Exhibit A



DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

ANDERSON KENNETH J & ROSANNE P TRS (PLN230004)

RESOLUTION NO. ----

Resolution by the County of Monterey Zoning Administrator:

- 1) Finding that construction of a single family dwelling qualifies for a Class 3 Categorical Exemption pursuant Section 15303 of the CEQA Guidelines and none of the exceptions in Section 15300.2 apply to the project; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval to allow construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, associated site improvements including 760 square feet of decks, and removal of two protected Coast live oak trees; and
 - b. Use Permit to allow development on slopes in excess of 25%.

[PLN230004 ANDERSON KENNETH J & ROSANNE P TRS, 25900 Enclave Court, Monterey, Greater Monterey Area Plan (APN: 416-133-039-000)]

The ANDERSON KENNETH J & ROSANNE P TRS application (PLN230004) came on for a public hearing before the County of Monterey Zoning Administrator on August 15, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the

applicable plans and policies which designate this area as appropriate

for development.

EVIDENCE: a) During the course of review of this application, the project has been

reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;

- the Greater Monterey Peninsula Area Plan; and the
- Monterey County Zoning Ordinance (Title 21).
- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) Project Scope. The project consists of construction of a 2,487 square foot two-story single family dwelling, an attached 325 square foot accessory dwelling unit, an attached 462 square foot 2-car garage, 760 square feet of decks, paved asphalt and concrete driveway with fencing, and 2 guest parking spaces on the street. Two Coast live oak trees in the footprint of the residence will be removed. A new septic system with a leach field is proposed to support the development and the property will receive potable water from California American Water Company.
- Allowed Use. The property is located at 25900 Enclave Court, Monterey (APN: 416-133-039-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Rural Density Residential, with a maximum gross density of 5.1 acres per unit, with Design Control and Site Plan Review overlay districts or "RDR/5.1-D-S." Single family residences, accessory dwelling units, and non-habitable accessory structures (including attached garages) are all principally allowable uses in the base zoning district pursuant to Title 21 sections 21.16.030.A, 21.16.030.S, and 21.16.030.E, respectively. The Site Plan Review and Design Control overlay districts also require an Administrative Permit and Design Approval for proposed development. These are incorporated into the project description and the necessary findings can be made to approve them. The proposed project involves the removal of two protected Coast live oak trees and development on slopes exceeding 25%. Therefore, the development is also subject to the granting of a Tree Removal Permit and Use Permit.
- Lot Legality. The "Bay Ridge-Addition No. 2 Minor Subdivision," recorded as Volume 20, Parcel Maps, Page 91 on June 30, 1999 (Planning File Number PC-7668), allowed the division of an approximate 20.09 acre parcel (original Assessor's Parcel Number 416-133-034-000) into four parcels. The subject parcel is Parcel 3 of these four parcels. On July 21, 2004, a Certificate of Correction to sheet number 2 of the "Bay Ridge-Addition No. 2" (Volume 20, Parcel Maps, Page 91) was filed at the Monterey County Recorder's Office under Document No. 2004076057. This correction was for the purpose of documenting that the 60 foot Road Easement and Public Utility Easement (P.U.E.) within the subject subdivision (south of Puerta Del Cajon) shall be known as "Enclave Court." The Certificate of Correction did not change the configuration of the property. The configuration of the property matches the recorded Parcel Map and Certificate of Correction. Therefore, the County recognizes this parcel as a legal lot of record.
- e) <u>Design/Neighborhood and Community Character.</u> The property is subject to the regulations within the Design Control "D" overlay zoning district, regulated by Title 21 Chapter 21.44. These regulations require design review of proposed development to assure protection of the public viewshed and compatibility with the neighborhood character. A

- Design Approval application was submitted for this permit. The proposed colors and materials include off-white stucco walls; blue vinyl and steel cladding on windows, doors, and railings; and a tan elastomeric coated roof and balcony. The deck is enclosed by glass and silver pipe rails. Exterior lights are matt white finished wall sconces. The colors, materials, and form of the proposed single family dwelling have been designed to blend with the natural environment consistent with the other homes in the area. Other developments in the area consist of Spanish style haciendas, and other architectural styles, of organic colors and materials that blend with the environment. The proposed development will be congruent with the neighborhood character.
- Site Plan Review. The property is subject to the Site Plan Review "S" overlay zoning district, regulated by Title 21 Chapter 21.45 of the Monterey County Code, which provides regulations for development, which by reason of its location, has the potential to adversely affect or be adversely affect by natural resources or site constraints. A site plan was included in the application and an Administrative Permit application has been received and reviewed pursuant to these regulations. A Fuel Management Plan was included in the application which included measures to maintain vegetation surround the development area to reduce fire hazards. The applicant provided a grading and erosion control plan to demonstrate the feasibility of the proposed project. A geotechnical and soils report was also prepared, which analyzed the soil conditions of the site and determined it was suitable for development of the proposed single family dwelling. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans. The site plan did not identify any nearby environmentally sensitive habitat area or archaeological resources. Staff reviewed County records and data from California Fish and Wildlife, which made no indication of any known resources located within the subject property.
- Development Standards. Development standards for the Rural Density Residential zoning district are found in Title 21 section 21.16.060 and in accordance with Title 21 section 21.62.040.K, any accessory structure structurally attached to the main residence shall be subject to the main structure setback requirement. The minimum required setbacks for main structures in the RDR are 30 feet (front), 20 feet (side), and 20 feet (rear). As illustrated in the attached site plan, the single family dwelling has a side setback of 52 feet from the west property line and over 100 feet from the east property line, and a rear setback of 270 feet. The attached garage is 28 feet from the front property line at the closest point. However, Title 21 section 21.62.040.N allows for an attached garage to be built to within five feet of the front line in cases where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is either seven feet above or below the grade of said centerline. In this case, that point is 12 feet below the grade of said centerline and therefore the 28 feet front setback is allowable. The uncovered stairway on the north elevation is approximately 24 feet from the front property line and encroaches into the setback. Title 21 section 21.62.040.D allows for stairways to extend into any required front

setback not exceeding 6 feet and therefore, the 24 feet front setback is allowable. The height maximum for main structures is 30 feet. The structure, inclusive of the residence, attached garage, and accessory dwelling unit is 27 feet and 6 inches in height. The maximum allowed site coverage is 25%. The lot is 3.7 acres, or 161,172 square feet. The proposed project lot coverage is 3,010 square feet, or 1.9%. The minimum required parking for a single-family residence is two cars, which is addressed by the two car garage. Therefore, the proposed development complies with all applicable development standards.

- h) <u>Tree Removal.</u> The project would include removal of two protected oak trees. As demonstrated in Finding No. 2 and supporting evidence, the findings required for tree removal are made in this case.
- Archaeological Sensitivity. The project site is in an area identified in County records as having a moderate archaeological sensitivity. A previous archaeological report prepared for the subdivision (LIB020052, Finding No. 4, Evidence "b") concluded that there is no surface evidence of potentially significant archaeological resources. There are no recorded archaeological sites located within the subject area, or within a one half mile radius of the subject area. Therefore, the project would not impact any known archaeological resources. A standard project condition (Condition No. 3) has been applied to control and limit any inadvertent impacts to cultural resources, which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- j) <u>Development on Slopes.</u> The proposed project includes approximately 1,798 square feet of development on slopes in excess of 25%. As demonstrated in Finding No. 3 and supporting evidence, the necessary finding to approve a Use Permit for development on slopes of 25% are made in this case.
- k) <u>Land Use Advisory Committee (LUAC) Review.</u> The project site is within the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) purview requires LUAC referral in accordance with the current guidelines adopted by in Board of Supervisors in Resolution No. 15-103. However, it was not referred to the LUAC for review as that LUAC is not presently meeting due to a lack of quorum.
- 1) The project planner conducted a site inspection on December 18, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.
- **TREE REMOVAL** The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.
 - **EVIDENCE:** a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Monterey County Code Chapter 16.60 and Title 21 section 21.64.260 Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.

- b) The applicant submitted an Arborist Report (LIB230317, Finding No. 4, Evidence "b") which provided tree assessments detailing the overall general health, vigor, and condition of protected trees and habitat. Protected trees were assessed within the proposed area of development and the property as a whole. The condition of the assessed trees was fair or better health. Based on the project design, the arborist recommended the removal of two Coast live oak trees, #416 and #417, because they are located within the proposed building footprint. No landmark trees will be removed. Short-term effects are confined to the construction area and immediate surroundings where two trees will be removed. No significant long-term effects on the forest ecosystem are anticipated, and the project is unlikely to significantly reduce the availability of wildlife habitat over the long term.
- c) The project includes removal of two protected trees: #416, a 17 inch diameter at breast height (DBH) Coast live oak, and #417, a 15 inch DBH Coast live oak. Per Title 21 section 21.64.260.D.2, removal of fewer than 3 protected trees in a one-year period may be approved by the Chief of Planning. To approve the removal, the appropriate authority must find that the removal is the minimum required under the circumstances and that the removal will not involve the risk of adverse environmental impact.
- d) The proposed tree removal is the minimum required under the circumstances. As demonstrated in Evidence "b" above, two trees are within the grading footprint of the main residence necessitating their removal. The existing condition of the subject parcel is sloped with a northwestern aspect and is partially forested with oak trees. The current siting of the home is the most feasible location. Moving the home south would result in a greater impact to slopes in excess of 25%, and potentially impact the grove of Coast live oaks along the property line, resulting in additional tree removal. Given the circumstances of this case, the project has been appropriately sited and designed to minimize tree removal and the removal will not involve adverse environmental impacts.
- e) Existing trees within the vicinity of the project site that are to remain will be protected throughout construction activities. A Notice of Report has been applied to the project as Condition No. 4, requiring the applicant to retain and protect trees not proposed for removal during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree Assessment prepared for the project. Protective fencing will be installed around the drip lines of the protected trees to ensure no development occurs within the critical root zone through implementation of Condition No. 5 as incorporated. Condition 6 has been incorporated stating that tree removal shall not occur until a construction permit has been issued. Additionally, the County's tree replacement condition has been applied to the project as Condition No. 8, indicating a replacement ratio of one-to-one as recommended by the arborist report.
- f) The project planner conducted a site inspection on December 18, 2023, to verify that the project on the subject parcel conforms to the tree removal regulations detailed above.

g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

3. FINDING:

DEVELOPMENT ON SLOPES EXCEEDING 25% – Policy OS-3.5 prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) the project better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

EVIDENCE:

- The proposed project includes approximately 311 square feet of development on slopes in excess of 25% to establish the driveway and approximately 1,487 square feet of development in the designated septic envelope for a total of 1,798 square feet.
- b) There is no feasible alternative location for onsite water treatment dispersal systems to occur on slopes less than 25% because more than half of the parcel includes slopes in excess of 25%. Further, the designated septic and leachfield area was identified during creation of the subdivision. The property is located on a hill with descending slopes to the north of the proposed building site of the single family dwelling, which is the only location with slopes that do not exceed 25%, and is the only feasible location to build the single family dwelling. Siting the driveway in another location would not avoid impacts to slopes exceeding 25% as well as result in the removal of additional protected trees. As proposed, the location of the driveway has the least impact to slopes exceeding 25%.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

4. FINDING:

SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a)

- The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff identified the need to evaluate geotechnical suitability of the site and potential impacts to trees and cultural resources. The following reports have been prepared:
 - "29500 Enclave Court Tree Assessment Arborist Report" (LIB230317) prepared by Urban Forestry, Pacific Grove, CA, June 5, 2023.

- "Update and Transfer of Responsibility of Prior Geotechnical Investigation and update with Percolation Investigation for the Proposed New Single Family Residence to be Constructed at 25900 Enclave Court, APN 416-133-039-000, near Monterey, California" (LIB230316) prepared by Soils Surveys Group Inc., Salinas, CA, March 17, 2023.
- "Cultural Resource Evaluation of the Enclave Subdivision on Puerta Del Cajon in the County of Monterey" (LIB020052) prepared by Archaeological Resource Management, San Jose, CA, February 15, 2002.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on December 18, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.
- 5. FINDING:

HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities will be provided. The property will receive potable water from California American Water (Cal Am), who provided a can and will serve letter dated May 28, 2021, in their Hidden Hills Satellite System. Wastewater service will be provided by a newly designed septic system, which is discussed below.
- C) In order to verify the site soils could adequately support a septic / Onsite Wastewater Treatment System (OWTS), three percolation tests were performed approximately 150 feet from the proposed dispersal area. A letter from Soils Surveys Group Inc. dated March 3, 2024, confirmed that soils characteristics are uniform in the tested area and proposed dispersal area. C3 Engineering provided additional analysis regarding consistency of slopes beyond the proposed leach field dispersal area on page C2 of Conceptual OWTS design plans dated May 10, 2024, confirming the slopes do not change greater than 20% in the 50 feet beyond the proposed dispersal area. The OWTS dispersal system will be installed on slopes greater than 25% and the future replacement area is located within the septic envelope established at the time of the

subdivision. The tertiary leach field area for future replacement can accommodate three conventional trenches. OWTS calculations provided by C3 Engineering dated May 10, 2024, show a 0.6 soil application rate and 525 gallons per day for wastewater volume for the proposed 3-bedroom single family dwelling and 1-bedroom accessory dwelling unit. The Environmental Health Bureau approved the OWTS designs with the calculations provided.

