

Exhibit B

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Draft Resolution

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

LAMMERSEN WILLIAM BART & SARAH (PLN240063)

RESOLUTION NO. ___

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow the construction of an existing 2,141 square foot single family dwelling and associated hardscape; and construction of a two story 3,349 square foot single family dwelling with a 551 square foot attached garage and 634 square foot detached accessory dwelling unit. Colors and materials consist of white brick for the body and brown asphalt composition roofing shingles, white wood fascia for the trim, white aluminum clad windows, and copper gutters and downspouts.

[PLN240063, LAMMERSEN WILLIAM BART & SARAH, 2967 Cormorant Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-262-005-000)]

The LAMMERSEN WILLIAM BART & SARAH application (PLN240063) came on for a public hearing before the Monterey County Zoning Administrator on August 29, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS

WHEREAS, the proposed project PLN240063, located at 2967 Cormorant Road, Pebble Beach, Greater Monterey Peninsula Area Plan, 2010 General Plan (APN: 007-262-005-000), is consistent with the policies of the Monterey County 2010 General Plan, Greater Monterey Peninsula Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Medium Density Residential with a Building Site 6 overlay and Design Control overlay with a Recreational Equipment Storage overlay or “MDR/B-6-D-RES” which allows for construction of a new single-family dwelling, subject to the granting of a Design Approval;

WHEREAS, as proposed, the project consists of construction of demolition of an existing residence, to be replaced with new 3,349 square foot single-family dwelling and 551 square foot attached garage, and 634 square foot detached accessory dwelling unit.

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Monterey County Code (MCC) Section 21.12.060 and 21.12.070.D, and the special setbacks granted by a blanket Variance (ZA00595) approved in 1969 (see attached plans);

WHEREAS, the proposed colors and materials (white brick for the body and brown asphalt composition roofing shingles, white wood fascia for the trim, white aluminum clad windows, and copper gutters and downspouts), and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the subject property is not located in a Visually Sensitive area as illustrated in Figure 14 –Scenic Highway Corridors & Visual Sensitivity, of the Greater Monterey Peninsula. Greater Monterey Peninsula Area Plan Policy GMP-3.3.e states that new development in this area may be permitted if located and designed in such a manner that will maintain the visual character of the area. The location of the proposed development cannot be seen from any public viewing areas due to being located behind an existing residence, as well as surrounded by mature Monterey Pine trees. The proposed materials and colors to be used are modern in nature with white brick for the body and copper gutters, and brown composition roofing that is consistent with the neighborhood character and assures the visual integrity of the area and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Monterey Peninsula Area Plan;

WHEREAS, the proposed project includes the removal of 2 non-native trees due to proximity of the proposed accessory dwelling unit, and reconstruction of the driveway (see file No. LIB240148). In accordance with MCC Section [21.64.260.D.5], the proposed tree removal is the minimum required under the circumstances of this case and will not result in adverse environmental impacts;

WHEREAS, in accordance with 2010 General Plan Policy OS-6.3 and MCC Section 21.66.050, a Phase 1 Archaeological Report was prepared (see file No. LIB240146). The archaeologist concluded that the results of the survey was negative, and recommended that a condition be placed on the permit requiring the Owner/Applicant to stop work within 50 meters of any uncovered resources and contact Monterey County HCD-Planning and a qualified archaeologist before proceeding with construction or grading. As such, a standard condition requiring stop work has been applied;

WHEREAS, the subject property (0.27 acres) is identified in its current size and configuration as Monterey Peninsula Country Club Subdivision No.1, and is therefore recognized by the County as legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property;

WHEREAS, the project was referred to the Del Monte Forest Land Use Advisory Committee pursuant to Board of Supervisors adopted LUAC Guidelines, at which the LUAC on August 1, 2024 voted 8-0 to support the project as proposed. There was no public comment made, and staff has not received any public comment letters;

WHEREAS, the subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property, and the proposed project is not to correct any outstanding violations;

WHEREAS, California Environmental Quality Act (CEQA) Guidelines Section 15302 categorically exempts construction of new single-family dwellings and accessory dwelling units. Therefore, the proposed development is consistent with CEQA Guidelines Section 15301 and none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15302 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow demolition of an existing 2,141 square foot single family dwelling and associated hardscape; and construction of a two story 3,349 square foot single family dwelling with a 551 square foot attached garage and 634 square foot detached accessory dwelling unit. Colors and materials consist of white brick for the body

and brown asphalt composition roofing shingles, white wood fascia for the trim, white aluminum clad windows, and copper gutters and downspouts.

PASSED AND ADOPTED this 29 day of August, 2024.

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240063

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN40063) allows for demolition of an existing residence to construct new 3,349 square foot residence with detached 634 square foot ADU. The property is located at 2967 Cormorant Road, Pebble Beach (Assessor's Parcel Number 007-262-005-000), Greater Monterey Peninsula Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 007-262-005-000 on August 29,2024. The permit was granted subject to 3 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

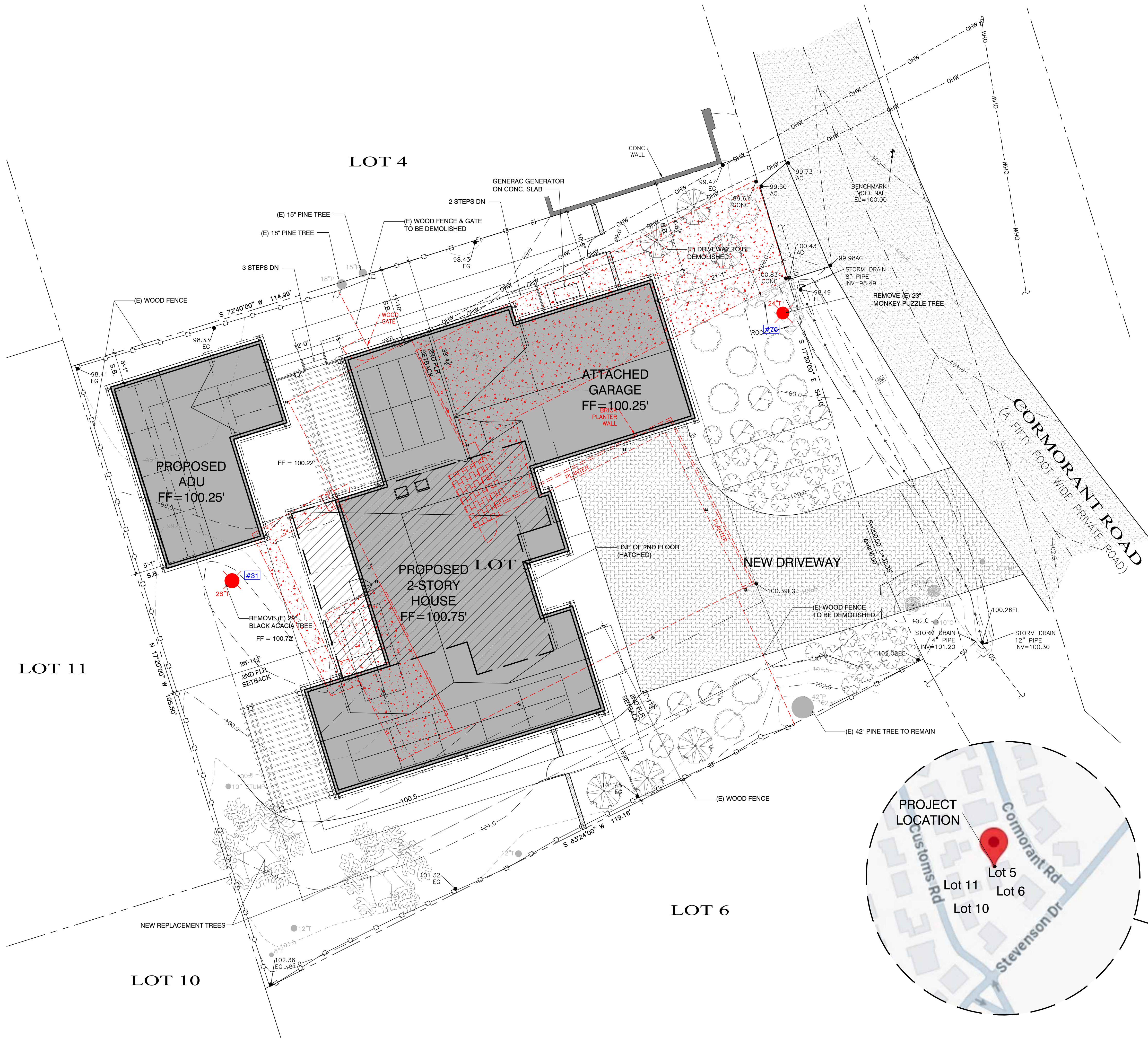
Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.



PROJECT INFORMATION

Project / Owner: **Lammersen Residence**
 2967 CORMORANT ROAD
 PEBBLE BEACH, CA 93953
 APN.: 007-262-005

LOCATION: 2967 Cormorant Road
 Pebble Beach, CA 93953

SCOPE OF WORK: Demolition of existing 2,141 SF house, fence, driveway. Construct new two-story single family dwelling with attached 2-car garage and detached ADU.

OWNER: Bart & Sarah Lammersen
 451 Fremont Avenue
 Los Altos, CA 94024
 PH: (408) 390-3591

APN: 007-262-005
 ZONE: MDR/B-6-D-RES

TREE REMOVAL: 2

OCCUPANCY: R-3 Residence, U Garage

CONSTRUCTION TYPE: Type VB sprinklered

GRADING: Approximately 15 CY Cut
 Approximately 21 CY Fill

LOT SIZE: 11,082 sf OR 0.25 acre

PARKING: 2 covered
 2 uncovered

BUILDING COVERAGE/ F.A.R. ALLOWED (35.0%):

First Floor	2288.0 sf
Garage	551.0 sf
Second Floor	1061.0 sf
Total F.A.R.:	35% 3900.0 sf

BUILDING SITE COVERAGE/ ALLOWED (35.0%):

Main Level Footprint (including Garage)	2839.0 sf
2nd floor over back patio	192.0 sf
ADU	634.0 sf
Total Site Coverage:	33% 3665.0 sf

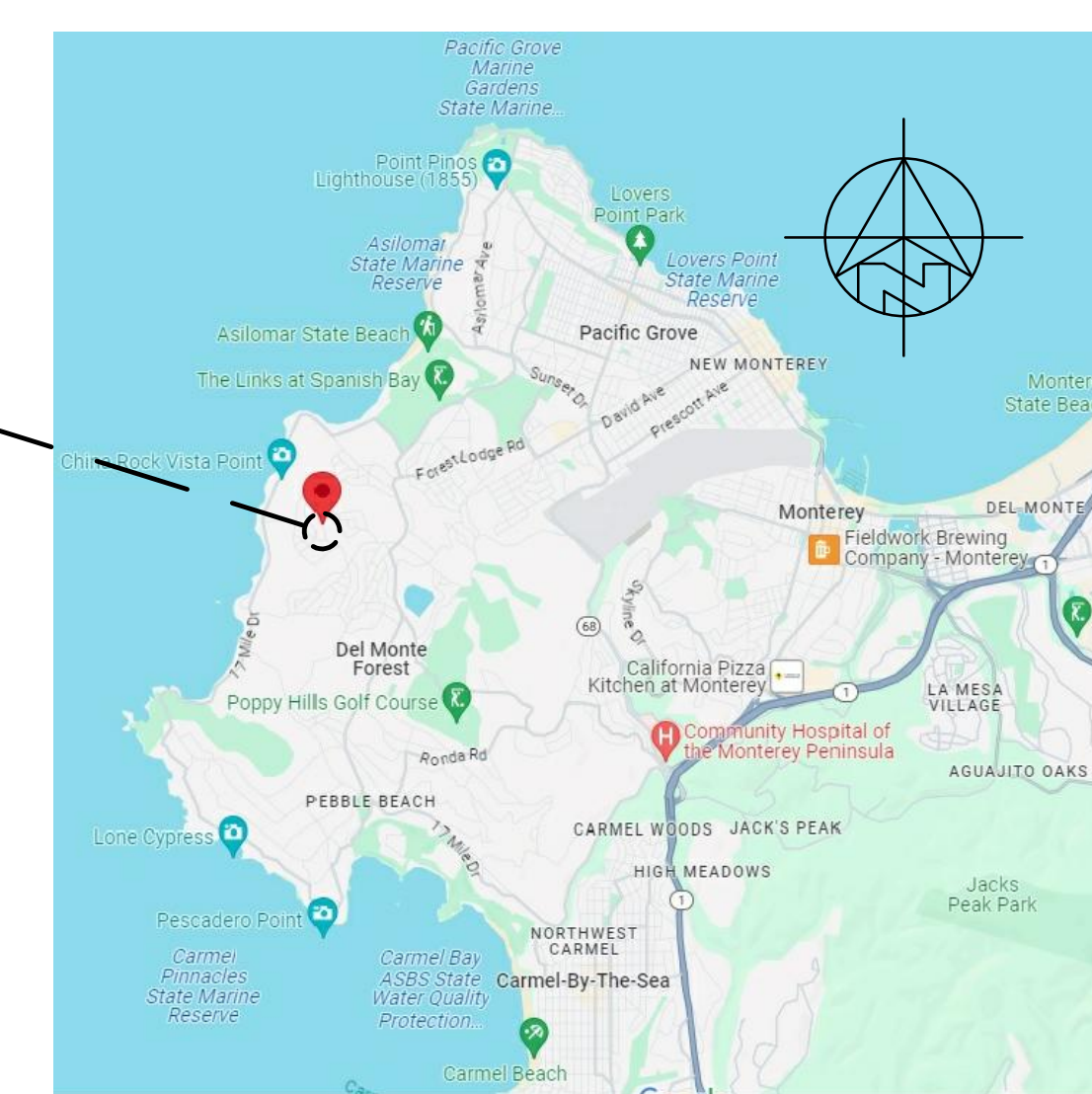
LEGEND TOTAL EXISTING TREES = 5

- XXX TREES TO BE REMOVED PER ARBORIST REPORT DATED JAN. 31, 2024
- TREES TO BE REMOVED = -2
- NEW REPLACEMENT TREES = 2 (SEE LANDSCAPE DWGS)

SHEET INDEX

- A1.1 PROPOSED SITE PLAN
- A1.2 EXISTING TOPO (FOR REFERENCE ONLY)
- A1.3 PROPOSED EROSION CONTROL PLAN
- A1.4 PROPOSED GRADING AND DRAINAGE PLAN
- A1.5 CONSTRUCTION EROSION CONTROL NOTES AND DETAILS
- A1.6 CONSTRUCTION MANAGEMENT PLAN
- A2.1 PROPOSED 1ST FLOOR PLANS - MAIN HOUSE AND ADU
- A2.2 PROPOSED 2ND FLOOR PLANS - MAIN HOUSE AND ADU
- A2.3 PROPOSED ROOF PLANS - MAIN HOUSE AND ADU
- A3.0 PROPOSED RENDERING AND DETAILS
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 PROPOSED EXTERIOR ELEVATIONS
- A3.3 PROPOSED EXTERIOR ELEVATIONS
- L1.1 PROPOSED LANDSCAPE PLAN
- L1.2 PROPOSED FUEL MANAGEMENT PLAN

VICINITY MAP



Project / Owner: **Lammersen Residence**
 2967 CORMORANT ROAD
 PEBBLE BEACH, CA 93953
 APN.: 007-262-005

THE PAUL DAVIS PARTNERSHIP
 ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
 286 Eldorado Street
 Monterey, CA 93940
 (831) 373-2784 FAX (831) 373-7459
 EMAIL: info@pauldavispartnership.com

Drawn By: AC
 Drawing Date: 5/21/2024
 Project Number: 2337
 Revisions:

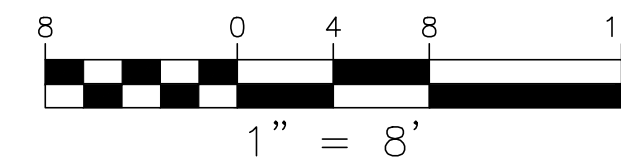
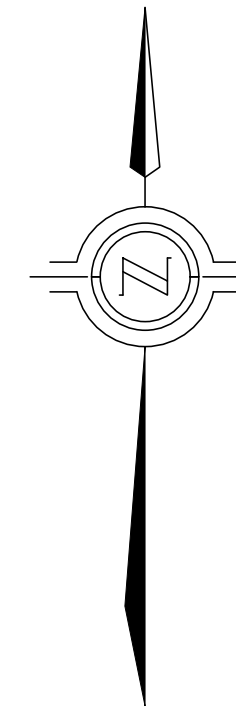
Sheet Title: **PROPOSED SITE PLAN**
 Sheet Number:

PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

Lammersen Residence

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005



LEGEND

	PROPERTY LINE
	OVERHEAD WIRE
	FLOW LINE
	WOOD FENCE
	MAJOR CONTOUR (1' INTERVAL)
	MINOR CONTOUR (0.5' INTERVAL)

	ASPHALT		WATER METER
	BOTTOM STAIRS		WATER VALVE
	CYPRESS TREE		IRRIGATION CONTROL
	CONCRETE		HOSE BIB
	CYPRESS TREE		ELECTRICAL METER
	DOWNSPOUT		UTILITY POLE
	EXISTING GRADE		GAS VALVE
	EXISTING GRADE		GAS METER
	FACE OF CURB		SEWER CLEANOUT
	FLOW LINE		DOWNSPOUT
	FINISH PAVEMENT		
	FACE OF WALL		
	JUNIPER TREE		
	OAK TREE		
	PINE TREE		
	RIDGE LINE		
	TREE		
	TOP OF STAIRS		
	TYPICAL		

	BRICK
	CONCRETE
	ASPHALT

NOTES:

- BOUNDARY DATA SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DOCUMENTS. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS PER CHICAGO TITLE COMPANY ORDER NO. FWMN-5252300252-FA, AND SHOWN APPROXIMATE ONLY. THIS IS NOT A BOUNDARY SURVEY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- A LOCAL BENCHMARK FOR THIS PROJECT IS A 60D NAIL SET IN CORMORANT ROAD AS SHOWN HEREON, HAVING AN ELEVATION OF 100.00 FEET BASED ON AN ASSUMED DATUM.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN OCTOBER 2023.

