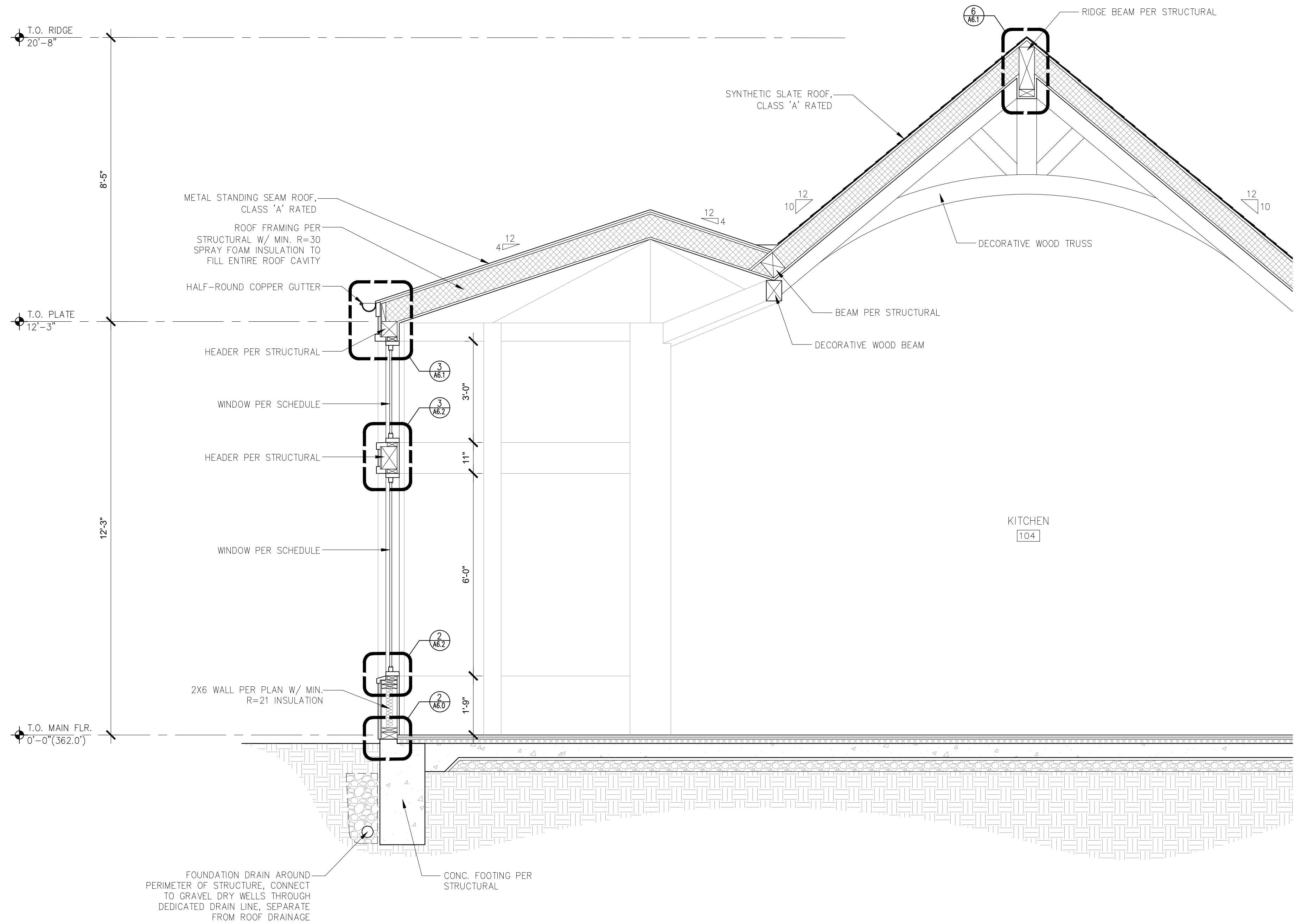
REVISIONS	DATE

ARCHITECTURAL
BUILDING
SECTIONS
Scale: SEE DWG.
Drawn By: SBP
Job: -

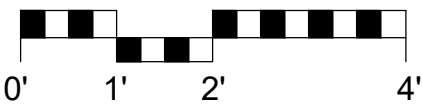
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12/28/2024

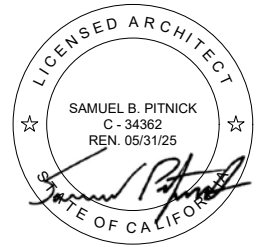
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1 SECTION THROUGH KITCHEN
SCALE: 1/2"=1'-0"



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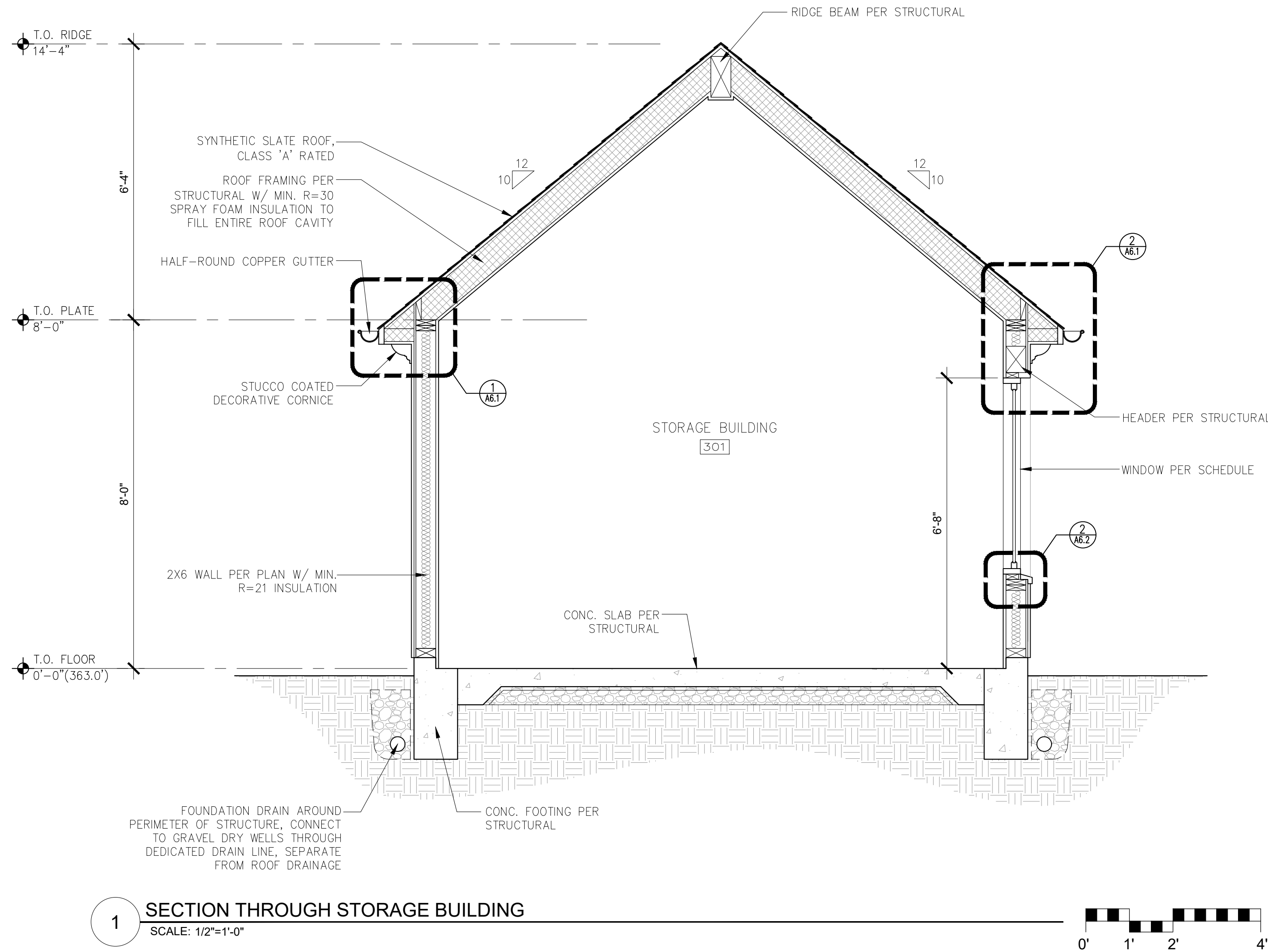
ARCHITECTURAL
BUILDING
SECTIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

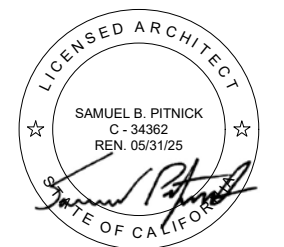
A4.5

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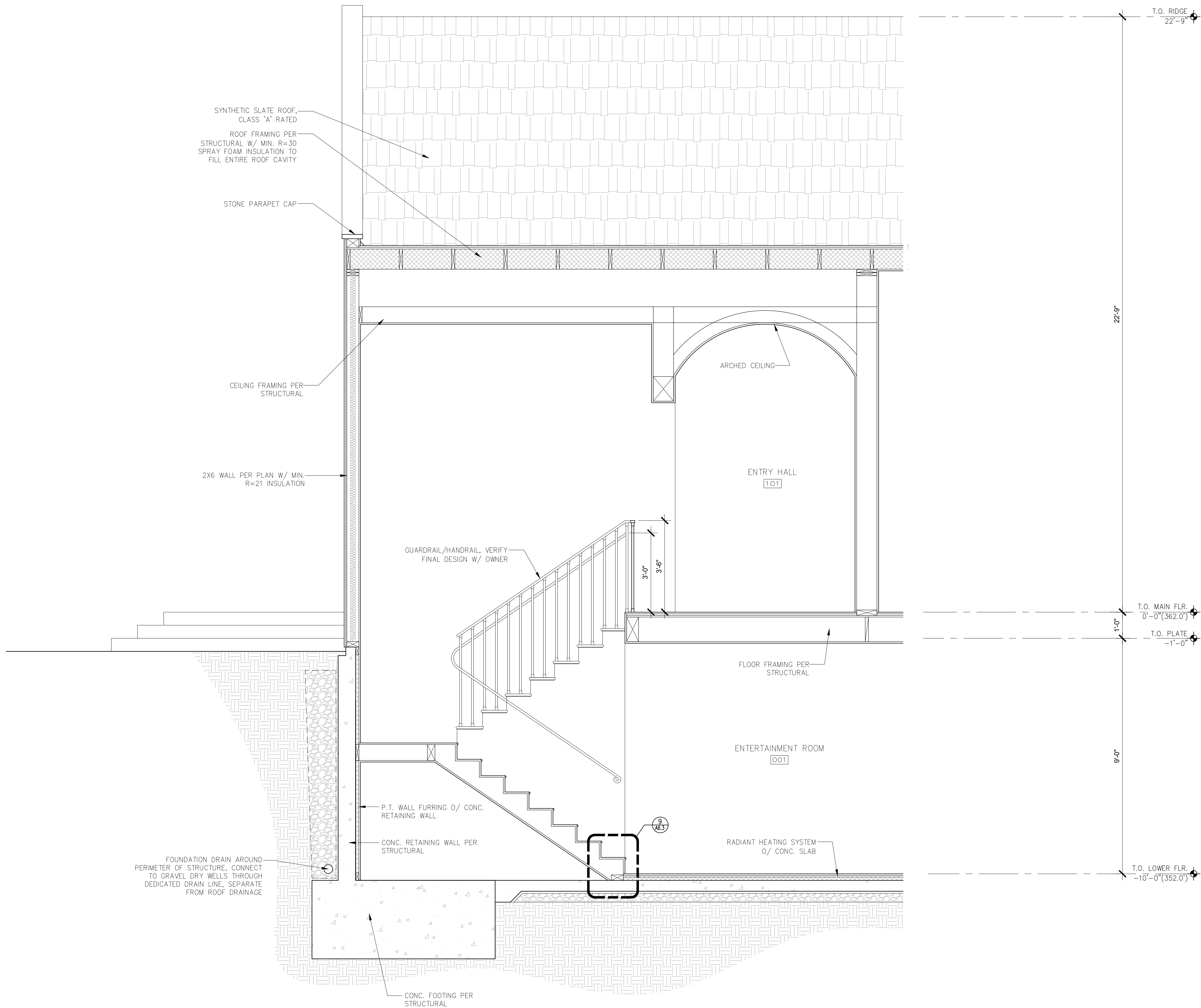
BUILDING
SECTIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A4.6

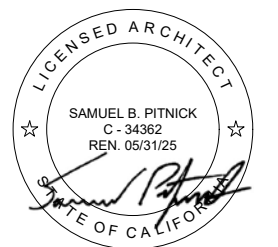
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1 SECTION THROUGH MAIN HOUSE STAIRS
SCALE: 1/2"=1'-0"

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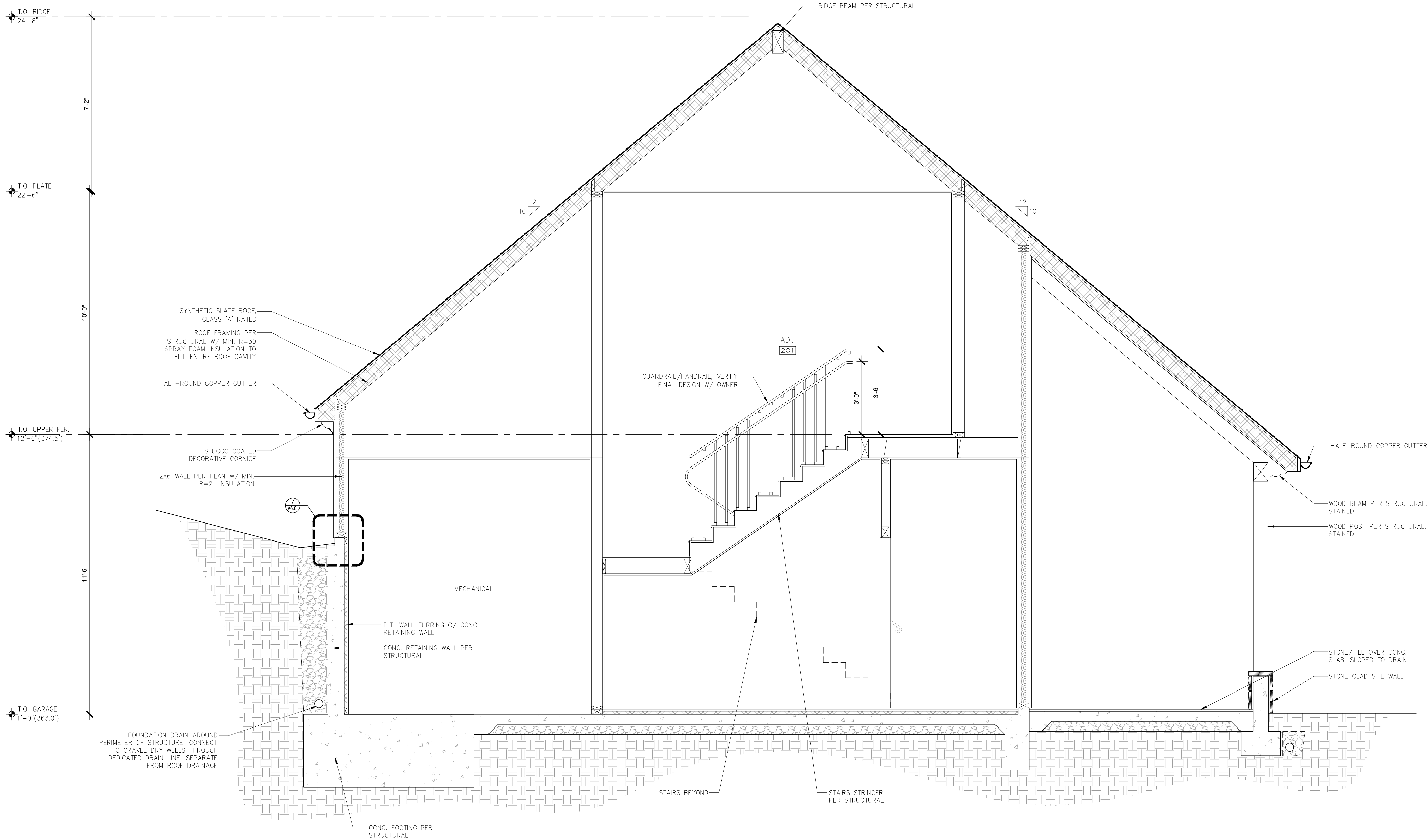
BUILDING
SECTIONS

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Drawn By: SBP
Job: -

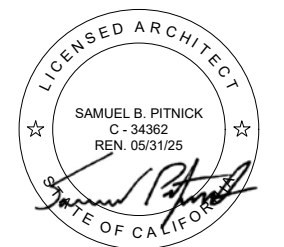
A4.7

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ARCHITECTURAL

BUILDING
SECTIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A4.8

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WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	6'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
2	6'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
3	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, ARCHED TOP
4	3'-0"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, ARCHED TOP
5	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, ARCHED TOP
6	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
7	4'-6"	7'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
8	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
9	3'-0"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING, ARCHED TOP
10	3'-0"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING, ARCHED TOP
11	12'-0"	6'-0"		GLASS	ALUM. CLAD	X-O-X	TEMPERED GLAZING
12	3'-8"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
13	3'-8"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
14	3'-8"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
15	3'-8"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
16	3'-8"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
17	2'-0"	2'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, OBSCURED
18	3'-0"	5'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
19	3'-0"	5'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
20	3'-0"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
21	10'-0"	4'-6"		GLASS	ALUM. CLAD	X-O-X	TEMPERED GLAZING
22	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
23	9'-6"	7'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
24	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
25	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
26	3'-0"	7'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
27	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
28	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
29	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
30	1'-6"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, OBSCURED
31	3'-0"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
32	1'-6"	3'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
33	3'-0"	7'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
34	4'-6"	7'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
35	3'-0"	7'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
36	3'-0"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
37	3'-0"	6'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
38	3'-8"	7'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
39	3'-8"	7'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
40	3'-8"	7'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
41	5'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
42	5'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, EGRESS
43	2'-0"	4'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
44	2'-0"	4'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
45	2'-0"	4'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
46	2'-0"	4'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
47	2'-0"	4'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
48	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
49	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
50	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
51	2'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
52	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
53	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
54	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
55	2'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
56	2'-0"	4'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
57	2'-6"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
58	2'-6"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
59	3'-8"	3'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
60	3'-8"	3'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
61	3'-8"	3'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
62	3'-8"	3'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
63	3'-8"	3'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
64	3'-0"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
65	2'-10"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
66	2'-10"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
67	2'-10"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
68	3'-0"	3'-6"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
69	1'-6"	1'-6"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
70	1'-6"	1'-6"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
71	1'-6"	1'-6"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING

EXTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
003a	5'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING, EGRESS
005a	5'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING, EGRESS
101a	4'-0"	8'-6"	-	WOOD	WOOD	SWING	
102a	14'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SLIDING	TEMPERED GLAZING
103a	6'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	W/ 3'-0" SIDELITES, TEMPERED GLAZING
106a	6'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	W/ 3'-0" SIDELITES, TEMPERED GLAZING
108a	3'-0"	8'-0"	-	WOOD	WOOD	SWING	
109a	3'-0"	8'-0"	-	WOOD	WOOD	SWING	
110a	3'-0"	8'-0"	-	WOOD	WOOD	SWING	
110b	9'-0"	9'-0"	-	WOOD	WOOD	GARAGE, SECTIONAL	ARCHED TOP
110c	9'-0"	9'-0"	-	WOOD	WOOD	GARAGE, SECTIONAL	ARCHED TOP
110d	9'-0"	9'-0"	-	WOOD	WOOD	GARAGE, SECTIONAL	ARCHED TOP
110e	3'-0"	8'-0"	-	WOOD	WOOD	SWING	
114a	5'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING, EGRESS
115a	5'-0"	8'-0"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING, EGRESS
201a	3'-0"	8'-0"	-	WOOD	WOOD	SWING	
301a	6'-0"	6'-8"	-	WOOD	WOOD	FRENCH	

INTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001a	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
003b	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
003c	4'-0"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
004a	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
005b	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
006a	2'-4"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
006b	2'-4"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
007a	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
101b	4'-0"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
103b	2'-8"	8'-0"	2-1/4"	WOOD/GLASS/IRON	WOOD	SWING	TEMPERED GLAZING, OBSCURED
105a	2'-4"	8'-0"	2-1/4"	WOOD/GLASS	WOOD	SWING	TEMPERED GLAZING
106b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
106c	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
107a	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
109b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
110f	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
111a	2'-4"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
112a	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
114b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
115b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
116a	2'-4"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
116b	2'-8"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
117a	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
117b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
117c	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	POCKETING	
201b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
201c	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	COORD. W/ ELEV. MANUF.
201d	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	COORD. W/ ELEV. MANUF.
202a	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
203a	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	SWING	
203b	2'-6"	8'-0"	2-1/4"	WOOD	WOOD	FRENCH, CLOSET	

WINDOW & EXTERIOR DOOR NOTES

- WINDOWS & DOORS ARE BY 'JELD-WEN - SITELINE SERIES' (OR APPV'D EQUAL)
GLAZING: DUAL GLAZING, ARGON GAS, LOWE2
EXT. MTL: ALUMINUM - CHESNUT BRONZE
INT. MTL: STAINED GRADE WOOD, FINISH T.B.D.
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET ; AND
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
(E) GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
(F) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER.
- MIN. U-VALUE = SEE TITLE 24 REPORT.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 7A-1. [§R327.8.3]

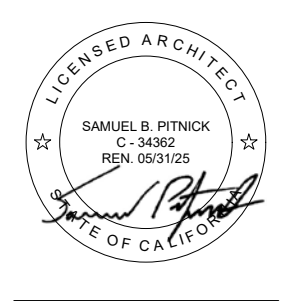
SKYLIGHT NOTES

- SKYLIGHTS ARE BY "VELUX" (OR APPV'D EQUAL)
- SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.

INTERIOR DOOR NOTES

- INTERIOR DOORS TO BE STAIN GRADE KNOTTY ALDER OR SIM., 2-1/4" THK., UNLESS NOTED OTHERWISE.
- VERIFY DOOR PROFILE W/ OWNER.

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REVISIONS	DATE

ARCHITECTURAL

DOOR &
WINDOW
SCHEDULES

Scale: SEE DWG.
Drawn By: SBP
Job: -

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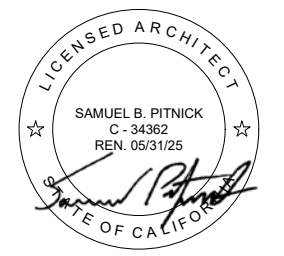
MAIN HOUSE APPLIANCE SCHEDULE						
TAG	MANUF.	MODEL	DESCRIPTION	FINISH	QTY.	COMMENTS
A1	T.B.D.	T.B.D.	24" DISHWASHER	T.B.D.	1	
A2	T.B.D.	T.B.D.	42" REFRIGERATOR & FREEZER	T.B.D.	1	PROVIDE WATER LINE FOR ICE MAKER
A3	T.B.D.	T.B.D.	36" REFRIGERATOR & FREEZER	T.B.D.	1	PROVIDE WATER LINE FOR ICE MAKER
A4	T.B.D.	T.B.D.	48" RANGE	T.B.D.	1	
A5	T.B.D.	T.B.D.	48" RANGE HOOD	T.B.D.	1	
A6	T.B.D.	T.B.D.	CLOTHES WASHER	T.B.D.	1	
A7	T.B.D.	T.B.D.	CLOTHES DRYER	T.B.D.	1	
A8	T.B.D.	T.B.D.	36" OUTDOOR BBQ	T.B.D.	1	PROVIDE DEDICATED GAS LINE W/ SHUT-OFF

A.D.U. HOUSE APPLIANCE SCHEDULE						
TAG	MANUF.	MODEL	DESCRIPTION	FINISH	QTY.	COMMENTS
A9	T.B.D.	T.B.D.	24" DISHWASHER	T.B.D.	1	
A10	T.B.D.	T.B.D.	36" REFRIGERATOR & FREEZER	T.B.D.	1	PROVIDE WATER LINE FOR ICE MAKER
A11	T.B.D.	T.B.D.	36" RANGE	T.B.D.	1	
A12	T.B.D.	T.B.D.	36" RANGE HOOD	T.B.D.	1	

MAIN HOUSE PLUMBING FIXTURE SCHEDULE						
TAG	MANUF.	MODEL	DESCRIPTION	FINISH	QTY.	COMMENTS
BATHROOM #1 - 004						
P1	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P2	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P3	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
P4	T.B.D.	T.B.D.	SHOWERHEAD	T.B.D.	1	
P5	T.B.D.	T.B.D.	THERMOSTATIC CONTROL VALVE	T.B.D.	1	
P6	T.B.D.	T.B.D.	SHOWER DRAIN	T.B.D.	1	
BATHROOM #2 - 006						
P7	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P8	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P9	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
P10	T.B.D.	T.B.D.	SHOWERHEAD	T.B.D.	1	
P11	T.B.D.	T.B.D.	THERMOSTATIC CONTROL VALVE	T.B.D.	1	
P12	T.B.D.	T.B.D.	SHOWER DRAIN	T.B.D.	1	
BATHROOM #3 - 107						
P13	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P14	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P15	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
P16	T.B.D.	T.B.D.	SHOWERHEAD	T.B.D.	1	
P17	T.B.D.	T.B.D.	THERMOSTATIC CONTROL VALVE	T.B.D.	1	
P18	T.B.D.	T.B.D.	SHOWER DRAIN	T.B.D.	1	
BATHROOM #4 - 117						
P19	T.B.D.	T.B.D.	SINK	T.B.D.	2	
P20	T.B.D.	T.B.D.	FAUCET	T.B.D.	2	
P21	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
P22	T.B.D.	T.B.D.	SHOWERHEAD	T.B.D.	1	
P23	T.B.D.	T.B.D.	THERMOSTATIC CONTROL VALVE	T.B.D.	1	
P24	T.B.D.	T.B.D.	SHOWER DRAIN	T.B.D.	1	
P25	T.B.D.	T.B.D.	FREESTANDING BATH TUB	T.B.D.	1	
P26	T.B.D.	T.B.D.	BATH TUB FILLER	T.B.D.	1	
POWDER ROOM - 111						
P27	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P28	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P29	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
KITCHEN - 104						
P30	T.B.D.	T.B.D.	KITCHEN SINK	T.B.D.	1	
P31	T.B.D.	T.B.D.	KITCHEN FAUCET	T.B.D.	1	
P32	T.B.D.	T.B.D.	AIR GAP FOR DISHWASHER	T.B.D.	1	
P33	T.B.D.	T.B.D.	GARBAGE DISPOSAL	T.B.D.	1	
P34	T.B.D.	T.B.D.	VEGETABLE SINK	T.B.D.	1	
P35	T.B.D.	T.B.D.	VEGETABLE SINK FAUCET	T.B.D.	1	
P36	T.B.D.	T.B.D.	POT FILLER	T.B.D.	1	
PANTRY - 105						
P37	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P38	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
MUD ROOM - 109						
P39	T.B.D.	T.B.D.	UTILITY SINK	T.B.D.	1	
P40	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P41	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P42	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P43	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
GARAGE - 110						
P44	T.B.D.	T.B.D.	DOG WASHING SINK	T.B.D.	1	
P45	T.B.D.	T.B.D.	HANDHELD SPRAYER	T.B.D.	1	
LAUNDRY - 112						
P46	T.B.D.	T.B.D.	UTILITY SINK	T.B.D.	1	
P47	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	

A.D.U. PLUMBING FIXTURE SCHEDULE						
TAG	MANUF.	MODEL	DESCRIPTION	FINISH	QTY.	COMMENTS
A.D.U. KITCHEN - 201						
P48	T.B.D.	T.B.D.	KITCHEN SINK	T.B.D.	1	
P49	T.B.D.	T.B.D.	KITCHEN FAUCET	T.B.D.	1	
P50	T.B.D.	T.B.D.	AIR GAP FOR DISHWASHER	T.B.D.	1	
P51	T.B.D.	T.B.D.	GARBAGE DISPOSAL	T.B.D.	1	
A.D.U. BATHROOM - 202						
P52	T.B.D.	T.B.D.	SINK	T.B.D.	1	
P53	T.B.D.	T.B.D.	FAUCET	T.B.D.	1	
P54	T.B.D.	T.B.D.	1.28 GPF TOILET, ONE-PIECE	T.B.D.	1	
P55	T.B.D.	T.B.D.	SHOWERHEAD	T.B.D.	1	
P56	T.B.D.	T.B.D.	THERMOSTATIC CONTROL VALVE	T.B.D.	1	
P57	T.B.D.	T.B.D.	SHOWER DRAIN	T.B.D.	1	

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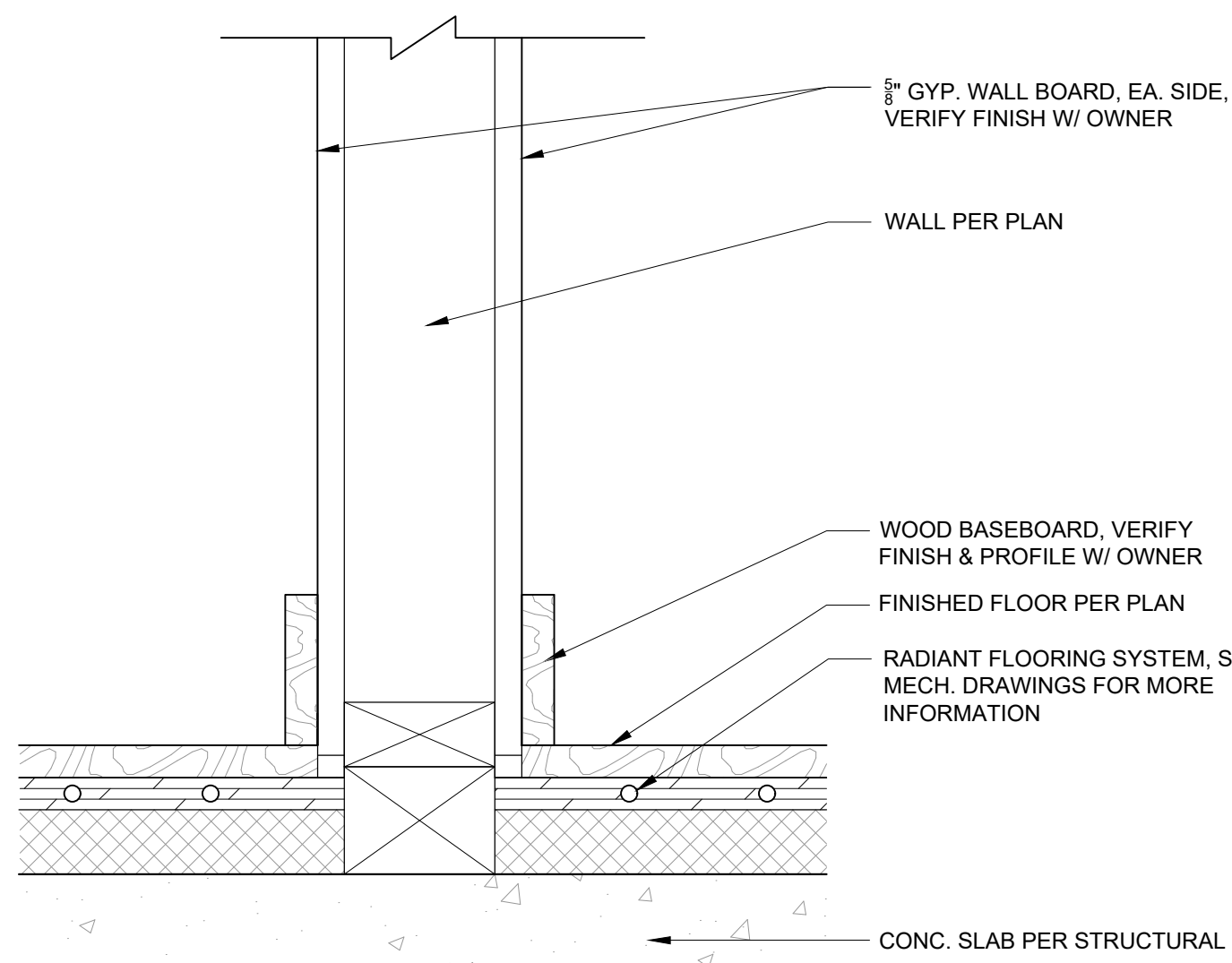
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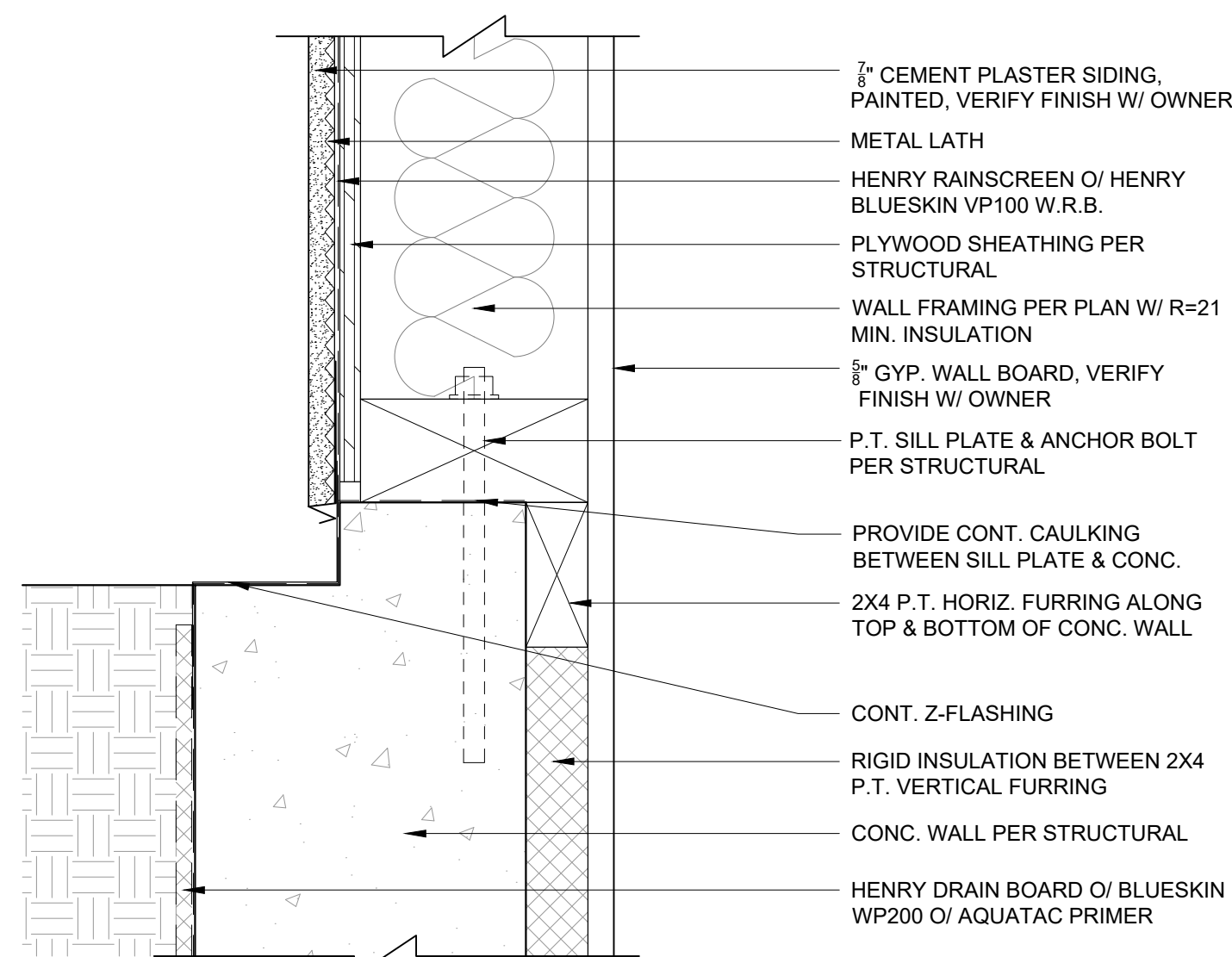
PLUMBING & APPLIANCE SCHEDULES

Scale: SEE DWG.
Drawn By: SBP
Job: -

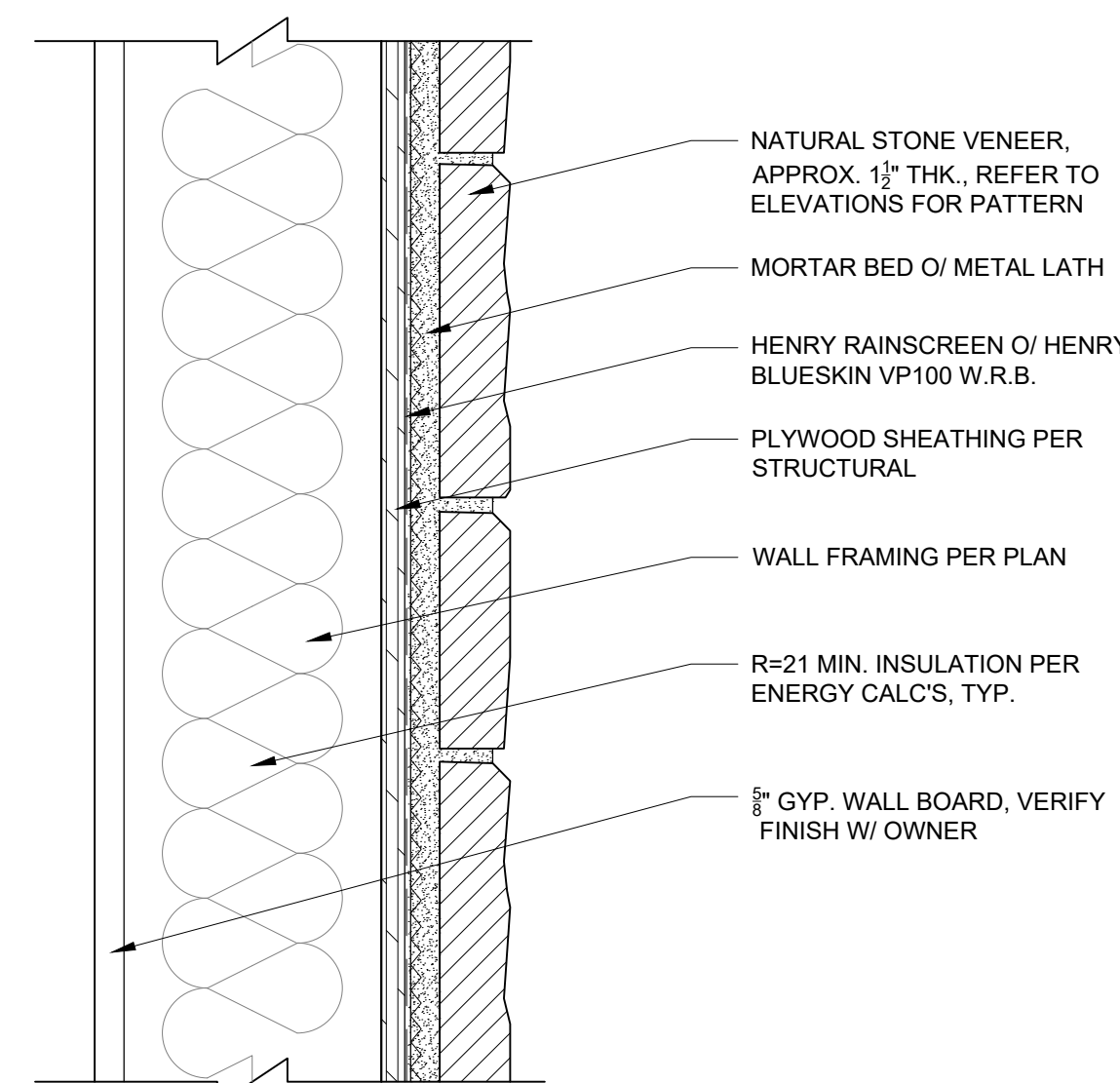
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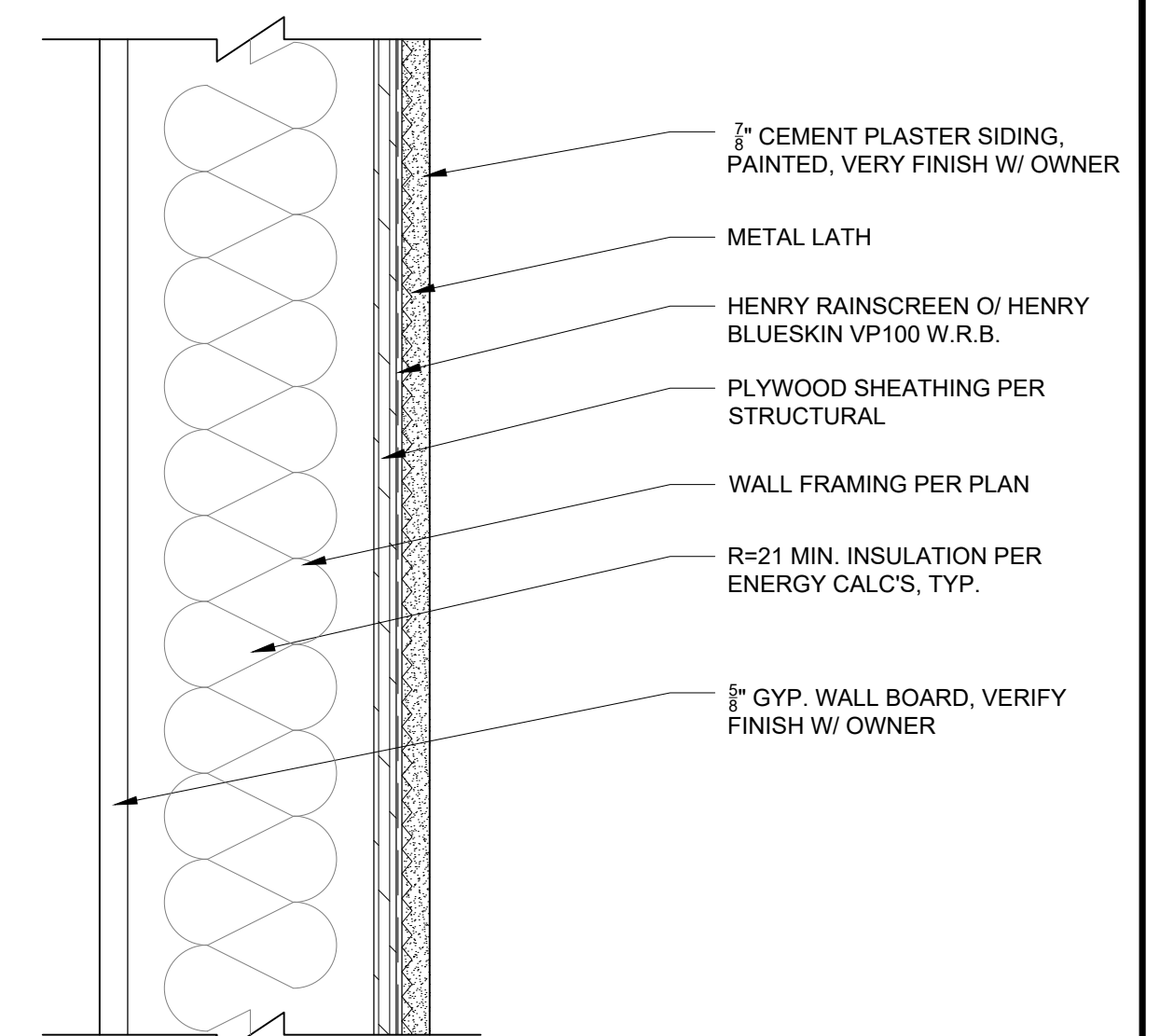
10 INTERIOR WALL BASEBOARD DETAIL
SCALE: 3"=1'-0"



