

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

ZHANG JIAXIANG & DING YUANYUAN (PLN230289)

RESOLUTION NO. 26-023

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow for construction of a 5,459 square foot two-story single-family dwelling with an 805 square foot attached garage, a 954 square foot detached garage and associated site improvements; and 2) Removal of three (3) Oak trees.

[PLN230289 ZHANG JIAXIANG & DING YUAN YUAN, 5486 Quail Meadows Drive, Carmel, Carmel Valley Master Plan (Assessor's Parcel Number 157-171-017-000)]

The ZHANG JIAXIANG & DING YUANYUAN application (PLN230289) came on for an administrative decision before the County of Monterey Chief of Planning on March 4th, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. FINDING: CONSISTENCY – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan (General Plan);
- Carmel Valley Master Plan (CVMP); and
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 5486 Quail Meadows Drive, Carmel, Carmel Valley Master Plan (Assessor's Parcel Number: 157-171-017-000). The parcel is zoned Low Density Residential, with Building Site, Design Control, Site Plan Review, and Residential Allocation Zoning overlays, or "LDR/B-6-D-S-RAZ", which allows for the establishment of a first single-family dwelling and accessory structures as principally allowed uses. The Site Plan Review overlay requires an Administrative Permit for all construction of structures, additions, and the deposit or removal of materials pursuant to Title 21 section 21.45.040.B. The Design Control overlay requires the granting of a Design Approval for all structures as outlined in Chapter 21.44. The project involves the construction of a 5,459 square foot two-story single-family dwelling with an 805 square foot attached garage, a 954 square foot detached garage and associated site improvements, which includes 4,894 square feet of impervious patios, loggia, and driveway, as well as a 53 square foot north deck, a 54 square foot west deck, and 42 square foot porch. The project also involves approximately 778 cubic yards of cut and 683 cubic yards of fill. Additionally, the project includes the removal of three Oak trees. As outlined in Finding 3, the removal complies with regulations outlined for the removal of protected trees. Therefore, the project is allowed to use land for this site.

The site plans included in this project illustrate an approximately 1,199 square foot Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the construction of an ADU is not a part of this discretionary application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans.

- c) Lot Legality. The subject property (174,240 square feet), APN: 157-171-017-000, is identified in its current configuration as Parcel A on a Record of Survey as shown on Volume 17 of Cities & Towns Page 42 as Lot 17 recorded on September 13th, 2021 (Volume 35 of Surveys, Page 58). Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. The proposed development includes colors and materials consisting of beige plaster siding, stone veneer, army green "secret garden" window frames, clay tile roofing, and flag stone walkways. The proposed colors and materials are compatible with the surrounding environment and are consistent with the surrounding neighborhood character. Exterior lighting shall be consistent with the Design Guidelines for Exterior Lighting adopted by the Board of Supervisors pursuant to Title 21 Section 21.63.020. The exterior

lighting will be approved prior to the issuance of building or grading permits and shall be implemented through the County's standard condition. The proposed design is consistent with the neighboring development and assures protection of the public viewshed. The subject property is not along a scenic highway corridor or in the critical viewshed. Therefore, as proposed and conditioned, the project is not in conflict with the surrounding environment or with the surrounding residential neighborhood character and assures protection of the public viewshed and visual integrity.

- e) Site Plan Review. The property is subject to the Site Plan Review "S" overlay zoning district. Chapter 21.45 provides regulations for development, with by reason of its location, has the potential to adversely affect or be adversely affected by natural resources or site constraints. A site plan was included in the application, and an Administrative Permit application has been received and reviewed pursuant to these regulations. An archeological report was included in the application; this parcel did not have any archaeological resources identified on the property (see subsequent Evidence "g"). A fuel management plan was included in the application, which included measures to maintain vegetation surrounding the development area to reduce fire hazards. Development has been sited and designed to minimize tree removal, and the County's standard condition has been incorporated, requiring the applicant to install and maintain tree protection fencing during construction activities. The applicants provided a grading and erosion control plan to demonstrate the feasibility of their proposed project. A geotechnical report and geological report were also prepared, which analyzed the soil and geological conditions of the site and determined it was suitable for the development of the proposed project. Pursuant to Title 16 section 16.08.110, all recommendations made in the geotechnical report will be incorporated in the final grading plans and specifications. Staff reviewed County records and data from the California Department of Fish and Wildlife; there are no known resources located within the subject property. Also see Finding 2, Evidence "b".
- f) Development Standards. The property is subject to the site development standards for the LDR zoning district, which are identified in Title 21 section 21.14.060. Pursuant to Title 21 section 21.14.060.C, development within this district shall meet the required setbacks unless combined with a "B" district. Title 21 section 21.14.060.F outlines more restrictive setbacks due to the Building Site 6 overlay. Required setbacks for main structures and structurally attached accessory structures are 30 feet (front), 10 percent of average lot width in feet(side), and 20 feet (rear). As proposed, the single-family dwelling with attached garage complies with these requirements. The allowed height for main structures is 30 feet; the proposed structure has a height of 26 feet 11 inches from average natural grade. Allowed maximum site coverage is 25% on lots of 20,000 square feet or more. The project will result in 3,993.5 square feet of coverage or 2.6%. Therefore, the

proposed project meets the required site development standards for the LDR and Building Site 6 zoning district.

- g) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property to a high archaeological sensitivity. Pursuant to General Plan section OS-6.3 and Title 21 section 21.66.050.C.1.a, a Phase I Archaeological Survey (County of Monterey Library No. LIB250091) was prepared. The survey found no indicators of culturally significant materials on site. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Development on Slopes in Excess of 25%. Less than 500 square feet of development on slopes in excess of 25% will occur to accommodate the driveway and driveway turnaround for emergency responders access to the residence. No discretionary permit is required to allow development pursuant to General Plan Policy OS-3.5(1)(c). Therefore, no Use Permit is required for development on slopes.
- i) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- j) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230289.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Phase I Assessment of Archaeological Resources Report” (County of Monterey Library No. LIB250147) prepared by Ruben Mendoza, Salinas, California, April 11, 2024.
 - “Geotechnical Investigation (Design Phase)” (County of Monterey Library No. LIB250146) prepared by Greg Bloom, Watsonville, California, January 2024. “Pre-Construction Tree Impact Assessment and Removal” (County of Monterey Library No. LIB250145) prepared by Rob Thompson, Monterey, California, March 1, 2024.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) A Geotechnical Report (County of Monterey Library No. LIB250146) was prepared for this project, where the qualified civil engineer made multiple recommendations for the development, including Footings should be underlain by a minimum of 24 inches of engineered fill. Engineered fill should extend a minimum of 3 feet laterally of foundations, 3-foot concrete plugs within the utility trenches, concrete slabs-on-grade, surface site drainage, and a stormwater quality control plan is to be implemented at the project site. The report concluded that the site is suitable for the proposed project. Pursuant to Chapter 16.08 section 16.08.110 of the Monterey County Code, the recommendations included in geotechnical reports shall be incorporated in the grading plans and specifications. Therefore, as proposed and designed, the site is found to be suitable for the development.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230289.

3.

TREE REMOVAL - The siting, location, size, and design has been established to minimize tree removal and has been limited to that required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The project includes application for the removal of 3 protected trees. In accordance with the applicable policies of the Monterey County Zoning Ordinance (Title 21), a Use Permit is not required. Title 21 section 21.64.260.2 states removal of 3 or less protected trees can be approved by the Director of Planning in any one year given period.
 - b) Pursuant to Title 21 section 21.64.260.D.3.a, an Arborist report (County of Monterey Library No. LIB250145) was prepared to evaluate the health, structure, and preservation suitability for each tree within or adjacent to the proposed development. Three Coast live oaks trees will be removed with implementation of this project. The Arborist report inventoried all trees to be removed and identified them all as being in a fair condition.
 - c) The proposed tree removal is the minimum required under the circumstances of this case. The lot is heavily forested and thus, avoiding tree removal entirely is unfeasible for any reasonable development consistent with the neighborhood. The single-family dwelling is consistent in size with other single-family dwellings within the surrounding neighborhood. All trees to be removed are directly within the development footprint of the main residence and/or the driveway. Removal of these trees is consistent with the recommendations of the prepared forest management plan.
 - d) Policy OS-5.11 of the 2010 General Plan encourages the conservation of large, continuous expanses of native trees and vegetation to serve as most suitable habitat for maintaining abundant and diverse wildlife. As delineated on the project plans, the trees sited for removal are directly

within the proposed footprint of development. The project will retain the property's remaining trees, which are contiguous with the surrounding forested area. Trees to be retained will be protected with implementation of Condition No. 5.

- e) Title 21 requires a 1:1 replanting of removed protected trees, unless this requirement would be detrimental to the long-term health of the remaining habitat or the replanted trees. Condition No. 7 requires all removed trees to be replanted on-site at a 2:1 ratio.
- f) Measures for tree protection during construction have been incorporated as Condition No. 8, including tree protection zones, trunk protection, hand excavation and bridging roots.
- g) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term. Condition No. 9 requires a raptor/bird nesting survey to be performed by a qualified biologist if tree removal is to be conducted between February 1 and August 15.
- h) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN230289.

4. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional FPD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) All necessary public facilities are currently available to the subject property. California American Water (Cal-Am) provides potable water, as well as the fact that the property has an onsite well, and the subject property contains an On-site Wastewater Treatment System (OWTS). The proposed project includes the installation of a new OWTS to increase the property's wastewater disposal. EHB will review and approve an OWTS Permit and the EHB-approved water treatment system prior to the issuance of the required construction permit. EHB also applied Condition No. 10, requiring that a centralized water treatment system shall be designed and installed to provide water that meets primary drinking water standards after the results of the onsite well water sample detected Cadmium exceeding the maximum containment level of five micrograms per liter. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04 and 15.08, and Titles 17 and 22 of the California

Code of Regulations. The design shall address water treatment wastewater management.

- c) See Finding No. 2, Evidence “c” and “d.”
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230289.

5. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230289.
6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) As detailed in Finding 1, evidence “b”, the applicants propose a single-family dwelling and an ADU. However, under Title 21 section 21.64.030 and Government Code section 65852.2, the ADU is being processed ministerially. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Chief of Planning’s discretionary authority is limited to consideration of the proposed residence and garage, the proposed residence, garage, and ADU are subject to CEQA. The project involves the construction of the first single-family dwelling, with an attached garage on a residentially zoned property.
 - b) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction and location of limited numbers of new, small facilities or structures including one single-family residence in a residential zone.
 - c) The project involves the construction of a 5,459 square foot two-story single-family dwelling with an 805 square foot attached garage, a 1,199 square foot Accessory Dwelling Unit, a 954 square foot detached garage and associated site improvements. Therefore, the proposed project meets the Class 3 Categorical Exemption requirements.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project

distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. Only three trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The historical report concluded that the existing main residence has no historical significance or integrity, the Phase I archaeological report concludes no impact to archaeological resources with implementation of the project.

Construction of the proposed residential development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.

- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN230289.

7. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: a) Planning Commission. Pursuant to Title 21 section 21.80.040.A, the Planning Commission is the appeal authority to consider appeals from the discretionary decisions of the Director of Planning.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to Section 15300.2; and
2. Approve the Administrative Permit and Design Approval to allow construction of a 5,459 square foot two-story single-family dwelling with an 805 square foot attached garage, a 954 square foot detached garage and associated site improvements; and 2) Removal of 3 Oak trees.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 4th day of March 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230289

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit & Design Approval (PLN230289) allows for construction of a 5,459 square foot two-story single-family dwelling with an 805 square foot attached garage, a 954 square foot detached garage and associated site improvements including removal of 3 Oak trees and development on slopes in excess of 25%. The property is located at 5486 Quail Meadows Drive, Carmel (Assessor's Parcel Number 157-171-017-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 157-171-017-000 on March 4th, 2026. The permit was granted subject to 15 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: 2:1
- Replacement ratio recommended by arborist: 2:1

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

8. PD049 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

9. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

10. EHSP01 - CENTRALIZED WATER TREATMENT SYSTEM DESIGN (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Water quality analysis of a sample collected from the onsite well (EHB Permit No. 98-312) on August 21, 2025 indicate that Cadmium was detected at nine point eight micrograms per liter (9.8 ug / L) which exceeds the maximum containment level of five micrograms per liter (5.0 ug / L). A centralized water treatment system shall be designed and installed to provide water that meets primary drinking water standards. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04 and 15.08, and Titles 17 and 22 of the California Code of Regulations. The design shall address water treatment wastewater management. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau (EHB) for review and approval plans for a centralized water treatment system and any associated fees.
Prior to final inspection of construction permit, the EHB-approved water treatment system shall be installed. The applicant shall provide to the EHB for review and acceptance as-built plans for the centralized treatment system prepared by a qualified individual and shall submit acceptable water quality results for a pre and post-treatment Cadmium sample from the well.

11. EHSP02 - DEED RESTRICTION FOR CADMIUM TREATMENT (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: A residential building shall be provided with an adequate supply of potable water pursuant to Section 601.1 of the Uniform Plumbing Code. The water quality results collected on August 21, 2025 indicated that Cadmium was over the maximum containment level of 5 micrograms per liter. Applicant shall record a Deed Restriction with the Monterey County Recorder for parcel 157-171-017-000 indicating that the parcel has a Cadmium Treatment installed for the accessory dwelling unit approved by this permit PLN230289 and that it's the property owner's responsibility to regular maintain the treatment system to keep it in working order.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permits, the property owner shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

12. EHSP03 – CROSS-CONNECTION CONTROL SURVEY (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The proposed dwellings will receive domestic water service from separate Water Source/Purveyor. The proposed ADU will be served by the onsite well and the Single Family Dwelling & guesthouse will be served by California American Water Company. In order to prevent backflow of water utilized for these dwellings, a cross-connection control survey shall be completed by a qualified professional to identify potential cross-connections and recommend mitigations.

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permit, submit to the following information to the Environmental Health Bureau (EHB) for review and acceptance:

- A detailed site plan, specifying any and all equipment that will receive water from or be connected to the domestic water supply; and
- A narrative description of the proposed describe commercial/industrial facility operation.

As determined necessary by EHB, a cross-connection control report prepared by a qualified professional shall be submitted to the Environmental Health Bureau for review and acceptance.

13. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).
(Public Works)

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

14. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services

15. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

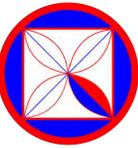
CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

- Compliance or Monitoring Action to be Performed:**
1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
 2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

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Zhang-Ding Residence

Single Family Residence
Quail Lodge, Carmel, California
A.P.N. 157-171-017-000



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ADDRESS IDENTIFICATION

Buildings shall be provided with approved address identification. This identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numbers or alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 0.5 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARD

1. All construction, workmanship and materials shall conform with the requirements of the 2022 California Code Edition, and the Carmel by the Sea municipal code.
2. The contractor shall verify all dimensions, elevations and site conditions and shall become completely familiar with the construction documents prior to starting construction.
3. CODG, Inc. and Engineer shall be notified of any omissions or discrepancies in the working drawing and/or specifications before proceeding with any work so involved.
4. All dimensions take precedence over scale shown on plans, sections and details.
5. Specific notes and details take precedence over structural notes and typical details.
6. Where specific details are not provided, construction can follow details for similar conditions, unless conflicts occur.
7. The contractor shall be responsible for the design, installation and maintenance of all bracing and shoring required during construction until all construction is finalized.
8. Job site safety is the sole responsibility of the contractor.
9. See architectural drawings for the size and location of all door and window openings, location of nonbearing partitions, roof on floor elevations, roof slopes, architectural finishes, and other related information not indicated on the structural drawings.
10. See mechanical, electrical and/or architectural drawing for the size and location of pipes, conduits, floor drains, vents, ducts, and other similar penetrations not indicated on the structural drawings.
11. Fire Sprinklers- Provide Sprinkler Drawings to the Fire Marshal for Review & Approval prior to installation.
12. EPOXY and ANCHOR BOLTS: Especial Inspection required for epoxy set anchor bolts.

SHEET INDEX

ARCHITECTURAL

- CN COVER SHEET & GENERAL NOTES
- A1.0 TRAFFIC CONTROL PLAN
- A1.1 TOPOGRAPHIC SITE SURVEY
- A1.2 EXISTING SITE PLAN
- A1.3 PROPOSED SITE PLAN
- A1.4 PARTIAL ADU SITE PLAN
- A1.6 PARTIAL MAIN HOUSE SITE PLAN
- A1.7 SITE SECTIONS
- A2.0 PROPOSED MAIN LEVEL FLOOR PLAN
- A2.1 PROPOSED UPPER LEVEL FLOOR PLAN
- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A4.0 PROPOSED ROOF PLAN
- A5.0 SECTIONS
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- A6.0 WINDOW SCHEDULES
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- A8.0 ACCESSORY DWELLING UNIT FLOOR PLAN
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- A10.0 ADU; ROOF PLAN AND SECTIONS
- A11.0 DETACHED GARAGE; FLOOR PLAN, ROOF PLAN & SECTIONS
- A12.0 WINDOW & DOOR SCHEDULES; ADU AND DETACHED GARAGE
- A13.0 WINDOW & DOOR SCHEDULES-ADU

LANDSCAPE

- L1.0 LANDSCAPE PLAN
- L2.0 FUEL MANAGEMENT PLAN
- L3.0 LANDSCAPE & FUEL MANAGEMENT PLAN NOTES

CIVIL

- CO1 COVER SHEET
- GN1 GENERAL NOTES & SPECIFICATIONS
- TO1 TOPOGRAPHY & DEMOLITION PLAN
- CS1 CALCULATED SITE PLAN
- GP1 GRADING PLAN
- GP2 GRADING DETAILS
- SW1 STORM WATER PLAN
- SQ1 STORM WATER QUALITY CONTROL PLAN
- CD1 CONSTRUCTION DETAILS
- CD2 CONSTRUCTION DETAILS
- ER1 EROSION CONTROL PLAN
- ER2 EROSION CONTROL PLAN DETAILS & SPECIFICATIONS
- SA1 EXISTING SLOPE ANALYSIS

PROJECT DATA

FLOOR AREA	ALLOWED	PROPOSED	
MAIN LEVEL		5,972.0 SQ.FT.	
UPPER LEVEL		1,799.0 SQ.FT.	
ATTACHED GARAGE		805.0 SQ.FT.	
ACCESSORY DWELLING UNIT (ADU)		1,199.5 SQ.FT.	
DETACHED GARAGE		953.7 SQ.FT.	
TOTAL (P) GROSS FLOOR AREA:	N/A	10,729.2 SQ.FT.	20.0%

BUILDING FOOTPRINT	ALLOWED	PROPOSED	
MAIN LEVEL		5,972.0 SQ.FT.	
UPPER LEVEL		1,799.0 SQ.FT.	
ADU		1,199.5 SQ.FT.	
DETACHED GARAGE		953.7 SQ.FT.	
TOTAL BUILDING FOOTPRINT:	13,456.3 SQ.FT.	8,125.2 SQ.FT.	15.1%

HARDSCAPE COVERAGE (PATIOS, WALKWAYS & DRIVEWAY)	ALLOWED	PROPOSED	
IMPERVIOUS COVERAGE:			
MAIN STRUCTURE:			
NORTH PATIO		61.0 SQ.FT.	
LOGGIA		230.0 SQ.FT.	
WEST PATIO		132.0 SQ.FT.	
DRIVEWAY		4,471.0 SQ.FT.	
ACCESSORY DWELLING UNIT (ADU)		0.0 SQ.FT.	
TOTAL (P) IMPERVIOUS COVERAGE:	N/A	4,894.0 SQ.FT.	9.1%
PERVIOUS COVERAGE:	ALLOWED	PROPOSED	

MAIN STRUCTURE:			
PATIO		4,018.0 SQ.FT.	
NORTH WALKWAY		92.0 SQ.FT.	
ENTRY WALKWAY		234.0 SQ.FT.	
DRIVEWAY TURN AROUND		3,809.0 SQ.FT.	
ACCESSORY DWELLING UNIT (ADU)			
NORTH DECK		53.0 SQ.FT.	
WEST DECK		54.0 SQ.FT.	
PORCH		42.0 SQ.FT.	
WALKWAY		133.0 SQ.FT.	
SOUTH DECK		73.0 SQ.FT.	
DETACHED GARAGE			
WALKWAY		36.5 SQ.FT.	
TOTAL (P) PERVIOUS COVERAGE:	N/A	8,544.5 SQ.FT.	15.9%
TOTAL PROPOSED COVERAGE:	N/A	13,438.5 SQ.FT.	25.0%

PROJECT TEAM

DESIGN:
CLAUDIO ORTIZ DESIGN GROUP INC.
26615 CARMEL CENTER PLACE #102
CARMEL, CA. 93923
TEL. (831) 626-4146

OWNER:
JIAXIANG ZHANG & YUANYAUN DING
612 SUNSET DRIVE
PACIFIC GROVE CA 93950

CIVIL:
MVE Inc.
1117 L STREET
MODESTO, CA 95354
TEL. (866) 526-4214

ARBORIST:
THOMPSON WILDLAND MANAGEMENT
57 VIA DEL REY
MONTEREY, CA 93940
TEL. (831) 372-3796

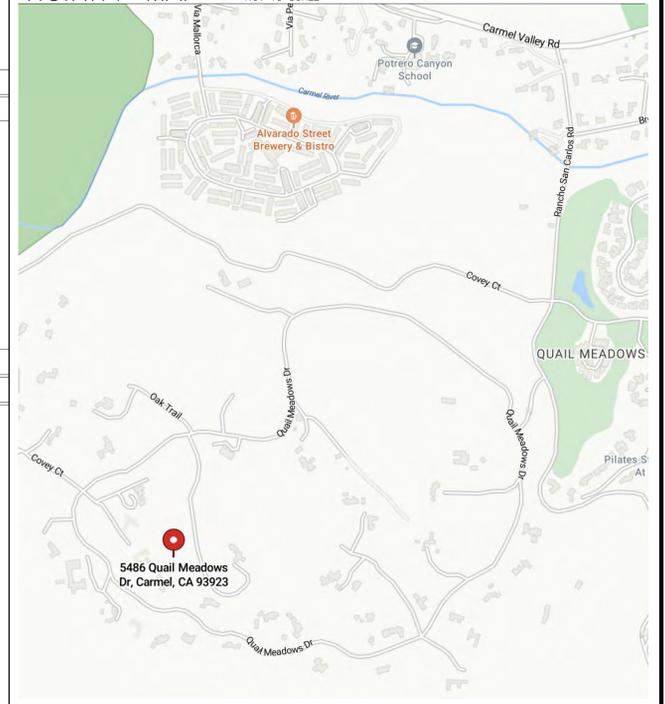
PROJECT INFORMATION

LOT SIZE	(4.00 Acres) 174,240.0 S.F.
A.P.N.	157-171-017-000
LEGAL DESCRIPTION	QUAIL MEADOWS TRACT NO 1161 LOT 17 EXC SCENIC EASEMENT TO MONTEREY COUNTY R2686-566
ZONING	LDR/B-6-6-D-S-RAZ
SETBACKS (MIN. ALLOWED)	FRONT: 30FT, SIDE 20FT. REAR 20FT
HEIGHT (MAX. ALLOWED)	30FT
BLDG. OCCUPANCY	R-3/U
CONST. TYPE	V-B

SCOPE OF WORK

1. CONSTRUCTION OF A NEW TWO STORY SINGLE-FAMILY DWELLING (7,771.00 SQ.FT.) WITH AN ATTACHED THREE CAR GARAGE (805 S.F.), A NEW ACCESSORY DWELLING UNIT (ADU) (1,199.5 SQ.FT.), AND A NEW DETACHED THREE-CAR GARAGE (953.7 SQ.FT.).
2. THE PROJECT WILL ALSO CONSIST OF NEW DRIVEWAY WITH A TURN-A-ROUND AREA, NEW WALKWAYS, AND A PATIO WITH A NEW SWIMMING POOL.
3. THE REMOVAL OF THREE OAK TREES.
4. EARTHWORK: 27 CU.YRD. IMPORT

VICINITY MAP



REVIEWS:

PROJECT:
Zhang-Ding Residence
5436 Quail Meadows, Carmel Valley, CA.

