

Exhibit F

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CARMEL RIVER INN

COTTAGE UNIT #17 REMODEL/ADDITION

Project / Owner:

CARMEL RIVER INN

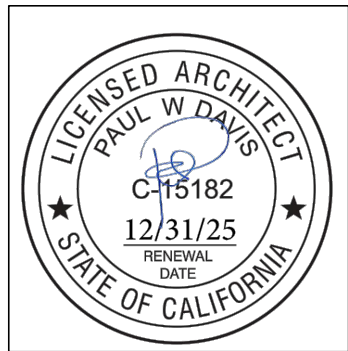
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #17/43 revised

THE PAUL DAVIS PARTNERSHIP

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

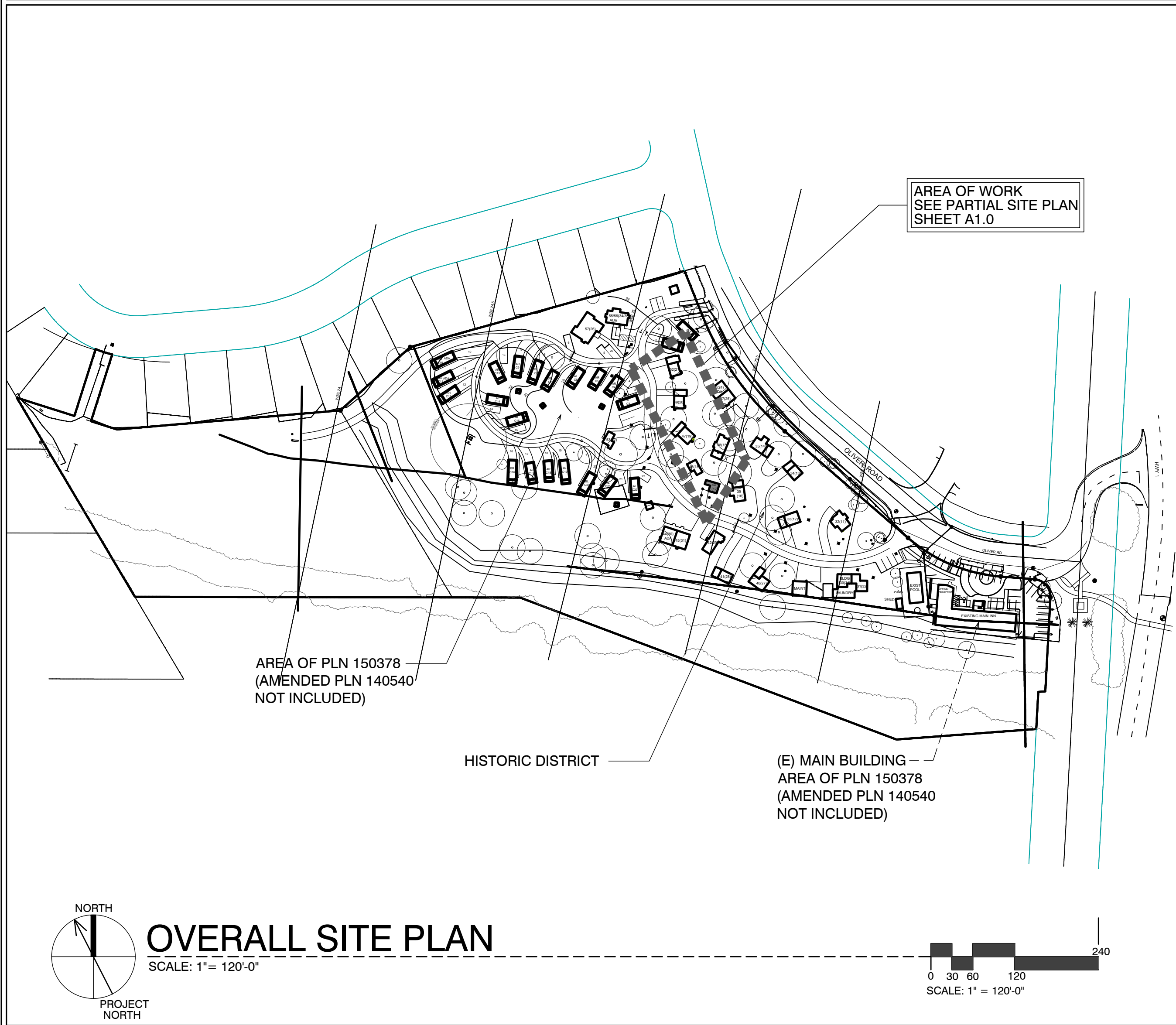
Revisions: 1 03/10/26 HRRB

Sheet Title:
COVER SHEET
PROJECT INFO

Sheet Number:

A0.1

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL EXISTING / ORIGINAL COTTAGE 17
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEET A2.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #17 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17-#21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

ABBREVIATIONS

& @ B E O J // # (E)	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL ROUND OR NUMBER EXISTING	DBL DEPT. DET. D.F. D.H. DAG. DIA. DIMEN. DISPENSER DN DRWG. D.S. DWR.	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER	H.B. HBD H.C. HOR. HDWD. HDWR. H.M. HORIZ. HOT. HTG. H.W. HVAC	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING	P.A.F. P.G. P.L.F. P.L. P.LAM. PLAS. PLY. P.S.F. P.S.I. P.T. PART. P.T.D. P.V.C.	POWDER ACTUATED FASTENER PARTICLE BOARD PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE	O/ OBS. O.C. O.D. O.H.M. O.H.W. OPNG. OPP. O.S.B.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD	SIM. S.S. S.M. S.M.S. SPECS. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYM. SYS.	SIMILAR STAINLESS STEEL SHEET METAL SHEET METAL SCREW SPECIFICATIONS SQUARE STEEL STANDARD STAGGERED STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM	
A.B. A.C. A.COUS. ADJ. AGGR. ALUM. ANOD. A.P.A. APPROX. ARCH.	ANCHOR BOLT ACRYLONITRILE BUTADIENE STYRENE ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ADJUSTABLE, ADJACENT AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROXIMATE ARCHITECT (URAL)	E EA ELEV. ELEC. EMER. ENCL. EQUIP. EXIST. EXH. EXP. EXT.	EAST EACH ELEVATION, ELEVATOR ELECTRIC (AL) EMERGENCY ENCLOSURE EQUIPMENT EXIST. (E) EXHAUST EXPOSED, EXPANSION EXTERIOR	I.C.B.O. I.D. INCL. INSUL. INT. INV.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT	JAN. J.H. JT. KIT.	JANITOR JOIST HANGER JOINT KITCHEN	R. R.A. RAD. R.D. LOC. REF. REIN. RECD. REOMT. RESIL. R.H.M.S. RM. R.O. R.S. RUB. RWD. S. S.B. S.C. SCHED. S.D. SERV. S.F. SH. SHWR. SHT. SHTG.	RISER (S) RETURN AIR RADIUS ROOF DRAIN REGISTER REFRIGERATOR REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT ROUND HEAD METAL SCREW ROUND HEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RESAWN RUBBER REDWOOD RAIN WATER LEADER SOUTH SOLID BLOCKING MASONRY OPENING MOUNTED METAL MULLION N. NAT. N.I.C. NOM. N.T.S.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE RISER (S) RETURN AIR RADIUS ROOF DRAIN REGISTER REFRIGERATOR REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT ROUND HEAD METAL SCREW ROUND HEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RESAWN RUBBER REDWOOD RAIN WATER LEADER SOUTH SOLID BLOCKING MASONRY OPENING MOUNTED METAL MULLION NORTH NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE	SIM. S.S. S.M. S.M.S. SPECS. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYM. SYS. T. T.B. T.C. TEL. TEMP. T.E.N. T & G T.G.R. T.H. THRESH. T.O. T.P. T.P.H. TV T.W. TYP. U.B.C. U.L. U.O.N. UR. V.B. VAR. VERT. V.G. V.T. V.V. W. W.C. W.I. W.D. W.DW. W.H. W.I.C. W.O. W.P. W.R. W.S. W.SCT. WT. W.W.M.	SIMILAR STAINLESS STEEL SHEET METAL SHEET METAL SCREW SPECIFICATIONS SQUARE STEEL STANDARD STAGGERED STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM TREAD (S) TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TYPICAL EDGE MAILING TONGUE AND GROOVE TOP OF GRATE THICK (NESS) THRESHOLD TOP OF TOP OF PAVEMENT TOILET PAPER HOLDER TELEVISION TOP OF WALL TYPICAL UNIFORM BUILDING CODE UNDERWRITERS LABORATORIES UNLESS OTHERWISE NOTED URINAL VAPOR BARRIER VARIES VERTICAL VERTICAL GRAIN VINYL TILE WEST WIDTH WITH WATER CLOSET WOOD WINDOW WATER HEATER WOODWORK INSTITUTE OF CALIFORNIA WITHOUT WATERPROOF WATER RESISTANT WOOD SCREW WARRANTY WEIGHT WELDED WIRE MESH

SYMBOLS

- 2 A6 DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- A7 SECTION KEY
SECTION NUMBER
SHEET NUMBER
- C A8 INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE B201 ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR DATUM POINT
- MATCHLINE
- 8 SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- 101C DOOR NUMBER
(SEE DOOR SCHEDULE)
- D WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- A EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- 2 REVISION

VICINITY MAP



PROJECT INFORMATION

OCCUPANCY CLASSIFICATION: Occupancy Group and Div.	OCCUPANCY LOADS: Building Area Factor Load
R1	UNIT #17 300 2
OCCUPANCY SEPARATIONS:	NONE
TYPE OF USE:	MOTEL
TYPE OF CONSTRUCTION:	V-B
SPRINKLERS REQUIRED:	YES, NFPA 13-D
APPLICABLE CODES: 2022 California Building Code (CBC) 2022 California Residential Code (CRC) 2022 California Electrical Code (CEC) 2022 California Mechanical Code (CMC) 2022 California Plumbing Code (CPC) 2022 California Energy Code (CenC) Title 24	

PROJECT DIRECTORY

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Sheet Title:
UNIT #17 FLOOR PLAN

Sheet Number:

DEMO NOTES

1. WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
2. ROOF PREVIOUSLY REMOVED.
3. REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-3 1/2"

TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-4 7/8"

TOTAL DEMO = 26.5%

NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL LEGEND

- DUPLIX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
1. NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
 2. ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
 3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

1. Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
2. The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
3. The exterior siding and trim will be redwood, which is rot resistant.
4. The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
5. Mold resistant paint will be used exterior and interior.
6. Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

1. (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
2. REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
3. ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
4. SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FOUNDATION VENT CALCULATION:
41 SF / 150 = .27 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

FND. PLAN UNIT 17

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 17

SCALE: 1/4" = 1'-0"

DEMO PLAN UNIT 17

SCALE: 1/4" = 1'-0"

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ELECTRICAL PLAN UNIT 17

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 17

SCALE: 1/4" = 1'-0"

FLOOR NOTES

1. (E) FLOOR AREA TO REMAIN
2. NEW ADDITION SHOWN SHADED
3. (N) SINK & COUNTER
4. (N) UNDER-COUNTER REFRIGERATOR
5. SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
6. (N) WALL MOUNTED TANK-LESS WATER HEATER.
7. FLAT PANEL TV MOUNTED ABOVE FIREPLACE
8. ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
9. ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
10. (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
11. NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
12. NOT USED
13. ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
14. NEW ADDITION UNDER EXISTING ROOF
15. 2x6 P.T. FLOOR JOIST @ 16" O.C.

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

1. (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
2. (N) ROOF OVER ADDITION
3. FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
4. BEAM
5. OUTLINE OF ROOF, TYP.
6. 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
7. NOT USED
8. NOT USED
9. NOT USED

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COTTAGE
REMODEL
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Sheet Title:
UNIT #17
ELEVATIONS

Sheet Number:

1

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ELEVATION SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESNT MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW 2x4' WOOD WINDOW WITH SHUTTERS TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

1

SECTION SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x6'-0" LONG WALL TO EXISTING W/ 10'-16d
8. REUSE EXISTING WINDOW MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



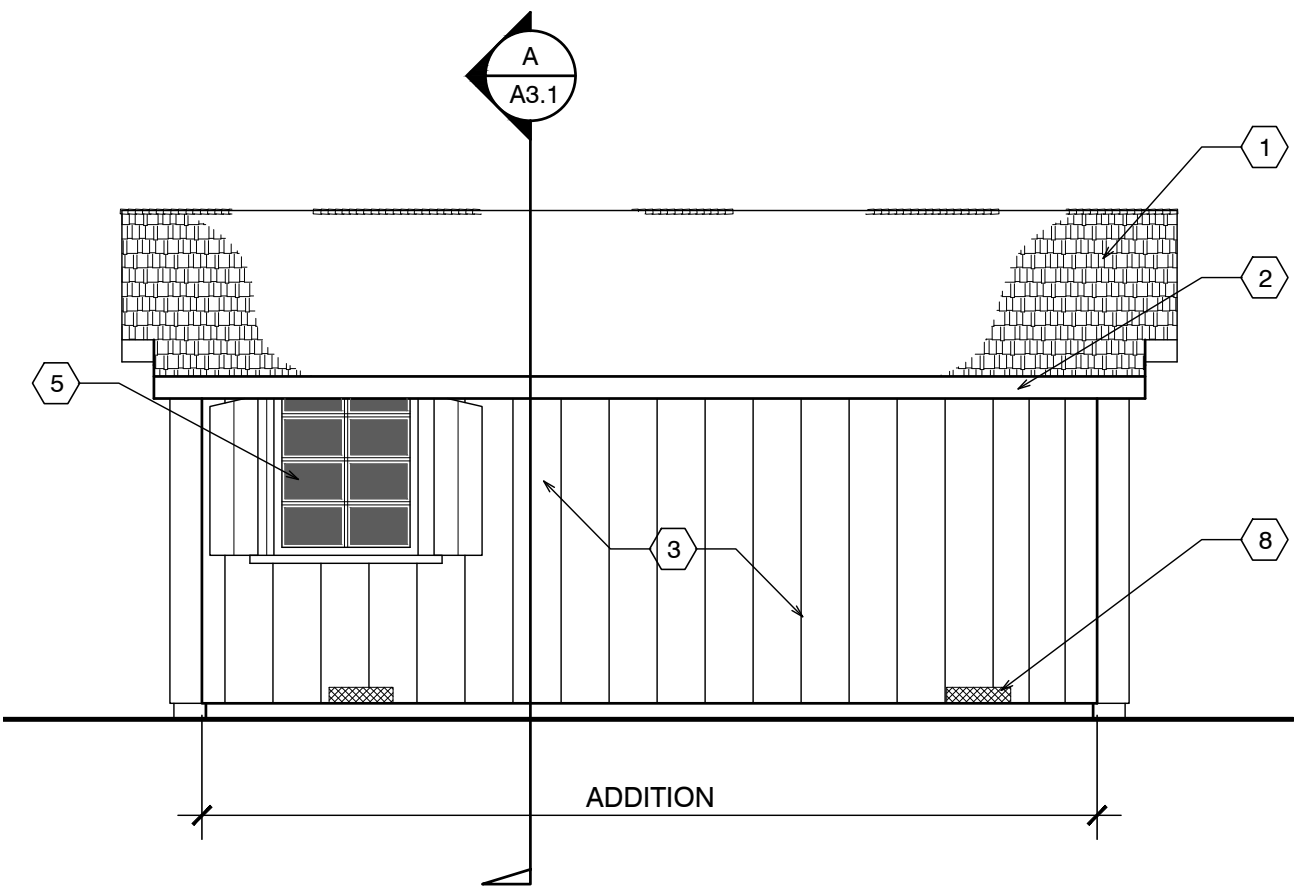
FRONT ELEVATION



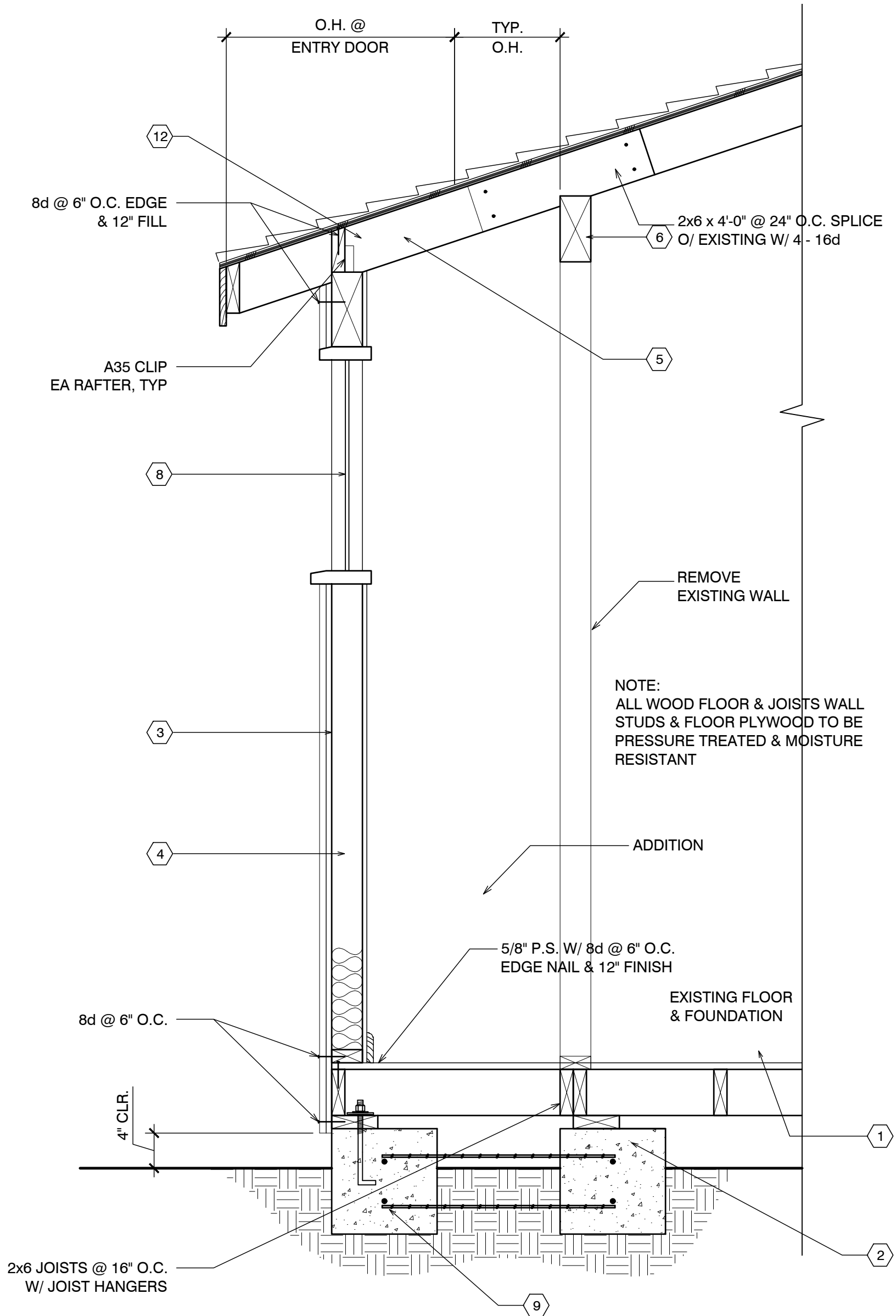
SIDE ELEVATION



SIDE ELEVATION



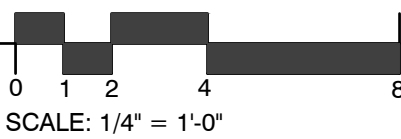
BACK ELEVATION



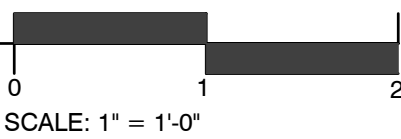
UNIT #17 SECTION

EXTERIOR ELEVATIONS UNIT #17

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1" = 1'-0"