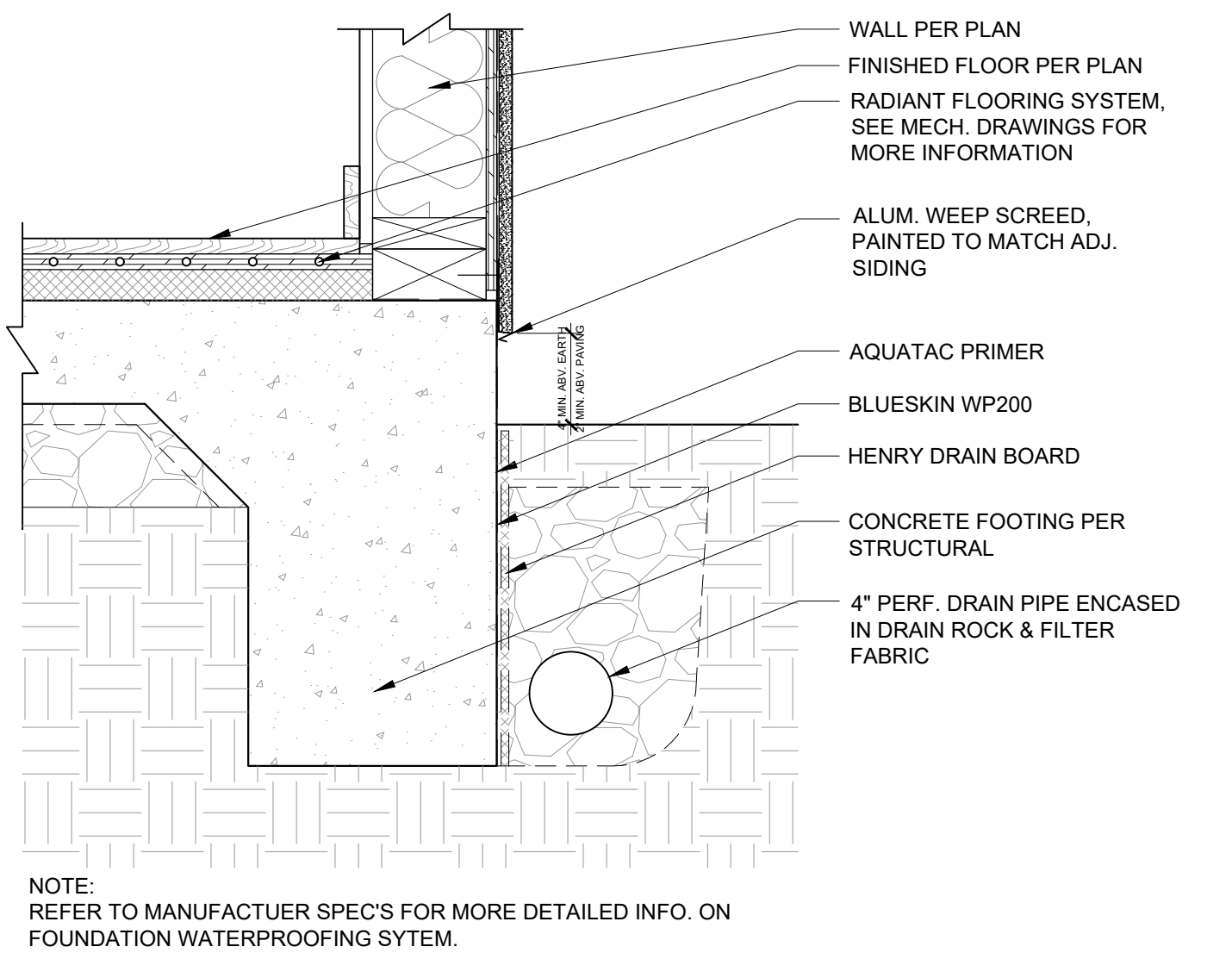
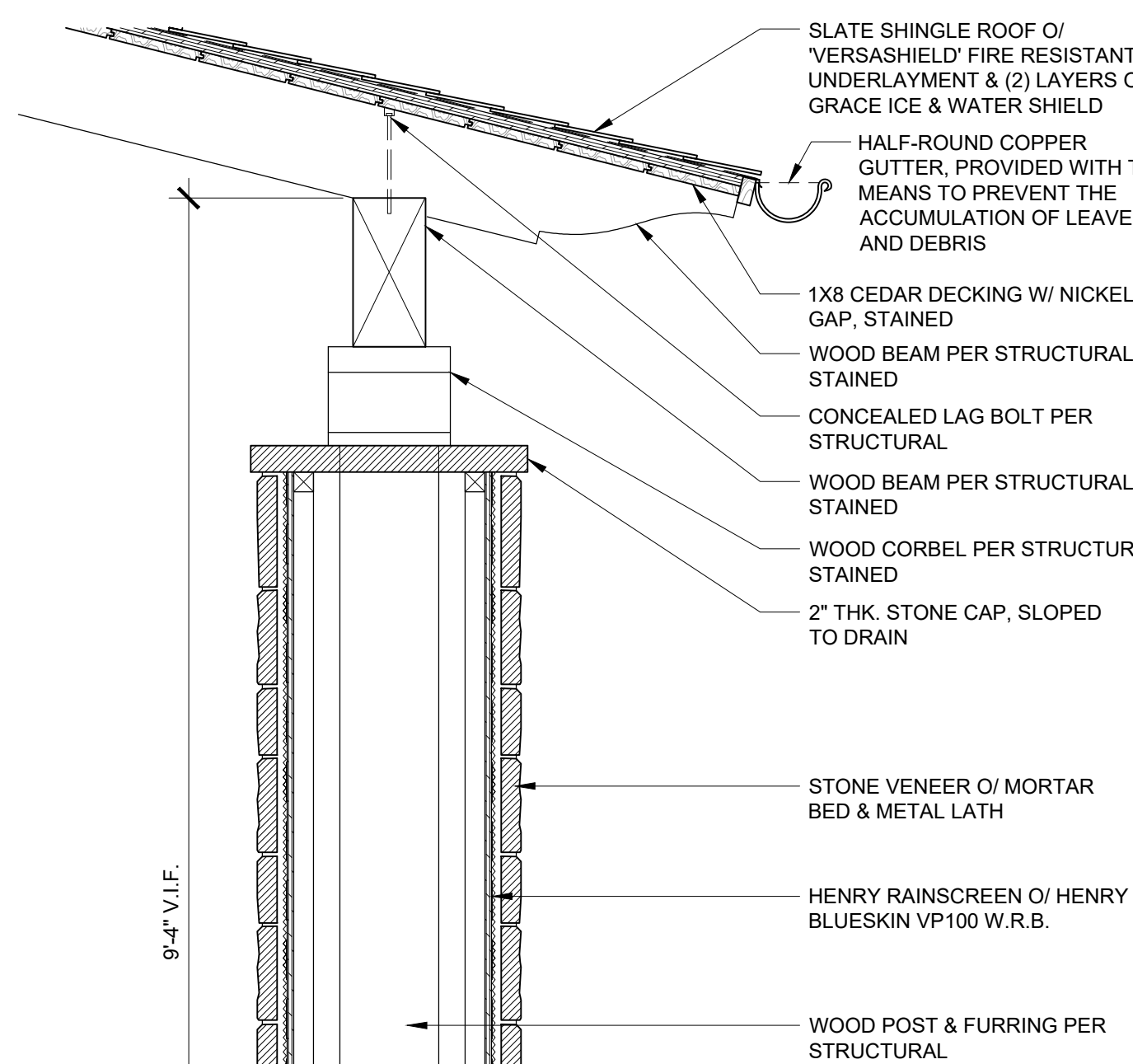
7 FURRING @ CONCRETE WALL
SCALE: 3"=1'-0"



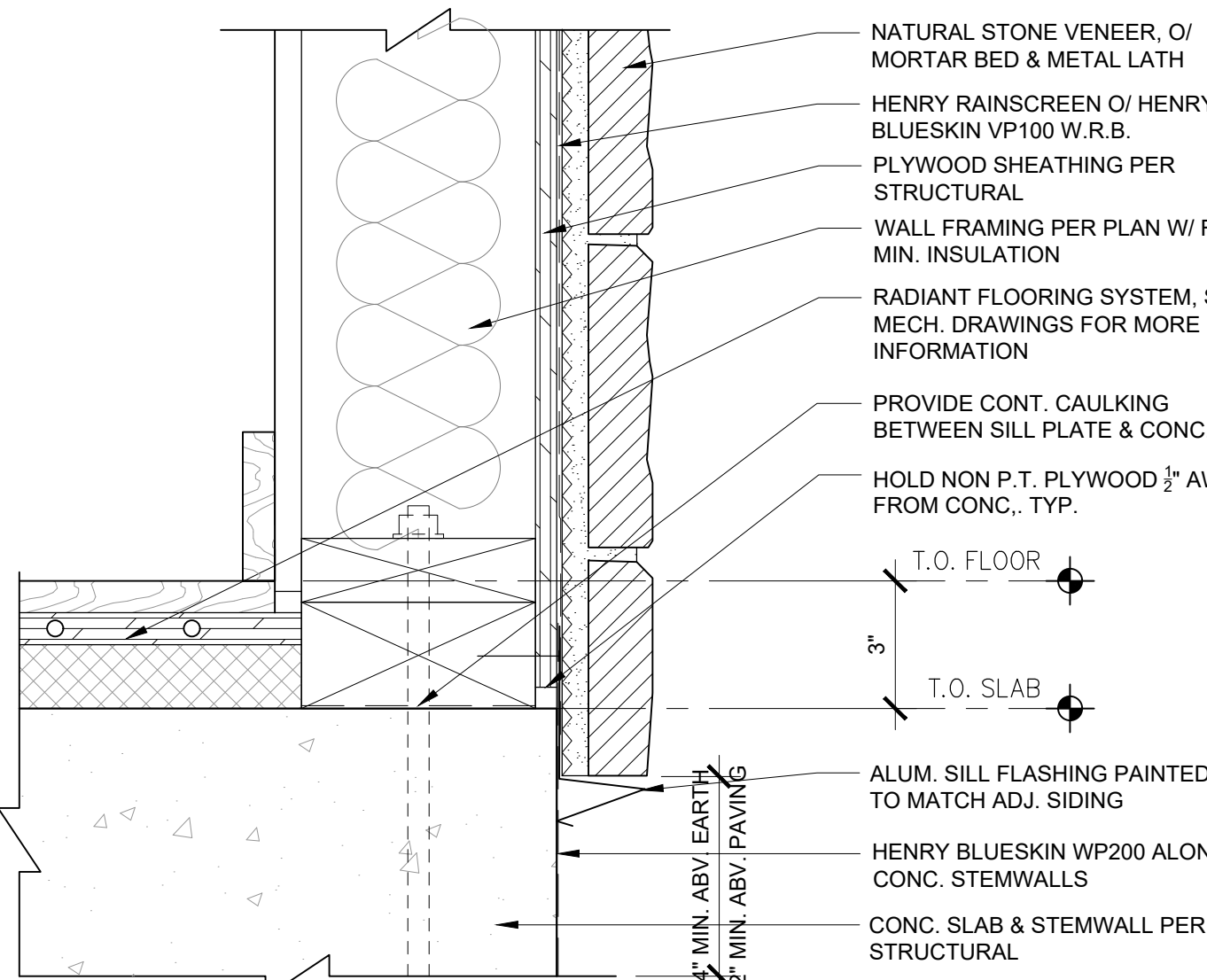
4 TYPICAL STONE VENEER WALL DETAIL
SCALE: 3"=1'-0"



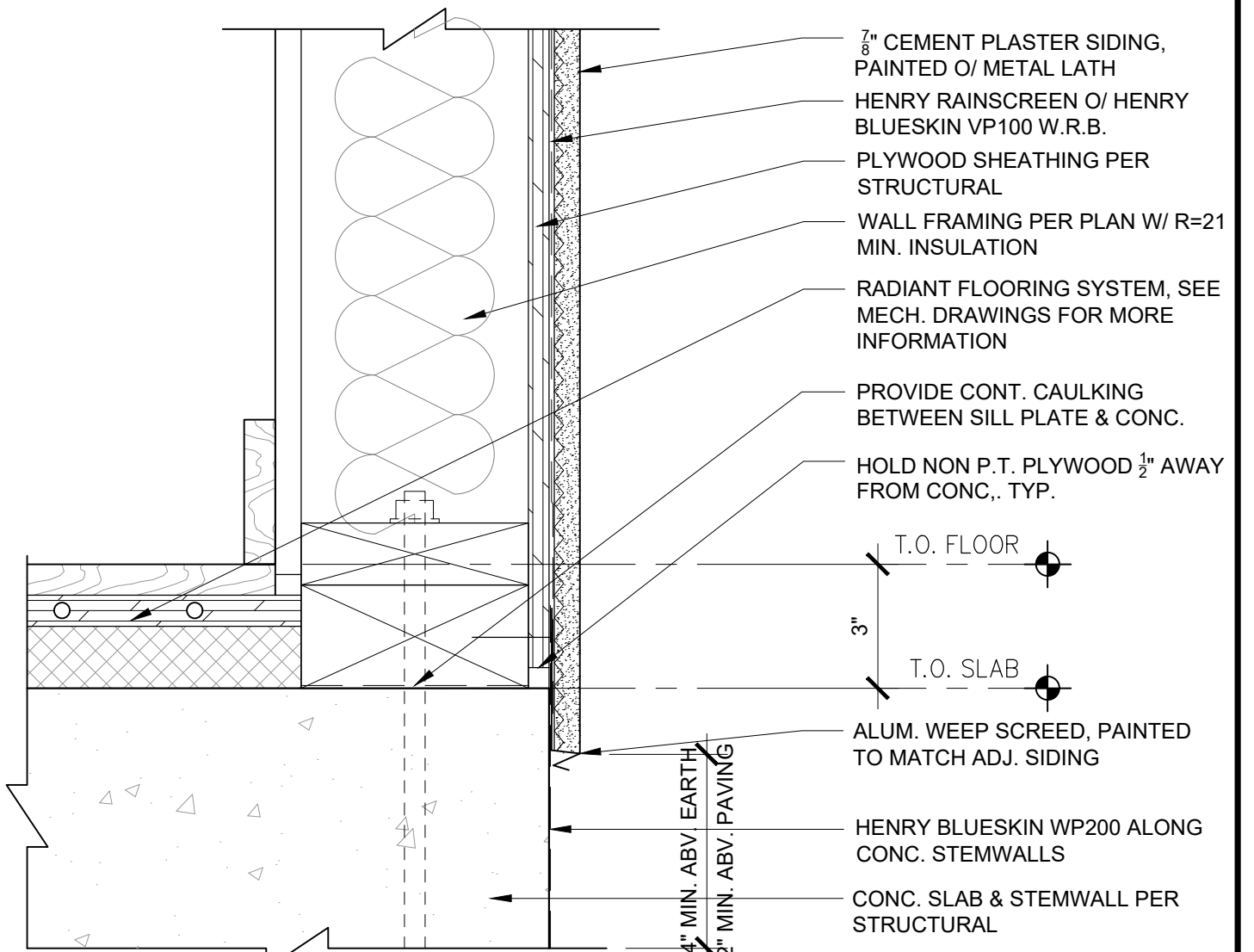
1 TYPICAL STUCCO WALL DETAIL
SCALE: 3"=1'-0"



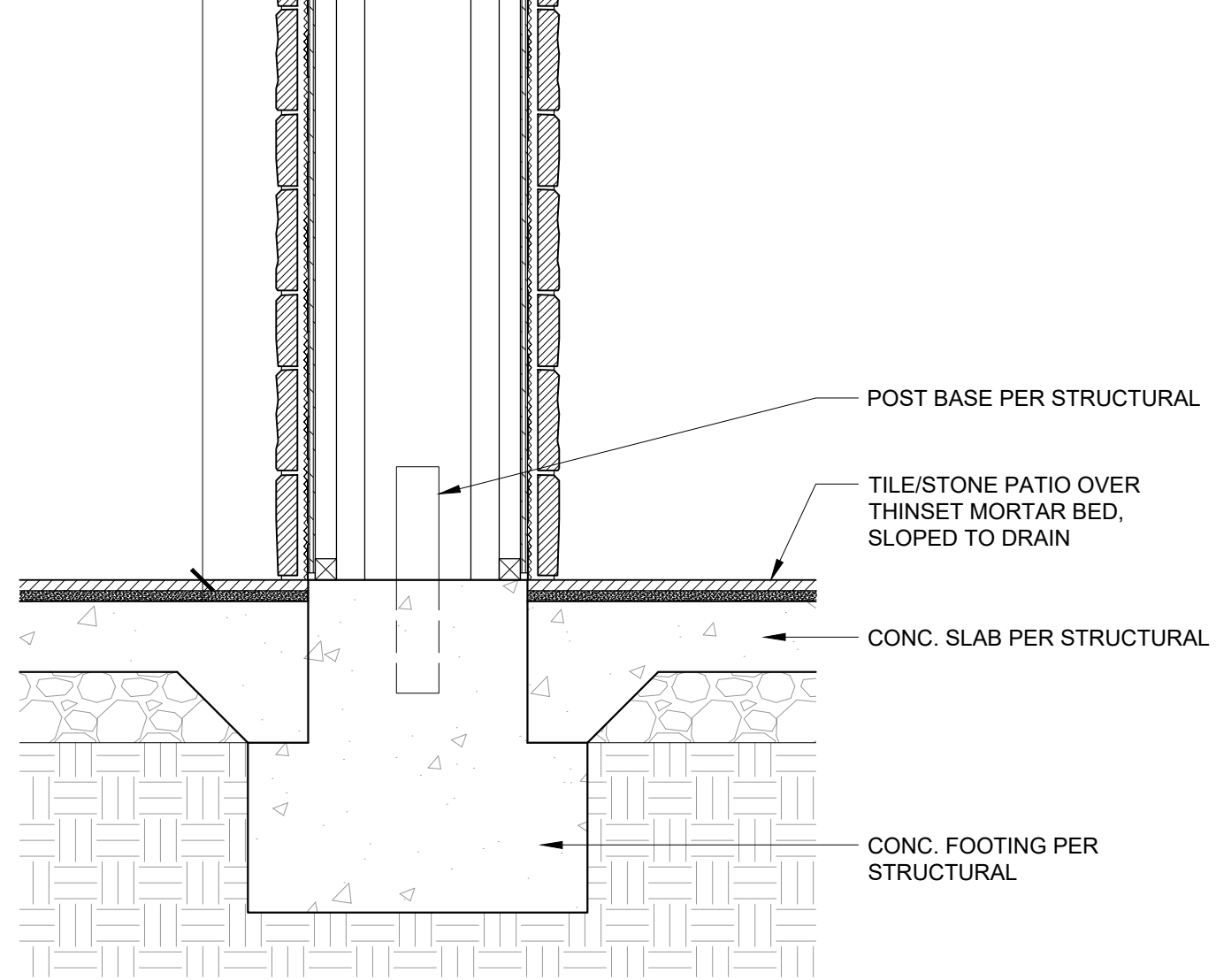
8 FOUNDATION DETAIL
SCALE: 1 1/2"=1'-0"



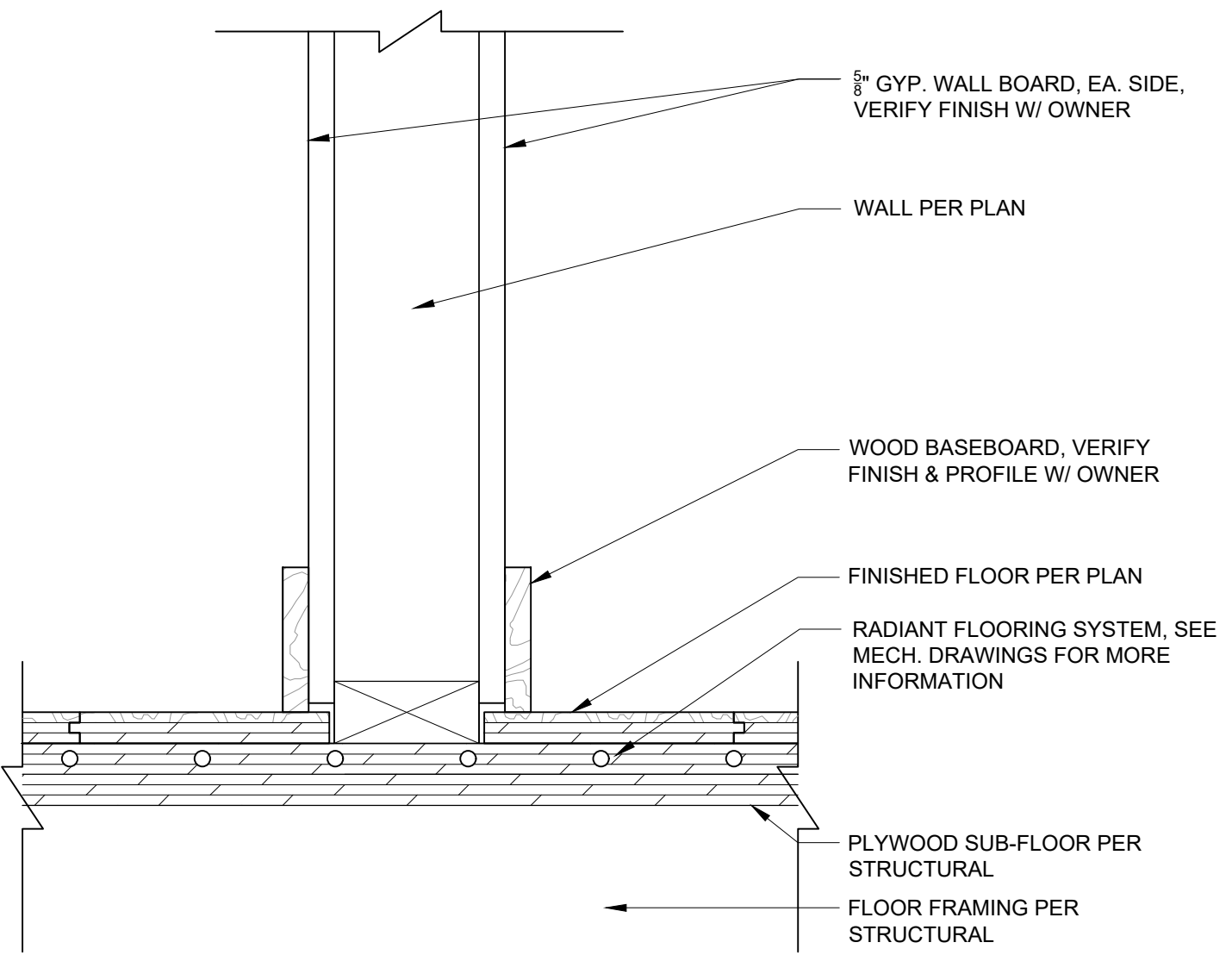
5 TYPICAL STONE VENEER SILL DETAIL
SCALE: 3"=1'-0"



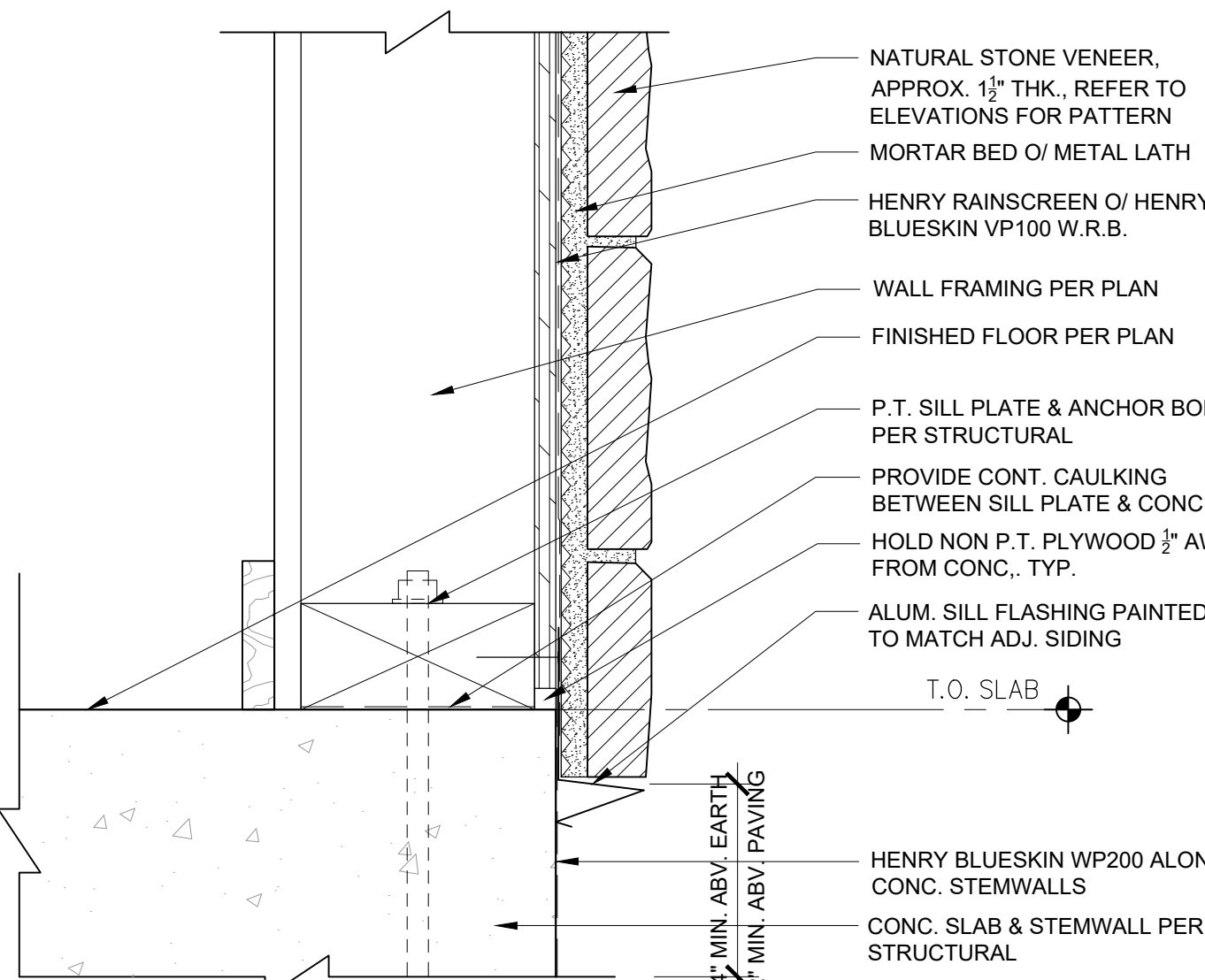
2 STUCCO WALL @ HOUSE SILL DETAIL
SCALE: 3"=1'-0"



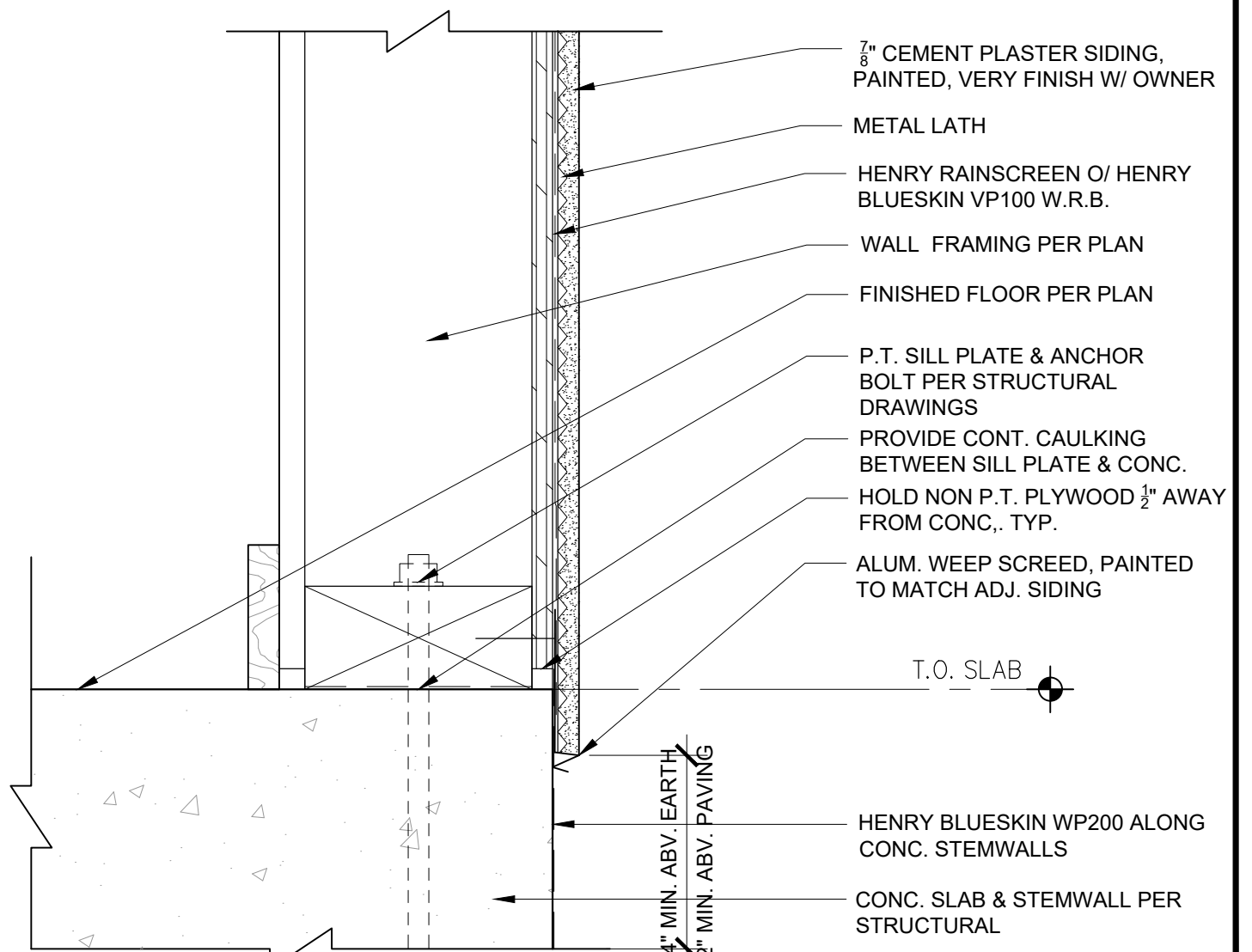
11 STONE COLUMN & EAVE DETAIL
SCALE: 1"=1'-0"



9 INTERIOR WALL BASEBOARD DETAIL
SCALE: 3"=1'-0"



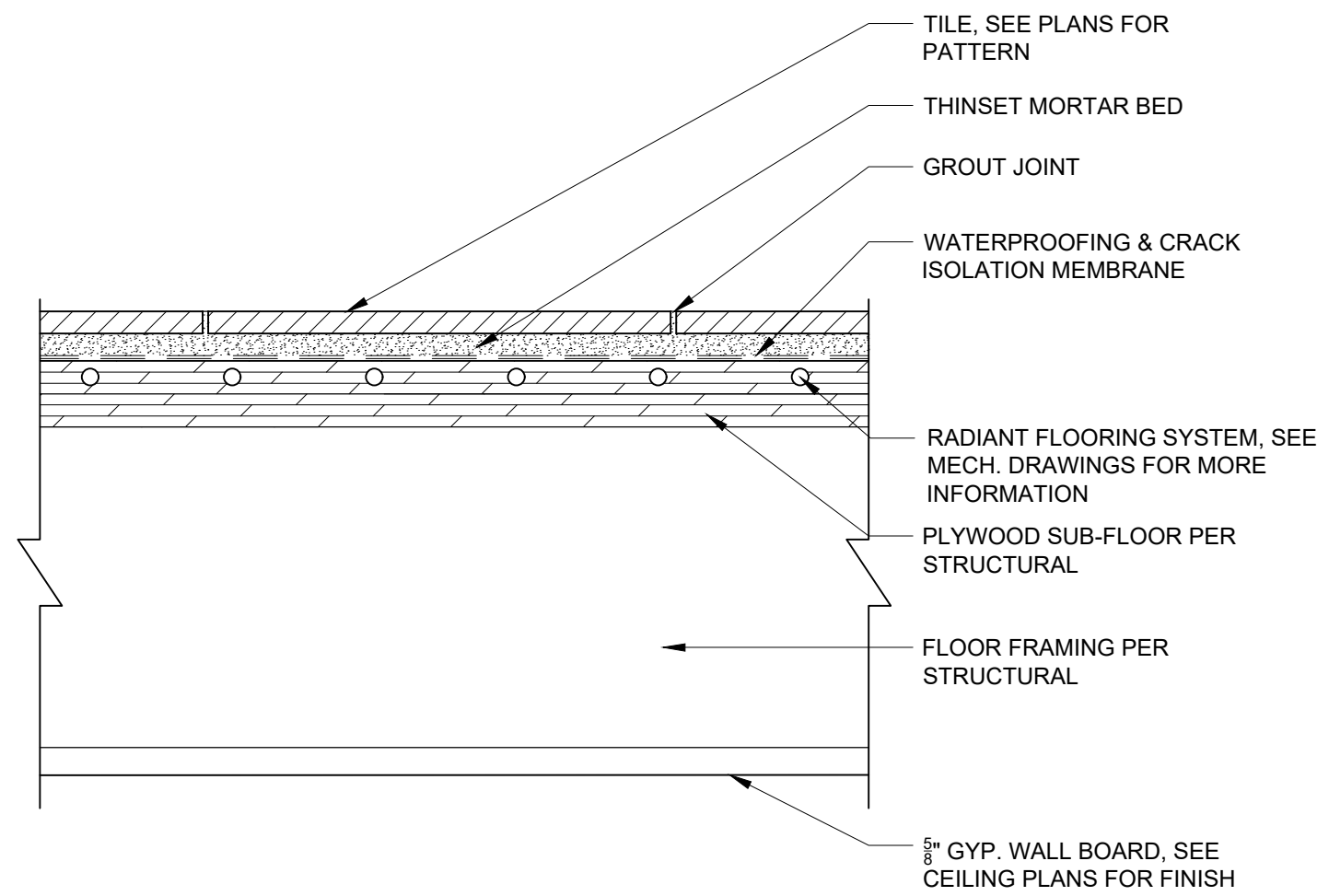
6 TYPICAL STONE VENEER SILL DETAIL
SCALE: 3"=1'-0"



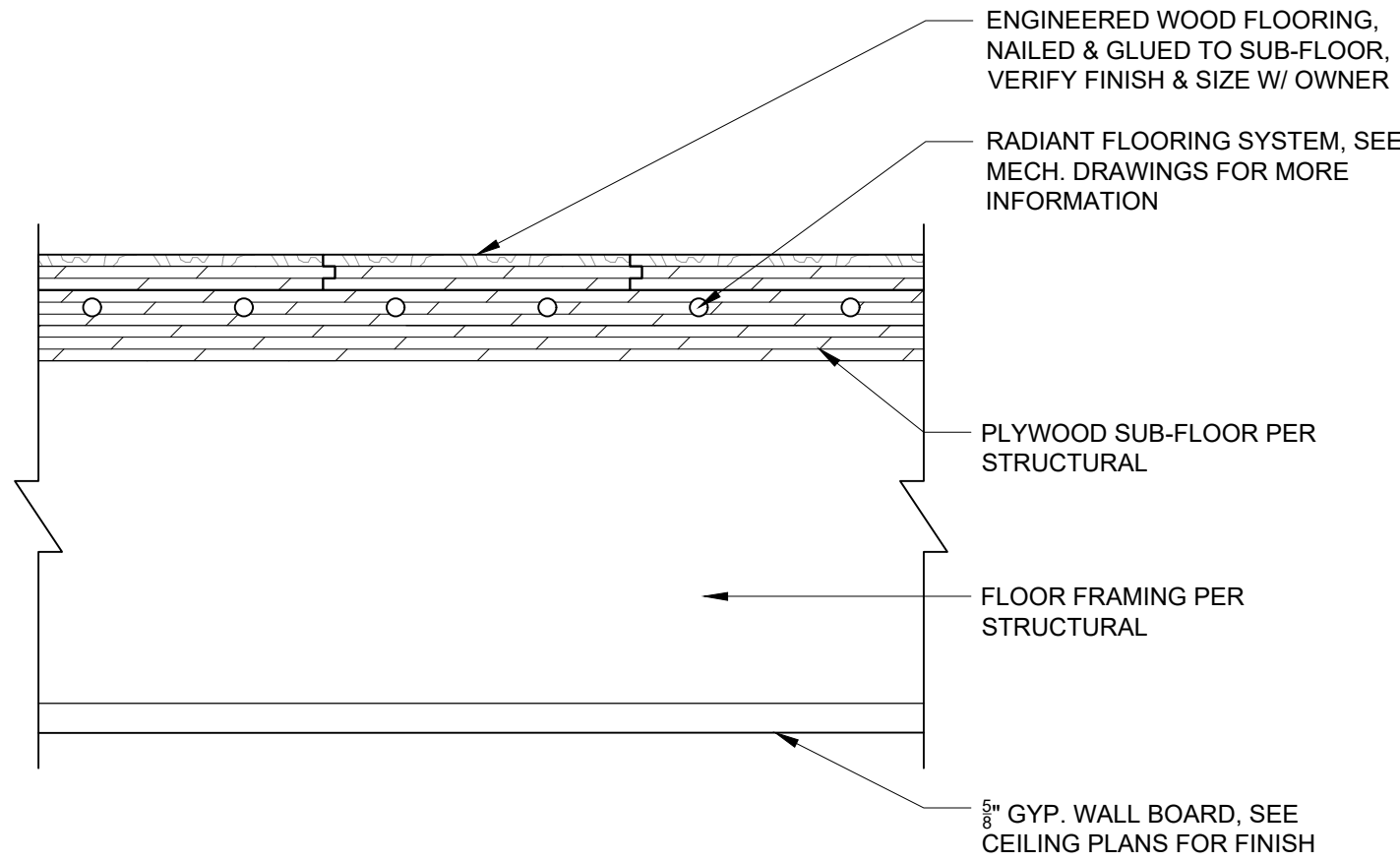
3 STUCCO WALL @ GARAGE SILL DETAIL
SCALE: 3"=1'-0"

REVISIONS	DATE

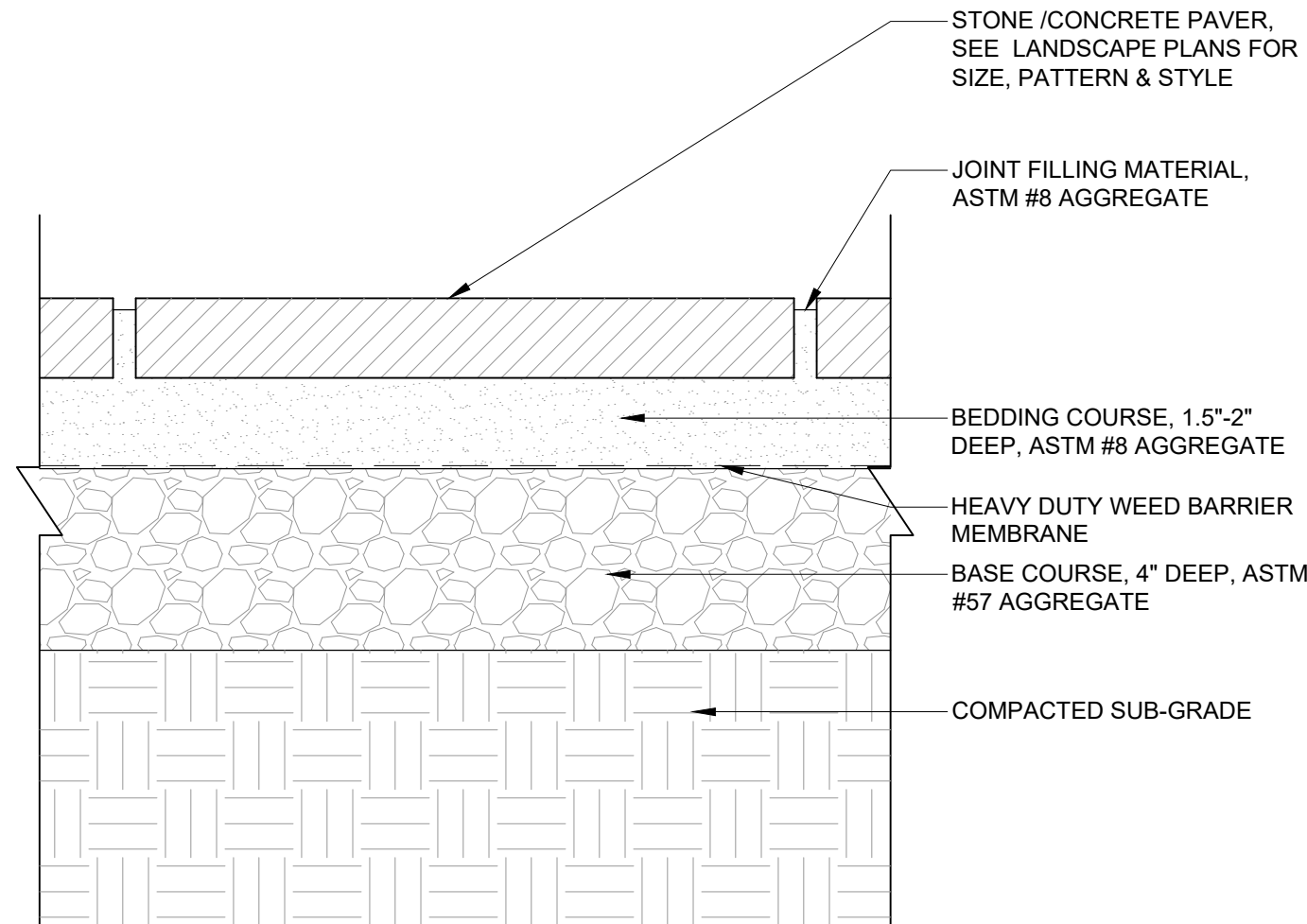
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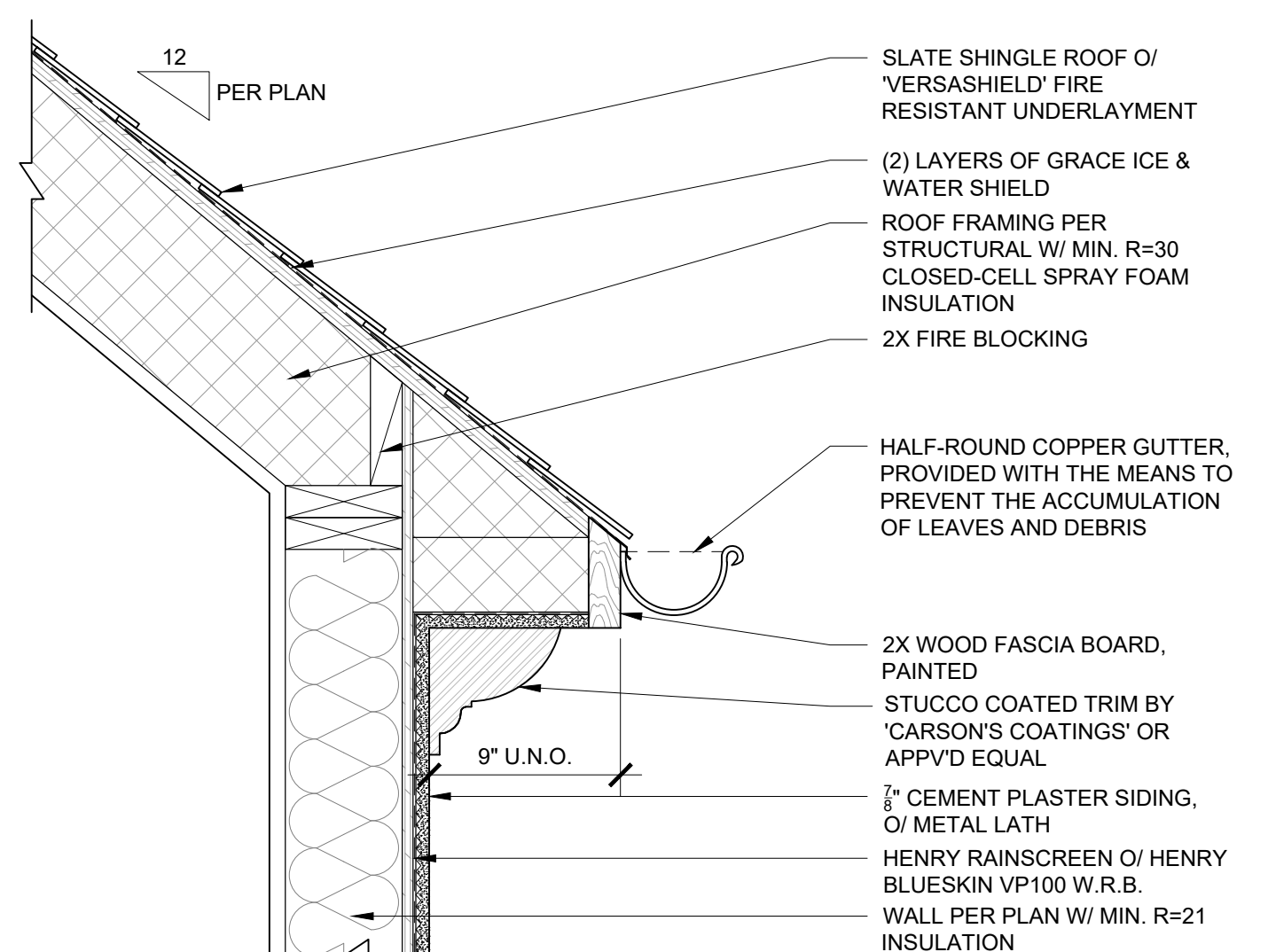
10 INTERIOR TILE FLOORING DETAIL
SCALE: 3"=1'-0"



