

# Exhibit A

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# DRAFT RESOLUTION

## Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**ANDERSON KENNETH J & ROSANNE P TRS (PLN230004)**

**RESOLUTION NO. ----**

Resolution by the County of Monterey Zoning  
Administrator:

- 1) Finding that construction of a single family dwelling qualifies for a Class 3 Categorical Exemption pursuant Section 15303 of the CEQA Guidelines and none of the exceptions in Section 15300.2 apply to the project; and
- 2) Approving a Combined Development Permit consisting of:
  - a. Administrative Permit and Design Approval to allow construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, associated site improvements including 760 square feet of decks, and removal of two protected Coast live oak trees; and
  - b. Use Permit to allow development on slopes in excess of 25%.

[PLN230004 ANDERSON KENNETH J &  
ROSANNE P TRS, 25900 Enclave Court, Monterey,  
Greater Monterey Area Plan (APN: 416-133-039-  
000)]

**The ANDERSON KENNETH J & ROSANNE P TRS application (PLN230004) came on for a public hearing before the County of Monterey Zoning Administrator on August 15, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:**

### FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 2010 Monterey County General Plan;

**ANDERSON KENNETH J & ROSANNE P TRS (PLN230004)**

- the Greater Monterey Peninsula Area Plan; and the
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of construction of a 2,487 square foot two-story single family dwelling, an attached 325 square foot accessory dwelling unit, an attached 462 square foot 2-car garage, 760 square feet of decks, paved asphalt and concrete driveway with fencing, and 2 guest parking spaces on the street. Two Coast live oak trees in the footprint of the residence will be removed. A new septic system with a leach field is proposed to support the development and the property will receive potable water from California American Water Company.
- c) Allowed Use. The property is located at 25900 Enclave Court, Monterey (APN: 416-133-039-000), Greater Monterey Peninsula Area Plan. The parcel is zoned Rural Density Residential, with a maximum gross density of 5.1 acres per unit, with Design Control and Site Plan Review overlay districts or “RDR/5.1-D-S.” Single family residences, accessory dwelling units, and non-habitable accessory structures (including attached garages) are all principally allowable uses in the base zoning district pursuant to Title 21 sections 21.16.030.A, 21.16.030.S, and 21.16.030.E, respectively. The Site Plan Review and Design Control overlay districts also require an Administrative Permit and Design Approval for proposed development. These are incorporated into the project description and the necessary findings can be made to approve them. The proposed project involves the removal of two protected Coast live oak trees and development on slopes exceeding 25%. Therefore, the development is also subject to the granting of a Tree Removal Permit and Use Permit.
- d) Lot Legality. The “Bay Ridge-Addition No. 2 Minor Subdivision,” recorded as Volume 20, Parcel Maps, Page 91 on June 30, 1999 (Planning File Number PC-7668), allowed the division of an approximate 20.09 acre parcel (original Assessor’s Parcel Number 416-133-034-000) into four parcels. The subject parcel is Parcel 3 of these four parcels. On July 21, 2004, a Certificate of Correction to sheet number 2 of the “Bay Ridge-Addition No. 2” (Volume 20, Parcel Maps, Page 91) was filed at the Monterey County Recorder’s Office under Document No. 2004076057. This correction was for the purpose of documenting that the 60 foot Road Easement and Public Utility Easement (P.U.E.) within the subject subdivision (south of Puerta Del Cajon) shall be known as “Enclave Court.” The Certificate of Correction did not change the configuration of the property. The configuration of the property matches the recorded Parcel Map and Certificate of Correction. Therefore, the County recognizes this parcel as a legal lot of record.
- e) Design/Neighborhood and Community Character. The property is subject to the regulations within the Design Control “D” overlay zoning district, regulated by Title 21 Chapter 21.44. These regulations require design review of proposed development to assure protection of the public viewshed and compatibility with the neighborhood character. A

Design Approval application was submitted for this permit. The proposed colors and materials include off-white stucco walls; blue vinyl and steel cladding on windows, doors, and railings; and a tan elastomeric coated roof and balcony. The deck is enclosed by glass and silver pipe rails. Exterior lights are matt white finished wall sconces. The colors, materials, and form of the proposed single family dwelling have been designed to blend with the natural environment consistent with the other homes in the area. Other developments in the area consist of Spanish style haciendas, and other architectural styles, of organic colors and materials that blend with the environment. The proposed development will be congruent with the neighborhood character.

- f) Site Plan Review. The property is subject to the Site Plan Review “S” overlay zoning district, regulated by Title 21 Chapter 21.45 of the Monterey County Code, which provides regulations for development, which by reason of its location, has the potential to adversely affect or be adversely affect by natural resources or site constraints. A site plan was included in the application and an Administrative Permit application has been received and reviewed pursuant to these regulations. A Fuel Management Plan was included in the application which included measures to maintain vegetation surround the development area to reduce fire hazards. The applicant provided a grading and erosion control plan to demonstrate the feasibility of the proposed project. A geotechnical and soils report was also prepared, which analyzed the soil conditions of the site and determined it was suitable for development of the proposed single family dwelling. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans. The site plan did not identify any nearby environmentally sensitive habitat area or archaeological resources. Staff reviewed County records and data from California Fish and Wildlife, which made no indication of any known resources located within the subject property.
- g) Development Standards. Development standards for the Rural Density Residential zoning district are found in Title 21 section 21.16.060 and in accordance with Title 21 section 21.62.040.K, any accessory structure structurally attached to the main residence shall be subject to the main structure setback requirement. The minimum required setbacks for main structures in the RDR are 30 feet (front), 20 feet (side), and 20 feet (rear). As illustrated in the attached site plan, the single family dwelling has a side setback of 52 feet from the west property line and over 100 feet from the east property line, and a rear setback of 270 feet. The attached garage is 28 feet from the front property line at the closest point. However, Title 21 section 21.62.040.N allows for an attached garage to be built to within five feet of the front line in cases where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is either seven feet above or below the grade of said centerline. In this case, that point is 12 feet below the grade of said centerline and therefore the 28 feet front setback is allowable. The uncovered stairway on the north elevation is approximately 24 feet from the front property line and encroaches into the setback. Title 21 section 21.62.040.D allows for stairways to extend into any required front

setback not exceeding 6 feet and therefore, the 24 feet front setback is allowable. The height maximum for main structures is 30 feet. The structure, inclusive of the residence, attached garage, and accessory dwelling unit is 27 feet and 6 inches in height. The maximum allowed site coverage is 25%. The lot is 3.7 acres, or 161,172 square feet. The proposed project lot coverage is 3,010 square feet, or 1.9%. The minimum required parking for a single-family residence is two cars, which is addressed by the two car garage. Therefore, the proposed development complies with all applicable development standards.

- h) Tree Removal. The project would include removal of two protected oak trees. As demonstrated in Finding No. 2 and supporting evidence, the findings required for tree removal are made in this case.
- i) Archaeological Sensitivity. The project site is in an area identified in County records as having a moderate archaeological sensitivity. A previous archaeological report prepared for the subdivision (LIB020052, Finding No. 4, Evidence “b”) concluded that there is no surface evidence of potentially significant archaeological resources. There are no recorded archaeological sites located within the subject area, or within a one half mile radius of the subject area. Therefore, the project would not impact any known archaeological resources. A standard project condition (Condition No. 3) has been applied to control and limit any inadvertent impacts to cultural resources, which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- j) Development on Slopes. The proposed project includes approximately 1,798 square feet of development on slopes in excess of 25%. As demonstrated in Finding No. 3 and supporting evidence, the necessary finding to approve a Use Permit for development on slopes of 25% are made in this case.
- k) Land Use Advisory Committee (LUAC) Review. The project site is within the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) purview requires LUAC referral in accordance with the current guidelines adopted by in Board of Supervisors in Resolution No. 15-103. However, it was not referred to the LUAC for review as that LUAC is not presently meeting due to a lack of quorum.
- l) The project planner conducted a site inspection on December 18, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**2. FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.

**EVIDENCE:** a) Greater Monterey Peninsula Area Plan Policy GMP-3.5 indicates removal of healthy, native oak, Monterey pine, and redwood trees in the planning area shall be discouraged. The Monterey County Code Chapter 16.60 and Title 21 section 21.64.260 – Preservation of Oak and Other Protected Trees provides implementing regulations for this policy.

- b) The applicant submitted an Arborist Report (LIB230317, Finding No. 4, Evidence “b”) which provided tree assessments detailing the overall general health, vigor, and condition of protected trees and habitat. Protected trees were assessed within the proposed area of development and the property as a whole. The condition of the assessed trees was fair or better health. Based on the project design, the arborist recommended the removal of two Coast live oak trees, #416 and #417, because they are located within the proposed building footprint. No landmark trees will be removed. Short-term effects are confined to the construction area and immediate surroundings where two trees will be removed. No significant long-term effects on the forest ecosystem are anticipated, and the project is unlikely to significantly reduce the availability of wildlife habitat over the long term.
- c) The project includes removal of two protected trees: #416, a 17 inch diameter at breast height (DBH) Coast live oak, and #417, a 15 inch DBH Coast live oak. Per Title 21 section 21.64.260.D.2, removal of fewer than 3 protected trees in a one-year period may be approved by the Chief of Planning. To approve the removal, the appropriate authority must find that the removal is the minimum required under the circumstances and that the removal will not involve the risk of adverse environmental impact.
- d) The proposed tree removal is the minimum required under the circumstances. As demonstrated in Evidence “b” above, two trees are within the grading footprint of the main residence necessitating their removal. The existing condition of the subject parcel is sloped with a northwestern aspect and is partially forested with oak trees. The current siting of the home is the most feasible location. Moving the home south would result in a greater impact to slopes in excess of 25%, and potentially impact the grove of Coast live oaks along the property line, resulting in additional tree removal. Given the circumstances of this case, the project has been appropriately sited and designed to minimize tree removal and the removal will not involve adverse environmental impacts.
- e) Existing trees within the vicinity of the project site that are to remain will be protected throughout construction activities. A Notice of Report has been applied to the project as Condition No. 4, requiring the applicant to retain and protect trees not proposed for removal during construction. The condition shall also require that the applicant follow the best management practice recommendations of the arborist from the Tree Assessment prepared for the project. Protective fencing will be installed around the drip lines of the protected trees to ensure no development occurs within the critical root zone through implementation of Condition No. 5 as incorporated. Condition 6 has been incorporated stating that tree removal shall not occur until a construction permit has been issued. Additionally, the County’s tree replacement condition has been applied to the project as Condition No. 8, indicating a replacement ratio of one-to-one as recommended by the arborist report.
- f) The project planner conducted a site inspection on December 18, 2023, to verify that the project on the subject parcel conforms to the tree removal regulations detailed above.

- g) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**3. FINDING: DEVELOPMENT ON SLOPES EXCEEDING 25% – Policy OS-3.5** prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) the project better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.

- EVIDENCE:**
- a) The proposed project includes approximately 311 square feet of development on slopes in excess of 25% to establish the driveway and approximately 1,487 square feet of development in the designated septic envelope for a total of 1,798 square feet.
  - b) There is no feasible alternative location for onsite water treatment dispersal systems to occur on slopes less than 25% because more than half of the parcel includes slopes in excess of 25%. Further, the designated septic and leachfield area was identified during creation of the subdivision. The property is located on a hill with descending slopes to the north of the proposed building site of the single family dwelling, which is the only location with slopes that do not exceed 25%, and is the only feasible location to build the single family dwelling. Siting the driveway in another location would not avoid impacts to slopes exceeding 25% as well as result in the removal of additional protected trees. As proposed, the location of the driveway has the least impact to slopes exceeding 25%.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**4. FINDING: SITE SUITABILITY –** The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified the need to evaluate geotechnical suitability of the site and potential impacts to trees and cultural resources. The following reports have been prepared:
    - “29500 Enclave Court Tree Assessment Arborist Report” (LIB230317) prepared by Urban Forestry, Pacific Grove, CA, June 5, 2023.



