

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

GRIMM MARK & LAUREN STREHLOW TRS (PLN250036)

RESOLUTION NO. 26-063

Resolution by the Monterey County Chief of Planning:

- 1) Finding that the project qualifies for Class 1 and Class 3 Categorical Exemptions pursuant to sections 15301 and 15303 of the CEQA Guidelines, and none of the exceptions contained in Section 15300.2 apply; and
- 2) Approving an Administrative Permit to allow a 10 percent reduction to the required front yard setback and Design Approval to allow exterior modifications to an existing single family dwelling, demolition of a 556-square-foot garage and construction of a 556-square-foot addition to the residence, and the construction of a 793 square foot attached garage and associated site improvements including a covered breezeway, trellis, hardscape, and the removal of one Coast live oak tree.

[PLN250036, Grimm, 18 La Rancheria Road, Carmel Valley (APN: 187-121-017-000) Carmel Valley Master Plan]

The GRIMM application (PLN250036) came on for a public hearing before the Monterey County Chief of Planning on August 5, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The proposed project and/or use, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - The 2010 Monterey County General Plan;
 - Carmel Valley Master Plan; and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communication was received during the course of review of the project indicating any

inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The proposed project includes remodel and exterior modifications to an existing single-family dwelling, including demolition of an existing 556 square foot detached garage and construction of an equally sized single-family dwelling addition, the construction of a breezeway to connect a currently detached habitable structure to the main residence's proposed addition, and various site improvements such as a replacement pool, new landscaping & hardscape, and the removal of one Coast live oak tree. The project also includes the construction of a 793 square foot attached garage that encroaches into the required front setback by 10%. With implementation of this project, all existing and proposed structures will be attached to the main residence. Exterior modifications to the residence include removal of limited exterior walls (less than 50%), replacing windows and doors, and replacement of exterior siding. Separately, the Applicant is seeking to convert the existing habitable structure into an ADU; however, this work does not require the granting of a discretionary permit. Minor exterior improvements to the structure being converted to an ADU will also occur.
- c) Allowed Use. The property is located at 18 La Rancheria Road, Carmel Valley (APN: 187-121-017-000), within the Carmel Land Use Plan. The parcel is zoned Low Density Residential, 1 unit per 1 acre with Design Control, Site Plan Review and Residential Allocation Zoning Overlay districts [LDR/1-D-S-RAZ]. The zoning district allows for the construction of accessory structures, exterior modifications, and a reduction in the front setback by 10%. Thus, the project, as described in preceding Evidence "b", is allowed, subject to the granting of an Administrative Permit (10% setback reduction) and a Design Approval (structural development). Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The property, Assessor's Parcel Number (APN: 187-121-017-000), is identified as Lot 13 of "La Rancheria Del Carmelo, No. 1" as shown on Map filed July 8, 1937 in Volume 4, Page 10 of Maps of Cities and Towns. Therefore, the County recognizes the property as a legal lot of record.
- e) Design. The property is subject to the Design Control "D" zoning overlay district, which requires review of proposed development to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property pursuant Title 21 Chapter 21.44. As such, the entitlement includes a Design Approval and the requirements to grant the Design Approval have been met in this case. The development has been appropriately sited and designed, and the development meets all required site development standards in the LDR/1-D-S-RAZ zoning district. The size and massing of the structures, as well as the colors and materials, are consistent with public viewshed, the neighborhood character, and surrounding residential development. In addition, Carmel Valley Master Plan Policy CV-1.20 requires that development be visually

compatible with the character of the valley and immediate surrounding areas. The architectural design is a mix of Front-Gabled Roof with Ranch style, and is complementary to the natural environment. The proposed development will use an appropriate palette of exterior materials that conform to the Carmel Valley's rural character and design. The proposed structures are not visible from any public viewing area. The proposed structures and exterior modifications will match the existing residence's colors and materials: beige horizontal wood siding, dark gray/black asphalt shingles, and white aluminum-clad wood windows and doors. All structures propose to use natural-looking materials that blend in well with the surrounding environment. As conditioned, all proposed site lighting shall be downlit, shielded, unobtrusive, and harmonious with the surrounding area. Based on the evidence described above, the proposed structures and uses are consistent with the surrounding character (i.e., structural design features, colors, and material finishes) and scale of development in the vicinity.

- f) Site Plan Review. The property is subject to the Site Plan Review or "S" zoning overlay district, which is intended to provide regulations for where development, by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints, see Title 21, Chapter 21.45. A site plan was included with the application. The design and location of the proposed development meet site plan requirements. There are no known environmentally sensitive habitats in the vicinity. A fuel management plan was included in the application which included measures to maintain vegetation surrounding the home to reduce fire hazards. A soil engineering investigation and percolation testing report was prepared for the project, which analyzed the soil conditions of the site and determined it was suitable for development of a single-family home. The proposed development is minor and therefore does not require the granting of an Administrative Permit. The project is consistent with requirements of the "S" district overlay.
- g) The property is located within a Residential Allocation Zoning (RAZ) overlay district which denotes a specific area that is subject to policies or ordinances which specify limitations on the number of lots or units which may be created in a given period of time. The proposed development is allowable on the subject parcel pursuant to the Carmel Valley Master Plan of the 2010 General Plan; therefore, the project is consistent with the RAZ zoning overlay.
- h) Development Standards. The site development standards for the LDR zoning district are identified in Title 21 Section 21.14.060. The proposed development is consistent with applicable development standards. All existing and proposed structures will be attached to the existing main residence and therefore are subject to main structure setbacks and height. Required setbacks in the LDR district for main dwelling units are 30 feet (front), 20 feet (rear), and 20 feet (sides). As proposed, the main single-family dwelling, inclusive of the proposed addition and the attached guest suite to be converted to an ADU comply with the current site development standards front

setback of 30 feet. The proposed attached garage unit will be connected to the main dwelling via a covered breezeway and thus be subject to the required 30 foot front setback. However, as illustrated on the attached plans, the garage would encroach 3 feet into the required setback (setback 27 feet from the front property line). This represents a 10 percent reduction of the required 30 front setback, which is allowed pursuant to Title 21 section 21.14.040.F and subject to the granting of an Administrative Permit. The proposed attached garage will be approximately 13 feet and 11 inches from average natural grade, consistent with the height limit for main structures (30 feet) and attached non-habitable accessory structures.

The allowed site coverage maximum in the LDR district is 25%. The parcel proposed for development is approximately 1.55 acres (67,518 sq. ft), which would allow a maximum site coverage of approximately 16,879 square feet. The proposed development area includes the main single-family dwelling, inclusive of the proposed addition, attached guest suite to be converted to an ADU, and the proposed attached garage unit, which would result in a total lot coverage of 5,427 sq. ft. Therefore, the total site coverage is approximately 0.8%. Therefore, as proposed, the project meets all required development standards.

- i) Tree Removal. One 17-inch Coast live oak tree will be removed with implementation of this project. The granting of this Administrative Permit and Design Approval authorizes such removal as it is the minimum necessary and will not create adverse environmental impacts.
- j) Site Inspection. The project planner conducted a site inspection on June 10, 2026 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, staking and flagging photos, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN250036.
- l) Advisory Committee. The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the current LUAC Guidelines, this project did not warrant referral.
- m) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in project file PLN PLN250036.

2. FINDING:

SITE SUITABILITY - The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans

and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff had identified potential impacts to trees. The following reports were reported to address these issues:
 - “Arborist Report” (LIB2260017) prepared by Rob Thompson, Monterey, CA, October 24 2025.The report indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
- c) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250036.

3. FINDING:

HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Monterey County Fire Protection District, and consider the application as Complete without conditions.
- b) All necessary public facilities are currently available to the subject property. Domestic water supply will be provided by an existing CalAm connection. The property is served by two onsite wastewater treatment systems (OWTS). A Performance Evaluation was completed for the two existing septic systems, consisting of one 2,000-gallon septic tank and one 1,500-gallon septic tank, and both systems were determined to be in good working order. The applicant revised the site plan to retain the existing number of bedrooms within the primary residence and guest suite, resulting in no increase in bedroom count and, therefore, no expansion of the existing OWTS is required or proposed to implement the proposed project. The Applicant has separately been made aware that future conversion of the existing garage into ADU, which only requires a building permit, will require an OWTS Performance Evaluation to verify that the system remains in good working order and is consistent with the requirements of Monterey County Code (MCC) Chapter 15.20. However, that work is not contemplated in this Administrative Permit and therefore, the Environmental Health Bureau reviewed the application and determined that the proposal is acceptable with no recommended conditions of approval.
- c) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250036.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property.
- b) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250036.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines sections 15301 and 15303 categorically exempt modifications to an existing structure with negligible or no expansion of use, and the construction of the accessory structures.
- b) The project, as a whole, includes remodel and exterior modifications to an existing single-family dwelling, including demolition of an existing 556 square foot detached garage and construction of an equally sized single-family dwelling addition, the construction of a breezeway to connect a currently detached habitable structure to the main residence's proposed addition, conversion of detached habitable area into an ADU, and various site improvements such as a replacement pool, new landscaping & hardscape, and the removal of one Coast live oak tree. The project also includes the construction of a 793 square foot attached garage. Therefore, the project qualifies as a Class 1 and Class 3 categorical exemption.
- c) No adverse environmental effects were identified during HCD Staff review of the development application or during a site visit on June 10, 2026.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact.
- e) The application, project plans, and related supporting materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250036.
6. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** a) Pursuant to Title 21 Section 21.80.040.A of the Monterey County Zoning Ordinance, the decision on this project may be appealed to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find that the project qualifies for Class 1 and Class 3 Categorical Exemptions pursuant to sections 15301 and 15303 of the CEQA Guidelines, and none of the exceptions contained in Section 15300.2 apply; and
2. Approve an Administrative Permit to allow a 10 percent reduction to the required front yard setback and Design Approval to allow exterior modifications to an existing single family dwelling, demolition of a 556-square-foot garage and construction of a 556-square-foot addition to the residence, and the construction of a 793 square foot attached garage and associated site improvements including a covered breezeway, trellis, hardscape, and the removal of one Coast live oak tree.

This approval is contingent upon conformance with the attached Project Plans and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 5th day of August 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250036

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Administrative Permit and Design Approval permit (PLN250036) allows a 10 percent reduction to the required front yard setback and construction that includes the conversion of an existing detached garage into habitable living area (Approximately 556 sq. ft.), the conversion of an existing guest suite into an Accessory Dwelling Unit (Approximately 577 sq. ft.), and the construction of a new attached garage with an adjoining covered breezeway and trellis (Approximately 793 sq. ft.). The project includes site improvements consisting of the removal of one Coast live oak tree (1 Coast live oak). The property is located at 18 La Rancheria Rd, Carmel Valley (Assessor's Parcel Number 187-121-017-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the HCD Chief of Planning for Assessor's Parcel Number 187-121-017-000 on August 5, 2026. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. LANDSCAPING (NON-STANDARD)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Applicant/owner shall submit a Landscape Package Application in accordance with MCC Chapter 16.63 as required in Section 16.63.050 or Section 16.63.060, and subject to review and approval by the Chief of Planning.

Compliance or Monitoring Action to be Performed: Shall submit Landscape Package Application to HCD Chief of Planning for review and approval.
Landscape shall be installed in accordance with the provisions of the approved Landscape Package. Compliance with the approved Landscape

7. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

8. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 for a total of one (1) five-gallon Coast live oaks. Tree should be planted in the area with a greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Spacing between trees should be at least 8 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment.

- Replacement ratio recommended by arborist: Rob Thompson

- Other:

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

9. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

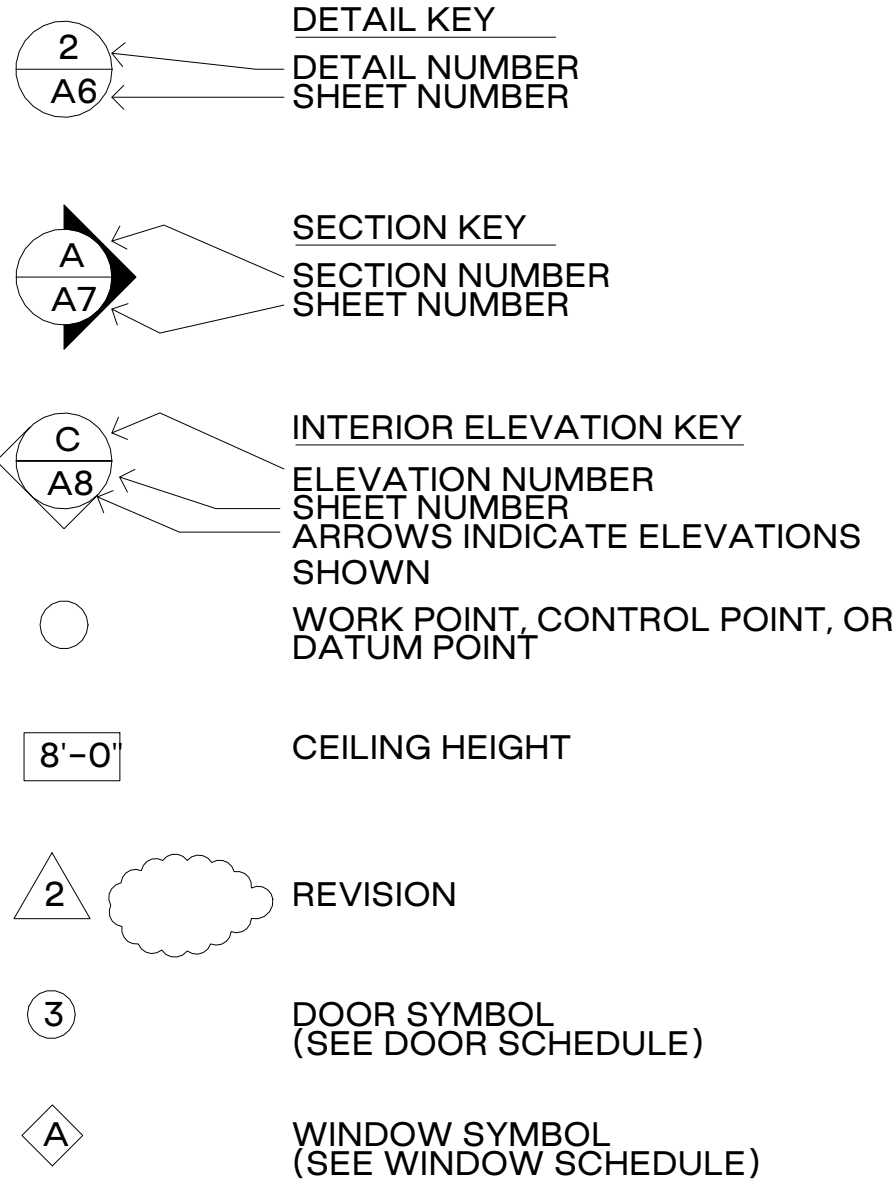
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LA RANCHERIA REMODEL & GARAGE ADDITION

18 LA RANCHERIA, CARMEL VALLEY



SYMBOLS



PROJECT TEAM

OWNERS:
LAUREN & MARK GRIMM
18 LA RANCHERIA ROAD
CARMEL VALLEY, CA 93924

ARCHITECT/APPLICANT:
MERRITT AMANTI ARCHITECTURE & DESIGN
215 WEST FRANKLIN STREET #219
MONTEREY, CA 93940
(917) 572-1246

SURVEYOR:
LANDSET ENGINEERS, INC.
520-B CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
(831) 443-6970

LANDSCAPE ARCHITECT:
MARIE GOULET
WILD LAND WORKSHOP
288 PEARL STREET #215
MONTEREY, CA 93924
(508) 797-2237

ARBORIST:
ROB THOMPSON
THOMPSON WILDLAND MANAGEMENT
57 VIA DEL REY
MONTEREY, CA 93940
(831) 372-3796

PROJECT DATA

PROJECT DESCRIPTION:

RENOVATION OF (E) HOUSE, INCLUDING NEW WINDOWS & DOORS TO REPLACE (E). CONSTRUCTION OF (N) ATTACHED 3-CAR GARAGE. REPLACE (E) POOL. CONVERSION OF (E) GARAGE TO LIVEABLE AREA. REDUCTION OF FRONT SETBACK BY 10%.

PROPERTY ADDRESS:

18 LA RANCHERIA ROAD
CARMEL VALLEY, CA 93924

APN:

187-121-017-000

PARCEL SIZE:

APPROX. 67,518 S.F. (1.55 ACRES)

OWNERS:

LAUREN & MARK GRIMM

ZONING:

LDR/1-D-S-RAZ

OCCUPANCY:

R-3, U

EXISTING FLOOR AREAS:

(E) MAIN HOUSE: 2,545 S.F.
(E) ATTACHED GARAGE: 556 S.F.
(E) ATTACHED GUEST SUITE: 577 S.F.
TOTAL = 3,678 S.F.

PROPOSED FLOOR AREAS:

(E) MAIN HOUSE: 2,545 S.F.
(E) ATTACHED GARAGE CONVERTS TO LIVEABLE SPACE: 556 S.F.
(N) ADDITION: 200 S.F.
(E) ATTACHED GUEST SUITE: 577 S.F.
(N) ATTACHED GARAGE: 793 S.F.
TOTAL = 4,671 S.F.

LOT COVERAGE:

REQUIRED: 25% (16,879.5 S.F. ALLOWED)
(N) MAIN HOUSE: 3,301 S.F.
(E) ATTACHED G. SUITE: 577 S.F.
(N) ATTACHED GARAGE: 793 S.F.
(N) ROOF OVERHANGS > 30': 225 S.F.
(N) TRELLIS: 241 S.F.
(N) BREEZEWAY: 290 S.F.
TOTAL = 5,427 S.F. (8%)

IMPERVIOUS COVERAGE:

STRUCTURES:
(N) MAIN HOUSE: 3,301 S.F.
(E) ATTACHED G. SUITE: 577 S.F.
(N) ATTACHED GARAGE: 793 S.F.
TOTAL STRUCTURES: 4,269 S.F.
IMPERVIOUS SURFACES:
CAST IN PLACE CONCRETE: 3,566 S.F.
FLAGSTONE w/ POLYMERIC SAND JOINTS: 1002 S.F.
TOTAL SURFACES: 4,568 S.F.

BUILDING HEIGHT (RIDGE HEIGHT):

(E) MAIN HOUSE: 13'-6 1/2" FROM AVE. NAT. GRADE (30'-0" ALLOWED)
(E) ATTACHED G. SUITE: 11'-6 1/2" FROM AVE. NAT. GRADE (30'-0" ALLOWED)
(N) ATTACHED GARAGE: 13'-9" FROM AVE. NAT. GRADE (30'-0" ALLOWED)

CONSTRUCTION TYPE:

V-B, NON-SPRINKLERED (WILL BE SPRINKLERED AS PART OF BUILDING PERMIT APPLICATION)

GRADING:

PROPOSED CUT AND FILL IS BALANCED ON SITE, ZERO EXPORTED OR IMPORTED SOIL.