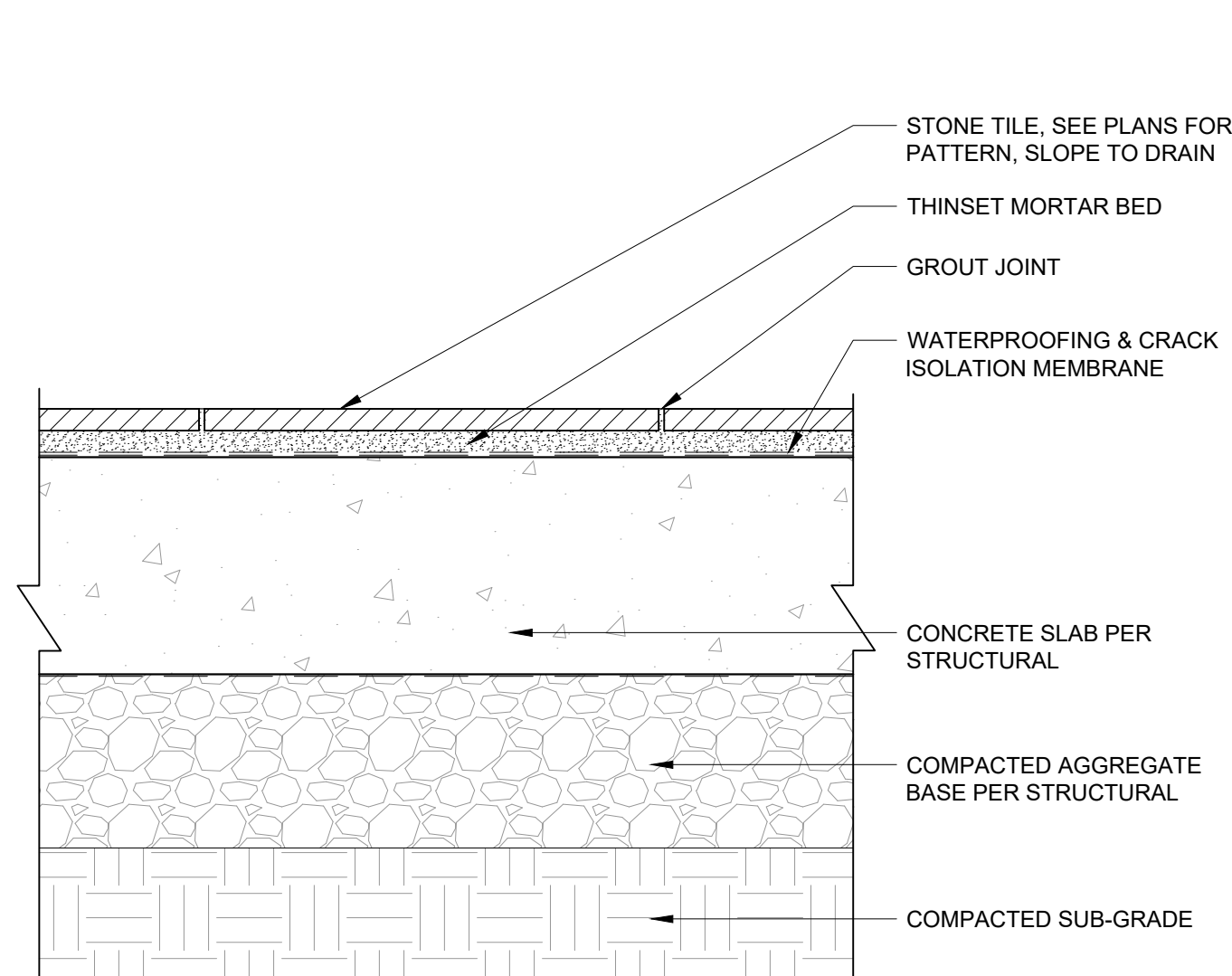
7 INTERIOR WOOD FLOORING DETAIL
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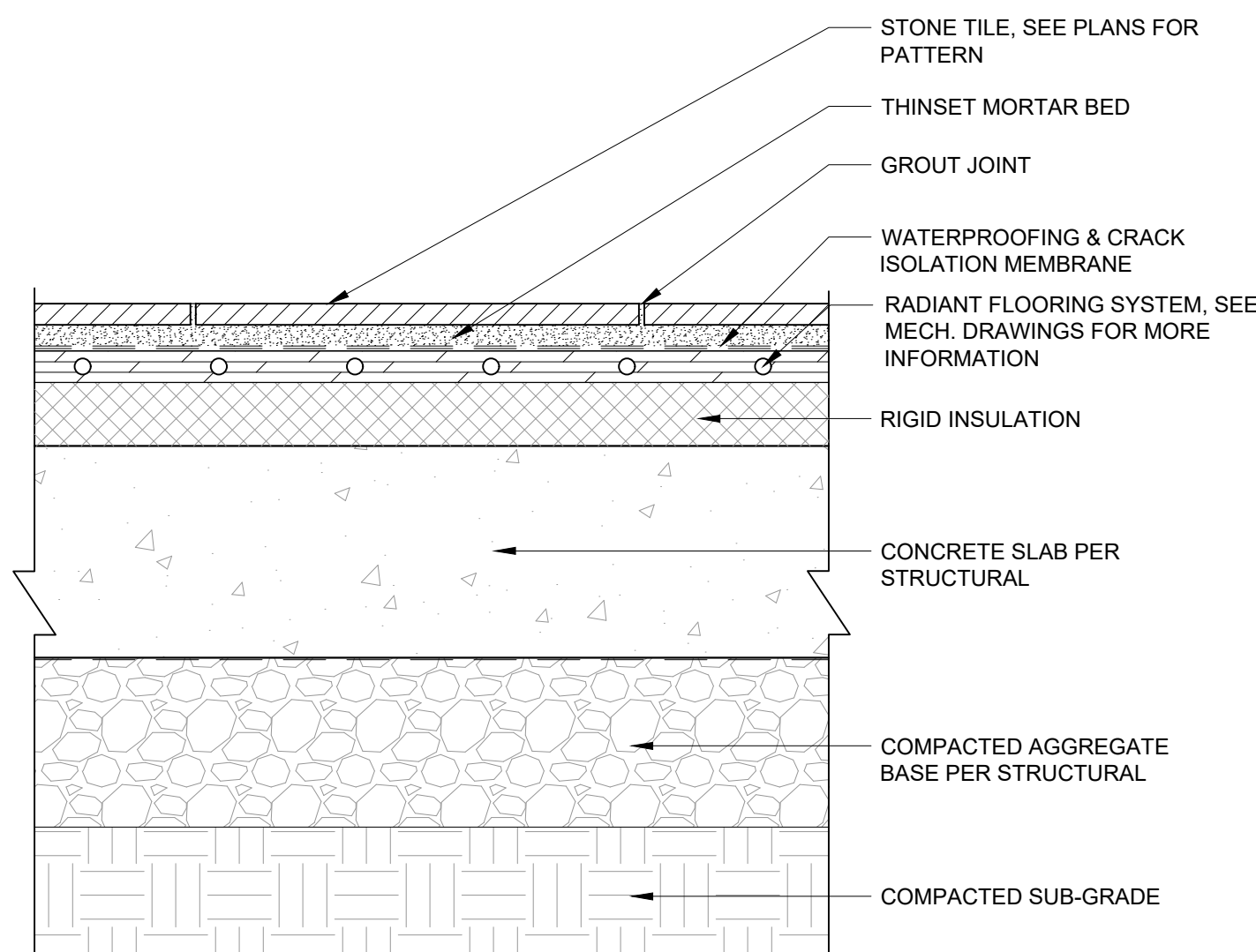
4 PAVER PATIO/DRIVEWAY DETAIL
SCALE: 3"=1'-0"



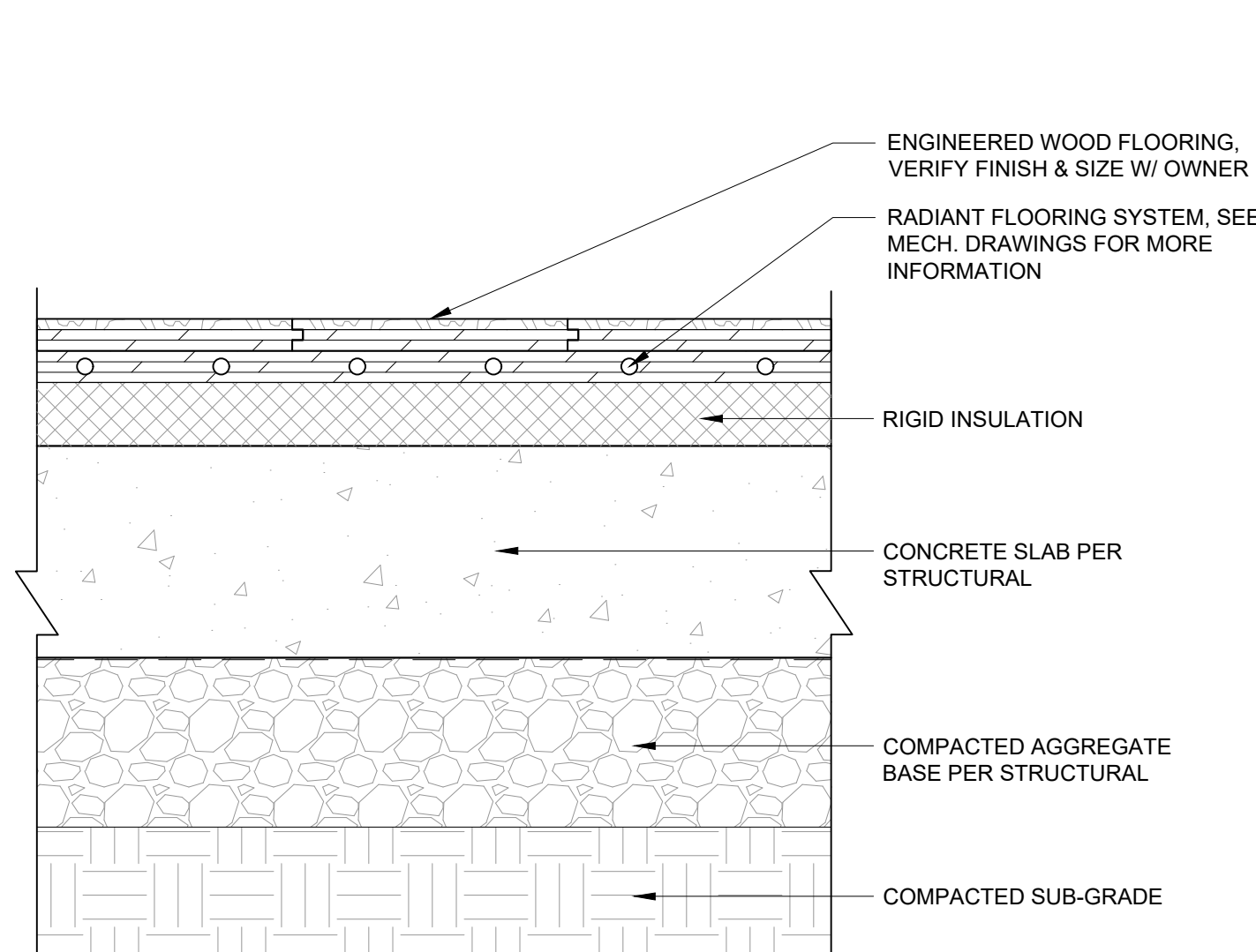
1 ROOF & EAVE DETAIL
SCALE: 1 1/2"=1'-0"



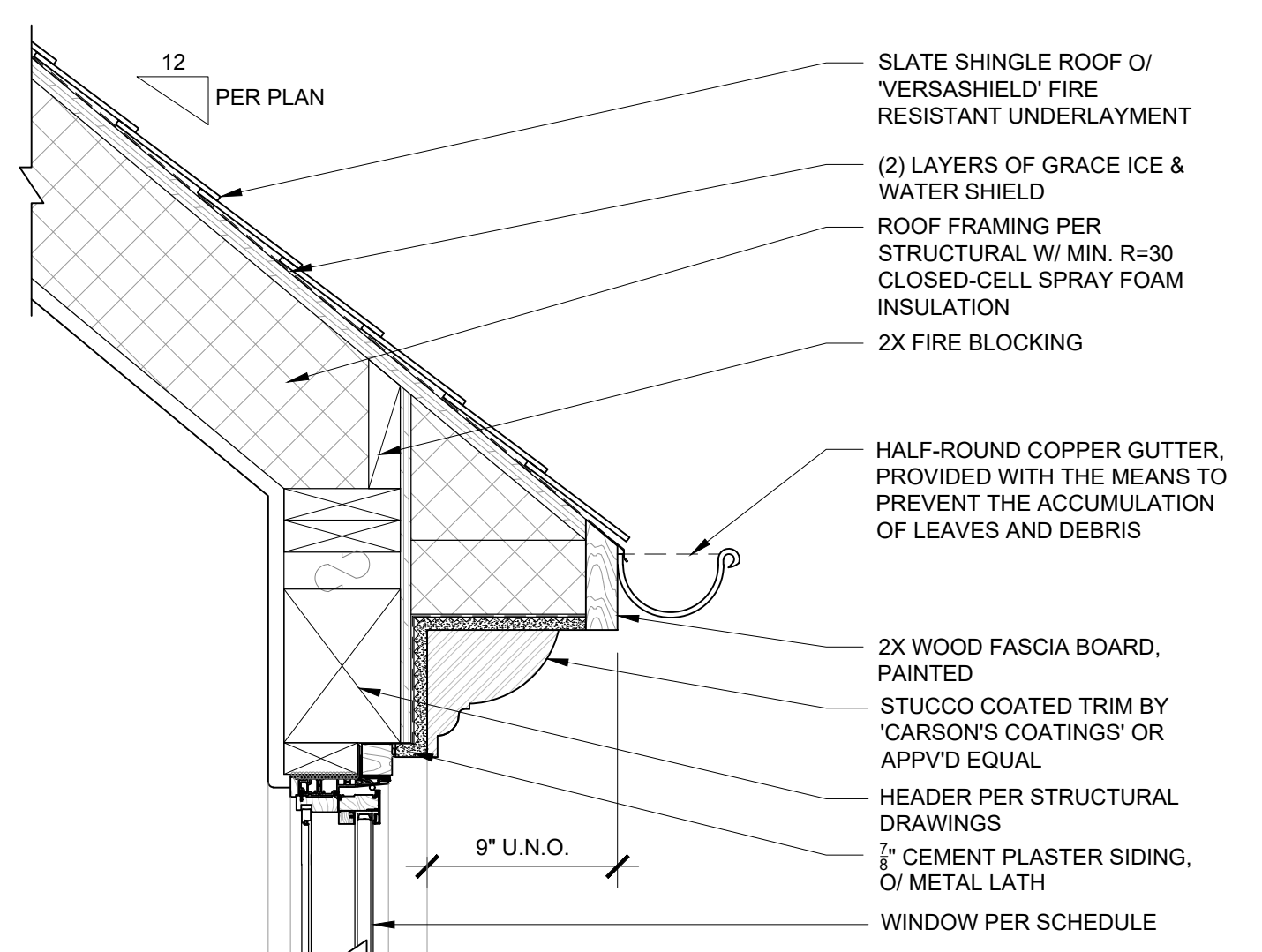
11 EXT. STONE TILE O/ CONCRETE SLAB DETAIL
SCALE: 3"=1'-0"



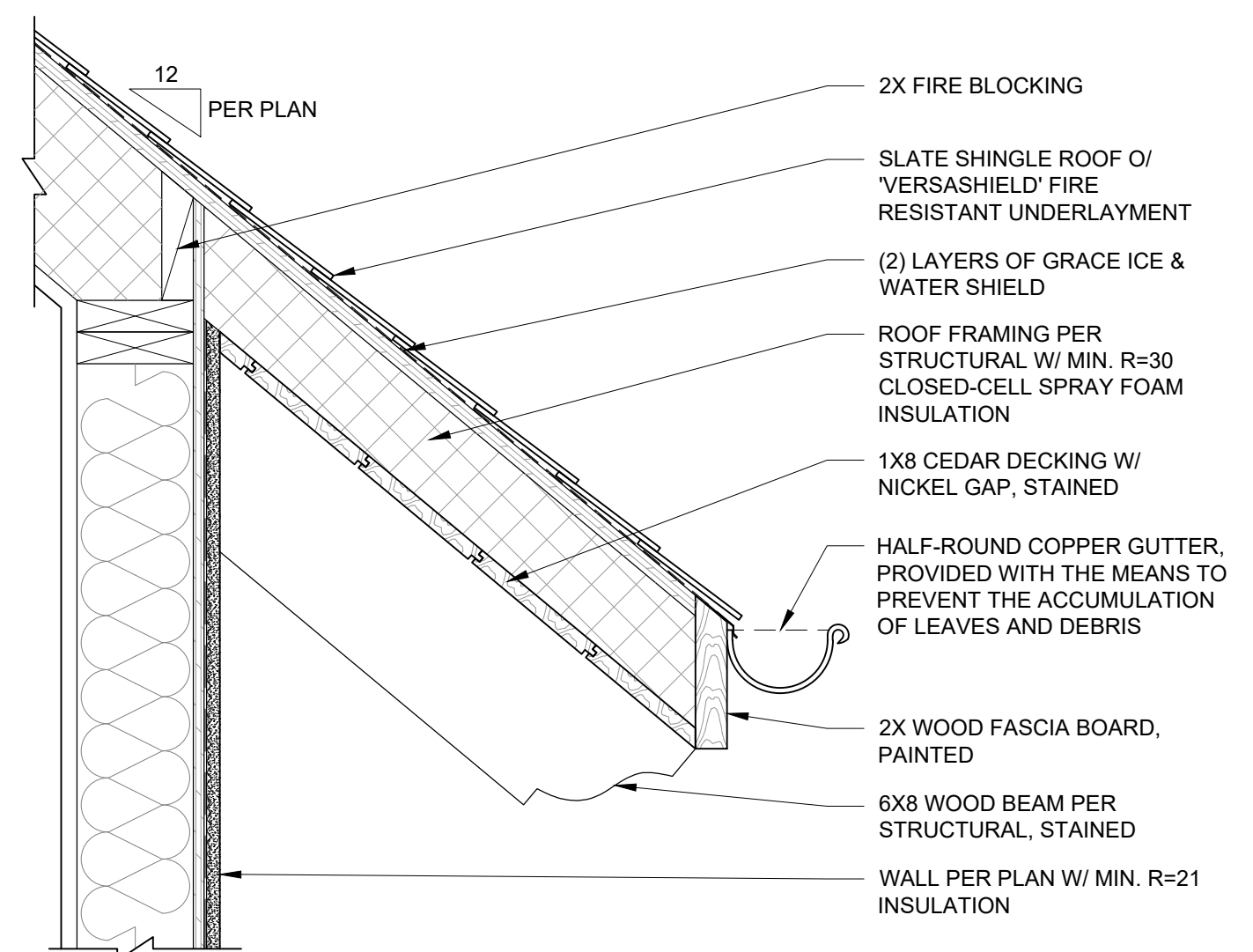
8 INTERIOR STONE TILE FLOOR DETAIL
SCALE: 3"=1'-0"



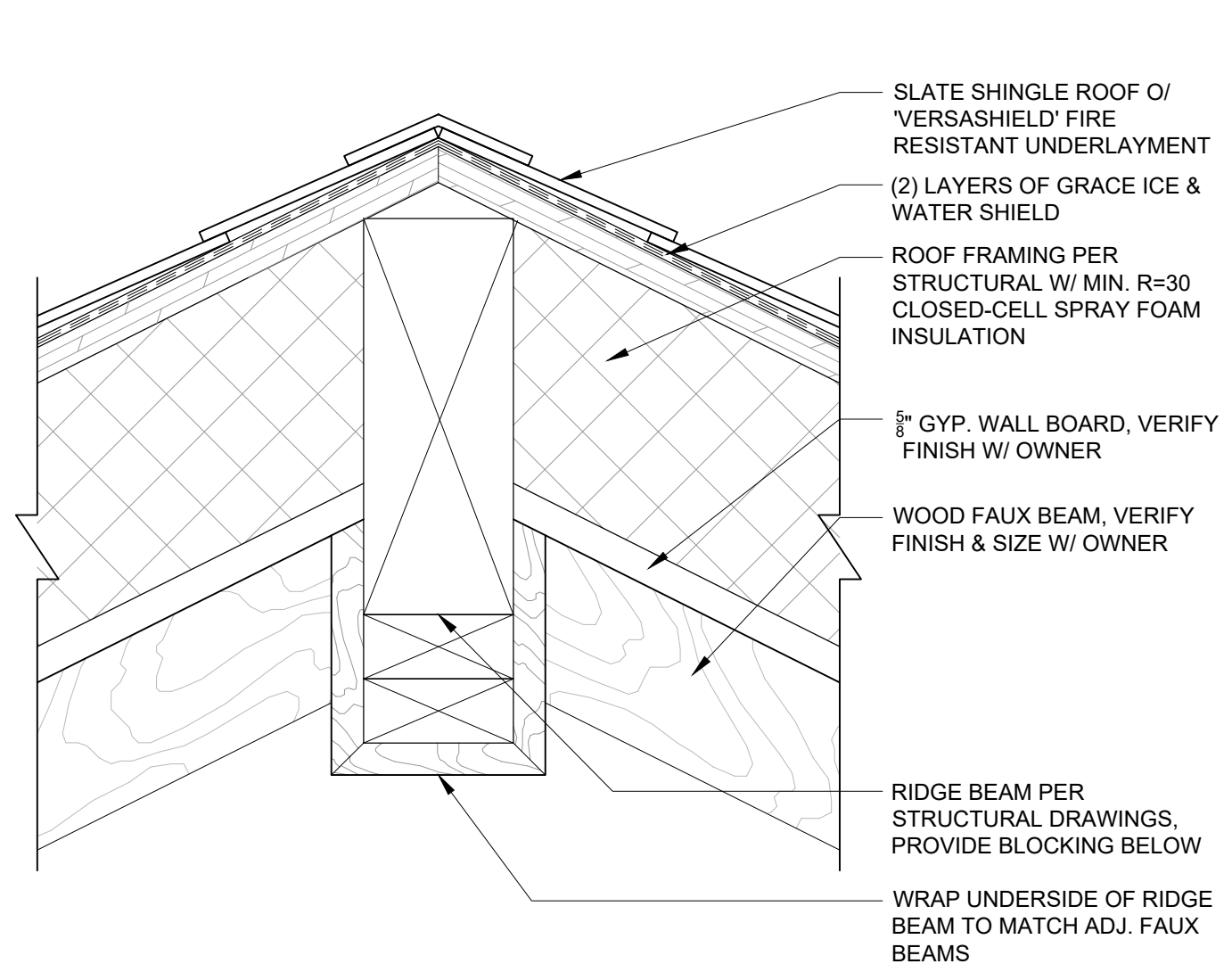
5 INTERIOR WOOD FLOORING DETAIL
SCALE: 3"=1'-0"



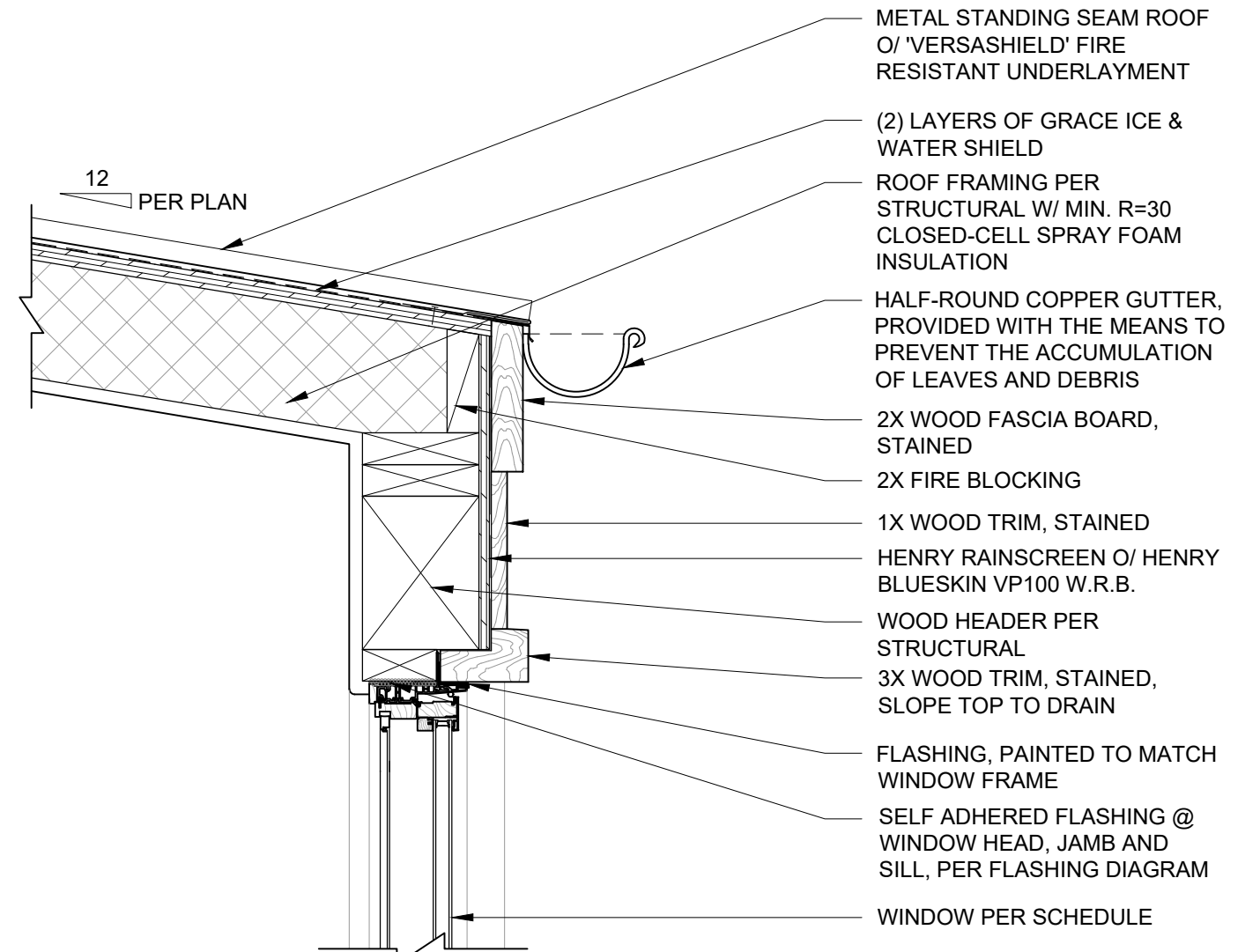
2 ROOF & EAVE DETAIL @ WINDOW
SCALE: 1 1/2"=1'-0"



9 ROOF & EAVE DETAIL
SCALE: 1 1/2"=1'-0"

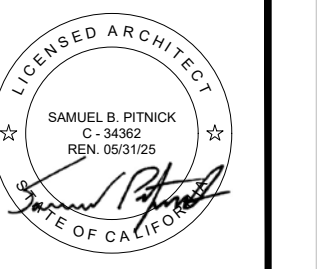


6 RIDGE BEAM DETAIL @ GYP. BD. CEILING
SCALE: 3"=1'-0"



3 ROOF & EAVE DETAIL
SCALE: 1 1/2"=1'-0"

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REVISIONS DATE

REVISIONS	DATE

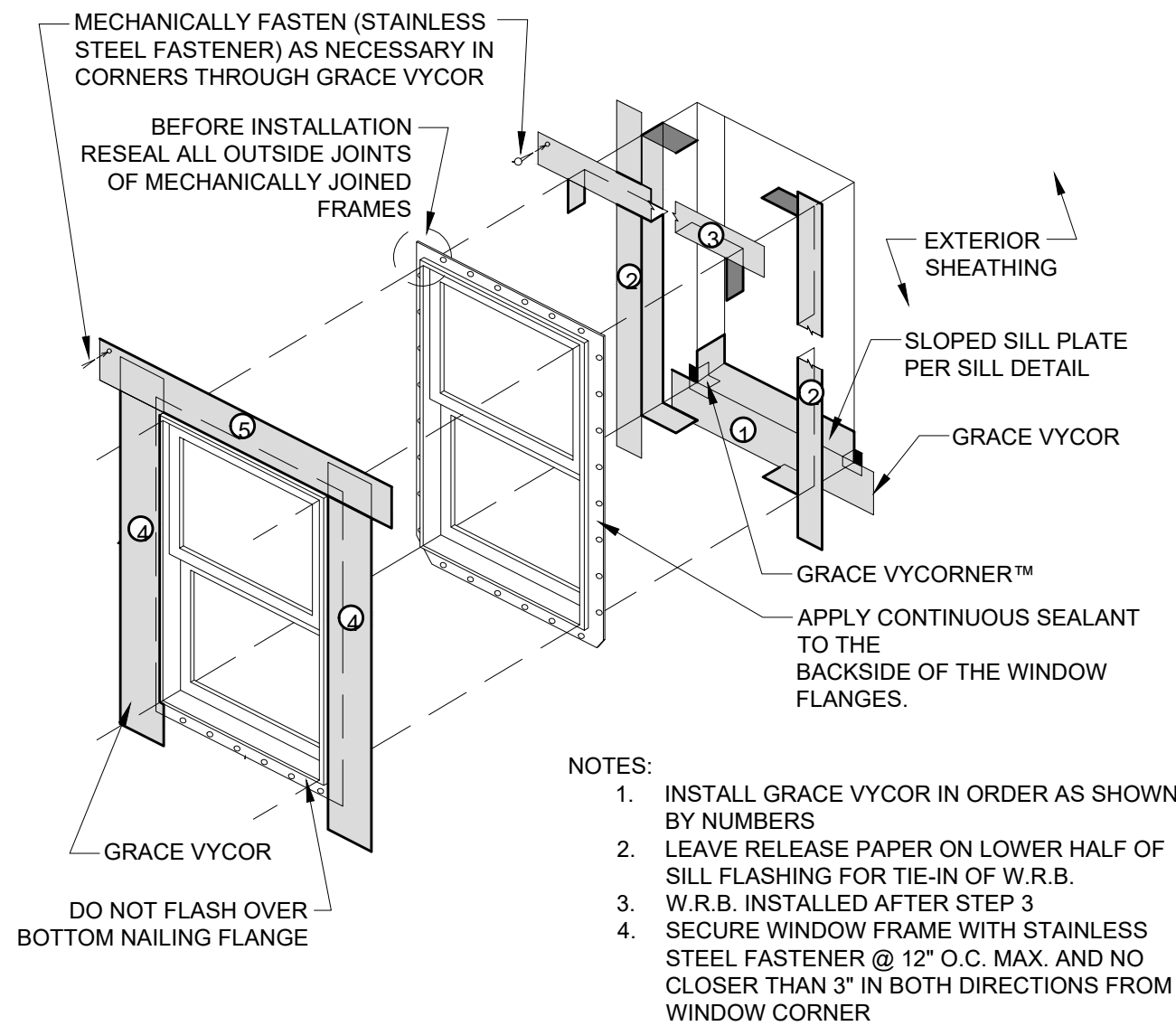
ARCHITECTURAL
CONSTRUCTION
DETAILS

Scale: SEE DWG.
Drawn By: SBP
Job: -

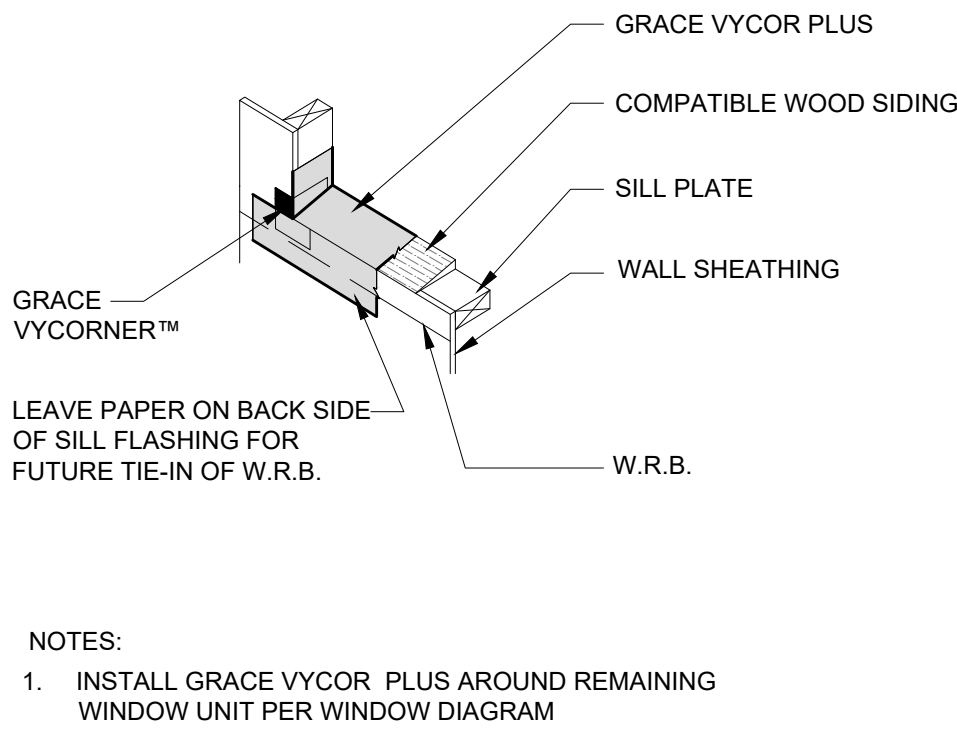
A6.1

12/28/2024

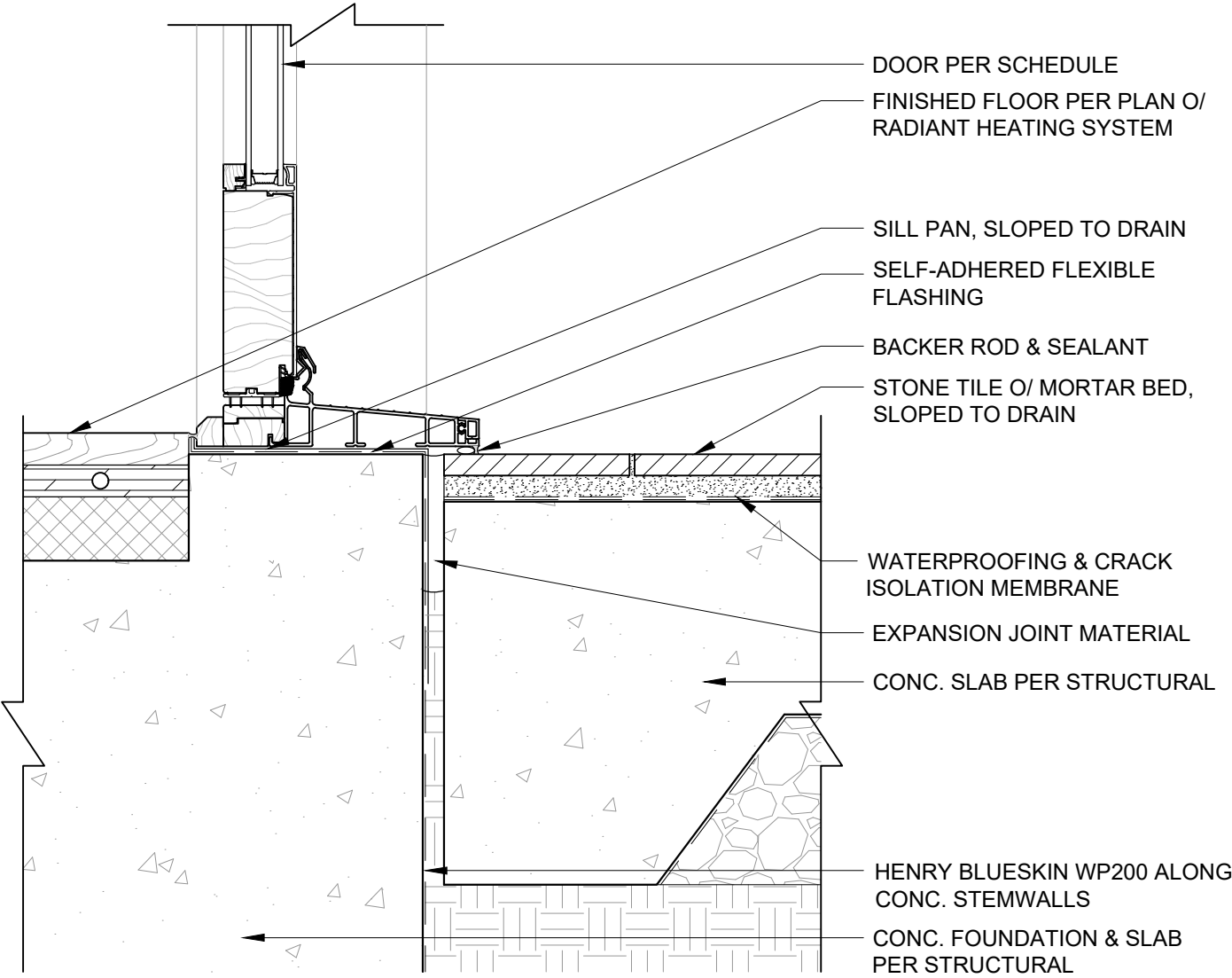
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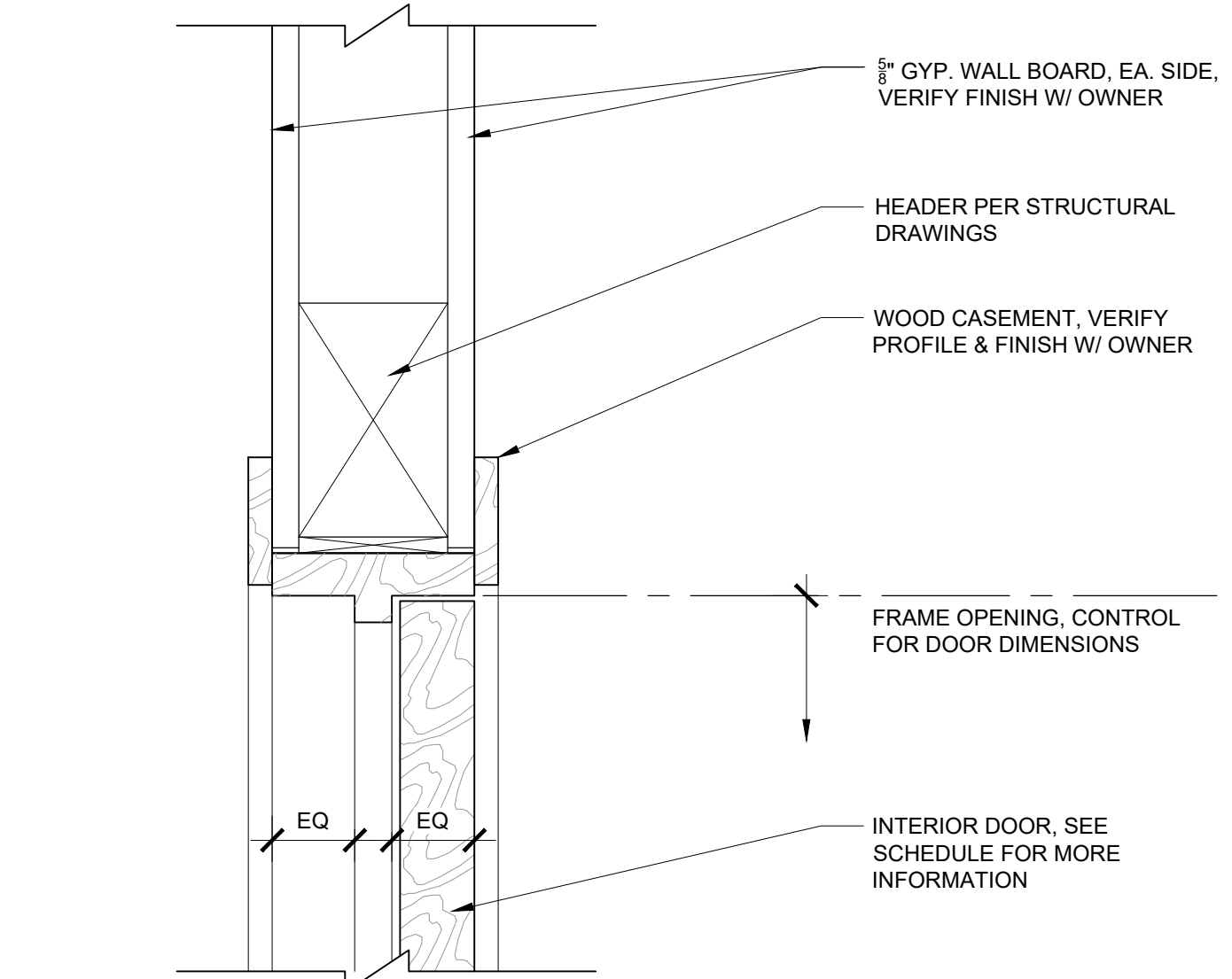
10 WINDOW FLASHING DIAGRAM
SCALE: N.T.S.



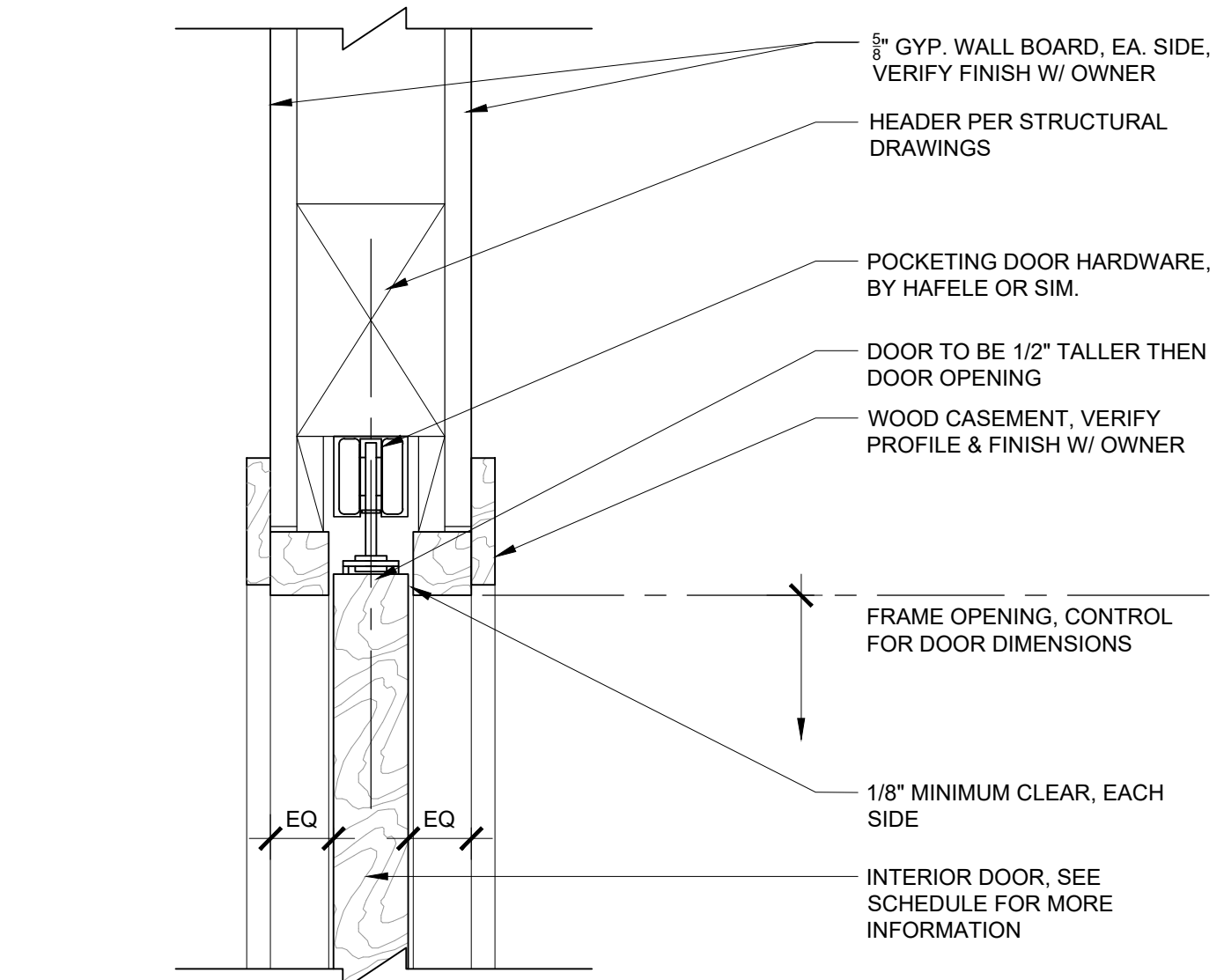
11 SILL FLASHING DIAGRAM
SCALE: N.T.S.