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COTTAGE UNIT #18 REMODEL/ADDITION

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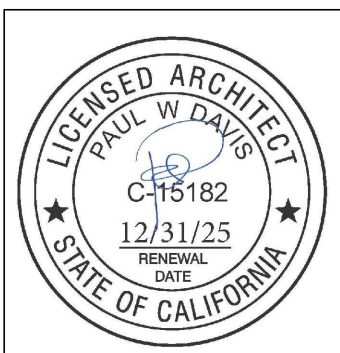
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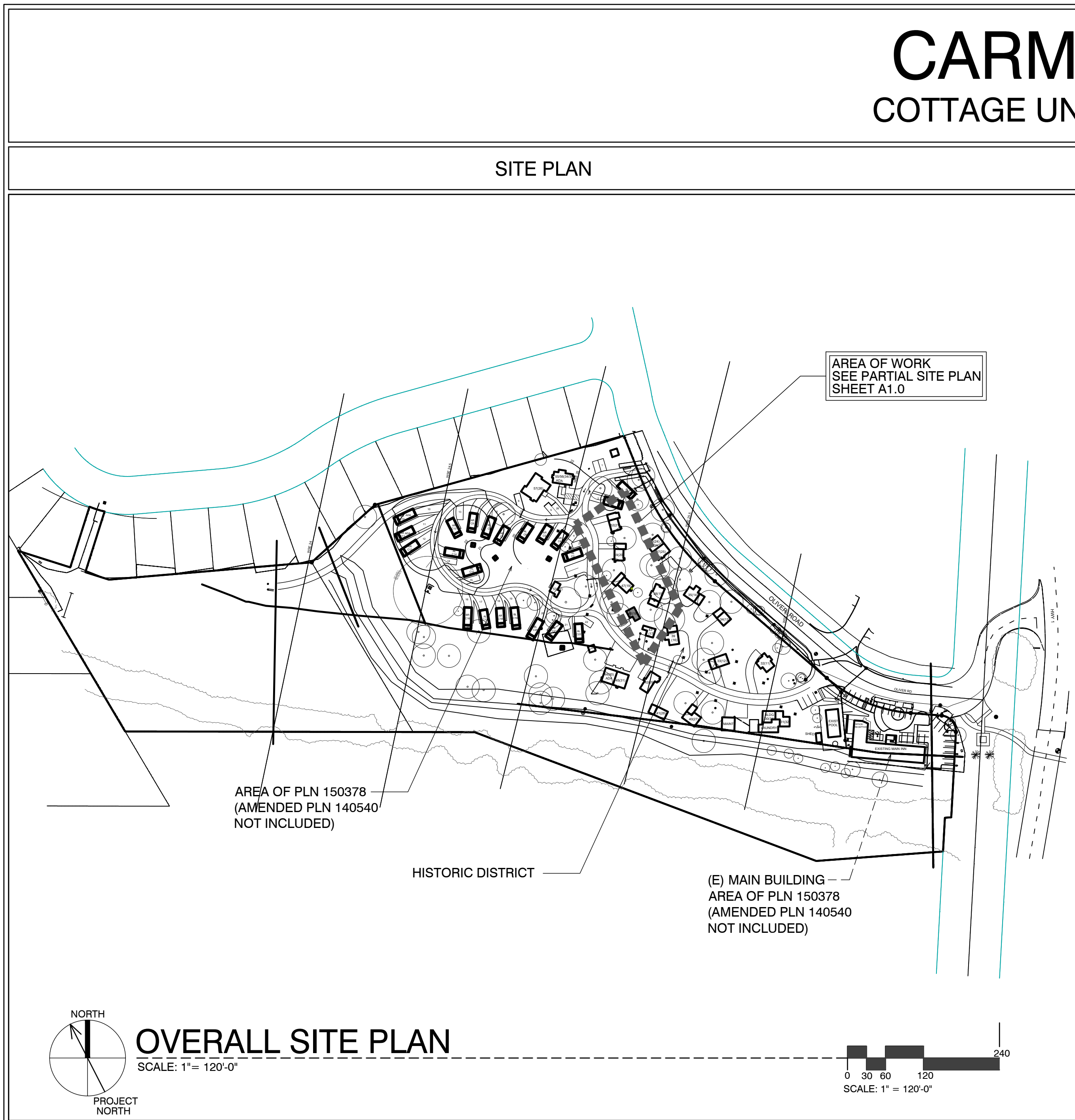
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PROJECT INFO

Sheet Number:

A0.1



SCOPE OF WORK	
- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 18 - ADD NEW INSULATION IN WALLS @ EXTERIOR - ADDITION TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1,& A3.1	
SHEET INDEX	
ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	COTTAGE #18 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION
DEVELOPMENT ANALYSIS	
A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

ABBREVIATIONS

& L. ANGLE

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CARMEL RIVER INN

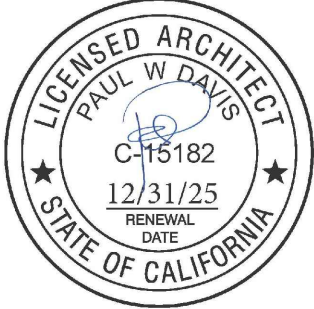
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #18/46 revised

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions: 1 03/10/26 HRRB

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Sheet Title:
UNIT #18 FLOOR PLAN

Sheet Number:

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-11"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-3 1/4"
TOTAL DEMO = 26.7%
NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
 - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
 - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FOUNDATION VENT CALCULATION:
41 SF / 150 = .27 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

FND. PLAN UNIT 18

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 18

SCALE: 1/4" = 1'-0"

DEMO PLAN UNIT 18

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

FLOOR PLAN UNIT 18

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x $\frac{3}{8}$ " SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

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1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



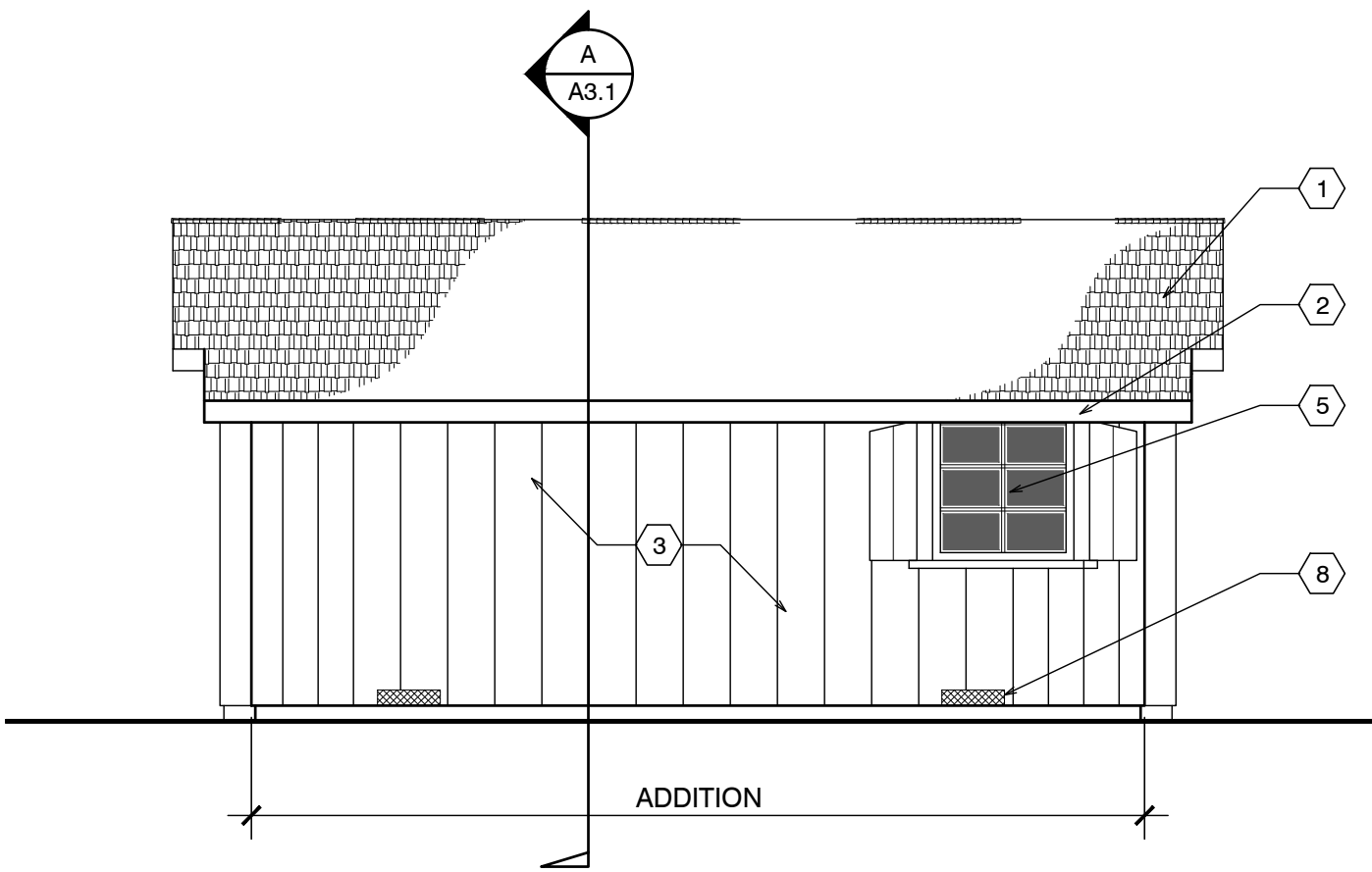
FRONT ELEVATION



SIDE ELEVATION



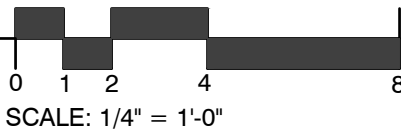
SIDE ELEVATION



BACK ELEVATION

EXTERIOR ELEVATIONS UNIT #18

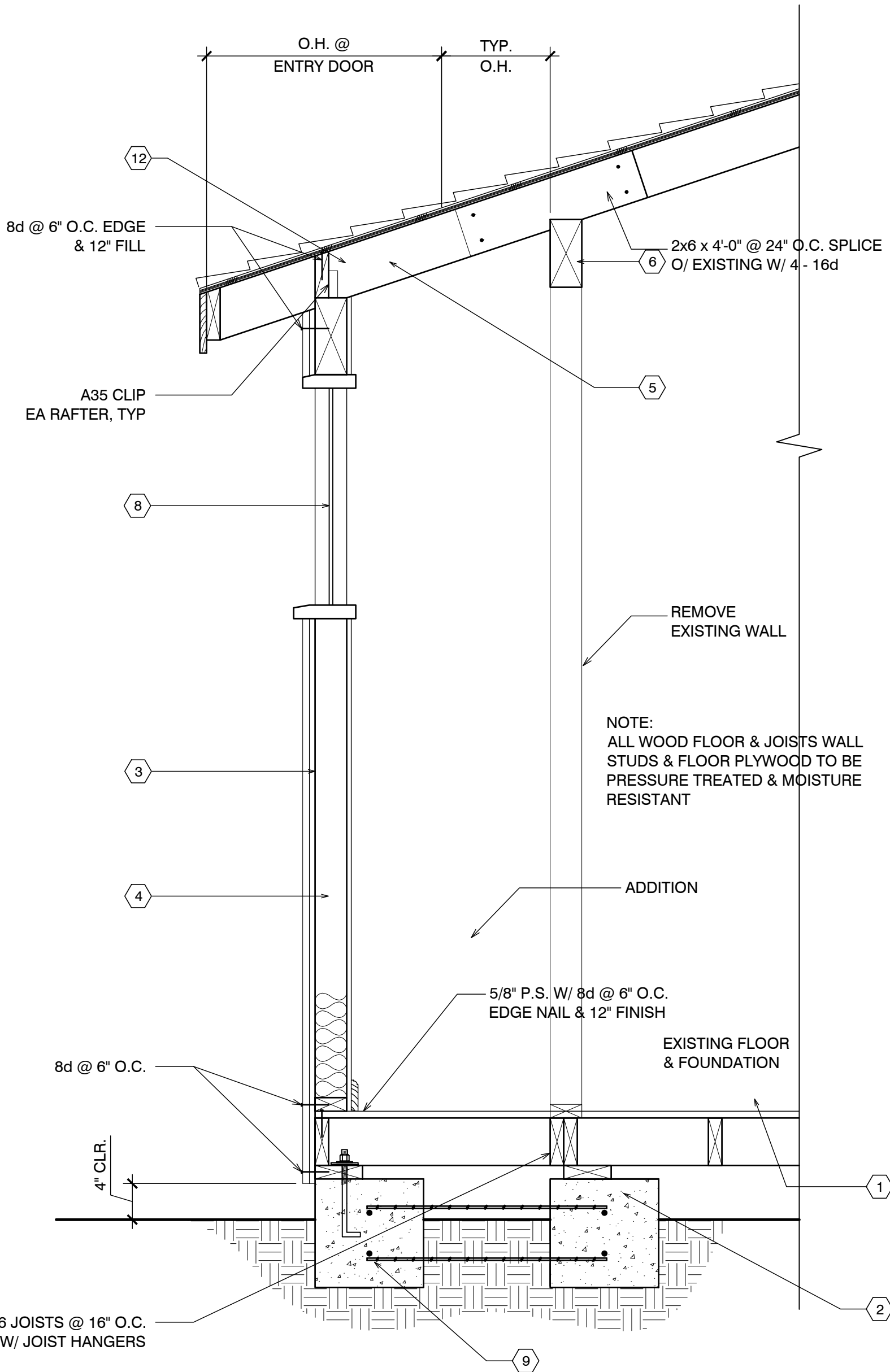
SCALE: 1/4" = 1'-0"



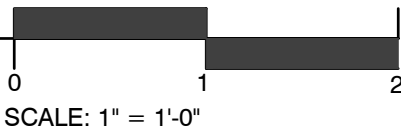
SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. RE-USE EXISTING WOOD WINDOWS OR NEW WOOD WINDOWS WITH SHUTTERS TO MATCH(E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

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UNIT #18 SECTION



Project / Owner:

CARMEL RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL
#18/46 revised

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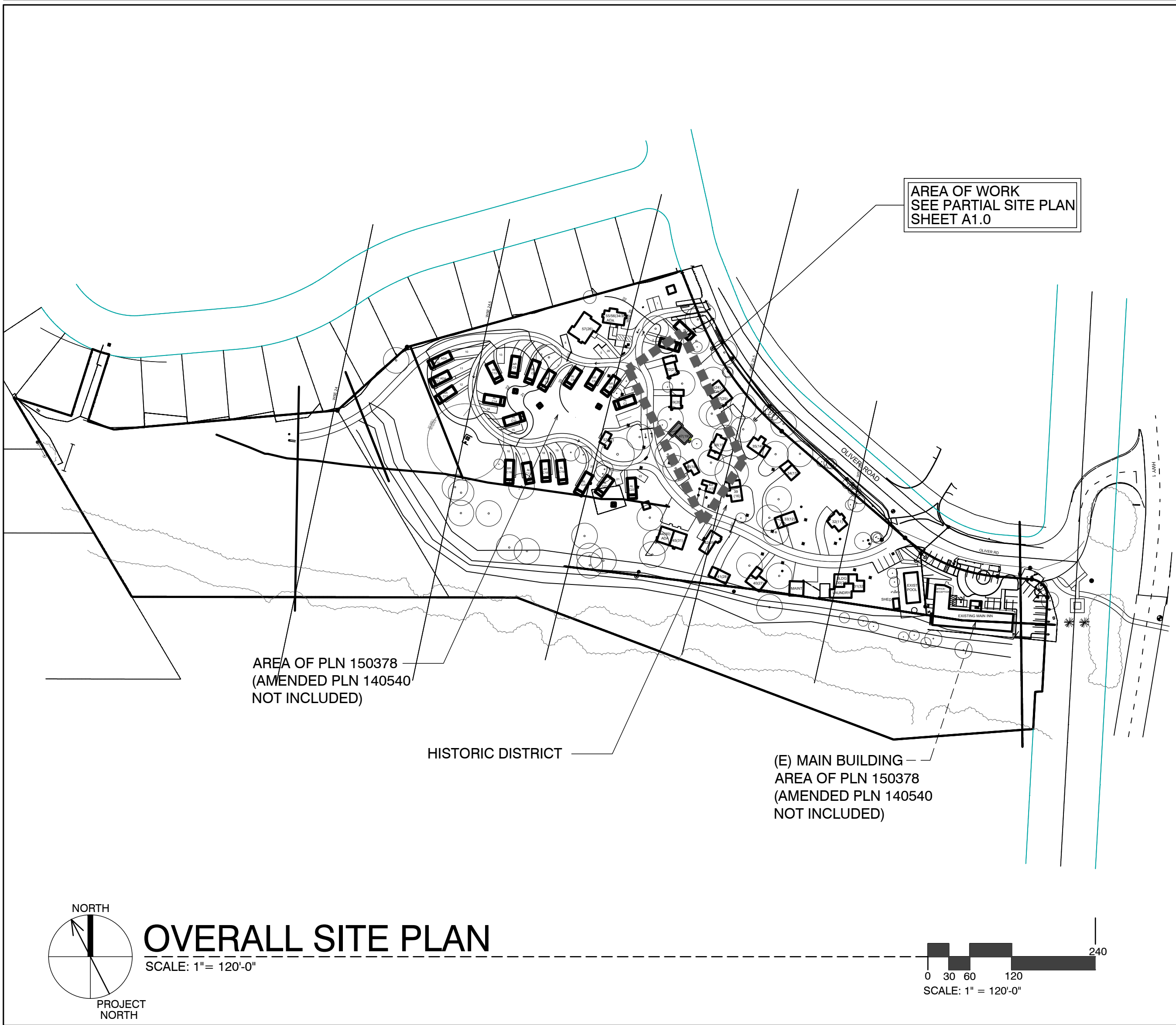
Sheet Title:
UNIT #18
ELEVATIONS