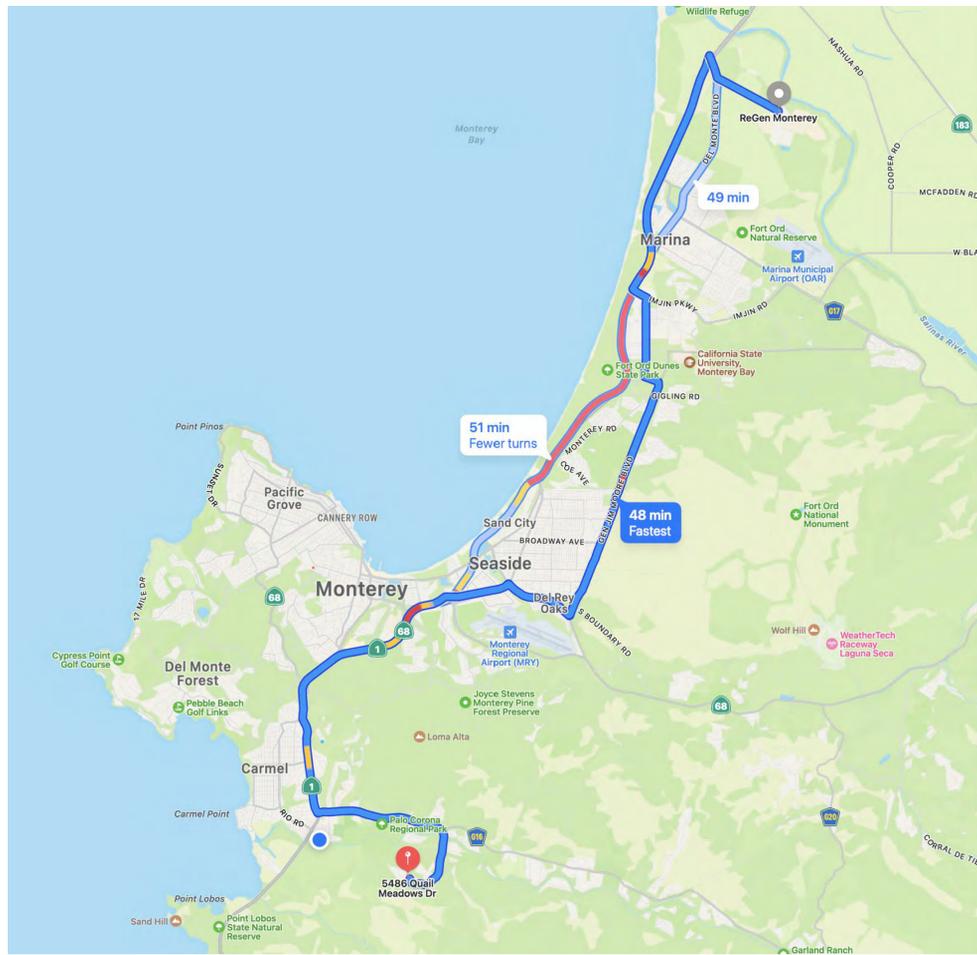
ISSUE:
02-20-25

SCALE:
1" = 1/4"

COVER SHEET & NOTES

CN

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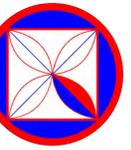
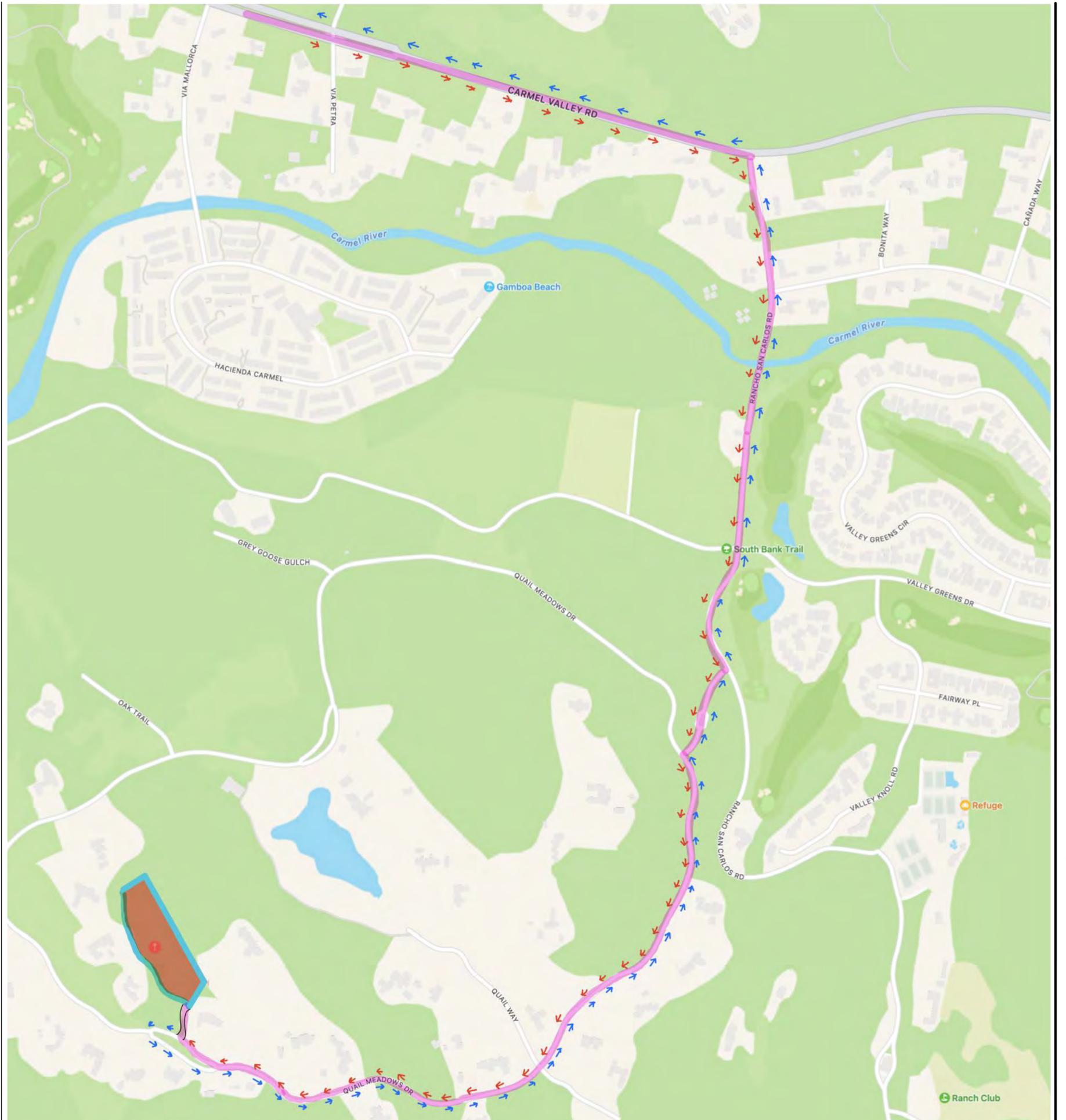
TRAFFIC CONTROL PLAN NOTES

DIRT EXPORT ROUTE OF TRAVEL

5486 QUAIL MEADOWS DRIVE, CRAMEL VALLEY, CA 93924
 APN:157-171-017-000

PROJECT ROUTE FOR HAULING AWAY DEBRIS OR CONSTRUCTION MATERIALS.

1. TRUCKS WILL BE COMING IN FROM HIGHWAY 1.
2. TURN LEFT ON CARMEL VALLEY RD.
3. CONTINUE DOWN CARMEL VALLEY RD. AND TURN RIGHT ON RANCHO SAN CARLOS RD.
4. THEN TURN RIGHT ON ON QUAIL MEADOWS DRIVE.
5. CONTINUE DOWN QUAIL MEADOWS DRIVE TO JOB SITE.
6. LOAD TRUCK AND BACK UP TO EASEMENT TO PROPERTY
7. TURN LEFT TO QUAIL MEADOWS DRIVE.
8. TURN LEFT ONTO CARMEL VALLEY RD
5. THEN TO HIGHWAY 1 TO GO TO MARINA LAND FILL.
6. NOISE-GENERATING CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7 A.M. AND 7 P.M. MONDAY THROUGH SATURDAY; NO CONSTRUCTION NOISE IS ALLOWED ON SUNDAYS OR NATIONAL HOLIDAYS.



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REVIEWS:

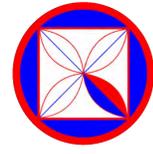
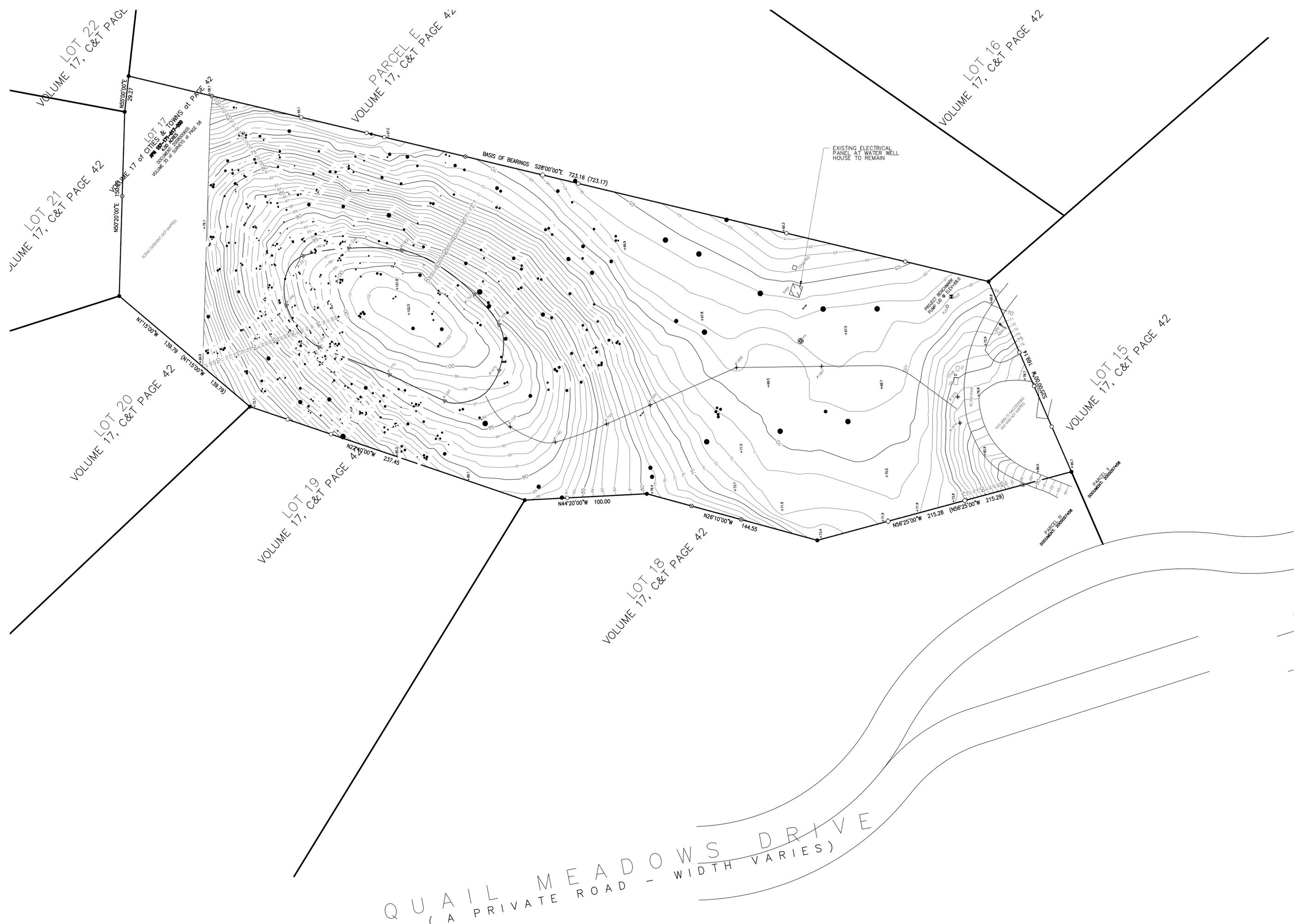
PROJECT:
 ZHANG-DING-QUAIL MEADOWS RESIDENCE
 5486 QUAIL MEADOWS DR, CARMEL CA 93923
 TRACT# 1161-LOT 17
 APN: 157-171-017-000
PROJECT NO.
 23-10

ISSUE:
 02-20-25
DRAWN BY:
 --

TRAFFIC CONTROL PLAN / CONSTRUCTION MANAGEMENT PLAN

SCALE: 1" = 1/32'

A1.0



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REVIEWS:

PROJECT:
 ZHANG-DING-QUAIL MEADOWS RESIDENCE
 5486 QUAIL MEADOWS DR, CARMEL CA 93923
TRACT #: 1161-LOT 17
APN: 157-171-017-000
PROJECT NO.: 23-10

ISSUE: 02-20-25
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EXISTING SITE PLAN

SCALE: 1" = 1/32"

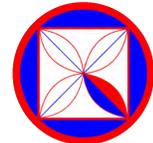
A1.2



- KEY NOTES**
- 1 (N) HOSE BIB
 - 2 (N) MAIN STRUCTURE
 - 3 (E) WATER METER
 - 4 (E) UTILITY VAULT TO BE RELOCATED
 - 5 (N) IRRIGATION CONTROL VALVE
 - 6 LEFT EMPTY INTENTIONALLY
 - 7 (E) CABLE TELEVISION BOX
 - 8 (N) DRIVEWAY TURNOUT
 - 9 (E) SEWER LINE TO STREET
 - 10 (N) PLASTER RETAINING WALL
 - 11 (E) ELECTRICAL PANEL AT WATER WELL HOUSE TO REMAIN
 - 12 (N) GAS VALVE
 - 13 (N) SEWER LINE CLEAN OUT
 - 14 (N) DRIVEWAY TURN AROUND, PAVERS SET ON SAND
 - 15 (E) CONC PAD
 - 16 LANDSCAPING

- LEGEND**
- MINIMUM SLOPE 25.01%
 - STRUCTURES: MAIN DWELLING, ADU, & GARAGE
 - UPPER LEVEL
 - PROPERTY LINE
 - PROPERTY LINE SET BACK
 - BUILDING FOOT PRINT
 - NEW CONTOUR LINES
 - HOSE BIB
 - GAS VALVE
 - EXISTING TREE
 - NEW TREES
 - TREES TO BE REMOVED

AVERAGE NATURAL GRADE
 $66.6' + 76.9' = 143.5' / 2 = 71.75' (71.8')$



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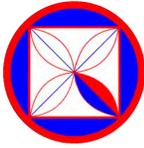
PROJECT:
 ZHANG-DING-QUAIL MEADOWS RESIDENCE
 5486 QUAIL MEADOWS DR, CARMEL CA 93923
 TRACT# 1161-LOT 17
 APN: 157-171-017-000
PROJECT NO.
 23-10

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PROPOSED SITE PLAN

SCALE: 1" = 1/32"

A1.3



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KEY NOTES

- 1 (N) HOSE BIB
- 2 (E) UTILITY VAULT TO BE RELOCATED
- 3 (E) IRRIGATION CONTROL VALVE
- 4 (E) FIRE HYDRANT TO BE RELOCATED
- 5 (N) SEWER LINE TO MAIN
- 6 (E) SEWER LINE TO STREET
- 7 (N) PLASTER RETAINING WALL
- 8 (E) ELECTRICAL PANEL AT WATER WELL HOUSE TO REMAIN
- 9 (N) GAS VALVE

LEGEND

- MAIN LEVEL
- UPPER LEVEL
- BUILDING FOOT PRINT
- HOSE BIB
- GAS VALVE
- EXISTING TREE
- NEW TREES
- TREES TO BE REMOVED

REVISIONS:

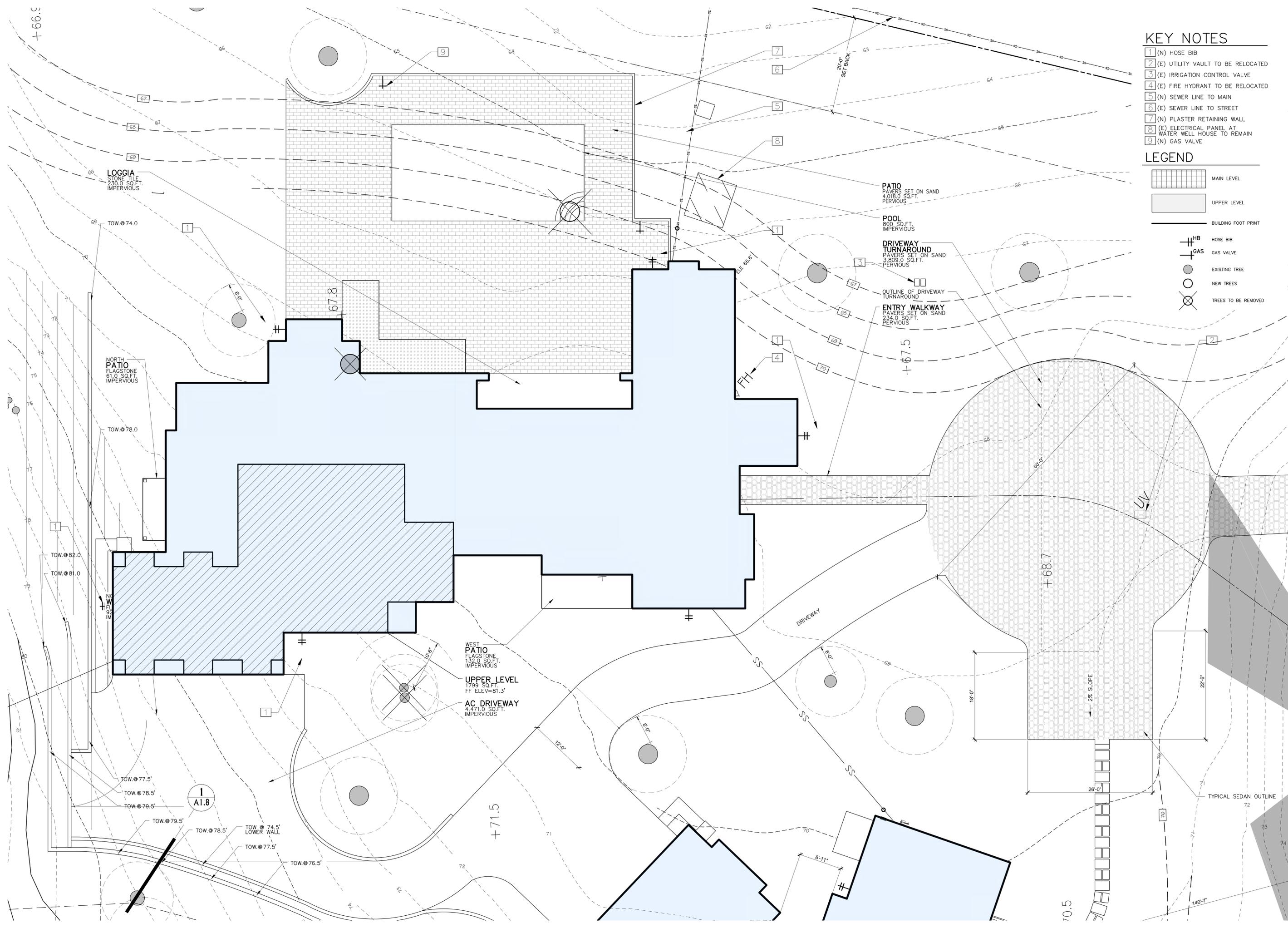
PROJECT: Zhang-Ding Residence
 5436 Quail Meadows, Carmel Valley, CA.
APN: 157-171-017
PROJECT NO.: 23-10

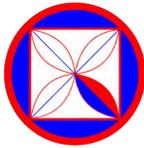
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PARTIAL MAIN HOUSE SITE PLAN

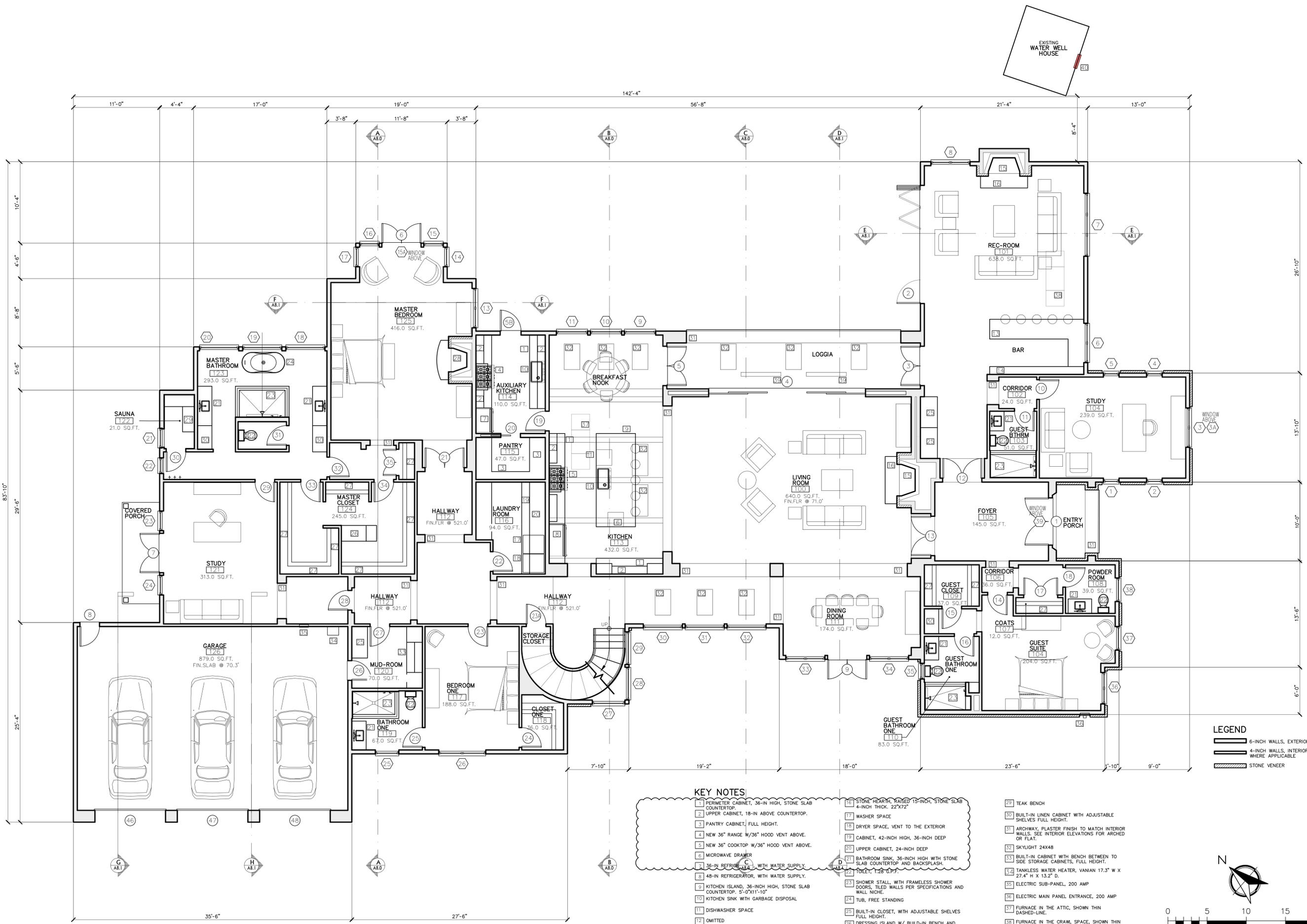
SCALE: 1" = 1/8"

A1.6





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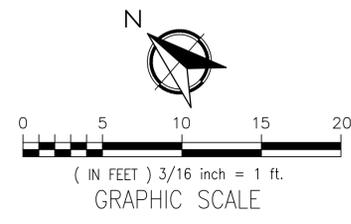


LEGEND

	6-INCH WALLS, EXTERIOR, TYP.
	4-INCH WALLS, INTERIOR WHERE APPLICABLE
	STONE VENEER

KEY NOTES

- | | | |
|---|--|--|
| 1 PERIMETER CABINET, 36-IN HIGH, STONE SLAB COUNTERTOP. | 16 STONE HEARTH, RAISED 15-INCH, STONE SLAB 4-INCH THICK, 22'X72" | 29 TEAK BENCH |
| 2 UPPER CABINET, 18-IN ABOVE COUNTERTOP. | 17 WASHER SPACE | 30 BUILT-IN LINEN CABINET WITH ADJUSTABLE SHELVES FULL HEIGHT. |
| 3 PANTRY CABINET, FULL HEIGHT. | 18 DRYER SPACE, VENT TO THE EXTERIOR | 31 ARCHWAY, PLASTER FINISH TO MATCH INTERIOR WALLS. SEE INTERIOR ELEVATIONS FOR ARCHED OR FLAT. |
| 4 NEW 36" RANGE W/36" HOOD VENT ABOVE. | 19 CABINET, 42-INCH HIGH, 36-INCH DEEP | 32 SKYLIGHT 24X48 |
| 5 NEW 36" COOKTOP W/36" HOOD VENT ABOVE. | 20 UPPER CABINET, 24-INCH DEEP | 33 BUILT-IN CABINET WITH BENCH BETWEEN TO SIDE STORAGE CABINETS, FULL HEIGHT. |
| 6 MICROWAVE DRAWER | 21 BATHROOM SINK, 36-INCH HIGH WITH STONE SLAB COUNTERTOP AND BACKSPASH. | 34 TANKLESS WATER HEATER, VANIUM 17.3" W X 27.4" H X 13.2" D. |
| 7 36-IN REFRIG. WITH WATER SUPPLY | 22 TOILET, 1-28 C.P.F. | 35 ELECTRIC SUB-PANEL, 200 AMP |
| 8 48-IN REFRIGERATOR, WITH WATER SUPPLY. | 23 SHOWER STALL, WITH FRAMELESS SHOWER DOORS, TILED WALLS PER SPECIFICATIONS AND WALL NICHES. | 36 ELECTRIC MAIN PANEL ENTRANCE, 200 AMP |
| 9 KITCHEN ISLAND, 36-INCH HIGH, STONE SLAB COUNTERTOP, 5'-0"X11'-0" | 24 TUB, FREE STANDING | 37 FURNACE IN THE ATTIC, SHOWN THIN DASHED-LINE. |
| 10 KITCHEN SINK WITH GARBAGE DISPOSAL | 25 BUILT-IN CLOSET, WITH ADJUSTABLE SHELVES FULL HEIGHT. | 38 FURNACE IN THE CRAWL SPACE, SHOWN THIN DASHED-LINE. |
| 11 DISHWASHER SPACE | 26 DRESSING ISLAND W/ BUILD-IN BENCH AND DRAWERS, 54"X24"X42"H | 39 SPACE HEATERS: CEILING MOUNT, INFRATECH W6024SS DUAL ELEMENT 6000 WATT ELECTRIC PATIO HEATERS, FLUSH MOUNT. |
| 12 OMITTED | 27 CLOSET SHELVES AND METAL ROD | 40 EXISTING ELECTRICAL PANEL AT WATER WELL HOUSE TO REMAIN |
| 13 BAR COUNTERTOP, STONE SLAB | 28 FIREPLACE: SUPERIOR WRT4036 36-INCH OPENING, WOOD BURNING WITH GAS LOGS. STONE VENEER SURROUND. | |

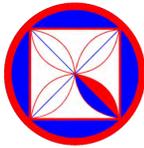


REVISIONS:

PROJECT: Zhang-Ding Residence
 5436 Quail Meadows, Carmel Valley, CA.
ISSUE: 02-20-25
 08-02-25
APN: 157-171-017
PROJECT NO.: 23-10
DRAWN BY: C.C.O.

PROPOSED MAIN LEVEL FLOOR PLAN

A2.0



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REVIEWS:

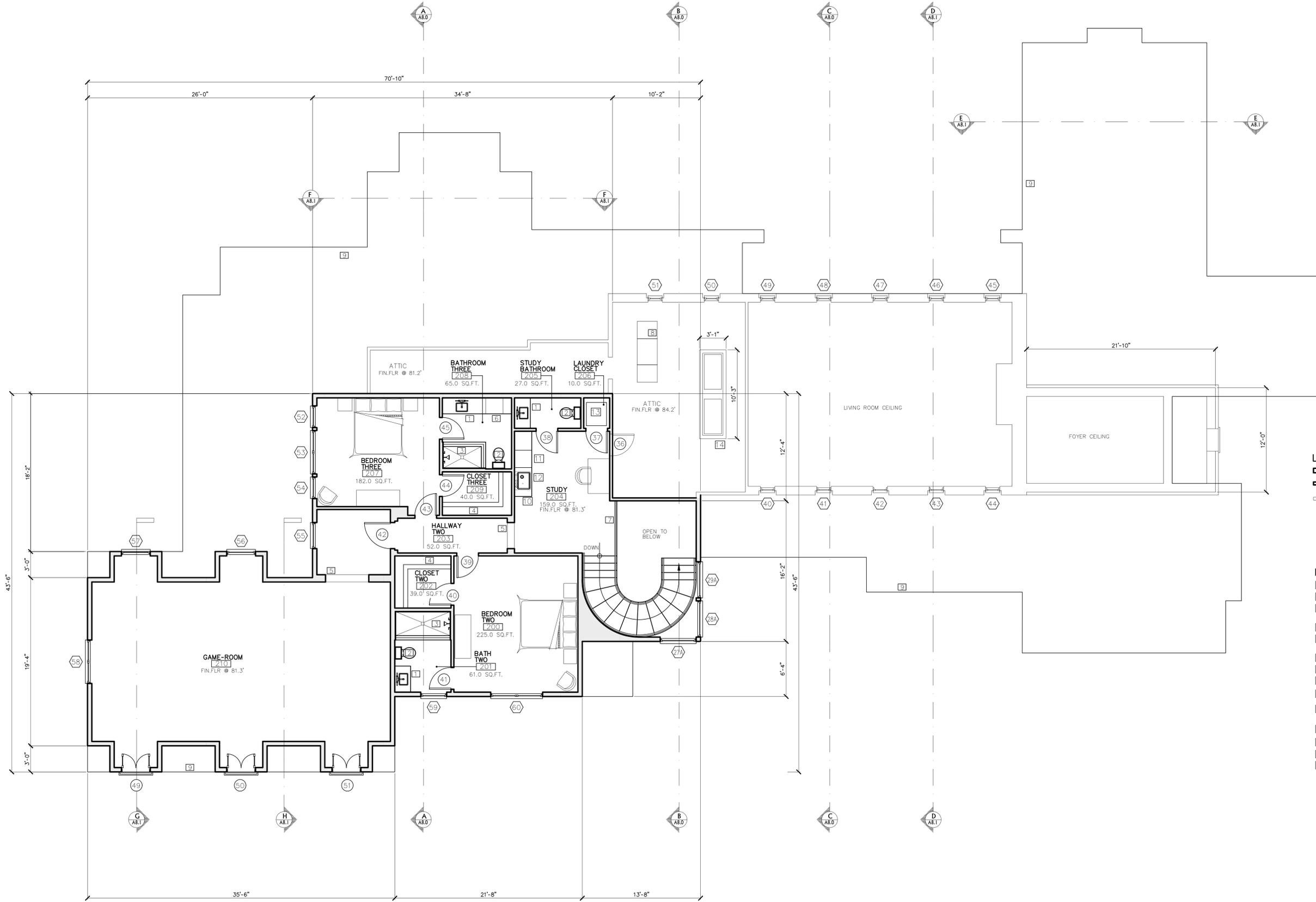
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 5436 Quail Meadows, Carmel Valley, CA.
 APN: 157-171-017
 PROJECT NO. 23-10

ISSUE: 02-20-25

PROPOSED UPPER
 LEVEL FLOOR PLAN

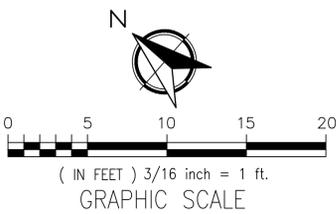
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A2.1

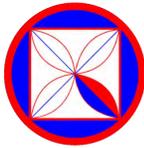


- LEGEND**
- 6-INCH WALLS, EXTERIOR, TYP.
 - 4-INCH WALLS, INTERIOR WHERE APPLICABLE
 - WALLS AT ATTIC SPACES OR ADJACENT LEVELS NOT PART OF THE UPPER LEVEL

- KEY NOTES**
- 1 BATHROOM SINK, 36-INCH HIGH WITH STONE SLAB COUNTERTOP AND BACKSPLASH.
 - 2 TOILET, 1.28 G.P.F.
 - 3 SHOWER STALL, WITH FRAMELESS SHOWER DOORS, TILED WALLS PER SPECIFICATIONS AND WALL NICHE.
 - 4 CLOSET SHELVES AND METAL ROD
 - 5 ARCHWAY, PLASTER FINISH TO MATCH INTERIOR WALLS. SEE INTERIOR ELEVATIONS FOR ARCHED OR FLAT.
 - 6 BUILT-IN MAKE-UP VANITY DESK
 - 7 GUARDRAIL, WROUGHT IRON, HAND FORGED.
 - 8 FURNACE IN THE ATTIC, SHOWN THIN DASHED-LINE.
 - 9 LOWER LEVEL FOOTPRINT OUTLINE, SHOWN THIN DASHED-LINE.
 - 10 COUNTER, 36-INCH HIGH, STONE COUNTERTOP AND BACKSPLASH
 - 11 24-INCH UNDER-COUNTER REFRIGERATOR
 - 12 BAR SINK WITH WATER FILER SYSTEM.
 - 13 STACKED WASHER AND DRYER
 - 14 SKYLIGHT SHAFT; GYP. BRD. AND PLASTER INTERIOR AND EXTERIOR; SMOOTH FINISH; PAINT INTERIOR SHAFT WITH HIGH SHEEN FINISH.