- “Update and Transfer of Responsibility of Prior Geotechnical Investigation and update with Percolation Investigation for the Proposed New Single Family Residence to be Constructed at 25900 Enclave Court, APN 416-133-039-000, near Monterey, California” (LIB230316) prepared by Soils Surveys Group Inc., Salinas, CA, March 17, 2023.
- “Cultural Resource Evaluation of the Enclave Subdivision on Puerta Del Cajon in the County of Monterey” (LIB020052) prepared by Archaeological Resource Management, San Jose, CA, February 15, 2002.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on December 18, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**5. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities will be provided. The property will receive potable water from California American Water (Cal Am), who provided a can and will serve letter dated May 28, 2021, in their Hidden Hills Satellite System. Wastewater service will be provided by a newly designed septic system, which is discussed below.
  - c) In order to verify the site soils could adequately support a septic / Onsite Wastewater Treatment System (OWTS), three percolation tests were performed approximately 150 feet from the proposed dispersal area. A letter from Soils Surveys Group Inc. dated March 3, 2024, confirmed that soils characteristics are uniform in the tested area and proposed dispersal area. C3 Engineering provided additional analysis regarding consistency of slopes beyond the proposed leach field dispersal area on page C2 of Conceptual OWTS design plans dated May 10, 2024, confirming the slopes do not change greater than 20% in the 50 feet beyond the proposed dispersal area. The OWTS dispersal system will be installed on slopes greater than 25% and the future replacement area is located within the septic envelope established at the time of the

subdivision. The tertiary leach field area for future replacement can accommodate three conventional trenches. OWTS calculations provided by C3 Engineering dated May 10, 2024, show a 0.6 soil application rate and 525 gallons per day for wastewater volume for the proposed 3-bedroom single family dwelling and 1-bedroom accessory dwelling unit. The Environmental Health Bureau approved the OWTS designs with the calculations provided.

- d) Staff conducted a site inspection on December 18, 2023 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**6. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on December 18, 2023 and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**7. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), categorically exempts the construction of small structures including a single family residence in a residential zone.
  - b) As the construction of a new single family residence with associated site improvement in a residential zoning district, the project fits the criteria of this exemption. The proposed development has been evaluated to avoid impacts to protected trees, archaeological resources, to minimize development on slopes in excess of 25% and other important resources to the maximum effect.
  - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project, as detailed in Evidence “d” through “i” below.
  - d) The project is not located in an area that is mapped as an environmental resource of hazardous or critical concern by a local, state, or federal agency.
  - e) This is one of two remaining undeveloped lots in the Bay Ridge – Addition No. 2 subdivision. As such, successive projects of the same type and in the same place (construction of a single family dwelling on this lot which is zoned to allow such uses) would not occur resulting in contributing to a significant cumulative impact. The project, construction of a single-family residence and associated site improvements on a property zoned to allow such uses and without

potentially significant impacts, would not contribute to a potential cumulative impact.

- f) There are no unusual circumstances associated with the project that would cause a potential environmental impact (see Findings 4, 5, and supporting evidence).
- g) The nearest scenic route is Laureles Grade Road, which is approximately 0.62 miles east of the site. However, the project is not within view of the roadway due to distance and intervening development and vegetation.
- h) The project is not located on a hazardous waste site compiled pursuant to Section 65962.5 or the Government Code.
- i) There are no historical resources on the site and therefore the project will not cause a substantial adverse change in the significance of a historical resource.
- j) Staff conducted a site inspection on December 18, 2023 and no adverse environmental effects were identified.
- k) See Finding Nos. 1, 2 and supporting evidence.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN230004.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** Pursuant to Title 21 Section 21.80.040.B, an aggrieved party may appeal a decision of the Zoning Administrator to the Planning Commission.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that construction of a single family dwelling qualifies for a Class 3 Categorical Exemption pursuant Section 15303 of the CEQA Guidelines and none of the exceptions in Section 15300.2 apply to the project; and
2. Approve a Combined Development Permit consisting of:
  - a. Administrative Permit and Design Approval to allow construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, associated site improvements including 760 square feet of decks, and removal of two protected oak trees; and
  - b. Use Permit to allow development on slopes in excess of 25%.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions where are incorporated herein by reference.

**PASSED AND ADOPTED** this 15<sup>th</sup> day of August, 2024.

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Mike Novo, AICP  
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230004

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN230004) allows construction of a 2,487 square foot single family dwelling with an attached 325 square foot accessory dwelling unit, an attached 462 square foot garage, and associated site improvements including 760 square feet of decks; removal of two protected Coast Live oak trees; and construction on slopes greater than 25% for septic. The property is located at 25900 Enclave Court, Monterey (Assessor's Parcel Number 416-133-039-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Zoning Administrator for Assessor's Parcel Number 416-133-039-000 on August 15, 2024. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD016 - NOTICE OF REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:  
"An Arborist Report (LIB230317) was prepared by Frank Ono on June 5, 2023, and a Geotechnical Investigation Report (LIB230316) was prepared by Soil Surveys Group Inc., dated March 17, 2023, and are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports."  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with these reports to the HCD - Planning.

#### 5. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 6. PD011(A) - TREE REMOVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 7. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:  
- Replacement ratio: 1:1 as recommended by arborist: Ono Consulting (LIB230317).  
Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD - Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 8. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.



**9. PW0045 – COUNTYWIDE TRAFFIC FEE**

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

**10. PD006(A) - CONDITION COMPLIANCE FEE**

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

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NOTES CONTINUED FROM SHEET 1

- 1.19 NOTES FOR ONE BATHROOM APPLY TO ALL UNLESS NOTED OTHERWISE. ABBREVIATIONS, SYMBOLS AND TERMS (SEE ALSO NOTES 1.3, 6.1, AND 16.9 BELOW):
- 1.91 "VERIFY" TYPICALLY MEANS "VERIFY WITH THE OWNER." (E) = EXISTING.
- 1.92 "MATCH" TYPICALLY MEANS "MATCH (E) AS CLOSELY AS POSSIBLE (A.C.A.P.)."
- 1.93 "O/C" OR "O.C." MEANS "ON CENTER." "U.O." = UNLESS NOTED OTHERWISE. "G.C." = GENERAL CONTRACTOR.
- 1.94 "OSB" = ORIENTED STRAND BOARD PLYWOOD; "C.O." = CASER OPENING, WOOD OR GYP. BRD AS TYPICAL.
- 1.95 "H.R." = HEAT REGISTER; "H.V.L." = HEAT-VENT-LIGHT; "F.A.U." = CENTRAL FURNACE, FORCED AIR UNIT.
- 1.96 "A.I." = ARTIFICIAL INTELLIGENCE; "GPF" = GALLONS PER FLUSH; "GPM" = GALLONS PER MINUTE.
- 1.97 POC = POCKET DOOR; F.R. = FRENCH DOOR; OBS. = OBSCURE GLASS; T. = TEMPERED GLASS; F. = FIXED PANE;
- 1.98 XO = SLIDING UNIT WHERE "X" IS THE MOVABLE PANE AS VIEWED FROM THE EXTERIOR; S.H. = SINGLE HUNG.
- 1.99 Ⓜ = MOTION/PHOTO SWITCHED; Ⓢ = SMOKE ALARM; Ⓢ = COMBINATION SMOKE AND CARBON MONOXIDE SENSOR.
- 1.100 Ⓢ = CEILING MOUNTED LIGHT; Ⓢ = SCOFF; Ⓢ = RECESSED LIGHT; Ⓢ = CONVENIENCE OUTLET.
- 1.101 Ⓢ = 220V OUTLET; Ⓢ = EXHAUST FAN; Ⓢ = BIBB PER PLAN; TD = TUBULAR DAYLIGHTING DEVICES.

**FIRE DEPARTMENT NOTES**

- 1.10 WORK SHALL COMPLY WITH THE 2019 CA FIRE CODE (CFC) INCLUDING THE WILDLAND URBAN INTERFACE (WUI) AS APPROVED BY THE COUNTY OF MONTEREY. VENTING SHALL COMPLY WITH WUI REGULATIONS, BE NON-COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8". DECK FRAMING TO BE MIN. 4x LUMBER AND DECKING TO BE IGNITION-RESISTANT. STAIR TO ADU AND BALCONIES TO BE FINISHED WITH IGNITION-RESISTANT.
- ROOFING TO BE CLASS "A" ASSEMBLY. WINDOWS AND GLASS IN DOORS TO BE TEMPERED. GARAGE DOOR TO BE WEATHER-STRIPPED OR OTHERWISE HAVE THE GAP ON ALL SIDES TO NOT EXCEED 1/8" TO KEEP EMBERS FROM ENTERING.
- FIRE SPRINKLER PLANS SHALL BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR, A MINIMUM OF FOUR SETS AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.
- NATIVE VEGETATION: LIMBING TREES TO 6' ABOVE GRADE AND REMOVAL OF POISON OAK AND OTHER BRUSH WITHIN 100' OF THE HOUSE PER WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS AND MAINTAIN SUCH AREAS AT MAX. 4" TALL PER FUEL MANAGEMENT PLAN. SEE ALSO NOTE 1.2.
- ROLLING ENTRY GATE TO BE OPERATED BY ELECTRIC MOTOR WITH REMOTE CONTROL. AND KNOX BOX FOR FIRST RESPONDER ACCESS. SEE ALSO NOTE 1.3.
- ADDRESS NUMBERS SHALL BE MOUNTED 3" FROM THE TOP OF THE ENTRANCE WALL, LEFT OF THE GATE. THEY SHALL BE MIN. 6" TALL ARABIC NUMERALS WITH MIN. 1/2" STROKE, CONTRASTING WITH THE WALL COLOR, REFLECTIVE, AND NONCOMBUSTIBLE.

**GRADING AND SITE WORK**

- 2.1 FINISH GRADE SHALL SLOPE AWAY FROM THE NEW FOUNDATION AT A MINIMUM RATE OF 5% FOR A MIN. OF 10'. TOPOGRAPHY PLAN BASED ON SURVEY AND PLAN BY WHITSON ENGINEERS, (JOB 2817.00 DATED 11.4.11) = DIRECTION OF FLOW. GRADING: NONE BUT OF ACCESS DRIVE AND AS NEEDED FOR SUBEX AND RECOMPACTATION WITHIN BUILDING AREA. FINISH SLOPES NOT TO EXCEED 2-1/2' : 10'. EROSION CONTROL (PER CIVIL ENGINEER'S SHEETS 7-15).
- 2.2 SEE ALSO SOILS REPORT BY SOILS SURVEYS DATED MARCH 17, 2023, P/T #R296 WHOSE RECOMMENDATIONS (SCARIFICATION OF EXISTING SOILS, MOISTURE CONTROL, RECOMPACTATION, ETC.) ARE INCORPORATED HEREIN AS REQUIREMENTS BY REFERENCE. PRIOR TO FINAL INSPECTION, THE G.C. SHALL PROVIDE A LETTER FROM A QUALIFIED ENGINEER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE REPORT.
- 2.3 DOWNSPOUTS SHALL TERMINATE AT SPLASH BLOCKS AND FROM THERE TO VEGETATIVE DRAINAGE COURSE OR PIPING TO APPROVED, ROCKY RIP RAP IN ACCORD WITH THE SOILS REPORT (AND CIVIL ENGINEER'S DRAINAGE AND GRADING PLAN SHEET C3).
- 2.4 IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED PROFESSIONAL ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

- 2.5 SCREENING TREES: (3.4) (CAROLINA CHERRY AND/OR PACIFIC WAX MYRTLE) TO BE PLACED TO PROVIDE PROTECTION FROM THE EDGE OF STEEP CHANGES IN GRADE PER PLAN. (IRRIGATION TO BE BY HAND UNTIL THEY ARE ESTABLISHED).

**CONCRETE AND FOUNDATIONS**

- 3.1 CONCRETE STRENGTH (PER STRUCTURAL ENGINEER'S PLAN AND NOTES) FLATWORK/LANDSCAPING PER FIELD DESIGN, SUBJECT TO INSPECTION AS APPROPRIATE, AS AT RAMPS AND STEPS, ETC. WALKS, AND OTHER PAVED AREAS TO BE SLOPED MIN. 2% TO DRAIN WITHOUT PUDDLES. (DRIVEWAY AND PARKING AREA BETWEEN STREET-SIDE GATE AND GARAGE DOOR TO BE CONCRETE. BETWEEN GATE AND EXISTING ROAD EDGE USE ASPHALT TO MATCH EXISTING ROADWAY).
- 3.2 FASTENERS IN CONCRETE (ANCHOR BOLTS, ETC.) TO BE TIED TO REBAR AND IN PLACE FOR INSPECTION. ANCHOR BOLTS AND OTHER FASTENERS PER STRUCTURAL ENGINEER'S SHEETS ATTACHED.
- 3.3 CRAWL SPACE VENT CALC: 1.230 SQ. FT. x 144/150 = 1.181 SQ. IN. VENT AREA REQUIRED. 1.181/5.5"/14" = 15.3 PROVIDE MIN. 10 6"x14" (a VENTS) AND 4 6"x22" (b VENTS) PER FOUNDATION PLAN AND ELEVATION VIEWS. ALIGNED UNDER EDGE OF WINDOWS WHERE SHOWN. VENTS THRU CRIPPLE WALLS SHALL BE PLACED AS LOW IN THE WALL AS PRACTICAL. VENTING SHALL COMPLY WITH WUI REGULATIONS, BE NON-COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8".