AVERAGE NATURAL GRADE:

(E) MAIN HOUSE: +388.9'

PARKING COUNTS:

REQUIRED: 2 SPACES/UNIT
PROPOSED: 3 COVERED SPACES

TREE REMOVAL:

(1) 17" DIAMETER OAK TREE

WATER SERVICE:

CALAM

SEWER SERVICE:

SEPTIC

PLN:

250036

SHEET INDEX

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- A2.1 PROPOSED FLOOR PLAN
- A2.2 PROPOSED ROOF PLAN
- A3.0 DEMOLITION EXTERIOR ELEVATIONS - MAIN HOUSE & (E) GARAGE
- A3.1 DEMOLITION EXTERIOR ELEVATIONS - GUEST SUITE
- A3.2 PROPOSED EXTERIOR ELEVATIONS - MAIN HOUSE
- A3.3 PROPOSED EXTERIOR ELEVATIONS - (E) GUEST SUITE & (N) GARAGE
- L0.01 FUEL MANAGEMENT PLAN
- L1.00 LANDSCAPE SITE PLAN
- L1.01 PROJECT IMAGERY
- L2.00 LANDSCAPE GRADING PLAN
- L3.00 PLANTING PLAN
- L4.00 IRRIGATION PLAN
- L5.00 CONSTRUCTION DETAILS

PROJECT:

18 La Rancheria
Remodel & Garage
Addition

18 LA RANCHERIA
CARMEL VALLEY, CA 93954

APN:

187-121-017-000

OWNER:

LAUREN & MARK GRIMM

PROJECT NO: 0100



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SCALE: 1/32" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 3.19.26

DRAWING DATE: 3.20.26

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

TITLE SHEET, PROJECT
INFO & KEY PLAN

SHEET NUMBER:

A0.1

ABBREVIATIONS

& L	AND	DBL	DOUBLE	H.B.	HOSE BIB	O/	OVER	SIM	SIMILAR
@	ANGLE	DEPT.	DEPARTMENT	HBD.	HARDBOARD	OBS.	OBSOLETE	S.S.	STAINLESS STEEL
C	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
D	CENTERLINE	D.F.	DOUGLAS FIR	HDR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
E	PLATE	D.H.	DOUBLE HUNG	HDWR.	HARDWOOD	OFF.	OFFICE	SPECS.	SPECIFICATIONS
1	DIAMETER OR ROUND	DIAG.	DIAGONAL	HDWR.	HARDWARE	O.H.M.S.	OVAL HEAD MACHINE SCREW	SQ.	SQUARE
1	PERPENDICULAR	DIA.	DIAMETER	H.M.	HOLLOW METAL	O.H.W.S.	OVAL HEAD WOOD SCREW	STL.	STEEL
	PARALLEL	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
(E)	POUND OR NUMBER EXISTING	DISP.	DISPENSER	HGT.	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
		DN.	DOWN	HTG.	HEATING	OSTOR.	ORIENTED STRAND BOARD	STOR.	STORAGE
		DRWG.	DRAWING	H.W.	HOT WATER	O.S.B.		STRUCT.	STRUCTURAL
		D.S.	DOWNSPOUT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	P.A.F.	POWDER ACTUATED FASTENER	SUSP.	SUSPENDED
A.B.	ANCHOR BOLT	DWR.	DRAWER			PART. BD.	PARTICLE BOARD	SYNL.	SYMMETRICAL
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE					P.G.	PAINT GRADE	SYST.	SYSTEM
A.C.	ASPHALTIC CONCRETE	E.	EAST	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	PERF.	PERFORATED	T.	TREAD (S)
A/C	AIR CONDITIONING	E.A.	EACH	ID.	INSIDE DIAMETER	P.L.F.	POUNDS PER LINEAL FOOT	T.B.	TOWEL BAR
ACOUS.	ACOUSTICAL	ELEV.	ELEVATION, ELEVATOR	INCL.	INCLUDED, INCLUDING	P.L.	PROPERTY LINE	T.C.	TOP OF CURB
ADJ.	ADJUSTABLE, ADJACENT	ELEC.	ELECTRIC (AL)	INSUL.	INSULATION	PL. LAM.	PLASTIC LAMINATE	TEL.	TELEPHONE
AGGR.	AGGREGATE	EMER.	EMERGENCY	INT.	INTERIOR	PLAS.	PLASTER	TEMP.	TEMPERED
ALUM.	ALUMINUM	ENCL.	ENCLOSURE	INV.	INVERT	PLY.	PLYWOOD	T.E.N.	TYPICAL EDGE NAILING
ANOD.	ANODIZED	EQUIP.	EQUIPMENT	JAN.	JANITOR	PR.	PAIR	T & G	TONGUE AND GROOVE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EXIST. (E)	EXISTING	J.H.	JOIST HANGER	P.S.F.	POUNDS PER SQUARE FOOT	T.G.R.	TOP OF GRATE
APPROX.	APPROXIMATE	EXP.	EXPOSED, EXPANSION	J.T.	JOINT	P.S.I.	POUNDS PER SQUARE INCH	THK.	THICK (NESS)
ARCH.	ARCHITECT (URAL)	EXT.	EXTERIOR	KIT.	KITCHEN	P.T.	PRESSURE TREATED	THRESH.	THRESHOLD
		F.A.	FIRE ALARM	L.	LONG LENGTH	PART.	PARTITION	T.O.	TOP OF
BD.	BOARD	F.AST.	FASTEN, FASTENER	LAM.	LAMINATE, LAMINATED	P.T.D.	PAPER TOWEL DISPENSER	T.P.	TOP OF PAVEMENT
BIT.	BITUMINOUS	F.B.	FLAT BAR	LAV.	LAVATORY	P.V.C.	POLYVINYL CHLORIDE	T.P.H.	TOILET PAPER HOLDER
BLDG.	BUILDING	F.D.	FLOOR DRAIN	LOC.	LOCATE, LOCATION	R.	RISER (S)	TV	TELEVISION
BLKG.	BLOCKING	F.F.	FIRE EXTINGUISHER	L.W.	LIGHT WEIGHT	R.A.	RETURN AIR	T.W.	TOP OF WALL
B.M.	BENCH MARK	F.G.	FINISH GRADE	MAS.	MASONRY	RAD.	RADIUS	TYP.	TYPICAL
BM.	BEAM	FIBERGL.	FIBERGLASS	MAT.	MATERIAL (S)	R.D.	ROOF DRAIN	U.B.C.	UNIFORM BUILDING CODE
BO.	BOTTOM	FIN.	FINISH (ED)	MB.	MACHINE BOLT	R.E.	REINFORCED	UL.	UNDERWRITER'S LABORATORIES
BRG.	BEARING	F.H.M.S.	FLAT HEAD MACHINE SCREW	M.C.	MEDICINE CABINET	R.F.	REFRIGERATOR	U.O.N.	UNLESS OTHERWISE NOTED
BTWN.	BETWEEN	F.H.W.S.	FLAT HEAD WOOD SCREW	M.H.	MAN HOLE	REF.	REFRIGERATED, REINFORCING	UR.	URNAL
B.W.	BOTH WAYS	FLASH.	FLASHING	MECH.	MECHANICAL	REQD.	REQUIRED	V.B.	VAPOR BARRIER
CAB.	CABINET	FUR.	FLOOR (ING)	MFR.	MANUFACTURE (ER)	REQMT.	REQUIREMENT	VAR.	VARIABLE
C.B.	CATCH BASIN	F.LOR.	FLOUORESCENT	M.L.	MINIMUM	R.B.	ROUND HEAD METAL SCREW	VERT.	VERTICAL
CEM.	CEMENT	F.O.	FACE OF	MIR.	MIRROR	R.H.W.S.	ROUND HEAD WOOD SCREW	V.I.F.	VERIFY IN FIELD
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE	MISC.	MISCELLANEOUS	R.O.	RIGHT OF WAY	V.G.	VERTICAL GRAIN
C.F.	CUBIC FOOT	F.O.F.	FACE OF FINISH	M.O.	MASONRY OPENING	R.O.W.	RIGHT OF WAY	V.T.	VINYL TILE
C.I.	CAST IRON	F.O.M.	FACE OF MASONRY	M.T.	METAL	RUB.	RUBBER	W.	WEST
CLKG.	CAULKING	F.O.S.	FACE OF STUDS	MULL.	MULLION	RUBS.	RUBBER	W.	WIDE WIDTH
CLG.	CEILING	F.P.	FIREPLACE	N.	NORTH	RWD.	REDWOOD	W/	WITH
CL.	CLOSE	F.S.	FULL SIZE	NAT.	NATURAL	R.W.L.	RAIN WATER LEADER	W.C.	WATER CLOSET
CLR.	CLEAR (ANCE)	FT.	FOOT OR FEET	N.I.C.	NOT IN CONTRACT	S.	SOUTH	WD.	WOOD
COL.	COLUMN	FURR.	FURRED (ING)	N.L.C.	NOMINAL	S.B.	SOLID BLOCKING	WDW.	WINDOW
COMP.	COMPOSITION	GA.	GALVE	N.M.	NORTH	S.C.	SOLID CORE	W.H.	WATER HEATER
CONC.	CONCRETE	GALV.	GALVANIZED	N.O.	NORTH	S.D.	SCHEDULE	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
CONN.	CONNECT (ION)	G.B.	GRAB BAR	N.S.	NOT TO SCALE	S.ECT.	SECTION	W/O	WITHOUT
CONSTR.	CONSTRUCT (ION)	G.I.	GALVANIZED IRON			SERV.	SERVICE	W.P.	WATERPROOF
CONT.	CONTINUOUS	GL.	GLASS			S.F.	SQUARE FEET (FOOT)	W.R.	WATER RESISTANT
CORR.	CORRUGATED	G.W.B.	GYPSPUM WALLBOARD			S.G.	STAIN GRADE	W.S.	WOOD SCREW
CSMT.	CASEMENT					SH.	SHELF, SHELVING	WSCOT.	WAINSCOT
CSWK.	CASEWORK					SHWR.	SHOWER	WT.	WEIGHT
C.T.	CERAMIC TILE					SHT.	SHEET	W.W.M.	WELDED WIRE MESH
CTR.	COUNTER					SHTG.	SHEATHING		
CTSK.	COUNTERSINK								
C.Y.	CUBIC YARD								

VICINITY MAP



PROJECT
LOCATION

LEGEND:

- PROPERTY BOUNDARY
--- ADJACENT PROPERTY BOUNDARY
--- ORIGINAL PROPERTY BOUNDARY
--- EASEMENT (TYPE AS SHOWN)
--- ROADWAY CENTERLINE
--- MAJOR CONTOUR LINE (5' INTERVAL)
--- MINOR CONTOUR LINE (1' INTERVAL)
--- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE
PORTLAND CEMENT CONCRETE
PAVERS
WOOD
BRICK
DECOMPOSED GRANITE
WATER
ROCK
NATURAL GROUND SURFACE/
LANDSCAPED AREA

- CONDUIT
CLEANOUT
DOWNSPOUT
ELECTRICAL HUB
ELECTRIC METER
ELECTRICAL OUTLET
ELECTRICAL PANEL
ELECTRIC MANHOLE
FUSEBOX
GAS LINE
GAS METER
GAS VALVE
GUY WIRE
HOSE BIB
FIRE HYDRANT
IRRIGATION CONTROL VALVE

- IRRIGATION BOX
LANDSCAPE LIGHT
STREETLIGHT
PG&E BOX
PG&E GAS MANHOLE
PIPE
STORM DRAIN MANHOLE
SANITARY SEWER CLEANOUT
SANITARY SEWER MANHOLE
TELEPHONE BOX
UNKNOWN UTILITY
UTILITY HUB
UTILITY POLE
WATER METER
WATER SERVICE
WATER VALVE

- FOUND MONUMENT (TYPE NOTED)
SURVEY H&V CONTROL POINT
SPOT ELEVATION
RIDGELINE
FINISHED FLOOR
THRESHOLD
TREE (TYPE/SIZE AS MARKED)
SYMBOL CENTER IS APPROX CENTER OF TREE
TWO-PRONGED TREE (2P)
THREE-PRONGED TREE (3P)
MULTI-PRONGED TREE (MP)
CE = CEDAR
CW = COTTON WOOD
CYP = CYPRESS
E = EUCALYPTUS
H = HOLLY
O = OAK
PA = PALM
PE = PEPPER
P = PINE
R = REDWOOD
TR = TREE
W = WILLOW

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED APPROXIMATELY 22.5' NORTH AND 18.7' WEST OF THE MOST SOUTHERLY PROPERTY CORNER OF LOT 13, ELEVATION = 392.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (02/11/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

CLIENT:
MR. MATT HANNER
CARMEL BUILDING & DESIGN
26350 CARMEL RANCHO LN, STE 105
CARMEL, CA 93923

SITE LOCATION:
18 LA RANCHERIA RD
CARMEL VALLEY, CA 93923

No.	DATE	BY	REVISION
	02/18/22	JAN	RELEASED TO CLIENT

TOPOGRAPHIC MAP

OF
A PORTION OF LOT 13, "LA RANCHERIA DEL CARMELO NO. 1"
VOLUME 4 OF CITIES AND TOWNS AT PAGE 10, MONTEREY COUNTY RECORDS
CARMEL VALLEY, CALIFORNIA

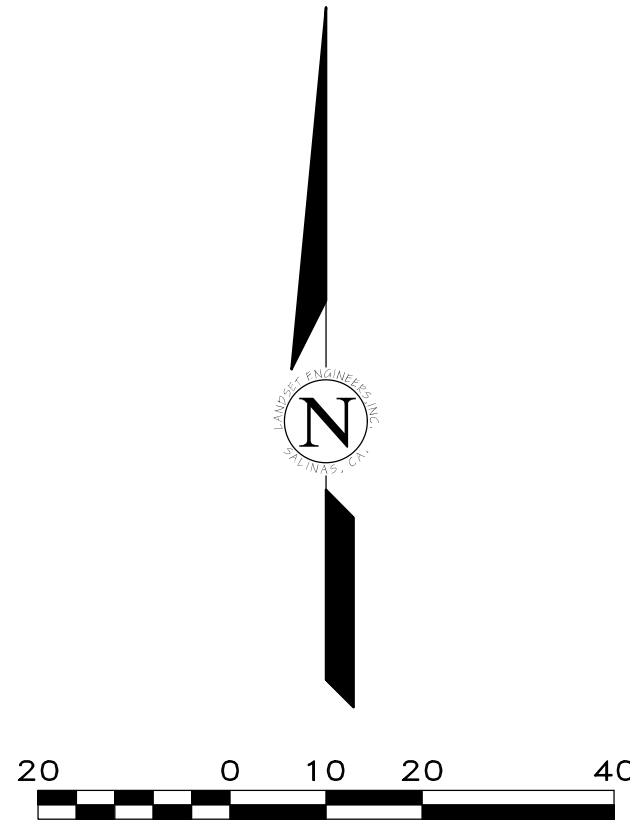
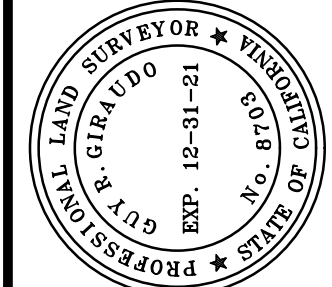
FOR
CARMEL BUILDING & DESIGN

A.P.N.: 187-121-017

SCALE: 1" = 20'
DATE: FEB 2022
JOB NO. 2462-01
SHEET 1
OF 1 SHEETS



APPROVED BY:
GUY R. GIRAUDO
P.L.S. No. 8703

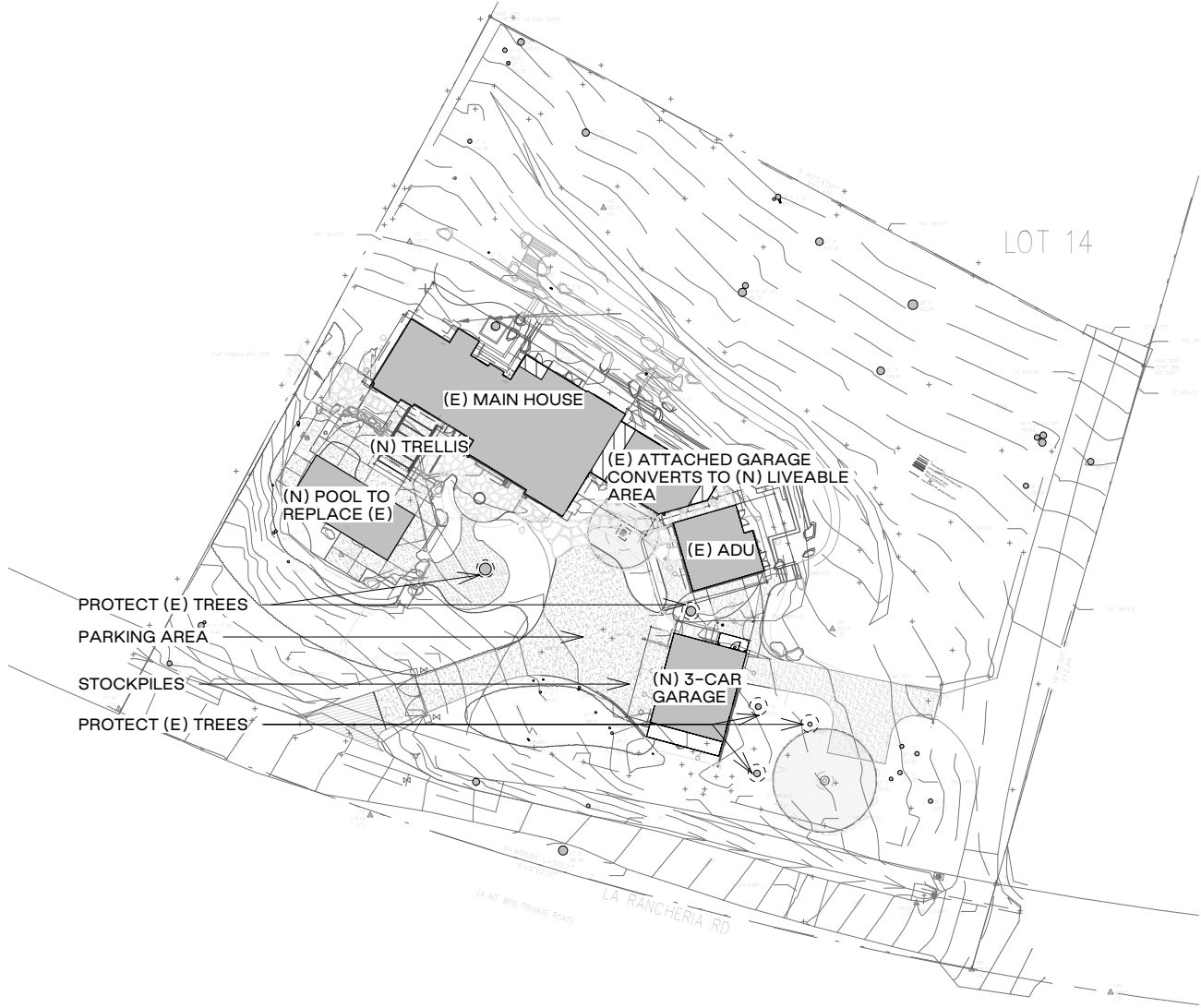


CONSTRUCTION MANAGEMENT NOTES:

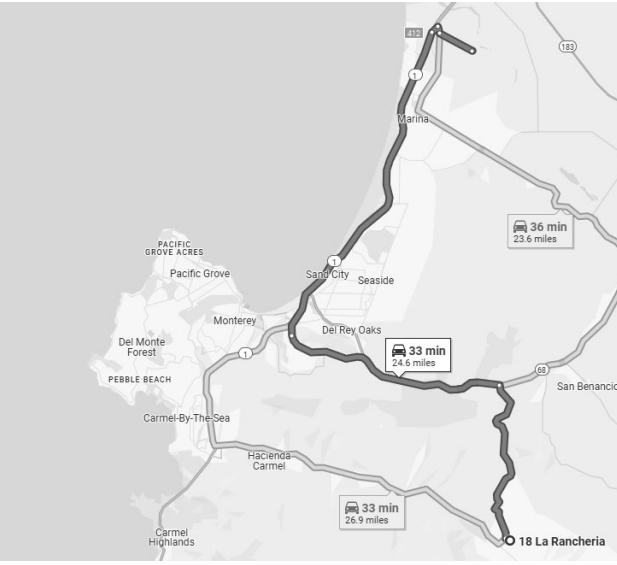
TYPE OF CONSTRUCTION VEHICLES:
NUMBER OF TRUCK TRIPS/ DAY:
AMOUNT OF GRADING PER DAY:
HOURS OF OPERATION:

TRUCKS
5
TOTAL OF 1 WEEK
ALL WORK SHALL TAKE PLACE
DURING DAYLIGHT HOURS.
MONDAY-FRIDAY 8AM-5PM
14 MONTHS

DURATION OF CONSTRUCTION:



(A) Demolition Site Plan
1/16" = 1'-0"



HAUL ROUTE



LEGEND

- EXISTING STRUCTURES
- EXISTING STRUCTURE TO BE DEMOLISHED & REPLACED
- AREAS OF ADDITION
- SETBACK LINE
- PROPERTY LINE
- FENCE
- PROPOSED TOPOGRAPHY

