

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**CAPRARA SHERI L TR ET AL (PLN250182)**

### **RESOLUTION NO. 26-**

Resolution by the County of Monterey Zoning  
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 4,334 square foot single family dwelling with a 1,187 square foot attached garage, and associated site improvements.

[PLN250182, CAPRARA SHERI L TR ET AL, 23531 Belmont Circle, Salinas, Toro Area Plan (Assessor's Parcel Number 139-431-013-000)]

**The CAPRARA SHERI L TR ET AL application (PLN250182) came on for a public hearing before the County of Monterey Zoning Administrator on May 14, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:**

**WHEREAS**, the proposed project PLN250182, located at [23531 Belmont Circle, Salinas, Toro Area Plan (APN: 139-431-013-000)], is consistent with the policies of the Monterey County 2010 General Plan, Toro Area Plan, and the Monterey County Zoning Ordinance (Title 21);

**WHEREAS**, the subject parcel is zoned Low Density Residential, 5 acres per unit with a Design Control Overlay which allows for construction of a single-family dwelling, subject to the granting of a Design Approval as outlined in Title 21 Chapter 21.44;

**WHEREAS**, as proposed, the project consists of construction of a 4,334 square foot single family dwelling with a 1,187 square foot attached garage, and associated site improvements. Associated site improvements include a 163 square foot porch, a 679 square foot covered patio, a 430 square foot uncovered patio, and new septic tank.

**WHEREAS**, as detailed in the attached plans, the proposed project meets all required development standards established in Monterey County Code (MCC) section 21.14.060 and 2010 General Plan Policy LU-2.2.

**WHEREAS**, the proposed colors and materials include baja white cement plaster, weathered brown plank siding, and gray stone veneer. The proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

**WHEREAS**, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Toro Area Plan;

**WHEREAS**, the subject property (2.74 acres) is identified as Lot 13 as seen in Cities and Towns Map, Volume 20, Page 27, Tract No. 1327, of the Belmont Heights Subdivision, recorded in January, 1999. Therefore, the lot is recognized by the County as a legal lot of record;

**WHEREAS**, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

**WHEREAS**, the project was referred to the Toro Land Use Advisory Committee pursuant to Board of Supervisors adopted LUAC Guidelines, at which the LUAC on April 13, 2026 voted unanimously 4 to 0;

**WHEREAS**, California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of residences and accessory structures. Therefore, the proposed development is consistent with CEQA Guidelines section 15303 and none of the exceptions under CEQA Guidelines section 15300.2 apply to this project; and

**WHEREAS**, pursuant to MCC Section 21.44.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the Zoning Administrator, and the decision of the Board of Supervisors would be final and may not be appealed.

**NOW, THEREFORE BE IT RESOLVED**, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow the construction of a 4,334 square foot single family dwelling with a 1,187 square foot attached garage, and associated site improvements.

**PASSED AND ADOPTED** this 14<sup>th</sup> day of May 2026.

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Mike Novo, AICP Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250182

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Design Approval (PLN250182) allows construction of a 4,334 square foot single family dwelling with a 1,187 square foot attached garage, and associated site improvements. The property is located at 23531 Belmont Circle, Salinas (Assessor's Parcel Number 139-431-013--000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Design Approval (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 139-431-013-000 on May 14th, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

## 5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 7. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.



**For Department Use Only**

Zoning: \_\_\_\_\_ Area Plan: \_\_\_\_\_  
Advisory Committee: \_\_\_\_\_ Related Permits: \_\_\_\_\_  
Planner: \_\_\_\_\_  
Within Arch Buffer Zone?  Yes  No On Septic System (OWTS)?  Yes  No  
Legal Lot: \_\_\_\_\_  Yes  No Does This Correct A Violation?  Yes  No

**Findings:**

- The Project Is Consistent With The 2010 General Plan, The Applicable Area Plan, And Meets The Regulations In Title 21 (Zoning Ordinance-Inland); And
- The Design Of The Proposed Project Assures Protection Of The Public Viewshed, Is Consistent With Neighborhood Character, And Assures Visual Integrity Without Imposing Undue Restrictions On Private Property Because:

Decision:  Over-The-Counter  Administrative  
Action:  Approved  Denied  
Conditions:  Attached  None  
Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

Copy To Applicant:  In Person Or  Mailed Date: \_\_\_\_\_

## General Plan Policy Consistency Checklist For Design Approvals (Inland Only) To Be Completed By Applicants

<b>Land Use Designation:</b>	<b>APN:</b>	<b>Planning Number:</b>
<b>Area Plan:</b> <input type="checkbox"/> Cachagua Area Plan <input type="checkbox"/> Carmel Valley Master Plan <input type="checkbox"/> Central Salinas Valley Area Plan <input type="checkbox"/> Fort Ord Master Plan <input type="checkbox"/> Greater Monterey Peninsula Area Plan <input type="checkbox"/> Greater Salinas Area Plan <input type="checkbox"/> North County Area Plan <input type="checkbox"/> South County Area Plan <input type="checkbox"/> Toro Area Plan <input type="checkbox"/> Agriculture & Winery Corridor Plan	<b>Project Description:</b>	

Please Answer Each Question Based On The Description Of The Project (See Back Of Questionnaire For Policy References)	
	*The Project Is For: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Agricultural <input type="checkbox"/> Public Or Quasi-Public <input type="checkbox"/> Industrial Use
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Proposes A Cell-Site, Telecom (Digital) Communication Facility/Site?
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Includes The Construction Of A New Structure?
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Includes The Enlarging, Altering, Repairing, Moving, Improving, Or Removing Of Existing Structures? If "Yes", Describe _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Includes Demolition Work? If "Yes", Describe _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes The Use Of Roofing Materials That Are Different In Type and/or Color From The Original Materials?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes Replacement and/or Repair Of (50%) Or More Of The Exterior Walls Of A Structure?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes Historical Structure Or A Structure More Than Fifty (50) Years Old?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes An Accessory Structure(S)? If "Yes", Describe: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes The Placement Of A Manufactured Home, Mobile Home, Modular Or Prefabricated Unit? <input type="checkbox"/> Private Property <input type="checkbox"/> Park Installation _____ (Mobile Home Park)
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes Retaining Walls? _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Involves New, Change Or Modifications To Existing Utilities and/or Power Lines?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Is Change Or Modification To An Approved Application.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose A Lot Line Adjustment Or Subdivision?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Include Subdivision Creating Five Or More Lots, Or New Commercial/Industrial Use That Creates Intensity Equal To Or Greater Than Five Residences?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Near An Incorporated Area (City)?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Within A Community Area Or Rural Center?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Within ¼ Mile Of A Public Airport?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is This The First Residence On A Property?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose A Secondary Unit?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Would Native Vegetation Be Removed With This Project?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Would Proposed Development Occur Within 100 Feet A Creek/Drainage (Including Seasonal) Or River?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose Any Tree Removal? If "Yes" Type _____ Size _____ Number _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Includes Grading, Dirt Importation, Dirt Removal, And/or Drainage Changes.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Would The Project Be Connected To An Existing Well Or Private Water System?
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Includes Constructing, Enlarging, Altering, Repairing, Moving, Improving Or Removing A Well.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Is Associated With A New Or Improvements To A Water System. _____ Water System _____ Number of Connections
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Include A New Individual Or Existing Wastewater System (E.G. Septic)?
<input type="checkbox"/> Yes <input type="checkbox"/> No	The Project Includes Constructing, Enlarging, Altering, Repairing, Moving, Improving Or Removing A Septic Tank/System?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose Development On Slopes Over 25%?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project 50 Feet From A Bluff?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Is Located Within 100 Feet Of Seasonal Or Permanent Drainage, Lake, Marsh, Ocean, Pond, Slough, Stream, Wetlands. If "Yes", Describe _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Include Cultivation Of Land That Is Currently Not Cultivated?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose Non-Agricultural Uses Adjacent To Agricultural Uses?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Within The Winery Corridor?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Would Any Portion Of The Proposed Development Be Visible From A Public Road, Designated Vista Point, Or Public Park? If Yes, Is It Located On A Slope Or Near The Top Of A Hill? Yes _____ No _____

<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Propose Or Require Affordable Housing?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Does The Project Require A General Plan Amendment?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Within A Special Treatment Area?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is The Project Located Within A Study Area?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Project Involves Or Includes An Existing Or Proposed Trail Or Easement.

I, The Undersigned, Have Authority To Submit Application For A Permit On The Subject Property. I Have Completed This Questionnaire Accurately Based On The Proposed Project Description. It Is My Interpretation That The Project Is Consistent With The 2010 Monterey County General Plan. I Understand That Monterey County May Require Project Changes Or Some Other Permit/Entitlement If The Project Is Found To Be Inconsistent With Any General Plan Policy.

Signature  Date \_\_\_\_\_

Print Name: \_\_\_\_\_

**Please remember to provide photos, colors, and materials, as these are mandatory.**

**HCD Staff Use Only**

**Based On Review Of The Project Description Proposed , The Project Is:**

- Consistent With The 2010 Monterey County General Plan**  
 **Inconsistent With The 2010 Monterey County General Plan**

Notes / Comments:

Planner:

Planning Team:

Date:

**Policy Reference Based On Topic**

General Plan Amendment	Lu-1.7, Lu-2.18, Lu-2.19, Lu-2.21, Lu-2.23, Lu-2.24, Lu-2.27, Lu-2.29, Lu-6.5, Lu-9.6 Thru Lu-9.8, Gs-1.11, Csv-1.4, Ps-3.1, Os-5.20, Os-8.6,
Within City Sphere Of Influence Or Memorandum Of Understanding	Lu-2.14 Thru Lu-2.19, Ag-1.12, Gs-1.14
Community Areas	Lu-1.8, Lu-1.19, Lu-2.3, Lu-2.10 Thru Lu-2.12, Lu-2.20 Thru Lu-2.27, Lu-2.29, Lu-9.5, C-1.1, Os-3.6, Os-5.17, Os-8.6, Os-9.2, Os-10.10, T-1.7, Awcp-3.4a, Nc-1.5, Gs-1.1, Gs-1.13, Ag-1.3, Ag-1.4, Ps-1.1, Ps-1.2, Ps-3.1, Ps-4.13, Ps-5.1, Ps-8.2, Ps-11.14, S-2.5, S-5.17, S-6.4, S-6.5,
Rural Centers	Lu-1.8, Lu-1.19, Lu-2.3, Lu-2.11, Lu-2.12, Lu-2.26 Thru Lu-2.32, Os-5.17, Os-9.2, Os-10.10, T-1.7, T-1.8, Awcp-3.4a, Nc-1.5, Gs-1.13, Ag-1.3, Ps-1.1, Ps-1.2, Ps-3.1, Ps-4.13, Ps-5.1, Ps-8.2, S-5.17, S-6.5,
Special Treatment Areas	T-1.4, T-1.8, Gs-1.1 Thru Gs-1.3, Gs-1.10, Gs-1.12, Gmp-1.6 Thru Gmp-1.9, Csv-1.1, Csv-1.3, Csv-1.5 Thru Csv-1.7, Cv-1.22, Cv-1.23, Cv-1.25, Cv-1.27, Cach-1.5,
Study Areas	Gs-1.7, Gs-1.11, Csv-1.4, Cv-1.26
Winery Corridor	Ag-4.1 Thru Ag-4.5, AWCP
Development Outside Community Areas Or Rural Centers	Lu-1.19, S-2.7, Os-3.6
Development On Slopes Over 25%	Lu-9.5, Os-3.5, Os-3.6, Os-3.9, S-1.2, Cv-2.9, Cv-6.2, Cv-6.4, Cv-6.5, FOMP-A-6, Gmp-4.1, Gs-1.1, Gs-3.1, Nc-1.3, Nc-3.9, Nc-3.10, T-3.6
Conversion To Agriculture	Os-3.5, Os-5.22, Ag-1.6, Ag-1.7, Ag-1.12, Ag-2.9, Ag-3.3nc-3.10, Nc-3.11, CV-6.2, Cv-6.4,
Routine And On-Going Ag Activities	Ag-3.1 Thru Ag-3.3
Non-Ag Adjacent To Ag Uses	Lu-1.5, Lu-2.8, Ag-1.2, Ag-2.8, Cv-6.1, Gs-1.1, T-1.8
Agriculture (F, PG, & RG)	Lu-3.1, Lu-3.2, 6.0 – Agriculture Element
Farm Worker Housing	Ag-1.6
Ag Employee Housing	Ag-1.7
Ag Support Facilities	Ag-2.1 Thru Ag-2.9
Rural Residential (LDR, RDR, & RC)	Lu-2.34 Thru Lu-2.37
Urban Residential (HDR & MDR)	Lu-2.33
Commercial (LC, HC, & VPO)	Lu-4.1 Thru Lu-4.8, Ed-2.3, Ed-4.2
Industrial (Ai, Li, & Hi)	Lu-5.1 Thru Lu-5.9, Ed-2.3, Ed-4.2
Public / Quasi Public (PQP)	Lu-6.1 Thru Lu-6.5
Affordable Housing	Lu-1.19, Lu-2.11 Thru Lu-2.13, Lu-2.23, Lu-2.28, T-1.7, T-1.8, Nc-1.5, Gs-1.13, Gmp-1.9, Fomp-H-1.1, Fomp-C-3, Cv-1.6, Cv-1.27
Secondary Units	Lu-2.10, Cv-1.6, Gs-1.13, Nc-1.5, T-1.7, Ps-1.1
Subdivision	Lu-1.7, Lu-9.3 Thru Lu-9.5, Ag-1.3, Nc-1.5, Awcp-3.5.A, T-1.5, T-1.7, Gs-1.13, Cv-1.6, Cv-1.7, Ps-1.1, Ps-3.2, Ps-3.9, Ps-3.19, Ps-4.9, Ps-4.13, Ps-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, Os-1.5, Os-1.10, Os-6.5, Os-7.5, Os-8.4,
Lot Line Adjustment	Lu-1.14 Thru Lu-1.16
Off-Site Advertising	Lu-1.10
Exterior Lighting	Lu-1.13
Landscaping	Os-5.6, Os-5.14
Tree Removal	Os-5.9, Os-5.10, Os-5.25, Ps-12.10, Cach-3.4, Cv-3.11, Fomp-C-1, Fomp-C-2.1 Thru Fomp-C-2.5, Gmp-3.3, Gmp-3.5, Gs-1.5, Gs-1.8, Gs-3.3, Nc-3.4, T-3.7.
Circulation (E.G. Roads, Transportation)	Chapter 2.0