- d) Staff conducted a site inspection on December 18, 2023 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

6. FINDING:

NO VIOLATIONS – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on December 18, 2023 and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

7. FINDING:

CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), categorically exempts the construction of small structures including a single family residence in a residential zone.
- b) As the construction of a new single family residence with associated site improvement in a residential zoning district, the project fits the criteria of this exemption. The proposed development has been evaluated to avoid impacts to protected trees, archaeological resources, to minimize development on slopes in excess of 25% and other important resources to the maximum effect.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in Evidence "d" through "i" below.
- d) The project is not located in an area that is mapped as an environmental resource of hazardous or critical concern by a local, state, or federal agency.
- e) This is one of two remaining undeveloped lots in the Bay Ridge Addition No. 2 subdivision. As such, successive projects of the same type and in the same place (construction of a single family dwelling on this lot which is zoned to allow such uses) would not occur resulting in contributing to a significant cumulative impact. The project, construction of a single-family residence and associated site improvements on a property zoned to allow such uses and without

- potentially significant impacts, would not contribute to a potential cumulative impact.
- f) There are no unusual circumstances associated with the project that would cause a potential environmental impact (see Findings 4, 5, and supporting evidence).
- g) The nearest scenic route is Laureles Grade Road, which is approximately 0.62 miles east of the site. However, the project is not within view of the roadway due to distance and intervening development and vegetation.
- h) The project is not located on a hazardous waste site compiled pursuant to Section 65962.5 or the Government Code.
- i) There are no historical resources on the site and therefore the project will not cause a substantial adverse change in the significance of a historical resource.
- j) Staff conducted a site inspection on December 18, 2023 and no adverse environmental effects were identified.
- k) See Finding Nos. 1, 2 and supporting evidence.
- 1) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.
- **8. FINDING: APPEALABILITY** The decision on this project may be appealed to the Planning Commission.
 - **EVIDENCE:** Pursuant to Title 21 Section 21.80.040.B, an aggrieved party may appeal a decision of the Zoning Administrator to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1. Find that construction of a single family dwelling qualifies for a Class 3 Categorical Exemption pursuant Section 15303 of the CEQA Guidelines and none of the exceptions in Section 15300.2 apply to the project; and
- 2. Approve a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval to allow construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, associated site improvements including 760 square feet of decks, and removal of two protected oak trees; and
 - b. Use Permit to allow development on slopes in excess of 25%.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

PASSED AND ADOPTED this 15th day of August, 2024.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230004

1. PD001 - SPECIFIC USES ONLY

Responsible Department: P

Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN230004) allows construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, and associated site improvements including 760 square feet of decks; removal of two protected Coast Live oak trees; and construction on slopes greater than 25% for septic. The property is located at 25900 Monterey (Assessor's Parcel Number 416-133-039-000), Court, Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

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2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

The applicant shall record a Permit Approval Notice. This notice shall state:

"A Combined Development Permit (Resolution Number ______) was approved by the Zoning Administrator for Assessor's Parcel Number 416-133-039-000 on August 15, 2024. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

archaeological, during the course of construction, cultural, historical paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a archaeologist archaeologist registered qualified (i.e., an with the Register Professional Archaeologists) immediately shall be contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

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4. PD016 - NOTICE OF REPORT

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"An Arborist Report (LIB230317) was prepared by Frank Ono on June 5, 2023, and a Geotechnical Investigation Report (LIB230316) was prepared by Soil Surveys Group Inc., dated March 17, 2023, and are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports."

(HCD - Planning)

Compliance or Monitoring Action to be Performed:

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with these reports to the HCD - Planning.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department:

Planning

Condition/Mitigation Monitoring Measure:

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

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6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Tree

Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed:

Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 as recommended by arborist: Ono Consulting (LIB230317).

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD - Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure:

Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed:

Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

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9. PW0045 - COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Monitoring Measure:

Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount

shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit

proof of payment to HCD-Engineering Services.

10. PD006(A) - CONDITION COMPLIANCE FEE

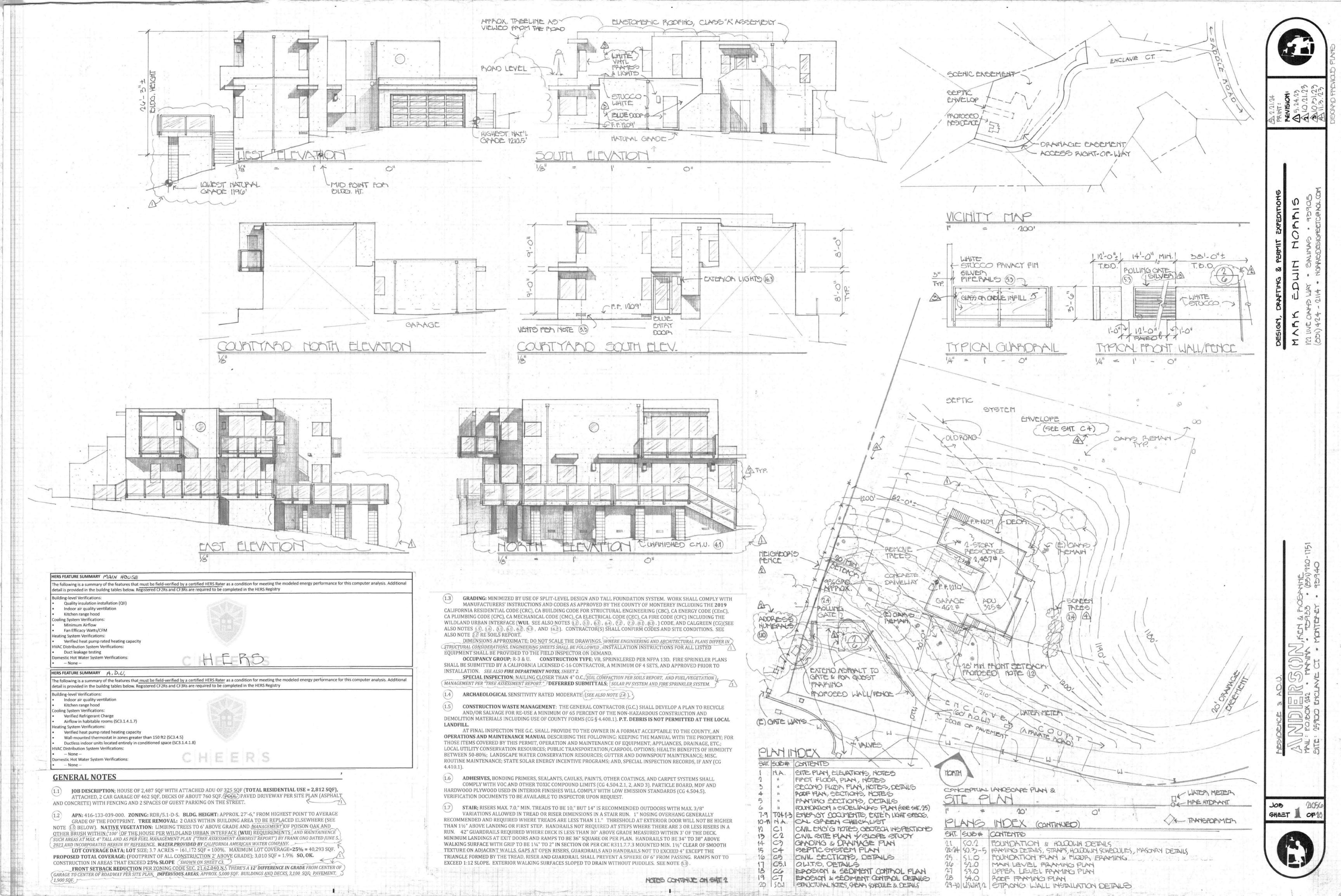
Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

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"O/C" OR "O.C." MEANS "ON CENTER;" "U.N.O." = UNLESS NOTED OTHERWISE.; "G.C." = GENERAL CONTRACTOR.

M = MOTION/PHOTO SWITCHED; ⑤ = SMOKE ALARM; ⑥ = COMBINATION SMOKE AND CARBON MONOXIDE SENSOR. → = CEILING MOUNTED LIGHT; | → = SCONCE; → = RECESSED LIGHT; | → CONVENIENCE OUTLET.

FIRE DEPARTMENT NOTES

COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8." DECK

TO REQUESTING A FRAMING INSPECTION

NATIVE VEGETATION: LIMBING TREES TO 6' ABOVE GRADE AND REMOVAL OF POISON OAK AND OTHER BRUSH WITHIN 100' OF THE HOUSE PER WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS AND MAINTAIN SUCH AREAS AT MAX. 4" TALL PER FUEL MANAGEMENT PLAN. SEE ALSO NOTE (1.2) ROLLING ENTRY GATE TO BE OPERATED BY ELECTRIC MOTOR WITH REMOTE CONTROL AND KNOX BOX FOR FIRST

ADDRESS NUMBERS SHALL BE MOUNTED 3" FROM THE TOP OF THE ENTRANCE WALL, LEFT OF THE GATE. THEY

GRADING AND SITE WORL

SEE ALSO, SOILS REPORT BY SOILS SURVEYS DATED MARCH 17, 2023, PJT #8296 WHOSE RECOMMENDATIONS (SCARIFICATION OF EXISTING SOILS, MOISTURE CONTROL, RECOMPACTION, ETC.) ARE INCORPORATED HEREIN AS REQUIREMENTS BY REFERENCE. PRIOR TO FINAL INSPECTION, THE G.C. SHALL PROVIDE A LETTER FROM A QUALIFIED ENGINEER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE REPORT

DOWNSPOUTS SHALL TERMINATE AT SPLASH BLOCKS AND FROM THERE TO VEGETATIVE DRAINAGE COURSE OR PIPING TO APPROVED, ROCKY RIP RAP IN ACCORD WITH THE SOILS REPORT AND CIVIL ENGINEER'S DRAINAGE AND GRADING PLAN SHEET C3.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

SCREENING TREES; (3-4) (CAROLINA CHERRY AND/OR PACIFIC WAX MYRTLE) TO BE PLACED TO PROVIDE PROTECTION FROM THE EDGE OF STEEP CHANGES IN GRADE PER PLAN. { IRRIGATION TO BE BY HAND UNTIL THEY ARE }

CONCRETE AND FOUNDATIONS

(3.1) CONCRETE STRENGTH (PER STRUCTURAL ENGINEER'S PLAN AND NOTES.) FLATWORK/LANDSCAPING PER FIELD DESIGN, SUBJECT TO INSPECTION AS APPROPRIATE, AS AT RAMPS AND STEPS, ETC. WALKS, AND OTHER PAVED AREAS TO BE SLOPED MIN. 2% TO DRAIN WITHOUT PUDDLES. DRIVEWAY AND PARKING AREA BETWEEN STREET-SIDE GATE AND GARAGE DOOR TO BE CONCRETE. BETWEEN GATE AND EXISTING ROAD EDGE USE ASPHALT TO MATCH EXISTING ROADWAY.

FASTENERS IN CONCRETE (ANCHOR BOLTS, ETC.) TO BE TIED TO REBAR AND IN PLACE FOR INSPECTION. ANCHOR BOLTS AND OTHER FASTERNERS PER STRUCTURAL ENGINEER'S SHEETS ATTACHED.

CRAWL SPACE VENT CALC: 1,230 SQ. FT. x 144/150 = 1,181 SQ IN. VENT AREA REQUIRED. 1,181/5.5"/14" =15.3. PROVIDE MIN. 10 6"x 14" (a VENTS) AND 4 6"x 22" (b VENTS) PER FOUNDATION PLAN AND ELEVATION VIEWS, ALIGNED UNDER EDGE OF WINDOWS WHERE SHOWN. VENTS THRU CRIPPLE WALLS SHALL BE PLACED AS LOW IN THE WALL AS PRACTICAL. VENTING SHALL COMPLY WITH WUI REGULATIONS. BE NON-COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8."

MASONRY UNITS TO BE 8" x 8" x 16" (6" x 8" x 16" AT LEFT SIDE DECK PER PLAN) CONCRETE CINDER BLOCKS, SOLID GROUTED AT REINFORCED CELLS. "STACKED" PATTERN, NO OFF-SET IN VERTICAL JOINTS. SEE ALSO ENGINEERING

FLASHING TO BE MIN 26 GA. G.I. DOWNSPOUTS TO SPLASH BLOCKS. SEE ALSO NOTES (23) AND (73).

STRAPS, HANGERS, ETC. TO BE BY SIMPSON STRONG-TIE OR EQUIVALENT.

GATE PER NOTE 2.3 AND GUARDRAILS TO BE STEEL PIPE, GALVANIZED. ROLLING GATE PER ILLUSTRATION ON SHEET

1. EXTERIOR GUARDRAILS TO BE FURNISHED WITH GLASS OR CABLE INFILL. SEE ALSO NOTE 1.7. PROVIDE SHOP

3 DRAWINGS FOR RAILINGS AND INTERIOR STEEL FRAMED STAIR FOR APPROVAL OF THIS OFFICE PRIOR TO MANUFACTURING.

WOOD, FRAMING, FASTENERS

(6.1) FRAMING LUMBER SPECS PER STRUCTURAL ENGINEERING SHEETS.) FIELD CUT P.T. LUMBER TO BE FIELD TREATED PER AWPA M4. FASTENERS IN P.T. OR FIRE-RETARDENT-TREATED LUMBER TO BE HOT-DIPPED ZINC GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, COPPER, OR AS PER R317.1 INCLUDING THE EXCEPTIONS. INSTALL BACKER BLOCKING FOR GRAB BARS AT OWNER'S DIRECTION.