Drawn By: AC

Drawing Date: 5/21/2024

Project Number: 2337

Revisions:

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Sheet Title:
**EXISTING TOPO -
FOR REF. ONLY**

Sheet Number:



EXISTING TOPO (FOR REFERENCE ONLY)

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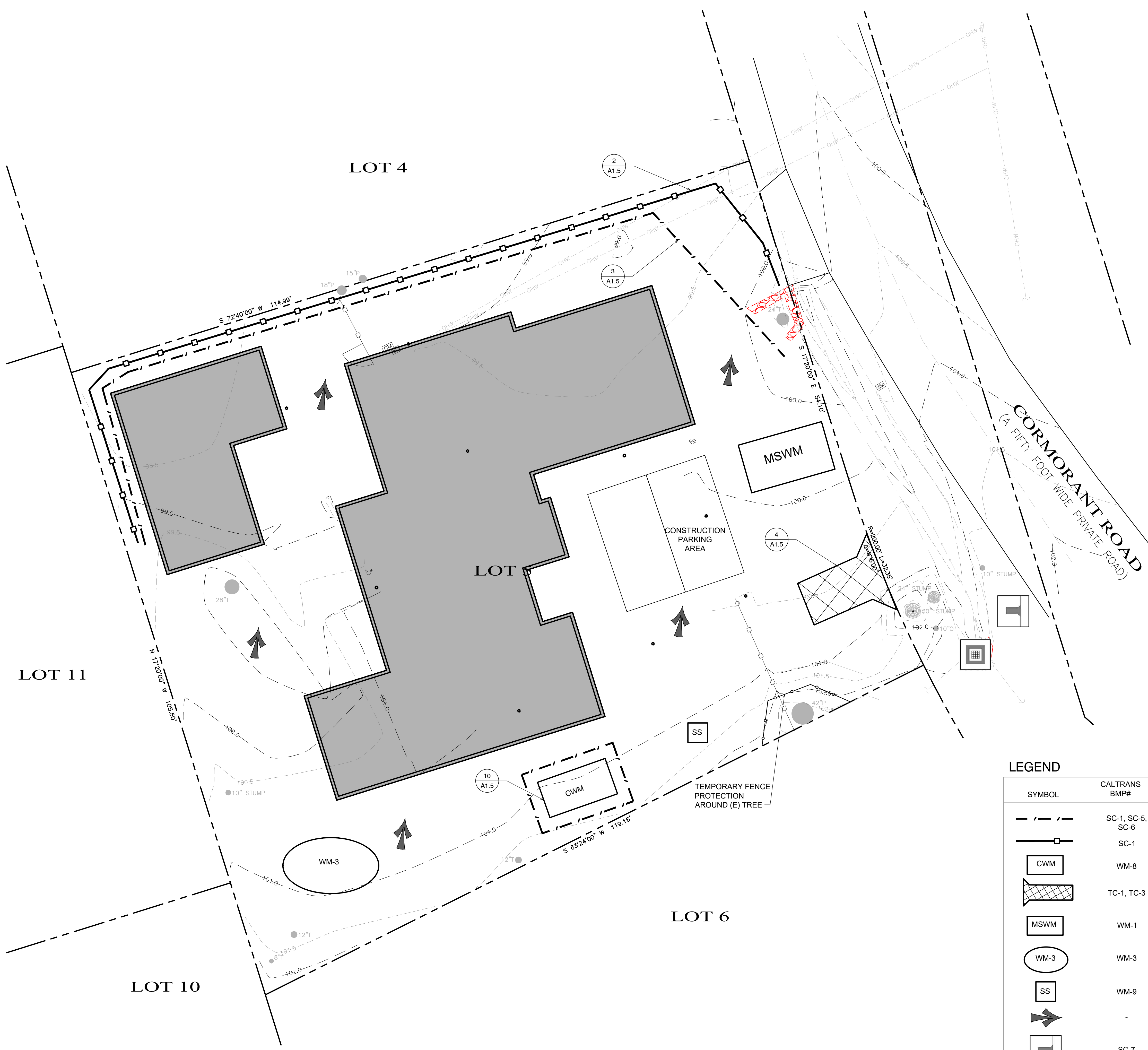
**Lammersen
Residence**

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005

**THE
PAUL DAVIS
PARTNERSHIP**
ARCHITECTS & PLANNERS

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Drawn By: AC
Drawing Date: 4/4/24
Project Number: 2337

Revisions:

SYMBOL	CALTRANS BMP#	CALTRANS STD PLAN	DESCRIPTION
	SC-1, SC-5, SC-6	T51, T56 T60, T66	LINEAR SEDIMENT BARRIER, FIBER ROLLS, SILT FENCE OR COMPOST SOCK (CONTRACTOR'S OPTION)
	SC-1	T51, T60	SILT FENCE
	WM-8	T61, T62 T63, T64	CONCRETE WASTE MANAGEMENT (WASHOUT AREA)
	TC-1, TC-3	T58	STABILIZED CONSTRUCTION ENTRANCE / EXIT OR TIRE WASH
	WM-1	-	MATERIAL STORAGE AND WASTE MANAGEMENT AREA
	WM-3	T53	TEMPORARY STOCKPILES
	WM-9	-	SANITARY FACILITIES
	-	-	DIRECTION OF DRAINAGE
	SC-7	-	STREET SWEEPING
	SC-10	-	INLET PROTECTION

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Sheet Title:
**PROPOSED
EROSION
PROTECTION
PLAN**

Sheet Number:

PROPOSED EROSION PROTECTION PLAN
SCALE: 1/8" = 1'-0"

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GENERAL NOTES:

- CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT:** STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
- TREE AND ROOT PROTECTION:** PRIOR TO ISSUANCE OF GRADING AND FOR BUILDING PERMITS, THE OWNER / APPLICANT SHALL SUBMIT EVIDENCE OF TREE PROTECTION TO RMA - PLANNING FOR REVIEW AND APPROVAL. DURING CONSTRUCTION, THE OWNER / APPLICANT / ARBORIST SHALL SUBMIT ON-GOING EVIDENCE THAT TREE PROTECTION MEASURES ARE IN PLACE THROUGHOUT GRADING AND CONSTRUCTION PHASES. IF DAMAGE IS POSSIBLE, SUBMIT AN INTERIM REPORT PREPARED BY A CERTIFIED ARBORIST. PRIOR TO FINAL INSPECTION, THE OWNER / APPLICANT SHALL SUBMIT PHOTOS OF THE TREES ON THE PROPERTY TO RMA-PLANNING AFTER CONSTRUCTION TO DOCUMENT THAT TREE PROTECTION HAS BEEN SUCCESSFULLY OR IF FOLLOW-UP REMEDIATION OR ADDITIONAL PERMITS ARE REQUIRED.
- RAPTOR / MIGRATORY BIRD NESTING:** NO MORE THAN 30 DAYS PRIOR TO GROUND DISTURBANCE OR TREE REMOVAL, THE OWNER/ APPLICANT / TREE REMOVAL CONTRACTOR SHALL SUBMIT TO RMA-PLANNING A NEST SURVEY PREPARED BY A COUNTY QUALIFIED BIOLOGIST TO DETERMINE IF ANY ACTIVE RAPTOR OR MIGRATORY BIRD NESTS OCCUR WITHIN THE PROJECT SITE OR IMMEDIATE VICINITY
- GEOTECHNICAL:** PRIOR TO FINAL INSPECTION, THE OWNER / APPLICANT SHALL PROVIDE RMA-ENVIRONMENTAL SERVICES A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE IN THE PROJECT DESIGN LEVEL GEOTECHNICAL INVESTIGATION..

Project / Owner:
Lammersen Residence
 2967 CORMORANT ROAD
 PEBBLE BEACH, CA 93953
 APN: 007-262-005

THE PAUL DAVIS PARTNERSHIP
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PROPOSED GRADING & DRAINAGE PLAN

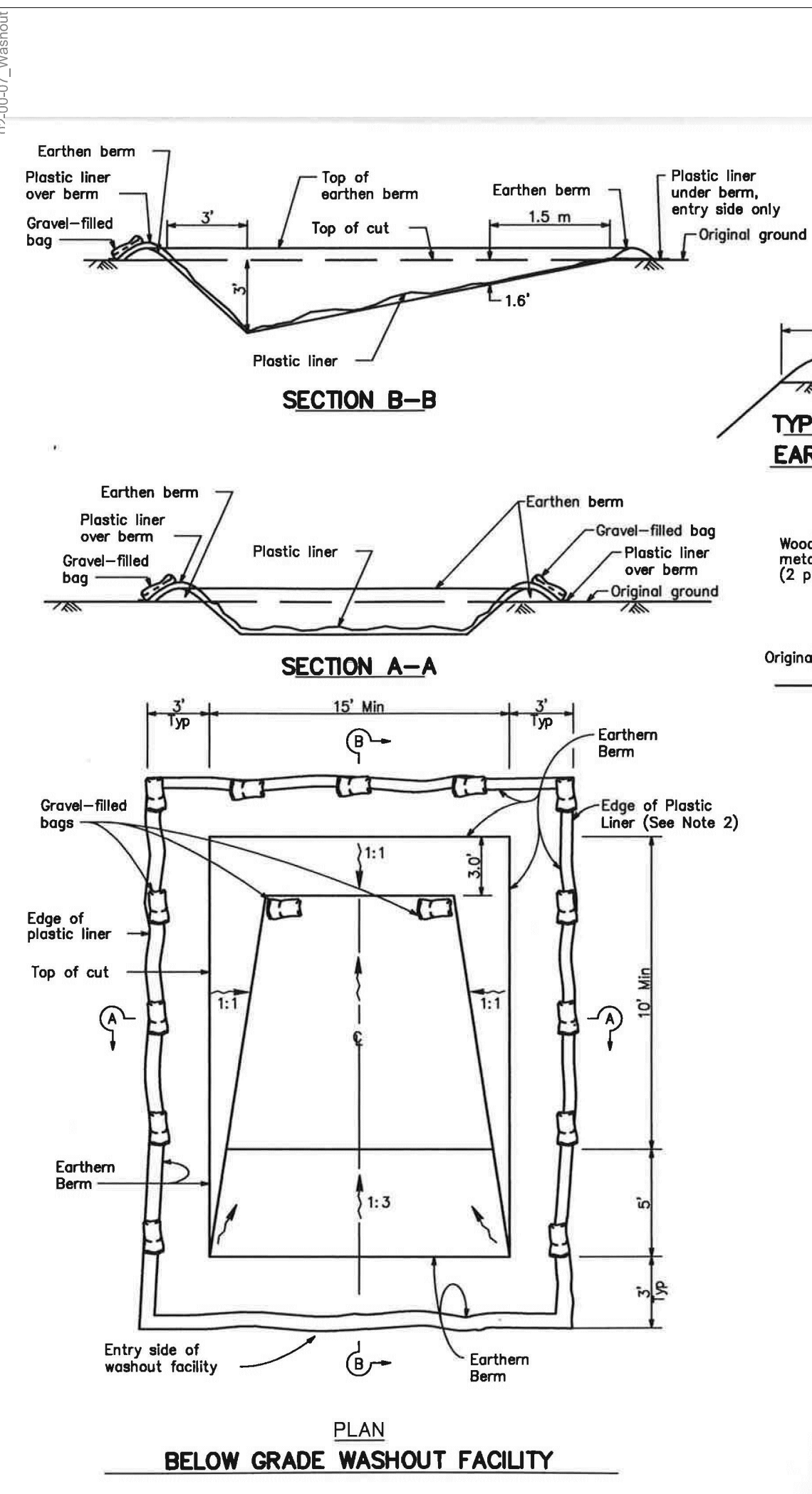
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PROPOSED GRADING & DRAINAGE PLAN
 SCALE: 1/8" = 1'-0"

