

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

**Before the Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

BECHTEL CORPORATION (PLN240069)

RESOLUTION NO. 25--

Resolution by the Monterey County Planning
Commission:

- 1) Finding the modifications to the single family dwelling and accessory dwelling unit categorically exempt pursuant to Section 15303(a), and find that denial of the pavilion structure is statutorily exempt pursuant to Section 15270, of the CEQA Guidelines;
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to convert a caretakers unit into a 1,103 square foot accessory dwelling unit with minor exterior modifications; and
 - b. Coastal Administrative Permit and Design Approval to allow exterior modifications to an existing 8,747 square foot single family dwelling, construction of a 182 square foot second story deck, and site improvements including an outdoor seating area and replacement hardscape; and
 - c. Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
 - d. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat; and
- 3) Denying a Coastal Administrative Permit and Design Approval to allow construction of a 1,171 square foot pavilion structure.

[PLN240069 BECHTEL CORPORATION, 3270 17
Mile Drive, Pebble Beach, Del Monte Forest Land
Use Plan (APN: 008-462-005-000)]

The Bechtel Corporation application (PLN240069) came on for a public hearing before the County of Monterey Planning Commission on March 26, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Planning Commission finds and decides as follows:

FINDINGS

1. FINDING: **PARTIAL CONSISTENCY** – The Project, as proposed, is inconsistent with the applicable plans and policies which designate this area as appropriate for development. Modifications to the Project, including removal of the proposed pavilion structure, will make the project consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Del Monte Forest Land Use Plan (LUP);
- Monterey County Coastal Implementation Plan (CIP Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area);
- Monterey County Zoning Ordinance (Title 20); and
- California Coastal Act

No conflicts with the above referenced plans and policies were identified for the proposed modifications to the single-family dwelling and accessory dwelling unit. Inconsistencies with visual resource and public access policies of the Del Monte Forest Land Use Plan were identified with the proposed pavilion structure. As modified by this resolution to remove the pavilion structure, the project will be consistent with the applicable regulations. No communications were received during the course of review of the project indicating any other inconsistencies with the text, policies, and regulations in these documents.

b) Allowed Use. The property is located at 3270 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-005-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential, 2 acres per unit, with a Design Control Overlay (Coastal Zone) [LDR/2-D (CZ)], which allows exterior modifications to existing structures, construction of accessory structures, site improvements, and development near known archaeological resources, a coastal bluff, and environmentally sensitive habitat areas, subject to approved Coastal Administrative Permits, Coastal Development Permits and Design Approvals. (See Title 20 Sections 20.14.030.E, 20.14.030.F, 20.14.040.F and 20.44).

This project proposes:

- Exterior and interior modifications to the existing 8,747 square foot single family dwelling (SFD), to include the construction of a 182 square foot second story deck.

- Conversion of the existing caretakers unit into a 1,103 square foot accessory dwelling unit (ADU), with minor exterior modifications.
- Construction of a new 1,171 square-foot non-habitable pavilion structure, on the site of an existing view patio.
- Site improvements including an outdoor seating area and replacement hardscape (walkways and driveway).

Modifications to the existing SFD would include:

- Two new powder rooms and pantry on first floor
- New laundry room and roof terrace on second floor
- Stairway reconstruction for compliance with current building codes
- Exterior trellising
- Replacement of all exterior doors and windows and partial re-roofing

Conversion of the caretaker unit to an ADU would include:

- Two bedrooms with bathrooms and a shared entryway/kitchen
- New roofing to match the main house

With the granting of the appropriate permits, the project involves modifications to an allowed land use for this site.

- c) Lot Legality. The lot is identified under separate ownership, as Parcel 5, within in the 1972 Assessor's Map Book 8, Page 46. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Visual Resources. The proposed pavilion structure would be visible from 17 Mile Drive and would partially block views of the ocean when viewed from 17 Mile Drive. The height and massing of the SFD and ADU will remain essentially unchanged, and both structures will retain their beige stucco exteriors and most of their clay tile roofing. The limited addition of new colors and materials will be comprised of bronze steel doors and window frames, stained wood trim, and wrought iron railing. See Finding No. 5 and supporting evidence for a discussion of consistency with policies and regulations protecting visual resources.
- e) Development Standards. The site development standards for the base LDR zoning are found in Title 20 Chapter 20.14. With three minor exceptions owing to legal non-conforming structures (pursuant to Title 20 Chapter 21.68.020 - *Legal Nonconforming Uses*) as described below, the project is consistent with the minimum setback, maximum building coverage, and maximum floor area requirements.

Not including the pavilion, the project proposes modifications to existing structures that will not impact the footprint of existing structures. The minimum setbacks for main structures are 30 feet (front), 20 feet (side), and 20 feet (rear). The existing main structure (single-family dwelling) has a front setback of 96 feet, and side and rear setbacks more than 100 feet.

The minimum setbacks for accessory structures are 50 feet (front), 6 feet (side), and 1 foot (rear). The existing, caretaker unit has a legal non-conforming front setback of approximately 45 feet, and side and rear setbacks which meet or exceed the codified standards.

The maximum main structure height is 30 feet, and the maximum accessory structure height is 15 feet. The existing, legal non-conforming home is 32-feet 1-inch, and the legal non-conforming caretaker unit is 17-feet 1-inch in height.

The maximum allowable building site coverage is 15% (17,545 square feet), while the proposed building coverage – with the pavilion- would be 5.6% (7,557 square feet). The maximum allowable floor area is 17.5% (20,470 square feet), while the proposed floor area – with pavilion – would be 7.5% (9,969 square feet).

- f) Forest Resources. No tree removal is proposed. Conditions for the protection of trees and habitat have been incorporated, including exclusionary fencing, a pre-construction training, and on-going monitoring by a qualified arborist/forester during construction.
- g) Historical Resources. DMF LUP Policy 57 encourages timely identification and evaluation of archaeological and historical resources so that they may be given full consideration during the conceptual design phase of projects. Consistent with this policy, a Phase I Historic Assessment (LIB240193) was prepared by PAST Consultants LLC (Seth A. Bergstein) which concluded that the existing home – constructed in 1919 - is absent any historic architectural significance due to a series of extensive remodels from the late 1920's through the 1950's. Additionally, no historical associations, significant events or significant persons have been associated with the home. As the property does not retain integrity, it cannot be considered a historical resource, and its remodeling would therefore not impact historical resources.
- h) Archaeological Resources. Pursuant to DMF LUP Policy 58, a Phase I and a Phase II Archaeological Report (LIB240189) was prepared by Susan Morley to evaluate the potential of the project to impact archaeological resources. The report included archival research, field reconnaissance, and subsurface testing for cultural resources. Fragmentary evidence, which does not qualify as a significant resource pursuant to CEQA, was uncovered and it was determined that nearby (known) archaeological resources will not be affected by the proposed project. Conditions of approval have been attached to the project to protect any archeological and/or tribal cultural resources if any are uncovered. Grading, in the amount of 430 cubic yards of cut and 80 cubic yards of fill, will be conducted almost exclusively in previously disturbed areas, and solely for the purpose of removing, and partially replacing, driveways and walkways.
- i) Environmentally Sensitive Habitat Area (ESHA). The property is located within native Cypress Habitat and contains coastal bluff vegetation. The proposed improvements are located within the footprint of structures and pavement and conditions have been included for the

protection and restoration of habitat. See Finding No. 4 and supporting evidence for consistency with applicable policies and regulations protecting environmentally sensitive habitat areas.

- j) Land Use Advisory Committee (LUAC) Review. County staff has referred the project to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project on October 27, 2024, and voted 7-0, with 1 absent, to recommend approval of the project.
- k) The project planner conducted a site inspection on February 10, 2025, to verify that the project conforms to the plans as submitted.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project conforms to the applicable plans and regulations, and there has been no indication from the reviewing departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) The following reports were prepared to assess the geological and geotechnical suitability of the site for development, and also to gauge the potential for the project to impact biological, forest, historical, and archaeological resources:
 - Geologic and Coastal Bluff Recession Assessment Report, dated July 17, 2024 (Monterey County Document # LIB240191), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California.
 - Geotechnical Investigation, dated June 19, 2024 (LIB240192), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California.
 - Biological Assessment, dated September 27, 2024 (LIB240190), prepared by Pat Regan, Regan Biological & Horticultural Consulting, Carmel Valley, California.
 - Arborist report with Forestry Management Plan, dated July 23, 2024 (LIB240188), prepared by Urban Tree Management, Los Gatos, California.
 - Phase I Historic Assessment, dated May 5, 2020 (LIB240193), prepared by PAST Consultants LLC, Petaluma, California.
 - Phase I and II Archaeological Assessment and Evaluation, dated December 2023 (LIB240189), prepared by Susan Morley, M.A., Register of Professional Archaeologists, and Brenna Wheelis, B.A., Marina, California.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports (Title 16 section 16.08.100).

- c) Staff conducted a site inspection on February 10, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (CSD). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities will be provided. The property will continue to be served by the California American Water Company (Cal Am) for potable water and the Pebble Beach Community Services District (CSD) for sewer. The applicant will be required to submit a Monterey Peninsula Water Management District (MPWMD) residential release form verifying the proposed water use, calculated based on MPWMD fixture counts.
- c) In accordance with DMF LUP Policy 46 and CIP Section 20.147.060.A.1, geological (LIB240191) and geotechnical (LIB240192) reports were prepared to assess the suitability of the site for development and to address geological hazards on the properties. The nearest earthquake fault (Cypress Point) is noted to be over 600 feet distance from the project site. The reports concluded that the site was suitable for development pursuant to the recommendations within them being followed. These include recommendations on site grading, foundation design, and surface drainage. All development shall be in accordance with these reports (Title 16 section 16.08.100).
- d) The geological report has concluded, based on historical erosion, that the bluff retreat at the site will be approximately 6.5 feet over the next 75 years. In accounting for a potential sea level rise of 4.6 feet during the next 75 years (pursuant to the "State of California – Sea-Level Rise Guidance 2024" document published by the California State Ocean Protection Council), the bluff retreat was adjusted to be up to 10 feet in the next 75 years. All structures, proposed and existing, are safely outside (inland) of these boundaries. The proposed project has been sited and designed in order to minimize risks to life and property, and damage to the natural environment (DMF LUP Policy 38).

- e) The impacts of ocean wave run-up (storm surges) were observed around the 33 – 36 foot elevation above sea level (NAVD 88). The lowest finished floor (the proposed pavilion) would have a finished floor elevation of 56 feet.
- f) Staff conducted a site inspection on February 10, 2025, to verify that the site is suitable for this use.
- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

4. FINDING: **ENVIRONMENTALLY SENSITIVE HABITAT AREA (ESHA) –**

The project minimizes impacts on ESHA in accordance with the applicable goals, policies, and regulations contained in the Del Monte Forest Land Use Plan; Monterey County Coastal Implementation Plan Part 5, Regulations for Development in the Del Monte Forest Land Use Plan area; and Monterey County Zoning Ordinance (Title 20).

EVIDENCE:

- a) The project includes an application for development within 100 feet of ESHA. The property has two distinct ecosystems, Monterey cypress forest and Coastal bluff scrub. The Monterey cypress is designated as ESHA and protected by DMF LUP Policy 20. North Coastal bluff scrub is considered ESHA by the California Coastal Commission, recognized as a threatened plant community by the California Department of Fish and Wildlife, and classified as a community “rare and worthy of consideration” by the California Natural Diversity Database (CNDDB), and typically hosts individually sensitive species including Sea-cliff Buckwheat, a host plant for the federally endangered Smith’s Blue Butterfly. Therefore, the Coastal bluff scrub on the site is appropriately categorized as ESHA.
- b) A DMF LUP key policy recognizes that the habitats of the Del Monte Forest are unique, limited, and fragile resources. Accordingly, these habitats should be protected, maintained, and, where possible, enhanced and restored. This project conforms with this key policy in that the proposed development has been sited and designed within the existing development footprint, minimizing potential impact to habitat areas. Additionally, conditions are included to ensure that the habitats are protected through construction.
- c) Protection of Indigenous Monterey cypress habitat is addressed in DMF LUP policy 20, and in applicable regulations as found in CIP section 20.147.040.D.2. Projects on developed lots – such as proposed herein – are the specific focus of CIP policy 20.147.040.D.2(2)(a-g):

(2)On developed lots (i.e., those with an existing legally established residence), new and/or modified development shall be located within the existing legally established structural and/or hardscape area (i.e., all areas of the site covered with a structure, or covered by pervious or impervious hardscape (such as decks, patios, driveways, and paths, but not including landscaped areas, fence areas, or underground or over ground utility areas)) and outside the critical habitat area.

Project compliance: The modified development proposes 2,289 square feet of development outside of the existing hardscape/structural

footprint for patios and walkways, triggering requirements for mitigation under item d (see below).

New and/or modified development outside of such areas is prohibited unless each of the following findings can be made:

(a) Construction, use, and maintenance of the new and/or modified development shall significantly reduce existing hardscape;

Project compliance: All of the proposed structural modifications, except the proposed outdoor fire pit area and hardscape (driveway and internal path) improvements, will occur within existing building footprints, thereby minimizing potential impact on habitat areas. A net reduction of 4,617 square feet of impervious surface will result from the project.

(b) Construction, use, and maintenance of the new and/or modified development will accommodate the health and vitality, and will not harm, any existing individual Monterey cypress tree regardless of size. This determination will be made based on the type of development, the particulars of its siting and design, and its location in relation to individual trees, the critical habitat area, higher sensitivity portions of the site, and adjacent and surrounding habitat areas;

Project compliance: The project accommodates the health and vitality of the property's Monterey cypress habitat, and will not harm or result in the removal of individual Monterey cypress trees. The biological report states "There are no anticipated impacts to special status plant or animal species because of implementing this plan." Trees located near the development will be protected during construction.

(c) The new and/or modified development will be confined within a defined and surveyed development envelope. The development envelope shall contain all improvements and structural development (i.e., all uses and development that are not Monterey cypress habitat), and shall, within the Monterey cypress habitat area portion of the site, be no larger than 15% of the cypress habitat area; however, limited additional coverage above 15% may be allowed for a driveway only if an existing driveway cannot be reconfigured to achieve full compliance with this standard, in which case the existing driveway shall be reduced in width, length, and overall coverage as much as possible. All development on the site:

- (1) Shall significantly reduce hardscape;*
- (2) Shall be sited in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible; and*
- (3) Shall be sited in such a way as to maximize Monterey cypress habitat values, including in relation to adjacent and surrounding areas (e.g., clustering new and/or modified development on the site near to existing and/or adjacent residential developments so as to provide as much of a contiguous, undisturbed, and unfragmented habitat area as possible on and off site)*

Project compliance: The proposed development does not exceed 15% of the total Monterey cypress habitat area. The proposed project is within or adjacent to areas where legally established structural and/or

hardscape exist and a net reduction of 4,617 square feet of existing hardscape will result from the project.

(d) All Monterey cypress habitat area outside of the approved development envelope shall be: restored to and/or enhanced as high value and self-functioning Monterey cypress habitat (including through measures identified pursuant to the biological/arborist report, such as removal of exotics species, improving growing conditions to provide a bare, mineral soil necessary for seed germination, and increasing sunlight to prevent soil borne fungi from inhabiting seedlings), with all initial restoration/enhancement initialized prior to occupancy of any approved development; and placed within an open space conservation and scenic easement secured consistent with Policy 13;

Project compliance: The project proposes 2,289 square feet of development (hardscape and fire pit area) outside of the existing hardscape/structural footprint. No development is proposed within areas containing the “Highest Sensitivity” of the Monterey cypress habitat. All Monterey cypress habitat areas outside of the approved development envelope shall be restored to and/or enhanced as high-value and self-functioning Monterey cypress habitat. At least ten replacement Monterey cypress trees (15-gallon size minimum) will be planted in the area designated as “Highest Sensitivity” habitat pursuant to Plan sheet L1.3 “Estimated Levels of Monterey Cypress Habitat Sensitivity”. Nonnative landscape species and an irrigated lawn will be removed and replaced with native species such as the Seaside daisy, Woodmint, and Sagewort to achieve a restored Monterey cypress habitat. An open space conservation and scenic easement will be placed over the entirety of the Monterey cypress habitat on the parcel (i.e. all non-developed area). See conditions of approval 7, 8, and 9.

(e) All areas of new coverage (i.e., areas that would be covered with structures and/or hardscape and/or other non-cypress habitat restoration and enhancement that are not already so covered in the existing legally established baseline condition) shall be offset through restoration and/or enhancement (as high value and self-functioning Monterey cypress habitat) of an off-site area located within the Monterey cypress habitat area mapped in Figure 2a at a ratio of 2:1 (and/or payment of a mitigation fee, commensurate with the cost to restore/enhance such an area, to a public agency or private group acceptable to the County effectively able to administer such a fee and to implement such measures). Such off-site restoration/enhancement areas shall be selected for their potential to result in the greatest amount of overall benefit to the native Monterey cypress habitat in the Del Monte Forest, and all initial restoration/enhancement of the offsite area shall be initialized prior to occupancy of any approved development or, in the case of a fee, the fee paid prior to issuance of any demolition, grading, or construction permits;

Project compliance: As indicated on sheet L1.2 of the plan set, the project proposes 2,289 square feet of development outside of the existing hardscape/structural footprint. This area is adjacent to the existing home and walkways, and is overgrown almost entirely with ice

plant and other non-native species. However, such area is still considered Monterey cypress habitat and therefore shall be restored at a 2:1 ratio. As conditioned (No. 12), either restoration of off-site Monterey cypress habitat (Figure 2a of the DMF LUP) at a 2:1 ratio - 4,578 square feet – will be undertaken by the applicant or an “in-lieu” mitigation fee commensurate to the cost to restore 4,578 square feet of Monterey cypress habitat will be paid to the Del Monte Forest Conservancy. The in-lieu fee shall be used to implement Monterey cypress restoration and enhancement measures within an area identified in Figure 2a.

(f) The new and/or modified development has been sited and designed to avoid the critical habitat area and the most sensitive habitat parts of the site as much as possible (including through required siting in the non-cypress habitat portions of the site (if there are any) to the maximum degree possible), and to minimize any incursion into this area as much as possible. If any non-habitat related development is proposed within the defined critical habitat area, the biological/arborist report must identify all possible alternatives to avoid such siting, and must provide alternative construction methods or preconstruction treatments to avoid impacts in the case such development ultimately proves unavoidable. The alternative methods and treatments can include supplemental irrigation, hand digging or grading, root pruning or modification to traditional construction methods, such as spanning roots, pier and above grade beams or cantilevering structures. However, in no case shall Monterey cypress trees be removed unless they are dead or declining, and the biological/arborist report and the approving body conclude removal will further enhance Monterey cypress habitat values or avoid adverse impacts, potential damage, or degradation to both healthy individual cypress trees and cypress habitat;

Project compliance: As noted, the modified development is located almost entirely within the existing legally established structural and/or hardscape area and outside the critical habitat area. No trees are proposed for removal. The fire pit area and new internal paths count as “new coverage” but are sited in the “Low Sensitivity Habitat” area of the parcel. Prior to construction, tree trunks will be wrapped with protective material and protective exclusionary fencing areas will be established. After all tree protection measures and fencing have been put in place, the project biologist will conduct a site visit, inspect all tree protection measures, and write a signoff letter that will allow construction activities to begin. No construction can take place prior receipt of the signoff letter.

(g) The project results in greater cypress habitat value on the site (and in relation to adjacent and surrounding habitat areas) than the existing baseline habitat value, and the project enhances Monterey cypress habitat values overall.

Project compliance: As designed, sited, and conditioned, the project will result in greater cypress habitat value on the site than the existing

baseline habitat value, and will enhance Monterey cypress habitat values overall

- d) A certified biologist shall perform site inspections on a quarterly basis for 5 years post construction. The site inspections shall monitor the health and long-term survivability of all Monterey cypress (*Cupressus macrocarpa*) trees and other ESHA located on this property. The report shall make recommendations, when necessary, to help improve the health and longevity of all trees onsite.
- e) In accordance with DMF LUP Policies 20 and 13, the project has been conditioned to require a conservation and scenic easement be placed to protect all areas outside of the proposed development footprint.
- f) DMF LUP Policy 8 indicates that environmentally sensitive habitats shall be protected against significant disruption in habitat values. Addressing this policy in the context of the Coastal bluff scrub, an existing grape stake fence will be removed and replaced around existing Sea Cliff Buckwheat and intact Coastal bluff scrub habitat areas to protect them during construction and also to discourage pedestrian traffic in the future. Additionally, invasive/non-native species eradication is required and will be coordinated with the project biologist.
- g) Staff conducted a site inspection on February 10, 2025, to verify ESHA locations and potential project impacts to ESHA.
- h) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

5. FINDING:

PARTIAL INCONSISTENCY (VISUAL RESOURCES) – The project is partially inconsistent with the visual resource goals, text, and policies of the Del Monte Forest Land Use Plan (DMF LUP), Monterey County Coastal Implementation Plan (CIP Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area) and the California Coastal Act.

EVIDENCE:

- a) There are no inconsistencies with the conversion of the caretaker unit into a 1,103-square-foot accessory dwelling unit or the modifications to the existing 8,747-square-foot single-family dwelling. The height and massing of these structures will remain essentially unchanged. Materials and colors will be unobtrusive and entirely compatible with the natural surroundings and neighboring residences. However, the proposed pavilion would block shoreline and ocean views from 17 Mile Drive and is inconsistent with several policies intended to protect Visual Resources and visual public access, as found in the Del Monte Forest Land Use Plan (DMF LUP), Monterey County Coastal Implementation Plan (CIP Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area) and the California Coastal Act.
- b) The site is located directly on the seaward side of 17-Mile Drive. Although the proposed structure is located within a cluster of Monterey cypress trees, almost the entire structure would be visible from 17 Mile Drive. The backdrop of the tree-filtered view is the Pacific Ocean, and a

portion of the structure would block the unfiltered and filtered ocean views from 17 Mile Drive. The DMF LUP's Key Scenic and Visual Resources Policy identifies views from 17 Mile Drive as an important public resource and only allows development that does not block or significantly adversely affect public views and scenic character from this corridor.

- c) Title 20 section 20.06.1275 defines a "Substantial adverse visual impact" as a "visual impact which, considering the condition of the existing viewshed, the proximity and duration of view when observed with normal unaided vision, causes an existing visual experience to be materially degraded."
- d) The 1,171 square foot pavilion structure would include a rear façade wall, facing 17 Mile Drive, of 50 feet 8 inches in length and 13 feet in height, comprising a surface area of 658 square feet. The existing legally established residence blocks a majority of the subject property's ocean views when viewed from 17 Mile Drive. As designed and sited, the proposed pavilion would further block some of the only remaining open-ocean and partially filtered ocean views along this section of 17 Mile Drive. Modifications have not been made to reduce the pavilion's visibility and obstruction of public views. Although sited and designed to comply with the DMF LUP's ESHA policies (see Finding No. 4 and supporting evidence), the structure's massing, colors, and materials detract from the scenic values of the shoreline and introduce a prominent structure into the forest. Accordingly, without modifications, the proposed design and siting of the accessory structure have the potential to materially degrade the existing viewshed, specifically a viewshed that is recognized as being of public importance, by eliminating open ocean views and introducing a structure that is not subordinate to the scenic and natural environment. Therefore, the proposed accessory structure would have a substantial adverse visual impact.
- e) *Del Monte Forest Policy 47. Views from designated public access areas and vista points, from Highway 68 and 17-Mile Drive corridors, and of ridgelines as seen from the public viewing areas identified on Figure 3, shall be protected as resources of public importance, and development that could adversely impact such views shall only be allowed where it protects, preserves, and if feasible enhances, such scenic resources. Conservation and scenic easements shall be required as one means of protecting such views in perpetuity.* This policy is supported by DMF CIP section 20.147.070(B)(1)

The subject property is located along 17 Mile Drive, adjacent to the intersection of Cypress Drive and 17 Mile Drive. Figure 3 illustrates the approximate front third of the property as being visible from 17 Mile Drive. Figure 3 also discloses that it's only illustrative, and that a site visit is required to confirm visibility. As confirmed via multiple site visits, the subject property and proposed pavilion are visible from 17-Mile Drive. The proposed pavilion introduces a structure that blocks public views of the ocean. Inconsistent with Policy 47, blocking ocean views with an ancillary structure does not protect, preserve, or enhance

scenic resources, such as views from 17 Mile Drive, including the forest, shoreline, and ocean.

f) *Policy 48. Development within visually prominent settings, including those identified on Figure 3, shall be sited and designed to avoid blocking or having a significant adverse impact on significant public views, including by situating lots, access roads, and/or buildings to maximize the effectiveness of screening vegetation and related viewshed mitigation. Lots, access roads, and/or buildings should also be sited to minimize tree removal and visually obtrusive grading.* This policy is supported by DMF CIP section 20.147.070(B)(2), which also requires that development within visually prominent settings, such as 17 Mile Drive, be sited and designed to avoid blocking or having a significant adverse impact on significant public views. Policy 47 and DMF CIP section 20.147.070(B)(2) are not recommendations, but rather requirements that assist in preserving the public viewsheds within the DMF LUP planning area.

The proposed pavilion introduces a structure within a visually prominent setting that blocks public views of the ocean. Specifically, the project obstructs and degrades a noteworthy portion of the only remaining ocean views visible from along the front property line (17-Mile Drive). The structure does detract from the scenic values of the shoreline and introduces a prominent structure into the forest.

Inconsistent with Policy 48, the ancillary structure has been sited and designed in a manner that does not avoid blocking public (ocean) views. Introduction of an accessory structure along a scenic corridor that also blocks protected ocean and shoreline views constitutes a significant impact on public views. Such impact could be avoided with alteration to the massing and colors and materials of the accessory structure.

g) *Policy 53. Design and siting of structures in public views of scenic areas should not detract from scenic values of the forest, stream courses, ridgelines, or shoreline. Structures, including fences, shall be subordinate to and blended into the environment, including by using appropriate materials that will achieve that effect. Where necessary, modifications shall be required for siting, structural design, shape, lighting, color, texture, building materials, access, and screening to protect such public views.* This policy is supported by DMF CIP section 20.147.070(B)(3), which requires that new structures be designed and sited to “*not detract from scenic values of the forest, stream courses, ridgelines, or shoreline... and be subordinate to and blended into the environment, including by using appropriate construction and materials to achieve that effect.*”

As proposed, the pavilion structure would block unfiltered and filtered views of the shoreline and adjacent Pacific Ocean (Policy 56 protects views from the road [17-Mile Drive and other scenic corridors] to the sea [Pacific Ocean]; see subsequent evidence). The height, length, and colors and materials of the proposed structure do not protect public ocean and shoreline views and are not subordinate to the natural

environment. To meet necessary DMF LUP and CIP requirements, HCD-Planning staff requested modifications to the design, shape, color, and building materials, however, such changes were not made. As a result, the structure does detract from the scenic values of the shoreline, forest, and ocean.

h) Policy 56. New development, including ancillary structures such as fences constructed between 17-Mile Drive and the sea (Pacific Grove gate to Carmel gate portion), shall be designed and sited to minimize obstructions of and degradation to views from the road to the sea. *Examples of methods to reduce obstruction include, but are not limited to the following: height limits, use of see-through materials for fences, and limitations on landscape materials that would block views, whether immediately or at maturity.* This policy is supported by DMF CIP section 20.147.070(B)(12), which allows the County of Monterey to impose modifications to “*avoid obstruction and view impacts.*”

The subject property is located between 17 Mile Drive and the sea (Pacific Ocean). As proposed, the structure would block open ocean views (unobstructed views) and partially screened ocean views (screened by existing Cypress canopies). The introduction of the proposed 1,171-square-foot ancillary structure, as designed, does not minimize obstructions and degradation of ocean views. Per Policy 53, staff recommends modifications be made to minimize obstructions of and degradation of ocean views, specifically open ocean views, as required by Policy 56, but the Applicant/Owner disputed the need. Without modifications, the proposed pavilion is inconsistent with Policy 56 and related visual resource protection policies.

i) Policy 123 and 137. Public viewsheds are an important component of shoreline access and public recreational use. The development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points.

Future development shall be compatible with the goal of retaining and enhancing public visual access. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points, and shall be sited and designed to be compatible with the existing scenic character of the area.

17 Mile Drive is designated a public scenic corridor of special significance. Views to and along the coastal area, shoreline, and ocean are identified as being significant public views (Policies 56 and 53, and California Coastal Act Section 30251). Accordingly, introduction of an ancillary structure that blocks protected public views, such as ocean views, and does not enhance the scenic character or protect the existing viewshed is a significant adverse visual impact within the DMF LUP planning area.

- j) Staff conducted a site inspection on February 10, 2025, to assess and confirm the potential of the project to impact Visual Resources.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

6. FINDING: **PARTIAL INCONSISTENCY (PUBLIC ACCESS)** – The project is partially in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No physical public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public lateral use or trust rights over this property.
- c) The subject property, being in an area with a steep rocky shoreline with no proposed trail or lateral access way, is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
- d) The proposed 1,171 square-foot pavilion structure would significantly block protected public ocean views from 17 Mile Drive, and accordingly, is inconsistent with section 20.147.130(C)(5) of the Monterey County Coastal Implementation Plan (CIP Part 5, Regulations for Development in the Del Monte Forest Land Use Plan Area), which states *Public viewsheds are an important component of shoreline access and public recreational use. Development shall not block significant public views and shall not significantly adversely impact public views and scenic character, including with specific attention to the 17-Mile Drive corridor and designated public access areas/vista points.* Also see Finding No. 5, evidence “h”.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240069.

7. FINDING: **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)** – The project is categorically, and statutorily, exempt from environmental review and no unusual circumstances were found to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines section 15303(a) categorically exempts one single-family residence or a second dwelling unit in a residential zone, with up to three single-family residences being eligible for construction or conversion under this exemption. The project includes minor modifications to an existing single family dwelling and accessory dwelling unit.
- b) California Environmental Quality Act (CEQA) Guidelines section 15270 statutorily exempts projects which are disapproved by a public

agency. The pavilion structure portion of this project is recommended for denial.

- c) There is no substantial evidence, based upon the record as a whole, that the project, as conditioned, and as modified in this resolution to remove the pavilion structure, may have a significant effect on the environment.
- d) Evidence that has been received and considered includes: The application materials, technical studies and reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (Planning File No. PLN240069) and are incorporated herein by reference.
- e) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. The project is located adjacent to Environmentally Sensitive Habitat (ESHA) but has been designed and thoroughly conditioned, as required by the DMF LUP (Policy 20), to avoid significant impacts on biological resources of concern. As conditioned, eliminating the proposed pavilion from the project plans would avoid a significant adverse visual impact.
- f) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN240069.

8. FINDING: **NO VIOLATIONS** – The subject property complies with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and violations existing on subject property have been abated and Code Enforcement cases have been closed.
b) Staff conducted site inspections on February 10, 2025. County records were researched to assess if any violation exists on the subject property. There are no known violations on the subject parcel.
c) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in project file PLN240069.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE: a) Pursuant to Section 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
b) Pursuant to Section 20.86.080.A of the Monterey County Zoning Ordinance (Title 20), the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea and development that is permitted in the underlying zone as a conditional use (i.e.; 750

feet of known archaeological resources, and 100 feet of environmentally sensitive habitat).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 1) Find the project modifications to the single family dwelling and Accessory Dwelling unit categorically exempt pursuant to Section 15303(a), and find that denial of the pavilion structure is statutorily exempt pursuant to Section 15270, of the CEQA Guidelines;
- 2) Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to convert a caretakers unit into a 1,103 square foot accessory dwelling unit with minor exterior modifications; and
 - b. Coastal Administrative Permit and Design Approval to allow exterior modifications to an existing 8,747 square foot single family dwelling, construction of a 182 square foot second story deck, and site improvements including an outdoor seating area and replacement hardscape; and
 - c. Coastal Development Permit to allow development within 750 feet of known archaeological resources; and
 - d. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat; and
- 3) Deny a Coastal Administrative Permit and Design Approval to allow construction of a 1,171 square foot pavilion structure.

All of which are in general conformance with the attached conditions and project plans, excepting the proposed pavilion structure, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 26th day of March, 2025, upon motion of _____, seconded by _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240069

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240069) allows:

- a. A Coastal Administrative Permit and Design Approval to convert a caretakers unit into a 1,103 square foot accessory dwelling unit with minor exterior modifications; and
- b. a Coastal Administrative Permit and Design Approval to allow exterior modifications to an existing 8,747 square foot single family dwelling, construction of a 182 square foot second story deck, and site improvements including an outdoor seating area and replacement hardscape; and
- c. Coastal Development Permit to allow development within 750 feet of known archaeological resources;
- d. Coastal Development Permit to allow development within 100 feet of Environmentally Sensitive Habitat; and
- e. Coastal Development Permit to allow development within 50 feet of a Coastal bluff.

The property is located at 3270 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-462-005-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Combined Development Permit (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 008-462-005-000 on March 26, 2025. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and HCD - Planning within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costanoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.
- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist for on-call archaeological services should resources be discovered during construction activities. Submit the letter to the Director of the HCD – Planning for approval.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&Rs, and shall be included as a note on an additional sheet of the final/parcel map.

Prior to Final, the Owner/Applicant, per the Archaeologist , shall submit a report or letter from the archaeologist summarizing their methods, findings, and recommendations if their services are needed during construction or if no resources were found.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"The following reports are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports:

- Geologic and Coastal Bluff Recession Assessment Report, dated July 17, 2024 (Monterey County Document # LIB240191), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California.
- Geotechnical Investigation, dated June 19, 2024 (LIB240192), prepared by Haro, Kasunich and Associates, Inc., Watsonville, California.
- Biological Assessment, dated September 27, 2024 (LIB240190), prepared by Pat Regan, Regan Biological & Horticultural Consulting, Carmel Valley, California.
- Arborist report with Forestry Management Plan, dated July 23, 2024 (LIB240188), prepared by Urban Tree Management, Los Gatos, California.
- Phase I Historic Assessment, dated May 5, 2020 (LIB240193), prepared by PAST Consultants LLC, Petaluma, California.
- Phase I and II Archaeological Assessment and Evaluation, dated December 2023 (LIB240189), prepared by Susan Morley, M.A., Register of Professional Archaeologists, and Brenna Wheelis, B.A., Marina, California. "

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

7. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where environmentally sensitive habitats, remnant native sand dune habitats, habitats of rare, endangered and sensitive native plants and animals, and visually prominent areas exist in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the Director of HCD - Planning and the Executive Director of the California Coastal Commission, and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the Del Monte Forest Conservancy for review and approval.

Prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to the issuance of grading and building permits, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval

Prior to the issuance of grading and building permits, or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

8. PDSP001 - MONTEREY CYPRESS HABITAT PROTECTION (PART 1)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

Before construction commences, the project arborist will visit the site to inspect that all tree protection measures have been implemented. The project arborist will write a signoff letter and submit the said letter to the contractor and only then shall construction activities begin.