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# REQUIRED SPECIAL FEATURES

THE FOLLOWING ARE FEATURES THAT MUST BE INSTALLED AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. SEE TITLE 24 REPORT FOR MORE INFORMATION. \*DUCTS WITH HIGH LEVEL OF INSULATION

# HERS NOTES

HERS VERIFICATION IS REQUIRED FOR THIS PROJECT. SEE TITLE 24 REPORT FOR MORE INFORMATION.

- BUILDING-LEVEL VERIFICATIONS:
  - QUALITY INSULATION INSTALLATION (QII)
  - INDOOR AIR QUALITY VENTILATION
  - KITCHEN RANGE HOOD
  - MINIMUM AIRFLOW
  - VERIFIED EER/EEER2
  - VERIFIED SEER/GEER2
  - FAN EFFICACY WATTS/CFM
  - VERIFIED HSPF2
  - VERIFIED HEAT PUMP RATED HEATING CAPACITY
  - DUCT LEAKAGE TESTING

# FIRE DEPT. NOTES

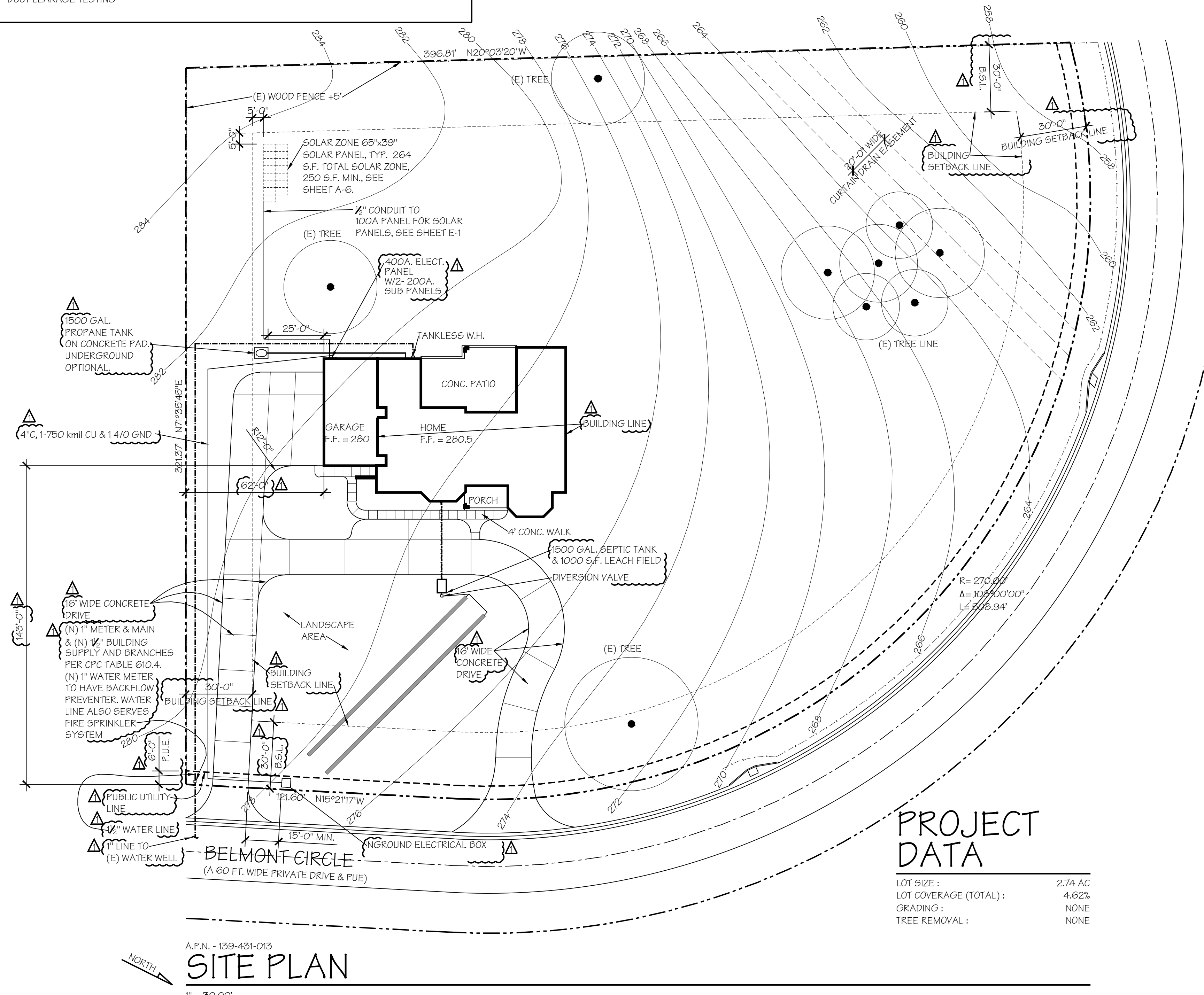
- ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR BUILDINGS AND ACCESSORY FROM ALL PROPERTY LINES AND/OR THE CENTER OF THE ROAD. FOR PARCELS LESS THAN 1 ACRE, OR WHEN A 30-FOOT MINIMUM SETBACK CANNOT BE REACHED, ALTERNATE FUEL MODIFICATION STANDARDS MAY BE IMPOSED BY THE LOCAL FIRE JURISDICTION TO PROVIDE THE SAME PRACTICAL EFFECT.
- THE BUILDING(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). THE FOLLOWING NOTATION IS REQUIRED ON THE PLANS WHEN A BUILDING PERMIT IS APPLIED FOR: "THE BUILDING SHALL BE FULLY PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION, APPROVAL AND MAINTENANCE SHALL BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION AND/OR UNIFORM BUILDING CODE STANDARDS, THE EDITIONS OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. FOUR (4) SET OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ROUGH-IN INSPECTIONS MUST BE COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION."
- ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE, SHALL REQUIRE A MINIMUM OF CLASS B ROOF CONSTRUCTION.
- REMOVE COMBUSTIBLE VEGETATION FROM WITHIN 30 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET FROM CHIMNEYS. ADDITIONAL AND / OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

# NOTES

- DURING WINTER OPERATIONS (BETWEEN OCTOBER AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN.
  - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
  - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
  - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
  - PRIOR TO THE START OF CONSTRUCTION THE APPLICANT/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISHED INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.

# WATER CONSERVATION

- ALL RESTRICTIONS REGARDING WATER USAGE SHALL BE MET IN ACCORDANCE WITH THE MONTEREY COUNTY WATER RESOURCES AGENCY. WATER CONSERVATION ORDINANCE NO. 3539 INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- NO PERSON SHALL USE POTABLE WATER THROUGH A HOSE TO CLEAN ANY SIDEWALK, DRIVEWAY, ROADWAY, PARKING LOT, OR ANY OTHER OUTDOOR PAVED OR HARD SURFACED AREA, EXCEPT WHERE NECESSARY TO PROTECT PUBLIC HEALTH OR SAFETY. THE USE OF A BUCKET IS NOT PROHIBITED AT ANY TIME FOR CLEANING FOOD, GRASS, OIL, OR OTHER STAINS OR SPILLAGE FROM SURFACES.
  - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. (SEE CALGREEN SECTION 301)
    - KITCHEN FAUCETS: 1.8 GPM @ 60 PSI, KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE MAX. FLOW RATE, BUT NOT TO EXCEED 2.2 GPM @ 60 PSI.
    - LAVATORY FAUCETS: 1.2 GPM @ 60 PSI MAX, 0.8 GPM @ 20 PSI MIN.
    - SHOWERHEAD: 1.8 GPM @ 80 PSI
    - WATER CLOSET: 1.28 GPF
  - XERISCAPE PRINCIPALS SHALL BE APPLIED THROUGHOUT THE EXTERIOR LANDSCAPE DEVELOPMENT, INCLUDING SUCH TECHNIQUES AND MATERIALS AS NATIVE OR LOW WATER USE PLANTS AND LOW PRECIPITATION SPRINKLER HEADS, BUBBLERS, DRIP IRRIGATION SYSTEMS, AND TIMING DEVICES.
  - NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLE AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
  - ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE.