Sheet Number:

CARMEL RIVER INN

COTTAGE UNIT #19 (now 47) REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 19
- ADD NEW INSULATION IN WALL @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #19 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

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A.P.N.	009-563-005
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TREE REMOVAL:	NONE
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WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

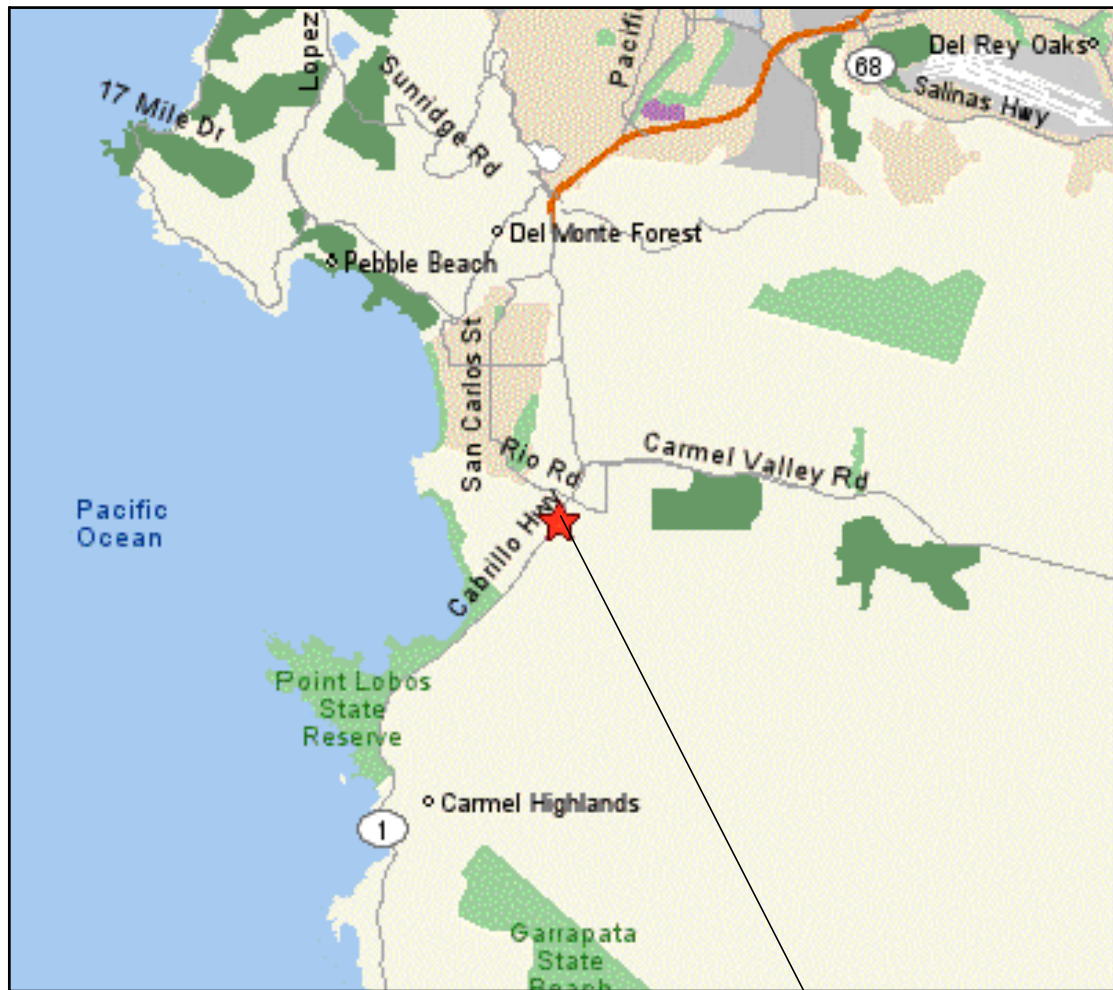
ABBREVIATIONS

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z AA AB AC AD AE AF AG AH AI AJ AK AL AM AN AO AP AQ AR AS AT AU AV AW AX AY AZ BA BB BC BD BE BF BG BH BI BJ BK BL BM BN BO BP BQ BR BS BT BU BV BW BX BY BZ CA CB CC CD CE CF CG CH CI CJ CK CL CM CN CO CP CQ CR CS CT CU CV CW CX CY CZ DA DB DC DD DE DF DG DH DI DJ DK DL DM DN DO DP DQ DR DS DT DU DV DW DX DY DZ EA EB EC ED EE EF EG EH EI EJ EK EL EM EN EO EP EQ ER ES ET EU EV EW EX FY GZ HA HB HC HD HE HF HG HH HI HJ HK HL HM HN HO HP HQ HR HS HT HU HV HW HX HY HZ IA IB IC ID IE IF IG IH II IJ IK IL IM IN IO IP IQ IR IS IT IU IV IW IX IY IZ JA JB JC JD JE JF JG JH JI JJ JK JL JM JN JO JP JQ JR JS JT JU JV JW JX JY JZ KA KB KC KD KE KF KG KH KI KJ KK KL KM KN KO KP KQ KR KS KT KU KV KW KX KY KZ LA LB LC LD LE LF LG LH LI LJ LK LM LN LO LP LQ LR LS LT LU LV LW LX LY LZ MA MB MC MD ME MF MG MH MI MJ MK ML MM MN MO MP MQ MR MS MT MU MV MW MX MY MZ NA NB NC ND NE NF NG NH NI NJ NK NL NM NO NP NQ NR NS NT NU NV NW NX NY NZ OA OB OC OD OE OF OG OH OI OJ OK OL OM ON OO OP OQ OR OS OT OU OV OW OX OY OZ PA PB PC PD PE PF PG PH PI PJ PK PL PM PN PO PP PQ PR PS PT PU PV PW PX PY PZ QA QB QC QD QE QF QG QH QI QJ QK QL QM QN QO QP QQ QR QS QT QU QV QW QX QY QZ RA RB RC RD RE RF RG RH RI RJ RK RL RM RN RO RP RQ RR RS RT RU RV RW RX RY RZ SA SB SC SD SE SF SG SH SI SJ SK SL SM SN SO SP SQ SR SS ST SU SV SW SX SY SZ TA TB TC TD TE TF TG TH TI TJ TK TL TM TN TO TP TPH TV TW TX TY TZ UA UB UC UD UE UF UG UH UI UJ UK UL UM UN UO UP UQ UR US UT UU UV UW UX UY UZ VA VB VC VD VE VF VG VH VI VJ VK VL VM VN VO VP VQ VR VS VT VU VV VW VX VY VZ WA WB WC WD WE WF WG WH WI WJ WK WL WM WN WO WP WQ WR WS WT WW WX WY WZ XA XB XC XD XE XF XG XH XI XJ XK XL XM XN XO XP XQ XR XS XT XU XV XW XX XY XZ YA YB YC YD YE YF YG YH YI YJ YK YL YM YN YO YP YQ YR YS YT YU YV YW YX YY YZ ZA ZB ZC ZD ZE ZF ZG ZH ZI ZJ ZK ZL ZM ZN ZO ZP ZQ ZR ZS ZT ZU ZV ZW ZX ZY ZZ	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL POUND OR NUMBER EXISTING ANCHOR BOLT ACRYLONITRILE BUTADIENE STYRENE ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ADJUSTABLE, ADJACENT AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROXIMATE ARCHITECT (URAL) BOARD BITUMINOUS BUILDING BLOCK BLOCKING BENCH MARK BEAM BOTTOM BEARING BETWEEN BOTH WAYS CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT CAST IRON CALLING CEILING CLOSE CLEAR (ANCE) COLUMN COMPOSITION CONCRETE CONNECT (ION) CONSTRUCT (ION) CONTINUOUS CORRUGATED CASEMENT CASEWORK CERAMIC TILE COUNTER COUNTERSINK CUBIC YARD	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER EAST EACH ELEVATION, ELEVATOR ELECTRIC (AL) EMERGENCY ENCLOSURE EQUIPMENT EXIST (E) EXHAUST EXPOSED EXPANSION EXTERIOR FIRE ALARM FASTEN, FASTENER FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIBERGLASS FINISH (ED) F.H.M.S. FLAT HEAD MACHINE SCREW F.H.W.S. FLAT HEAD WOOD SCREW FLASHING FLOOR (ING) FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FIREPLACE FULL SIZE FOOT OR FEET FOOTING FURRED (ING) GAUGE GALVANIZED GRAB BAR GALVANIZED IRON GLASS, GLAZING GRADE, GRADING GYPSUM WALLBOARD	H.B. HBD H.C. HOR. HDWR. HDWR. H.M. HORIZ. HGT. HTG. H.W. HVAC I.C.B.O. I.D. INCL. INSUL. INT. INV. JAN. J.H. JT. KIT. L L.M. LAV. L.B. L.C. L.O. L.V. L.W. M. MAX. M.B. M.C. MECH. MEZZ. MFR. MIN. MIR. MISC. MLDG. M.L.W. M.O. MTD. MTL. MULL. N NAT. N.I.C. NOM. N.T.S.	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT JANITOR JOIST HANGER JOINT KITCHEN LONG, LENGTH LAMINATE, LAMINATED LAVATORY LAG BOLT LAV. LOCATE, LOCATION LIGHT WEIGHT MASONRY MATERIAL (S) MAXIMUM MACHINE BOLT MASONRY CABINET MAN HOLE MECHANICAL MEMBRANE MEZZANINE MANUFACTURE (ER) MINIMUM MIRROR MISCELLANEOUS MOULDING M.L.W. M.O. MOUNTED METAL MULLION NORTH NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE	O/ OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE O.S.B. PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE RISER (S) RETURN AIR RADIUS ROOF DRAIN REGISTER REFRIGERATOR REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT R.H.M.S. ROUND HEAD METAL SCREW R.H.W.S. ROUND HEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RESAWN RUBBER REDWOOD RAIN WATER LEADER SOUTH SOLID BLOCKING SOLID CORE SCHEDULE STORM DRAIN SECTION SERVICE S.F. SQUARE FEET (FOOT) STAIN GRADE SHELF, SHELVING SHOWER SHEET SHEATHING	SIM. S.S. S.M. S.M.S. SPECS. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYM. SYS. T. T.B. T.C. TEL. TEMP. T.E.N. T & G T.G.R. T.H. THRESH. T.O. T.P. T.P.H. T.V. T.W. TYP. U.B.C. U.L. U.O.N. U.R. V.B. VAR. VERT. V.G. V.G.T. V.T. W. W.P. W.R. W.S. W.S.C. WT. W.W.M.	SIMILAR STAINLESS STEEL SHEET METAL SHEET METAL SCREW SPECIFICATIONS SQUARE STEEL STANDARD STAGGERED STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM TREAD (S) TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TYPICAL T
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SYMBOLS

- DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- SECTION KEY
SECTION NUMBER
SHEET NUMBER
- INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE
ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR DATUM POINT
- MATCHLINE
- SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- DOOR NUMBER
(SEE DOOR SCHEDULE)
- WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- REVISION

VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #19	R1	UNIT #19	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		

APPLICABLE CODES:
2022 California Building Code (CBC)
2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Energy Code (CenC)
Title 24

PROJECT DIRECTORY

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CONTACT: JOY BERRY / JAMES FLAGG
PHONE: (949) 500-7069

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info@pauldavispartnership.com
CONTACT: PAUL E. DAVIS

Project / Owner:

CARMEL RIVER INN

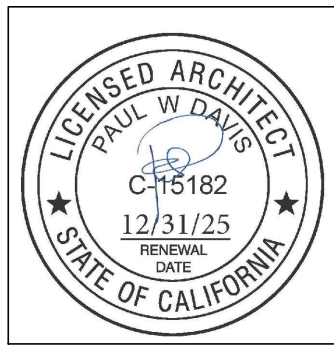
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-03

COTTAGE REMODEL #19/47 revised

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions: 1 03/10/26 HRRB

COVER SHEET PROJECT INFO

Sheet Number:

A0.1

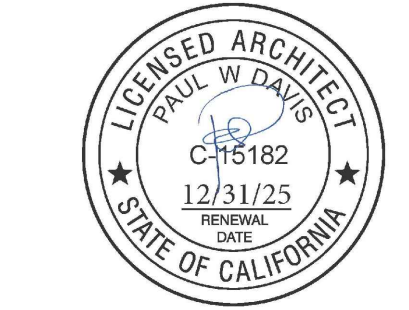
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Sheet Title:
UNIT #19
FLOOR PLAN

Sheet Number:

FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C.

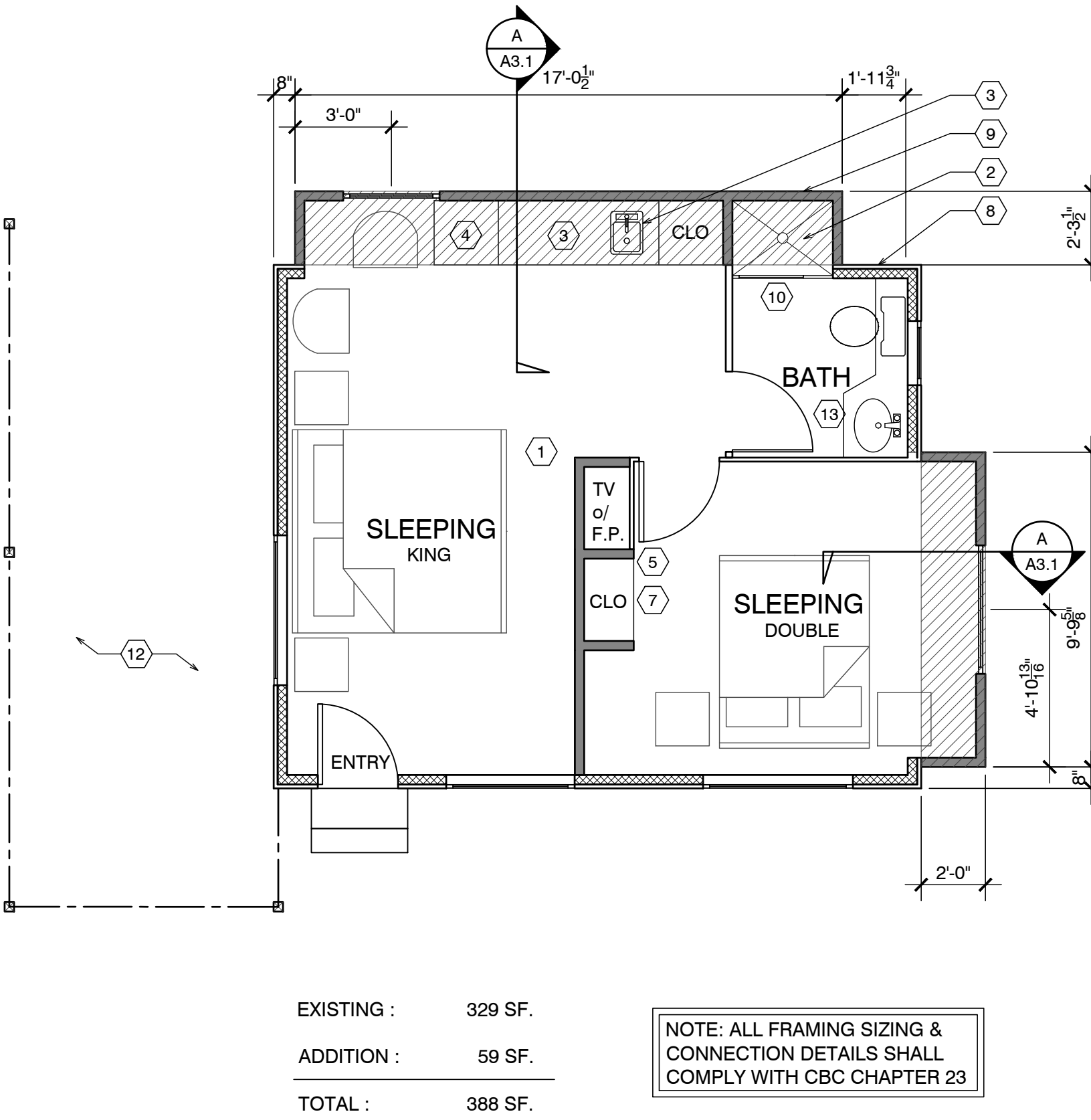
ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/16" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

