

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

MANLY JOHN C TR (PLN240302)

RESOLUTION NO. 25--

Resolution by the Monterey County Chief of Planning:

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of a new 793 square foot accessory dwelling unit, and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN240302, John Manly, 1684 Crespi Lane, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-392-003-000)]

The MANLY JOHN C TR application (PLN240302) came on for an administrative decision hearing before the Monterey County Chief of Planning on March 19, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMFLUP);
 - Monterey County Coastal Implementation Plan, Part 5 (CIP); and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1684 Crespi Lane, Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Number [APN]: 008-392-003-000). The parcel is zoned Low Density Residential, with a maximum gross density of acres per unit and a Design Control overlay in the Coastal Zone, or "LDR/1.5-D(CZ), which allows for the construction of an Accessory Dwelling Unit subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval for all structures. The project involves the construction of a 793 square foot accessory dwelling unit and associated site improvements. The project also involves development within 750 feet of known archaeological resources and thus requires the granting of a Coastal Administrative Permit. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject property is identified in its current configuration and under separate ownership as Lot 3 of Block 392 in Volume 3, Book 8, Page 39 of the 1972 Assessor's Parcel Map. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. As proposed, the ADU will have colors and materials closely matching the existing single-family dwelling, which include brown shiplap siding, beige painted stucco, a dark bronze metal roof, and stone accents. The proposed exterior colors and materials are compatible with the surrounding environment and are consistent with the surrounding residential neighborhood character. The homes within the surrounding area and the greater Pebble Beach residential community are eclectic in architecture, ranging from modern to California-ranch and Spanish style homes. Condition No. 6 has been applied to require the installation of down-lit unobtrusive exterior lighting. As described in subsequent evidence "f", the project site is not visible from a common public viewing area. Therefore, as proposed and conditioned, the project is compatible with the surrounding environment, consistent with the surrounding residential neighborhood character, and assures protection of the public viewshed and visual integrity.
- e) Development Standards. Development standards for the LDR zoning district are identified in Title 20 section 20.14.60. Required setbacks for accessory habitable structures in the LDR zoning district are 50 feet (front), six feet (side), six feet (rear), and a maximum allowed height of 15 feet. The proposed ADU will have setbacks of approximately 80 feet (front), 11 feet (side), 142 feet (rear), and will have a height of 15 feet. The allowed maximum site coverage for the LDR zoning district is 15%, and the project proposes 13.5% site coverage. The allowed maximum floor area ratio (FAR) for the LDR zoning district is 17.5%, and the proposed development will have a FAR of 13.3%. Therefore,

the proposed project complies with applicable site development standards.

- f) Visual Resources. The project is consistent with the DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, the subject property is located within the viewshed from Point Lobos and 17 Mile Drive. Staking and flagging was installed pursuant to the DMF CIP section 20.147.070.A.1. Staff conducted a site visit on January 16, 2025 and confirmed that the subject property and staking and flagging were not visible from Point Lobos, 17 Mile Drive, or any other public common viewing areas due to topography, distance, and existing mature vegetation.
- g) Cultural Resources. DMF CIP section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is within 750 feet of a known archaeological resource. The Archaeological report (Monterey County Library No. LIB240234) prepared for the subject property concluded that there is no indicator of a prehistoric site or a historic site in the soils of the project parcel. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Combined Structural and Impervious Surface Coverage. The subject property is located within the Pescadero Watershed, a designated watershed as shown on Figure 2b of the DMF LUP. Accordingly, site structural and impervious surface coverage are limited to 9,000 square feet per DMF LUP Policy 77. The project, in conjunction with work approved under a separate design approval, results in an impervious surface coverage of 9,000 square feet and is therefore consistent with Policy 77.
- i) Public Access. As proposed, the development is consistent with applicable public access policies of the DMF LUP. See Finding No. 6 and supporting evidence.
- j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- k) The project planner conducted a site inspection on January 16, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Geotechnical and Archaeological resources. The following reports have been prepared:
 - “Geotechnical Investigation” (LIB250023) prepared by Belinda Taluban, Salinas, CA, June 5, 2024.
 - “Phase I Archaeological Assessment” (LIB240234) prepared by Achasta Archaeological Services, Marina, CA, June 2022.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
 - c) Staff conducted a site inspection on January 16, 2025 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Potable water will be provided by the existing on-site well, and sewer service will be provided by Pebble Beach CSD.
 - c) The proposed ADU is served by a private well. Based on the evidence provided, EHB deemed the project complete January 14, 2025.
 - d) Staff conducted a site inspection on January 16, 2025 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on January 16, 2025 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

5. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction of residential structures and accessory structures on residentially zoned properties.
 - b) As proposed, the project involves the construction of a 793 square foot accessory dwelling unit on a residentially zoned lot which contains an existing single-family dwelling. Therefore, the proposed development qualifies as a Class 3 Categorical Exemption pursuant to section 15303 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact, without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical or archaeological resources are present.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on January 16, 2024.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey-Planning found in Project File PLN240302.

6. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual

Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).

- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

7. **FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.

- EVIDENCE:**
- a) Title 20, section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 793-square-foot ADU that includes independent living facilities as shown in the attached plans.
 - b) The ADU complies with the maximum allowed floor area of 1,200 square feet and will be the first ADU on the subject property. The ADU is sited approximately 12 feet East of the single-family dwelling and meets all required setback standards (see Finding 1, Evidence “e”).
 - c) The ADU meets the required site development standards and design criteria as defined in Title 20 section 20.64.030 and Chapter 20.44.
 - d) The ADU is required to have one parking space. The existing driveway satisfies this requirement and provides adequate parking for the proposed ADU and existing single-family dwelling.
 - e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities, and no further comments or conditions were provided (See Finding 3 and supporting evidence).
 - f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN240302.

8. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and first through public road paralleling the sea (i.e., State Route/Highway 1 and Pescadero Road) and involves a conditionally allowed use (i.e., development within 750 of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2;
2. Approve the Coastal Administrative Permit and Design Approval to allow the construction of a new 793 square foot accessory dwelling unit, and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 19th day of March, 2025.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240302

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative permit (PLN240302) allows the construction of a 793 square foot accessory dwelling unit within 750 feet of known archaeological resources. The property is located at 1684 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-392-003-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-392-003-000 on March 19, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

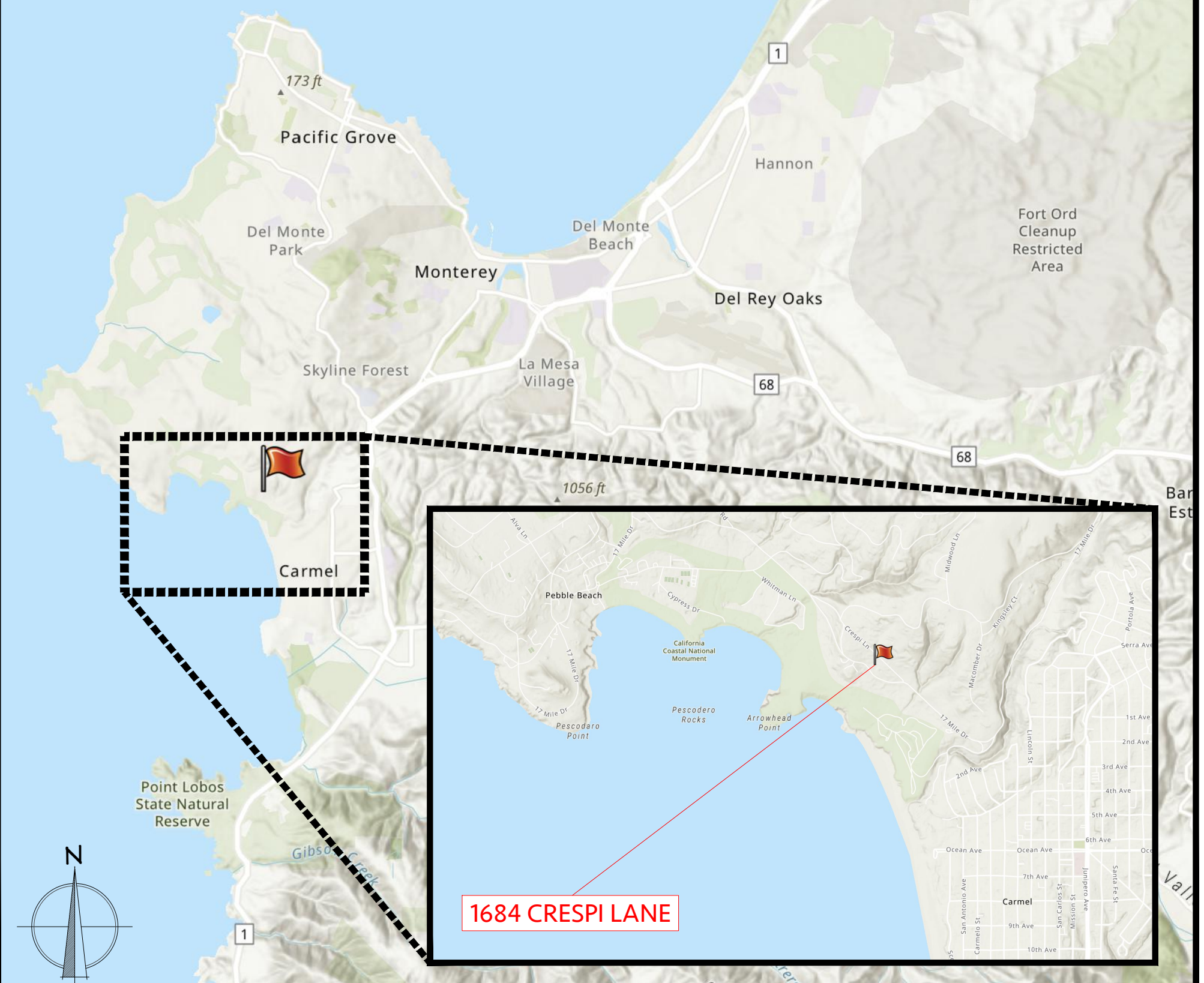
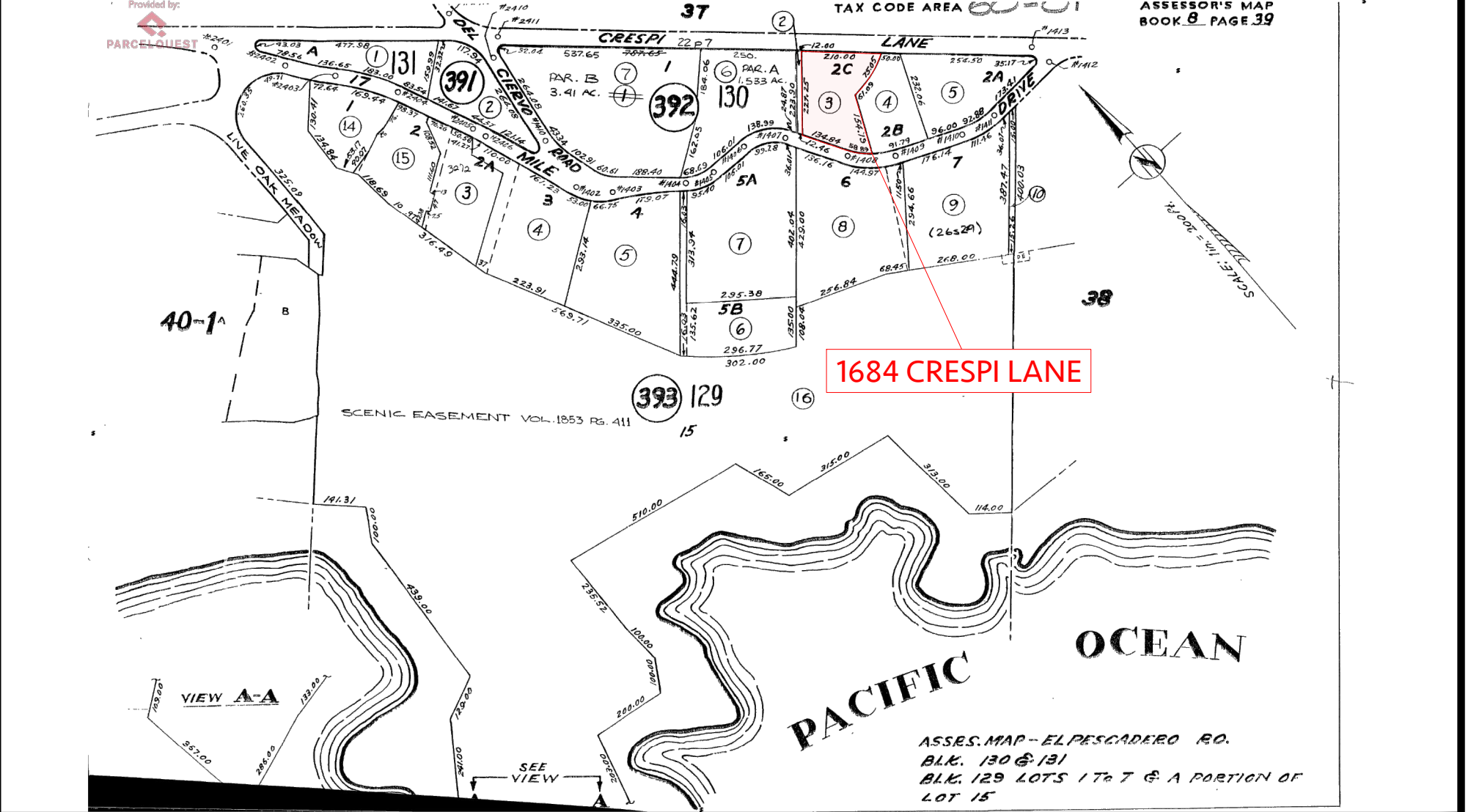
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GENERAL NOTES

ABV.	ANCHOR BOLT	GA.	GAUGE	R.A.	RETURN AIR
ABV.	ABOVE	GA.	GALVANIZED ALUMINUM	R.D.	RADIUS
AC	ASPHALT CONCRETE	GD.	GALVANIZED IRON	R.D.	RADIUS
A/C	AIR CONDITIONING	GR.	GROUND FAULT INTERRUPTER	REC.	RECEIVED
ALUM.	ALUMINUM	GR. OR GLS.	GLASS	REF.	REFRIGERATOR
APPROX.	APPROXIMATE	GR.	GRASS	REN.	RENEWED
ARCH.	ARCHITECTURAL	GND.	GROUND	RES.	RESILIENT
AND.	AND	GYP. BD.	GYPSTUM BOARD	R.OOF.	ROOF
ASPH.	ASPHALT	H.C.	HOLLOW CORE	R.O.	ROUGH OPENING
ASN.	ASNING	H.C. I.D.	HOLLOW I.D.	REQ.	REQUIRED
		HDR.	HEADER	R.G.	RIGHT HAND
BA.	BATH	HDR.	HEADER	RED.	REDWOOD
BD.	BOARD	HDR.	HEADER	RHD.	RAINWATER LEADER
BLDG.	BUILDING	HDR.	HEADER	SCHED.	SCHEDULE
BK.	BLOCKING	HR.	HOUR	S.C.	SOLID CORE
BW.	BELOW	H.B.	HOLE BIBS	S.C.	SECTION
BLAY.	BLAY	H.B.	HOLE BT.	S.F.	SQUARE
BTM.	BOTTOM	HC.	HANDICAP	S.F.	SQUARE FOOT/FEET
BD.	BEDROOM	HYVAG	HEATING VENTILATION & AIR CONDITIONING	SQ. FT.	SQUARE FOOT/FEET
CAB.	CABINET	HU.	HOT WATER	SH.	SHIRT
CH.	CHIMNEY			SHO.	SHOULDER
C.T.	CERAMIC TILE	I.D.	INSIDE DIAMETER	SH.	SHIMLAR
C.	CAST IRON	INS.	INSULATION	SIN.	SILVER
CL.	CLEAR	INT.	INTERIOR	SIN. Q.D. DR.	SILVER SLATS DOOR
CLST.	CLOSET	JO.	JUNCTION BOX	SIN. GLS. DR.	SILVER GLASS DOOR
COMP.	COMPOSITION	JB.	JUNCTION BOX	S P	SHELF & POLE
COND.	CONDENSE	JB.	JUNCTION BOX	S.P.	SHELF & POLE
CONCL.	CONCRETE	KT.	KITCHEN	SQ.	SQUARE
C.O.	CLEAN OUT	KP.	KICKER POST	SQ. OR SQ. FT.	SQUARE FEET
COL.	COLUMN	K8.	KING STUD	ST.	STEEL
CON.	CONCRETE			STL.	STORAGE
CONST.	CONSTRUCTION	LAU.	LAUNDRY	STRUCT.	STRUCTURAL
CSMT.	CABLEMETER	LAV.	LAVATORY	S.B.	SEE STRUCTURAL DRAWINGS
		LF.	LINEAL FEET	STAND.	STANDARD
		LN.	LINEN	S.Y.M.	SYMMETRICAL
		LT.	LIGHT	THRU.	TYPICAL
CSMT.	DOUBLE			TEL.	TOILET BAR
DET.	DETAIL			TB.	TELEPHONE
DF.	DOUGLAS FIR	MAT.	MATERIAL	TEMP.	TEMPERED
DR. OR S.	DIMENSION	MAX.	MAXIMUM	THRU.	THRU
D.H.	DRAINOUT	M.B.	MACHINE BOLT	T&G.	TONGUE & GROOVE
D.R.	DRYER	MEGAL.	MEDICAL	T.O.P.	TOP OF FOOTING
DU.	DISHWASHER	M.A.	MEDICINE CABINET	T.O.P.	TOP OF S
DUG.	DRAINAGE	MFR.	MANUFACTURER	T.O.P.	TOP OF PLATE
		MANUF.	MANUFACTURER	T.O.B.	TOP OF SLAB
EAC.	EACH	MANUF.	MANUFACTURER	T.O.P.	TOP OF WALL
ELEC.	ELECTRICAL	MSC.	MISCELLANEOUS	TP.	TOILET PAPER
ELEV.	ELEVATION	MTD.	MOUNTED	THRU.	TYPICAL
EM.	ELECTRIC METER	N0	NOT	UNLS.	UNLESS NOTED OTHERWISE
ENCL.	ENCLOSURE	N.C.	NOT IN CONTRACT	UNDR.	UNDER CABINET
EQ.	EQUAL	NO OR #	NUMBER	VERT.	VERTICAL
EXH.	EXHAUST	N.T.S.	NOT TO SCALE		
EXP.	EXPANSION				
EXST. OR (E)	EXISTING				
EXT.	EXTERIOR	O	OVER		
FBKGL.	FIBERGLASS	O.C.	ON CENTER	W/	WITH
FD.	FLOOR DRAIN	O.F.S.	OUTSIDE FACE OF STUD	WASH.	WASHER
FO.	FOOTING	O.P.	OPPOSITE	WANN.	WANN
F.F.	FRESH FLOOR	OP.	OUTSIDE DIAMETER	W.C.	WATER CLOSET
F.S.	FRESH SLAB	P.	PLATE	W.C.D.	W.C.D.
FL.	FLOOR	P.	PROPERTY LINE	WDO.	WASHER & DRYER STACKED
FLR.	FLOOR SLAB	PLA.	PLASTER	WDO.	W.C.D.
FLUOR.	FLUORESCENT	PLT.	PLYWOOD	WATER.	WATER METER
F.O.C.	FACE OF CONCRETE	P.N.	PANEL	W/	WITH OUT
F.O.S.	FACE OF STUD	P S	POLE & SHELF	WUP.	WATERPROOF
FR. DR.	FRESH DOOR	POS.	POST	WUP.	WELDED WIRE FABRIC
FOOT OR FEET		PR.	PAIR		
FT.	FOOTING	P.R.	POUNDER FORM		
FG.	FUSED				

PROJECT DIRECTORY

SIMON PHILIPS (SEVEN SPRINGS STUDIO)
2548 EMPIRE GRADE
SANTA CRUZ, CALIFORNIA 95060
1-(831)-466-9617
simon.sevensprings@gmail.com



DRAWING INDEX

A1	Existing Site Plan & Proposed Site Plan
A2	Erosion Control Plan
A3	Proposed Floor Plan
A4	Proposed Elevations and Roof Plan
A5	Proposed Colors and Materials
A6	Proposed Sections
A7	Architectural Details
A8	Architectural Details

- Connection of all utilities (septic, electrical, gas & water) to main residence and/or existing meters shall be underground.