Protective fencing is required to be provided during the construction period to protect trees to be preserved. This fencing must protect a sufficient portion of the root zone to be effective. Fencing is recommended to be located 8 times (8x) the DBH (diameter at breast height) in all directions from the tree. DBH and CRZ (critical root zone) for each tree are shown in the attached Tree Survey Data Table (Appendix-D) of the report "Arborist report with Forestry Management Plan, dated July 23, 2024 (LIB240188), prepared by Urban Tree Management, Los Gatos, California." Where the 8 times the DBH is not possible, $\frac{3}{4}$ " plywood shall be laid over a 4"-6" layer of organic mulch spread, evenly to the fullest extent possible, within the tree protection zone. The fencing shall:

- a. Consist of chain link fencing and have a minimum height of 6'.
- b. Be mounted on steel posts driven approximately 2' into the soil.
- c. Fencing posts must be located a maximum of 10' on center.
- d. Protective fencing must be installed prior to the arrival of materials, vehicles, or equipment.
- e. Protective fencing must not be moved, even temporarily, and must remain in place until all construction is completed, unless approved by a Certified Arborist.
- f. Tree protection signage shall be mounted to all individual tree protection fences.

Based on the existing development and the condition and location of trees present on site, the

following is recommended:

1. The Project Arborist is Chris Stewart (408) 313-1937. The Project Arborist should supervise any excavation activities within the tree protection zones of these trees.
2. Any roots exposed during construction activities that are larger than 2 inches in diameter should not be cut or damaged until the Project Arborist has an opportunity to assess the impact that removing these roots could have on the trees.
3. The area under the driplines of trees should be thoroughly irrigated to a soil depth of 18 inches once a month during the dry months.
4. Mulch should cover all bare soil within the tree protection fencing. This material must be 6-8 inches in depth after spreading, which must be done by hand. Coarse wood chips are preferred because they are organic and degrade naturally over time.
5. There must be no grading, trenching, or surface scraping inside the driplines of protected trees, unless specifically approved by a Certified Arborist. For trenching, this means:
 - a. Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a Certified Arborist. Alternative methods of installation may be suggested.
 - b. Landscape irrigation trenches must be located a minimum distance of 10x the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.
6. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.
7. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.

8. Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
9. Landscape irrigation systems must be designed to avoid water striking the trunks of trees, especially Oak trees.
10. Any pruning must be done by a Company with an Arborist Certified by the ISA (International Society of Arboriculture) and according to ISA, Western Chapter Standards, 1998.

Compliance or Monitoring	Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.
Action to be Performed:	During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.
	Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

9. PDSP001 - MONTEREY CYPRESS HABITAT PROTECTION (PART 2)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

The Project Biologist, in coordination with a landscape architect, shall develop an Indigenous Monterey Cypress Habitat Restoration Plan with the primary goal of restoring all portions of the property not encumbered with existing or approved development to high-value, self-functioning Monterey cypress habitat, per Policy 20 of the DMF LUP. Other objectives of the plan include eliminating all exotic invasive species, including but not limited to ice plants. The Monterey Cypress Habitat Restoration Plan shall also include an illustrative plan that must be incorporated into the construction plans prior to issuance. The Monterey Cypress Habitat Restoration Plan shall include at a minimum, the following actions:

- Remove introduced landscape plantings and eradicate all invasive species within the restoration area.
- Seed and plant collections of site-specific native Monterey Cypress habitat-compatible species for propagation for restoration plant stock. It is imperative to keep the genetic stock of restoration plant material local to the parcel. Contract grow plant materials with specialized restoration nursery familiar with the propagation and growing requirements of the subject native plant species.
- Stabilize soils with erosion control measures.
- Establish exotic species control protocols and management tools.
- Establish a monitoring program to track success of exotic species control and establishment of native Monterey Cypress habitat-compatible species. Quarterly monitoring will be conducted for the first three years followed by biannual monitoring for years four and five. Success criteria and percent cover analysis to be determined after establishing the baseline data and will be incorporated into the restoration plan.
- Establish long-term maintenance program for invasive species control, soil stabilization, and other actions noted during monitoring.
- Avoid impacts to outlined habitats and improve areas as habitat for wildlife by maintaining good land stewardship practices.
- Preparation of quarterly, biannual, and final reports summarizing the implemented protective measures, observed and/or impacts species, compliance with success criteria, and the need for additional remediation.

Compliance or Monitoring Action to be Performed:

Prior to issuance of construction permits, the Applicant/Owner shall submit a Monterey Cypress habitat restoration plan to HCD-Planning for review and approval that complies with the requirements of this condition and Policy 20 of the DMF LUP.

Prior to final inspection, the Applicant/Owner shall demonstrate to HCD-Planning's satisfaction that exotic species have been removed and initial restoration activities have commenced.

On a quarterly, bi-annual, and final basis, the Project Biologist shall submit reports to HCD-Planning containing evidence (written and photographic) demonstrating compliance with this condition and the approved Restoration Plan. Should additional restoration activities be required, the Applicant/Owner shall implement all recommendations.

10. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

Owner/Applicant shall execute and cause to be notarized an agreement to this effect concurrent with the issuance of building permits, use of the property, filing of the final map, recordation of the certificates of compliance, or demand of the County Counsel's office, whichever occurs first and as applicable. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to Housing and Community Development – Planning for the County's review and signatures.(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management

11. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

The CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

12. PDSP002 - OFF-SITE MONTEREY CYPRESS MITIGATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

The proposed project introduces 2,289 square feet of development within Monterey cypress habitat. Per Policy 20, the Applicant/Owner shall either restore 4,578 square feet of off-site Monterey cypress habitat (Figure 2a of the DMF LUP) or pay an "in-lieu" mitigation fee commensurate to the cost to restore 4,578 square feet to the Del Monte Forest Conservancy. The in-lieu fee shall be used to implement Monterey cypress restoration and enhancement measures.

Should the Applicant/Owner/Project Biologist restore an area of off-site Monterey Cypress habitat at a 2:1 ratio (Approx. 4.578 square feet), the Applicant/Owner shall submit a restoration plan meeting the report requirements of Condition No. 9 for this off-site area. Prior to final inspection, the Applicant/Owner shall demonstrate the HCD Planning that the off-site restoration has been initiated. On an on-going basis for the duration of the monitoring period, HCD-Planning shall receive reports from the Project Biologist outlining compliance with the off-site restoration plan.

Should an in-lieu fee be paid, the Applicant/Owner shall demonstrate that payment has been made to the Del Monte Forest Conservancy and that such payment is commensurate to the cost to restore approximately 4,578 square feet of Monterey cypress habitat. Prior to final inspection, the Del Monte Forest Conservancy shall demonstrate the HCD Planning that an off-site restoration area has been selected and provide a timeline for restoration. HCD-Planning shall receive a final letter from the Del MOnte Forest Conservancy confirming restoration wa completed.

Compliance or Monitoring Action to be Performed:

Prior to issuance of construction permits, the Applicant/owner shall demonstrate whether they will undertake off-site restoration activities or will pay an in-lieu fee that would be used by the Del Monte Forest Conservancy to enhance and protect off-site Monterey cypress habitat.

Should the Applicant/Owner/Project Biologist restore an area of off-site Monterey Cypress habitat at a 2:1 ratio (Approx. 4.578 square feet), the Applicant/Owner shall submit a restoration plan meeting the report requirements of Condition No. 9 for this off-site area. Prior to final inspection, the Applicant/Owner shall demonstrate the HCD Planning that the off-site restoration has been initiated. On an on-going basis for the duration of the monitoring period, HCD-Planning shall receive reports from the Project Biologist outlining compliance with the off-site restoration plan.

Should an in-lieu fee be paid, the Applicant/Owner shall demonstrate that payment has been made to the Del Monte Forest Conservancy and that such payment is commensurate to the cost to restore approximately 4,578 square feet of Monterey cypress habitat. Prior to final inspection, the Del Monte Forest Conservancy shall demonstrate the HCD Planning that an off-site restoration area has been selected and provide a timeline for restoration. HCD-Planning shall receive a final letter from the Del MOnte Forest Conservancy confirming restoration wa completed.

13. PDSP003 - REVISE PROJECT PLANS

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of the construction permit, the Applicant and Owner shall remove the proposed pavillion from the project plans.

Compliance or Monitoring Action to be Performed: Prior to issuance of the construction permit, the Applicant and Owner shall remove the proposed pavillion from the project plans.

SYMBOLS		ABBREVIATIONS		PROJECT DATA		DRAWING INDEX	
		ROOM NAME 101 ROOM NAME & NUMBER 		PROJECT DATA SITE INFORMATION ADDRESS: 3270 17 MILE DRIVE, PEBBLE BEACH, CA 93953 SCOPE OF WORK MAIN HOUSE: FIRST FLOOR RENOVATION: 2 NEW POWDER ROOMS AND NEW PANTRY. INTERIOR STAIR RECONSTRUCTION TO BRING INTO COMPLIANCE WITH CURRENT BUILDING CODES AND STANDARDS. SECOND FLOOR RENOVATION: NEW LAUNDRY ROOM. NEW ROOF TERRACE AT WEST WING. SOUTH TERRACE IMPROVEMENTS INCLUDING: NEW ROOF ABOVE LIVING ROOM, NEW STEEL AND WOOD TRELLIS. EAST COURTYARD IMPROVEMENTS: NEW LANDING AT DOORS, NEW STEPS AND RAMP TO (E) GRADE. EXTERIOR ENVELOPE IMPROVEMENTS: NEW WATERPROOFING AT EXTERIOR WALLS AND TERRACES THROUGHOUT. REPLACEMENT OF ALL EXTERIOR DOORS AND WINDOWS. (E) ADU: INTERIOR RENOVATION TO INCLUDE: 2 BEDROOMS WITH EN-SUITE BATHROOMS. NEW ROOF MATERIAL TO MATCH MAIN HOUSE. NEW WATERPROOFING, NEW DOORS AND WINDOWS THROUGHOUT.		DWG NO GENERAL A0.01 PROJECT DATA X X A0.70 EXISTING PHOTOS X X A0.80 MATERIAL PALETTE X X	
		ELEV. HT. REFERENCE AVG. ELEVATION AV. AVERAGE AUDIO VISUAL		PROJECT DATA SPECIFICATION(S) SITE F & POLE SQUARE S.S. SANITARY SEWER OR STAINLESS STEEL S.S.D. SEE STRUCTURAL DRAWINGS S.T.C. SOUND TRANSMISSION COEFFICIENT STANDARD(S) STL. STEEL STOR. STORAGE STRUCT. STRUCTURE OR STRUCTURAL SUSP. SUSPENDED S.W. SHEAR WALL S.Y. SQUARE YARD SYS. SYSTEM		DWG NO GENERAL A0.01 PROJECT DATA X X A0.70 EXISTING PHOTOS X X A0.80 MATERIAL PALETTE X X	
		PROJECT NORTH TRUE NORTH NORTH ARROW		PROJECT DATA T. TREAD T&B TOP AND BOTTOM TB. TOWEL BAR T.B.D. TO BE DETERMINED TC. TRASH COMPACTOR TEL. TELEPHONE TEMP. TEMPERED T.O.C. TOP OF CONCRETE T.G. TONGUE AND GROOVE THR. THRESHOLD T.O. TOP OF T.O.B. TOP OF BEAM T.O.P. TOP OF PAVING T.O.S. TOP OF SLAB T.O.S.TL. TOP OF STEEL T.O.W. TOP OF WALL T.P.H. TOILET PAPER HOLDER T.S. TUBE STEEL T.V. TELEVISION TYP. TYPICAL		DWG NO GENERAL A0.01 PROJECT DATA X X A0.70 EXISTING PHOTOS X X A0.80 MATERIAL PALETTE X X	
		KEYED NOTE XX-00		PROJECT DATA BD. BOARD B.DRM. BEDROOM B.F. BOTH FACES BLDG. BUILDING BLKG. BLOCKING BM. BEAM B.P. BUILDING PAPER B.O. BOTTOM B.O.H. BOTTOM OF HOUSE BRKT. BRACKET BRNZ. BRONZE B.TW. BETWEEN BULL. BULLETIN B.U.R. BUILT-UP ROOFING B.VL. BEVEL OR BEVELED C.B. CATCH BASIN C.B.U. CEMENTITIOUS BACKER UNIT CAB. CABINET CATV. CABLE TELEVISION C.C. CENTER TO CENTER C.F. CUBIC FEET C.F.B. CEMENTITIOUS FIBER BOARD C.F.C.I. CONTRACTOR FURNISHED / CONTRACTOR INSTALLED C.I.P. CAST-IN-PLACE C.J. CONTROL JOINT C.L. CENTER LINE CLR. CEILING CLEAR. CLEAR CMU. CONCRETE MASONRY UNIT C.O. CLEAN OUT COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUED OR CONTINUOUS CORR. CORRIDOR COORD. COORDINATE CPT. CARPET C.T. CERAMIC TILE CTR. CENTER CTSK. COUNTERSUNK CUST. CUSTODIAN C.W. COLD WATER C.Y. CUBIC YARD DBL. DOUBLE DEMO. DEMOLITION OR DEMOLISH DEPT. DEPARTMENT DRINKING FOUNTAIN D.F. DIAMETER DIA. DIAPHRAGM DIM. DIMENSION DISP. DISPENSER DIV. 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DIMENSION			



IMAGE 15: ADU - SOUTH FACADE



IMAGE 14: ADU - EAST FACADE



IMAGE 13: ADU - EAST FACADE



IMAGE 16: PAVILION AREA



IMAGE 12: ADU - NORTH FACADE



IMAGE 11: ADU - WEST FACADE



IMAGE 10: VILLA - WEST FACADE

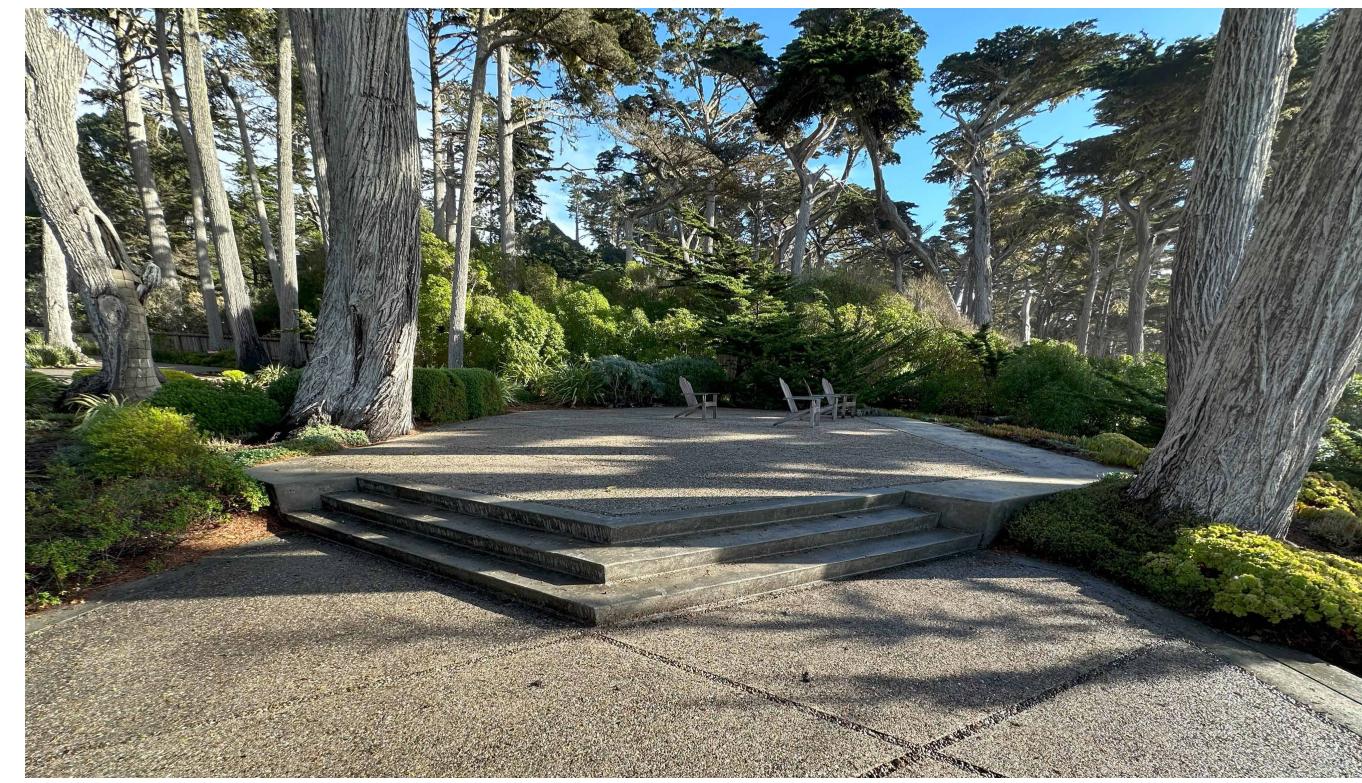


IMAGE 17: PAVILION AREA SLAB

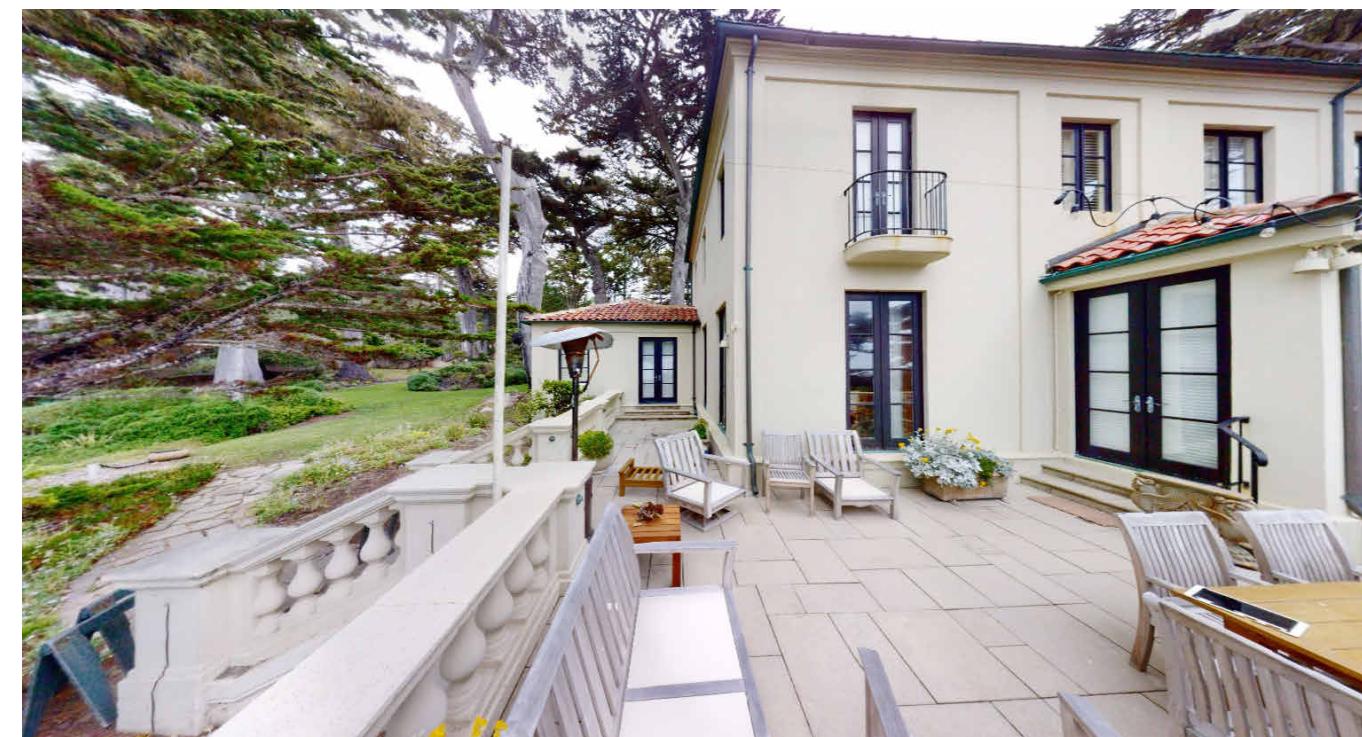


IMAGE 9: VILLA - SOUTH FACADE



IMAGE 8: VILLA - SOUTH FACADE

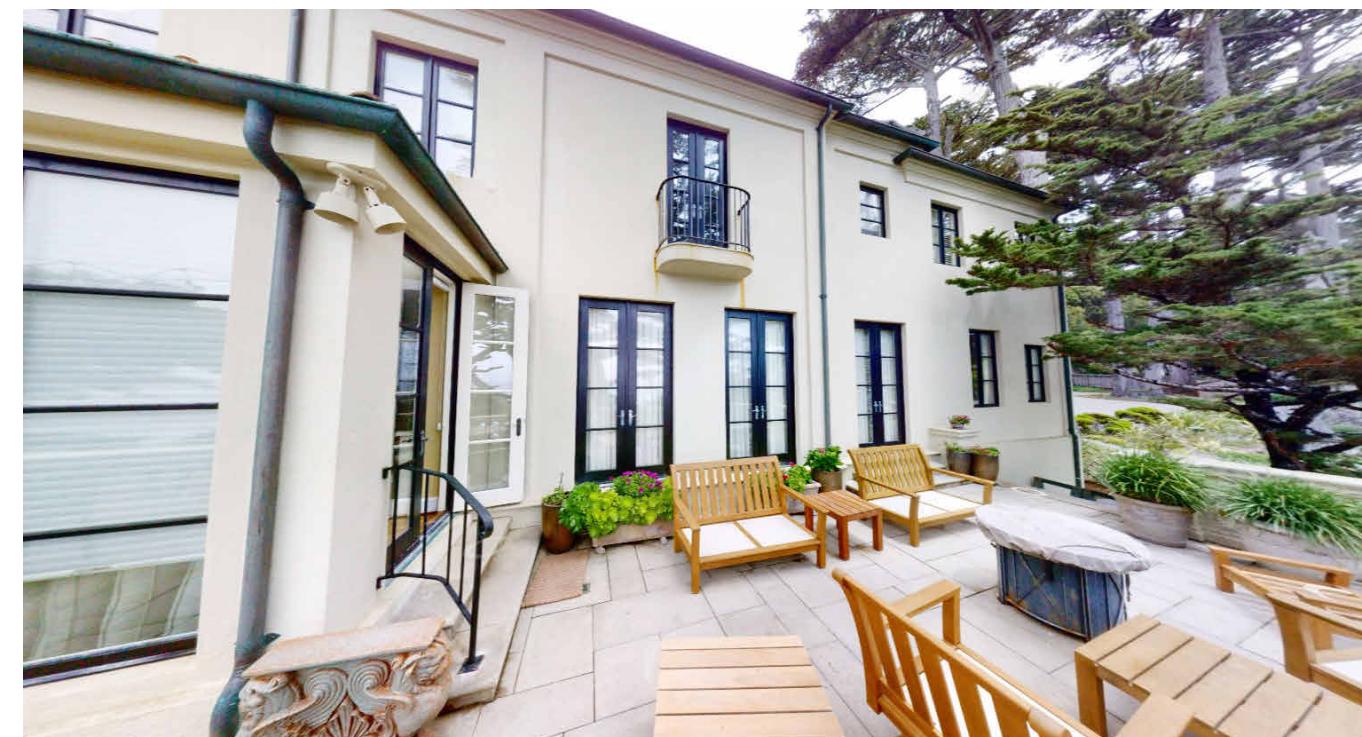


IMAGE 7: VILLA - SOUTH FACADE

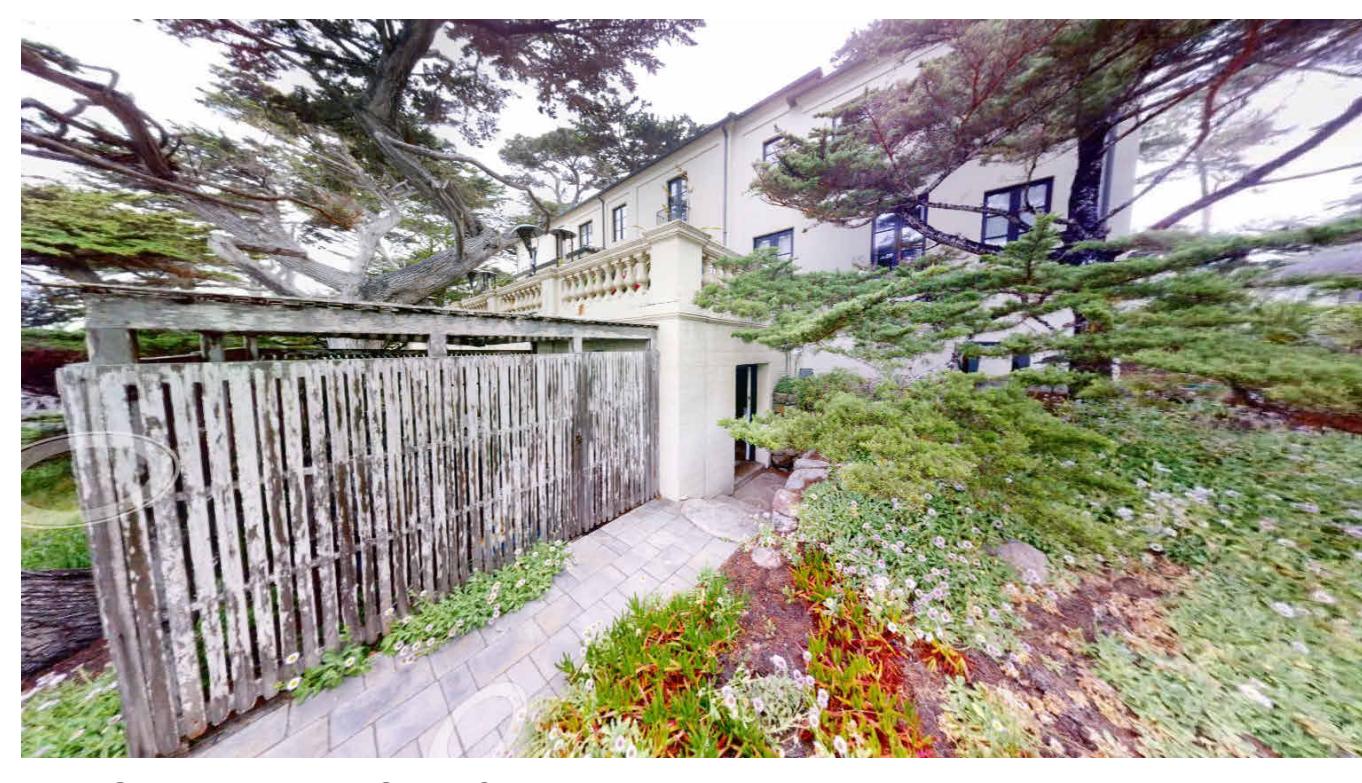


IMAGE 6: VILLA - EAST FACADE

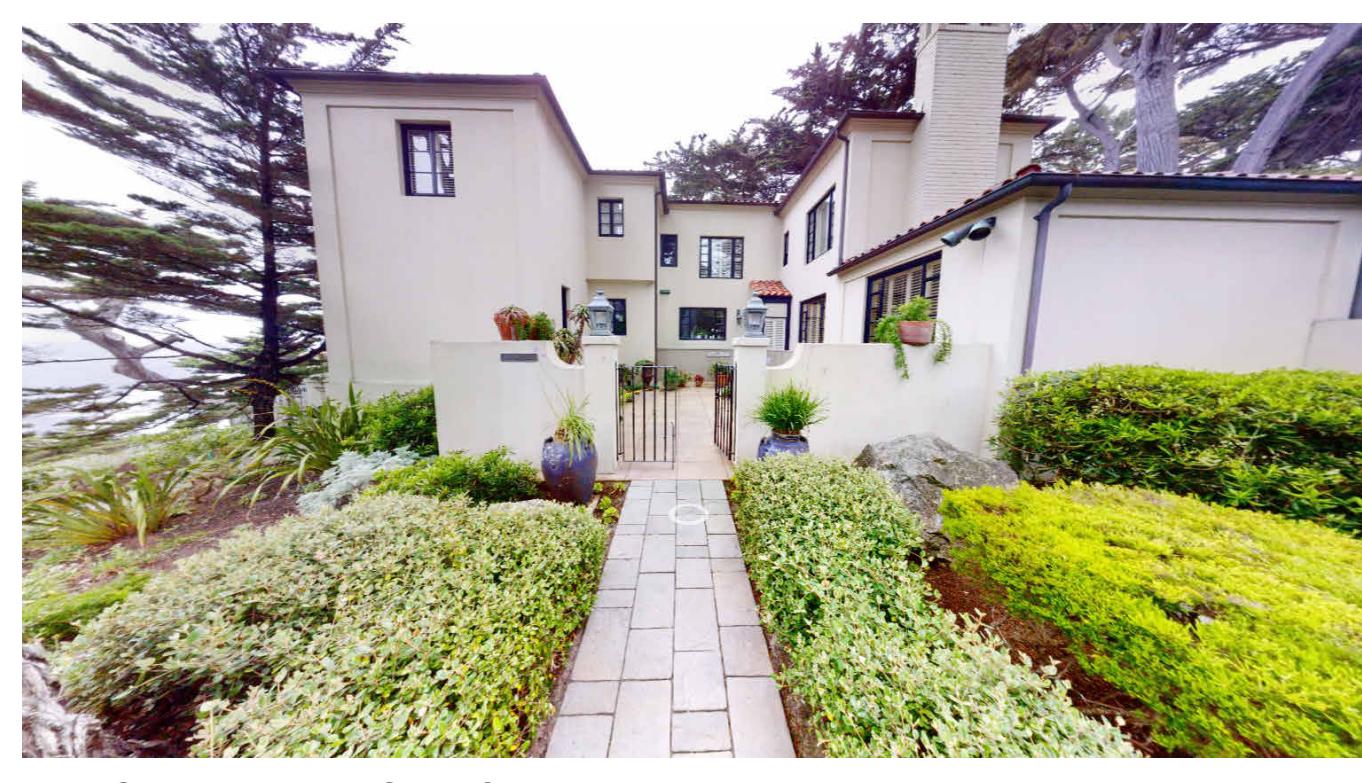


IMAGE 5: VILLA - EAST FACADE



IMAGE 4: VILLA - EAST FACADE



IMAGE 3: VILLA - NORTH FACADE



IMAGE 2: VILLA - NORTH FACADE

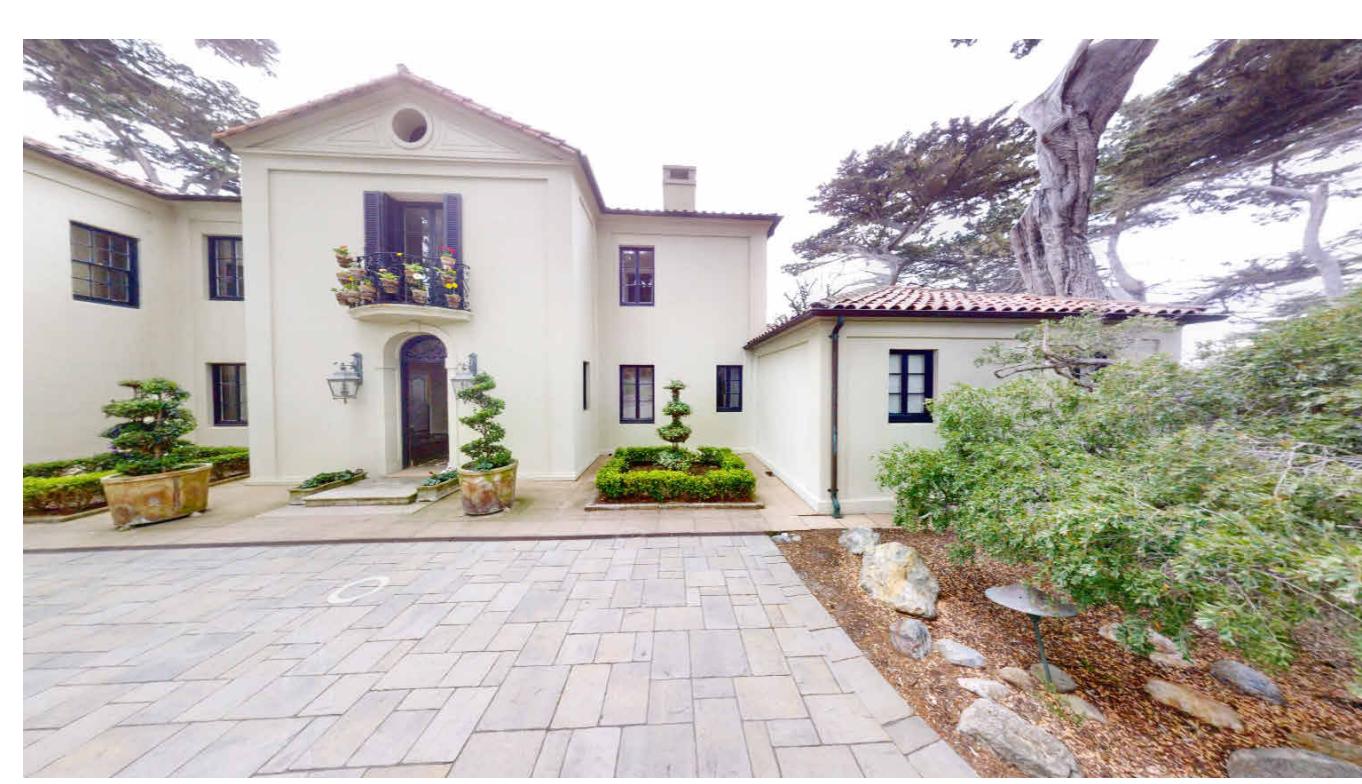


IMAGE 1: VILLA - NORTH FACADE



Agency Approvals

Revision No. Date
1 PLANNING SUBMITTAL 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

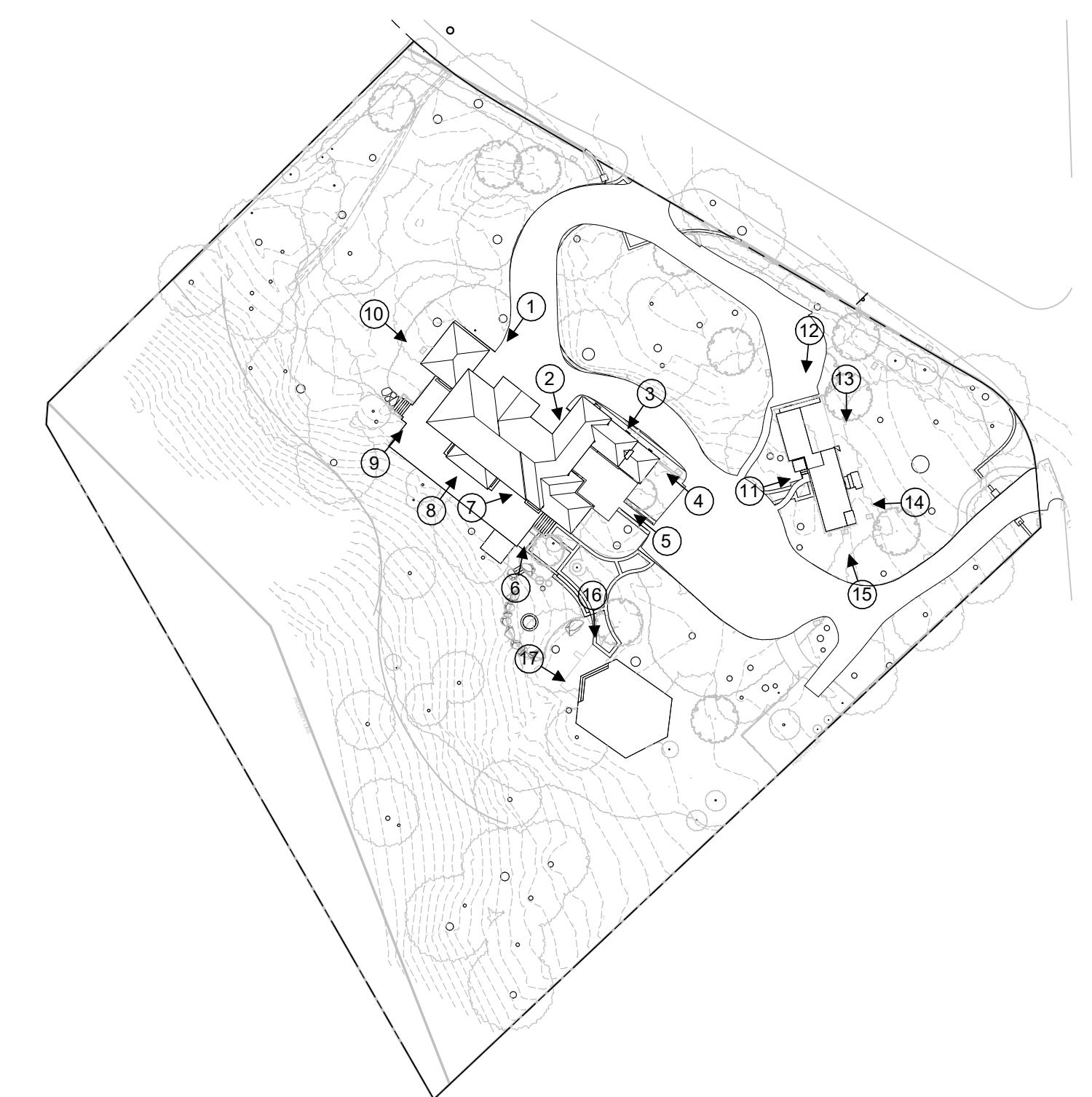
Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of William Duff Architects, Inc. and may not be reused or reproduced in any manner without our express written consent.