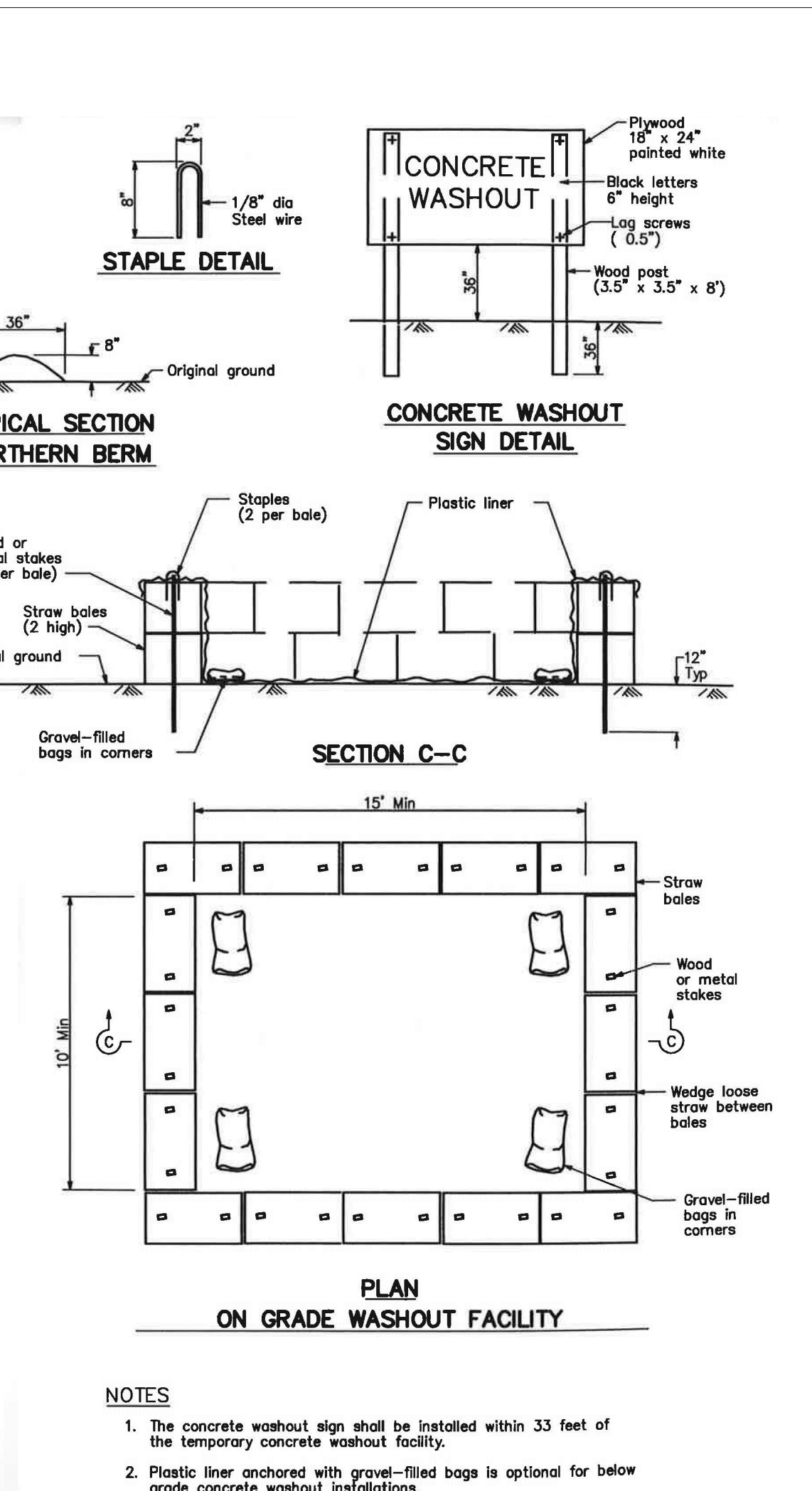
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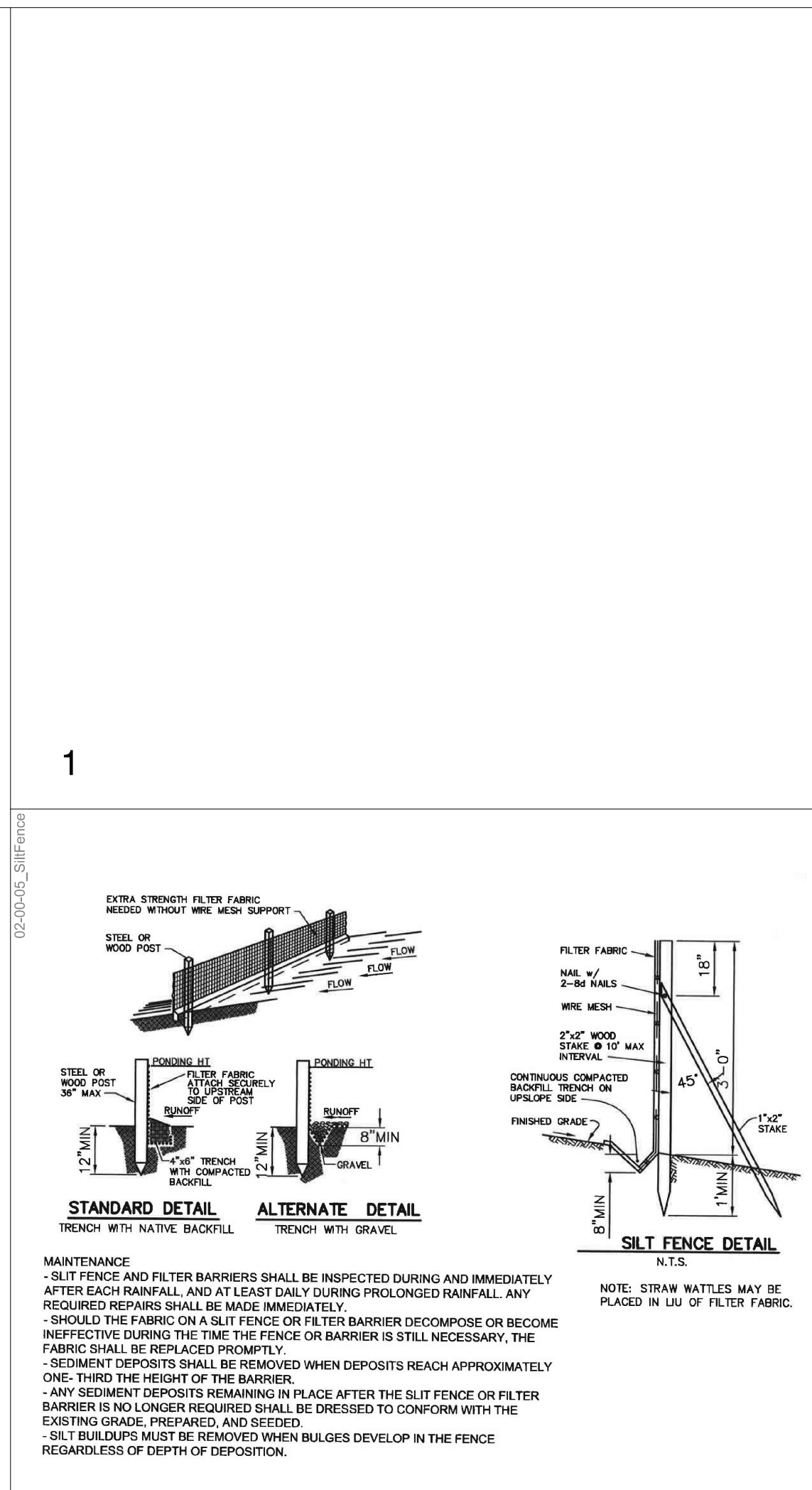
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 02-00-06 - Silt Fencing
 02-00-04 - Erosion Control Fence
 02-00-03 - Stabilized Entry
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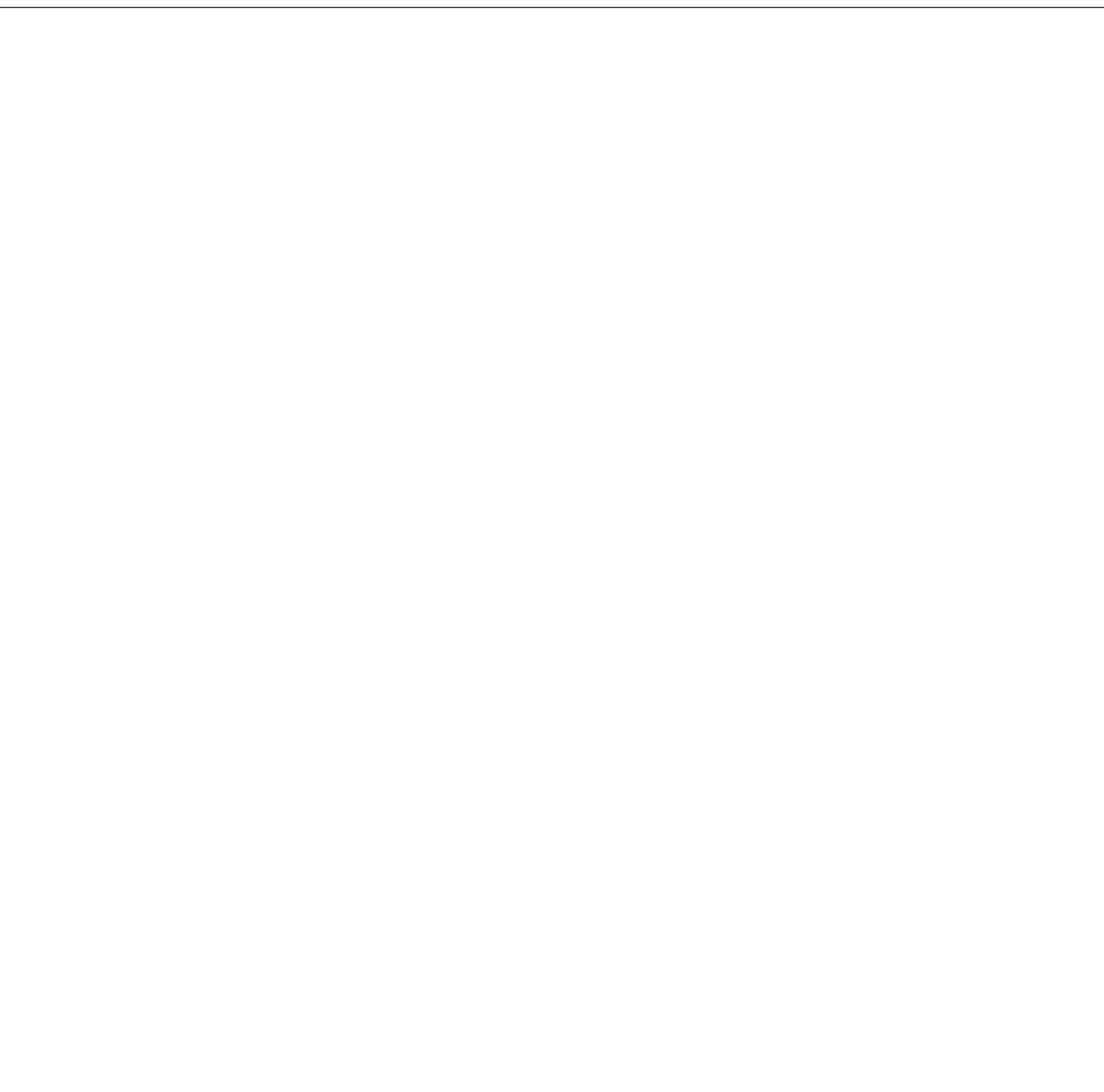
10 TEMPORARY WASHOUT DETAIL
NOT TO SCALE



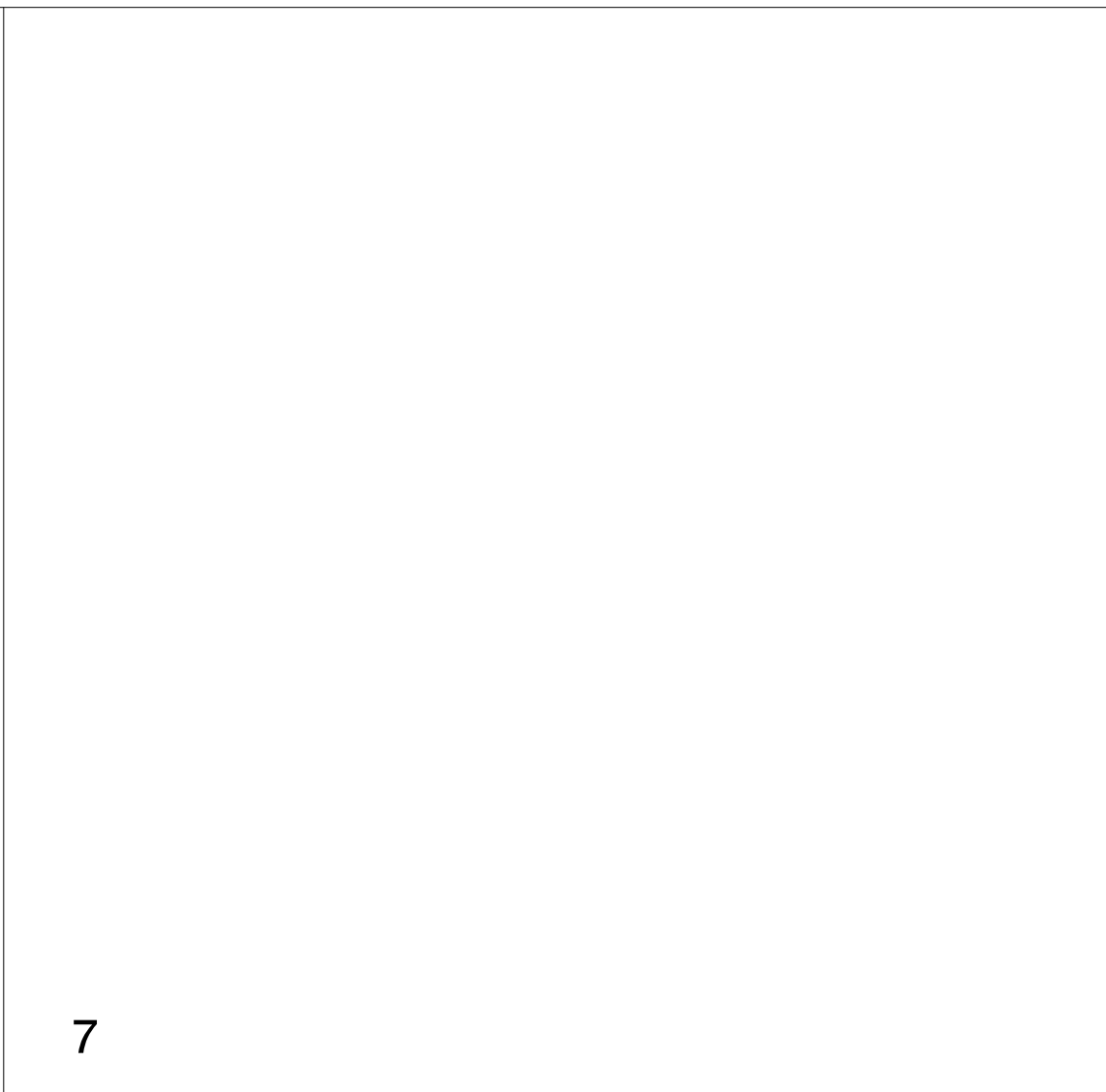
1 ON GRADE WASHOUT FACILITY
NOT TO SCALE