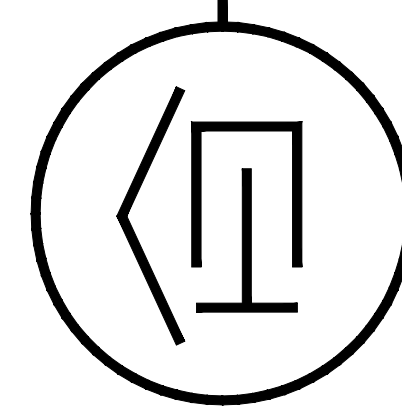
CODE DATA:		LOT DATA:	
Codes:	2022 California Building Code 2022 California Residential Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Fire Code 2022 California Electrical Code 2022 California Energy Code 2022 California Green Building Standards Code	Project Address:	1684 Crespi Lane Pebble Beach, California, 93953
		APN:	008-392-003-000 Block 392, Parcel 3
		Subdivision:	Del Monte Forest LUP
		Parcel Size:	42,958 sq. ft. (0.98 AC)
Occupancy:	R-3	Zoning:	LDR/1.5-D(CZ)
Construction Type:	VB	Built:	1957
Fire Sprinklers:	NO	Use:	Single Family Residential (Low Density Residential)
Solar:	YES AS REQUIRED (Deferred Submittal)	Sewer:	Pebble Beach Community Services District

	Existing:	Proposed
Footage:		
Main Residence:	4849 SQ. FT.	4849 SQ. FT.
Well House:	68 SQ. FT.	68 SQ. FT.
ADU:	- - -	793 SQ. FT.
Deck:	- - -	364 SQ. FT.
F.A.R.:		
Main Residence:	4849 SQ. FT.	4849 SQ. FT.
Well House:	68 SQ. FT.	68 SQ. FT.
ADU:	- - -	793 SQ. FT.
Total F.A.R.:	4917 sq. ft. ÷ 42,958 sq. ft = 11.4 %	5710 sq. ft. ÷ 42,958 sq. ft = 13.3 %
		<i>(Note: F.A.R. maximum 17.5% per title 20.14.060(f) and includes gross floor area of all floors per title 20.06.564)</i>
Site Coverage:		
Main Residence:	4849 SQ. FT.	4849 SQ. FT.
Well House:	68 SQ. FT.	68 SQ. FT.
ADU:	- - -	894 SQ. FT.
Total Site Coverage:	4917 sq. ft. ÷ 42,958 sq. ft = 11.4 %	5811 sq. ft. ÷ 42,958 sq. ft = 13.5 %

Revision/Issue	Date

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM

Bradley Green

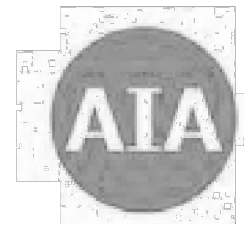


APN: 008-392-003-000

Project:	HC-22073
Date:	12.10.2024
Drawn By:	BGREEN
Scale:	N.T.S.

Sheet No. 7

T1



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Note: Repairs including, but not limited to, resurfacing, reshiping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections shall be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SECTION 302 MIXED OCCUPANCY BUILDINGS		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DIVISION 4.1 PLANNING AND DESIGN		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CHAPTER 4 RESIDENTIAL MANDATORY MEASURES		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SECTION 4.102 DEFINITIONS		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106 SITE DEVELOPMENT		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: Additions and alterations not altering the drainage path.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".		

Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exceptions: 1. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Notes: a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: Areas of parking facilities served by parking lifts.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Notes: a. Construction documents shall show locations of future EV spaces. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: Areas of parking facilities served by parking lifts.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the minimum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.2.1.1 Location. EVCS shall comply with at least one of the following options: 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 4.106.4.2.2.1.2, Item 3.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet (5486 mm). 2. The minimum width of each EV space shall be 9 feet (2743 mm). 3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.2.1.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4.2.3 EV space requirements. 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide information on ampacity of installed or future receptacles or EVSE, raceway schematics and electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.		

Y	N/A	RESPON. PARTY																		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Notes: 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
DIVISION 4.2 ENERGY EFFICIENCY																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.201 GENERAL. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303 INDOOR WATER USE																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.3 Showerheads.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Note: A hand-held shower shall be considered a showerhead.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4 Faucets.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
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4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential-commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.																				
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																		
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Y	N/A	RESPON. PARTY
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.304 OUTDOOR WATER USE		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2, MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.410 BUILDING MAINTENANCE AND OPERATION		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to		



Drawing Title: GREEN BUILDING STANDARDS - SHEET 2
Job Title: MANLY RESIDENCE
Project Address & APN: 1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953 APN: 008-392-003-000

Project: HC-22073	Sheet No. G3
Date: 12.10.2024	
Drawn By: BGREEN	
Scale: N.T.S.	

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODEBOOK.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

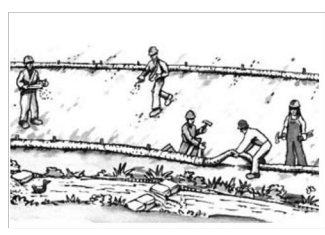
- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



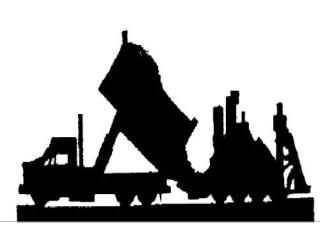
EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

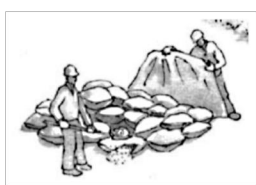
Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.



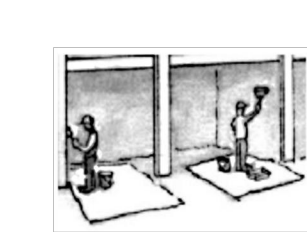
CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



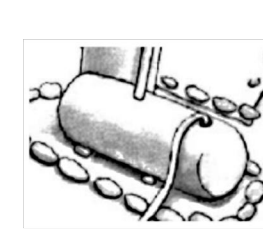
PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- ❑ Chemical paint stripping residue and drips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or handled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.



MANEJO DE MATERIALES Y RESIDUOS

Materiales no peligrosos

- ❑ Haga un borde alrededor y cubra con lomas impermeables las pilas de arena, tierra u otros materiales de construcción cuando haya pronóstico de lluvia o si si no se están usando activamente. Para mejor resultado, esto debería hacerse diariamente al final del día de trabajo durante toda la construcción cuando sea posible.
- ❑ Use (pero no abuse) agua reclamada para controlar el polvo.

Materiales peligrosos

- ❑ Póngales etiqueta con nombre a todos los materiales y residuos peligrosos (como pesticidas, pintura, diluyentes, solventes, gasolina, aceite y anticongelante) de acuerdo con las regulaciones de la ciudad, del condado, del estado y federales.
- ❑ Ponga los materiales y residuos peligrosos en contenedores que no pierdan, póngalos luego en contenedores secundarios apropiados y cábralos después de cada día de trabajo, o durante la temporada lluviosa, o cuando se haya pronosticado lluvia.
- ❑ Al aplicar los materiales peligrosos, siga las instrucciones del fabricante y tenga cuidado de no usar más de lo necesario. No aplique productos químicos en el exterior cuando se haya pronosticado lluvia en las próximas 24 horas.
- ❑ Asegúrese de deshacerse apropiadamente de todos los residuos peligrosos.

Entradas y perímetros de los sitios de construcción

- ❑ Establezca y mantenga control efectivo de los perímetros y estabilice todas las entradas y salidas del sitio de construcción

para controlar suficientemente la erosión y la descarga de sedimentos del sitio para que no salgan del sitio.

- ❑ Barre o aspire inmediatamente lo que haya pasado a la calle y controle la fuente de origen para prevenir que siga sucediendo. Nunca lave con manguera las calles para limpiar lo que haya sido acarreado o llevado del sitio de construcción.

Gestión de residuos

- ❑ El Código de Construcción Ecológica de California requiere que todos los proyectos permitidos de construcción, demolición y adiciones o alteraciones, residenciales o no residenciales, residan o salven un mínimo del 65% de los materiales de construcción no peligrosos del proyecto.
- ❑ Cubra los contenedores de residuos de manera segura con lomas impermeables al término de cada día de trabajo y durante el tiempo de lluvias.
- ❑ Limpie o reemplace los excusados portátiles e inspecciónelos con frecuencia para ver que no pierdan o se derramen. Incorpore contenedores secundarios y cubrelas lejas de los desechos de aguas pluviales.
- ❑ Deshágase de los residuos líquidos de pintura, solventes, ceras y líquidos de limpieza como materiales peligrosos (la compañía de Gestión de Residuos Monterey Regional Waste Management District, tiene una planta para residuos peligrosos del hogar que acepta estos artículos).

MANEJO DEL EQUIPO Y CONTROL DE DERRAMES

Mantenimiento y estacionamiento

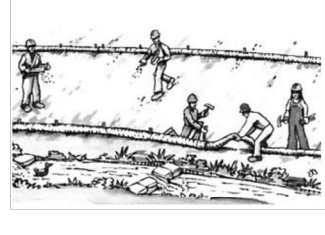
- ❑ Diseñe un área especial, usando técnicas apropiadas de control de polvoción, para estacionar los vehículos y el equipo, y para almacenamiento.
- ❑ Realice las tareas mayores de mantenimiento, los trabajos de reparación y el lavado de vehículos y equipos fuera del sitio de construcción.
- ❑ Si es necesario ponerle gasolina a un vehículo o hacer reparaciones en el sitio, trabaje en un área bordada, alejada de los desagües pluviales y sobre una bandeja de goteo de tamaño suficiente para contener los líquidos peligrosos que se derramen. Recicle o deshágase de los líquidos como materiales peligrosos (desperdicio).

Si es necesario lavar los vehículos o equipos en el sitio de construcción, limpie los solo con agua, en un área contenida que no permita que el agua de enjuague llegue a cunetas, calles, desagües de aguas pluviales o superficies acuosas (lagos, arroyos, etc.).

- ❑ No lave vehículos o equipos en el sitio de construcción usando jabones, solventes, desengrasadores, equipo de limpieza en seco, etc.
- ❑ La protección del conducto de entrada es el último punto de defensa de derrames. Desagües/tenederos que reciben aguas pluviales deben ser cubiertos o de otra manera protegidos contra sedimentos, tierra, barro u otras basuras, o contra descargas ilícitas, y debe incluir el control de cañaletas y la filtración, donde sea pertinente, de manera que no obstruya el tránsito o la seguridad.

Prevención y control de derrames

- ❑ Mantenga a mano en el sitio de construcción, en todo momento, los materiales para limpiar derrames (trapos, absorbentes, etc.).
- ❑ Inspeccione frecuentemente los vehículos y equipos para describir pérdidas de fluidos y respáralos inmediatamente. Use bandejas de goteo para recoger el líquido de la pérdida hasta que pueda hacer las reparaciones.
- ❑ Limpie los derrames o pérdidas apropiadamente de los materiales de agua pluviales (vea las guías del Monterey Regional Waste Management District para ver los materiales peligrosos aceptados como desperdicio).
- ❑ No lave con manguera las superficies donde se hayan volcado líquidos. Use métodos en seco (materiales absorbentes, aserrín de coque sanitarios para gatos, o trapos).
- ❑ Limpie los derrames en la tierra excavando la tierra contaminada y deshaciéndose correctamente de ella (vea las guías del Monterey Regional Waste Management District sobre el criterio para aceptar tierra contaminada).
- ❑ Comunique inmediatamente cualquier derrame significativo. La ley obliga comunicar todos los derrames de materiales peligrosos, incluyendo el petróleo. Para comunicar un derrame llame al 911.



TRABAJO EN LA TIERRA Y SUELOS CONTAMINADOS

Control de erosión

- ❑ Planee trabajo de nivelación y excavación sólo cuando no vaya a llover.
- ❑ Establezca todas las áreas denudadas, instale y mantenga control de erosión provisional (como tela de control de erosión o matiz de tejido pegado) hasta que se haya establecido la vegetación.
- ❑ Plante semillas o plantas para control de erosión en superficies en declive o donde no se planea la construcción inmediata.

Control de sedimento

- ❑ Proteja las rejillas de los desagües de agua pluviales, las cunetas, canales y cursos de drenaje, usando apropiadas técnicas de control de polvoción, como bolsas con grava, rollos de fibras, bordes, etc.
- ❑ Prevenga que los sedimentos migren fuera del sitio instalando y manteniendo controles de sedimentos, como rollos de fibra, correa de sedimentos o estancos de sedimentos.
- ❑ Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- ❑ Transfiera a los camiones los materiales excavados, en el sitio mismo de construcción y no en la calle.
- ❑ Si se observan cualquiera de las siguientes condiciones, analice la tierra para describir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua y con el inspector municipal local:
 - Condiciones inusuales en la tierra, descoloramiento u olor.
 - Tanques enterrados abandonados.
 - Barriles, basuras o residuos enterrados.

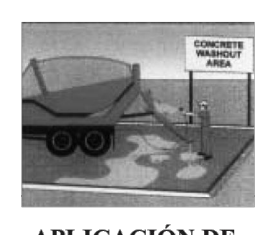


TRABAJO CON PAVIMENTO/ASFALTO

- ❑ Evite pavimentar o recubrir pavimento en temporada de lluvias, o cuando se haya pronosticado lluvia para antes que el nuevo pavimento haya tenido tiempo de secarse.
- ❑ Cubra las rejillas de los desagües de aguas pluviales y las bocas de sumideros antes de aplicar la capa de sellado, capa ligante, capa de lechada (slurry seal), capa final fluida, etc.
- ❑ Junte y recicle o deshágase apropiadamente del exceso de grava o arena abrasivas. NO las barra ni las empuje con agua a los desagües de aguas pluviales.
- ❑ No use agua para lavar pavimento de concreto y asfalto fresco.
- ❑ Junte el agua con la que lavó el concreto de agregado expuesto y deshágase de ella apropiadamente fuera del sitio de construcción.

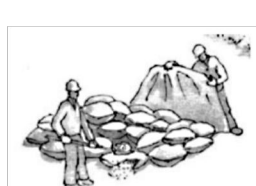
Cortando con sierra y removiendo asfalto/concreto

- ❑ Cubra completamente o erija una barrera alrededor de las rejillas de desagües de aguas pluviales cuando corte con sierra. Use tela de filtro, filtros en las bocas de admisión, o bolsas de grava para evitar que la lechada entre en el sistema de desagües pluviales.
- ❑ Proteja las entradas de desagües de aguas pluviales, cañaletas, cunetas y cursos de drenaje con las mejores prácticas de control, como bolsas de grava, filtros de entrada, bordes, etc.
- ❑ Levante con pala, absorba o aspire la lechada producida por la sierra deshágase de todos los residuos tan pronto como haya finalizado en un sitio, o al terminar cada día de trabajo (¡lo que ocurra antes!).
- ❑ Si la lechada producida por la sierra entra en un sumidero, limpie inmediatamente.



APLICACIÓN DE CONCRETO, LECHADA DE CEMENTO Y ARGAMASA

- ❑ Guarde el concreto, la lechada de cemento y la argamasa cubiertos en paletas y alejados de las áreas de desagüe. Estos materiales nunca deben llegar a los desagües pluviales.
- ❑ Lave el concreto del equipo y de los camiones fuera del sitio de construcción o en un área contenida, para que no descarguen en la tierra subyacente o en las áreas de alrededor. Deje secar el concreto y deshágase de él como basura.
- ❑ Junte el agua con la que lavó el concreto de agregado expuesto y deshágase de ella apropiadamente fuera del sitio de construcción.



MATERIALES DE JARDINERÍA

- ❑ Contenga los materiales de jardinería ya aplicados manteniéndolos cubiertos con lomas impermeables cuando no estén en uso activo.
- ❑ Ponga sobre paletas los materiales de jardinería que puedan sufrir erosión. Cubra o guarde esos materiales cuando no sean activamente usados o aplicados.
- ❑ No continúe aplicando cualquier material de jardinería que pueda sufrir erosión por la sierra entre en un sumidero, pronosticada o durante tiempo lluvioso.

* Adaptado con el permiso del Programa de Prevención de Polución del Agua del Condado de San Mateo.

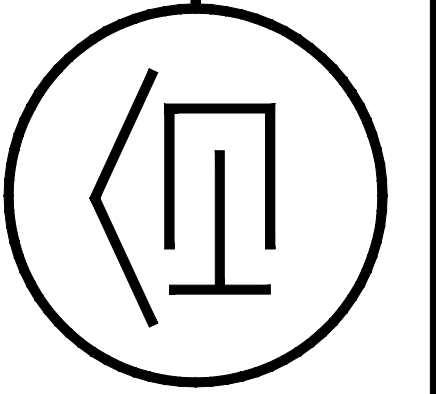
ENGLISH

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGS-CONSTRUCTION.COM
LIC# 791539 CLASS: A/B

Bradley Green



Drawing Title:
CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Job Title:

MANLY RESIDENCE

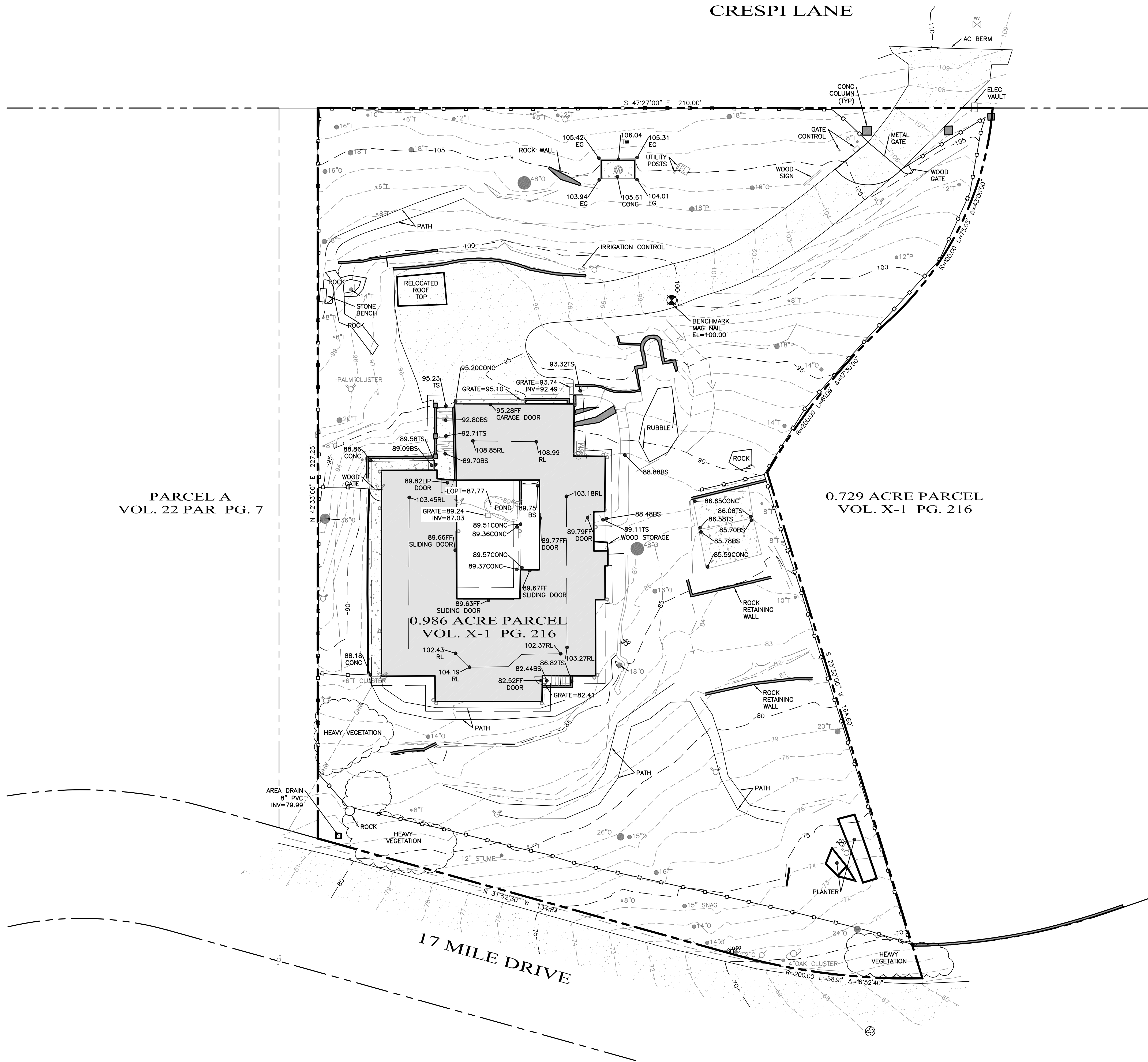
Project Address & APN:

1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project:
HC-22073
Date:
12.10.2024
Drawn By:
BGREEN
Scale:
N.T.S.