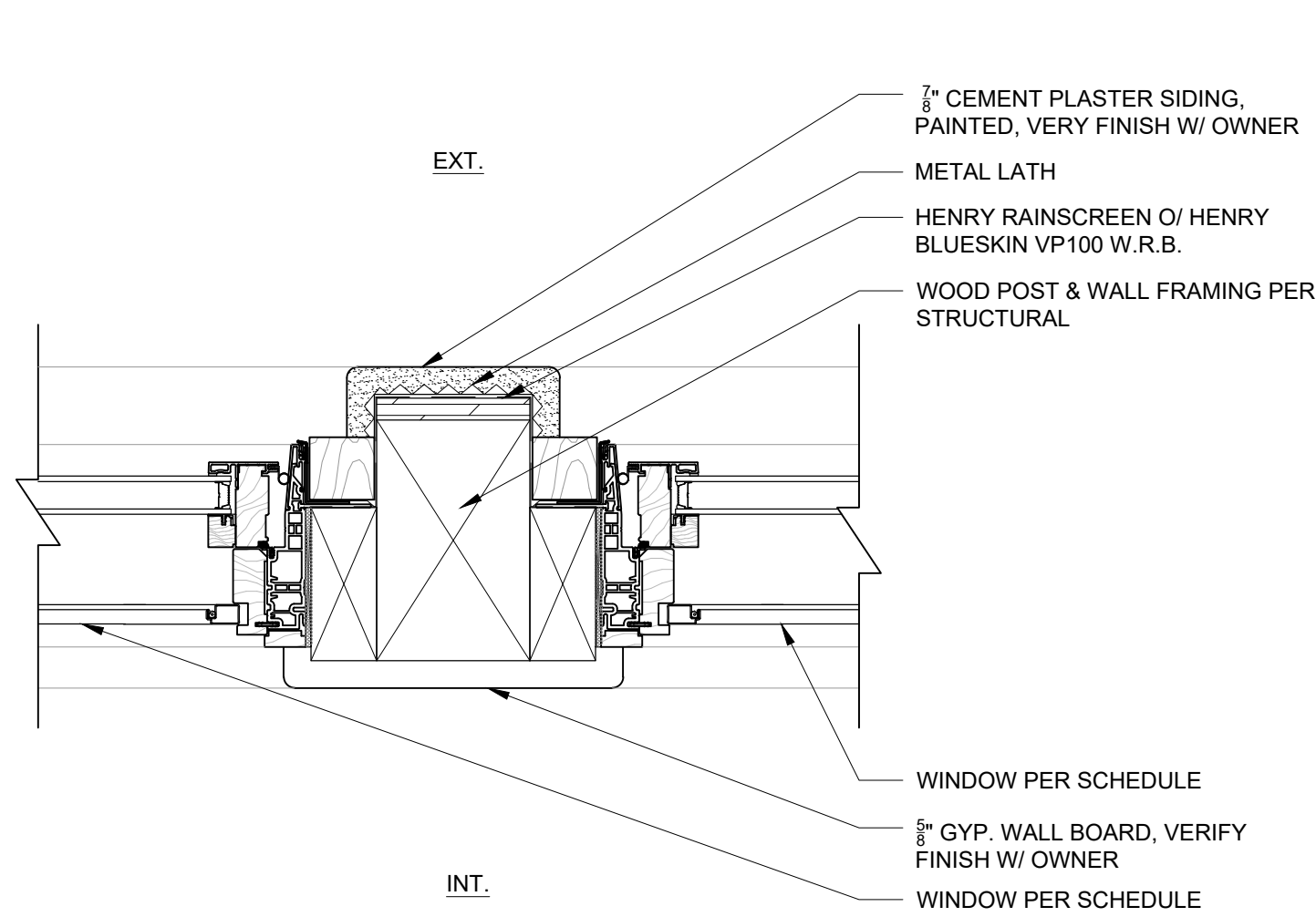
7 DOOR SILL DETAIL
SCALE: 3"=1'-0"



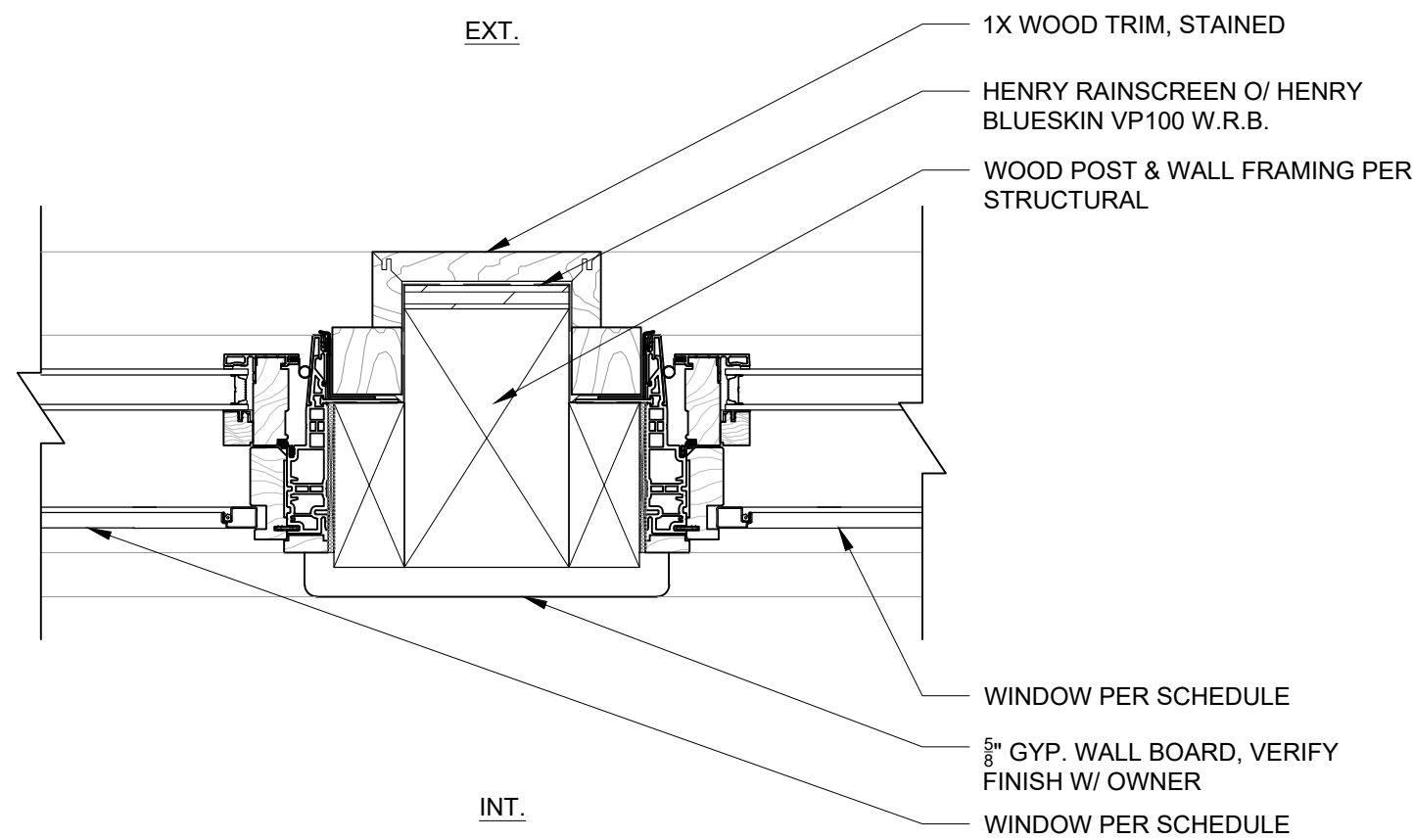
8 TYPICAL INTERIOR DOOR HEAD (JAMB SIM.)
SCALE: 3"=1'-0"



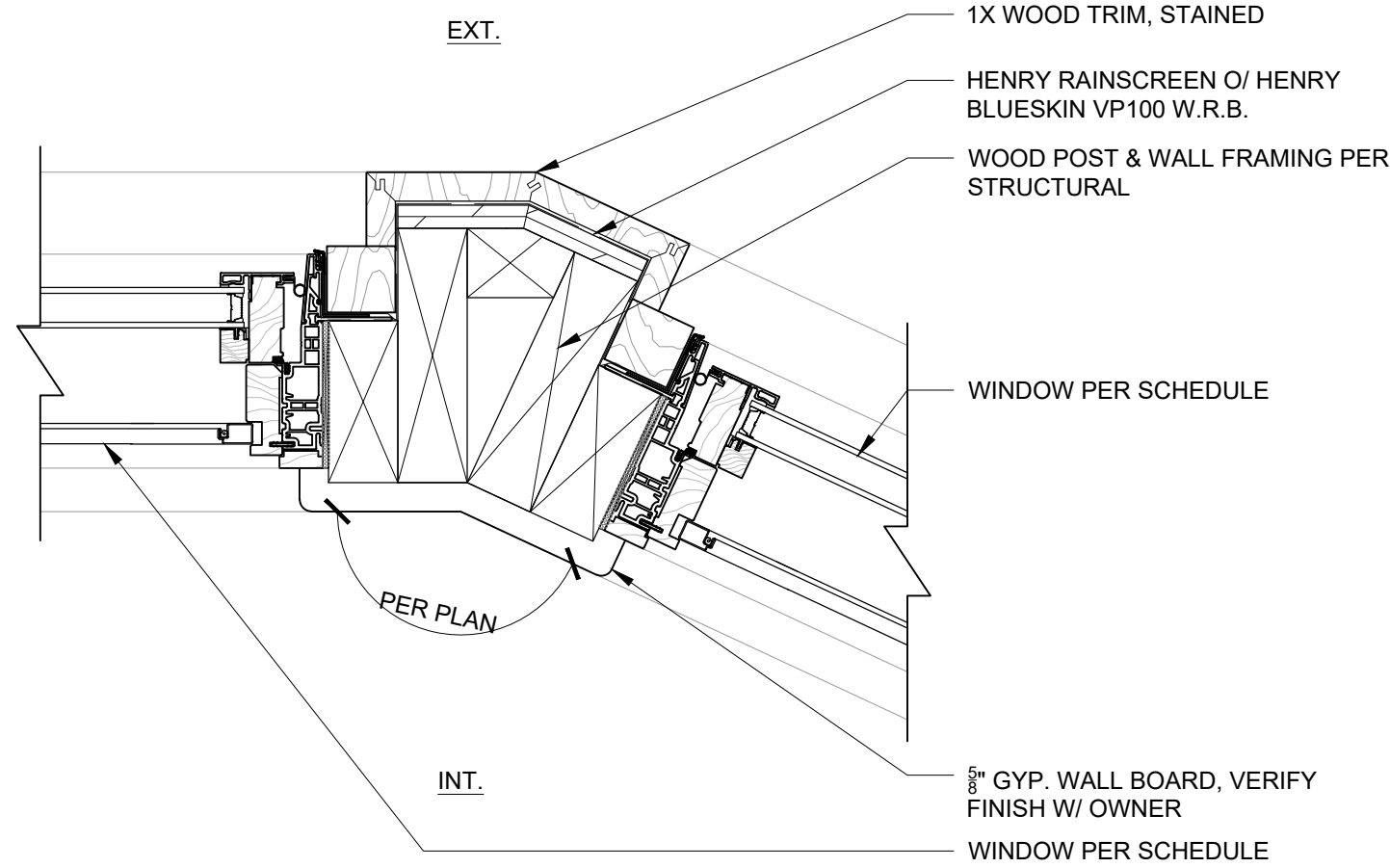
9 TYPICAL INTERIOR DOOR HEAD (JAMB SIM.)
SCALE: 3"=1'-0"



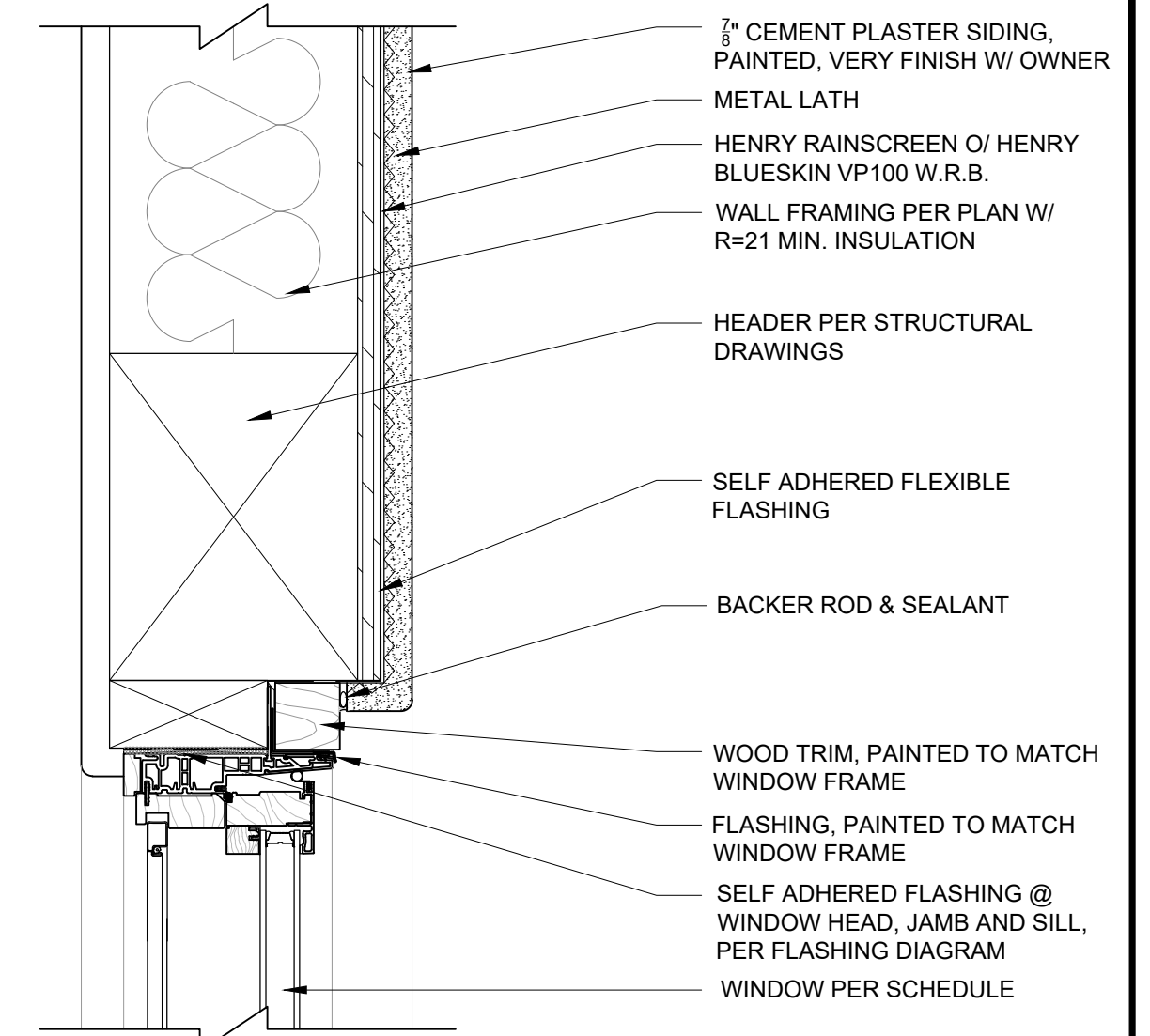
4 WINDOW DETAIL @ POST
SCALE: 3"=1'-0"



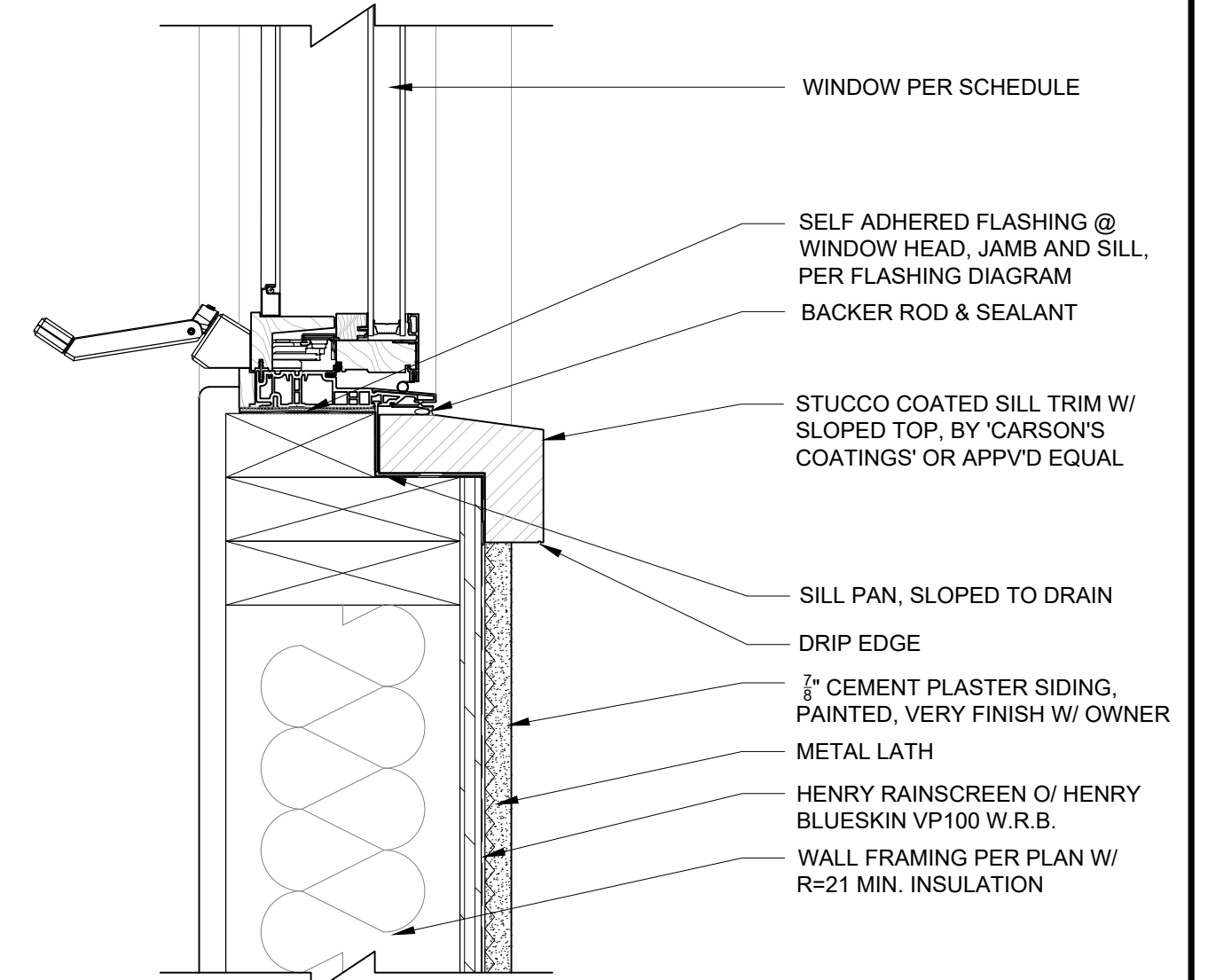
5 WINDOW DETAIL @ POST
SCALE: 3"=1'-0"



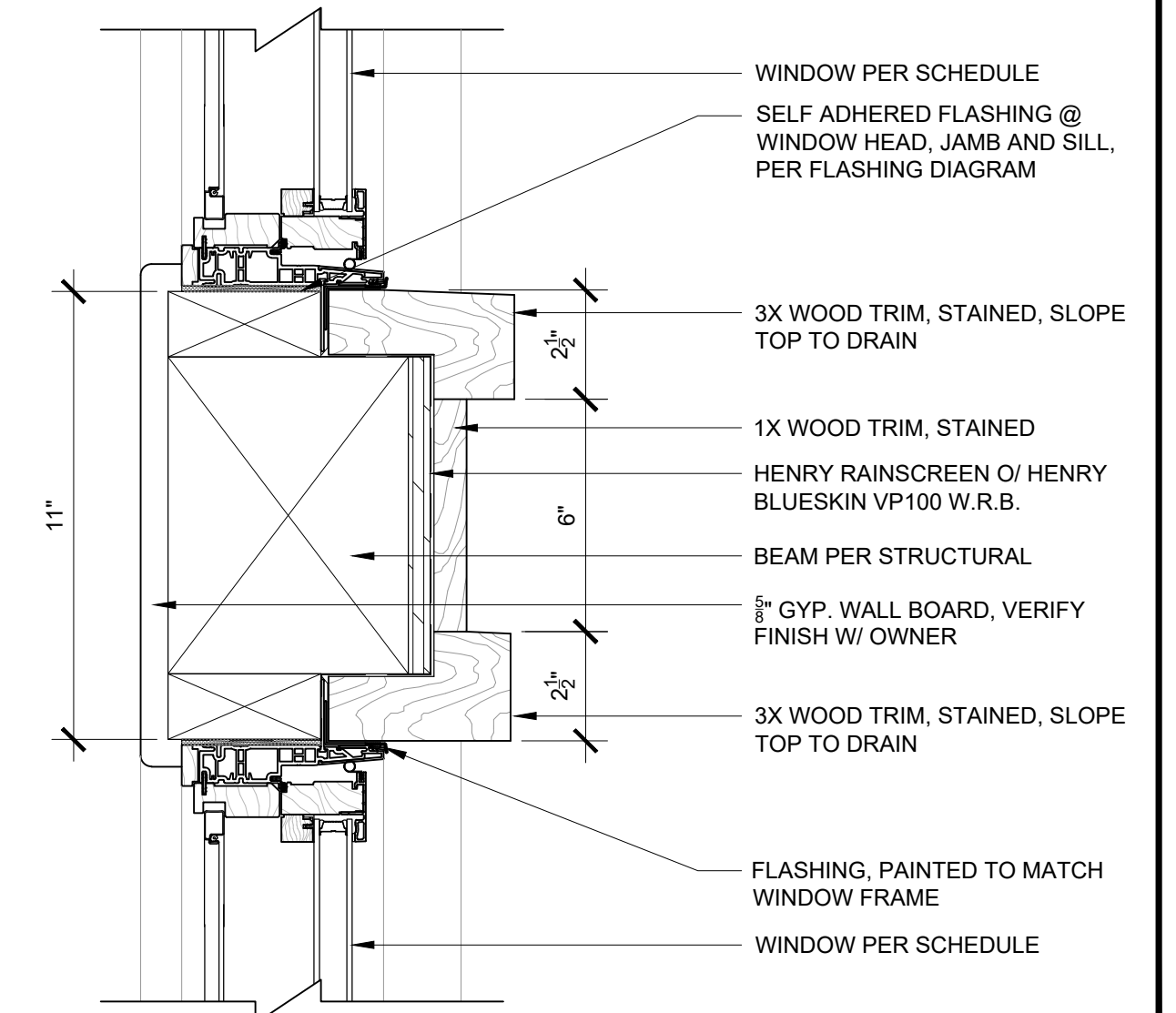
6 WINDOW DETAIL @ POST
SCALE: 3"=1'-0"



1 TYPICAL WINDOW HEAD (JAMB SIM.) @ STUCCO SIDING
SCALE: 3"=1'-0"

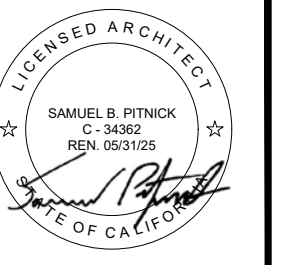


2 TYPICAL WINDOW SILL @ STUCCO SIDING
SCALE: 3"=1'-0"



3 WINDOW DETAIL @ BEAM
SCALE: 3"=1'-0"

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REVISIONS DATE

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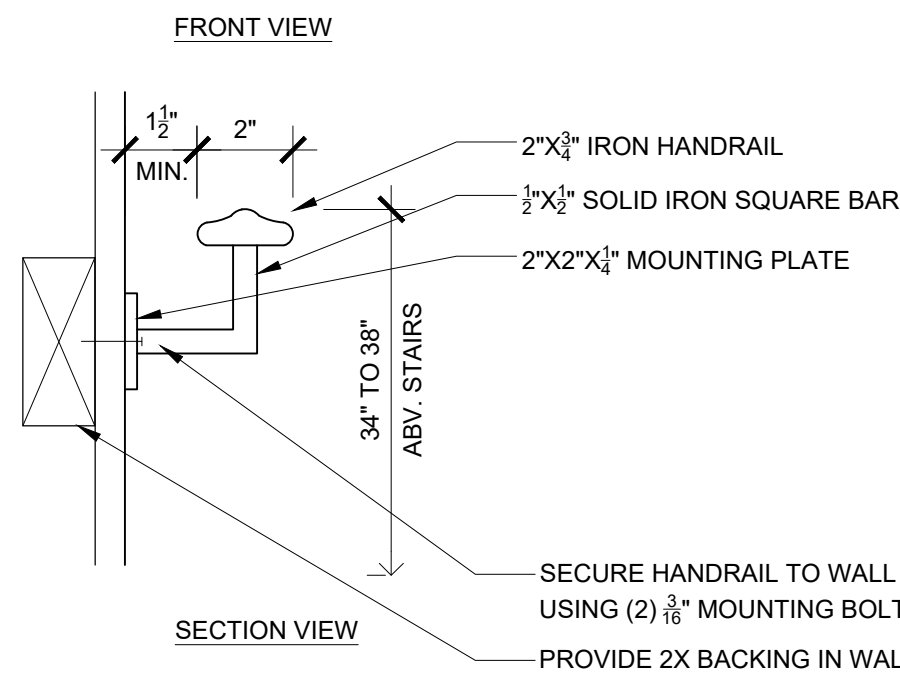
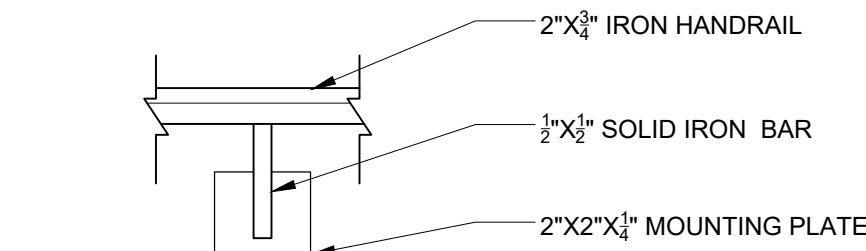
ARCHITECTURAL
CONSTRUCTION
DETAILS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A6.2

12/28/2024

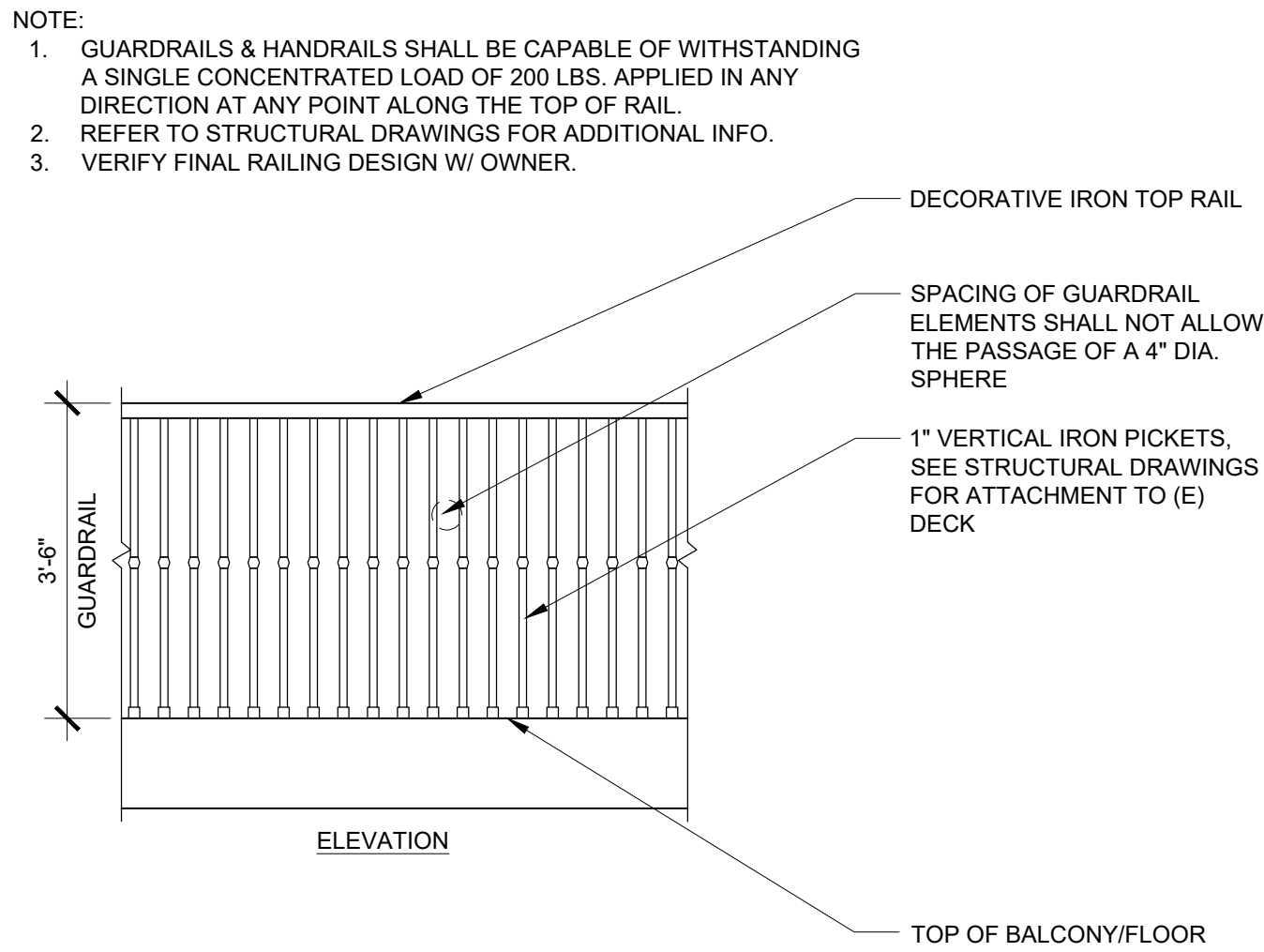
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- NOTE:
- HANDRAILS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF RAIL.
 - VERIFY FINAL HANDRAIL PROFILE & FINISH WITH OWNER/ARCHITECT.
 - HANDRAIL CONNECTIONS TO BE FACTORY WELDED IN AN APPROVED WELDING SHOP, TYPICAL.

10 HANDRAIL DETAIL

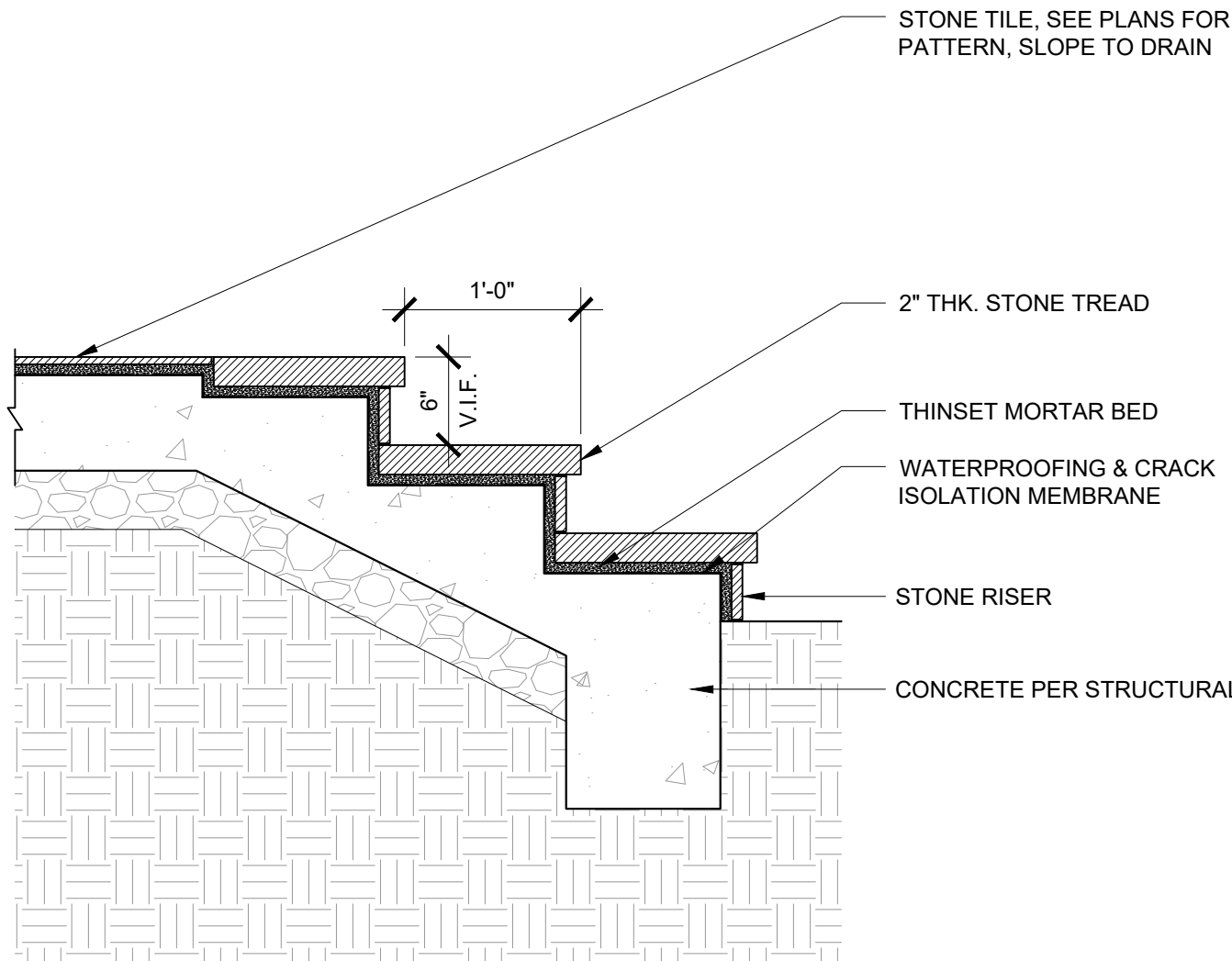
SCALE: 3"=1'-0"



- NOTE:
- GUARDRAILS & HANDRAILS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF RAIL.
 - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - VERIFY FINAL RAILING DESIGN W/ OWNER.

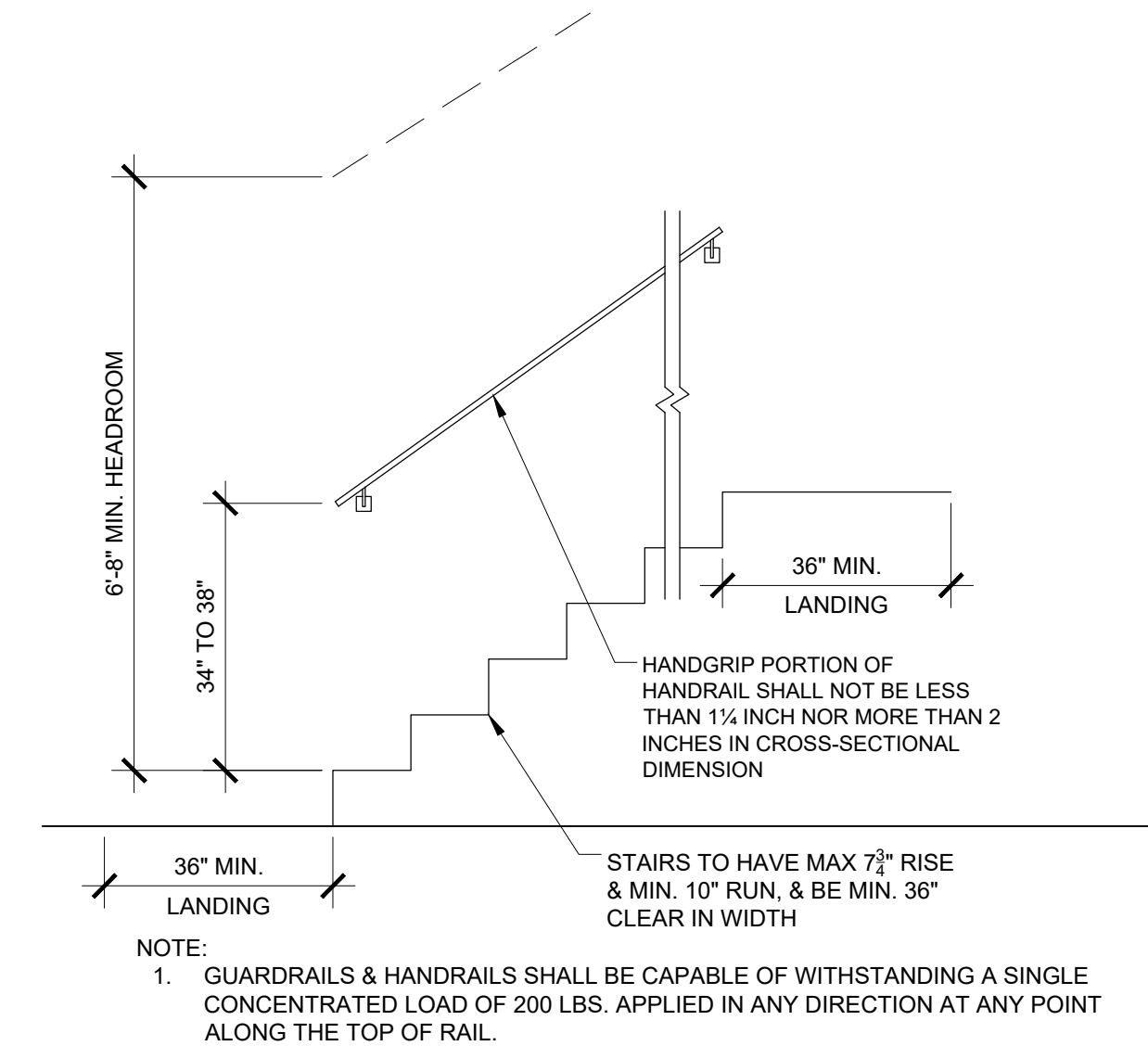
7 GUARDRAIL/BALCONY DETAIL

SCALE: 1/2"=1'-0"



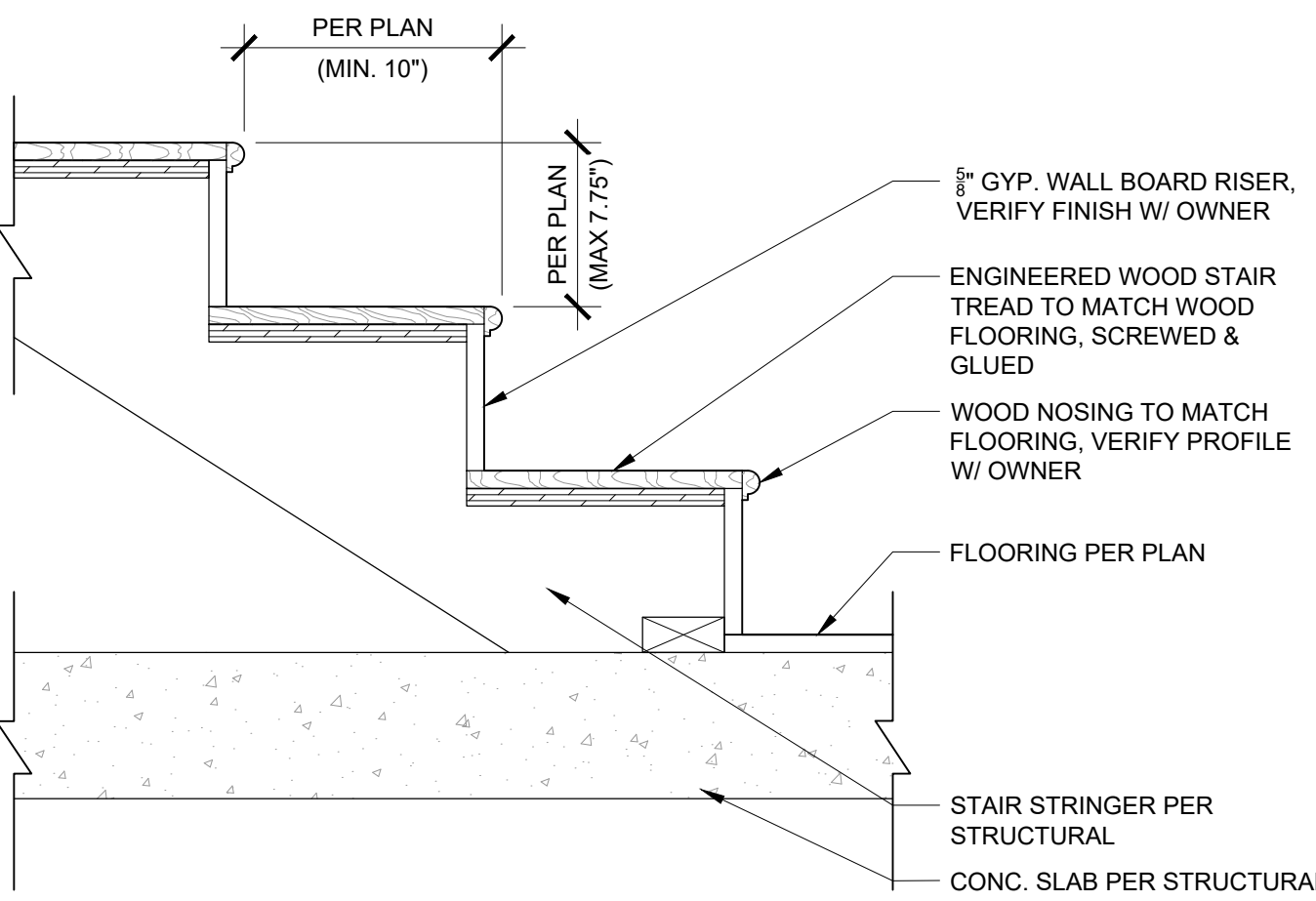
11 STONE STEPS DETAIL

SCALE: 1"=1'-0"



8 STAIR RAILING DETAIL

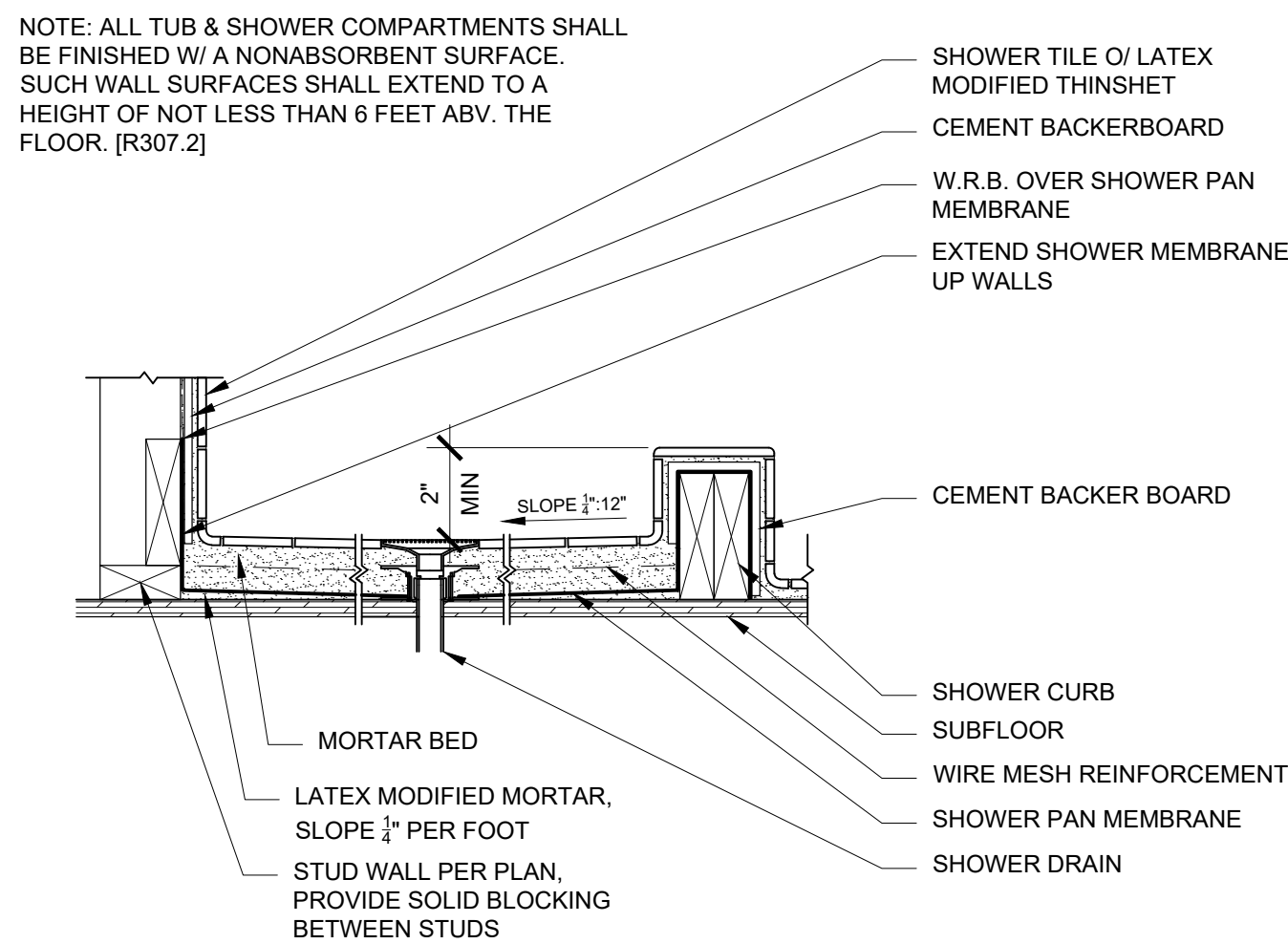
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NOTE:
REFER TO STRUCTURAL DRAWINGS & DETAILS FOR MORE INFO.