**MASONRY**

- 4.1 MASONRY UNITS TO BE 8" x 8" x 16" (6" x 8" x 16" AT LEFT SIDE DECK PER PLAN) CONCRETE CINDER BLOCKS, SOLID GROUTED AT REINFORCED CELLS. "STACKED" PATTERN, NO OFF-SET IN VERTICAL JOINTS. (SEE ALSO ENGINEERING SHEETS).

**METALS**

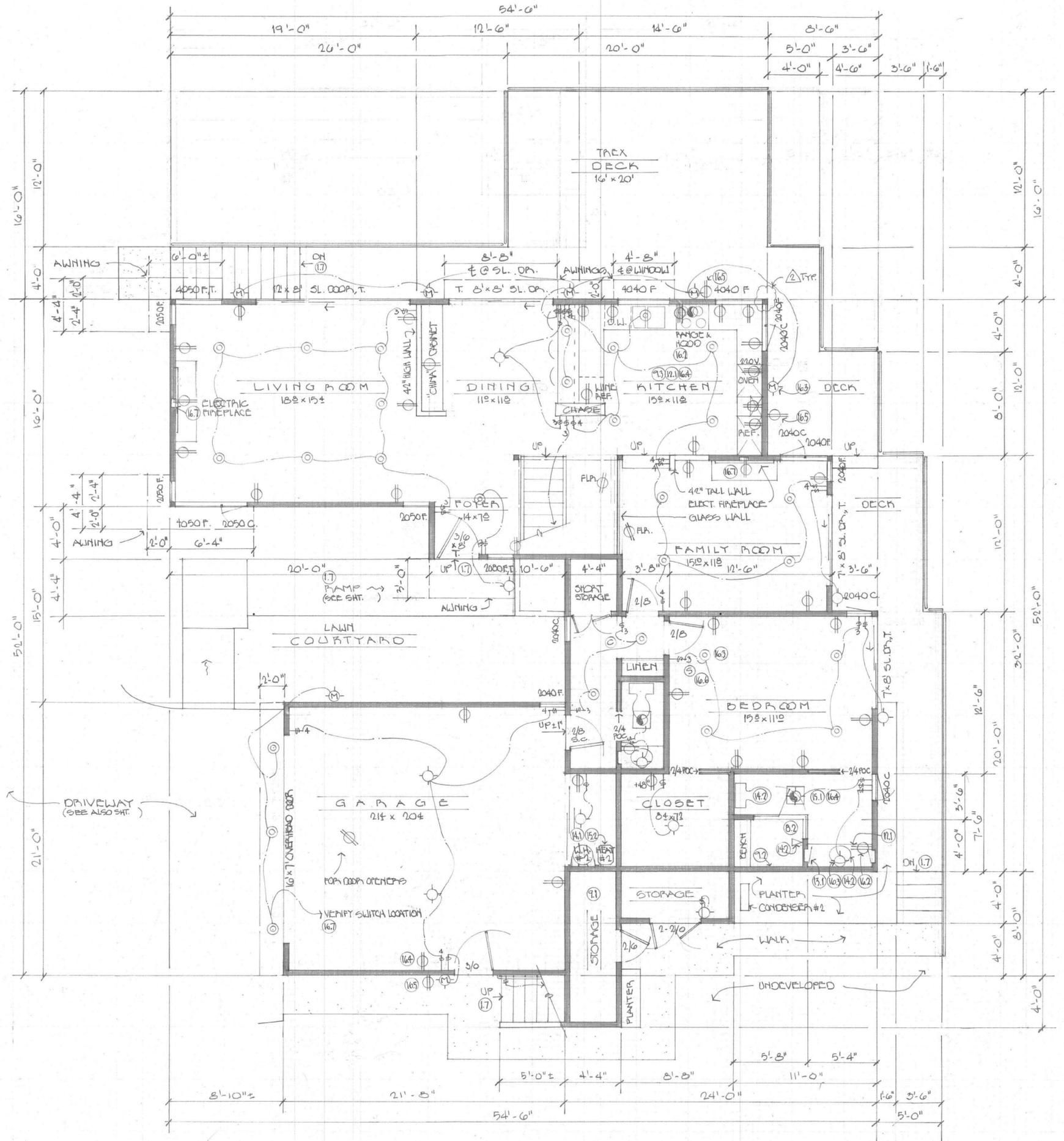
- 5.1 FLASHING TO BE MIN 26 GA. G.I. DOWNSPOUTS TO SPLASH BLOCKS. SEE ALSO NOTES 2.3 AND 2.3.
- 5.2 STRAPS, HANGERS, ETC. TO BE BY SIMPSON STRONG-TIE OR EQUIVALENT.
- 5.3 GATE PER NOTE 2.3 AND GUARDRAILS TO BE STEEL PIPE, GALVANIZED. ROLLING GATE PER ILLUSTRATION ON SHEET 1. EXTERIOR GUARDRAILS TO BE FURNISHED WITH GLASS OR CABLE INFILL. SEE ALSO NOTE 1.3. PROVIDE SHOP DRAWINGS FOR RAILINGS AND INTERIOR STEEL FRAMED STAIR FOR APPROVAL OF THIS OFFICE PRIOR TO MANUFACTURING.

**WOOD, FRAMING, FASTENERS**

- 6.1 FRAMING LUMBER SPECS PER STRUCTURAL ENGINEERING SHEETS. FIELD CUT P.T. LUMBER TO BE FIELD TREATED PER AWPA M4. FASTENERS IN P.T. OR FIRE-RETARDANT-TREATED LUMBER TO BE HOT-DIPPED ZINC GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, COPPER, OR AS PER R317.1 INCLUDING THE EXCEPTIONS. INSTALL BACKER BLOCKING FOR GRAB BARS AT OWNER'S DIRECTION.
- 6.2 PROVIDE MIN. 12" SQ. ACCESS TO PLUMBING SLIP JOINTS, IF ANY. RODENT PROOFING INCLUDES ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AND OR FLOOR SHEATHING. CLOSE WITH CEMENT OR OTHER METHOD ACCEPTABLE TO THE COUNTY (GC 4.06.1).
- 6.3 ATTIC VENTILATION CALC: USE ROOF MOUNTED VENTS WITH MIN. 56 SQ. IN. NET FREE AREA PER PLAN AND ZONE 1 (SEE SHEET 5) = 16'x14' = 224 SQ.F. 224x144/300 = 107.5 SQ. IN. PROVIDE MIN. 2 VENTS. Zone 2 = 1,200 SQ.F. 1,200x144/300 = 576. 576/56 = 10.2. PROVIDE 11 VENTS. Zone 3 = 460 SQ.F. 460x144/300 = 221. PROVIDE 4 VENTS. CUT 2" SQ. NOTCHES INTO TOP EDGE OF EACH 2x SLOPING SLEEPER AT 36" O.C. TO CREATE VENTILATION ACROSS THE ATTIC. NO ATTIC ACCESS REQUIRED. VENTING SHALL COMPLY WITH WUI REGULATIONS, BE NON-COMBUSTIBLE AND CORROSION RESISTANT MATERIALS AND NO OPENING IN SCREEN MESH SHALL EXCEED 1/8".
- 6.4 STRUCTURAL SHEATHING (PER STRUCTURAL ENGINEER'S SHEETS) TREX (OR OTHER COMPOSITE) DECKING TO BE IGNITION-RESISTANT (WUI).
- 6.5 PROVIDE MIN. 16"x24" ACCESS DOOR TO CRAWL SPACE FROM MECHANICAL ROOM. HEADERS FOR POCKET DOORS WHERE CEILINGS ARE 8' TALL SHALL BE 4x0. FRAME CORNER WINDOWS WITH CANTILEVERED AND HUNG HEADERS PER PLAN AND BEST PRACTICE. HEADERS AT 8' TALL SLIDING GLASS DOORS TO BE FRAMED WITH RESPECT TO THE REQUIRED ROUGH OPENINGS. VERIFY. STACK 2x SLEEPERS OVER ROOF/CEILING JOISTS, RIPPED FOR SLOPE. SEE ALSO NOTES 6.3 AND 7.2 SHIM OVER JOISTS TO ALIGN FLOOR SHEATHING WITH ADJACENT AREAS.
- 6.6 CRIPPLE STUDS OVER 4" TALL SHALL BE 2x6 AT 16" O.C. ALL CRIPPLE STUDS SHALL BE SHEATHED PER ENGINEERING SHEAR SCHEDULE.

**THERMAL AND MOISTURE PROTECTION**

- 7.1 SEE ALSO ENERGY CONSERVATION MEASURES SUMMARY AND CP-1R FORMS AT SHEETS 8, 9 & 10. FLOOR FRAMING OVER UNCONDITIONED SPACE TO RECEIVE MIN. R-19 BATTS; EXTERIOR WALL INSULATION TO BE MINIMUM R-13 (R-19 AT 2x6 FRAMING); ATTIC INSULATION TO BE MINIMUM R-30 BATTS WITH AIR FLOW ABOVE PER NOTE 6.3.
- 7.2 SLOPE ROOFS TO DRAIN AT 1/4" PER FT. BALCONIES TO DRAIN MIN. 1/4" PER FT. STAIR TO ADU AND BALCONIES TO BE FINISHED WITH "WALK-ON", IGNITION-RESISTANT (WUI), WEATHERPROOF DECKING BY "META-CRYLICS" OR EQUAL WITH PREP AND FLASHING PER MANUFACTURER'S INSTRUCTIONS (HTTP://WWW.METACRYLICS.COM/); VERIFY THAT AND COLOR WITH OWNER. = DIRECTION OF FLOW. NOTES CONTINUE ON SHEET 3



FIRST FLOOR PLAN



DESIGN, DRAFTING & PERMIT EXPEDITIONS  
**MARK EDWIN NORRIS**  
 (831) 705-8665

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RESIDENCE & ADU  
**ANDERSON**  
 25900 ENCINANTE CT.

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JOB 210516  
 SHEET 2 OF 28



- NOTES CONTINUED FROM SHEET 2
- 7.3 ROOFING TO BE CLASS "A" ASSEMBLY, EMULSION BUILT-UP ROOFING BY META-CRYLIC OR EQUAL PER CH. 9. DOUBLE-UP SCUPPERS STACKED PER CRC R903.4.1. SEE ALSO NOTE 23.
- 7.4 STUCCO, MIN. 7/8" 3-COATS, SMOOTH-FINISH WITH SQUARE CORNER BEADS. INSTALL MIN. 2-LAYERS, GRADE-D PAPER OR OTHER WATERPROOF BUILDING PAPER WALLS PER CODE. ALL WALLS ARE SHEATHED PER NOTE 63. WEEP SCREED TO BE 3-1/2" MIN. 2" ABOVE PAVING OR WALK-ON DECK, AND MIN. 4" ABOVE FINISHED EARTHEN GRADE.

**FENESTRATIONS & GLAZING**

- 8.1 WINDOWS AND EXTERIOR SLIDING GLASS DOORS TO BE BY ANDERSON 400 SERIES (VINYL CLAD WOOD) AND MILGARD (TRINIC WHITE VINYL, RESPECTIVELY) DUAL PANE, CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS. U-FACTOR VALUES PER LIST, U 26-32. (WINDOWS) AND GLASS IN DOORS TO BE TEMPERED. (WU)
- 8.2 GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE MADE OF SAFETY GLAZING MATERIALS (AND BE LABELED AS REQUIRED BY CRC R308.1) SUCH AS TEMPERED, LAMINATED OR SAFETY PLASTIC INCLUDING THE GUARD AND HANDRAILS, SHOWER ENCLOSURES AND IN WALLS WITHIN 5' OF BATH OR SHOWERS, AND GLASS IN DOORS AND WITHIN 24" HORIZONTALLY OF DOORS. ALL WINDOWS AND GLASS IN DOORS TO BE DUAL PANE AND CERTIFIED AND LABELED IN ACCORDANCE WITH STATE ENERGY STANDARDS. "T" = TEMPERED. DOORWAYS TO SHOWERS TO PROVIDE MIN. 24" WIDE OPENING.
- 8.3 GARAGE DOOR TO BE WEATHERSTRIPPED OR OTHERWISE HAVE THE GAP ON ALL SIDES TO NOT EXCEED 1/8" TO KEEP EMBERS FROM ENTERING (WU). DOOR TO MECHANICAL ROOM IN CRAWL SPACE TO BE WEATHERSTRIPPED AND PROVIDED WITH DEADBOLT LOCK MATCHING HOUSE KEY. SEE OWNER FOR SPECIFICS.