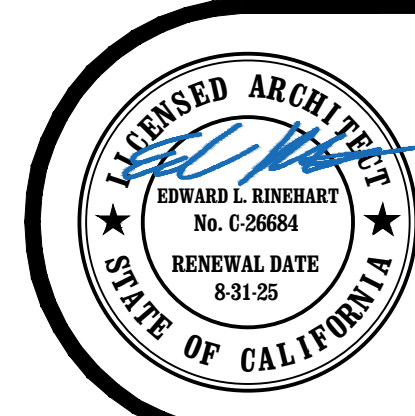


# SITE PLAN

A.P.N. - 139-431-013  
 1" = 30.00'  
 ADDRESS IDENTIFICATION: BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THIS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

# PROJECT DATA

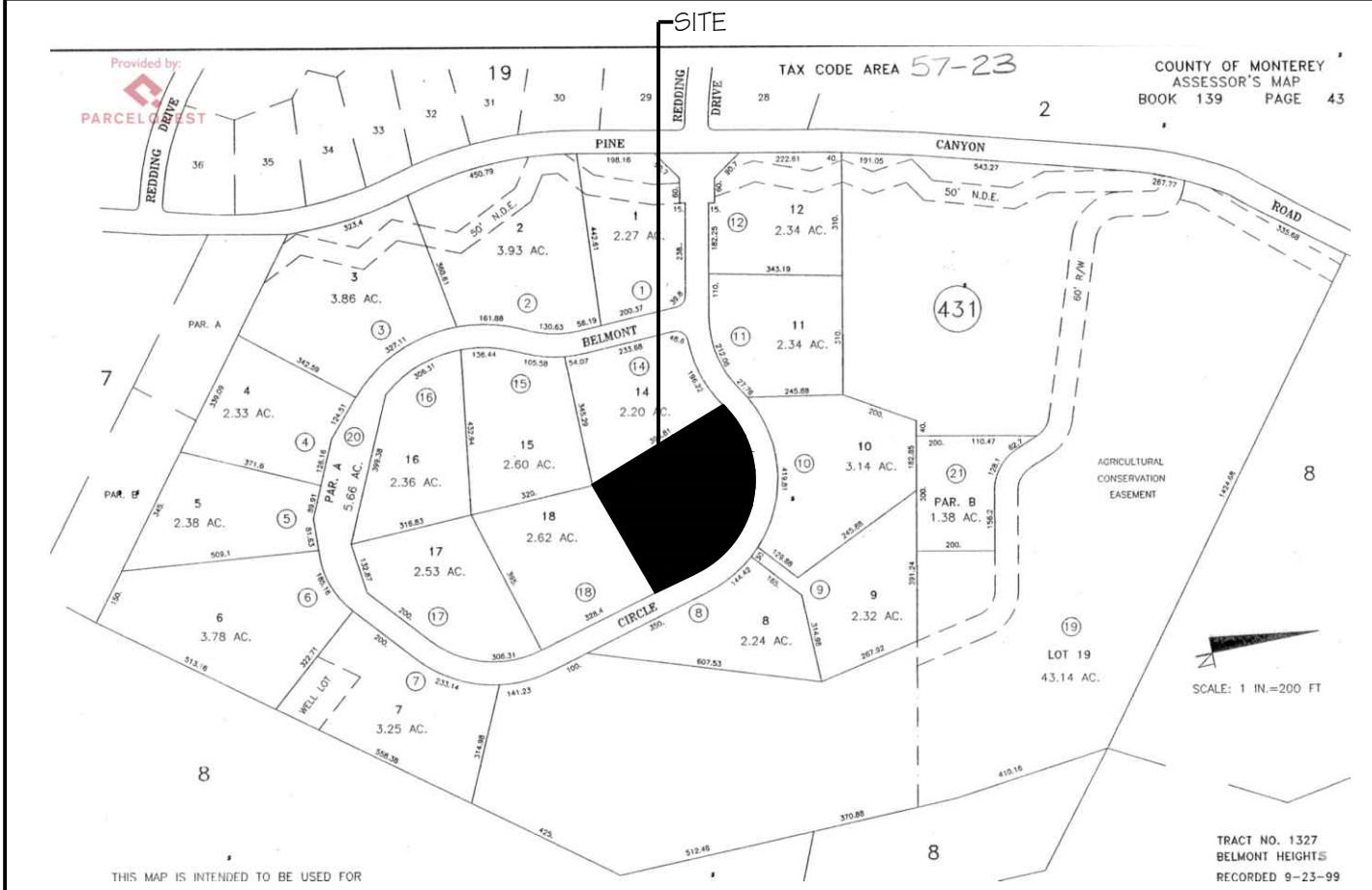
LOT SIZE :	2.74 AC
LOT COVERAGE (TOTAL) :	4.62%
GRADING :	NONE
TREE REMOVAL :	NONE



**EDWARD L. RINEHART**  
 A.I.A. ARCHITECT

107 CHURCH STREET - SALINAS - CALIFORNIA 93901  
 Phone : (831) 422-1046 Fax : (831) 422-1952  
 e-mail : edrinehart@att.net

# VICINITY MAP



# STATISTICS

USE/SCOPE OF WORK : NEW HOME WITH AN ATTACHED GARAGE ON A VACANT LOT.

A.P.N. : 139-431-013  
 LOT AREA : 2.74 AC  
 ZONING : LDR/SD

BUILDING AREAS :	NEW HOME :	4,334 S.F.
	NEW ATTACHED GARAGE :	1,187 S.F.
	NEW FRONT PORCH :	163 S.F.
	NEW REAR COVERED PATIO :	679 S.F.
	NEW REAR UNCOVERED PATIO :	430 S.F.

# CODE ANALYSIS

OCCUPANCY GROUP : R-3 / U  
 CONSTRUCTION TYPE : V-B  
 STORIES : ONE  
 FIRE SPRINKLERS : INSTALLED PER N.F.P.A. 13D SEPARATE PERMIT REQUIRED  
 DEFERRED SUBMITTALS : FIRE SPRINKLER PLANS, PV SYSTEM (SOLAR PANELS)

ENERGY METHOD : 2022 STANDARDS  
 CODES : 2022 C.B.C., 2022 C.M.C., 2022 C.P.C., 2022 C.E.C., 2022 TITLE 24, 2022 CRC, 2022 CENc

# GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS. NOTIFY THE OWNER AND THE ARCHITECT (EDWARD L. RINEHART) IF ANY DISCREPANCIES ARE FOUND OR REQUEST FOR INFORMATION ABOUT SCOPE OF CHANGES FROM PLANS DRAWN BY EDWARD L. RINEHART, A.I.A. ARCHITECT, BEFORE PROCEEDING WITH WORK.
- ALL LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER
- ALL NAILING SHALL BE PER C.B.C., CHAPTER 23
- ALL EQUIPMENT TO BE INSTALLED SHALL BE LISTED BY AN APPROVED TESTING AGENCY THAT IS ACCEPTABLE TO MONTEREY COUNTY BUILDING INSPECTION DEPARTMENT.
- ALL GYPSUM BOARD SHALL BE INSTALLED PER C.B.C., CHAPTER 25
- ALL CONCRETE SHALL BE 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.
- POST ADDRESS PRIOR TO CONSTRUCTION ( 6" NUMERALS, 3/8" STROKE, ON CONTRASTING BACKGROUND) TO BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL.
- TOILETS SHALL BE LOW FLOW TOILETS (1.28 GALLON/FLUSH MAX), SHOWERHEADS (1.8 G.P.M. @ 80 P.S.I.), LAVATORY FAUCETS (1.2 G.P.M. @ 60 P.S.I.), KITCHEN FAUCETS (1.8 G.P.M. @ 60 P.S.I.)
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4; OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION. VERIFY WITH LOCAL BUILDING FOR REQUIREMENTS
- PRIOR TO THE START OF CONSTRUCTION THE APPLICANT/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISHED INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.

# OWNER

JANICE CAPRARA  
 26769 EL CAMINO REAL  
 GONZALES, CA 93926  
 PHONE : (831) 675-3405

NEW HOME FOR :  
**JANICE CAPRARA**  
 23531 BELMONT CIR.  
 SALINAS - CALIFORNIA 93908

SHEET NO. **A-1**  
 OF 6 SHEETS

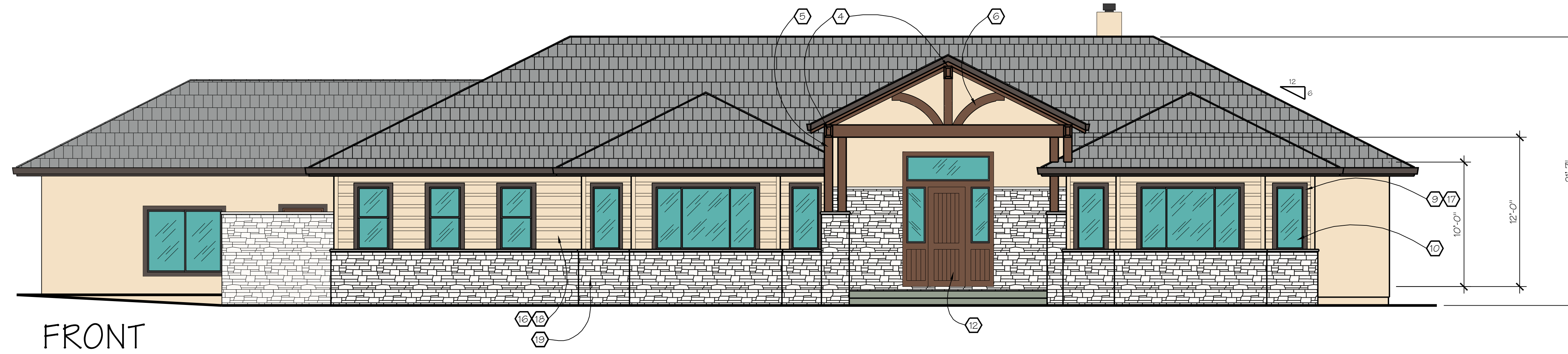
(C) COPYRIGHT 2024. THE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF EDWARD L. RINEHART, A.I.A. ARCHITECT, AND NO PART OF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

REVISIONS :	1. PLAN REVIEW REVISIONS 5-19-25	BY : ELR
	2.	
	3.	DATE ISSUED : 10-8-24
	4.	

**2304**

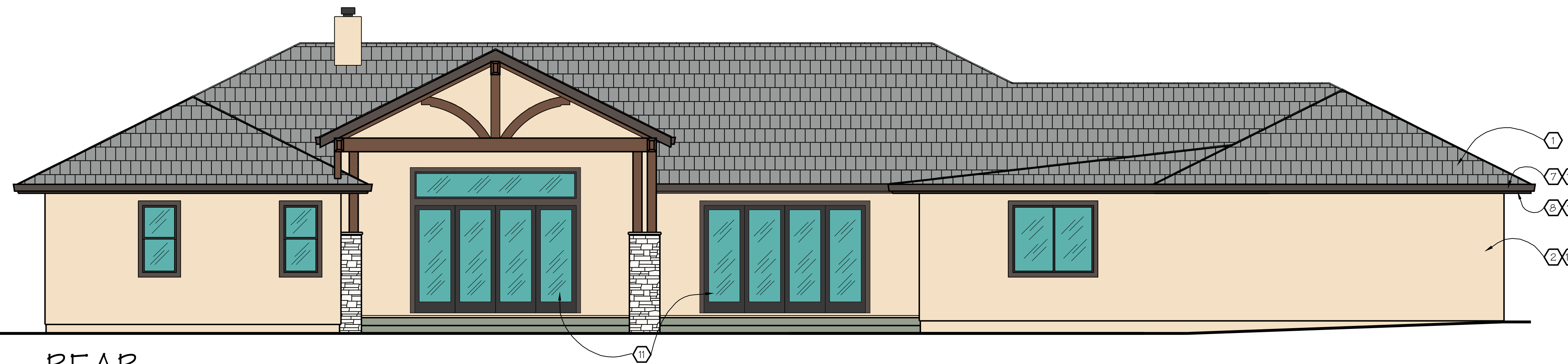
# FINISH SCHEDULE

- ① CONCRETE FLAT TILE CLASS "A" FIRE RATING BY EAGLE TILE PONDEROSA "5503 SIERRA MADRE" OR EQUAL.
- ② 7/8" CEMENT PLASTER (3 COAT) & METAL LATH OVER 2 LAYERS GRADE "D" BUILDING PAPER. SKIP TROWEL TEXTURE.
- ③ STONE VENEER, SEE 4/A-5 FOR ANCHORING.
- ④ 8x12 BEAM.
- ⑤ 8x8 POSTS.
- ⑥ DECORATIVE WOOD TRUSS.
- ⑦ 4"x6" 26 GA. G.I. OGEE GUTTER W/LEAF SCREEN & 2-3/8"x3-1/4" RECT. DOWNSPOUT.
- ⑧ 2x8 FASCIA BOARD.
- ⑨ 2x4 WOOD TRIM
- ⑩ CLAD WOOD WINDOWS.
- ⑪ FRENCH DOORS.
- ⑫ WOOD DOOR.
- ⑬
- ⑭ 16'-0"x7'-0" DECORATIVE WOOD ROLL-UP DOOR.
- ⑮ SPARK ARRESTER & FLUE TERMINATOR.
- ⑯ PAINT: BODY- DEC722 (BAJA WHITE) BY "DUNN EDWARDS" OR EQUAL.
- ⑰ PAINT: TRIM- DEC756 (WEATHERED BROWN) BY "DUNN EDWARDS" OR EQUAL.
- ⑱ 5/8" HARDIE "PLANK" LAP SIDING (LISTING NO. 8140-2026:0005) 0/2 LAYERS GRADE "D" BUILDING PAPER. LISTED AS EXTERIOR SIDING FOR USE IN THE WILDLAND URBAN INTERFACE AREAS, PER CRC R337.7.1. SIDING ATTACHED PER CRC R703.4
- ⑲ STONE VENEER, SEE 4/A-5 FOR ATTACHMENT.