SHEET NOTES

- (E) DG DRIVEWAY TO BE SLIGHTLY RESHAPED AND PAVED
- PROTECT (E) FENCE & GATE
- REMOVE (E) HARDSCAPE TO BE REPLACED
- REMOVE (E) LANDSCAPING ELEMENTS TO BE REPLACED
- (E) FENCE TO BE REMOVED
- (E) 17" DIAMETER OAK TREE TO BE REMOVED. SEE ARBORIST REPORT
- (E) R.O.W.
- EXTENTS OF PROPOSED POOL
- EXTENTS OF PROPOSED GARAGE
- REMOVE (E) POOL TO BE REPLACED
- (E) SOLAR PANELS TO REMAIN
- (E) GATE TO REMAIN
- (E) 2000 GALLON SEPTIC TANK TO REMAIN
- (E) 1500 GALLON SEPTIC TANK TO REMAIN
- EDGE OF ROOF OVERHANG
- PROTECT (E) OAKS, TYP. SEE ARBORIST REPORT & LANDSCAPE DWGS
- (E) FENCE TO REMAIN, TYP.
- REMOVE PORTION OF (E) DRIVEWAY FOR (N) PLANTINGS. SEE LANDSCAPE PLAN
- EXTENTS OF PROPOSED DRIVEWAY
- POOL EQUIPMENT TO REMAIN
- (E) ROCK DRIVEWAY
- (E) LEACH FIELD
- (E) WATER METER
- (E) GAS METER
- (E) WATER LINE
- SALVAGE AND REINSTALL (E) SOLAR PANELS IN (E) LOCATION

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Addition**

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SCALE: As indicated

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

DRAWING DATE: 11.7.25

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

**DEMOLITION SITE
PLAN**

SHEET NUMBER:

A1.1

SHEET NOTES

- 1 (N) WATER FEATURE
- 2 (N) FLAGSTONE PAVERS w/ GREEN JOINTS @ PATHS NEAR HOUSE, TYP.
- 3 (N) PLANTED AREA. SEE LANDSCAPE DRAWINGS
- 4 (N) FLAGSTONE PAVERS w/ SAND JOINTS
- 5 (N) METAL TRELLIS
- 6 EDGE OF ROOF OVERHANG
- 7 (E) FENCE & GATE
- 8 (E) R.O.W.
- 9 (N) HARDSCAPE
- 10 (E) SOLAR PANELS
- 11 RESHAPED & PAVED (E) DRIVEWAY
- 12 (N) COUNTERTOP GRILL
- 13 (E) LEACH FIELD
- 14 RESHAPED (E) DRIVEWAY w/ DG
- 15 (N) TREE
- 16 (N) CONCRETE PATIO FOR TRASH BINS
- 17 (E) 2000 GALLON SEPTIC TANK
- 18 (E) 1500 GALLON SEPTIC TANK
- 19 (N) BRICK CURB
- 20 (E) POOL EQUIPMENT ENCLOSURE
- 21 (N) BREEZEWAY

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SCALE: 1/16" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

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REVISIONS:

LEGEND

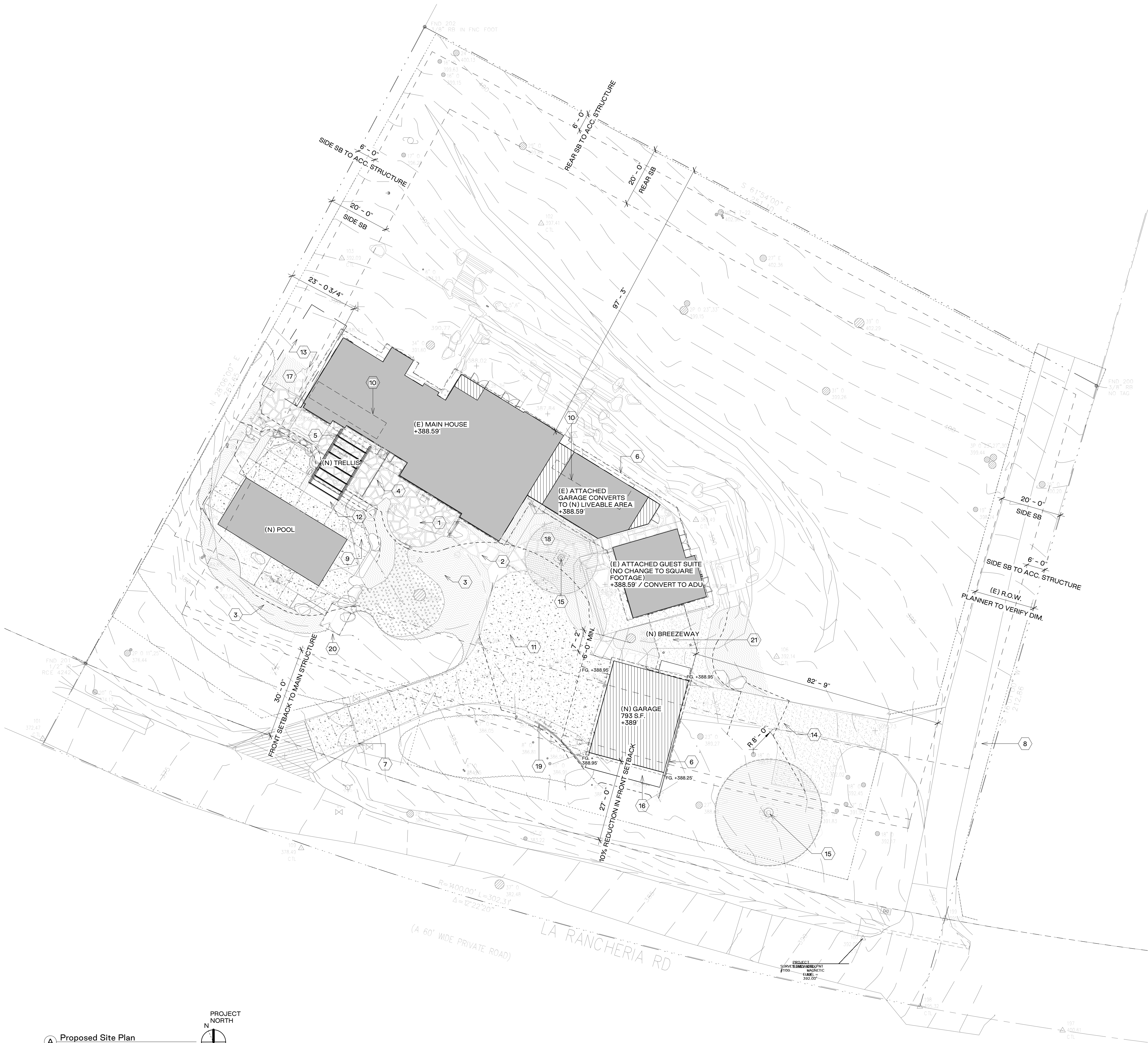
- EXISTING STRUCTURES
- EXISTING STRUCTURE TO BE DEMOLISHED & REPLACED
- AREAS OF ADDITION
- SETBACK LINE
- PROPERTY LINE
- FENCE
- PROPOSED TOPOGRAPHY

SHEET TITLE:

PROPOSED SITE PLAN

SHEET NUMBER:

A1.2



Proposed Site Plan
1/16" = 1'-0"



SHEET NOTES

- 1

REMOVE (E) BRICK PATIO & STEPS
- 2

REMOVE (E) PLANTERS
- 3

REMOVE (E) POSTS TO BE REPLACED w/ (N) WALL. TEMPORARILY SHORE PORTION OF (E) STRUCTURE
- 4

REMOVE (E) FITTINGS, FIXTURES, APPLIANCES, LIGHTING & FINISHES. CAP PLUMBING IN CONCEALED LOCATION
- 5

REMOVE PORTION OF (E) WALL FOR (N) WINDOW. SEE EXTERIOR ELEVATIONS
- 6

REMOVE (E) WINDOW TO BE REPLACED
- 7

REMOVE (E) DOOR TO BE REPLACED
- 8

REMOVE (E) WINDOW TO BE FILLED IN. SEE EXTERIOR ELEVATIONS
- 9

REMOVE (E) WINDOW & DOOR
- 10

REMOVE (E) WALL, WINDOWS, LIGHTING & FINISHES
- 11

REMOVE (E) GATE
- 12

REMOVE (E) WOOD FENCE
- 13

REMOVE (E) CONCRETE PAVERS
- 14

REMOVE (E) CONCRETE PATIO
- 15

REMOVE (E) STONE PAVERS
- 16

(E) CRAWL SPACE ACCESS
- 17

REMOVE (E) WINDOW TO BE REPLACED WITH DOOR
- 18

PROTECT (E) FITTINGS, FIXTURES, APPLIANCES, LIGHTING & FINISHES
- 19

REMOVE (E) FLOORING THROUGHOUT MAIN HOUSE TO BE REPLACED
- 20

REMOVE (E) SKYLIGHT TO BE FILLED IN
- 21

REMOVE (E) WASHER AND DRYER TO BE SALVAGED FOR REUSE
- 22

REMOVE (E) HEARTH AND STONE CLADDING
- 23

PROTECT (E) FIREPLACE
- 24

(E) ATTIC SPACE ACCESS
- 25

REMOVE (E) TRELLIS
- 26

REMOVE (E) SLAB, WALLS, FINISHES, LIGHTING & STRUCTURE TO BE REPLACED
- 27

REMOVE (E) BAY
- 28

PROTECT (E) TREE TO REMAIN
- 29

PROTECT & REMOVE (E) DOOR TO BE RELOCATED

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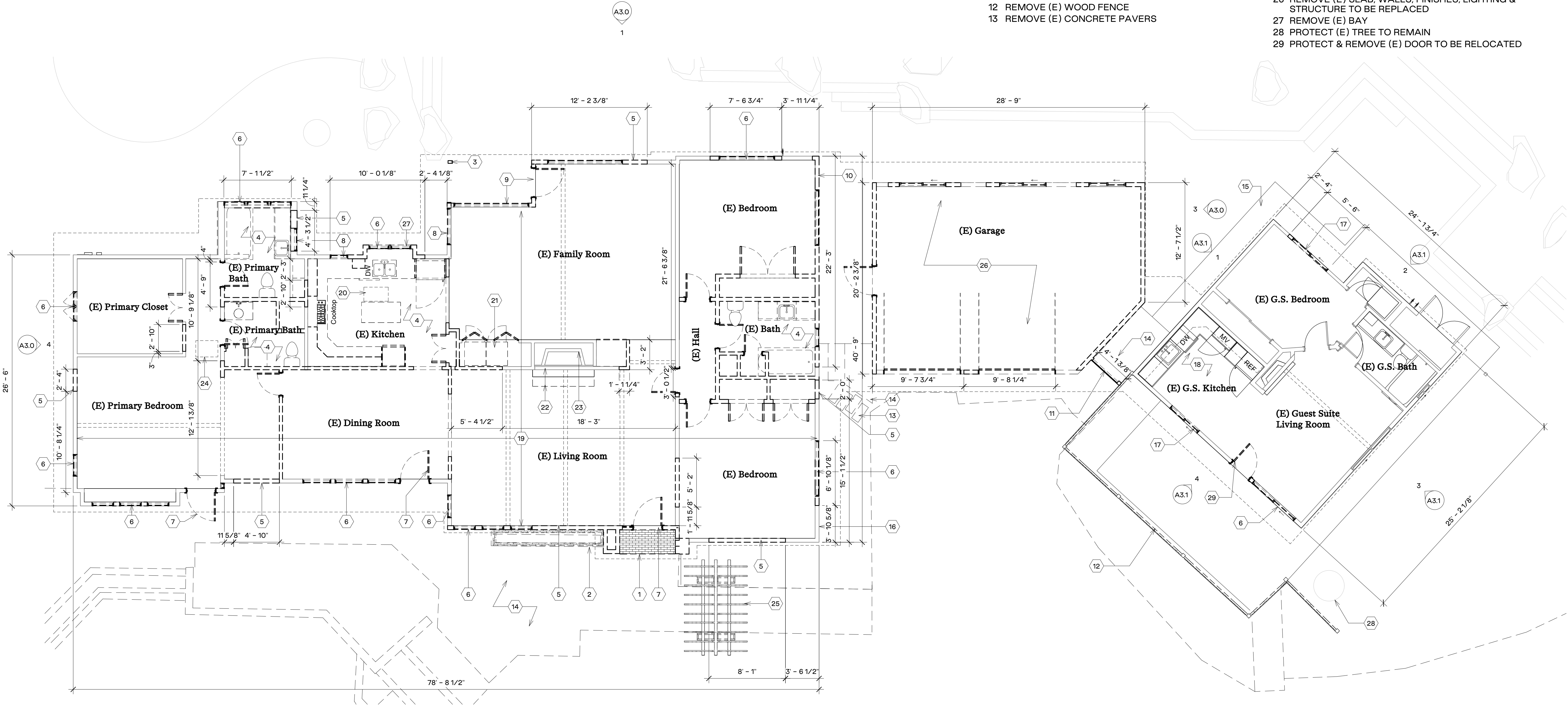
REVISIONS:

SHEET TITLE:

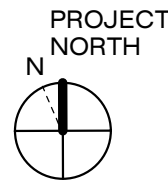
DEMOLITION FLOOR
PLAN

SHEET NUMBER:

A2.0

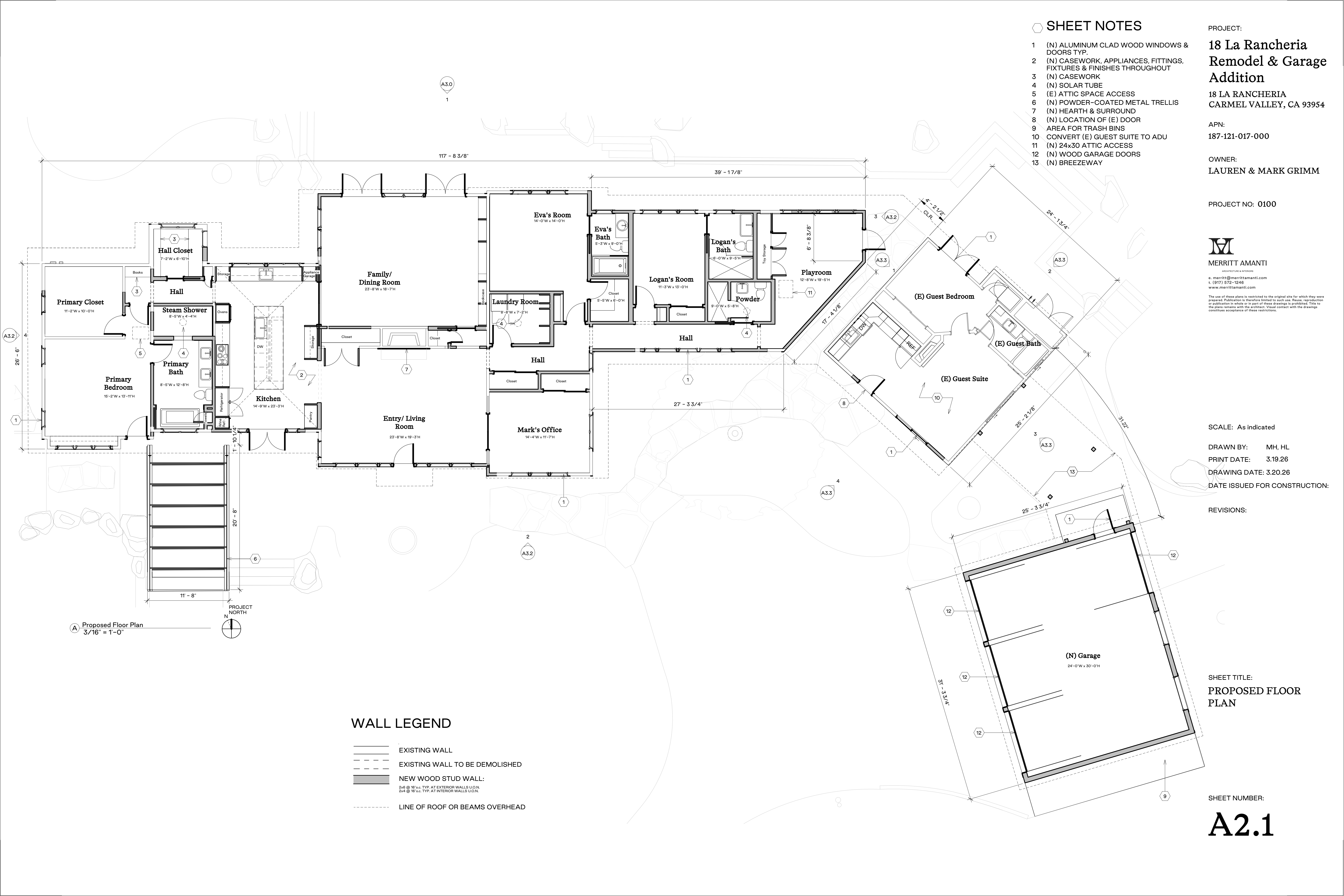


(A) Demolition Floor Plan
3/16" = 1'-0"



WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
2x6 @ 16" o.c. TYP. AT EXTERIOR WALLS U.O.N.
2x4 @ 16" o.c. TYP. AT INTERIOR WALLS U.O.N.
- LINE OF ROOF OR BEAMS OVERHEAD



SHEET NOTES

- 1 (N) ALUMINUM CLAD WOOD WINDOWS & DOORS TYP.
- 2 (N) CASEWORK, APPLIANCES, FITTINGS, FIXTURES & FINISHES THROUGHOUT
- 3 (N) CASEWORK
- 4 (N) SOLAR TUBE
- 5 (E) ATTIC SPACE ACCESS
- 6 (N) POWDER-COATED METAL TRELLIS
- 7 (N) HEARTH & SURROUND
- 8 (N) LOCATION OF (E) DOOR
- 9 AREA FOR TRASH BINS
- 10 CONVERT (E) GUEST SUITE TO ADU
- 11 (N) 24x30 ATTIC ACCESS
- 12 (N) WOOD GARAGE DOORS
- 13 (N) BREEZEWAY

PROJECT:
**18 La Rancheria
Remodel & Garage
Addition**
18 LA RANCHERIA
CARMEL VALLEY, CA 93954

APN:
187-121-017-000

OWNER:
LAUREN & MARK GRIMM

PROJECT NO: 0100

M
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ARCHITECTURE & INTERIOR
e. merritt@merrittamanti.com
t. (917) 572-1246
www.merrittamanti.com

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SCALE: As indicated

DRAWN BY: MH, HL
PRINT DATE: 3.19.26
DRAWING DATE: 3.20.26
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:
**PROPOSED FLOOR
PLAN**

SHEET NUMBER:

A2.1

WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW WOOD STUD WALL:
2x6 @ 16" o.c. TYP. AT EXTERIOR WALLS U.O.N.
2x4 @ 16" o.c. TYP. AT INTERIOR WALLS U.O.N.
- LINE OF ROOF OR BEAMS OVERHEAD

SHEET NOTES

- 1

(E) ELECTRICAL METER
- 2

REMOVE (E) GARAGE DOORS TO BE REPLACED w/ WINDOWS
- 3

REMOVE (E) WOOD ENTRY DOOR
- 4

REMOVE (E) ENTRY TRELLIS
- 5

REMOVE PORTION OF (E) WALL FOR (N) WINDOW
- 6

REMOVE (E) WOOD & VINYL WINDOWS TO BE REPLACED THROUGHOUT, TYP.
- 7

REMOVE (E) WOOD FENCE
- 8

REMOVE (E) HORIZONTAL SIDING TO BE REPLACED
- 9

REMOVE (E) ROOF
- 10

REMOVE (E) SKYLIGHT TO BE FILLED IN
- 11

REFINISH (E) CHIMNEY
- 12

(E) ASPHALT COMPOSITION SHINGLE ROOF
- 13

REMOVE (E) WOOD FASCIA TO BE REPLACED THROUGHOUT, TYP.
- 14

REMOVE (E) LIGHT, TYP.
- 15

REMOVE (E) BRICK PLANTER
- 16

PROTECT (E) SOLAR PANELS
- 17

REMOVE PORTION OF (E) WALL FOR (N) DOOR
- 18

REMOVE (E) WALL
- 19

REMOVE (E) DOOR TO BE REPLACED WITH WINDOW
- 20

REMOVE (E) POSTS TO BE REPLACED w/ (N) WALL. TEMPORARILY SHORE PORTION OF (E) STRUCTURE
- 21

REMOVE (E) BAY

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APN:

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OWNER:

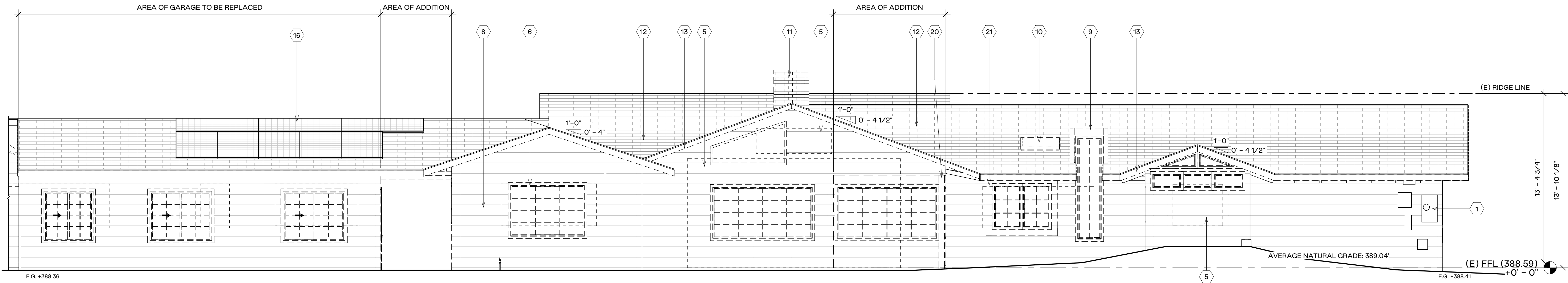
LAUREN & MARK GRIMM

PROJECT NO: 0100

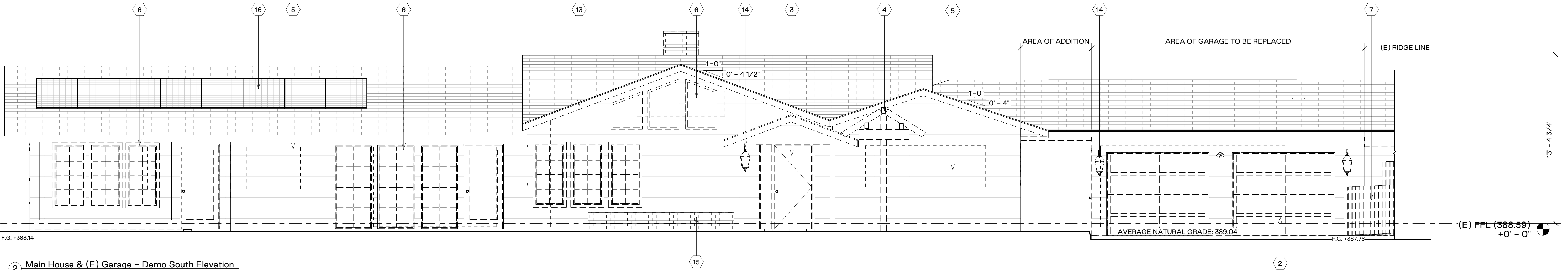
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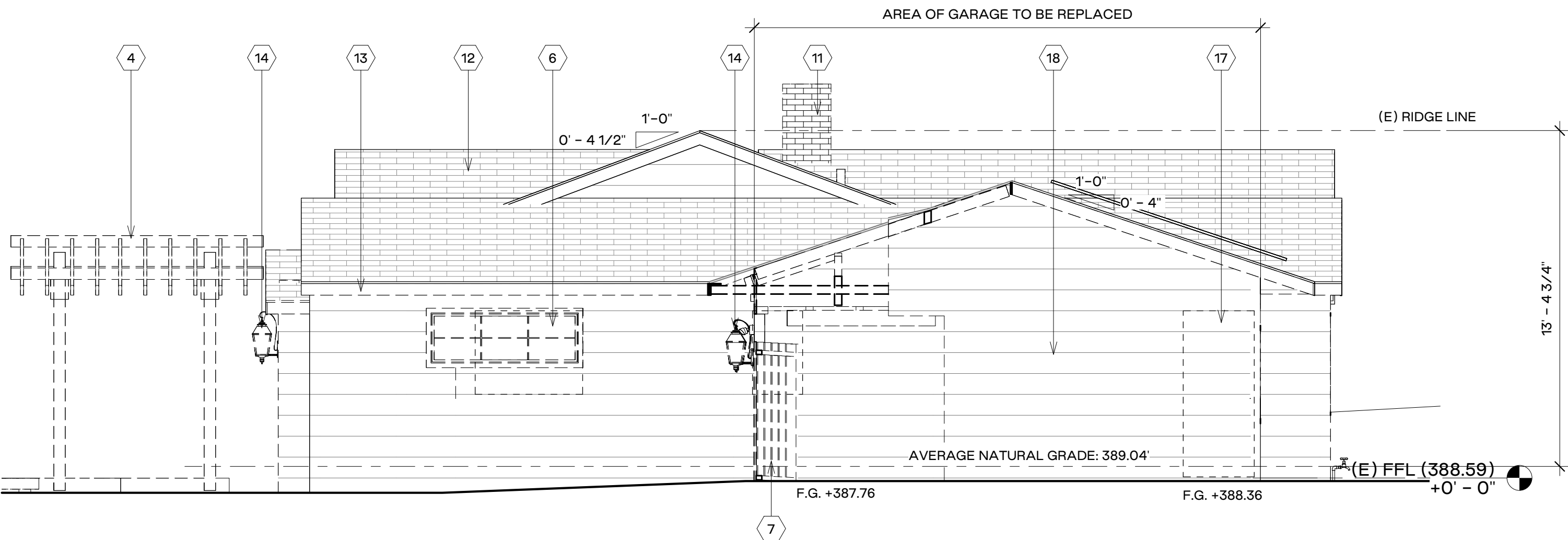
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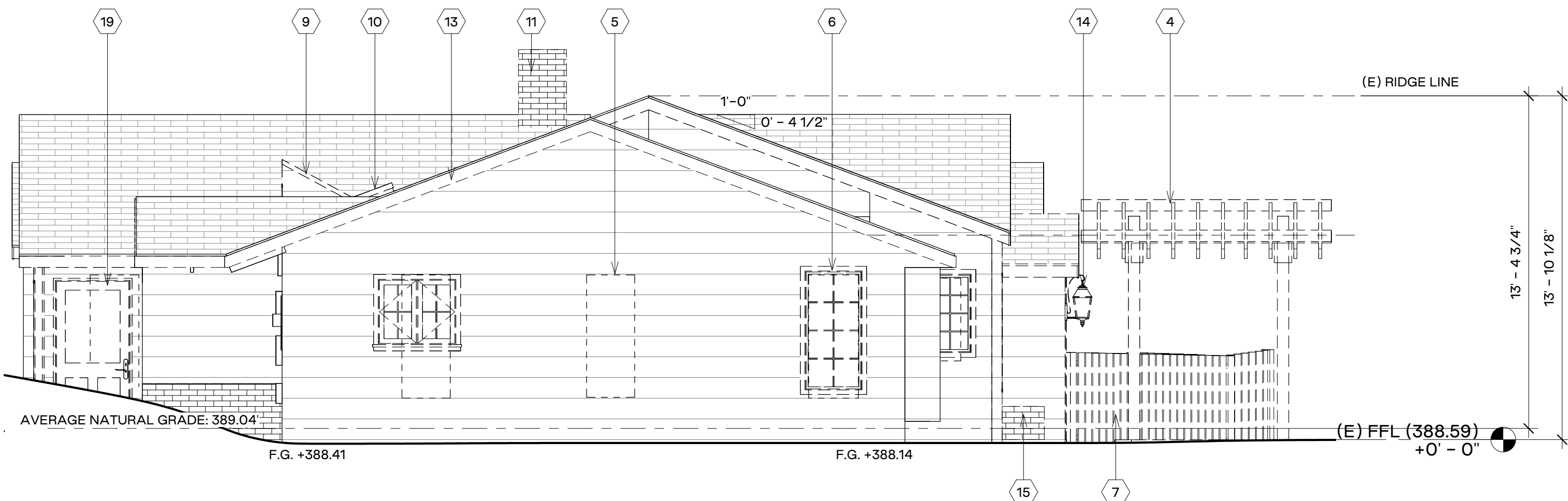
1 Main House & (E) Garage - Demo North Elevation
1/4" = 1'-0"



2 Main House & (E) Garage - Demo South Elevation
1/4" = 1'-0"



3 Main House & (E) Garage - Demo East Elevation
1/4" = 1'-0"



4 Main House & (E) Garage - Demo West Elevation
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

DRAWING DATE: 11.7.25

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

DEMOLITION
EXTERIOR ELEVATIONS
- MAIN HOUSE & (E)
GARAGE

SHEET NUMBER:

A3.0

SHEET NOTES

- 1 REMOVE (E) LIGHT, TYP.
- 2 REMOVE (E) WOOD FASCIA TO BE REPLACED THROUGHOUT, TYP.
- 3 (E) ASPHALT COMPOSITION SHINGLE ROOF
- 4 REMOVE (E) WOOD FENCE
- 5 REMOVE (E) WINDOW TO BE REPLACED WITH DOOR
- 6 (E) WINDOWS TO REMAIN
- 7 PROTECT & REMOVE (E) DOOR TO BE RELOCATED
- 8 PROTECT & REMOVE (E) WINDOW TO BE RELOCATED
- 9 REMOVE PORTION OF (E) WALL FOR (N) WINDOW
- 10 IF POSSIBLE PRESERVE (E) HORIZONTAL SIDING

PROJECT:

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Addition

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CARMEL VALLEY, CA 93954

APN:

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OWNER:

LAUREN & MARK GRIMM

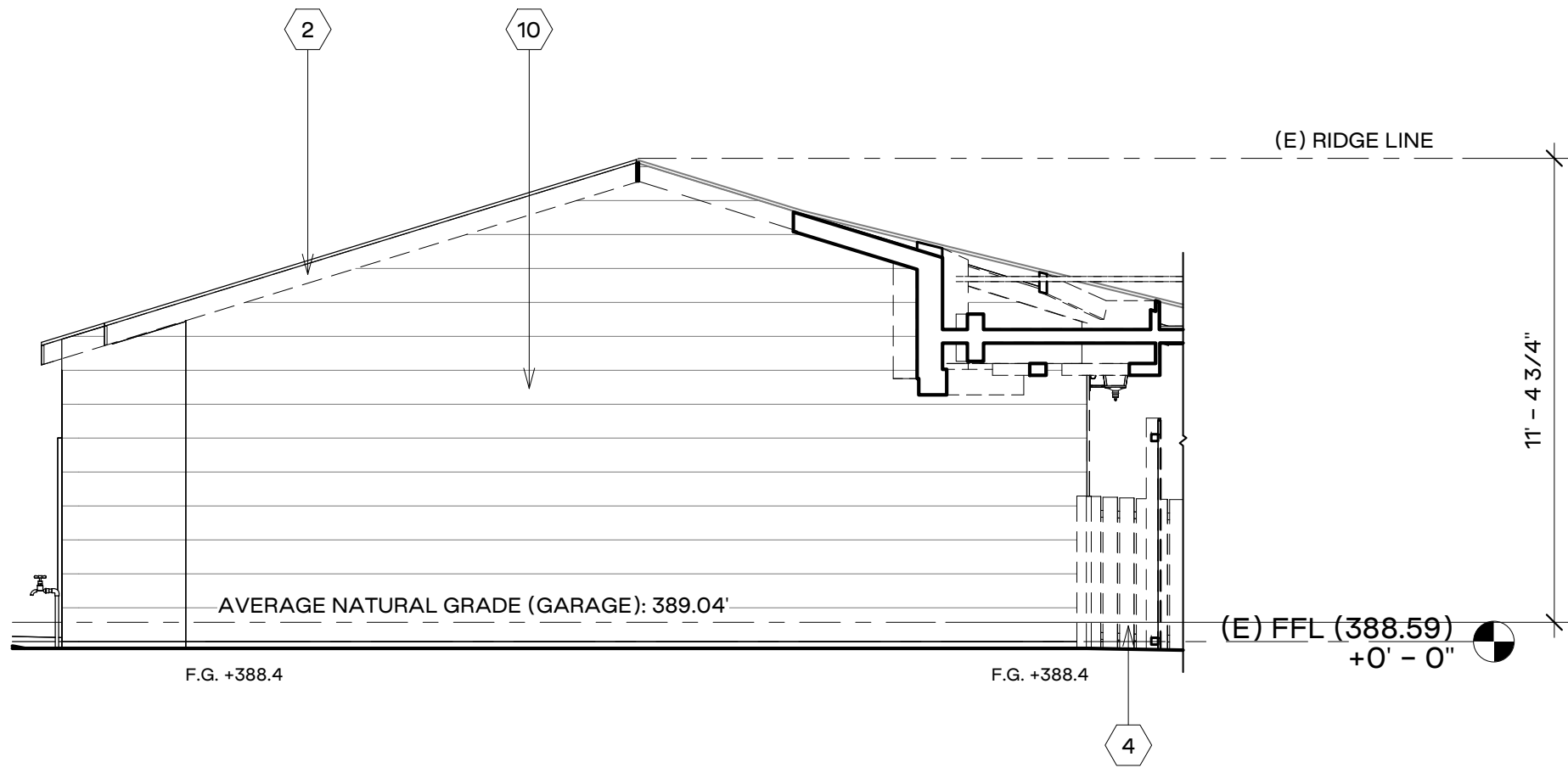
PROJECT NO: 0100



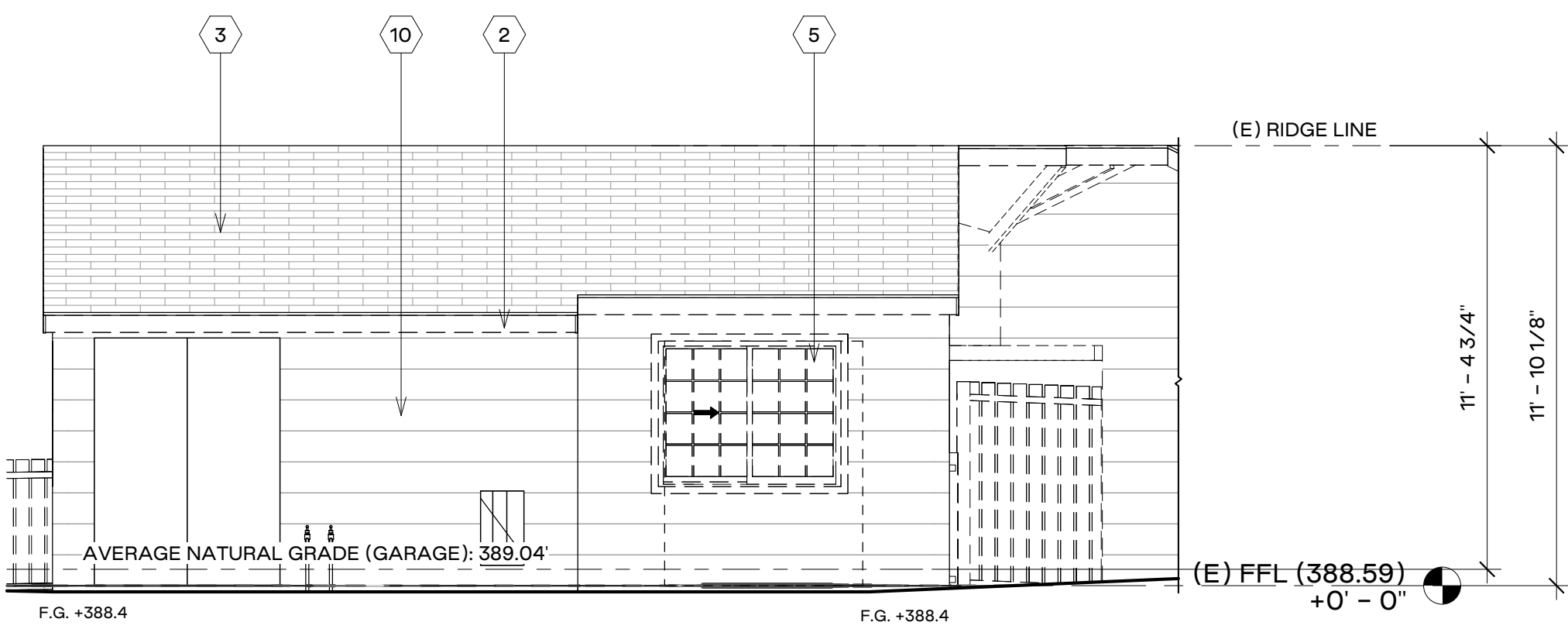
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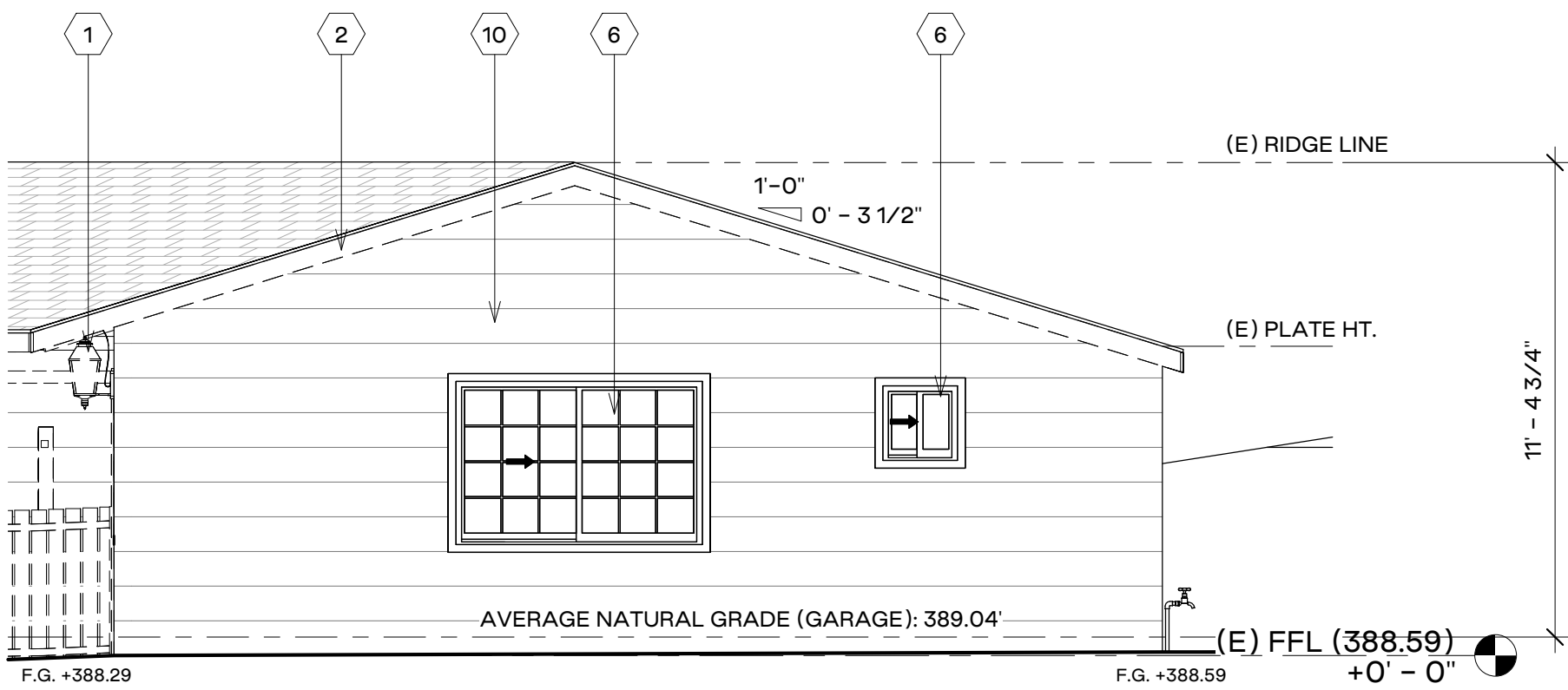
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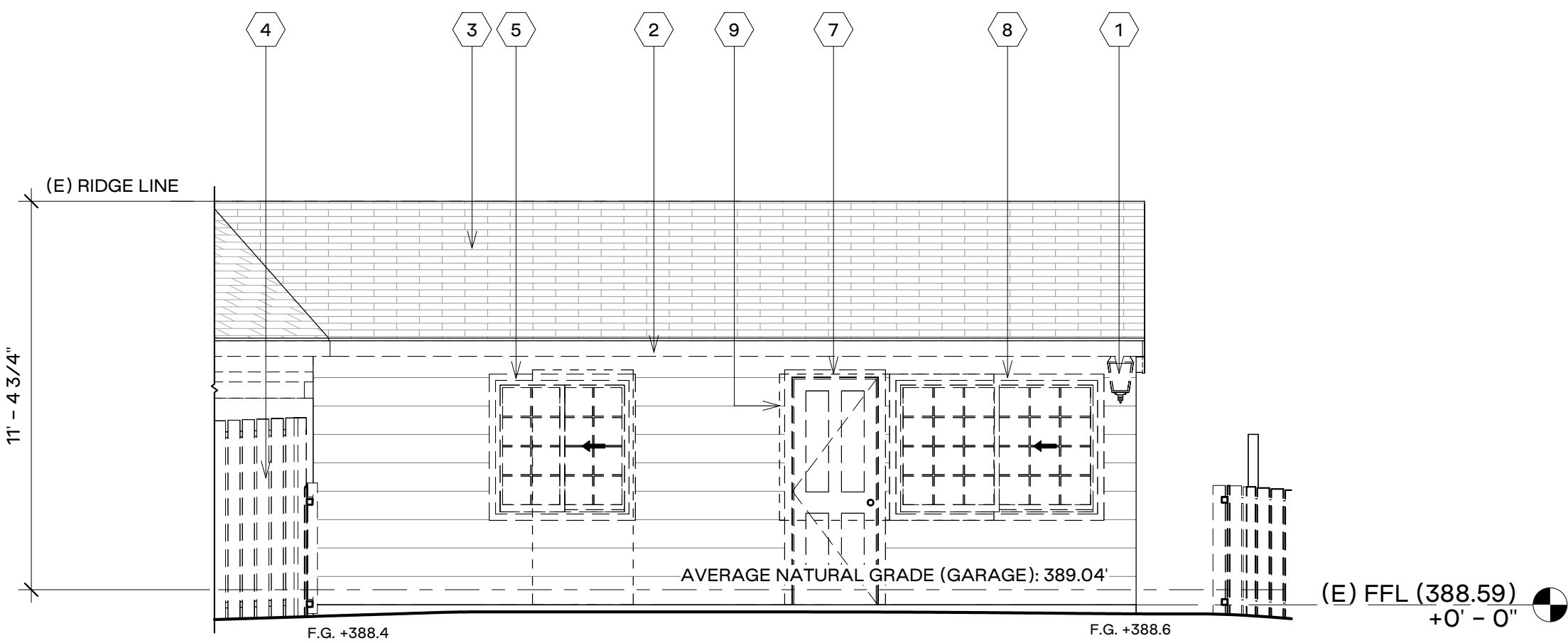
1 (E) Guest Suite - Demo North Elevation
1/4" = 1'-0"