**FINISH**

- 9.1 TYPICAL INTERIOR WALLS AND CEILINGS TO GET 1/2" GYP. BRD. (USE 5/8" OR BOARD RATED FOR 24" SUPPORT SPACING INCLUDING STORAGE SPACE UNDER STAIRS AND GARAGE) WITH TAPE AND TEXTURE. VERIFY WHICH. TYPICAL INTERIOR WALL FINISH INCLUDING FURNACE "ROOM" WALLS AND CEILING IN CRAWL SPACE TO BE 1/2" GYP. BRD. WITH PENETRATIONS ALLOWED FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, WIRES, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS. PROVIDE SIMILAR PANEL WITH HINGES AND REINFORCED EDGES OVER INTERIOR ACCESS IN CRIPPLE WALL, MIN. 16"x24".
- 9.2 SHOWER WALLS TO 7" ABOVE THE DRAIN AND MINIMUM 4" HORIZONTALLY PAST THE ENCLOSURE TO BE HARD, SMOOTH AND NON-ABSORBANT; VERIFY (CRC R307.2). MINIMIZE HEIGHT OF SHOWER CURBS, MAX. 2" TYPICAL. INCLUDE NICHE(S) IN SHOWERS PER OWNERS' DIRECTION.
- 9.3 MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CG 4.504.4. ADHESIVES, BONDING PRIMERS, SEALANTS, CAULKS, PAINTS, OTHER COATINGS, AND CARPET SYSTEMS SHALL COMPLY WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CG 4.504.2.1, 2, AND 3). PARTICLE BOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHES WILL COMPLY WITH LOW EMISSION STANDARDS (CG 4.504.5). VERIFICATION DOCUMENTS TO BE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- 9.4 GUARDRAIL (POSTS AND ROLLING GATE TO BE SILVER COLOR). PAINT THE MOUNTING PLATE WHITE LIKE THE WALLS.

**CABINETS**

- 12.1 CABINETS AND STORAGE SHOWN IS SUGGESTIVE, NOT PRESCRIPTIVE; VERIFY. VANITY IN POWER ROOM TO BE 28" TALL OTHERS TO BE 36" TALL. ALL TO BE 21" DEEP.

**SPECIAL CONSTRUCTION & APPLIANCES**

- 13.1 INSTALL GRAB BARS IN MASTER BATH AS DIRECTED BY OWNERS. MEDICINE CABINET, MIRROR, FIXTURES AND FINISHES ARE SUBJECT TO OWNER'S APPROVAL.
- 13.2 PROVIDE AND INSTALL DRY HEAT SAUNA BY FINLANDIA, A PRE-CUT PACKAGE "FPC44" (INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY POWER AND SPECIALTY DETAILS.
- 13.3 PROVIDE AND INSTALL APPLIANCES TO INCLUDE (SKUS ARE BEST BUY, OTHER SOURCES AS NOTED, VERIFY.): HOUSE REFRIGERATOR, SAMSUNG "BESPOKE" 24 CU. FT. MODEL #RF2BB6200Q, G.E. STAINLESS STEEL COOKTOP, #WP20365SS, SKU 5871322; FRIGIDAIRE GALLERY SERIES, STAINLESS STEEL 30" DOUBLE ELECTRIC CONVECTION WALL OVEN/MICRO COMBINATION, MODEL #FMC3066UP, SKU 6333507; WINE COOLER BY INSIGNIA, STAINLESS STEEL, DUAL ZONE WITH GLASS DOOR, 23"x34", MODEL #NS-BC22SS1, SKU 647135; DISHWASHER BY SAMSUNG, STAINLESS STEEL MODEL #DW80R2031US, SKU 6336699; WASHER/DRYER BY SAMSUNG, WHITE, 4.5 CU. FT. HIGH EFFICIENCY STACKABLE FRONT LOADER WITH VIBRATION REDUCTION TECHNOLOGY WITH 7.5 CU. FT. STACKABLE ELECTRIC DRYER WITH "SENSOR DRY", MODEL #s DVE45T6000AW/A3 and DVE45T6020W/A3; RANGE HOOD, (HOME DEPOT) COSMO MODEL #COS-63190-HH; ADU, REFRIGERATOR BY INSIGNIA, MODEL #NS RBM11SS2, 24"x68"x27 3/8"; G.E. RANGE WITH OVEN, MODEL #J5645SLSS, 30"x37 1/4"x28 1/4" WITH G.E. MICROWAVE/HOOD DUCTED TO OUTSIDE, MODEL #JVM7195SKSS, 30" WIDE, UNDER CABINET MOUNT; SINK TBD; LG TOWER WASHER/DRYER, MODEL #WKE100HWA, SKU 6451042, 27"x74 3/8"x30 3/8".

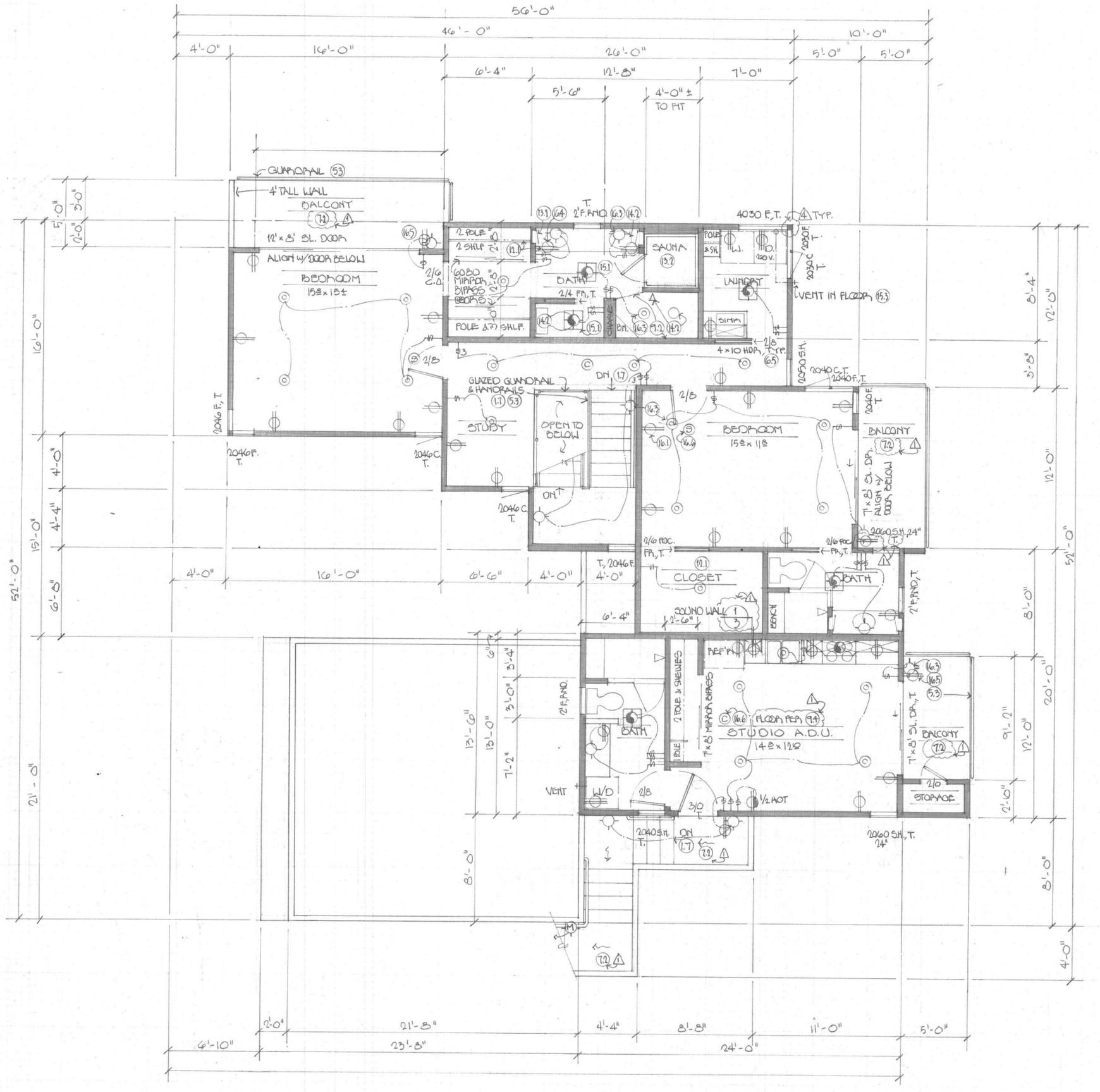
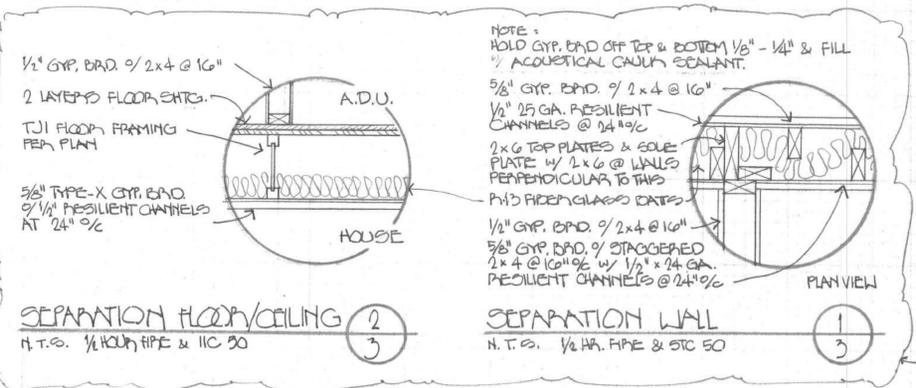
**PLUMBING**

- 14.1 WATER HEATERS TO BE ELECTRIC HEAT PUMP, STORAGE TYPE WITH RECIRCULATION SYSTEMS. #1, 50 GALLON FOR HOUSE LOCATED IN MECHANICAL ROOM BELOW KITCHEN. #2, 40 GAL. FOR ADU IN THE GARAGE.
- 14.2 WATER CLOSETS' SPACE INSIDE FINISH DIMENSION SHALL BE MINIMUM 31" WIDE WITH MIN. 24" CLEAR SPACE IN FRONT OF THE TOILET. MAX. 1.28 GPM. MASTER BATH SHOWER TO HAVE 2 HEADS, WALL AND OVERHEAD SPRAYER WITH SEPARATE VALVE CONTROLS. SHOWER TO HAVE THERMOSTATIC MIXING VALVE PROVIDING WATER AT A MAXIMUM 120° F. ALL HEADS TO HAVE A FLOW RATE NOT TO EXCEED 1.8 GALLONS PER MINUTE. AT 60 PSI. LAVATORY FAUCETS SHALL HAVE A FLOW RATE NOT TO EXCEED 1.2 GALLONS PER MINUTE (GPM). KITCHEN FAUCET FLOW RATES NOT TO EXCEED 1.8 GPM. LAUNDRY SINK FAUCETS HAVE NO FLOW LIMIT.

**MECHANICAL**

- 15.1 EXHAUST FANS TO BE VENTED TO OUTSIDE AIR TERMINATING MIN. 3' FROM OPERABLE OPENING. SEE NOTE 16.2.
- 15.2 FURNACES TO BE ELECTRIC, DUCTED, MINI-SPLIT HEAT PUMP WITH DUCTING AND REGISTERS PER BEST PRACTICE. HEATING DUCTS SHALL BE INSTALLED & INSULATED IN ACCORDANCE WITH CMC, THE MANDATORY MEASURES SUMMARY, AND THE CENC. PROVIDE TOE KICK REGISTERS AT CABINETS. DUCTING AND OTHER RELATED COMPONENTS SHALL BE COVERED DURING CONSTRUCTION TO REDUCE DUST, WATER AND DEBRIS FROM ENTERING THEM TO A LEVEL ACCEPTABLE TO THE COUNTY AND OWNER (CG 4.504.1). #1 FOR HOUSE IN MECHANICAL ROOM BELOW KITCHEN. #2 FOR ADU IN GARAGE.
- 15.3 DRYER VENTS TO TERMINATE OUTSIDE PER PLAN, MAX. 14' RUN WITH MAX. 2, 90° ELBOWS AND SELF-CLOSING TERMINUS.