9 STAIRCASE DETAIL

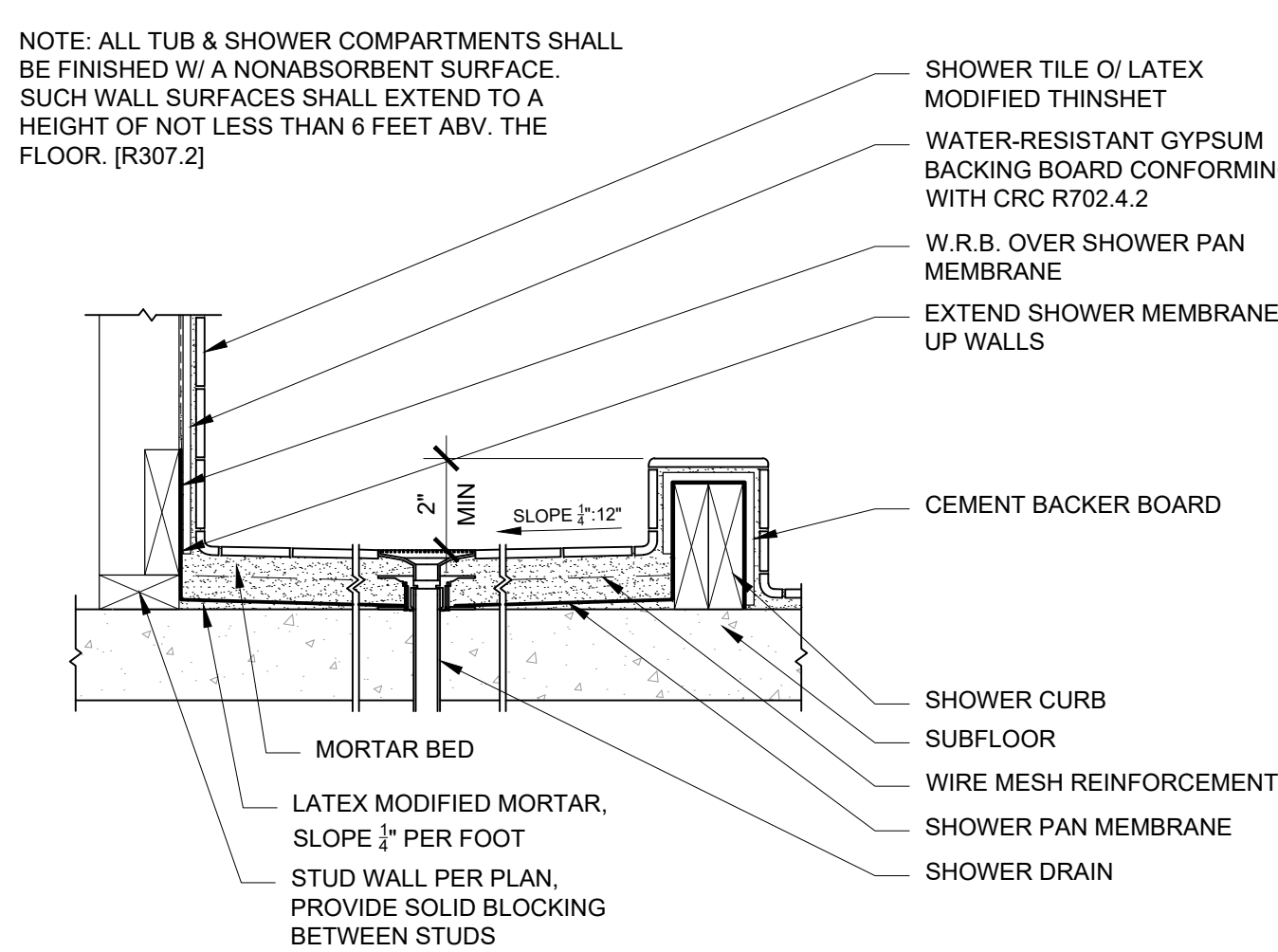
SCALE: 1 1/2"=1'-0"



- NOTE: ALL TUB & SHOWER COMPARTMENTS SHALL BE FINISHED W/ A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABV. THE FLOOR. [R307.2]

4 SHOWER W/ CURB DETAIL

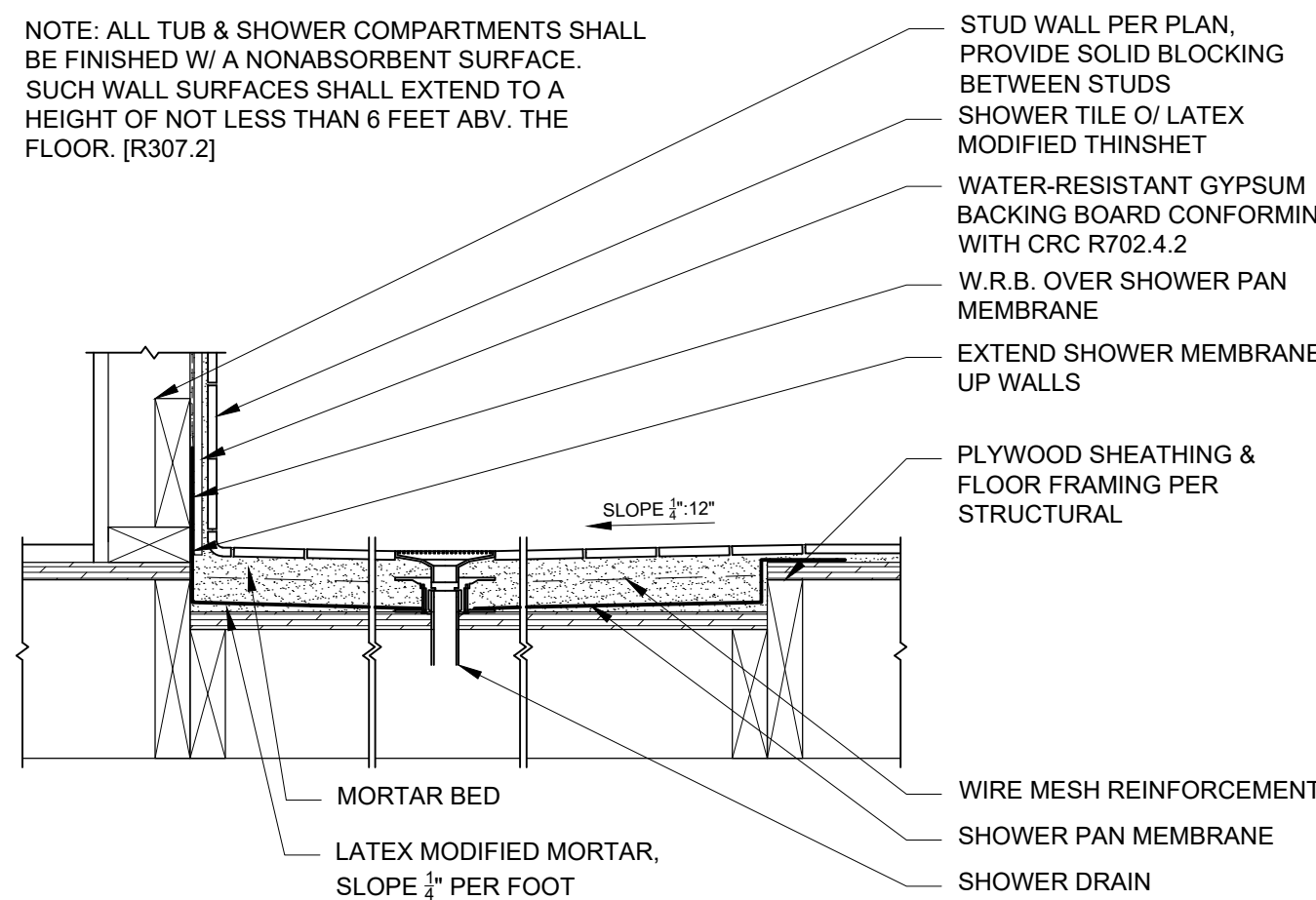
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- NOTE: ALL TUB & SHOWER COMPARTMENTS SHALL BE FINISHED W/ A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABV. THE FLOOR. [R307.2]

5 SHOWER W/ CURB DETAIL

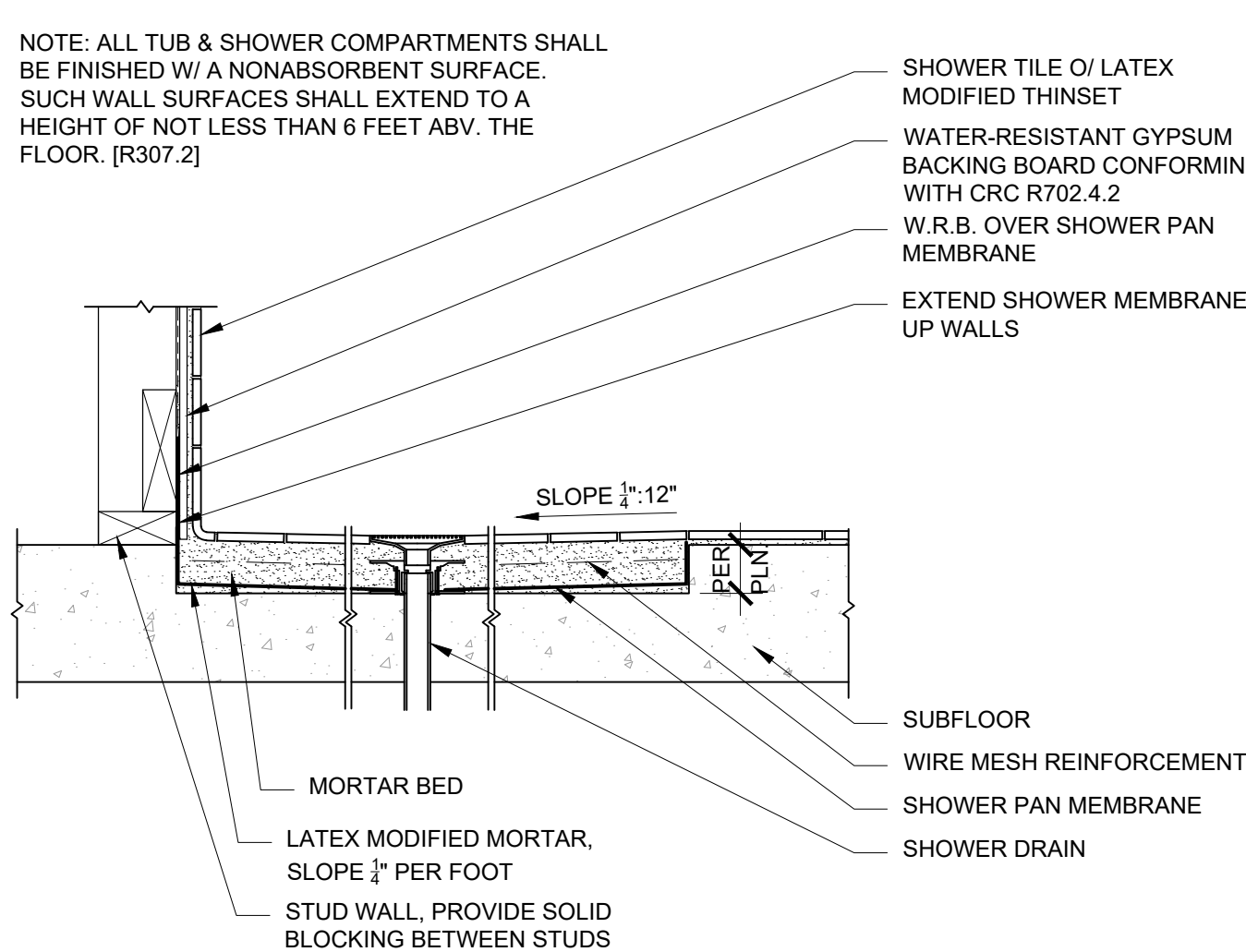
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1 CURBLESS SHOWER DETAIL

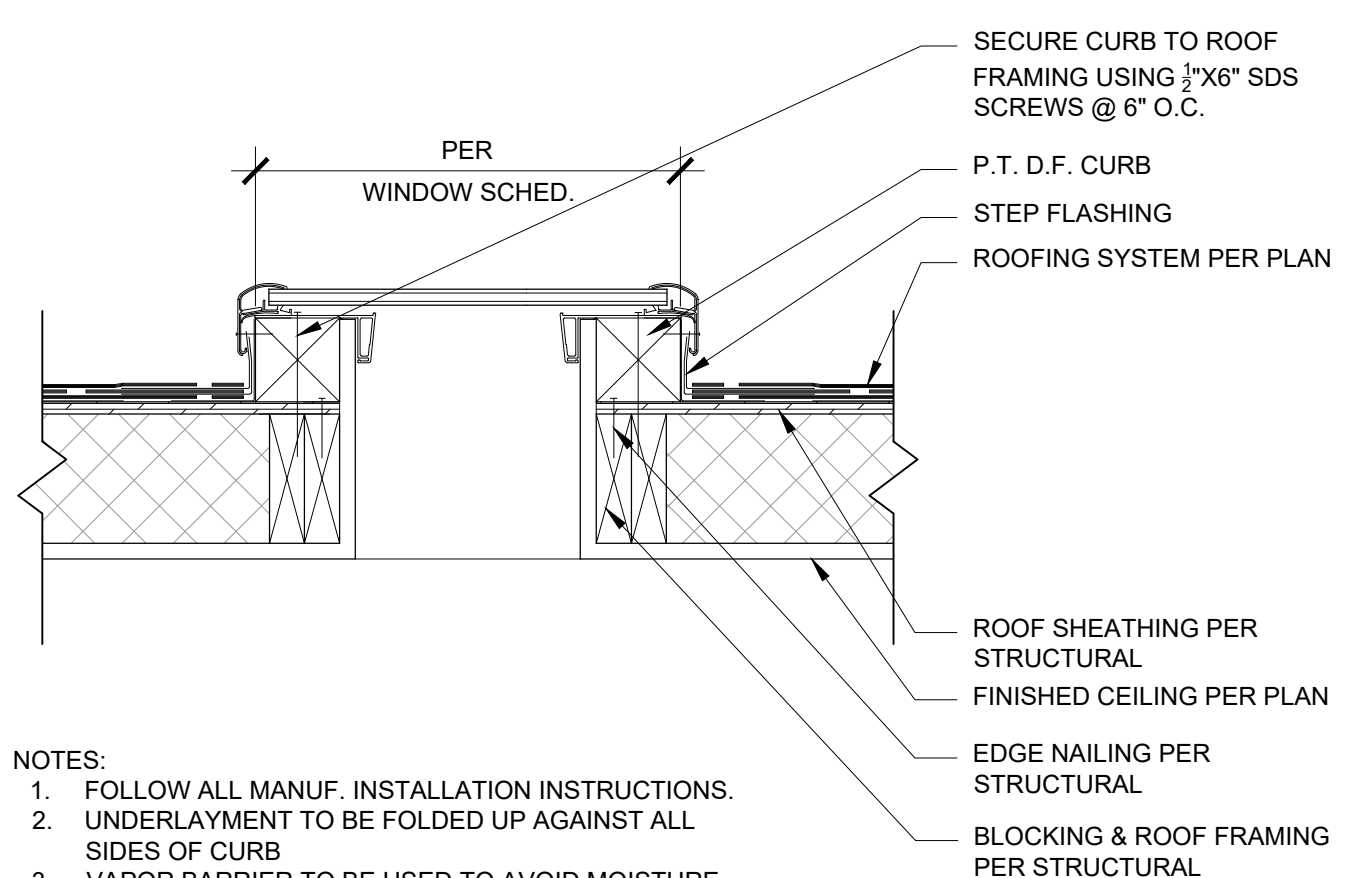
SCALE: 1 1/2"=1'-0"



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2 CURBLESS SHOWER DETAIL

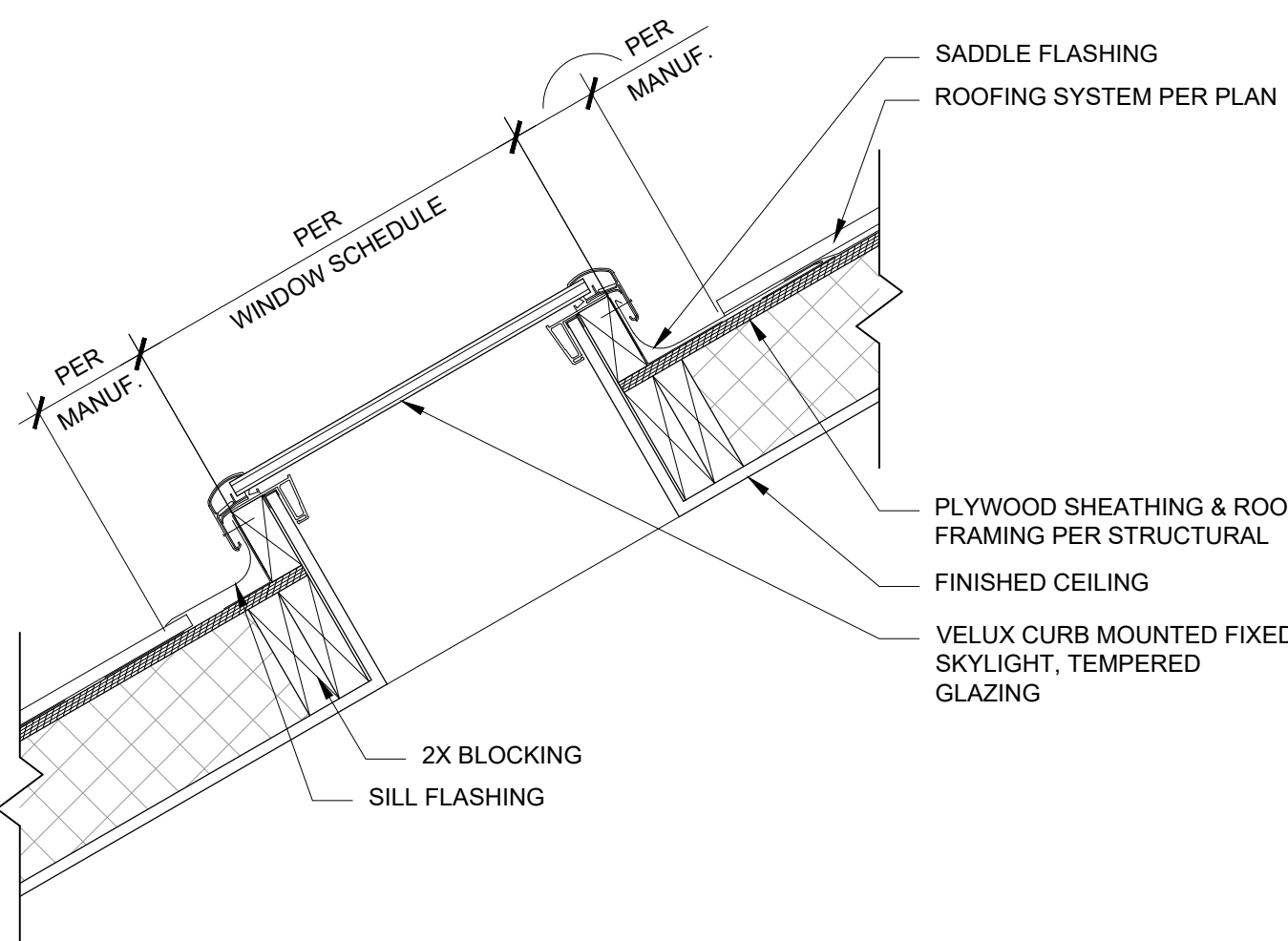
SCALE: 1 1/2"=1'-0"



- NOTES:
- FOLLOW ALL MANUF. INSTALLATION INSTRUCTIONS.
 - UNDERLAYMENT TO BE FOLDED UP AGAINST ALL SIDES OF CURB
 - VAPOR BARRIER TO BE USED TO AVOID MOISTURE
 - WRAP CURB IN UNDERLAYMENT
 - CURBS TO BE MIN. 4" ABV. FINISHED ROOF, FLASH & COUNTER-FLASH

6 SKYLIGHT DETAIL - CROSS SECTION

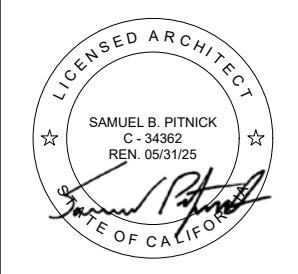
SCALE: 1 1/2"=1'-0"



3 SKYLIGHT DETAIL

SCALE: 1 1/2"=1'-0"

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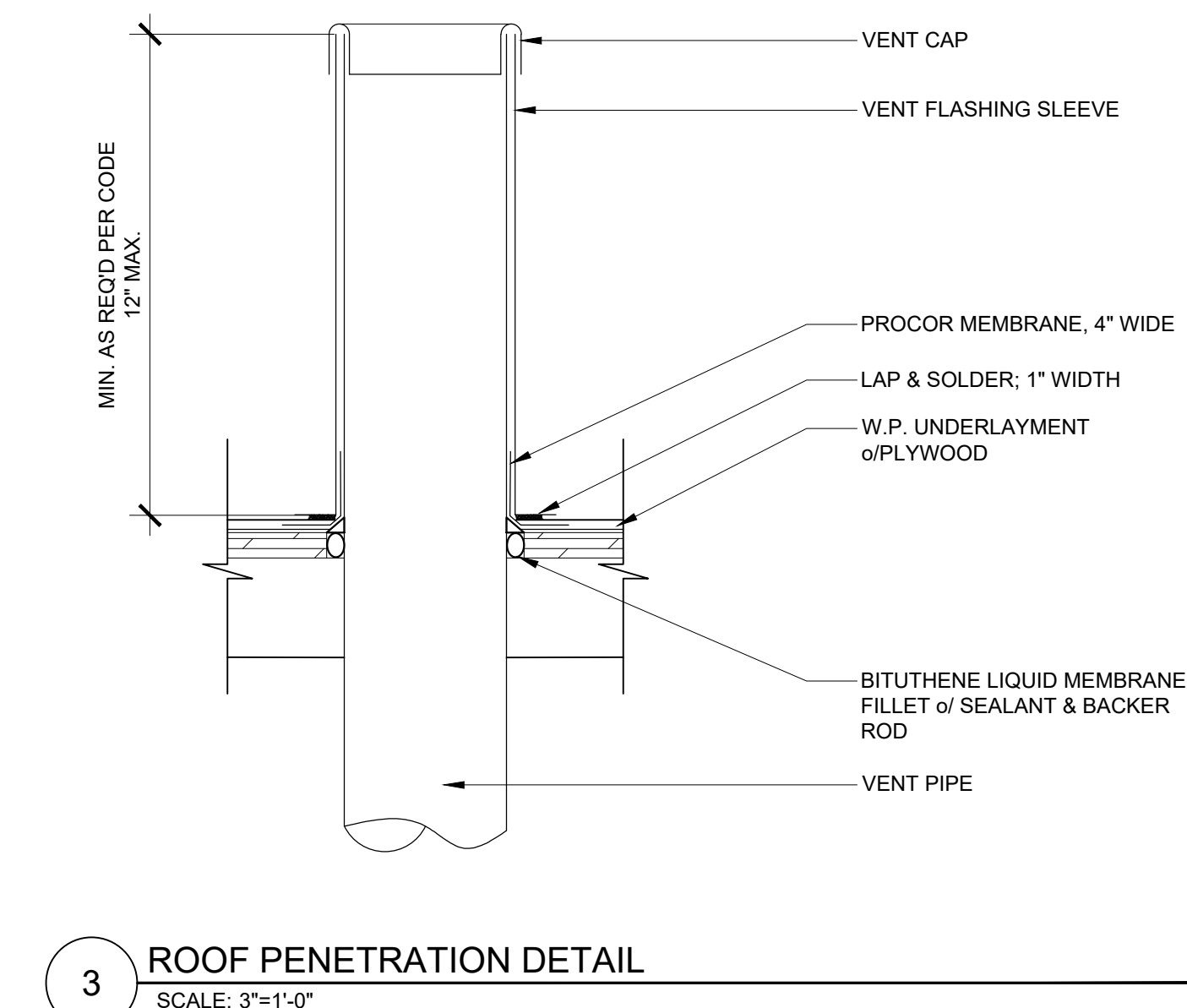
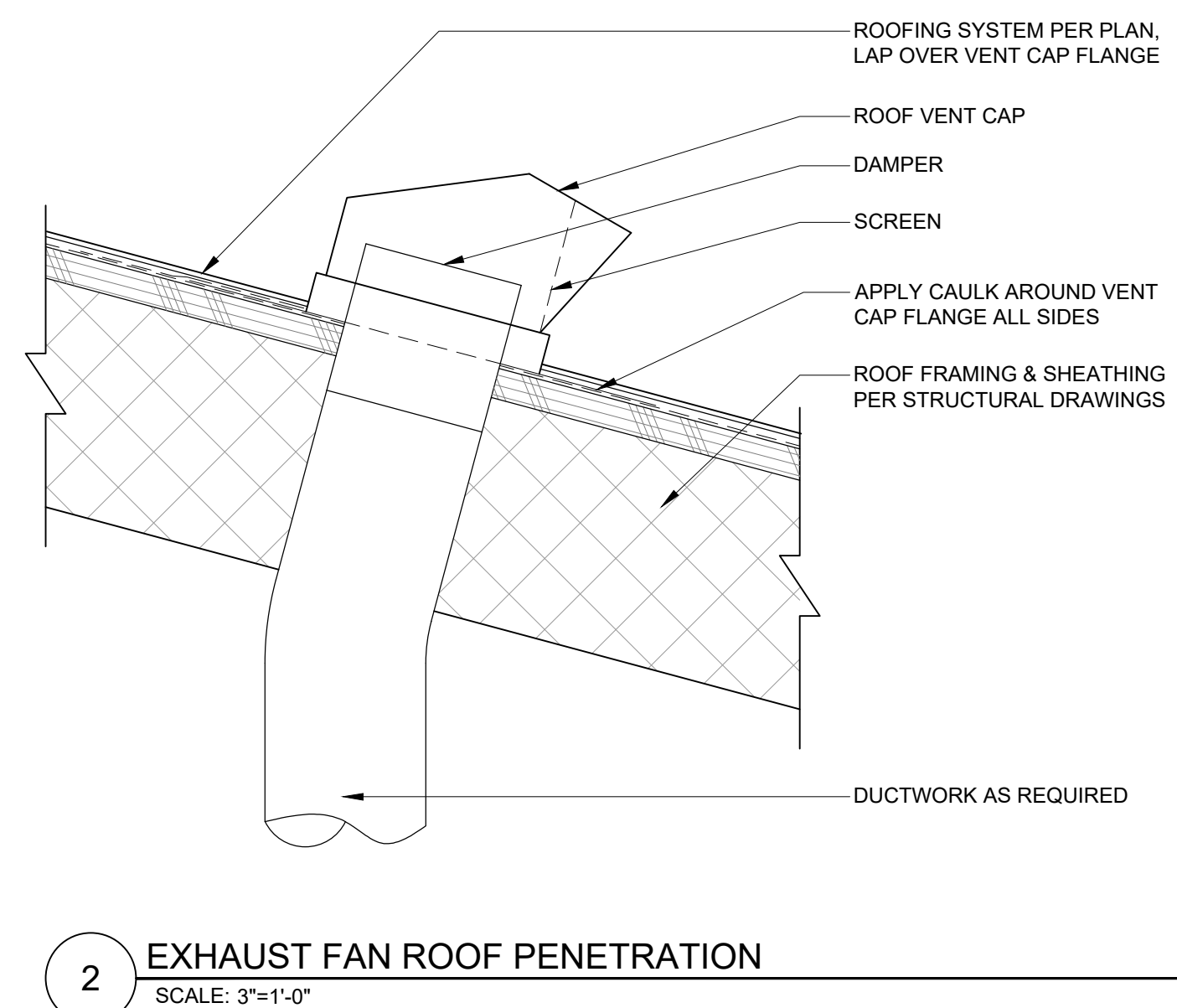
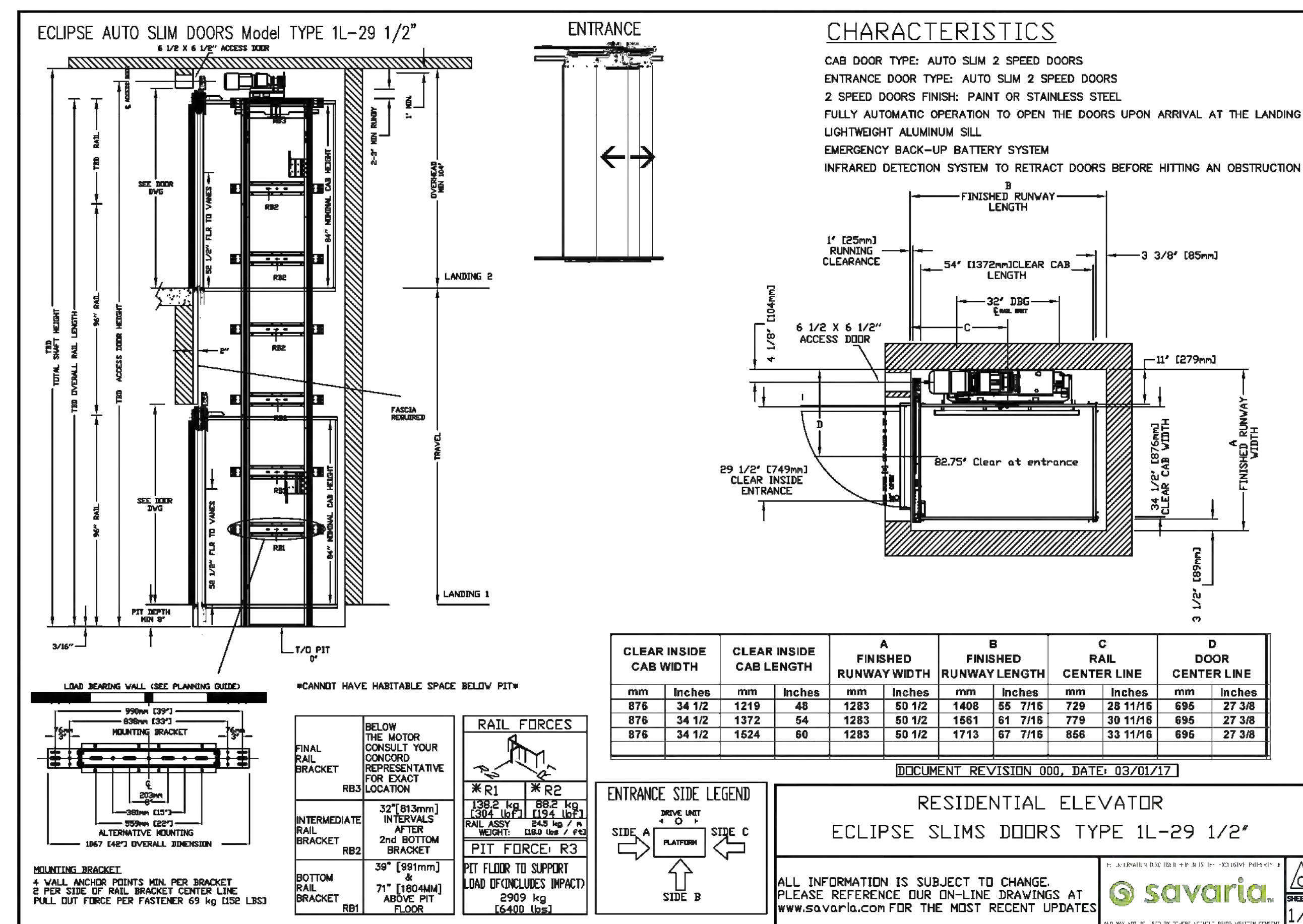
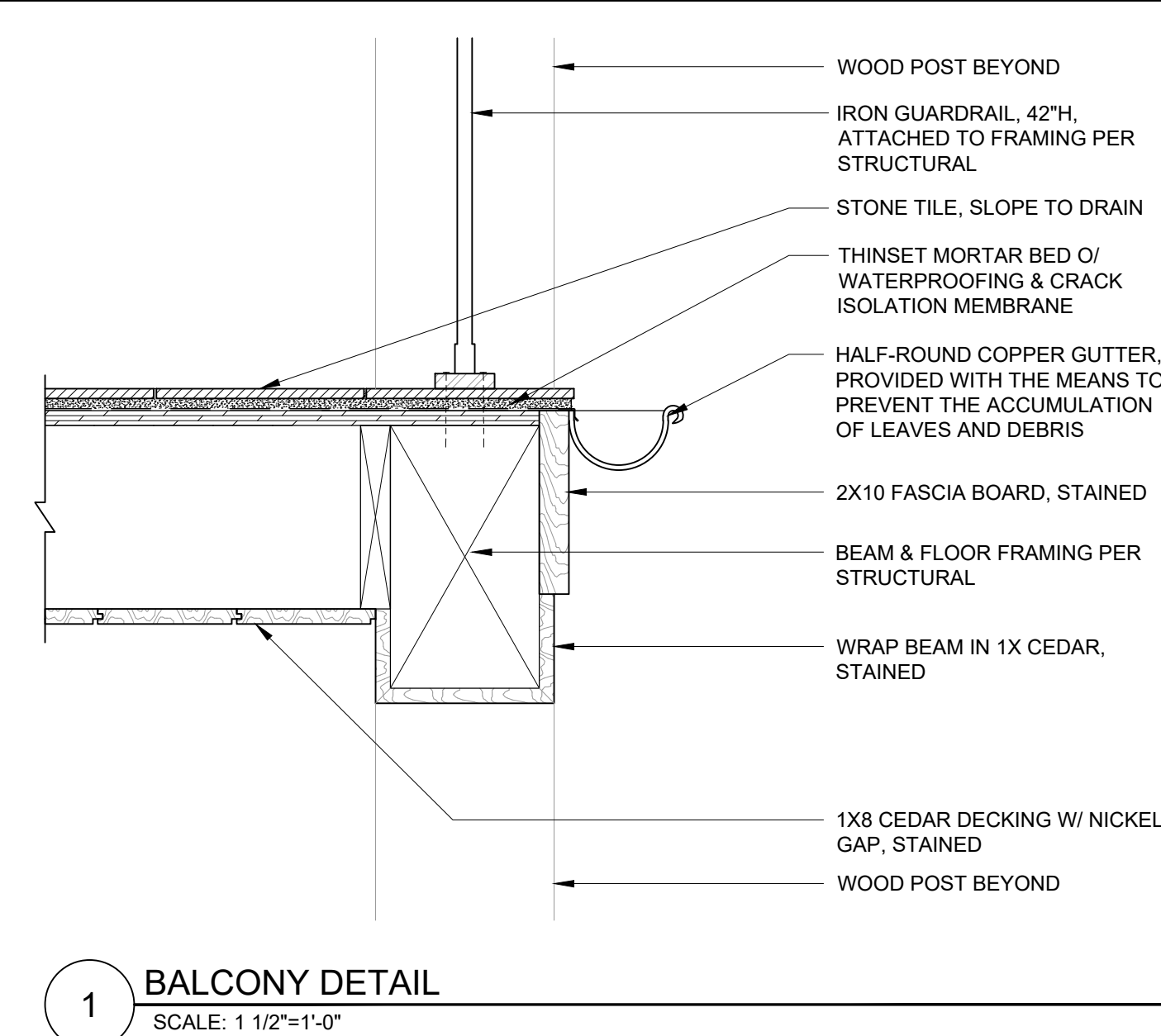
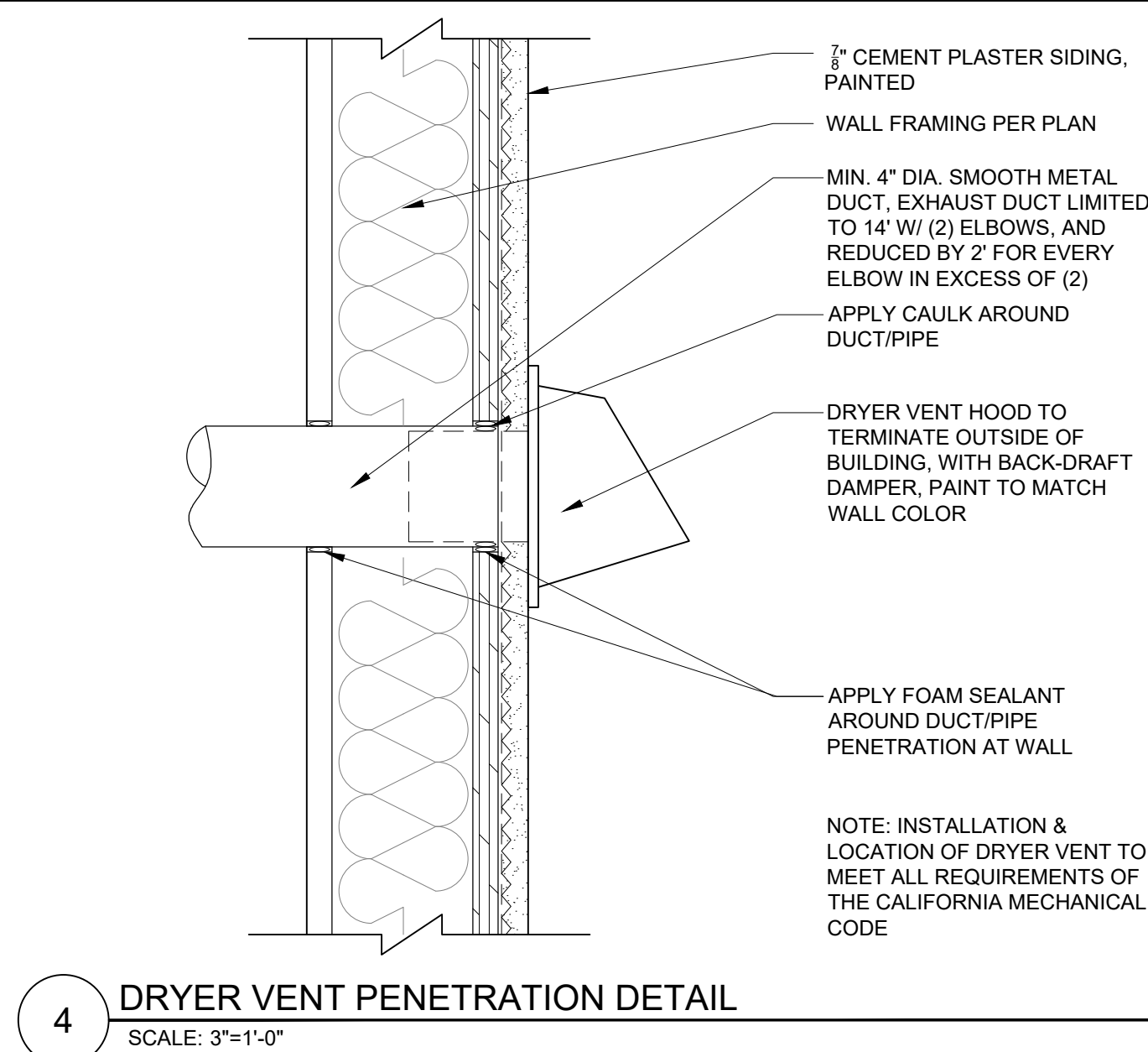
ARCHITECTURAL
CONSTRUCTION
DETAILS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A6.3

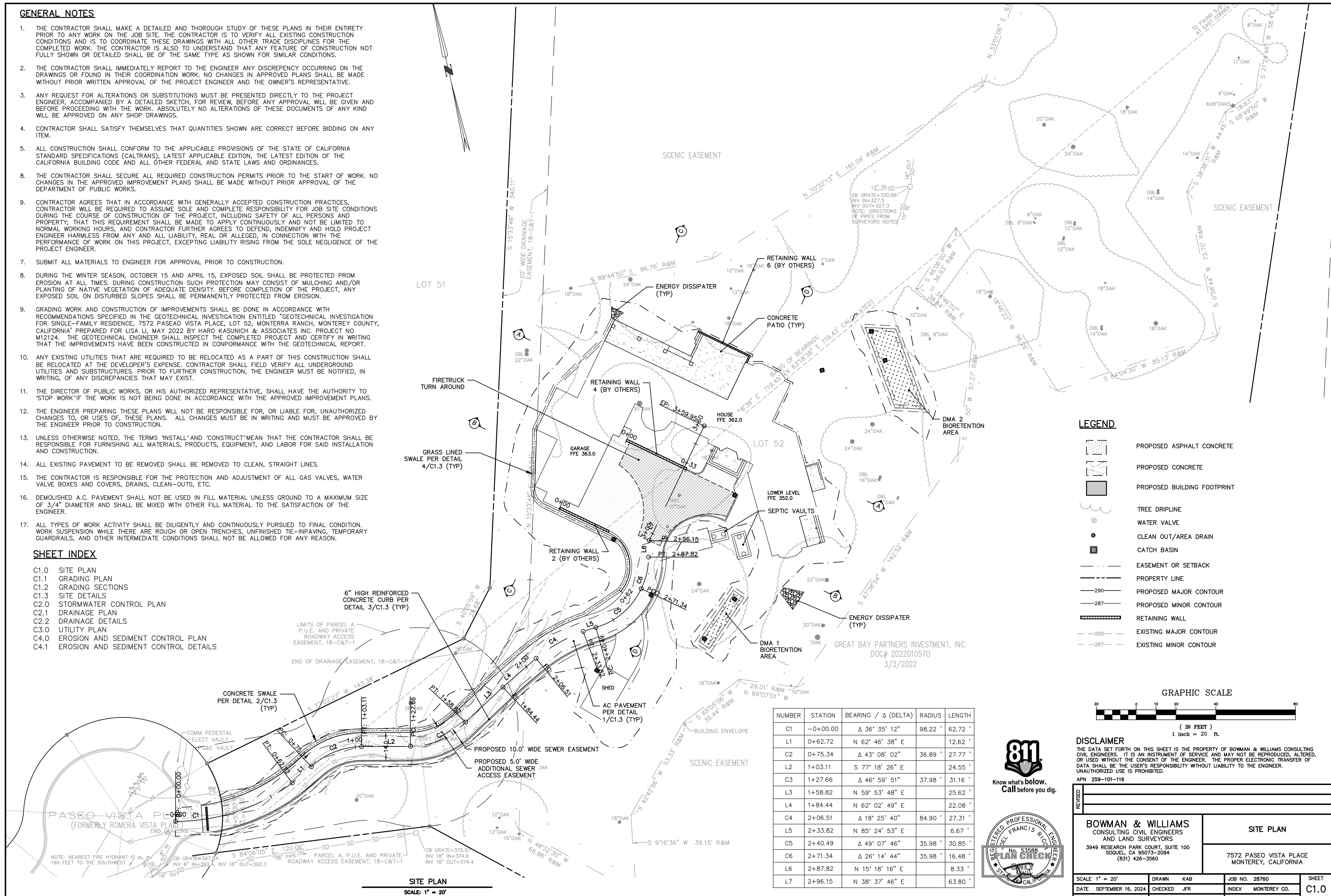
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1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOB SITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN THEIR COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE OWNER'S REPRESENTATIVE.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. CONTRACTOR SHALL SATISFY THEMSELVES THAT QUANTITIES SHOWN ARE CORRECT BEFORE BIDDING ON ANY ITEM.
5. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST APPLICABLE EDITION, THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE AND ALL OTHER FEDERAL AND STATE LAWS AND ORDINANCES.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO THE START OF WORK. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. SUBMIT ALL MATERIALS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
9. DURING THE WINTER SEASON, OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
10. GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION ENTITLED "GEOTECHNICAL INVESTIGATION FOR SINGLE-FAMILY RESIDENCE, 7572 PASEAO VISTA PLACE, LOT 52, MONTEREA RANCH, MONTEREY COUNTY CALIFORNIA" PREPARED FOR USA LI, MAY 2022 BY HARO KASUNICH & ASSOCIATES INC. PROJECT NO M12124. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY IN WRITING THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE GEOTECHNICAL REPORT.
11. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE. CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
12. THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
13. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
14. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL" AND "CONSTRUCT" MEAN THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
15. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE REMOVED TO CLEAN, STRAIGHT LINES.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND ADJUSTMENT OF ALL GAS VALVES, WATER VALVE BOXES AND COVERS, DRAINS, CLEAN-OUTS, ETC.
17. DEMOLISHED A.C. PAVEMENT SHALL NOT BE USED IN FILL MATERIAL UNLESS GROUND TO A MAXIMUM SIZE OF 3/4" DIAMETER AND SHALL BE MIXED WITH OTHER FILL MATERIAL TO THE SATISFACTION OF THE ENGINEER.
18. ALL TYPES OF WORK ACTIVITY SHALL BE DILIGENTLY AND CONTINUOUSLY PURSUED TO FINAL CONDITION. WORK SUSPENSION WHILE THERE ARE ROUGH OR OPEN TRENCHES, UNFINISHED TIE-IN PAVING, TEMPORARY GUARDRAILS, AND OTHER INTERMEDIATE CONDITIONS SHALL NOT BE ALLOWED FOR ANY REASON.