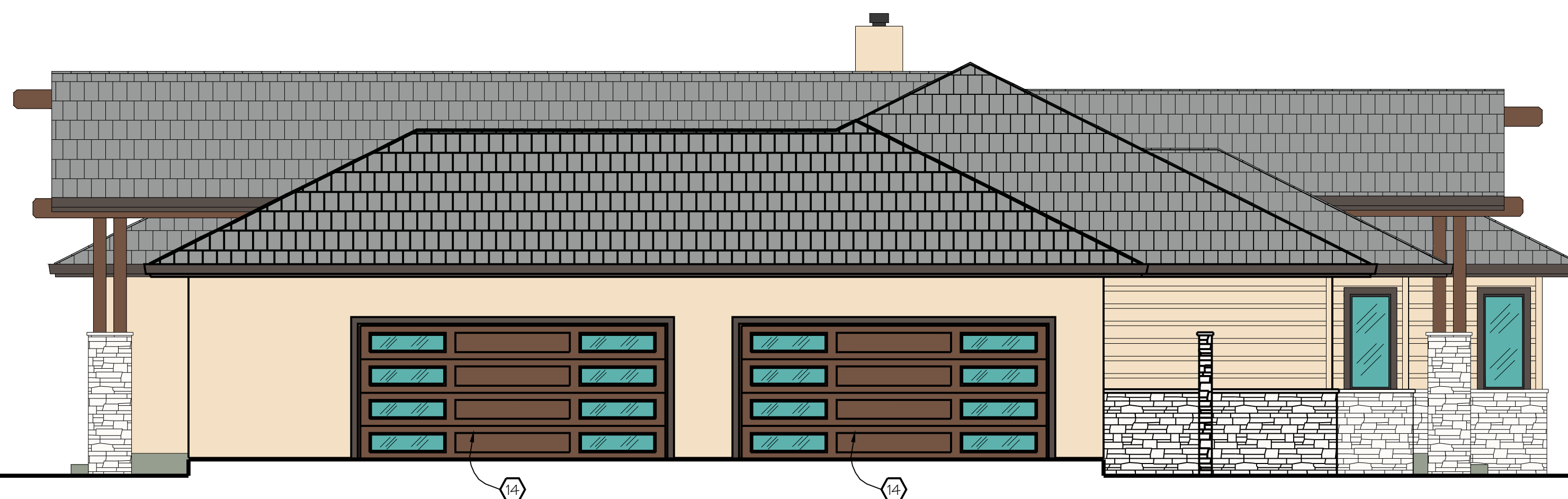
FRONT

3/8" = 1'-0"



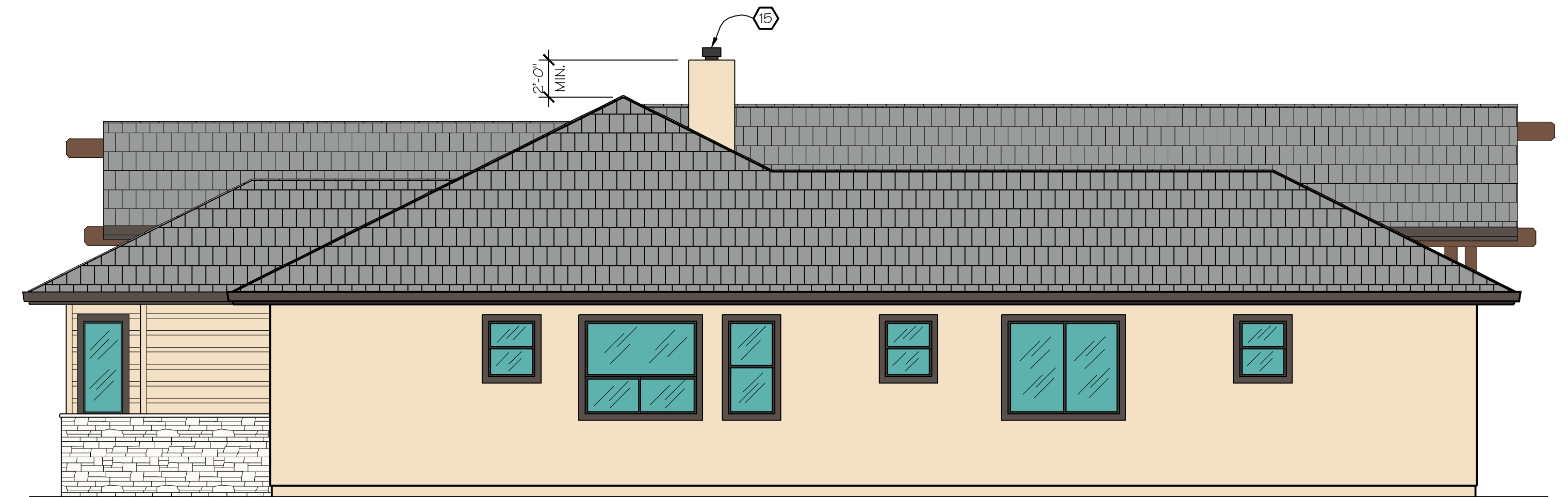
REAR

3/8" = 1'-0"



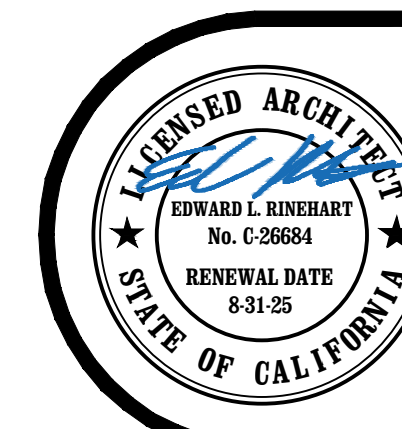
LEFT

3/8" = 1'-0"



RIGHT

3/8" = 1'-0"



**EDWARD L. RINEHART**  
A.I.A. ARCHITECT

NEW HOME FOR :  
**JANICE CAPRARA**  
23531 BELMONT CIR.  
SALINAS - CALIFORNIA 93908

SHEET NO.  
**A-2**  
OF 6 SHEETS

107 CHURCH STREET - SALINAS - CALIFORNIA 93901  
Phone : (831)-422-1046 Fax : (831) 422-1952  
e-mail : edrinehart@att.net

REVISIONS : 1. PLAN REVIEW REVISIONS 5-19-25  
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REQUIRED SPECIAL FEATURES	
THE FOLLOWING ARE FEATURES THAT MUST BE INSTALLED AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. SEE TITLE 24 REPORT FOR MORE INFORMATION. *DUCTS WITH HIGH LEVEL OF INSULATION	
HERS NOTES	
HERS VERIFICATION IS REQUIRED FOR THIS PROJECT. SEE TITLE 24 REPORT FOR MORE INFORMATION.	
1. BUILDING-LEVEL VERIFICATIONS: * QUALITY INSULATION INSTALLATION (QI) * INDOOR AIR QUALITY VENTILATION * KITCHEN RANGE HOOD * MINIMUM AIRFLOW * VERIFIED EER/EEER2 * VERIFIED SEER/GEER2 * FAN EFFICACY WATTS/CFM * VERIFIED H9P2 * VERIFIED HEAT PUMP RATED HEATING CAPACITY * DUCT LEAKAGE TESTING	

### FIRE DEPT. NOTES

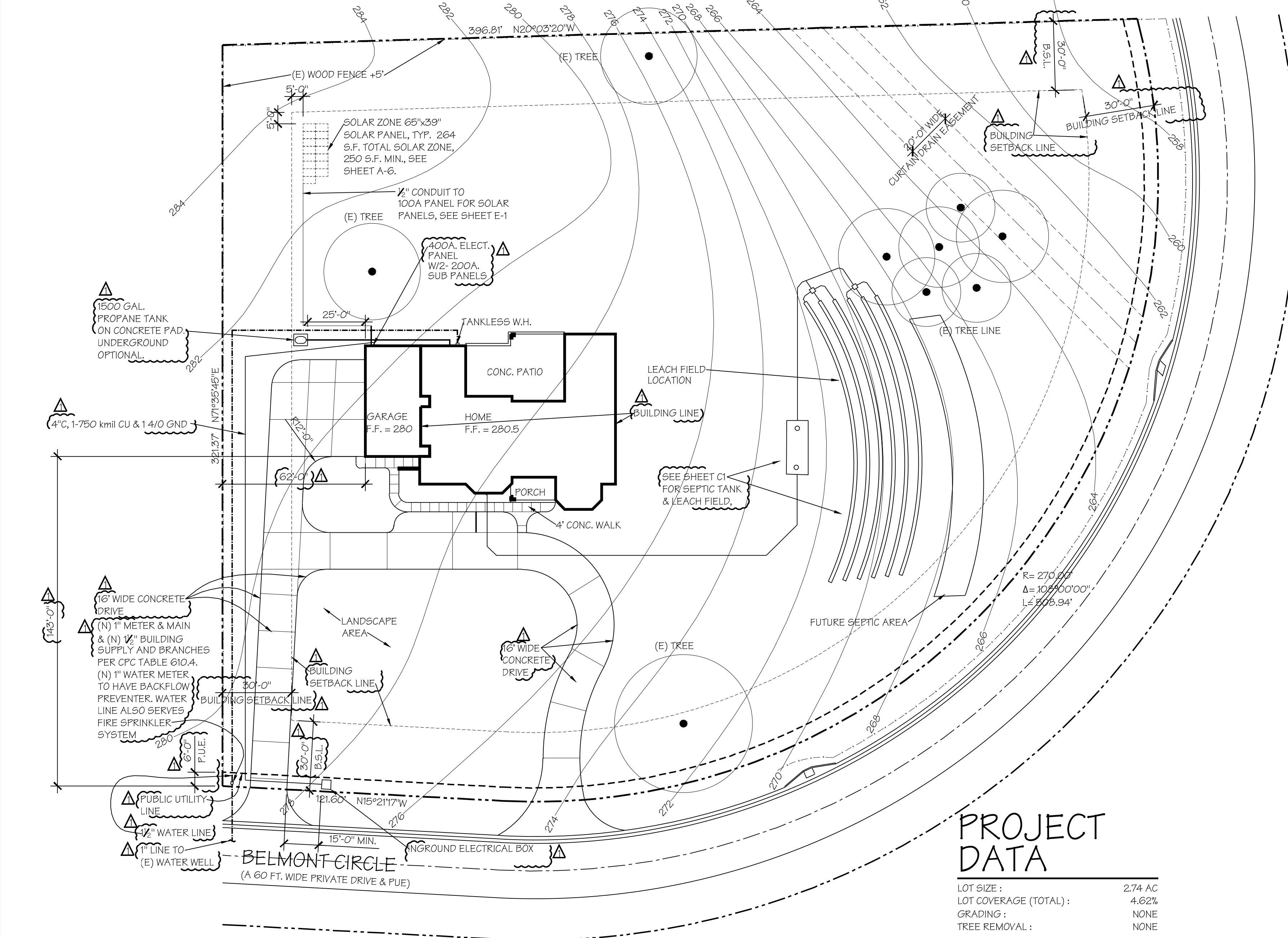
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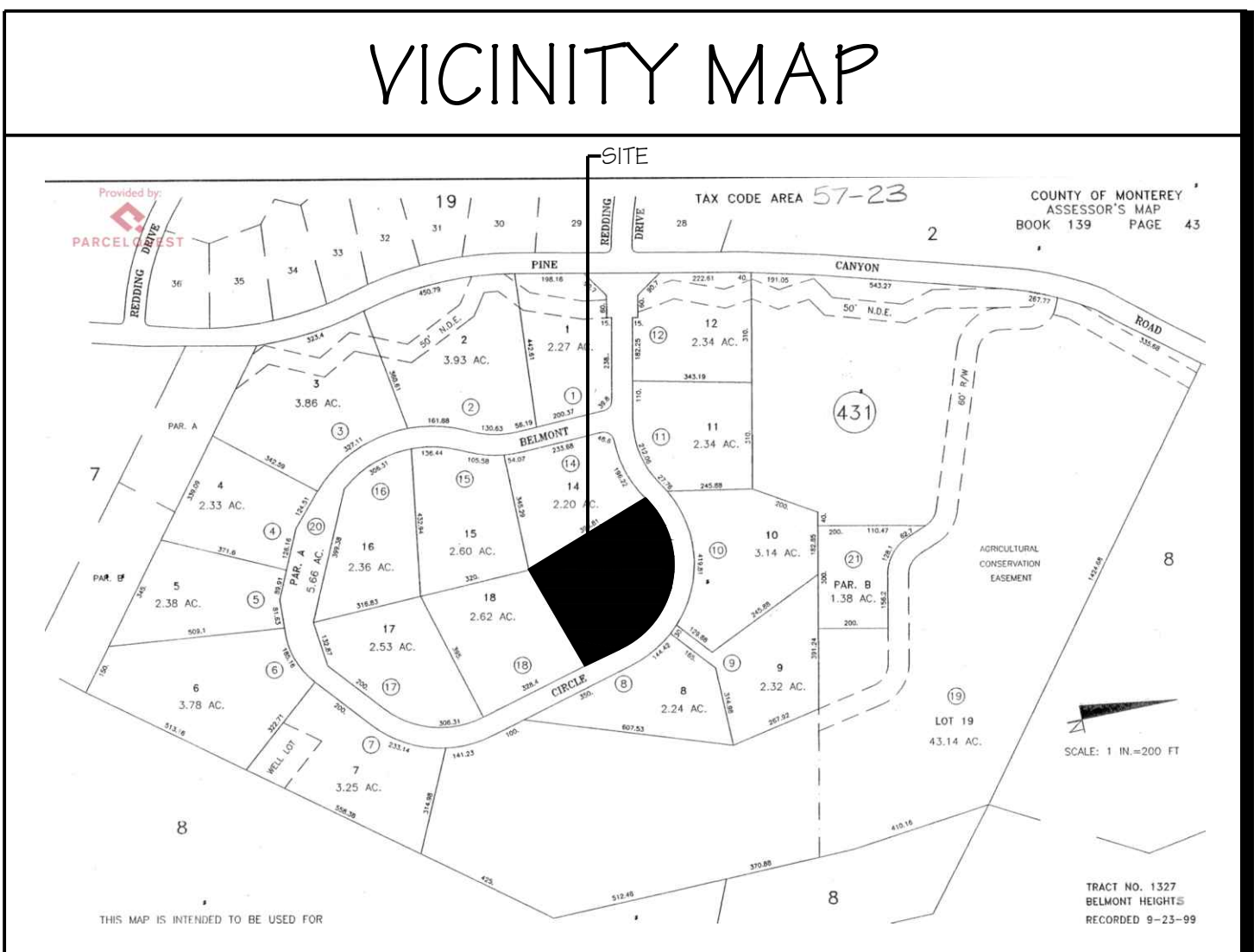
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SITE PLAN	
A.P.N. - 139-431-013	
1" = 30.00'	
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### STATISTICS