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SOUTH ELEVATION

- KEY NOTES**
- 1 ROOF: 6:12 PITCH, CLAY BARREL TILES, TYP.
 - 2 CHIMNEY: CUSTOM COPPER SHROUD
 - 3 RAFTER TAILS: 4X10 SHAPED, REDWOOD
 - 4 BARGE: 4X10 SHAPED, REDWOOD.
 - 5 6-INCH COPPER GUTTERS, 3-INCH DOWNSPOUTS CONNECTED TO A DRAINAGE SYSTEM.
 - 6 PLASTER SIDING, THREE COATS, SMOOTH FINISH.
 - 7 WOOD CLAD WINDOWS AND EXTERIOR DOORS
 - 8 VENTS, CLAY BARREL TILES, TYP.
 - 9 WOOD ENTRY DOOR WITH GLASS PANELS.
 - 10 GRADE WHERE OCCURS
 - 11 EXISTING GRADE SHOWN DASHED LINE
 - 12 CRAWLSPACE VENTS, TYP.
 - 13 SKYLIGHTS: 24X48, FLAT PANEL, FRAME PAINTED TO MATCH TILE ROOF
 - 14 MAIN PANEL ELECTRIC METER
 - 15 GAS METER
 - 16 CRAWL SPACE ACCESS DOOR, 32X30
 - 17 GARAGE DOORS, CARRIAGE STYLE, CEDAR WOOD, ROLL-UP
 - 18 STONE VENEER; NATURAL STN
 - 19 AVERAGE NATURAL GRADE: 71.8 FT
 - 20 STONE LINTEL
 - 21 BALCONY: WROUGHT IRON, GALVANIZED AND PAINTED, REF. DET. 8/A7.0



WEST ELEVATION

REVIEWS:

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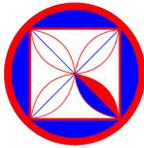
(IN FEET) 3/16 inch = 1 ft.
 GRAPHIC SCALE

PROPOSED
 ELEVATIONS

SCALE: 1" = 3/16"

A3.0

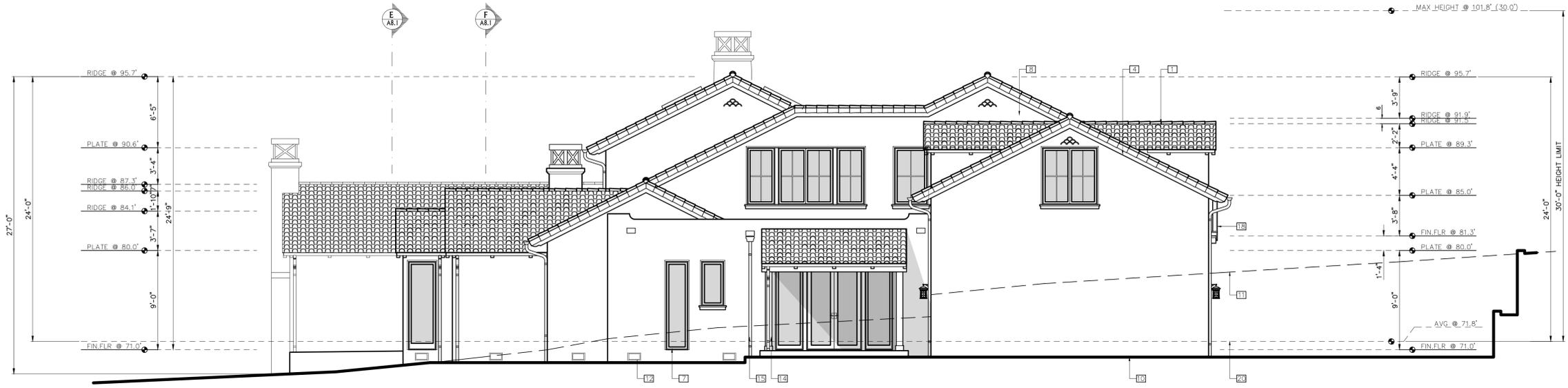
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EAST ELEVATION



NORTH ELEVATION

KEY NOTES

- 1 ROOF: 6:12 PITCH, CLAY BARREL TILES, TYP.
- 2 CHIMNEY: CUSTOM COPPER SHROUD
- 3 RAFTER TAILS: 4X10 SHAPED, REDWOOD
- 4 BARGE: 4X10 SHAPED, REDWOOD.
- 5 6-INCH COPPER GUTTERS, 3-INCH DOWNSPOUTS CONNECTED TO A DRAINAGE SYSTEM.
- 6 PLASTER SIDING, THREE COATS, SMOOTH FINISH.
- 7 WOOD CLAD WINDOWS AND EXTERIOR DOORS
- 8 VENTS, CLAY BARREL TILES, TYP.
- 9 PLASTER RETAINING WALL
- 10 GRADE WHERE OCCURS
- 11 EXISTING GRADE SHOWN DASHED LINE
- 12 CRAWLSPACE VENTS, TYP.
- 13 SKYLIGHTS: 24X48, FLAT PANEL, FRAME PAINTED TO MATCH TILE ROOF
- 14 6X6 REDWOOD POST OVER 6X10 REDWOOD BEAM
- 15 SCUPPER CONNECTED TO A LEADER-HEAD AND A DOWNSPOUT TO A DRAINAGE SYSTEM.
- 16 BALCONY: WROUGHT IRON, GALVANIZED AND PAINTED, REF. DET. 6/AT.0
- 17 STONE VENEER; NATURAL STN
- 20 AVERAGE NATURAL GRADE: 71.8 FT



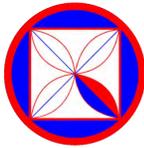
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PROPOSED ELEVATIONS
 SCALE: 1" = 3/16"
A3.1

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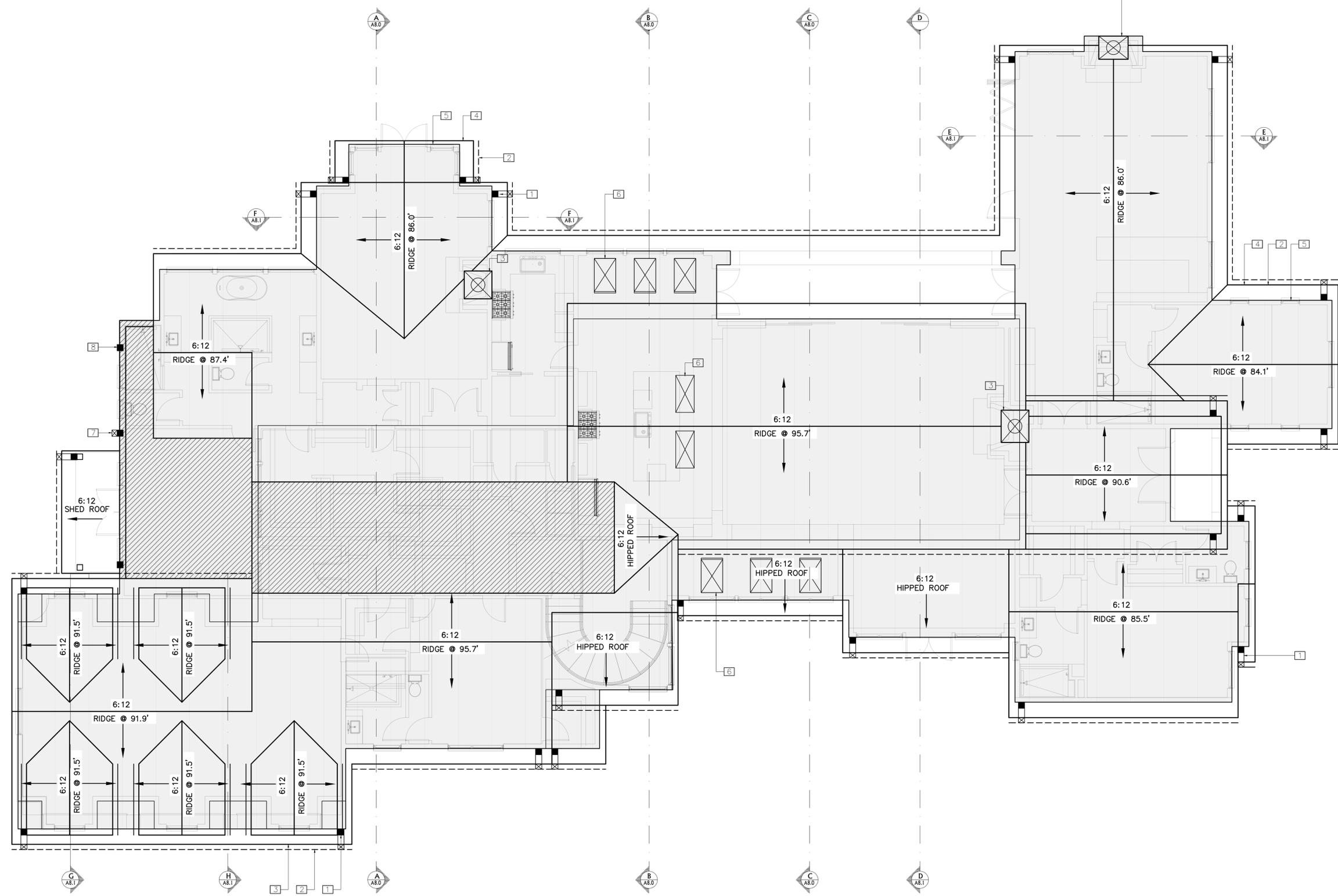
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KEY NOTES

- 1 3-IN ROUND COPPER DOWNSPOUTS
- 2 6-IN HALF ROUND COPPER GUTTERS W/ 2% SLOPE
- 3 CHIMNEY, COPPER SHROUD
- 4 ROOF SHOWN THICK SOLID LINE
- 5 MAIN STRUCTURE SHOWN THIN-SOLID LINE
- 6 SKYLIGHT 24X48
- 7 SCUPPER: 8X6, CONNECTED TO A LEADER HEAD AND TO A DOWNSPOUT INTO A DRAINAGE SYSTEM
- 8 SCUPPER: 8X6, OVERFLOW

LEGEND

- ROOF SLOPE DIRECTION ARROW
- ROOF LINE: NEW THICK SOLID LINE
- - - MAIN STRUCTURE FOOTPRINT THIN DASHED LINE
- GUTTERS
- ▣ DOWNSPOUTS W/2% SLOPE
- BUILDING FOOTPRINT
- ▨ FLAT ROOF
- ⊠ SKYLIGHT
- ⊞ CHIMNEY



(IN FEET) 3/16 inch = 1 ft.
 GRAPHIC SCALE

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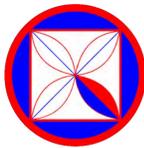
DRAWN BY: C.O.

PROPOSED ROOF PLAN

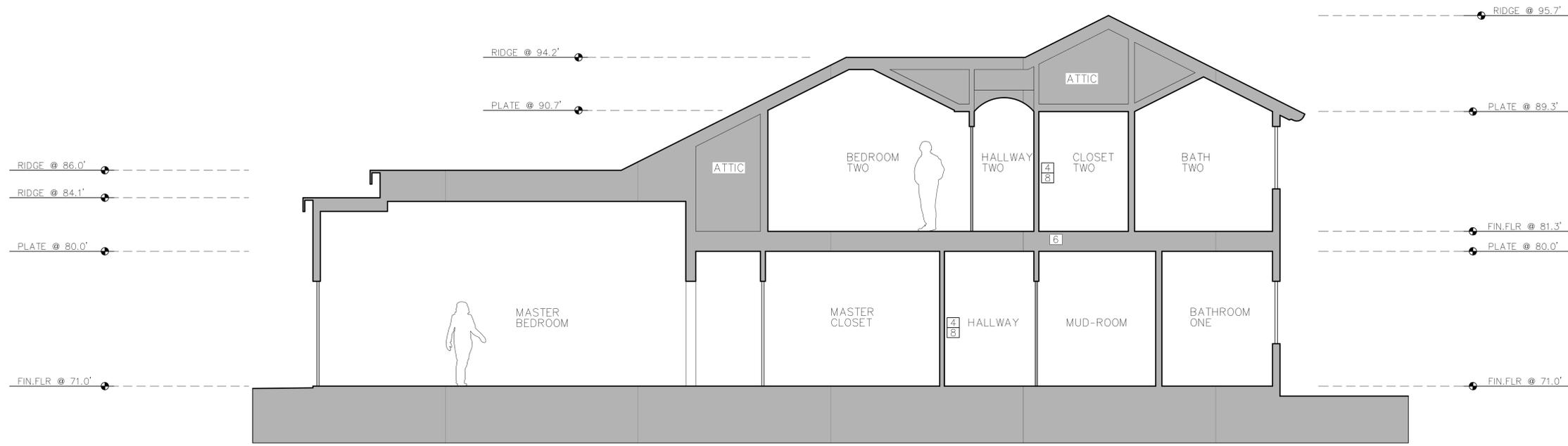
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A4.0

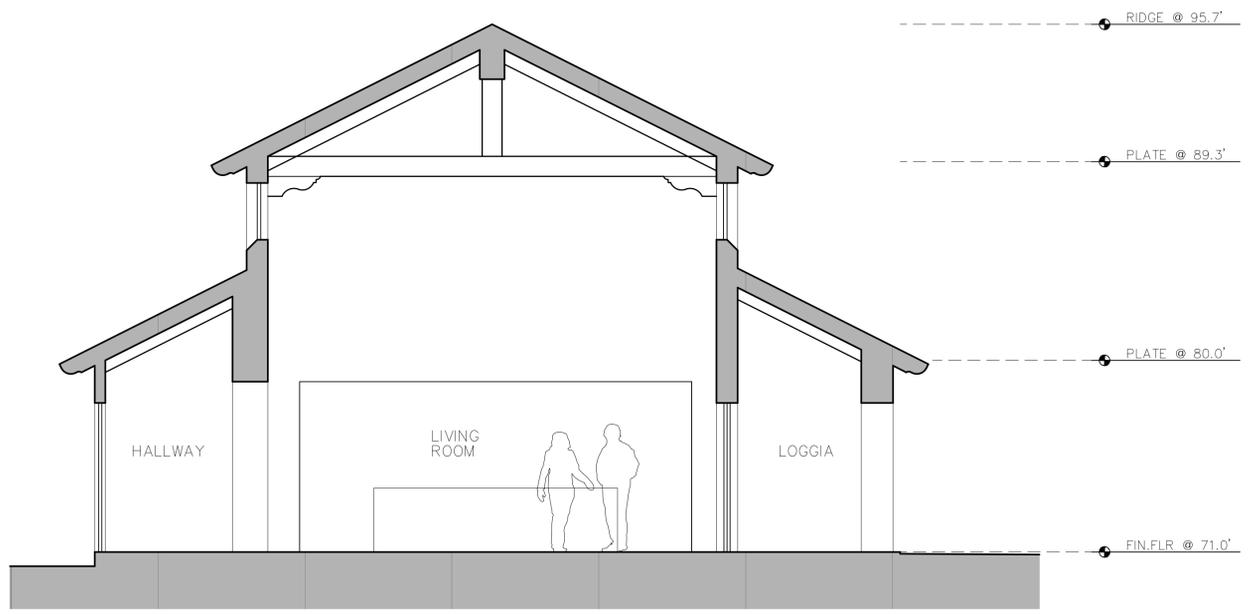
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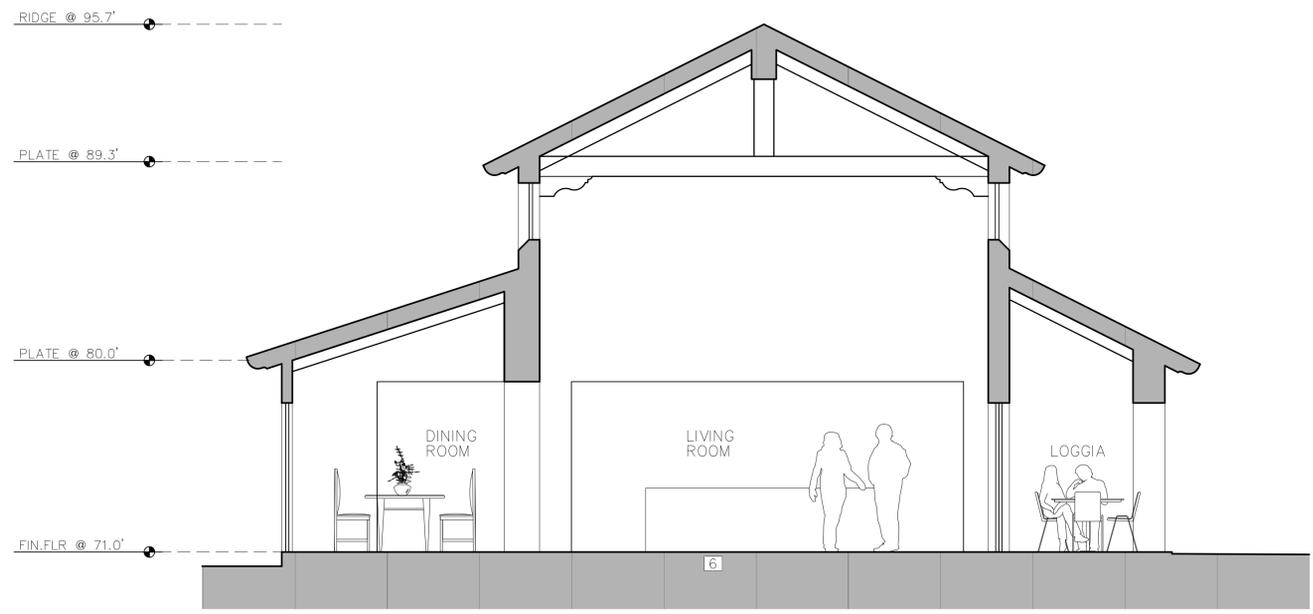
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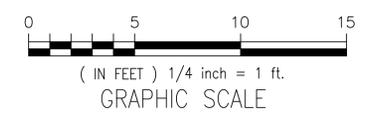
SECTION A



SECTION C



SECTION D



REVISIONS:

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 5436 Quail Meadows, Carmel Valley, CA.
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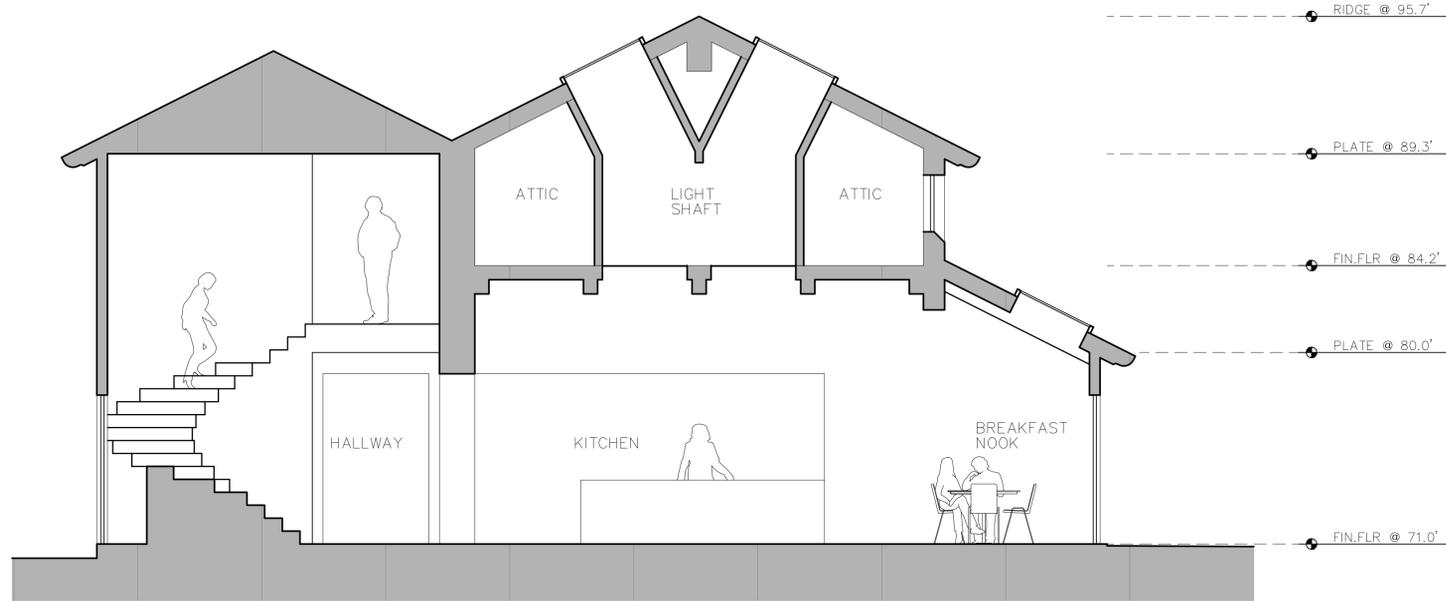
ISSUE: 02-20-25
 DRAWN BY: C.O.

SECTIONS

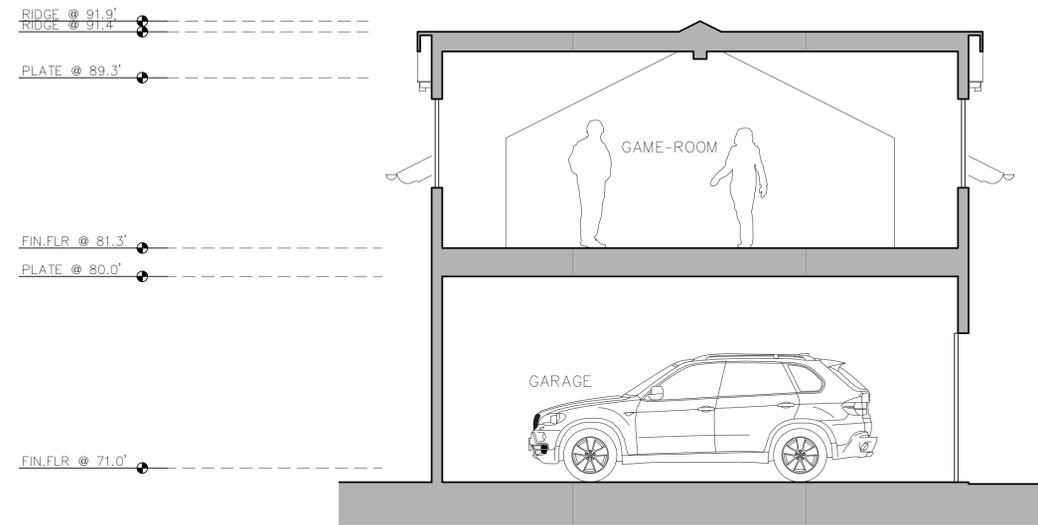
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A5.0