2 (E) Guest Suite - Demo East Elevation
1/4" = 1'-0"



3 (E) Guest Suite - Demo South Elevation
1/4" = 1'-0"



4 (E) Guest Suite - Demo West Elevation
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

DRAWING DATE: 11.7.25

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

DEMOLITION
EXTERIOR ELEVATIONS
- GUEST SUITE

SHEET NUMBER:

A3.1

SHEET NOTES

- 1

(N) FIRE RESISTANT HORIZONTAL SIDING, PAINTED
- 2

(N) FINISH MATERIAL ON CHIMNEY
- 3

(N) LIGHT, TYP.
- 4

(E) ASPHALT COMPOSITION SHINGLE ROOF
- 5

(E) ELECTRICAL METER
- 6

(N) ALUMINUM CLAD WOOD WINDOWS w/ WOOD TRIM & SILL, TYP.
- 7

(N) ROOF AWNING OVER ENTRY
- 8

(N) ROOF FINISH TO MATCH (E)
- 9

(E) SOLAR PANELS
- 10

PATCH (E) WALL AS REQ'D
- 11

(N) WD TRIM @ CORNERS
- 12

(N) WOOD FASCIA & METAL GUTTERS, TYP.
- 13

PATCH ROOF AS REQ'D
- 14

(N) ASPHALT COMPOSITION SHINGLE ROOF
- 15

(N) ENTRY AWNING
- 16

(N) POWDER-COATED METAL TRELLIS
- 17

(N) SOLAR TUBE

PROJECT:

18 La Rancheria
Remodel & Garage
Addition

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CARMEL VALLEY, CA 93954

APN:

187-121-017-000

OWNER:

LAUREN & MARK GRIMM

PROJECT NO: 0100

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SCALE: 1/4" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

DRAWING DATE: 11.7.25

DATE ISSUED FOR CONSTRUCTION:

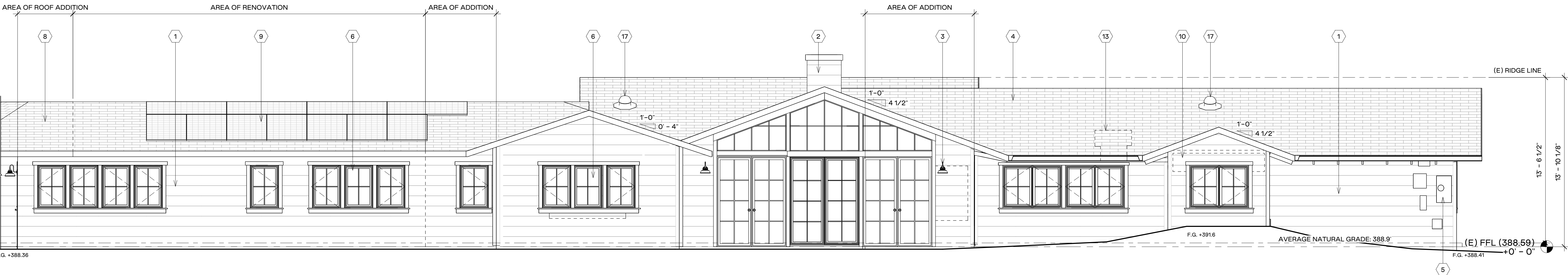
REVISIONS:

SHEET TITLE:

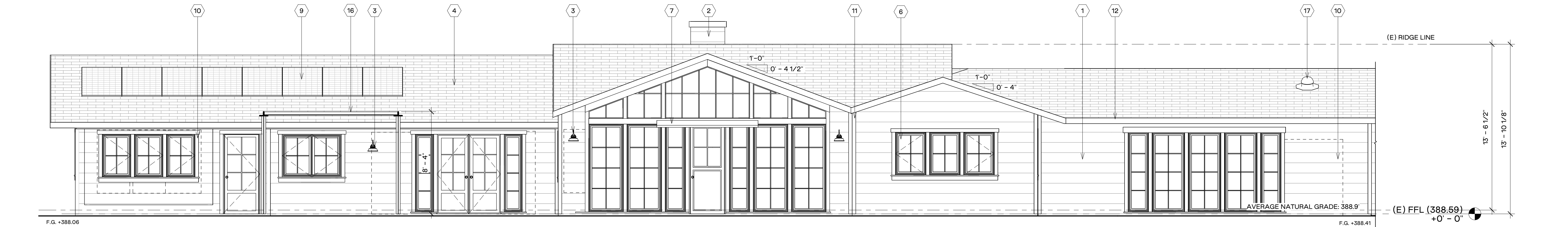
PROPOSED EXTERIOR
ELEVATIONS - MAIN
HOUSE

SHEET NUMBER:

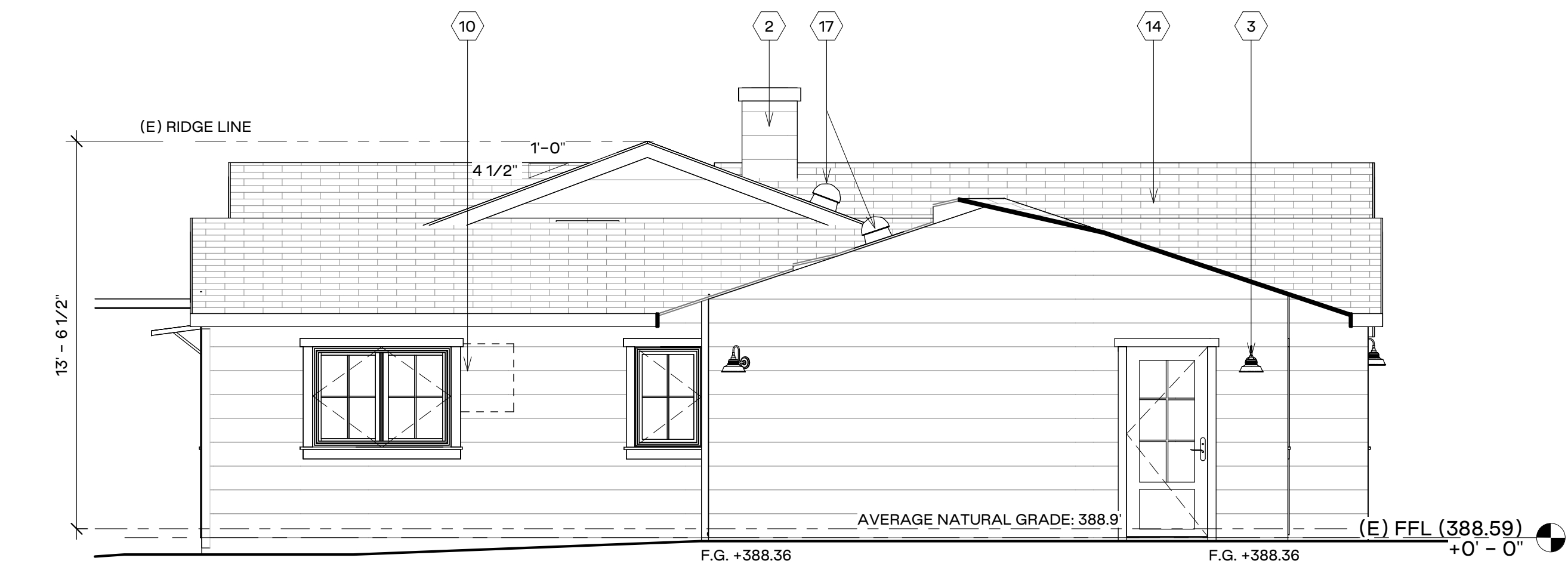
A3.2



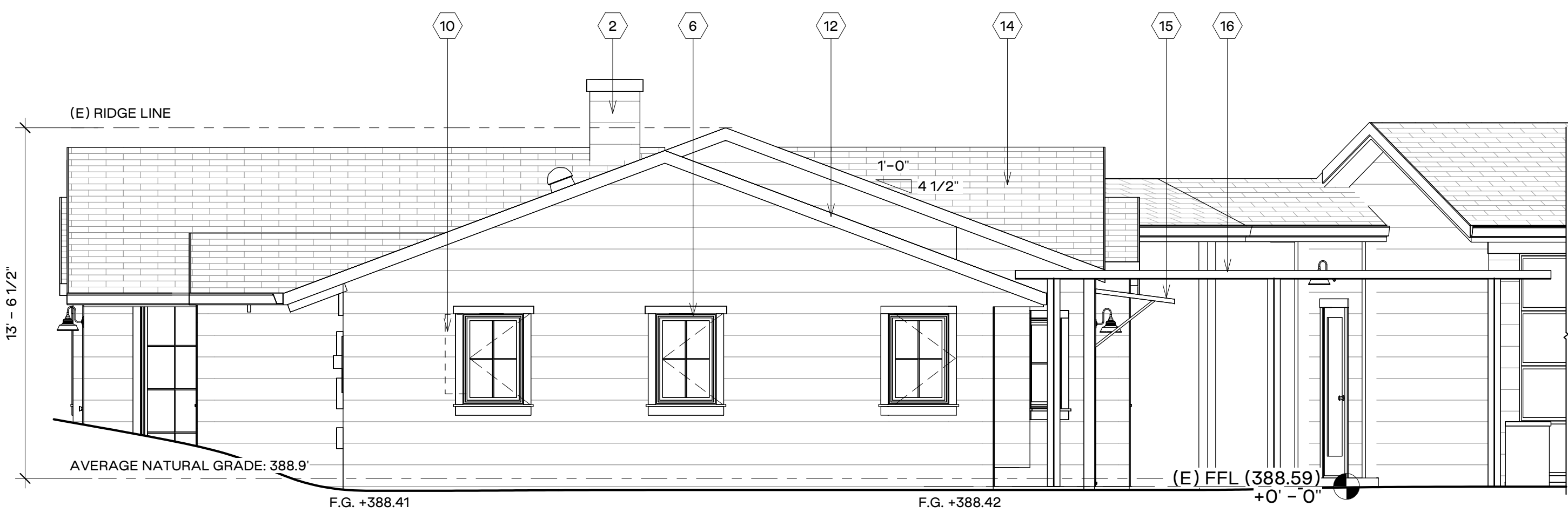
1 Main House - Proposed North Elevation
1/4" = 1'-0"



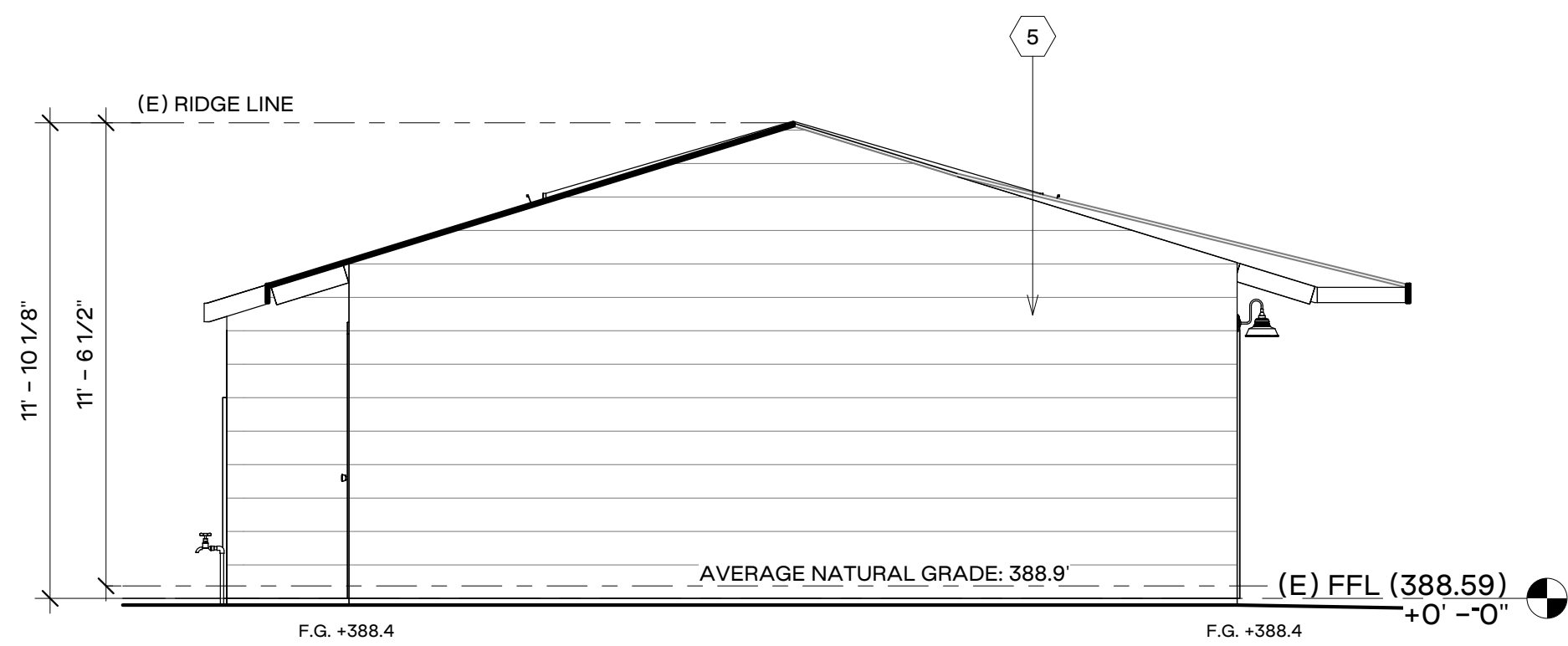
2 Main House - Proposed South Elevation
1/4" = 1'-0"



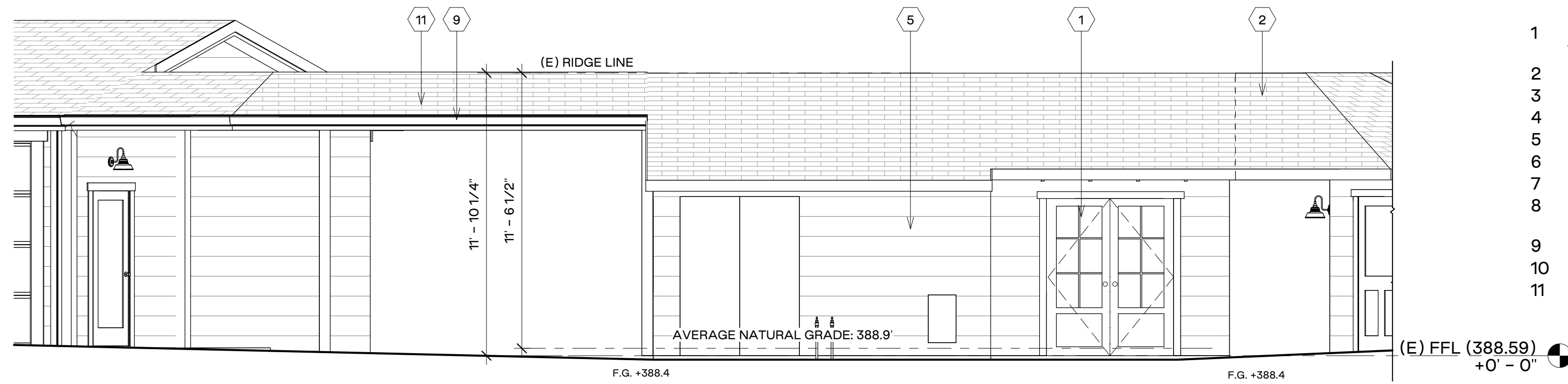
3 Main House - Proposed East Elevation
1/4" = 1'-0"