PROVIDE MIN. 12" SQ. ACCESS TO PLUMBING SLIP JOINTS, IF ANY. RODENT PROOFING INCLUDES ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AND OR FLOOR SHEATHING. CLOSE WITH CEMENT OR OTHER METHOD ACCEPTABLE TO THE COUNTY (GC 4.406.1).

ATTIC VENTILATION CALCS: USE ROOF MOUNTED VENTS WITH MIN. 56 SQ. IN. NET FREE AREA PER PLAN AND (13). ZONE 1 (SEE SHEET 5) = 16'x14' = 224 SQF. 224x144/300 = 107.5 SQ. IN. PROVIDE MIN. 2 VENTS. Zone 2 = 1,200 SQF. 1,200x144/300 = 576. 576/56 = 10.2. PROVIDE 11 VENTS. Zone 3 = 460 SQF. 460x144/300 = 221. PROVIDE 4 VENTS. CUT 2" SQ. NOTCHES INTO TOP EDGE OF EACH 2x SLOPING SLEEPER AT 36" O.C. TO CREATE VENTILATION ACROSS THE ATTIC. NO ATTIC ACCESS REQUIRED. VENTING SHALL COMPLY WITH WUI REGULATIONS, BE NON-COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8."

STRUCTURAL SHEATHING (PER STRUCTURAL ENGINEER'S SHEETS.) TREX (OR OTHER COMPOSITE) DECKING TO BE IGNITION-RESISTANT (WUI).

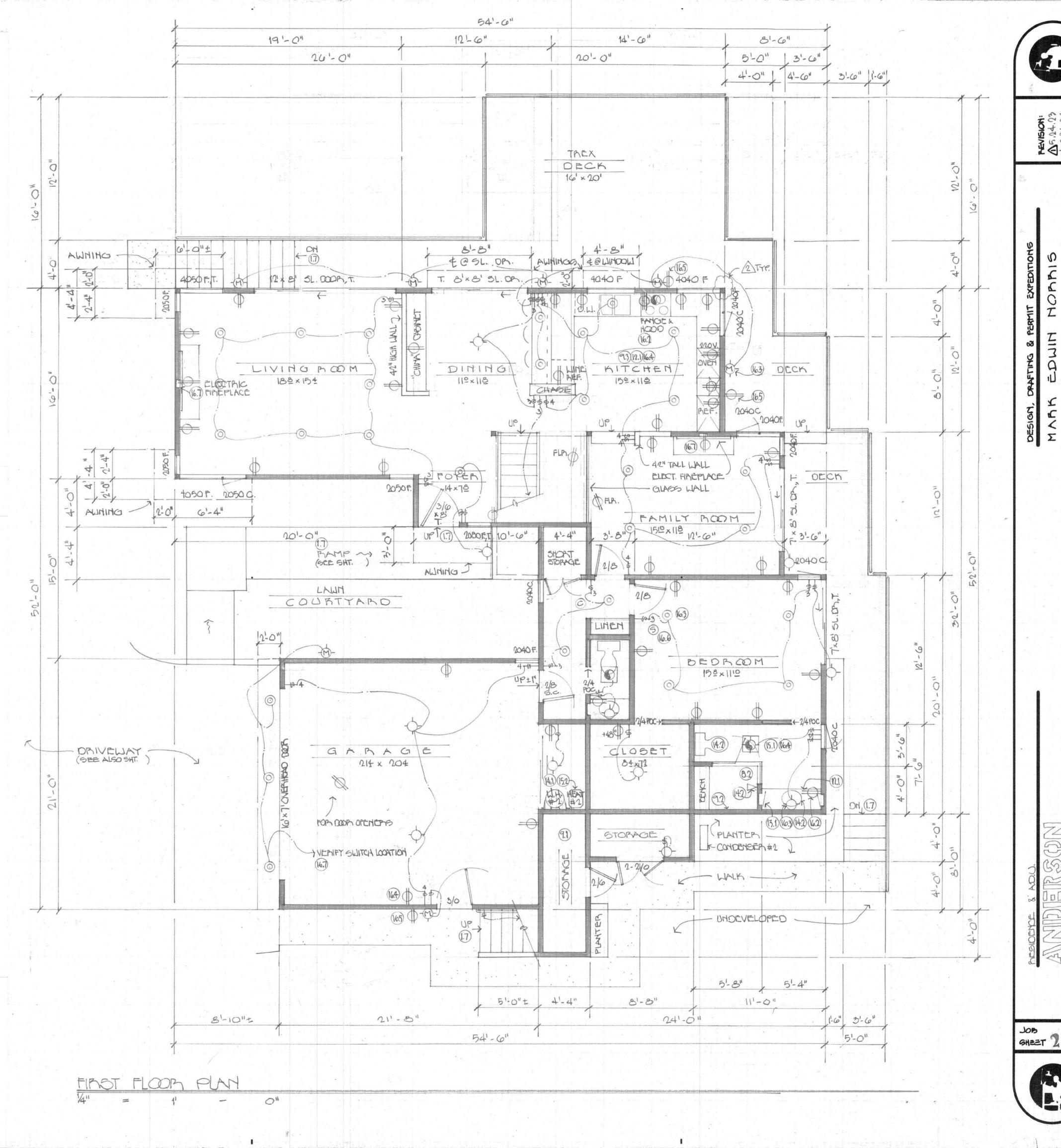
PROVIDE MIN. 16"x 24" ACCESS DOOR TO CRAWL SPACE FROM MECHANICAL ROOM. HEADERS FOR POCKET DOORS WHERE CEILINGS ARE 8' TALL SHALL BE 4x0. FRAME CORNER WINDOWS WITH CANTILEVERED AND HUNG HEADERS PER PLAN AND BEST PRACTICE. HEADERS AT 8' TALL SLIDING GLASS DOORS TO BE FRAMED WITH RESPECT TO THE REQUIRE ROUGH OPENINGS, VERIFY. STACK 2x SLEEPERS OVER ROOF/CEILING JOISTS, RIPPED FOR SLOPE. SEE ALSO NOTES 6.3 AND 7.2 SHIM OVER JOISTS TO ALIGN FLOOR SHEATHING WITH ADJACENT AREAS.

(6.6) CRIPPLE STUDS OVER 4' TALL SHALL BE 2x6 AT 16" O.C. ALL CRIPPLE STUDS SHALL BE SHEATHED PER ENGINEERING SHEAR SCHEDULE.

THERMAL AND MOISTURE PROTECTION

SEE ALSO ENERGY CONSERVATION MEASURES SUMMARY AND CF-1R FORMS AT SHEETS 8, 9 & 10. FLOOR FRAMING OVER UNCONDITIONED SPACE TO RECEIVE MIN. R-19 BATTS; EXTERIOR WALL INSULATION TO BE MINIMUM R-13 (R-19 AT 2x6 FRAMING); ATTIC INSULATION TO BE MINIMUM R-30 BATTS WITH AIR FLOW ABOVE PER NOTE 6.3).

SLOPE ROOFS TO DRAIN AT 1/2" PER FT. BALCONIES TO DRAIN MIN. 1/4" PER FT. STAIR TO ADU AND BALCONIES TO BE FINISHED WITH "WALK-ON," IGNITION-RESISTANT (WUI), WEATHERPROOF DECKING BY "META-CRYLICS" OR EQUAL WITH PREP AND FLASHING PER MANUFACTURER'S INSTRUCTIONS (HTTP://WWW.METACRYLICS.COM/); VERIFY THAT AND COLOR WITH OWNER. -> = DIRECTION OF FLOW. NOTES CONTINUE ON SHEET 3



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NOTES CONTINUED FROM SHEET 2

ROOFING TO BE CLASS "A" ASSEMBLY, EMULSION BUILT-UP ROOFING BY META-CRYLICS OR EQUAL PER CH. 9. DOUBLE-UP SCUPPERS STACKED PER CRC R903.4.1. SEE ALSO NOTE 23.

5TUCCO, MIN. 7/8," 3-COATS, SMOOTH FINISH WITH SQUARE CORNER BEADS. INSTALL MIN. 2-LAYERS, GRADE-D PAPER OR OTHER WATERPROOF BUILDING PAPER WALLS PER CODE. ALL WALLS ARE SHEATHED PER NOTE 6.4.
WEEP SCREED TO BE 3-1/2" MIN. 2" ABOVE PAVING OR WALK-ON DECK, AND MIN. 4" ABOVE FINISHED EARTHEN GRADE.

FENESTRATIONS & GLAZING

WINDOWS AND EXTERIOR SLIDING GLASS DOORS TO BE BY ANDERSON 400 SERIES (VINYL CLAD WOOD) AND MILGARD TRINSIC WHITE VINYL (RESPECTIVELY), DUAL PANE, CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS. U-FACTOR VALUES PER LIST, U 26-32. WINDOWS AND GLASS IN DOORS TO BE TEMPERED. (WUI)

GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE MADE OF SAFETY GLAZING MATERIALS (AND BE LABLED AS REQUIRED BY CRC R308.1) SUCH AS TEMPERED, LAMINATED OR SAFETY PLASTIC INCLUDING THE GUARD AND HANDRAILS, SHOWER ENCLOSURES AND IN WALLS WITHIN 5' OF BATH OR SHOWERS, AND GLASS IN DOORS AND WITHIN 24" HORIZONTALLY OF DOORS. ALL WINDOWS AND GLASS IN DOORS TO BE DUAL PANE AND CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS. "T" = TEMPERED. DOORWAYS TO SHOWERS TO PROVIDE MIN. 24" WIDE OPENING.

GARAGE DOOR TO BE WEATHERSTRIPPED OR OTHERWISE HAVE THE GAP ON ALL SIDES TO NOT EXCEED 1/8" TO KEEP EMBERS FROM ENTERING (**WUI**). DOOR TO MECHANICAL ROOM IN CRAWL SPACE TO BE WEATHERSTRIPPED AND PROVIDED WITH DEADBOLT LOCK MATCHING HOUSE KEY. SEE OWNER FOR SPECIFICS.

FINISH

TYPICAL INTERIOR WALLS AND CEILINGS TO GET ½" GYP. BRD. (USE 5/8" OR BOARD RATED FOR 24" SUPPORT SPACING INCLUDING STORAGE SPACE UNDER STAIRS AND GARAGE) WITH TAPE AND TEXTURE, VERIFY WHICH. TYPICAL INTERIOR WALL FINISH INCLUDING FURNACE "ROOM" WALLS AND CEILING IN CRAWL SPACE TO BE ½" GYP. BRD WITH PENETRATIONS OR OPENINGS ALLOWED FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, WIRES, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS. PROVIDE SIMLAR PANEL WITH HINGES AND REINFORCED EDGES OVER INTERIOR ACCESS IN CRIPPLE WALL, MIN. 16"x 24."

9.2 SHOWER WALLS TO 7' ABOVE THE DRAIN AND MINIMUM 4" HORIZONTALLY PAST THE ENCLOSURE TO BE HARD, SMOOTH AND NON-ABSORBANT; VERIFY (CRC R307.2). MINIMIZE HEIGHT OF SHOWER CURBS, MAX. 2" TYPICAL. INCLUDE NICHE(S) IN SHOWERS PER OWNERS' DIRECTION.

9.3 MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CG 4.504.4. ADHESIVES, BONDING PRIMERS, SEALANTS, CAULKS, PAINTS, OTHER COATINGS, AND CARPET SYSTEMS SHALL COMPLY WITH VOCAND OTHER TOXIC COMPOUND LIMITS (CG 4.504.2.1, 2, AND 3). PARTICLE BOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHES WILL COMPLY WITH LOW EMISSION STANDARDS (CG 4.504.5). VERIFICATION DOCUMENTS TO BE AVAILABLE TO THE INSPECTOR UPON REQUEST.

(9.4) GUARDRAIL (POSTS AND ROLLING GATE TO BE SILVER COLOR) PAINT THE MOUNTING PLATE WHITE LIKE THE WALLS.

CABINETS AND STORAGE SHOWN IS SUGGESTIVE, NOT PRESCRIPTIVE; VERIFY. VANITY IN POWER ROOM TO BE 28" TALL. OTHERS TO BE 36" TALL. ALL TO BE 21" DEEP.

SPECIAL CONSTRUCTION & APPLIANCES

(13.1) INSTALL GRAB BARS IN MASTER BATH AS DIRECTED BY OWNERS. MEDICINE CABINET, MIRROR, FIXTURES AND FINISHES ARE SUBJECT TO OWNER'S APPROVAL.

PROVIDE AND INSTALL DRY HEAT SAUNA BY *FINLANDIA*, A PRE-CUT PACKAGE "FPC44" INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY POWER AND SPECIALITY DETAILS.