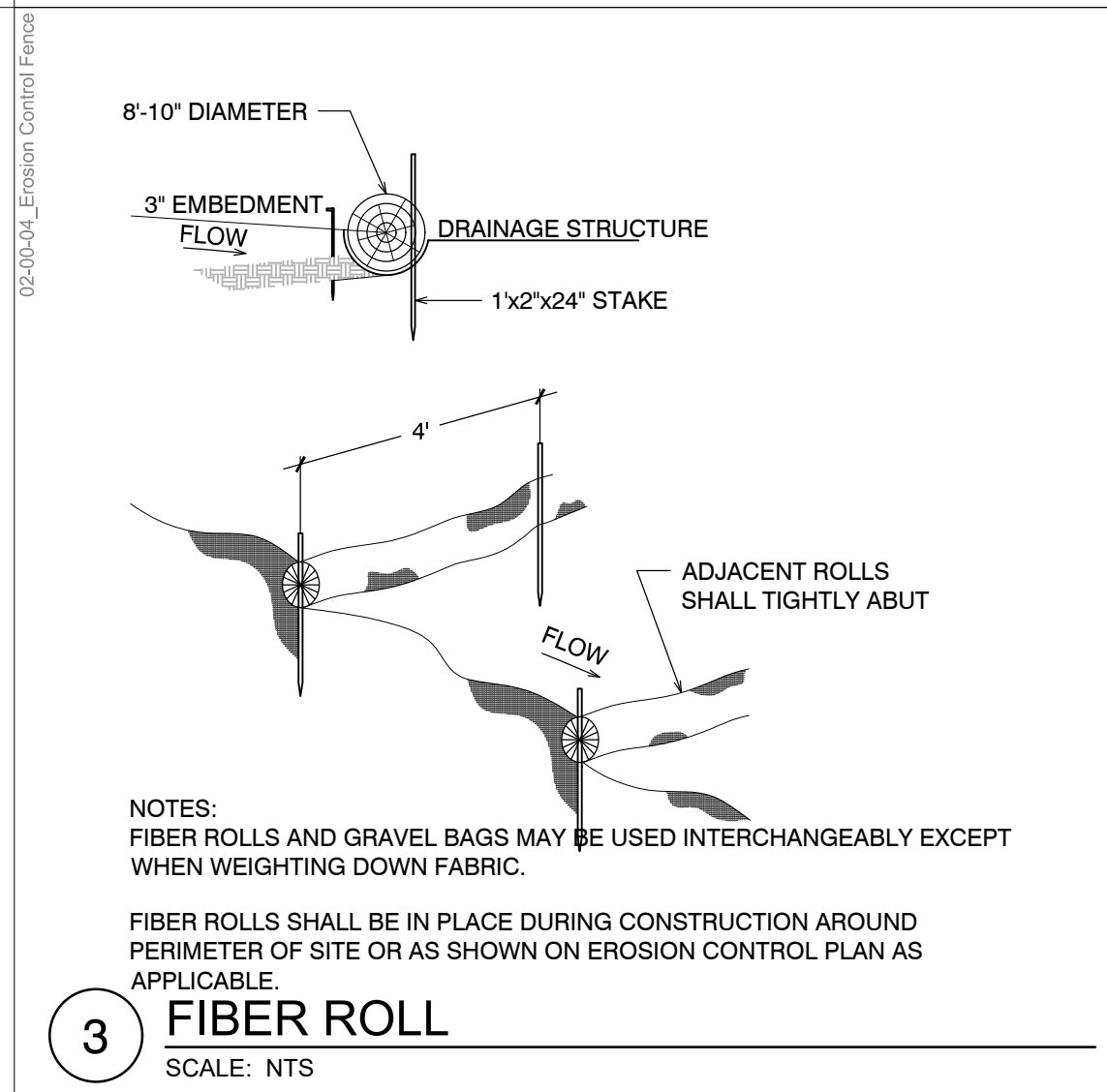
2 SILT FENCING
SCALE: NONE



7 FIBER ROLL
SCALE: NTS



3 FIBER ROLL
SCALE: NTS



4 STABILIZED CONSTRUCTION ENTRY
NOT TO SCALE

EROSION CONTROL NOTES

- ESTIMATED TOTAL DISTURBED AREA: AC
- BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
 - THE 2003 EDITION OF THE CALTRANS STORM WATER HANDBOOK / CONSTRUCTION SITE BMP MANUAL. THE HANDBOOK MAY BE DOWNLOADED FOR FREE AT <http://www.dot.ca.gov/hq/construct/stormwater/stormwater1.htm>
 - THE 2009 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PROMULGATED BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA). THE HANDBOOK MAY BE DOWNLOADED FOR A FEE FROM THE CASQA WEBSITE AT <http://www.cabmphandbooks.com/>
- THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY THE ENGINEER OR JURISDICTION HAVING AUTHORITY.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.
- ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATELY REPEY SHALL OCCUR.
- KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL SUPPLIES ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED. THESE SUPPLIES MAY INCLUDE ADDITIONAL SILT FENCING, FILTER FABRIC, HAY BALES, JUTE NETTING, BAGS AND TARPS.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.
- PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH CALTRANS BEST MANAGEMENT PRACTICE WE-1.
- LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.
- ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
 - PROVIDE SILT FENCE AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
 - PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.

OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
- REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION
- SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
- TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

- NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
- MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
- HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING.
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES.
 - PIPE FLUSHING AND TESTING.
 - WATER TO CONTROL DUST.
 - UNCONTAMINATED GROUND WATER FROM DEWATERING.
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
- THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD.
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT.
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN.
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT.
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS.
 - THE DISCHARGE IS MONITORED.
- IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

MONTEREY COUNTY REQUIREMENTS

- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 -
- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

EMPLOYEE TRAINING

- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

TREE PROTECTION GUIDELINES

- THE ROOT ZONE OF ALL TREES MUST BE PROTECTED ON ALL CONSTRUCTION PROJECTS, AS DESCRIBED BELOW. A TREE'S ROOT ZONE IS DEFINED AS THE AREA FROM THE TRUNK OUT TO 10' BEYOND THE DRILLINE.
- ALL TREES ARE SCHEDULED TO REMAIN AND SHALL HAVE PROTECTIVE FENCING INSTALLED.
- PROTECTIVE FENCING SHALL BE CHAIN LINK ON SECURE FOOTINGS THAT WILL NOT FALL OVER ONTO TREES.
- PROTECTIVE FENCING SHALL BE PLACED AT THE OUTER EDGE OF THE ROOT ZONE, 10' BEYOND THE TREE DRILLINE WHEREVER POSSIBLE. IF PROJECT CONSTRAINTS DO NOT ALLOW FOR FENCING AT THE OUTER EDGE OF THE ROOT ZONE, FENCING MUST BE PLACED AS CLOSE TO THIS REQUIRED LOCATION AS POSSIBLE.
- CONSTRUCTION MATERIALS/EQUIPMENT/PERSONAL VEHICLES SHALL NOT BE STORED, PARKED OR TEMPORARILY PLACED IN THE ROOT ZONE OF ANY TREES. NOTHING SHALL BE STORED OR PLACED TEMPORARILY WITHIN PROTECTIVE FENCING TO AVOID SOIL COMPACTION AND SOIL CONTAMINATION UNDER TREES. ROOT ZONES OF TREES SHALL NOT BE DRIVEN OVER. PROVIDE ALTERNATIVE ROUTES FOR CONSTRUCTION TRAFFIC OF ANY KIND INCLUDING CARS, PEOPLE, EQUIPMENT, CRANES, OR ANY OTHER TRAFFIC AND ALL STAGING OR STORAGE AREAS.
- PROTECT OVERHANGING TREE CANOPIES FROM CONSTRUCTION DAMAGE. IF DRIVE AISLES ARE ANTICIPATED UNDER LOW CANOPIES, NOTIFY OWNER IMMEDIATELY AND PRIOR TO DRIVING UNDER, OR OTHERWISE IMPACTING, THE AFFECTED TREES.
- THERE SHALL BE NO GRADE CHANGE WITHIN A MINIMUM OF TEN FEET OF THE TRUNK OF EXISTING TREES, AND PREFERABLY NONE WITHIN THE ENTIRE ROOT ZONE. NOTE: NATIVE OAKS ARE PARTICULARLY SENSITIVE TO GRADE CHANGES.
- NO RINSING, CLEANING EQUIPMENT OR DUMPING CONSTRUCTION LIQUID MATERIALS SHALL BE ALLOWED IN THE TREE ROOT ZONE. CARE SHALL BE TAKEN IN CLEANING UP EQUIPMENT. THERE SHALL BE NO STORAGE OF DUMPSIES OR ACCUMULATED DEBRIS FROM DEMOLITION ON OR AROUND THE ROOT ZONES OF EXISTING TREES AND SHRUBS.
- EXISTING TREES SHALL BE MONITORED WEEKLY AND IRRIGATED AS NEEDED DURING THE COURSE OF CONSTRUCTION.
- NO LIME OR OTHER SOIL TREATMENT SHALL BE APPLIED WITHOUT OWNERS CONSENT.

THE PRECEDING GUIDELINES SHALL BE CONSIDERED MINIMUM REQUIREMENTS. THE GREATER THE DISTANCE OF TREE PROTECTION PROVIDED THE GREATER THE INSTANCE OF TREE SUCCESS IN CONSTRUCTION AREAS.

CONSTRUCTION EROSION CONTROL NOTES & DETAILS

Sheet Number: A1.5

Project / Owner:
Lammersen Residence
 2967 CORMORANT ROAD
 PEBBLE BEACH, CA 93955
 APN: 007-262-005

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Drawn By: AC
 Drawing Date: 5/21/2024
 Project Number: 2337

Revisions:

Sheet Title:
CONSTRUCTION EROSION CONTROL NOTES & DETAILS

Sheet Number:
A1.5

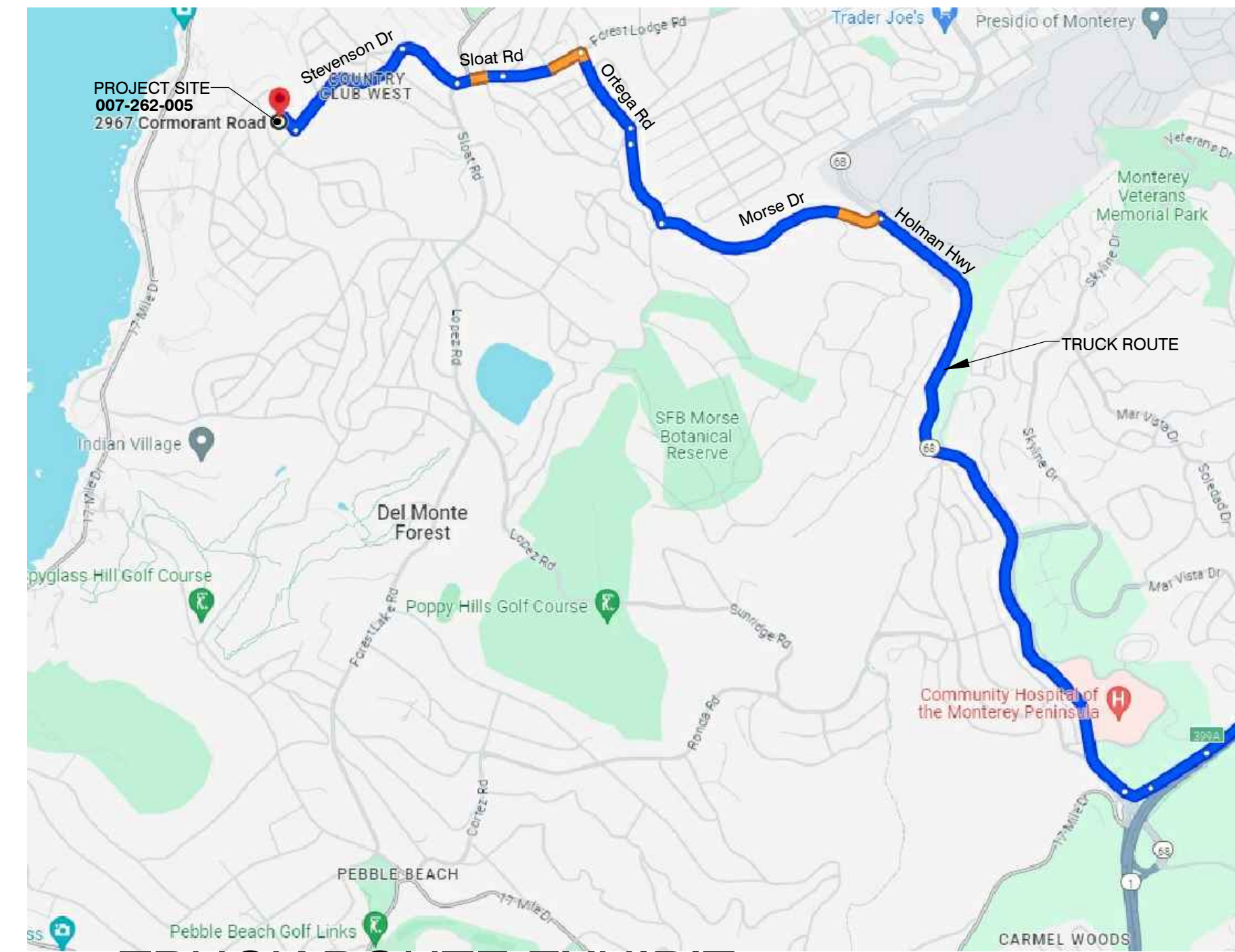
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TRUCK ROUTE EXHIBIT

PROJECT ADDRESS: 2967 Cormorant Road, Pebble Beach, CA (Located between Cormorant Rd & Stevenson Dr)
SCALE: NTS



Drawn By: AC
Drawing Date: 5/21/2024
Project Number: 2337

Revisions:

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CONSTRUCTION MANAGEMENT PLAN



ENCROACHMENT EXHIBIT

PROJECT ADDRESS: 2967 Cormorant Road, Pebble Beach, CA (Located between Cormorant Rd & Stevenson Dr.)
NOT TO SCALE

Sheet Number:

Project / Owner:

Lammersen Residence

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005

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Sheet Title:
**PROPOSED
FIRST FLOOR
PLAN - MAIN HOUSE
& ADU**

Sheet Number:

A2.1

LIGHT FIXTURE CUT SHEET

Wall luminaire - Symmetric

BEGA

Application
Wall luminaire with symmetric light distribution designed for general illumination of pathways, plazas and building entrances.

Materials
Clear safety glass with matte finish
Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
High temperature silicone gasket
Mechanically captive stainless steel fasteners
Silicone applied robotically to casting, plasma treated for increased adhesion
Galvanized zinc-plated mounting bracket
Pure anodized aluminum reflector

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65

Weight: 8.4 lbs.

Electrical
Operating voltage 120-277VAC
Minimum start temperature -30°C
LED module wattage 29.8W
System wattage 35.0W
Contrastability 0-10V dimmable
Color rendering index Ra > 80
Luminaire lumens 4310lm
LED service life (L70) 60000hrs

LED color temperature
 4000K (K4)
 3500K (K3S)
 3000K (K3)
 2700K (K27)

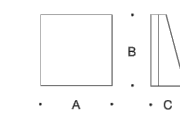
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidura® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

Available colors
 Black (BLK)
 Silver (SLV)
 RAL

Bronze (BRZ)
 White (WHT)
 CUS

Available options
 CUS Custom finish
 EMPK Integral emergency battery pack
 MGU Marine grade undercoat
 RAL RAL finish

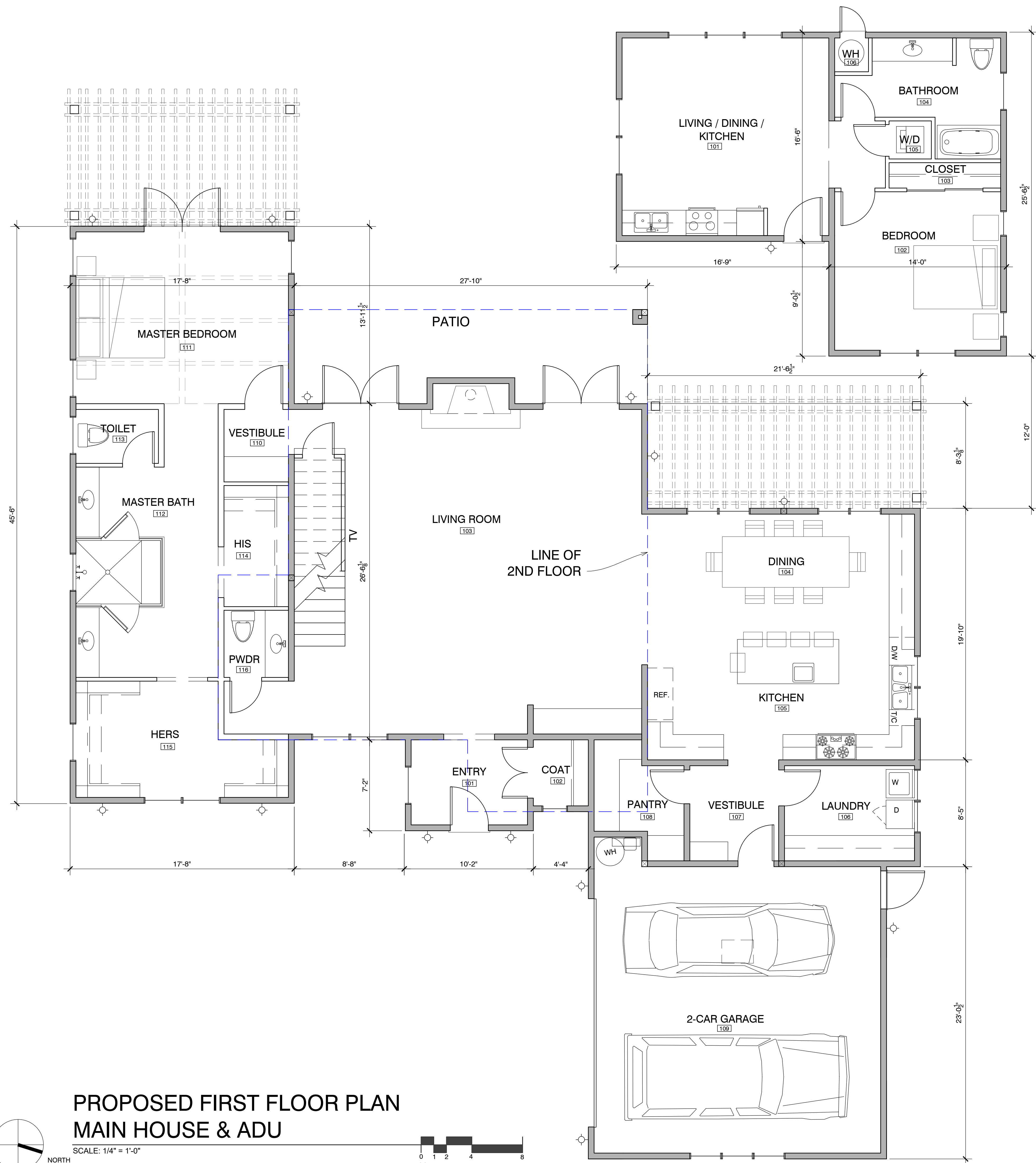


LED	A	B	C
B33243	29.8W	11	11
			5 1/4"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com Updated 02/15/24
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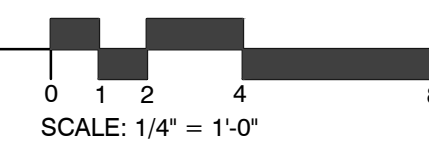
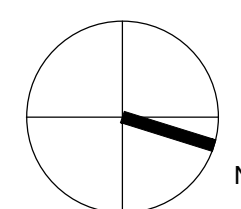
ELECTRICAL SYMBOL