Sheet No.

G3



PARCEL A
VOL. 22 PAR PG. 7

0.729 ACRE PARCEL
VOL. X-1 PG. 216

17 MILE DRIVE

LEGEND

	PROPERTY LINE
	FLOW LINE
	WOOD FENCE
	WIRE FENCE
	LINK FENCE
	RAIL
	OVERHEAD WIRE
	MAJOR CONTOUR
	MINOR CONTOUR
80.00 → SPOT ELEVATION	
AC ASPHALT	WM WATER METER
BS BOTTOM STAIRS	WV WATER VALVE
CONC CONCRETE	IC IRRIGATION CONTROL
CYP CYPRESS TREE	WW WATER WELL
DS DOWNSPOUT	HB HOSE BIB
E EXISTING	UP UTILITY POLE
EG EXISTING GRADE	EL ELECTRICAL METER
EL ELEVATION	AM AT&T MANHOLE
ELEC ELECTRICAL	GV GAS VALVE
FC FACE OF CURB	GM GAS METER
FL FLOW LINE	SM SEWER MANHOLE
FP FINISH PAVEMENT	SC SEWER CLEANOUT
FW FACE OF WALL	DS DOWNSPOUT
JUN JUNIPER TREE	UGP UTILITY GUY POLE
LOPT LOW POINT	AC ASPHALT PAVEMENT
O OAK TREE	CONC CONCRETE
PLM PALM TREE	
RL RIDGE LINE	
T TREE	
TS TOP OF STAIRS	
TYP TYPICAL	

NOTES

1. BOUNDARY DATA SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DOCUMENTS. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS PER DOCUMENT #2021084802, AND SHOWN APPROXIMATE ONLY. THIS IS NOT A BOUNDARY SURVEY.
2. THIS TOPOGRAPHIC SURVEY IS PREPARED FOR DESIGN PURPOSES ONLY.
3. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
4. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
5. CONTOUR INTERVAL = ONE FOOT.
6. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
7. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
8. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
9. A LOCAL BENCHMARK FOR THIS PROJECT IS A MAG NAIL SET IN DRIVEWAY AS SHOWN HEREON, HAVING AN ELEVATION OF 100.00 BASED UPON AN ASSUMED DATUM.
10. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER 2022. ADDITIONAL DATA COLLECTED ALONG 17 MILE DRIVE JUNE 2024.



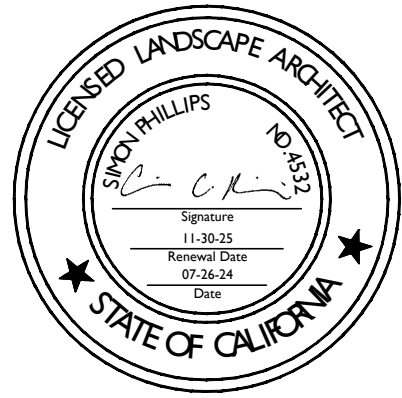
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DESIGNED BY: 12/9/22
DATE: 1"=16'
SCALE: 22-95
JOB NUMBER: 06/13/2024
LAST REVISED: BA
REVISED BY:

TOPOGRAPHIC SURVEY
1684 CRESPI LANE
PEBBLE BEACH, CA 93953
APN: 008-392-003

PREPARED FOR:
JOHN MANLY

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

MANLY
RESIDENCE

PROJECT ADDRESS:

1684 CRESPI LANE
PEBBLE BEACH, CA 93953

APN: 008-392-003

ISSUANCE:

COUNTY SUBMITTAL

PROJECT NO: 2023-13

DATE: 12/06/2024

REVISIONS:

DATE DESCRIPTION

SHEET NAME:

GRADING PLAN -
ADU

SHEET NO:

L-1

EARTHWORK CALCULATIONS

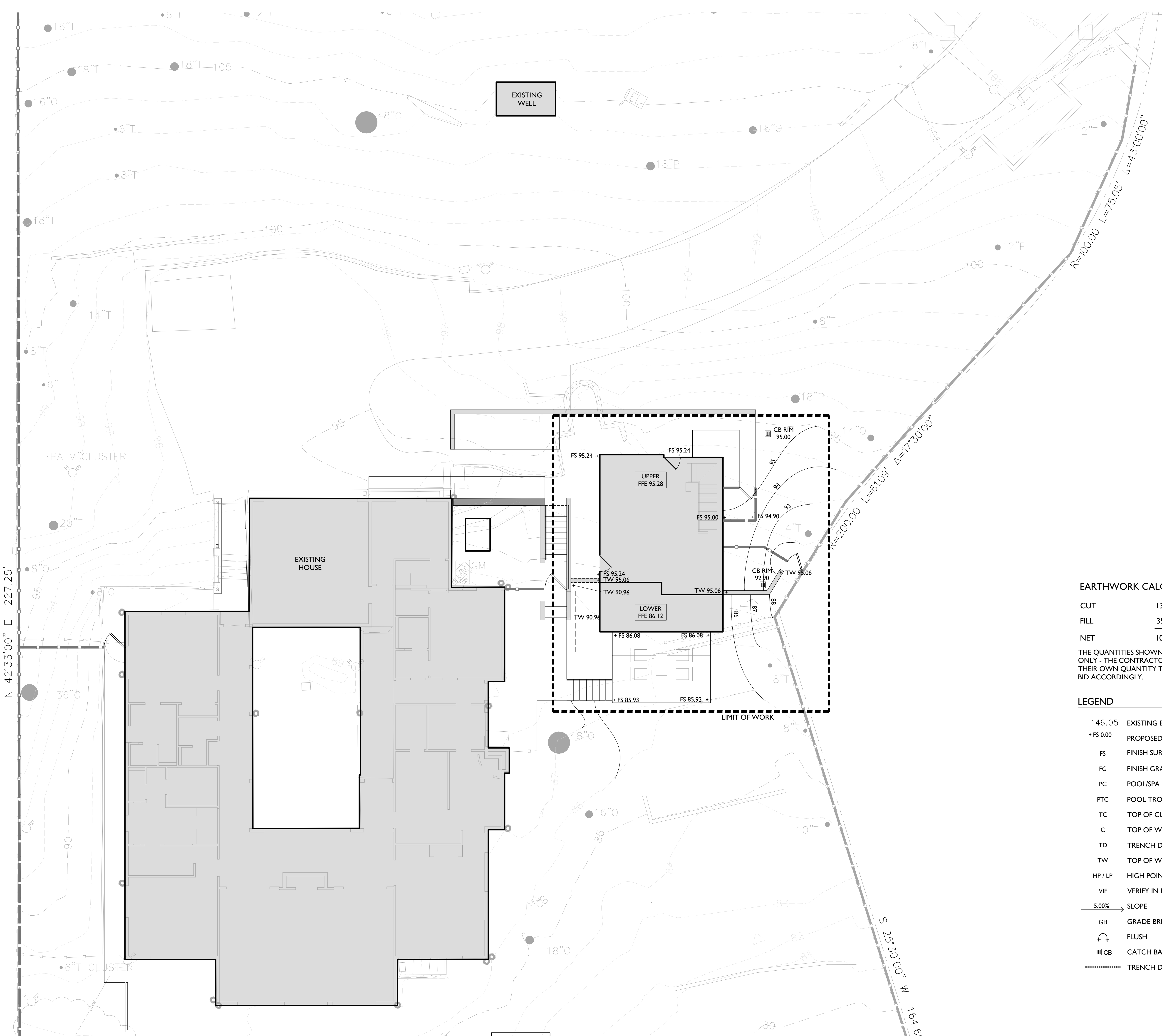
CUT	138 CY
FILL	35 CY
NET	103 CY CUT

THE QUANTITIES SHOWN ABOVE ARE ESTIMATES ONLY - THE CONTRACTOR SHALL DETERMINED THEIR OWN QUANTITY TAKEOFFS AND SHALL BID ACCORDINGLY.

LEGEND

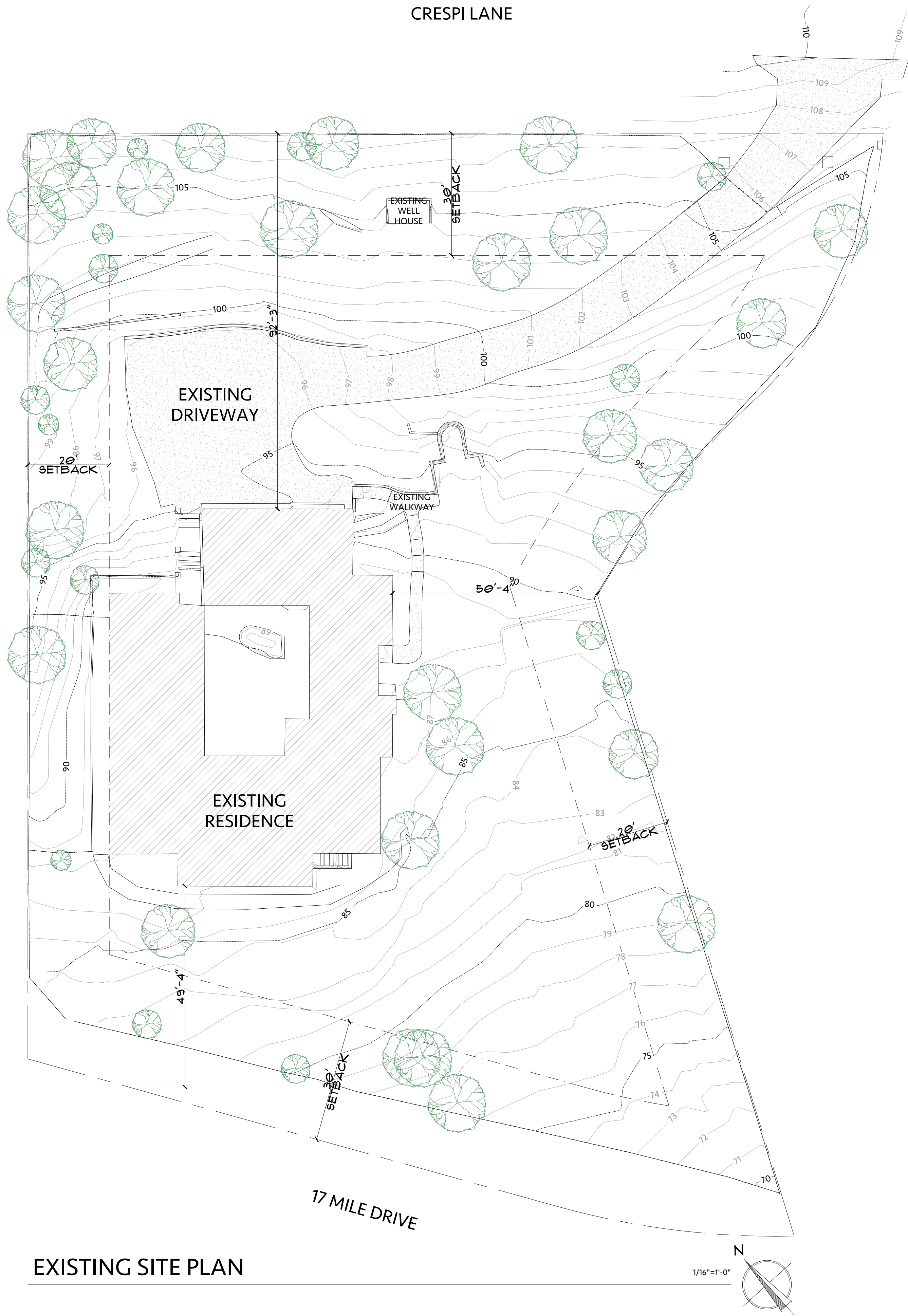
146.05	EXISTING ELEVATION
+ FS 0.00	PROPOSED SPOT ELEVATION
FS	FINISH SURFACE (PAVING OR DG)
FG	FINISH GRADE
PC	POOL/SPA COPING
PTC	POOL TROUGH COPING
TC	TOP OF CURB
C	TOP OF WATER FEATURE BASIN COPING
TD	TRENCH DRAIN RIM
TW	TOP OF WALL
HP / LP	HIGH POINT / LOW POINT
VIF	VERIFY IN FIELD
5.00%	SLOPE
---GB---	GRADE BREAK
↻	FLUSH
■ CB	CATCH BASIN
=====	TRENCH DRAIN

SCALE: 1/8"= 1'-0"

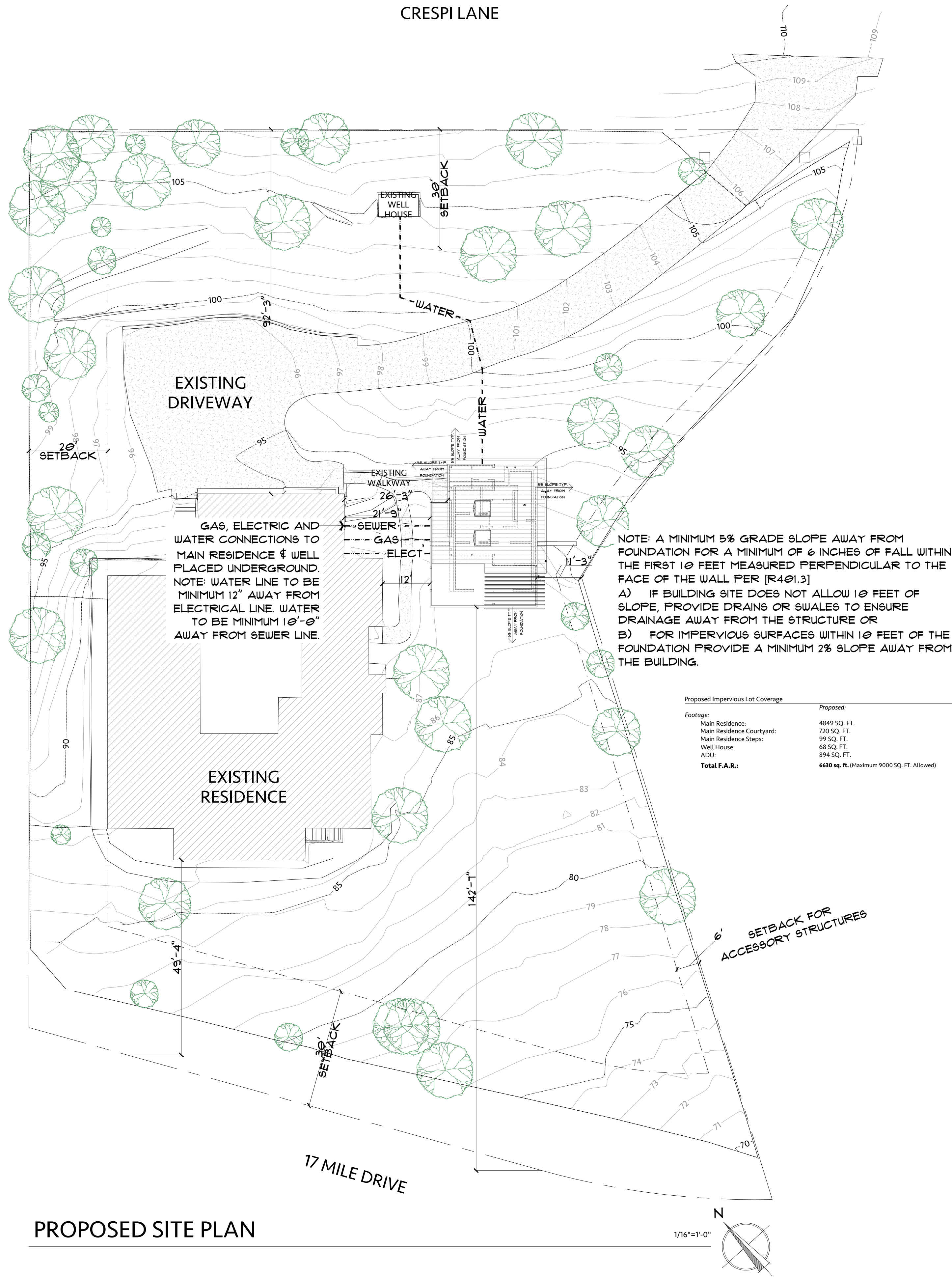


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EXISTING SITE PLAN



EROSION AND SEDIMENT CONTROL NOTES

1. BEST MANAGEMENT PRACTICES (BMPs) AT A MINIMUM, THE FOLLOWING BMPs ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION ACTIVITIES PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESCP SUBMITTAL, AS APPLICABLE.
- A. WET WEATHER MEASURES IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WET WEATHER SEASON - OCTOBER 15 THROUGH APRIL 15. OTHERWISE, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR PRE-RAIN INSTALL.
- B. EXISTING VEGETATION PROTECT EXISTING VEGETATION: AVOID REMOVAL AS REQUIRED AND WHEREVER POSSIBLE, INSTALL APPROPRIATE/PROTECTIVE FENCING, PERIMETER CONTROLS PRIOR TO WORK.
- C. EROSION AND SEDIMENT CONTROL, AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMPs SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENT ON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.
- D. STOCKPILE MANAGEMENT 1.) ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. 2.) STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. 3.) NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
- E. WASTE MANAGEMENT ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ON-SITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED AND ITS CONTENTS DISPOSED OF PROPERLY: NO MATERIAL SHALL BE WASHED INTO STREET.
- F. VEHICLES AND EQUIPMENT RESPONSIBLE PARTIES MUST ENSURE ALL VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.
- G. DRAIN/INLET PROTECTION & PERIMETER CONTROLS DRAIN/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. ALSO, CHANGING CONSTRUCTION CONDITIONS NECESSITATE THAT THE TYPE OF INLET AND DRAIN PROTECTION IMPLEMENTED BE CHANGED AND/OR ADJUSTED BY THE CONTRACTOR TO ADEQUATELY PROTECT THE STORM DRAIN SYSTEM DURING THE VARIOUS CONSTRUCTION PHASES.
- H. SWEEPING ALL IMPERVIOUS SURFACES (DRIVEWAYS, STREETS) SHALL BE PHYSICALLY SWEEP (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT NO TRACKING OFF-SITE. DEWATERING NO DEWATERING IS ALLOWED FROM CONSTRUCTION SITES UNLESS DISCHARGE IS AN EXCEPTION TO THE DISCHARGE PROHIBITION PER CITY CODE CH. 21.5-12(C). ASBS DRAINAGES HAVE GREATER RESTRICTIONS. ANY PROPOSED DEWATERING MUST BE REVIEWED/CLEARED BY CITY AND APPLICABLE REGULATORY AGENCIES. STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORM WATER.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
- A. DISTURBED SURFACE NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- C. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.