C1.0	SITE PLAN
C1.1	GRADING PLAN
C1.2	GRADING SECTIONS
C1.3	SITE DETAILS
C2.0	STORMWATER CONTROL PLAN
C2.1	DRAINAGE PLAN
C2.2	DRAINAGE DETAILS
C3.0	UTILITY PLAN
C4.0	EROSION AND SEDIMENT CONTROL PLAN
C4.1	EROSION AND SEDIMENT CONTROL DETAILS



NUMBER	STATION	BEARING / Δ (DELTA)	RADIUS	LENGTH
C1	−0+00.00	Δ 36° 35' 12"	98.22 '	62.72 '
L1	0+62.72	N 62° 46' 38" E		12.62
C2	0+75.34	Δ 43° 08' 02"	36.89 '	27.77 '
L2	1+03.11	S 77° 18' 26" E		24.55 '
C3	1+27.66	Δ 46° 59' 51"	37.98 '	31.16 '
L3	1+58.82	N 59° 53' 48" E		25.62 '
L4	1+84.44	N 62° 02' 49" E		22.08 '
C4	2+06.51	Δ 18° 25' 40"	84.90 '	27.31 '
L5	2+33.82	N 85° 24' 53" E		6.67 '
C5	2+40.49	Δ 49° 07' 46"	35.98 '	30.85 '
C6	2+71.34	Δ 26° 14' 44"	35.98 '	16.48 '
L6	2+87.82	N 15° 18' 16" E		8.33 '
L7	2+96.15	N 38° 37' 46" E		63.80 '



Know what's **below**.
Call before you dig.

	PROPOSED ASPHALT CONCRETE
	PROPOSED CONCRETE
	PROPOSED BUILDING FOOTPRINT
	TREE DRIPLINE
	WATER VALVE
	CLEAN OUT/AREA DRAIN
	CATCH BASIN
	EASEMENT OR SETBACK
	PROPERTY LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	RETAINING WALL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

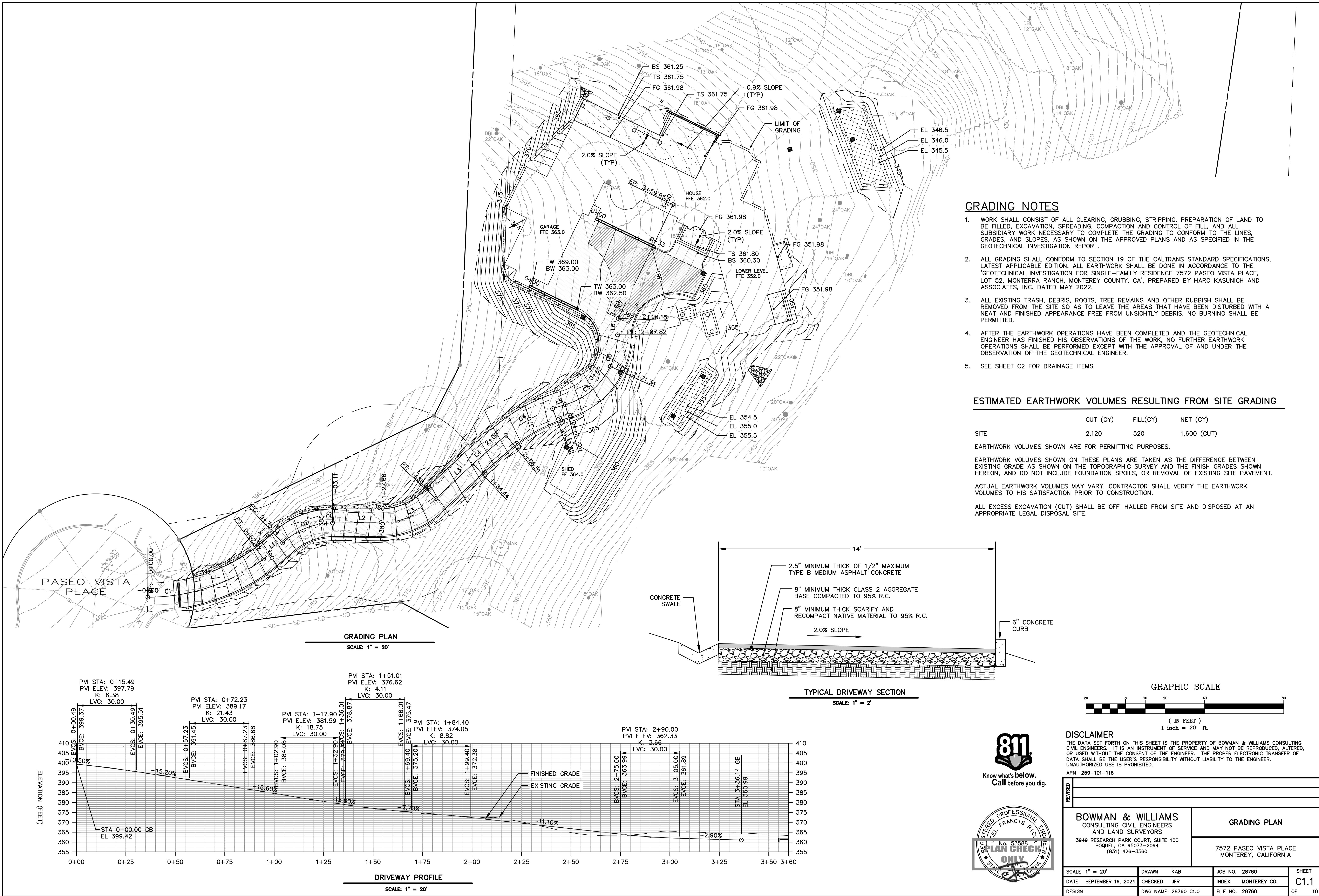
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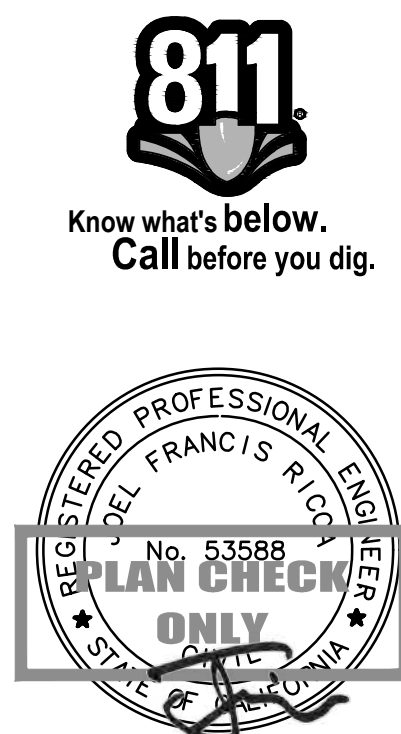
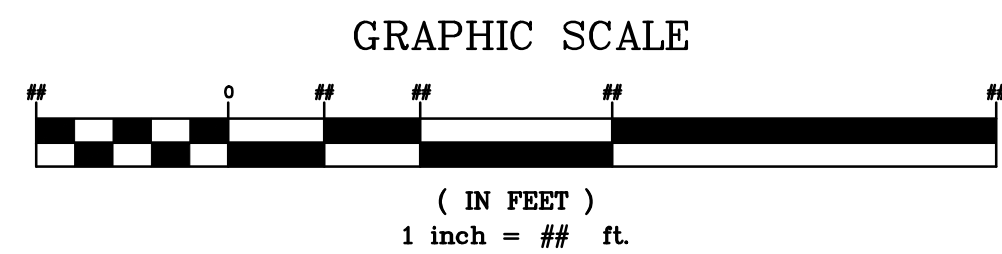
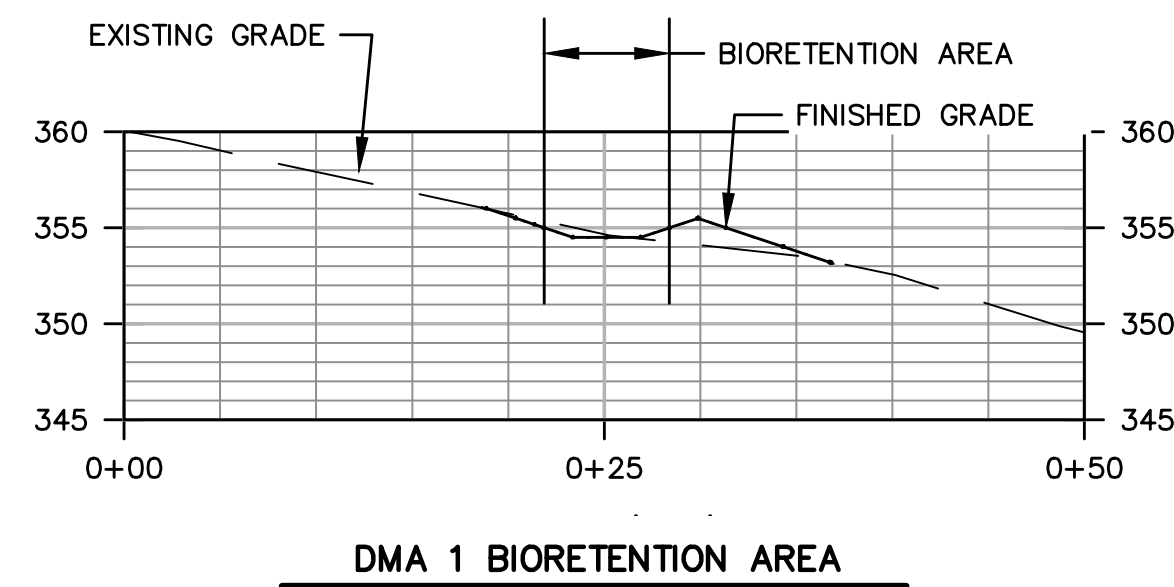
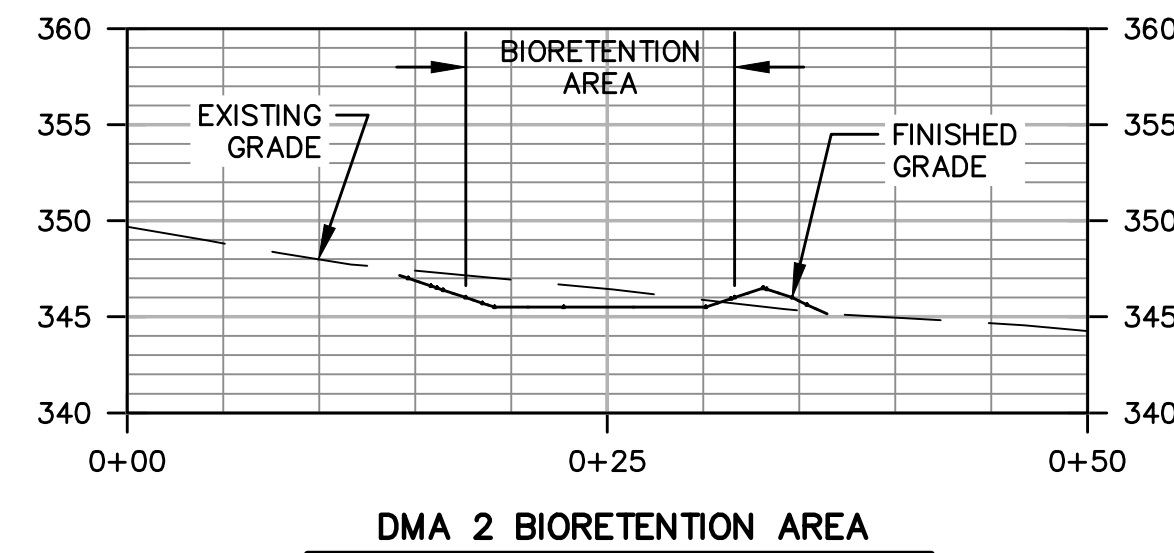
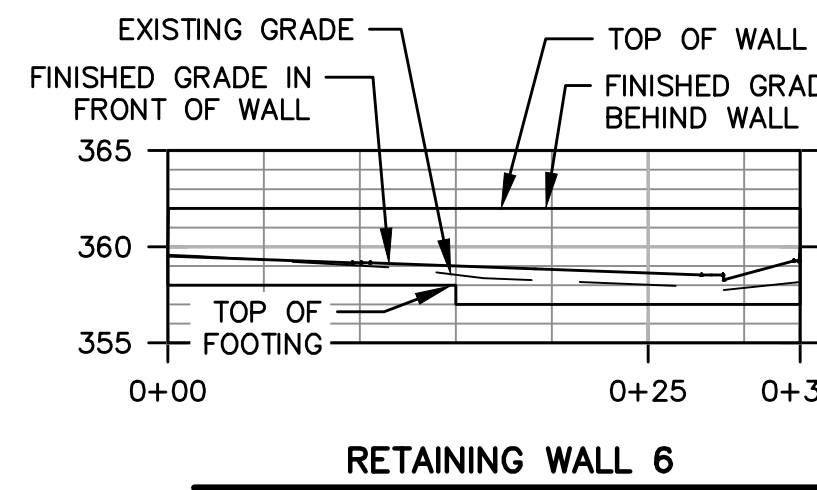
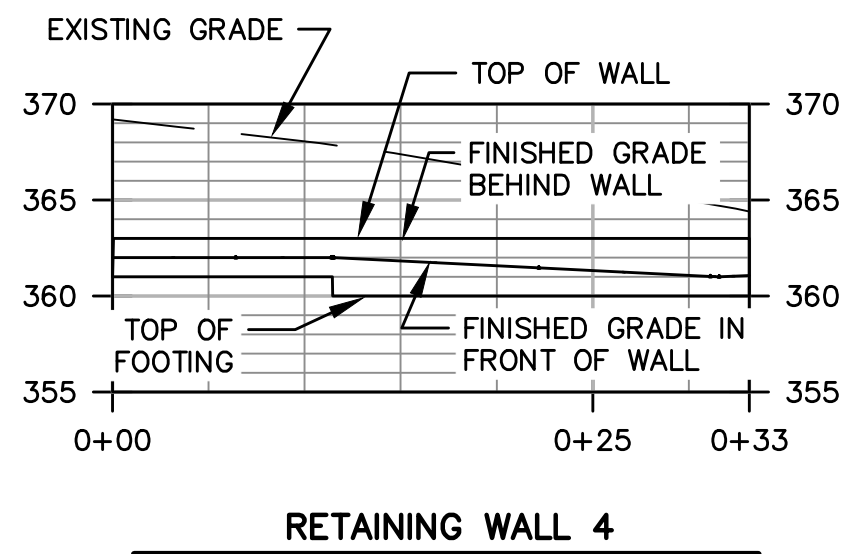
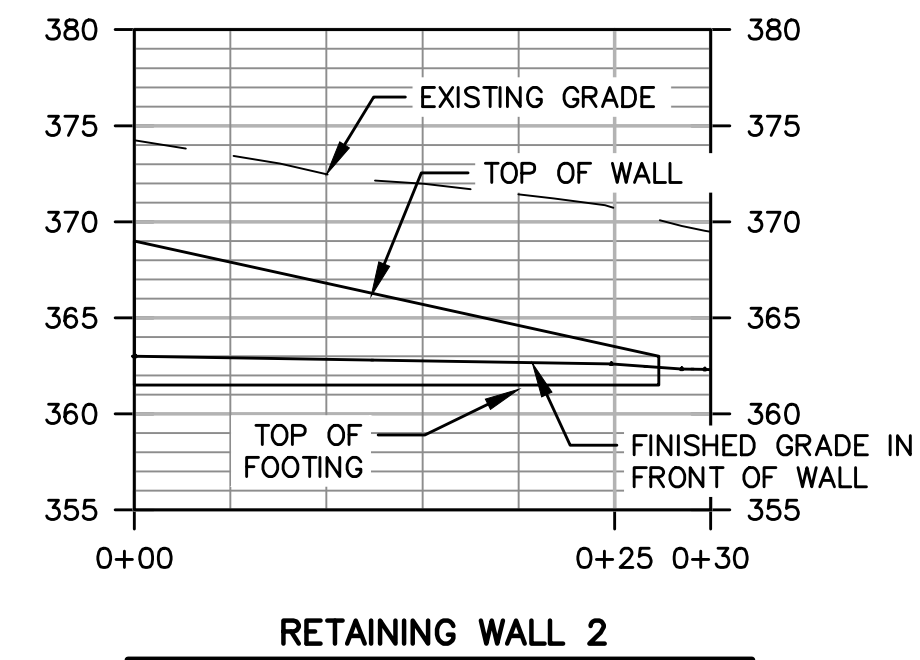
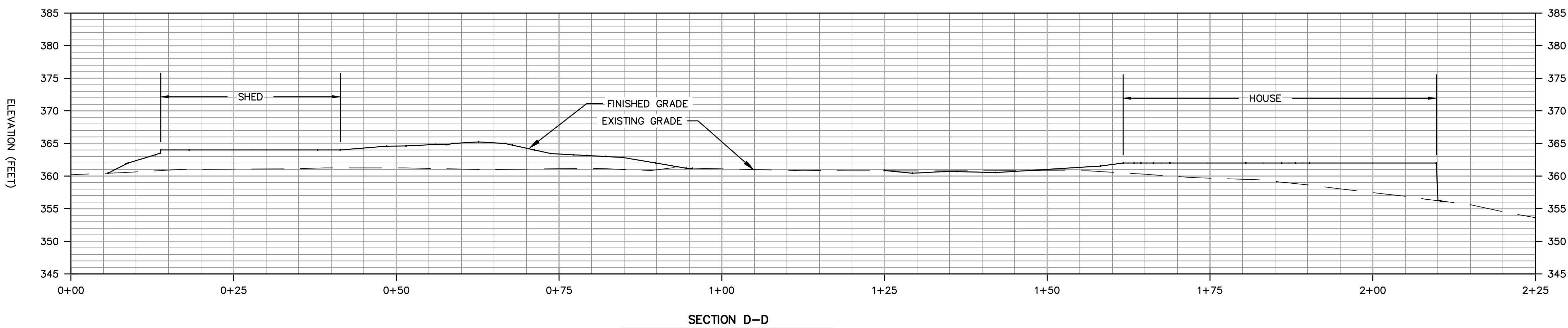
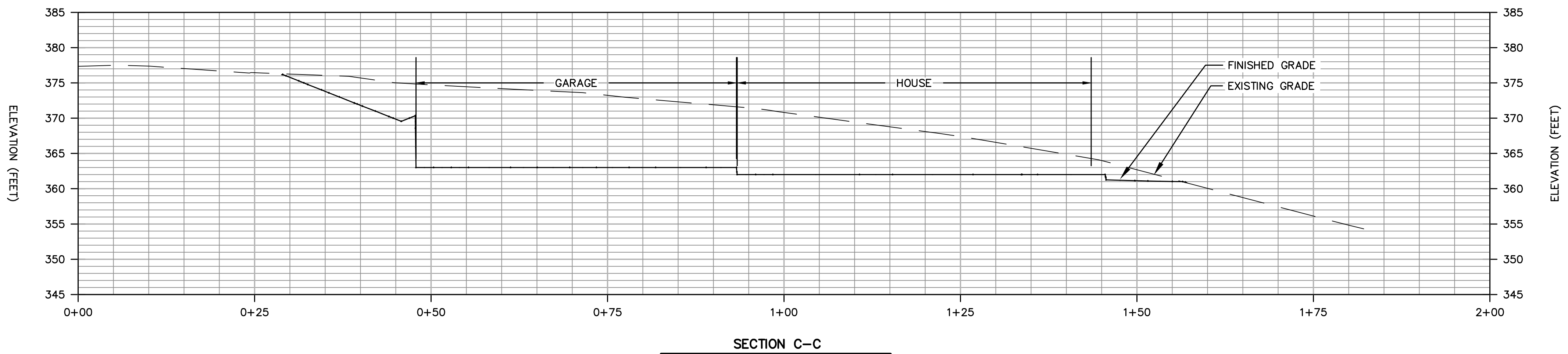
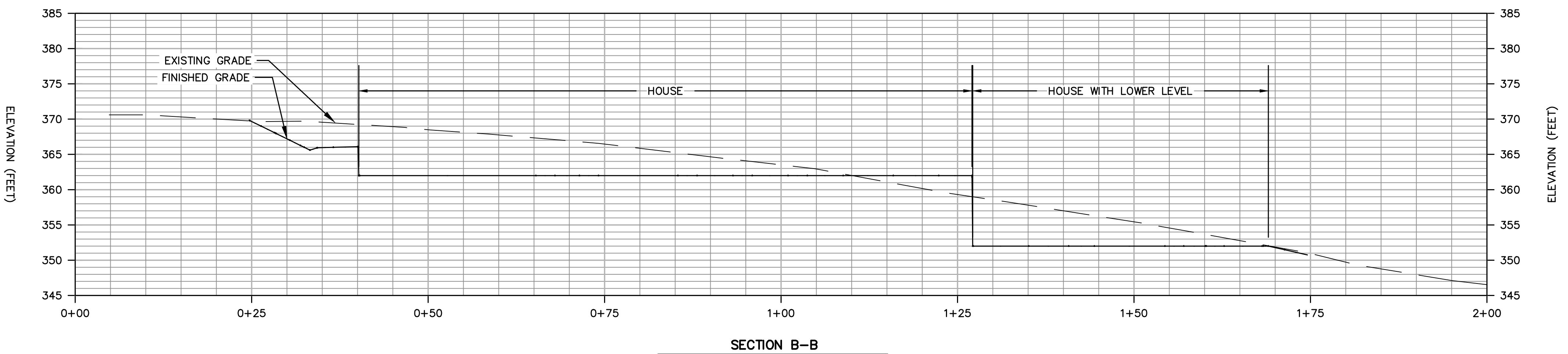
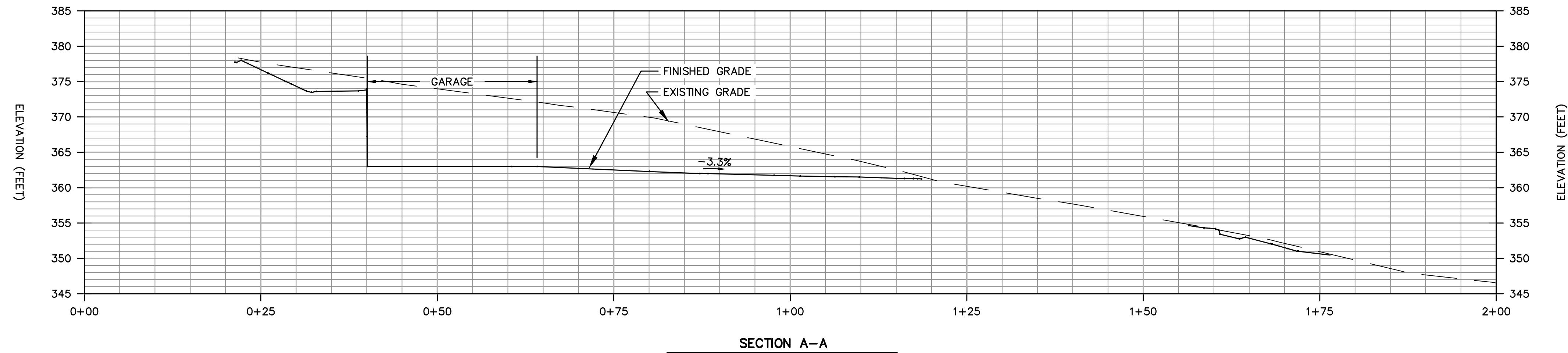
1 inch = 20 ft.

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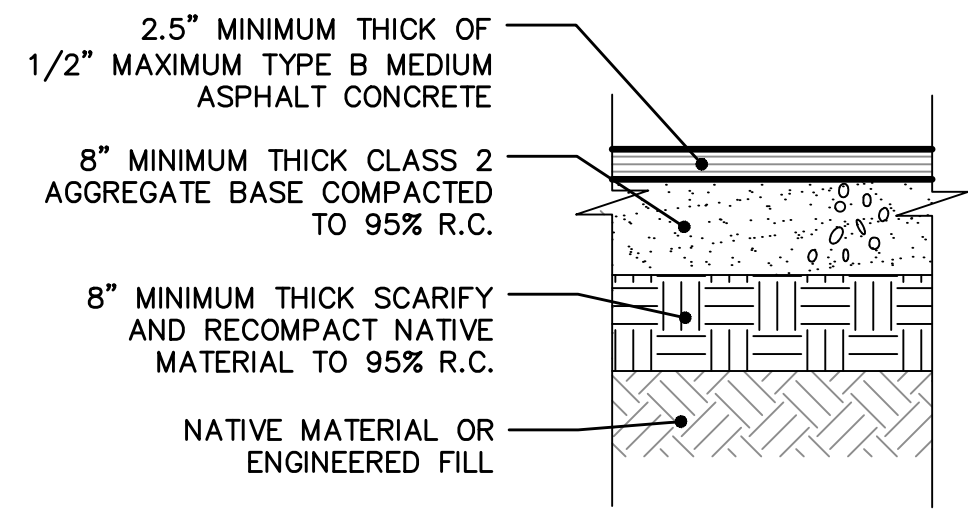
REVISED				
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560			SITE PLAN 7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
SCALE 1" = 20' DATE SEPTEMBER 16, 2024		DRAWN KAB CHECKED JFR DWG NAME 28760 C1.0		JOB NO. 28760 INDEX MONTEREY CO. FILE NO. 28760 SHEET C1.0 OF 10



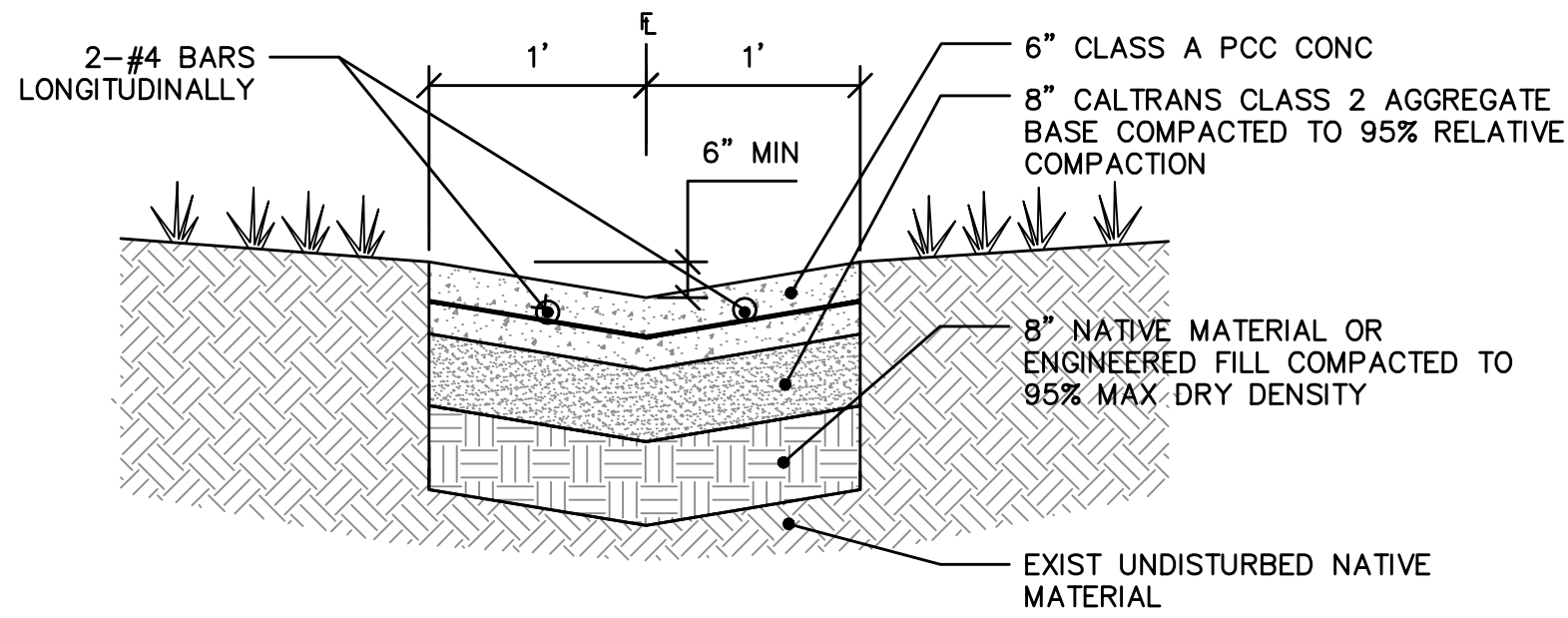


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APN 259-101-116			
BOWMAN & WILLIAMS		GRADING SECTIONS	
CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560			
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28760	SHEET
DATE SEPTEMBER 16, 2024	CHECKED JFR	INDEX MONTEREY CO.	C1.2
DESIGN	DWG NAME 28760 C1.0	FILE NO. 28760	OF 10

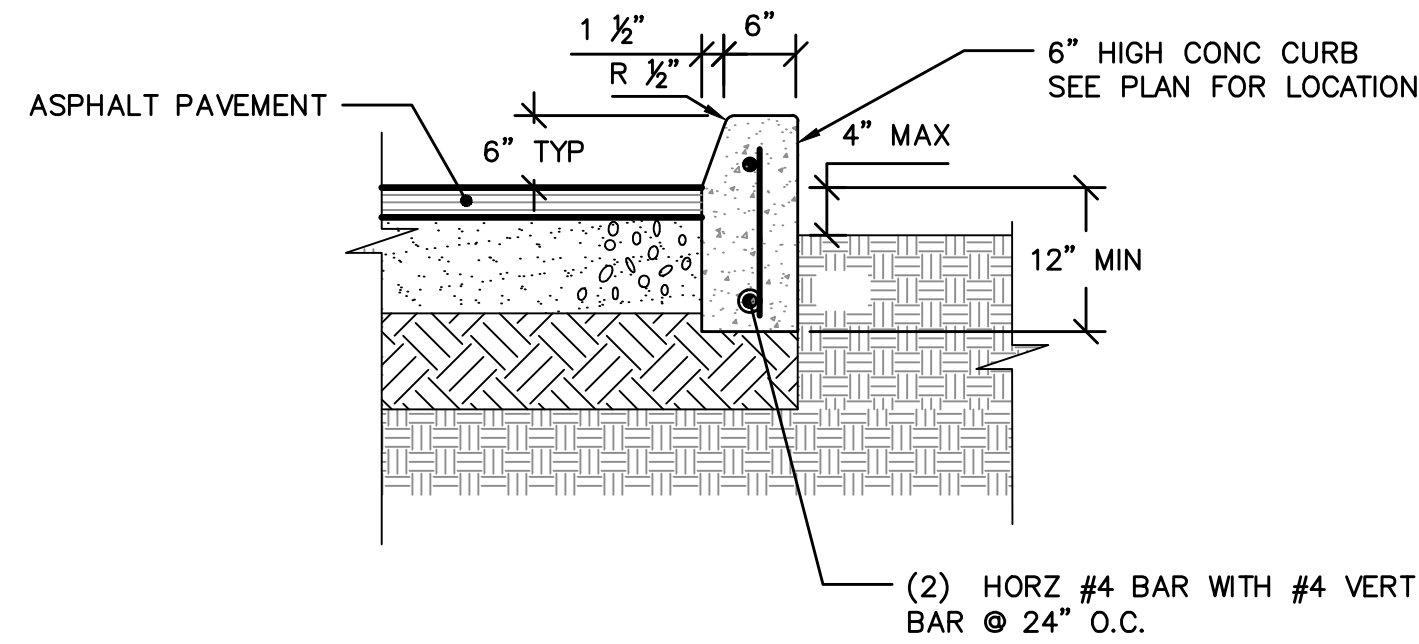
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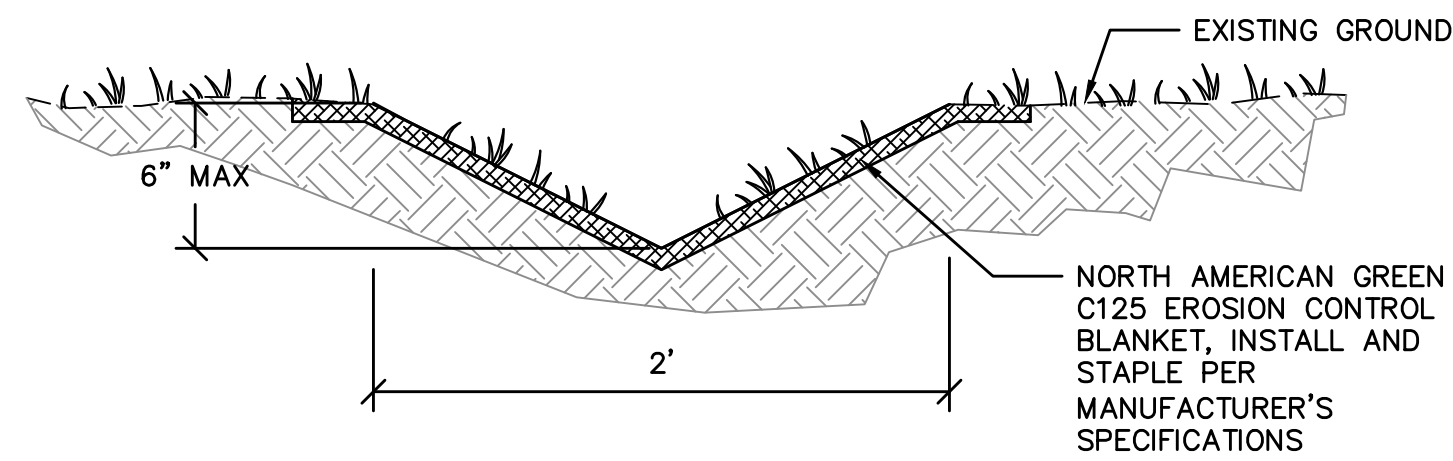
1
C1.3
ASPHALT PAVEMENT SECTION
SCALE: NTS



2
C1.3
2 FT WIDE CONCRETE SWALE
SCALE: NTS



3
C1.3
REINF VERTICAL CONCRETE CURB
SCALE: -



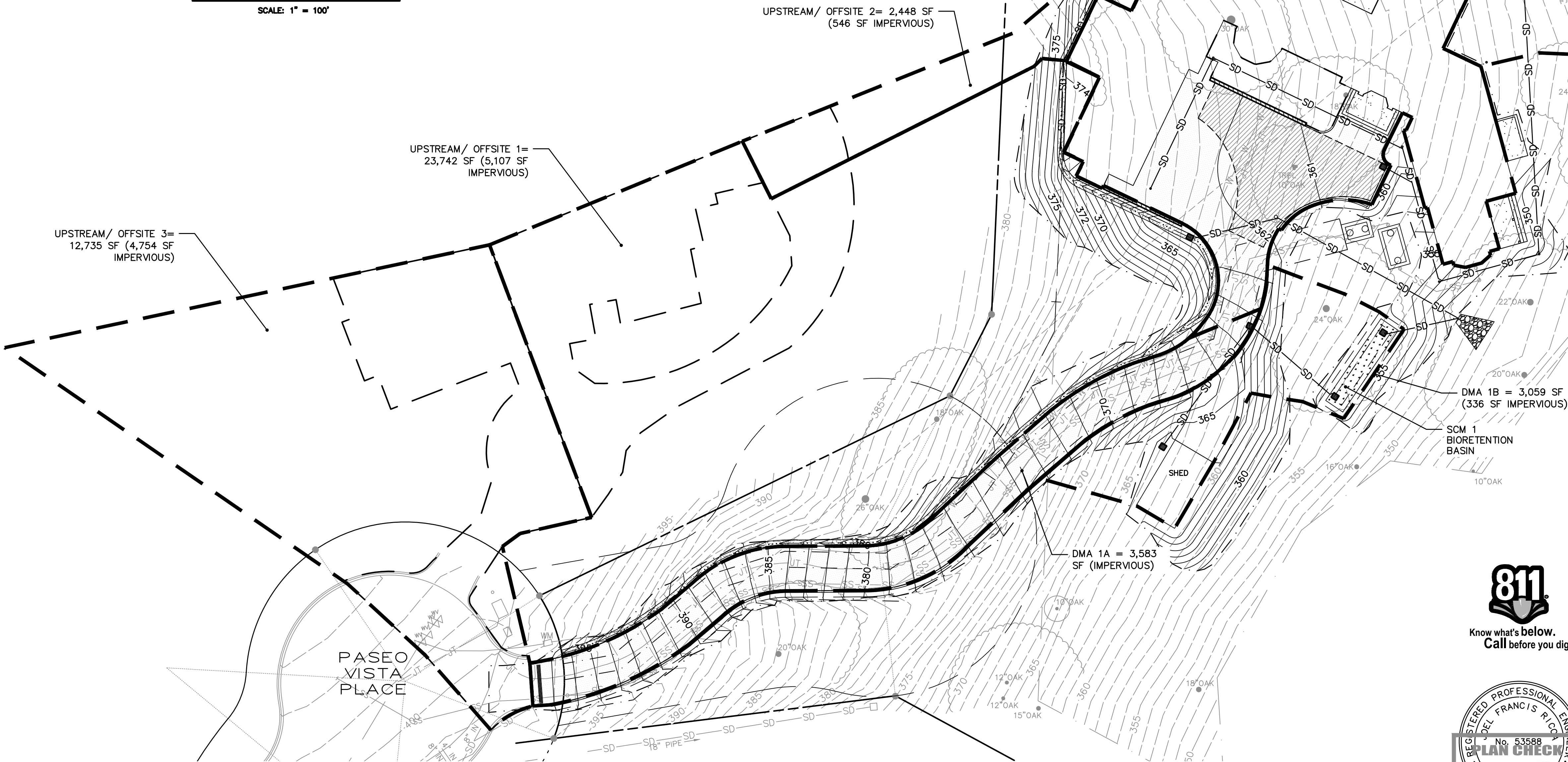
4
C1.3
GRASS LINED SWALE
SCALE: NTS



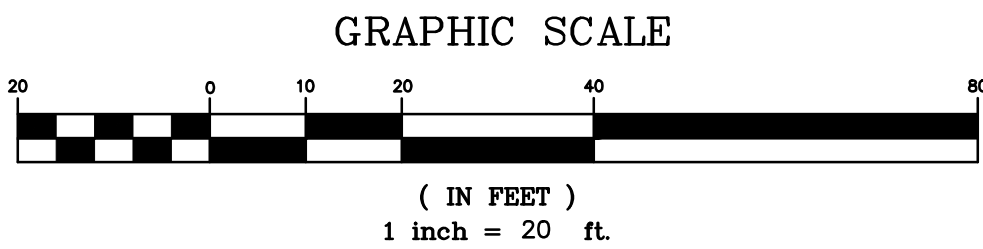
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APN 259-101-116			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		SITE DETAILS 7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28760	SHEET
DATE SEPTEMBER 16, 2024	CHECKED JFR	INDEX MONTEREY CO.	C1.2
DESIGN	DWG NAME 28760 C1.0	FILE NO. 28760	OF 10



UPSTREAM AREA MAP
SCALE: 1" = 100'



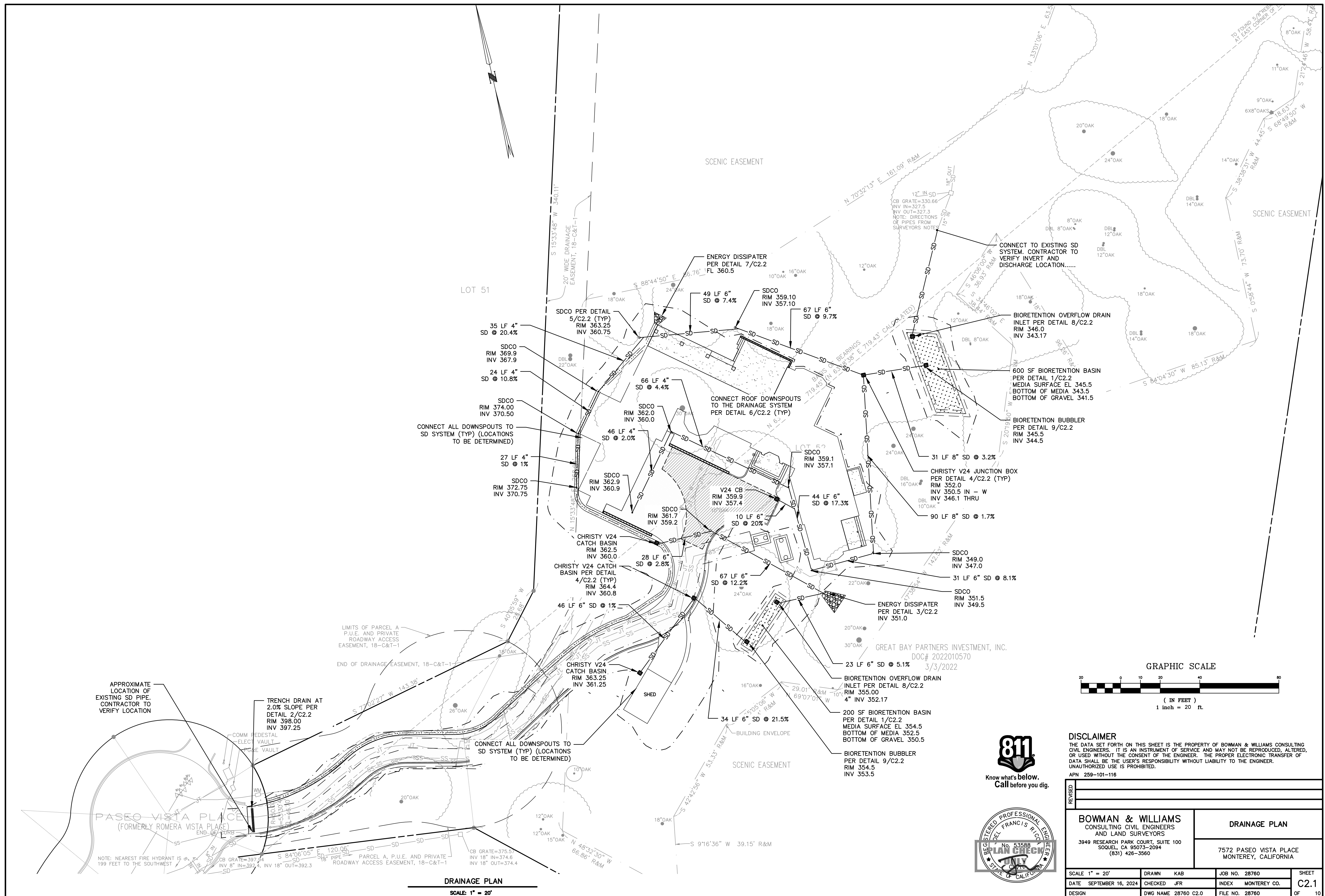
DRAINAGE MANAGEMENT AREA PLAN
SCALE: 1" = 20'