NOTES CONTINUE ON SHEET 4



SECOND FLOOR PLAN  
1/4" = 1' - 0"

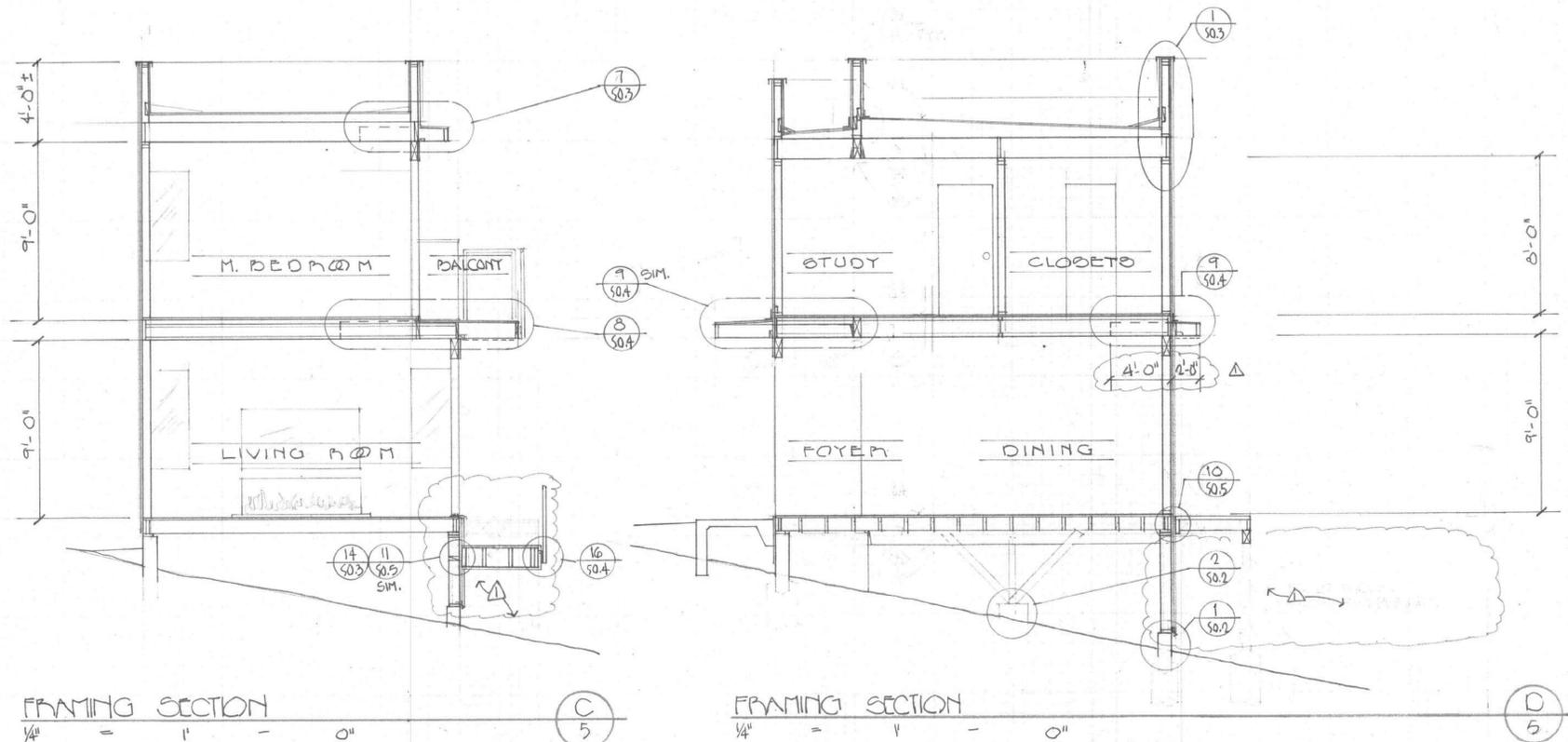
**ANDERSON**  
RESIDENCE W/ ADU  
12500 DRIVE CT.