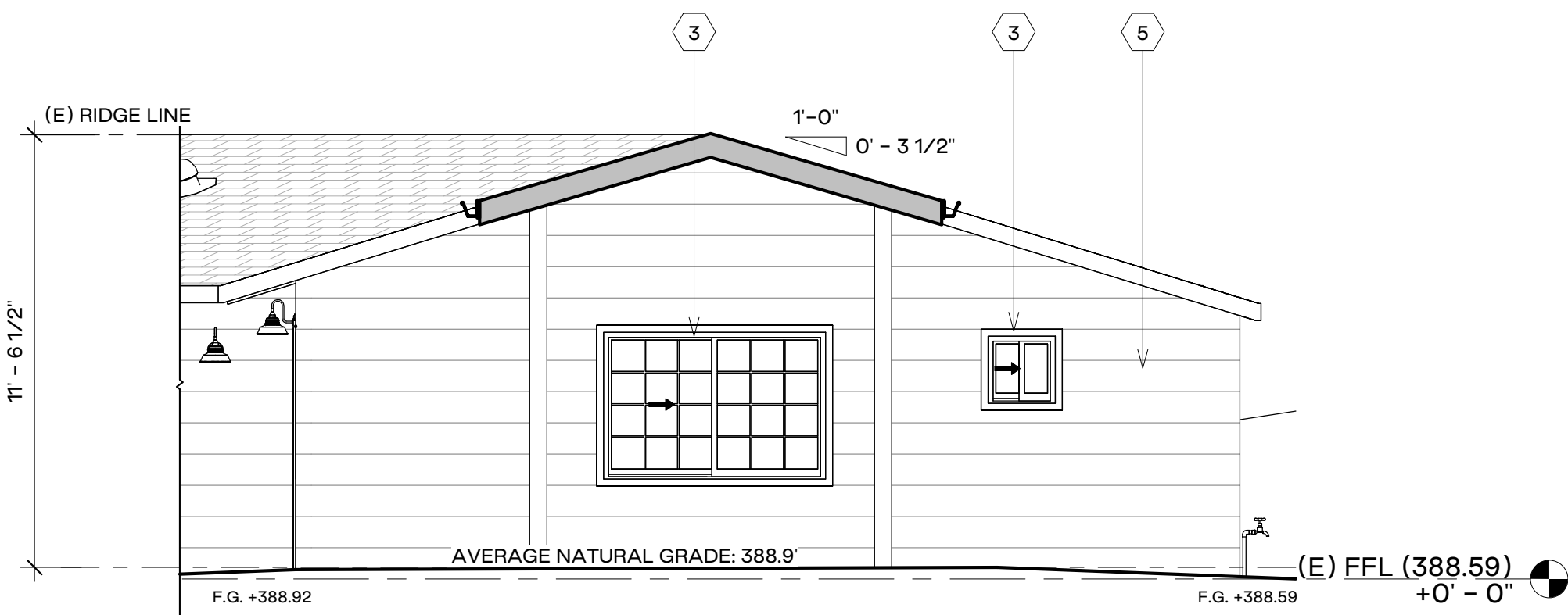
4 Main House - Proposed West Elevation
1/4" = 1'-0"



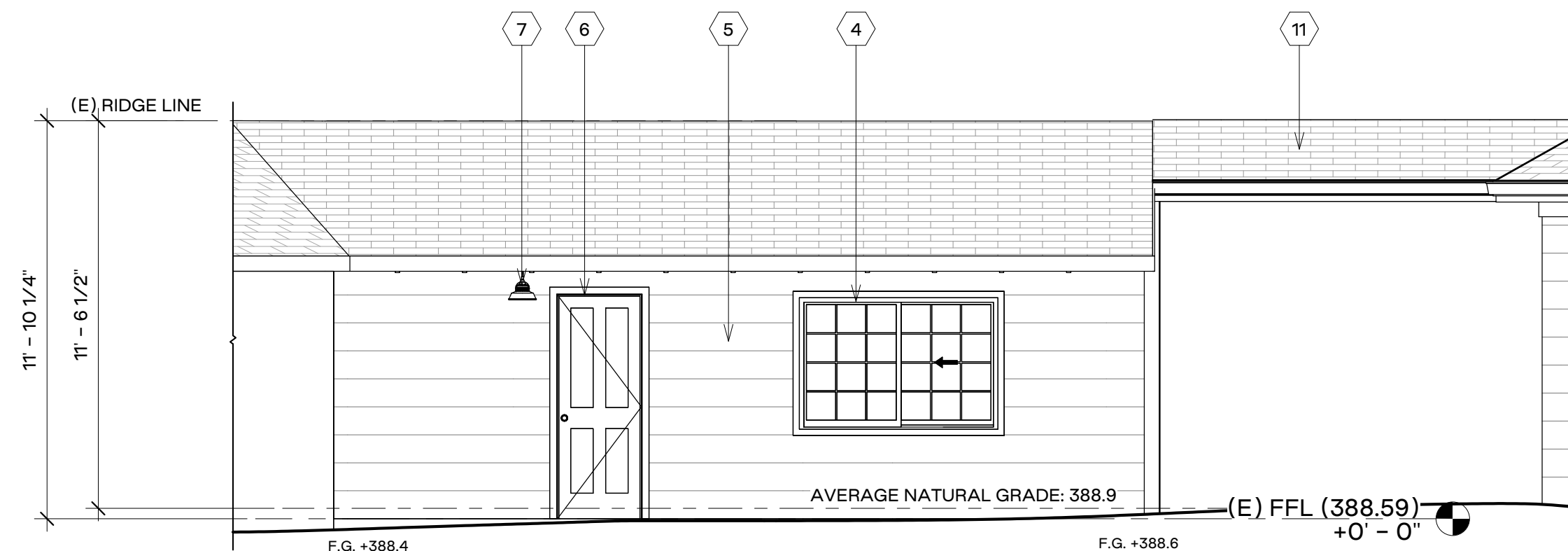
① (E) ADU – Proposed North Elevation
1/4" = 1'-0"



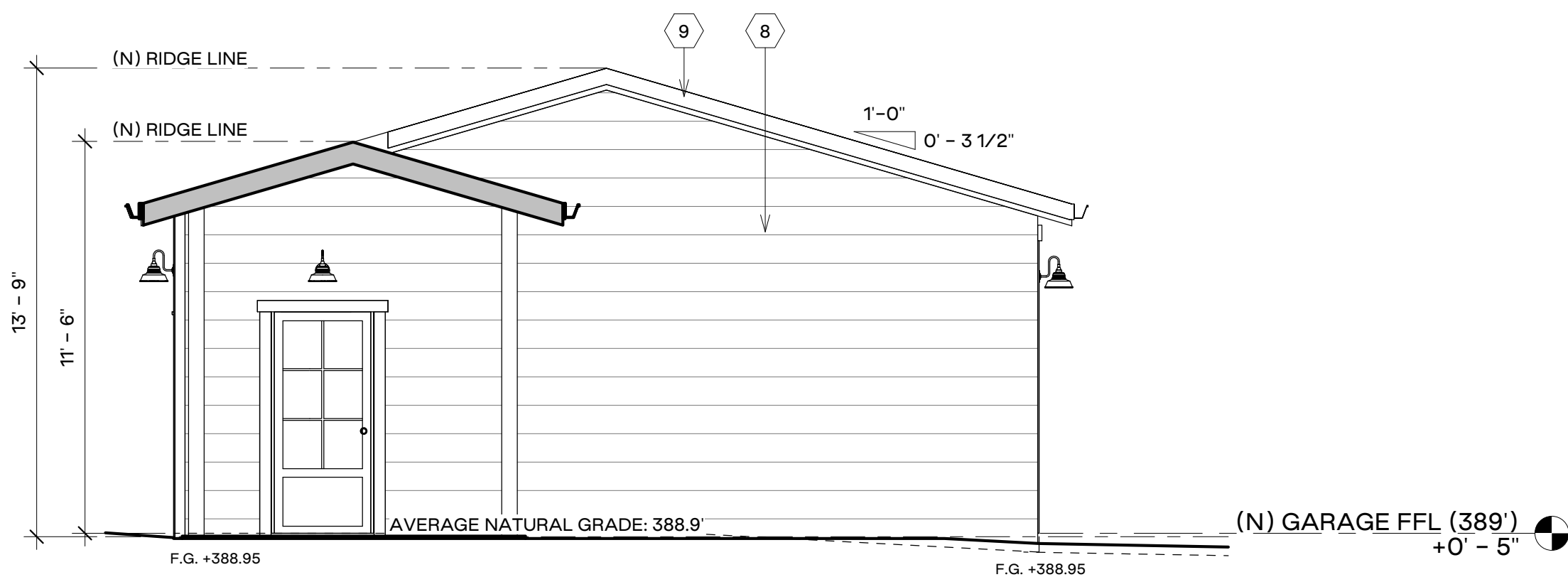
② (E) ADU & Breezeway – Proposed East Elevation
1/4" = 1'-0"



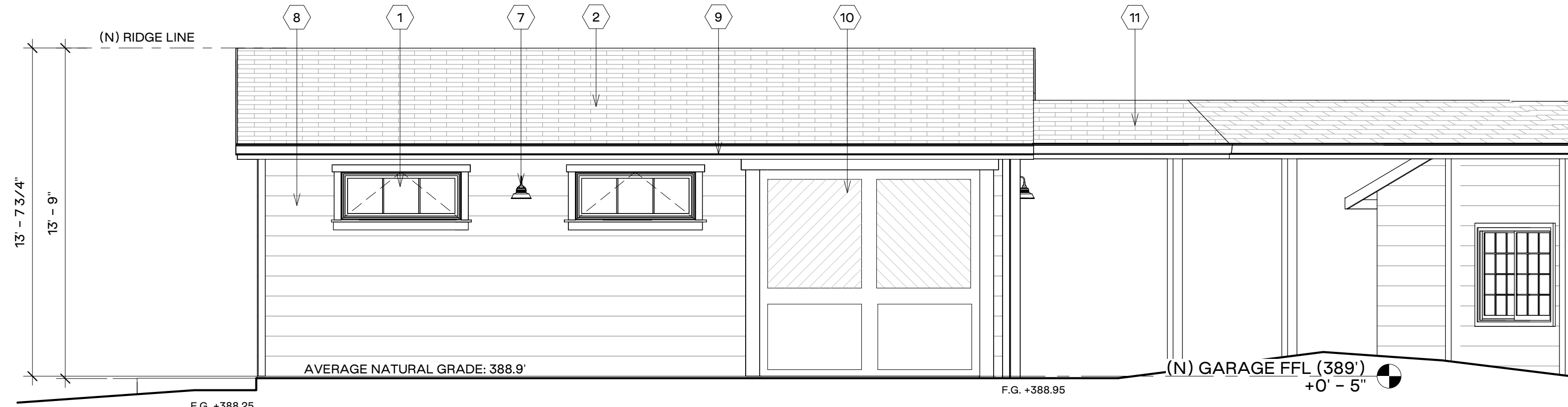
③ (E) ADU – Proposed South Elevation
1/4" = 1'-0"



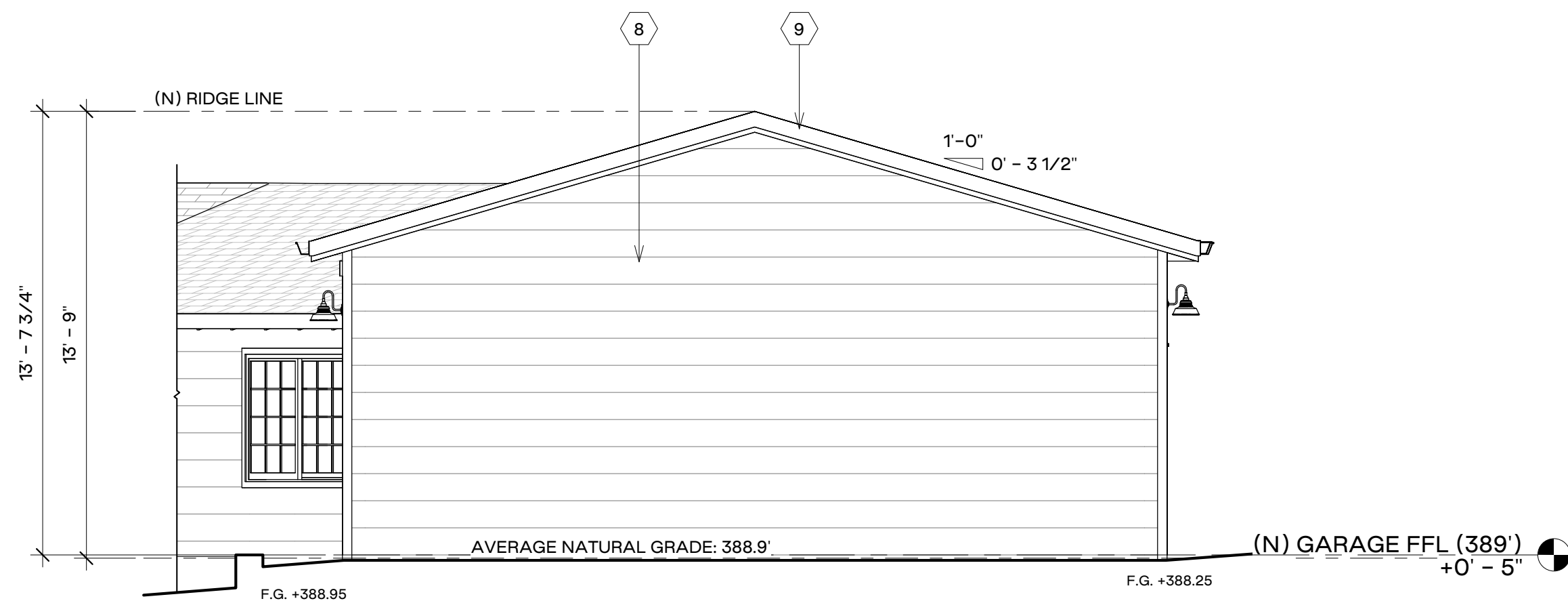
④ (E) ADU – Proposed West Elevation
1/4" = 1'-0"



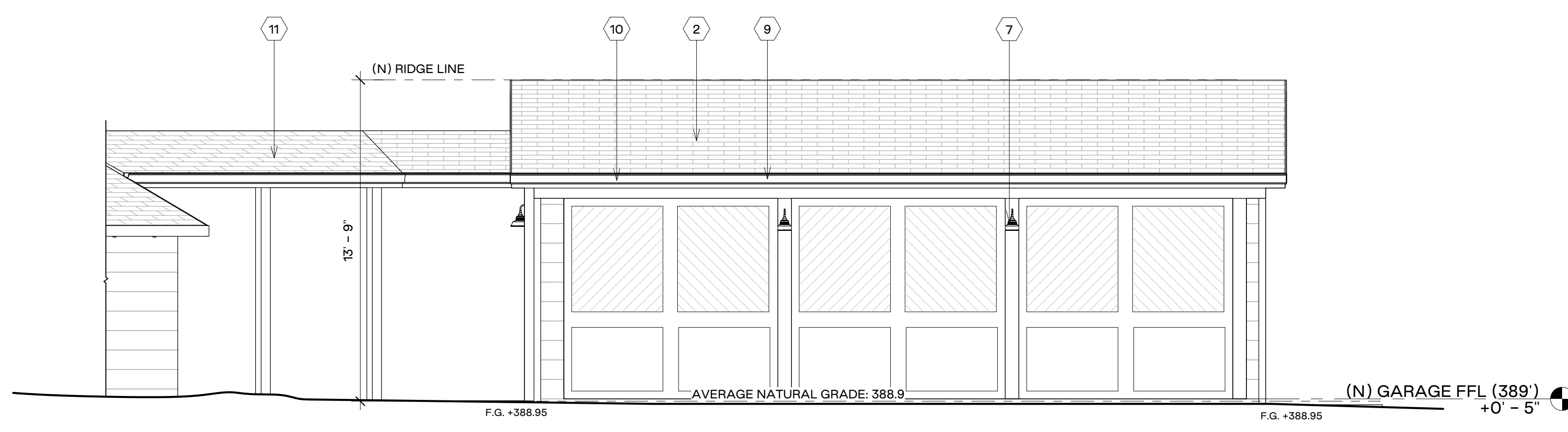
⑤ (N) Garage – Proposed North Elevation
1/4" = 1'-0"



⑥ (N) Garage – Proposed East Elevation
1/4" = 1'-0"



⑦ (N) Garage – Proposed South Elevation
1/4" = 1'-0"



⑧ (N) Garage – Proposed West Elevation
1/4" = 1'-0"

SHEET NOTES

- (N) ALUMINUM CLAD WOOD WINDOWS w/ WOOD TRIM & SILL, TYP.
- (N) ROOF FINISH TO MATCH (E)
- (E) WOOD & VINYL WINDOWS
- (N) LOCATION OF (E) WINDOW
- (E) HORIZONTAL SIDING
- (N) LOCATION OF (E) DOOR
- (N) LIGHT, TYP.
- (N) FIRE RESISTANT HORIZONTAL SIDING, PAINTED
- (N) WOOD FASCIA & METAL GUTTERS, TYP.
- (N) WOOD GARAGE DOORS & TRIM
- (N) BREEZEWAY

PROJECT:

18 La Rancheria Remodel & Garage Addition

18 LA RANCHERIA
CARMEL VALLEY, CA 93954

APN:

187-121-017-000

OWNER:

LAUREN & MARK GRIMM

PROJECT NO: 0100

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SCALE: 1/4" = 1'-0"

DRAWN BY: MH, HL

PRINT DATE: 11.18.25

DRAWING DATE: 11.18.25

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

PROPOSED EXTERIOR
ELEVATIONS - (E)
GUEST SUITE & (N)
GARAGE

SHEET NUMBER:

A3.3

ARBORIST
ROB THOMPSON
Thompson Wildland Management (TWM)
57 Via Del Rey
Monterey, CA. 93940
(831) 277-1419

e a m

18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

owner

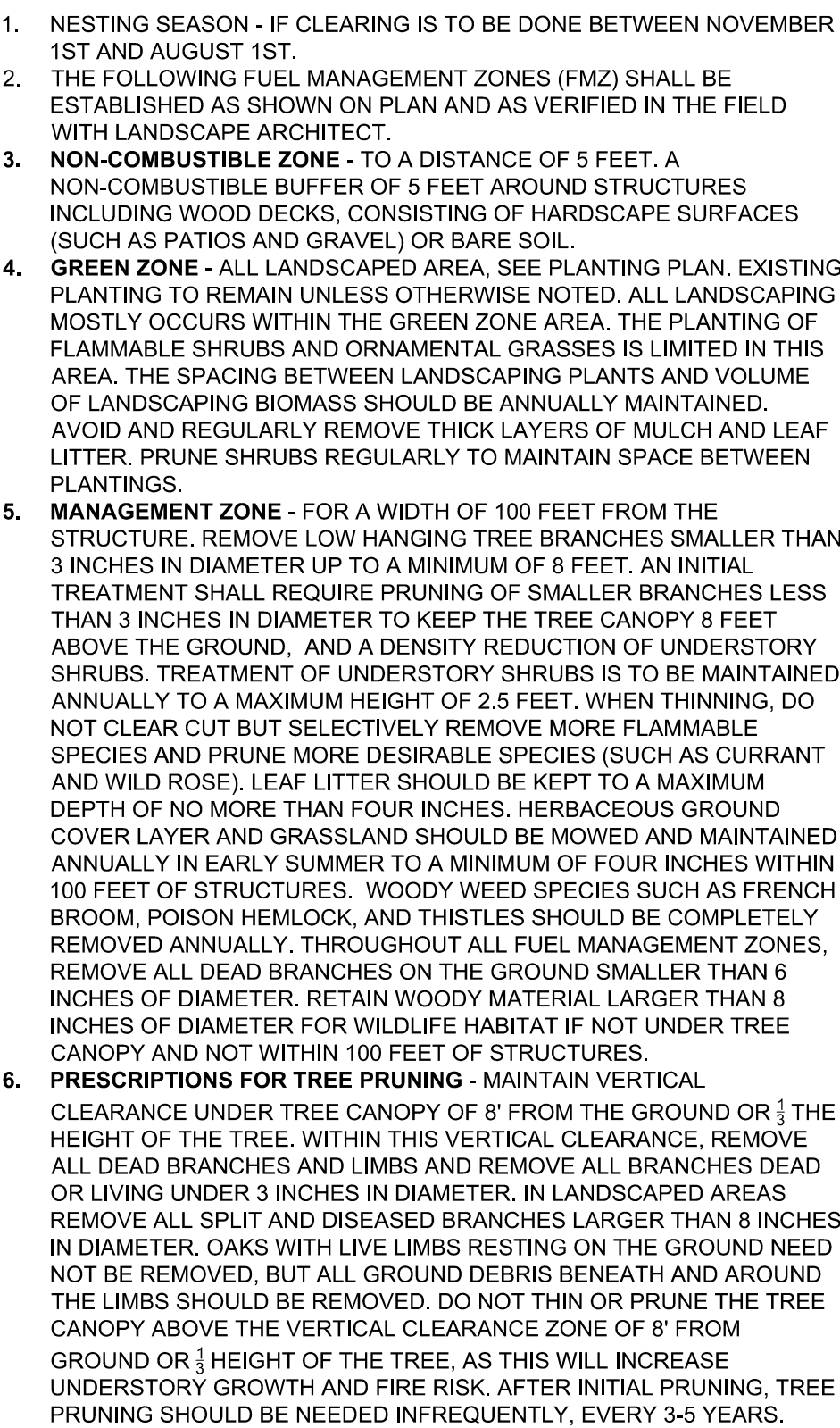
APN: 187-121-017
18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