USE/SCOPE OF WORK: NEW HOME WITH AN ATTACHED GARAGE ON A VACANT LOT.	
A.P.N. : 139-431-013	
LOT AREA : 2.74 AC	
ZONING : LDR/SD	
BUILDING AREAS :	NEW HOME : 4,334 S.F.
	NEW ATTACHED GARAGE : 1,197 S.F.
	NEW FRONT PORCH : 163 S.F.
	NEW REAR COVERED PATIO : 679 S.F.
	NEW REAR UNCOVERED PATIO : 430 S.F.
TOTAL IMPERVIOUS SURFACE AREA : 1,853 S.F.	
CURRENT FLOOR AREA RATIO (FAR) : 0%	
PROPOSED (FAR) : 5.521 S.F. / 119354.4 S.F. = 4.6%	

### CODE ANALYSIS

OCCUPANCY GROUP : R-3 / U	
CONSTRUCTION TYPE : V-B	
STORIES : ONE	
FIRE SPRINKLERS : INSTALLED PER N.F.P.A. 13D SEPARATE PERMIT REQUIRED	
DEFERRED SUBMITTALS : FIRE SPRINKLER PLANS, PV SYSTEM (SOLAR PANELS), OWTs	
ENERGY METHOD : 2022 STANDARDS	
CODES : 2022 C.B.C., 2022 C.M.C., 2022 C.P.C., 2022 C.E.C., 2022 TITLE 24, 2022 CRC, 2022 CENc	

### GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS. NOTIFY THE OWNER AND THE ARCHITECT (EDWARD L. RINEHART) IF ANY DISCREPANCIES ARE FOUND OR REQUEST FOR INFORMATION ABOUT SCOPE OF CHANGES FROM PLANS DRAWN BY EDWARD L. RINEHART, A.I.A. ARCHITECT, BEFORE PROCEEDING WITH WORK.
- ALL LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER
- ALL NAILING SHALL BE PER C.B.C., CHAPTER 23
- ALL EQUIPMENT TO BE INSTALLED SHALL BE LISTED BY AN APPROVED TESTING AGENCY THAT IS ACCEPTABLE TO MONTEREY COUNTY BUILDING INSPECTION DEPARTMENT.
- ALL GYPSUM BOARD SHALL BE INSTALLED PER C.B.C., CHAPTER 25
- ALL CONCRETE SHALL BE 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.
- POST ADDRESS PRIOR TO CONSTRUCTION ( 6" NUMERALS, 3/8" STROKE, ON CONTRASTING BACKGROUND) TO BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL.
- TOILETS SHALL BE LOW FLOW TOILETS (1.28 GALLON/FLUSH MAX.), SHOWERHEADS (1.8 G.P.M. @ 80 P.S.I.), LAVATORY FAUCETS (1.2 G.P.M. @ 60 P.S.I.), KITCHEN FAUCETS (1.8 G.P.M. @ 60 P.S.I.)
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4; OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION. VERIFY WITH LOCAL BUILDING FOR REQUIREMENTS
- PRIOR TO THE START OF CONSTRUCTION THE APPLICANT/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISHED INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.

### OWNER

JANICE CAPRARA  
 26769 EL CAMINO REAL  
 GONZALES, CA 93926  
 PHONE : (831) 675-3405



107 CHURCH STREET - SALINAS - CALIFORNIA 93901  
 Phone : (831)-422-1046 Fax : (831) 422-1952  
 e-mail : edrinehart@att.net

NEW HOME FOR :  
**JANICE CAPRARA**  
 23531 BELMONT CIR.  
 SALINAS - CALIFORNIA 93908

SHEET NO. **A-1**  
 OF 6 SHEETS

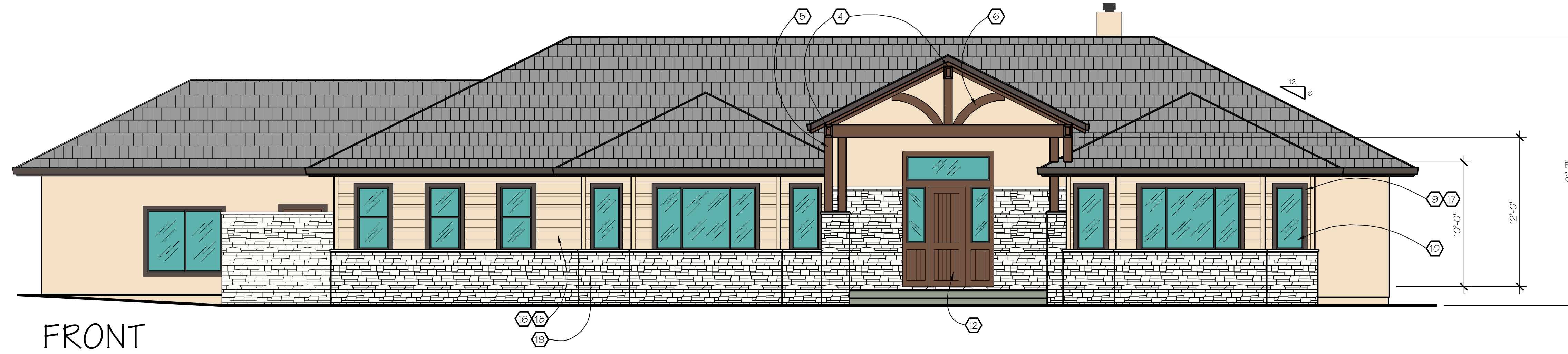
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REVISIONS :	1. PLAN REVIEW REVISIONS 5-19-25	BY : ELR
	2.	DATE ISSUED : 10-8-24
	3.	
	4.	

**2304**

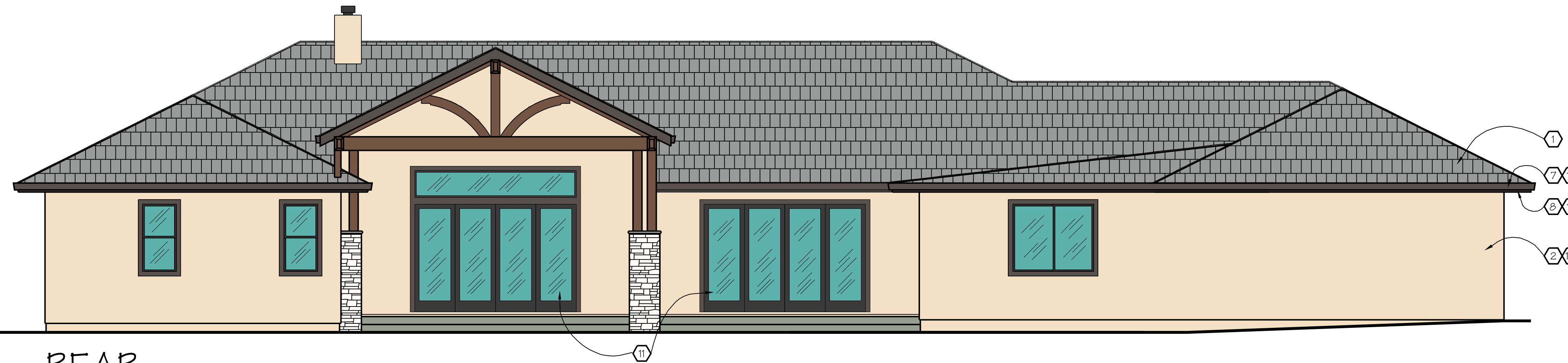
# FINISH SCHEDULE

- ① CONCRETE FLAT TILE CLASS "A" FIRE RATING BY EAGLE TILE PONDEROSA "5503 SIERRA MADRE" OR EQUAL.
- ② 7/8" CEMENT PLASTER (3 COAT) & METAL LATH OVER 2 LAYERS GRADE "D" BUILDING PAPER. SKIP TROWEL TEXTURE.
- ③ STONE VENEER, SEE 4/A-5 FOR ANCHORING.
- ④ 8x12 BEAM.
- ⑤ 8x8 POSTS.
- ⑥ DECORATIVE WOOD TRUSS.
- ⑦ 4"x6" 26 GA. G.I. OGEE GUTTER W/LEAF SCREEN & 2-3/8"x3-1/4" RECT. DOWNSPOUT.
- ⑧ 2x8 FASCIA BOARD.
- ⑨ 2x4 WOOD TRIM
- ⑩ CLAD WOOD WINDOWS.
- ⑪ FRENCH DOORS.
- ⑫ WOOD DOOR.
- ⑬
- ⑭ 16'-0"x7'-0" DECORATIVE WOOD ROLL-UP DOOR.
- ⑮ SPARK ARRESTER & FLUE TERMINATOR.
- ⑯ PAINT: BODY- DEC722 (BAJA WHITE) BY "DUNN EDWARDS" OR EQUAL.
- ⑰ PAINT: TRIM- DEC756 (WEATHERED BROWN) BY "DUNN EDWARDS" OR EQUAL.
- ⑱ 5/8" HARDIE "PLANK" LAP SIDING (LISTING NO. 8140-2026:0005) 0/2 LAYERS GRADE "D" BUILDING PAPER. LISTED AS EXTERIOR SIDING FOR USE IN THE WILDLAND URBAN INTERFACE AREAS, PER CRC R337.7.1. SIDING ATTACHED PER CRC R703.4
- ⑲ STONE VENEER, SEE 4/A-5 FOR ATTACHMENT.