DESIGN, DRAFTING & PERMIT EXPEDITIONS  
**MARK EDWIN MORRIS**  
(801) 424-2114

REVISION:  
1 06.15.23  
2 06.29.23  
3 07.11.24

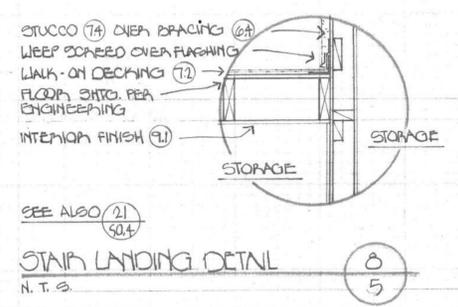
JOB SHEET 3 OF 28



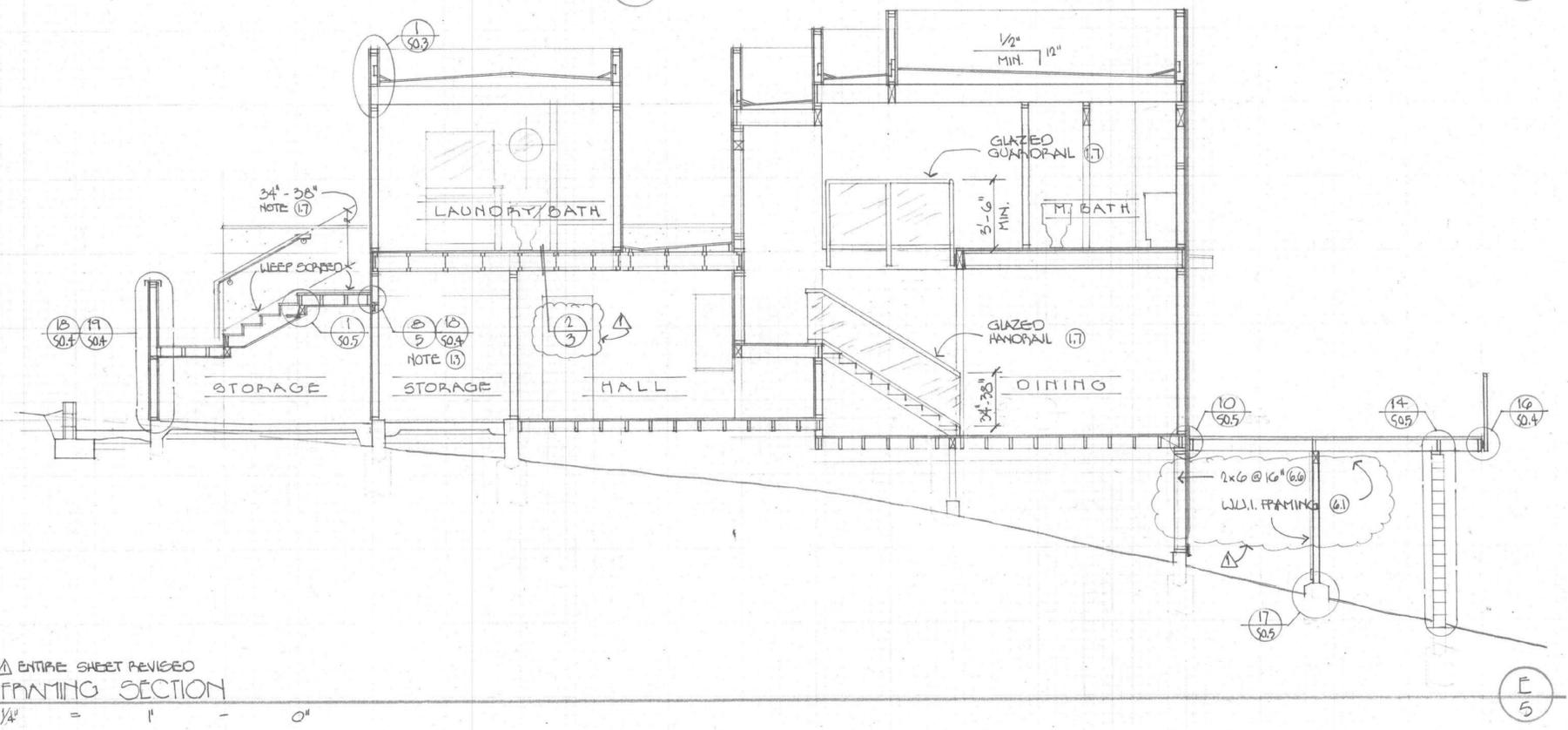


FRAMING SECTION C

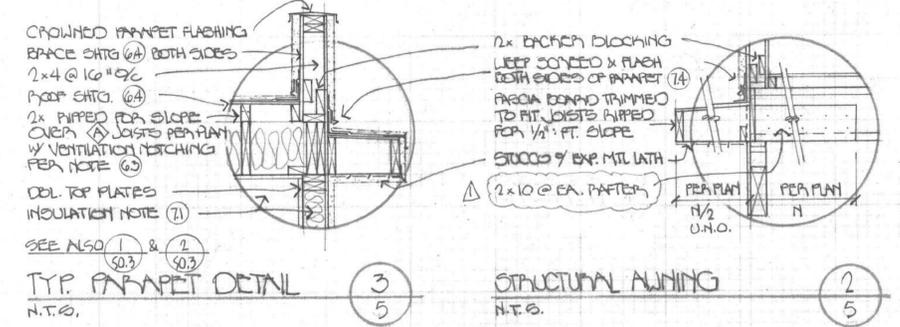
FRAMING SECTION D



STAIR LANDING DETAIL



ENTIRE SHEET REVISED  
 FRAMING SECTION E



TYP. PARAPET DETAIL

STRUCTURAL AWNING

STAIR LANDING DETAIL

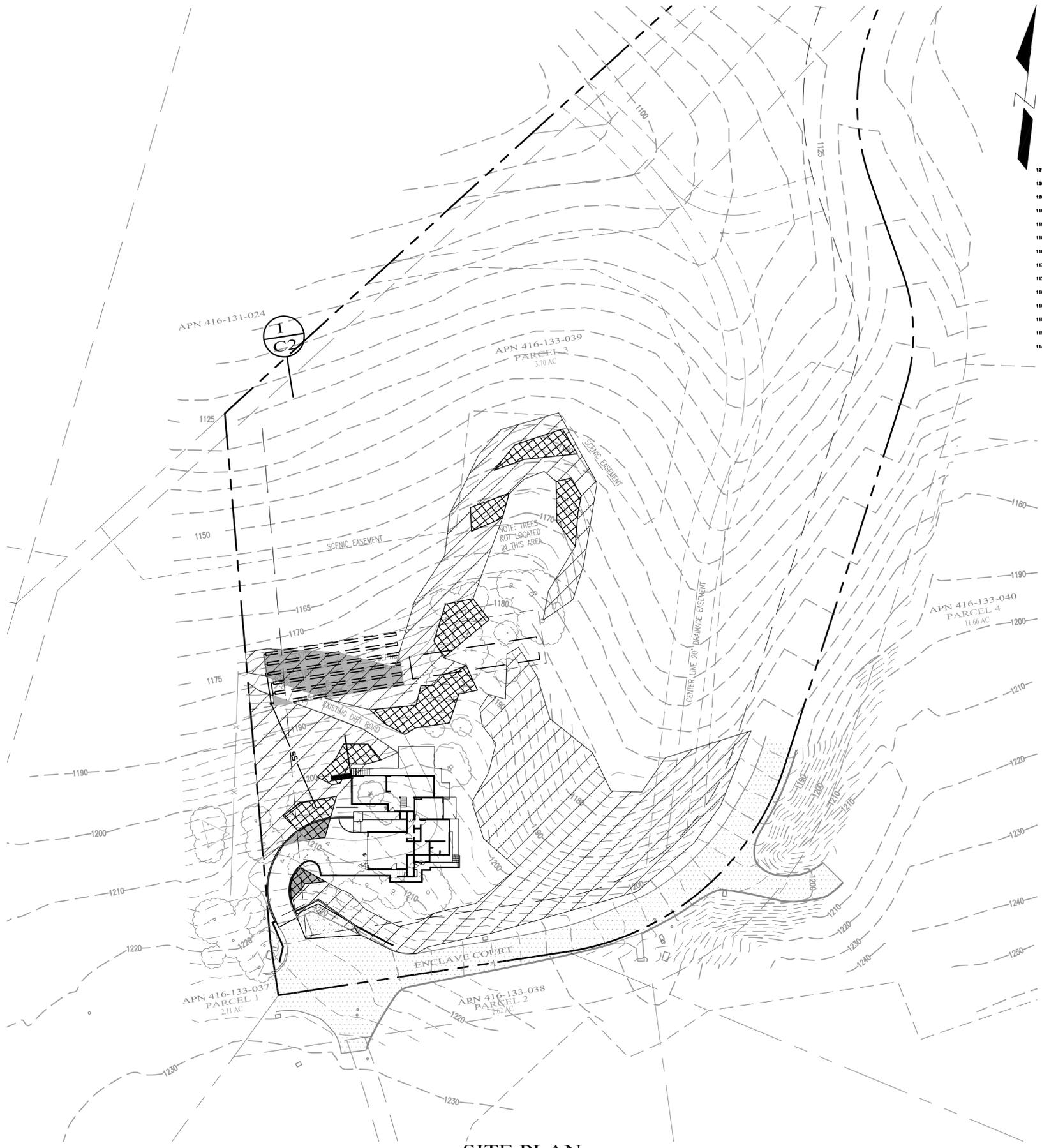






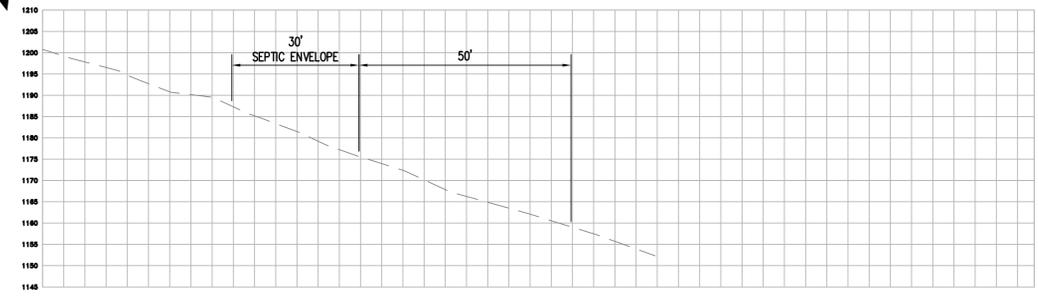
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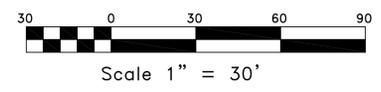
**SITE PLAN**

1" = 30'



**HATCH LEGEND**

-  AC PAVEMENT
-  CONCRETE PAVEMENT, (SEE B/C5)
-  EXISTING ASPHALT
-  SLOPE EXCEEDS 30%
-  25% < SLOPE < 30%
-  DEVELOPMENT ON SLOPES EXCEEDING 25% (311 SQFT EXCLUDING SEPTIC ENVELOPE)
-  DEVELOPMENT ON SLOPES EXCEEDING 25% (1487 SQFT WITHIN SEPTIC ENVELOPE)



REV.	DATE	DESCRIPTION
1	05-16-24	Permit Set
2	07-24-24	Adjusted finish floor elevation
3	07-03-24	Plan Check (Health Dept 11-28-23)

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 Phone: (931) 647-1192 Fax (931) 647-1194  
 mail@C3Engineering.net



**SITE PLAN**  
**ANDERSON RESIDENCE**  
**APN# 416-133-039-000**  
 Project Location: 25900 ENCLAVE CT., MONTEREY, CA 93940  
 PREPARED FOR: ANDERSON

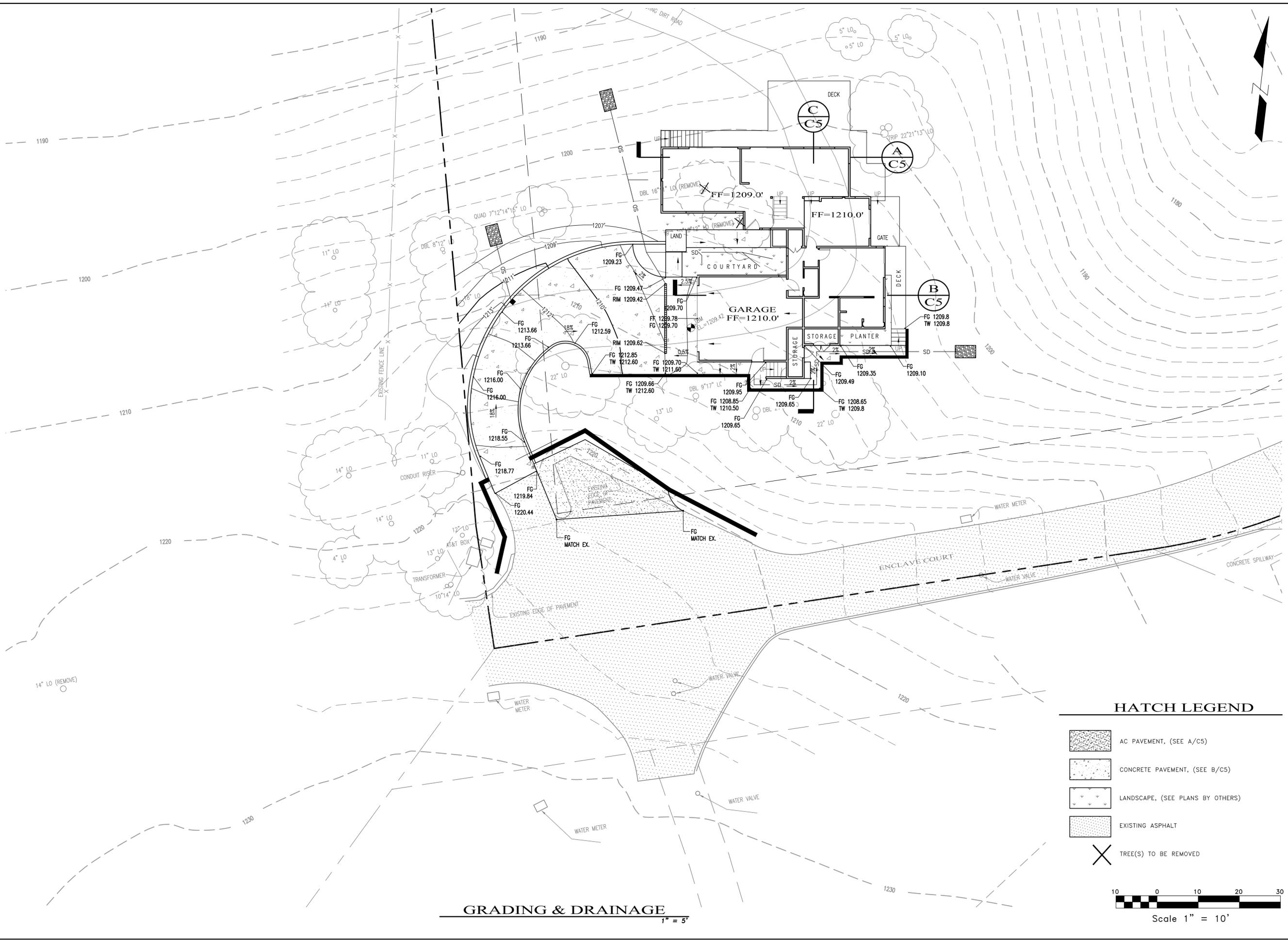
SCALE:	AS NOTED
DATE:	05-10-24
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

**C2**  
 OF 8 SHEETS  
 PROJECT# 123108

MADE IN THE USA

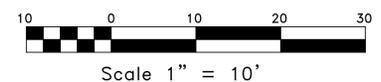
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Drawing file: Z:\Projects\123108 Norris - Anderson\123108 XBase.dwg  
 Plotted: May 13, 2024 - 4:54pm



**HATCH LEGEND**

-  AC PAVEMENT, (SEE A/C5)
-  CONCRETE PAVEMENT, (SEE B/C5)
-  LANDSCAPE, (SEE PLANS BY OTHERS)
-  EXISTING ASPHALT
-  TREE(S) TO BE REMOVED



**GRADING & DRAINAGE**  
 1" = 5'

REV.	DATE	DESCRIPTION	BY
1	05-16-24	Permit Set	FJC
2	07-24-24	Adjusted finish floor elevation	FJC
3	07-03-24	Plan Check (Health Dept 11-28-23)	FJC

**C3 ENGINEERING INCORPORATED**  
 Civil Engineering, Land Development,  
 Stormwater Management  
 126 Bonifacio Place, Suite C, Monterey, CA 93940  
 Phone: (931) 647-1192 Fax (931) 647-1194  
 mail@C3Engineering.net



**GRADING & DRAINAGE**  
**ANDERSON RESIDENCE**  
**APN# 416-133-039-000**  
 Project Location: 25900 ENCLAVE CT., MONTEREY, CA 93940  
 PREPARED FOR: ANDERSON

SCALE:	AS NOTED
DATE:	05-10-24
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

**C3**  
 OF 8 SHEETS  
 PROJECT# 123108

MADE IN THE USA

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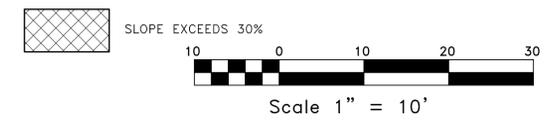
Drawing file: Z:\Projects\123108 Norris - Anderson\123108 Anderson.dwg  
 Plotted: May 13, 2024 - 4:54pm



**UTILITY PLAN**  
 1" = 10'

**UTILITY KEY NOTES**

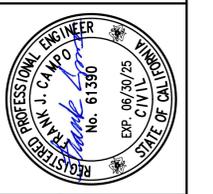
- ① INSTALL NEW 2000 GAL TANK (A/C5.1) (JENSEN PRECAST JP-2000 OR EQUAL)
- ② PRIMARY LEACH FIELD (3 TRENCHES @ 73LF EACH, SEE E/C5.1)
- ③ SECONDARY LEACH FIELD (3 TRENCHES @ 73LF EACH, SEE E/C5.1)
- ④ TWO-WAY CLEANOUT, TYP (C/C5.1)
- ⑤ DIVERSION VALVE (BULL-RUN MODEL BRV4 WITH 60" KEY BRVKEY60 (SEE G/C5.1)
- ⑥ DISTRIBUTION BOX (CHAPIN PRE-CAST D-4 OR EQUAL)
- ⑦ TERTIARY LEACH FIELD AREA FOR FUTURE REPLACEMENT (167.5' X 12.5', CAN ACCOMMODATE 3 CONVENTIONAL TRENCHES @ 73LF EACH AS SHOWN ON E/C5.1)
- ⑧ FIELD LOCATE DOWNSPOUTS AND DISCHARGE ONTO SPLASH BLOCKS, (SEE D/C5) & ARCHITECTS NOTES 7.3 & 2.3 SHEET 2.
- ⑨ FIELD LOCATE DOWNSPOUTS AND CONNECT TO STORM DRAIN LINE (H/C5).
- ⑩ DAYLIGHT ONTO ENERGY DISSIPATOR (K/C5)
- ⑪ RETAINING WALL SUB-DRAIN, (SEE F/C5)
- ⑫ TRENCH DRAIN (I/C5)
- 1X1 DROP INLET (CHRISTY V12 OR EQUAL)
- 10 AREA DRAIN (J/C5)



REV.	DATE	DESCRIPTION
1	05-16-24	Permit Set
2	07-24-24	Adjusted finish floor elevation
3	07-05-24	Plan Check (Health Dept 11-28-23)

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 mail@C3Engineering.net



**UTILITY PLAN**  
**ANDERSON RESIDENCE**  
**APN# 416-133-039-000**

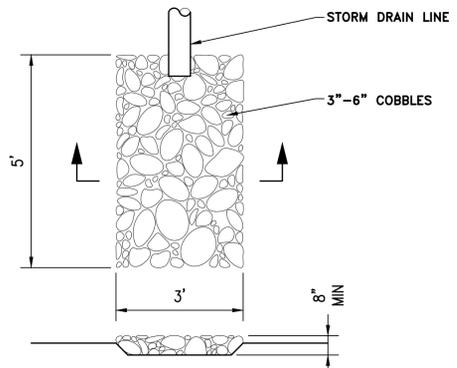
Project Location: 25900 ENCLAVE CT., MONTEREY, CA 93940  
 PREPARED FOR: ANDERSON