⊕ LUMINAIRE - WALL MOUNTED SEE LIGHT FIXTURE CUT SHEET



PROPOSED FIRST FLOOR PLAN MAIN HOUSE & ADU

SCALE: 1/4" = 1'-0"



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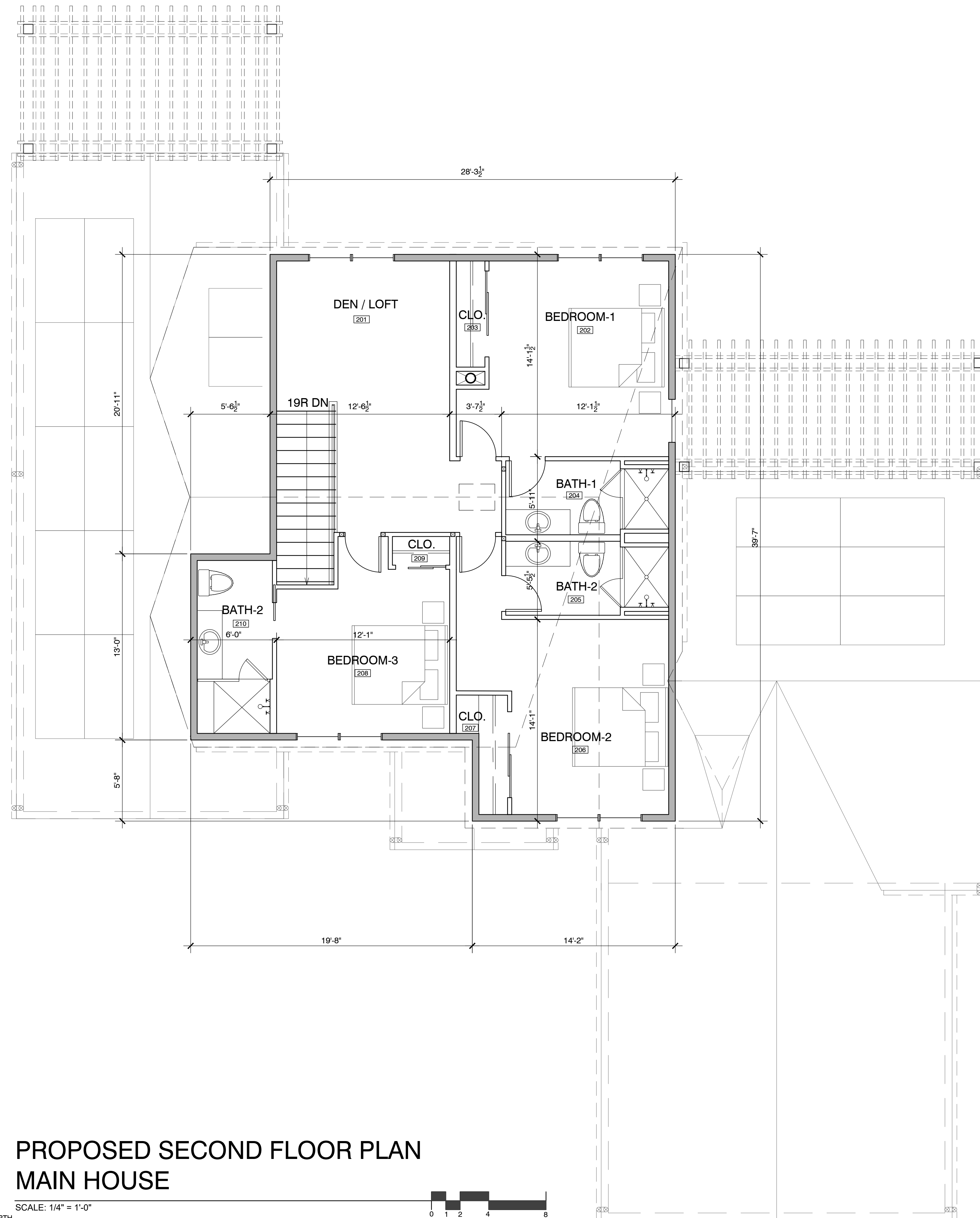
Lammersen Residence

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005

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 Project Number: 2337

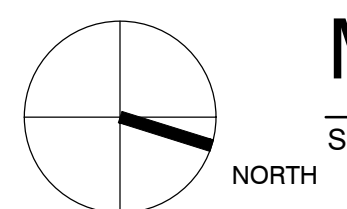
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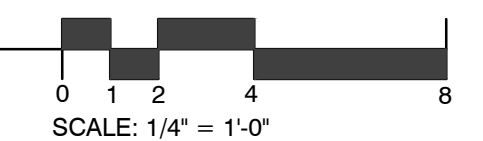
PROPOSED SECOND FLOOR PLAN

Sheet Number:

PROPOSED SECOND FLOOR PLAN MAIN HOUSE



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

A2.2

Project / Owner:

Lammersen Residence

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PEBBLE BEACH, CA 93953

APN.: 007-262-005

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Revisions:

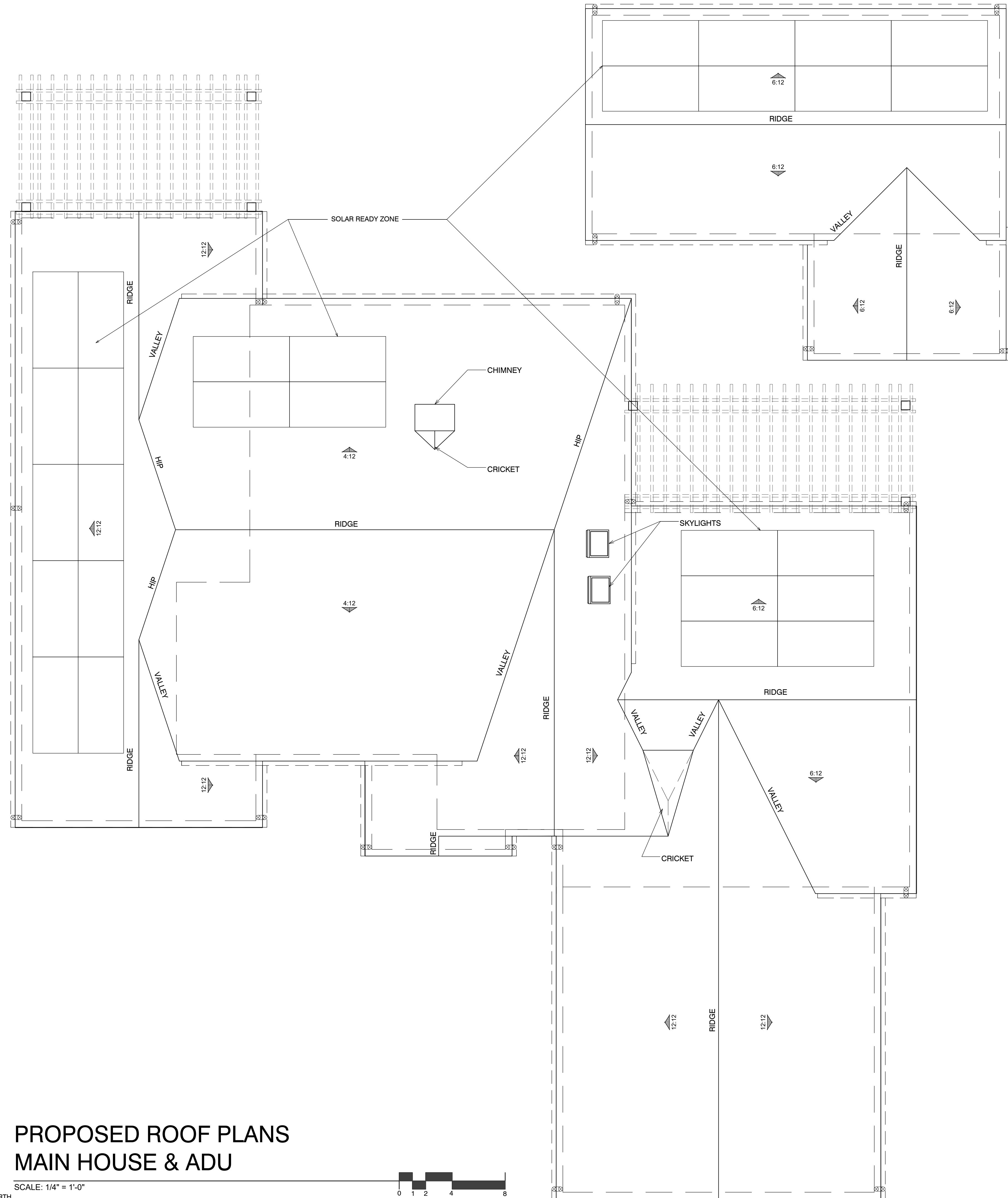
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Sheet Title:
**PROPOSED
ROOF PLANS
MAIN HOUSE &
ADU**

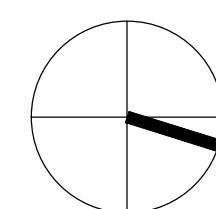
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A2.3

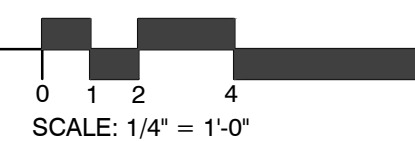


PROPOSED ROOF PLANS MAIN HOUSE & ADU

SCALE: 1/4" = 1'-0"



NORTH



SCALE: 1/4" = 1'-0"

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- ASPHALT SHINGLE ROOF
COLOR: OWENS CORNING - DURATION MAX "SANDCASTLE"
- PAINTED 2x WOOD FASCIA
COLOR: OC-17 DOVE WHITE
- PAINTED BRICK
COLOR: OC-17 WHITE DOVE
- PAINTED BRICK
COLOR: OC-17 DOVE WHITE
- ALUM CLAD WOOD FRENCH DOOR
COLOR: WHITE
- ALUM CLAD WOOD WINDOW
COLOR: WHITE
- FIBERGLASS ENTRY DOOR
COLOR: BLACK
- PAINTED WOOD SHUTTERS
COLOR: BLACK
- WALL SCONCES
BEGA 33243
LAMP: 29.8W LED
COLOR TEMP: 3000K W/ 85 CRI
COLOR: BLACK
- COPPER GUTTER & DOWNSPOUT