p r o j e c t

date: 11.14.2025

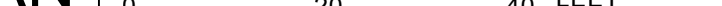
sheet title

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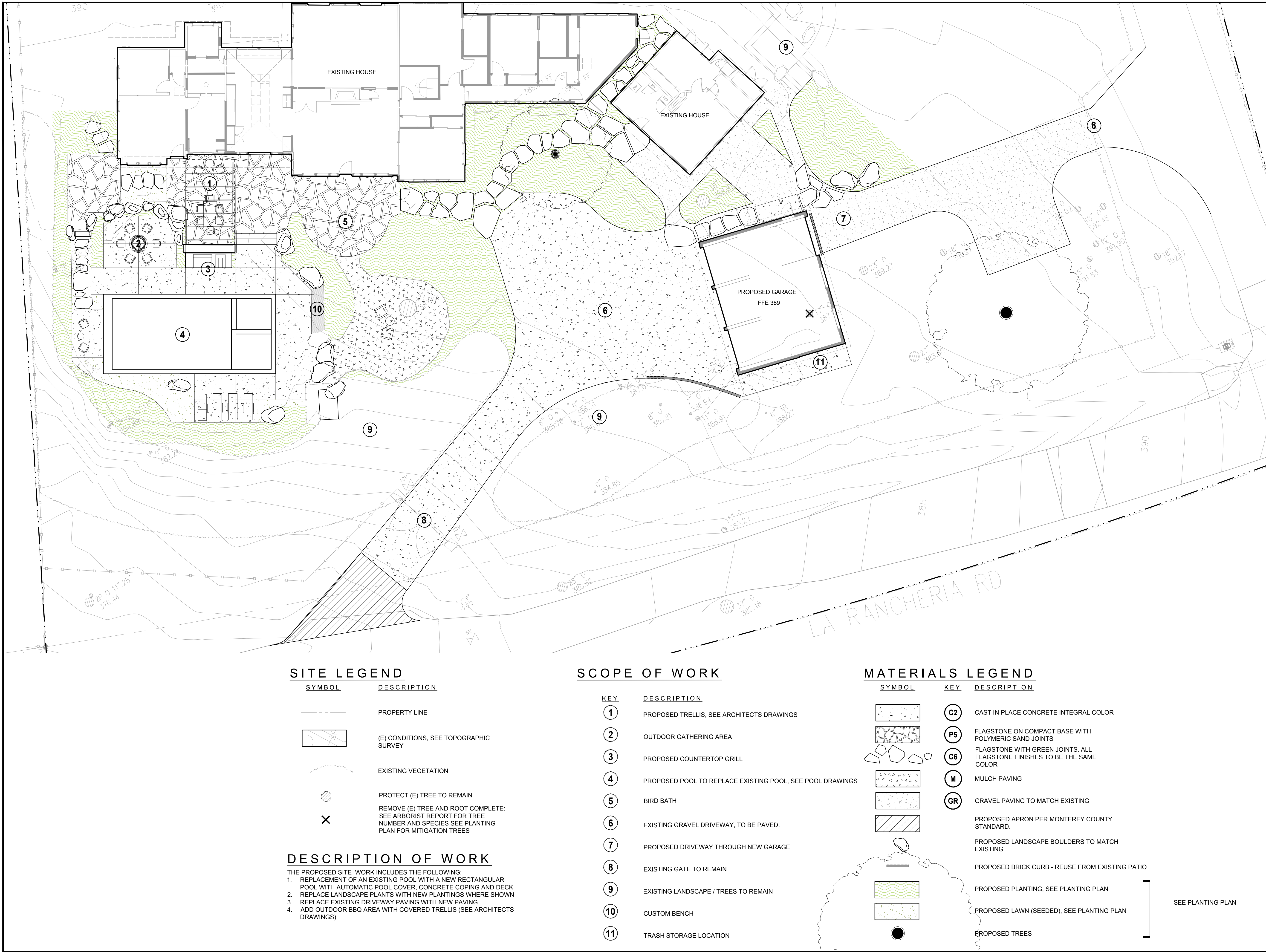
811 Know what's below.
Call 811 before you dig.

PLAN



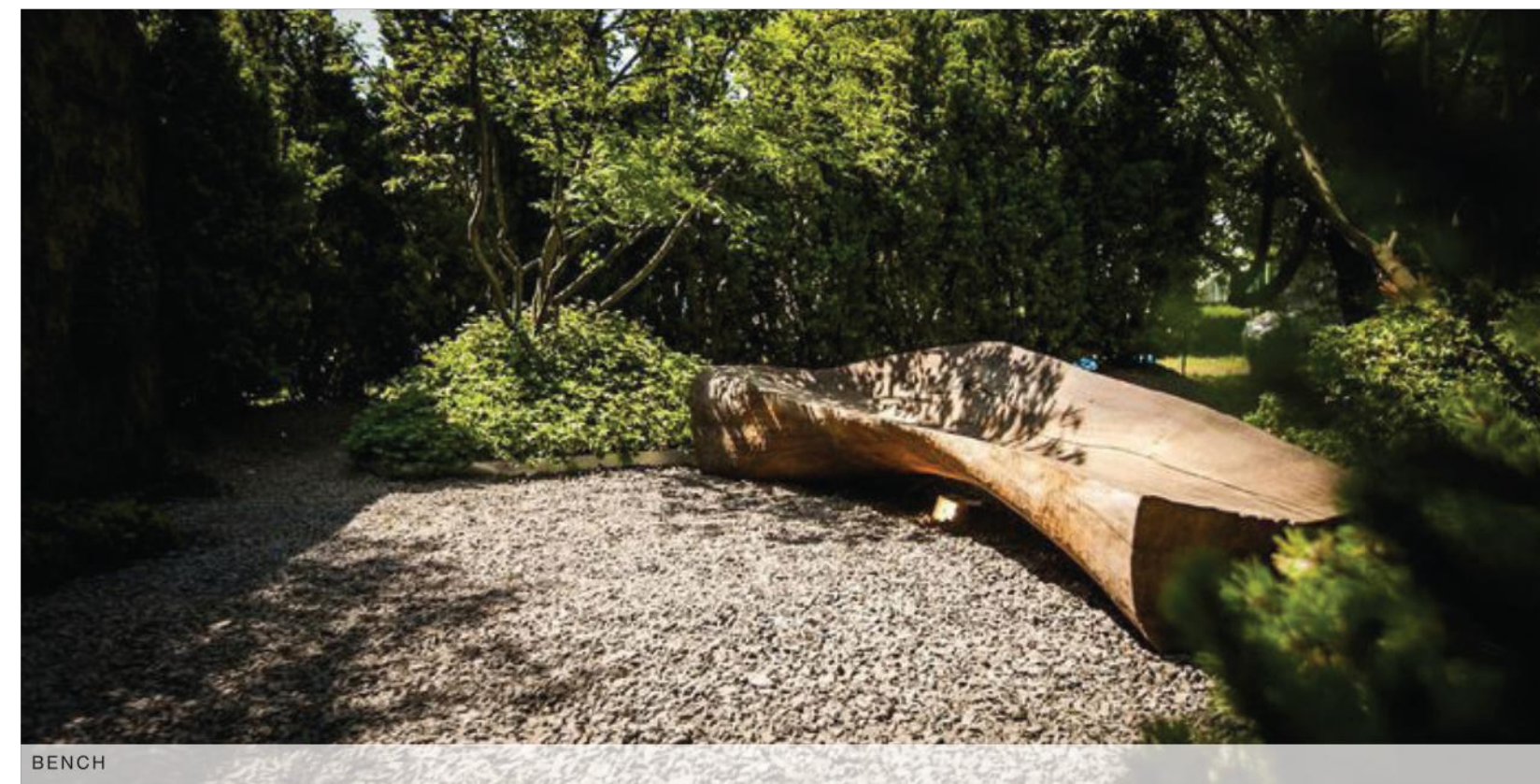
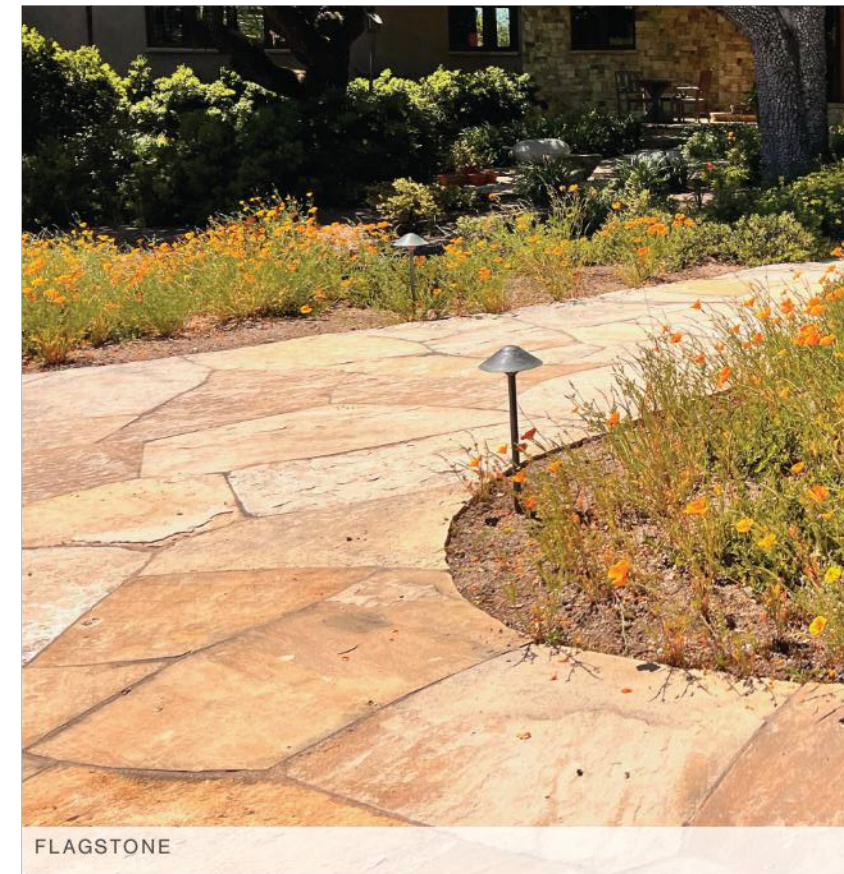
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BIRD BATH

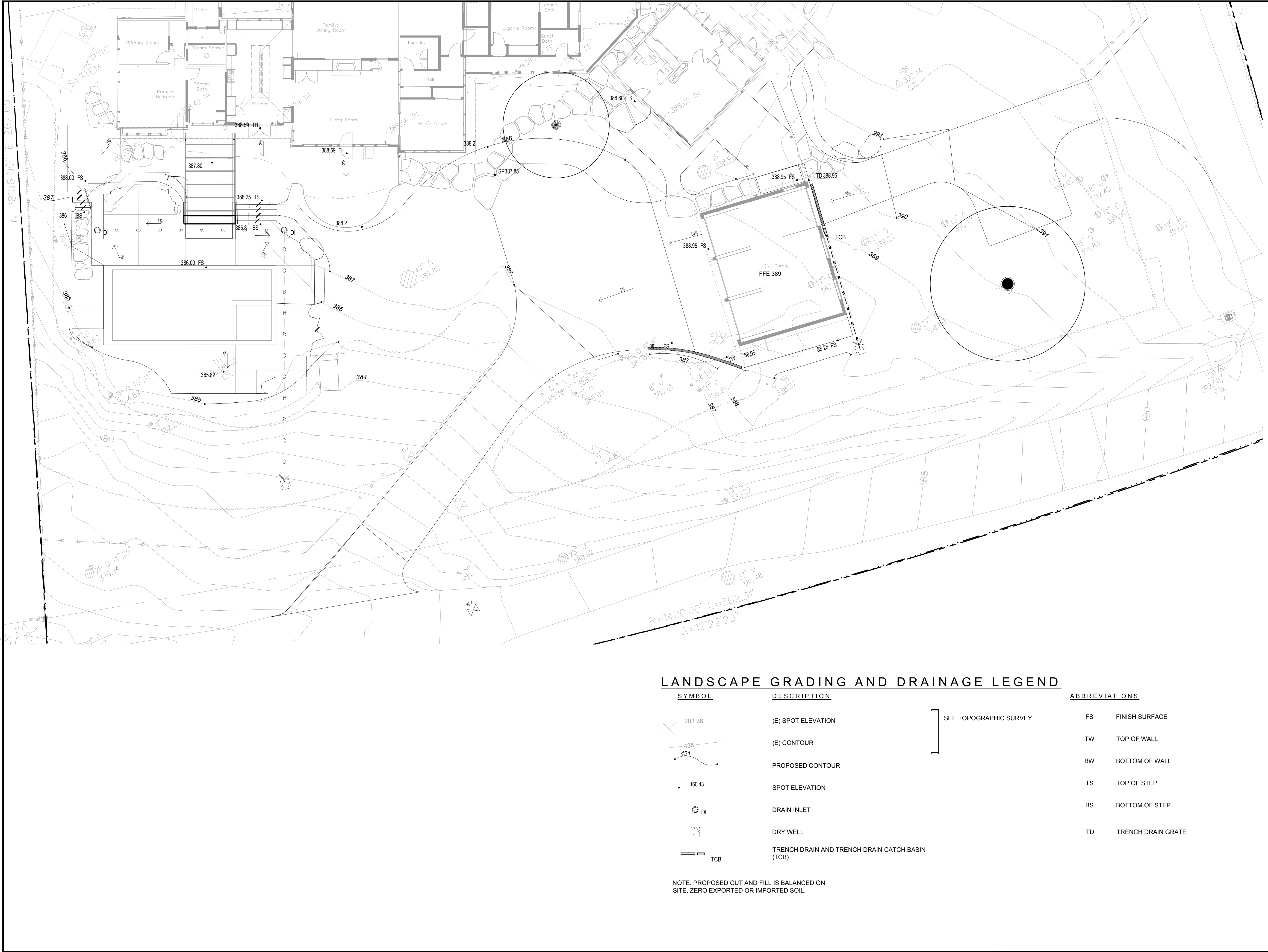


sheet no .
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NOT FOR CONSTRUCTION



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LANDSCAPE GRADING AND DRAINAGE LEGEND

SYMBOL	DESCRIPTION	ABBREVIATIONS
203.38	(E) SPOT ELEVATION	FS FINISH SURFACE
435	(E) CONTOUR	TW TOP OF WALL
421	PROPOSED CONTOUR	BW BOTTOM OF WALL
160.43	SPOT ELEVATION	TS TOP OF STEP
DI	DRAIN INLET	BS BOTTOM OF STEP
	DRY WELL	TD TRENCH DRAIN GRATE
TCB	TRENCH DRAIN AND TRENCH DRAIN CATCH BASIN (TCB)	

NOTE: PROPOSED CUT AND FILL IS BALANCED ON SITE, ZERO EXPORTED OR IMPORTED SOIL.

TITLE 23 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE:
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.

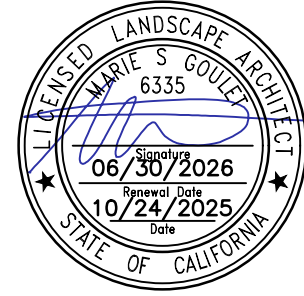


PLAN 0 10 20 FEET NORTH

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WILD LAND
WORKSHOP
LANDSCAPE ARCHITECTURE
MONTEREY CA (831) 238 8459



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team

LAUREN AND MARK
GRIMM

18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

owner

18 LA RANCHERIA

APN: 187-121-017
18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

project

date: 11.14.2025

LANDSCAPE GRADING
PLAN

sheet title

L2.00

sheet no.
-- of



PLANTING LEGEND: TREES

KEY	Count	BOTANICALNAME	COMMONNAME	SIZE	SPACING	WATER USE
PC	1	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	AS SHOWN	L
QA	1	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	AS SHOWN	VL

Shrubs

KEY	Count	BOTANICALNAME	COMMONNAME	SIZE	SPACING	WATER USE
AW	7	ARCTOSTAPHYLOS 'WARREN ROBERTS'	WARREN ROBERTS MANZANITA	5 GAL	6" OC	L
BF	113	BULBINE FRUTESCENS	YELLOW BULBINE	1 GAL	2" OC	L
CD	13	CEANOTHUS GLORIOSUS 'HEART'S DESIRE'	HEART'S DESIRE CEANOTHUS	5 GAL	4" OC	L
LX	13	LAVANDULA X INTERMEDIA	WHITE GROSSO LAVENDER	1 GAL	2" OC	L
LT	5	LEUCOSPERMUM 'TANGO'	TANGO PINCUSHION	5 GAL	5" OC	L
FB	10	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	MOUND SAN BRUNO COFFEEBERRY	1 GAL	4" OC	L
RA	4	ROSMARINUS OFFICINALIS 'ALBUS'	WHITE ROSEMARY	5 GAL	2" OC	L

Perennials

KEY	Count	BOTANICALNAME	COMMONNAME	SIZE	SPACING	WATER USE
AA	19	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	3" OC	L
BB	2	BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	5 GAL	AS SHOWN	L
C	6	CLINOPODIUM DOUGLASII	YERBA BUENA	1 GAL	1'-0"	L
E	29	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL	2" OC	L
EA	21	ESCHSCHOLZIA CALIFORNICA 'ALBA'	WHITE CALIFORNIA POPPY	PLUGS	2" OC	VL
FC	77	FRAGERIA CHILOENSIS	BEACH STRAWBERRY	4" POT	1" OC	M
GB	40	GAURA LINDHEIMERI BELLEZA WHITE	WHITE GAURA	1 GAL	1' 6" OC	M
R	218	GERANIUM 'ROZANNE'	HARDY GERANIUM	1 GAL	1" OC	M
HM	4	HEUCHERA MAXIMA	ISLAND ALUM ROOT	1 GAL	3" OC	M
I	27	IRIS DOUGLASIANA 'CANYON SNOW'	CANYON SNOW DOUGLAS IRIS	1 GAL	2" OC	L
O	8	OXALIS OREGANA	REDWOOD SORREL	1 GAL	1'-0"	M
PB	40	PENSTEMON HETEROPHYLLUS 'BLUE SPRINGS'	FOOTHILL PENSTEMON	1 GAL	1'-6" OC	VL
J	2	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	AS SHOWN	M
WF	3	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	4" OC	M

Grasses

KEY	Count	BOTANICALNAME	COMMONNAME	SIZE	SPACING	WATER USE
CN	10	CALAMAGROSTIS NUTKAENSIS	PACIFIC REED GRASS	1 GAL	4" OC	M
BG	15	BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA GRASS	1 GAL	2" OC	L
L	74	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	PLATINUM BEAUTY MAT RUSH	1 GAL	2" OC	L
T	121	CAREX TUMULICOLA	FOOTHILL SEDGE	4" POT	1'-6" OC	L

PLANTING MIXES

	CALIFORNIA NATIVE EROSION CONTROL SEED MIX : TBD INSTALLED IN DISTURBED AREAS WHERE NO PLANTING IS PROPOSED
	PROPOSED LAWN, UC VERDE BUFFALO GRASS
	50% MIX OF DYMONDIA AND THYMUS GOLDSTREAM

SITE LEGEND

SYMBOL	DESCRIPTION
	PROPERTY LINE
	(E) CONDITIONS, SEE TOPOGRAPHIC SURVEY
	EXISTING VEGETATION
	PROTECT (E) TREE TO REMAIN
	REMOVE (E) TREE AND ROOT COMPLETE: SEE ARBORIST REPORT FOR TREE NUMBER AND SPECIES SEE PLANTING PLAN FOR MITIGATION TREES

DESCRIPTION OF WORK

- THE PROPOSED SITE WORK INCLUDES THE FOLLOWING:
- REPLACEMENT OF AN EXISTING POOL WITH A NEW RECTANGULAR POOL WITH AUTOMATIC POOL COVER, CONCRETE COPING AND DECK
 - REPLACE LANDSCAPE PLANTS WITH NEW PLANTINGS WHERE SHOWN
 - REPLACE EXISTING DRIVEWAY PAVING WITH NEW PAVING
 - ADD OUTDOOR BBQ AREA WITH COVERED TRELLIS (SEE ARCHITECTS DRAWINGS)

TITLE 23 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE:
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE
GRADING DESIGN PLAN.