PROVIDE AND INSTALL APPLIANCES TO INCLUDE (SKUS ARE BEST BUY. OTHER SOURCES AS NOTED. VERIFY.): HOUSE REFERIGERATOR, SAMSUNG "BESPOKE" 24 CU. FT. MODEL #RF2BB6200Q; G.E. STAINLESS STEEL COOKTOP, #JP3036SLSS, SKU 5871322; FRIGIDAIRE GALLERY SERIES, STAINLESS STEEL 30" DOUBLE ELECTRIC CONVECTION WALL OVEN/MICRO COMBINATION, MODEL #FGMC3066UF, SKU 6333507; WINE COOLER BY INSIGNIA, STAINLESS STEEL, DUAL ZONE WITH GLASS DOOR, 23"x 34", MODEL #NS-BC2ZSS1, SKU 6437135; DISHWASHER BY SAMSUNG, STAINLESS STEEL MODEL #DW80R2031US, SKU 6336699; WASHER/DRYER BY SAMSUNG, WHITE, 4.5 CU. FT. HIGH EFFICIENCY STACKABLE FRONT LOADER WITH VIBRATION REDUCTION TECHNOLGY WITH 7.5 CU. FT. STACKABLE ELECTRIC DRYER WITH "SENSOR DRY", MODEL #S DVE45T6000AW/A3 and DVE45T6020W/A3; RANGE HOOD, (HOME DEPOT) COSMO MODEL #COS-63190-HH; ADU, REFERIGERATOR BY INSIGNIA, MODEL #NS RBM11SS2, 24"x 68"x 27 3/8;" G.E. RANGE WITH OVEN, MODEL #JS645SLSS, 30"x 37¼"x 28¼" WITH G.E. MICROWAVE/HOOD DUCTED TO OUTSIDE, MODEL #JVM7195SKSS, 30" WIDE, UNDER CABINET MOUNT SINK TBD; LG TOWER WASHER/DRYER, MODEL# WKE100HWA, SKU 6451042, 27"x 74 3/8"x 30 3/8."

PLUMBING

WATER HEATERS TO BE ELECTRIC HEAT PUMP, STORAGE TYPE WITH RECIRCULATION SYSTEMS. #1, 50 GALLON FOR HOUSE LOCATED IN MECHANINCAL ROOM BELOW KITCHEN. #2, 40 GAL. FOR ADU IN THE GARAGE.

WATER CLOSETS' SPACE INSIDE FINISH DIMENSION SHALL BE MINIMUM 31" WIDE WITH MIN. 24" CLEAR SPACE IN FRONT OF THE TOILET. MAX. 1.28 GPF. MASTER BATH SHOWER TO HAVE 2 HEADS, WALL AND OVERHEAD SPRAYER WITH SEPARATE VALVE CONTROLS. SHOWER TO HAVE THERMOSTATIC MIXING VALVE PROVIDING WATER AT A MAXIMUM 120° F. ALL HEADS TO HAVE A FLOW RATE NOT TO EXCEED 1.8 GALLONS PER MINUTE. AT 60 PSI, LAVATORY FAUCETS SHALL HAVE A FLOW RATE NOT TO EXCEED 1.2 GALLONS PER MINUTE (GPM). KITCHEN FAUCET FLOW RATES NOT TO EXCEED 1.8 GPM. LAUNDRY SINK FAUCETS HAVE NO FLOW LIMIT.

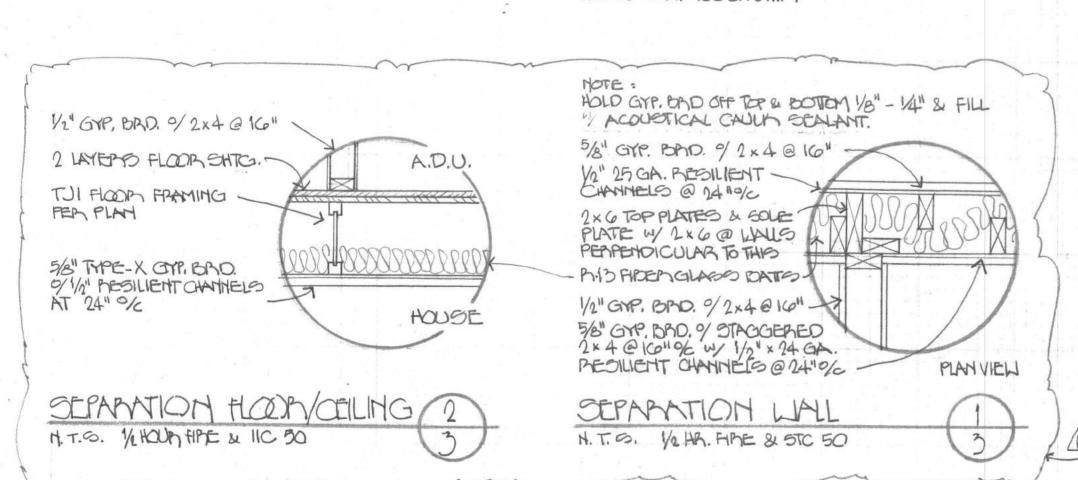
MECHANICAL

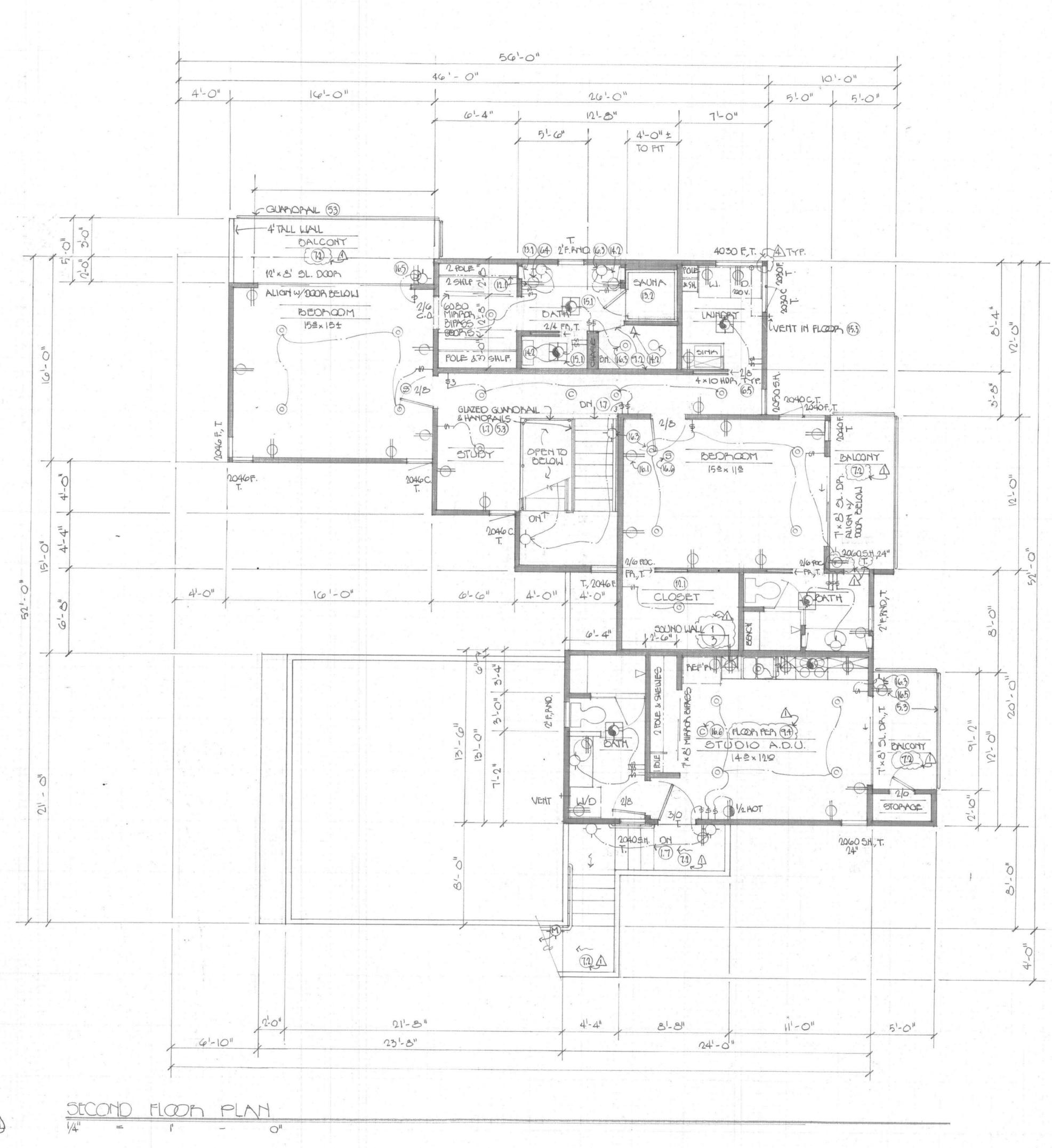
EXHAUST FANS TO BE VENTED TO OUTSIDE AIR TERMINATING MIN. 3' FROM OPERABLE OPENING. SEE NOTE 16.2

FURNACES TO BE ELECTRIC, DUCTED, MINI-SPLIT HEAT PUMP WITH DUCTING AND REGISTERS PER BEST PRACTICE HEATING DUCTS SHALL BE INSTALLED & INSULATED IN ACCORDANCE WITH CMC., THE MANDATORY MEASURES SUMMARY, AND THE CENC. PROVIDE TOE KICK REGISTERS AT CABINETS. DUCTING AND OTHER RELATED COMPONENTS SHALL BE COVERED DURING CONSTRUCTION TO REDUCE DUST, WATER AND DEBRIS FROM ENTERING THEM TO A LEVEL ACCEPTABLE TO THE COUNTY AND OWNER (CG 4.504.1). #1 FOR HOUSE IN MECHANICAL ROOM BELOW KITCHEN. #2 FOR ADU IN GARAGE.

DRYER VENTS TO TERMINATE OUTSIDE PER PLAN, MAX. 14' RUN WITH MAX. 2, 90° ELBOWS AND SELF-CLOSING TERMINUS.