[MONTEREY COUNTY GRADING/EROSION ORD. 2806 - 16-12-090]

CONSTRUCTION MANAGEMENT NOTES

CONTRACTOR
JUSTIN HASTINGS
(Primary Contact during construction)
11 THOMAS OWENS WAY, SUITE 201
MONTEREY, CA 93940
831-620-0920
JUSTINHASTINGS@CONSTRUCTION.COM

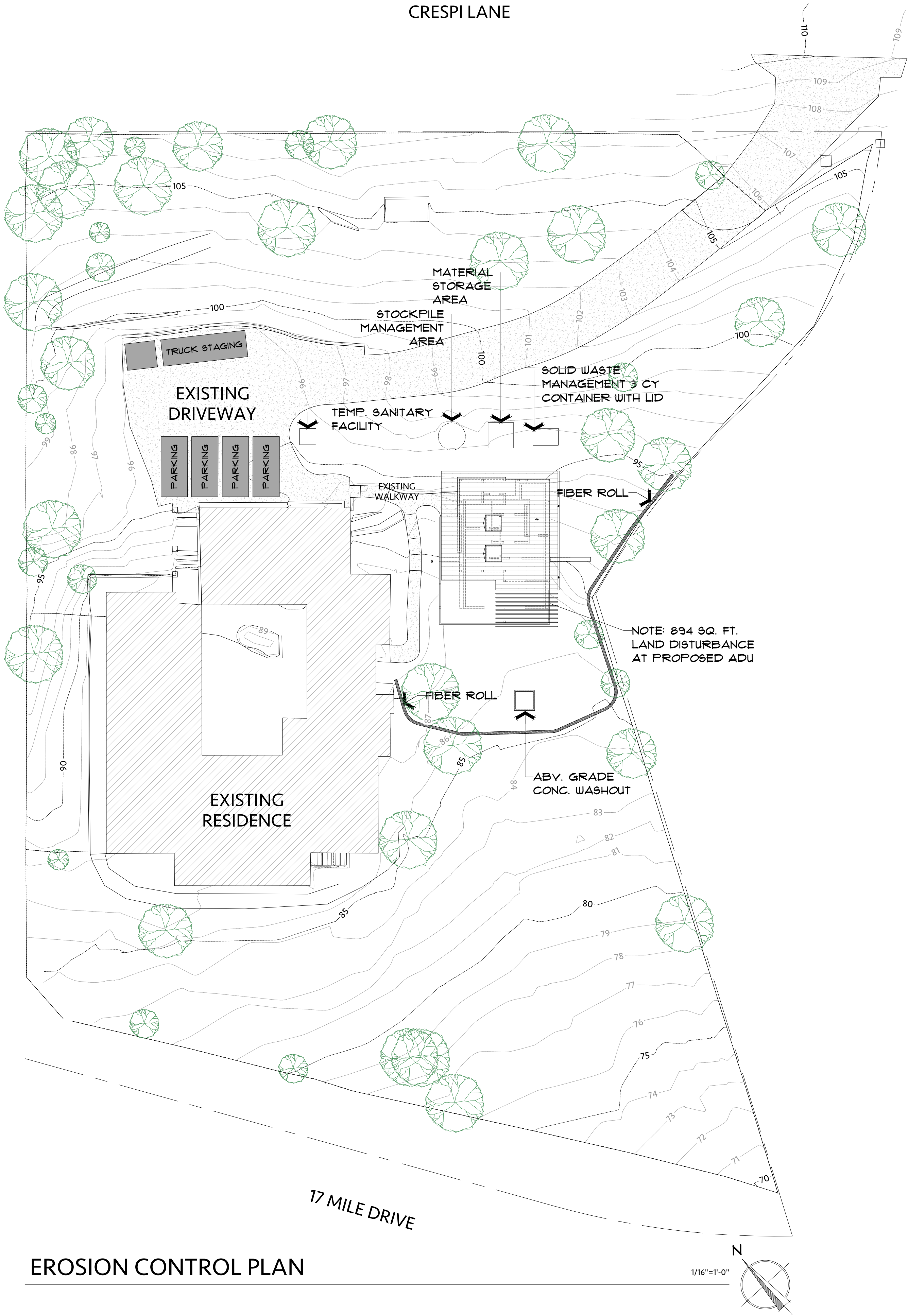
PROJECT MANAGER
JORGE SALGADO
(Secondary Contact during construction)
HASTINGS CONSTRUCTION, INC.
11 THOMAS OWENS WAY, SUITE 201
MONTEREY, CA 93940
831-620-0920
PMHASTINGS@CONSTRUCTION.COM

SUMMARY:
VEHICLES:
ANTICIPATED CONSTRUCTION VEHICLES WILL CONSIST OF DUMP TRUCKS, EXCAVATORS, BACKHOES, CONCRETE TRUCKS, PICK-UP TRUCK & CARS DURING GENERAL CONSTRUCTION.

HOURS:
HOURS OF OPERATION WILL BE FROM 8:00AM - 6:00 PM, MONDAY - SATURDAY

SCHEDULING & GRADING:
PROJECT IS ESTIMATED TO LAST 18 MONTHS. DURING GRADING ACTIVITIES, THERE MAY BE UP TO 6 TRUCKLOADS PER DAY AND UP TO 120 YARDS OF EARTHWORK PER DAY.

TREE PROTECTION:
PRIOR TO THE START OF CONSTRUCTION, A PROTECTED BARRICADE WITH WOOD OR METAL STAKES CONNECTED WITH ORANGE SHW NETTING SHALL BE ERECTED AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED.



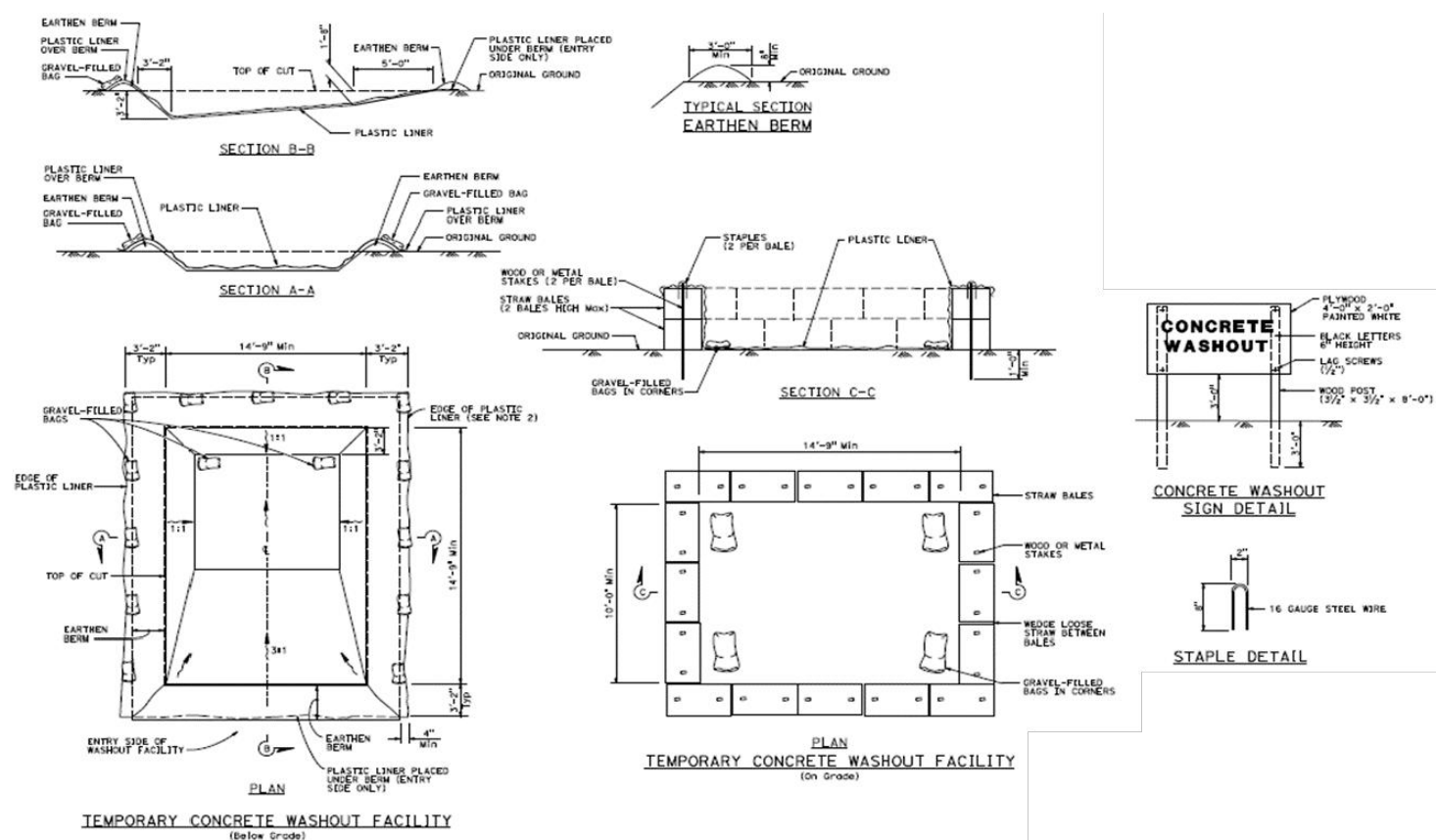
EROSION CONTROL PLAN

TEMP COVER ON STOCKPILE

1

FIBER ROLLS

2

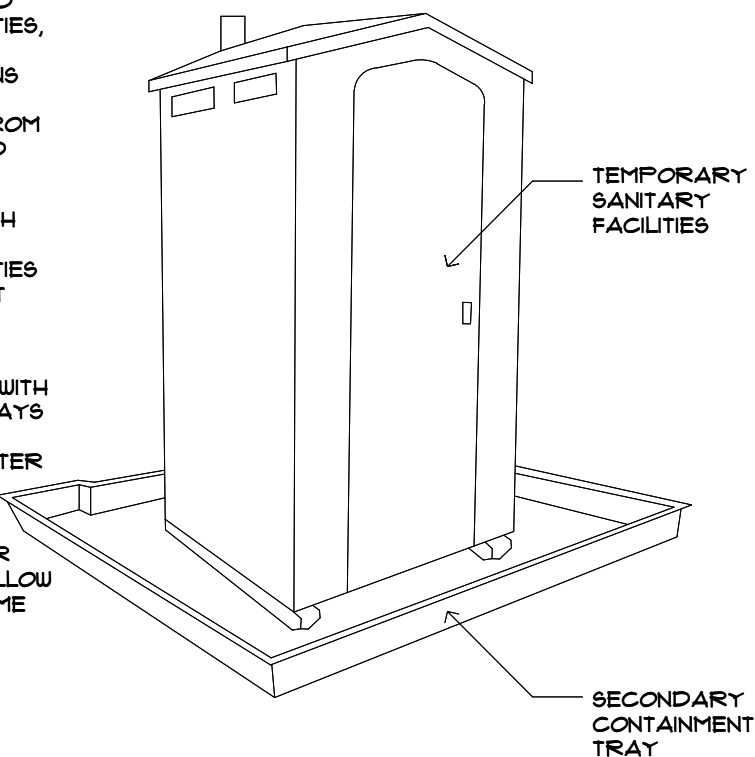


SANITARY WASTE MANAGEMENT

4

STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM CIRCULATION IF SITE CONDITIONS ALLOW PLACE PORTABLE FACILITIES A MINIMUM OF 50' FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
4. ARRANGE FOR REGULAR WASTE COLLECTION. DO NOT ALLOW SANITARY FACILITIES TO BECOME OVERFULL.

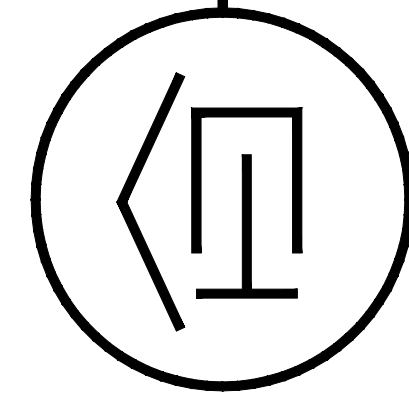


Revision/Issue	Date

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11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGS-CONSTRUCTION.COM
LIC#: 791539 CLASS: A/B

Bradley Green



Drawing Title:
EROSION CONTROL PLAN

Job Title:
MANLY RESIDENCE

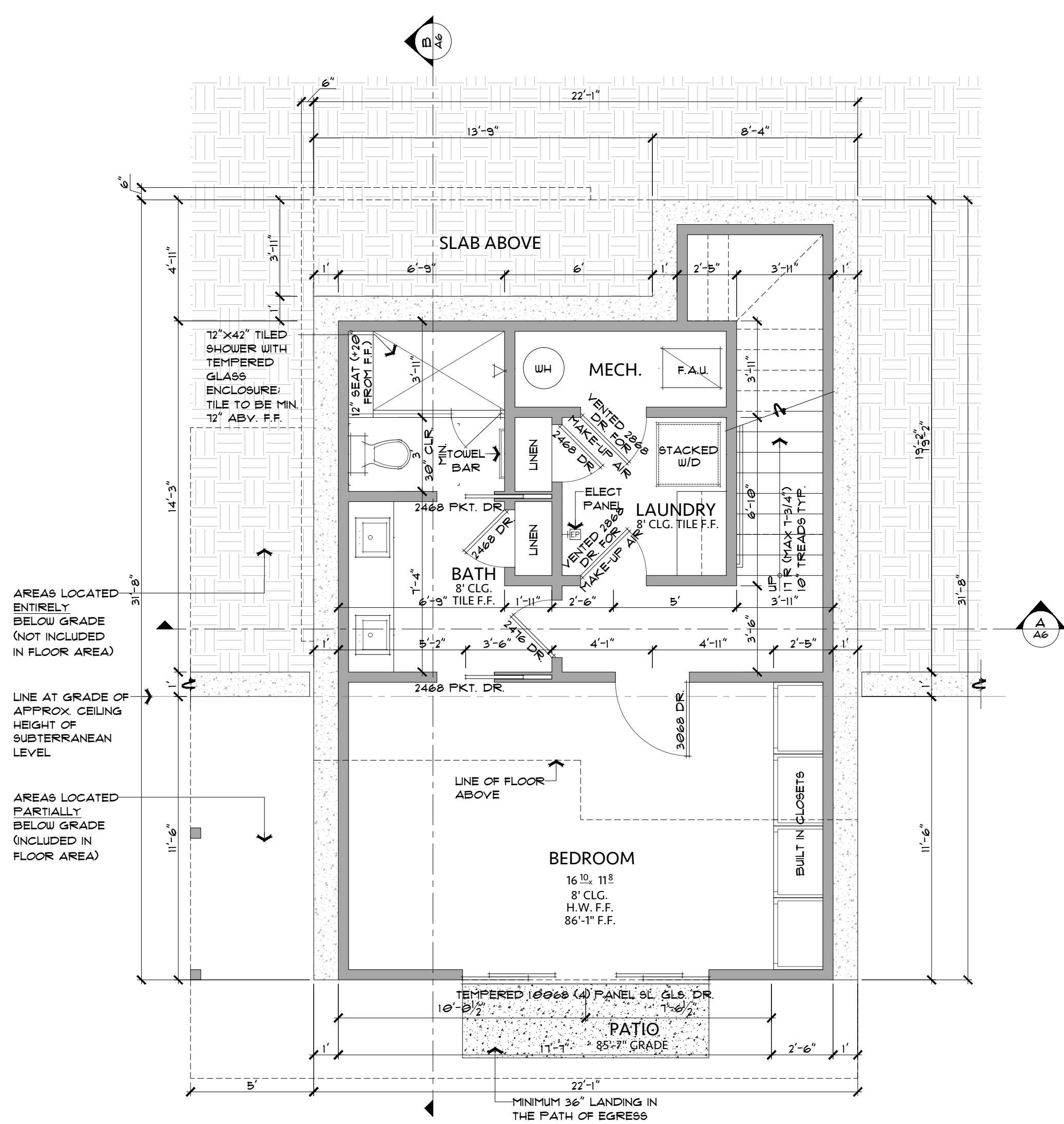
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project:
HC-22073
Date:
12.10.2024
Drawn By:
BGREEN
Scale:
1/16" = 1'-0"

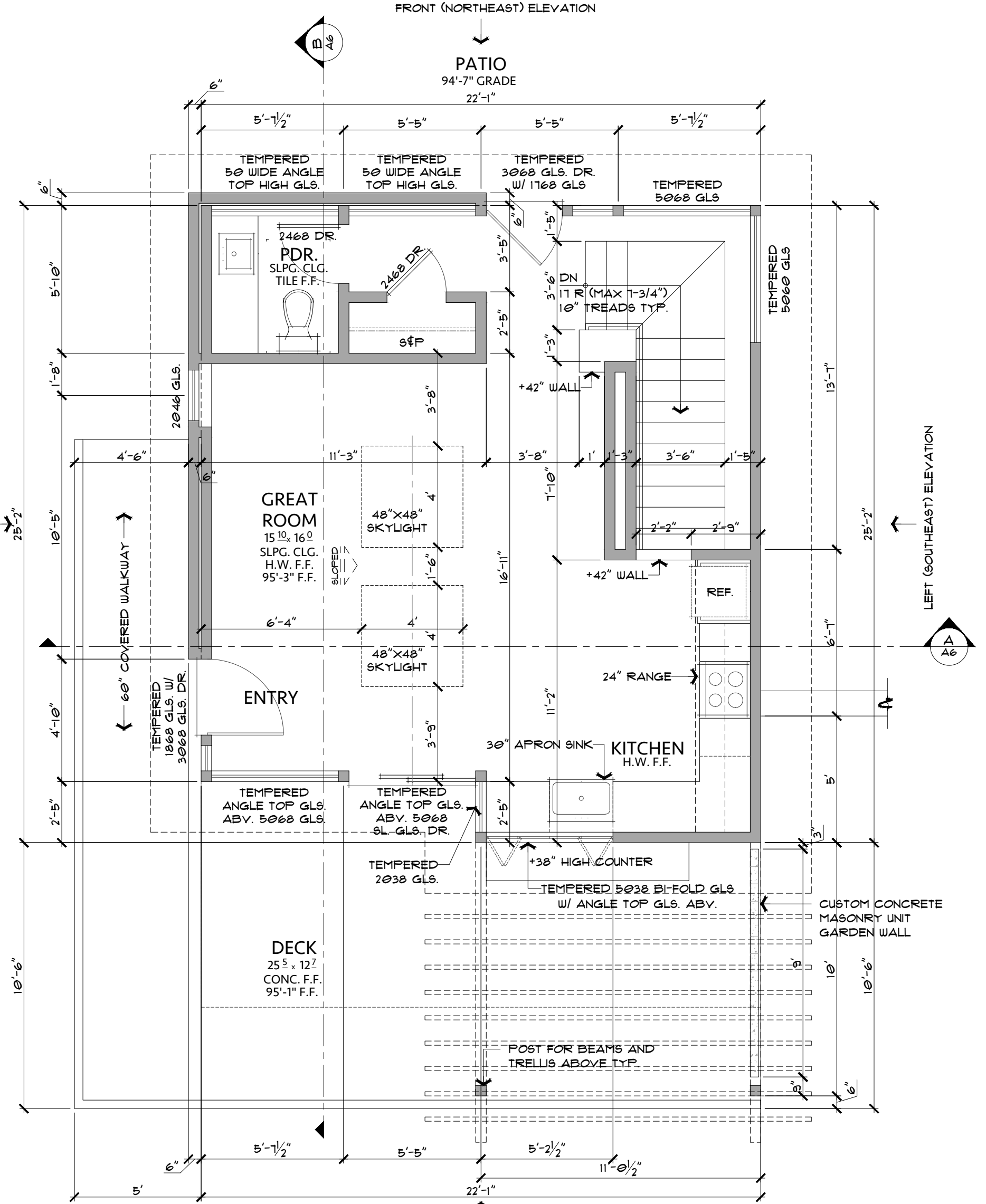
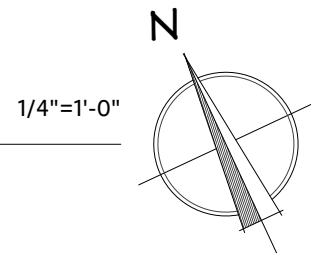
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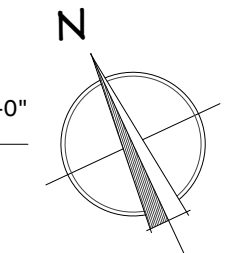
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PROPOSED FLOOR PLAN - SUBTERRANEAN LEVEL & WALK-OUT BASEMENT



PROPOSED FLOOR PLAN - FIRST LEVEL



1684 CRESPI LANE - ADU
1 BED / 1.5 BATH

FLOOR AREA TABLE

FIRST LEVEL	530 SQ. FT.
WALK-OUT BASEMENT (INCLUDES BEDROOM - PARTIALLY ABOVE GRADE)	263 SQ. FT.
TOTAL AREA ABOVE -OR- PARTIALLY ABOVE GRADE (FIRST FLOOR AND WALK-OUT BASEMENT)	793 SQ. FT.
SUBTERRANEAN LEVEL (INCLUDES HALL, LAUNDRY, MECH., AND BATH - ENTIRELY BELOW GRADE)	285 SQ. FT.
DECK	364 SQ. FT.