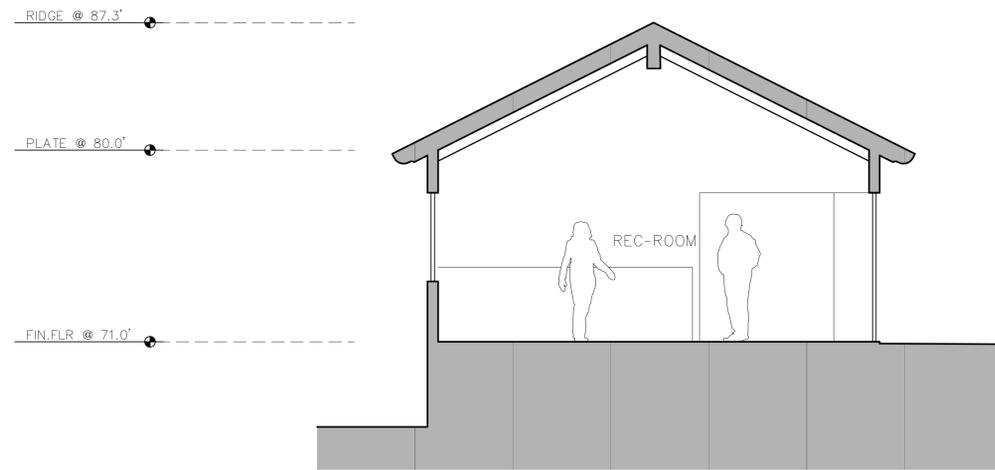
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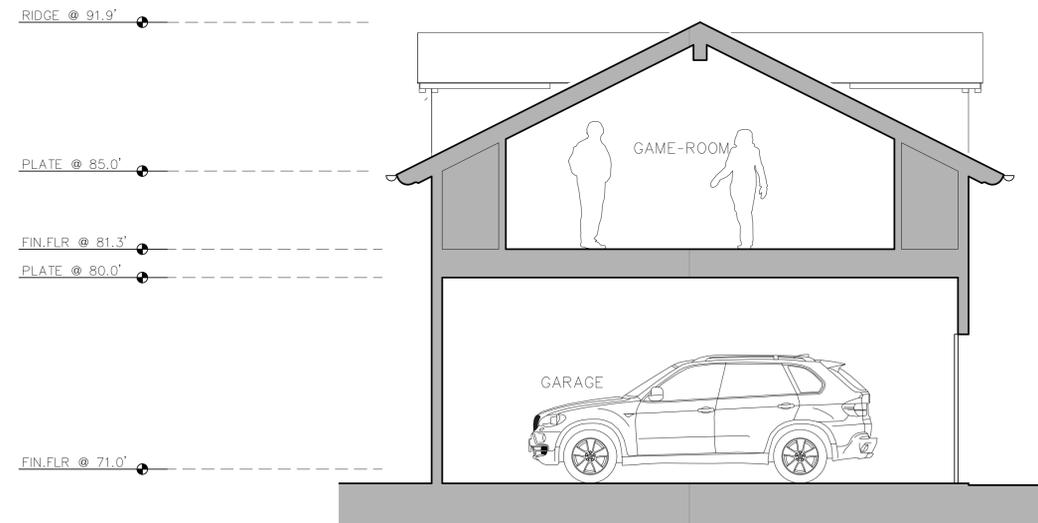
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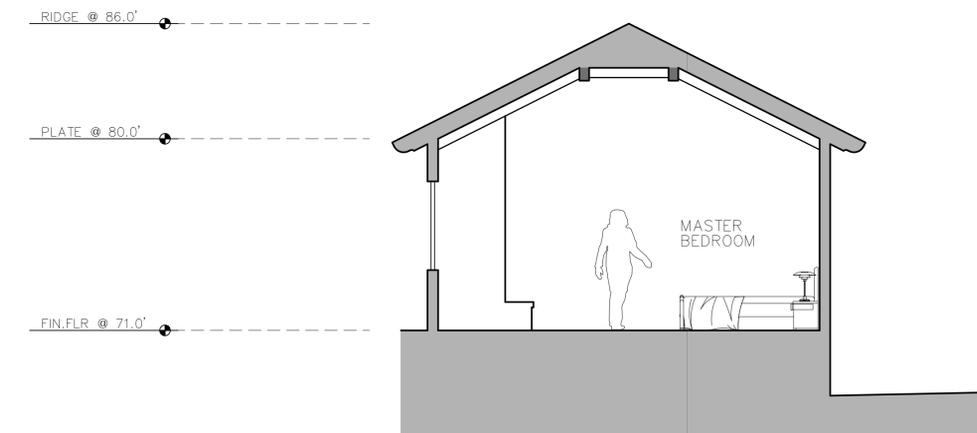
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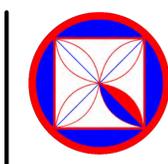
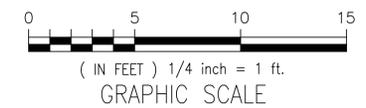
SECTION E



SECTION G



SECTION F



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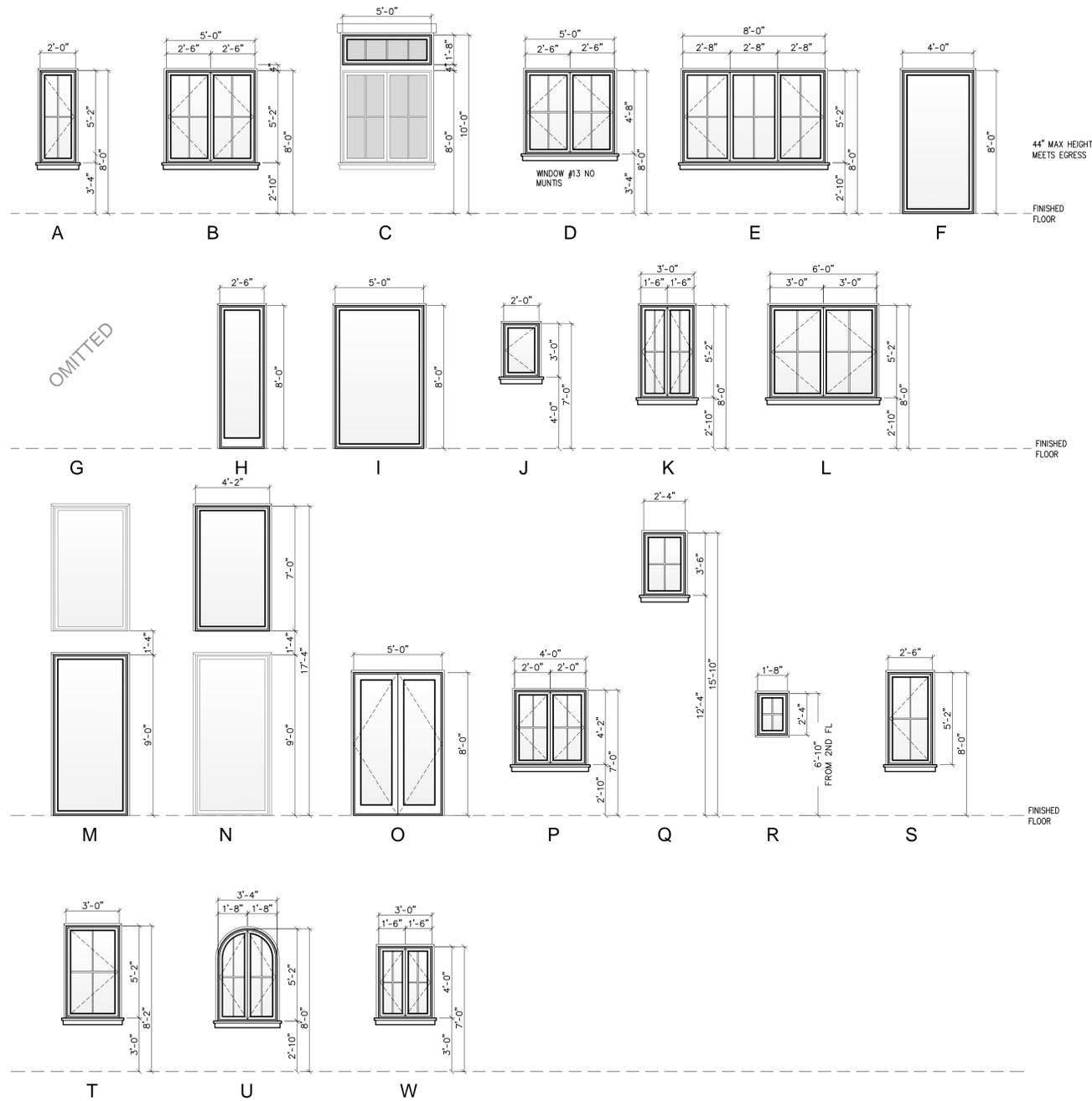
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DRAWN BY:
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SECTIONS
 SCALE: 1" = 1/4"
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WINDOW ELEVATION TYPES



WINDOW SCHEDULE

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
1	MEDIA ROOM	A	2'-0" X 5'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
2	MEDIA ROOM	A	2'-0" X 5'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
3	MEDIA ROOM	B	5'-0" X 5'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
3A	MEDIA ROOM	C	5'-0" X 1'-8"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
4	MEDIA ROOM	A	2'-0" X 4'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
5	MEDIA ROOM	A	2'-0" X 4'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
6	BAR	D	5'-0" X 4'-8"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
7	REC-ROOM	E	8'-0" X 5'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
8	KITCHEN	B	5'-0" X 5'-2"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
8A	LIVING ROOM	I	5'-0" X 7'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
8B	LIVING ROOM	I	5'-0" X 7'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
9	BREAKFAST NOOK	F	4'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
10	BREAKFAST NOOK	F	4'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
11	BREAKFAST NOOK	F	4'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
12	OMITTED	-	-	-	-	-	-	-	-	-
13	BATHROOM ONE	D	5'-0" X 4'-8"	P	CASMENT	WOOD-CLAD	YES	YES	YES	NO
14	MASTER BEDROOM	H	2'-6" X 8'-0"	P	AWNING/LATCH	WOOD-CLAD	YES	YES	YES	NO
15	MASTER BEDROOM	H	2'-6" X 8'-0"	P	AWNING/LATCH	WOOD-CLAD	YES	YES	YES	NO
15A	MASTER BEDROOM	C	5'-0" X 1'-8"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
16	MASTER BEDROOM	H	2'-6" X 8'-0"	P	AWNING/LATCH	WOOD-CLAD	YES	NO	NO	NO
17	MASTER BEDROOM	H	2'-6" X 8'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
18	MASTER BATHROOM	I	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
19	MASTER BATHROOM	I	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
20	MASTER BATHROOM	J	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
21	MASTER BATHROOM	H	2'-6" X 7'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
22	WATER CLOSET	J	2'-0" X 3'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
23	BEDROOM/STUDY	H	2'-6" X 8'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
24	BEDROOM/STUDY	H	2'-6" X 8'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
25	BATHROOM ONE	K	3'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
26	BEDROOM ONE	L	6'-0" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
27	STAIRS	M	4'-2" X 9'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
27A	STAIRS	N	4'-2" X 7'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
28A	STAIRS	N	4'-2" X 7'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
29A	STAIRS	N	4'-2" X 7'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
28	STAIRS	M	4'-2" X 9'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
29	STAIRS	M	4'-2" X 9'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
30	HALLWAY	I	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
31	HALLWAY	I	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
32	HALLWAY	J	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
33	DINING ROOM	O	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
34	DINING ROOM	O	5'-0" X 8'-0"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
35	GUEST BATHROOM ONE	J	2'-0" X 3'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
36	GUEST SUITE	P	4'-0" X 5'-2"	P	CRANK/CASEMENT	WOOD-CLAD	YES	YES	YES	NO
37	GUEST SUITE	K	3'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
38	POWDER ROOM	K	3'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
39	FOYER	Q	2'-4" X 3'-6"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
40	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
41	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
42	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
43	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
44	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
45	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
46	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
47	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
48	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
49	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
50	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
51	LIVING ROOM	R	1'-8" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	NO	NO
52	BEDROOM THREE	S	2'-6" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
53	BEDROOM THREE	B	5'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
54	BEDROOM THREE	S	2'-6" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
55	GAME ROOM	T	3'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
56	GAME ROOM	U	3'-4" X 5'-2"	P	CASEMENT, ARCHED	WOOD-CLAD	YES	YES	YES	NO
57	GAME ROOM	U	3'-4" X 5'-2"	P	CASEMENT, ARCHED	WOOD-CLAD	YES	YES	YES	NO
58	GAME ROOM	B	5'-0" X 5'-2"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
59	BATH TWO	W	3'-0" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
60	BEDROOM TWO	L	6'-0" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO

WINDOW NOTES:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FRO REVIEW BY CODG, Inc.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

NOTE:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS

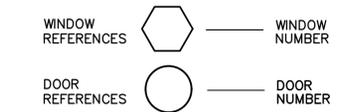
TEMPERED GLASS NOTE:

- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

GLAZING LEGEND

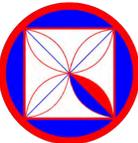
TYPE 1 - TEMPERED GLAZING PER C.B.C. 2406.4

SYMBOLS



ABBREVIATIONS

- N/A — NOT APPLICABLE
 G.C. — GENERAL CONTRACTOR
 P — PAINT
 ST — STAIN
 FF — FACTORY FINISH
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 S — SEALED
 MFR. — MANUFACTURER
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REVIEWS:

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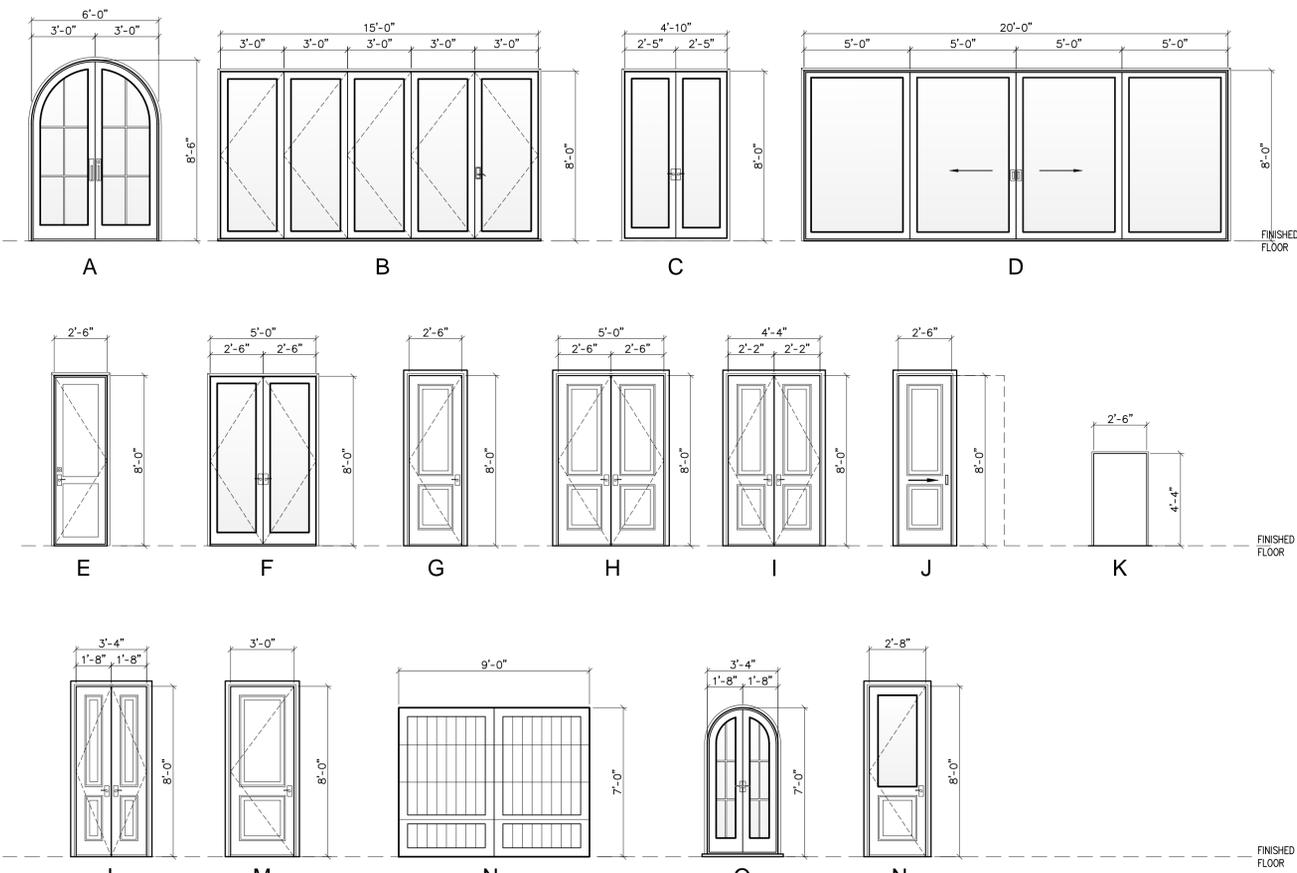
WINDOW SCHEDULE



(IN FEET) 1/4 inch = 1 ft.
 GRAPHIC SCALE

SCALE: 1/4" = 1'
A6.0

DOOR ELEVATION TYPES



DOOR SCHEDULE

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
1	ENTRY	A	6'-0" X 8'-6"	P	TEMPERED GLASS / WOOD FRENCH DOORS	OUTSIDE	WOOD-CLAD	YES
2	REC-ROOM	B	(5) PER 36"; 15'-0" X 8'-0"	P	FULL GLASS BI-FOLDING DOORS	OUTSIDE	WOOD-CLAD	YES
3	REC-ROOM	C	(2) PER 29"; 4'-10" X 8'-0"	P	FLUSHED / GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
4	LIVING ROOM	D	(4) PER 60"; 20'-0" X 8'-0"	P	POCKET INTO WALL / GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
5	BREAKFAST NOOK	C	(2) PER 29"; 4'-10" X 8'-0"	P	FLUSHED / GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
5B	AUXILIARY KITCHEN	N	2'-8" X 8'-0"	P	FLUSHED / GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
6	MASTER BEDROOM	C	(2) PER 29"; 4'-10" X 8'-0"	P	FLUSHED / GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
7	BEDROOM/STUDY	C	(2) PER 29"; 4'-10" X 8'-0"	P	GLASS / FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
8	GARAGE (W/FR. CLOSING)	E	2'-6" X 8'-0"	P	FLUSHED / PANELED SELF CLOSING 2HR RATED	OUTSIDE	WOOD-CLAD	NO
9	DINING ROOM	F	(2) PER 30"; 5'-0" X 8'-0"	P	FLUSHED / GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD-CLAD	YES
10	MEDIA ROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
11	GUEST BATHROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
12	FOYER	H	(2) PER 30"; 5'-0" X 7'-0"	P	FLUSHED / PANELED FRENCH DOOR	INSIDE	WOOD	NO
13	FOYER	H	(2) PER 30"; 5'-0" X 7'-0"	P	FLUSHED / PANELED FRENCH DOOR	INSIDE	WOOD	NO
14	GUEST SUITE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
15	GUEST CLOSET	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
16	GUEST BATHROOM ONE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
17	COATS	I	(2) PER 26"; 4'-4" X 7'-0"	P	FLUSHED / PANELED / FRENCH DOOR	INSIDE	WOOD	NO
18	POWDER ROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
19	AUXILIARY KITCHEN	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
20	PANTRY	J	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR / POCKET DOOR	INSIDE	WOOD	NO
21	MASTER BEDROOM	H	(2) PER 30"; 5'-0" X 8'-0"	P	FLUSHED / PANELED FRENCH DOOR	INSIDE	WOOD	NO
22	LAUNDRY ROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
23	BEDROOM ONE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
23A	HALLWAY	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
24	BEDROOM ONE	G	2'-6" X 8'-0"	P	FLUSHED/SOLID CORE/PANELED DOOR/SELF-CLOSING 20-MIN FIRE RATED MINIMUM	INSIDE	WOOD	NO
25	GARAGE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
26	GARAGE (W/FR. CLOSING)	E	2'-6" X 8'-0"	P	FLUSHED / PANELED SELF CLOSING 2HR RATED	INSIDE	WOOD-CLAD	NO
27	MUD-ROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
28	BEDROOM/STUDY	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
29	BEDROOM/STUDY	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
30	WATER CLOSET	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
31	MASTER BATHROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
32	MASTER BATHROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
33	MASTER BATHROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
34	MASTER CLOSET	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
35	MASTER CLOSET	L	(2) PER 20"; 3'-4" X 8'-0"	P	FLUSHED / PANELED / FRENCH DOOR	INSIDE	WOOD	NO
46	GARAGE	N	9'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	OUTSIDE	WOOD	NO
47	GARAGE	N	9'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	OUTSIDE	WOOD	NO
48	GARAGE	N	9'-0" X 7'-0"	P	ROLL-UP WOOD CARRIAGE GARAGE DOOR	OUTSIDE	WOOD	NO
36	STUDY	K	2'-6" X 4'-4"	P	FLUSHED / PANELED DOOR	OUTSIDE	WOOD	YES
37	LAUNDRY CLOSET	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
38	STUDY BATHROOM	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
39	BEDROOM TWO	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
40	CLOSET TWO	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
41	BATH TWO	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
42	GAME-ROOM	M	3'-0" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
43	BEDROOM THREE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
44	CLOSET THREE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
45	BATHROOM THREE	G	2'-6" X 8'-0"	P	FLUSHED / PANELED DOOR	INSIDE	WOOD	NO
49	GAME-ROOM	O	(2) PER 20"; 3'-4" X 7'-0"	P	FLUSHED / GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD	NO
50	GAME-ROOM	O	(2) PER 20"; 3'-4" X 7'-0"	P	FLUSHED / GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD	NO
51	GAME-ROOM	O	(2) PER 20"; 3'-4" X 7'-0"	P	FLUSHED / GLASS / PANELED FRENCH DOOR	OUTSIDE	WOOD	NO

DOOR NOTES:

1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
6. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
8. DOOR HINGES TO BE 4.5Hx4.5W. DOOR 7'-0"
9. ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
10. GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
11. THE DOOR FINISH PER CLIENT OR CODG, INC.
12. THE DOOR STILES TO BE PER PLAN
13. CHECK FLOOR PLAN FOR HINGES LOCATION
14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

NOTE:

1. FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
2. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

TEMPERED GLASS NOTE:

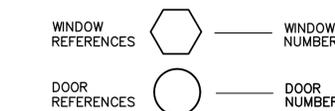
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 C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
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GLAZING LEGEND

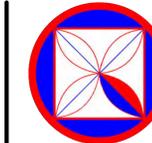
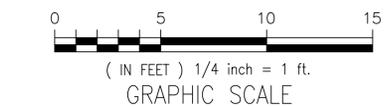
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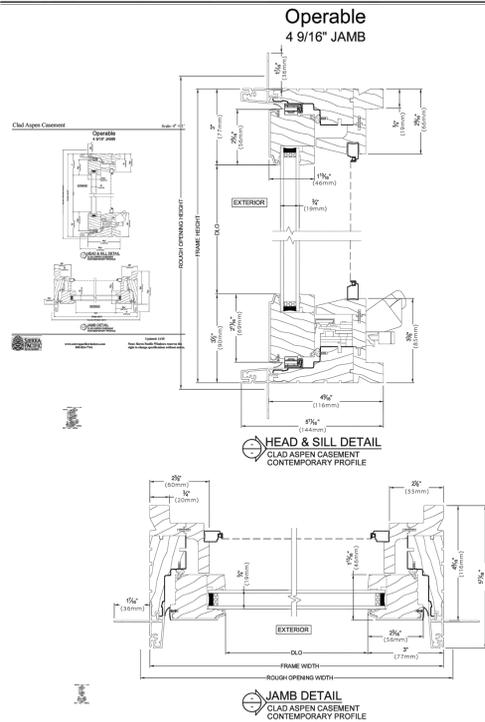
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 DRAWN BY: C.O.

DOOR SCHEDULE

A6.1

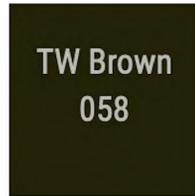


www.sierrapacificwindows.com
800-824-7744

Updated: 11/18
Note: Sierra Pacific Windows reserves the right to change specifications without notice.

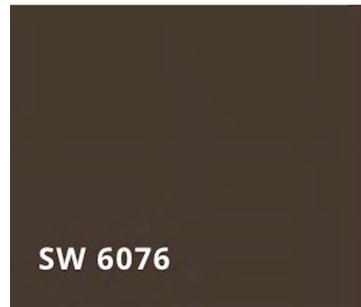
1 WINDOW

MANUFACTURE: SIERRA PACIFIC
MATERIAL: WOOD-CLAD
MODEL: ASPEN
MUNTIN: NONE
COLOR: TW BROWN 058
GLAZING: DOUBLE PANES



8 NEW GUARD RAIL

MANUFACTURE: TITAN BUILDING PRODUCTS
MATERIAL: WROUGHT IRON
FINISH: POWDER COATED BLACK
HEIGHT: 32" MIN.



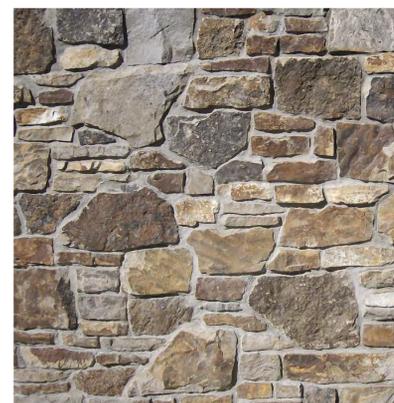
2 TRIM COLOR

MANUFACTURE: SHERWIN WILLIAMS
COLOR: SW 6076
OPACITY: SEMI-SOLID



5 PLASTER SIDING

COLOR: BAGE (AGED WHITE)



9 STONE VENEER

MANUFACTURE: TELLURIDE NATURAL STONE & RECLAIMED WOOD
LOCATION: FIREPLACE
MATERIAL: NATURAL STONE
COLOR: NATURAL



3 BULB

MANUFACTURE: FEIT ELECTRIC
WATTS: 4.5 WATTS
LUMENS: 250
BULB TYPE: E26 SOCKET



6 WALKWAY & PATIOS

MANUFACTURE: FLAGSTONE PAVERS.COM
MATERIAL: NATURAL STONE
COLOR: NATURAL



10 PLASTER RETAINING WALL

COLOR: MATCH DWELLING BODY COLOR
FINISH: PLASTER
CAP: STONE CAP TO MATCH MAIN DWELLING



4 FIXTURE A

MANUFACTURE: DESIGNERS FOUNTAIN
COLLECTION: ELLINGTON
DARK SKY: YES
T24 COMPLIANT: YES
FINISH: AGED MEDITERREANEAN
WATTS: SEE BULB, DETAIL 3
LUMENS: SEE BULB, DETAIL 3
BULB TYPE: SEE BULB, DETAIL 3
DIMENSIONS: H16-1/4" X W9



7 DRIVEWAY

MANUFACTURE: IDEALBLOCK.COM
MATERIAL: NATURAL STONE
COLOR: NATURAL

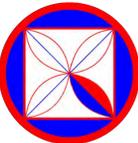


11 CLAY TILE ROOF

MANUFACTURE: REDLAND CLAY TILE
MODEL: BAJA MISSION SANDCAST, 4300 SERIES
MATERIAL: CLAY BARREL TILE
COLOR: BAJA VIEJA BLEND; 4395,4351,4343

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



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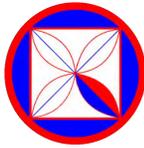
ISSUE: 02-20-25

DRAWN BY: C.O.