NOTES CONTINUE ON SHT. 4





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NG & PERMIT EXPEDITIONS

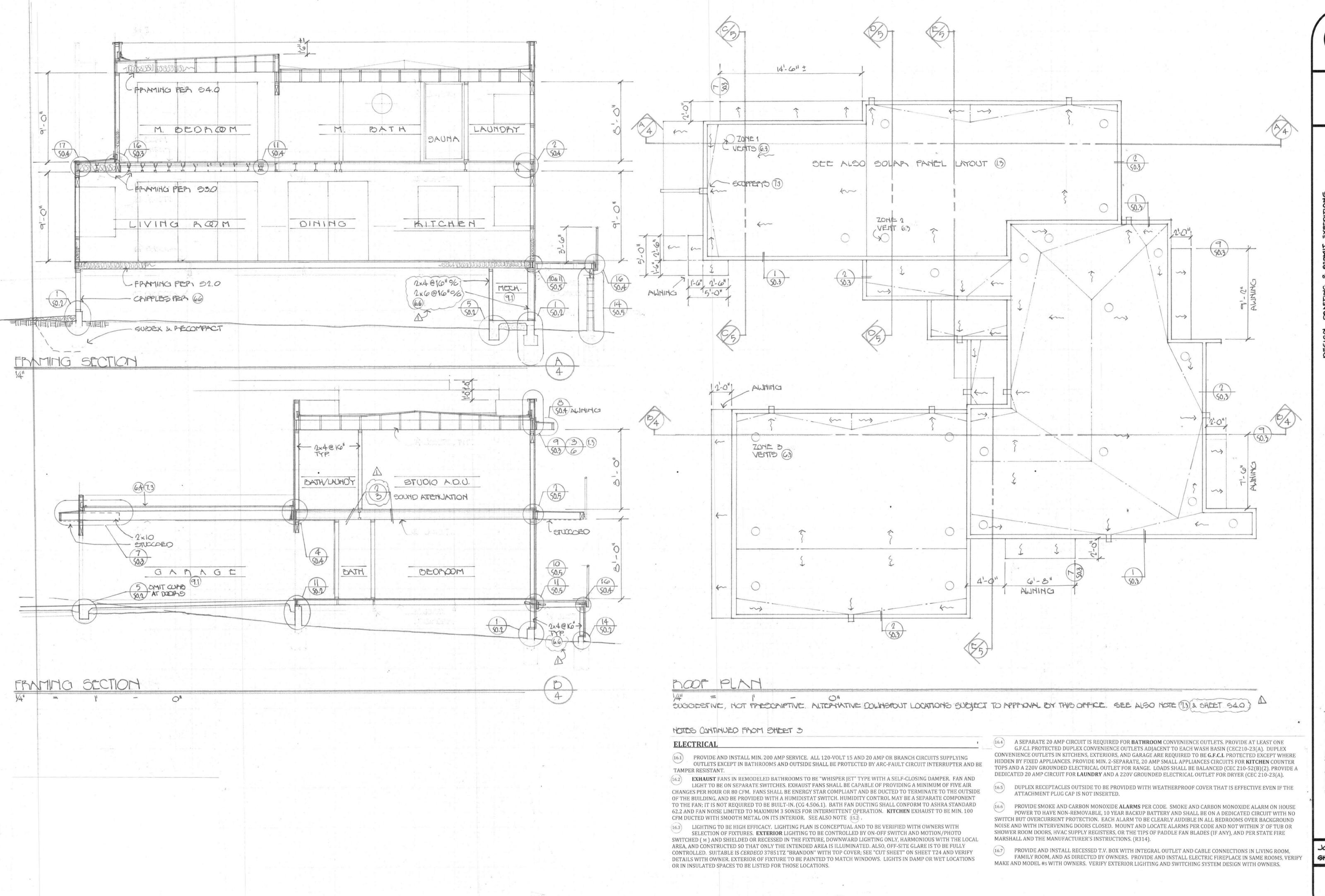
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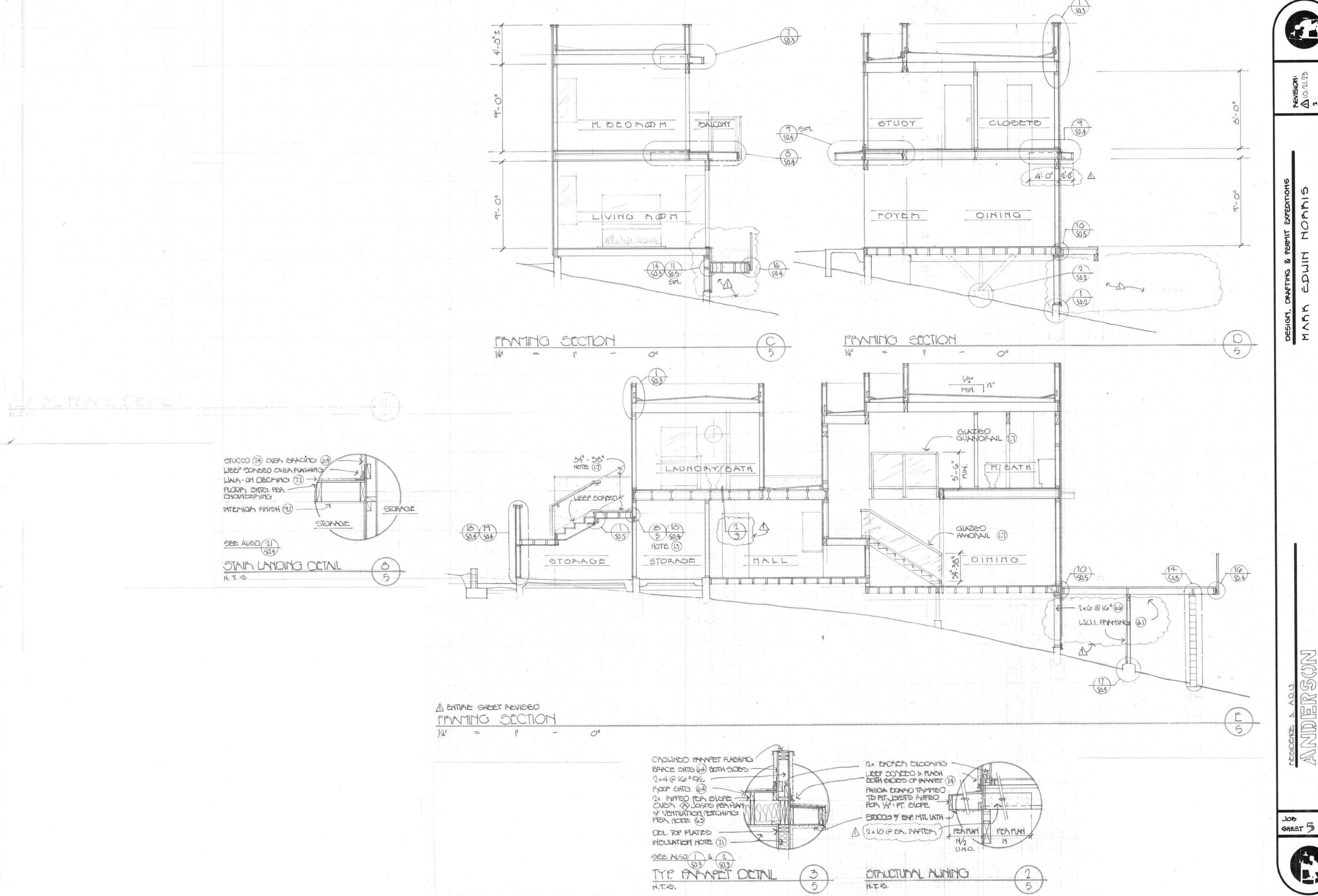


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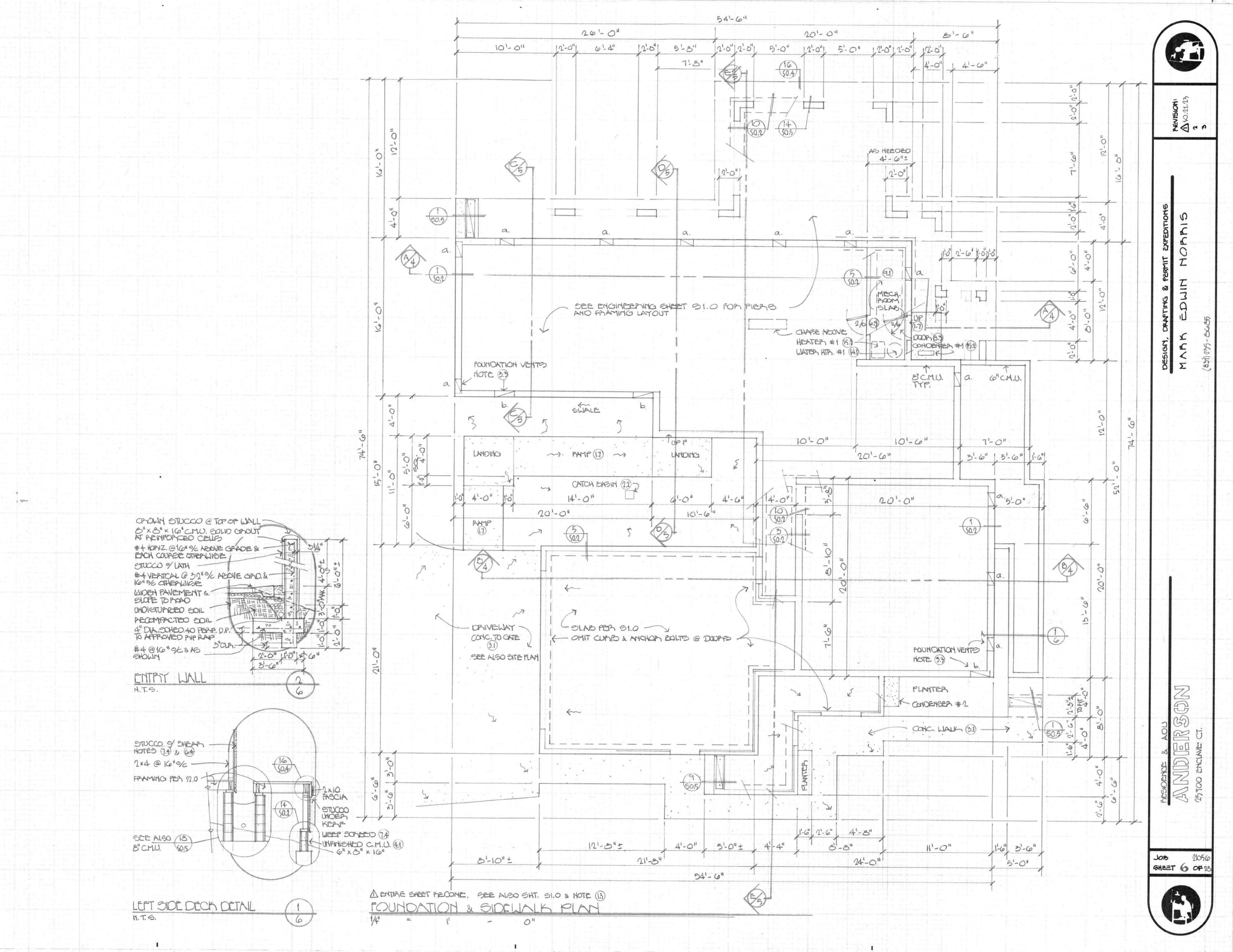




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- LATEST REVISION OF THE COUNTY OF MONTEREY OF DESIGN STANDARDS AND SPECIFICATIONS - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)

- THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

- THE PROJECT GEOTECHNICAL INVESTIGATION (DATED, SEPTEMBER 9, 2001 BY PACIFIC CREST ENGINEERS INC.)

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN

3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.

4. THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227–2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.

8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.

10. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT, CONCRETE STRIPING, ANY AND ALL OTHER DEBRIS FROM THE SITE. EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION. TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.

12. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

13. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

15. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST. C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.

D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

16. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

17. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.

18. CONTRACTOR SHALL POTHOLE AND VERIFY THAT A MINIMUM OF ONE FOOT OF VERTICAL SEPARATION CAN BE ACHIEVED AT ALL NEW SEWER CROSSINGS AND NOTIFY THE ENGINEER IF ANY EXISTING UTILITIES APPEAR TO BE IN

SANITARY SEWER

1. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD

2. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.

3. PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE COUNTY.

4. SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD

5. ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.

6. SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

BENCHMARK

SITE BENCHMARK IS A 1/2" REBAR AND CAP, ELEVATION 1209.42, (SEE SHEET C3 GRADING & DRAINAGE)

GRADING & DRAINAGE

1. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE AND THE PROJECT SOILS REPORT.

3. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST THREE (3) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO

5. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL INVESTIGATION. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL AS DIRECTED IN THE FIELD BY THE SOIL ENGINEER.

7. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED IN WRITING BY THE SOILS ENGINEER.

8. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

9. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROO-TBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

10. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

11. EARTHWORK QUANTITIES: CUT = 35 CY

ENGINEER.

FILL = 46 CYNET = 11 CY FILL

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

12. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.

13. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL, IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

14. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.

15. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.

16. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.

17. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1ST AND APRIL 30TH) THE FOLLOWING MEASURES MUST BE

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)

18. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.

19. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

20. PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL, AS DETERMINED BY THE SOIL ENGINEER.

21. FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

22. THE ULTIMATE PURPOSE OF GRADING IS FOR THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE WITH AND

UNDERGROUND UTILITIES

I. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

STORM DRAIN

1. ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.

2. STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE CITY STANDARD SPECIFICATIONS AND STANDARD

3. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASAQ CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C4.

3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

4. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.

5. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE COUNTY FORESTER.

6. ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

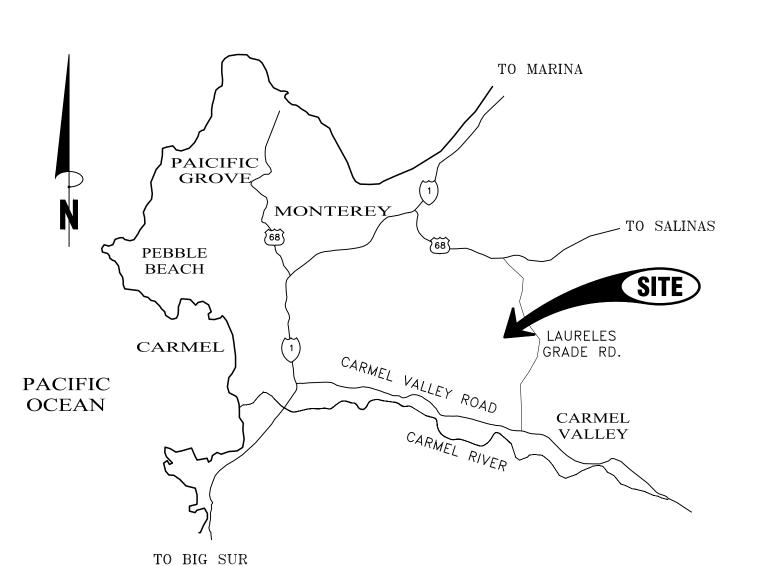
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE COUNTY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLE THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE COUNTY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

SIIE PLAN GRADING & DRAINAGE PLAN

GEOTECHNICAL INSPECTION SCHEDULE

WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:
1) PRIOR TO BACKFILLING 2) DURING BACKFILL PLACEMENT — OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATON:		
1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:		
1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB-ON-GRADE INSTALLATION:		
1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:		
1) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:		
1) DURING FILL PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE AND BASE ROCK PLACEMENT:		
2) SUBGRADE, PRIOR TO BASE ROCK PLACEMENT		AND BASE ROCK PLACEMENT:		
3) BASEROCK PRIOR TO AC, CONCRETE OR PAVEMENT				
	OFOTFOUNION INCREATOR	INCREOT AND TEST BRAINAGE INSTALLATION.		
1) AFTER PIPE PLACEMENT, PRIOR TO TO BACKFILL PLACEMENT 2) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:		
1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT — ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:		

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INPECTIONS HAVE BEEN COMPLETED.