Job Title
Villa Cypress Site

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **27 SEPTEMBER 2024**
Issued For **PLANNING RESUBMITTAL**
PLN240069
Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**
Scale

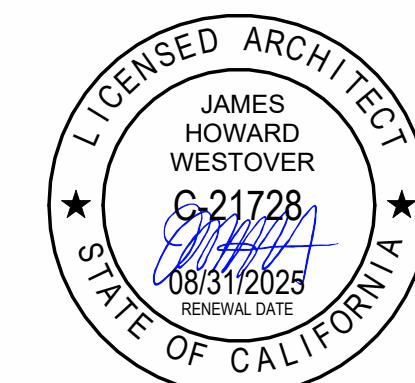


Sheet Title
EXISTING PHOTOS

Sheet No.

KEY PLAN
1/64" = 1'-0"

A0.70



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

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Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale

Sheet Title
MATERIAL PALETTE

Sheet No.

A0.80



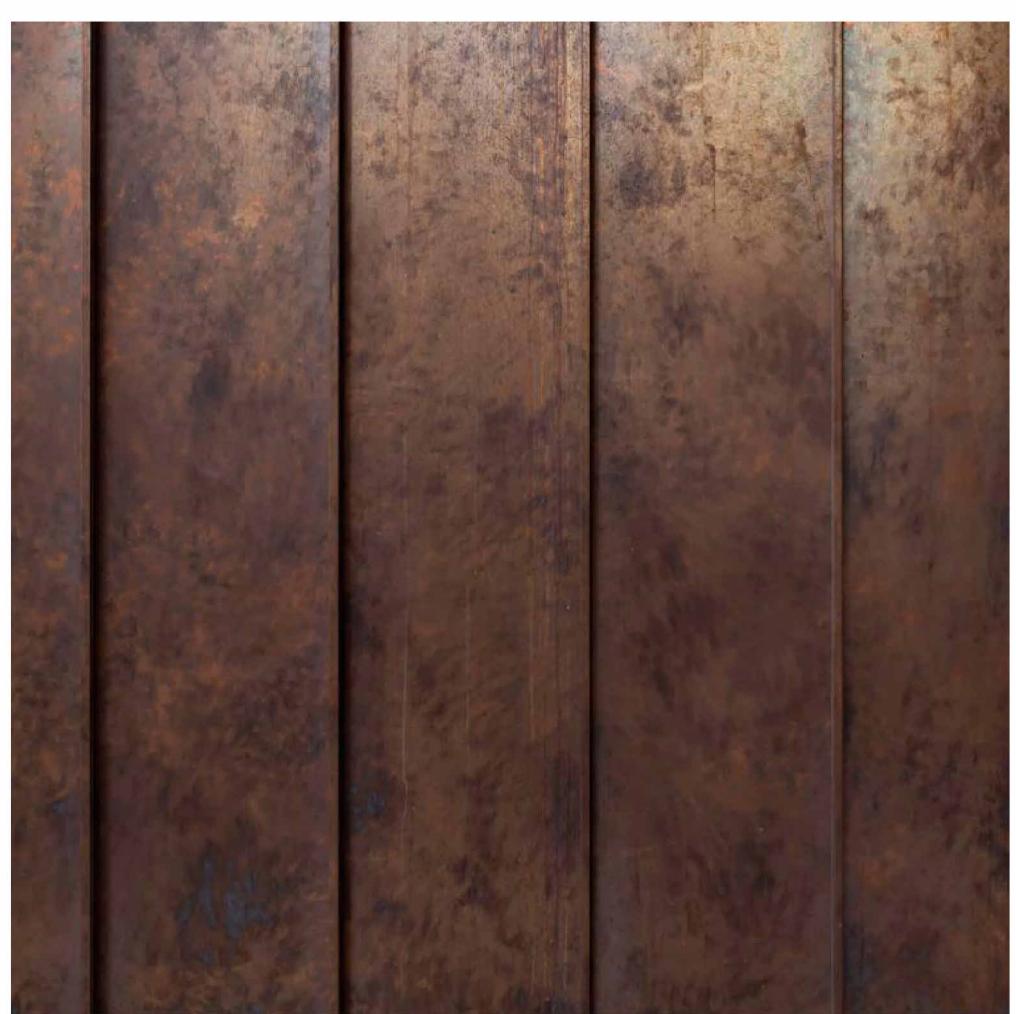
(E) CLAY ROOF TILES



(N) STEEL OR WOOD WINDOWS & DOORS IN DARK BRONZE COLOR



(E) STUCCO



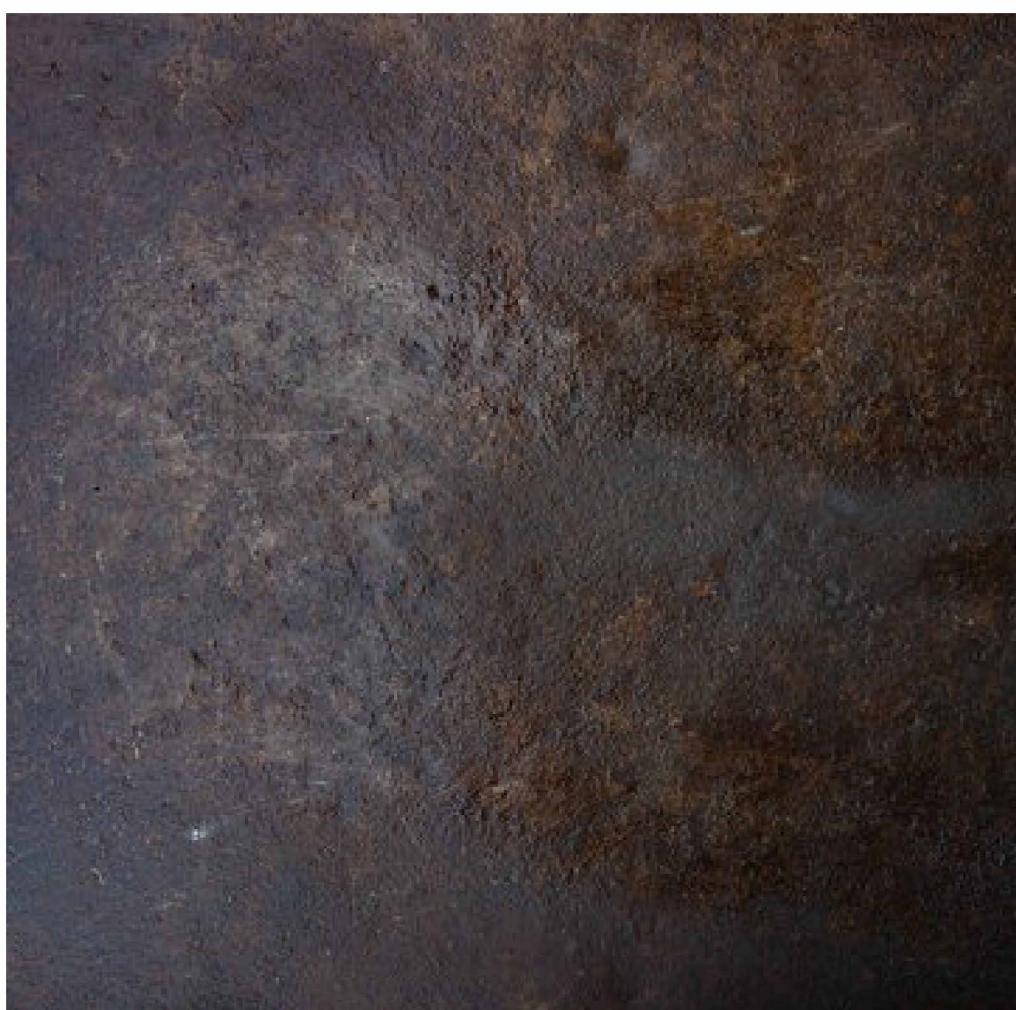
(N) COPPER METAL STANDING SEAM



(E) COPPER METAL GUTTER & RWL



(N) STAINED WOOD



(N) WROUGHT IRON

Map Information:

Basis of Bearings: The bearing of $566^{\circ} 22' 48''E$ between a 1" iron pipe, no tag, marking the easterly corner of Lot 83 per the Amended Map of Pebble Beach (2 C&T 31) and a Redwood 2x2 with nail on the southerly line 17 Mile Drive as shown on that Record of Survey filed in Volume 13 of Surveys at Page 89 and on that Corner Record filed as #1352 is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.
Site Benchmark: Control Point #182 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations.
Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Boundary Legend
A.G.S. - above ground surface
A.S.C. - as shown on
AP - area point
BC - brass cap or begin curve
BFP - backflow preventer
B.G.S. - below ground surface
BLDR - boulder
BOC - back of curb
C.O. - corner
CP - control point
CTL - CONTROL
DOC - document
ENG/ENGR - engineer
FNDN - found
F.C. - fully calculated corner
I.P. - iron pipe
L&T - lead & tag
LS - land surveyor
MAG - MAG NAR
MCD - MCD
MOM - monument
N&T - nail & tag
N.R.F. - no reference found
N.S.F. - not searched for
O.R. - Official Records, Monterey County
O.U. - originally unknown
P.O. - point on line
PP - plastic plug
RCE - registered civil engineer
ROW - right of way
S.F.N.F. - searched for, not found
SPL - split
STA - station/control point
TBM - temporary benchmark

Topography Legend
AC - area concrete
AD - area drain
AL - area light
BLD/BLDG - building
BLDR(S) - boulder(s)
BOC - back of curb
BRK - brick
BW - brick wall
BW - back of sidewalk
CF - curb face
CHIM - chimney
CL - centerline
CLM - column
CON - concrete
D - dirt
DG - decomposed granite
DK - deck
DW - driveway
EX - exposed aggregate concrete
ENCL - enclosure
EP - edge of paving
FF - finished floor
FF-THRESH - finished floor threshold
FH - fire hydrant
FL - flow line
FL-NL - flow line natural grade
FNC - fence
FNC-BRD - board fence
FNC-WD - wood fence
FOB - face of building
FOW - face of wall
FS - finished surface
FTG - tooling
FW - front of sidewalk
GAR - garage
GB - grade break
G - edge of gutter
GV - gate
HC - handicap
HDG - hedge
HRAIL - hand rail
I - intersection
LND - landing
UP - edge of conc gutter
MB - mailbox
MTL - metal
NG - natural grade
P - pool
PTO - planter
PTO - patio
PVR - paver
RD - road
RDO - ridge
ROOF-P - roof peak
ROOF-R - roof ridge
STC - stucco
STN - stone
STP - step
STRP - stripe
SW - sidewalk
SWL - steps
TC - top of curb
TOF - top of slope
TOE - toe of slope
TW/TOW - top of wall
WALL-STN - stone wall
WALL-STC - stucco wall

APN: 008-462-004

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LOCATION MAP

NTS





LEGEND

BOUNDARY LINE

GRADE BREAK

STORM DRAIN AREA DRAIN

EXISTING

PROPOSED GRADE

KEYNOTE

- ① NEW WALKWAY
- ② NEW DRIVEWAY
- ③ NEW FIRE PIT
- ④ NEW RETAINING WALL
- ⑤ EXISTING TRENCH DRAIN TO REMAIN
- ⑥ EXISTING DRAIN INLET TO REMAIN
- ⑦ NEW ROCK WALL
- ⑧ NEW PLASTER WALL TO MATCH EXISTING, SEE LANDSCAPE PLAN
- ⑨ EXISTING IRRIGATION METER TO BE RELOCATED
- ⑩ NEW GRAPESTAKE FENCE
- ⑪ EXISTING GENERATOR / PENDING ISSUANCE OF BUILDING PERMIT

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Job Title
Villa Cypress

Job Address
**3270 17 MILE DRIVE
PEPPER BEACH, GA 30065**

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Issued For

Job Number: 20240473

Scale
As indicated

Sheet Title

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

Sheet No

C1.0

LEGEND

PROPERTY LINE	
TEMPORARY CONSTRUCTION FENCE	
FIBER ROLL, SEE DETAIL 1 ON SHEET C2.1	
INLET PROTECTION, SEE DETAIL 3 & 4 ON SHEET C2.1	
STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL 2 ON SHEET C2.1	
ENTRANCE/EXIT TIRE WASH PER DETAIL 5 ON SHEET C2.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)	
CONCRETE WASTE MANAGEMENT PER DETAIL 6 ON SHEET C2.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)	
CONCRETE BARRIERS	



NOT FOR CONSTRUCTION

Agency Approvals

NOT FOR CONSTRUCTION

Revision No.

Date

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Job Title
Villa Cypress

Job Address
3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

Date: 9/27/24

Issued For
PLANNING PERMIT RESUBMITTAL

Job Number: 20240473

Drawn By: SW Checked By: RC

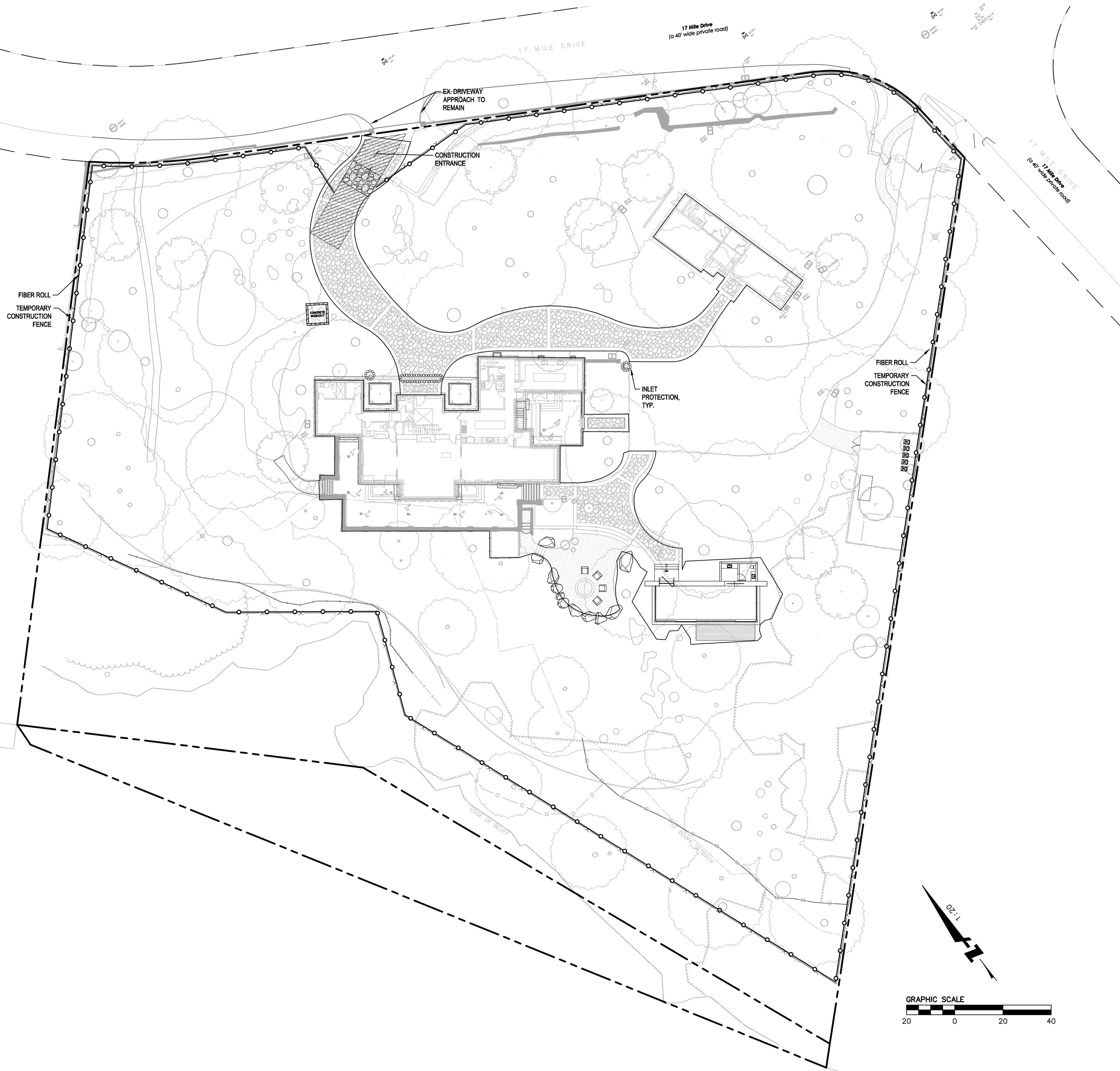
Scale
As indicated

Sheet Title
EROSION CONTROL PLAN

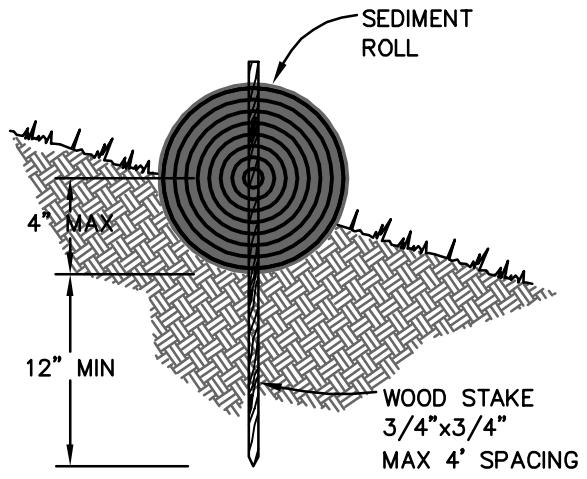
Sheet No.

C2.0

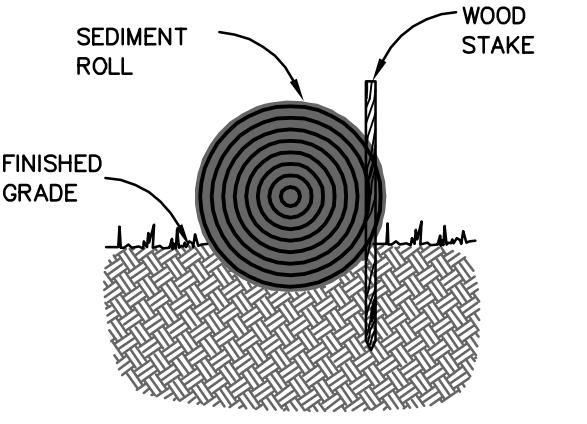
GRAPHIC SCALE
20 0 20 40



DRAFT, NOT FOR CONSTRUCTION



ENTRENCHMENT DETAIL
IN SLOPE AREA



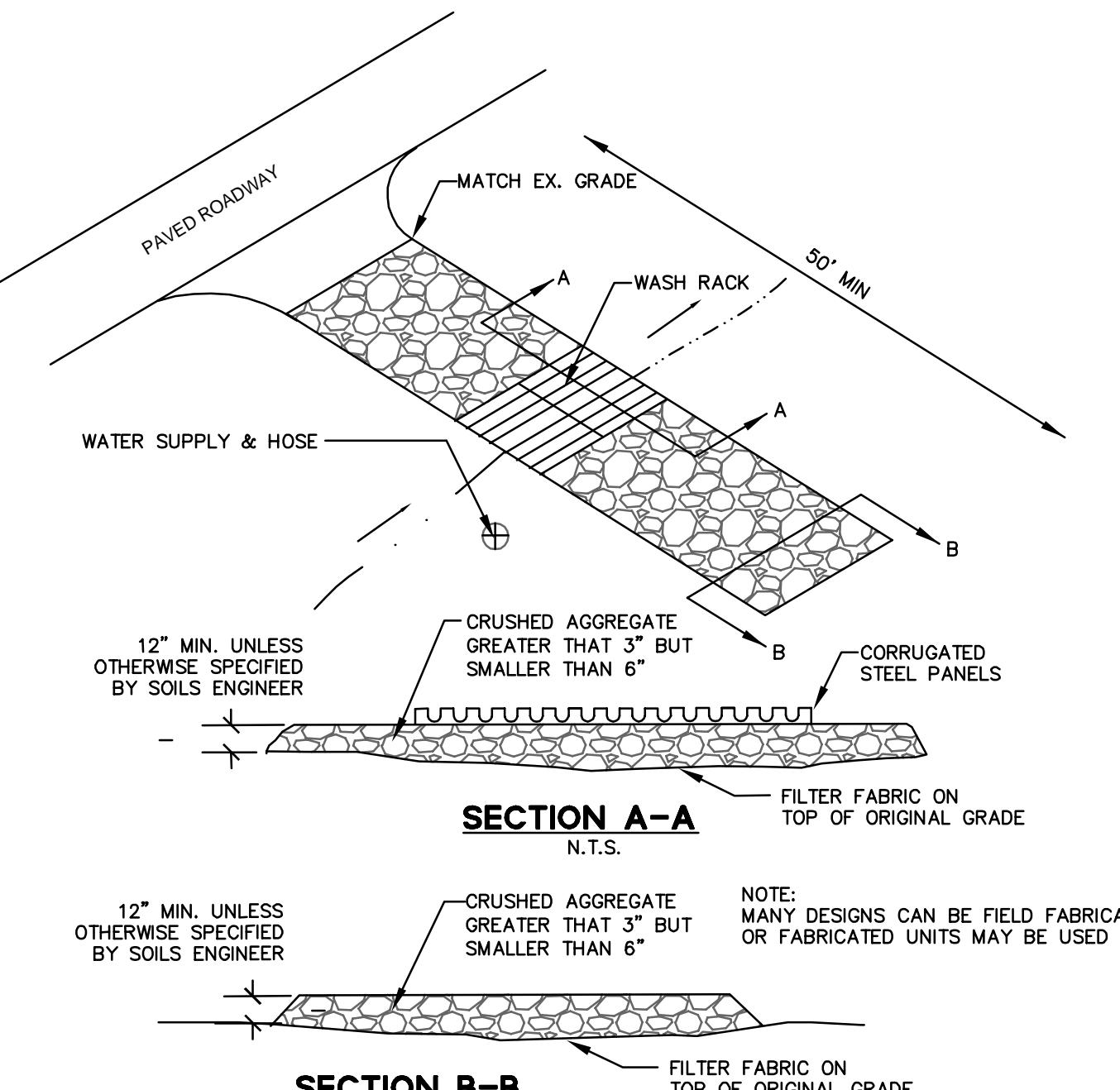
ENTRENCHMENT DETAIL
IN FLAT AREA

NOTES:

1. USE REED & GRAHAM, INC. GEOSYNTHETICS STRAW WATTLE FIBER ROLL (COMES IN 9" X 25' ROLLS) OR APPROVED EQUIVALENT.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 5" DEEP, DUG ON CONTOUR.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET.
4. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY. IN PAVED AREAS, USE SAND BAGS TO SECURE FIBER ROLLS IN PLACE OF WOOD STAKE.
5. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" MIN ROCK.
6. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN 12'. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 25', WHICHEVER IS LESS.
7. THE LENGTH OF THE PAD SHALL NOT BE LESS THAN 50'.