MATERIALS

SCALE: 1/4" = 1'

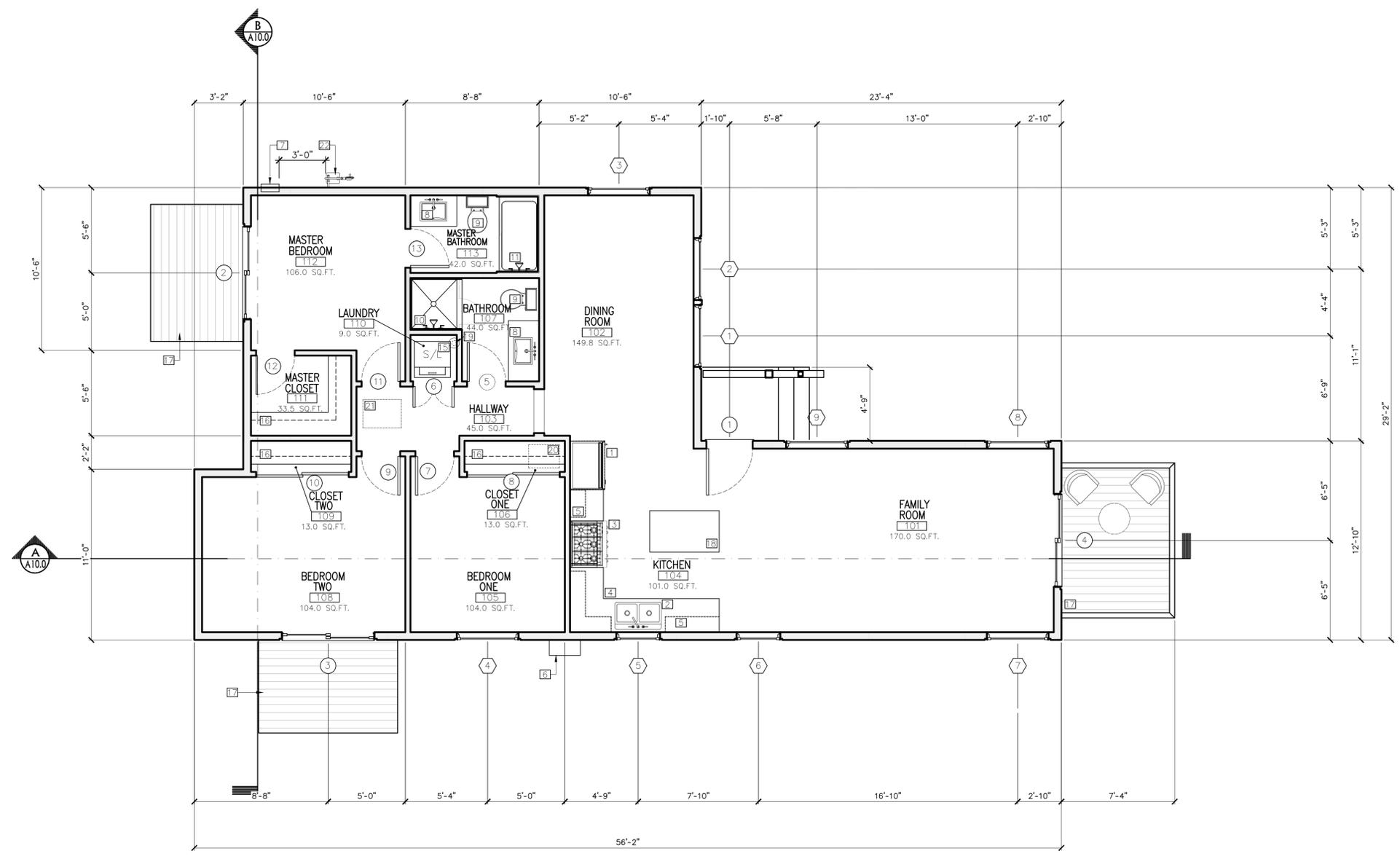
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KEY NOTES

- 1 NEW 36" REFRIGERATOR; PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 2 NEW KITCHEN SINK W/GARBAGE DISPOSAL SINGLE FAUCET WITH PULL OUT
- 3 NEW 36" RANGE DUAL-FUEL RANGE VENTILATED W/36" HOOD ABOVE.
- 4 NEW 42-INCH HIGH COUNTER TOP WITH BACKSPLASH.
- 5 NEW UPPER CABINETS
- 6 NEW TANKLESS WATER HEATER
- 7 NEW MAIN ELEC. 125 AMP PANEL; PROVIDE A WORKING SPACE 30-IN. WIDE X 36-IN. DEEP X 75-IN. TALL. WATER SPIGOTS, WATER LINES, CLEANOUT DRAIN LINES, GUTTER SYSTEMS, OR OTHER SOURCES OF ABOVE-GROUND OR BELOW-GROUND WATER TO WITHIN 36 INCHES AS MEASURED IN A STRAIGHT HORIZONTAL LINE OF ELECTRICAL METER PANEL ARE NOT ALLOWED.
- 8 NEW BATHROOM SINK 36-INCH HIGH W/ W/O VANITY WITH STONE TOP AND BACKSPLASH.
- 9 NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.3.
- 10 NEW TILED SHOWER W/ 3/8" THK SAFETY GLASS INSTALL GLAZING TEMPERED PER MANF.SPECS.
- 11 NEW TILED SHOWER/TUB PER PLAN W/ 3/8" THK SAFETY GLASS INSTALL GLAZING TEMPERED PER MANF.SPECS.
- 12 STACK WASHER & DRYER
- 13 2" ROD WITH SHELF
- 14 WOOD DECK
- 15 KITCHEN ISLAND: 4'-6"x2'-8", 36-INCH HIGH STONE COUNTERTOP
- 16 DRYER EXHAUST TO THE ROOF, EXTERIOR CAN BE REACHED WITHIN 14' AND 2 BENDS.
- 17 18X24 CRAWLSPACE ACCESS DOOR
- 18 22X30 ATTIC ACCESS DOOR
- 19 NEW GAS METER; PROVIDE A MIN. CLEAR AND LEVEL WORKING SPACE OF 3-FT IN FRONT OF THE METER, WITH 2% OR LESS GRADE, 78 INCH HIGH AND 48-54 INCHES WIDE. THE GAS RAISER MAY NOT BE LOCATED LESS THAN 36 INCHES LATERSLLY FROM THE CLOSEST EDGE OF THE ELECTRIC METER PANEL TRANSFORMER, ALL ELECTRICAL EQUIP. WIRING, CENTRAL AIR, AND EXHAUST FAN, VERIFY DESIGN STANDARDS, REGULATIONS WITH LOCAL JURISDICTION, AND COMPLIANCE WITH FEDERAL AND STATE CODE.



SYMBOLS

- SEE SHEET A8.0 WINDOW REFERENCES
- SEE SHEET A8.0 DOOR REFERENCES
- WINDOW NUMBER
- DOOR NUMBER

LEGEND

- (N) WALL
- EXISTING WALLS TO REMAIN
- 1-HOUR RATED WALL
- PROPERTY LINE
- SETBACK LINE
- FENCE



(IN FEET) 1/4 inch = 1 ft.
 GRAPHIC SCALE

REVIEWS:

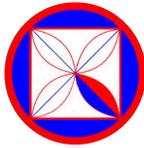
PROJECT: Zhang-Ding Residence
 5436 Quail Meadows, Carmel Valley, CA.
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PROJECT NO.: 23-10

ISSUE: 02-20-25

ACCESSORY DWELLING UNIT PLAN

SCALE: 1" = 1/4"
A8.0

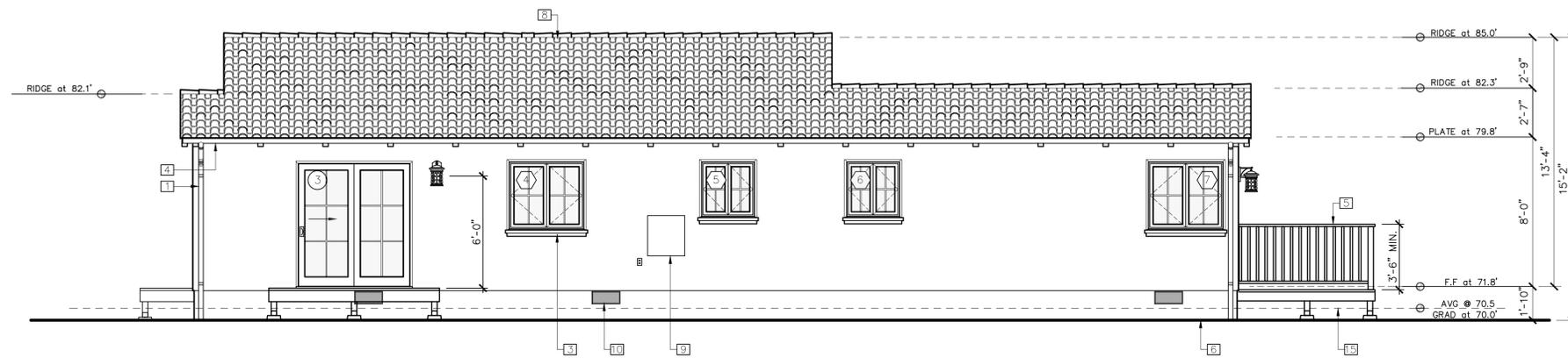
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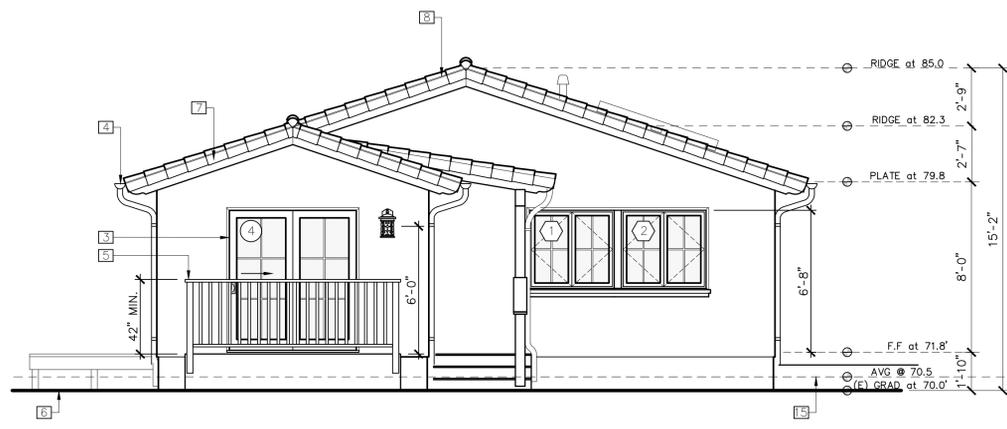
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KEY NOTES

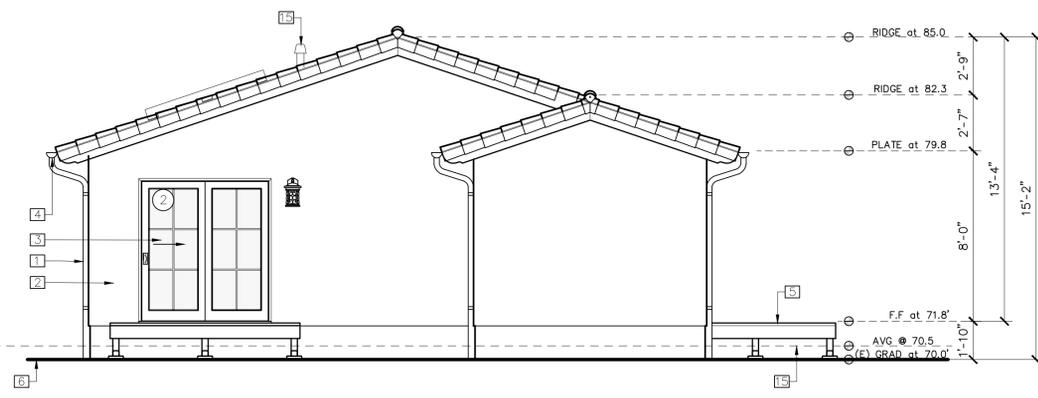
- 1 DOWN SPOUT; COPPER CONNECTED TO A DRAINAGE SYSTEM
- 2 PLASTER SIDING; THREE COATS
- 3 DOOR & WINDOWS; WOOD CLAD
- 4 GUTTER; COPPER, 3-IN DIA.
- 5 WOOD DECK & GUARDRAILS
- 6 EXISTING GRADE
- 7 SOLAR PANELS-PV MODULE TYPE: PREMIUM LG LG36501C-VS 365W HIGH EFFICIENCY LG NEON R INSTALL PER MANUFACTURES SPECIFICATIONS
- 8 BARREL CLAY TILES
- 9 TANKLESS WATER HEATER
- 10 1'-6"x8" CRAWL SPACE VENT LOCATION
- 11 DRYER EXHAUST LENGTH IS 12'-4" TOTAL WITH 2'-0" ELBOW AT REMOVABLE LEFT VENT KNOCKOUT AT THE BACK OF APPLIANCE PER INSTALLATION GUIDE
- 12 GAS METER
- 13 120 V ELEC. METER
- 14 WP GFI OUTLET
- 15 AVG: $69.8+71.2=141/2=70.5'$



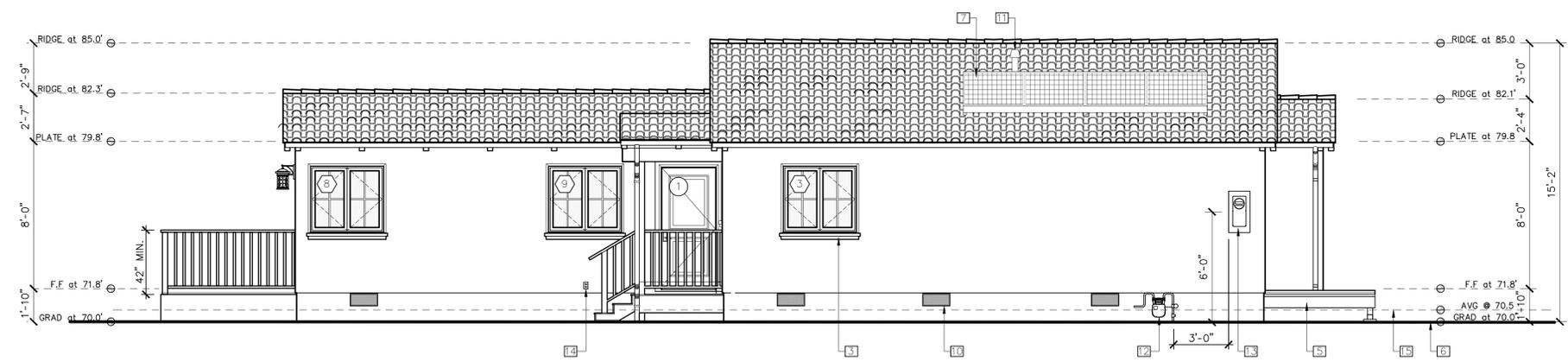
WEST ELEVATION



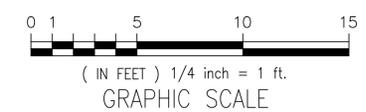
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



REVIEWS:

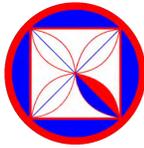
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ACCESSORY DWELLING ELEVATIONS

DRAWN BY: C.O.
A9.0

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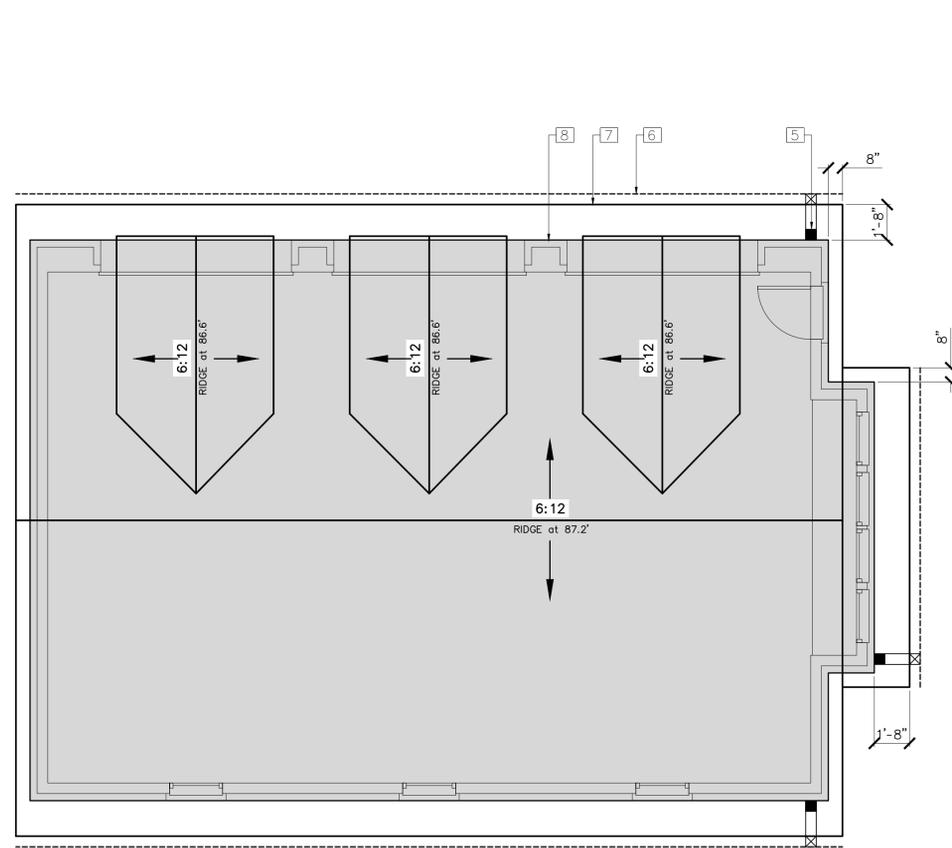
KEY NOTES

- 1 WORK BENCH, WOOD TOP, 36-IN HIGH WITH STORAGE DRAWERS
- 2 STONE VENEER CLADDING
- 3 EXPOSED WOOD HEADER
- 4 EVC; ELECTRIC VEHICLE CHARGER
- 5 3-IN ROUND COPPER DOWNSPOUTS
- 6 6-IN HALF ROUND COPPER GUTTERS W/ 2% SLOPE
- 7 ROOF SHOWN THICK SOLID LINE
- 8 MAIN STRUCTURE SHOWN DASHED LINE

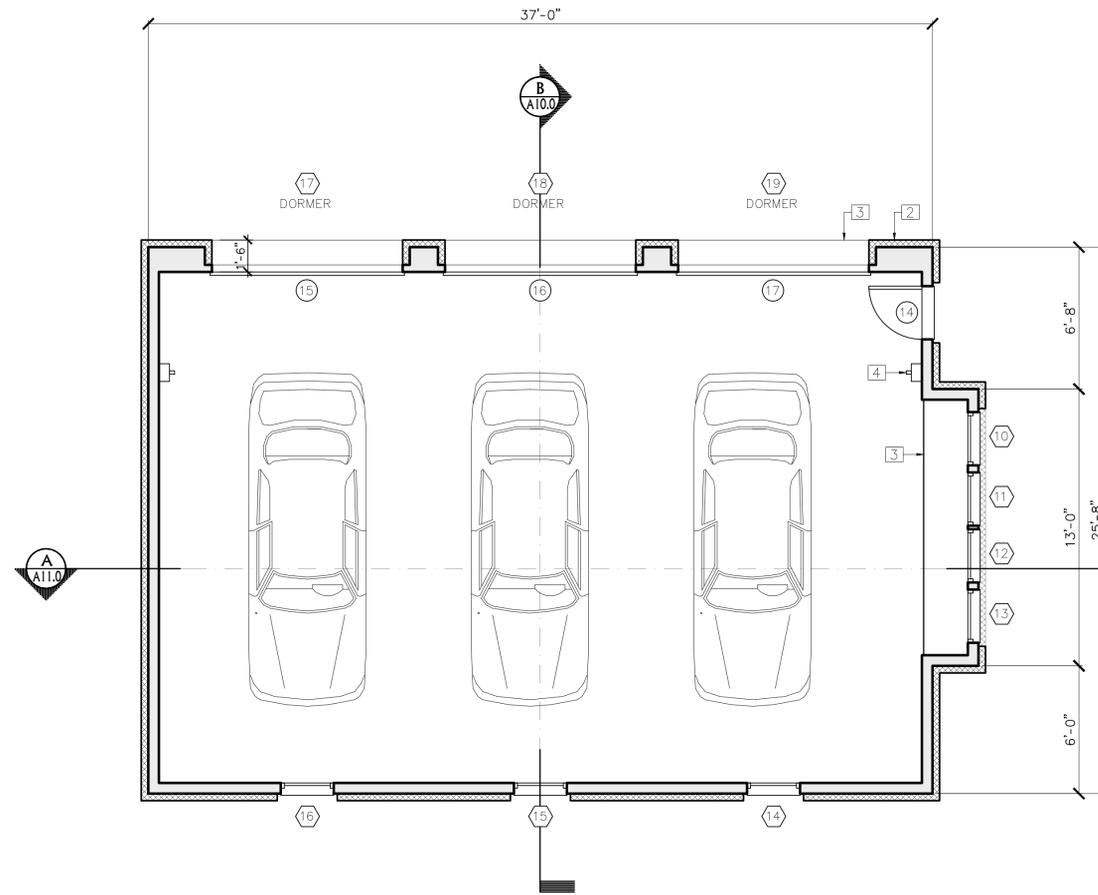
LEGEND

- NEW 2X6 WALL
- STONE VENEER
- ROOF SLOPE DIRECTION ARROW
- ROOF LINE: NEW THICK SOLID LINE
- MAIN STRUCTURE FOOTPRINT THIN DASHED LINE
- GUTTERS
- DOWNSPOUTS W/2% SLOPE
- BUILDING FOOTPRINT

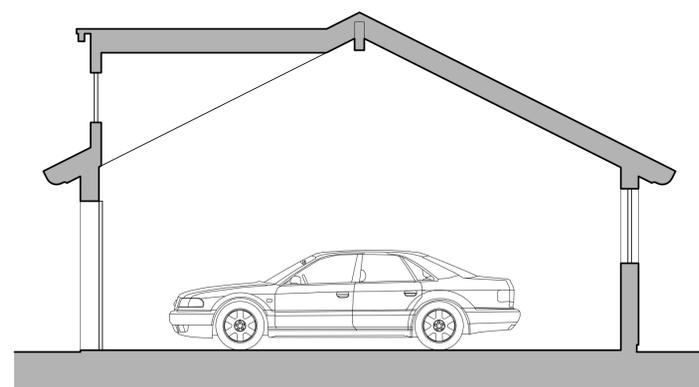
- SEE SHEET A8.0 REFERENCES WINDOW WINDOW NUMBER
- SEE SHEET A8.0 REFERENCES DOOR DOOR NUMBER



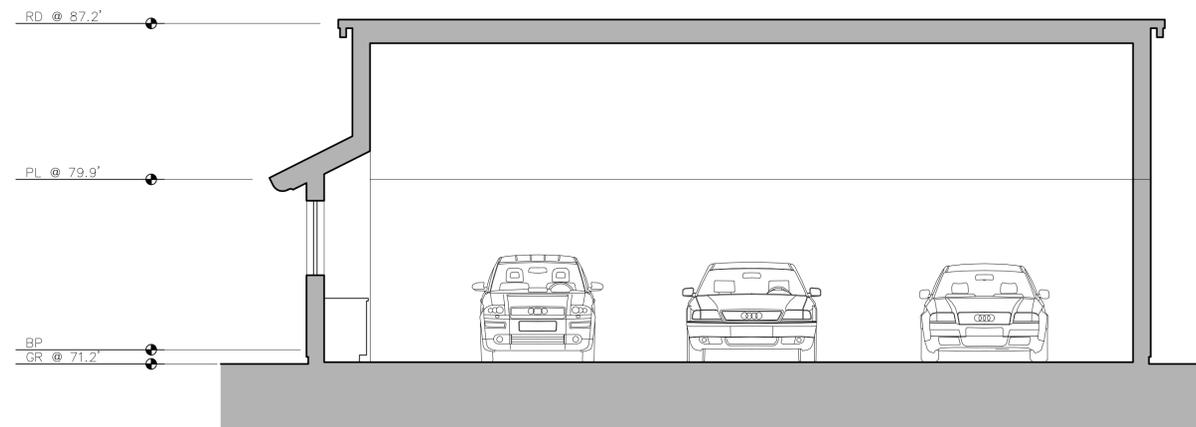
DETACHED GARAGE ROOF PLAN



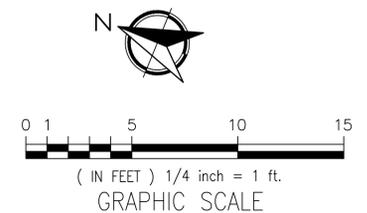
DETACHED GARAGE FLOOR PLAN



SECTION B



SECTION A

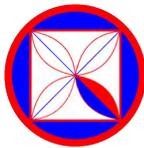


REVIEWS:

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ISSUE:
 02-20-25
APN: 157-171-017
PROJECT NO.:
 23-10
DRAWN BY:
 C.O.

**DETACHED GARAGE;
 FLOOR PLAN, ROOF
 PLAN & SECTIONS**

A11.0



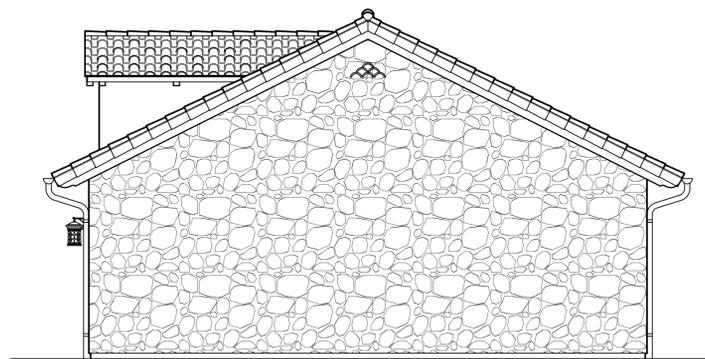
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KEY NOTES

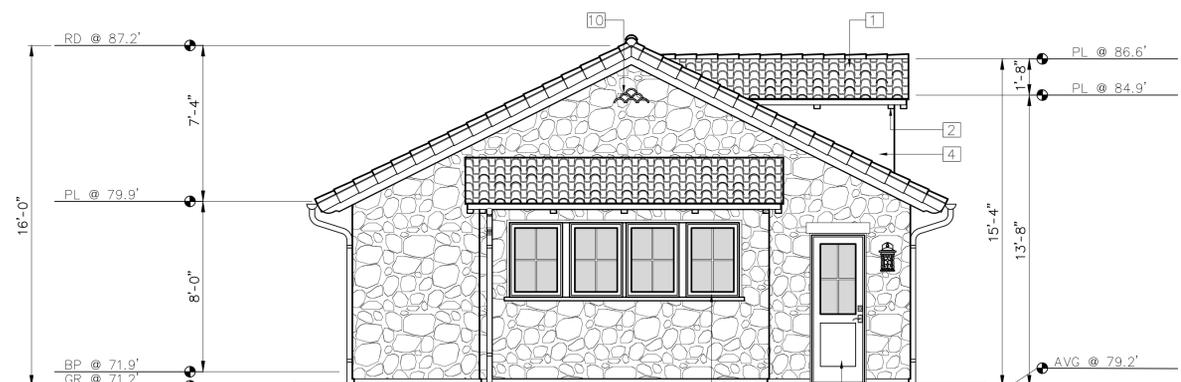
- 1 ROOF: 6:12 PITCH, BARREL CLAY TILE
- 2 RAFTER TAILS: 4X10 SHAPED, REDWOOD
- 3 6-INCH COPPER GUTTERS, 3-INCH DOWNSPOUTS CONNECTED TO A DRAINAGE SYSTEM.
- 4 PLASTER SIDING, THREE COATS, SMOOTH FINISH.
- 5 WOOD CLAD WINDOWS
- 6 WOOD DOOR WITH GLASS PANEL.
- 7 STONE VENEER; NATURAL STN
- 8 GARAGE DOOR; WOOD, ROLLED UP
- 9 LIGHT FIXTURE; DARK SKY PER SPECIFICATIONS
- 10 CLAY BARREL TILE DECORATIVE VENTS
- 11 GRADE WHERE OCCURS
- 12 STONE LINTEL
- 13 AVG: 70.0'+71.8'= 141.8/2=70.9'



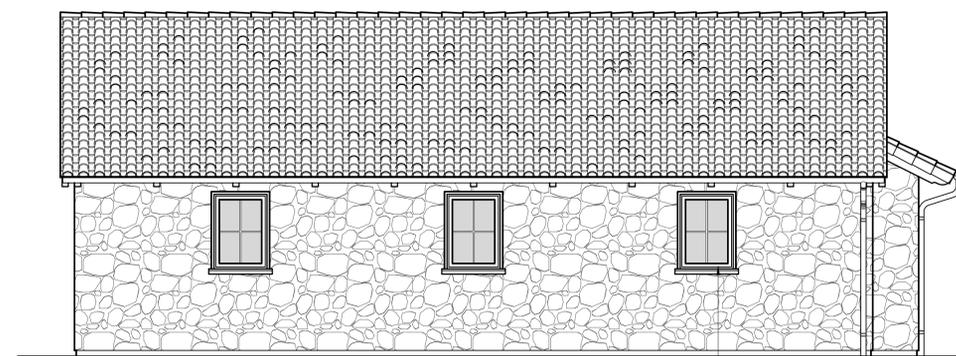
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

REVIEWS:

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 Zhang-Ding Residence
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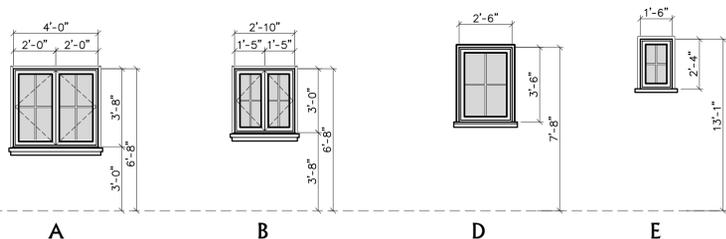
**DETACHED GARAGE
 ELEVATIONS**

SCALE: 1/4" = 1'

A12.0

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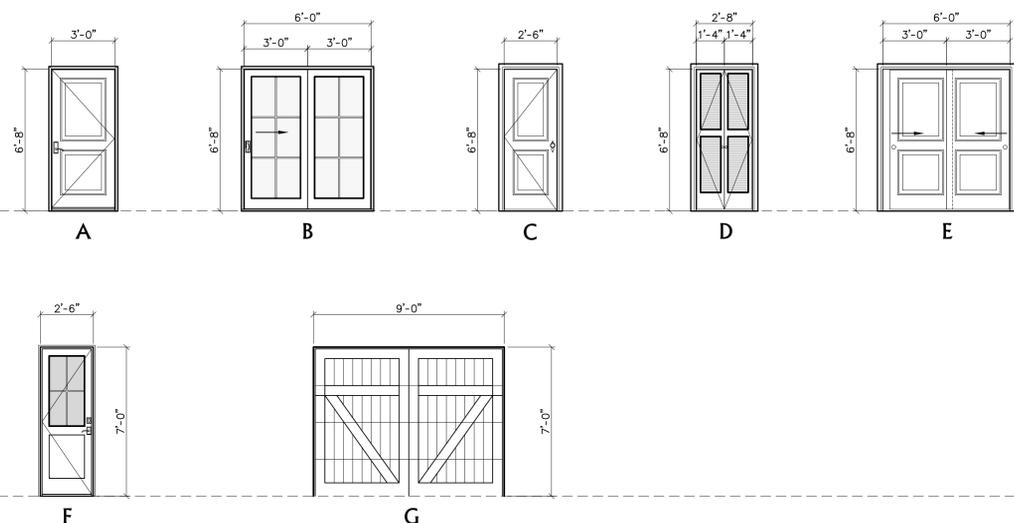
Window Elevations Types



FINISHED FLOOR

FINISHED FLOOR

Door Elevations Types



FINISHED FLOOR

FINISHED FLOOR

Window Schedule

ACCESSORY DWELLING UNIT	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS
ACCESSORY DWELLING UNIT	1	DINING ROOM	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	2	DINING ROOM	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	3	DINING ROOM	A	4'-0" X 3'-8"	P	SINGLE CASEMENT	WOOD-CLAD	YES	YES	NO	NO
	4	BEDROOM ONE	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	YES
	5	KITCHEN	B	2'-10" X 3'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	6	FAMILY ROOM	B	2'-10" X 3'-0"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	7	FAMILY ROOM	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	8	FAMILY ROOM	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	9	FAMILY ROOM	A	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
DETACHED GARAGE	10-16	DETACHED GARAGE	D	2'-6" X 3'-6"	P	CASEMENT	WOOD-CLAD	YES	YES	YES	NO
	17-19	DETACHED GARAGE	E	1'-6" X 2'-4"	P	FIXED	WOOD-CLAD	YES	YES	YES	NO

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"x4.5"x7" DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, Inc.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS, AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O.)

Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

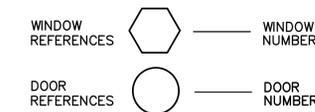
Tempered Glass Note:

- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

Door Schedule

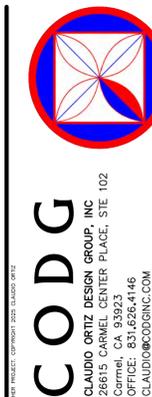
ACCESSORY DWELLING UNIT	NO.	LOCATION	TYPE	SIZE	MATERIAL	FINISH	REMARKS	GLAZING	TEMPERED	
ACCESSORY DWELLING UNIT	1	FAMILY ROOM	A	3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	OUTSIDE	NO	NO
	2	MASTER BEDROOM	B	PER-3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR/SLIDING	OUTSIDE	YES	YES
	3	BEDROOM TWO	B	PER-3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR/SLIDING	OUTSIDE	YES	YES
	4	FAMILY ROOM	B	PER-3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR/SLIDING	OUTSIDE	YES	YES
	5	BATHROOM	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
	6	LAUNDRY ROOM	D	PER-1'-4" X 6'-8"	WOOD-CLAD	P	FLUSHED / LOUVERED DOOR	INSIDE	NO	NO
	7	BEDROOM ONE	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
	8	BEDROOM ONE CLOSET	E	PER-3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR/SLIDING	INSIDE	NO	NO
	9	BEDROOM TWO	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
	10	BEDROOM TWO CLOSET	E	PER-3'-0" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR/SLIDING	INSIDE	NO	NO
	11	MASTER BEDROOM	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
	12	MASTER CLOSET	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
	13	MASTER BATHROOM	C	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	INSIDE	NO	NO
DETACHED GARAGE	14	MASTER BATHROOM	F	2'-6" X 6'-8"	WOOD-CLAD	P	FLUSHED / PANELED DOOR	OUTSIDE	YES	YES
	15-17	MASTER BATHROOM	G	9'-0" X 7'-0"	WOOD	P	ROLL-UP CARRIAGE DOOR	OUTSIDE	NO	NO

Symbols



Abbreviations

- N/A NOT APPLICABLE
 G.C. GENERAL CONTRACTOR
 P. PAINT
 ST. STAIN
 FF. FACTORY FINISH
 I.D. INTERIOR DESIGN
 S. SEALED
 MFR. MANUFACTURER
 FIN. FINISH
 NAT. NATURAL



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REVIEWS:

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ISSUE: 02-20-25
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PROJECT NO: 23-10
DRAWN BY: C.C.

SCALE: 1" = 1/4"

WINDOW & DOOR SCHEDULES-ADU & DETACHED GARAGE

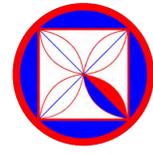
SCALE: 1" = 1/4"

A13.0



LEGEND

	MAIN LEVEL
	UPPER LEVEL
	PROPERTY LINE
	PROPERTY LINE SET BACK
	BUILDING FOOT PRINT
	NEW CONTOUR LINES
	HOSE BIB
	GAS VALVE
	EXISTING TREE
	NEW TREES
	TREES TO BE REMOVED
	GREEN ZONE 1 (0'-30')
	MANAGEMENT ZONE 2 (30'+) WITH UP TO 100' OF VEGETATION MAINTENANCE



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REVIEWS:

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 ZHANG-DING-QUAIL MEADOWS RESIDENCE
 5486 QUAIL MEADOWS DR., CARMEL CA 93923
 TRACT# 1161-LOT 17
 APN: 157-171-07-000
PROJECT NO.
 23-10

ISSUE:
 02-20-25
DRAWN BY:
 --

FUEL MANAGEMENT PLAN

SCALE: 1" = 1/32"

L2

MANAGEMENT ZONE

DEFENSIBLE SPACE ZONES

PROVIDED BY CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION
[HTTPS://WWW.FIRE.CA.GOV/DSPACE](https://www.fire.ca.gov/dspace)

ZONE 0: EMBER RESISTANT

THE FIRST FIVE FEET FROM YOUR HOME IS THE MOST IMPORTANT. KEEPING THE AREA CLOSEST TO BUILDINGS, STRUCTURES, AND DECKS CLEAR WILL PREVENT EMBERS FROM IGNITING MATERIALS THAT CAN SPREAD THE FIRE TO YOUR HOME.

WHY? THE MAJORITY OF HOMES LOST TO WILDFIRE ARE IGNITED BY FLYING EMBERS. EMBERS CAN TRAVEL MILES AHEAD OF THE ACTIVE FRONT OF WILDFIRES.

WHAT TO DO:

1. USE HARDSCAPE LIKE GRAVEL, PAVERS, OR CONCRETE. NO COMBUSTIBLE BARK OR MULCH.
2. REMOVE ALL DEAD AND DYING PLANTS, WEEDS, AND DEBRIS (LEAVES, NEEDLES, ETC.) FROM YOUR ROOF, GUTTER, DECK, PORCH, STAIRWAYS, AND UNDER ANY AREAS OF YOUR HOME.
3. REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY CHIMNEY OR STOVEPIPE OUTLET.
4. LIMIT COMBUSTIBLE ITEMS (LIKE OUTDOOR FURNITURE AND PLANTERS) ON TOP OF DECKS.
5. RELOCATE FIREWOOD AND LUMBER TO ZONE 2.
6. REPLACE COMBUSTIBLE FENCING, GATES, AND ARBORS ATTACHED TO THE HOME WITH NONCOMBUSTIBLE ALTERNATIVES.
7. CONSIDER RELOCATING GARBAGE AND RECYCLING CONTAINERS OUTSIDE THIS ZONE.
8. CONSIDER RELOCATING BOATS, RVs, VEHICLES, AND OTHER COMBUSTIBLE ITEMS OUTSIDE THIS ZONE.

ZONE 1: KEEP IT LEAN, CLEAN, AND GREEN WITHIN 30 FEET GREEN ZONE

REGULARLY CLEAR DEAD OR DRY VEGETATION AND CREATE SPACE BETWEEN TREES. DURING TIMES OF DROUGHT WHEN WATERING IS LIMITED, PAY SPECIAL ATTENTION TO CLEARING DEAD OR DYING MATERIAL.

WHY? REMOVING DEAD PLANTS AND CREATING SPACE BETWEEN TREES AND SHRUBS CREATES A BUFFER FOR YOUR PROPERTY AND REDUCES POTENTIAL FUEL FOR FIRE.

WHAT TO DO:

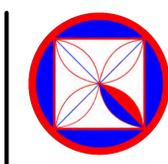
1. REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS.
2. REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES.
3. TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
4. CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.

4. CREATE VERTICAL SPACE BETWEEN GRASS, SHRUBS AND TREES. (SEE DIAGRAM)
5. MAINTAIN SPACE BETWEEN THE LOWEST TREE BRANCHES AND THE GROUND OR SHRUBS.
 - REMOVE ALL TREE BRANCHES AT LEAST SIX FEET FROM THE GROUND.
 - ALLOW EXTRA VERTICAL SPACE BETWEEN SHRUBS AND TREES. LACK OF VERTICAL SPACE CAN ALLOW A FIRE TO MOVE FROM THE GROUND TO THE BRUSH TO THE TREETOPS LIKE A LADDER. THIS LEADS TO MORE INTENSE FIRE CLOSER TO YOUR HOME.
 - KEEP AT LEAST THREE TIMES THE HEIGHT OF ANY SHRUBS BETWEEN THE SHRUBS AND THE LOWEST BRANCHES OF TREES.



6. REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF THREE INCHES.
7. KEEP 10 FEET OF CLEARANCE AROUND EXPOSED WOOD PILES, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.
8. CLEAR AREAS AROUND OUTBUILDINGS AND PROPANE TANKS. KEEP 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

NOTE: SEE ATTACHED ARBORIST REPORT FROM THOMPSON WILDLAND MANAGEMENT FOR ADDITIONAL RECOMMENDATIONS



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REVIEWS:

PROJECT:
 Zhang-Ding Residence
 5436 Quail Meadows, Carmel Valley, CA.
ISSUE:
 01-18-2025
APN: 157-171-017
PROJECT NO.: 23-10

DRAWN BY:
 C.O.

LANDSCAPE & FUEL MANAGEMENT PLAN NOTES

SCALE: 1" = 1/4"

L3



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LEGEND

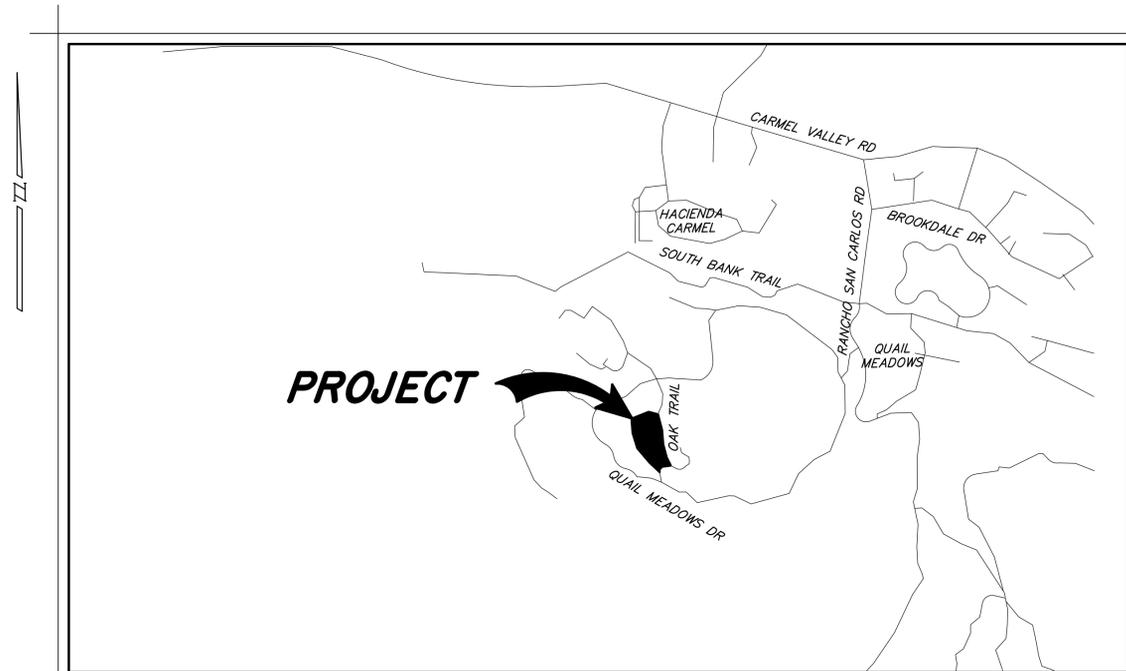
EXISTING	PROPOSED
× 51.00 8"SS	GROUND ELEVATION
○ SSCO	SEWER LINE
○ SSMH	SEWER CLEAN OUT
12"SD	SEWER MANHOLE
SDMH	STORM DRAIN LINE
SDMH	STORM INLET
SDMH	STORM MANHOLE
10"W	WATER LINE
BFP	BACK FLOW PREVENTER
FH	FIRE HYDRANT
WV	VALVE
WM	WATER METER
UKMH	UNKNOWN MANHOLE
CTVB	CABLE TV BOX
G	GAS LINE
PLID	EDGE OF PAVEMENT
PLID	PUMP LID
○	TREE
⊕	BENCHMARK
○	STORM DRAIN MANHOLE
■	CATCH BASIN
⊕	AREA DRAIN
12"SD	STORM DRAIN LINE
⊕	RIPRAP
△	REVISION DELTA SYMBOL
P100.00	PROPOSED PAVEMENT ELEVATION
FL100.00	PROPOSED FLOWLINE ELEVATION
C100.00	PROPOSED CONCRETE ELEVATION
TC100.00	PROPOSED TOP OF CURB ELEVATION
FG100.00	PROPOSED FINISHED GRADE ELEVATION
TOW100.00	PROPOSED TOP OF WALL ELEVATION
BOW100.00	PROPOSED BOTTOM OF WALL ELEVATION
2.00%	FUTURE GROUND SLOPE & DIRECTION

IMPROVEMENT PLANS FOR CARMEL VALLEY 5486 QUAIL MEADOWS DR CARMEL BY THE SEA, CALIFORNIA

DRAWING INDEX			
SHT. NO.	DWG. NO.	REV.	TITLE
1	CO1		COVER SHEET
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3	TO1		TOPOGRAPHY AND DEMOLITION PLAN
4	CS1		CALCULATED SITE PLAN
5	GP1		GRADING PLAN
6	GP2		GRADING DETAILS
7	SW1		STORMWATER PLAN
8	SQ1		STORMWATER QUALITY CONTROL PLAN
9	CD1		CONSTRUCTION DETAILS
10	CD2		CONSTRUCTION DETAILS
11	ER1		EROSION CONTROL PLAN
12	ER2		EROSION CONTROL DETAILS AND SPECIFICATIONS
13	SA1		EXISTING SLOPE ANALYSIS

ABBREVIATIONS

AB	AGGREGATE BASE	MPVC	MID POINT OF VERTICAL CURVE
AC	ASPHALTIC CONCRETE	MRDD	MAXIMUM RELATIVE DRY DENSITY
AD	AREA DRAIN	NOI	NOTICE OF INTENT
A.E.	ACCESS EASEMENT	NTS	NOT TO SCALE
AMR	AUTOMATIC METER READING	OC	ON CENTER
AP	ANGLE POINT	P	PAVEMENT
ARV	AIR RELEASE VALVE	PCC	PORTLAND CEMENT CONCRETE
BC	BEGIN CURVE / BACK OF CURB	PCVC	POINT COMPOUND VERTICAL CURVE
BO	BLOWOFF VALVE	PERF	PERFORATED
BOW	BOTTOM OF WALL	PED.	PEDESTRIAN EASEMENT
BPT	BEGIN POINT OF TRANSITION	PL	PROPERTY LINE
BSBL	BUILDING SETBACK LINE	PRC	POINT OF REVERSE CURVE
BSW	BACK OF SIDEWALK	PRS	PRESSURE REDUCING STATION
BTC	BACK TOP OF CURB	PRVC	POINT OF REVERSE VERTICAL CURVE
BV	BUTTERFLY VALVE	PVI	POINT OF VERTICAL INTERSECTION
BVC	BEGIN VERTICAL CURVE	PVIS	POINT OF VERTICAL INTERSECTION STATION
BWL	BROKEN WHITE LINE	PVIE	POINT OF VERTICAL INTERSECTION ELEVATION
BYL	BROKEN YELLOW LINE	PT	POINT
C	CONCRETE	P.U.E.	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	R	RADIUS
CBC	CALIFORNIA BUILDING CODE	R/W	RIGHT-OF-WAY
CL	CENTERLINE	RD	RELATIVE DENSITY
CLR	CLEAR	RP	RETURN POINT
CMB	CLUSTER MAILBOX	SDE	STORM DRAIN EASEMENT
C.O.A.	CONDITIONS OF APPROVAL	SDMH	STORM DRAIN MANHOLE
C.O.M.	COUNTY OF MONTEREY	SF	SQUARE FEET
DEC	DECORATIVE	SG	SUB GRADE
DK	DIKE	SL	SEWER SERVICE
EC	END OF CURVE	SNS	STREET NAME SIGN
ELEV	ELEVATION	SSE	SANITARY SEWER EASEMENT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EPT	END POINT OF TRANSITION	SSTM	SANITARY SEWER TERMINAL MANHOLE
EVC	END VERTICAL CURVE	STA	STATION
EX, EXIST	EXISTING	STD.	STANDARD
FC	FACE OF CURB	STL	STREET LIGHT
FF	FINISH FLOOR	SW	SIDEWALK
FG	FINISH GRADE	SWL	SOLID WHITE LINE
FH	FIRE HYDRANT	TBC	TOP BACK OF CURB
FL	FLOW LINE	TC	TOP OF CURB
FM	FORCE MAIN	TCLF	TOP OF CHAIN LINK FENCE
FSW	FACE OF SIDEWALK	TD	TOP OF AC DIKE
GB	GRADE BREAK	TF	TOP OF FOOTING
GFF	GARAGE FINISH FLOOR	TFC	TOP FACE OF CURB
GV	GATE VALVE	TI	TRAFFIC INDEX
GWS	GROUPED WATER METER SERVICE	TOE	TOE OF SLOPE
H	HORIZONTAL	TOP	TOP OF SLOPE
HP	HIGH POINT	TOW	TOP OF WALL
HWL	HIGH WATER LINE	TPS	TYPICAL
HV	HORSESHOE VALVE	UBC	UNIFORM BUILDING CODE
INV	INVERT	UPC	UNIFORM PLUMBING CODE
L	LENGTH	V	VERTICAL
LAT.	LATERAL	WCR	WHEEL CHAIR RAMP
LF	LINEAR FEET	WDID	WASTE DISCHARGE IDENTIFICATION NUMBER
LH	LAMP HOLE	WE	WATER EASEMENT
LIP	GUTTER LIP	WS	WATER SERVICE
LL	LOT LINE	(N)	NORTH
LP	LOW POINT	(S)	SOUTH
LPVC	LOW POINT VERTICAL CURVE	(E)	EAST
LS	LANDSCAPE	(W)	WEST
LS	LANDSCAPE		
MAX	MAXIMUM		
MIN	MINIMUM		



VICINITY MAP

N.T.S.

ARCHITECT

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BASIS OF BEARINGS

THE BEARING OF S 28°00'00" E BETWEEN MONUMENTS FOUND ALONG THE NORTHEASTERLY LINE OF LOT 17 AS SHOWN ON THAT CERTAIN MAP FILED IN VOLUME 17 OF CITIES AND TOWNS AT PAGE 42 IN THE OFFICE OF THE COUNTY RECORDER AND SHOWN HEREON IS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 68.00 HAS BEEN ASSIGNED TO A PUMP LID FOUND IN THE SOUTHEASTERLY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.



Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. USA WILL PROVIDE INFORMATION ABOUT OR LOCATE AND MARK UNDERGROUND FACILITIES.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

Drawn By:	AB	REVISIONS			
Issue Date:	2/27/25	NO.	DATE	ISSUED FOR	BY
Job No.:	NC24042				
Checked:	DAM				
Design By:	AB				



1117 L Street, Modesto, CA 95354 | 866.526.4214 | www.mve.net
Northern California | Southern California | Nevada

CARMEL VALLEY
IMPROVEMENT PLANS
COVER SHEET

CARMEL BY THE SEA

CALIFORNIA

DWG.
CO1
SHEET
1
OF 13

FOR REVIEW - NOT FOR CONSTRUCTION

MVE CONSTRUCTION NOTES

GENERAL:

- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY OF MONTEREY STANDARDS AND SPECIFICATIONS LATEST EDITION, AND ALL AMENDMENTS THERETO TO DATE AND CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (CALTRANS) LATEST EDITION, WHERE APPLICABLE.
- SOILS REPORT: THE GEOTECHNICAL ENGINEERING INVESTIGATION ENTITLED "GEOTECHNICAL INVESTIGATION DESIGN PHASE," PROJECT NO. 23-272-M, PREPARED BY BUTANO GEOTECHNICAL ENGINEERING, INC. IS HEREBY MADE A PART OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND SHALL PERFORM ALL GRADING, EXCAVATING, COMPACTION, AND SUBGRADE PREPARATION AS PER DIRECTION GIVEN IN THESE PLANS AND THE SOILS REPORT.
- APPROVAL OF THE USE OF NON-APPROVED MATERIALS OR CONSTRUCTION TECHNIQUES MUST BE OBTAINED FROM THE CITY ENGINEER IN ADVANCE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
- PRIOR TO STARTING ANY WORK, THE CONTRACTOR SHALL INVITE THE APPROPRIATE REGULATORY AGENCIES TO A PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS PERTAINING TO HIS OPERATIONS. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY. THE CONTRACTOR'S ATTENTION IS CALLED TO THE REQUIREMENTS OF TITLE 8, CALIFORNIA ADMINISTRATION CODE, SUBCHAPTER 4, ARTICLE 6, "EXCAVATIONS, TRENCHES AND EARTHWORK."
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND COUNTY OF MONTEREY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE CONSTRUCTION WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- APPROPRIATE DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, AND SHALL BE IN ACCORDANCE WITH SECTION 10 OF CALTRANS STANDARD SPECIFICATIONS AND WITH LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SET OF "AS-BUILT" RED-LINED PLANS THAT SHOWS ANY CHANGES WHICH OCCUR DURING CONSTRUCTION. PRIOR TO FINAL ACCEPTANCE OF IMPROVEMENTS, THE CONTRACTOR SHALL SUBMIT THE AS-BUILT PLANS TO MVE.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY WORK PERFORMED BY THE CONTRACTOR AND/OR OWNER BASED ON DRAWINGS, WHICH HAVE NOT BEEN SIGNED AND SEALED BY THE ENGINEER.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE. REFERENCE 8771 OF THE BUSINESS AND PROFESSIONS CODE AND SECTIONS 732.5, 1492.5, AND 1810.5 OF THE CALIFORNIA STREETS AND HIGHWAYS CODE.
- EACH CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK AND TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP, AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENT AND/OR RIGHT-OF-WAY. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES THE NEED FOR ANY TRAFFIC ROUTING PLANS. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE PLAN AND RECEIVE PROPER APPROVALS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL GIVE THE REVIEWING AGENCY 48 HOURS NOTICE PRIOR TO REQUIRING INSPECTION FOR ALL UNDERGROUND PIPELINES AND STREET CONSTRUCTION. BACKFILL SHALL NOT BE AUTHORIZED OVER UTILITY LINES UNTIL AFTER INSPECTION AND APPROVAL.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING REMAINING IMPROVEMENTS FROM DAMAGE. COSTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. IF PLANS DO NOT DICTATE THAT RELOCATION OR REMOVAL MUST OCCUR, THEN A DESIGN CHANGE AND CHANGE ORDER SHALL BE PREPARED.
- THE CONTRACTOR SHALL MAINTAIN A SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULL BOXES AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT AND FINAL PROGRESS PAYMENT APPROVAL, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER (MVE, INC.) AND CITY OF LIVINGSTON ONE SET OF CURRENT AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE.
- HISTORIC PRESERVATION: THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE PLANNING DEPARTMENT IN THE EVENT THAT HISTORIC OR PREHISTORIC ARCHAEOLOGICAL FEATURES ARE DISCOVERED DURING EXCAVATION. THE PLANNING DEPARTMENT SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICE. REMEDIAL ACTION SHALL BE PREPARED AND IMPLEMENTED BY THE DEVELOPER IN ACCORDANCE WITH IMPLEMENTATION MEASURES OF THE GENERAL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND IMPLEMENT A TRAFFIC CONTROL PLAN AND SUBMIT TO COUNTY OF MONTEREY FOR APPROVAL A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN TRAFFIC & ACCESS TO DRIVEWAYS AT ALL TIMES.
- THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE LATEST EDITION OF THE STATE OF CALIFORNIA, MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE ZONES. ANY PROPOSED DEVIATION OR MODIFICATIONS TO THESE TRAFFIC CONTROL REQUIREMENTS SHALL BE SUBMITTED TO THE CITY OR STATE, WHICHEVER IS APPROPRIATE, FOR APPROVAL.