SCALE:	AS NOTED
DATE:	05-10-24
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	C4
OF 8 SHEETS	
PROJECT#	123108

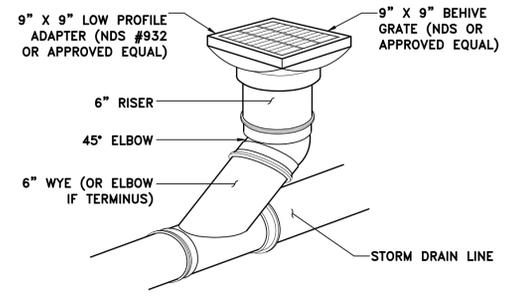
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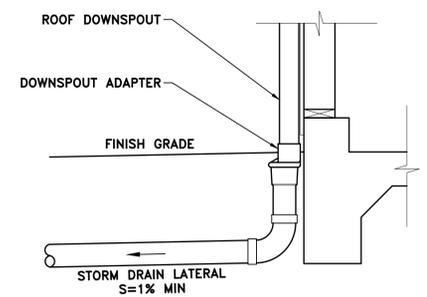
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Plotted: May 13, 2024 - 4:54pm



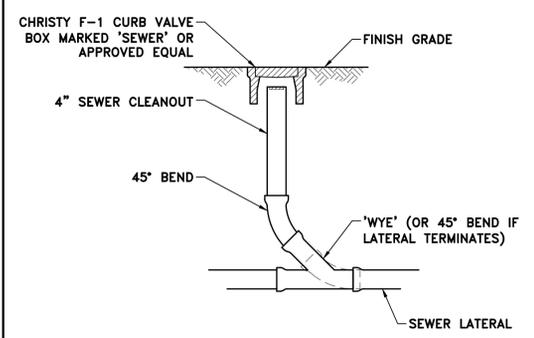
**K** ENERGY DISSIPATER  
C5 NTS



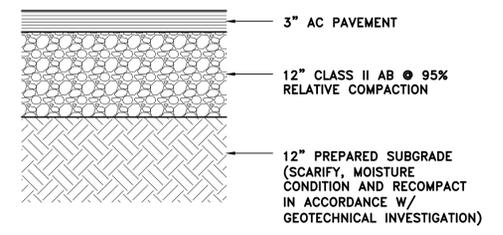
**J** 9" X 9" AREA DRAIN  
C5 NTS



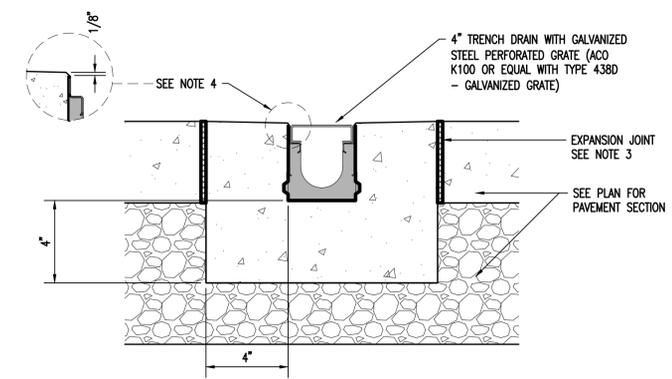
**H** ROOF DRAIN CONNECTION  
C5 NTS



**E** CLEAN-OUT @ GRADE  
C5 NTS

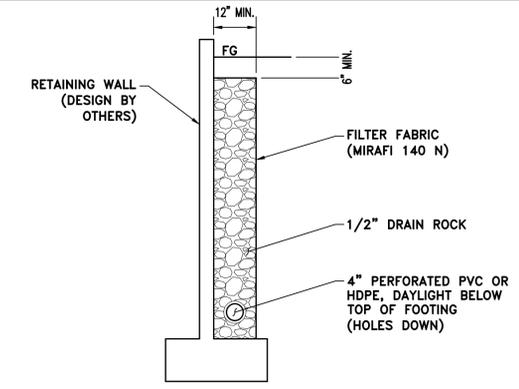


**A** A.C. PAVEMENT SECT.  
C5 NTS

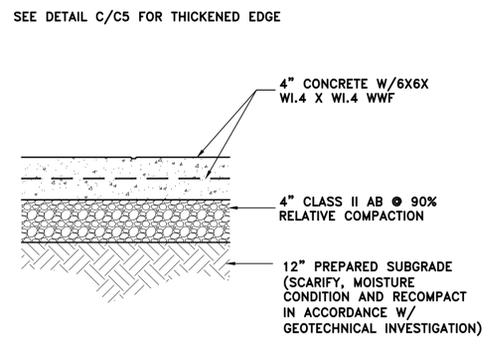


- NOTES:**
1. CONTRACTOR SHALL VERIFY MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
  2. MINIMUM CONCRETE STRENGTH = 4,000 PSI. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
  3. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.
  4. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS (4" MIN.)
  5. REFER TO MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.
  6. GRATES SHALL BE ADA COMPLIANT.

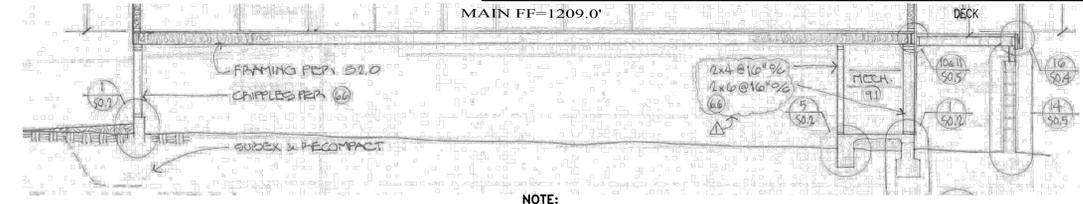
**I** TRENCH DRAIN  
C5 NTS



**F** RET. WALL SUBDRAIN  
C5 NTS

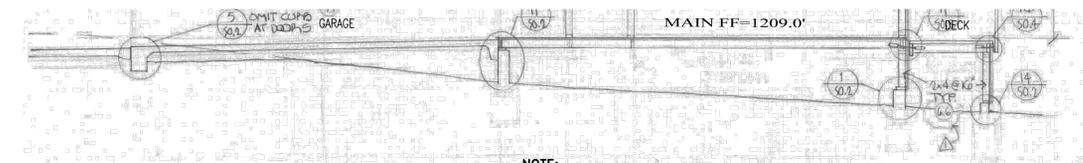


**B** CONCRETE PAVEMENT  
C5 NTS



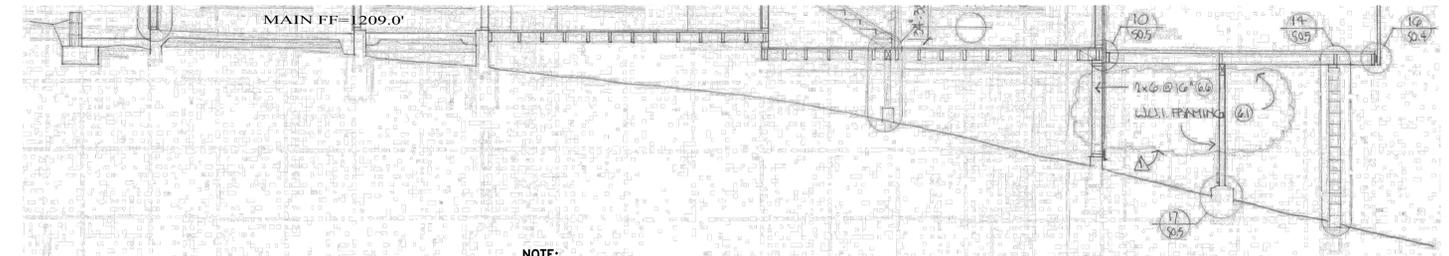
**A** SECTION A  
C5 HOR: 1" = 5' - VER: 1" = 5'

**NOTE:** ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.



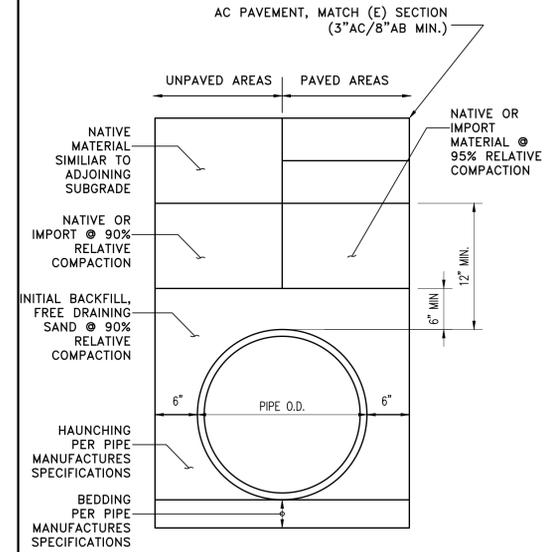
**B** SECTION B  
C5 HOR: 1" = 5' - VER: 1" = 5'

**NOTE:** ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.



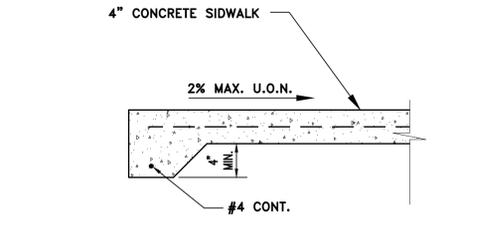
**C** SECTION C  
C5 HOR: 1" = 5' - VER: 1" = 5'

**NOTE:** ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.

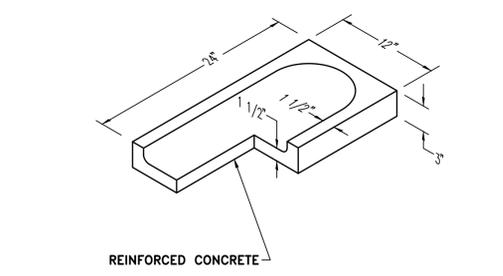


- NOTES:**
1. BACKFILL MATERIAL TO BE PLACED IN 6" LIFTS MAX.
  2. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS OR HAND TAMPING. NO JETTING OR FLOODING

**G** TRENCH BACKFILL  
C5 NTS



**C** THICKENED EDGE  
C5 NTS



**D** SPLASH BLOCK  
C5 NTS

REV.	DATE	DESCRIPTION	BY
1	05-16-24	Permit Set	J.C.
2	07-24-24	Adjusted finish floor elevation	J.C.
3	07-05-24	Plan Check (Health Dept 11-28-23)	J.C.

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mailto:C3Engineering.net



**SECTIONS & DETAILS**

**ANDERSON RESIDENCE**  
APN# 416-133-039-000

Project Location: 25900 ENCLAVE CT., MONTEREY, CA 93940  
PREPARED FOR: ANDERSON

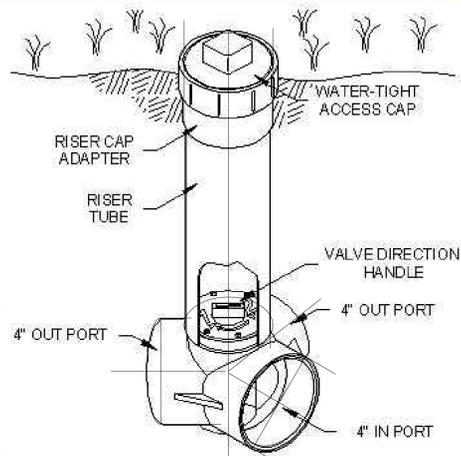
SCALE:	AS NOTED
DATE:	05-10-24
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

**C5**  
OF 8 SHEETS  
PROJECT# 123108

# THE BULL RUN™ VALVE



The Bull Run Valve™ is designed to split flows to septic fields or systems. In addition to the advantages of longer life and easier installation it is the most public health safe alternating device available for wastewater disposal applications. The use has absolutely no contact with wastewater due to the valve's leak-proof and external operating characteristics. The change over from one drainage field to another can be accomplished in less than a minute by simply turning the valve without digging or contact with wastewater.



The Bull Run Valve is available in 4" sch 40 pvc and is suitable wherever septic disposal systems are used - in commercial, industrial, and residential applications.