MATERIALS AND COLORS



ASPHALT SHINGLE ROOF
OWENS CORNING
DURATION MAX
COLOR: SAND CASTLE



WALL COLOR
BENJAMIN MOORE
COLOR: OC-17 WHITE DOVE



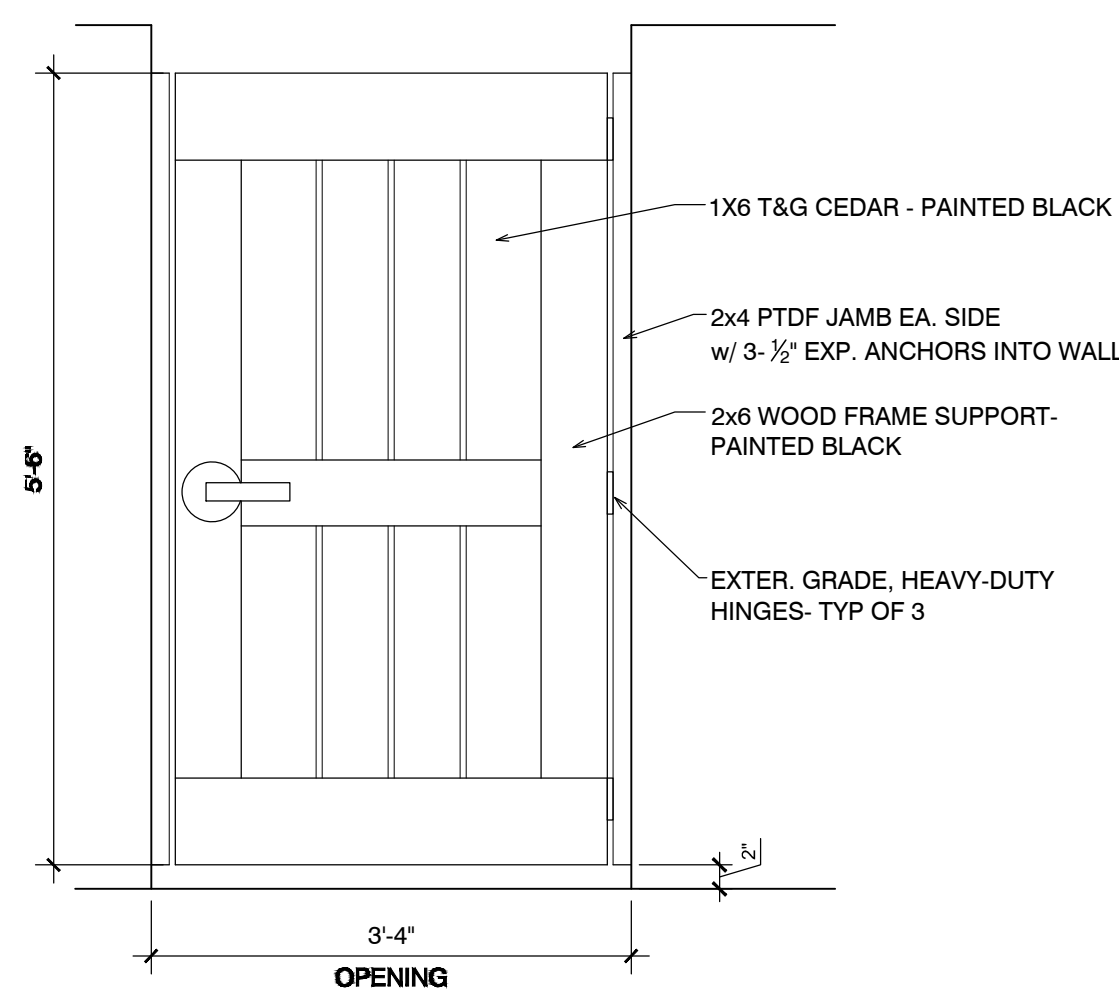
WALL SCONCE
BEGA 33243
COLOR: BLACK



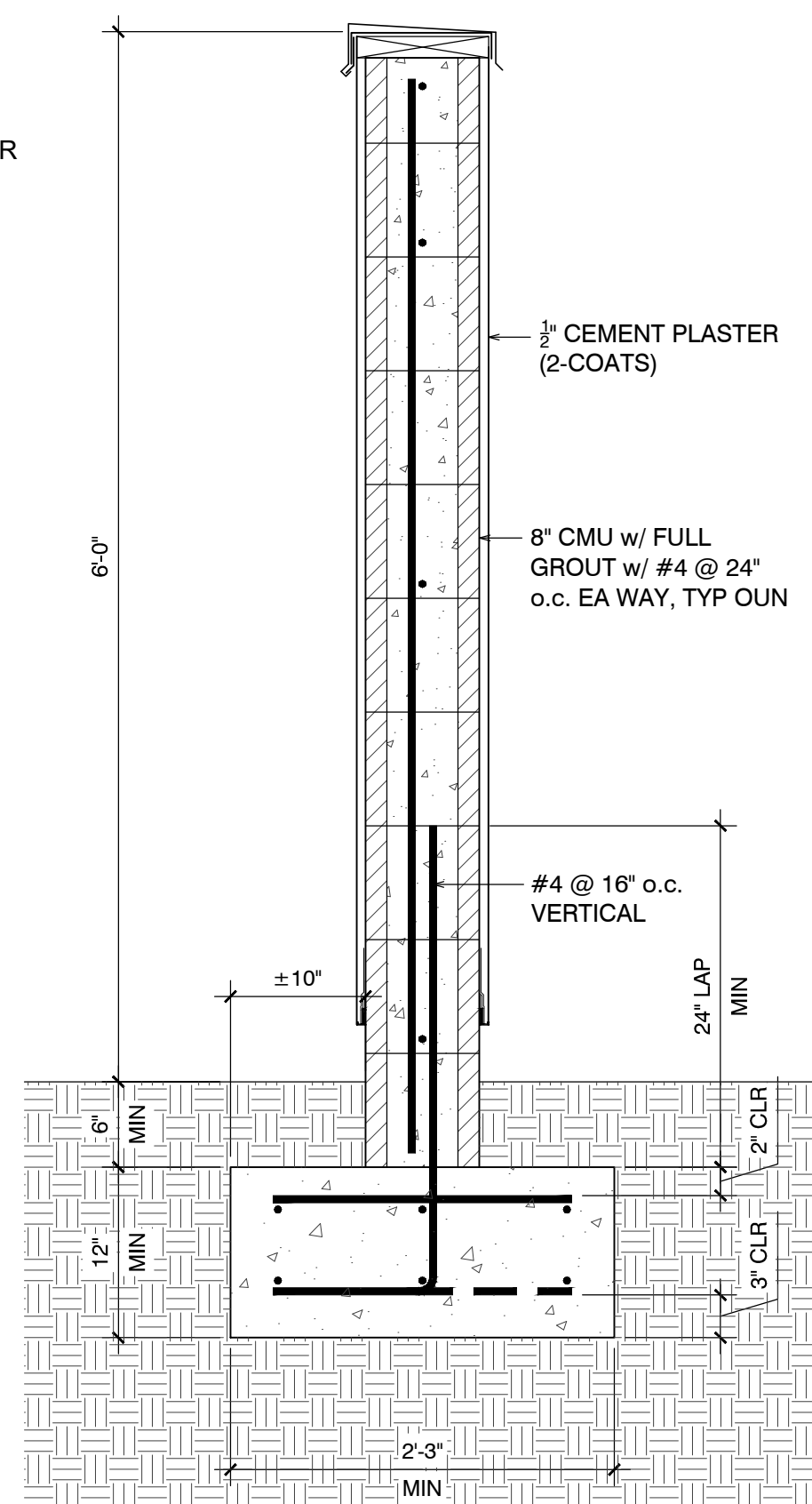
PERMEABLE PAVERS
BELGARD OR EQUAL
AQUALINE SERIES
COLOR: VICTORIAN



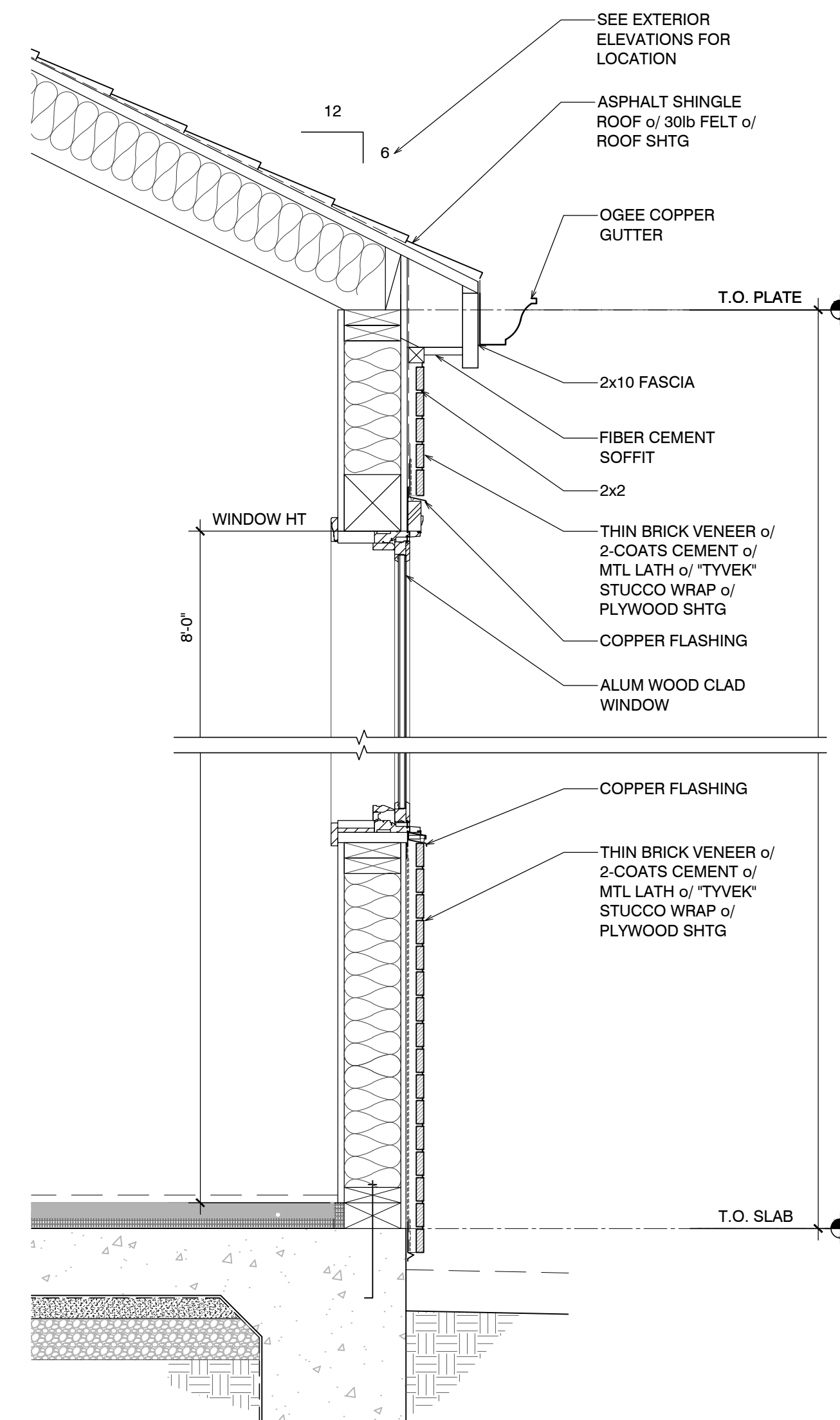
COPPER GUTTER
& DOWNSPOUT



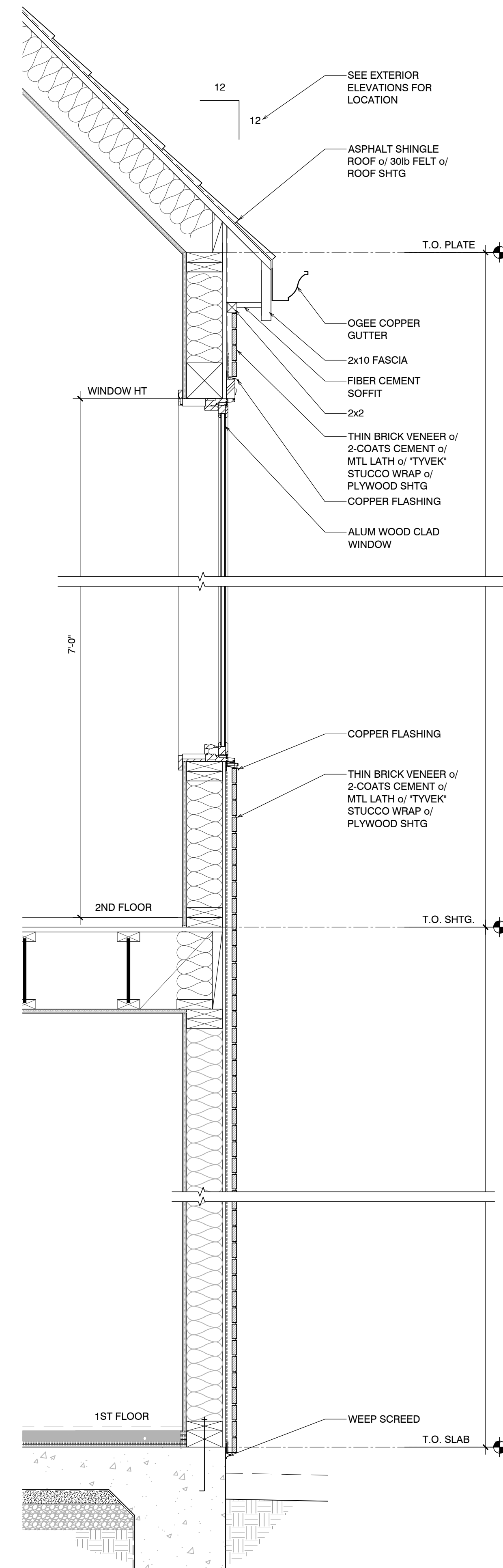
D TYP. GATE
SCALE: 3/4" = 1'-0"



C WALL w/ PLASTER
SCALE: 1" = 1'-0"



B TYP. WALL SECTION
SCALE: 1" = 1'-0"



A TYP. WALL SECTION
SCALE: 1" = 1'-0"

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Project Number: 2337

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Sheet Title:
**PROPOSED
RENDERING
AND DETAILS**

Sheet Number:

A3.0

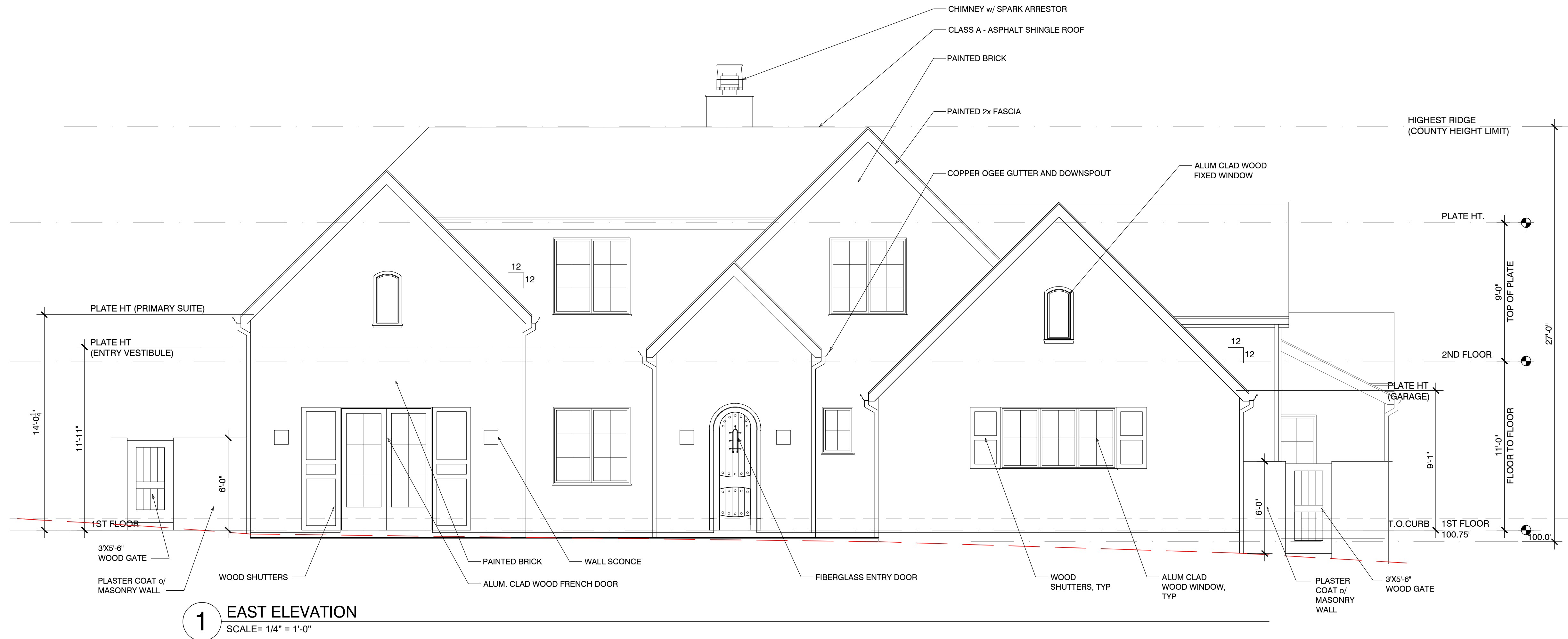
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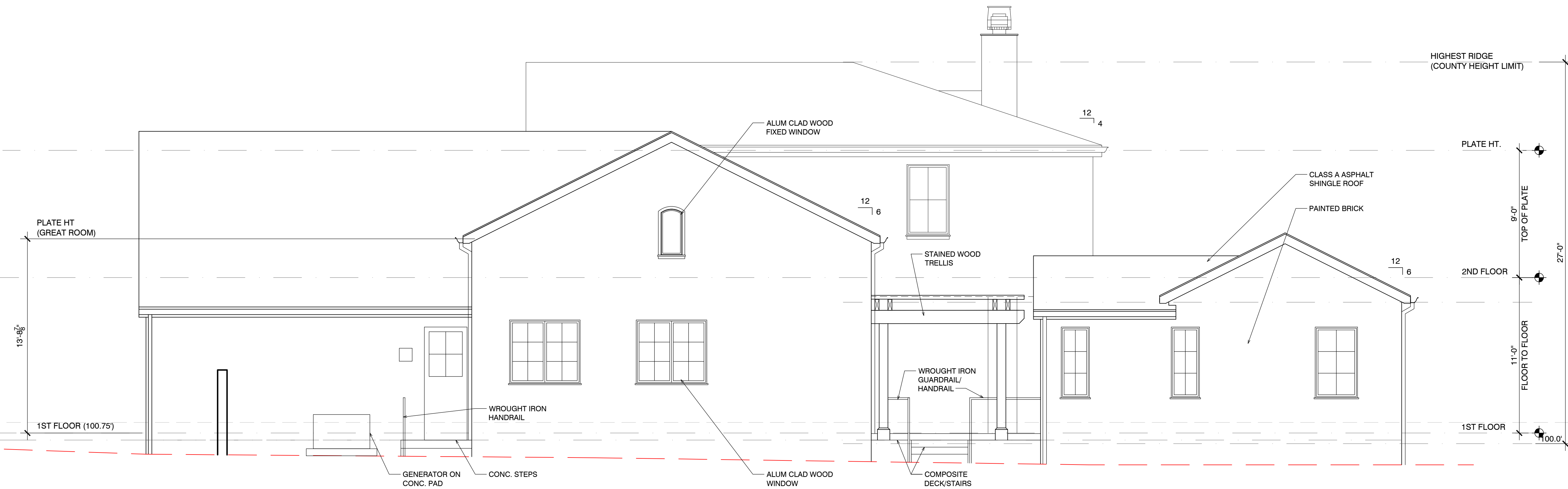
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1 EAST ELEVATION
SCALE= 1/4" = 1'-0"