GRADING & EARTHWORK:

- EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH MONTEREY COUNTY STANDARDS AND THE PROJECT'S GEOTECHNICAL REPORT.
 - ALL VEGETATION AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM BUILDING PAD AREAS.
 - APPROPRIATE DUST CONTROL SHALL BE PROVIDED TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH SECTION 10 OF CALTRANS STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY.
 - GRADES SHOWN HEREON ARE INTENDED TO PROVIDE A BALANCED EARTH WORK OPERATION, ANY CHANGES IN PROPOSED GRADES REQUIRED IN ORDER TO ACHIEVE A BALANCE, MUST BE COORDINATED WITH THE ENGINEER, THERE WILL BE NO EXTRA COSTS DUE TO THE CONTRACTOR BECAUSE OF THESE CHANGES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE, MAINTAIN, AND PROVIDE PROPER DRAINAGE WITHOUT CAUSING SOIL EROSION OR DRAINING ONTO ADJACENT PROPERTIES.
 - EARTHWORK CALCULATIONS ARE BASED ON THE CLEARED GROUND ELEVATIONS BEING COMPARED TO THE DESIGN SURFACE SUBGRADE. PER THE GEOTECHNICAL REPORT DATED JANUARY 20, 2024 PREPARED BY BUTANO GEOTECHNICAL ENGINEERING, INC. CLEARED GROUND IS ASSUMED TO BE 4" BELOW EXISTING GRADE, THEREFORE 3" STRIPPING WAS APPLIED ACROSS THE EXISTING GROUND ELEVATIONS. THE QUANTITIES SHOWN BELOW DO NOT TAKE INTO ACCOUNT ANY EXISTING STRUCTURAL PAVEMENT THICKNESSES. THEREFORE THESE QUANTITIES ARE ONLY ESTIMATES TO HELP AID THE CONTRACTOR.
 - THE INTENT OF THIS PLAN IS TO AID THE CONTRACTOR IN DETERMINING THE QUANTITIES OF DIRT TO BE MOVED. THE CUT AND FILL QUANTITIES SHOWN HEREON INDICATE A THEORETICAL YARDAGE FIGURE AND ARE GIVEN ONLY AS A CONVENIENCE TO THE CONTRACTOR.
- | | |
|-------------------------|--------------|
| TOTAL CUT REQUIRED | 778 CU. YDS. |
| TOTAL FILL REQUIRED | 683 CU. YDS. |
| SHRINKAGE (ASSUMED 10%) | 68 CU. YDS. |
| NET IMPORT | 27 CU. YDS. |
- THE CONTRACTOR SHALL VERIFY EARTHWORK QUANTITIES PRIOR TO SUBMITTING BIDS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMITTING BIDS. NO EXTRA PAYMENT WILL BE PROVIDED FOR GRADING REQUIRED TO ACHIEVE BALANCE. STOCKPILING OF EXCESS FOR FUTURE PHASES SHALL BE COORDINATED WITH THE DEVELOPER AND THE ENGINEER.
 - THE GENERAL CONTRACTOR SHALL COORDINATE WORK OF GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR WITH RESPECT TO FINISH GRADING IN PLANTING AREAS. GRADING CONTRACTOR SHALL STOCKPILE APPROPRIATE YARDAGE FROM SITE PREPARATION FOR THIS USE. EXACT AMOUNT SHALL BE DETERMINED BY LANDSCAPE CONTRACTOR. THE DIRT STOCKPILED SHALL BE FREE FROM GRASS, WEEDS AND OTHER DEBRIS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PLACEMENT AND GRADING IN MOUNDED AREAS. IF THE SITE IS STRIPPED, THE STRIPPED MATERIAL SHALL BE STOCKPILED FOR USE IN THE LANDSCAPED AREAS.
 - PRIOR TO GENERAL SITE GRADING, SURFACE VEGETATION, ORGANIC TOPSOIL, AND ANY DEBRIS SHOULD BE REMOVED AND DISPOSED OF. DEEP STRIPPING WILL BE REQUIRED WHERE CONCENTRATIONS OF ORGANIC SOILS OR TREE ROOTS ARE ENCOUNTERED DURING SITE GRADING. THE DEPTH OF STRIPPING AND/OR DISCING SHOULD BE DETERMINED IN THE FIELD BY A REPRESENTATIVE OF NORTH AMERICAN TECHNICAL SERVICES, INC. PRIOR TO EARTHWORK. THIS MATERIAL, HOWEVER, SHOULD NOT BE INCORPORATED INTO ANY ENGINEERED FILL.

CONSTRUCTION MATERIALS

- UNLESS SPECIFICALLY NOTED HEREIN, ALL CONSTRUCTION MATERIALS, INSTALLATION REQUIREMENTS, TESTING, AND INSPECTION REQUIREMENTS SHALL CONFORM TO THE COUNTY OF MONTEREY AND SPECIFICATIONS.
- ASPHALT PAVING: ALL SUB-GRADE PREPARATION, BASE COURSE AND PAVING SHALL CONFORM TO THE COUNTY OF MONTEREY STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE PROJECT'S SOILS REPORT. STRUCTURAL THICKNESSES ARE AS INDICATED IN THE PLANS. TESTS SHALL BE PERFORMED BY CONTRACTOR AS PER THE REQUIREMENTS OF THE CITY:
 - AGGREGATE BASE (A.B.) SHALL BE INSTALLED AND CONFORM WITH SECTION 26 "AGGREGATE BASES" OF THE STATE STANDARDS FOR CLASS 2, 3/4 INCH MAXIMUM COMBINED GRADING.
 - ASPHALT CONCRETE (A.C.) SHALL BE INSTALLED AND CONFORM WITH SECTION 39 "HOT MIX ASPHALT (HMA)" OF THE LATEST EDITION OF THE CALTRANS STATE STANDARDS.
 - SUBGRADE PREPARATION SHALL CONFORM TO SECTION 25 OF THE LATEST EDITION OF THE CALTRANS STATE STANDARDS, AND THE REQUIREMENTS OF THE PROJECT'S GEOTECHNICAL REPORT UNLESS SPECIFICALLY NOTED OTHERWISE.
 - ALL ON-SITE NON-DECORATIVE AC PAVEMENTS SHALL RECEIVE A SLURRY SEAL IN ACCORDANCE WITH SECTION 37 OF THE CALTRANS STANDARD SPECIFICATIONS PRIOR TO STRIPING. DECORATIVE PAVEMENTS AND P.C.C. AREAS SHALL BE ADEQUATELY PROTECTED FROM OVERSPRAY, AND CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF OVER-APPLIED SLURRY SEAL.
- THE PAVING CONTRACTOR SHALL ADJUST ALL MANHOLE, LAMPHOLE AND WATER VALVE CASTINGS AND COVERS TO FINISH GRADE AFTER PAVEMENT IMPROVEMENTS ARE COMPLETE.
- CONCRETE: WORK SHALL CONFORM WITH SECTION 73 AND SECTION 90 OF THE LATEST EDITION OF THE CALTRANS STATE STANDARDS. PORTLAND CEMENT CONCRETE SHALL BE CONSTRUCTED AT 3,500 PSI AS PER THE CITY'S STANDARD SPECIFICATIONS.
 - REFERENCE IS MADE TO SECTION IV-B OF THE COUNTY OF MONTEREY AND SPECIFICATIONS FOR REQUIREMENTS RELATING TO THE CONSTRUCTION OF CONCRETE CURB, GUTTER, AND SIDEWALK.
 - SUBGRADE FOR CURB, GUTTER, AND SIDEWALK SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% FOR A MINIMUM DEPTH OF 6" (INCHES).
 - ALL CONCRETE RADII SHALL BE PER COUNTY STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - CONCRETE SHALL BE CLASS B, PER CALTRANS SECTION 90.
 - EXPANSION JOINTS AND WEAKENED PLANE JOINTS SHALL BE INSTALLED AS INDICATED ON THE PLANS OR LIVINGSTON CITY STANDARDS AND SPECIFICATIONS.
 - CURB, GUTTER, AND SIDEWALK SHALL BE FREE OF ALL BLEMISHES.
 - DURING CONSTRUCTION OF GUTTERS, WATER TEST THE FLOW TO INSURE PROPER DRAINAGE.

UTILITY NOTES

STORM DRAIN:

- STORM DRAIN: STORM DRAINAGE PIPING SHALL BE POLYVINYL CHLORIDE PIPE (PVC) - ASTM D- 3034, SDR 35.
- ALL STORM DRAIN TO BE INSTALLED AND TESTED PER THE COUNTY OF MONTEREY STANDARDS.

GENERAL:

- ALL BACKFILL AROUND INSTALLED PIPE SHALL BE SAND, DUE TO THE POSSIBILITY OF LARGE HARDPAN DEBRIS BEING PRESENT IN THE TRENCH EXCAVATION SOIL.
- ALL IN-SOIL METAL PIPING AND FITTINGS SHALL BE PROTECTED PER AWWA C-105, C-153, C-200, C-203, C-207, AND C-209 FOR ALL STEEL, DUCTILE IRON, NUTS, AND BOLTS.
- UTILITY STRUCTURES AND APPURTENANCES: ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO, MANHOLES, CATCH BASINS, FIRE HYDRANTS, WATER VALVES AND CLEANOUTS SHALL BE INSTALLED AS PER COUNTY OF MONTEREY STANDARD DETAILS, OR AS OTHERWISE INDICATED IN THE PLANS.
- UTILITY TRENCH EXCAVATION AND BACKFILL SHALL BE DONE IN ACCORDANCE WITH CITY OF LIVINGSTON STANDARDS AND SPECIFICATIONS, AND THE RECOMMENDATIONS OF THE PROJECT'S GEOTECHNICAL REPORT.
- CONTRACTOR TO VERIFY THE LOCATIONS AND DEPTHS OF ALL PROPOSED TIE-INS TO EXISTING WET UTILITIES PRIOR TO ANY WORK COMMENCING. SHOULD ANY DISCREPANCIES BE DISCOVERED, CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY.
- EXISTING UNDERGROUND UTILITIES SHOWN ARE TAKEN FROM RECORD INFORMATION TO AID THE CONTRACTOR. CONTRACTOR SHALL VERIFY LOCATION (BOTH VERTICAL AND HORIZONTAL) OF ALL EXISTING UNDERGROUND LINES AND NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY WORK.
- EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST FROM RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. CONTACT U.S.A. AT PHONE NO. 800-227-2800.
- NOTE : SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS (TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540) ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973 AS AMENDED , WHICH STATES: PRIOR TO OPENING AN EXCAVATION , EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATION I.E. , SEWER , WATER , FUEL , ELECTRIC LINES , ETC. WILL BE ENCOUNTERED AND IF SO , WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION , THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND WHEN IT IS UNCOVERED , ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION. "



Know what's below. Call before you dig.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. USA WILL PROVIDE INFORMATION ABOUT OR LOCATE AND MARK UNDERGROUND FACILITIES.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

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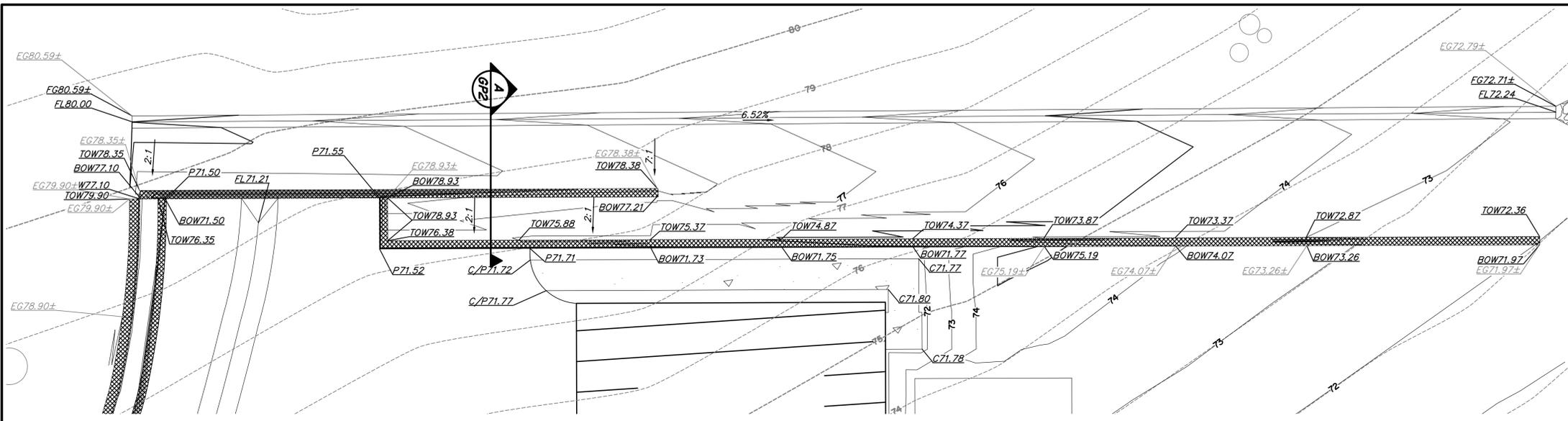
CARMEL VALLEY IMPROVEMENT PLANS

GENERAL NOTES & SPECIFICATIONS

CARMEL BY THE SEA CALIFORNIA

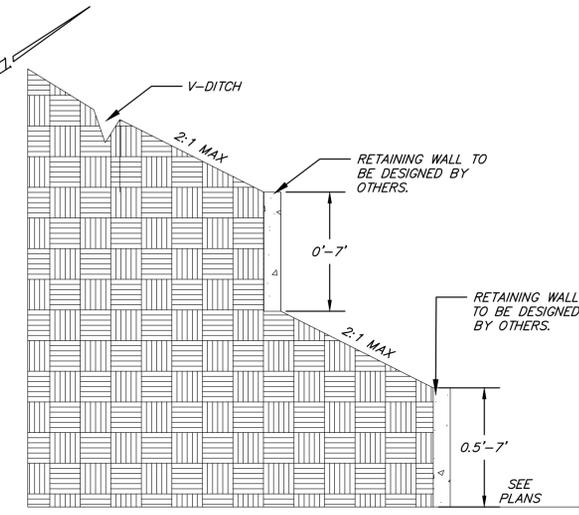
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SHEET	2
OF	13

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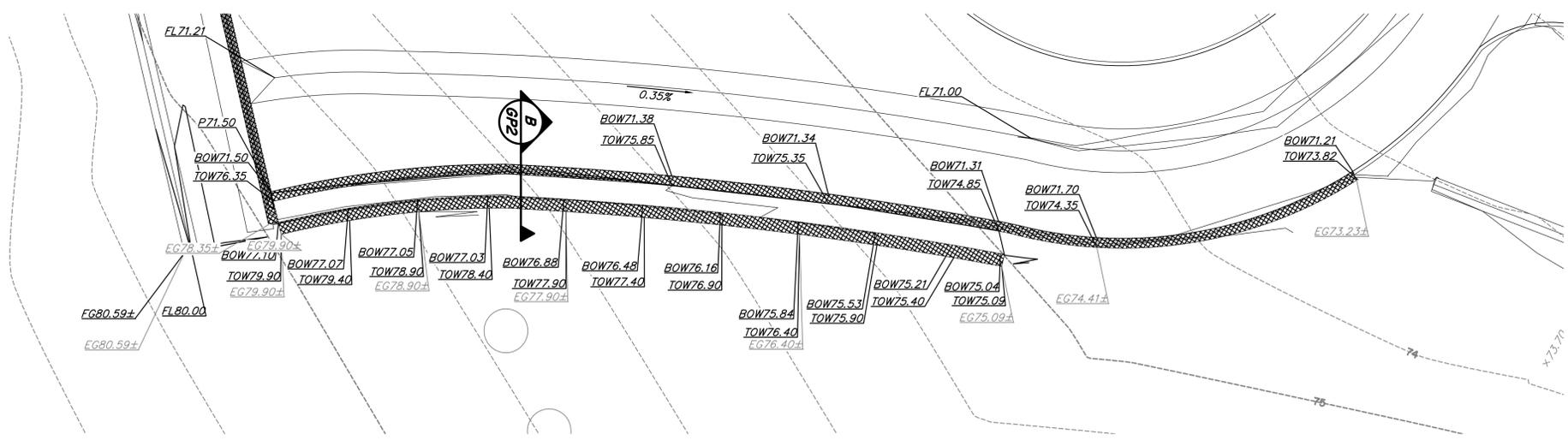
GRADING DETAIL A

SCALE: 1" = 5'



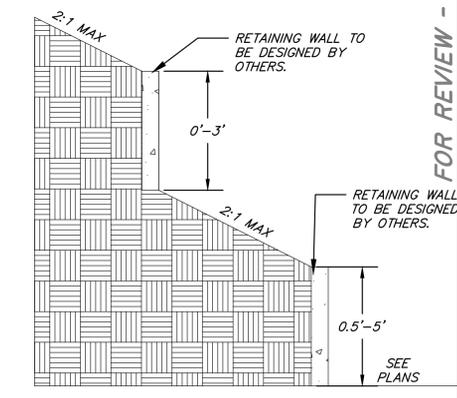
CROSS SECTION A

SCALE: 1" = 5'



GRADING DETAIL B

SCALE: 1" = 5'



CROSS SECTION B

SCALE: 1" = 5'

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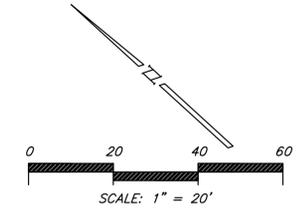
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CARMEL VALLEY IMPROVEMENT PLANS GRADING DETAILS
CARMEL BY THE SEA CALIFORNIA

DWG. **GP2**
SHEET **6** OF **13**



LEGEND

- IMPERVIOUS AREA DIRECTED TO OUTFALL 1
TOTAL AREA = 21,913 SF
- UNDISTURBED AREA DIRECTED TO OUTFALL 1
TOTAL AREA = 21,359 SF

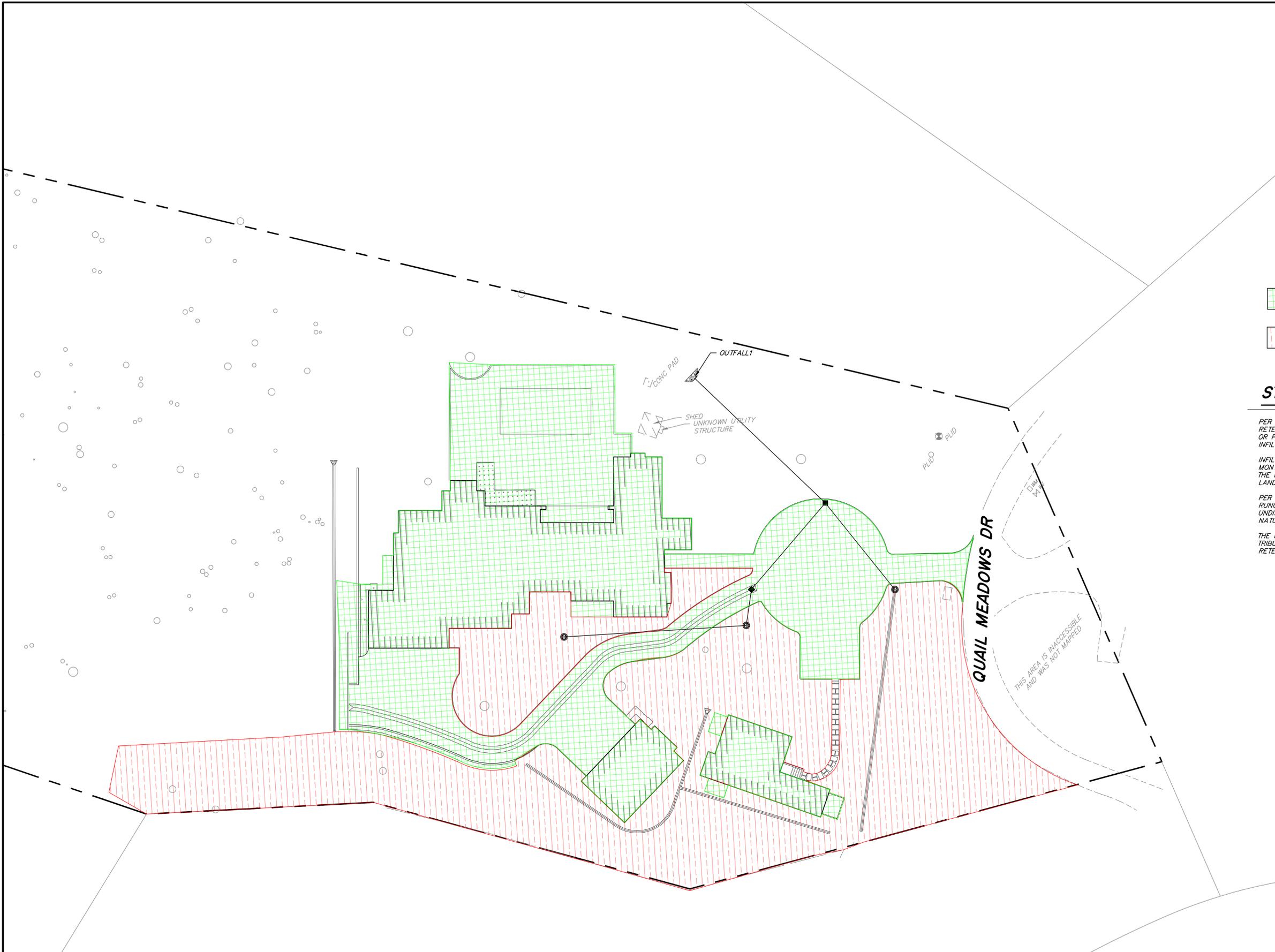
STORMWATER QUALITY NOTES

PER MONTEREY COUNTY STORMWATER CONTROL PLAN, RETENTION TRIBUTARY AREA = ENTIRE PROJECT AREA - UNDISTURBED OR PLANTED AREAS - IMPERVIOUS AREAS THAT DISCHARGE TO INFILTRATING AREAS.

INFILTRATING AREAS IS DEFINED IN SECTION B.4.D.IV.2. OF THE MONTEREY COUNTY STORMWATER CONTROL PLAN AS THE RUNOFF OF THE IMPERVIOUS SURFACES DIRECTED TO UNDISTURBED OR NATURAL LANDSCAPE AREAS.

PER THE PROPOSED GRADING PLAN AND THE STORMWATER PLAN, THE RUNOFF OF THE IMPERVIOUS SURFACES FOR THE PROJECT AND THE UNDISTURBED AREA IS DIRECTED TO OUTFALL WHERE RUNOFF REACH NATURAL LANDSCAPE AREA.

THE INFORMATION DISCUSSED ABOVE SHOWS THAT THE RETENTION TRIBUTARY AREA FOR THIS PROJECT IS 0 SF AND THUS NO RETENTION IS REQUIRED.



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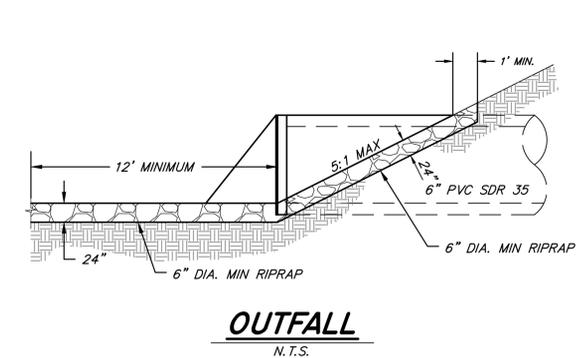
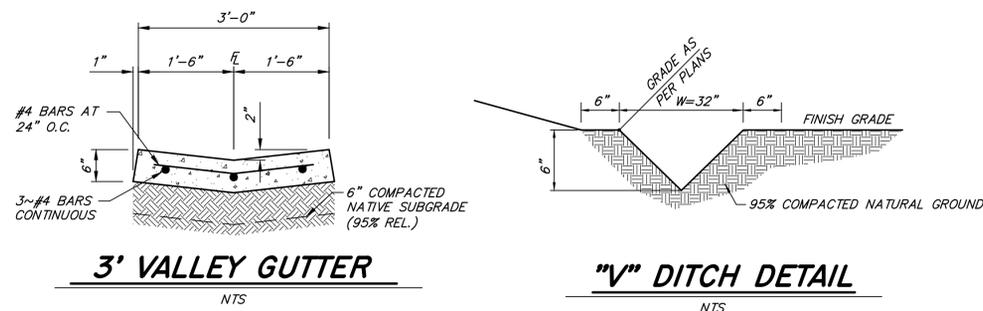
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**CARMEL VALLEY
IMPROVEMENT PLANS
STORMWATER QUALITY
CONTROL PLAN**

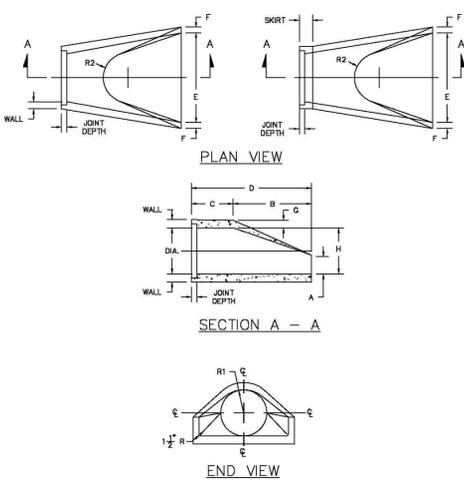
CARMEL BY THE SEA CALIFORNIA

DWG. **SQ1**

SHEET **8** OF **13**



CIRCULAR FLARED END SECTION
CONCRETE PIPE



DIAMETER	WALL THICKNESS	JOINT DEPTH	APPROX. WEIGHT	FLARE LENGTH A	FLARE LENGTH B	BARREL LENGTH C	LAY LENGTH D	FLARE WIDTH E	F	G	H	R-1	R-2	SKIRT
12"	4"	3-3/4"	5.35#	4"	24"	45-3/8"	73-1/8"	24"	2-3/4"	3-1/8"	13"	10-1/8"	9"	NA
15"	4"	3-3/4"	7.48#	8"	24"	45-1/2"	68-1/2"	30"	3"	4"	18"	15-1/2"	11"	NA
18"	4-1/2"	4"	2.44#	8"	24"	45-1/2"	68-1/2"	30"	3"	4"	18"	15-1/2"	11"	NA
24"	5-1/2"	4-1/4"	3.28#	9-1/4"	43-1/2"	28-3/4"	73-1/4"	48"	3-3/4"	4-3/4"	20"	18-1/8"	14"	NA
30"	5-3/4"	4-1/4"	4.20#	12"	34"	19"	72"	60"	4-1/4"	5-3/4"	35"	18-3/8"	15"	NA
36"	6-5/8"	4-1/2"	7.88#	15"	63"	33-3/4"	66-3/4"	72"	4-3/4"	6-1/8"	33"	24-1/8"	20"	NA
42"	4-1/2"	3-3/4"	5.38#	9"	63"	35"	60"	78"	NA	NA	40"	23-1/4"	22"	5-1/2"
48"	5"	4-1/4"	6.55#	24"	72"	28"	98"	84"	NA	NA	48"	28-1/8"	22"	5-3/4"
54"	5-1/2"	4-3/4"	8.04#	27"	65"	30"	100"	90"	NA	NA	55"	32-7/8"	24"	5-1/4"
60"	6"	5"	8.75#	30"	80"	38"	90"	NA	NA	NA	61"	38-3/4"	24"	5-3/4"
72"	7"	5-1/2"	12.52#	34"	78"	21"	99"	108"	NA	NA	73"	38-5/8"	24"	7-3/4"

CP007
9/07

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* ITEMS SHOWN ARE SUBJECT TO CHANGE WITHOUT NOTICE.