1 FIBER ROLL

SCALE: NTS

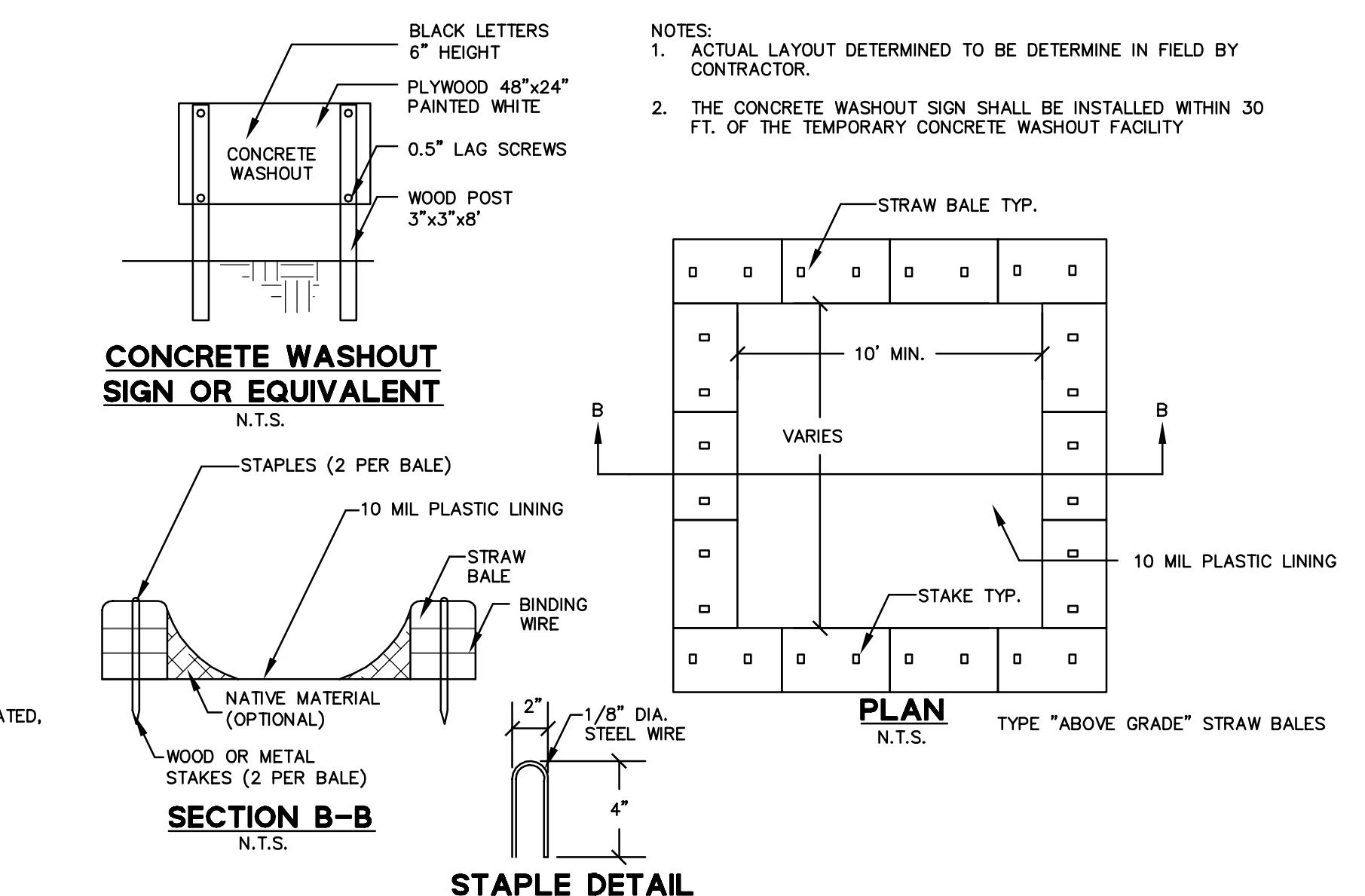


5 ENTRANCE / OUTLET TIRE WASH

SCALE: NTS

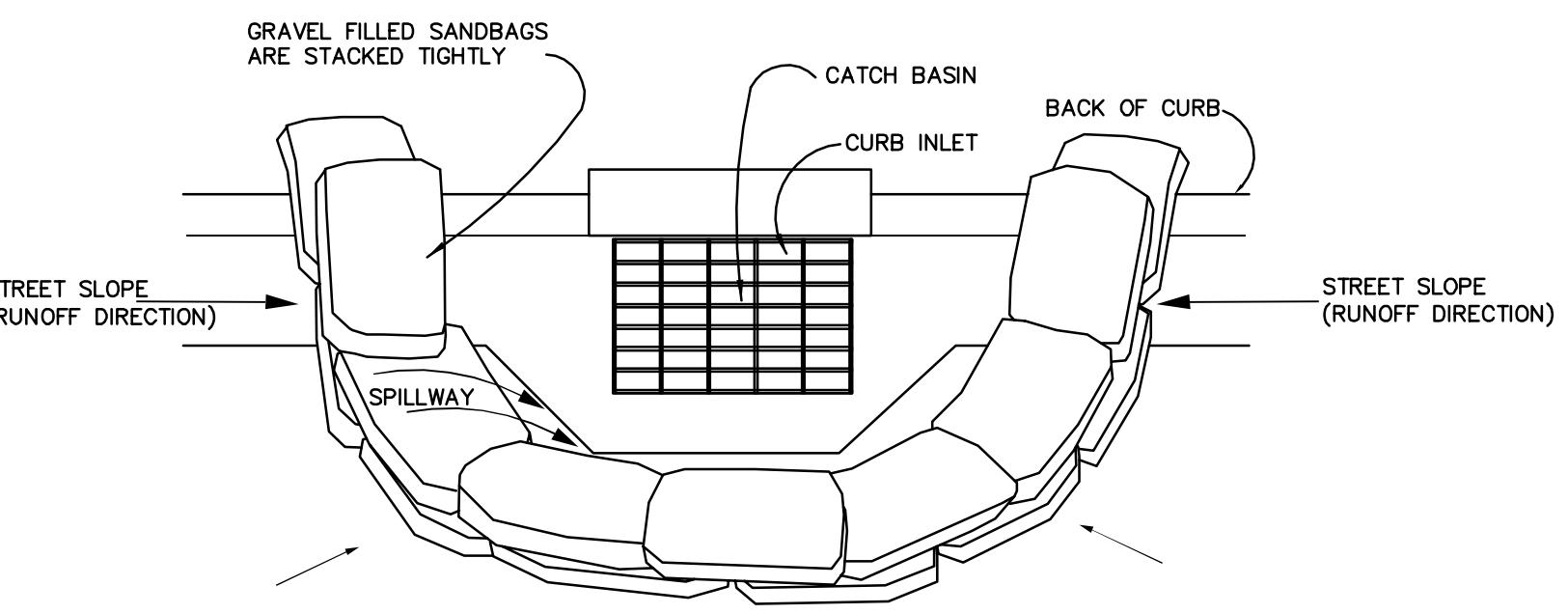
2 STABILIZED CONSTRUCTION ENTRANCE/EXIT

SCALE: NTS

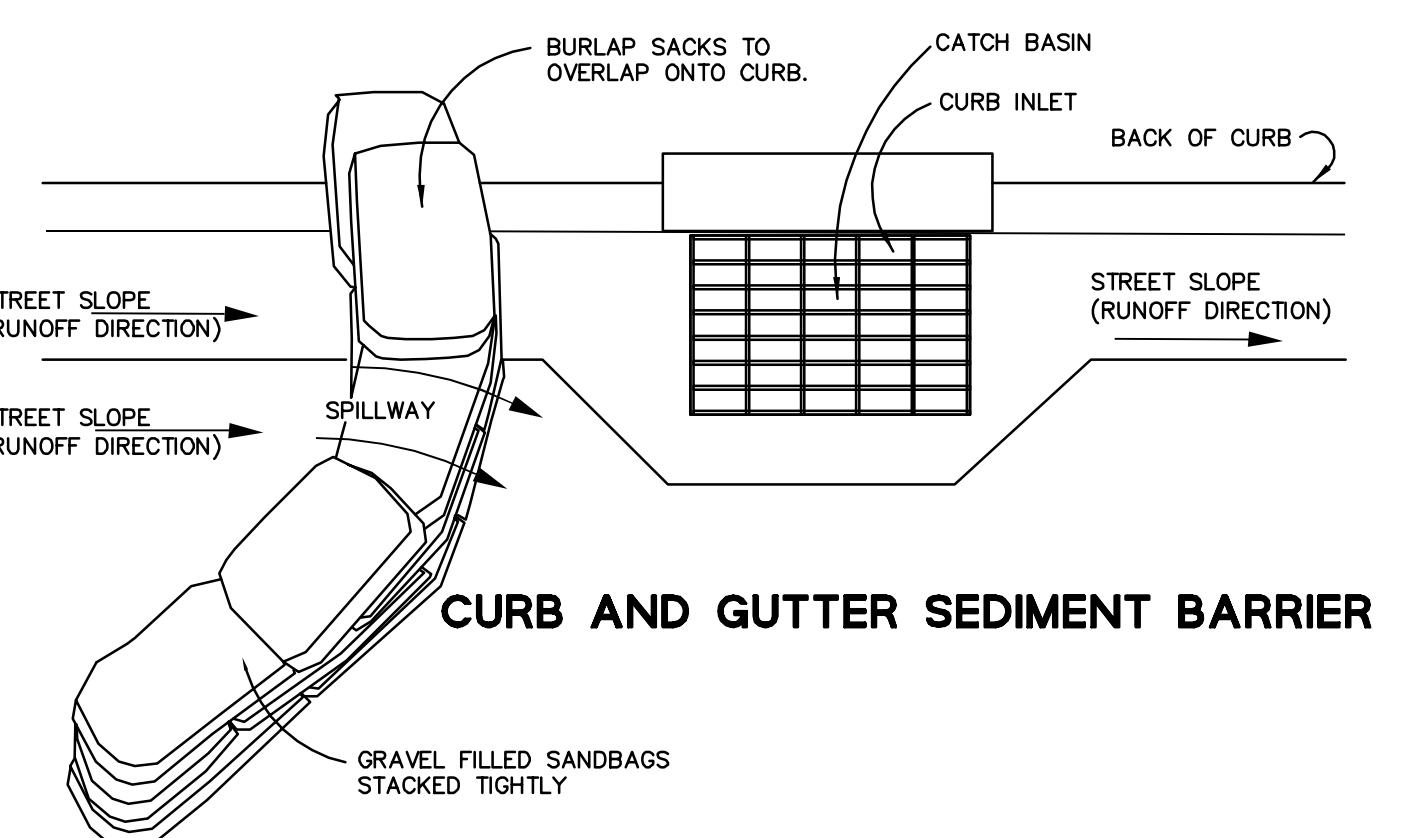


6 CONCRETE WASTE MANAGEMENT

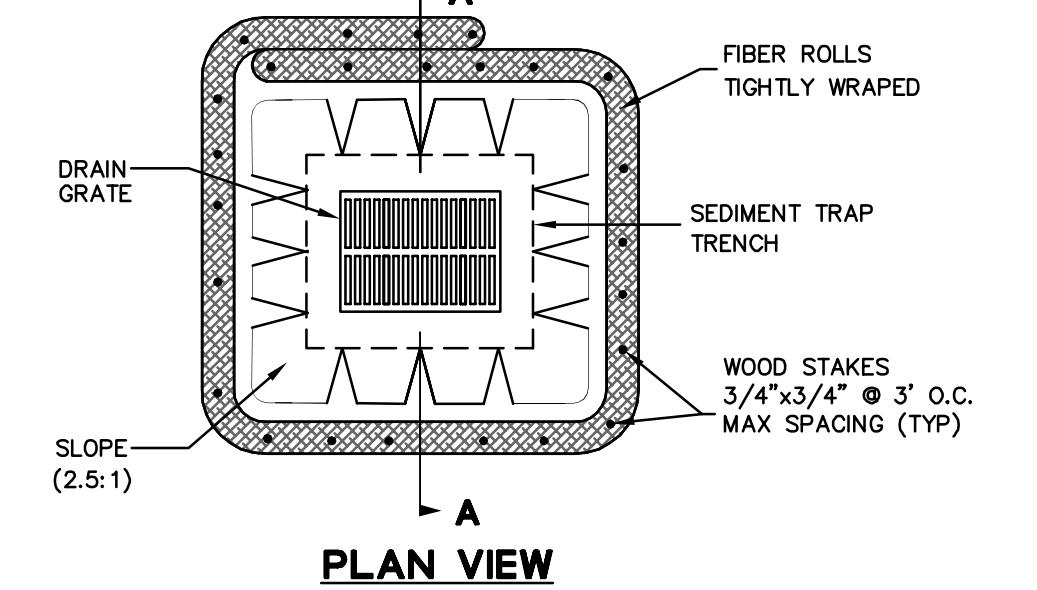
SCALE: NTS



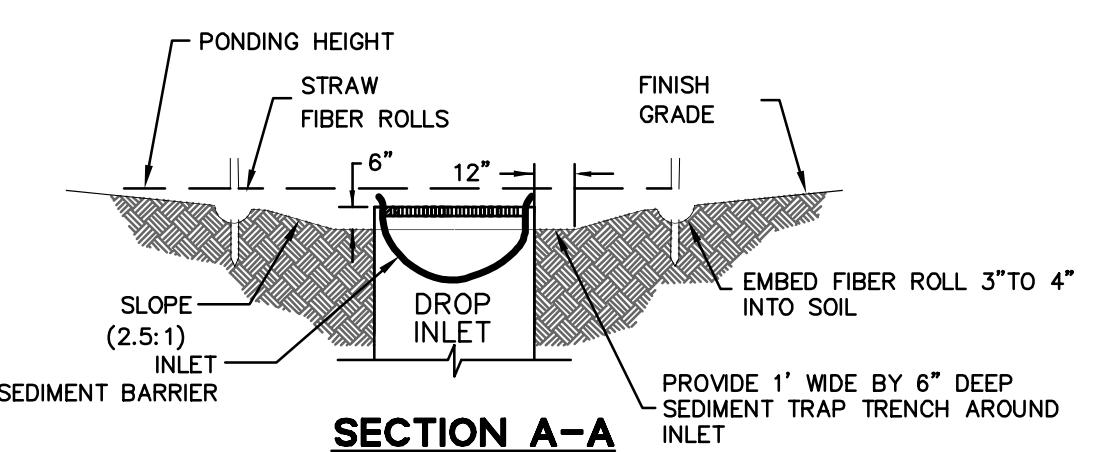
CURB INLET SEDIMENT BARRIER



CURB AND GUTTER SEDIMENT BARRIER



PLAN VIEW



SECTION A-A

NOT: PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THE SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND WITH PLASTIC NETTING. THEY ARE APPROXIMATELY 8" DIAMETER AND 20-30 FEET LONG.

4 INLET PROTECTION (TYPE A)

SCALE: NTS

MIN. RADIAL DISTANCE (R):
R = (6) x TRUNK DIAMETER



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Revision No.

Date

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Job Title
Villa Cypress

Job Address
3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

Date: 9/27/24

Issued For
PLANNING PERMIT RESUBMITTAL

Job Number: 20240473
Drawn By: SW Checked By: RC

Scale
As indicated

Sheet Title
EROSION CONTROL
DETAILS

Sheet No.

C2.1

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Revision No. Date

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Villa Cypress

Job Address
3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

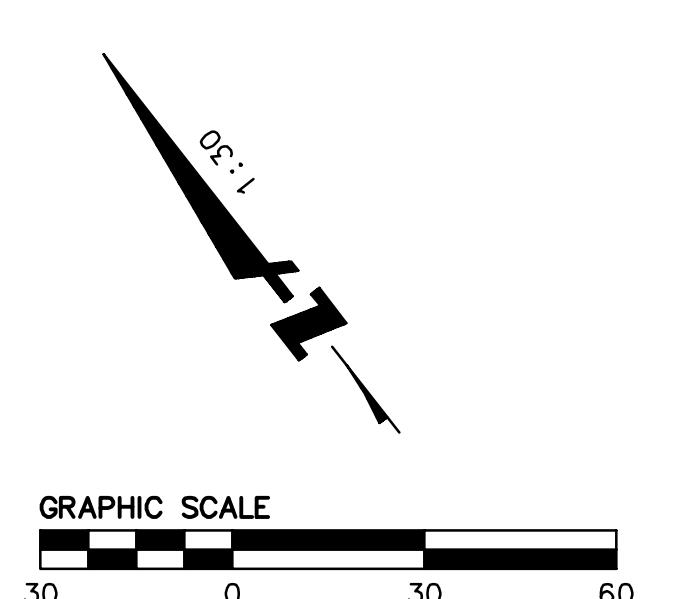
Date: 9/27/24

Issued For
PLANNING PERMIT RESUBMITTAL

Job Number: 20240473

Drawn By: SW Checked By: RC

Scale
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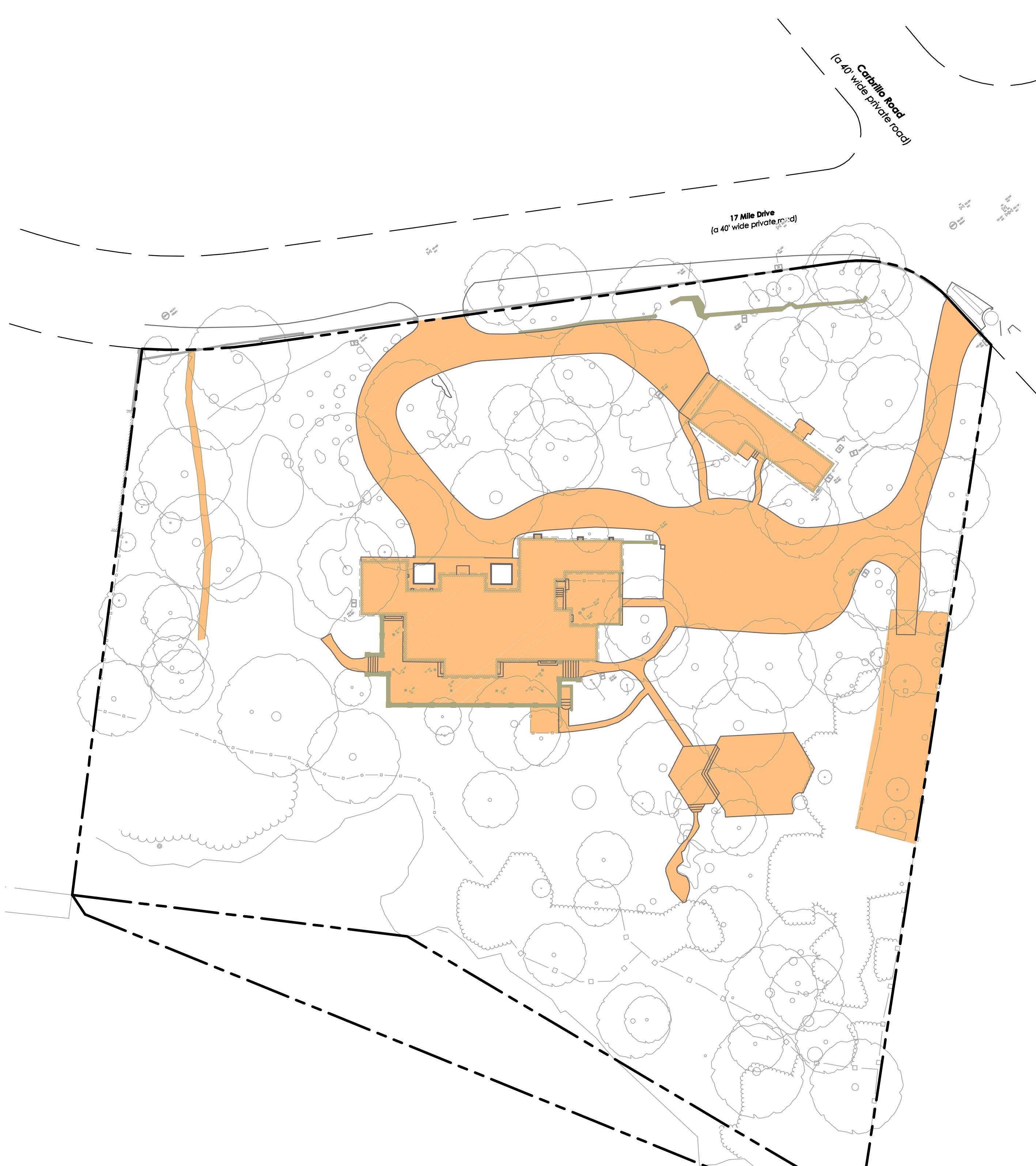


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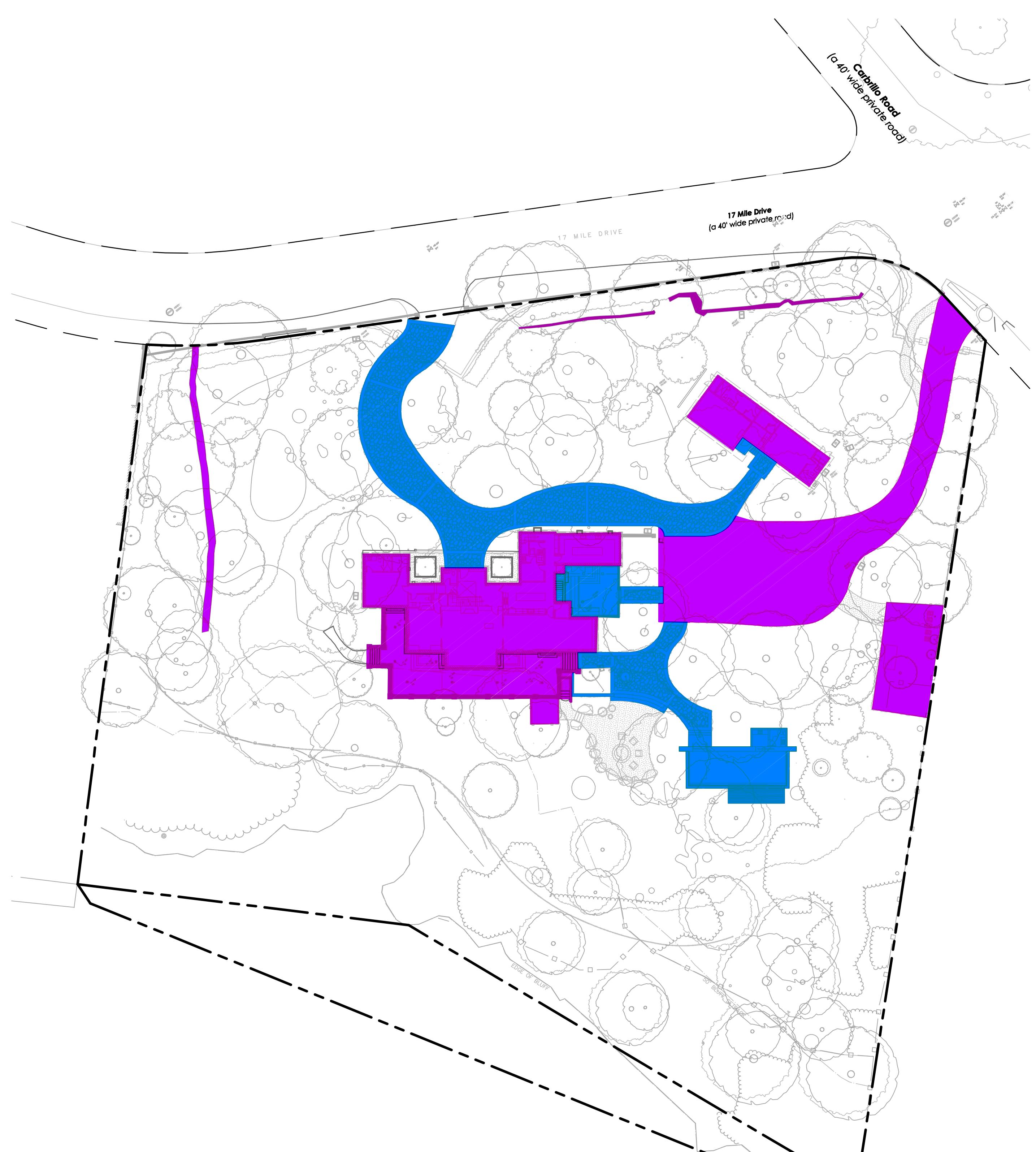
Sheet Title
IMPERVIOUS & PVIOUS PLAN

Sheet No.

C3.0



PRE-DEVELOPMENT
(EXISTING CONDITION)



POST-DEVELOPMENT
(FINAL CONDITION)

Villa Area Summary Table			
Pre-Project	Existing Pervious Area	91805	[SF]
	New and Replaced Impervious Area	25162	[SF]
	Existing Impervious Area to Remain	7080	[SF]
Post-Project		13465	[SF]
	Total Pervious Area	96422	[SF]
	Total Impervious Area	20545	[SF]
	Impervious Deduction From Post Project	4617	[SF]
	Net Impervious Area	2463	[SF]
	Project Total Area	116967	[SF]

**BLISS
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ARCHITECTURE**

24000 Robinson Canyon Road
Carmel CA 93923
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blisslandarch.com



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase
DESIGN DEVELOPMENT

Revisions
No. Date Description

Issue
PLANNING PERMIT RESUBMITTAL

Date
27 SEPTEMBER 2024

Drawn by
KD

Scale: 1" = 20.0' North



Drawing Title

**TREE PROTECTION
PLAN**



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase
DESIGN DEVELOPMENT

Revisions
No. Date Description

Issue
PLANNING PERMIT RESUBMITTAL

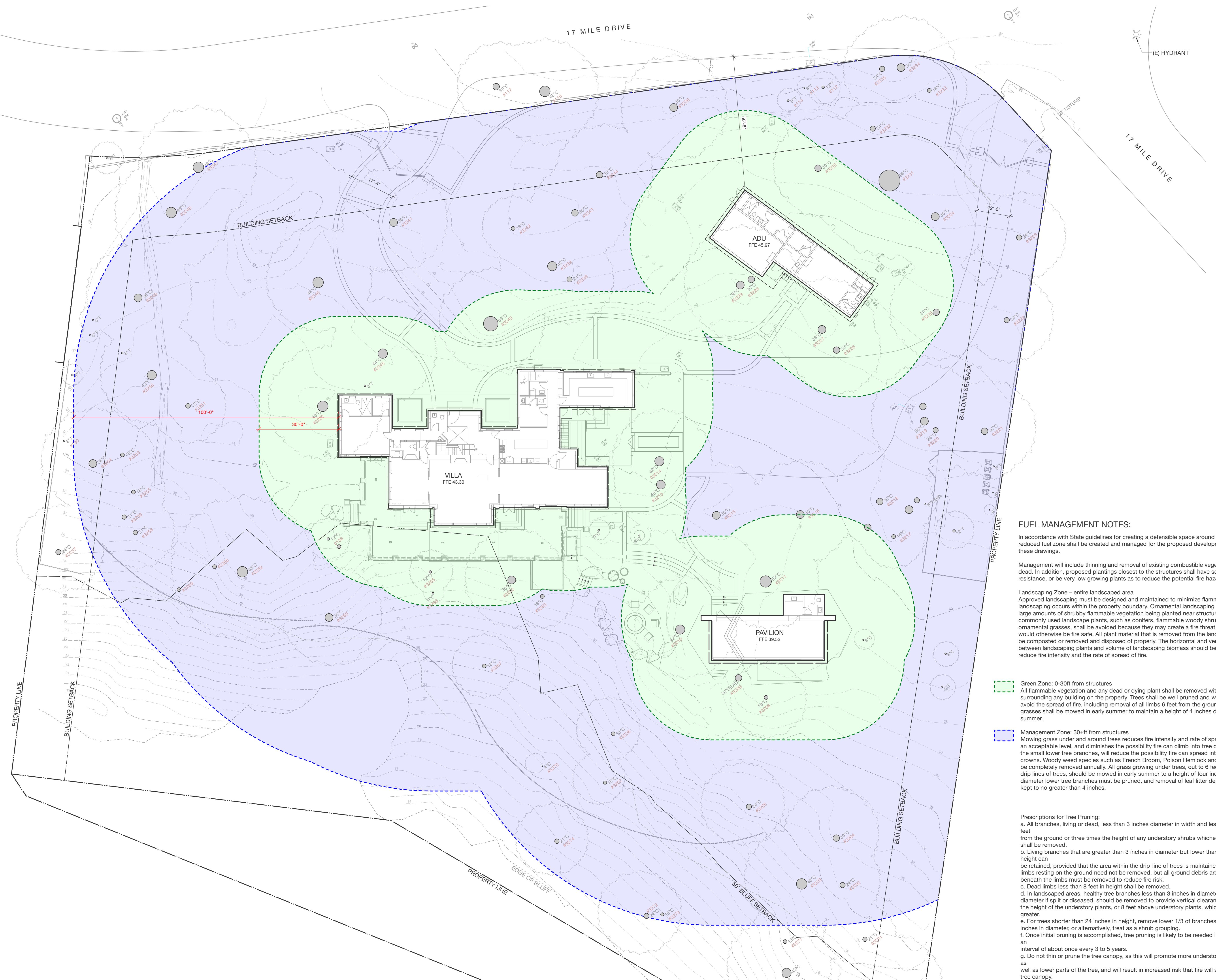
Date
27 SEPTEMBER 2024

Drawn by
KD

Scale: 1/16"=1'-0" North

Drawing Title

**FUEL MANAGEMENT
PLAN**



FUEL MANAGEMENT NOTES:

In accordance with State guidelines for creating a defensible space around structures, a reduced fuel zone shall be created and managed for the proposed development shown in these drawings.

Management will include thinning and removal of existing combustible vegetation, live or dead. In addition, proposed plantings closest to the structures shall have some fire resistance, or be very low growing plants as to reduce the potential fire hazard.

Landscaping Zone – entire landscaped area

Approved landscaping must be designed and maintained to minimize flammability. All landscaping occurs within the property boundary. Ornamental landscaping often results in large amounts of shrubby flammable vegetation being planted near structures. Many commonly used landscape plants, such as conifers, flammable woody shrubs, and tall ornamental grasses, shall be avoided because they may create a fire threat to a home that would otherwise be fire safe. All plant material that is removed from the landscaping must be composted or removed and disposed of properly. The horizontal and vertical spacing between landscaping plants and volume of landscaping biomass should be appropriate to reduce fire intensity and the rate of spread of fire.

Green Zone: 0-30ft from structures

All flammable vegetation and any dead or dying plant shall be removed within 30 feet surrounding any building on the property. Trees shall be well pruned and well spaced to avoid the spread of fire, including removal of all limbs 6 feet from the ground. All annual grasses shall be mowed in early summer to maintain a height of 4 inches during the summer.

Management Zone: 30+ft from structures

Mowing grass under and around trees reduces fire intensity and rate of spread of fire to an acceptable level, and diminishes the possibility fire can climb into tree canopy. Pruning the small lower tree branches, will reduce the possibility fire can spread into the tree crowns. Woody weed species such as French Broom, Poison Hemlock and Thistles must be completely removed annually. All grass growing under trees, out to 6 feet beyond the drip lines of trees, should be mowed in early summer to a height of 4 inches. Small diameter lower tree branches must be pruned, and removal of leaf litter depth should be kept to no greater than 4 inches.

Prescriptions for Tree Pruning:

- All branches, living or dead, less than 3 inches diameter in width and less than either 8 feet from the ground or three times the height of any understory shrubs whichever is greater, shall be removed.
- Living branches that are greater than 3 inches in diameter but lower than 8 feet in height can be retained, provided that the area within the drip-line of trees is maintained Oaks with live limbs resting on the ground need not be removed, but all ground debris around and beneath the limbs must be removed to reduce fire risk.
- Dead limbs less than 8 feet in height shall be removed.
- In landscaped areas, healthy tree branches less than 3 inches in diameter or 8 inches diameter if split or diseased, should be removed to provide vertical clearance of 3 times the height of the understory plants, or 8 feet above understory plants, whichever is greater.
- For trees shorter than 24 inches in height, remove lower 1/3 of branches smaller than 3 inches in diameter, or alternatively, treat as a shrub grouping.
- Once initial pruning is accomplished, tree pruning is likely to be needed infrequently, on an interval of about every 3 to 5 years.
- Do not thin or prune the tree canopy, as this will promote more understory shrub growth as well as lower parts of the tree, and will result in increased risk that fire will spread to the tree canopy.



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase

DESIGN DEVELOPMENT

Revisions

Issue

Date
27 SEPTEMBER 2024

Drawn by
KD

Scale: 1" = 20.0' North

Drawing Title

NOTES

1. Refer to Biologist's On-Site Assessment of Biological Resources Report "Cypress Villa Full Biological Assessment" Dated 9/27/24, for additional information related to the Site's Habitat Types.

| FGEND



HABITAT

	CYPRESS HABITAT	71,397 SQ FT
	COASTAL BLUFF SCRUB HABITAT	4,215 SQ FT

HABITAT TYPES

HABITAT TYPES

L1.1



FOR REGULATORY PERMITTING
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NOT FOR CONSTRUCTION

VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase
DESIGN DEVELOPMENT

Revisions
No. Date Description

Issue
PLANNING PERMIT RESUBMITTAL

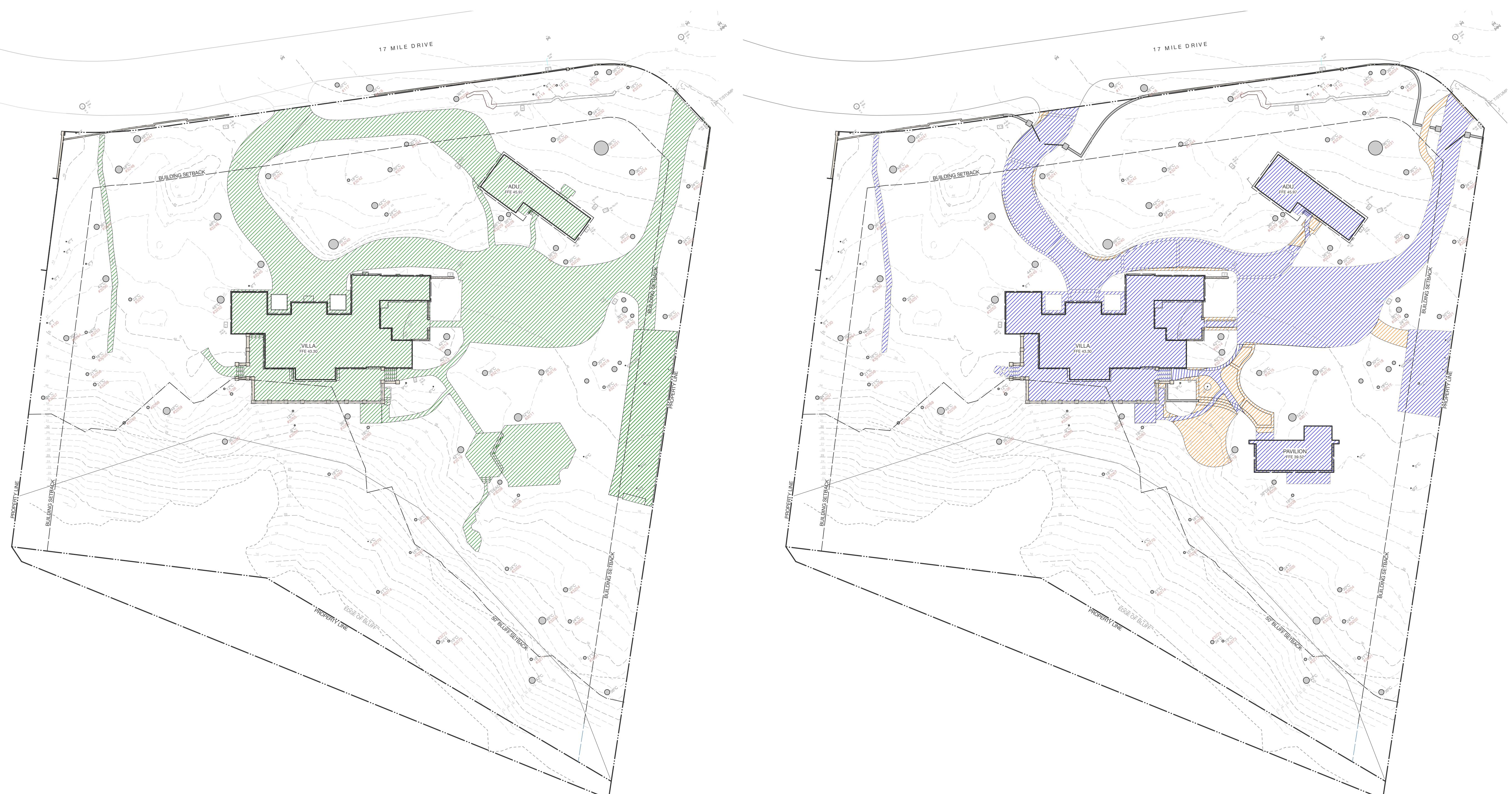
Date
27 SEPTEMBER 2024

Drawn by
KD

Scale: 1" = 30.0' North



Drawing Title
**DEVELOPMENT AREA
PLAN**



LEGEND

EXISTING DEVELOPMENT AREA = 26,812 SQ FT

LEGEND

PROPOSED DEVELOPMENT OUTSIDE OF EXISTING = 2,289 SQ FT

PROPOSED DEVELOPMENT WITHIN EXISTING DEVELOPMENT = 19,154 SQ FT

TOTAL PROPOSED DEVELOPMENT AREA = 21,443 SQ FT
(5,369 SQ FT REDUCTION FROM EXISTING)



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase DESIGN DEVELOPMENT

Revisions

Issue

Date

Drawn by

Scale: 1" = 20.0' North

Drawing Title

NOTES

1. Refer to Biologist's On-Site Assessment of Biological Resources Report "Cypress Villa Full Biological Assessment" Dated 9/27/24, for additional information related to the Monterey Cypress Sensitive Habitat.

LEGEND



MONTEREY CYPRESS HABITAT CRITICAL SENSITIVITY

	LOW SENSITIVITY HABITAT	29,440 SQ FT
	MEDIUM SENSITIVITY HABITAT	7,069 SQ FT
	HIGH SENSITIVITY HABITAT	34,832 SQ FT

ESTIMATED LEVELS OF MONTEREY CYPRESS HABITAT SENSITIVITY

L1.3



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase
DESIGN DEVELOPMENT

Revisions
No. Date Description

Issue
PLANNING PERMIT RESUBMITTAL

Date
27 SEPTEMBER 2024

Drawn by
KD

Scale: 1" = 20.0' North

Drawing Title

MONTEREY CYPRESS CRITICAL HABITAT + CRITICAL ROOT ZONE



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VILLA CYPRESS

3270 17 MILE DRIVE
PEBBLE BEACH, CA 93953

APN/ Lot Number
008-462-005

Phase
DESIGN DEVELOPMENT

Revisions
No. Date Description

Issue
PLANNING PERMIT RESUBMITTAL

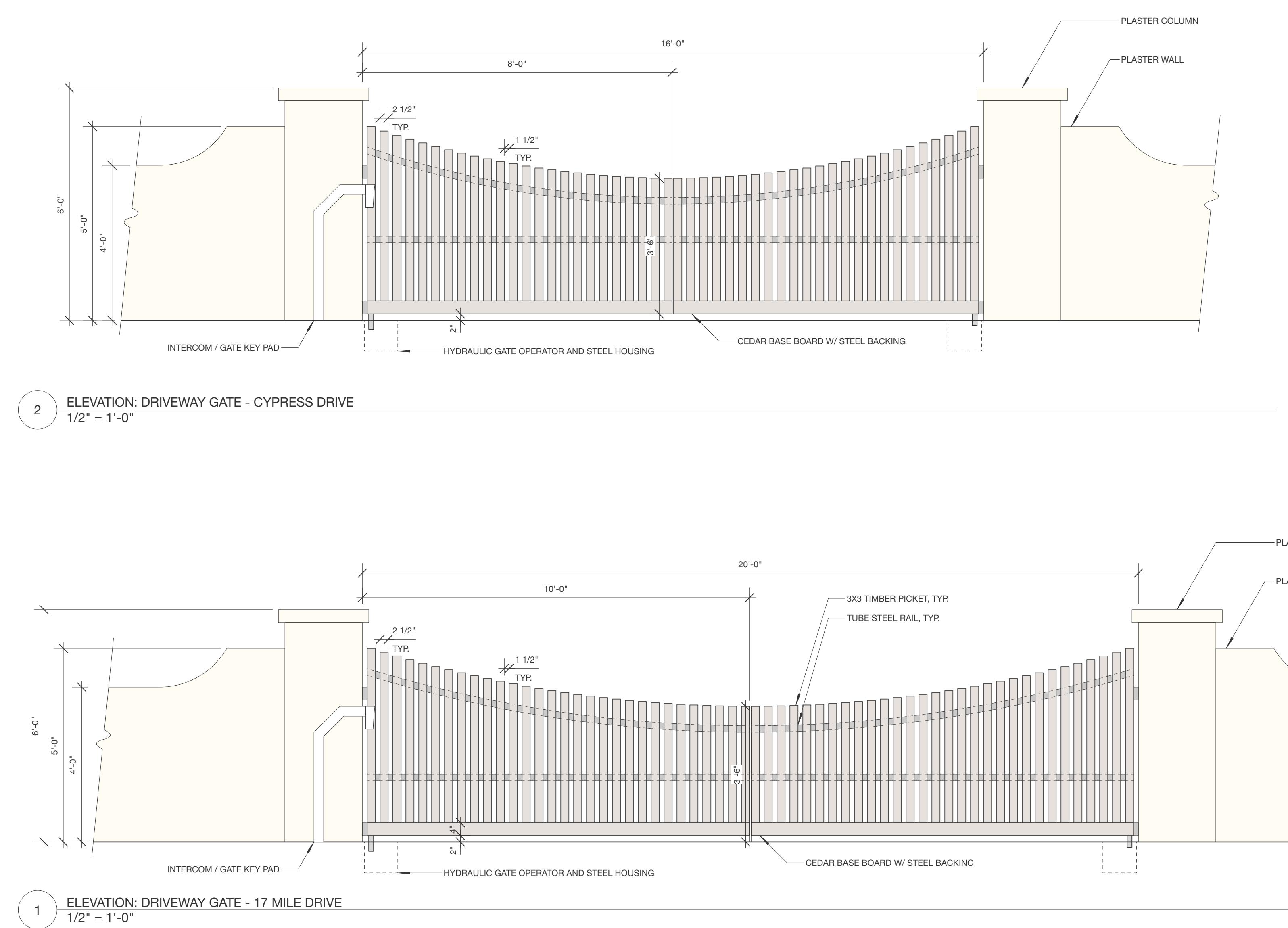
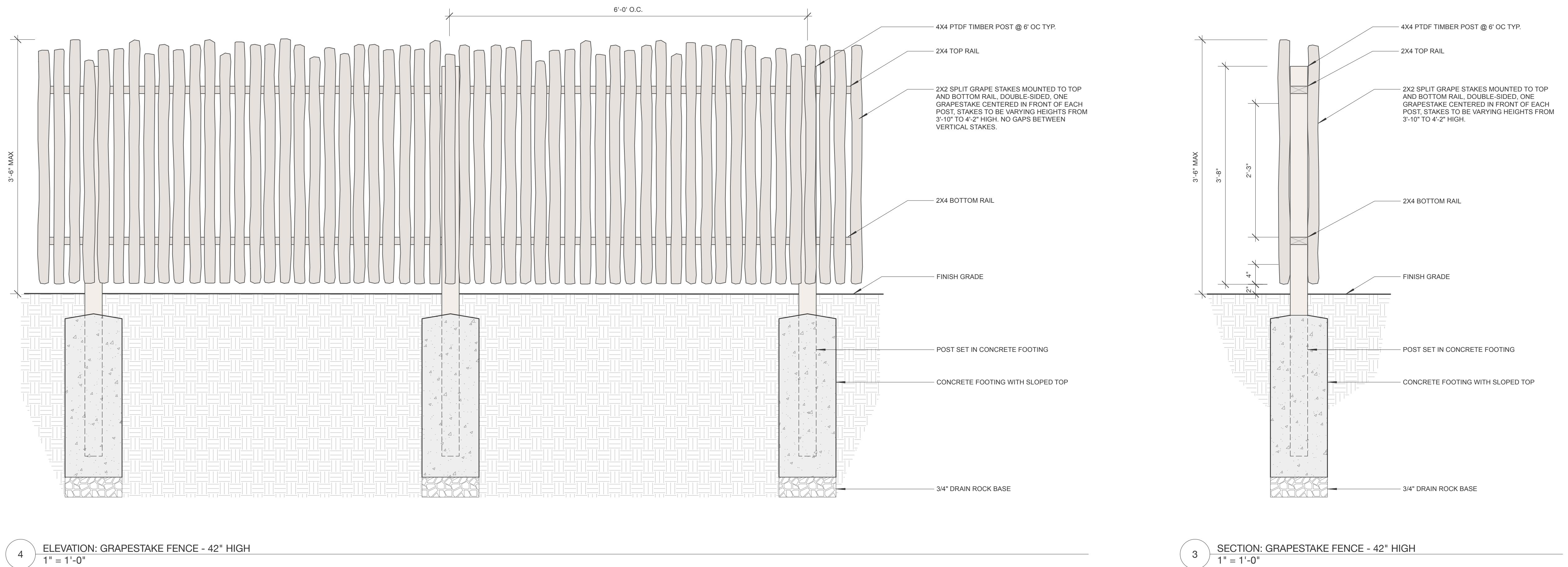
Date
27 SEPTEMBER 2024