2 NORTH ELEVATION W/ ADU
SCALE= 1/4" = 1'-0"

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Sheet Title:
PROPOSED EXTERIOR ELEVATIONS

Sheet Number:

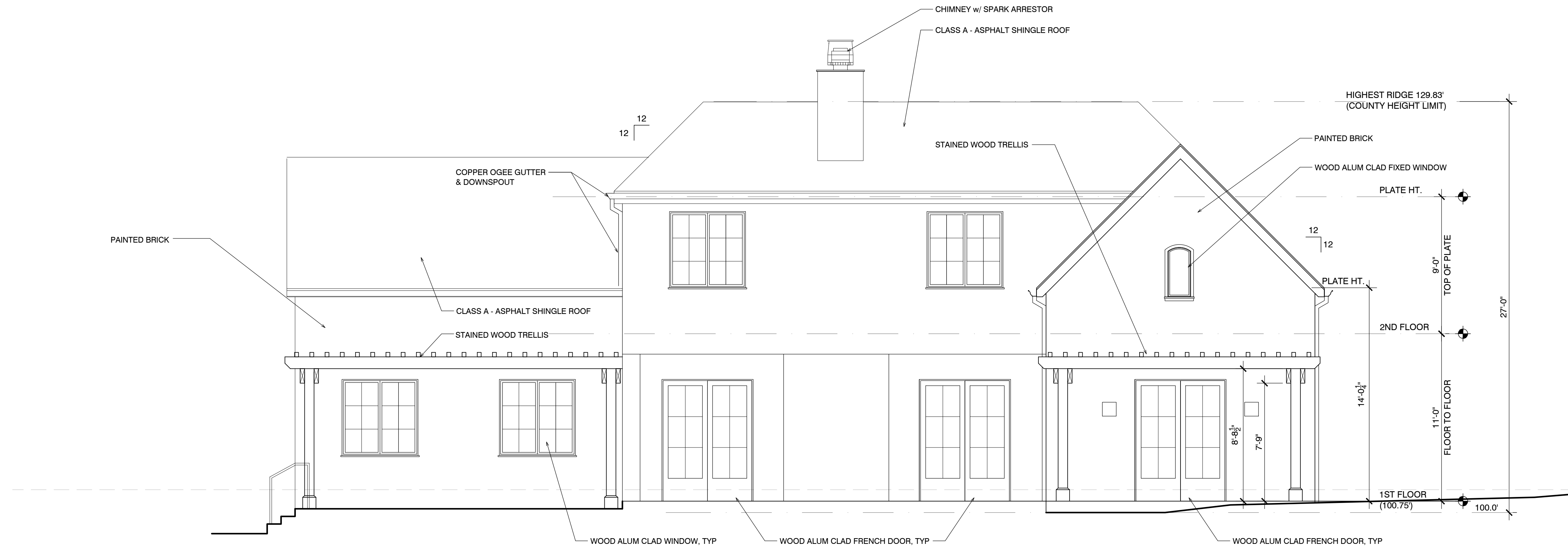
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3 WEST ELEVATION
SCALE= 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE= 1/4" = 1'-0"

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Drawing Date: 5/21/2024
Project Number: 2337

Revisions:

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Sheet Title:
**PROPOSED
EXTERIOR
ELEVATIONS**

Sheet Number:

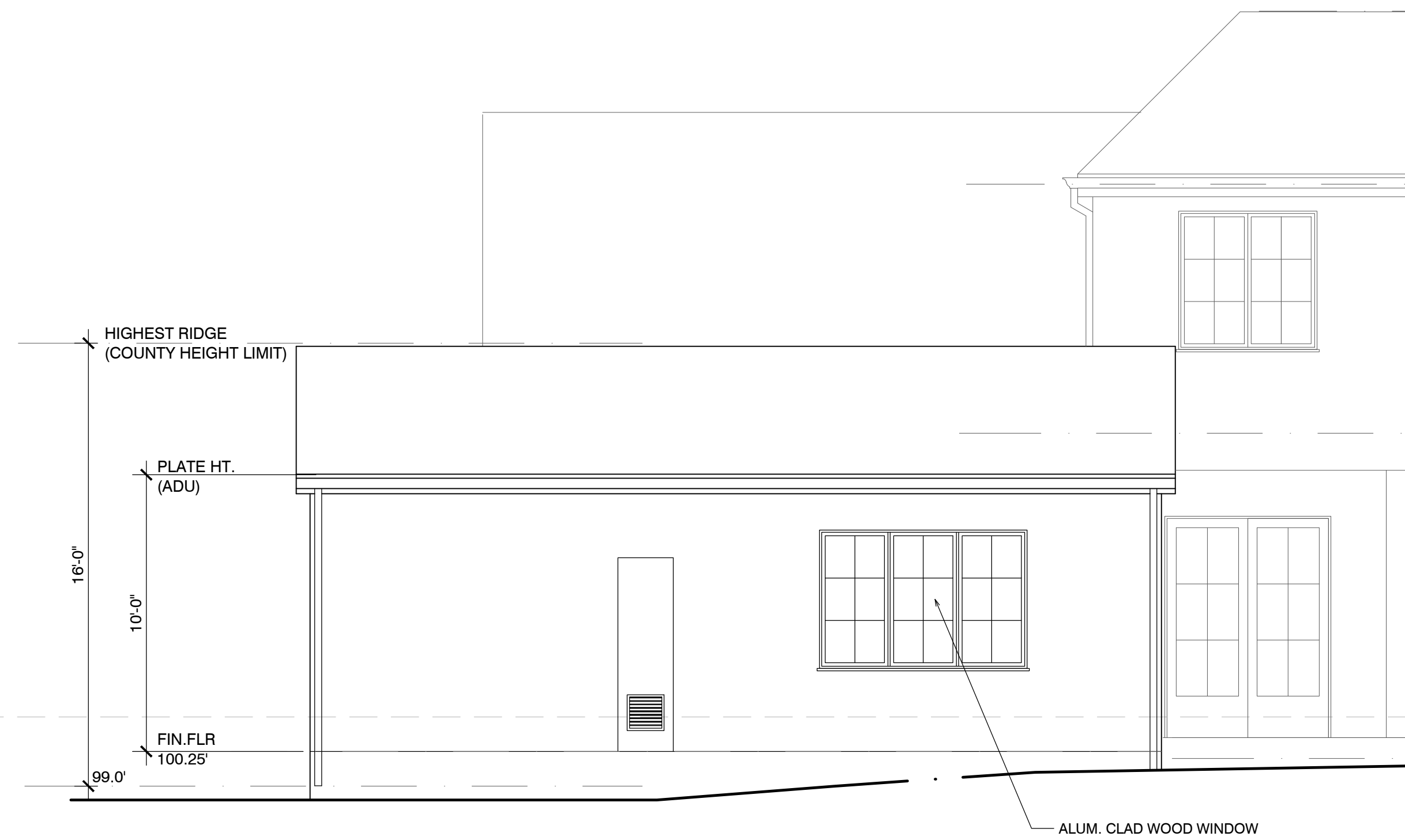
Lammersen Residence

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

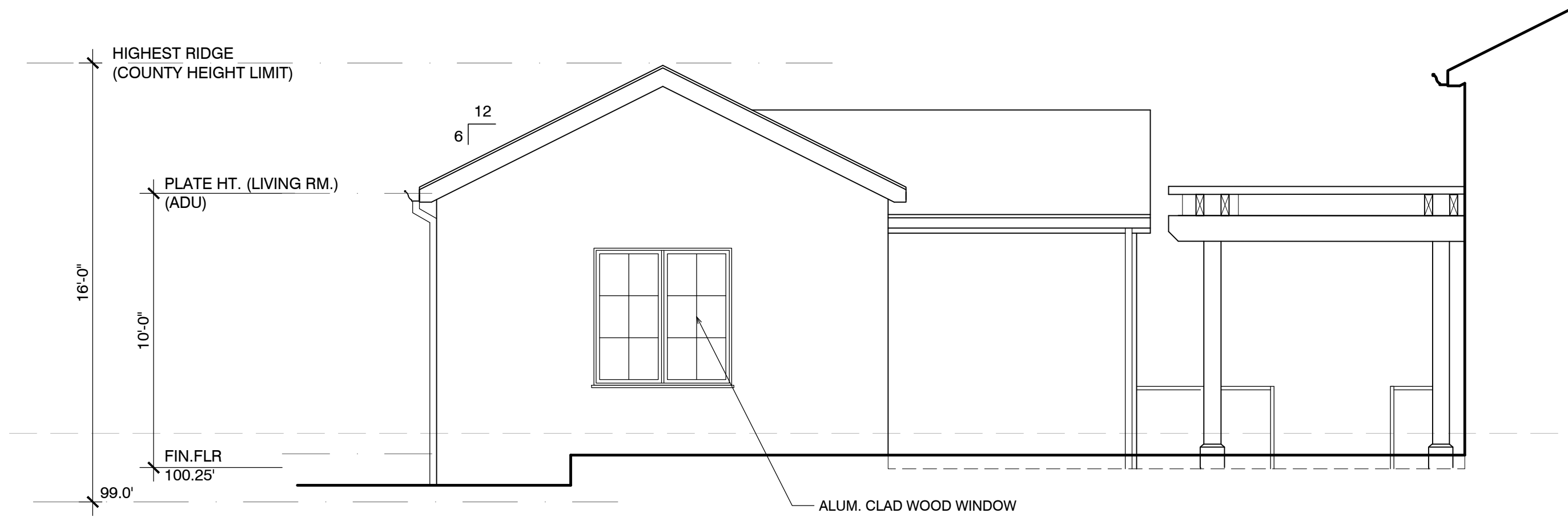
APN.: 007-262-005

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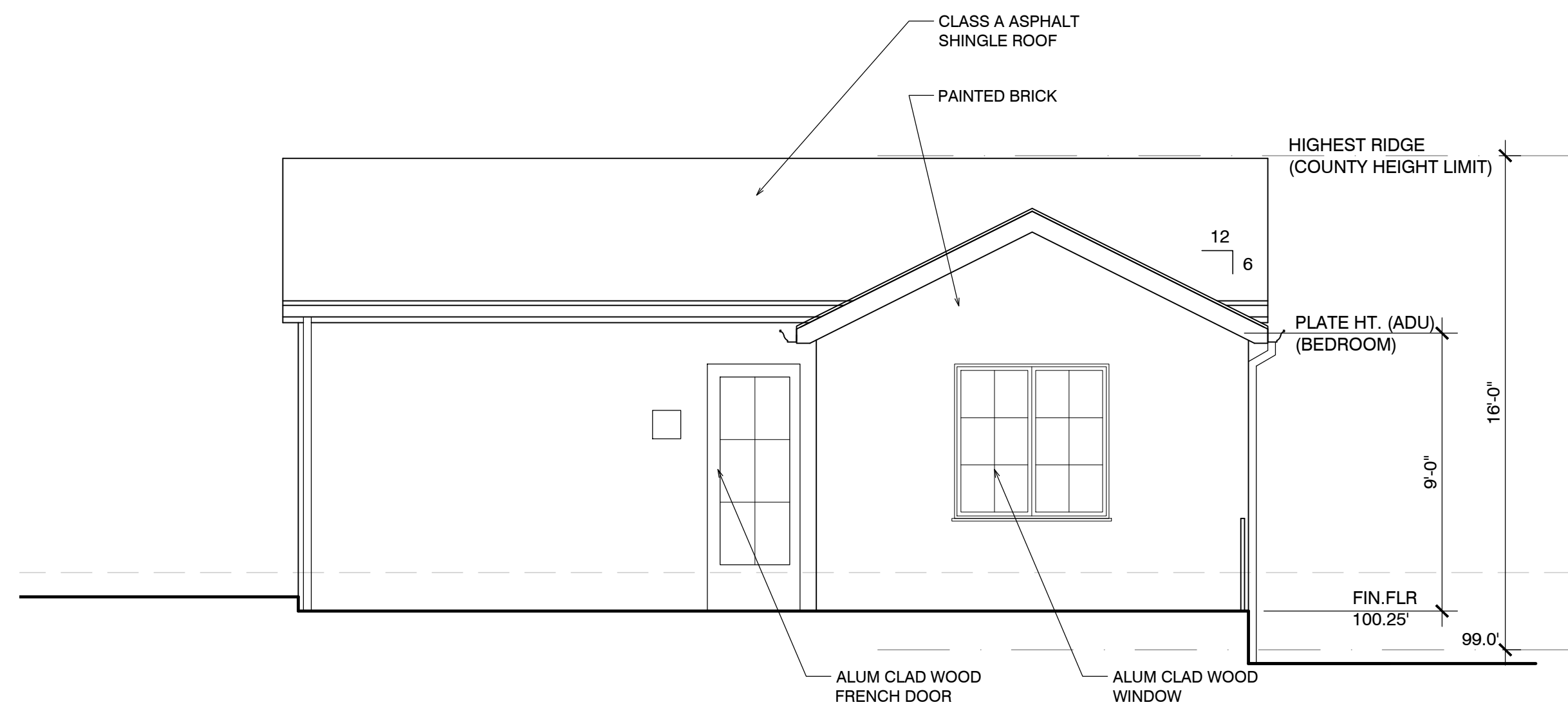
The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com



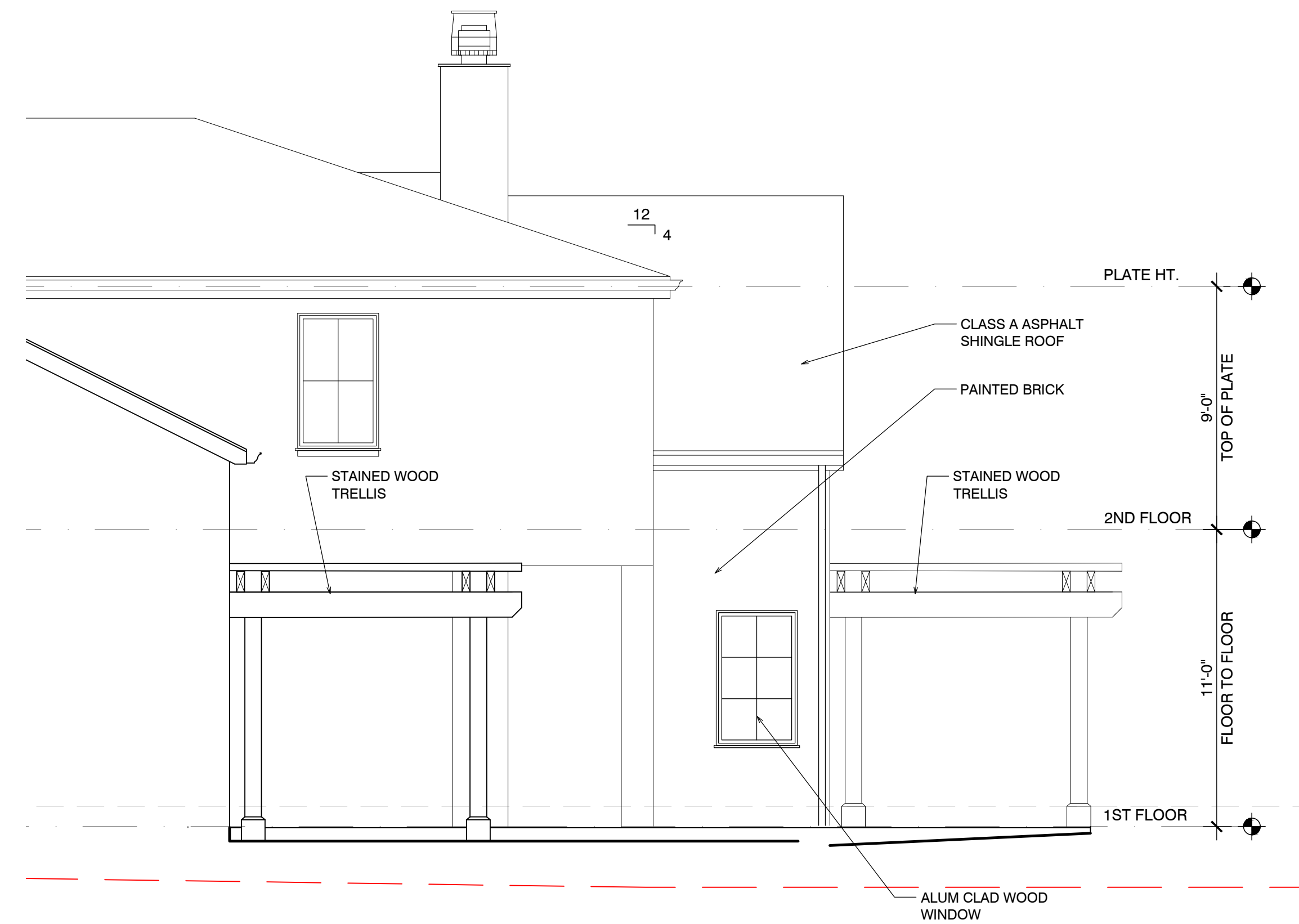
5 PARTIAL WEST ELEVATION (ADU)
SCALE= 1/4" = 1'-0"