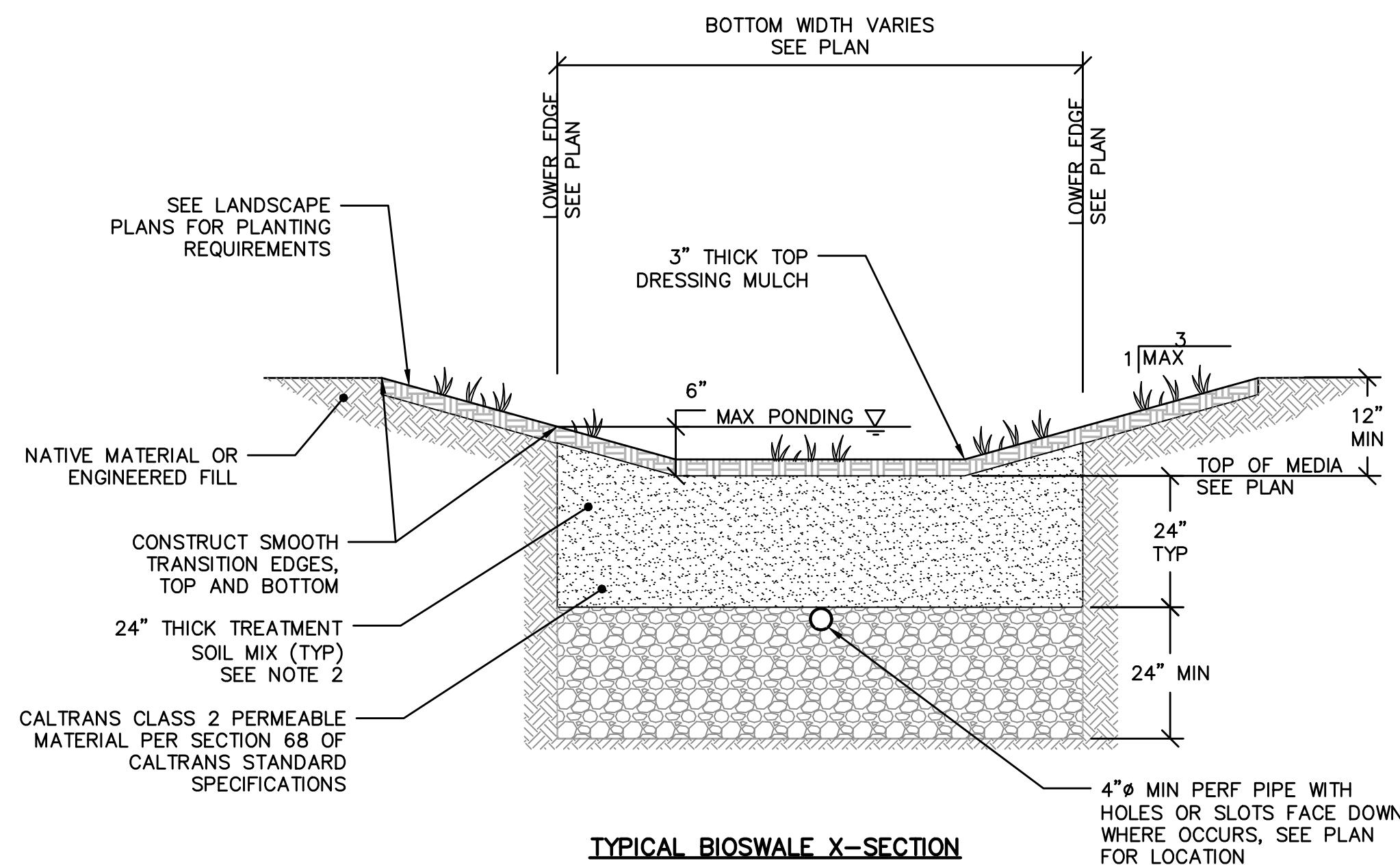


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APN 259-101-116

REVISED			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		STORMWATER CONTROL PLAN	
		7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
SCALE 1" = 20'	DRAWN KAB	JOB NO. 28760	SHEET
DATE SEPTEMBER 16, 2024	CHECKED JFR	INDEX MONTEREY CO.	C2
DESIGN	DWG NAME 28760 C2.0	FILE NO. 28760	OF

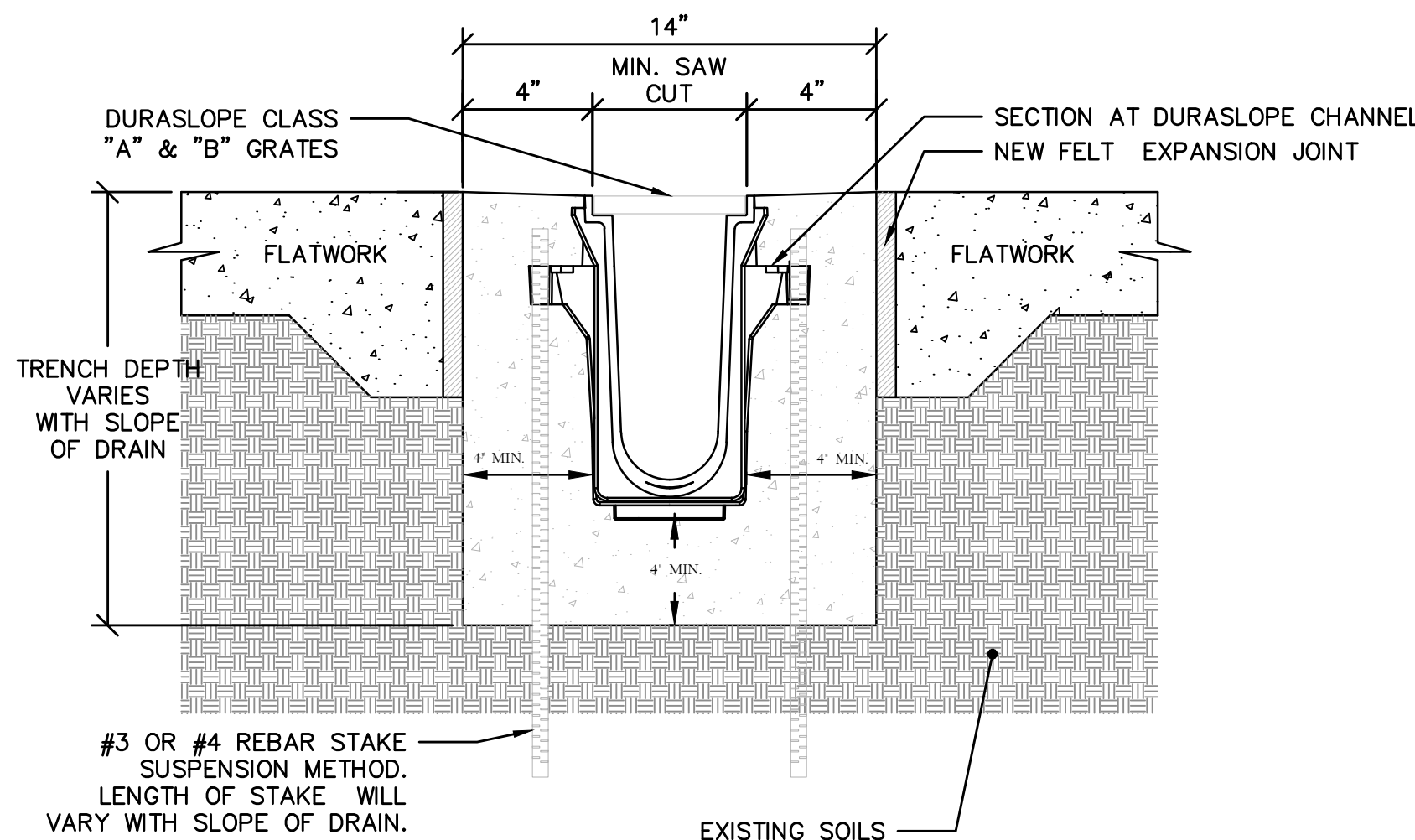




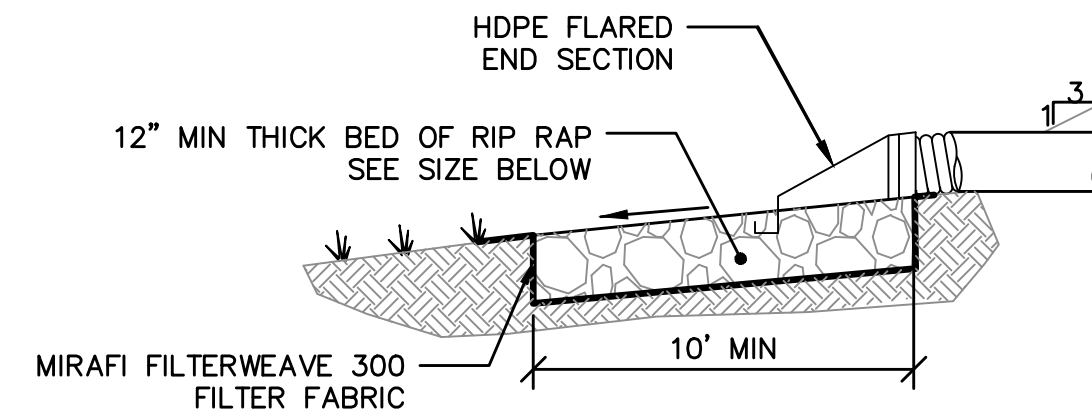
TYPICAL BIORETENTION X-SECTION

NOTES:

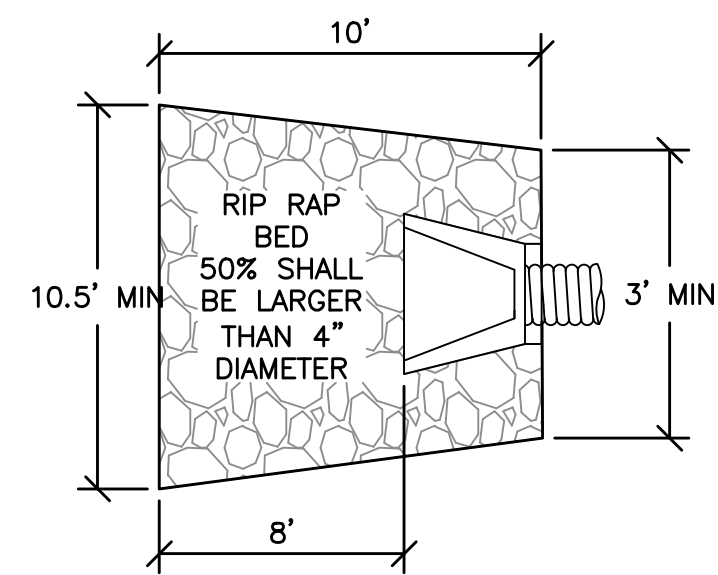
1. REGULAR MAINTENANCE SHALL BE PROVIDED TO KEEP CONTROL BOX, CATCH BASIN INLETS, AND STORM DRAIN PIPES FREE OF DEBRIS.
2. SOIL MIX: SOIL MIX SHALL PROVIDE 5" PER HOUR INFILTRATION RATE AND A MAXIMUM INFILTRATION RATE OF 10" PER HOUR. THE CONTRACTOR SHALL SUBMIT CERTIFICATION OF COMPLIANCE AND SOIL SPECIFICATION FOR APPROVAL PRIOR TO CONSTRUCTION PER PROJECT SPECS SECTION 33 44 19.
3. SOIL MIX SHALL BE MADE OF SANDY LOAM SOIL WITH THE OVERALL DRY WEIGHT PERCENTAGES SHALL BE 85-90% SAND, LESS THAN 5% CLAY, AND LESS THAN 5% SILT. THE RANGE OF CLAY AND SILT AND ORGANIC SHOULD BE 10-15% OF TOTAL VOLUME.
4. SEE PROJECT SPECS SECTION 33 44 19 FOR MULCH SELECTION.



NOTE:
CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE). SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY HARDENED.



SECTION

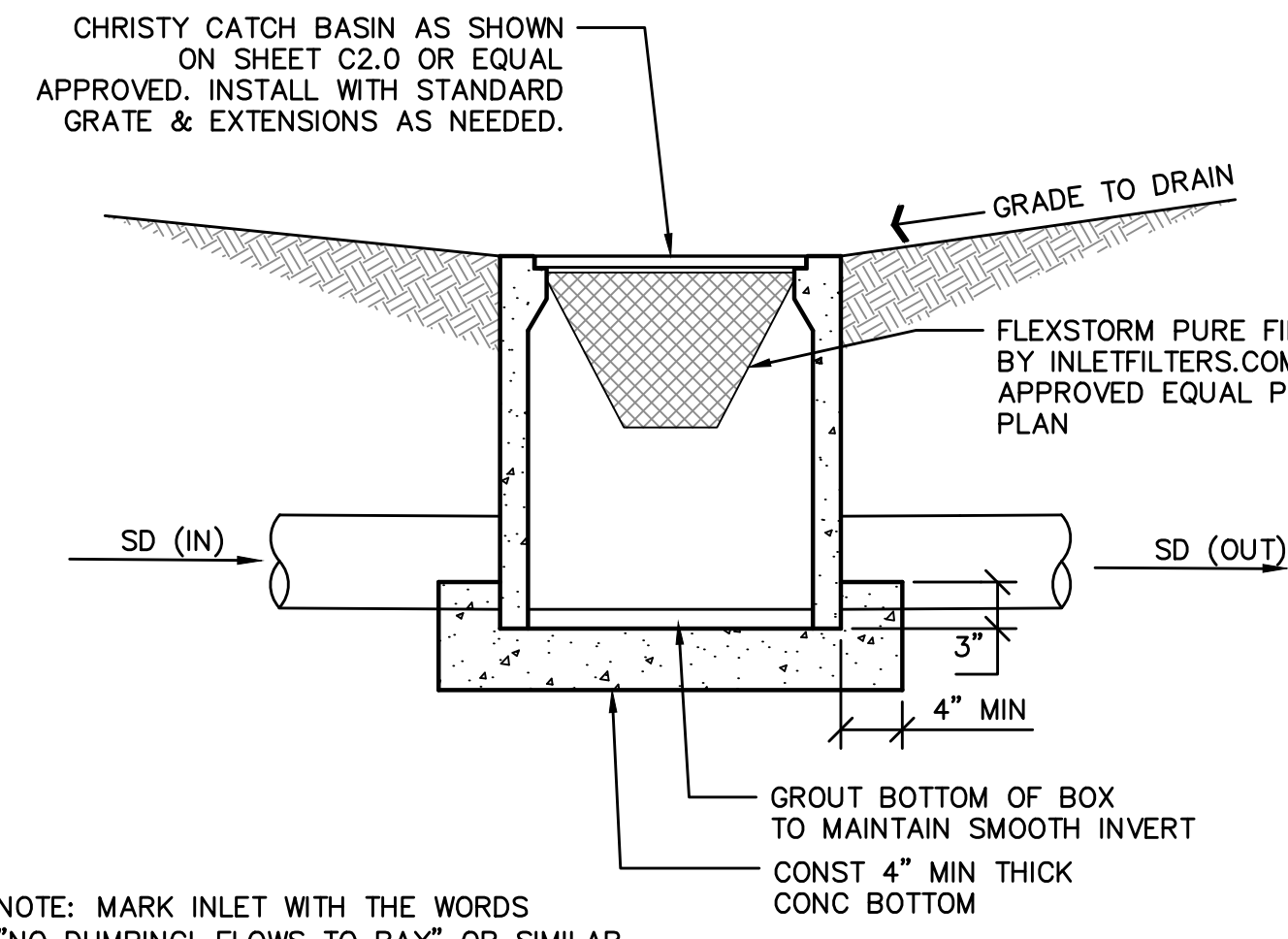


PLAN

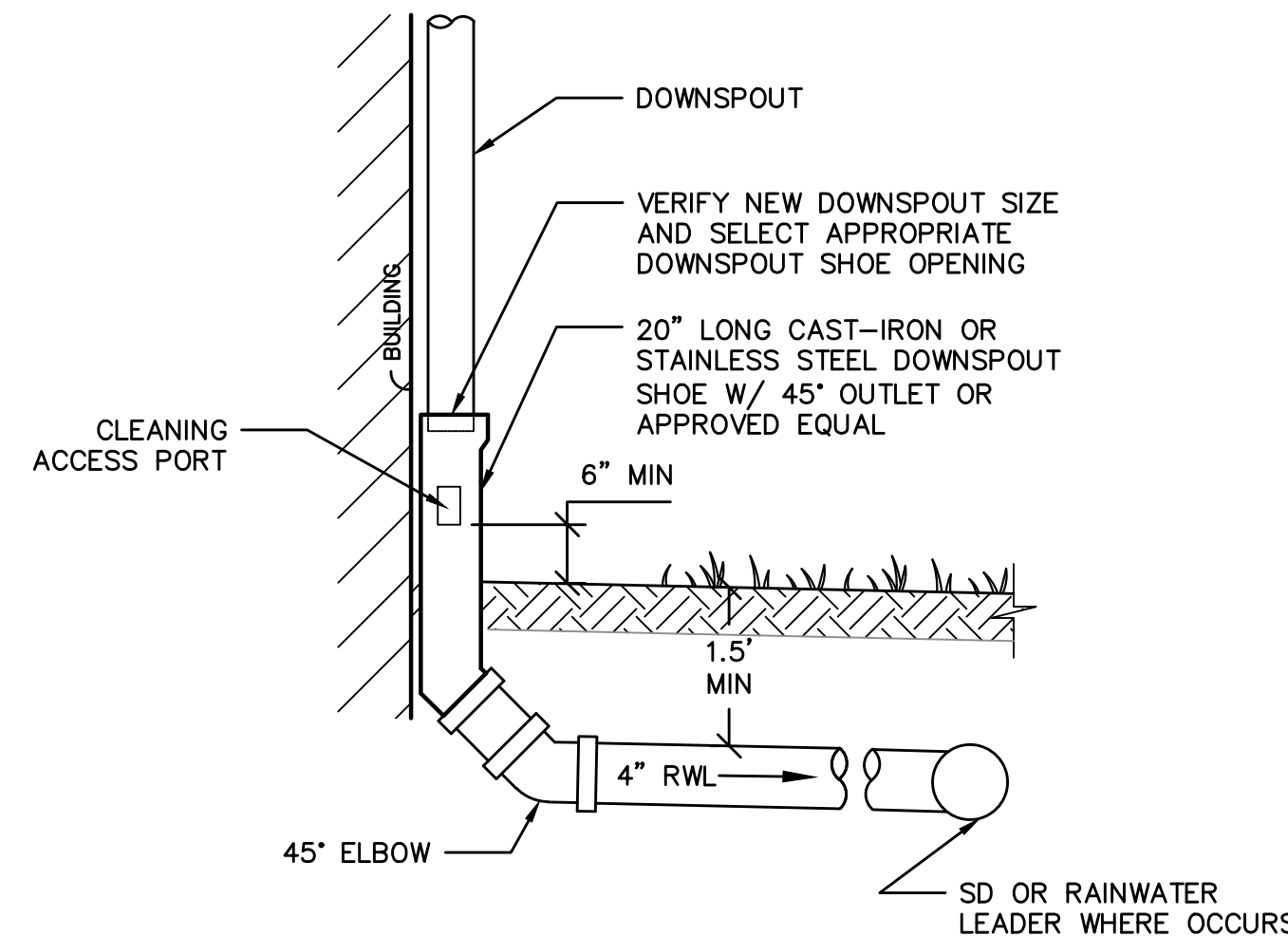
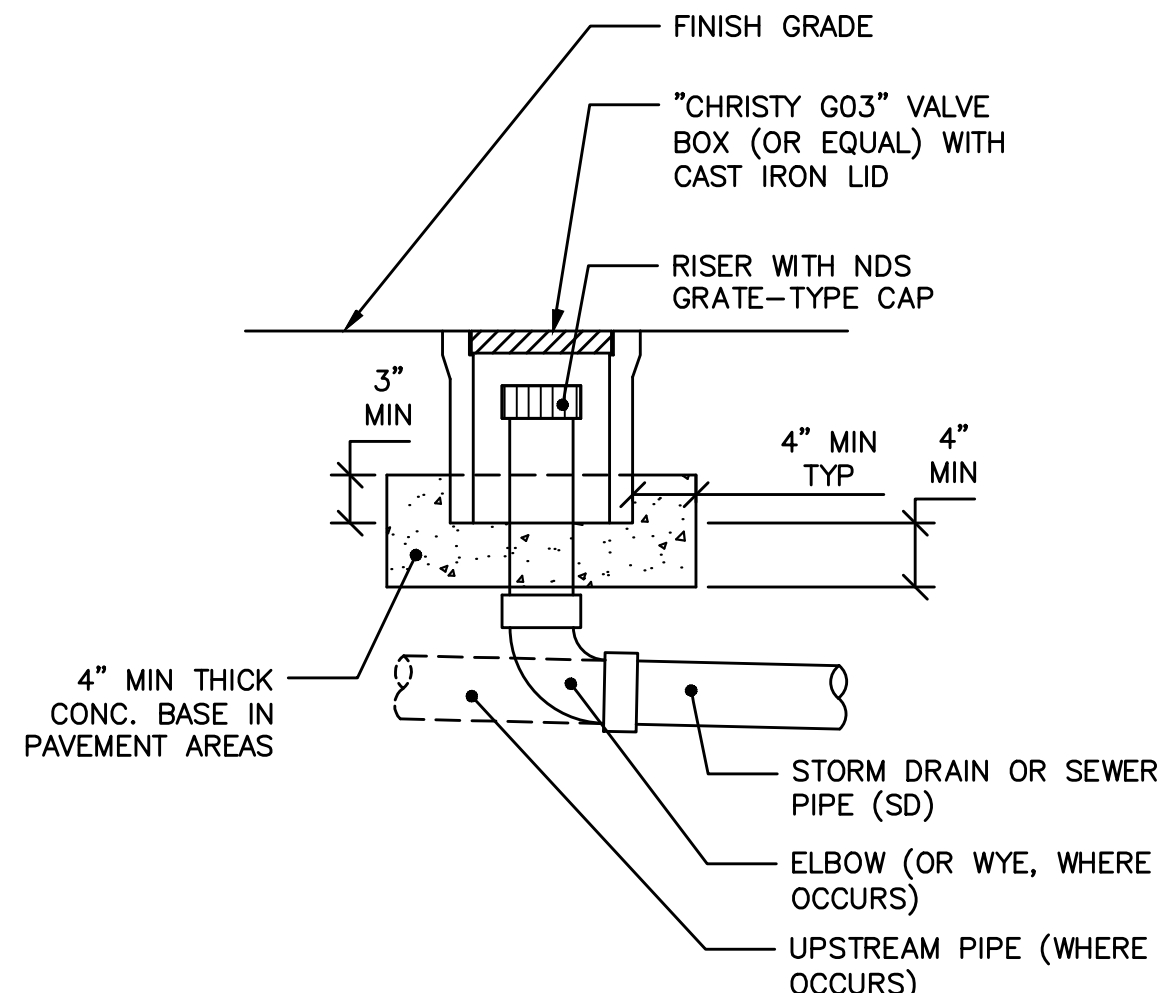
1
C2.2
TYPICAL BIORETENTION X-SECTION
SCALE: 1/2" = 1'-0"

2
C2.2
NDS DURASLOPE DETAIL
SCALE: NTS

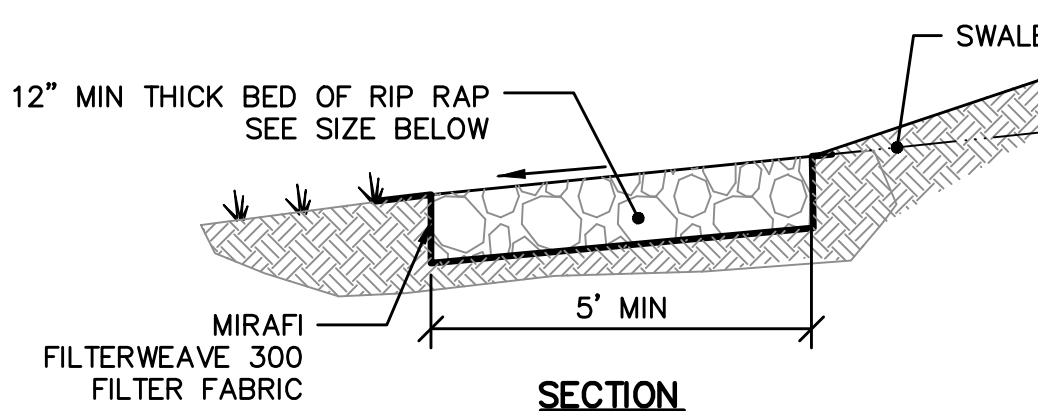
3
C2.2
ENERGY DISSIPATOR FOR 12" SD
SCALE: NTS



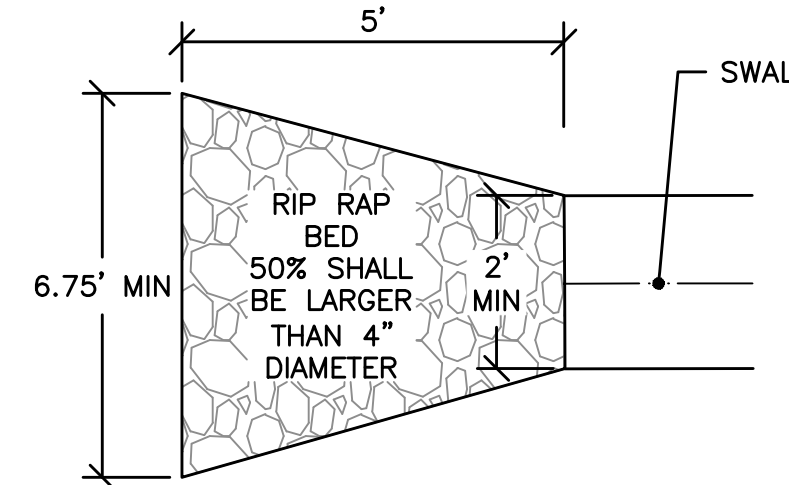
NOTE: MARK INLET WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR SIMILAR



DOWNSPOUT CONNECTION TO STORM DRAIN



SECTION



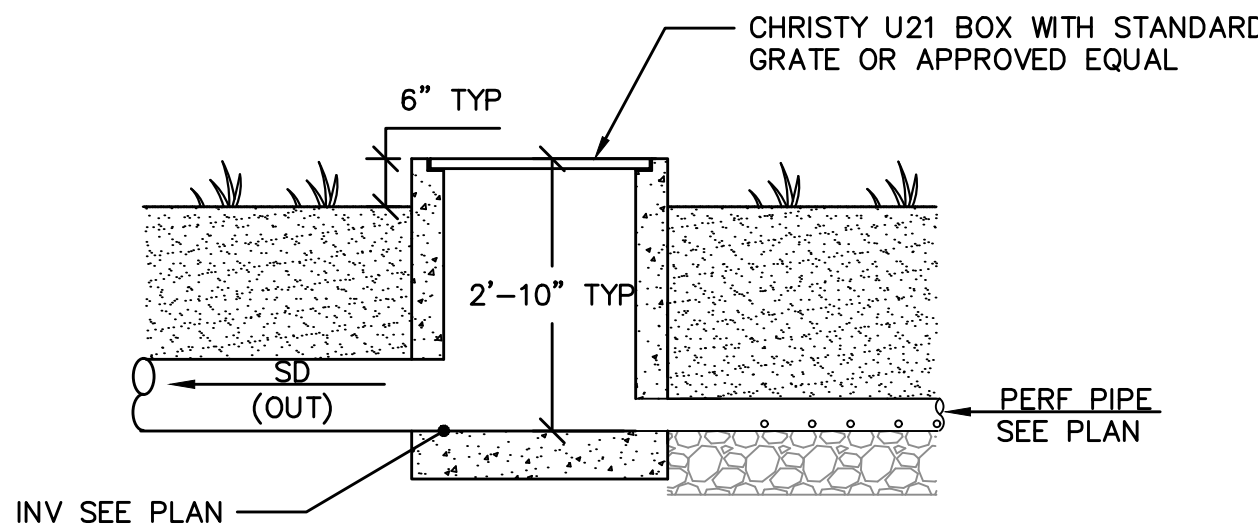
PLAN

4
C2.2
TYPICAL CATCH BASIN
SCALE: 1/2" = 1'-0"

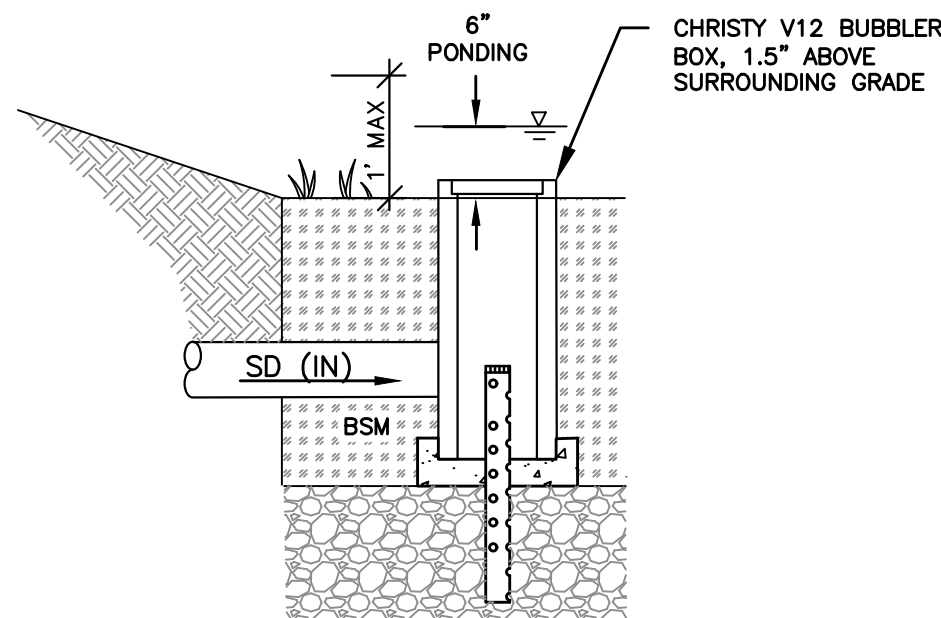
5
C2.2
STORM DRAIN CLEANOUT
SCALE: NTS

6
C2.2
DOWNSPOUT CONNECTION TO STORM DRAIN
SCALE: N.T.S.

7
C2.2
ENERGY DISSIPATOR FOR SWALE
SCALE: NTS



TYPICAL ON SITE BIORETENTION DRAIN INLET



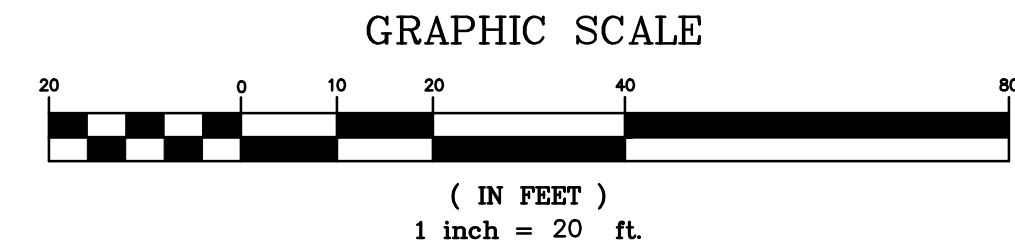
BIORETENTION BUBBLER

8
C2.2
TYPICAL ON SITE BIORETENTION DRAIN INLET
SCALE: 1/2" = 1'-0"

9
C2.2
BIORETENTION BUBBLER
SCALE: 3/4" = 1'-0"



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APN 259-101-116			
BOWMAN & WILLIAMS		DRAINAGE DETAILS	
CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		7572 PASEO VISTA PLACE	
3949 RESEARCH PARK COURT, SUITE 100		MONTEREY, CALIFORNIA	
SOQUEL, CA 95073-2094			
(831) 428-3560			
SCALE 1" = ##	DRAWN KAB	JOB NO. 28760	SHEET
DATE SEPTEMBER 16, 2024	CHECKED JFR	INDEX MONTEREY CO.	C2.2
DESIGN	DWG NAME 28760 C2.0	FILE NO. 28760	OF 10



- 1) ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY AND HAVE COME FROM VARIOUS SOURCES OF RELIABILITY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. CONTRACTOR IS ADVISED TO CONTACT A UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK (US (UNDERGROUND SERVICE ALERT) 800-642-2444), AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT. THE PROJECT INSPECTOR SHALL BE PRESENT WHILE THE UNDERGROUND SERVICE LOCATOR IS ONSITE.
- 2) CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
- 3) MATERIALS FOR PIPE, STORM WATER INLETS, AND CLEANOUTS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE UBC AND CPC SECTIONS, AND THESE PLANS AND DETAILS SHOWN HEREON. STORM DRAIN PIPE DESIGNATED "SD" SHALL BE PVC OR SCH 20 BELL END AND SPIGOT GASKET, SLOPE OR APPROVED EQUAL. RWL SHALL BE SCH 40 AND SHALL BE CONNECTED TO SD WITH WYE FITTINGS.
- 4) ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS' RECOMMENDATIONS.
- 5) ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE:
 - 1) CHRISTY BRAND PRECAST CONCRETE V12 OR THE EQUIVALENT, OR;
 - 2) DURA DRAIN P-4 MANUFACTURED BY KRISTAR, OR;
 - 3) ADS NYOPLAST.
- 6) ALL STRUCTURES SHALL BE STORED, HANDLED AND INSTALLED PER THE MANUFACTURERS' RECOMMENDATION.
- 7) STORM DRAIN TRENCH BACKFILL SHALL CONFORM TO COUNTY OF SANTA CRUZ STANDARD SPECIFICATIONS SECTION AND THE DETAILS SHOWN HEREON. JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
- 8) ALL WATER PIPING SHALL BE AWWA C900 OR APPROVED EQUAL. ALL VALVES, ANGLES, AND THRUST BLOCKS SHALL BE INSTALLED PER CURRENT CPC SPECIFICATIONS. ANY TRENCHING OR DIGGING DEEPER THAN 42" SHALL BE DONE BY 42" OR DEEPER TO PREVENT DAMAGE TO ROOTS. ROOTS THAT REQUIRE REMOVAL SHALL BE CUT CLEANLY WITH HAND TOOLS, USE WHITE LATEX PAINT ON CUTS GREATER THAN 3" IN DIAMETER.
- 9) ALL SEWER PIPING, SEPTIC TANK, PUMPING VAULT, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CANADA WOODS WATER COMPANY STANDARD PLANS AND SPECIFICATIONS FOR CANADA WOODS, CANADA WOODS NORTH AND MONTERREA RANCH.

THE STANDARD PLANS AND SPECIFICATIONS ARE TO BE FOLLOWED THROUGHOUT THE INSTALLATION OF THE WASTE SYSTEM. CAST IRON RINGS AND COVERS ARE TO BE USED ON ALL TANK ACCESS OPENINGS.

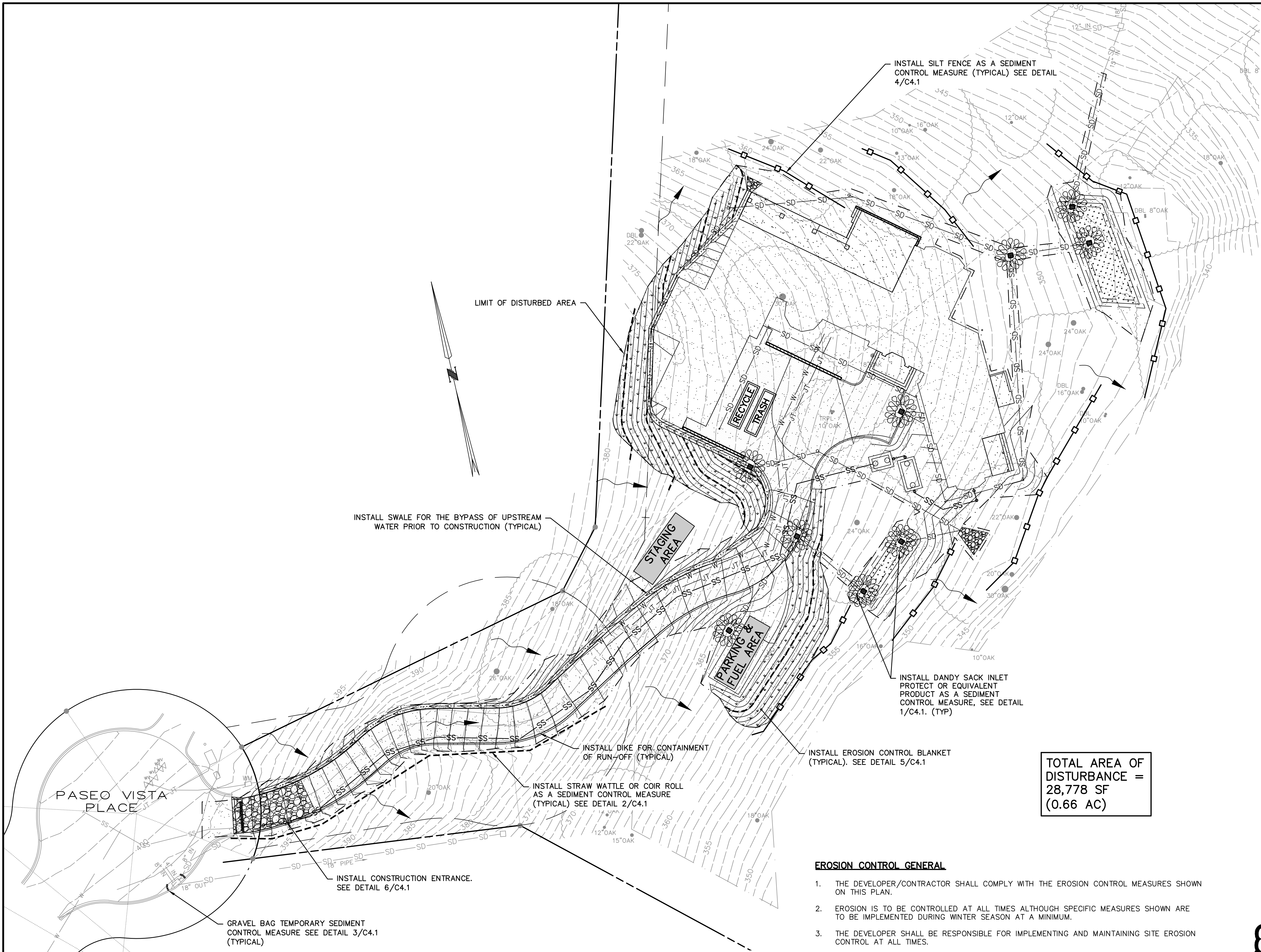
SERVICE INFORMATION (SEWER, JOINT TRENCH AND WATER) SHOWN HEREON WAS PROVIDED FROM MONTERRA RANCH BLOCK MAPS AND WORKING DOCUMENTS AND BOWMAN AND WILLIAMS TAKES NO RESPONSIBILITY FOR ITS ACCURACY.

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APN 259-101-116

811
Know what's below.
Call before you dig.

REGISTERED PROFESSIONAL ENGINEER
SACRAMENTO, CALIFORNIA
No. 53588
PLAN CHECK
ONLY
U.S. DEPARTMENT OF COMMERCE
NATIONAL BUREAU OF STANDARDS



EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

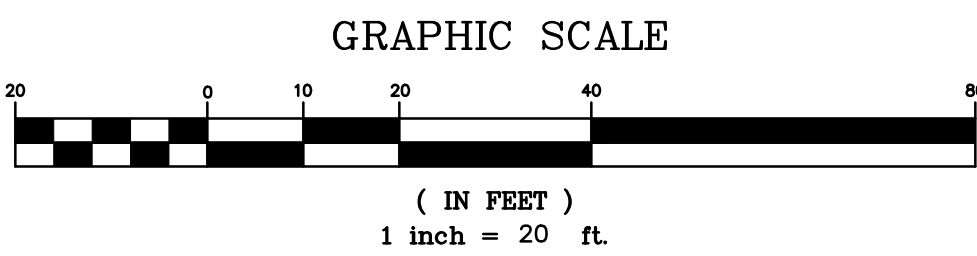
5. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
6. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
7. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
8. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
9. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
10. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
11. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
12. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
13. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

14. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
15. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
16. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

17. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
18. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
19. DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
20. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
21. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



EROSION CONTROL GENERAL

1. THE DEVELOPER/CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN.
2. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED DURING WINTER SEASON AT A MINIMUM.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. ALL EMPLOYEES AND CONTRACTORS SHALL BE INFORMED ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.
5. UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
6. RUNOFF FROM THE CONSTRUCTION SITE MUST NOT BE ALLOWED TO FLOW OVER ANY FILL SLOPES.
7. RUNOFF SHALL BE DIRECTED TOWARDS THE NEAREST CATCH BASIN.
8. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
9. FIBER ROLLS SHALL BE PLACED AT THE DOWN SLOPE PERIMETER OF THE DISTURBANCE LIMITS TO PREVENT OR LIMIT SEDIMENT FROM LEAVING THE SITE. IN URBAN AREAS OR SITES DIRECTLY ADJACENT TO STREETS, FIBER ROLLS SHALL BE PLACED AT THE BACK OF A SIDEWALK OR CURB.