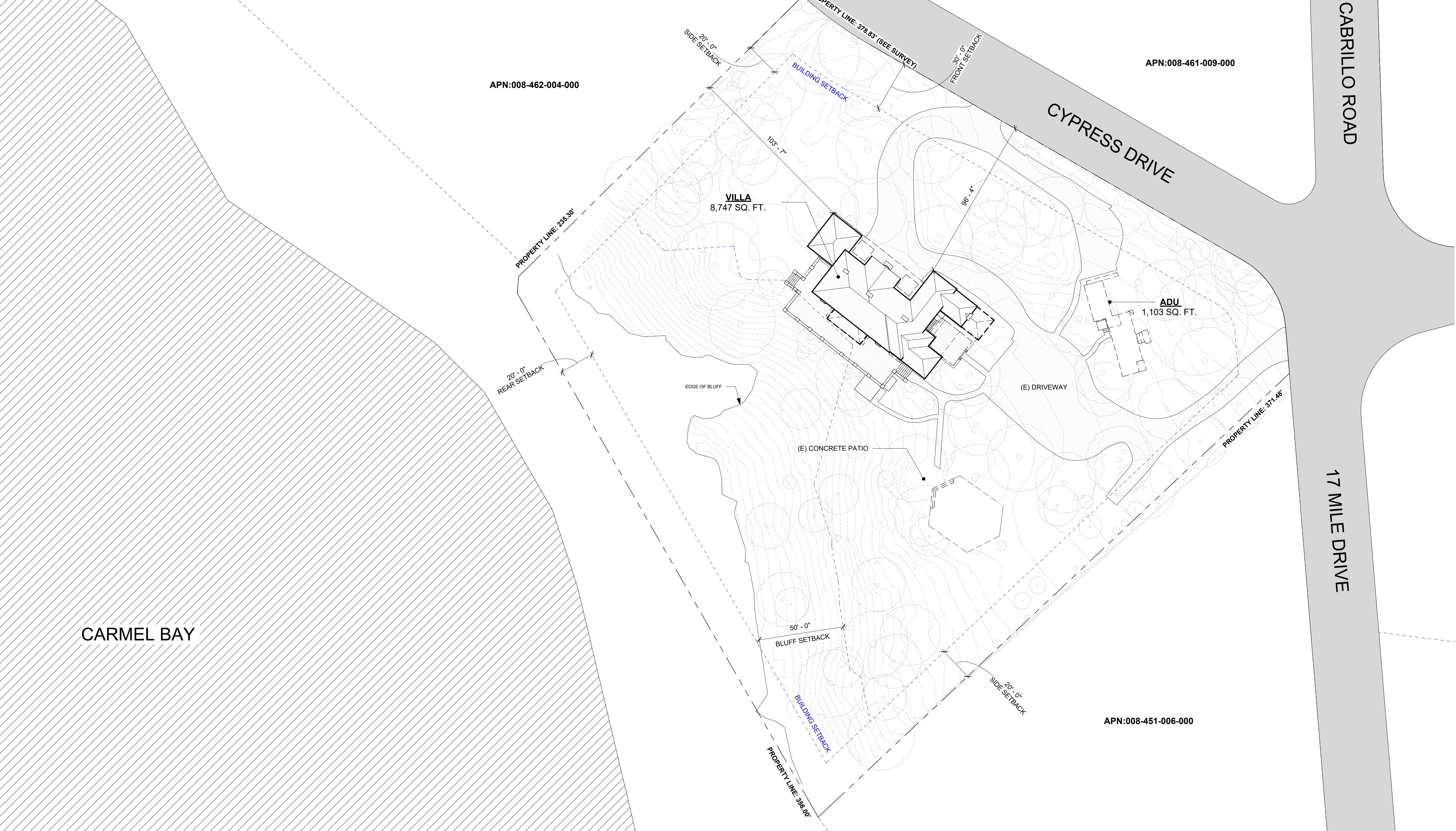
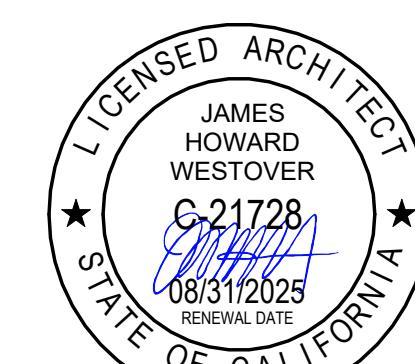
Drawn by
KD

Scale: AS SHOWN

Drawing Title
ENTRY GATE + FENCE ELEVATION

L2.0





EXISTING/DEMOLITION SITE PLAN 1" = 30'-0"

		GENERAL NOTES	LEGEND - DEMOLITION
		<p>1. WATER PROVIDED BY MONTEREY PENINSULA WATER MANAGEMENT DISTRICT. 2. SEWER SERVICE PROVIDED BY PEBBLE BEACH COMMUNITY SERVICES.</p> <p><u>SEE TOPOGRAPHIC SURVEY SU1.0 FOR ADDITIONAL INFORMATION</u></p>	(E) AREA TO BE REMOVED (E) WALL TO BE REMOVED (E) WALL TO REMAIN (E) ITEM TO BE REMOVED

Sheet Title
**EXISTING/DEMOLITION
SITE PLAN**

Sheet No.

A1.00

Revision No. Date
1 PLANNING SUBMITTAL 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

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Job Title
Villa Cypress Site

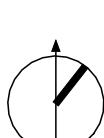
Job Address
**3270 17 Mile Drive
Pebble Beach, CA 93953**

Date: **27 SEPTEMBER 2024**

Issued For

PLANNING RESUBMITTAL**PLN240069**Job Number: **23015**Drawn By: **TF/DC** Checked By: **MA/EL**

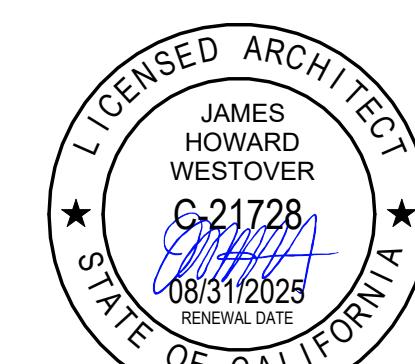
Scale

As indicated

Sheet Title
**EXISTING/DEMOLITION
SITE PLAN**

Sheet No.

A1.00



Agency Approvals

Revision No. Date
 1 PLANNING SUBMITTAL 07/16/2024
 2 PLANNING RESUBMITTAL 09/27/2024

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Villa Cypress Site

Job Address
**3270 17 Mile Drive
Pebble Beach, CA 93953**

Date: **27 SEPTEMBER 2024**
Issued For
PLANNING RESUBMITTAL

Job Number: **23015**
PLN240069

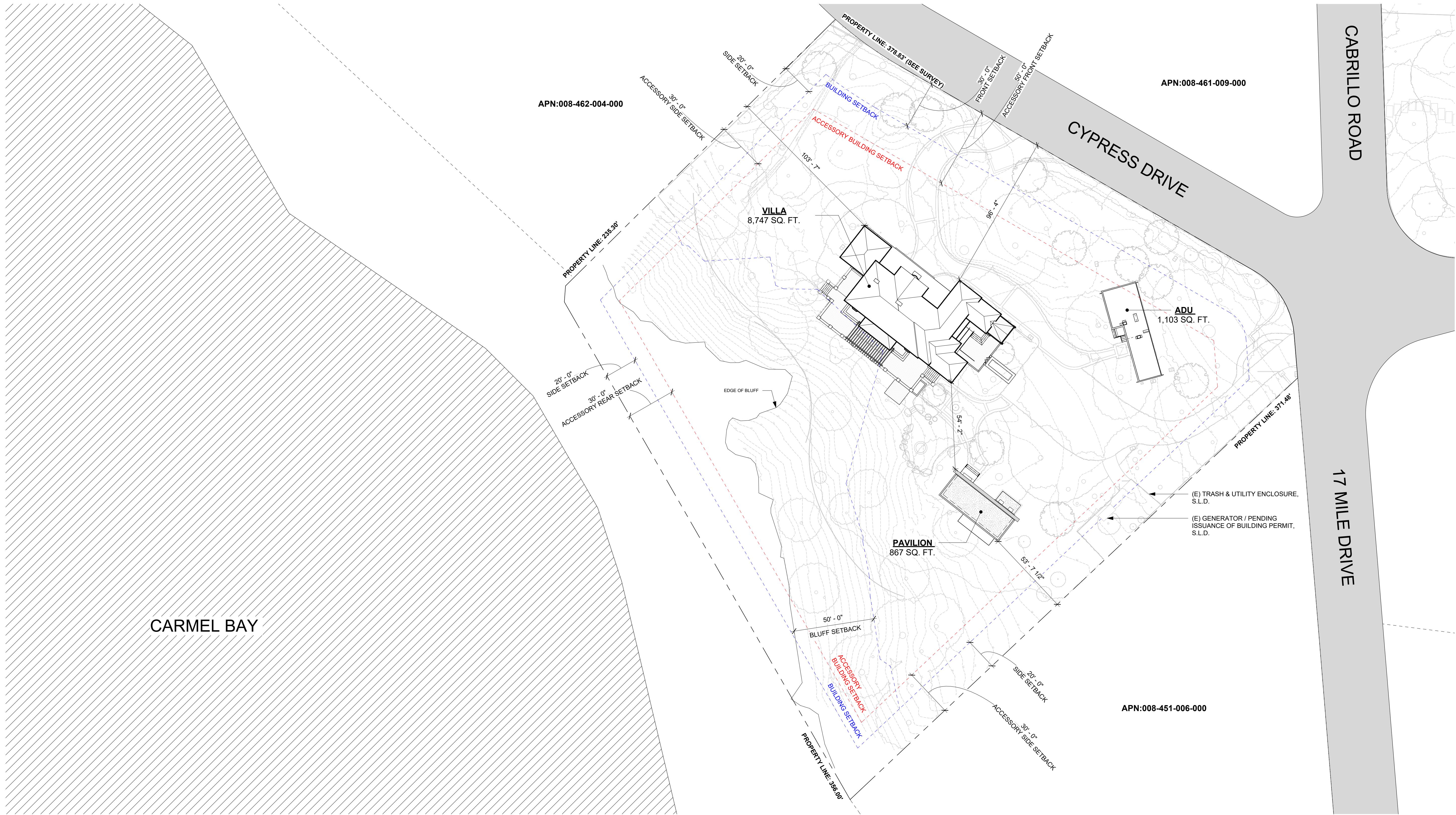
Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
As indicated

Sheet Title
PROPOSED SITE PLAN

Sheet No.

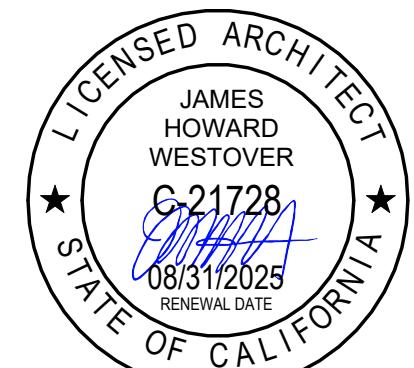
A1.01



PROPOSED SITE PLAN
1" = 30'-0"

GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<p>1. WATER PROVIDED BY MONTEREY PENINSULA WATER MANAGEMENT DISTRICT. 2. SEWER SERVICE PROVIDED BY PEBBLE BEACH COMMUNITY SERVICES. <u>SEE TOPOGRAPHIC SURVEY SU1.0 FOR ADDITIONAL INFORMATION</u></p>	<p>— — — ABOVE OR BELOW — — (E) WALL TO REMAIN — (N) WALL — — — 1 HR. FIRE RESISTANCE RATED WALL — (N) DOOR — — (E) WINDOW TO REMAIN — (N) WINDOW</p>

LEGEND - NEW CONSTRUCTION	
---	ABOVE OR BELOW
— (E)	WALL TO REMAIN
— (N)	WALL
— (1 HR. FIRE RESISTANCE RATED WALL)	RATED WALL
— (N) DOOR	DOOR
— (E) WINDOW TO REMAIN	WINDOW TO REMAIN
— (N) WINDOW	WINDOW
— [N.I.C.] NOT IN CONTRACT	N.I.C. NOT IN CONTRACT



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

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Job Title
Villa Cypress Site

Job Address
**3270 17 Mile Drive
Pebble Beach, CA 93953**

Date: **27 SEPTEMBER 2024**

Issued For **PLANNING RESUBMITTAL**

PLN240069

Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

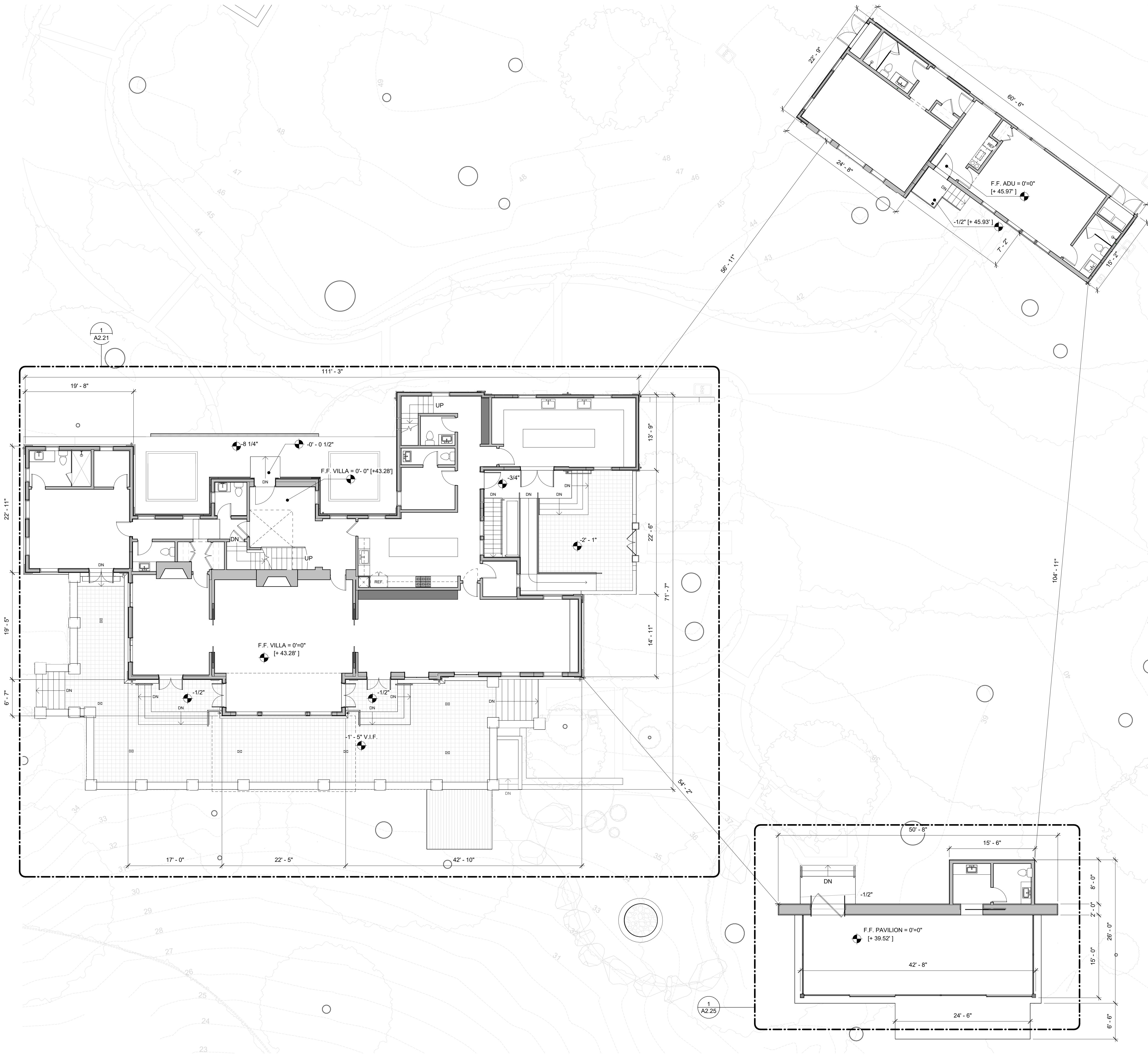
Scale
As indicated

0 2' 4' 8' 16'

Sheet Title
**ENLARGED PROPOSED
SITE PLAN**

Sheet No.

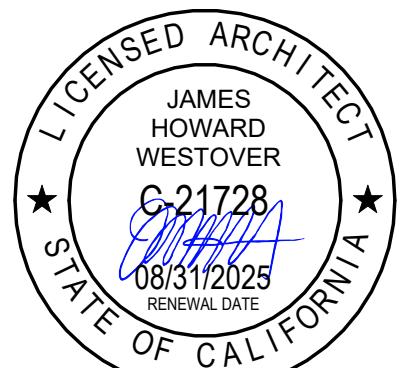
A1.02



LEGEND - DEMOLITION	
	(E) AREA TO BE REMOVED
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WINDOW TO BE REMOVED
	(E) WINDOW TO REMAIN
	(E) DOOR TO BE REMOVED
	(E) DOOR TO REMAIN

SHEET NOTES

- NO ARCHITECTURAL CHANGES IN BASEMENT. MEP SYSTEMS AND EQUIPMENT TO BE REPLACED AS NEEDED PER MEP PROPOSAL



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
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PLN240069

Job Number: **23015**

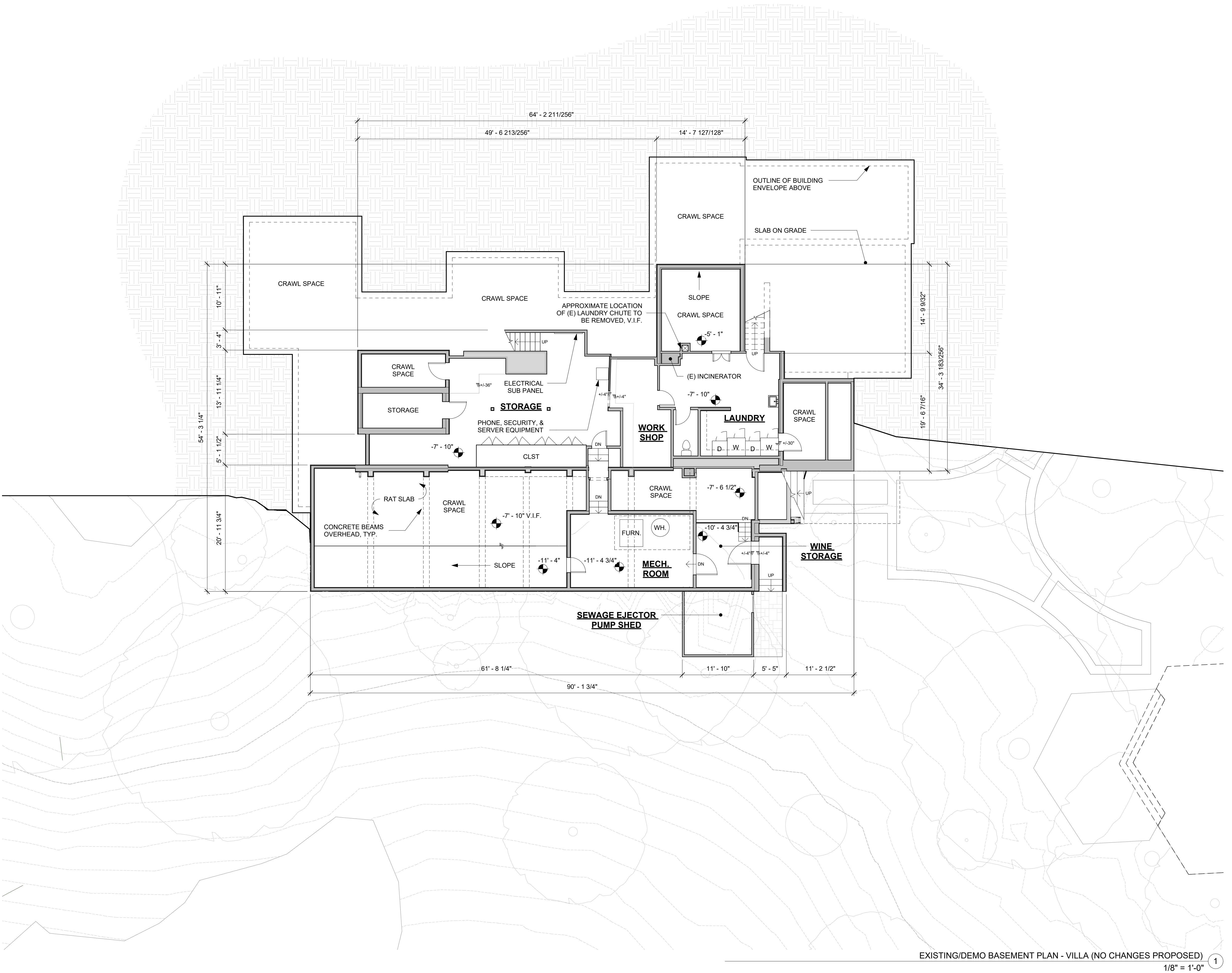
Drawn By: **TF/DC** Checked By: **MA/EL**

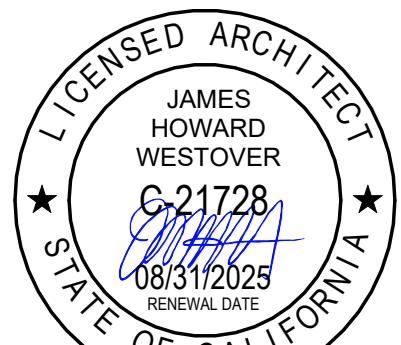
Scale
As indicated

0' 2' 4' 8' 16'

Sheet Title
EXISTING/DEMO
BASEMENT PLAN -
VILLA
Sheet No.

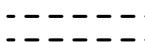
A2.00



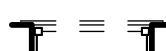


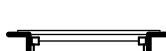
LEGEND - DEMOLITION

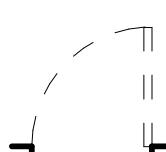
 (E) AREA TO BE REMOVED

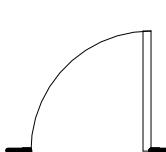
 (E) WALL TO BE REMOVED

 (E) WALL TO REMAIN

 (E) WINDOW TO BE REMOVED

 (E) WINDOW TO REMAIN

 (E) DOOR TO BE REMOVED

 (E) DOOR TO REMAIN

SHEET NOTE

- ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED - REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- ALL PLUMBING FIXTURES TO BE DEMOLISHED. TYP. U.O.N.

Agency Approvals

Revision No.	Date	
1	PLANNING SUBMITTAL	07/16/2024
2	PLANNING RESUBMITTAL	09/27/2024

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Job Title **Villa Cypress Site**

**Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953**

Date: **27 SEPTEMBER**
Issued For: **2024**

Issued For

PLN240069

Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
As indicated



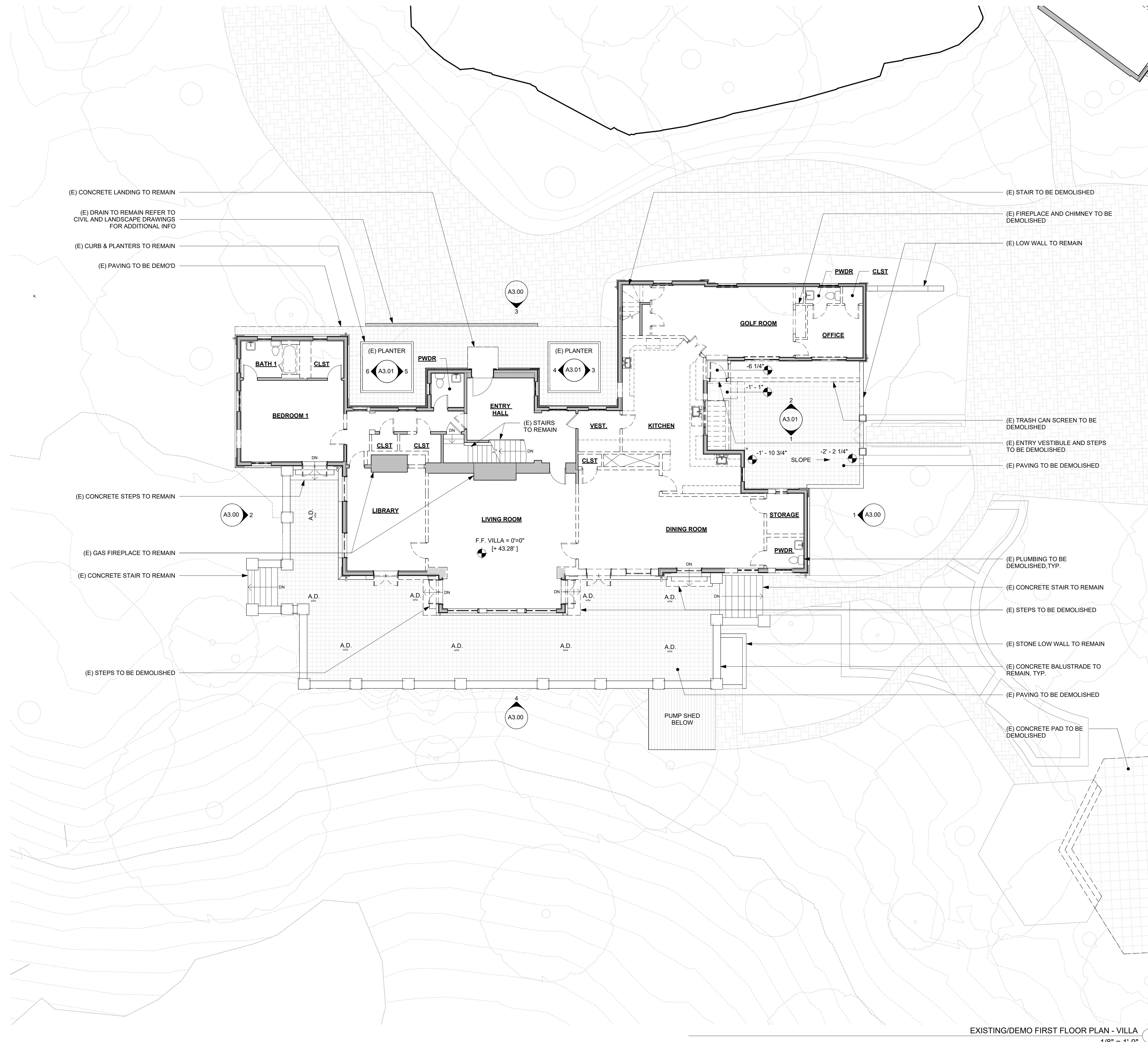
Sheet Title

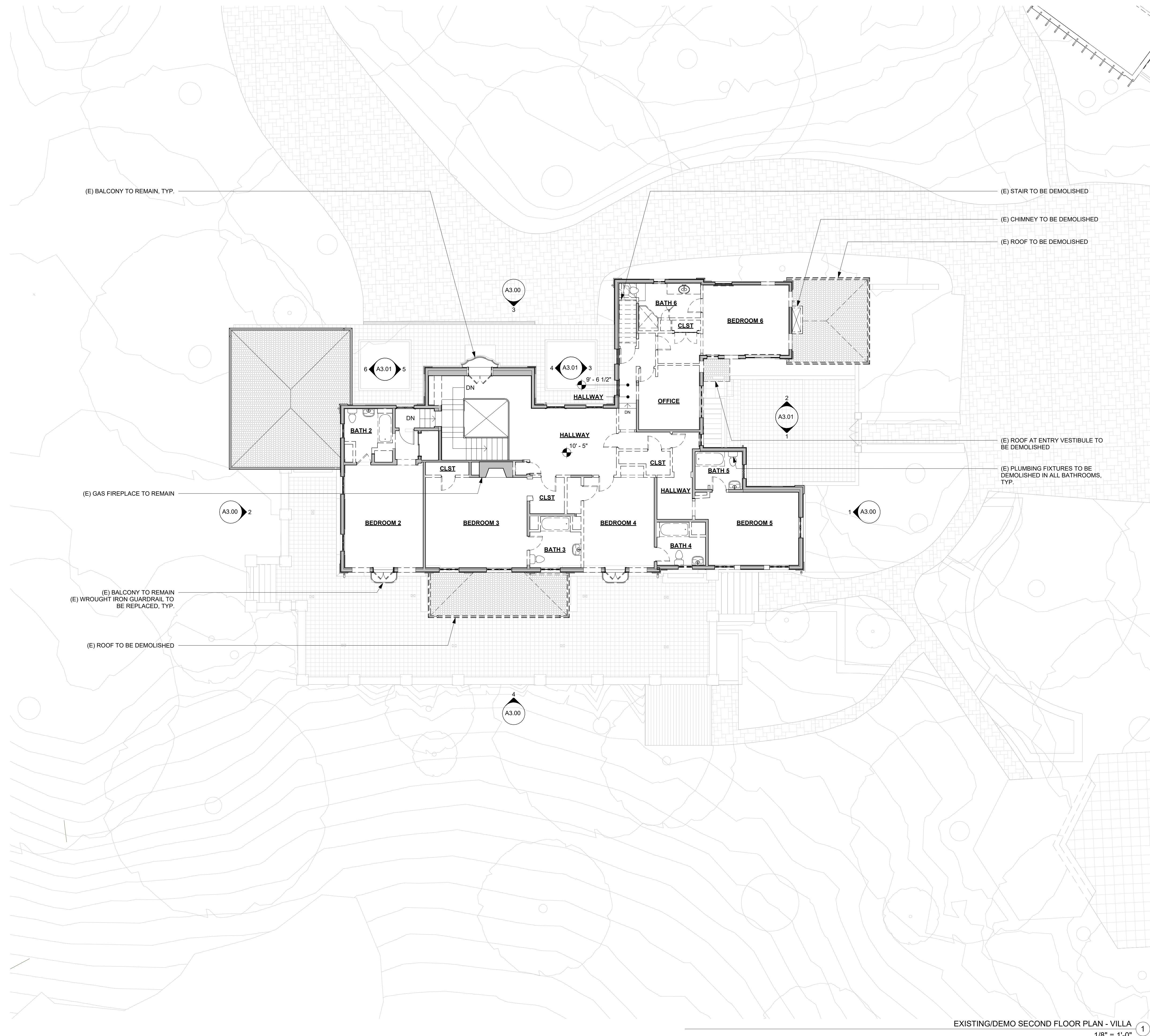
EXISTING/DEMO FIRST

FLOOR PLAN - VILLA

Sheet No

Sheet No. **A2.01**





LEGEND - DEMOLITION	
	(E) AREA TO BE REMOVED
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WINDOW TO BE REMOVED
	(E) WINDOW TO REMAIN
	(E) DOOR TO BE REMOVED
	(E) DOOR TO REMAIN

SHEET NOTES

- ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED - REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- ALL PLUMBING FIXTURES TO BE DEMOLISHED, TYP. U.O.N.

Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

Job Title
Villa Cypress Site

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **27 SEPTEMBER 2024**

Issued For
PLANNING RESUBMITTAL

Job Number: **PLN240069**

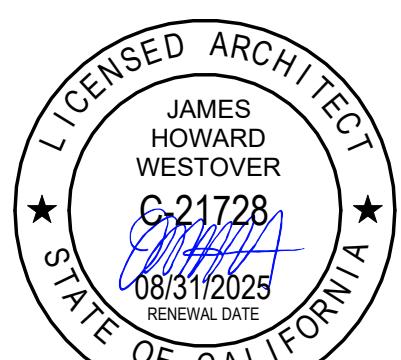
Drawn By: **TF/DC** **Checked By:** **MA/EL**

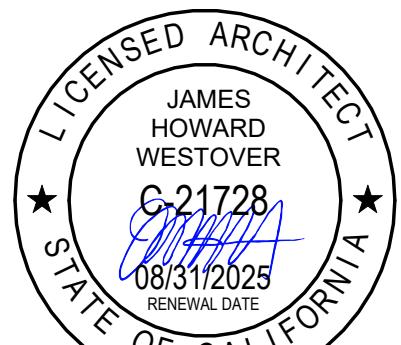
Scale
As indicated

0 1' 2' 4' 8'

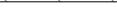
Sheet Title
EXISTING/DEMO
SECOND FLOOR PLAN -
VILLA

Sheet No.



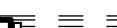


LEGEND - DEMOLITION

 (E) AREA TO BE REMOVED

 (E) WALL TO BE REMOVED

 (E) WALL TO REMAIN

 (E) WINDOW TO BE REMOVED

 (E) WINDOW TO REMAIN

 (E) DOOR TO BE REMOVED

 (E) DOOR TO REMAIN

SHEET NOTE

- ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED - REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- ALL PLUMBING FIXTURES TO BE DEMOLISHED, TYP. U.O.N.