6 PARTIAL SOUTH ELEVATION (ADU)
SCALE= 1/4" = 1'-0"



7 PARTIAL EAST ELEVATION (ADU)
SCALE= 1/4" = 1'-0"



8 PARTIAL NORTH ELEVATION
SCALE= 1/4" = 1'-0"

Drawn By: AC
Drawing Date: 5/21/2024
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Sheet Title:
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Lammersen Residence

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005

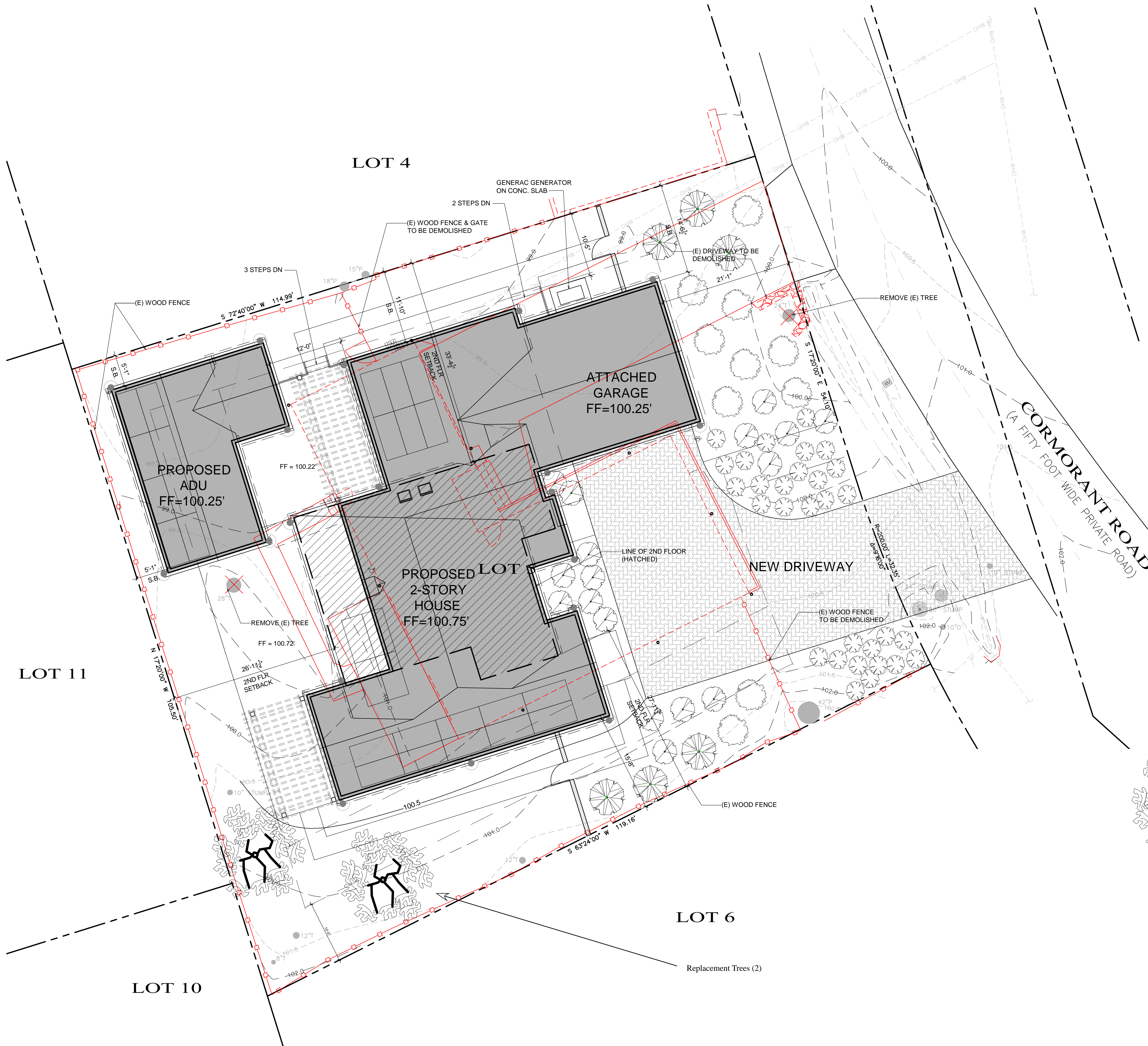
Floravista

Dinah Irino
Landscape Designer

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831.261.4840
flora.vista@sbcglobal.net

THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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RECOMMENDED PLANTS (all plants are low water use)

Symbol	Q/Size	Name
Large Shrubs - choose from		
	x/5 gal.	Cotoneaster lacteus - Red Clusterberry
	x/5 gal.	Dodonaea viscosa 'Purpurea' - Purple Hopseed Bush
Medium Size Shrubs - choose from		
	x/5 gal.	Buddleja davidii - Butterfly Bush
	x/5 gal.	Rosmarinus officinalis 'Barbecue' - Upright Rosemary
Low Shrubs - choose from		
	x/5 gal.	Nandina domestica 'Gulf Stream' - Dwarf Heavenly Bamboo
	x/5 gal.	Cistus x skanbergii - Pink Rockrose
	x/5 gal.	Correa pulchellia - Australian Fuchsia
Perennials - choose from		
	x/1 gal.	Salvia leucantha - Mexican Sage
	x/1 gal.	Linum catharticum - Statice
	x/1 gal.	Penstemon setaceus 'Fireworks' - Variegated Fountain Grass
	x/1 gal.	Penstemon barbatus - Scarlet Bugler
	x/1 gal.	Tagetes lemmonii - Copper Canyon Daisy
Ground Cover - choose from		
	x/1 gal.	Lantana montevidensis - Purple Trailing Lantana
	x/1 gal.	Tulbaghia violacea - Society Garlic
	x/1 gal.	Zauschneria hybrids - California Fuchsia
	x/1 gal.	Erigeron karvinskianus - Santa Barbara Daisy
	x/1 gal.	Nepeta x faassenii - Cat Mint
Replacement Trees		
	2/15 gal.	Cupressus macrocarpa - Monterey Cypress

Drawn By: AC
Drawing Date: 2/28/24
Project Number: 2337

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PROPOSED LANDSCAPE PLAN

Sheet Number:

Floravista

Dinah Irino
Landscape Designer

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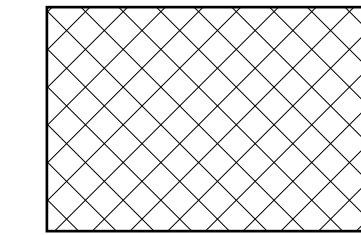
Project / Owner:

**Lammersen
Residence**

2967 CORMORANT ROAD
PEBBLE BEACH, CA 93953

APN.: 007-262-005

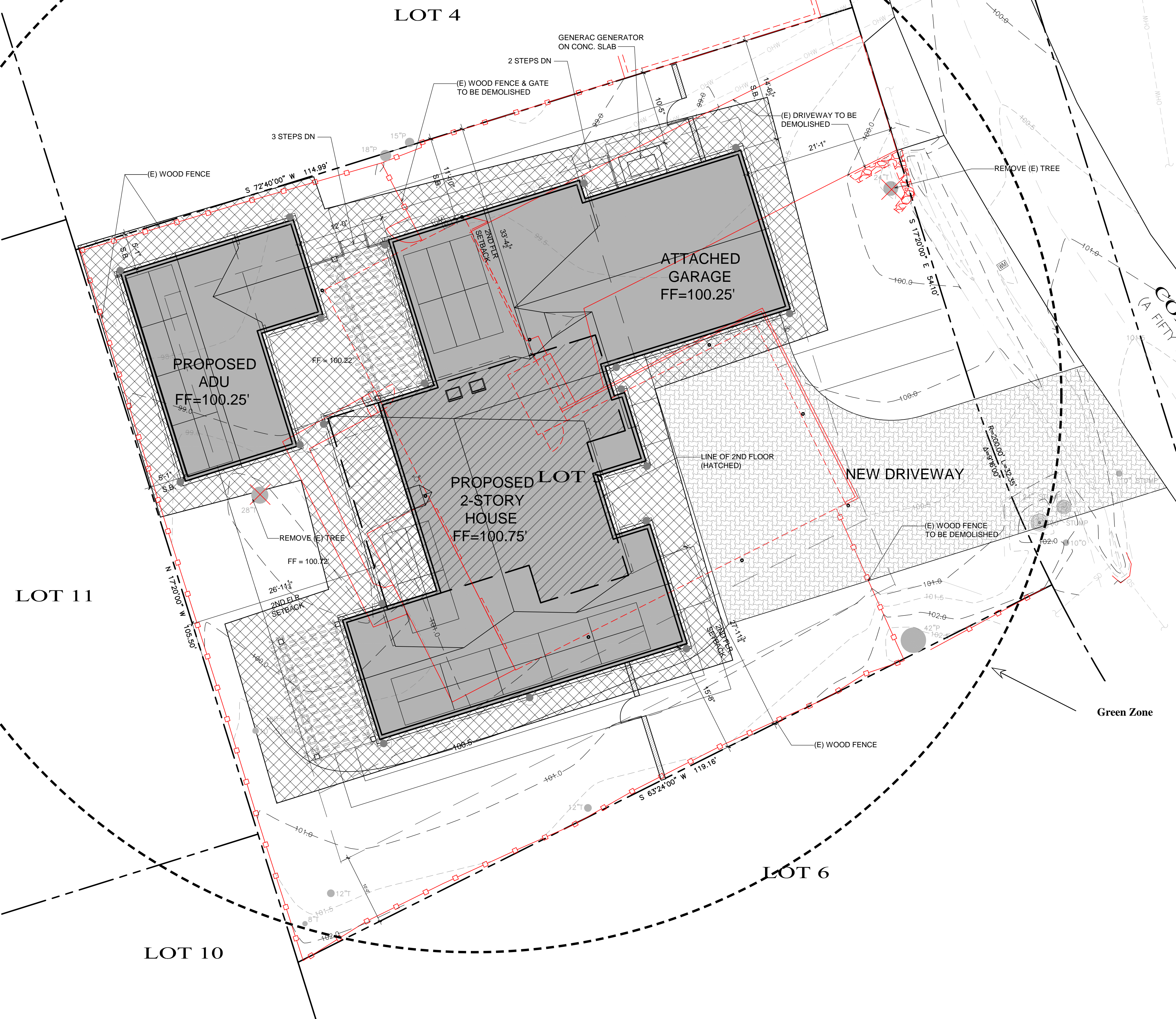
0'-5' border from residences and garage



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Zone 0 – Ember-Resistant Zone
Zone 0 extends 5 feet from buildings, structures, decks, etc.

- Use hardscape like gravel, pavers, concrete and other noncombustible mulch materials. No combustible bark or mulch
- Remove all dead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.); Check your roofs, gutters, decks, porches, stairways, etc.
- Remove all branches within 10 feet of any chimney or stovepipe outlet
- Limit plants in this area to low growing, nonwoody, properly watered and maintained plants
- Limit combustible items (outdoor furniture, planters, etc.) on top of decks
- Relocate firewood and lumber to Zone 2
- Replace combustible fencing, gates, and arbors attach to the home with noncombustible alternatives
- Consider relocating garbage and recycling containers outside this zone
- Consider relocating boats, RVs, vehicles and other combustible items outside this zone

Zone 1 – Lean, Clean and Green Zone
Zone 1 extends 30 feet from buildings, structures, decks, etc. or to your property line, whichever is closer.

- Remove all dead plants, grass and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees
- Relocate wood piles to Zone 2.
- Remove or prune flammable plants and shrubs near windows.
- Remove vegetation and items that could catch fire from around and under decks, balconies and stairs.
- Create a separation between trees, shrubs and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.

Zone 2 – Reduce Fuel Zone
Zone 2 extends from 30 feet to 100 feet out from buildings, structures, decks, etc. or to your property line, whichever is closer.

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal space between shrubs and trees. 2x-6x the height of the shrub depending on degree of slope of the land.
- Create vertical space between grass, shrubs and trees. Remove all tree branches at least 6 feet from the ground.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches.
- All exposed wood piles must have a minimum of 10 feet of clearance, down to bare mineral soil, in all directions.

Vegetation maintenance

From a fire resilience perspective, vegetation management consists of good water management practices, appropriate fertilization, and a regular practice of plant pruning and cleanup. Regular watering, pruning, and cleanup increases plant health, making them more resistant to wildfire. Drip irrigation can be helpful as is mulch for water conservation. Unfortunately, combustible mulches near the home create an additional fire risk (Quarles and Smith, 2008). Eliminate combustible mulches within 0-5 feet from the home and recognize that from 5-30 feet, combustible mulch can burn and emit embers. Rock mulch will have greater fire resistance. Compost that is mixed into the earth around plants, has a lower combustibility or low combustible rating and are a better alternative to combustible mulches.

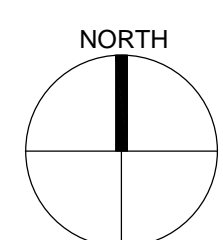
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Sheet Title:
**PROPOSED
FUEL MANAGEMENT
PLAN**

Sheet Number:



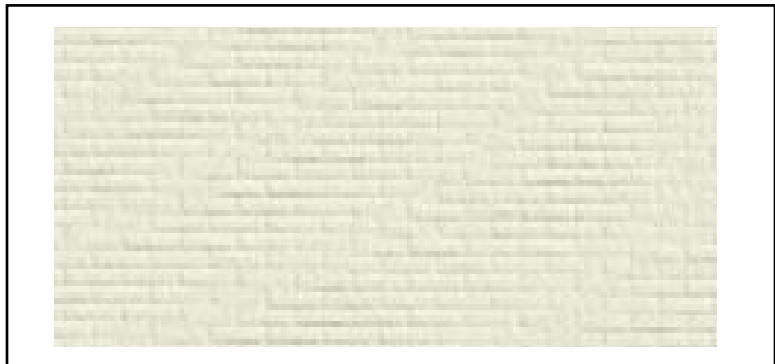
FUEL MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"

COLOR SAMPLES FOR PROJECT FILE NO. _____



Materials: Asphalt shingles Colors: Owen Corning - Sand Castle
Description: TruDefinition Duration Max Shingles, thick high-profile appearance of wood shingles



Materials: Wall texture and paint color Colors: Benjamin Moore OC-17 (Dove White)
Description: Paint over brick veneer



Materials: _____ Colors: _____
Description: _____