Revision/Issue	Date

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Bradley Green

Drawing Title:
PROPOSED FLOOR PLAN

Job Title:
MANLY RESIDENCE

Project Address & APN:
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APN: 008-392-003-000

Project:
HC-22073

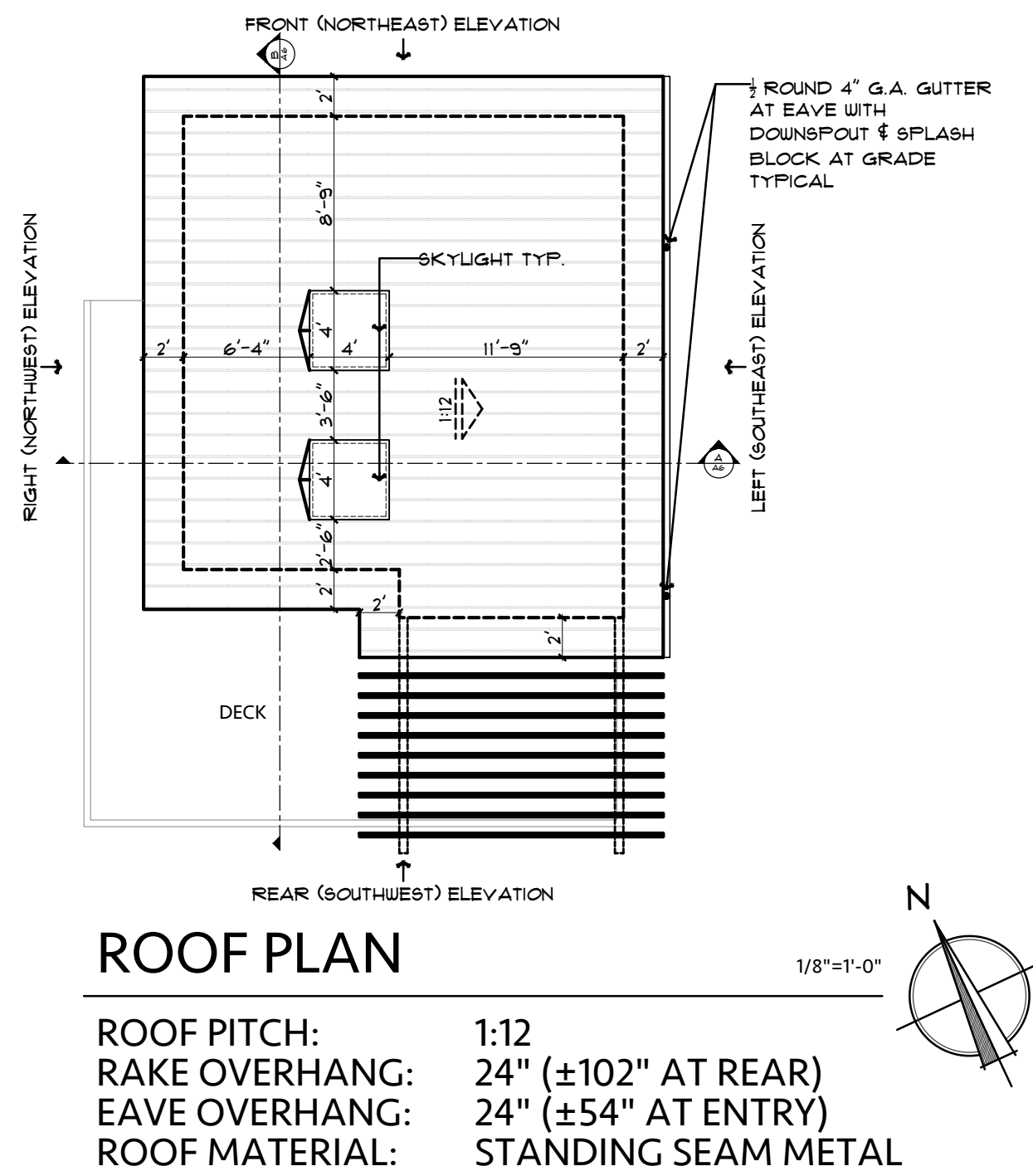
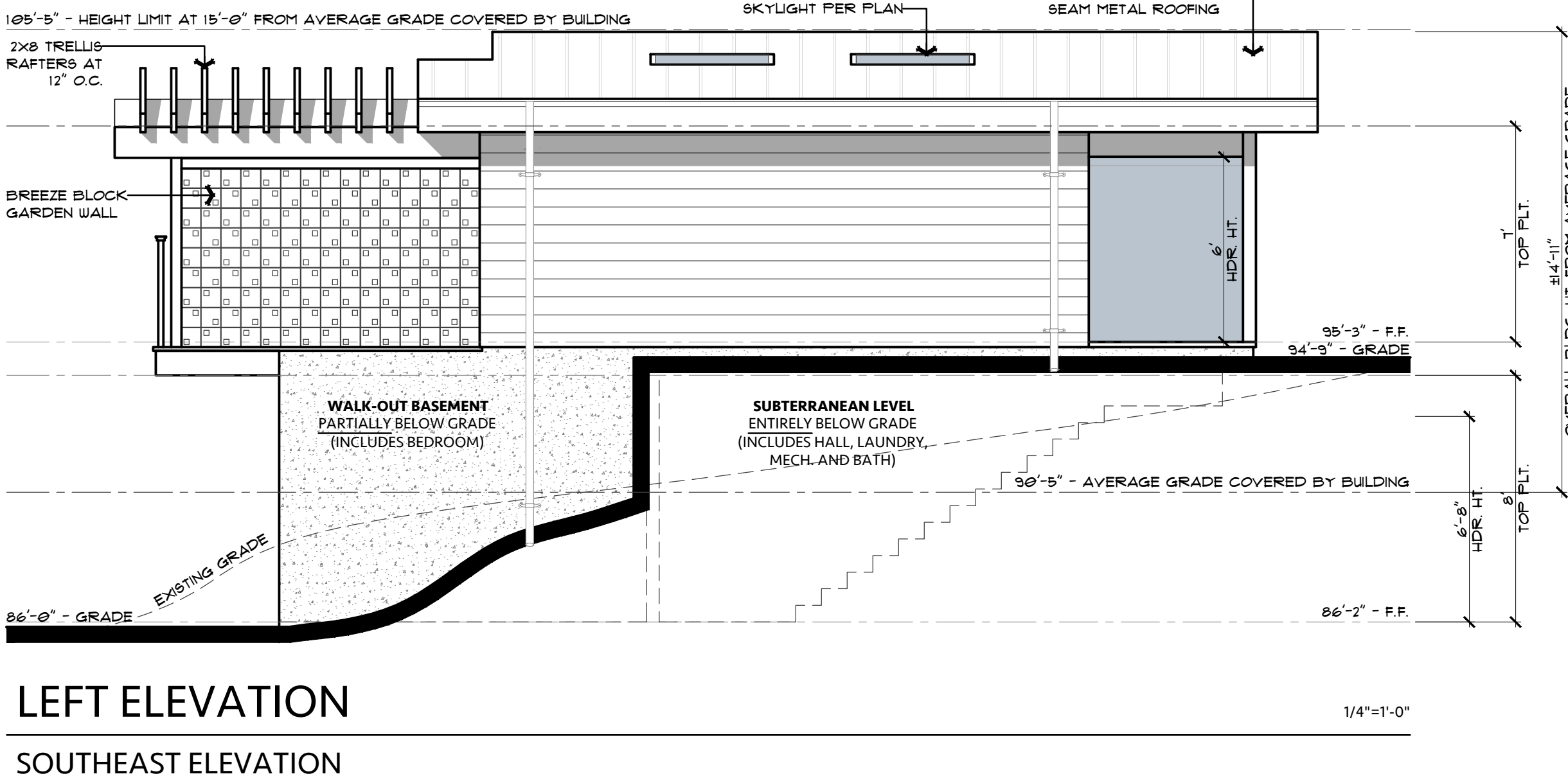
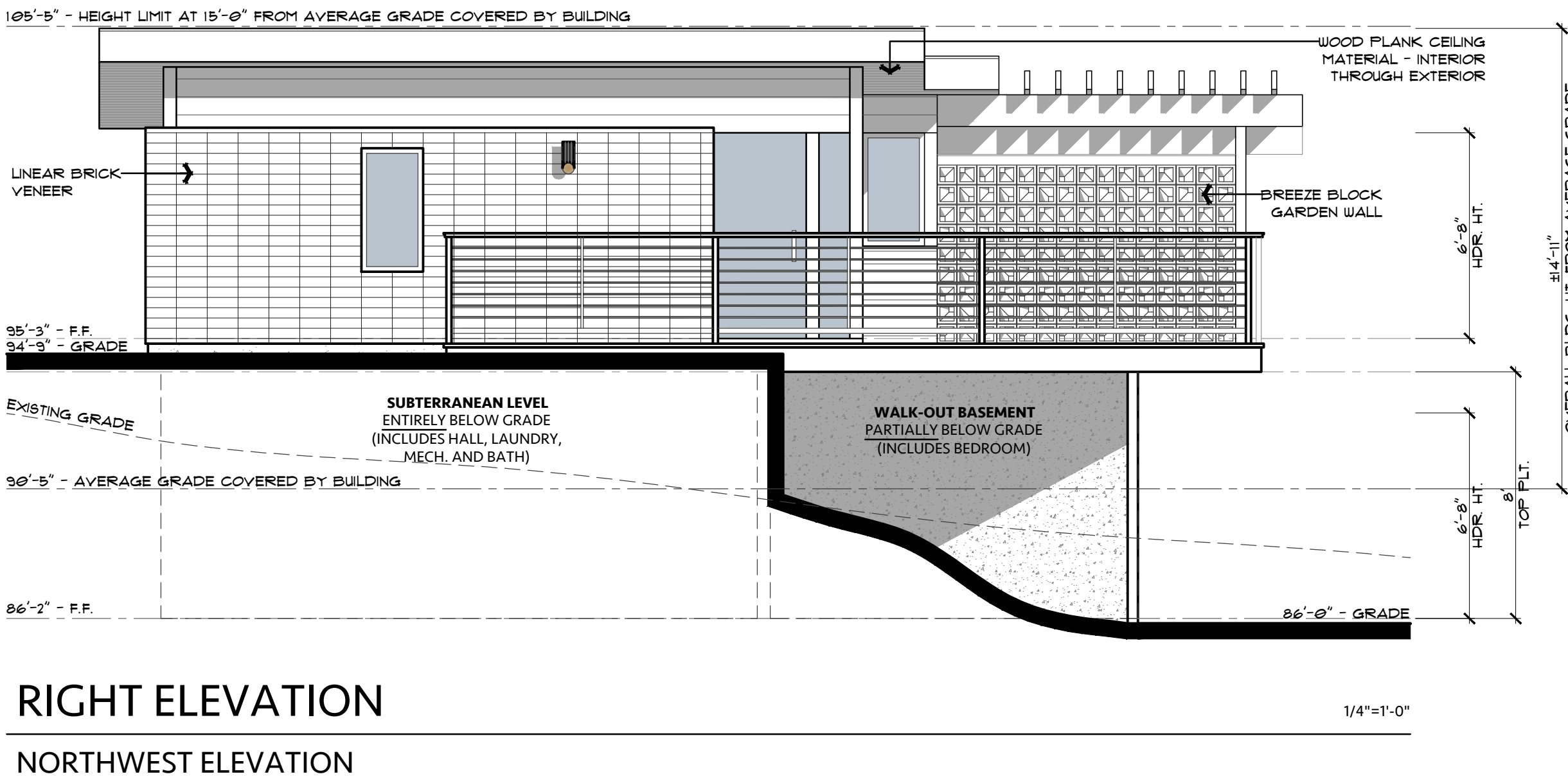
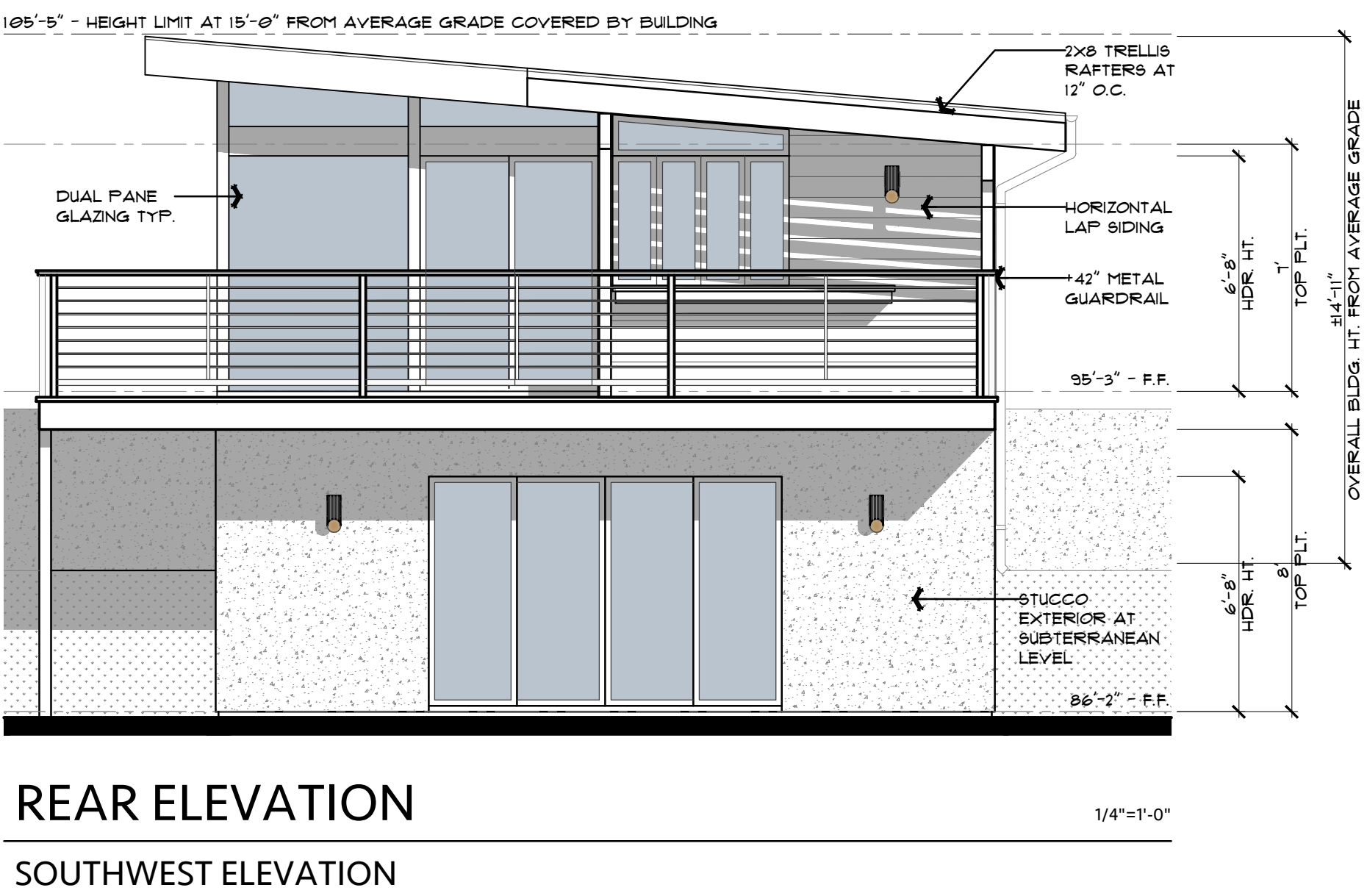
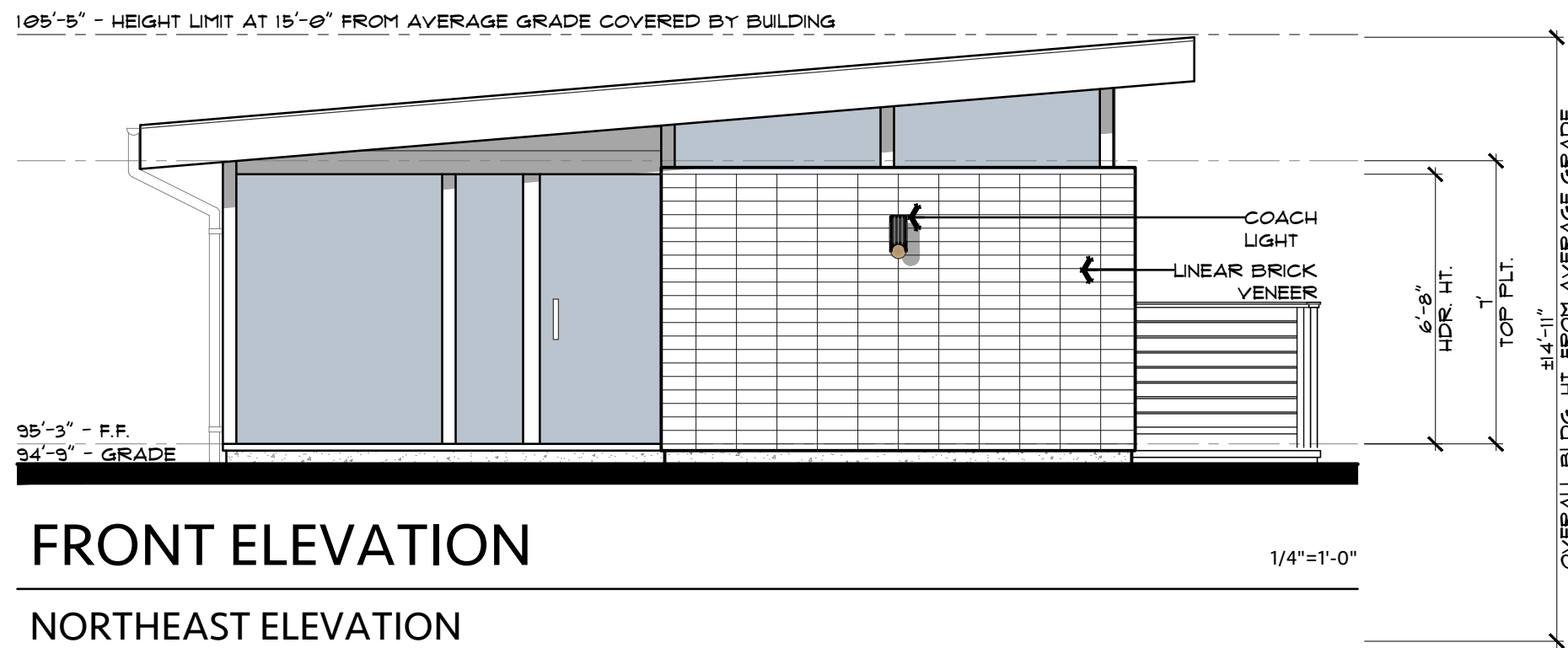
Date:
3.6.2025

Drawn By:
BGREEN

Scale:
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Sheet No.
A3

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LIC#: 791539 CLASS: A/B

Bradley Green

Drawing Title:
PROPOSED ELEVATIONS & ROOF PLAN

Job Title:
MANLY RESIDENCE

Project Address & APN:
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BGREEN

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A4

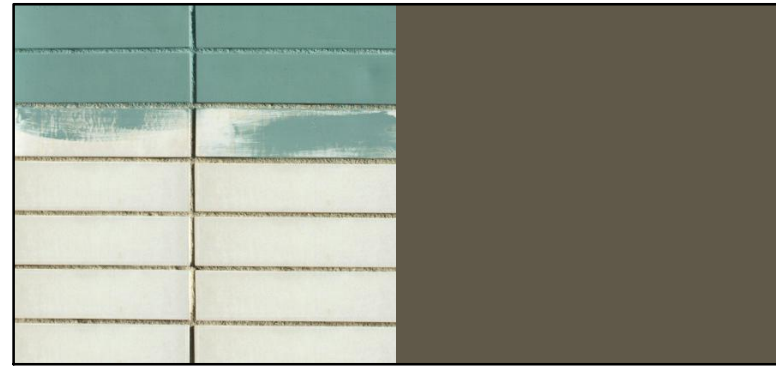
THESE PLANS ARE INTENDED ONLY FOR THE SITE FOR WHICH THEY WERE DESIGNED AND ARE PROPERTY OF HASTINGS CONSTRUCTION, INC. THESE PLANS MAY NOT BE REWENED OR REPRODUCED WITHOUT THE CONSENT OF HASTINGS CONSTRUCTION, INC.