Agency Approvals

Revision No.	Date
1	07/16/2024
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Issued For

PLN240069

Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scal

As indicated



Sheet Title

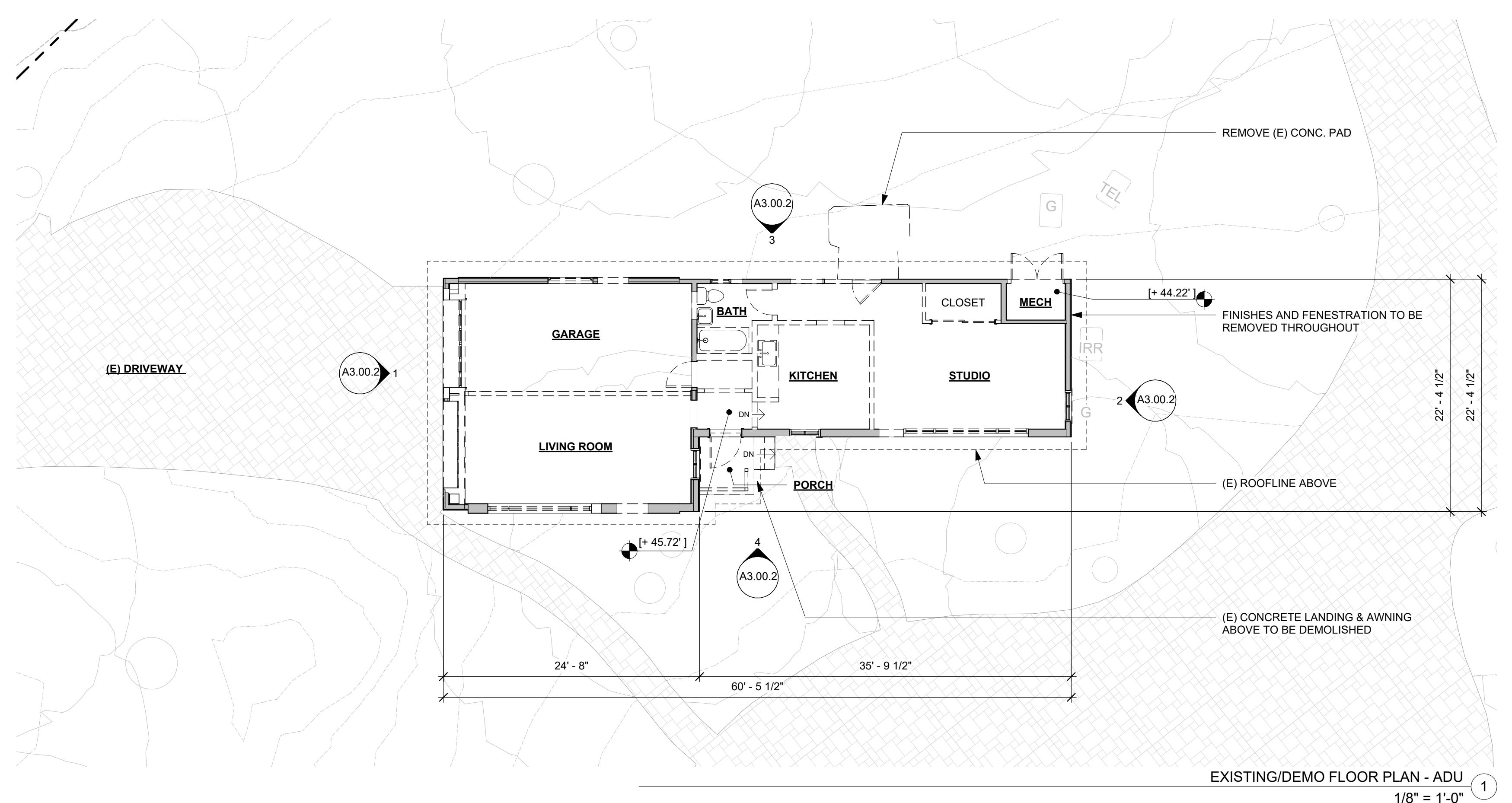
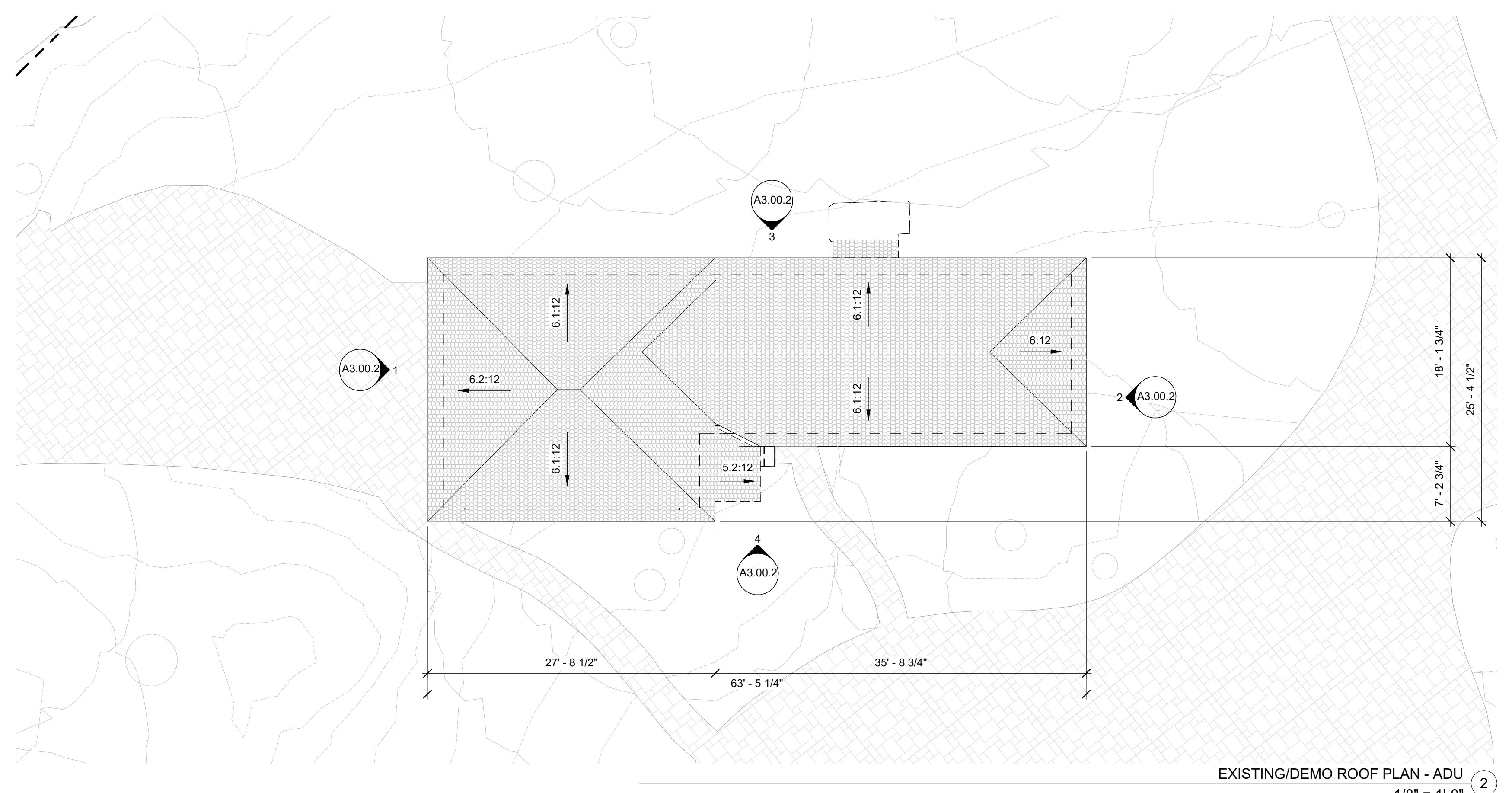
EXISTING/DEMO ROOF

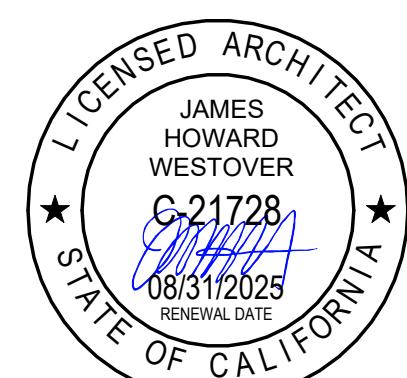
PLAN VILLA

Sheet No.

A2.03

This architectural Existing/Demo Roof Plan for Villa illustrates a complex multi-story structure. The plan features several rooms, including a large central room with a height of 6'12" and a smaller room with a height of 5'12". The exterior walls are shown with a dashed pattern, and specific sections are labeled as 'RWL' (Roof Walkway). Key features include a central chimney (E) to be demolished, a roof section (E) to be demolished, and an approximate location for a downspout (F) to be V.I.F., TYP. The plan also indicates the demolition of an existing chimney (E) and shows the approximate location of a new downspout (F). Various points are marked with labels such as A3.00, A3.01, and A3.02, and numbers 1 through 6 are used to identify specific sections or components. The plan is set against a background of a grid and some landscape features.





Agency Approvals

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2 PLANNING RESUBMITTAL 09/27/2024

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Job Title
Villa Cypress Site

Job Address
**3270 17 Mile Drive
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Date: **27 SEPTEMBER 2024**

Issued For
PLANNING RESUBMITTAL

PLN240069

Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale

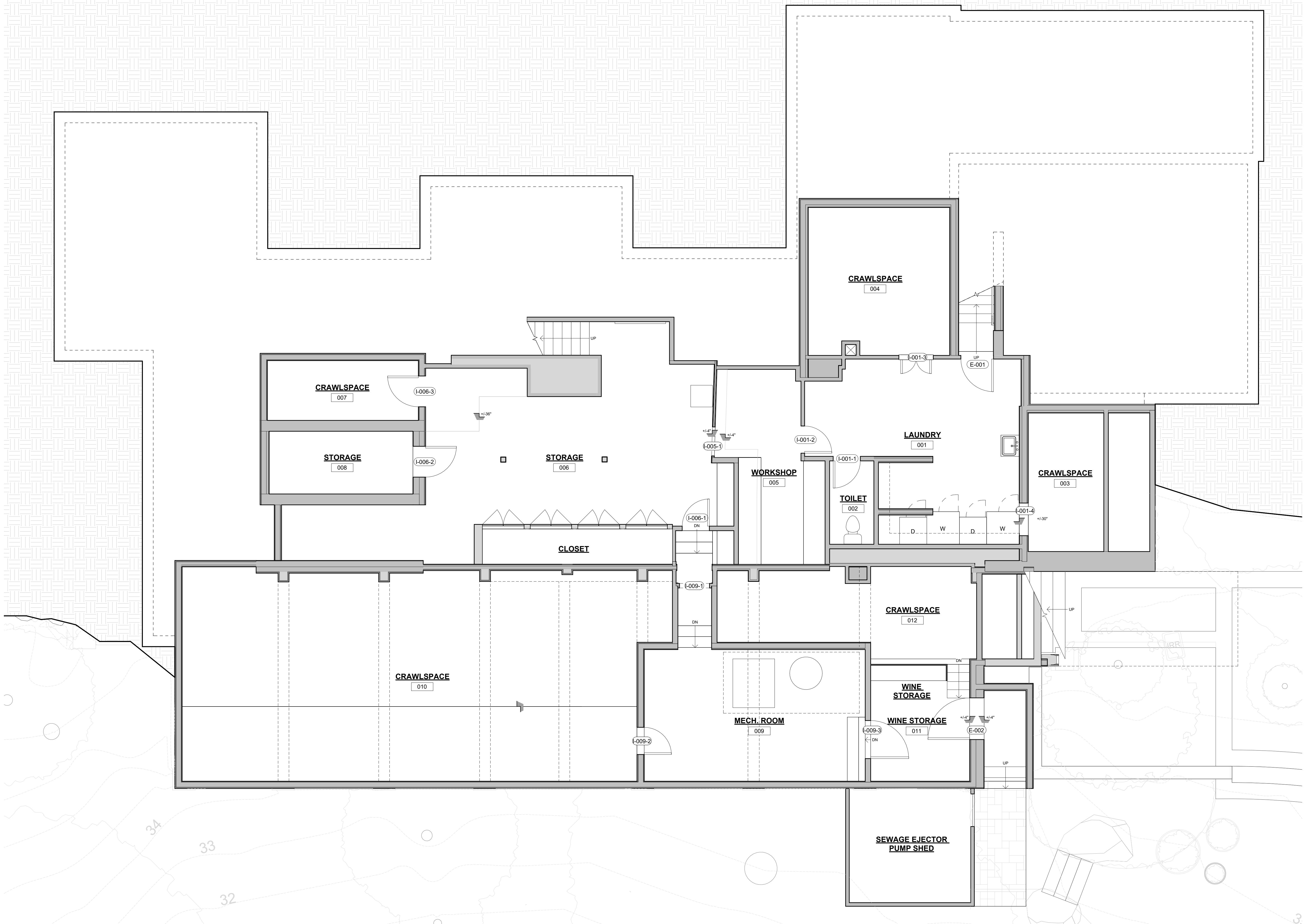
1/4" = 1'-0"

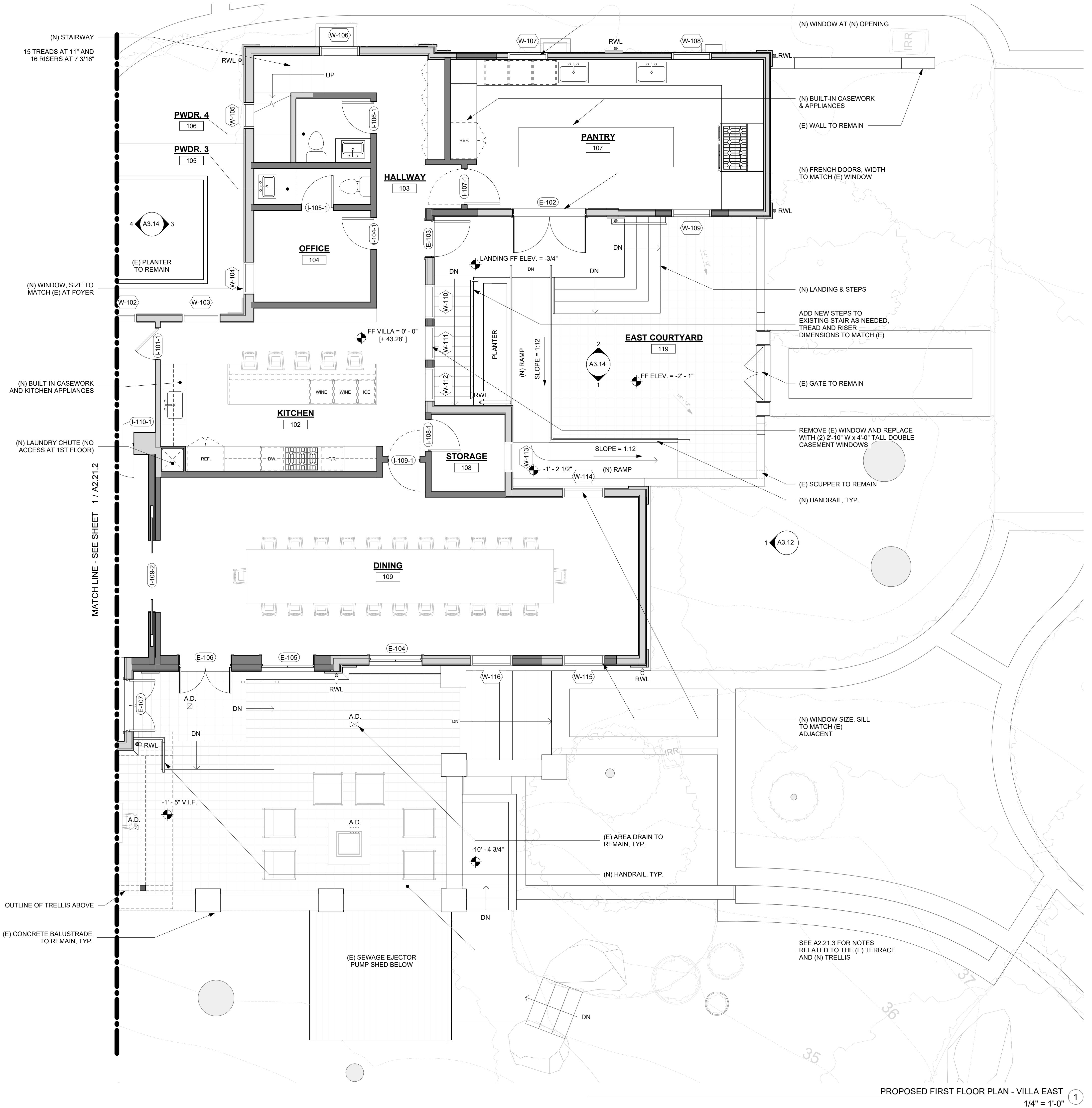
0 2' 4' 8' 16'

Sheet Title
**PROPOSED BASEMENT
PLAN - VILLA**

Sheet No.

A2.20

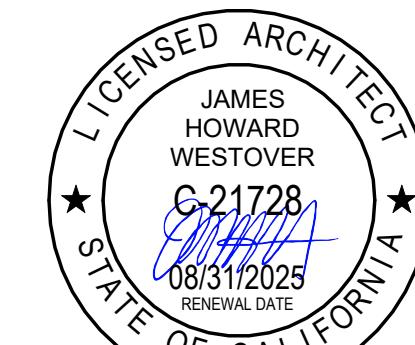




LEGEND - NEW CONSTRUCTION	
---	ABOVE OR BELOW
—	(E) WALL TO REMAIN
—	(N) WALL
—	1 HR. FIRE RESISTANCE RATED WALL
—	(N) DOOR
—	(E) WINDOW TO REMAIN
—	(N) WINDOW
[N.I.C.]	[N.I.C.] NOT IN CONTRACT
SHEET NOTES	
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN UNITS. ALL INTERIOR DOORS TO BE RE-FINISHED AND REUSED WHERE POSSIBLE. REPLACE ALL INTERIOR FINISHES PER I.D., TYP. REPLACE ALL PLUMBING FIXTURES, TYP. OPENING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & HARDCAPE 	
Agency Approvals	
<p>Revision No.</p> <p>1 PLANNING SUBMITTAL 07/16/2024</p> <p>2 PLANNING RESUBMITTAL 09/27/2024</p>	
<p>Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of William Duff Architects, Inc. and may not be reused or reproduced in any manner without our express written consent.</p>	
<p>Job Title: Villa Cypress Site</p> <p>Job Address: 3270 17 Mile Drive, Pebble Beach, CA 93953</p> <p>Date: 27 SEPTEMBER 2024</p> <p>Issued For: PLANNING RESUBMITTAL</p> <p>Job Number: PLN240069</p> <p>Drawn By: TF/DC Checked By: MA/EL</p> <p>Scale: As indicated</p> <p>Sheet Title: PROPOSED FIRST FLOOR PLAN - VILLA - EAST</p> <p>Sheet No.:</p>	

LEGEND - NEW CONSTRUCTION	
	ABOVE OR BELOW
	(E) WALL TO REMAIN
	(N) WALL
	1 HR. FIRE RESISTANCE RATED WALL
	(N) DOOR
	(E) WINDOW TO REMAIN
	(N) WINDOW
	[N.I.C.] NOT IN CONTRACT

SHEET NOTES
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN UNITS. ALL INTERIOR DOORS TO BE RE-FINISHED AND REUSED WHERE POSSIBLE. REPLACE ALL INTERIOR FINISHES PER I.D., TYP. REPLACE ALL PLUMBING FIXTURES, TYP. MAINTAIN EXISTING OPENINGS AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & HARDCAPE



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

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Villa Cypress Site

Job Address
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Pebble Beach, CA 93953

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Issued For **PLANNING RESUBMITTAL**

PLN240069

Job Number: **23015**

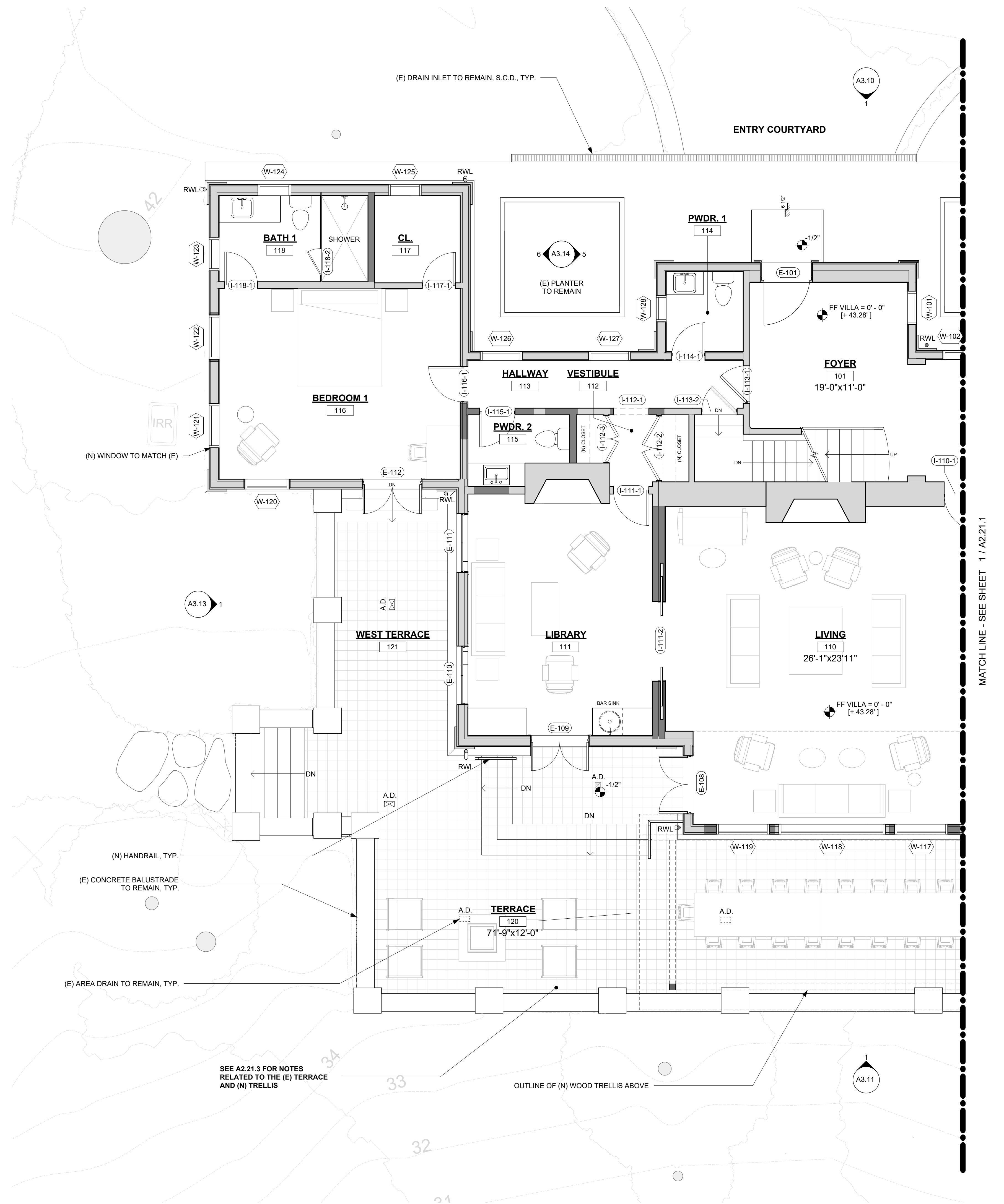
Drawn By: **TF/DC** Checked By: **MA/EL**

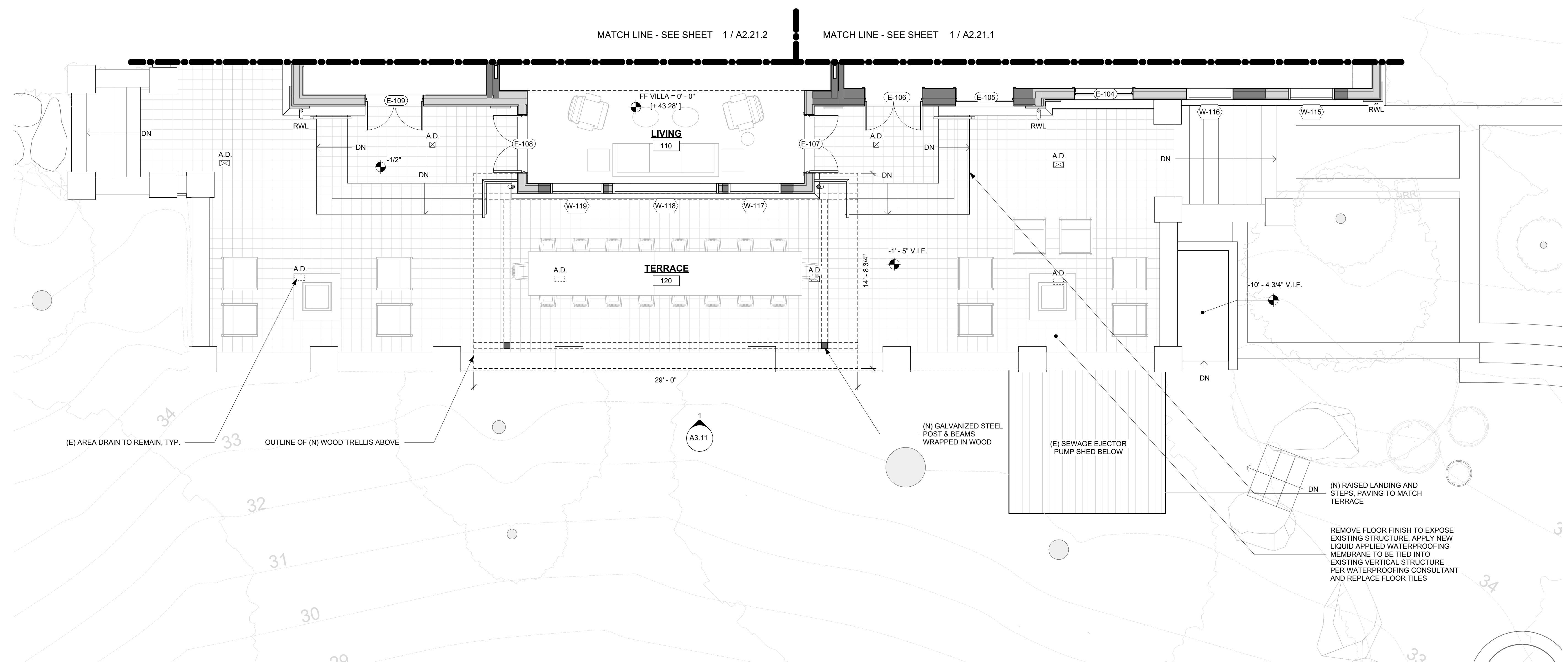
Scale
As indicated

0 2' 4' 8' 16'

Sheet Title
PROPOSED FIRST
FLOOR PLAN - VILLA -
WEST
Sheet No.

A2.21.2





Agency Approvals

Revision No. 1 PLANNING SUBMITTAL 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

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Job Title
Villa Cypress Site

PROPOSED FIRST FLOOR PLAN - VILLA TERRACE ①
1/4" = 1'-0"

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **27 SEPTEMBER 2024**
Issued For
PLANNING RESUBMITTAL

Job Number: **23015**
PLN240069

Drawn By: **TF/DC** Checked By: **MA/EL**

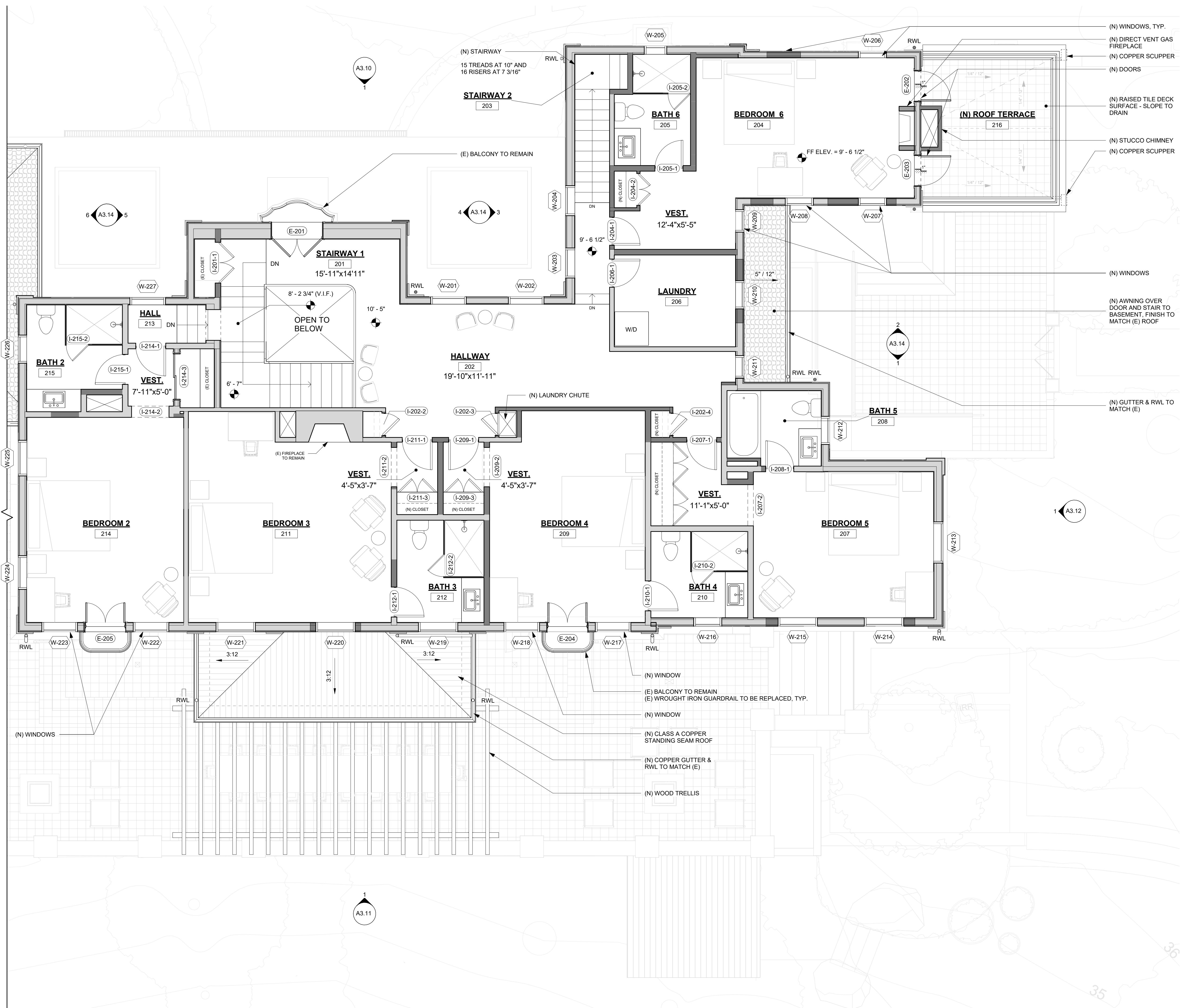
Scale
As indicated

0 2' 4' 8' 16'

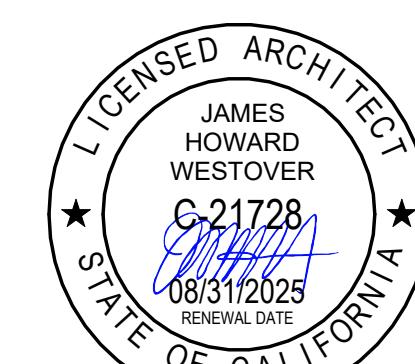
Sheet Title
PROPOSED FIRST FLOOR PLAN - VILLA - SOUTH TERRACE
Sheet No.

A2.21.3

LEGEND - NEW CONSTRUCTION	SHEET NOTES	KEY PLAN
<ul style="list-style-type: none"> — — — ABOVE OR BELOW — — (E) WALL TO REMAIN — (N) WALL — — 1 HR. FIRE RESISTANCE RATED WALL — (N) DOOR — — (E) WINDOW TO REMAIN — (N) WINDOW 	<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN UNITS. ALL INTERIOR DOORS TO BE RE-FINISHED AND REUSED WHERE POSSIBLE. REPLACE ALL INTERIOR FINISHES PER I.D., TYP. REPLACE ALL PLUMBING FIXTURES, TYP. (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSANT, ETC. STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & Hardscape 	



KEY PLAN	
As indicated	0 2' 4' 8' 16'
Sheet Title PROPOSED SECOND FLOOR PLAN - VILLA	
Sheet No.	