LEGEND

PROPOSED **EXISTING** BOUNDARY LINE EASEMENT (ESMT) __ __ __ __ __ __ _ _ _ _ _ _ _ _ _ CENTERLINE (CL) ____ _ _ _ _ _ _ _ ____ _ _ _ _ _ _ _ ----- SD ------STORM DRAIN MAIN ROOF DRAIN LATERAL SANITARY SEWER MAIN WATER MAIN $\longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow$ $--\leftarrow\leftarrow\leftarrow\leftarrow\leftarrow\leftarrow$ DRAINAGE FLOW LINE SAWCUT ---- GB--- GB--- GB--- GB--- GB-GRADE BREAK ACCESSIBLE PATH OF TRAVEL — — — 170 — — — MAJOR CONTOUR MINOR CONTOUR ---- --- 169 · --- --- ---____ X ____ X ____ X ____ FENCE OVERHEAD LINES SPOT ELEVATION \times 405.46 171.13 DROP INLET (DI) CURB INLET (CI) AREA DRAIN (AD) STORM DRAIN MANHOLE (SDMH) SDMH SANITARY SEWER MANHOLE (SSMH) SSMH FIRE DEPARTMENT 分 FDC CONNECTION (FDC)

SHEET INDEX

FIRE HYDRANT (FH)

POST INDICATOR

VALVE (PIV)

WATER METER (WM)

WATER VALVE (WV)

CHECK VALVE

DOUBLE CHECK VALVE

CLEANOUT (CO)

C1 COVER & GENERAL NOTES

FH 🚫

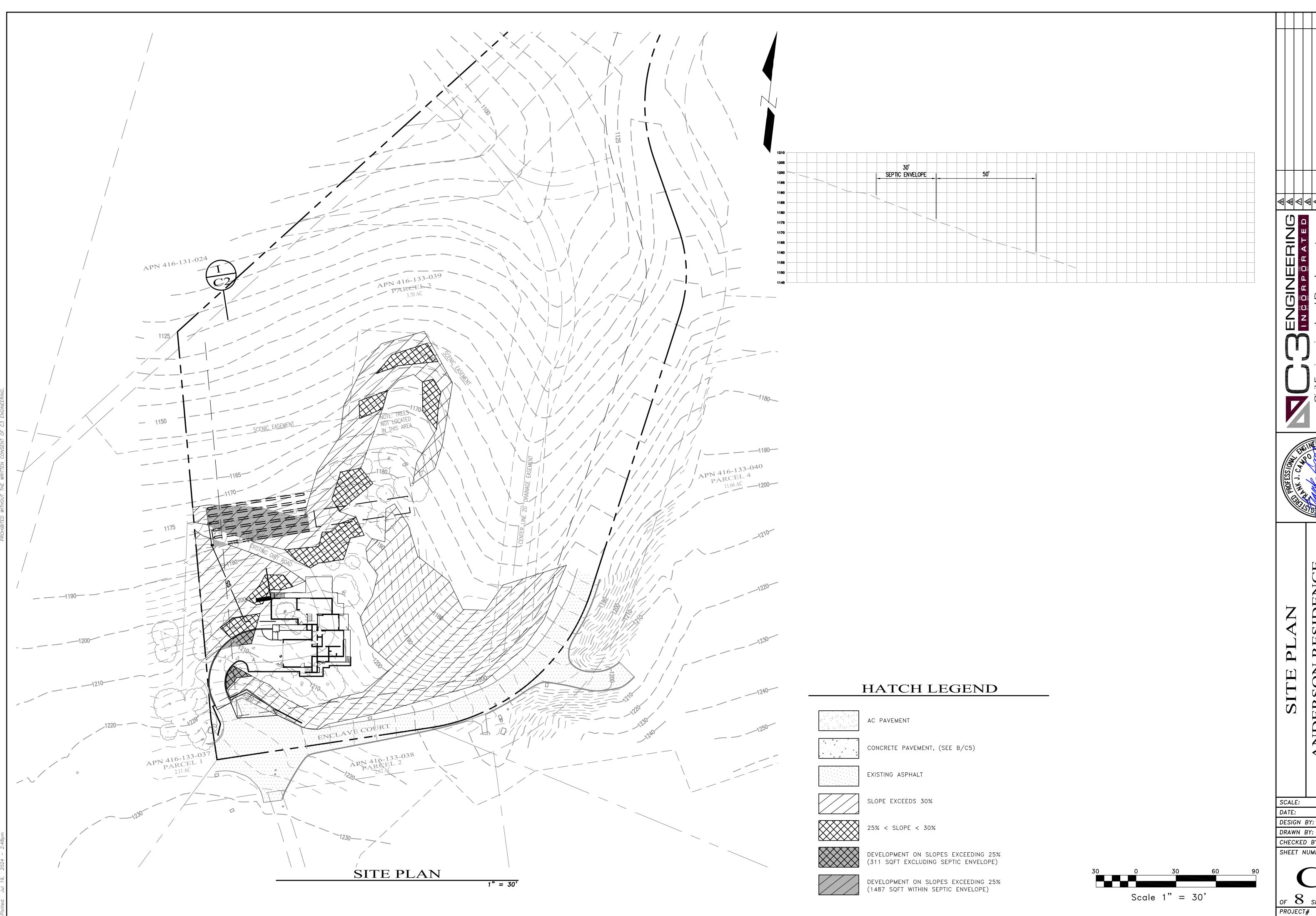
UTILITY PLAN SECTIONS & DETAILS

C5.1 OWTS DETAILS C6 EROSION CONTROL PLAN C7 EROSION CONTROL DETAILS

AS NOTED 05-10-24 ESIGN BY: RAWN BY: HECKED BY: HEET NUMBER:

SHEETS PROJECT#

123108



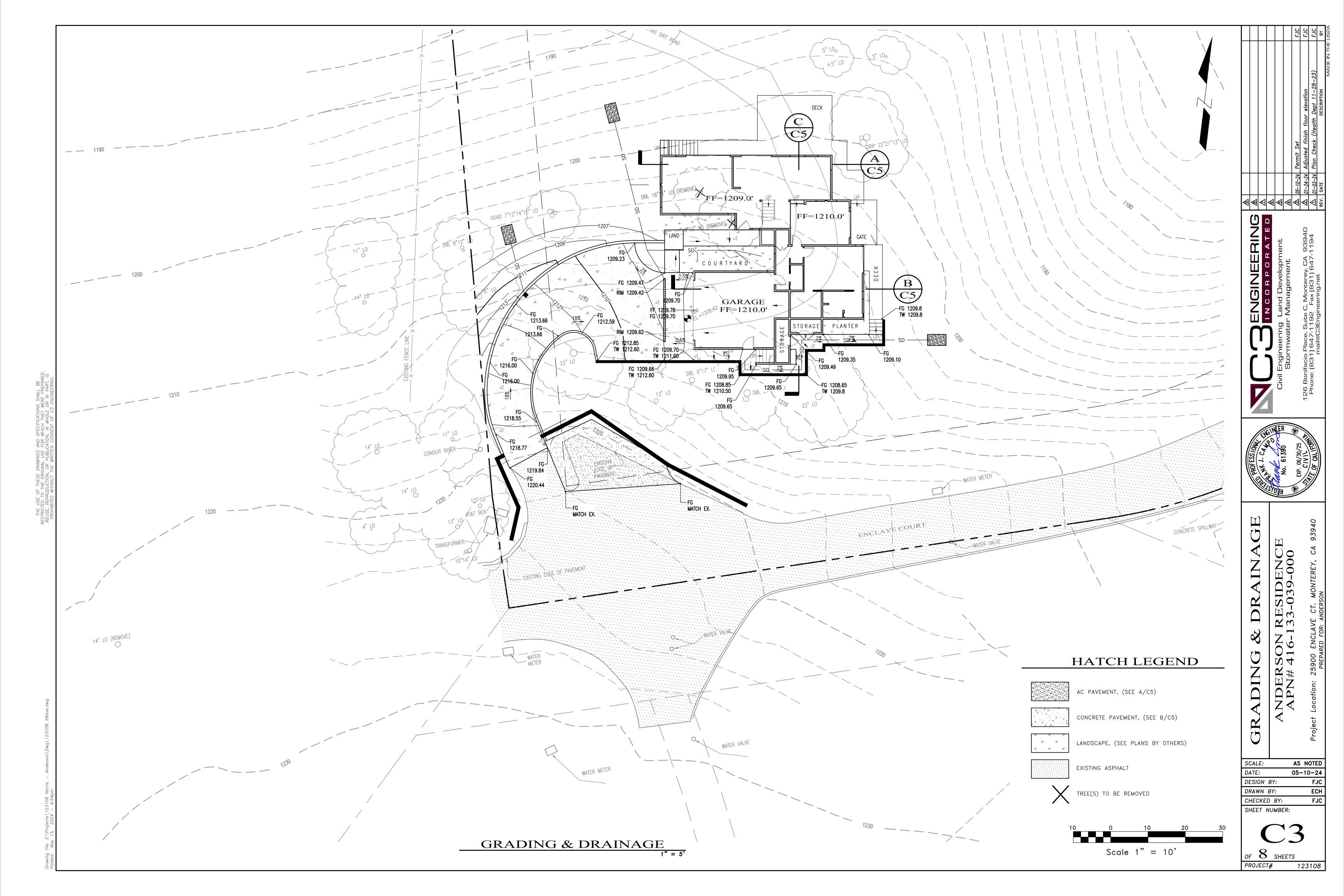
AS NOTED 05-10-24

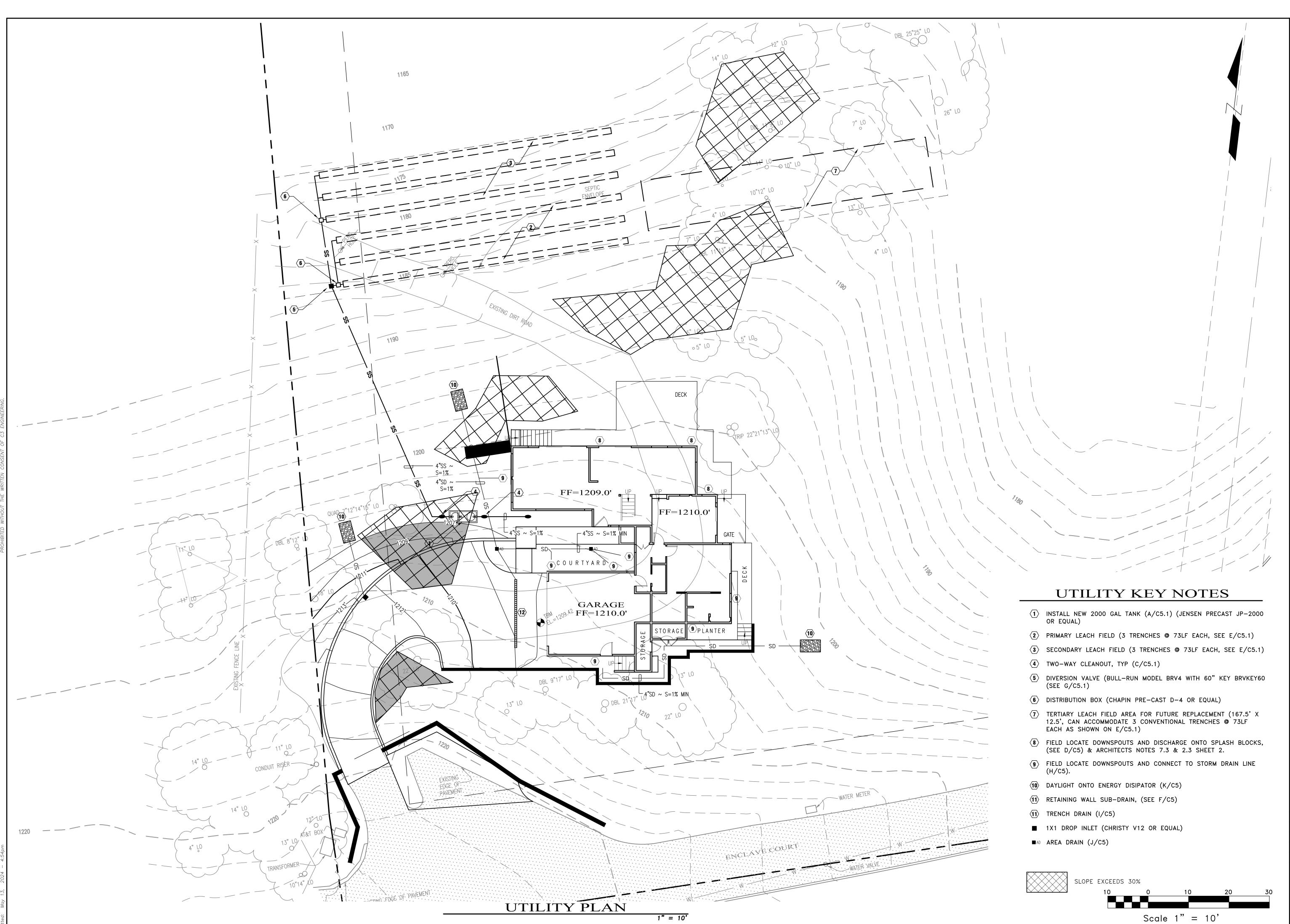
CHECKED BY:

SHEET NUMBER:

OF 8 SHEETS

123108



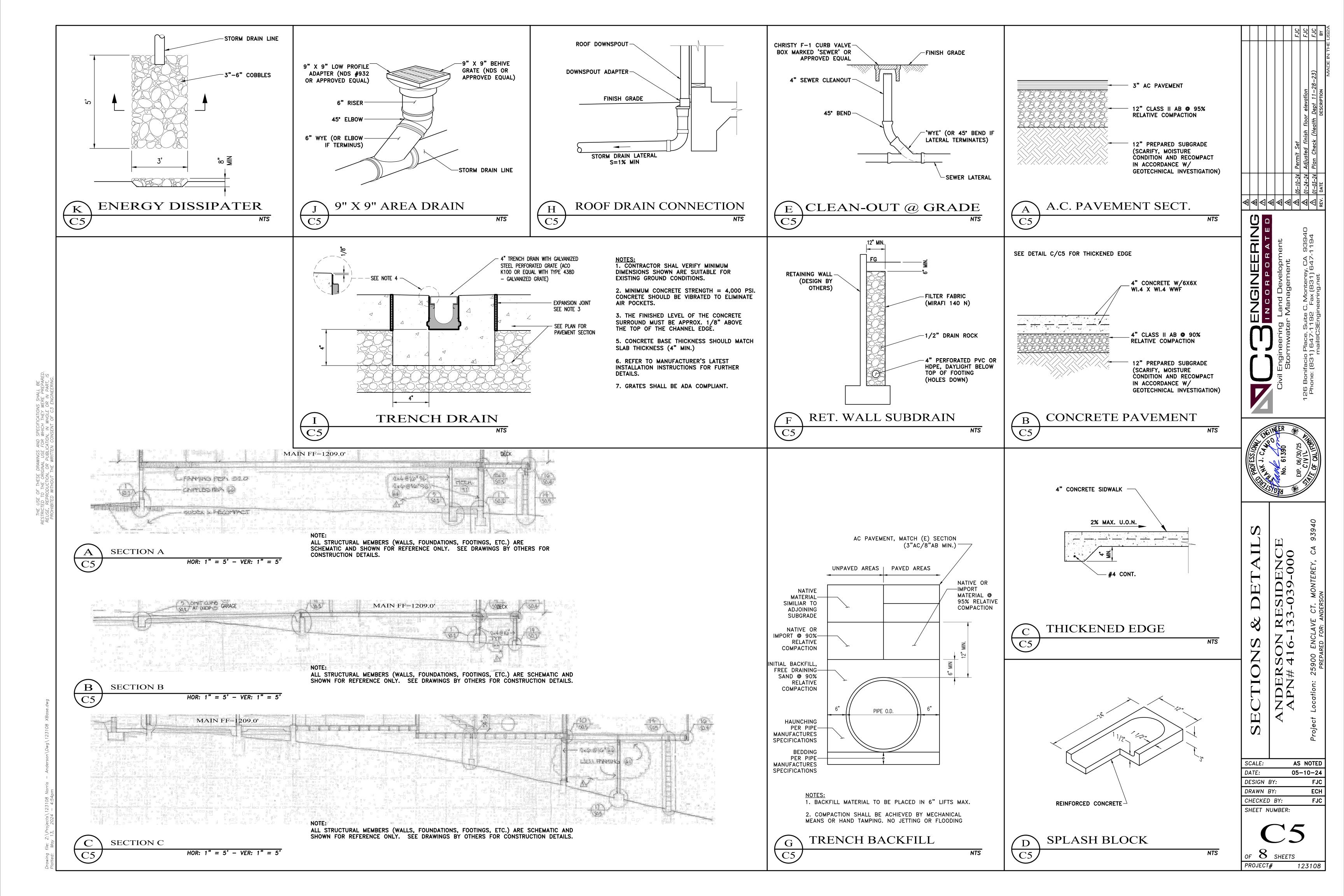




SCALE: AS NOTED 05-10-24 DATE: DESIGN BY: DRAWN BY:

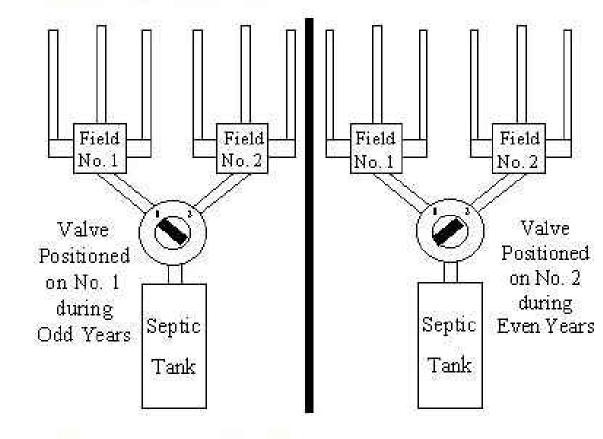
CHECKED BY: SHEET NUMBER:

OF 8 SHEETS PROJECT# 123108





The Bull Run Valve™ is designed to split flows to septic fields or systems. In addition to the advantages of longer life and easier installation it is the most public health safe 4" OUT PORT alternating device available for wastewater disposal applications. The use has absolutely no contact with wastewater due to the valve's leak-proof and external operating characteristics. The change over from one drainage field to another can be accomplished in less than a minute by simply turning the valve without digging or contact with wastewater.

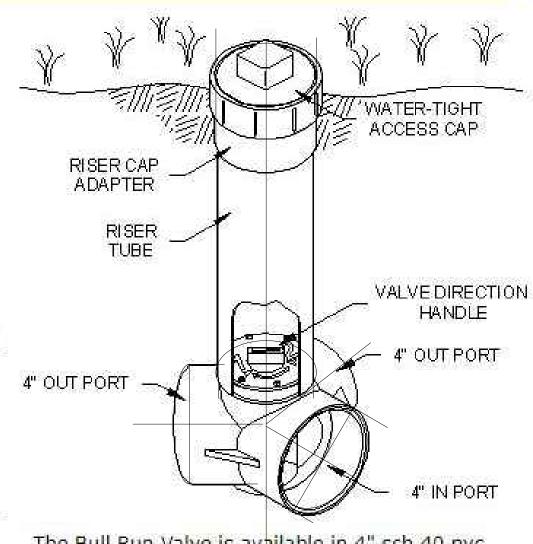


DESCRIPTION BRV4 **BULL RUN VALVE 4"**

BRVBULK BULL RUN VALVE & KEY ONLY BULL RUN VALVE RISER W/ CAST COVER BRVCIRISER BULL RUN VALVE KEY 28"

DIVERSION VALVE

BRVKEY28 BRVKEY36 BULL RUN VALVE KEY 36" BRVKEY48 BULL RUN VALVE KEY 48" BULL RUN VALVE KEY 60" BRVKEY60



The Bull Run Valve is available in 4" sch 40 pvc and is suitable wherever septic disposal systems are used - in commercial, industrial, and residential applications.

OPERATING THE VALVE

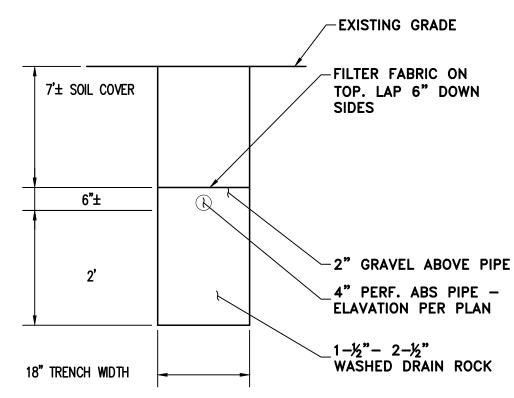
The direction control handle should be rotated periodically to direct effluent to one or the other of two septic fields. After removing the screw cap at the top of the riser tube, the valve handle can be turned with the valve key furnished.

BULL RUN VALVE Complete Valve Kit Contains

- 1. Bull Run Valve body
- 2. 28" Valve Key
- Riser Cap Adapter
- 4. Watertight Access Cap

BRVCIRISER - 4" ADJUSTABLE TO 28" HIGH POLY RISER W/CAST IRON ACCESS CAP





THE LEACH TRENCH SHALL BE EXCAVATED TO THE APPROPRIATE DEPTH PERPENDICULAR TO ANY SLOPE, FOLLOWING THE CONTOUR OF THE LAND SO AS TO MAINTAIN THE SAME TRENCH DEPTH FOR THE LENGTH OF THE TRENCH. ANY SMEARED TRENCH SIDEWALLS SHALL BE RAKED TO ROUGHEN THE SURFACE TO ENHANCE PERCOLATION. IF THE TRENCHES DO NOT FOLLOW THE NATURAL CONTOURS AND ARE CUT ACROSS SLOPES, THE BOTTOM OF THE TRENCH SHALL BE LEVEL.

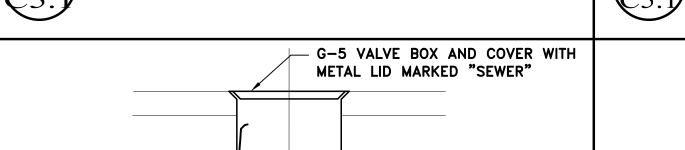
SEPARATION BETWEEN TRENCH SIDEWALLS SHALL BE MEASURED SIDEWALL TO SIDEWALL AND BE AT LEAST EQUAL TO THE TRENCH WIDTH OR 2 TIMES THE EFFECTIVE DEPTH OF THE TRENCH OR, WHICHEVER IS GREATER. AN ADDITIONAL 1 FOOT OF SEPARATION IS REQUIRED FOR EACH 5% INCREASE IN SLOPE GREATER THAN 30%.

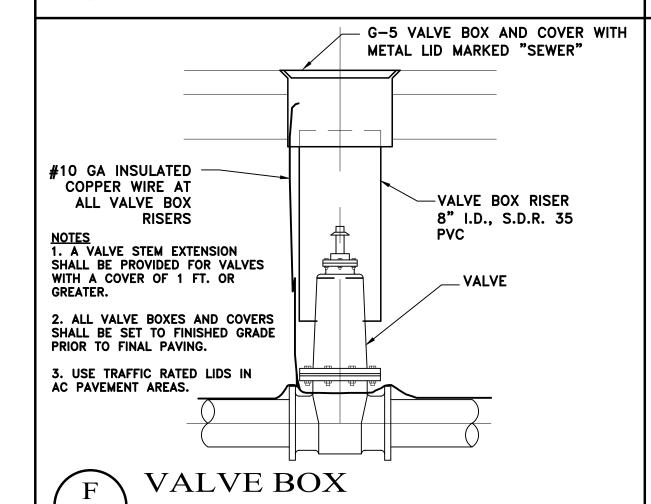
THE TOP OF THE BED OF ROCK AND THE LEACH PIPE SHALL BE LEVEL. THE LEACH PIPE SHALL BE PLACED ON THE LEVEL ROCK BED WITH THE HOLES POINTED DOWN AND A CAP PLACED OVER THE END OF THE

EARTH BACKFILL SHALL BE PLACED OVER THE LEACHFIELD 8" - 12" DEEP, AND SHALL BE MOUNDED TO ENSURE DRAINAGE AWAY FROM THE TRENCH. IF SETTLEMENT OCCURS AFTER INSTALLATION, ADDITIONAL BACKFILL MUST BE ADDED.

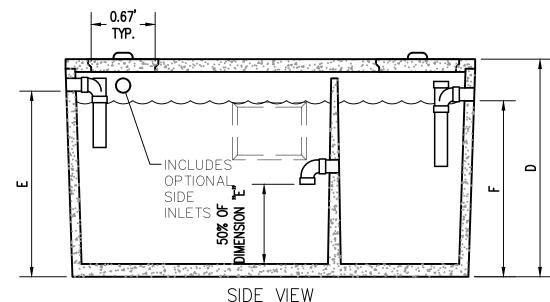
WHEN THERE IS MORE THAN ONE LEACH TRENCH, AN APPROVED EFFLUENT DISTRIBUTION DEVICE SHALL BE USED TO DISTRIBUTE EFFLUENT TO EACH TRENCH. "POP-OVER" DISTRIBUTION IS NOT PERMITTED.