ENTRY ELEVATION

NORTHWEST ELEVATION

1/4"=1'-0"



STONE ACCENT
CREATIVE MINES - CRAFT MODERN PAINT GRADE (OR EQ.)
SHERWIN WILLIAMS GARDEN GATE (SW6167) (OR EQ.)



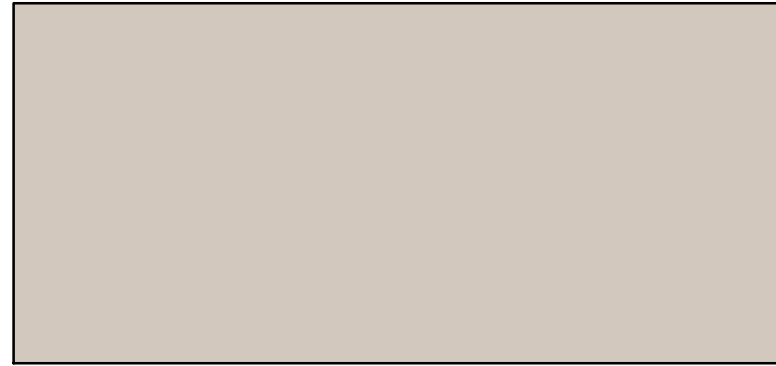
EXTERIOR SIDING
HARDIE ARTISAN HOIZONTAL SHIPLAP PAINTED (OR EQ.)
SHERWIN WILLIAMS SABLE (SW6083) (OR EQ.)



EXTERIOR FASCIA, POSTS & TRELLIS
PAINTED
SHERWIN WILLIAMS IRON ORE (SW7069) (OR EQ.)



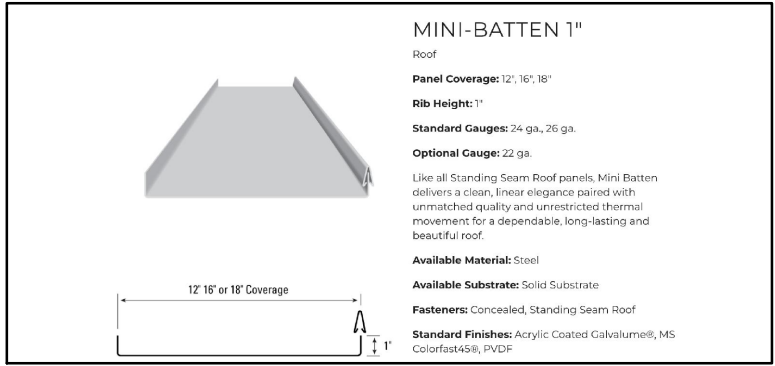
INTERIOR CEILING AND EAVE SOFFIT
RESAWN TIMBER CO. - ADOBO (OR EQ.)
COLOR: GISSBOURNE (OR EQ.)



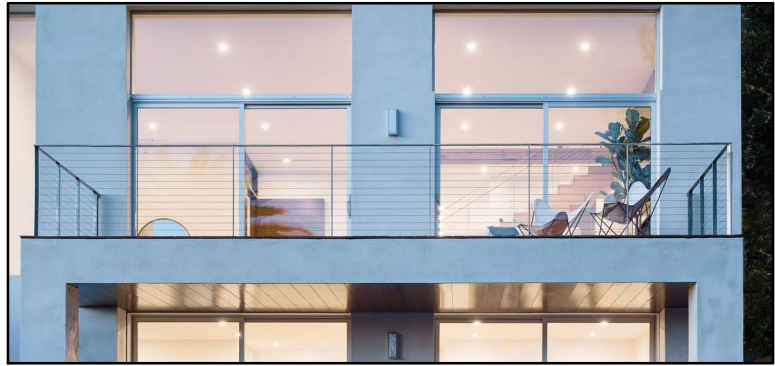
EXTERIOR STUCCO (AT BASEMENT)
PAINTED
SHERWIN WILLIAMS REALIST BEIGE (SW6078) (OR EQ.)



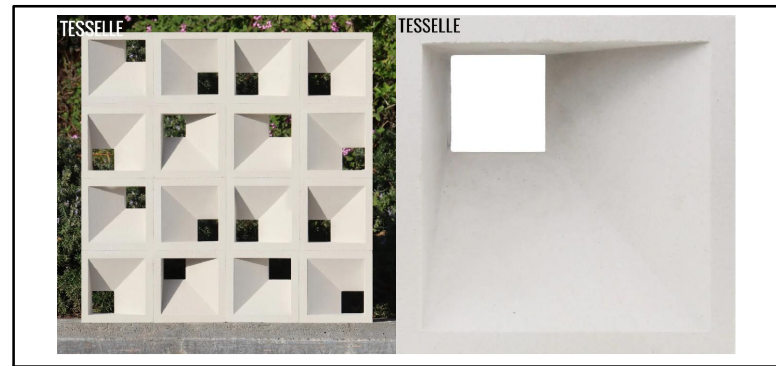
METAL ROOF
METAL SALES 1" MINI BATTEN (OR EQ.)
DARK BRONZE (OR EQ.)



METAL ROOF
METAL SALES 1" MINI BATTEN (OR EQ.)
DARK BRONZE (OR EQ.)



DECK RAIL
FEENEY (OR EQ.)
ALUMINUM CABLE RAIL - MODERN (OR EQ.)



BREEZE BLOCKS
TESSELLE (OR EQ.)
GLIMMER DIMENSIONAL WHITE 7.5" CEMENT (OR EQ.)



EXTERIOR DECKING
TILE
SQUARE SLATE (OR EQ.)



GUTTERS AND DOWNSPOUTS
G.A. ALUMINUM - SQUARE
PAINTED TO MATCH FASCIA



WINDOWS AND DOORS
KOLBE VISTA LUXE AL LINE (OR EQ.)
DARK BRONZE ANODIZED (OR EQ.)

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B

Bradley Green

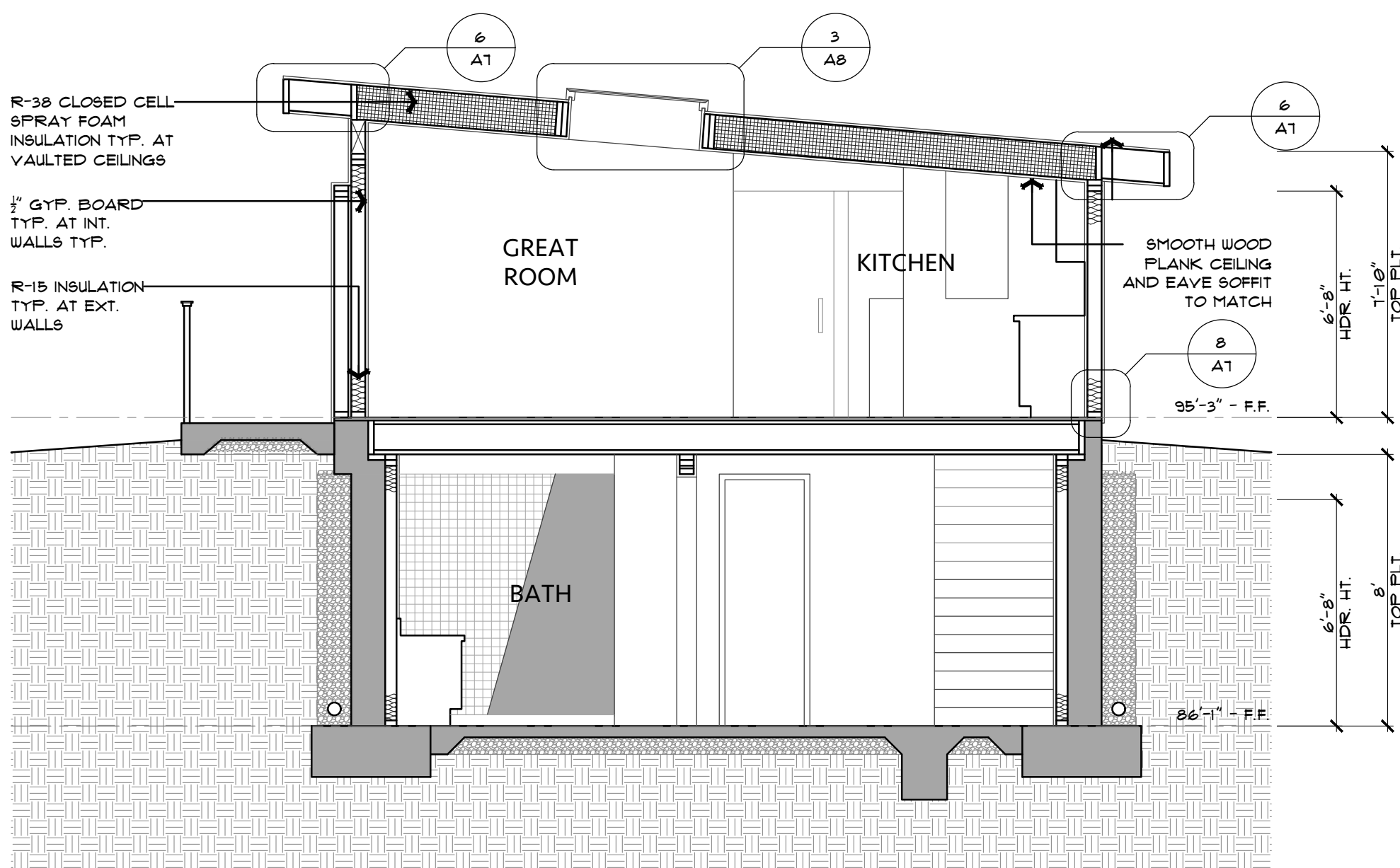
Drawing Title:
ELEVATION COLOR AND MATERIALS

Job Title:
MANLY RESIDENCE

Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

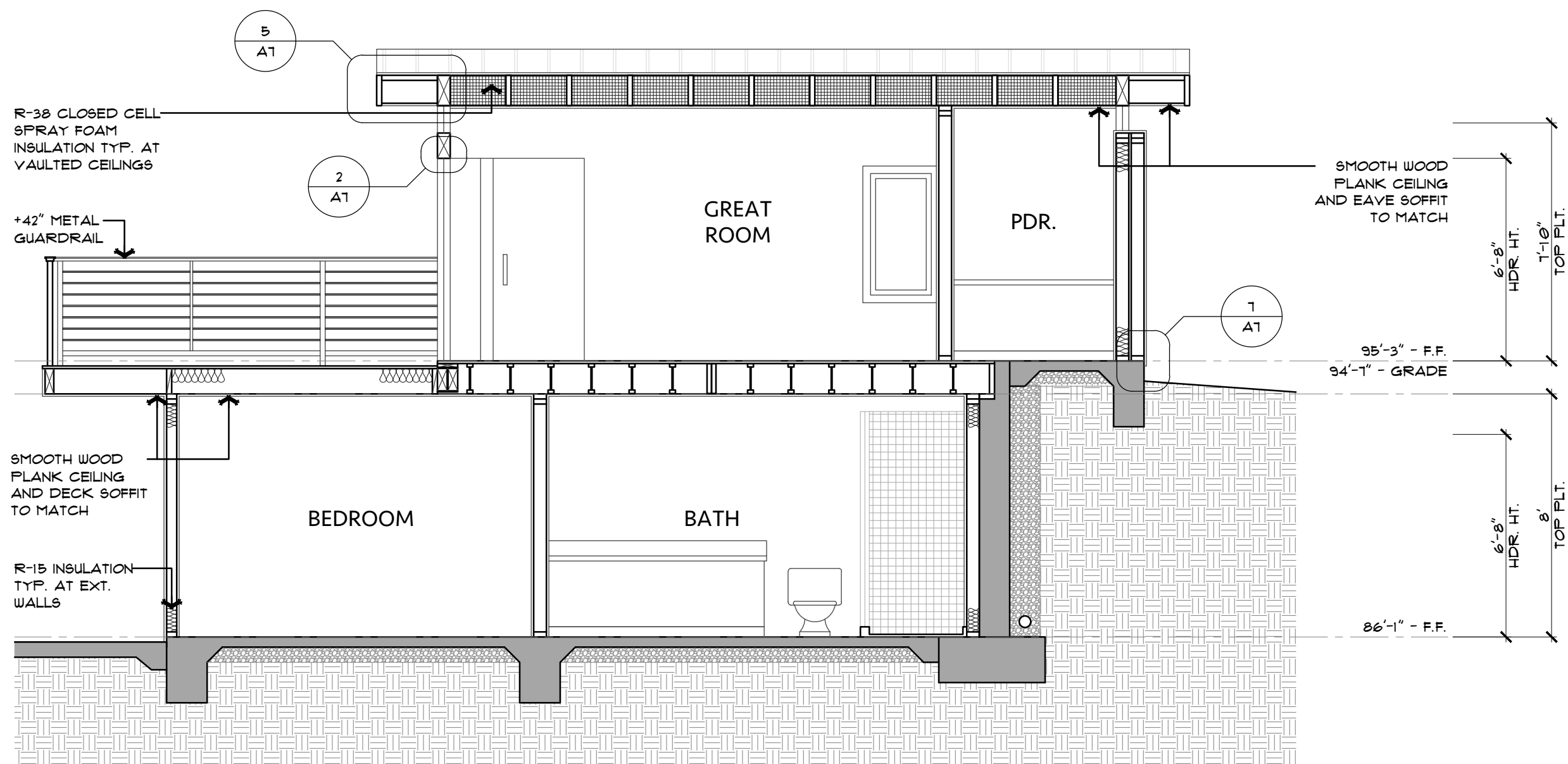
Project: HC-22073	Sheet No.
Date: 3.6.2025	A5
Drawn By: BGREEN	
Scale: 1/4" = 1'-0"	

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SECTION A

SEE TITLE 24 CALCULATIONS ON SHEETS T24.1 & T24.2 FOR SPECIFIED R VALUE OF INSULATION



SECTION B

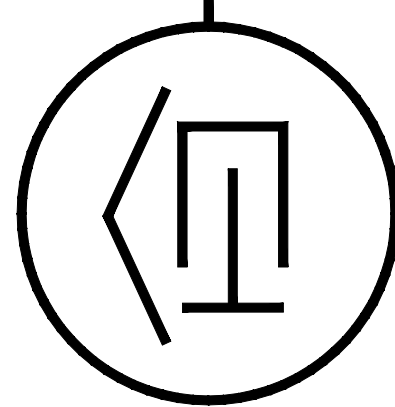
SEE TITLE 24 CALCULATIONS ON SHEETS T24.1 & T24.2 FOR SPECIFIED R VALUE OF INSULATION

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM

BRADLEY GREEN



Drawing Title:
PROPOSED SECTIONS

Job Title:
MANLY RESIDENCE

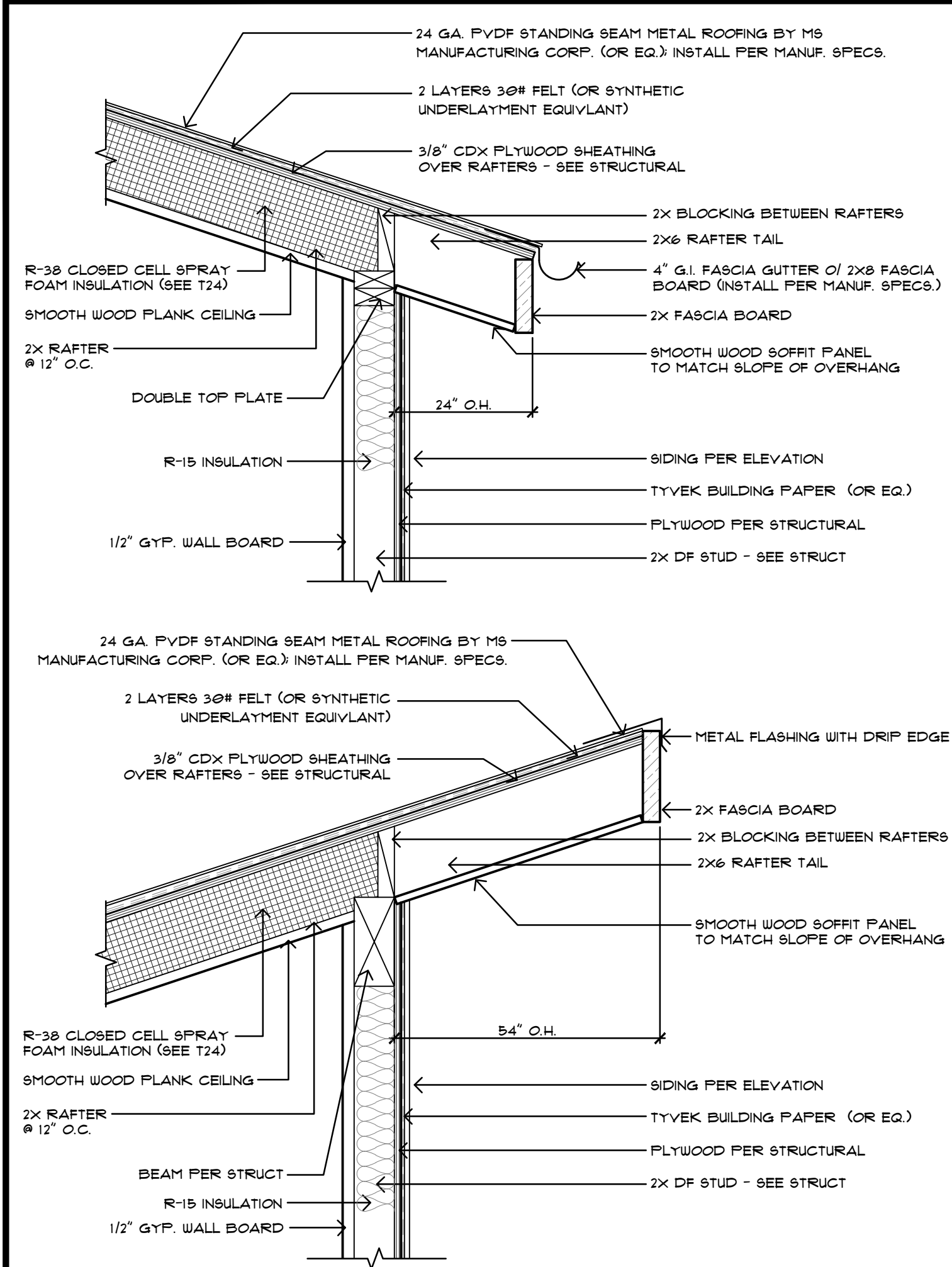
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project:
HC-22073
Date:
3.6.2025
Drawn By:
BGREEN
Scale:
1/4" = 1'-0"

Sheet No.