UNAUTHORIZED CHANGES & USES

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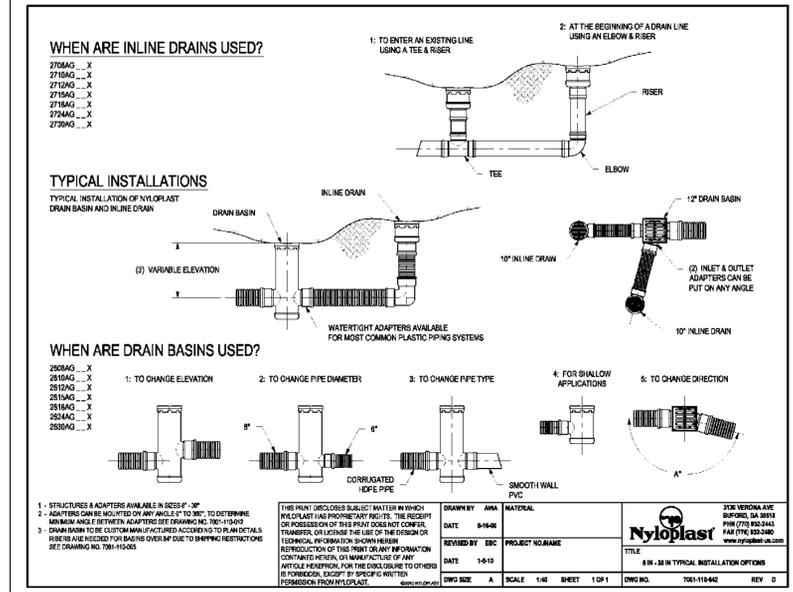
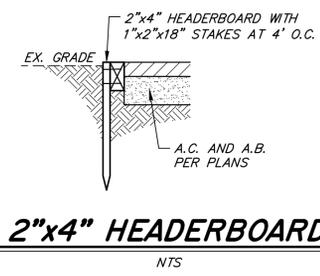
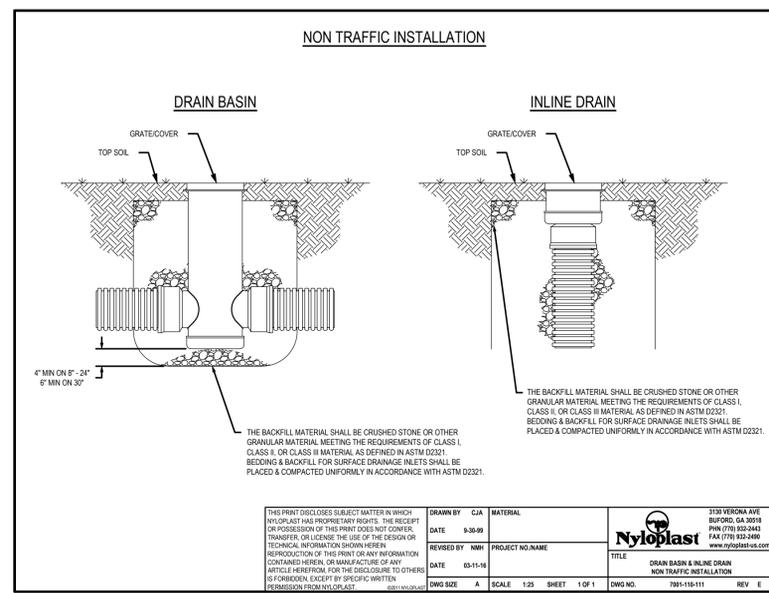
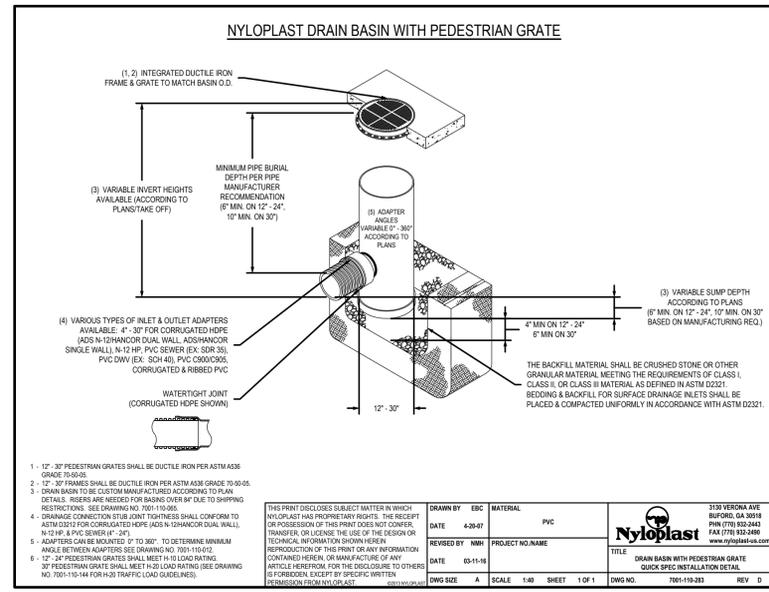
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CARMEL VALLEY IMPROVEMENT PLANS CONSTRUCTION DETAILS
CARMEL BY THE SEA CALIFORNIA

DWG. CD1 SHEET 9 OF 13



8 IN - 30 IN MINIMUM ANGLE BETWEEN ADAPTERS
THIS CHART DOES NOT APPLY WHEN USING AN ENWROOD OR ADD-BRANCH

ADAPTER SIZE	8" BASIN	10" BASIN	12" BASIN	15" BASIN	18" BASIN	24" BASIN	30" BASIN
4" - 6"	70°	55°	60°	42°	35°	20°	24°
4" - 8"	70°	70°	55°	40°	20°	25°	25°
4" - 10"	100°	80°	65°	50°	45°	30°	28°
4" - 12"	-	95°	75°	62°	52°	40°	32°
4" - 15"	-	-	80°	70°	55°	40°	35°
4" - 18"	-	-	-	70°	60°	51°	44°
4" - 24"	-	-	-	-	70°	60°	50°
4" - 30"	-	-	-	-	-	70°	62°
6" - 6"	90°	75°	65°	55°	44°	33°	30°
6" - 8"	110°	85°	75°	65°	51°	39°	34°
6" - 10"	-	100°	85°	75°	59°	45°	38°
6" - 12"	-	-	90°	70°	60°	45°	45°
6" - 15"	-	-	-	70°	62°	56°	48°
6" - 18"	-	-	-	-	84°	63°	55°
6" - 24"	-	-	-	-	-	77°	66°
6" - 30"	-	-	-	-	-	-	75°
8" - 6"	160°	90°	80°	70°	59°	44°	39°
8" - 8"	-	115°	85°	70°	60°	45°	45°
8" - 10"	-	-	102°	83°	70°	52°	48°
8" - 12"	-	-	-	90°	70°	60°	55°
8" - 15"	-	-	-	-	90°	70°	60°
8" - 18"	-	-	-	-	-	82°	62°
8" - 24"	-	-	-	-	-	-	80°
8" - 30"	-	-	-	-	-	-	80°
10" - 10"	-	-	150°	80°	70°	53°	45°
10" - 12"	-	-	-	110°	85°	70°	59°
10" - 15"	-	-	-	-	103°	65°	58°
10" - 18"	-	-	-	-	-	97°	72°
10" - 24"	-	-	-	-	-	-	88°
10" - 30"	-	-	-	-	-	-	85°
12" - 12"	-	-	-	150°	80°	64°	59°
12" - 15"	-	-	-	-	112°	87°	69°
12" - 18"	-	-	-	-	-	102°	78°
12" - 24"	-	-	-	-	-	-	92°
12" - 30"	-	-	-	-	-	-	90°
15" - 15"	-	-	-	-	150°	90°	77°
15" - 18"	-	-	-	-	-	110°	84°
15" - 24"	-	-	-	-	-	-	98°
15" - 30"	-	-	-	-	-	-	95°
18" - 18"	-	-	-	-	150°	90°	78°
18" - 24"	-	-	-	-	-	100°	88°
18" - 30"	-	-	-	-	-	-	100°
24" - 24"	-	-	-	-	-	150°	90°
24" - 30"	-	-	-	-	-	-	115°
30" - 30"	-	-	-	-	-	-	150°

DATE: 10-23-13
SCALE: 1:1 SHEET: 1 OF 1
DWG NO.: 7001-110-012 REV: G

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EROSION CONTROL NOTES

- THE CONTRACTOR SHALL MAINTAIN AN EROSION CONTROL PLAN REFLECTING WORK COMPLETED/PROPOSED AND EROSION AND SEDIMENT CONTROL MEASURES TO BE TAKEN.
- CONTRACTOR SHALL HAVE THE TRAINED PERSONNEL, TOOLS, EQUIPMENT, LABOR AND MATERIALS NEEDED TO IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN TIME TO BE 100% EFFECTIVE. SLOPE PROTECTIVE MATS, SEDIMENT TRAPS AND/OR DESILTING BASINS SHALL BE INSTALLED AS NEEDED TO CONTROL SEDIMENT TRANSPORTATION. GRADING SHALL COMPLY WITH THE REQUIREMENTS OF THE REGIONAL WATER QUALITY CONTROL BOARD PERMIT.
- ALL EXISTING INLETS IN THE VICINITY SHALL BE PROTECTED BY THE INSTALLATION OF FILTER FABRIC, GRAVEL BAGS SILT BARRIERS AND OTHER SEDIMENT CONTROL MEASURES PER DETAILS HEREON SUCH MEASURES SHALL BE MAINTAINED UNTIL APPROVAL OF A NOTICE OF TERMINATION (NOT) BY THE STATE. CONTRACTOR SHALL PROVIDE AND MAINTAIN DRAIN INLET PROTECTION FOR ALL CATCH BASINS LOCATED IN THE VICINITY OF WORK. THIS INCLUDES ANY CATCH BASINS LOCATED IN THE PUBLIC RIGHT-OF-WAY, AS WELL AS ANY CATCH BASINS IN THE PARKING LOT.
- CONTRACTOR SHALL ENSURE THAT ALL DEVICES SHOWN SHALL BE IN PLACE THROUGHOUT THE DURATION OF THE PROJECT BEFORE EACH WORKING DAY AND AT THE END OF THE WORKING DAY.
- ALL EROSION AND SEDIMENT STRUCTURES SHALL BE INSPECTED AFTER EACH STORM AND AT THE END OF EACH WORKING DAY. STRUCTURES SHALL BE CLEANED OUT AND REPAIRED OR REPLACED AS NECESSARY, TO BE EFFECTIVE.
- ALL BASINS AND CHECK DAMS SHALL BE DRY AND ALL DEBRIS AND SOIL REMOVED WITHIN 24 HOURS AFTER EACH STORM EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF ALL EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO THAT SEDIMENT RUNOFF, DOES NOT ENTER THE STORM SYSTEM.
- AS STORM DRAIN IMPROVEMENTS ARE CONSTRUCTED, ALL STRUCTURES AND INLET PIPES SHALL BE PROTECTED FROM INFLOW OF SILT BY THE INSTALLATION OF FILTER INSERTS, GRAVEL BAGS SILT BARRIERS AND OTHER SEDIMENT CONTROL MEASURES.
- ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATER, MUD, SOIL, OR CONSTRUCTION MATERIALS, AT ALL TIMES.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION CONTROL STRUCTURES AND DEVICES ON AND OFF SITE AT THE LOCATIONS SHOWN ON THE PLANS.
- ALL COMPLETED DRAIN INLETS SHALL BE PROTECTED WITH SILT BARRIERS.
- THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK SHALL ALERT STANDBY CREWS DURING RAINSTORMS.
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN, WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES. THE SWPPP SHALL BE UPDATED TO REFLECT ANY MODIFICATIONS.
- CONTRACTOR SHALL REMOVE ALL LOOSE SOIL, SEDIMENT AND CONSTRUCTION DEBRIS FROM THE STREET AREAS UPON STARTING OPERATIONS AND AT THE END OF EACH WORKING DAY AND AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR.
- CONTRACTOR SHALL INSTALL ALL BEST MANAGEMENT PRACTICE (BMP) DEVICES BEFORE EACH WORKING DAY AND THAT ALL BMP DEVICES SHALL BE DEPLOYED, INSPECTED, AND REPLACED THROUGHOUT THE COURSE OF THE PROJECT, REGARDLESS OF SEASON.
- TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS STEEPER THAN 2.5:1 AND HIGHER THAN 5 FEET, SHALL BE HYDROSEEDDED, LANDSCAPED OR SEALED IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1. TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT, IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES. SEE SEED MIXTURE REQUIREMENT ON THIS SHEET.
- AS A PART OF THE EROSION CONTROL MEASURES, THE UNDERGROUND STORM DRAIN FACILITIES SHOULD BE INSTALLED COMPLETE AS SHOWN ON IMPROVEMENT PLANS PREPARED BY MVE, INC.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVER BANK FLOW.
- THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (8" MIN. THICKNESS, 12 FEET MIN. WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE INSPECTOR. ANY CHANGES WILL BE INDICATED IN THE SWPPP.
- CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT. CONTACT PUBLIC WORKS CONSTRUCTION INSPECTION AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK TO ARRANGE FOR INSPECTION.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (SEEDED) TO THE SATISFACTION OF THE INSPECTOR.
- SEDIMENT TRAPS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEAN-OUT LEVEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS. ALL MEASURES WILL BE INSPECTED DAILY BEFORE AND AFTER EACH STORM. BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED. CONTRACTOR SHALL SCHEDULE WORK THAT COULD LEAD TO EROSION OR SEDIMENT CONTROL ISSUES FOR DRY
- WEATHER DAYS WHEN NO RAIN IS IN THE IMMEDIATE FORECAST.

STRAW ROLLS CONSTRUCTION NOTES

- FINISH THE SLOPE BEFORE THE STRAW ROLL INSTALLATION IS STARTED.
- SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
- DIG SMALL TRENCHES PARALLEL TO THE SLOPE CONTOUR, TO PLACE ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE.
- IT IS CRITICAL THAT ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
- START BUILDING TRENCHES AT CONTOUR INTERVALS OF 10 TO 25 FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
- LAY THE ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE.
- USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WILLOW OR WOODEN STAKES.
- DRIVE THE STAKE THROUGH PREPARED HOLE INTO SOIL. LEAVE ONLY 1 TO 2 INCHES OF STAKE EXPOSED ABOVE THE ROLL.
- INSTALL STAKES AT A MAX DISTANCE OF 4 FEET APART ALONG THE WATTLE.
- INSPECT ALL THE STRAW ROLLS AND THE SLOPES BEFORE AND AFTER STORMS. MAKE SURE THE ROLLS ARE IN CONTACT WITH THE SOIL. REPAIR ANY ROLLS OR GULLIES PROMPTLY. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

GRAVEL CONSTRUCTION ENTRANCE SPECIFICATIONS

- THE AGGREGATE SIZE FOR THE GRAVEL CONSTRUCTION ENTRANCE PAD SHALL BE 2-3 INCH DIAMETER STONE. PLACE THE PAD WHERE SHOWN ON THE PLANS AND WHERE NEEDED TO LIMIT SEDIMENT LEAVING THE SITE.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES. USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATIONS IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.
- THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET AND NOT LESS THAN 12 FEET WIDE.
- THE PAD SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAVE AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO EXIT ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE THROUGH USE OF GRAVEL BAGS, STRAW WADDOLES, OR OTHER APPROVED METHODS.

SILT FENCE CONSTRUCTION SPECIFICATIONS

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT AND PONDING HEIGHT SHALL NEVER EXCEED 9 INCHES.
- THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
- POSTS SHALL BE SPACED A MINIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA-STRENGTH FABRIC IS USED WITHOUT WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- TURN THE ENDS OF THE FENCE UPHILL TO PREVENT ESCAPE OF UNFILTERED FLOWS.
- WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POST USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
- SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED DAILY AND BEFORE AND AFTER EACH SIGNIFICANT RAINFALL ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM, WHICHEVER IS LESS.
- THE REMOVED SEDIMENT SHALL CONFORM WITH THE EXISTING GRADE AND BE VEGETATED OR OTHERWISE STABILIZED.

STORM DRAIN NPDES PERMIT

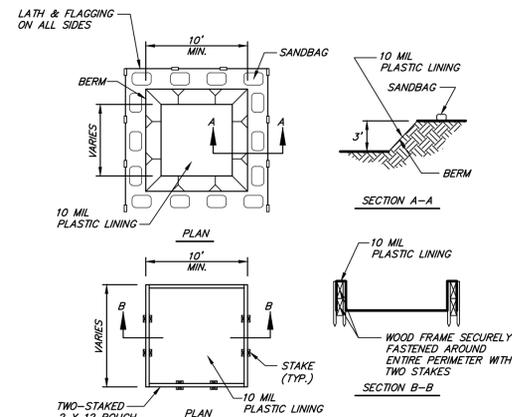
- TO COMPLY WITH THE STATE OF CALIFORNIA'S STATEWIDE GENERAL NPDES PERMIT, REGULATING DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM SOIL DISTURBANCES OF 1 ACRE OR MORE, A NOTICE OF INTENT (NOI) TO COMPLY WITH THE TERMS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE FILED AND APPROPRIATE FEE PAID PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE NOI CAN BE OBTAINED BY ENTERING THE PROJECT INFORMATION AND UPLOADING THE PROJECT SWPPP ONTO THE SMARTS WEBSITE. IN ADDITION, AT THE CONCLUSION OF THE PROJECT A NOTICE OF TERMINATION (NOT) MUST ALSO BE FILED. SUBMIT THE FEE, NOI, AND NOC TO THE STATE WATER RESOURCES CONTROL BOARD VIA THE SMARTS WEBSITE.

STATE WATER RESOURCES CONTROL BOARD SMARTS WEBSITE ADDRESS:
[HTTPS://SMARTS.WATERBOARDS.CA.GOV/SMARTS/FACES/SWSMARTSLOGIN.JSP](https://smarts.waterboards.ca.gov/smarts/faces/swsmartlogin.jsp)
 NOI FILE DATE: _____
 WJD NO: _____

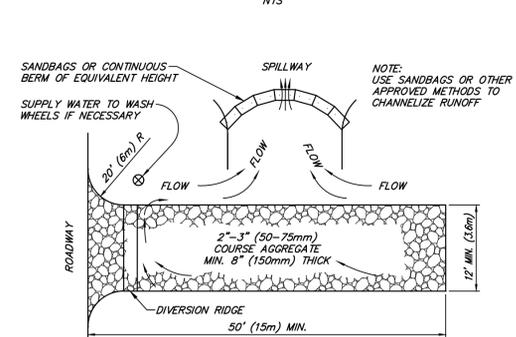
THIS PROJECT WILL DISTURB LESS THAN 1 ACRE; HOWEVER SHOULD THE CONTRACTOR OR OWNER CHOOSE TO FILE AN NOI AND OBTAIN A WJD NO. FROM THE STATE WATER BOARD, THAT INFORMATION SHALL BE ADDED HERE WHEN OBTAINED.

SWPPP GENERAL NOTES

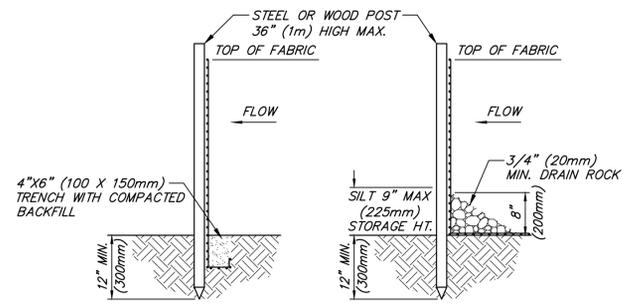
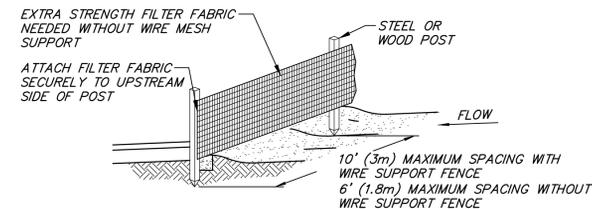
- ALL OPERATIONS SHALL LIMIT OR EXPEDITIOUSLY REMOVE THE ACCUMULATION OF MUD OR DIRT FROM ADJACENT PUBLIC STREETS AT LEAST ONCE EVERY 24 HOURS WHEN OPERATIONS ARE OCCURRING (THE USE OF DRY ROTARY BRUSHES IS EXPRESSLY PROHIBITED EXCEPT WHERE PRECEDED OR ACCOMPANIED BY SUFFICIENT WETTING TO LIMIT THE VISIBLE DUST EMISSIONS).
- UPON COMPLETION OF PHASED CONSTRUCTION, SUBSEQUENT PHASES SHALL RE-VEGETATE ALL EXPOSED SOIL SURFACE WITHIN 30 DAYS, OR AS OTHERWISE APPROVED BY THE CITY, TO MINIMIZE POTENTIAL TOPSOIL EROSION. REASONABLE ALTERNATIVES TO RE-VEGETATION MAY BE EMPLOYED, ESPECIALLY DURING PEAK TEMPERATURE PERIODS OR TO AVOID NEGATIVE IMPACTS TO NEARBY AGRICULTURAL ACTIVITIES, SUBJECT TO THE APPROVAL OF THE CITY.
- ALL BMPS USED DURING CONSTRUCTION SHALL COMPLY WITH THE MOST RECENT CASQA BMP MANUAL AND THE NPDES CONSTRUCTION GENERAL PERMIT. IF THIS SHEET DISAGREES WITH THE MOST RECENT CASQA BMP HANDBOOK, CONTACT THE ENGINEER FOR ADDITIONAL INSTRUCTIONS.



CONCRETE WASTE MANAGEMENT



TC-1 ROCK LINED CONSTRUCTION ENTRANCE



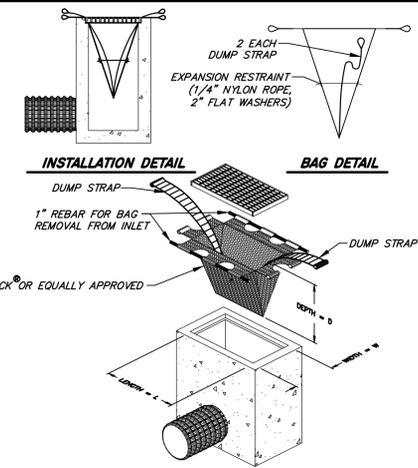
TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

- NOTE:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - MAY BE USED IN LIEU OF SAND BAG BARRIER AT CONTRACTOR'S OPTION

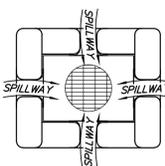
ALTERNATIVE III SILT FENCE

NTS

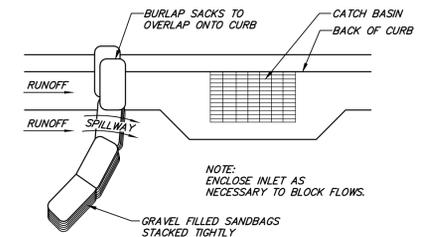


TYPICAL SILTSACK CONSTRUCTION

NTS



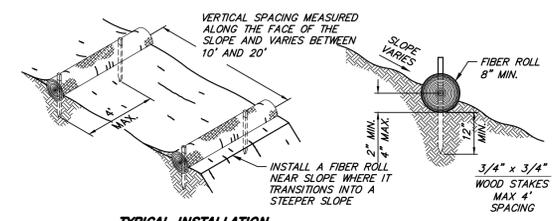
PLACEMENT AROUND EXISTING CATCH BASIN



- NOTE:
- PLACE CURB TYPE SEDIMENT BARRIERS JUST UP SLOPE FROM INLETS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 - LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE 'TRAVELED WAY' IMMEDIATELY.

INLET SEDIMENT BARRIER

NTS



TYPICAL INSTALLATION

ENTRENCHMENT DETAIL

FIBER ROLL

NTS



Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND CLEARANCE. USA WILL PROVIDE INFORMATION ABOUT OR LOCATE AND MARK UNDERGROUND FACILITIES.

UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

Drawn By: AB		REVISIONS			
NO.	DATE	ISSUED	FOR	BY	
Issue Date:	2/27/25				
Job No.:	NC24042				
Checked:	DAM				
Design By:	AB				

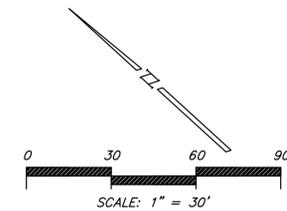


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CARMEL VALLEY IMPROVEMENT PLANS
EROSION CONTROL DETAILS AND SPECIFICATIONS
 CARMEL BY THE SEA CALIFORNIA

DWG. **ER2**
 SHEET **12**
 OF **13**

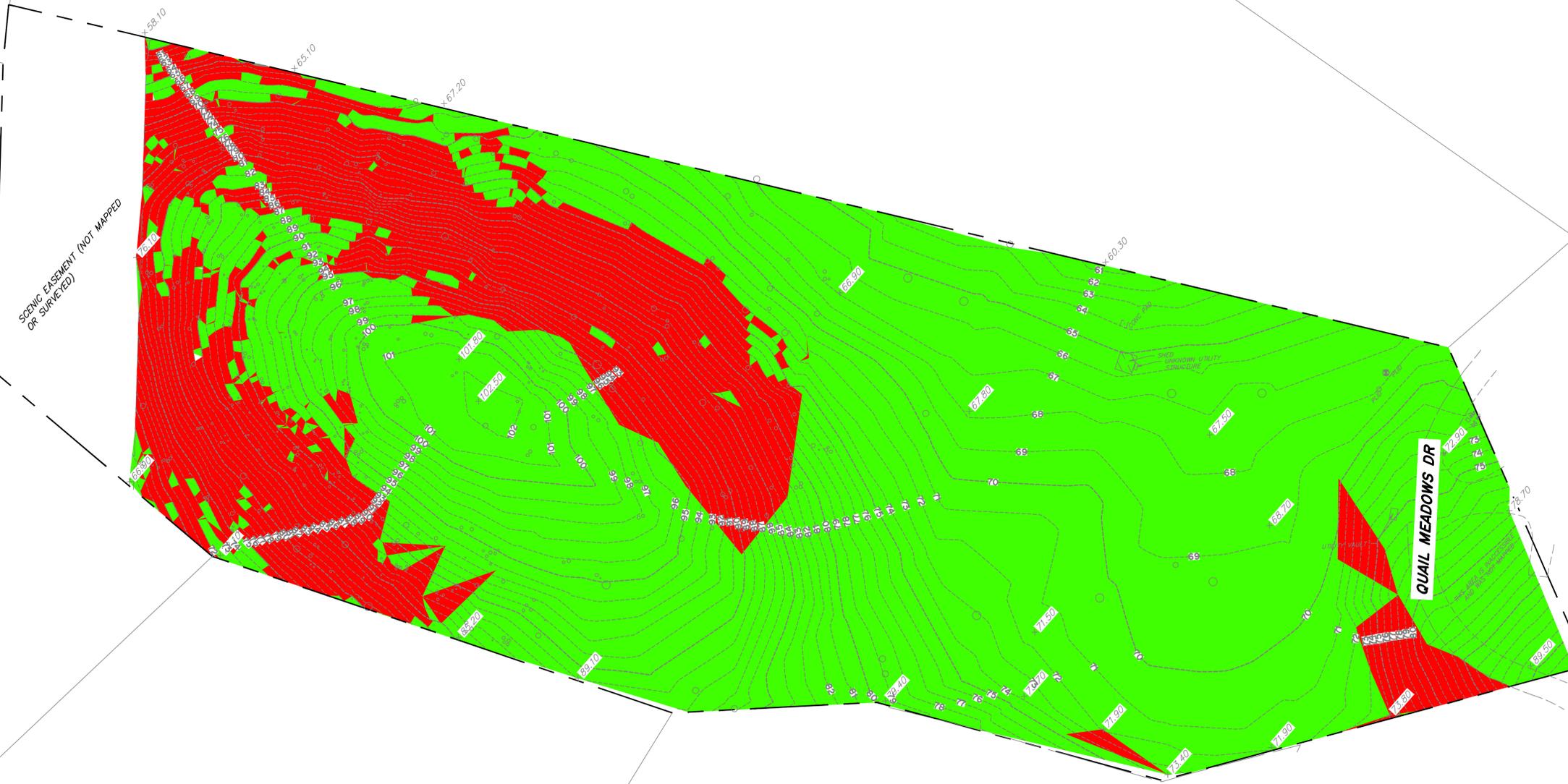
FOR REVIEW - NOT FOR CONSTRUCTION



GENERAL NOTES

1. TOPOGRAPHY AND BOUNDARY SURVEY PREPARED BY LUCIDO SURVEYORS AND PROVIDED TO MVE ON 4/19/2024 FOR DESIGN PURPOSES.

EG Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	Area (AC)
1	0.00%	25.00%	Green	2.7
2	25.01%	135.83%	Red	0.9



FOR REVIEW - NOT FOR CONSTRUCTION

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Drawn By: AB
Issue Date: 2/27/25
Job No.: NC24042
Checked: DAM
Design By: AB

REVISIONS				
NO.	DATE	ISSUED FOR	BY	



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**CARMEL VALLEY
IMPROVEMENT PLANS
EXISTING SLOPE
ANALYSIS**

CARMEL BY THE SEA

CALIFORNIA

DWG. SA1
SHEET 13
OF 13

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