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
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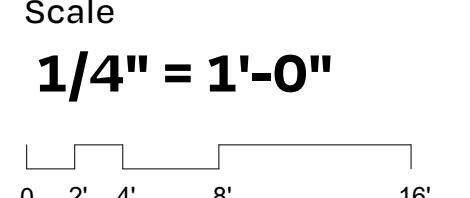
Job Title
Villa Cypress Site

Job Address
**3270 17 Mile Drive
Pebble Beach, CA 93953**

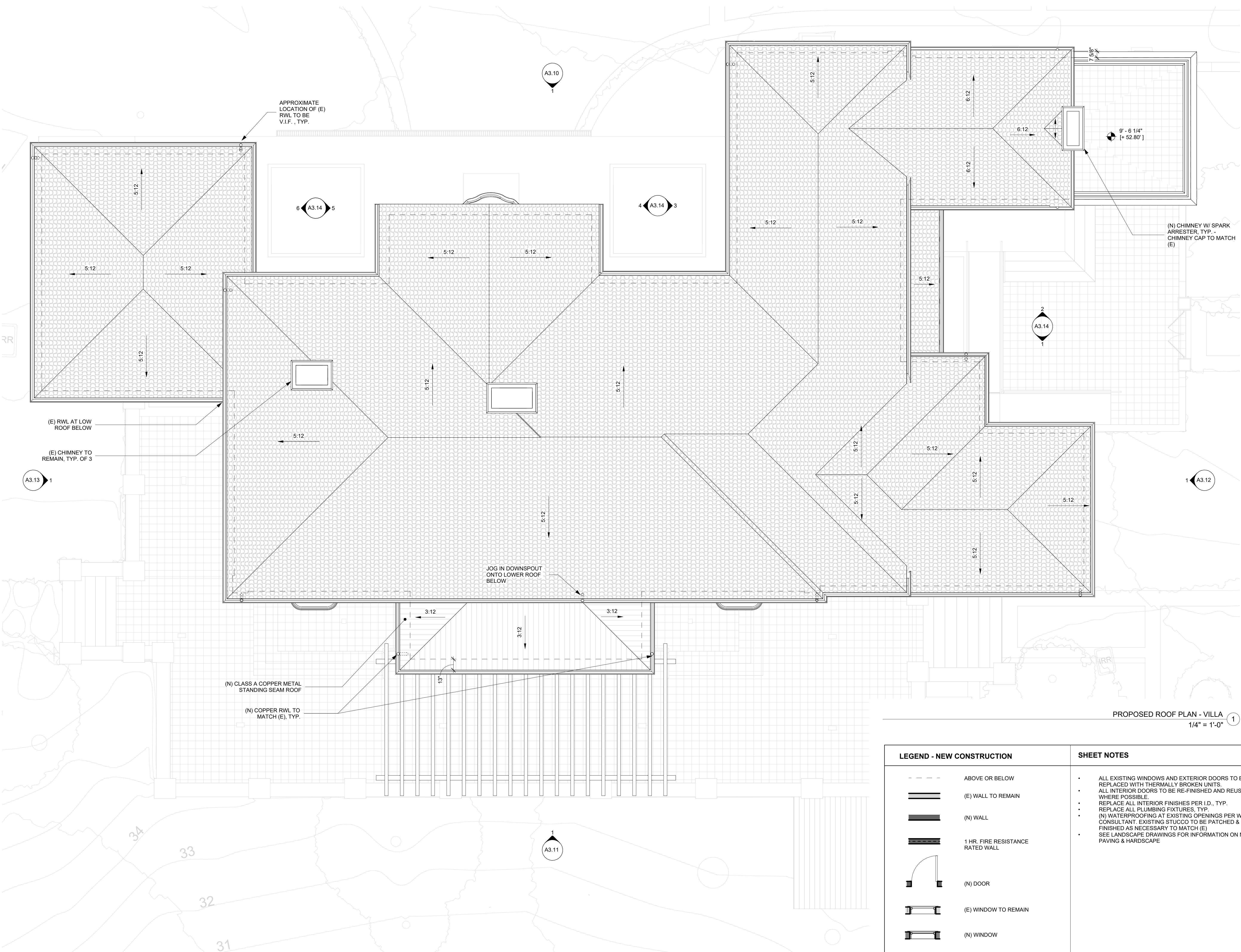
Date: **27 SEPTEMBER 2024**
Issued For **PLANNING RESUBMITTAL**

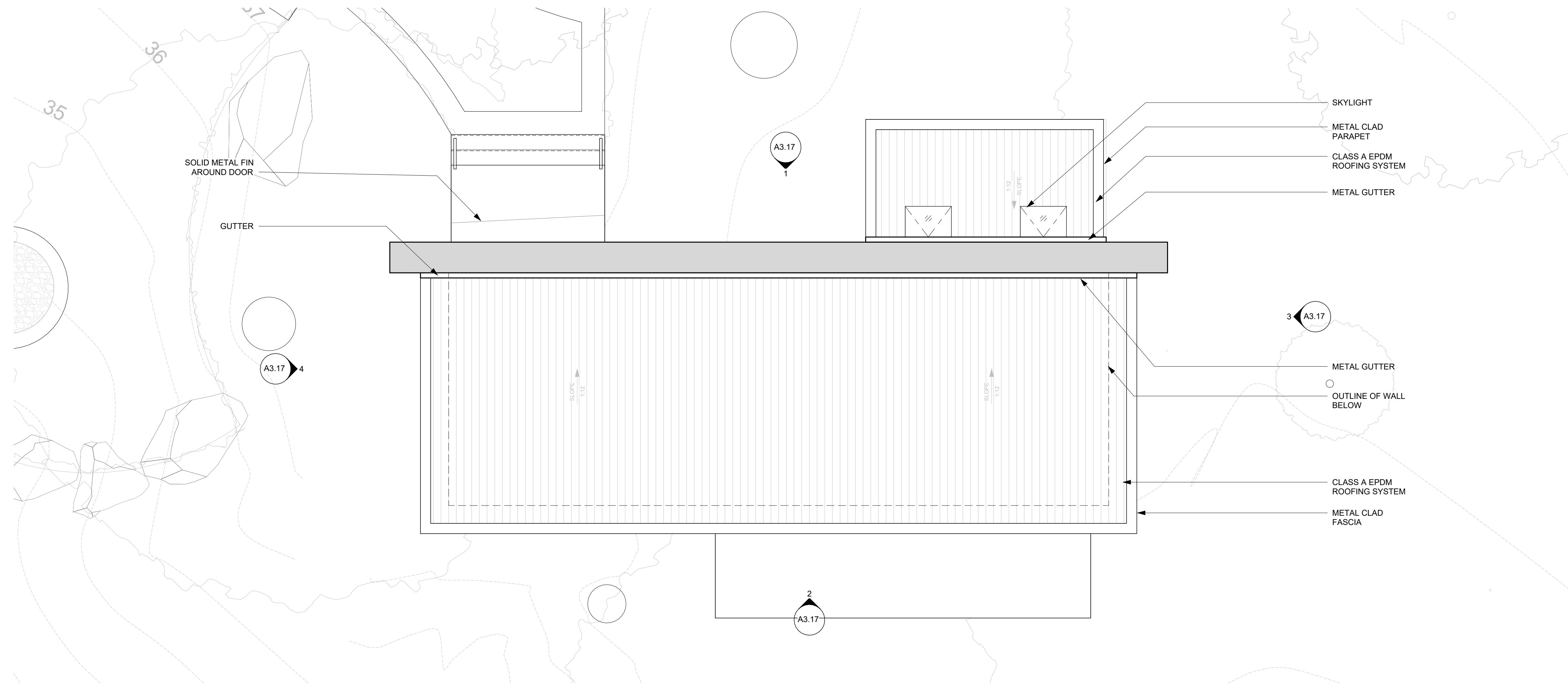
Job Number: **23015**
Drawn By: **TF/DC** Checked By: **MA/EL**

Scale **1/4" = 1'-0"**

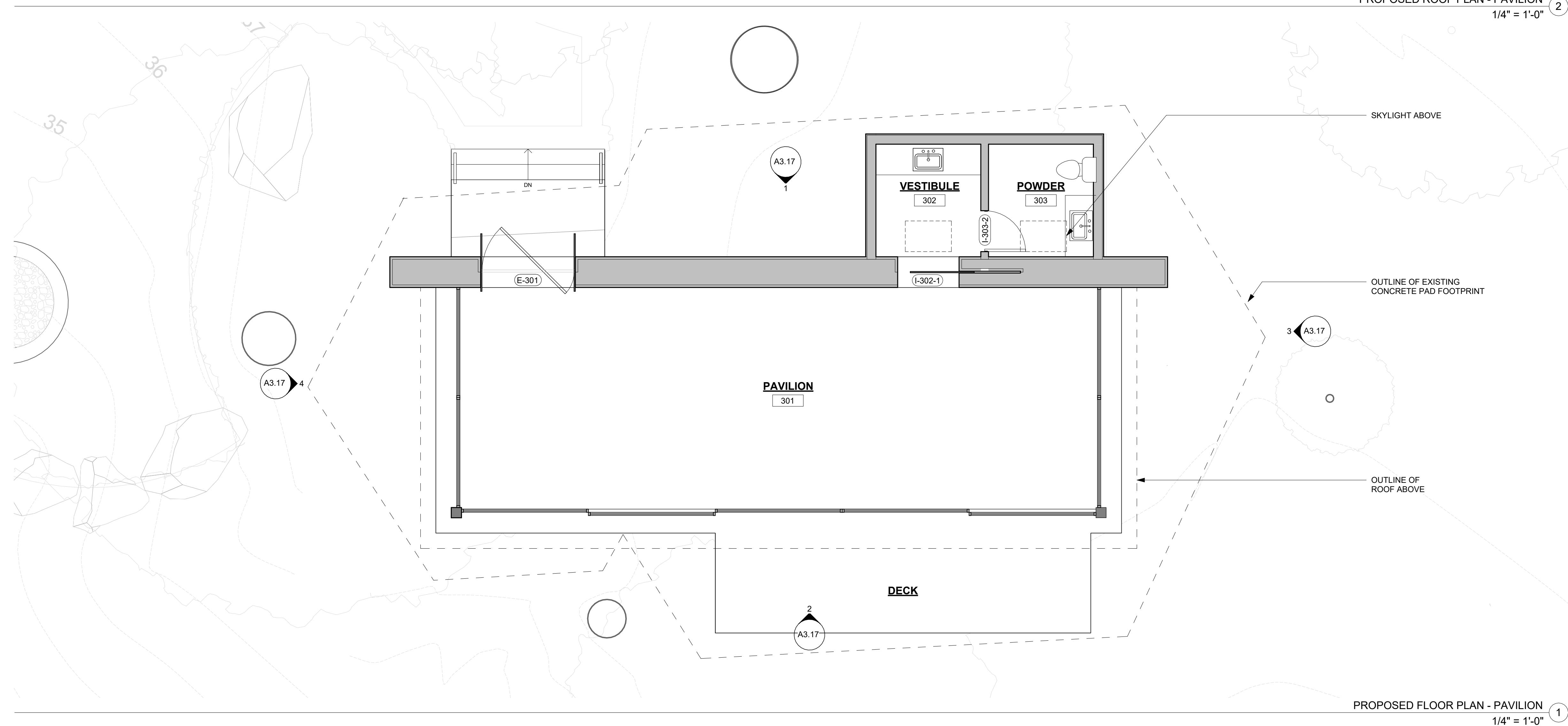


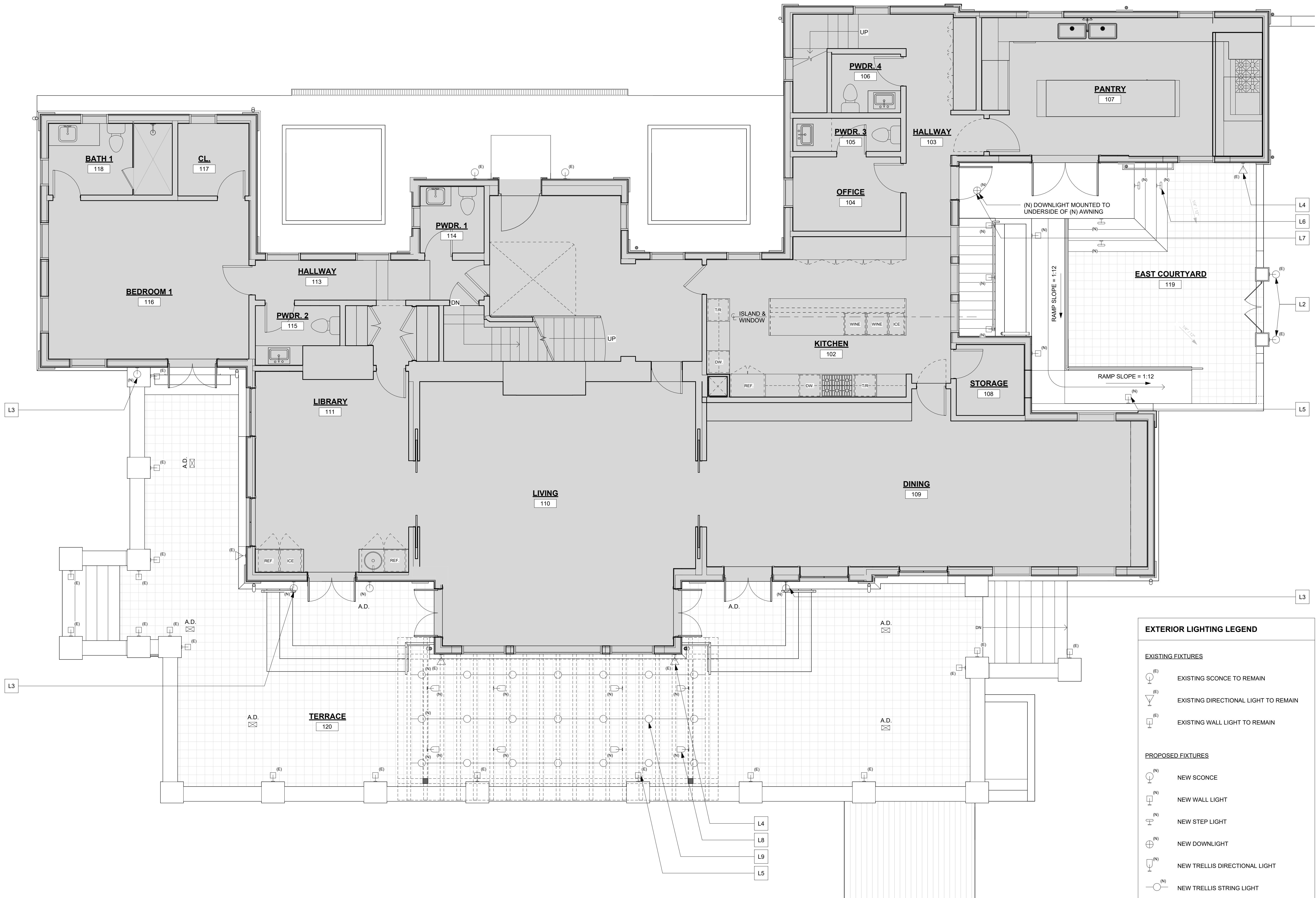
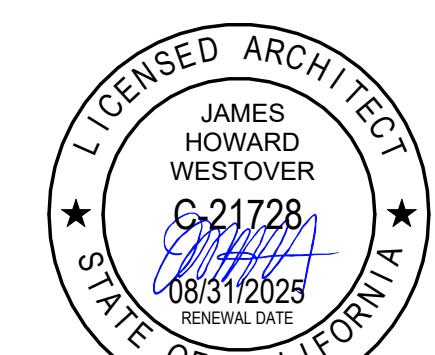
Sheet Title **PROPOSED ROOF PLAN - VILLA**
Sheet No. **A2.23**





LEGEND - NEW CONSTRUCTION	
	ABOVE OR BELOW
	(E) WALL TO REMAIN
	(N) WALL
	1 HR. FIRE RESISTANCE RATED WALL
	(N) DOOR
	(E) WINDOW TO REMAIN
	(N) WINDOW
	[N.I.C.] NOT IN CONTRACT
SHEET NOTES	
<ul style="list-style-type: none"> SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & Hardscape 	
Agency Approvals	
Revision No. 1 PLANNING SUBMITTAL 07/16/2024	
2 PLANNING RESUBMITTAL 09/27/2024	
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Job Title Villa Cypress Site	
Job Address 3270 17 Mile Drive Pebble Beach, CA 93953	
Date: 27 SEPTEMBER 2024	
Issued For PLANNING RESUBMITTAL	
PLN240069 Job Number: 23015	
Drawn By: TF/DDA Checked By: MA/EL	
Scale 1/4" = 1'-0"	
Sheet Title PROPOSED FLOOR AND ROOF PLANS - PAVILION	
Sheet No. A2.25	



EXTERIOR LIGHTING FIRST FLOOR PLAN - VILLA 1
1/4" = 1'-0"

EXISTING FIXTURES	
(E)	EXISTING SCONCE TO REMAIN
(E)	EXISTING DIRECTIONAL LIGHT TO REMAIN
(E)	EXISTING WALL LIGHT TO REMAIN

PROPOSED FIXTURES	
(N)	NEW SCONCE
(N)	NEW WALL LIGHT
(N)	NEW STEP LIGHT
(N)	NEW DOWNLIGHT
(N)	NEW TRELLIS DIRECTIONAL LIGHT
(N)	NEW TRELLIS STRING LIGHT
(N)	NEW INDICATOR LIGHT

Revision No. 2 PLANNING RESUBMITTAL Date 09/27/2024

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Job Title
Villa Cypress Site

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **17 SEPTEMBER 2024**

Issued For
PLANNING RESUBMITTAL

Job Number: **PLN240069**

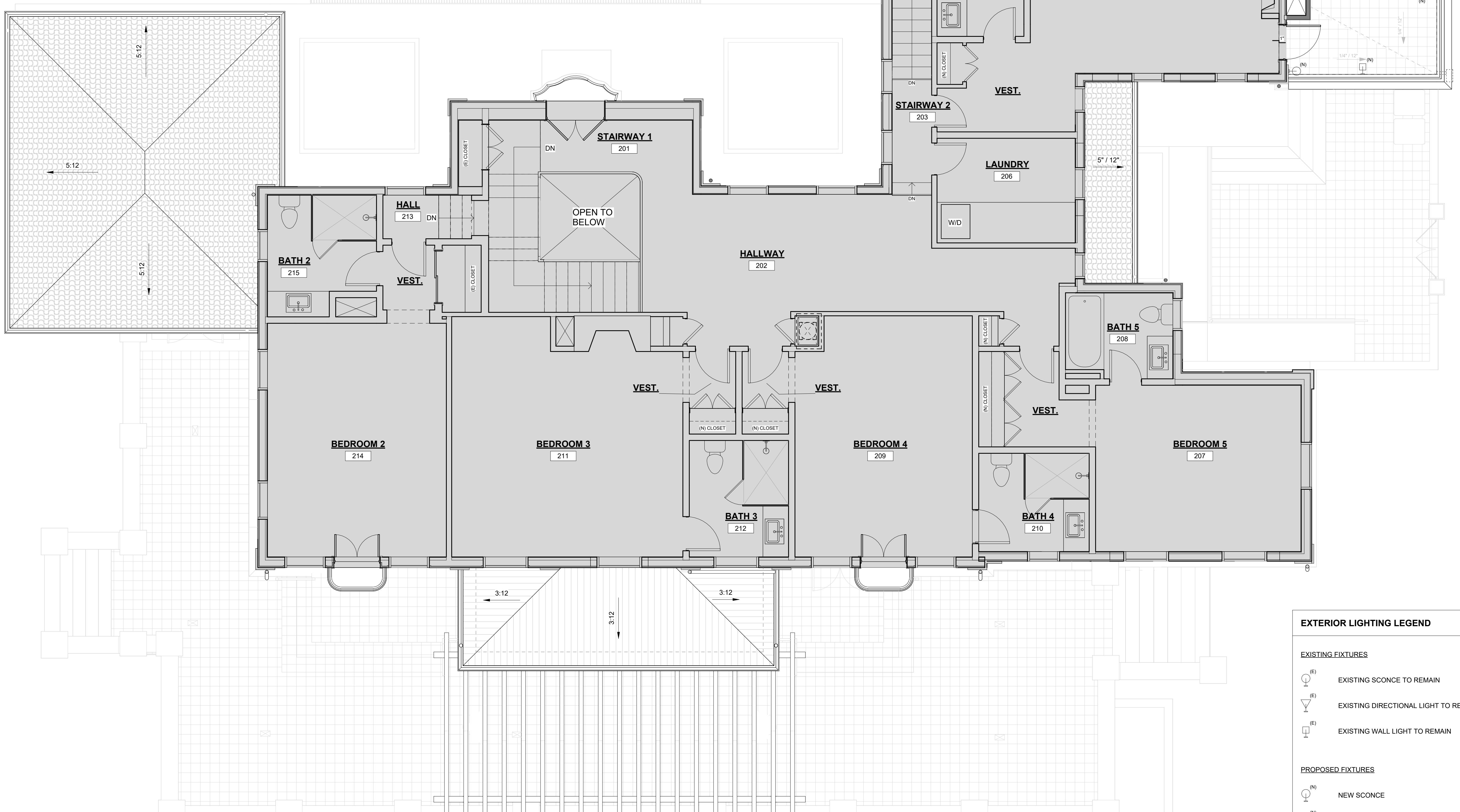
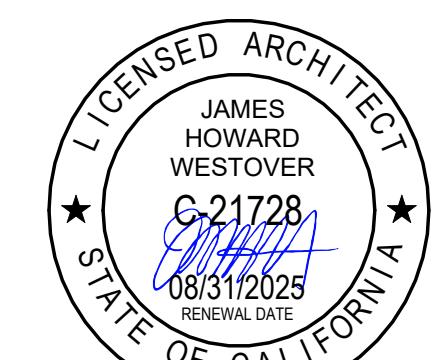
Drawn By: **Author** Checked By: **Checker**

Scale
1/4" = 1'-0"

0 2' 4' 8' 16'

Sheet Title
EXTERIOR LIGHTING
PLAN - VILLA FIRST
FLOOR
Sheet No.

A2.51

EXTERIOR LIGHTING SECOND FLOOR PLAN - VILLA 1
1/4" = 1'-0"

EXTERIOR LIGHTING LEGEND	
EXISTING FIXTURES	
(E)	EXISTING SCONCE TO REMAIN
(E)	EXISTING DIRECTIONAL LIGHT TO REMAIN
(E)	EXISTING WALL LIGHT TO REMAIN
PROPOSED FIXTURES	
(N)	NEW SCONCE
(N)	NEW WALL LIGHT
(N)	NEW STEP LIGHT
(N)	NEW DOWNLIGHT
(N)	NEW TRELLIS DIRECTIONAL LIGHT
(N)	NEW TRELLIS STRING LIGHT
(N)	NEW INDICATOR LIGHT

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Job Title
Villa Cypress Site

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **17 SEPTEMBER 2024**
Issued For
PLANNING RESUBMITTAL

Job Number: **PLN240069**
23015

Drawn By: **Author** Checked By: **Checker**

Scale

1/4" = 1'-0"

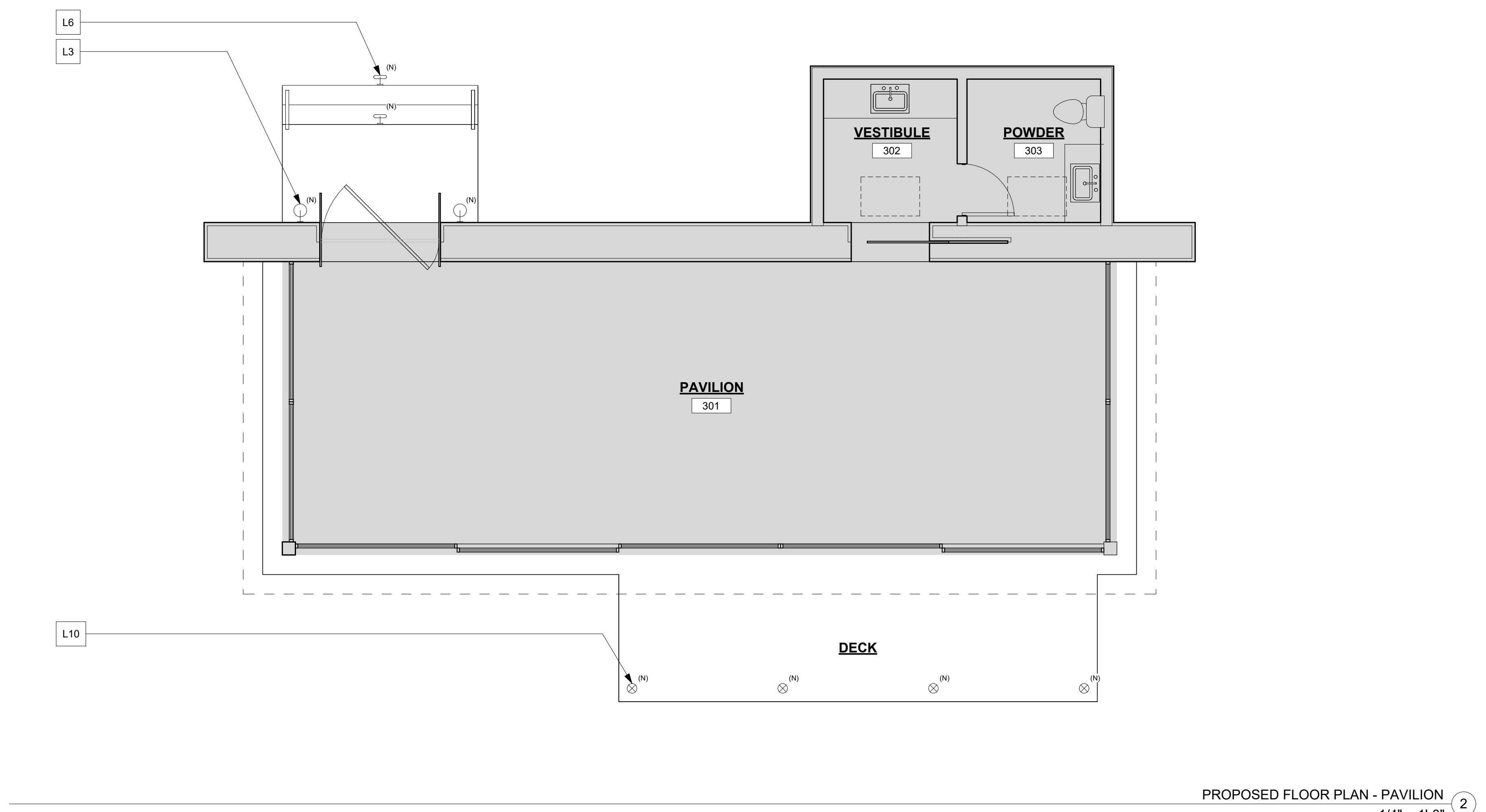


Sheet Title
EXTERIOR LIGHTING
PLAN - VILLA SECOND
FLOOR
Sheet No.

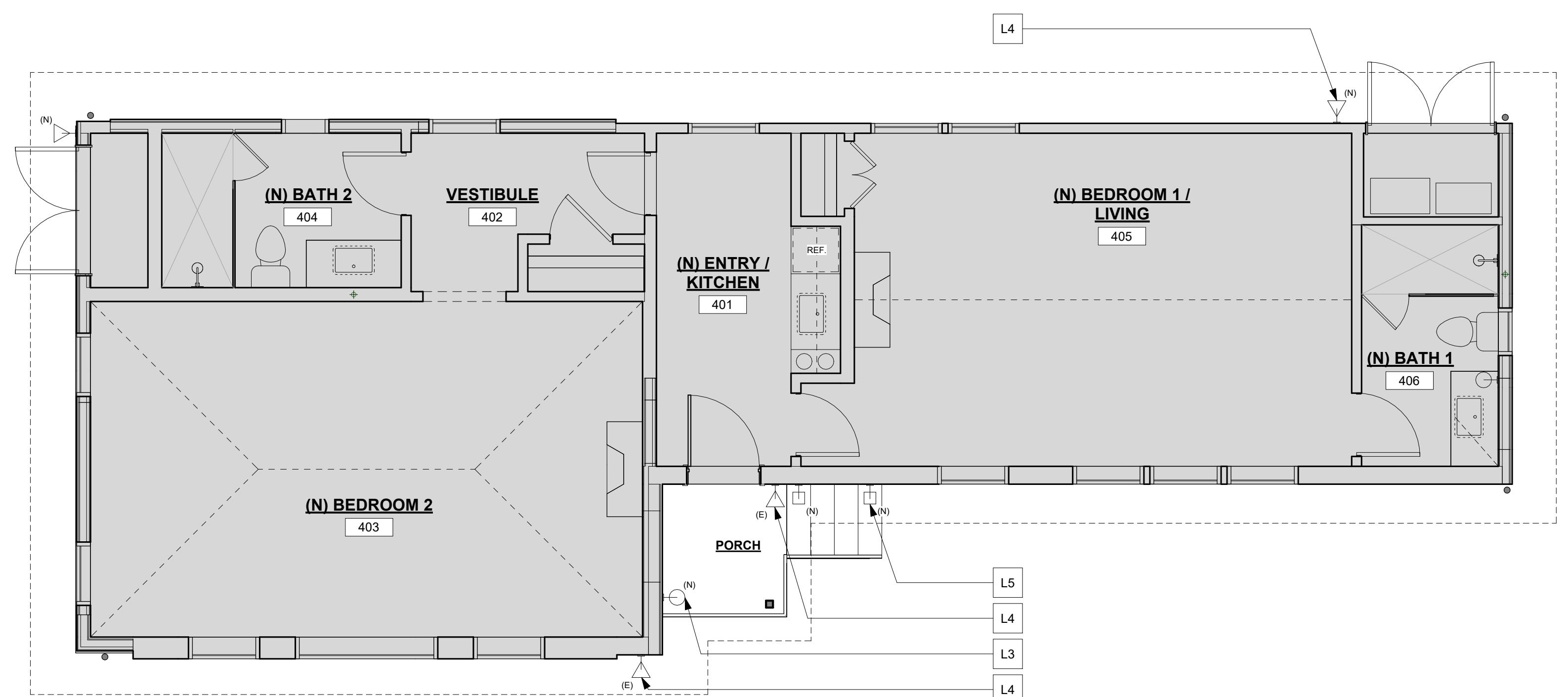
A2.52



Agency Approvals



Revision No. 2 PLANNING RESUBMITTAL Date 09/27/2024



EXTERIOR LIGHTING LEGEND	
EXISTING FIXTURES	
(E)	EXISTING SCONCE TO REMAIN
(E)	EXISTING DIRECTIONAL LIGHT TO REMAIN
(E)	EXISTING WALL LIGHT TO REMAIN
PROPOSED FIXTURES	
(N)	NEW SCONCE
(N)	NEW WALL LIGHT
(N)	NEW STEP LIGHT
(N)	NEW DOWNLIGHT
(N)	NEW TRELLIS DIRECTIONAL LIGHT
(N)	NEW TRELLIS STRING LIGHT
(N)	NEW INDICATOR LIGHT

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Job Address
3270 17 Mile Drive
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Date: **17 SEPTEMBER 2024**
Issued For
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Job Number: **PLN240069**
23015

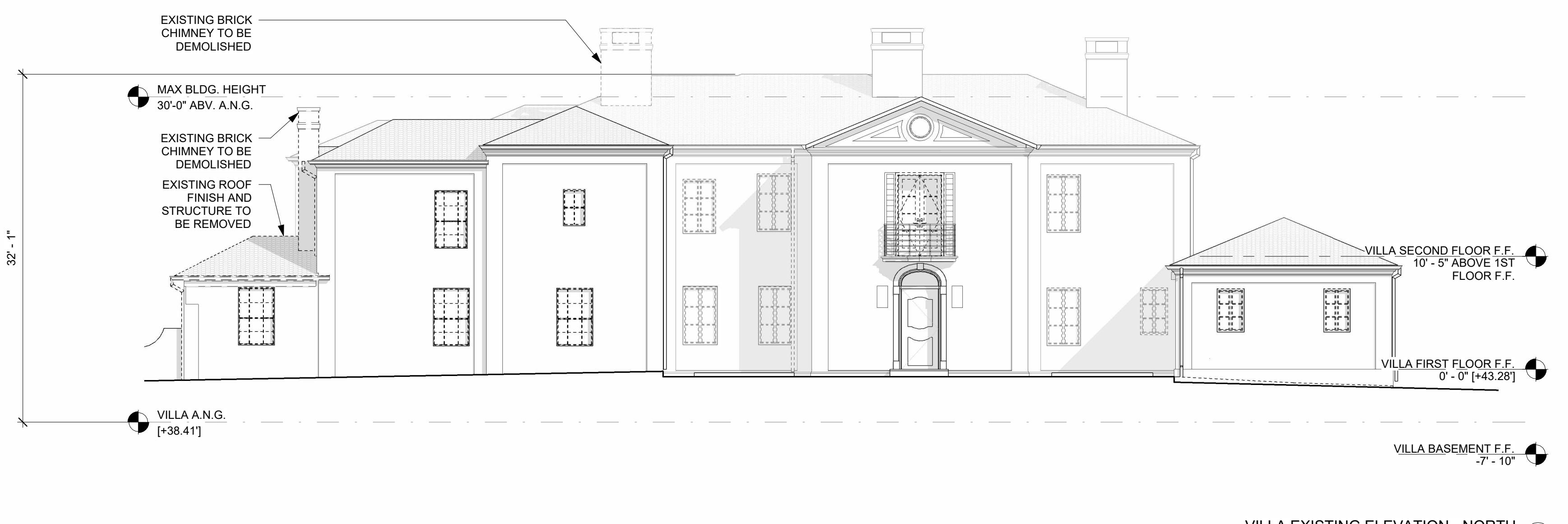
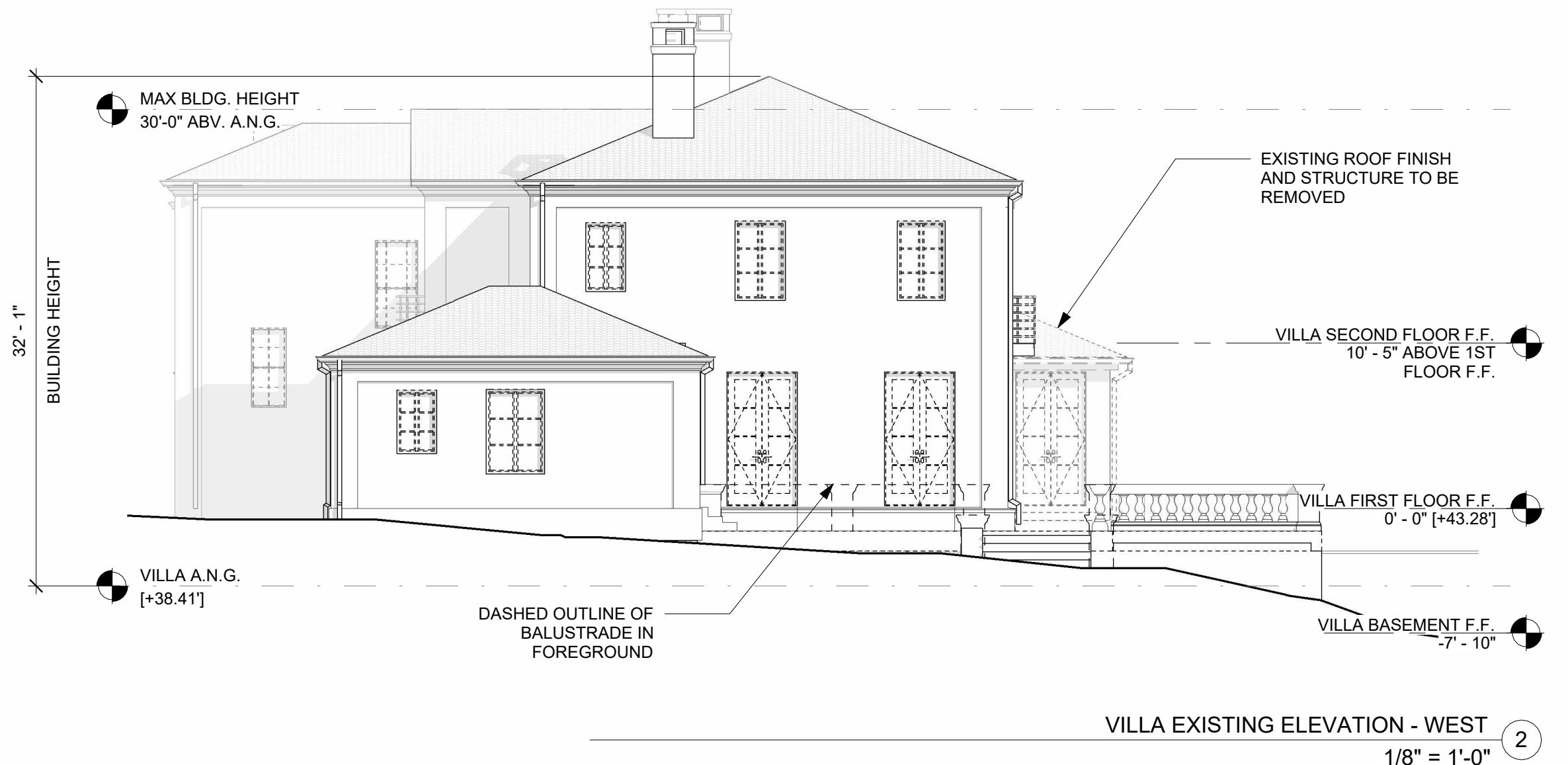
Drawn By: **Author** Checked By: **Checker**

Scale
1/4" = 1'-0"

0 2' 4' 8' 16'

Sheet Title
EXTERIOR LIGHTING
PLAN - ADU & PAVILION
Sheet No.