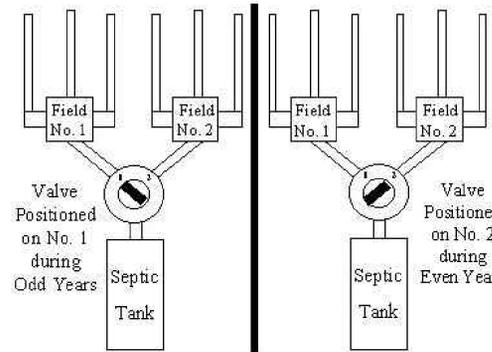
## OPERATING THE VALVE

The direction control handle should be rotated periodically to direct effluent to one or the other of two septic fields. After removing the screw cap at the top of the riser tube, the valve handle can be turned with the valve key furnished.

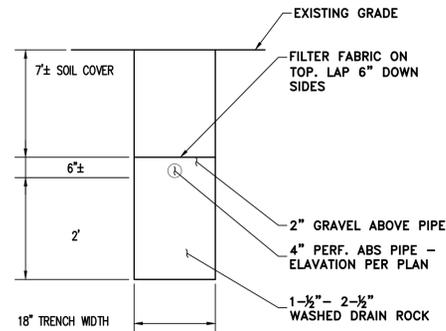
## BULL RUN VALVE Complete Valve Kit Contains

1. Bull Run Valve body
2. 28" Valve Key
3. Riser Cap Adapter
4. Watertight Access Cap

BRVCIRISER - 4" ADJUSTABLE TO 28" HIGH POLY RISER W/CAST IRON ACCESS CAP



ITEM	DESCRIPTION
BRV4	BULL RUN VALVE 4"
BRVBULK	BULL RUN VALVE & KEY ONLY
BRVCIRISER	BULL RUN VALVE RISER W/ CAST COVER
BRVKEY28	BULL RUN VALVE KEY 28"
BRVKEY36	BULL RUN VALVE KEY 36"
BRVKEY48	BULL RUN VALVE KEY 48"
BRVKEY60	BULL RUN VALVE KEY 60"



### NOTES:

THE LEACH TRENCH SHALL BE EXCAVATED TO THE APPROPRIATE DEPTH PERPENDICULAR TO ANY SLOPE, FOLLOWING THE CONTOUR OF THE LAND SO AS TO MAINTAIN THE SAME TRENCH DEPTH FOR THE LENGTH OF THE TRENCH. ANY SMEARED TRENCH SIDEWALLS SHALL BE RAKED TO ROUGHEN THE SURFACE TO ENHANCE PERCOLATION. IF THE TRENCHES DO NOT FOLLOW THE NATURAL CONTOURS AND ARE CUT ACROSS SLOPES, THE BOTTOM OF THE TRENCH SHALL BE LEVEL.

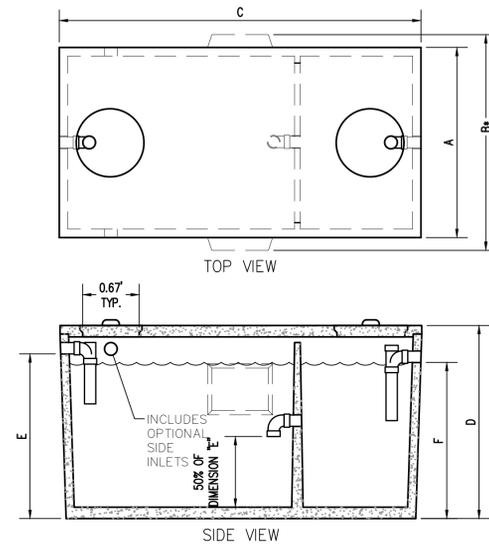
SEPARATION BETWEEN TRENCH SIDEWALLS SHALL BE MEASURED SIDEWALL TO SIDEWALL AND BE AT LEAST EQUAL TO THE TRENCH WIDTH OR 2 TIMES THE EFFECTIVE DEPTH OF THE TRENCH OR, WHICHEVER IS GREATER. AN ADDITIONAL 1 FOOT OF SEPARATION IS REQUIRED FOR EACH 5% INCREASE IN SLOPE GREATER THAN 30%.

THE TOP OF THE BED OF ROCK AND THE LEACH PIPE SHALL BE LEVEL.

THE LEACH PIPE SHALL BE PLACED ON THE LEVEL ROCK BED WITH THE HOLES POINTED DOWN AND A CAP PLACED OVER THE END OF THE PIPE.

EARTH BACKFILL SHALL BE PLACED OVER THE LEACHFIELD 8" - 12" DEEP, AND SHALL BE MOUND TO ENSURE DRAINAGE AWAY FROM THE TRENCH. IF SETTLEMENT OCCURS AFTER INSTALLATION, ADDITIONAL BACKFILL MUST BE ADDED.

WHEN THERE IS MORE THAN ONE LEACH TRENCH, AN APPROVED EFFLUENT DISTRIBUTION DEVICE SHALL BE USED TO DISTRIBUTE EFFLUENT TO EACH TRENCH. "POP-OVER" DISTRIBUTION IS NOT PERMITTED.

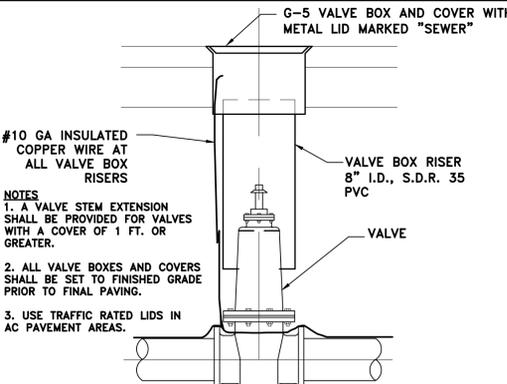


MODEL NUMBER	LIQUID CAPACITY (GALLONS)	DIM A	DIM B*	DIM C	DIM D	DIM E	DIM F	MINIMUM EXCAVATION WIDTH*	MINIMUM EXCAVATION LENGTH
JS-750	750	4'-0"	4'-9"	8'-1"	5'-0"	4'-10"	4'-7"	5'-9"	9'-1"
JS-1000	1000	5'-1"	5'-10"	8'-2"	5'-0"	4'-10"	4'-7"	6'-10"	9'-2"
JS-1200	1200	5'-3"	6'-0"	8'-6"	5'-0"	4'-10"	4'-7"	7'-6"	9'-6"
JS-1500	1500	5'-7"	6'-4"	10'-0"	5'-0"	4'-10"	4'-7"	7'-4"	11'-8"
JS-2000	2000	4'-11"	5'-8"	15'-11"	5'-8"	4'-10"	4'-7"	6'-8"	16'-11"
JS-2500	2500	5'-9"	6'-6"	16'-10"	5'-8"	4'-10"	4'-7"	7'-6"	17'-10"
JS-3000	3000	5'-9"	6'-6"	16'-10"	6'-5"	5'-7"	5'-4"	7'-1"	17'-10"

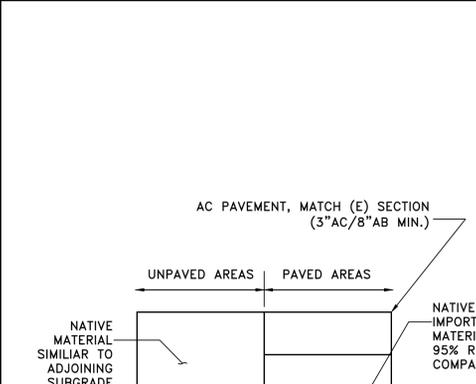
DESIGN LOAD: NON TRAFFIC - 3" OF EARTH COVER MAXIMUM AT 500 PSF FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST. ON THE WEB AT [JENSENPRECAST.COM](http://JENSENPRECAST.COM)

## (E) LEACH FIELD

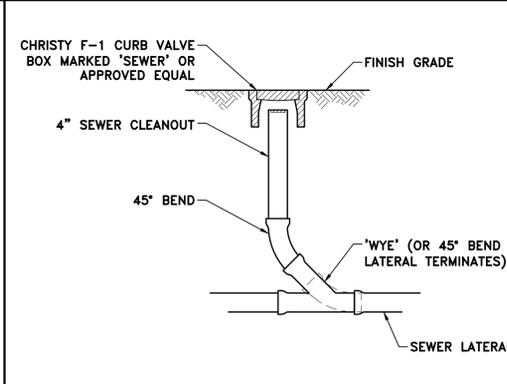
## (A) SEPTIC TANK



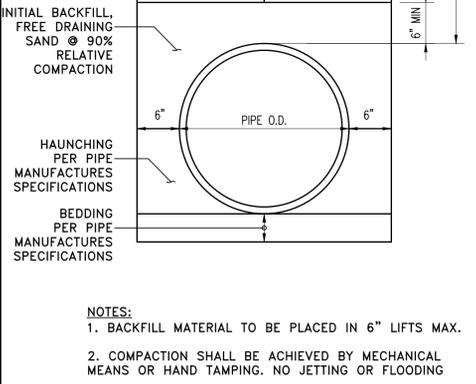
## (F) VALVE BOX



## (D) TRENCH BACKFILL



## (B) CLEAN-OUT @ GRADE



## (C) TWO-WAY CLEAN-OUT

## (G) DIVERSION VALVE

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Drawing file: Z:\Projects\123108 Norris - Anderson\Orig\123108 XBase.dwg  
Plotted: May 13, 2024 - 4:54pm

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Civil Engineering, Land Development, Stormwater Management  
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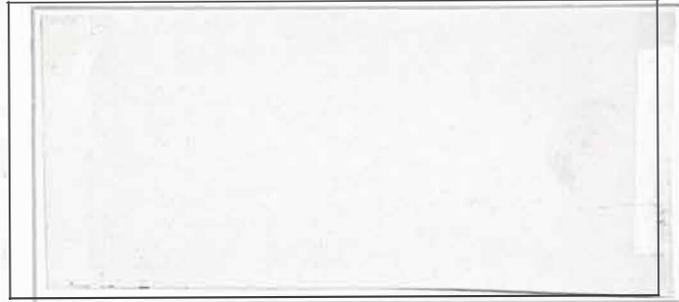
**OWTS DETAILS**  
ANDERSON RESIDENCE  
APN# 416-133-039-000  
Project Location: 25900 ENCLAVE CT., MONTEREY, CA 93940  
PREPARED FOR: ANDERSON

SCALE: AS NOTED  
DATE: 05-10-24  
DESIGN BY: FJC  
DRAWN BY: ECH  
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SHEET NUMBER:  
**C5.1**  
OF 8 SHEETS  
PROJECT# 123108

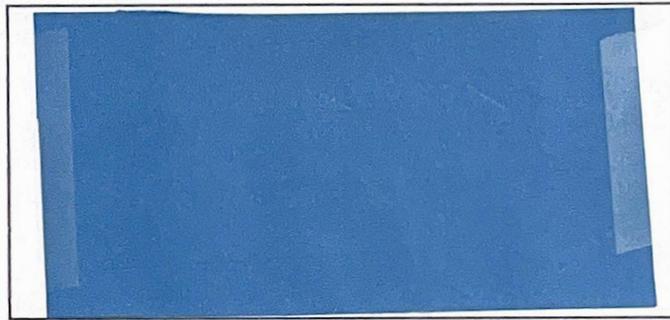


PLN230004

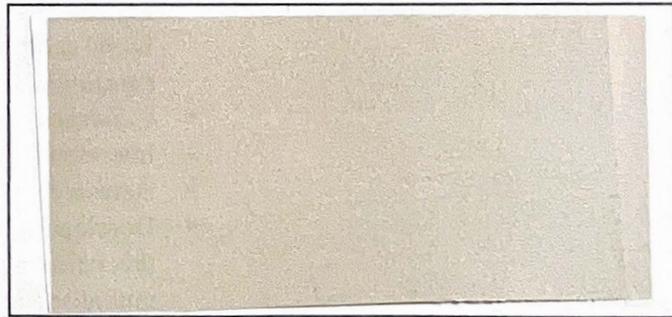
COLOR SAMPLES FOR PROJECT FILE NO. PLN



Materials: STUCCO Colors: OFF WHITE  
Description: WALLS



Materials: VINYL & STEEL Colors: BLUE  
Description: DOORS & WINDOWS CLADDING AS WELL AS RAILING & EXTR LIGHTS



Materials: ELASTOMERIC COATING Colors: TAN  
Description: ROOF & BALCONY