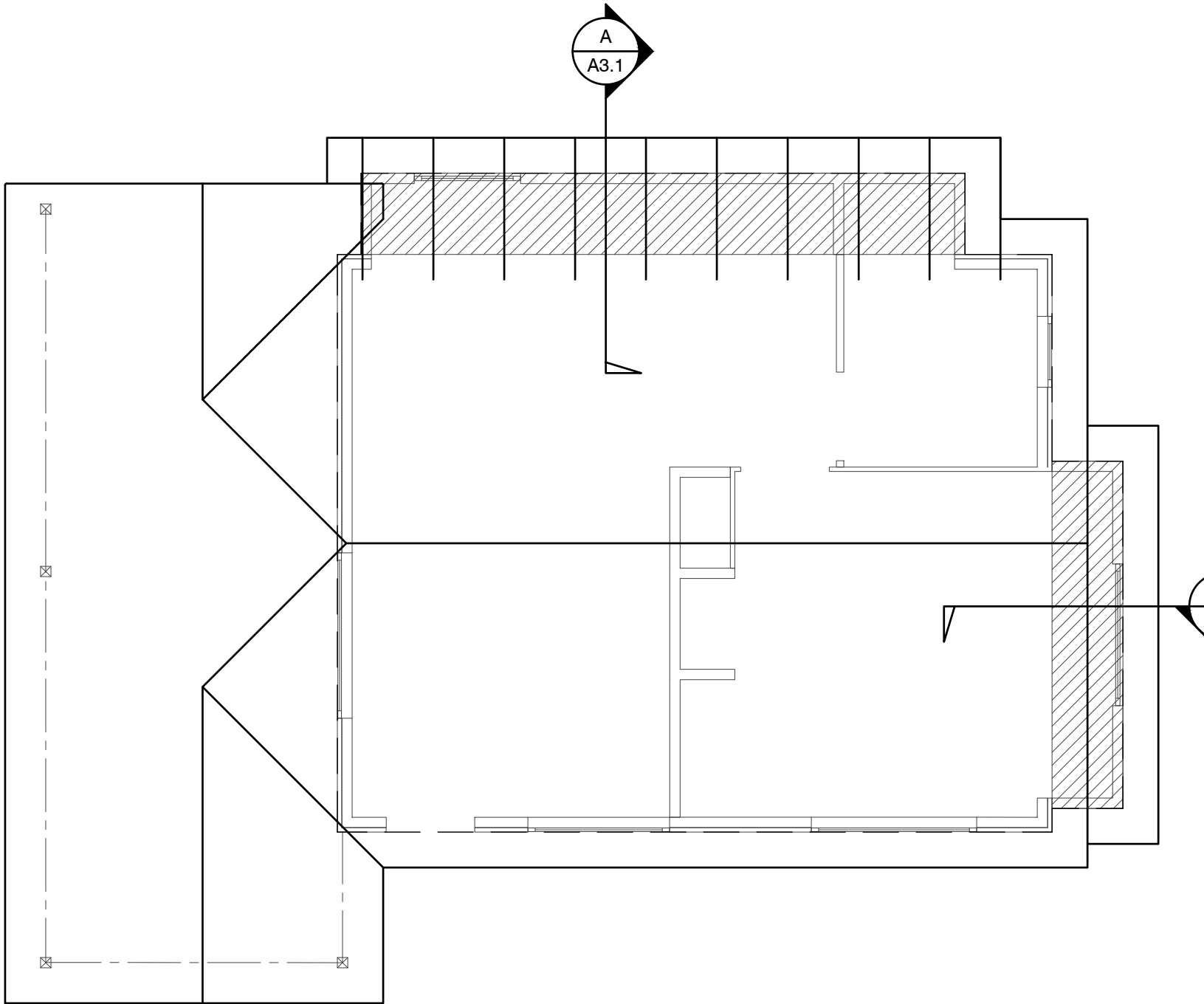
- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED



FLOOR PLAN UNIT 19

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



ROOF PLAN UNIT 19

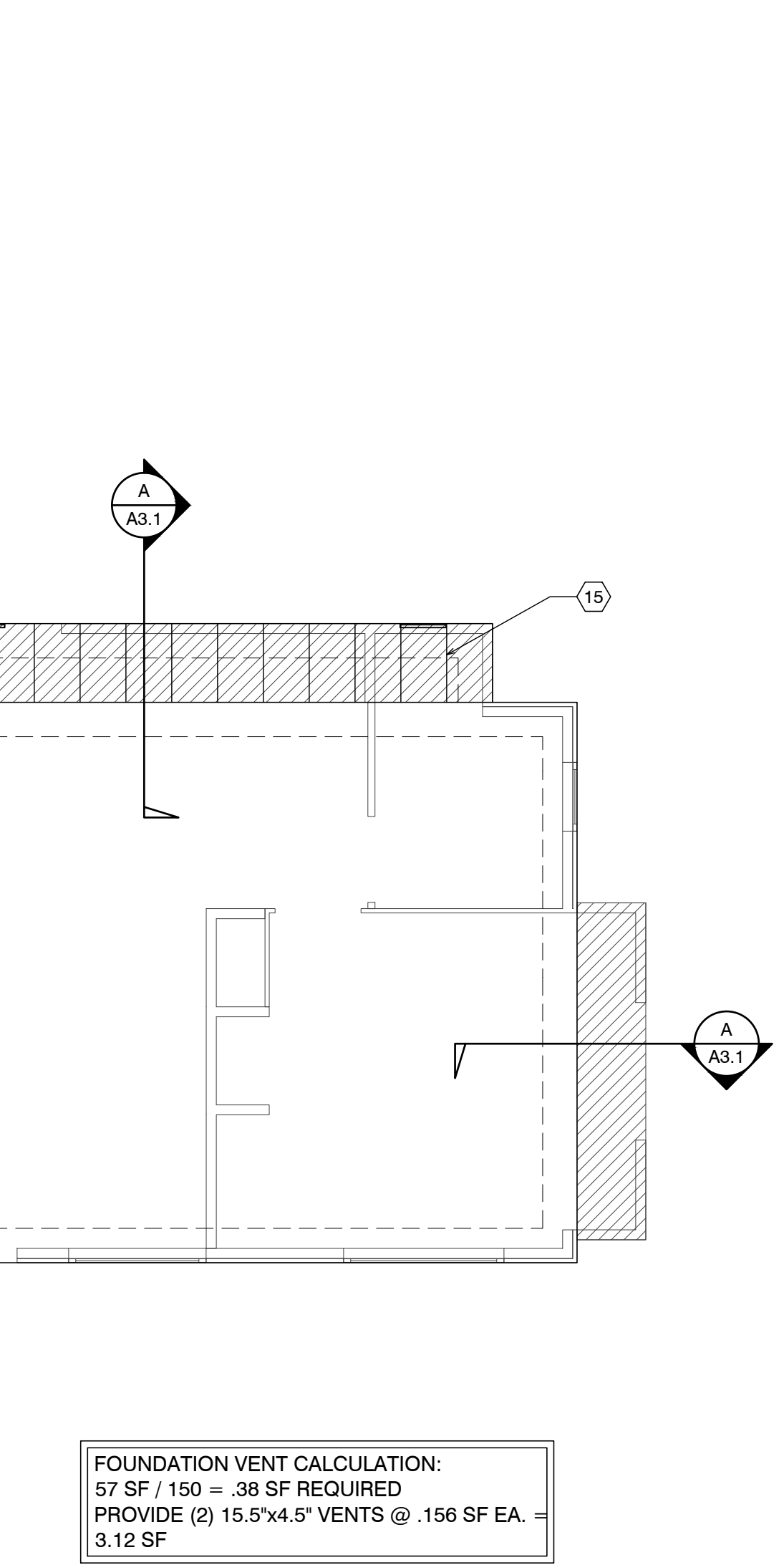
ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

NOTES:
1. NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
2. ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



FND. PLAN UNIT 19

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 72'-11 1/4"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 16'-5"
TOTAL DEMO = 22.5%
NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

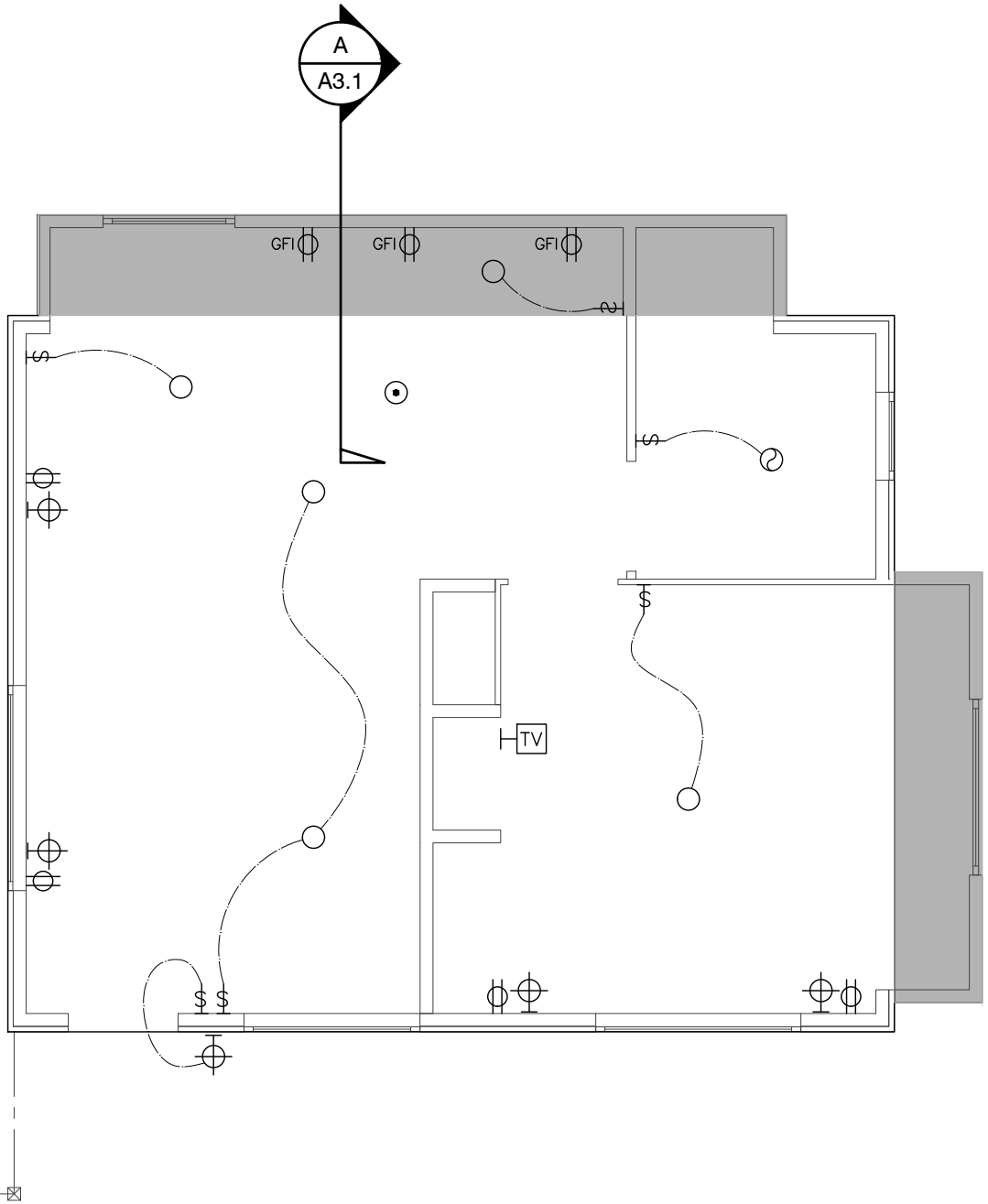
RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

DEMO PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH



ELECTRICAL PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

FND. PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

ROOF PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

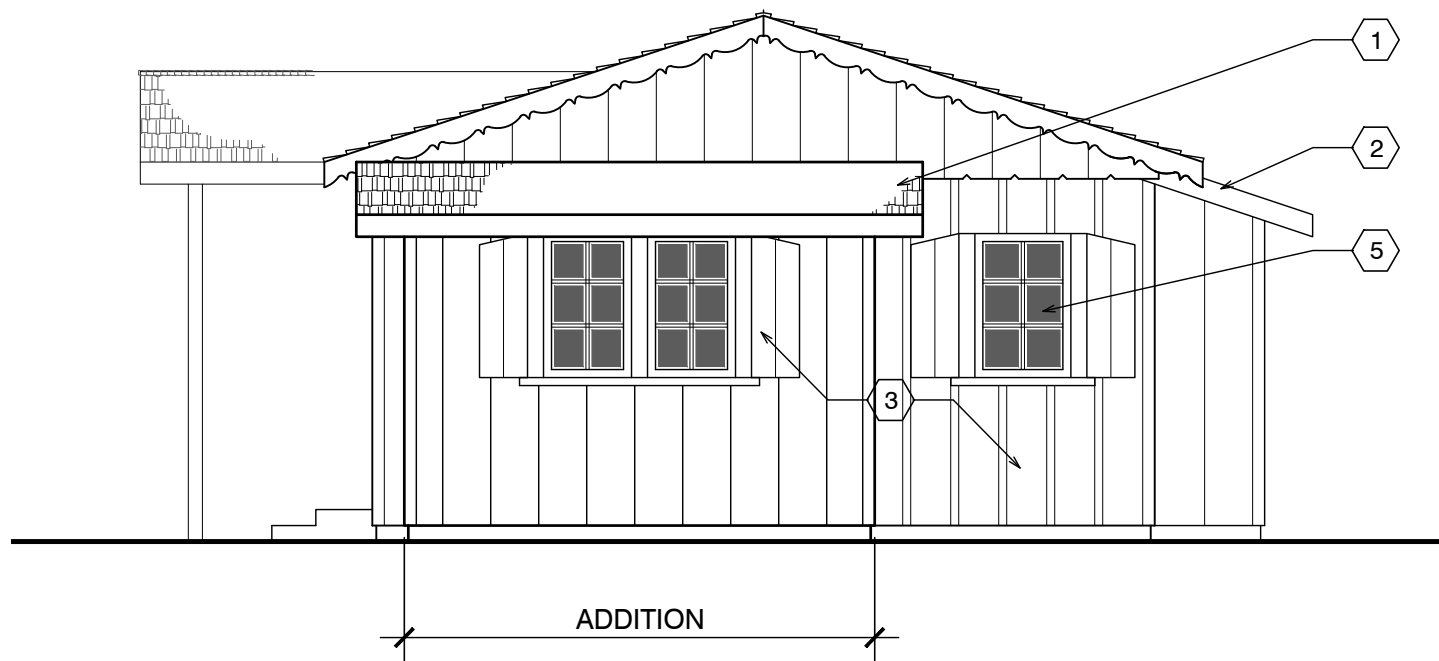
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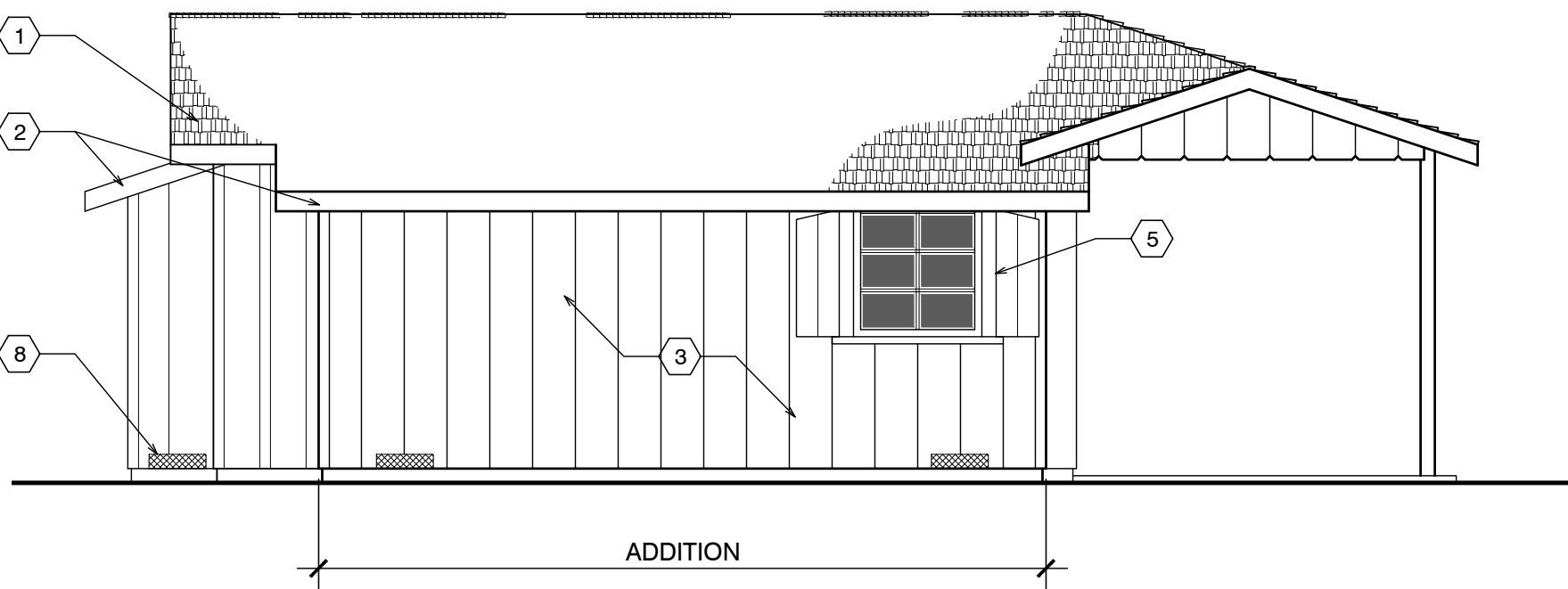
FRONT ELEVATION



SIDE ELEVATION



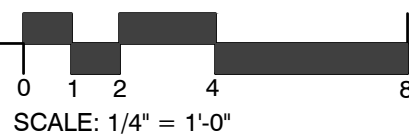
SIDE ELEVATION



BACK ELEVATION

EXTERIOR ELEVATIONS UNIT #19

SCALE: 1/4" = 1'-0"