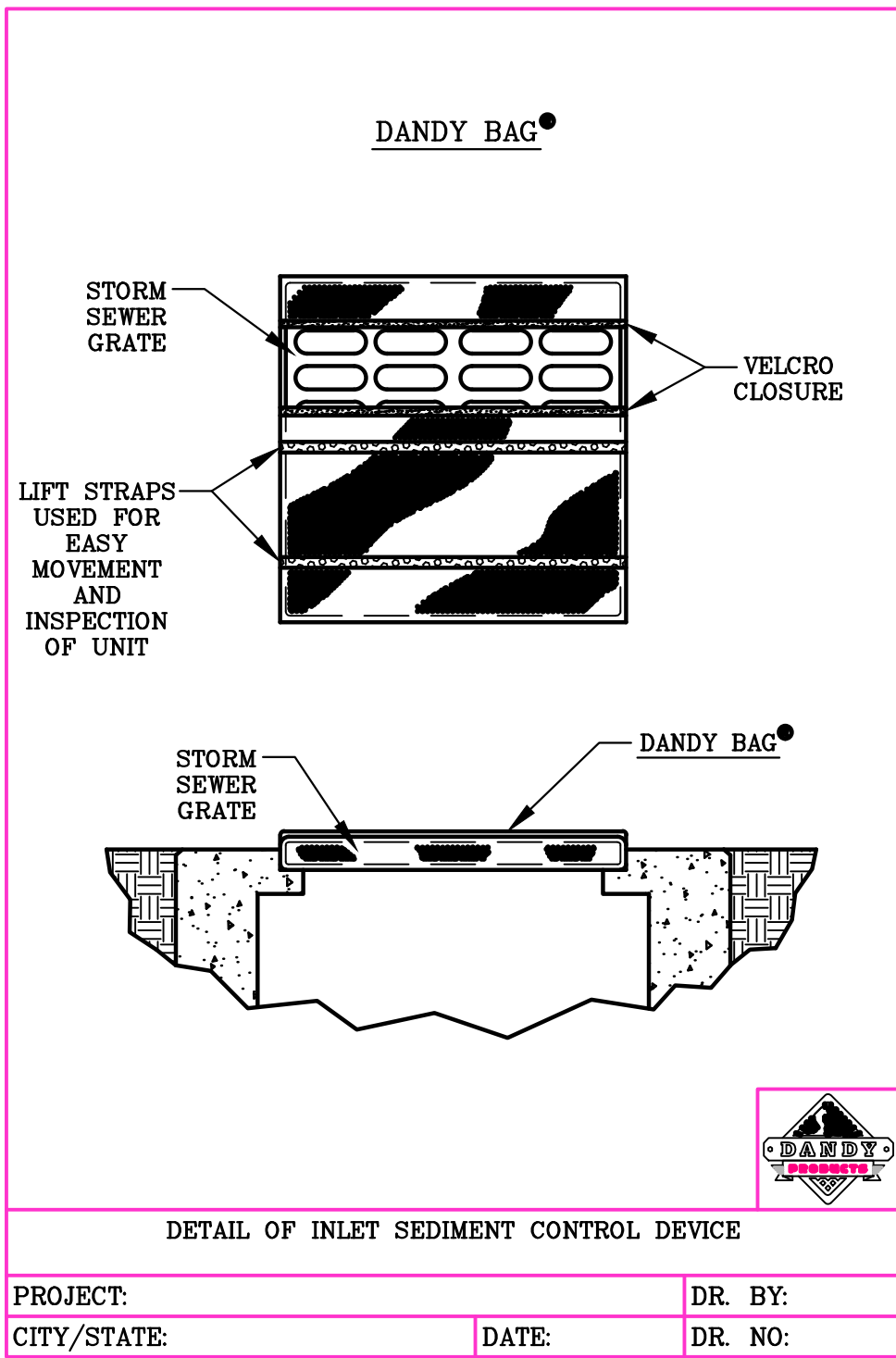


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APN 259-101-116

REVISED			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 428-3560		EROSION AND SEDIMENT CONTROL PLAN	
		7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
SCALE 1" = 20'	DRAWN KAB	JOB NO. 28760	SHEET
DATE SEPTEMBER 16, 2024	CHECKED JFR	INDEX MONTEREY CO.	C4.0
DESIGN	DWG NAME 28760 C3.0	FILE NO. 28760	OF 10

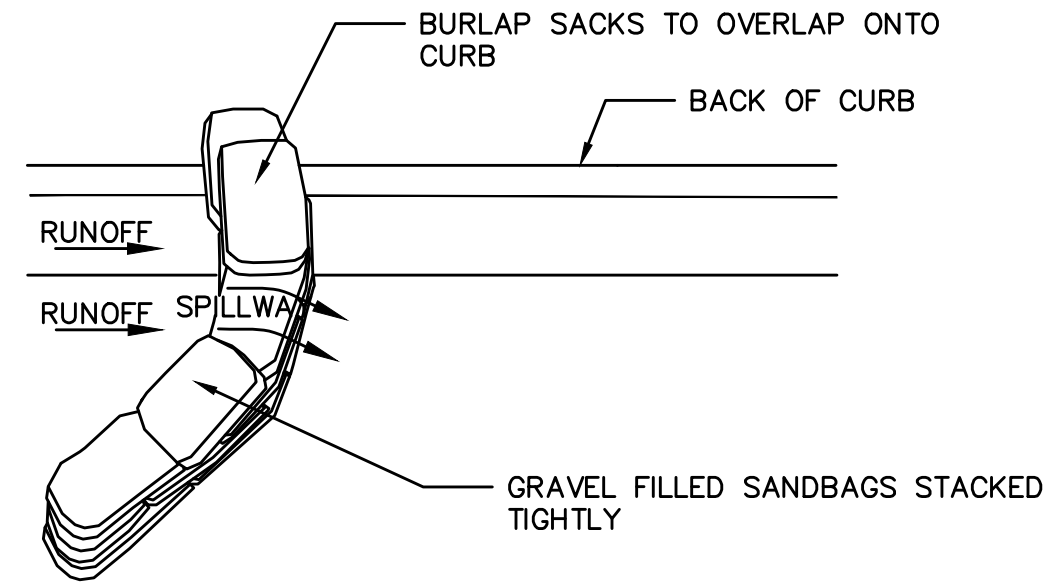
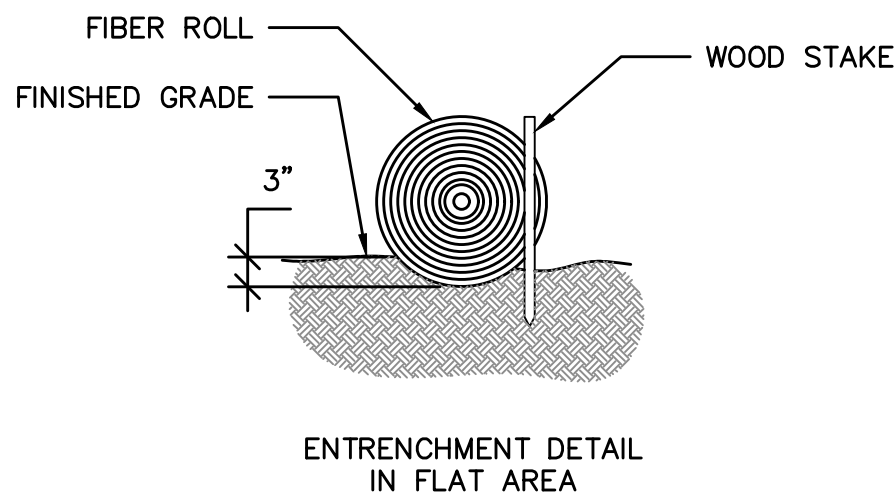
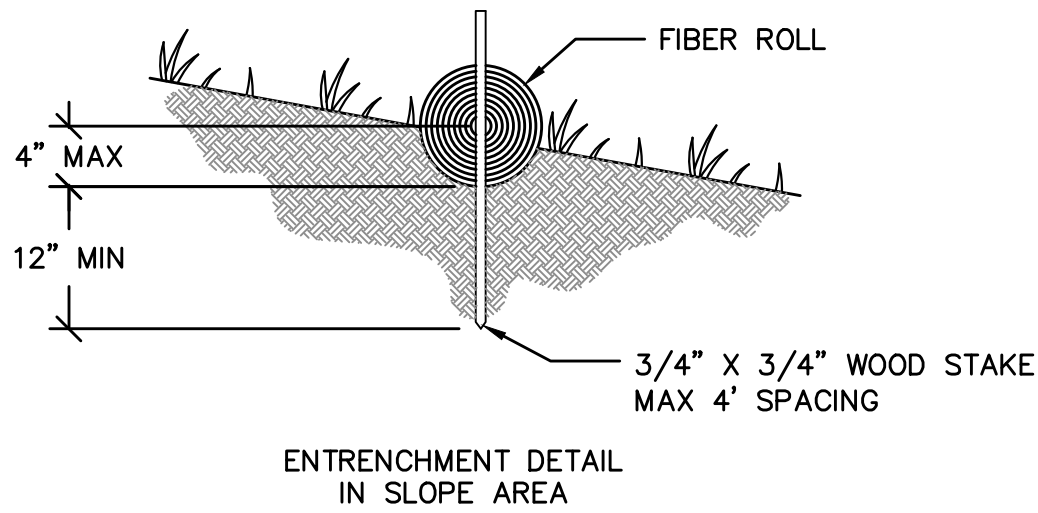


DANDY BAG® SPECIFICATIONS

NOTE: THE DANDY BAG® WILL BE MANUFACTURED BY THE U.S.A. FROM A WOVEN MONOPLANT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

15-FLOW DANDY BAG® (SAFETY GRAB®)			
Mechanical Properties	Test Method	Units	MARY
Grab Tensile Strength	ASTM D 2836	lb (kg)	1,680 (760) X 6,300 (2800)
Grab Tensile Elongation	ASTM D 2836	%	21 X 10
Puncture Strength	ASTM D 2836	lb (kg)	0.50 (0.23)
Puncture Elongation	ASTM D 2836	%	125 (5.6)
Tensile Tear Strength	ASTM D 2836	lb (kg)	0.81 (110) X 0.25 (70)
Tensile Tear Elongation	ASTM D 2836	%	8
Account Opening Size	ASTM D 2836	in (US Std Size)	0.50 (1.27)
Perforation	ASTM D 2836	in (US Std Size)	0.50 (1.27)

*Note: All Dandy Bag® can be ordered with our optional oil absorbent pillows



- NOTES**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

1
C4.1

INLET PROTECTION

SCALE: NTS

2
C4.1

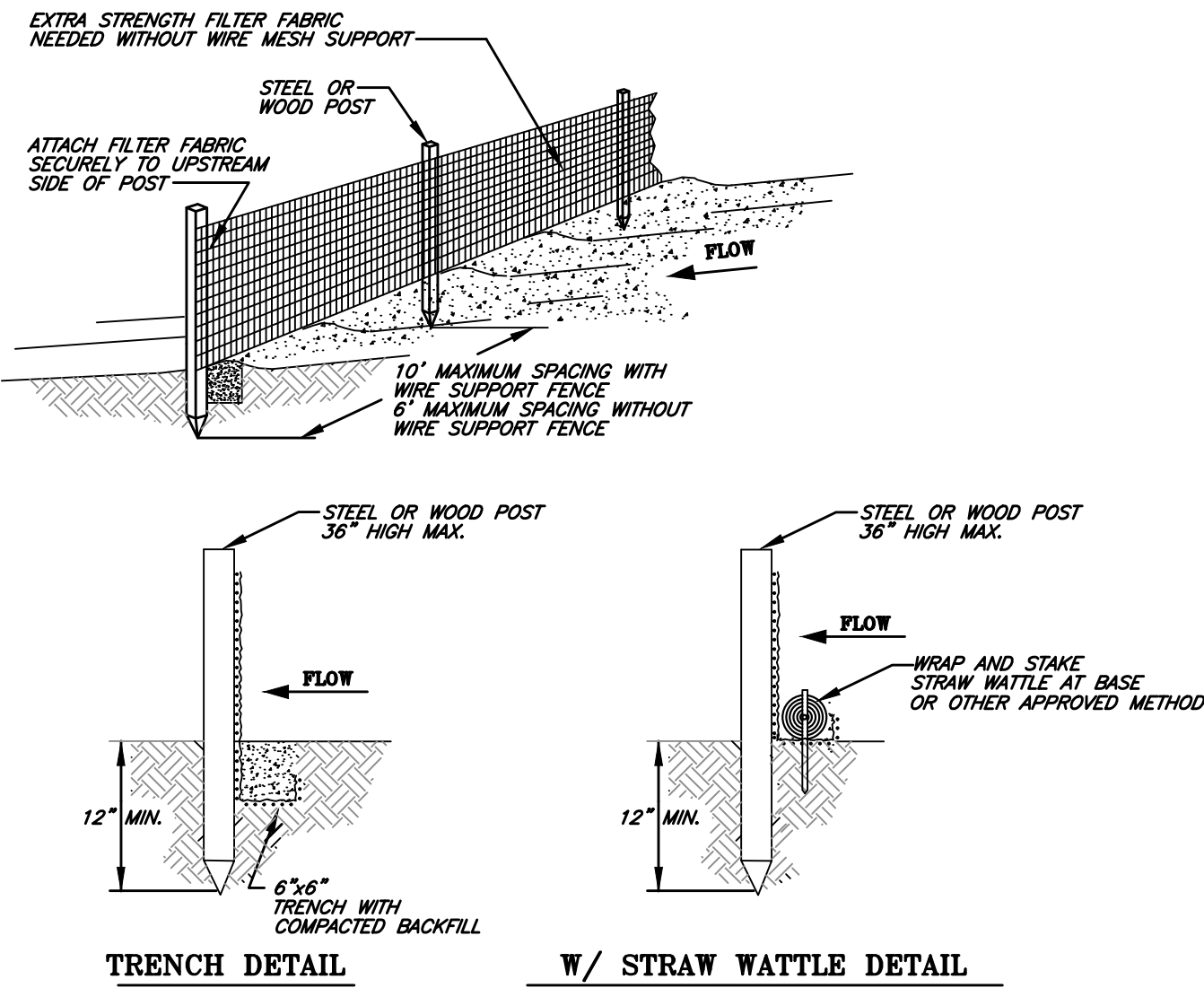
STRAW WATTLE

SCALE: NTS

3
C4.1

GRAVEL BAG SEDIMENT BARRIER

SCALE: N.T.S.

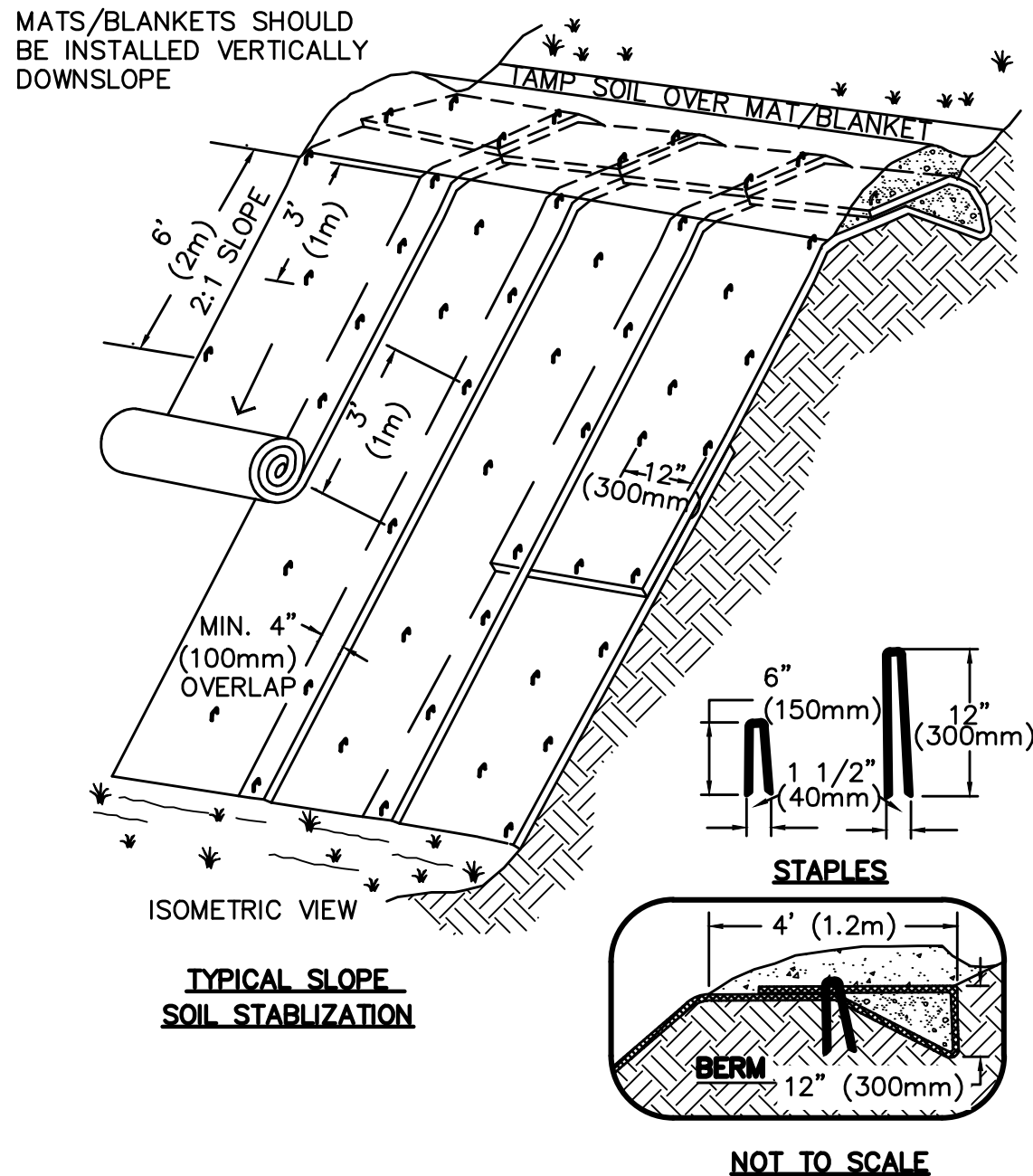


- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

4
C4.1

SILT FENCE

SCALE: NTS

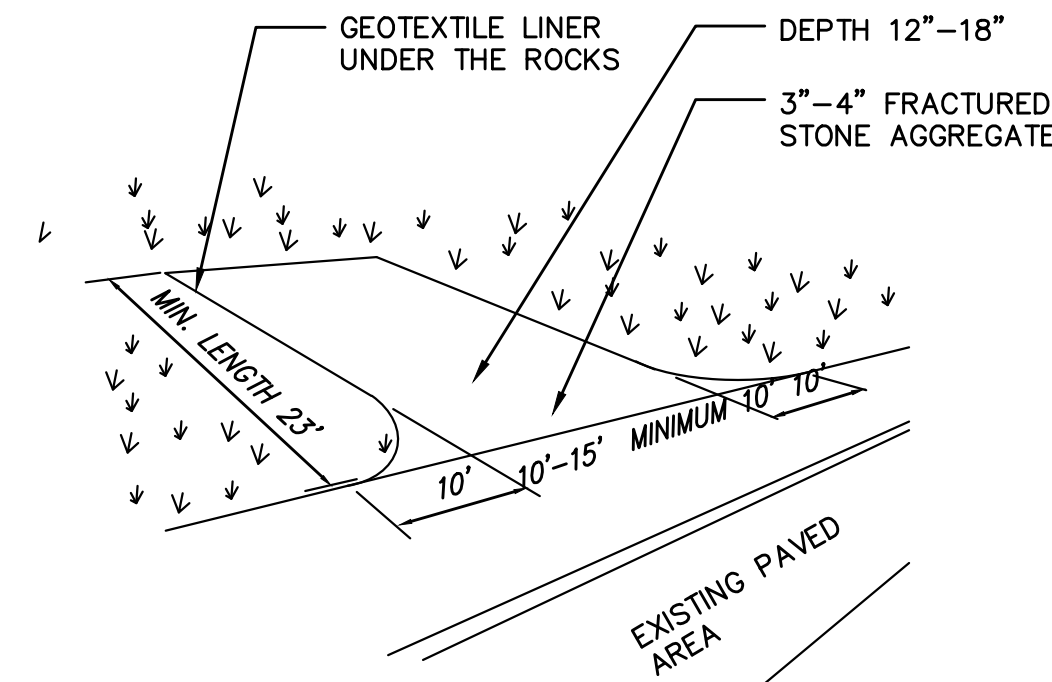


- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL
 2. APPLY PERMANENT SEEDING HAVE GOOD SOIL CONTACT. BEFORE PLACING BLANKETS.
 3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

5
C4.1

EROSION CONTROL BLANKETS

SCALE: N.T.S.



- NOTES:**
1. PROPERLY GRADE ENTRANCE TO PREVENT RUNOFF FROM CONSTRUCTION SITE. ENTRANCE ELEVATION SHOULD BE LOWER THAN STREET.
 2. INSPECT ROUTINELY FOR DAMAGE AND REPAIR AS NEEDED.
 3. REQUIRE THAT ALL EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. SERVICE SEDIMENT TRAPPING DEVICES REGULARLY.

6
C4.1

CONSTRUCTION ENTRANCE

SCALE: N.T.S.



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APN 259-101-116

REVISED	

BOWMAN & WILLIAMS		EROSION AND SEDIMENT CONTROL DETAILS	
CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		7572 PASEO VISTA PLACE MONTEREY, CALIFORNIA	
3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 428-3560			

SCALE	DRAWN	JOB NO.	SHEET
AS NOTED	KAB	28760	C4.1
DATE	CHECKED	INDEX	OF
SEPTEMBER 16, 2024	JFR	MONTEREY CO.	10
DESIGN	DWG NAME	FILE NO.	
	28760 C3.0	28760	

LISA LI RESIDENCE
MONTERRA RANCH
7572 PASEO VISTA PLACE
MONTEREY, CALIFORNIA

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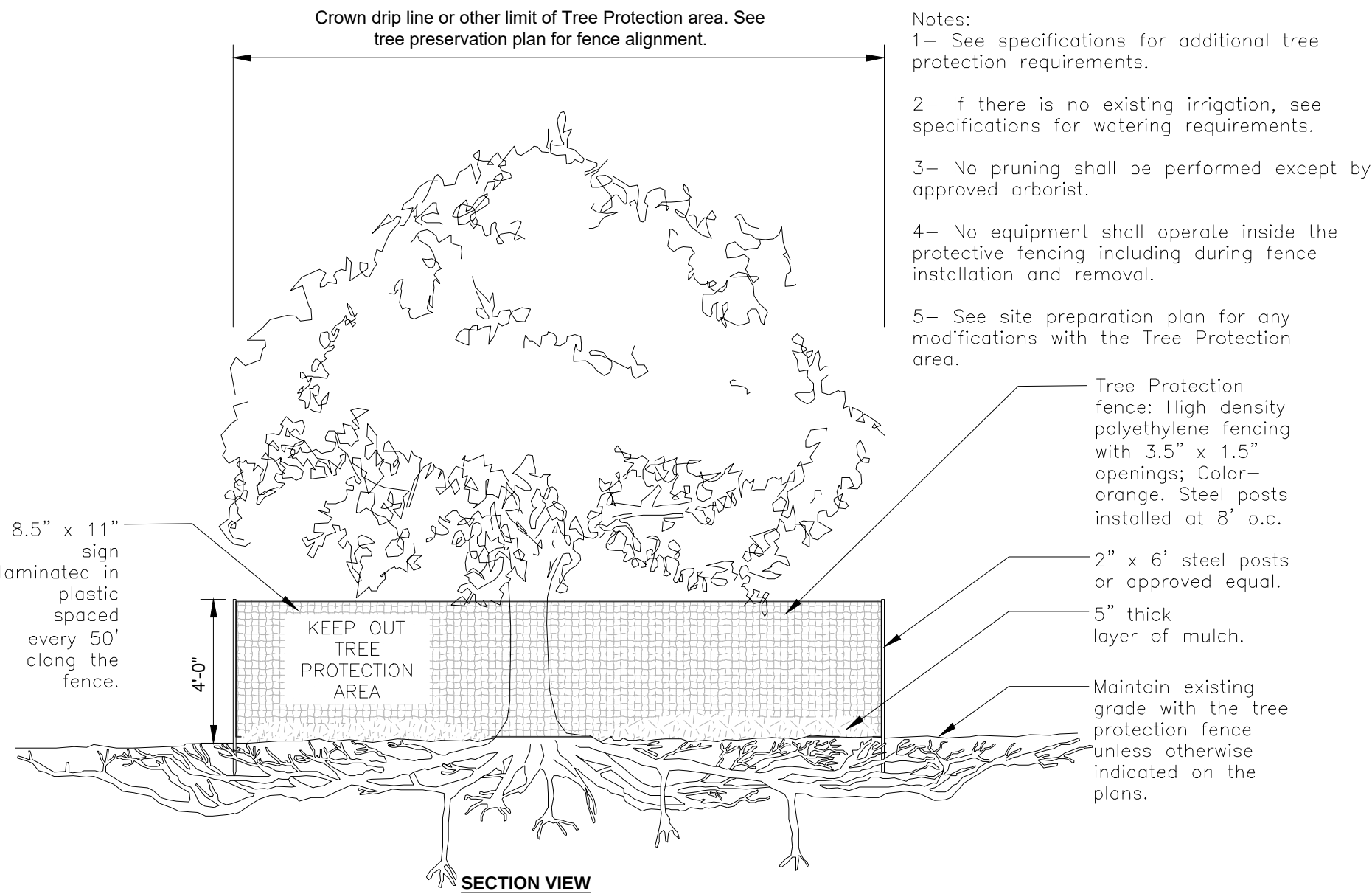
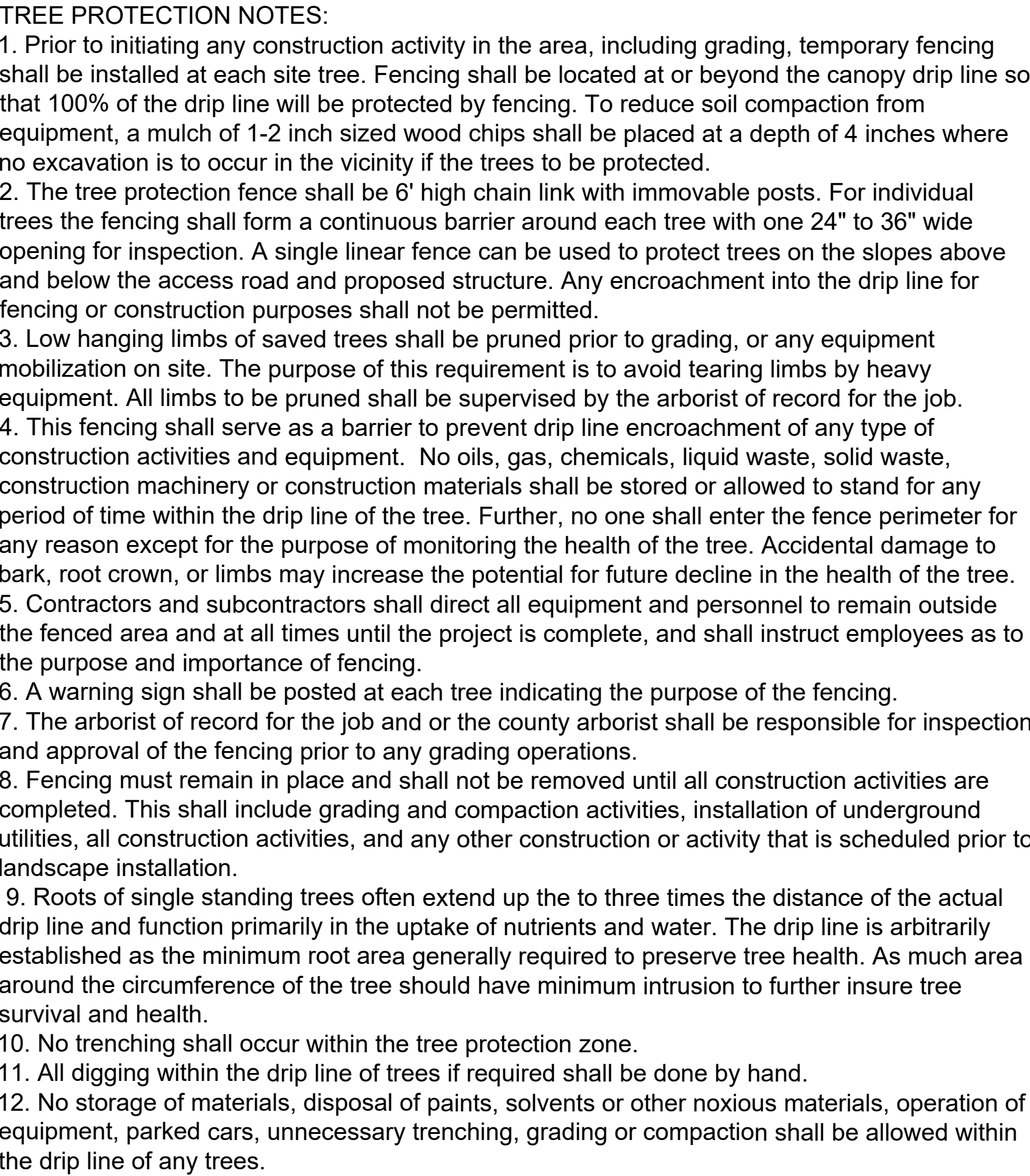
EXISTING TREES

SCALE as noted

SHEET

DATE 10.28.2022

-1.0



1 TREE PROTECTION

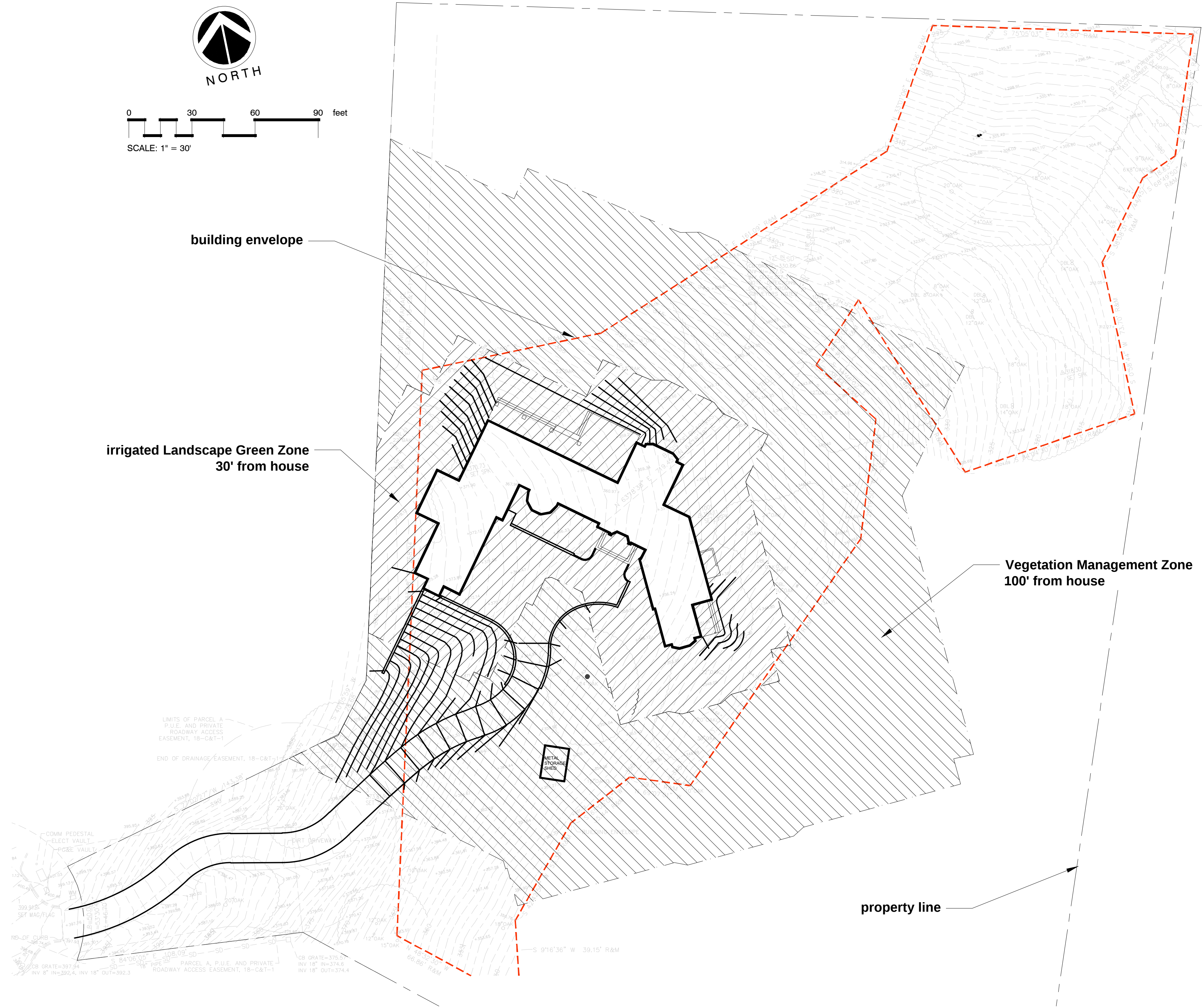
$$1/4'' = 1'-0''$$

URBAN TREE FOUNDATION ©2014
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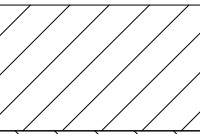
FX-PL-FX-TRMT-02

TREE REPLACEMENT TABLE	
TOTAL TREES SURVEYED (within building envelope and access road)	48
EXISTING TREES TO REMAIN	44
TREES TO BE REMOVED	4
NEW TREES TO BE PLANTED (2:1 replacement)	8
NEW ORNAMENTAL TREES TO BE PLANTED	4
EXISTING TREES TO REMAIN	48
TOTAL TREES FOR WITHIN BUILDING ENVELOPE AT COMPLETION	60

Note: New replacement trees will be planted from 15 gallon containers
See sheet L-1.2 for tree replacement species and locations



FIRE MANAGEMENT ZONE LEGEND

KEY	DESCRIPTION	LOCATION
	IRRIGATED LANDSCAPE 'GREEN ZONE'	30' FROM HOME
	VEGETATION MANAGEMENT	100' FROM HOME
AS NOTED	SELECTIVE PRUNING/REMOVAL	AS NEEDED

FIRE SAFETY AND PREVENTION GUIDELINES

The planting design for the property should establish the following fire safety zones. Tree and plant species have been selected which are suitable for fire prone regions.

GREEN ZONE (0 TO 30')	Zone of irrigated ornamental landscape plants and existing trees. Reduce volume of vegetation and replace with low growing, slow burning plant species. Limit 'fire ladder' planting (low to medium to tall). Provide irrigation system to increase moisture content of soil immediately near structure. See planting plan on sheet L1.2.
VEGETATION MANAGEMENT ZONE (30 TO 100')	Intermediate transition zone between native landscape and ornamental landscape. Selective removal of highly flammable plants species to reduce fuel volume and lower the intensity of fire that may approach the structure. Periodic maintenance every 3-5 years to prune trees, remove invasive grasses and remove crowded plant masses of unwanted combustible vegetation.
TREE PRUNING/REMOVAL ZONE (AS REQUIRED)	Owner's arborist shall remove all dead trees and perform necessary pruning of existing trees as needed to limit volume of dry fuel. Periodic maintenance every 3-5 years.

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REVISIONS

FIRE MANAGEMENT PLAN

JOB NO.	202222
SCALE	1" = 30' - 0"
DRAWN	MA
CHECK	
DATE	10.28.2022
SHEET	L-1.1

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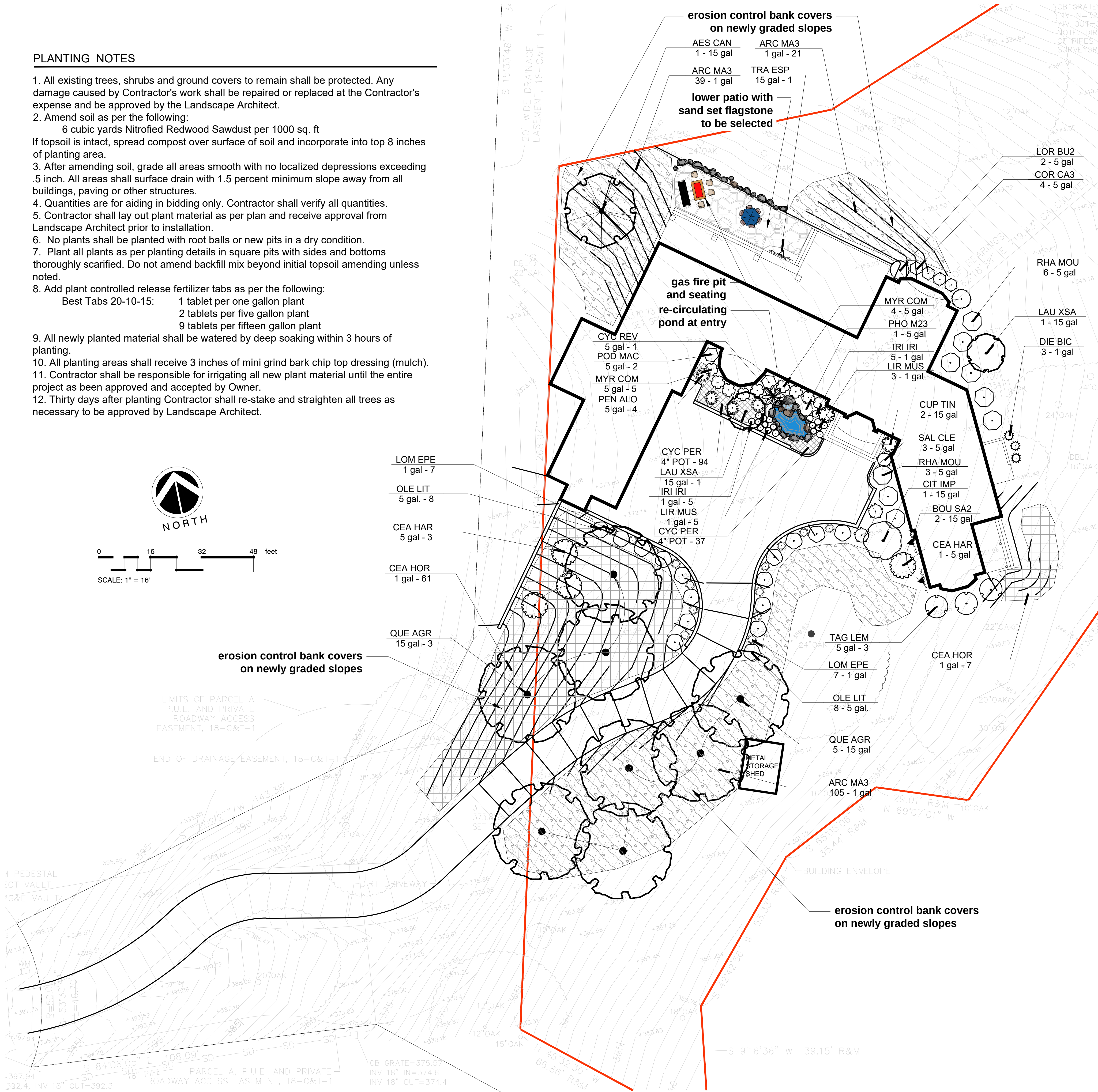
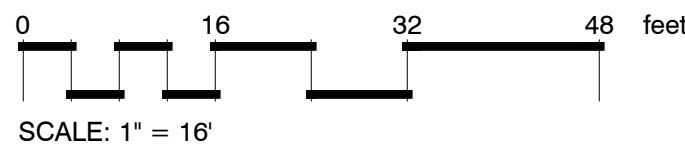
REVISIONS

PRELIMINARY
LANDSCAPE PLAN

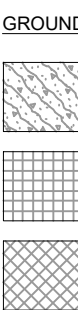
JOB NO. 202222
SCALE 1/16 = 1' - 0"
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CHECK
DATE 10.28.2022 L-1.2

PLANTING NOTES

1. All existing trees, shrubs and ground covers to remain shall be protected. Any damage caused by Contractor's work shall be repaired or replaced at the Contractor's expense and be approved by the Landscape Architect.
2. Amend soil as per the following:
6 cubic yards Nitrofiied Redwood Sawdust per 1000 sq. ft
If topsoil is intact, spread compost over surface of soil and incorporate into top 8 inches of planting area.
3. After amending soil, grade all areas smooth with no localized depressions exceeding .5 inch. All areas shall surface drain with 1.5 percent minimum slope away from all buildings, paving or other structures.
4. Quantities are for aiding in bidding only. Contractor shall verify all quantities.
5. Contractor shall lay out plant material as per plan and receive approval from Landscape Architect prior to installation.
6. No plants shall be planted with root balls or new pits in a dry condition.
7. Plant all plants as per planting details in square pits with sides and bottoms thoroughly scarified. Do not amend backfill mix beyond initial topsoil amending unless noted.
8. Add plant controlled release fertilizer tabs as per the following:
Best Tabs 20-10-15: 1 tablet per one gallon plant
2 tablets per five gallon plant
9 tablets per fifteen gallon plant
9. All newly planted material shall be watered by deep soaking within 3 hours of planting.
10. All planting areas shall receive 3 inches of mini grind bark chip top dressing (mulch).
11. Contractor shall be responsible for irrigating all new plant material until the entire project as been approved and accepted by Owner.
12. Thirty days after planting Contractor shall re-stake and straighten all trees as necessary to be approved by Landscape Architect.



PLANT SCHEDULE

	CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE		
	AES CAN	Aesculus californica 'Canyon Pink' / Canyon Pink California Buckeye	15 gal	1	Very low		
	CIT IMP	Citrus x limon 'Improved Meyer' / Improved Meyer Lemon	15 gal	1	Medium		
	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	15 gal	2	Low		
	QUE AGR	Quercus agrifolia / Coast Live Oak	15 gal	8	Very low		
	CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE		
	CEA HAR	Ceanothus x 'Ray Hartman' / California Lilac	5 gal	4	Very low		
	COR CA3	Correa pulchella 'Carmine Bells' / Australian Fuchsia	5 gal	4	Low		
	CUP TIN	Cupressus sempervirens 'Monshel' / Tiny Tower® Italian Cypress	15 gal	2	Low		
	CYC REV	Cycas revoluta / Sago Palm	5 gal	1	Medium		
	DIE BIC	Diets bicolor / Fortnight Lily	1 gal	3	Low		
	IRI IRI	Iris douglasiana / Douglas Iris	1 gal	10	Low		
	LIR MUS	Liriope muscari / Lilyturf	1 gal	8	Medium		
	LOR BU2	Loropetalum chinense rubrum 'Burgundy' / Burgundy Loropetalum	5 gal	2	Low		
	MYR COM	Myrtus communis 'Compacta' / Dwarf Myrtle	5 gal	9	Low		
	OLE LIT	Olea europaea 'Little Olive' TM / Little Olive Olive	5 gal	16	Very low		
	POD MAC	Podocarpus macrophyllus 'Maki' / Maki Podocarpus	5 gal	2	Medium		
	RHA MOU	Rhamnus californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal	9	Very low		
	SAL CLE	Salvia clevelandii / Cleveland Sage	5 gal	3	Very low		
	TAG LEM	Tagetes lemmonii / Copper Canyon Daisy	5 gal	3	Low		
	CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE		
	LOM EPE	Lomandra x 'Platinum Beauty' / Variegated Mat Rush	1 gal	14	Low		
	PEN ALO	Pennisetum alopecuroides / Fountain Grass	5 gal	4	Low		
	PHO M23	Phormium tenax 'Maori Maiden/Sunrise' / Tricolor New Zealand Flax	5 gal	1	Low		
		CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
BOU SA2		Bougainvillea x 'San Diego Red' / Bougainvillea	15 gal	2	Low		
TRA ESP		Trachelospermum jasminoides / Star Jasmine Trellis	15 gal	1	Medium		
		CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
		ARC MA3	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	1 gal	72" o.c.	162	Medium
	CEA HOR	Ceanothus griseus horizontalis / Carmel Creeper	1 gal	84" o.c.	68	Low	
	CYC PER	Cyclamen persicum / Persian Cyclamen	4" POT	12" o.c.	131	Low	

TREES



Aesculus californica 'Canyon Pink'
Canyon Pink California Buckeye



Citrus x limon 'Improved Meyer'
Improved Meyer Lemon



Laurus nobilis 'Saratoga'
Saratoga Laurel



Quercus agrifolia
Coast Live Oak

VINES



Bougainvillea 'San Diego Red'
Red Bougainvillea



Trachelospermum jasminoides
Star Jasmine Trellis

SHRUBS



Ceanothus x 'Ray Hartman'
California Lilac



Correa pulchella 'Carmine Bells'
Australian Fuchsia



Cupressus sempervirens 'Monshel'
Tiny Towers Italian Cypress



Cycas revoluta
Sago Palm



Diets bicolor
Fortnight Lily



Iris douglasiana
Douglas Iris



Liriope muscari
Lilyturf



Loropetalum chinense rubrum
'Burgundy' Burgundy Loropetalum

SHRUBS



Myrtus communis 'Compacta'
Dwarf Myrtle



Olea europaea 'Little Ollie'
Little Ollie Olive



Podocarpus macrophyllus 'Maki'
Maki Podocarpus



Rhamnus californica 'Mound San Bruno'
Mound San Bruno Coffeeberry



Salvia clevelandii
Cleveland Sage



Tagetes lemmonii
Copper Canyon Daisy

ORNAMENTAL GRASSES



Lomandra x 'Platinum Beauty'
Variegated Mat Rush



Pennisetum alopecuroides
Fountain Grass



Phormium tenax Maori Maiden
Tricolor New Zealand Flax

GROUND COVERS



Arctostaphylos x 'Emerald Carpet'
Emerald Carpet Manzanita



Ceanothus griseus horizontalis
Carmel Creeper



Cyclamen persicum
Persian Cyclamen

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MONTEREY, CALIFORNIA

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PLANT IMAGES

JOB NO. 202222
SCALE no scale
DRAWN MA SHEET
CHECK L-1.3
DATE 10.28.2022