PLAN 0 10 20 FEET NORTH

IF THE CONTRACTOR ENCOUNTERS ERRORS OR DISCREPANCIES ON THE DRAWINGS, OR SITE CONDITIONS WHICH PREVENT OR DELAY THE COMPLETION OF WORK AS INDICATED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT BY THE TIME OF BO OF ALL SUCH ERRORS, DISCREPANCIES AND DISCREPANCIES. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT AND THE LANDSCAPE ARCHITECT'S FIRM HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE LANDSCAPE ARCHITECT OR THE LANDSCAPE ARCHITECT'S FIRM AS A RESULT OF SUCH ERRORS, DISCREPANCIES OR DISCREPANCIES. THIS NOTICE SHALL BE A CONDITION OF THE CONTRACT AND SHALL BE A PART OF THE DRAWINGS. NOT FOR CONSTRUCTION



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team

LAUREN AND MARK
GRIMM

18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

owner

18 LA RANCHERIA

APN: 187-121-017
18 LA RANCHERIA RD.
CARMEL VALLEY, CA 93923

project

1	PLANNING APPLICATION	2025.10.24
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no. description

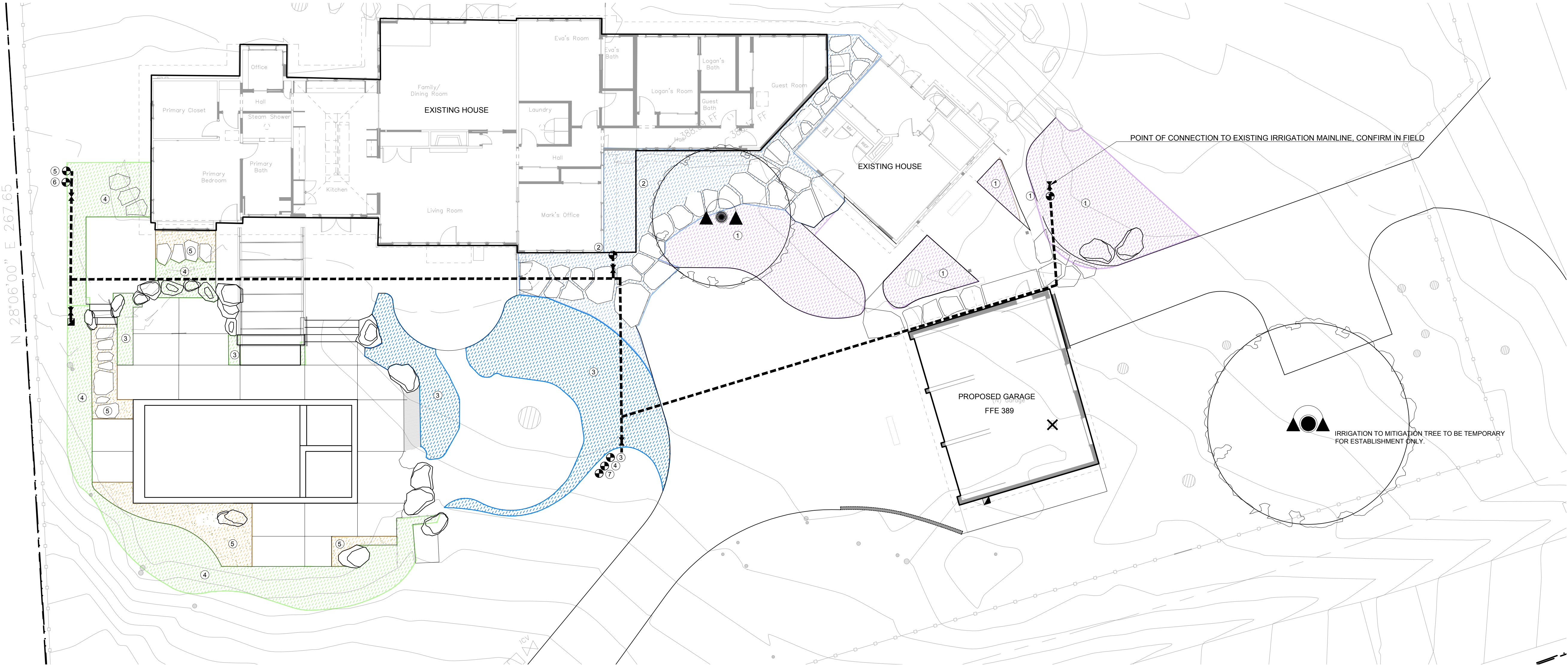
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PLANTING PLAN

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IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUF.	MODEL	REMARKS
	CONNECT TO EXISTING CONTROLLER			
	CONNECT TO EXISTING MAINLINE			
	DRIP CONTROL ZONE KIT	RAINBIRD	XCZ-075-PRF-BF	OR APPROVED
	GATE VALVE	NIBCO		TRUE UNION, LINE SIZE
	HOSE BIB	RAINBIRD / TORO		
	MAIN LINE: 24" MINIMUM COVER, SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS	ANY	APPROVED	
	LATERAL LINE / DRIP SUPPLY LINE: SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS	ANY	APPROVED	
	ROOT ZONE WATERING SYSTEM	RAINBIRD	RWS-S-B C-1401	

VALVE LEGEND

HYDROZONE / STATION	DRIP / SUB / SPRAY	GPM	PLANT WATER USE
01	EMITTERS TO EACH PLANT	TBD	L
02	EMITTERS TO EACH PLANT	TBD	L
03	EMITTERS TO EACH PLANT	TBD	L
04	EMITTERS TO EACH PLANT	TBD	L
05	SUB-SURFACE DRIP	TBD	L
06	EMITTERS / POT	TBD	L
07	RWS TO EACH TREE	TBD	L

IRRIGATION NOTES

- CONNECT PROPOSED IRRIGATION TO EXISTING IRRIGATION MAINLINE, MASTERVALVE, FLOW SENSOR AND ET BASED CONTROLLER.
- TREE PROTECTION - AVOID CRZ OF EXISTING TREES, WHERE NECESSARY TO TRENCH WITHIN DRIPLINE, TRENCHES SHALL BE HAND DUG.
- THE IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE LIMITS INDICATED.
- THE CONTRACTOR SHALL VERIFY THE STATIC WATER PRESSURE PRIOR TO START OF CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT IF WATER PRESSURE IS NOT WITHIN WORKING RANGE OF 15-40 PSI.
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- COPPER PIPE AND CONNECTIONS SHALL BE USED IN PLACE OF PVC AT ANY PLACE WHERE IRRIGATION PIPE WILL REMAIN EXPOSED.
- INSTALL IRRIGATION CONTROL WIRE PARALLEL TO MAINLINE IN CONDUIT. DIRECT BURIAL IS ACCEPTABLE IN PLANTING AREAS.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE LEAST AMOUNT OF WATER NEEDED FOR GOOD PLANT HEALTH. CONTRACTOR TO PROGRAM CONTROLLER ACCORDINGLY.
- VALVE BOXES TO BE GREEN IN COLOR WITH BOLT DOWN NON HINGED LIDS THAT ARE MARKED IRRIGATION
- LAWN AREAS TO BE HAND-WATERED FOR ESTABLISHMENT.
- REMOVED IRRIGATION FROM 15 GALLON OAK ONCE ESTABLISHED.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN WALLS, PAVED AREAS OR OUTSIDE OF PROJECT BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL

Project Name	18 LA RANCHERIA	Status		Calc By	BA
Project Number		Date	10/16/2025		

Reference Evapotranspiration (ETo)		39.10				
Hydrozone #/Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b s or d	Irrigation Efficiency (IE) ^c	ETAF (PFIE)	Landscape Area (sq ft)	ETAF x Area
Regular Landscape Areas						
01 CASITA	0.2	D	0.81	0.247	957.18	236.34
02 CASITA	0.2	D	0.81	0.247	481	118.77
03 OAK WOODLAND	0.3	D	0.81	0.247	725	179.08
04 POOL SIDE	0.2	D	0.81	0.247	654.96	161.72
05 LAWN	0.3	D	0.81	0.370	318.5	117.96
06 POTS	0.2	D	0.81	0.247	12.63	3.12
07 TREES	0.2	D	0.81	0.247	40.00	9.88
				Totals (A)	3189.27 (B)	816.98
						19805.26
Special Landscape Areas						
7				1.00	0	0.00
8				1.00	0	0.00
				Totals (C)	0 (D)	0.00
					ETWU Total (Gallons)	19805.26
					Maximum Allowed Water Allowance (MAWA) ^e (Gallons)	42522.86
					ETWU (Acre Feet)	0.06
					MAWA (Acre Feet)	0.13

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IRRIGATION PLAN

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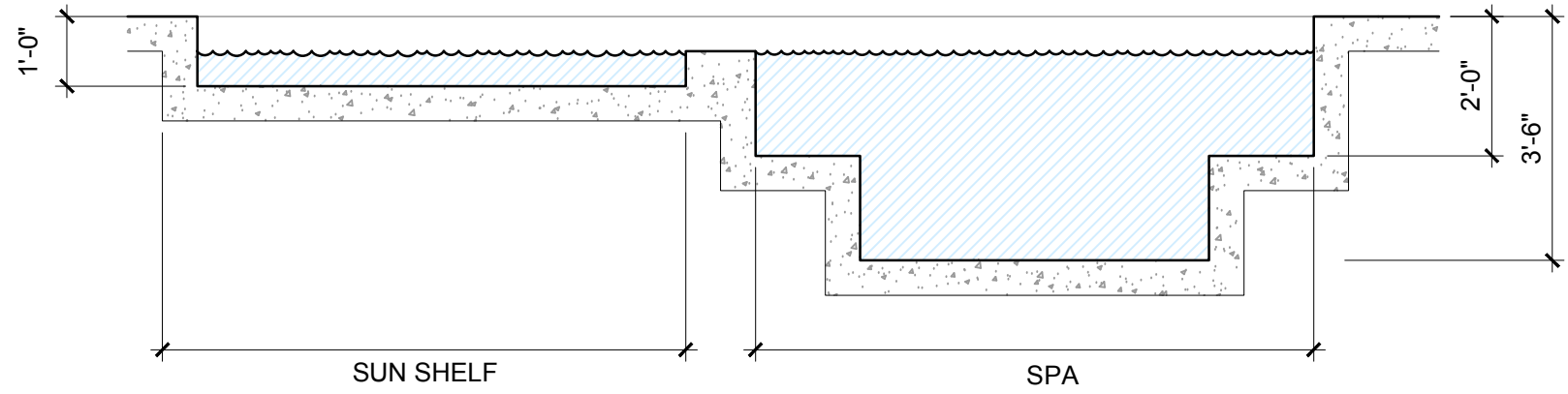
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CONSTRUCTION DETAILS

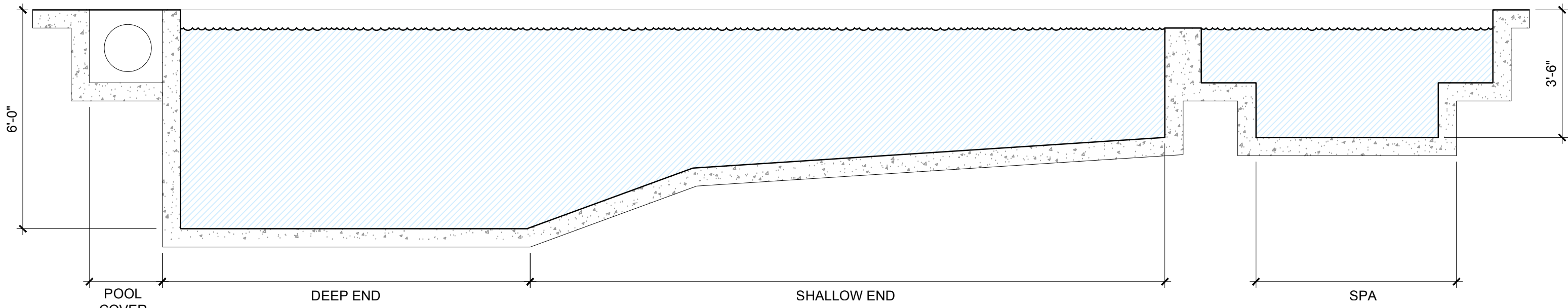
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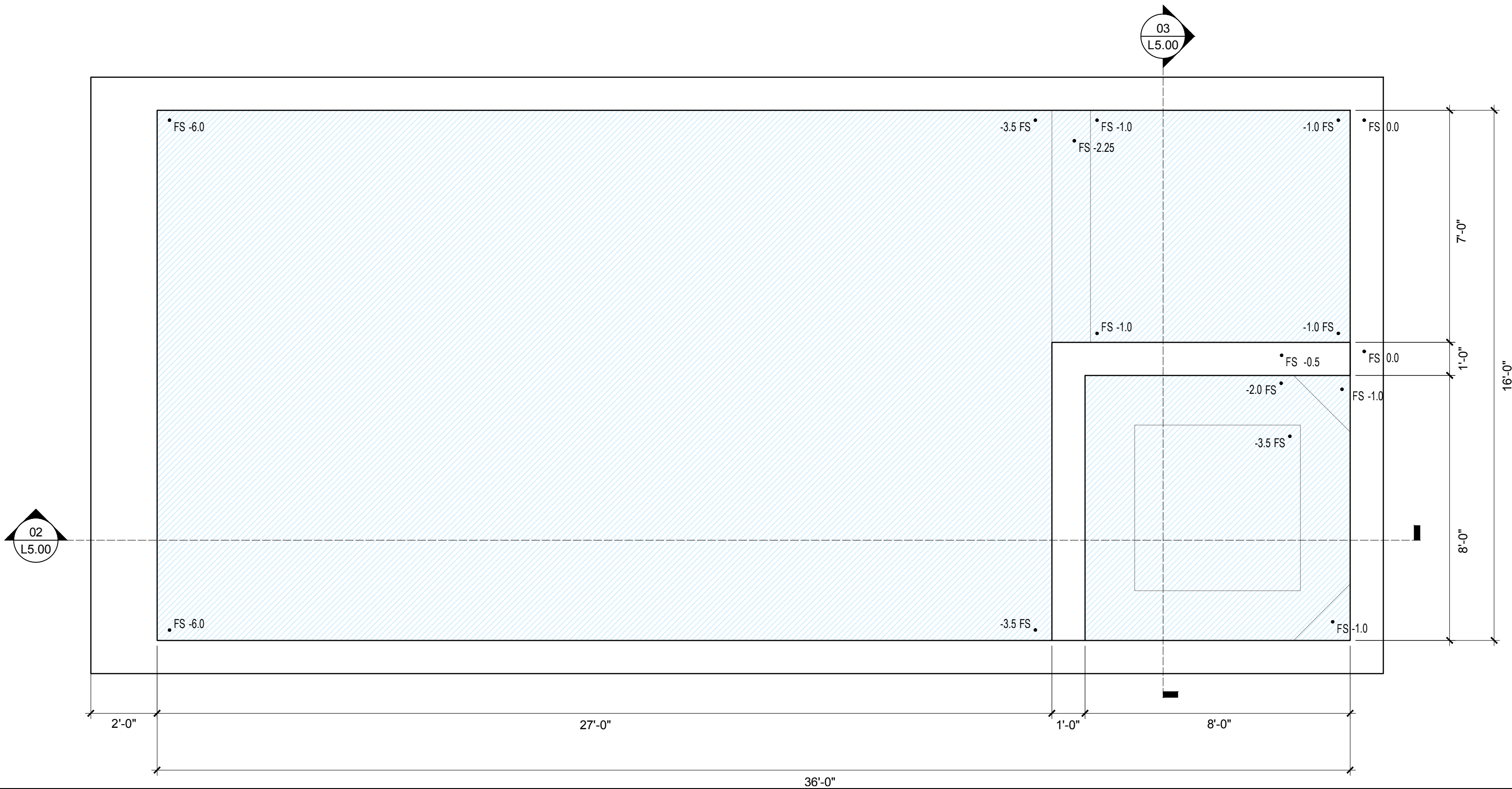
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03 POOL CROSS SECTION



02 POOL LONGITUDINAL SECTION
SCALE: 3/8" = 1'-0"

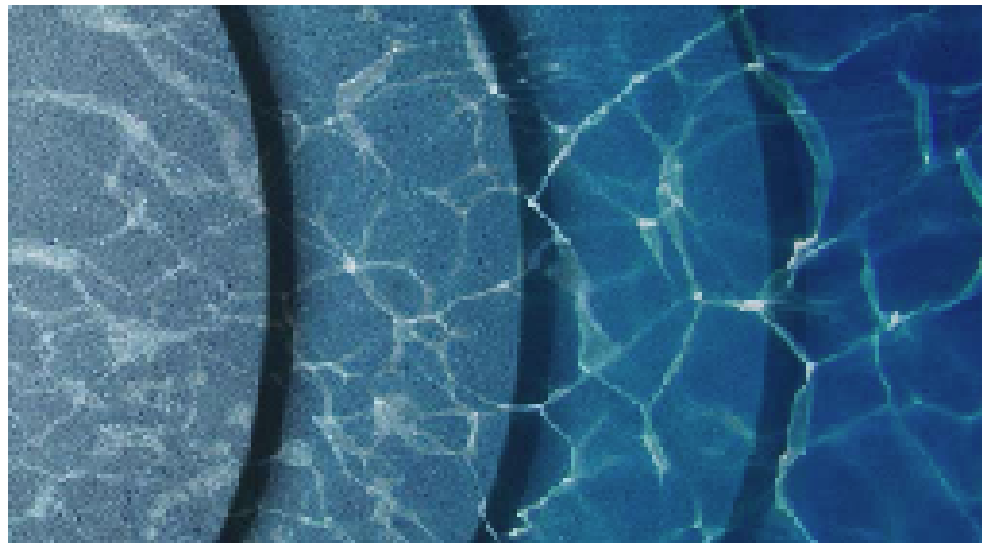


01 POOL PLAN
SCALE: 3/8" = 1'-0"

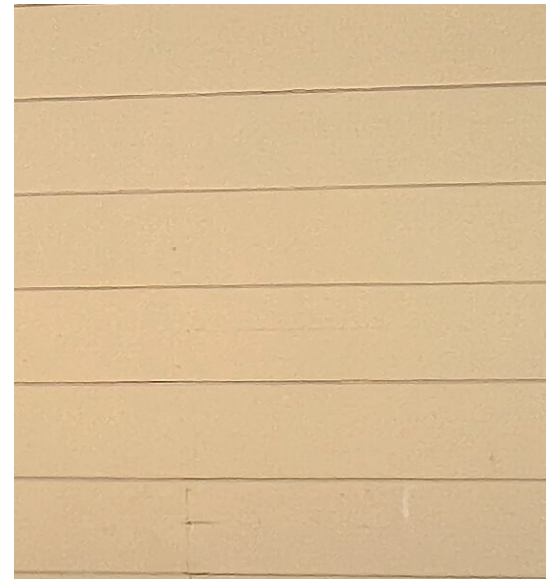
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Pool walls options: Aquabelle Palisades tile or NPT Balistone Celadon tile



Pool finish: Moraine



Exterior: Painted 1x10 horizontal wood boards to match existing



Roofing: Asphalt shingles to match existing



Driveway: Concrete



Windows: Aluminum clad wood windows with traditional muntins