A2.53



SHEET NOTES	EXISTING / DEMO ELEVATIONS GENERAL NOTES	LEGEND - DEMOLITION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN ALUMINUM UNITS (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL +38.8' REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK +43.28' AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1 	(E) AREA TO BE REMOVED (E) WALL TO BE REMOVED (E) WALL TO REMAIN (E) ITEM TO BE REMOVED

Revision No.
 1 PLANNING SUBMITTAL
 2 PLANNING RESUBMITTAL

Date
 07/16/2024
 09/27/2024

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Job Title
 Villa Cypress Site

Job Address
 3270 17 Mile Drive
 Pebble Beach, CA 93953

Date:
 27 SEPTEMBER 2024

Issued For
 PLANNING RESUBMITTAL

Job Number:
 PLN240069 23015

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
 As indicated

0' 2' 4' 8' 16'

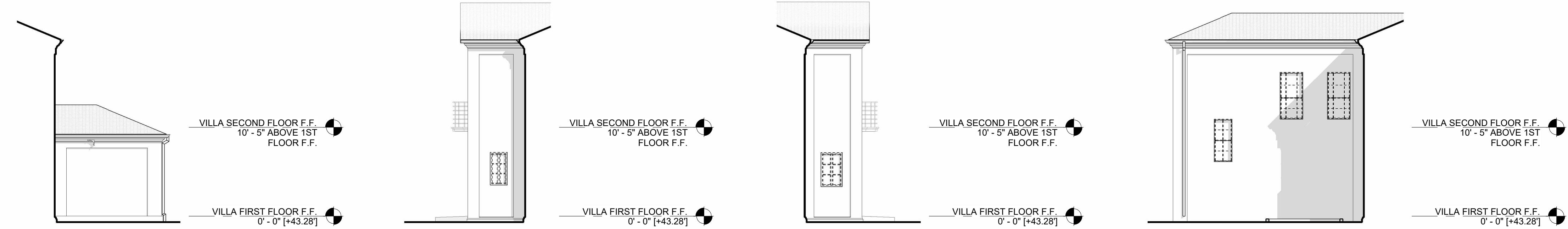
Sheet Title
 EXISTING ELEVATIONS
 - VILLA

Sheet No.

A3.00



Agency Approvals

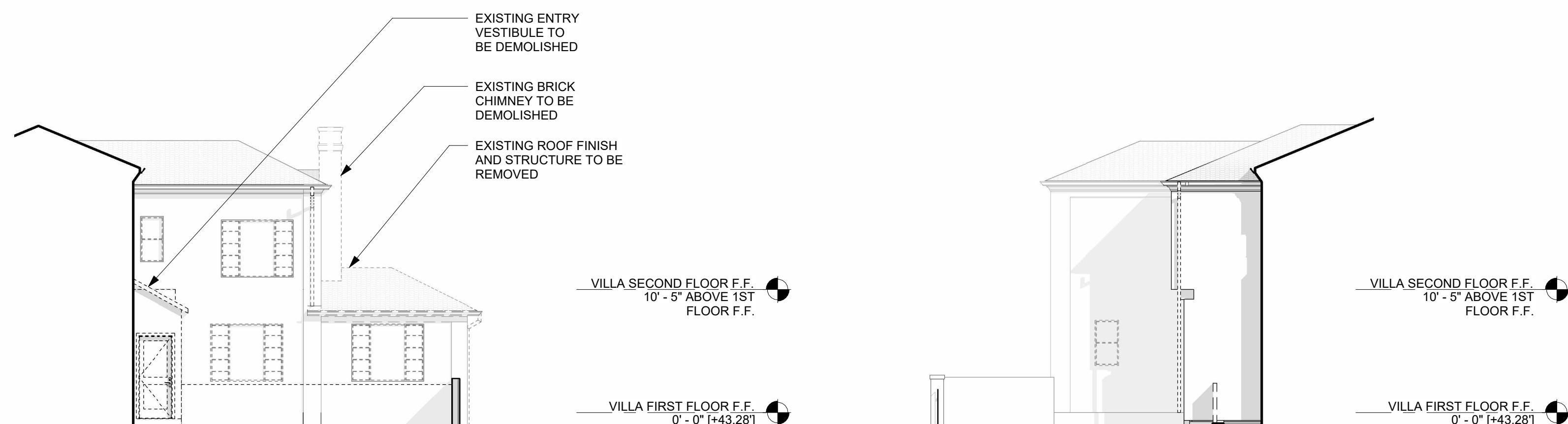


VILLA WEST ENTRY COURTYARD - WEST 1/8" = 1'-0" 6

VILLA WEST ENTRY COURTYARD - EAST 1/8" = 1'-0" 5

VILLA EAST ENTRY COURTYARD - WEST 1/8" = 1'-0" 4

VILLA EAST ENTRY COURTYARD - EAST 1/8" = 1'-0" 3



VILLA EXISTING ELEVATION - EAST COURTYARD - NORTH 1/8" = 1'-0" 2

VILLA EXISTING ELEVATION - EAST COURTYARD - SOUTH 1/8" = 1'-0" 1

Revision No. Date
1 PLANNING SUBMITTAL 07/16/2024
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Date: **27 SEPTEMBER 2024**
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Job Number: **23015**
Drawn By: **TF/DC** Checked By: **MA/EL**

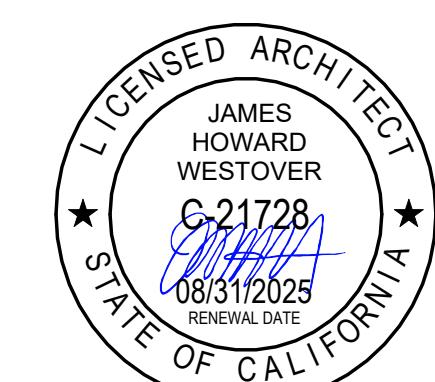
Scale
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Sheet Title
EXISTING ELEVATIONS

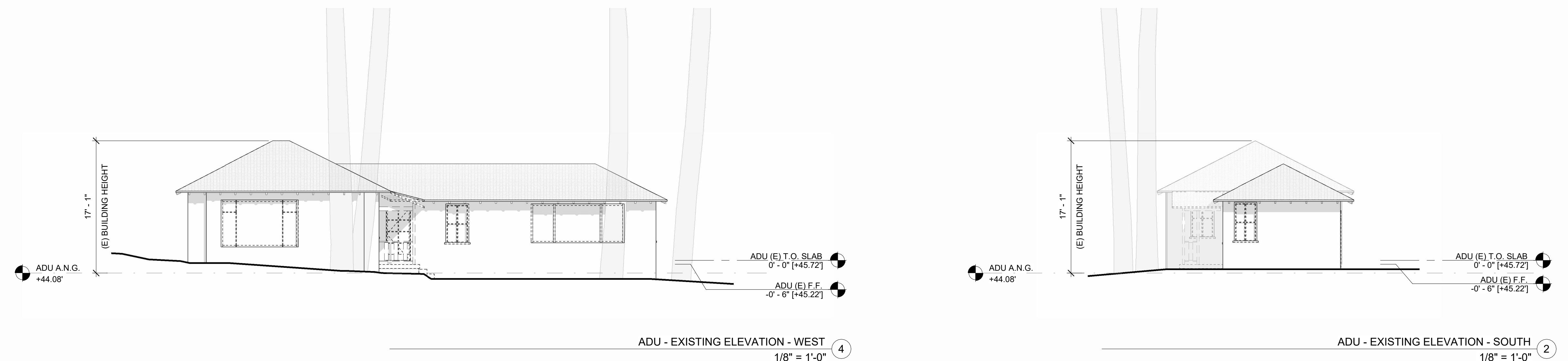
- **VILLA**
Sheet No.

A3.01

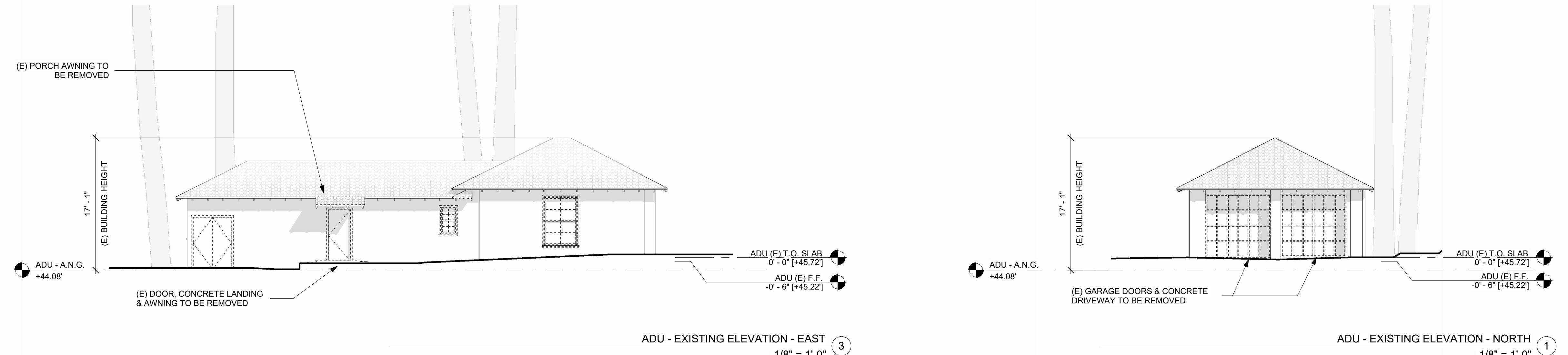
SHEET NOTES	EXISTING / DEMO ELEVATIONS GENERAL NOTES	LEGEND - DEMOLITION	KEY PLAN
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN ALUMINUM UNITS (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL +38.8' REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK +43.28' AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1 		



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Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale

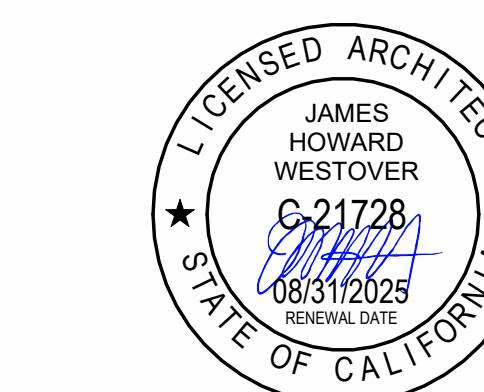
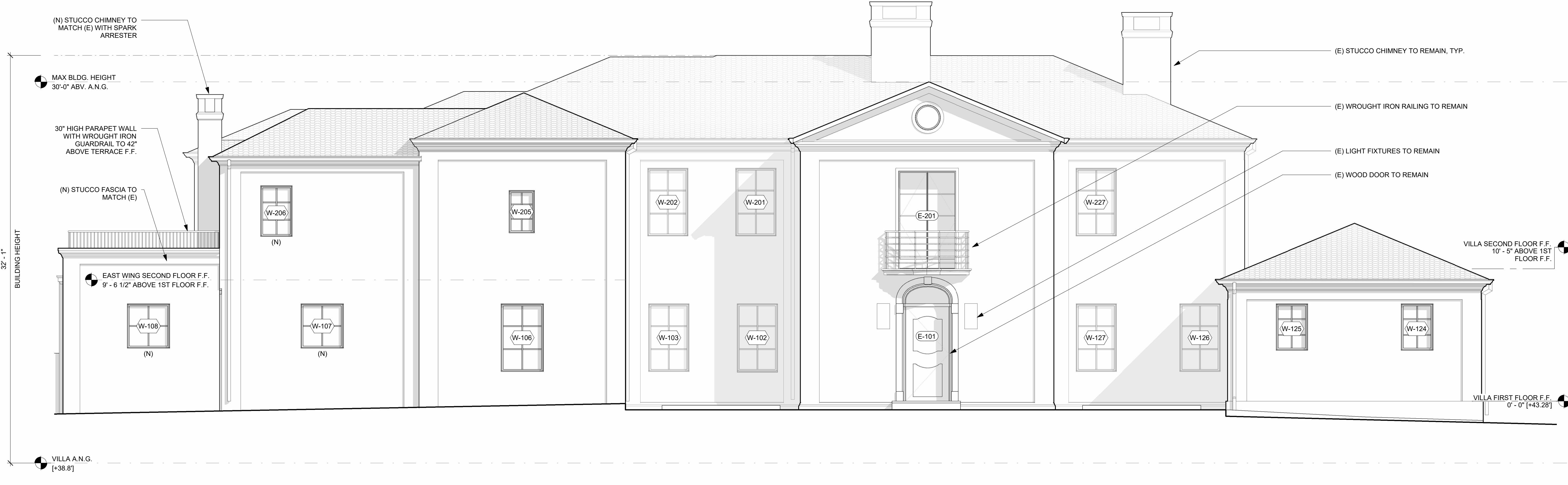
Sheet Title
EXISTING ELEVATIONS

- ADU

Sheet No.

A3.02

SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN ALUMINUM UNITS 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL [+38.8] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UNLESS PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<ul style="list-style-type: none"> — — — ABOVE OR BELOW — (E) WALL TO REMAIN — (N) WALL — — — 1 HR. FIRE RESISTANCE RATED WALL — [N.I.C.] NOT IN CONTRACT



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL 2 PLANNING RESUBMITTAL Date 07/16/2024 09/27/2024

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VILLA BASEMENT F.F. -7'-10"

PROPOSED ELEVATION - NORTH 1
1/4" = 1'-0"

Job Title
Villa Cypress Site

Job Address
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Pebble Beach, CA 93953

Date: **27 SEPTEMBER 2024**
Issued For
PLANNING RESUBMITTAL

Job Number: **23015**
Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
1/4" = 1'-0"
0' 2' 4' 8' 16'

Sheet Title
PROPOSED EXTERIOR ELEVATIONS - VILLA

Sheet No.

A3.10



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
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Date: **27 SEPTEMBER 2024**
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Job Number: **PLN240069**
23015

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale **1/4" = 1'-0"**

Sheet Title **PROPOSED EXTERIOR ELEVATIONS - VILLA**
Sheet No.

A3.11



SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED IN-KIND WITH THERMALLY BROKEN UNITS, DIMENSIONS TO MATCH EXISTING. (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) ALL (E) METAL WORK TO BE REFINISHED & REPAINTED AS NECESSARY TO MATCH (E) (E) STUCCO FINISH TO REMAIN - PATCH & REPLACE AS NEEDED (E) COPPER GUTTERS & RWL TO REMAIN - REPLACE AS NEEDED TO MATCH EXISTING (E) CLASS A CLAY BARREL TILE ROOFING TO REMAIN SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & Hardscape 	<ol style="list-style-type: none"> 1. AVERAGE NATURAL GRADE LEVEL [+38.8'] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 2. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28'] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. 3. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UN. PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<p>— - - ABOVE OR BELOW</p> <p>— (E) WALL TO REMAIN</p> <p>— (N) WALL</p> <p>— — — 1 HR. FIRE RESISTANCE RATED WALL</p> <p>[N.I.C.] NOT IN CONTRACT</p>



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Revision No. 1 PLANNING SUBMITTAL Date 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024



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Job Number: **23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale **1/4" = 1'-0"**

Sheet Title **PROPOSED EXTERIOR ELEVATIONS - VILLA**
Sheet No.

A3.12

SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED IN-KIND WITH THERMALLY BROKEN UNITS, DIMENSIONS TO MATCH EXISTING. (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) ALL (E) METAL WORK TO BE REFINISHED & REPAINTED AS NECESSARY TO MATCH (E) (E) STUCCO FINISH TO REMAIN - PATCH & REPLACE AS NEEDED (E) COPPER GUTTERS & RWL TO REMAIN - REPLACE AS NEEDED TO MATCH EXISTING (E) CLASS A CLAY BARREL TILE ROOFING TO REMAIN SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & HARDSCAPE 	<ol style="list-style-type: none"> 1. AVERAGE NATURAL GRADE LEVEL [+38.8] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 2. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. 3. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UN. PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<p>— — — ABOVE OR BELOW</p> <p>— (E) WALL TO REMAIN</p> <p>— (N) WALL</p> <p>— — — 1 HR. FIRE RESISTANCE RATED WALL</p> <p>[N.I.C.] NOT IN CONTRACT</p>



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Job Number: **PLN240069 23015**

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale

1/4" = 1'-0"

0' 2' 4' 8' 16'

Sheet Title
PROPOSED EXTERIOR ELEVATIONS - VILLA

Sheet No.

A3.13



SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED IN-KIND WITH THERMALLY BROKEN UNITS, DIMENSIONS TO MATCH EXISTING. (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSULTANT. EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) ALL (E) METAL WORK TO BE REFINISHED & REPAINTED AS NECESSARY TO MATCH (E) (E) STUCCO FINISH TO REMAIN - PATCH & REPLACE AS NEEDED (E) COPPER GUTTERS & RWL TO REMAIN - REPLACE AS NEEDED TO MATCH EXISTING (E) CLASS A CLAY BARREL TILE ROOFING TO REMAIN SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & HARDCAPE 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL [+38.8'] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28'] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UN. PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<p>— — — ABOVE OR BELOW</p> <p>— (E) WALL TO REMAIN</p> <p>— (N) WALL</p> <p>— — — 1 HR. FIRE RESISTANCE RATED WALL</p> <p>[N.I.C.] NOT IN CONTRACT</p>



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Villa Cypress Site

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Date: **27 SEPTEMBER 2024**
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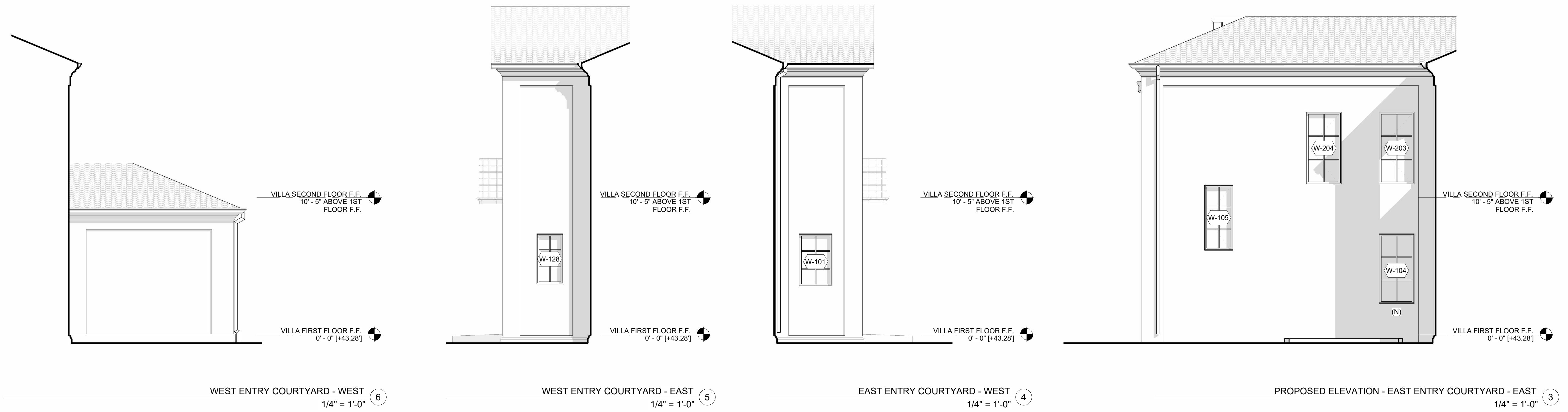
Job Number: **23015**
Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
As indicated

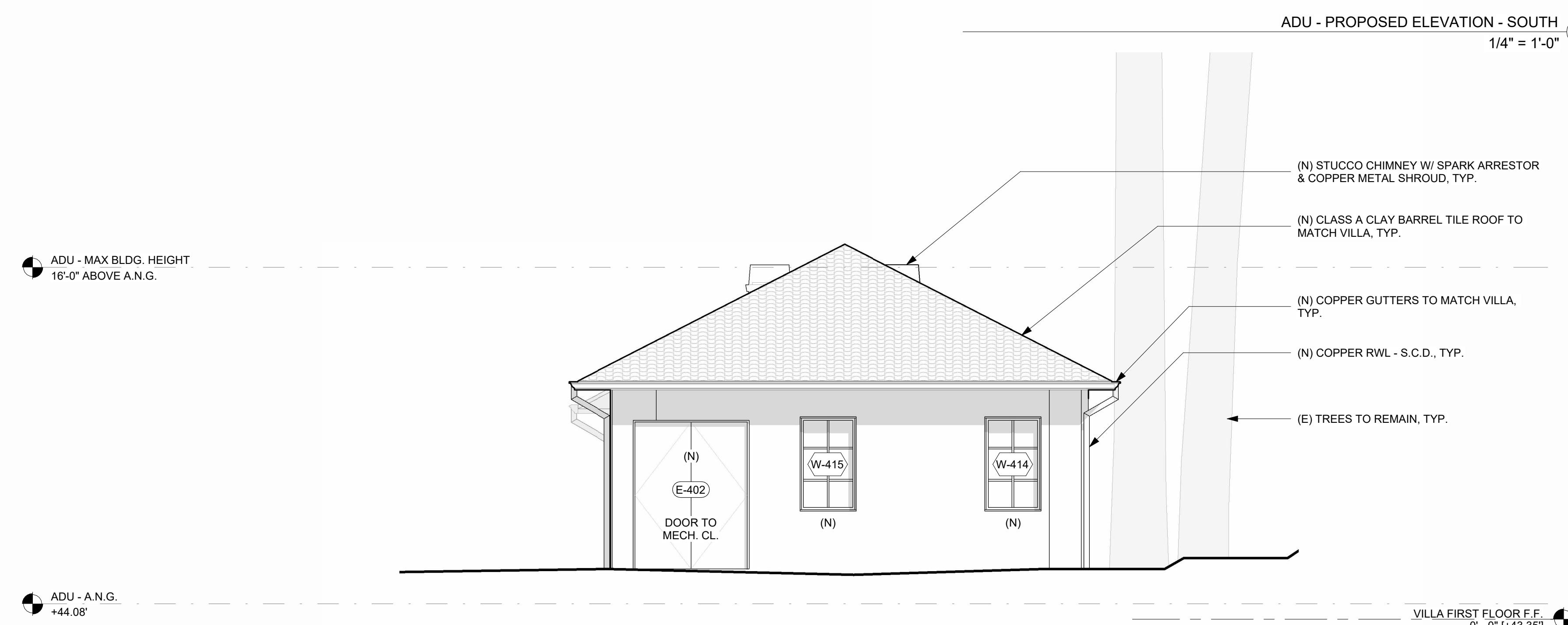
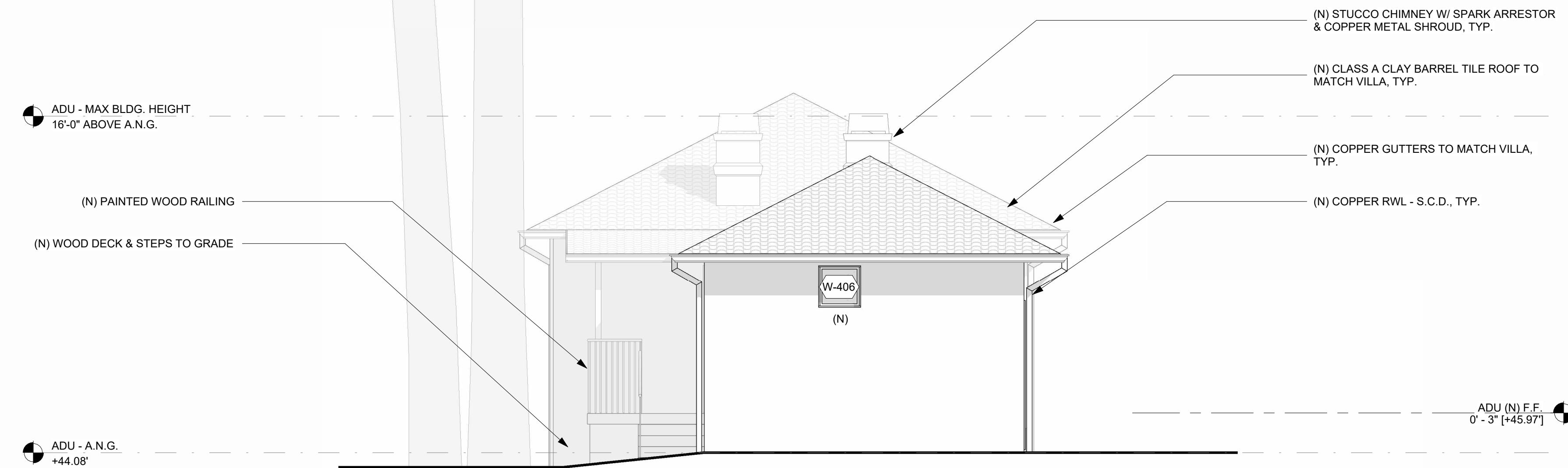
Sheet Title
PROPOSED EXTERIOR ELEVATIONS - VILLA

Sheet No.

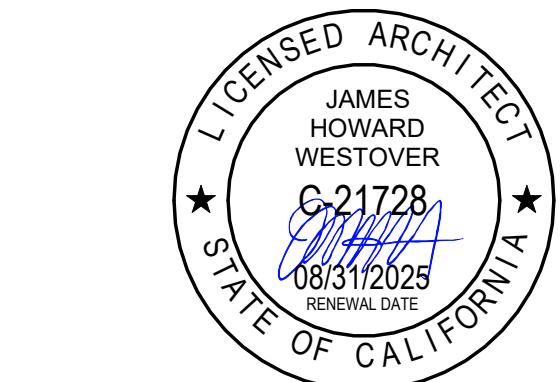
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	SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION	KEY PLAN
	<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED IN-KIND WITH THERMALLY BROKEN UNITS, DIMENSIONS TO MATCH EXISTING. (N) WATERPROOFING AT EXISTING OPENINGS PER WP CONSTANT, EXISTING STUCCO TO BE PATCHED & FINISHED AS NECESSARY TO MATCH (E) ALL (E) METAL WORK TO BE REFINISHED & REPAINTED AS NECESSARY TO MATCH (E) (E) STUCCO FINISH TO REMAIN - PATCH & REPLACE AS NEEDED (E) COPPER GUTTERS & RWL TO REMAIN - REPLACE AS NEEDED TO MATCH EXISTING (E) CLASS A CLAY BARREL TILE ROOFING TO REMAIN SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & Hardscape 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL [+38.8] REFER TO THE DEMOLITION SITE PLAN ON SHEET A.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UON PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<ul style="list-style-type: none"> — — — ABOVE OR BELOW — (E) WALL TO REMAIN — (N) WALL — 1 HR. FIRE RESISTANCE RATED WALL — [N.I.C.] NOT IN CONTRACT 	



	SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
	<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN UNITS. REPLACE ALL INTERIOR FINISHES, PER I.D., TYP. REPLACE ALL PLUMBING FIXTURES, TYP. (E) STUCCO FINISH TO BE REPLACED AS NEEDED - MATCH VILLA FOR FINISHES SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & HARSCAPE 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL [+38.8'] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28'] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UNLESS PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<p>— — — ABOVE OR BELOW</p> <p>— (E) WALL TO REMAIN</p> <p>— (N) WALL</p> <p>— — — 1 HR. FIRE RESISTANCE RATED WALL</p> <p>[N.I.C.] NOT IN CONTRACT</p>



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Job Number: **23015**

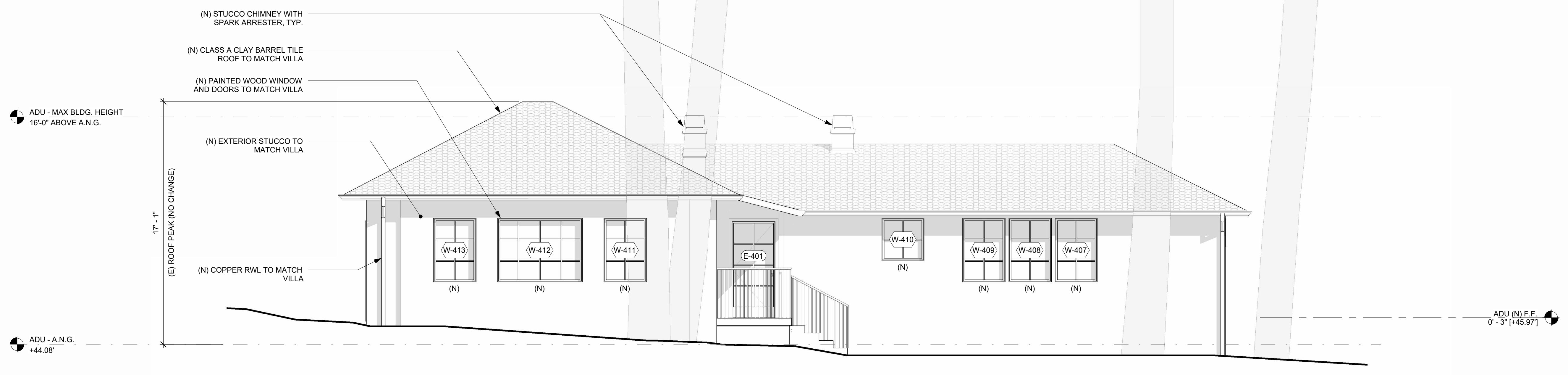
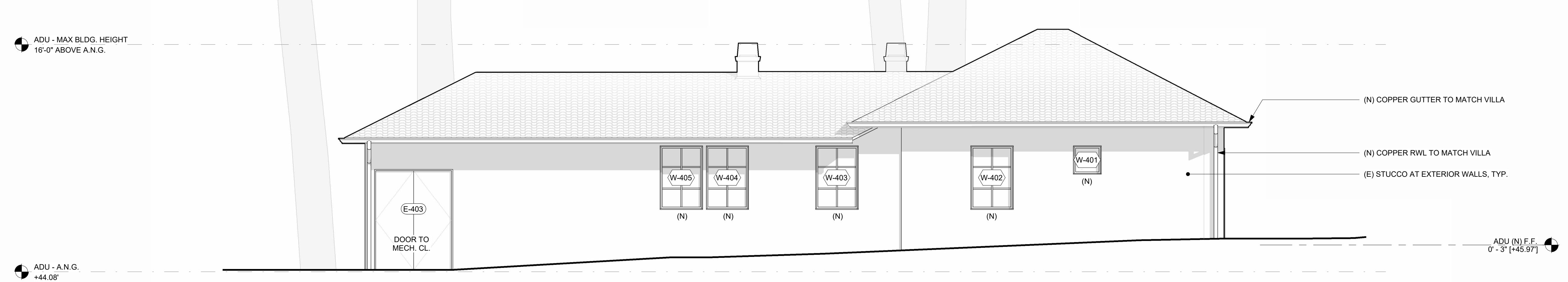
Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
1/4" = 1'-0"

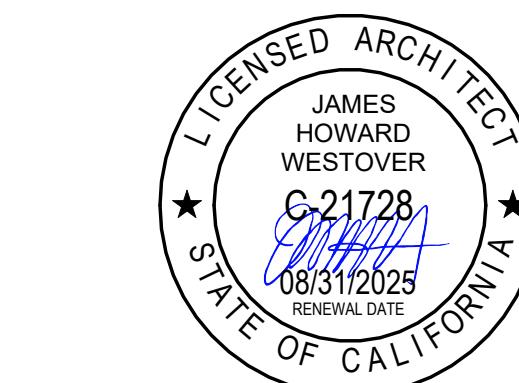
Sheet Title
PROPOSED EXTERIOR ELEVATIONS - ADU

Sheet No.

A3.15

ADU - PROPOSED ELEVATION - WEST ②
1/4" = 1'-0"ADU - PROPOSED ELEVATION - EAST ①
1/4" = 1'-0"

SHEET NOTES	PROPOSED ELEVATIONS GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<ul style="list-style-type: none"> ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE REPLACED WITH THERMALLY BROKEN UNITS. REPLACE ALL INTERIOR FINISHES, PER I.D., TYP. REPLACE ALL PLUMBING FIXTURES, TYP. (E) STUCCO FINISH TO BE REPLACED AS NEEDED - MATCH VILLA FOR FINISHES SEE LANDSCAPE DRAWINGS FOR INFORMATION ON NEW PAVING & Hardscape 	<ol style="list-style-type: none"> AVERAGE NATURAL GRADE LEVEL [+38.8'] REFER TO THE DEMOLITION SITE PLAN ON SHEET A1.00 AND TOPOGRAPHIC SURVEY SU-1 FOR MORE INFORMATION. 0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK [+43.28'] AT FRONT DOOR ON TOPOGRAPHIC SURVEY, REF. SU-1. ALL EXTERIOR DOORS AND WINDOWS TO BE REPLACED IN EXISTING OPENINGS, UNLESS PROPOSED NEW WINDOWS & DOORS IN NEW OPENINGS ARE NOTED IN ELEVATION AS "(N)". 	<p>— — — ABOVE OR BELOW</p> <p>— (E) WALL TO REMAIN</p> <p>— (N) WALL</p> <p>— — — 1 HR. FIRE RESISTANCE RATED WALL</p> <p>[N.I.C.] NOT IN CONTRACT</p>



Agency Approvals

Revision No. 1 PLANNING SUBMITTAL 07/16/2024
2 PLANNING RESUBMITTAL 09/27/2024

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of William Duff Architects, Inc. and may not be reused or reproduced in any manner without our express written consent.

Job Title
Villa Cypress Site

Job Address
3270 17 Mile Drive
Pebble Beach, CA 93953

Date: **27 SEPTEMBER 2024**
Issued For **PLANNING RESUBMITTAL**

Job Number: **23015**
PLN240069

Drawn By: **TF/DC** Checked By: **MA/EL**

Scale
1/4" = 1'-0"

Sheet Title
PROPOSED EXTERIOR ELEVATIONS - ADU

Sheet No.

A3.16



Agency Approvals

Revision No.	Date	
1	PLANNING SUBMITTAL	07/16/2024
2	PLANNING RESUBMITTAL	09/27/2024

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Job Address
3270 17 Mile Drive
Dublin, Oregon 97332

2

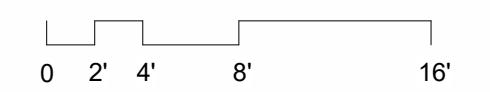
27 SEPTEMBER

Issued For **2024**
PLANNING RESUBMITTAL

Job Number: **23015**

Scalability

1/4" = 1'-0"



Sheet Title

PROPOSED EXTERIOR ELEVATIONS - PAVILION

Sheet No.