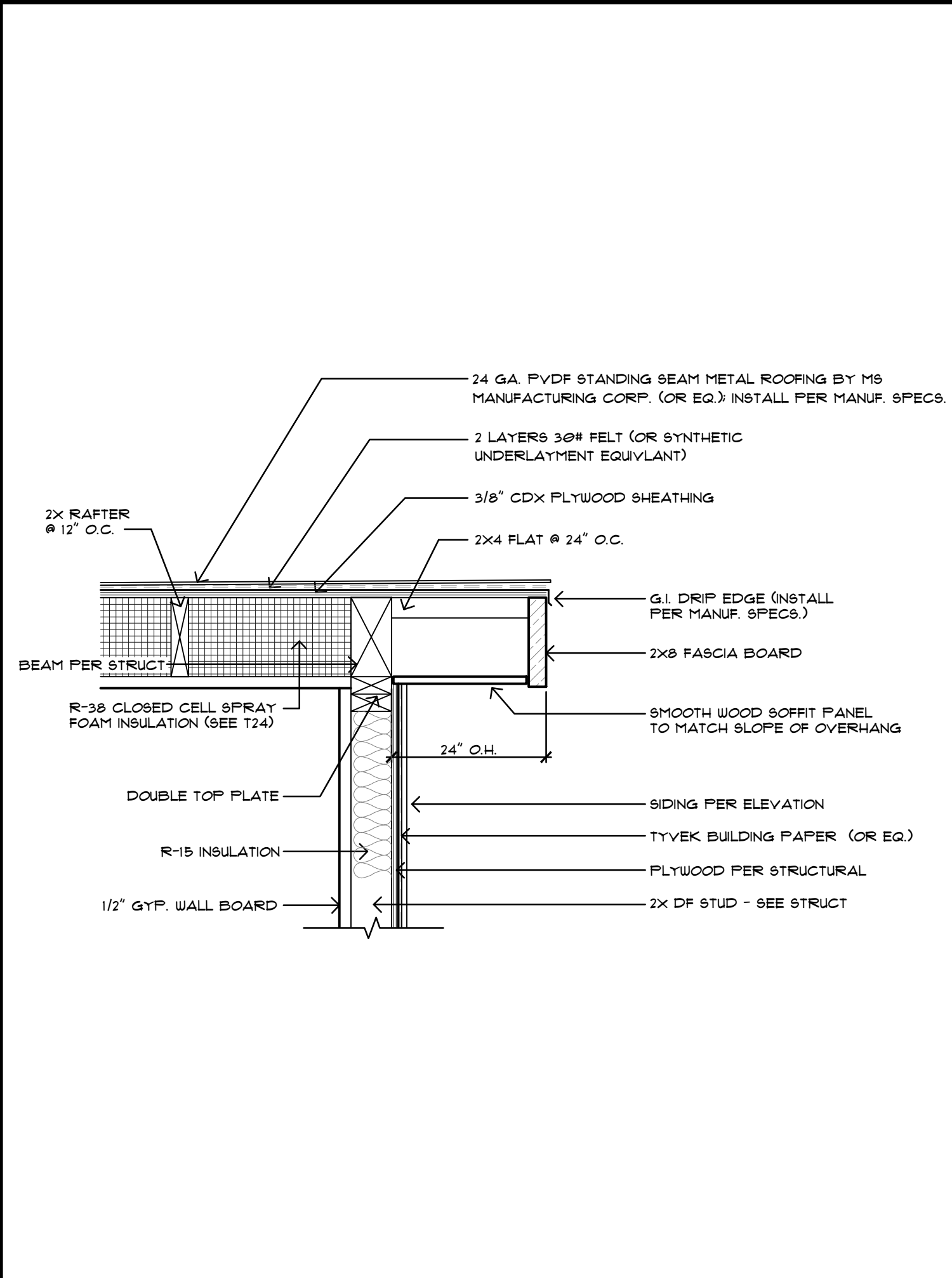
A6

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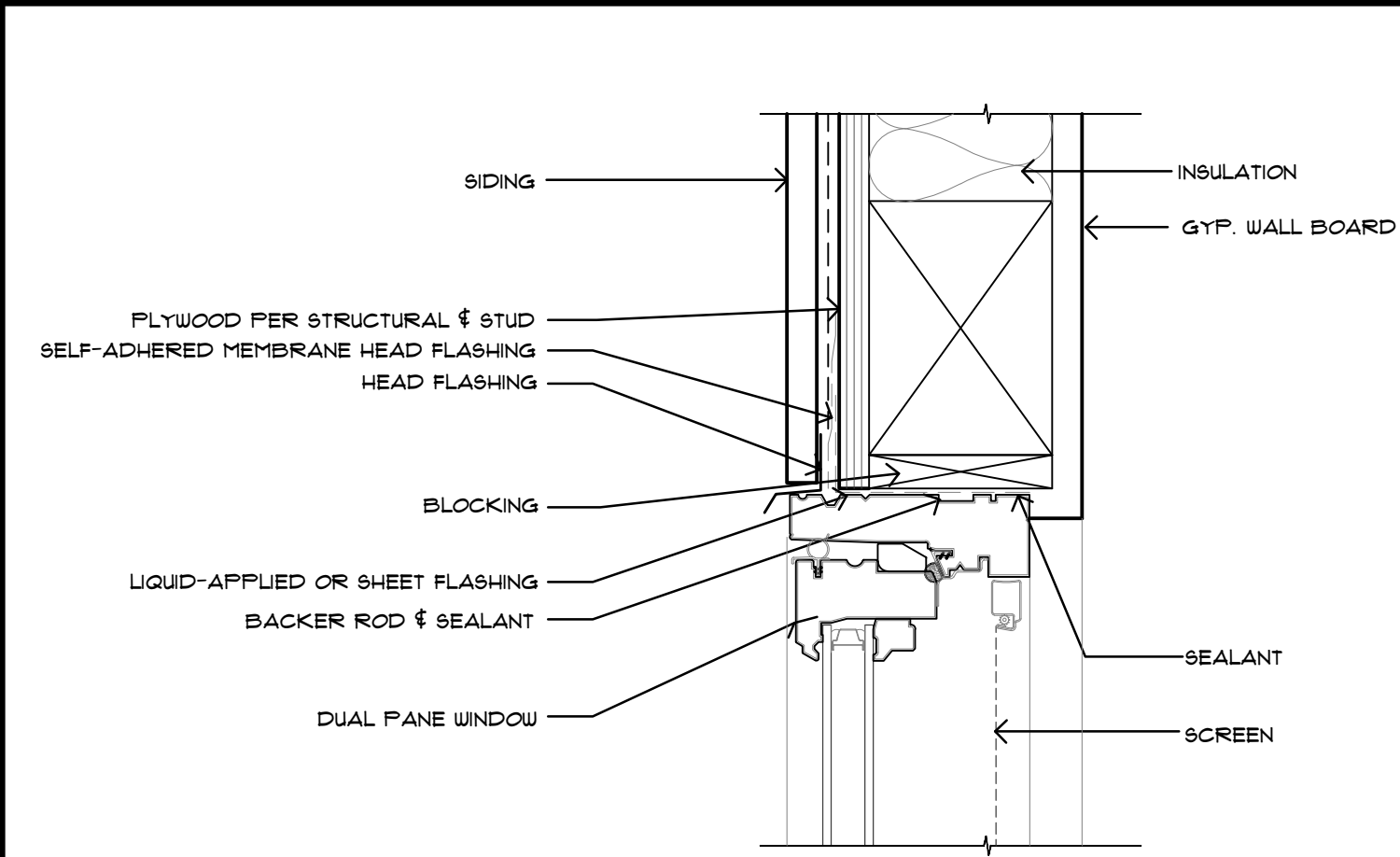
TYPICAL EAVE DETAIL @ VAULTED CEILING

6



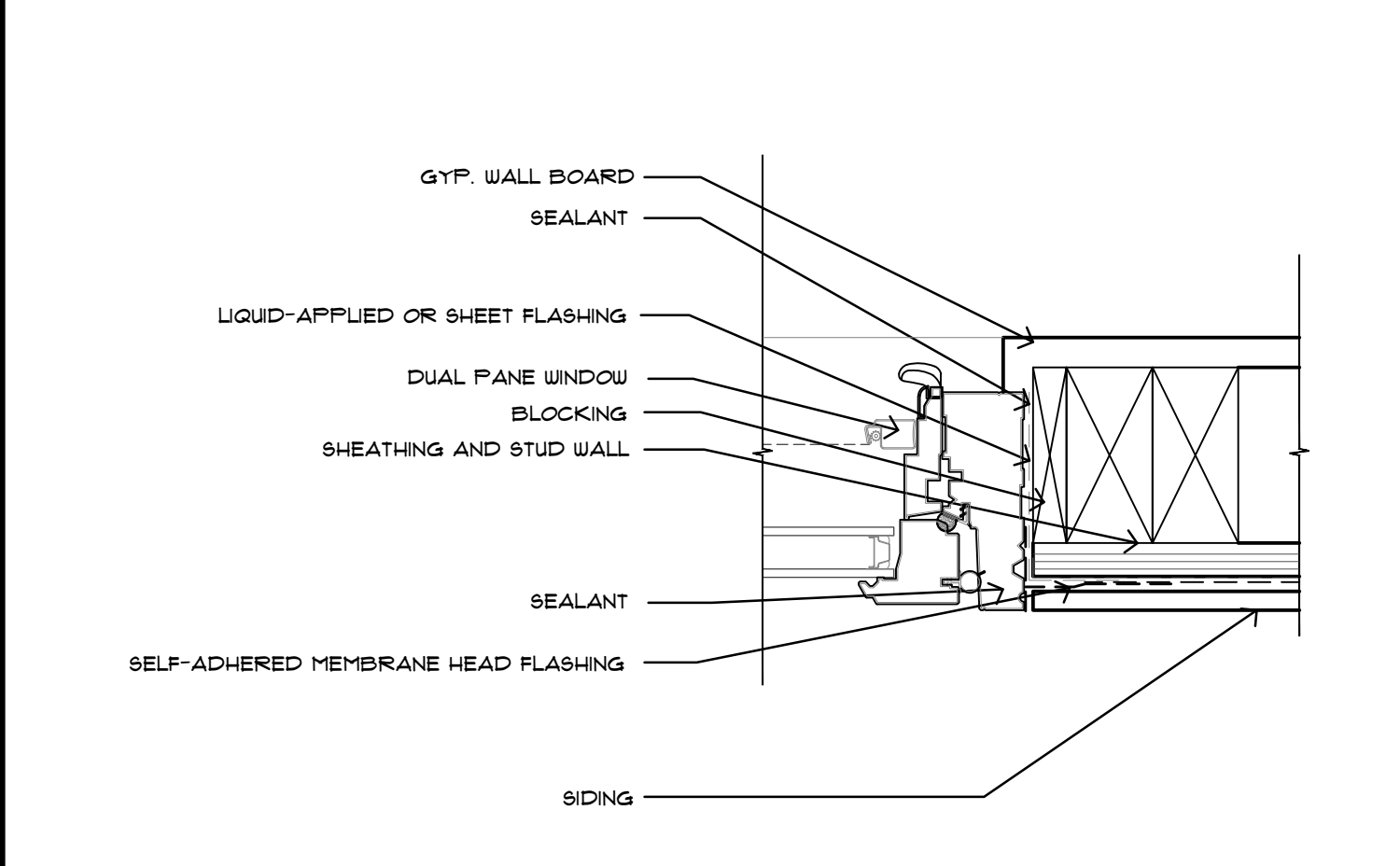
TYPICAL RAKE DETAIL

5



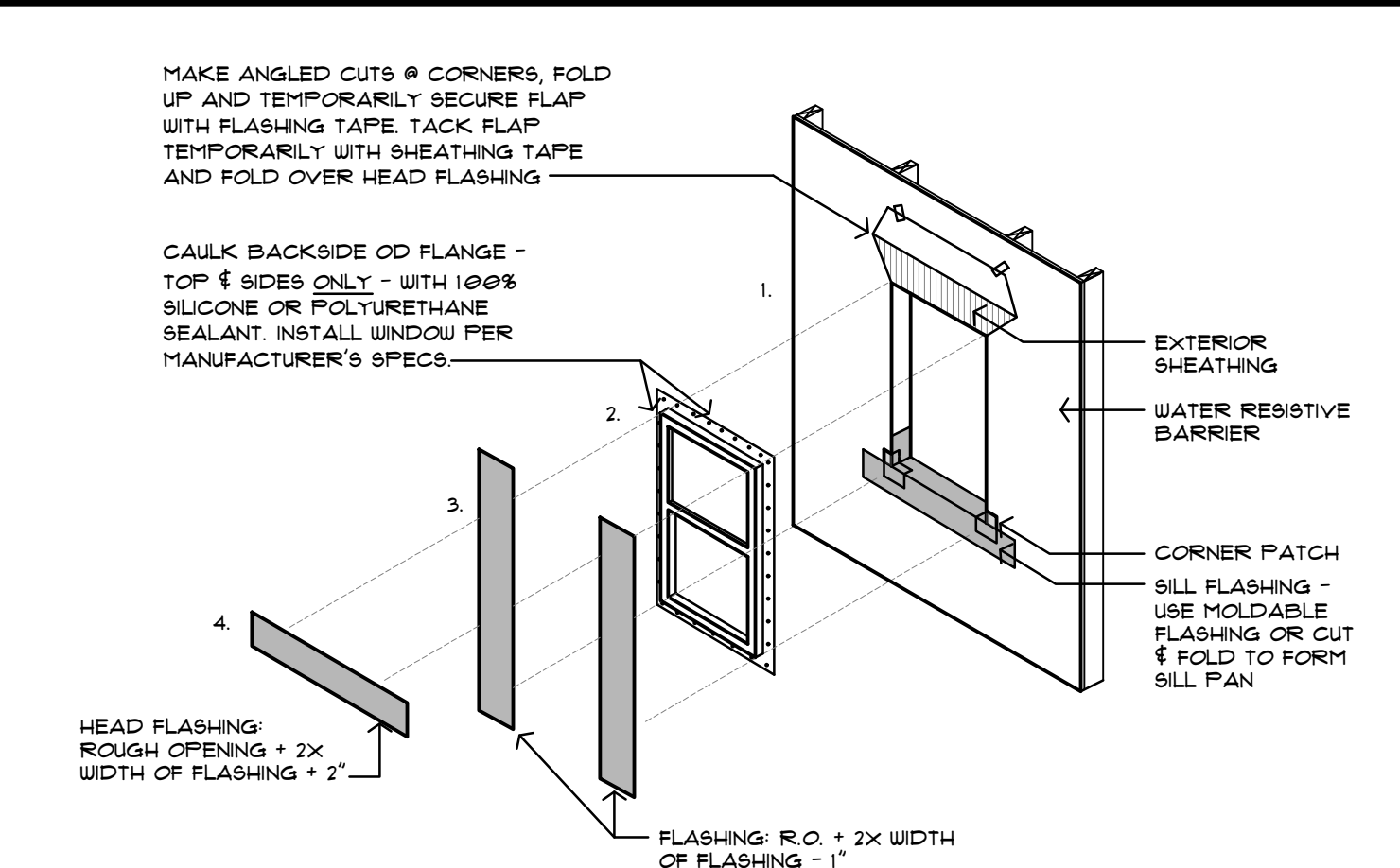
WINDOW HEAD DETAIL

2



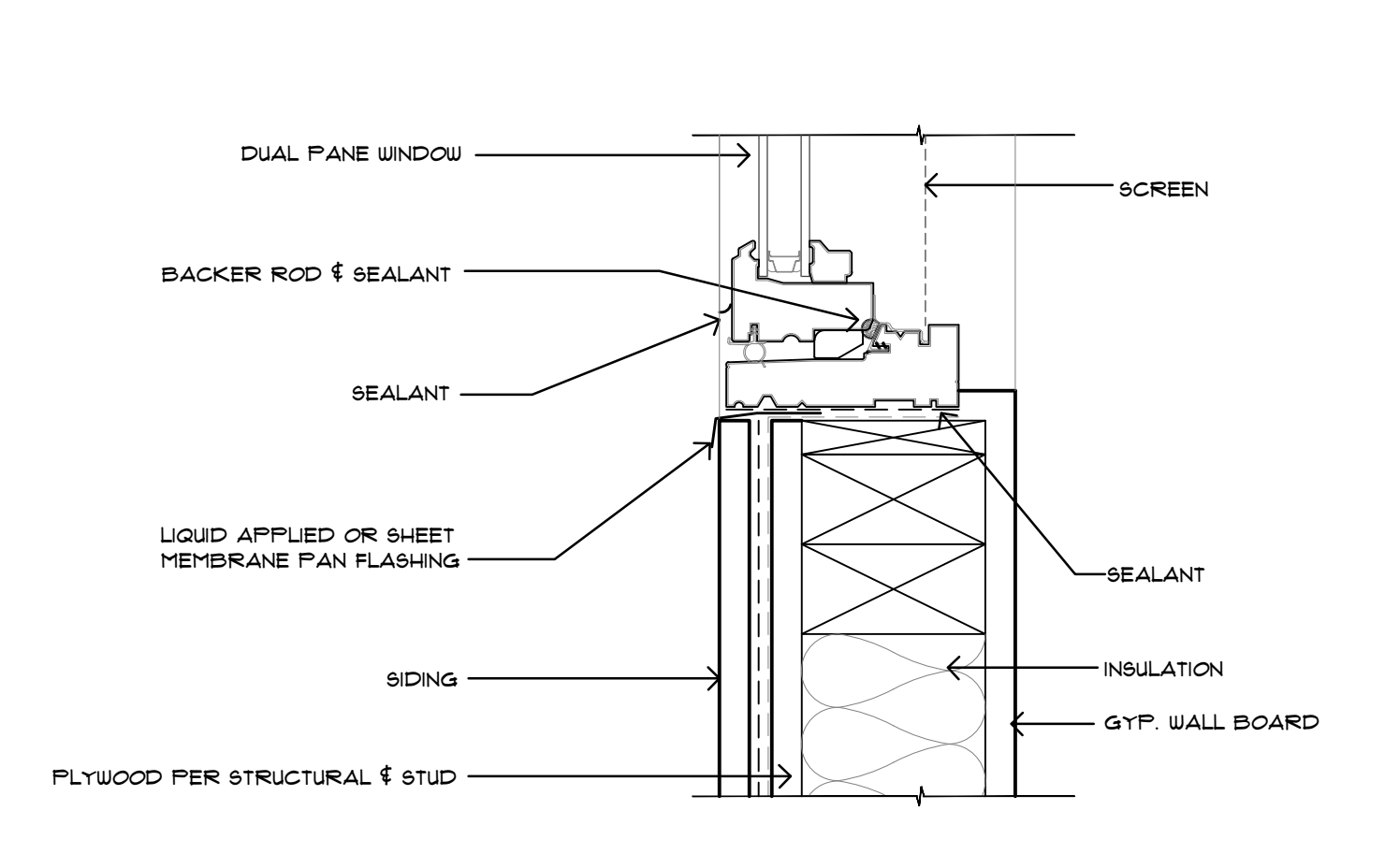
WINDOW JAMB DETAIL

4



TYPICAL WINDOW FLASHING DETAIL

1



WINDOW SILL DETAIL

3

MINKA LAVERY - PINEVIEW 12.5" OR EQ.