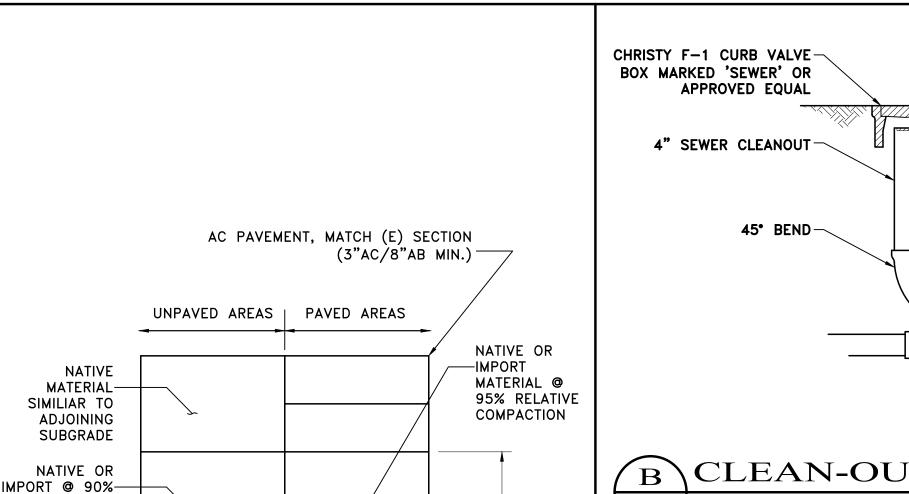
TOP VIEW

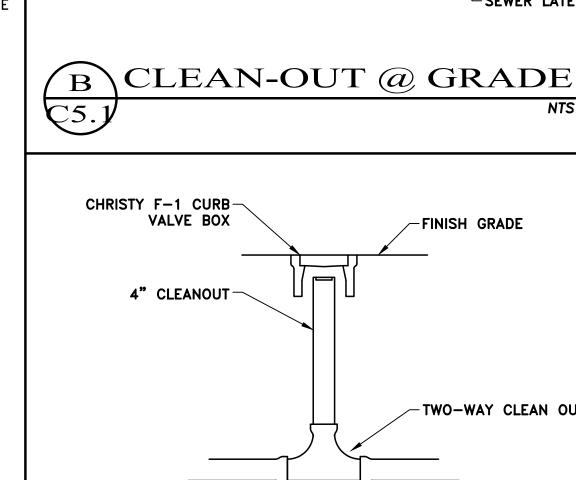


NOWBER	(GALLONS)	DIM A	DIM B*	DIM C	DIM D	DIM E	DIM F	MINIMUM EXCAVATION WIDTH*	MINIMUM EXCAVATION LENGTH
JS-750 	750	-4'-0"-	4'-9"	8'-1"	5'-8"	4'-10"	-4'-7"	5'-9"	9'-1"
19_1000	1000	E' 1"	5' 10"	o' o"	E' 0"	4' 10"	A' 7"	6' 10"	0, 0,
00 1000	1000	3 - 1	3 - 10	0 -2	5 - 0	+ - 10	+ - /	0 - 10	9 – 2
JS-1200	1200	<u> 5'-0"</u>	6'-6"	8'-6"	5'_8"	4'-10"	4'-7"	7'-6"	9'-6"
					J - 0	 + - 10 	, ,		
JS-1500 	1500 	-5'-7"-	6'-4"	10'-8"	5'-8"	 4'-10"	-4'-7"	7'-4"	11'-8"
JS-2000	2000	4'-11"	5'-8"	15'-11"	5'-8"	4'-10"	4'-7"	6'-8"	16'-11"
19-2500		5' 0"		16' 10"		4' 10"	<u> 4' 7"</u>	7'.6"	17' 10"
00 2000	2000	<u> </u>	0 -0	10 – 10	3-0	7 - 10	T = /	7 -0	17 - 10
 JS-3000	- 3000 -	-5'-9"-	6'-6"	16'-10"	6'-5"	5'-7"	5'-4"	7'-1"	17'-10"

DESIGN LOAD: NON TRAFFIC - 3' OF EARTH COVER MAXIMUM AT 500 PSF *WITH SIDE WALL LIFTING INSERTS FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST. ON THE WEB AT <u>JENSENPRECAST.COM</u>

SEPTIC TANK

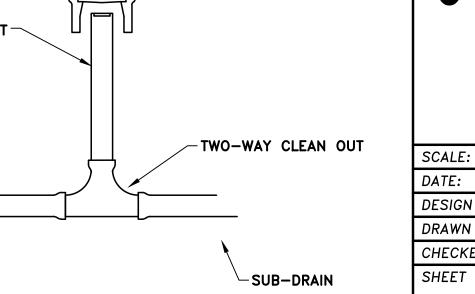




NTS

FINISH GRADE 'WYE' (OR 45° BEND IF LATERAL TERMINATES) -SEWER LATERAL

FINISH GRADE



CTWO-WAY CLEAN-OUT

DE PN AS NOTED

05-10-24 DATE: DESIGN BY: DRAWN BY: CHECKED BY: SHEET NUMBER:

TRENCH BACKFILL

RELATIVE COMPACTION

RELATIVE

PIPE O.D.

1. BACKFILL MATERIAL TO BE PLACED IN 6" LIFTS MAX.

2. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS OR HAND TAMPING. NO JETTING OR FLOODING

COMPACTION

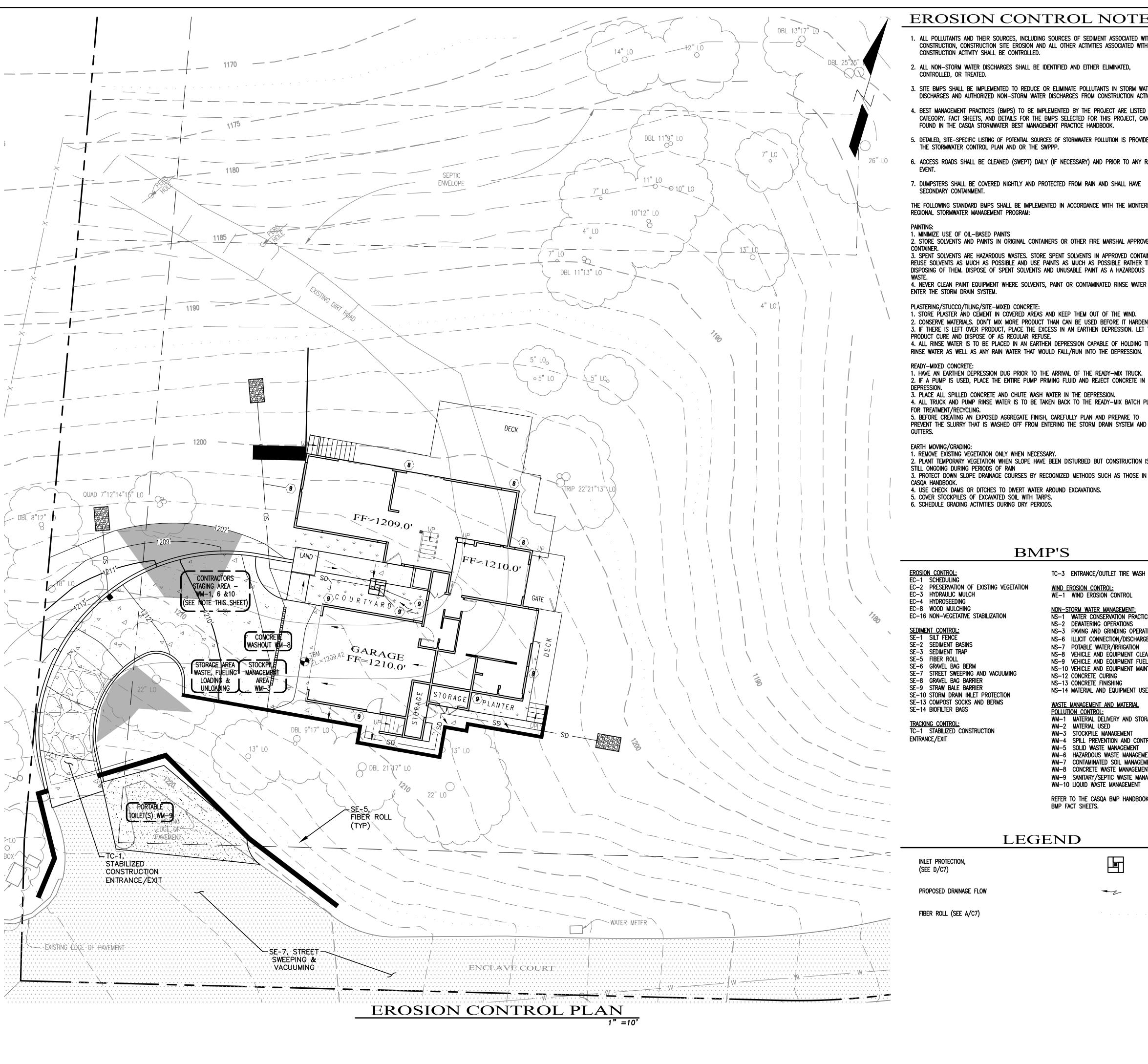
HAUNCHING PER PIPE **MANUFACTURES SPECIFICATIONS**

> BEDDING PER PIPE

MANUFACTURES **SPECIFICATIONS**

VITIAL BACKFILL, FREE DRAINING-SAND @ 90%

OF 8 SHEETS PROJECT# 123108



EROSION CONTROL NOTES

- . ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL BE CONTROLLED.
- 2. ALL NON-STORM WATER DISCHARGES SHALL BE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED.
- 3. SITE BMPS SHALL BE IMPLEMENTED TO REDUCE OR ELIMINATE POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
- 4. BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS. AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT. CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.
- 5. DETAILED, SITE-SPECIFIC LISTING OF POTENTIAL SOURCES OF STORMWATER POLLUTION IS PROVIDED IN THE STORMWATER CONTROL PLAN AND OR THE SWPPP.
- 6. ACCESS ROADS SHALL BE CLEANED (SWEPT) DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN
- 7. DUMPSTERS SHALL BE COVERED NIGHTLY AND PROTECTED FROM RAIN AND SHALL HAVE
- THE FOLLOWING STANDARD BMPS SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:

1. MINIMIZE USE OF OIL-BASED PAINTS

2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED 3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN

4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.

PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:

1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND. 2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS. 3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION, LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.

4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY—MIX TRUCK. 2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE 3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION. 4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.

5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND

2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN 3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE

4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS. 5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.

6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

BMP'S

EC-16 NON-VEGETATIVE STABILIZATION

SE-7 STREET SWEEPING AND VACUUMING

SE-8 GRAVEL BAG BARRIER

SE-10 STORM DRAIN INLET PROTECTION

SE-13 COMPOST SOCKS AND BERMS

TRACKING CONTROL:
TC-1 STABILIZED CONSTRUCTION

TC-3 ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL:
WE-1 WIND EROSION CONTROL

NON-STORM WATER MANAGEMENT:
NS-1 WATER CONSERVATION PRACTICES NS-2 DEWATERING OPERATIONS

NS-3 PAVING AND GRINDING OPERATIONS

NS-6 ILLICIT CONNECTION/DISCHARGE

NS-7 POTABLE WATER/IRRIGATION NS-8 VEHICLE AND EQUIPMENT CLEANING

NS-9 VEHICLE AND EQUIPMENT FUELING

NS-10 VEHICLE AND EQUIPMENT MAINTENANCE NS-12 CONCRETE CURING

NS-13 CONCRETE FINISHING NS-14 MATERIAL AND EQUIPMENT USE

WASTE MANAGEMENT AND MATERIAL

POLLUTION CONTROL: WM-1 MATERIAL DELIVERY AND STORAGE

WM-2 MATERIAL USED WM-3 STOCKPILE MANAGEMENT

WM-4 SPILL PREVENTION AND CONTROL WM-5 SOLID WASTE MANAGEMENT

WM-6 HAZARDOUS WASTE MANAGEMENT WM-7 CONTAMINATED SOIL MANAGEMENT

WM-10 LIQUID WASTE MANAGEMENT

WM-8 CONCRETE WASTE MANAGEMENT WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

LEGEND

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE

A. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED

EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. B. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO

C. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS

THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15TH AND APRIL 15th), THE FOLLOWING MEASURES MUST BE TAKEN:

- A. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL
- B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES. C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER
- STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE
- D. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- E. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

5. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.

6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

7. SOIL COMPACTION FOR AREAS THAT WILL REMAIN PERVIOUS OR ARE TO BE USED FOR STORMWATER CONTROL MEASURES (SCM) SHALL BE MINIMIZED.

8. ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND OR COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS SHALL BE PROTECTED WITH EFFECTIVE SOIL COVER.

9. SOIL STOCKPILES AREAS SHALL BE PROTECTED AGAINST EROSION.

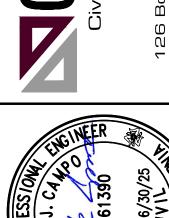
INSPECTIONS

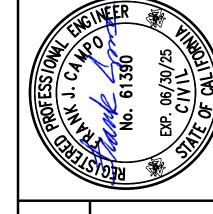
PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED ÀND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (RMA-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.





SCALE: AS NOTED 05-10-24 DATE: DESIGN BY:

ECH

123108

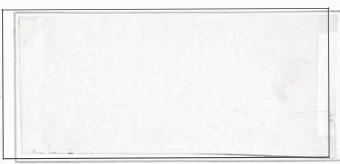
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OF SHEETS

PROJECT#

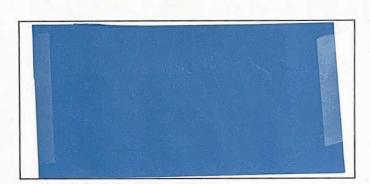
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COLOR SAMPLES FOR PROJECT FILE NO. PLN



Materials: STUCCO Description: WAUS

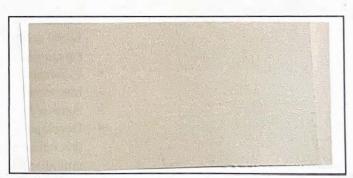
Colors: Off WHITE



Materials: Description:

VINYL & STEEL COLORS: BLUE

DORS & WINDOWS CLADDING AS WELL AS RAILING & BUT LIGHT



Materials: ELASTOMERIC COATING Colors: TAN

Description: ROOF & BALCONY