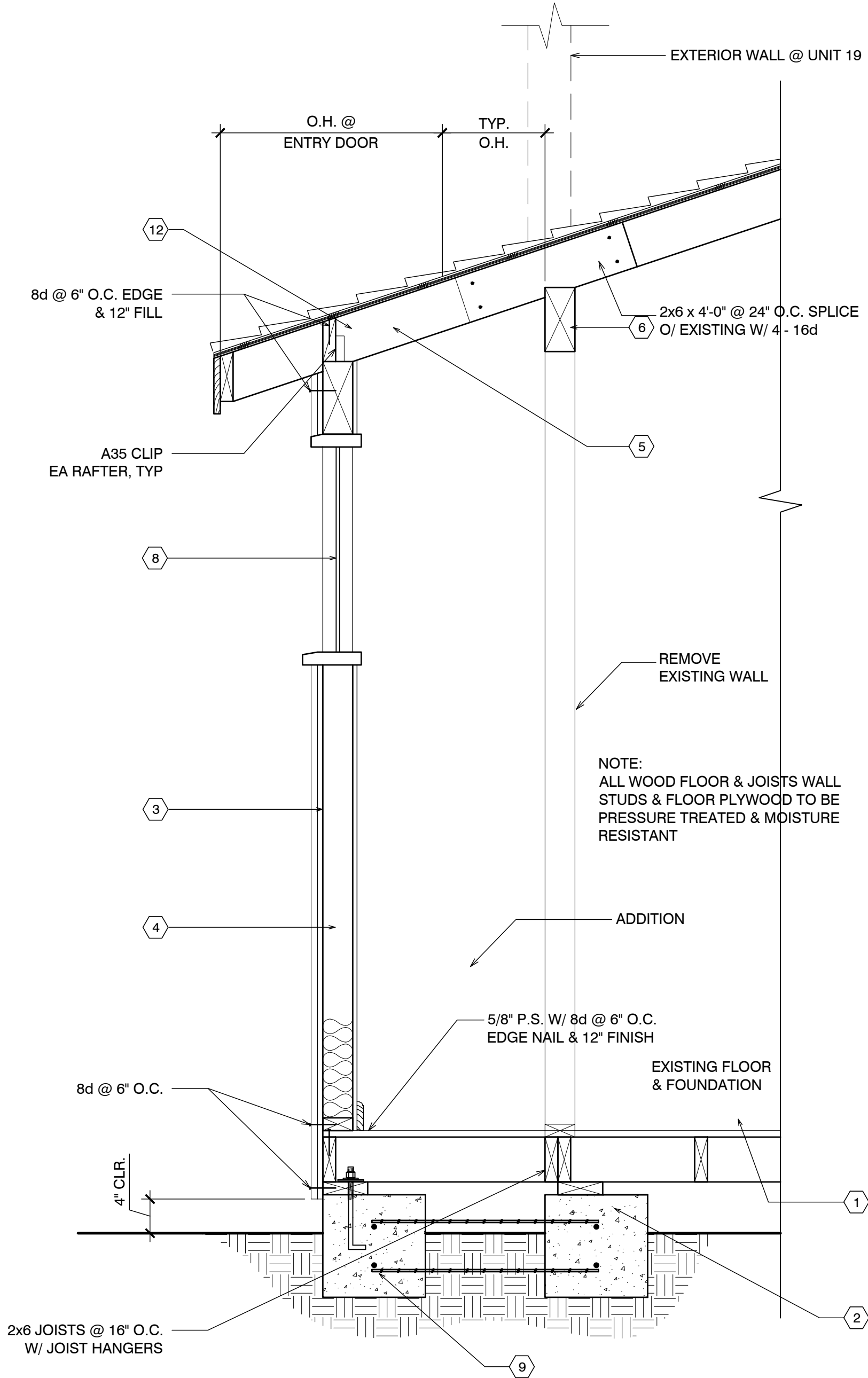


SCALE: 1/4" = 1'-0"

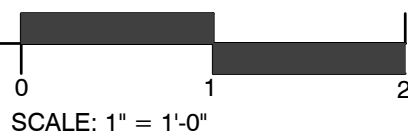
SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. REUSE EXISTING WOOD WINDOWS OR NEW WITH SHUTTERS TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

1



UNIT #19 SECTION



SCALE: 1" = 1'-0"

Project / Owner:

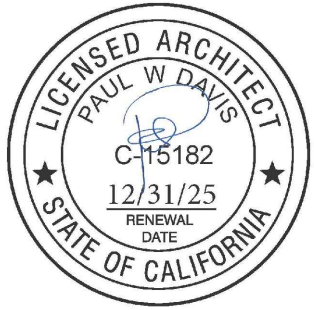
CARMEL RIVER INN

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P.O. BOX 221609
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APN: 009-563-03

COTTAGE REMODEL #19/47 revised

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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions: 1 03/10/26 HRRB

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Sheet Title:
UNIT #19 ELEVATIONS

Sheet Number:

CARMEL RIVER INN

COTTAGE UNIT #20 (now 49) REMODEL/ADDITION

Project / Owner:

CARMEL RIVER INN

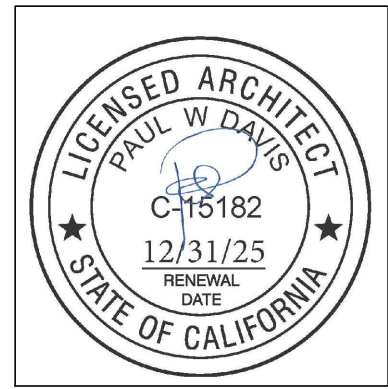
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COTTAGE REMODEL #20/49 revised

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Revisions: 1 08-29-2025
2 03/10/26 HRRB

Sheet Title:
COVER SHEET
PROJECT INFO

Sheet Number:

A0.1

SITE PLAN		SHEET INDEX		SCOPE OF WORK									
				- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 20 - ADD NEW INSULATION IN WALLS @ EXTERIOR - ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, A3.1									
OVERALL SITE PLAN		SITE PLAN		SHEET INDEX									
AREA OF WORK SEE PARTIAL SITE PLAN SHEET A1.0 AREA OF PLN 150378 (AMENDED PLN 140540 NOT INCLUDED) HISTORIC DISTRICT (E) MAIN BUILDING — AREA OF PLN 150378 (AMENDED PLN 140540 NOT INCLUDED) SCALE: 1" = 120'-0"		SCALE: 1/2" = 1'-0"		ARCHITECTURAL A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO A2.1 UNIT #20 - DEMO, FLOOR, RCP & ROOF PLAN A3.1 ELEVATIONS & SECTION									
ABBREVIATIONS		SYMBOLS		VICINITY MAP									
& L. AND ANGLE @ DET. C. CENTERLINE Ø DIAMETER OR ROUND E PLATE Ø PERPENDICULAR // PARALLEL # POUND OR NUMBER (E) EXISTING A.B. ANCHOR BOLT A.C.S. ACRYLONITRILE BUTADIENE STYRENE A.C. AIR CONDITIONING ACOUS. ACOUSTICAL ADJ. ADJUSTABLE, ADJACENT AGGR. AGGREGATE ALUM. ALUMINUM ANOD. ANODIZED A.P.A. AMERICAN PLYWOOD ASSOCIATION APPROX. APPROXIMATE ARCH. ARCHITECT (URAL) BD. BOARD BIT. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING B.M. BENCH MARK BM. BEAM BOT. BOTTOM BRG. BEARING BTWN. BETWEEN B.W. BOTH WAYS CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.F. CUBIC FOOT C.I. CAST IRON CLKG. CALKING CLG. CEILING CL. CLOSET CLGR. (ANCE) CLOSER (ANCE) COL. COLUMN COMP. COMPOSITION CONC. CONCRETE CONN. CONNECT (ION) CONSTR. CONSTRUCT (ION) CONT. CONTINUOUS CORR. CORRUGATED CSMT. CASEMENT CSWL. CASEWORK C.T. CERAMIC TILE CTR. COUNTER CTSK. COUNTERSUNK C.Y. CUBIC YARD DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL D.F. DOUGLAS FIR D.H. DOUBLE HUNG DAG. DIAGONAL DIA. DIAMETER DIMEN. DIMENSION DISP. DISPENSER DN. DOWN DRWG. DRAWING D.S. DOWNSPOUT DWR. DRAWER E. EAST EA. EACH ELEV. ELEVATION, ELEVATOR ELEC. ELECTRIC (AL) EMER. EMERGENCY ENCL. ENCLOSURE EQUIP. EQUIPMENT EXIST. (E) EXISTING EXH. EXHAUST EXP. EXPOSED, EXPANSION EXT. EXTERIOR F.A. FIRE ALARM FAST. FASTEN, FASTENER F.B. FLAT BAR F.D. FLOOR DRAIN FDN. FOUNDATION F.F. FIRE EXTINGUISHER FIBERGL. FIBERGLASS FIN. FINISH (ED) F.H.M.S. FLAT HEAD MACHINE SCREW F.H.W.S. FLAT HEAD WOOD SCREW FLASH. FLASHING FLR. FLOOR (ING) FLUOR. FLUORESCENT F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUDS F.P. FIREPLACE F.S. FULL SIZE FT. FOOT OR FEET FTG. FOOTING FURR. FURRED (ING) G.A. GAUGE GALV. GALVANIZED G.B. GRAB BAR G.I. GALVANIZED IRON GL. GLASS, GLAZING GR. GRADE, GRADING G.W.B. GYPSUM WALLBOARD H.B. HOSE BIB HBD. HARDBOARD H.C. HOLLOW CORE HOR. HEADER HDWD. HARDWOOD HWR. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HOT. HEIGHT HTG. HEATING H.W. HOT WATER HVAC. HEATING, VENTILATING, AND AIR CONDITIONING I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS I.D. INSIDE DIAMETER INCL. INCLUDED, INCLUDING INSUL. INSULATION INT. INTERIOR INV. INVERT JAN. JANITOR J.H. JOIST HANGER JT. JOINT KIT. KITCHEN L. LONG LENGTH LAM. LAMINATE, LAMINATED LAV. LAVATORY L.B. LAG BOLT LOC. LOCATE, LOCATION L.W. LIGHT WEIGHT M.S. MASONRY MAT. MATERIAL (S) MAX. MAXIMUM M.B. MACHINE BOLT M.C. MACHINE CABINET MECH. MECHANICAL MEMB. MEMBRANE MEZZ. MEZZANINE MFR. MANUFACTURE (ER) MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS MLDG. MOLDING M.L.W. MALLEABLE IRON WASHER M.O. MASONRY OPENING MTD. MOUNTED MTL. METAL MULL. MULLION N. NORTH NAT. NATURAL N.I.C. NOT IN CONTRACT NOM. NOMINAL N.T.S. NOT TO SCALE O. OVER OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE O.H.M.S. OVALHEAD MACHINE SCREW O.H.W.S. OVALHEAD WOOD SCREW OPNG. OPENING OPP. OPPOSITE O.S.B. ORIENTED STRAND BOARD P.A.F. PART. BD P.G. PARTICLE BOARD P.G. PAINT GRADE PERF. REPERFORATED P.L.F. POUNDS PER LINEAL FOOT P.L. PROPERTY LINE P.L. PLASTIC LAMINATE PLAS. PLASTER PLY. PLYWOOD P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH P.T. PRESSURE TREATED PART. PARTITION P.T.D. PAPER TOWEL DISPENSER P.V.C. POLYVINYL CHLORIDE R. RISER (S) R.A. RETURN AIR RAD. RADIUS R.D. ROOF DRAIN REG. REGISTER REF. REFRIGERATOR REINF. REINFORCED, REINFORCING REQD. REQUIRED REOMT. REQUIREMENT RESIL. RESILIENT R.H.M.S. ROUND HEAD METAL SCREW R.H.W.S. ROUND HEAD WOOD SCREW RM. ROOM R.O. ROUGH OPENING R.O.W. RIGHT OF WAY R.S. RESAWN RUB. RUBBER RWD. REDWOOD R.W.L. RAIN WATER LEADER S. SOUTH S.B. SOLID BLOCKING S.C. SOLID CORE SCHED. SCHEDULE S.D. STORM DRAIN SECT. SECTION SERV. SERVICE S.F. SQUARE FEET (FOOT) S.G. STAIN GRADE SH. SHELF, SHELVING SHWR. SHOWER SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.S. STAINLESS STEEL S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPECS. SPECIFICATIONS SQ. SQUARE STL. STEEL STD. STANDARD STAG. STAGGERED STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL SYS. SYSTEM T. TREAD (S) T.B. TOWEL BAR T.C. TOP OF CURB TEL. TELEPHONE TEMP. TEMPERED T.E.N. TYPICAL EDGE MAILING T & G TONGUE AND GROOVE T.G.R. TOP OF GRATE THK. THICK (NESS) THRESH. THRESHOLD T.O. TOP OF T.P. TOP OF PAVEMENT T.P.H. TOILET PAPER HOLDER TV. TELEVISION T.W. TOP OF WALL TYP. TYPICAL U.B.C. UNIFORM BUILDING CODE U.L. UNDERWRITERS LABORATORIES U.O.N. UNLESS OTHERWISE NOTED URINAL V.B. VAPOR BARRIER VAR. VARIES VERT. VERTICAL V.G. VERTICAL GRAIN VINYL TILE W. WEST W.D. WIDE, WIDTH W.P. WATERPROOF W.C. WATER CLOSET W.I. WITH W.W. WATER RESISTANT W.S. WOOD SCREW W.N.S. WAINSCOT WT. WEIGHT W.W.M. WELDED WIRE MESH		DETAIL KEY DETAIL NUMBER SHEET NUMBER SECTION KEY SECTION NUMBER SHEET NUMBER INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN OFFICE ROOM NAME ROOM NUMBER WORK POINT, CONTROL POINT, OR DATUM POINT MATCHLINE SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE) DOOR NUMBER (SEE DOOR SCHEDULE) WINDOW SYMBOL (SEE WINDOW SCHEDULE) EQUIPMENT SYMBOL (SEE EQUIPMENT LIST) REVISION											
PROJECT INFORMATION		PROJECT DIRECTORY											
OCCUPANCY CLASSIFICATION: <table><thead><tr><th>Building</th><th>Occupancy Group and Div.</th></tr></thead><tbody><tr><td>UNIT #20</td><td>R1</td></tr></tbody></table> OCCUPANCY SEPARATIONS: NONE TYPE OF USE: MOTEL TYPE OF CONSTRUCTION: V-B SPRINKLERS REQUIRED: YES, NFPA 13-D APPLICABLE CODES: 2022 California Building Code (CBC) 2022 California Residential Code (CRC) 2022 California Electrical Code (CEC) 2022 California Mechanical Code (CMC) 2022 California Plumbing Code (CPC) 2022 California Energy Code (CENC) Title 24		Building	Occupancy Group and Div.	UNIT #20	R1	OCCUPANCY LOADS: <table><thead><tr><th>Building Area</th><th>Factor</th><th>Load</th></tr></thead><tbody><tr><td>UNIT #20</td><td>300</td><td>2</td></tr></tbody></table>		Building Area	Factor	Load	UNIT #20	300	2
Building	Occupancy Group and Div.												
UNIT #20	R1												
Building Area	Factor	Load											
UNIT #20	300	2											
PROJECT OWNER CARMEL INN VENTURES P.O. BOX 1796 CARMEL VALLEY, CA 93924 CONTACT: JOY BERRY / JAMES FLAGG PHONE: (949) 500-7069		PROJECT ARCHITECT THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA 93940 PHONE: (831) 373-2784 FAX: (831) 373-7459 info@pauldavispartnership.com CONTACT: PAUL E. DAVIS											

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COTTAGE REMODEL #20/49 revised

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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions: 1 08-29-2025
2 03/10/26 HRRB

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Sheet Title:
UNIT #20 FLOOR PLAN

Sheet Number:

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 74'-8"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 28'-1 1/2"
TOTAL DEMO = 37.6%
NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
 - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
 - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FND. PLAN UNIT 20

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 20

SCALE: 1/4" = 1'-0"

DEMO PLAN UNIT 20

SCALE: 1/4" = 1'-0"