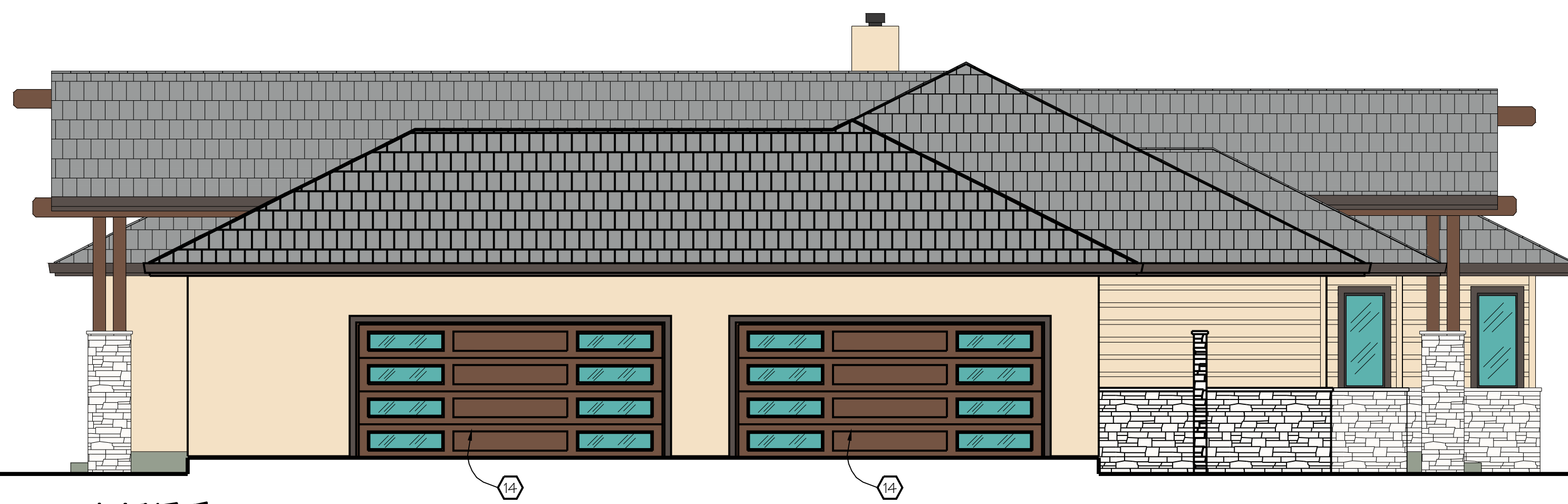
FRONT

3/8" = 1'-0"



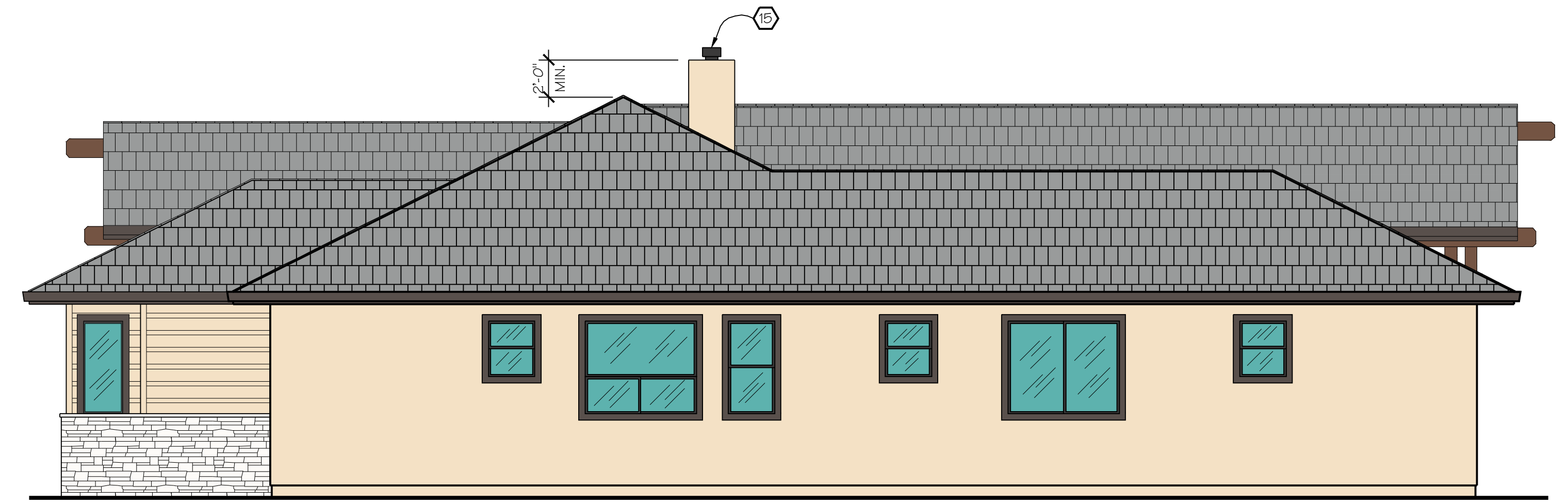
REAR

3/8" = 1'-0"



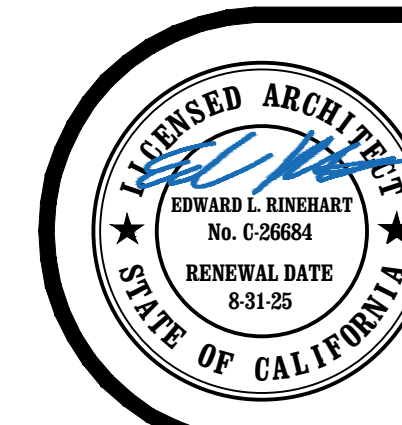
LEFT

3/8" = 1'-0"



RIGHT

3/8" = 1'-0"



EDWARD L. RINEHART  
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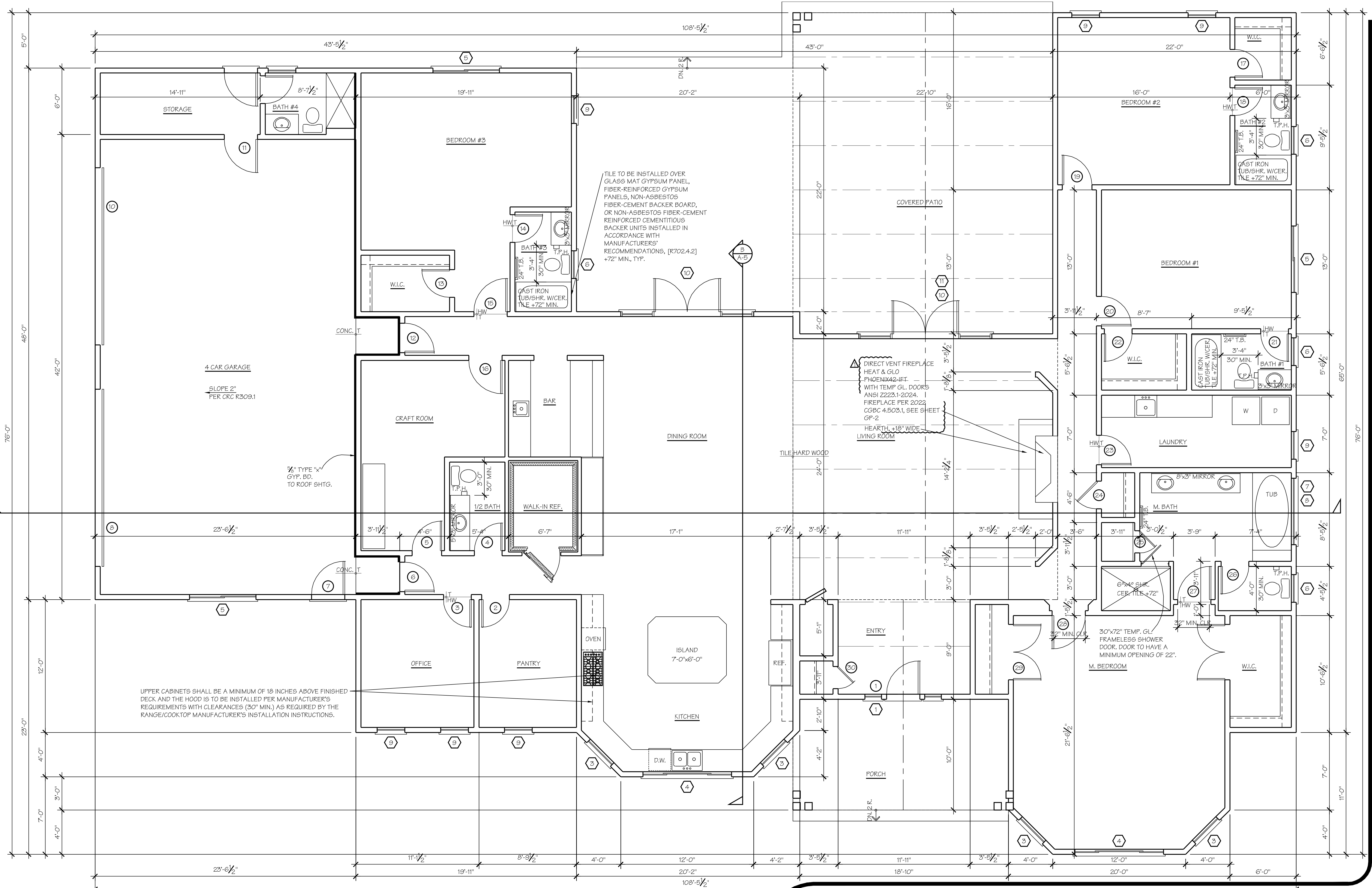
107 CHURCH STREET - SALINAS - CALIFORNIA 93901  
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HOME AREA : 4,367 S.F.  
GARAGE AREA : 1,187 S.F.

# FLOOR PLAN

1/4" = 1'-0"

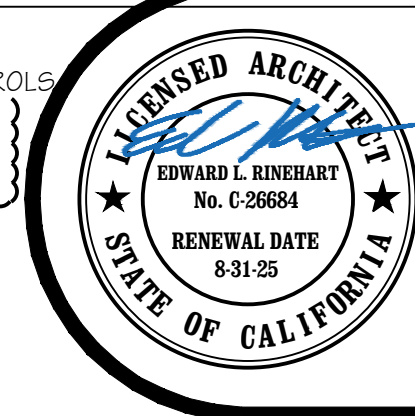
**DOORBELL NOTE:**  
DOORBELL BUTTONS, WHEN INSTALLED, SHALL NOT EXCEED MORE THAN 48" ABOVE THE EXTERIOR FLOOR OR LANDING. PER CRC R3271.4.

ALL EXTERIOR DOORS TO HAVE MINIMUM 3 FEET LANDING IN DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL NOT BE MORE THAN 7 1/4" BELOW TOP OF DOOR THRESHOLD (CRC R311.5). EXTERIOR LANDINGS SHALL NOT EXCEED 2% SLOPE. EXTERIOR DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDING OR FLOOR NOT MORE THAN 7 1/4" BELOW THE TOP OF THE THRESHOLD, PER CRC 311.3.2.

**AGING IN PLACE NOTES:**

- M. BATH TO BE REINFORCED FOR FUTURE GRAB BARS PER CRC R3271.1. SEE DETAIL 4/A-5.
- LOCATIONS OF BLOCKING FOR FUTURE GRAB BARS.
- WATER CLOSET REINFORCING SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND ONE REAR WALL.
- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
- BATHTUB AND TUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE LOWER EDGE NO MORE THAN 6" ABOVE THE BATHTUB RIM. CRC R3271.1 #3 TO 5.