FLOOR PLAN UNIT 20

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

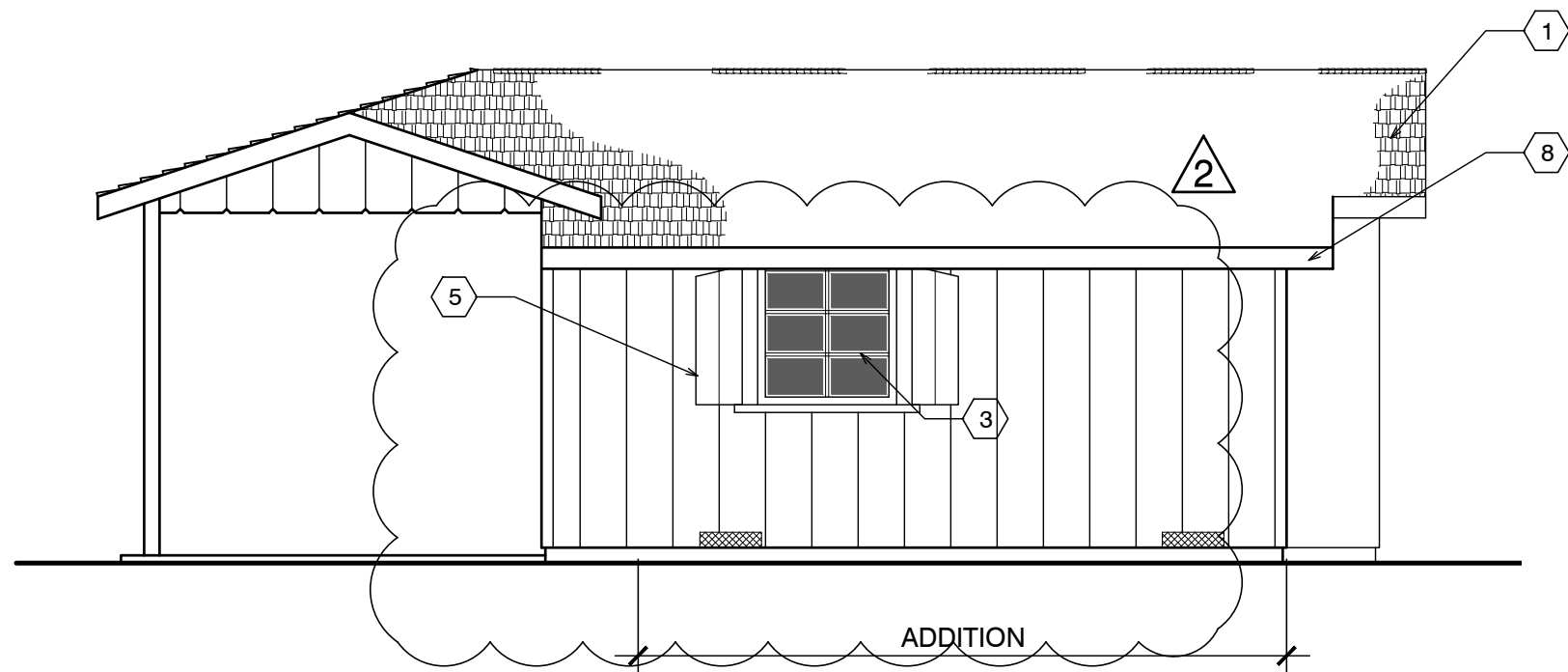
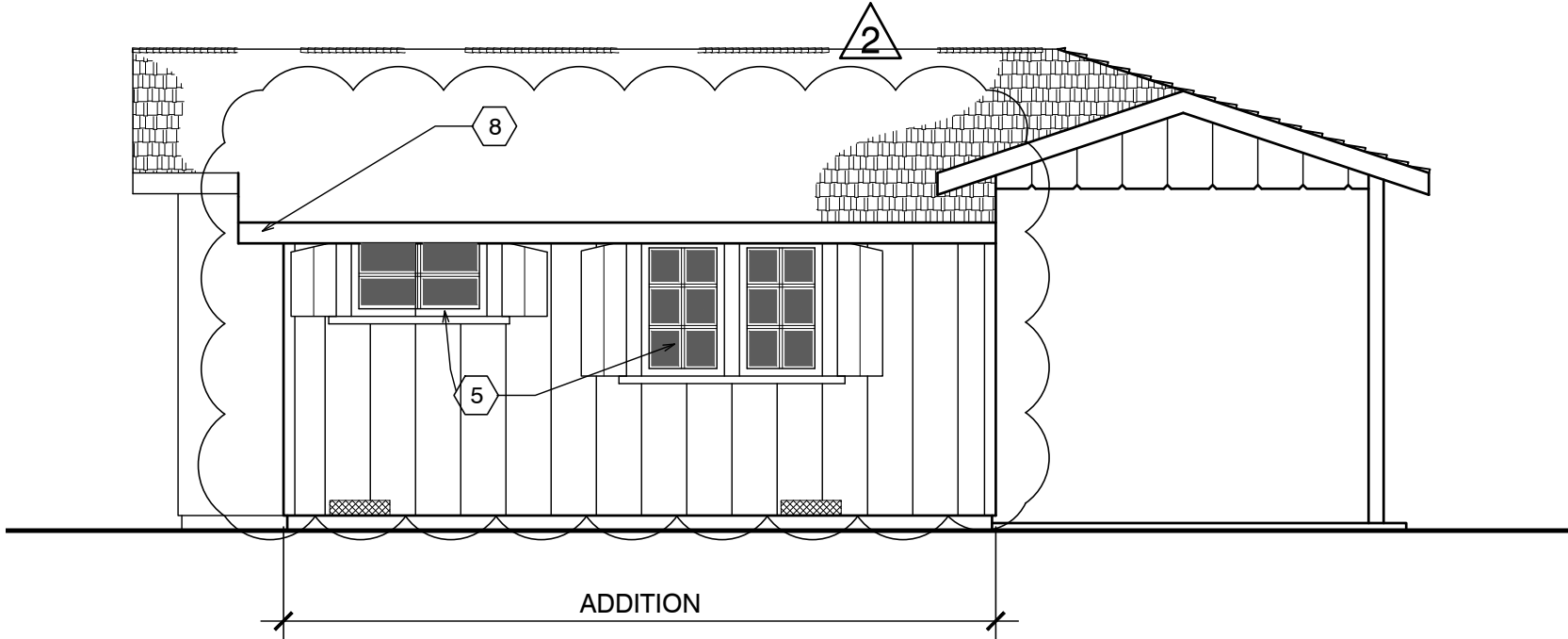
WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE
ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

ELECTRICAL PLAN UNIT 20

SCALE: 1/4" = 1'-0"



FRONT ELEVATION



SIDE ELEVATION

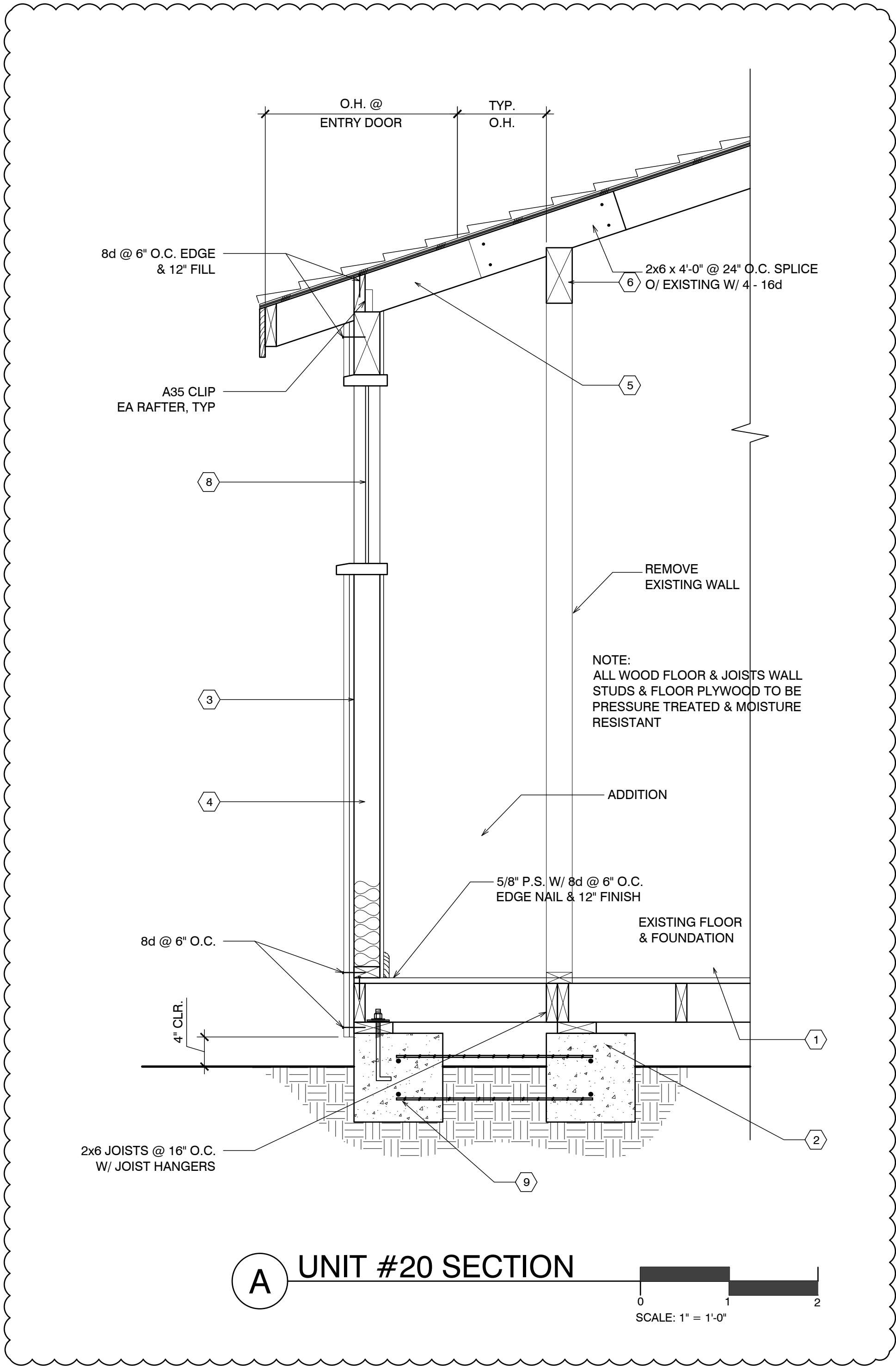
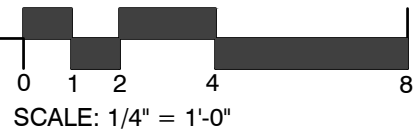


SIDE ELEVATION

EXTERIOR ELEVATIONS UNIT #20

SCALE: 1/4" = 1'-0"

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. REUSE EXISTING WINDOW & SHUTTERS MATCH EXISTING
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" LONG WALL TO EXISTING W/ 10-16d
8. PAINTED REDWOOD 1/6 FASCIA WITH STRAIGHT EDGE THAT DOESNT MATCH (E)
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

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COTTAGE REMODEL #20/49 revised

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Revisions: 1 08-29-2025

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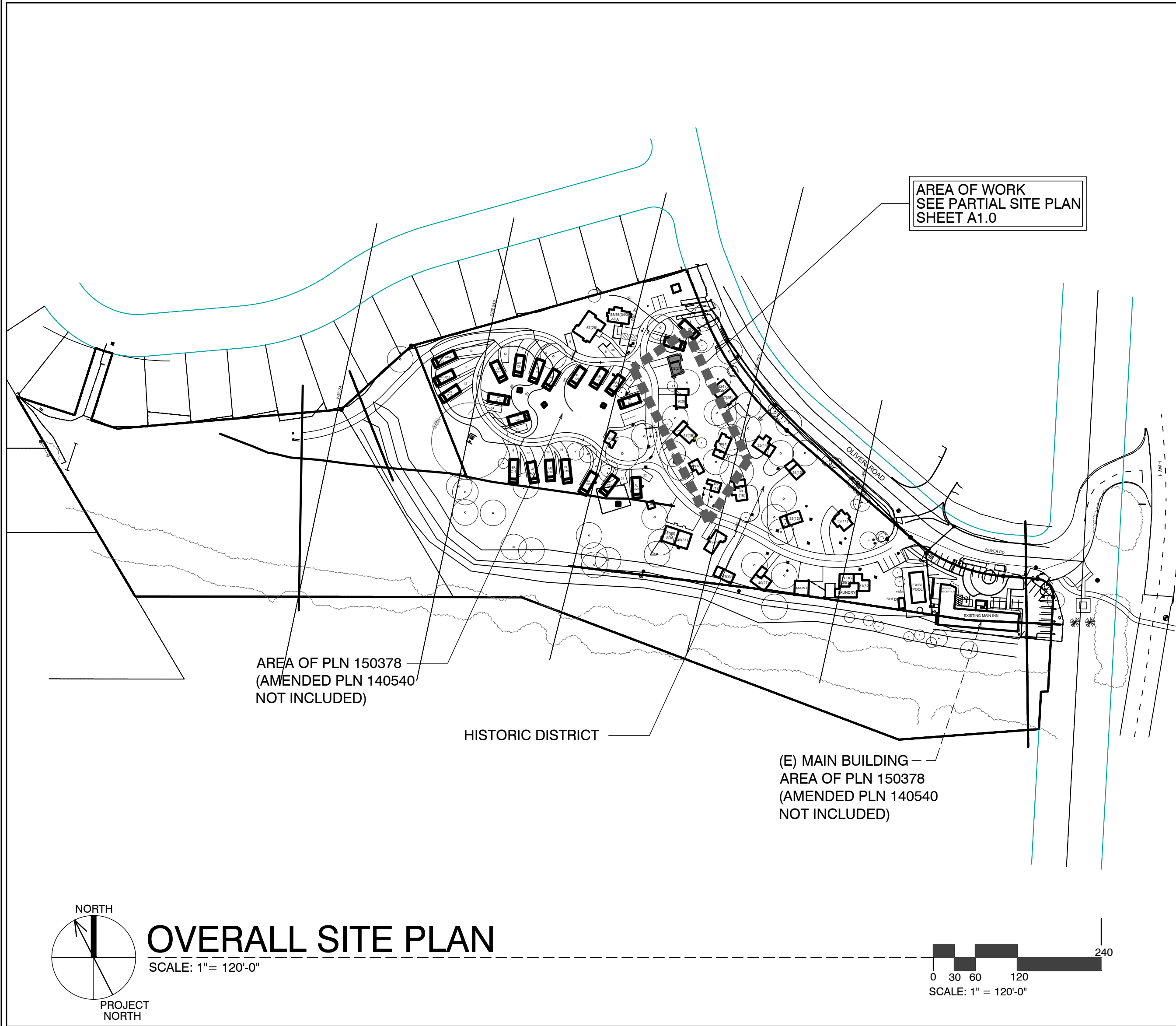
Sheet Title:
UNIT #20 ELEVATIONS

Sheet Number:

CARMEL RIVER INN

COTTAGE UNIT #21 (now 52) REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 21
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1 & A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #21 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

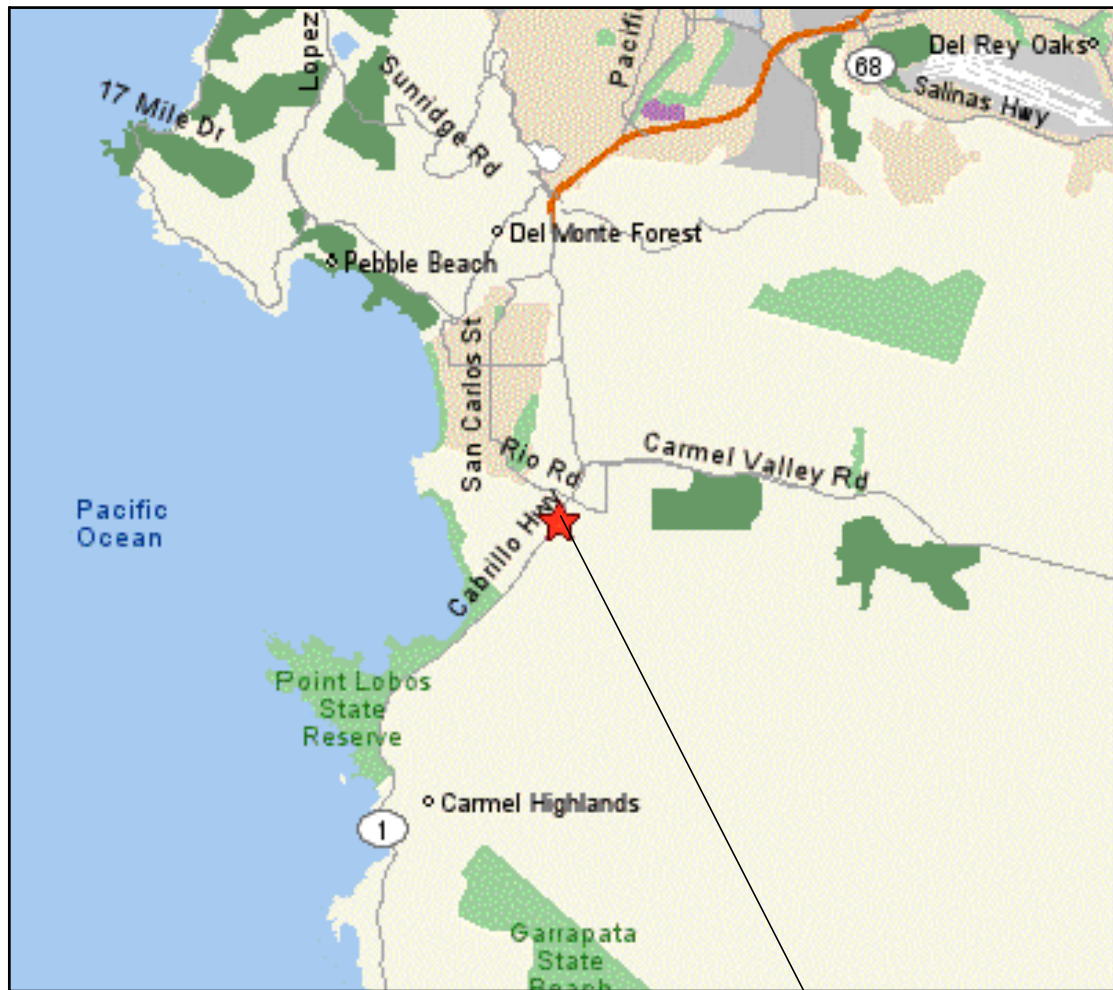
ABBREVIATIONS

& L @ E O J # (E)	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL ROUND OR NUMBER EXISTING	DBL DEPT. DET. D.F. D.H. DAG. DIA. DIMEN. DISP. DN DRWG. D.S. DWR.	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER	H.B. HBD H.C. HOR. HDWD. HDWR. H.M. HORIZ. HGT. HTG. H.W. HVAC	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING	O/ OBS. O.C. O.D. O.H.M.S. O.H.W.S. OPNG. OPP. O.S.B.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD	SIM. S.S. S.M. S.M.S. SPECS. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYM. SYS.	SIMILAR STAINLESS STEEL SHEET METAL SHEET METAL SCREW SPECIFICATIONS SQUARE STEEL STANDARD STAGGERED STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM
A.B. A.C. A.COUS. ADJ. AGGR. ALUM. ANOD. A.P.A. APPROX. ARCH.	ANCHOR BOLT ACRYLONITRILE BUTADIENE STYRENE ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ADJUSTABLE, ADJACENT AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROXIMATE ARCHITECT (URAL)	E EA ELEV. ELEC. EMER. ENCL. EQUIP. EXIST. EXH. EXP. EXT.	EAST EACH ELEVATION, ELEVATOR ELECTRIC (AL) EMERGENCY ENCLOSURE EQUIPMENT EXIST. (E) EXISTING EXHAUST EXPOSED EXPANSION EXTERIOR	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT JAN. J.H. JOINT KIT.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT JANITOR JOIST HANGER JOINT KITCHEN	P.A.F. P.G. P.L.F. P.L. PL. PLAS. PLY. P.S.F. P.S.I. P.T. PART. P.T.D. P.V.C.	POWDER ACTUATED FASTENER PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE	T. T.B. T.C. TEL. TEMP. T.E.N. T & G T.G.R. T.H. THRESH. T.O. T.P. T.P.H. T.V. T.W. TYP.	TREAD (S) TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TYPICAL EDGE MAILING TONGUE AND GROOVE TOP OF GRATE THICK (NESS) THRESHOLD TOP OF TOP OF PAVEMENT TOILET PAPER HOLDER TELEVISION TOP OF WALL TYPICAL
B.D. BIT. BLDG. BLK. BLKG. B.M. BM. BOT. BRG. BTWN. B.W.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BENCH MARK BEAM BOTTOM BEARING BETWEEN BOTHWAYS	F.A. FAST. F.B. F.D. FDN. F.F. FIBERGL. FIN. F.H.M.S. F.H.W.S. FLASH. FLR. FLUOR. F.O. F.O.C. F.O.F. F.O.M. F.P. F.S. FT. FTG. FURR.	FIRE ALARM FASTEN, FASTENER FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIBERGLASS FINISH (ED) F.H.M.S. FLAT HEAD MACHINE SCREW F.H.W.S. FLAT HEAD WOOD SCREW FLASHING FLOOR (ING) FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FIREPLACE FULL SIZE FOOT OR FEET FOOTING FURRED (ING)	M.S. MASONRY MATERIAL (S) MAX. M.B. M.C. M.H. M.E. MEMB. MEZZ. MFR. MIN. MIR. MISC. MLDG. M.L.W. M.O. MTD. MTL. MULL.	MASONRY MACHINE BOLT MACHINE CABINET MAN HOLE MECHANICAL MEMBRANE MEZZANINE MANUFACTURE (ER) MINIMUM MIRROR MISCELLANEOUS MOLDING MALLEABLE IRON WASHER MASONRY OPENING MOUNTED METAL MULLION	R. RISER (S) RETURN AIR RAD. R.D. R.O. REF. REIN. RECD. REOMT. RESIL. R.H.M.S. R.H.W.S. RM. R.O. R.O.W. R.S. RESAWN RUB. REDWOOD R.W.L.	REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT ROUND HEAD METAL SCREW ROUND HEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RESAWN RUBBER REDWOOD RAIN WATER LEADER	U.B.C. U.L. U.O.N. UR. U.B.C. U.L. U.O.N. UR. U.B.C. U.L. U.O.N. UR. U.B.C. U.L. U.O.N. UR.	UNIFORM BUILDING CODE UNDERWRITERS LABORATORIES UNLESS OTHERWISE NOTED URINAL V.B. VAPOR BARRIER VAR. VERT. VERT. GRAIN VINYL TILE
CAB. C.B. CEM. CER. C.F. C.I. CLKG. CLG. CL. CLG. COL. COMP. CONC. CONN. CONSTR. CONT. CORR. CSMT. CSWL. C.T. CTR. CTSK. C.Y.	CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT CAST IRON CALLING CEILING CLOSE CLEAR (ANCE) COLUMN COMPOSITION CONCRETE CONNECT (ION) CONSTRUCT (ION) CONTINUOUS CORRUGATED CASEMENT CASEWORK CERAMIC TILE COUNTER COUNTERSINK CUBIC YARD	GA. GAUGE G.B. G.I. GL. GLR. G.W.B.	GALVANIZED GRAB BAR GALVANIZED IRON GLASS, GLAZING GRADE, GRADING GYPSUM WALLBOARD	N. NORTH NAT. N.I.C. NOT IN CONTRACT NOM. N.T.S.	NORTH NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE	S. SOUTH S.B. S.C. SCHED. S.D. SECT. SERV. S.F. S.G. SH. SHWR. SHIT. SHTG.	SOLID BLOCKING MASONRY OPENING SCHEDULE STORM DRAIN SECTION SERVICE SQUARE FEET (FOOT) STAIN GRADE SHELF, SHELVING SHOWER SHEET SHEATHING	W. WEST W.P. W.R. W.S. W.S.C. WT. W.W.M.	WIDE WIDTH WATERPROOF WATER RESISTANT WOOD SCREW WARRANTY WEIGHT WELDED WIRE MESH

SYMBOLS

- DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- SECTION KEY
SECTION NUMBER
SHEET NUMBER
- INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE
ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR
DATUM POINT
- MATCHLINE
- SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- DOOR NUMBER
(SEE DOOR SCHEDULE)
- WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- REVISION

VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #21	R1	UNIT #21	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		
APPLICABLE CODES:				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Energy Code (CEnC)				
Title 24				

PROJECT DIRECTORY

PROJECT OWNER CARMEL INN VENTURES P.O. BOX 1796 CARMEL VALLEY, CA 93924 CONTACT: JOY BERRY / JAMES FLAGG PHONE: (949) 500-7069	PROJECT ARCHITECT THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA 93940 PHONE: (831) 373-2784 FAX: (831) 373-7459 info@pauldavispartnership.com CONTACT: PAUL E. DAVIS
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Project / Owner:

CARMEL RIVER INN

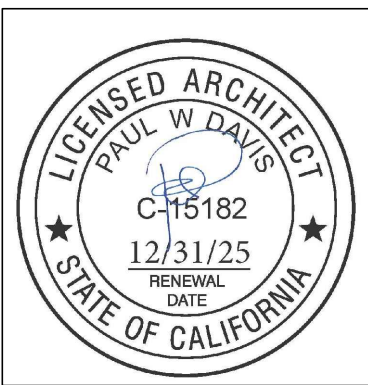
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #21/now #52

THE PAUL DAVIS PARTNERSHIP

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

1/30/2026 PLAN CHECK RESPONSE

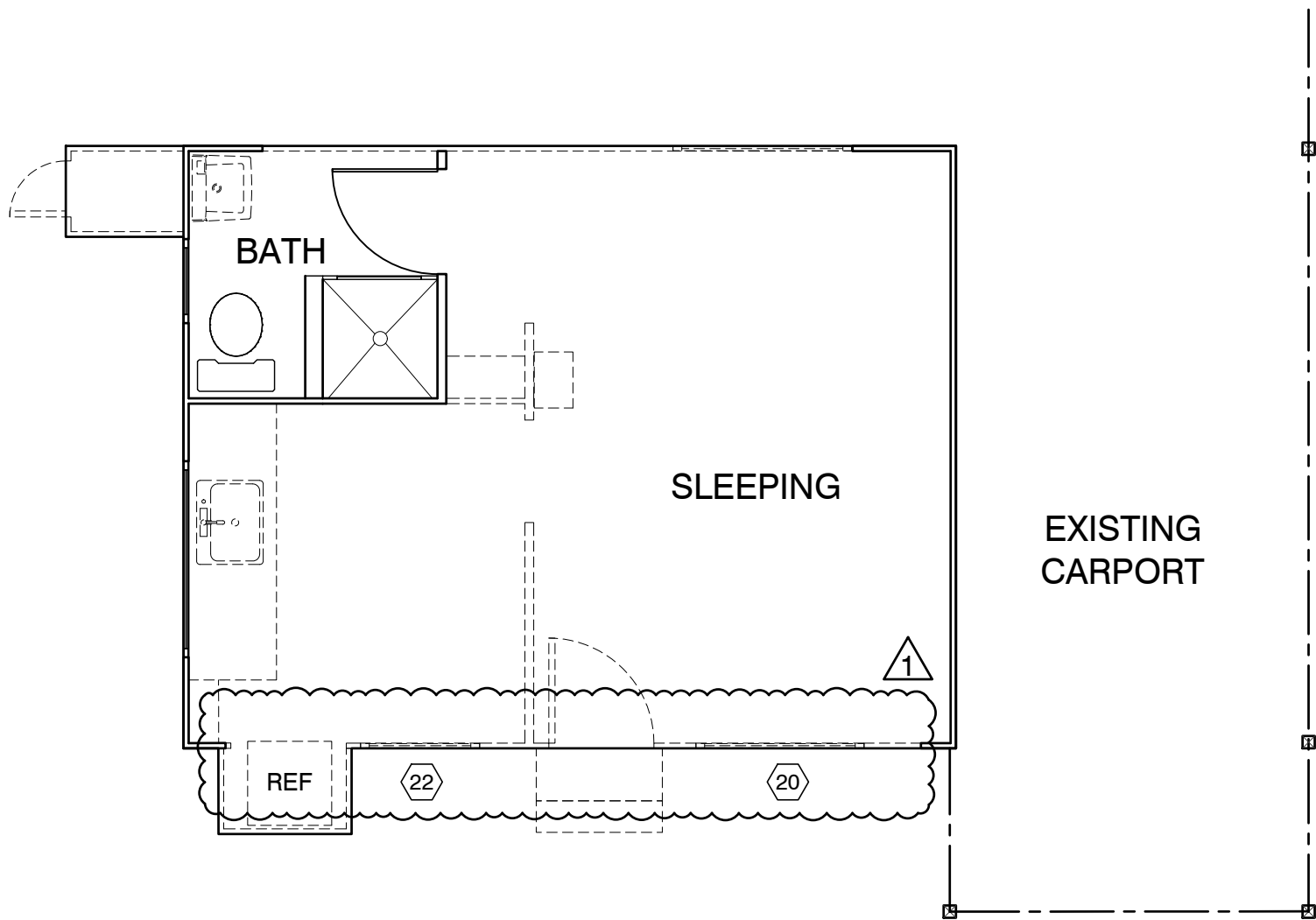
3/10/26 HRRB

Sheet Title:

COVER SHEET PROJECT INFO

Sheet Number:

A0.1



FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 75'-1 3/8"

TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 32'

TOTAL DEMO = 43%

NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

— EXISTING WALLS TO REMAIN

- - - - EXISTING WALLS TO BE REMOVED

— EXISTING DOOR TO BE REMOVED

≡ ≡ ≡ ≡ EXISTING WINDOW TO BE REMOVED

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

- RCP NOTES**
- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
 - NEW MAIN PANEL LOCATED ON COTTAGE 19 (42) FOR SEVERAL COTTAGES. USE PERMIT #19CP00355 UTILITY UPGRADE WITH 30 AMP BREAKER
 - ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
 - SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

— SINGLE POLE SWITCH

— THREE WAY SWITCH

— FOUR WAY SWITCH

— DIMMER SWITCH

○ RECESSED LIGHT FIXTURE

● RECESSED WALL WASHER

□ SURFACE MOUNTED FIXTURE

○ PENDANT FIXTURE

○ EXHAUST FAN

○ COMBINATION LIGHT & EXHAUST FAN FIXTURE

○ WALL MOUNTED FIXTURE

○ SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.

— COVE OR INDIRECT LIGHT FIXTURE

— UNDERCABINET MOUNTED FIXTURE

— FLUORESCENT TUBE

ELECTRICAL LEGEND

○ DUPLEX OUTLET

○ HALF SWITCHED OUTLET

● DEDICATED CIRCUIT (20 amps)

○ 220 VOLT OUTLET

○ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER

○ GFI w/ WEATHERPROOF ENCLOSURE & GFI

△ TELEPHONE JACK

▲ HIGH SPEED DATA LINE

△ THERMOSTAT CONTROL

— TELEVISION CABLE

— GAS OUTLET

— KEY VALVE

— HOSE BIBB VALVE

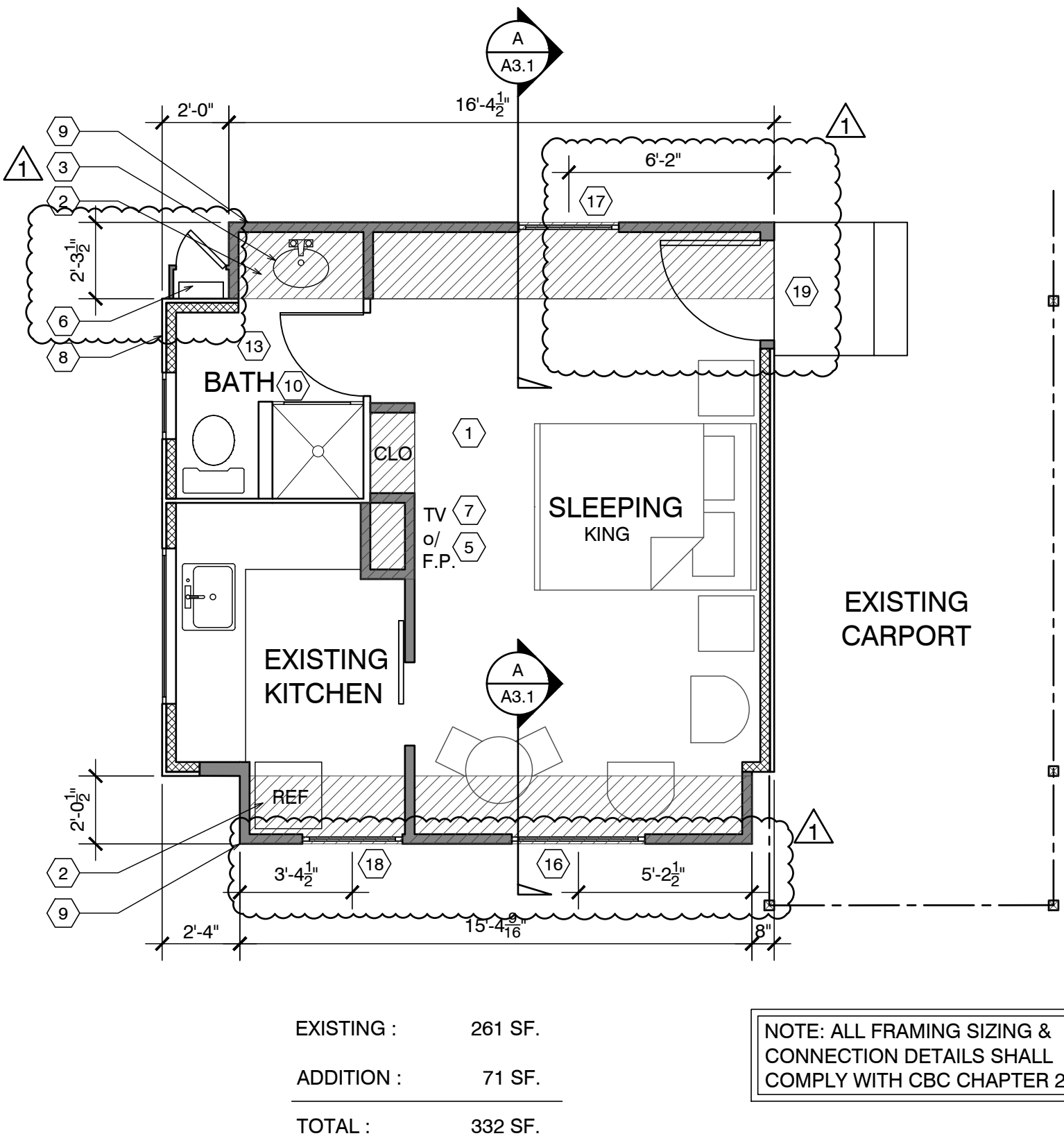
— WALL MOUNTED GAS HEATER

NOTES:

- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
- ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
- PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



EXISTING : 261 SF.

ADDITION : 71 SF.

TOTAL : 332 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

FLOOR PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"

WALL LEGEND

— EXISTING WALL TO REMAIN

— NEW FRAMED WALL

- - - - EXISTING WALL TO BE REMOVED

- FLOOR NOTES**
- (E) FLOOR AREA TO REMAIN
 - NEW ADDITION SHOWN SHADED
 - (N) SINK & COUNTER
 - (N) UNDER-COUNTER REFRIGERATOR
 - SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990 W/ SHUTOFF THERMOSTAT ON WALL
 - (E) WALL MOUNTED TANK-LESS WATER HEATER RE-BUILD ENCLOSURE TO MINIMAL.
 - FLAT PANEL TV MOUNTED ABOVE FIREPLACE
 - ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
 - ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
 - (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
 - NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
 - NOT USED
 - ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
 - NEW ADDITION UNDER EXISTING ROOF
 - 2x6 P.T. FLOOR JOIST @ 16" O.C
 - RE USE EXISTING 4'x4' CASEMENT WOOD WINDOW. NOTE 4 ON ELEVATIONS.
 - NEW 4'x4' WOOD CASEMENT WINDOW MATCH EXISTING NOTE 5 ON ELEVATION.
 - RE USE EXISTING 2'x2' WOOD WINDOW, NOTE 6 ON ELEVATIONS.
 - RE USE EXISTING 3'x6' FRONT DOOR.

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x1/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE

ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

- ROOF NOTES**
- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
 - (N) ROOF OVER ADDITION
 - FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
 - BEAM
 - OUTLINE OF ROOF, TYP.
 - 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
 - NOT USED
 - NOT USED
 - NOT USED

Project / Owner:

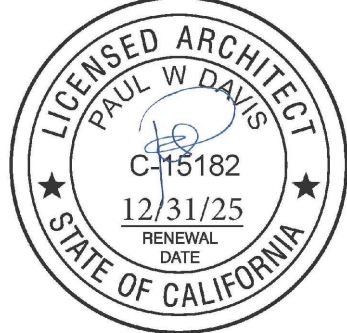
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APN: 009-563-005