**OUTLET AND SWITCH NOTE:**  
OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED 15-INCHES MINIMUM AND 48-INCHES MAXIMUM ABOVE FINISH FLOOR.



**EDWARD L. RINEHART  
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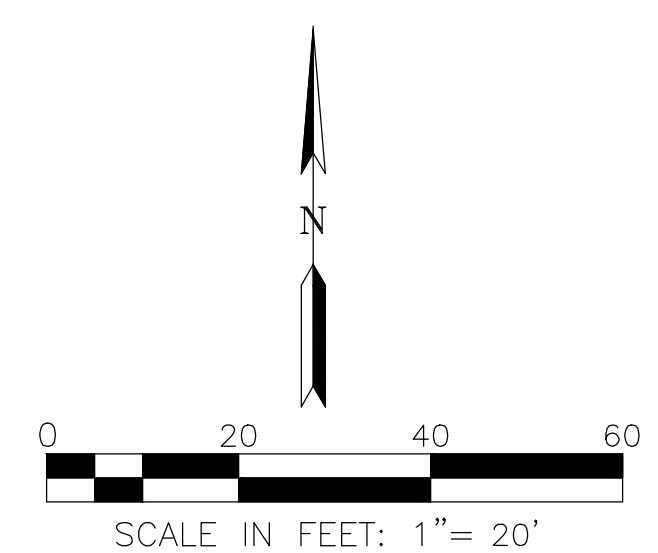
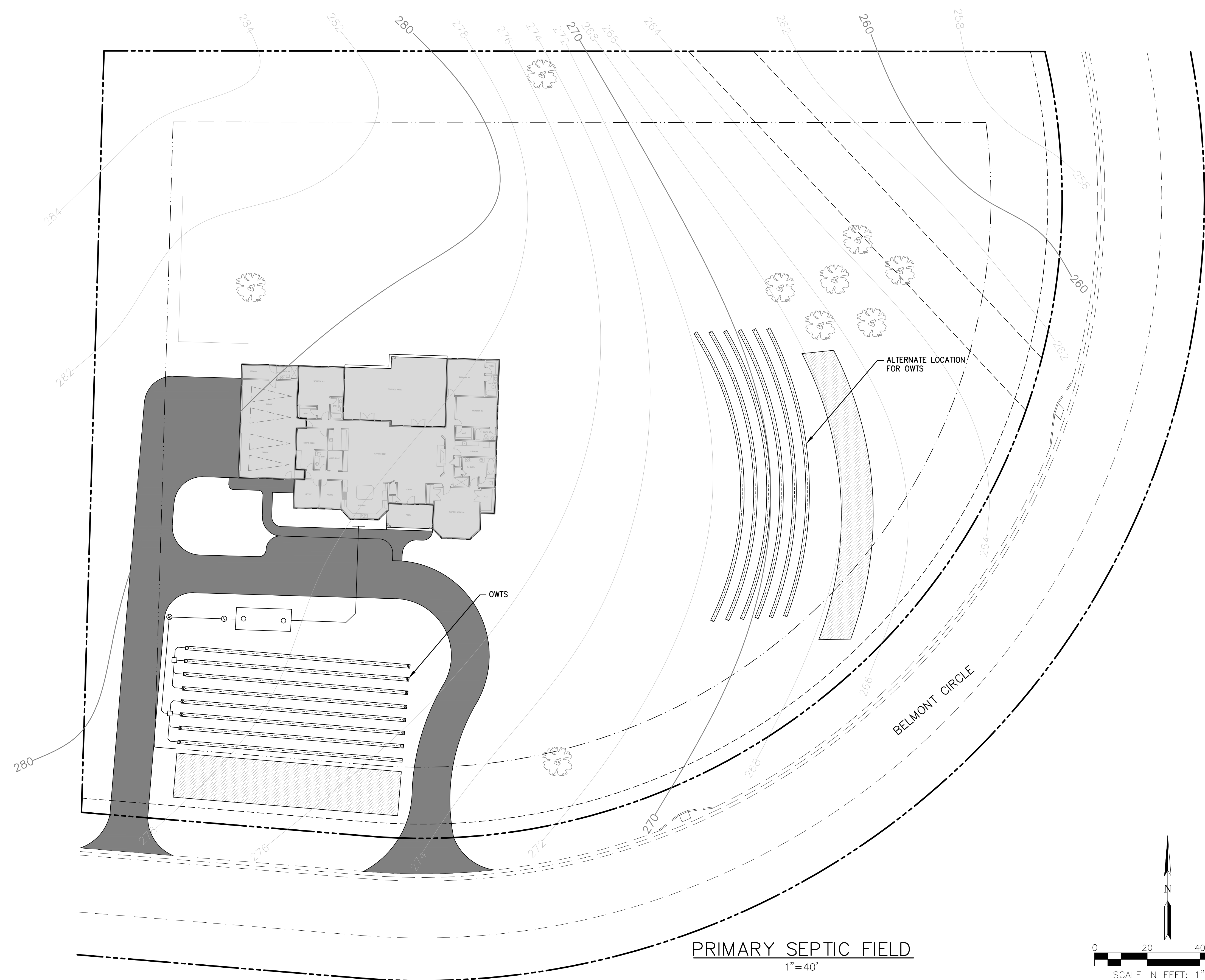
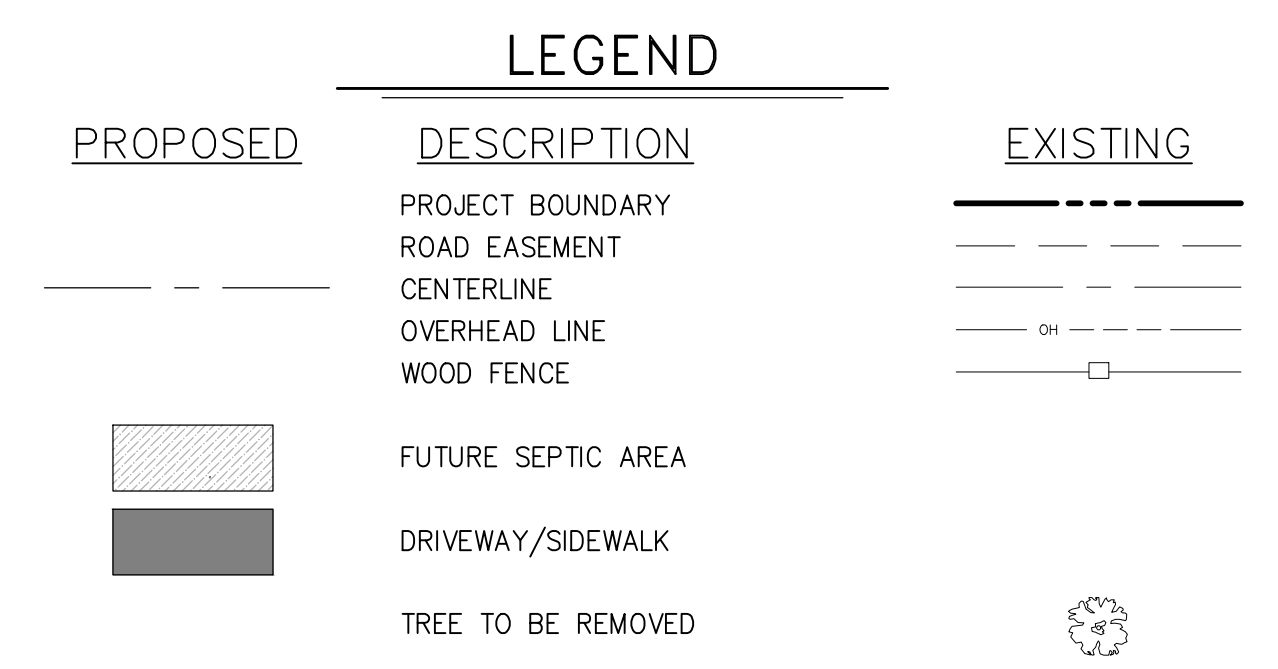
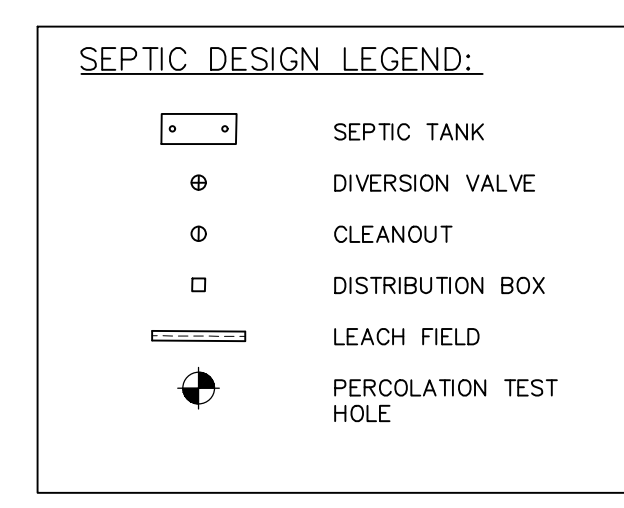
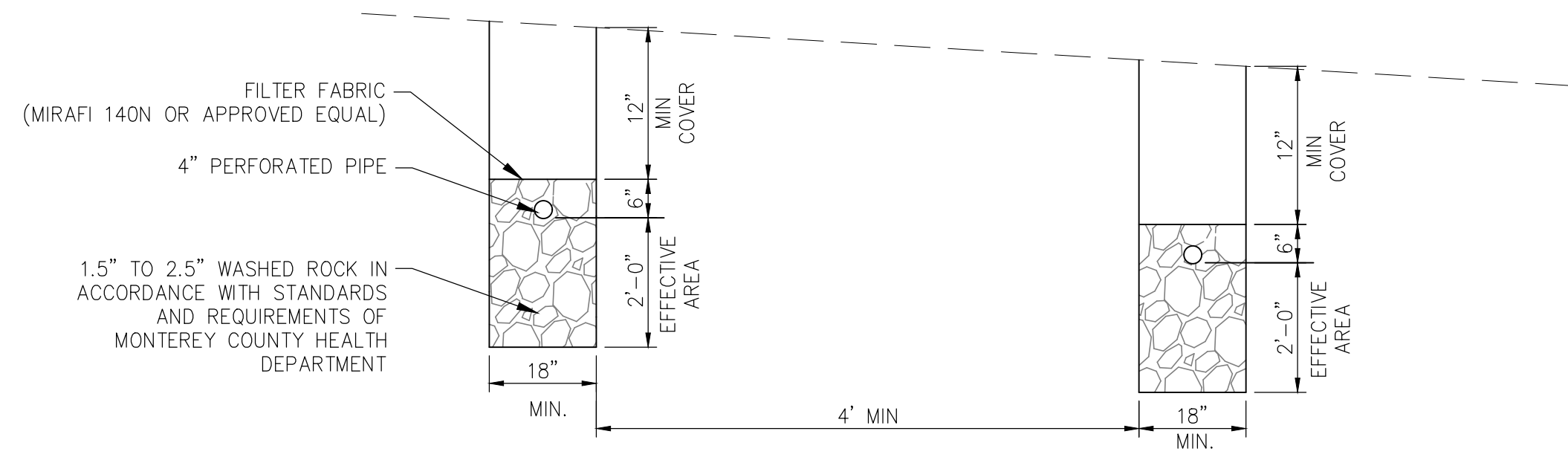
BY : ELR  
DATE ISSUED : 10-8-24

**2304**

EMERGENCY EGRESS REQUIREMENTS FROM SLEEPING ROOMS: (CRC 2022 SECT. 310.2):  
A) MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT, R310.2.1  
B) MINIMUM NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH, R310.2.1  
C) MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA, R310.2.1  
D) OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR, R310.2.2

SEPTIC SYSTEM NOTES AND SPECIFICATIONS:

1. ALL WORK SHALL BE IN CONFORMANCE WITH
  - 1.1. 2022 CALIFORNIA BUILDING CODE
  - 1.2. MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055 AND THE LOCAL AGENCY MANAGEMENT PROGRAM FOR ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) MAY 2018.
2. SANITARY SEWER PIPE: 4" SOLVENT-WELD ABS, OR 4" SOLVENT-WELD OR RUBBER GASKETED PVC PIPE WITH WATER-TIGHT JOINTS, CONFORMING TO ONE OF THE FOLLOWING: ASTM D-2261; ASTM D-1785, SCH 40; ASTM D-3034, SCHEDULE 35; OR ASTM D-2729 OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40. PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729.
3. PERFORATED PIPE: SOLVENT WELD PERFORATED PVC PIPE CONFORMING TO ONE THE FOLLOWING: ASTM D-2261; ASTM D-1785, SCH 40; ASTM D-3034, SCHEDULE 35; OR ASTM D-2729 OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40. PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729.
4. DIVERSION VALVE: 4" DIAMETER PVC VALVE WITH THREADED FEMALE SOCKETS DESIGN FOR DIVERSION OF FLOWS TO SEPTIC FIELDS, AND OPERATED THROUGH A VERTICAL RISER USING STANDARD WATER METER KEY. "BULL RUN VALVE" OR APPROVED EQUAL. VALVE RISER SHALL BE OF SAME MATERIAL AS SANITARY SEWER PIPE. IN PLANTER AREAS RISER SHALL TERMINATE 4" ABOVE THE SURFACE WITH WATER-TIGHT TREATED CLEANOUT PLUG. IN VEHICULAR AREAS, TERMINATE CLEANOUT PLUG IN A CHRISTY 003 TRAFFIC-RATED VALVE BOX, OR APPROVED EQUAL. INSTALL VALVE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055.
5. DISTRIBUTION BOX: PRECAST CONCRETE BOX WITH FLOWS EQUALIZED TO EACH OUTLET BY MEANS APPROVED BY AUTHORITY HAVING JURISDICTION. BOX SHALL BE 12"x12" OR LARGER (INSIDE DIMENSIONS), AND SHALL EXTEND TO THE SURFACE. BOX SHALL BE PLACED ON 4"-THICK CAST-IN-PLACE CONCRETE BASE, IF BASE IS NOT INTEGRAL WITH PRECAST BOX. BOX AND LID SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA. CONNECTIONS TO PIPES SHALL BE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644.
6. SEPTIC TANK: PRECAST CONCRETE SEPTIC TANK SHALL CONFORM TO MONTEREY COUNTY REQUIREMENTS, SHALL BE UPC CERTIFIED, AND SHALL CONFORM TO IAPMO/ANSI Z1000-2007. TANK RISERS, AND LIDS SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA, OR RATED FOR A MINIMUM OF 500 PSF IF LOCATED OUTSIDE VEHICULAR AREAS. AND SOIL COVER IS 3 FEET OR LESS. CONNECTIONS TO PIPES SHALL BE MADE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644. PRECAST SECTION JOINTS SHALL BE SEALED USING JOINT SEALANT OR GASKETS SUPPLIED BY MANUFACTURE. TANK AND APPURTENANCES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. A TWO-WAY SEWER LINE CLEANOUT, WITH RISER TO THE SURFACE, LOCATED TWO FEET FORM THE INLET END OF THE SEPTIC TANK SHALL BE INSTALLED UNLESS MANHOLE RISERS TO THE SURFACE ARE PROVIDED. INLINE EFFLUENT FILTERS SHALL BE INSTALLED. EFFLUENT FILTERS SHALL BE APPROVED BY THE MONTEREY COUNTY ENVIRONMENTAL HEAL DEPARTMENT.
7. CLEANOUTS: PROVIDE CLEANOUTS ON SANITARY SEWER LINES AT EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135° AND AT INTERVALS NOT EXCEEDING 100'. IF THE SEPTIC TANK IS LOCATED MORE THAN 50' FROM THE DRAIN LINES, A CLEANOUT SHALL BE INSTALLED AT 50' AND 50' THEREAFTER.



NO.	BY	DATE	REVISION DESCRIPTION

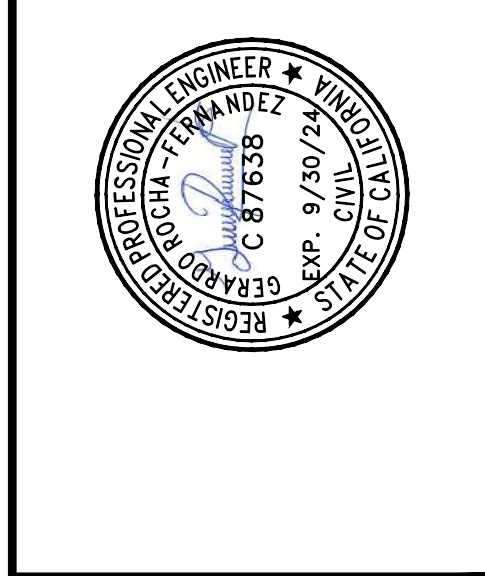
23531 BELMONT CIRCLE  
SALINAS, CALIFORNIA

PROJECT TITLE:  
ONSITE WASTEWATER TREATMENT SYSTEM

SHEET TITLE:

AS NOTED  
SCALE:

07/03/2025  
DATE:



DRAWING FILE NO:

C1 of 1  
SHEET:

2502  
PROJECT NO:

Maintenance Plan

- Plants shall be pruned to retain their natural form. Boxing, topping, and shearing of shrubs and trees prohibited.
- All soil on site shall be protected with a minimum of 2-4 inches of recycled, green-waste mulch.
- Leaves and/or plant debris less than 4 inches falling into planted areas (natural leaf drop) shall be left as mulch unless otherwise directed by Owner or Owner's Representative. Sidewalk and parking lot leaves may be swept into mulched areas or picked up.
- Plant debris and green waste not used for mulch shall be separated from other refuse and taken to a facility where it will be used to produce compost or mulch.
- Use of gas-powered leaf blowers is prohibited unless otherwise specified by the Owner or Owner's Representative.
- Grasscycling shall be practiced in turf areas.
- Aerification and top dressing with finely screened compost shall be performed in turf areas at least once/year.
- Ongoing maintenance shall include integrated pest management methods.
- Ongoing maintenance uses compost in all landscape areas. Naturally occurring, non-synthetic fertilizers shall be used as soil amendment.
- An irrigation zone map shall be located at the irrigation controller.
- A weather-based irrigation schedule shall be located at the irrigation controller. Monthly reprogramming of irrigation valve run times shall be based upon ET (evapotranspiration) and/or soil moisture data (applies to sites where a weather-based irrigation controller is not installed).
- Ongoing irrigation system maintenance shall include:
  - Regular activation and observation of all irrigation valves to ensure optimum system performance and that irrigation run-off and water waste does not occur.
  - Immediate replacement of broken equipment with equal or superior materials.

PLANT LIST

Q/Size

Trees  
1/15 gal. Pyrus Kawakamii - Evergreen Pear

Shrubs

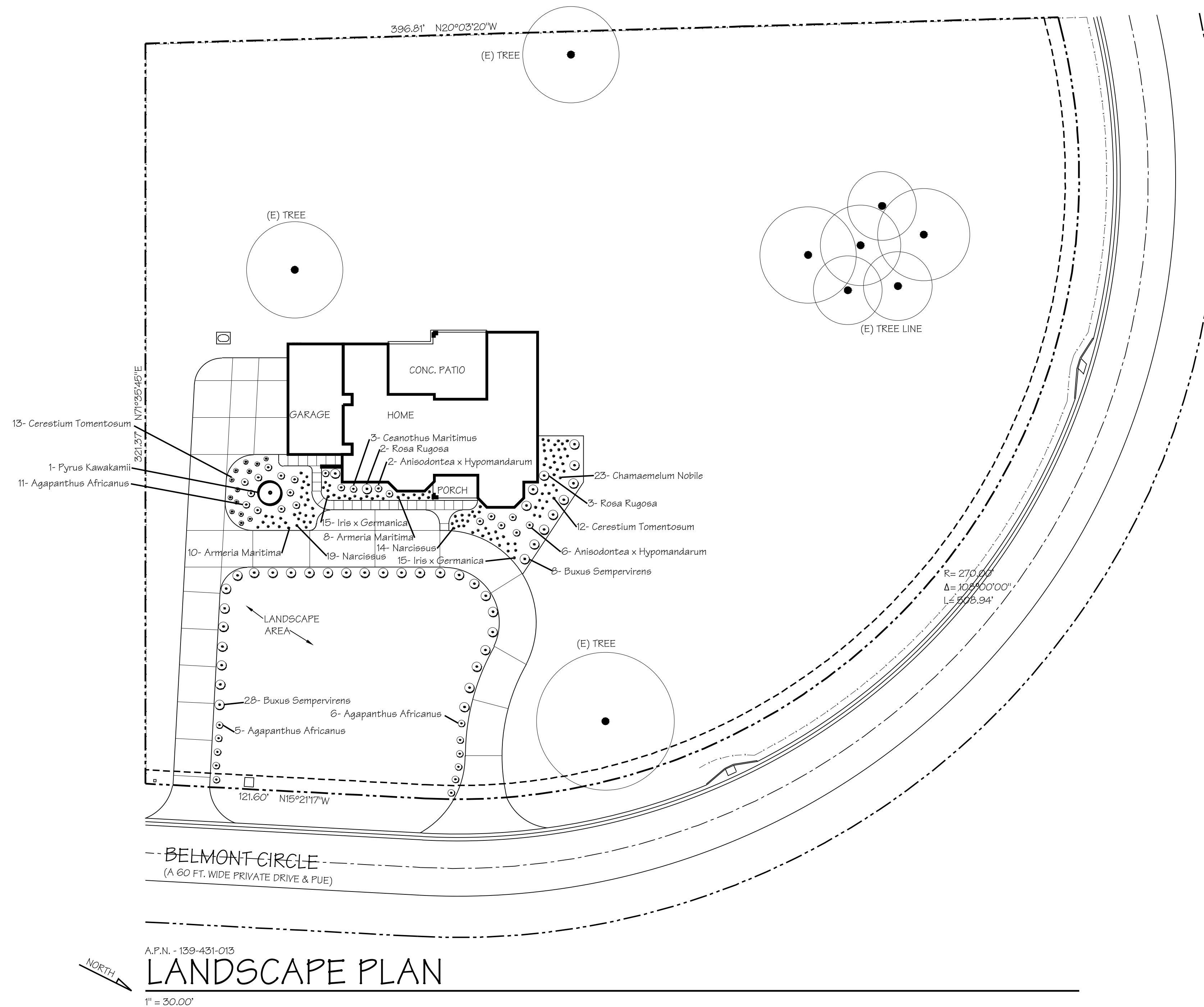
5 gal. @ 5'-0" o.c. Buxus Sempervirens - Common Boxwood  
5 gal. @ 5'-0" o.c. Ceanothus Maritimus - "Frosty Dawn"  
5 gal. @ 5'-0" o.c. Anisodonta x Hypomandarum - Cape Mallow  
5 gal. @ 5'-0" o.c. Rosa Rugosa - Romanas Rose

Perennials (plant 3'-5' apart)

Agapanthus Africanus - Lily of the Nile  
Armeria Maritima - Sea Thrift  
Iris x Germanica - Bearded Iris  
Narcissus - Daffodil

Groundcover

1 gal. @ 24" o.c. Cerestium Tomentosum - Snow-in-Summer  
1 gal. @ 24" o.c. Chamaemelum Nobile - Roman Chamomile



NOTES:

- Soil to be amended with 2" of compost tilled in @ prior to planting.
- Top dress with mulch to inhibit weed growth and conserve moisture.
- Soil amendments can be obtained from Vision Recycling at 139 Sun Street in Salinas, (831-479-7857)
- Maintenance plan - see above.
- Total Landscape Area = 8,192 sq.ft.
- Total Parking Lot Landscaping = 1,462 sq.ft.
- Total Turf Area = 0 sq.ft.
- Street trees (Lagerstroemia) to be planted per City Standard Plan 11. Additionally, all "street tree" planting locations and installation inspections shall be coordinated with the City's Urban Forestry Section. Contact Victor Baez at 831-758-7233.
- Planting for all post-construction best management practices (PCBMP's) conforms to Appendix G of the City's 2019 Stormwater Development Standards (SWDS).



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BY : ELR  
DATE ISSUED : 10-8-24

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