COTTAGE REMODEL #21/now #52

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

1/30/2026 PLAN CHECK RESPONSE

3/10/26 HRRB

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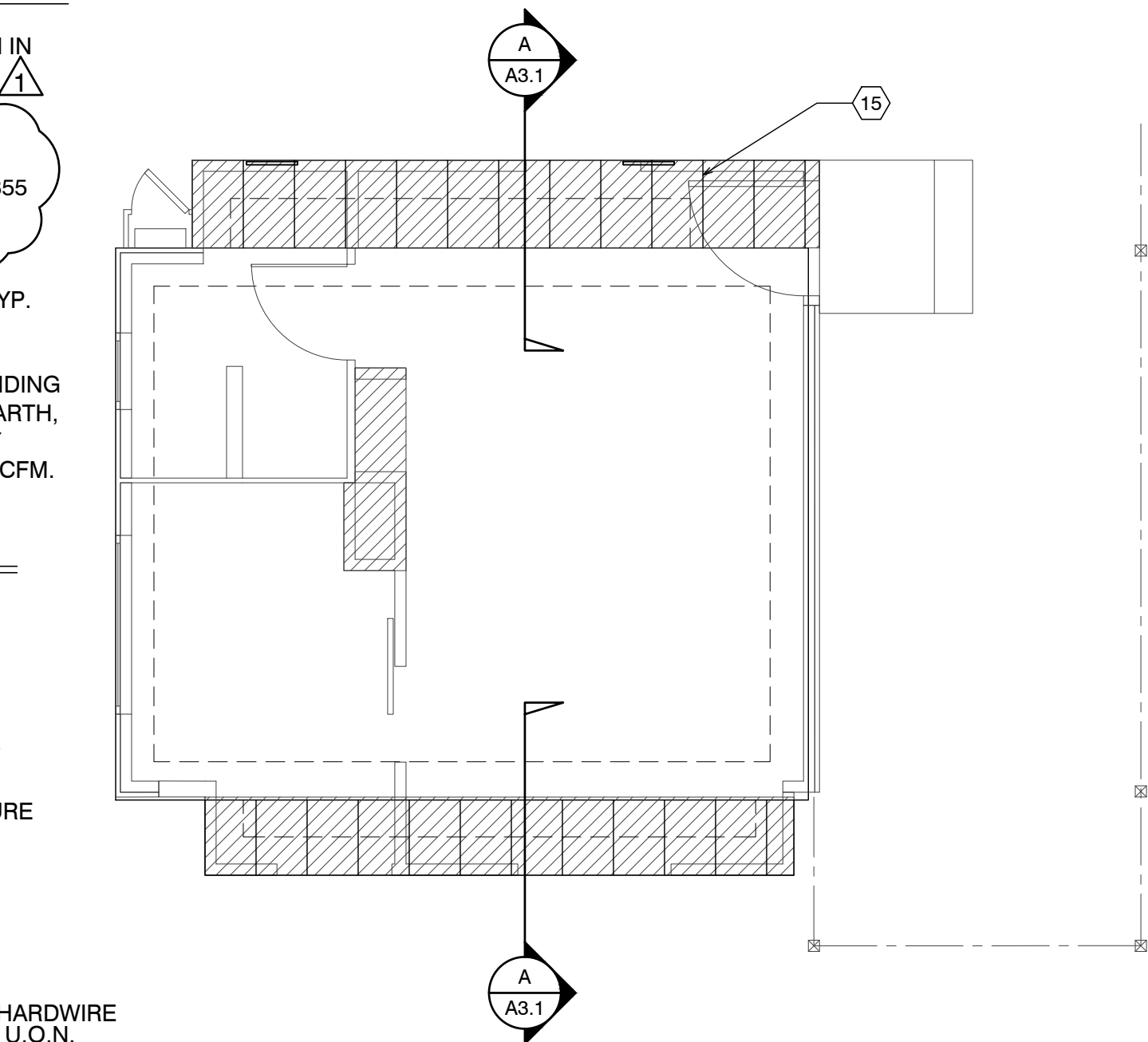
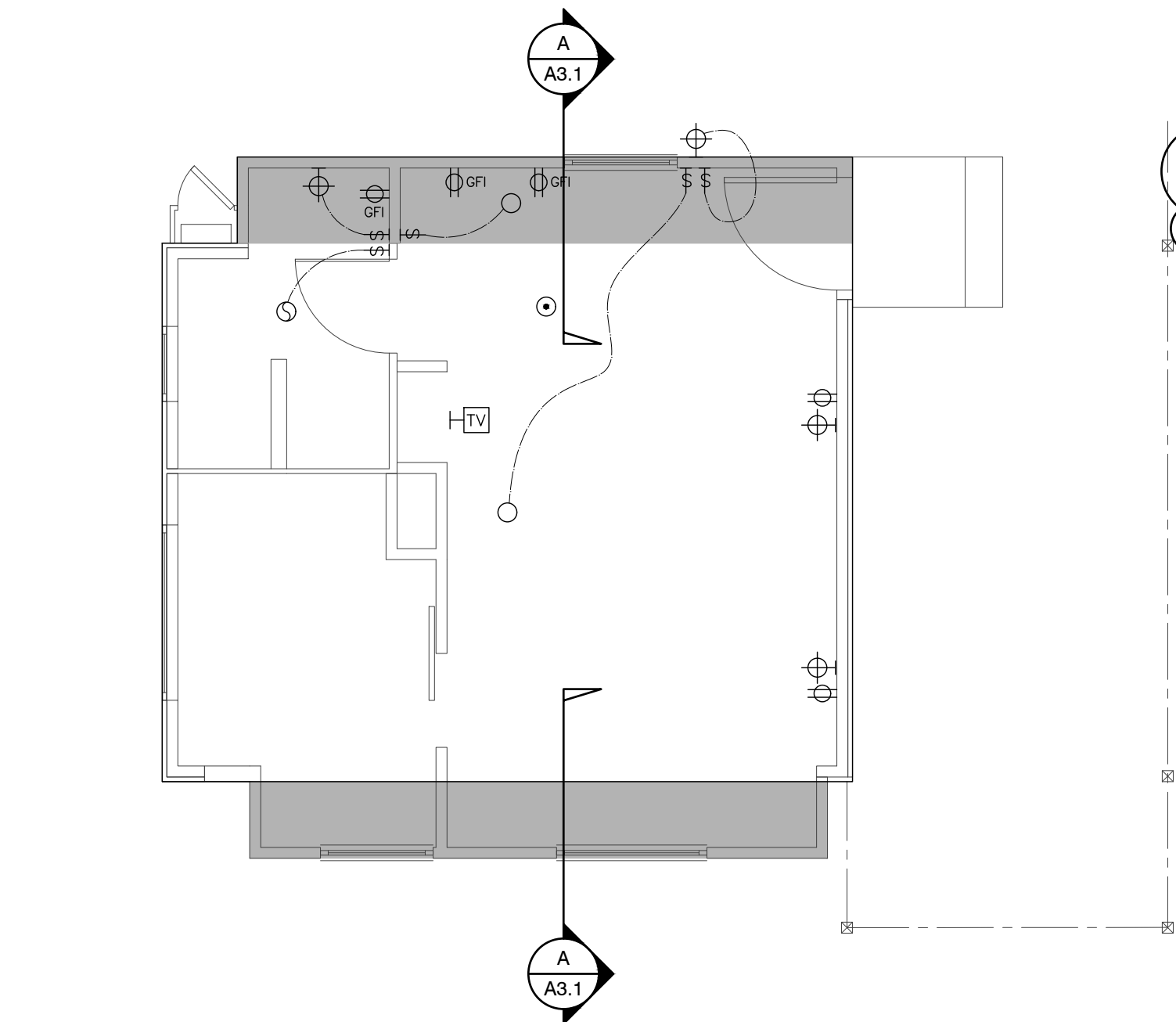
Sheet Title:
UNIT #21/52 FLOOR PLAN

Sheet Number:

A2.1

DEMO PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"



FOUNDATION VENT CALCULATION:
32 SF / 150 = .21 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

RCP PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"

FND. PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 21/52

SCALE: 1/4" = 1'-0"

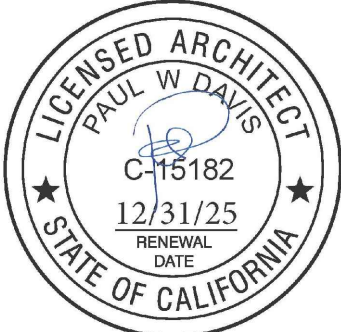
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COTTAGE
REMODEL
#21/now #52

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Sheet Title:
UNIT #21/52
ELEVATIONS

Sheet Number:

1. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
2. Changes to a historic property that have acquired historic significance in their own right will be retained and preserved.
3. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
4. Deteriorated features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
5. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
6. New additions and adjacent or related new construction will be undertaken in such a manner, that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

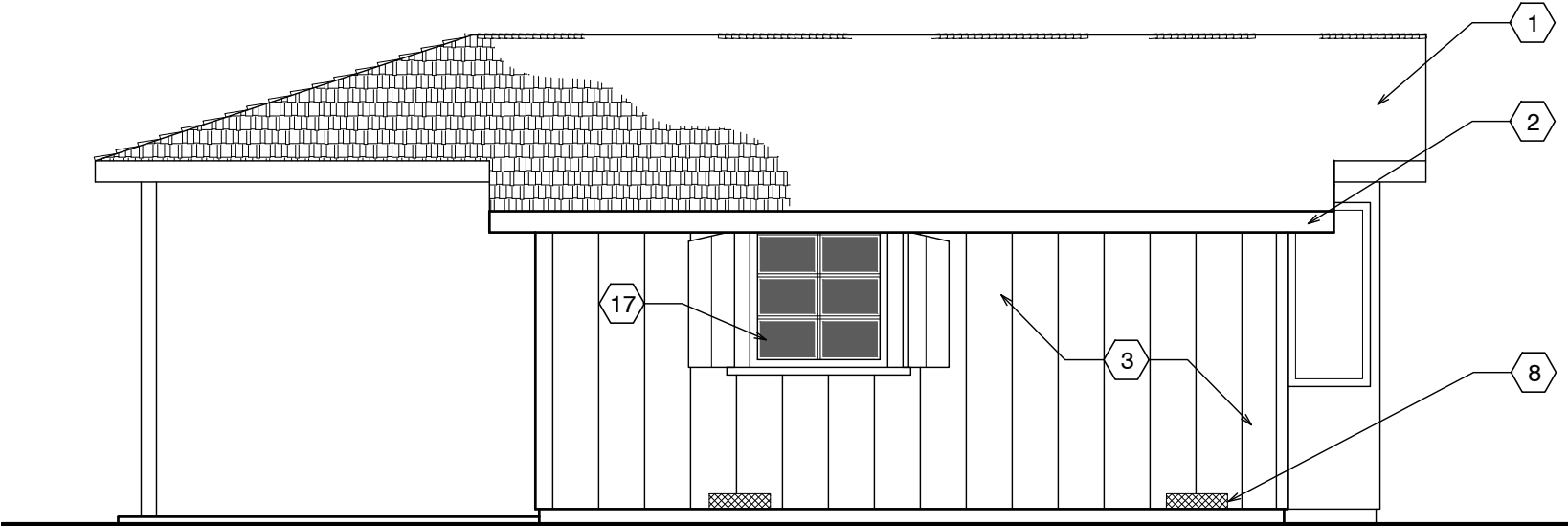
SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #38
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NOT USED
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF
FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

- 9-15. NOT USED
16. RE USE EXISTING 4"x4" CASEMENT WOOD WINDOW. NOTE 4 ON ELEVATIONS.
17. NEW 4"x4" WOOD CASEMENT WINDOW WITH SHUTTERS TO MATCH EXISTING NOTE 5 ON ELEVATION.
18. RE USE EXISTING 2"x2" WOOD WINDOW AND SHUTTERS. NOTE 6 ON ELEVATIONS.
19. RE USE EXISTING 3"x6" FRONT DOOR.



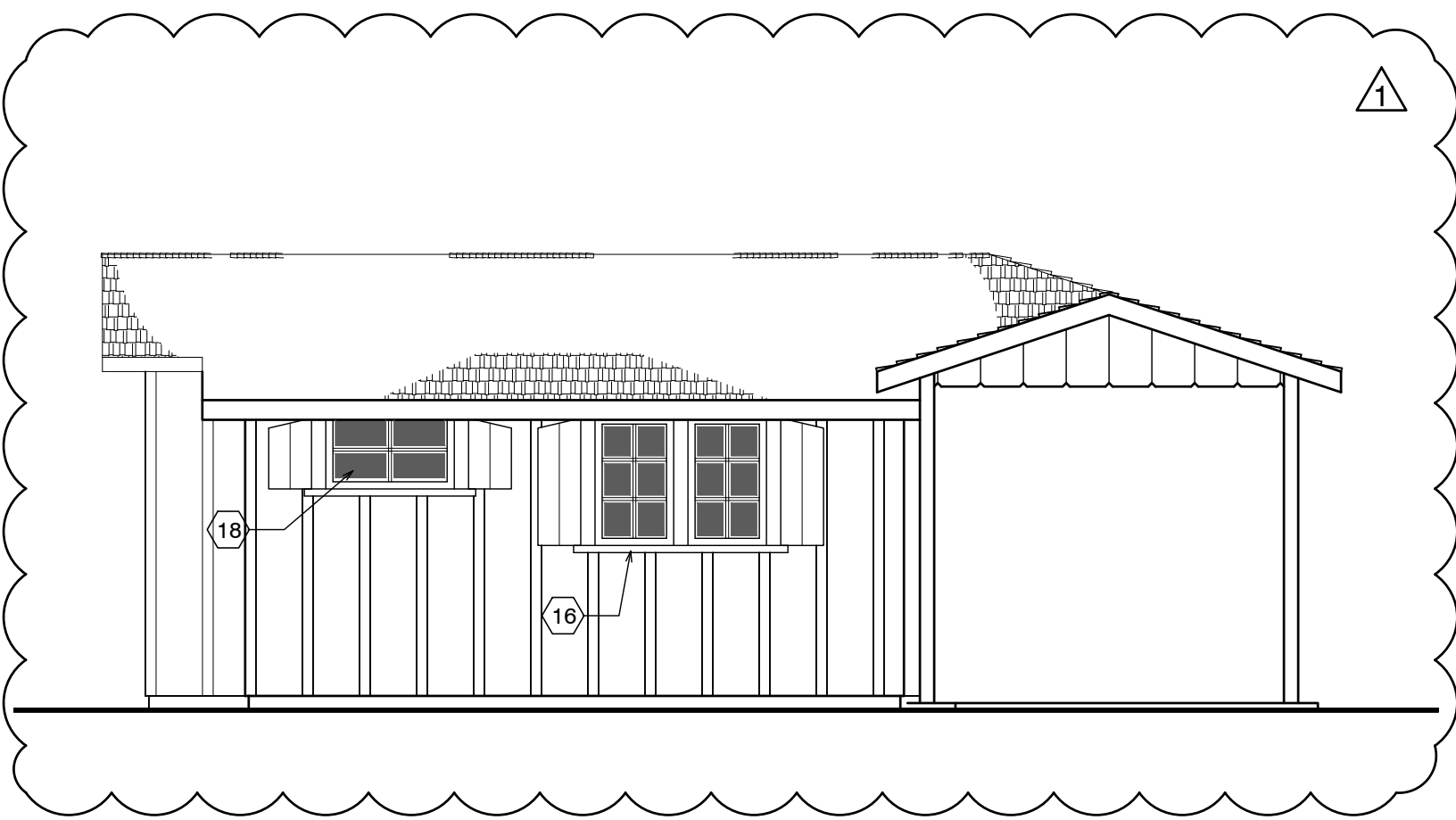
(E) FRONT ELEVATION



(N) FRONT ELEVATION

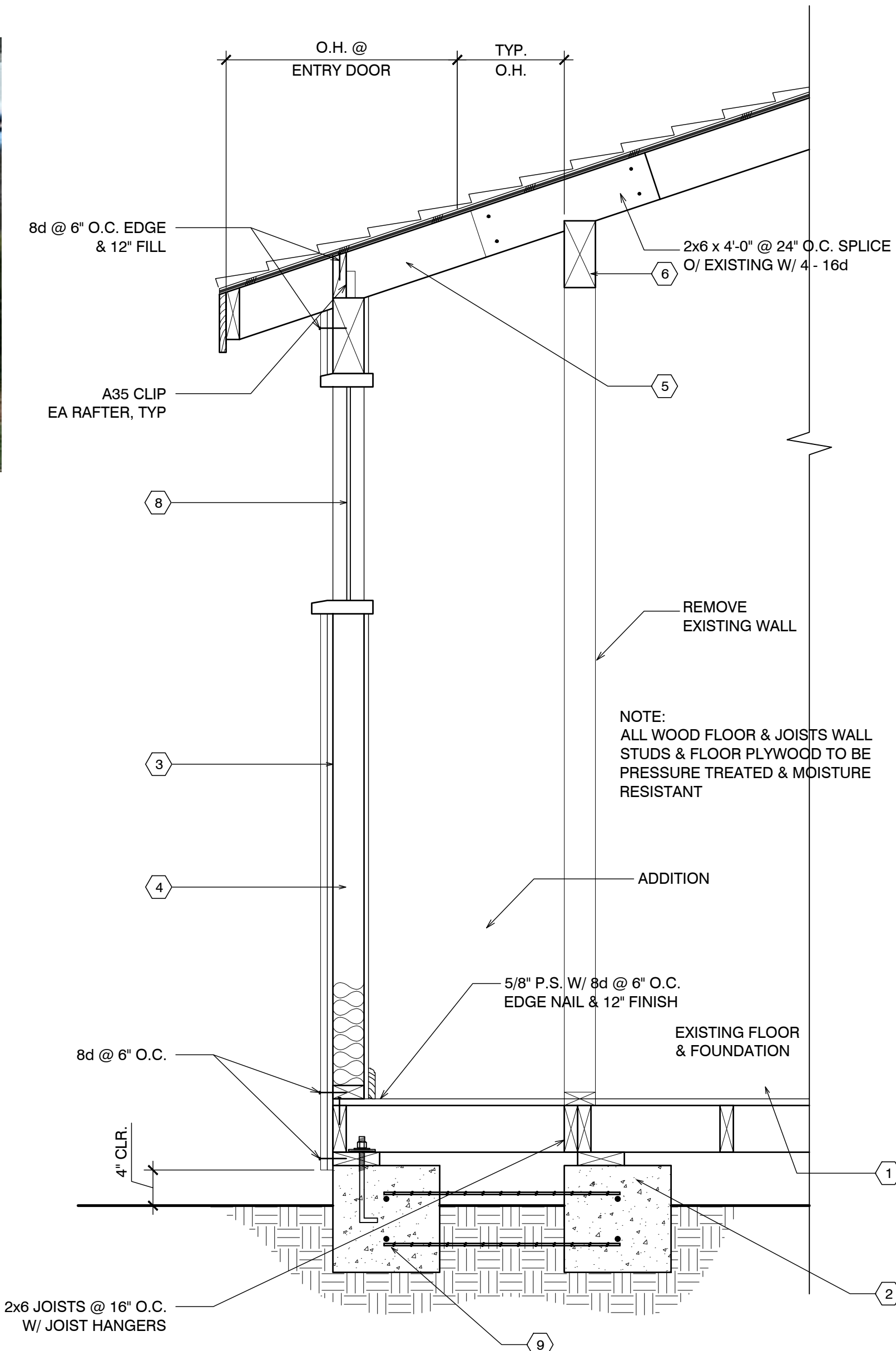


(E) SIDE ELEVATION



(N) BACK ELEVATION

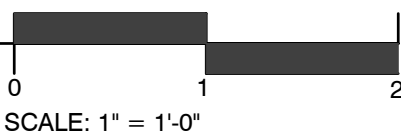
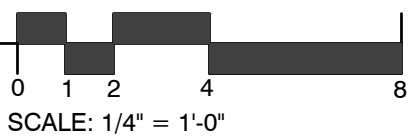
1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESSURE-TREATED.
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X2 BATTS, O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DPPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS.
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS.
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHEAD @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" long wall to existing w/ 10-16d
8. REUSE EXISTING WINDOW, MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



UNIT #21/52 SECTION

EXTERIOR ELEVATIONS UNIT #21/52

SCALE: 1/4" = 1'-0"



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