Pineview - 1 Light Mount

Item #:	7261-66G
UPC Code:	74739606342
Product Family Name:	Pineview Slope
Finish:	Black with Gold
Category:	OUTDOOR WALL MOUNT
Category Type:	Outdoor Lighting
Certification:	
Notes:	



GLASS

Description:	
Material:	
Part No.:	
Quantity:	
Width:	
Height:	
Length:	

SHIPPING

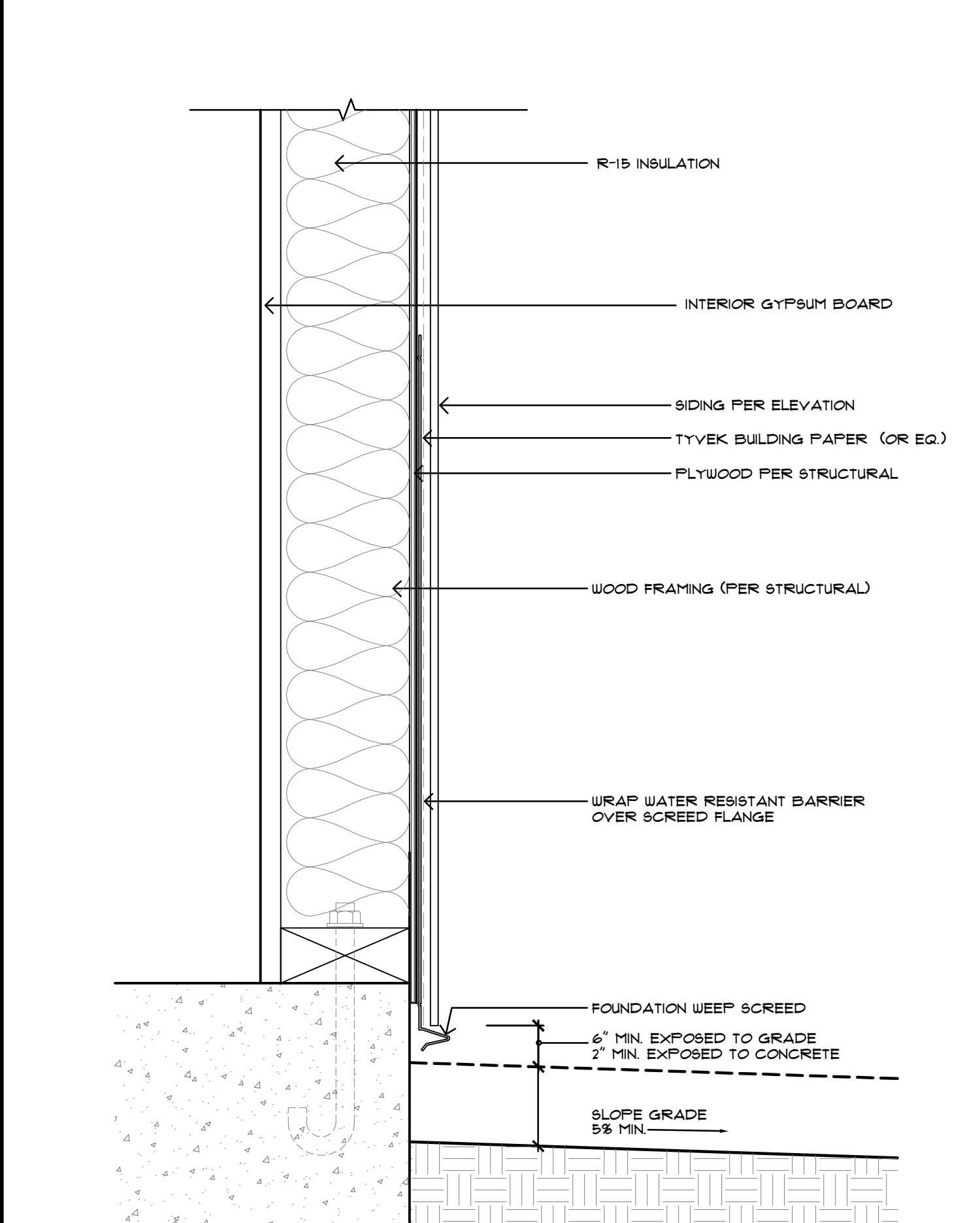
Carton Width:	7.25
Carton Height:	15.25
Carton Length:	17.5
Carton Weight:	2.71
Carton Galtic Feet:	0.486
Small Package Shippable:	YES
Master Pack Width:	
Master Pack Height:	
Master Pack Length:	
Master Pack Weight:	
Master Galtic Feet:	
Multi-Pack:	1
Master Pack:	1

Philips
40-Watt Equivalent A19 Ultra Definition Dimmable E26 LED Light Bulb Soft White with Warm Glow 2700K (4-Pack)
***** Questions & Answers (2)



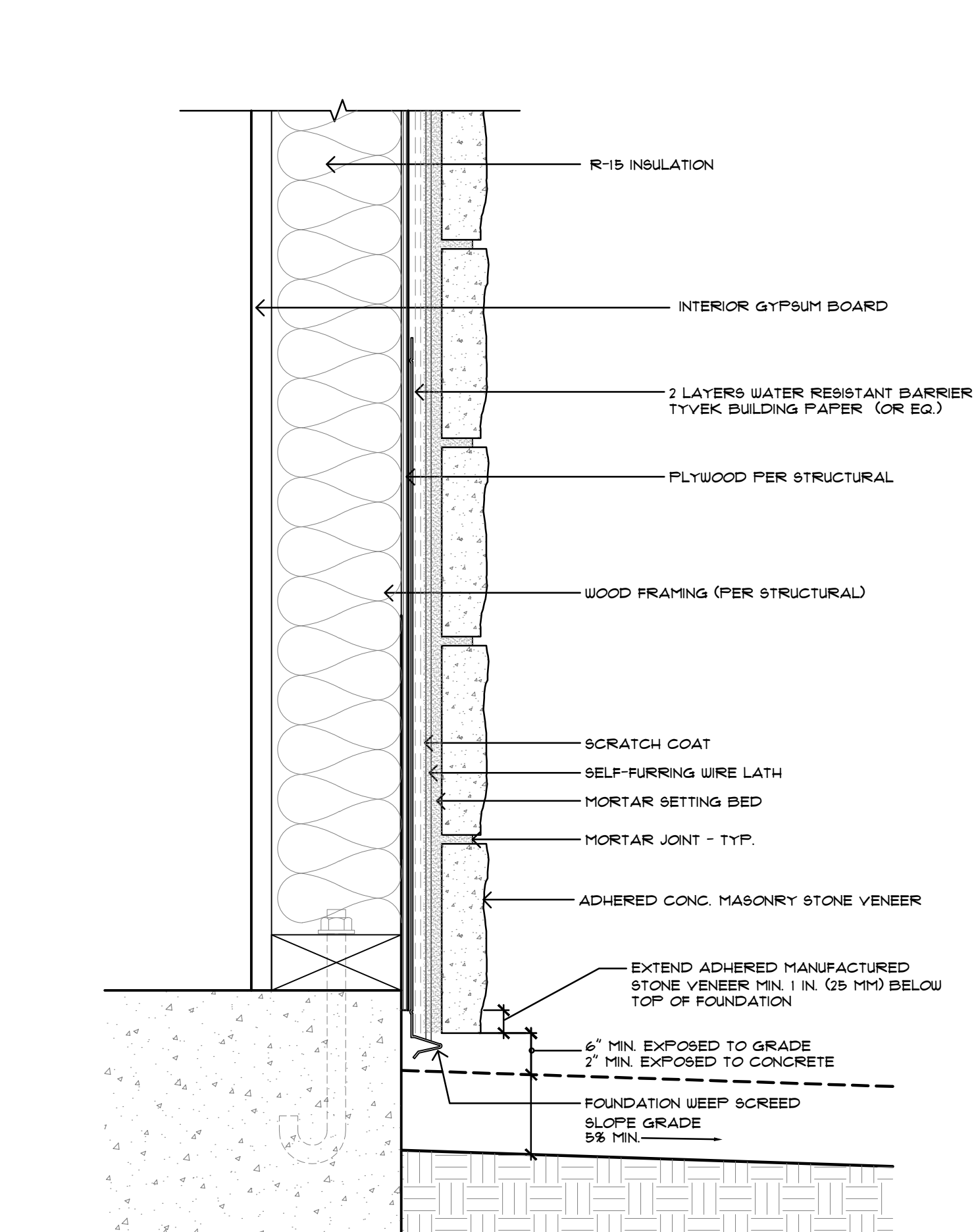
EXTERIOR LIGHTING SPEC

9



SIDING APPLICATION & WEEP SCREED DETAIL

8



STONE APPLICATION & WEEP SCREED DETAIL

7

Revision/Issue	Date

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LIC#: 791539 CLASS: A/B

Bradley Green

Drawing Title:
ARCHITECTURAL DETAILS

Job Title:
MANLY RESIDENCE

Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project: HC-22073	Sheet No. A7
Date: 12.10.2024	
Drawn By: BGREEN	
Scale: 1/4" = 1'-0"	

METAL SALES - 1' MINI BATTEN STANDING SEAM METAL ROOFING

MINI-BATTEN 1"

Roof

Panel Coverage: 12", 16", 18"

Rib Height: 1"

Standard Gauges: 24 ga., 26 ga.

Optional Gauge: 22 ga.

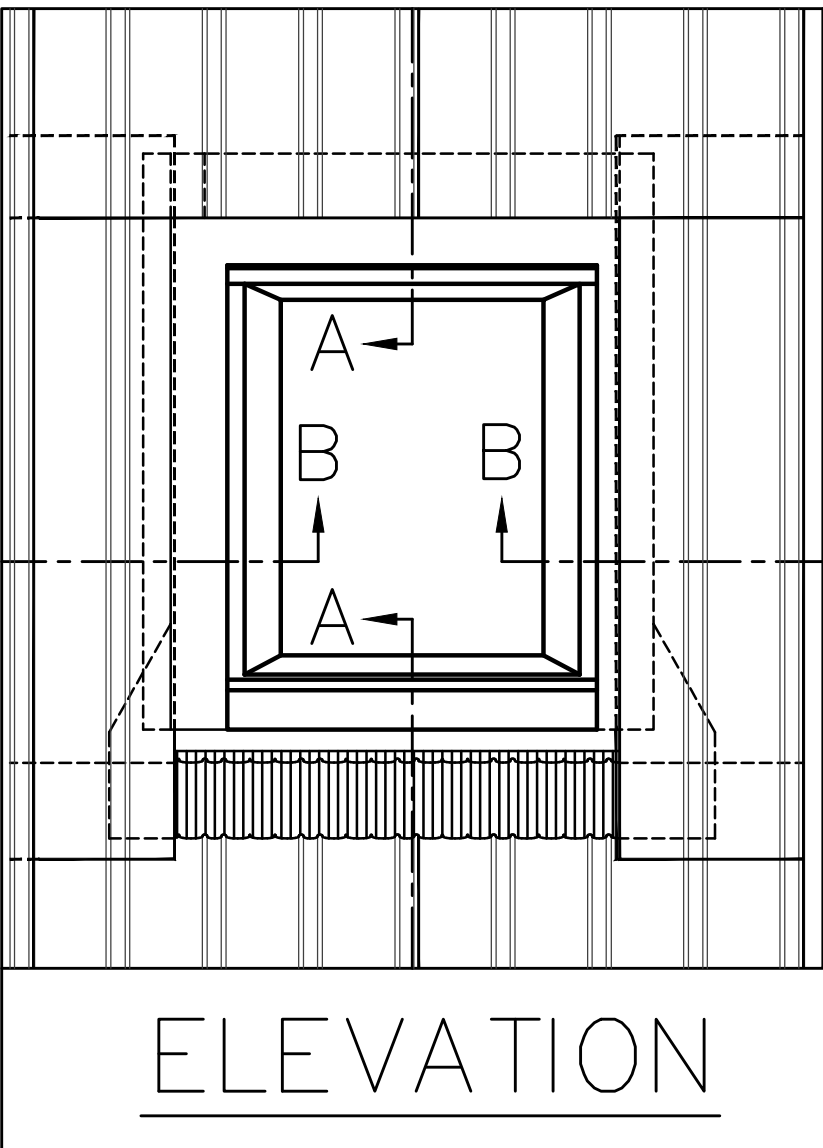
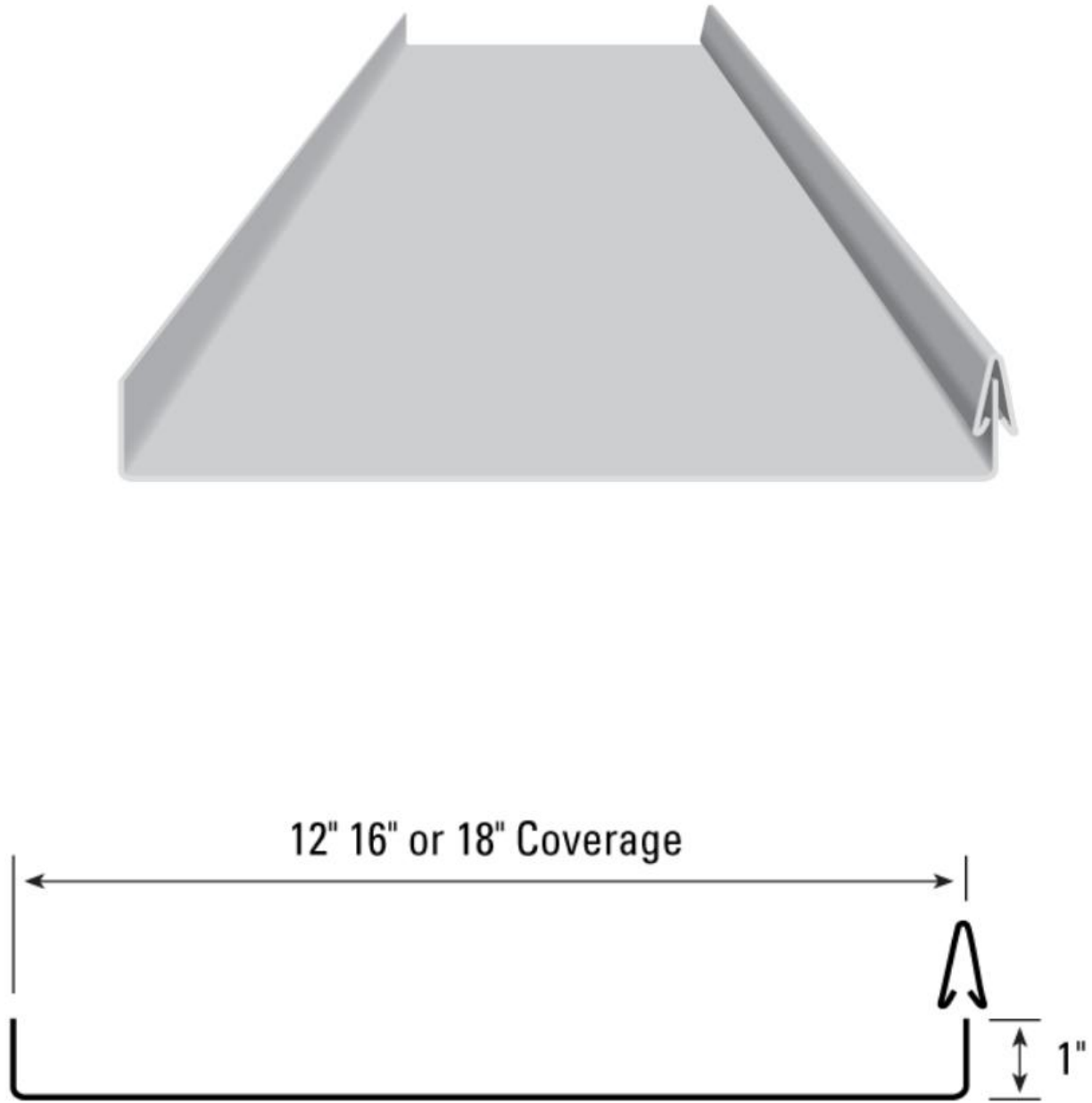
Like all Standing Seam Roof panels, Mini Batten delivers a clean, linear elegance paired with unmatched quality and unrestricted thermal movement for a dependable, long-lasting and beautiful roof.

Available Material: Steel

Available Substrate: Solid Substrate

Fasteners: Concealed, Standing Seam Roof

Standard Finishes: Acrylic Coated Galvalume®, MS Colorfast45®, PVDF



GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment included with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

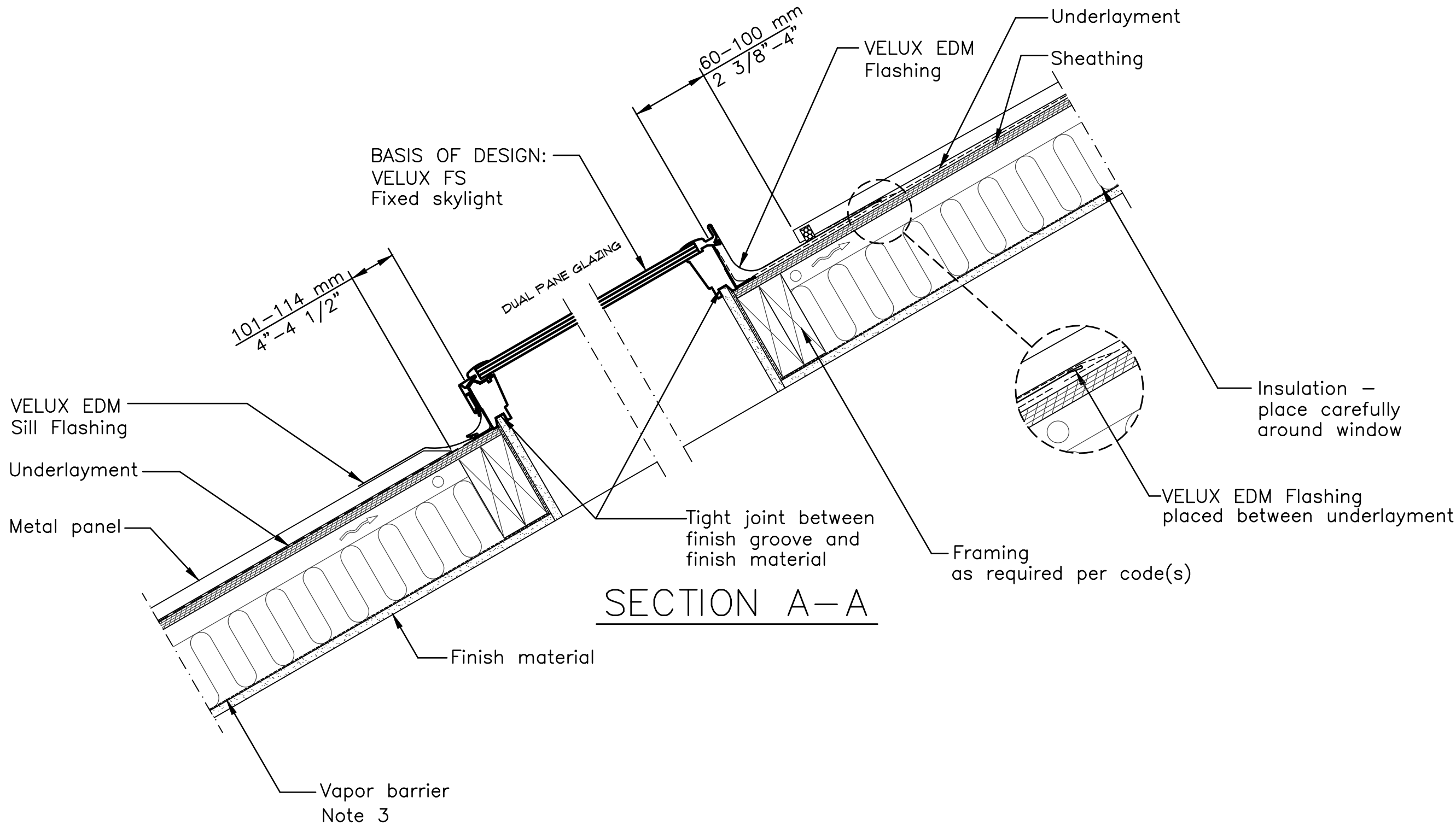
VELUX Sky-Product Management	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name		Date
		Drawn by	JDH	Sept 10
		Checked by	WQ	Sept 10
		Drawing No.		
		FS-01-0910		

ROOF MATERIAL SPECIFICATION

1

SKYLIGHT DETAILS

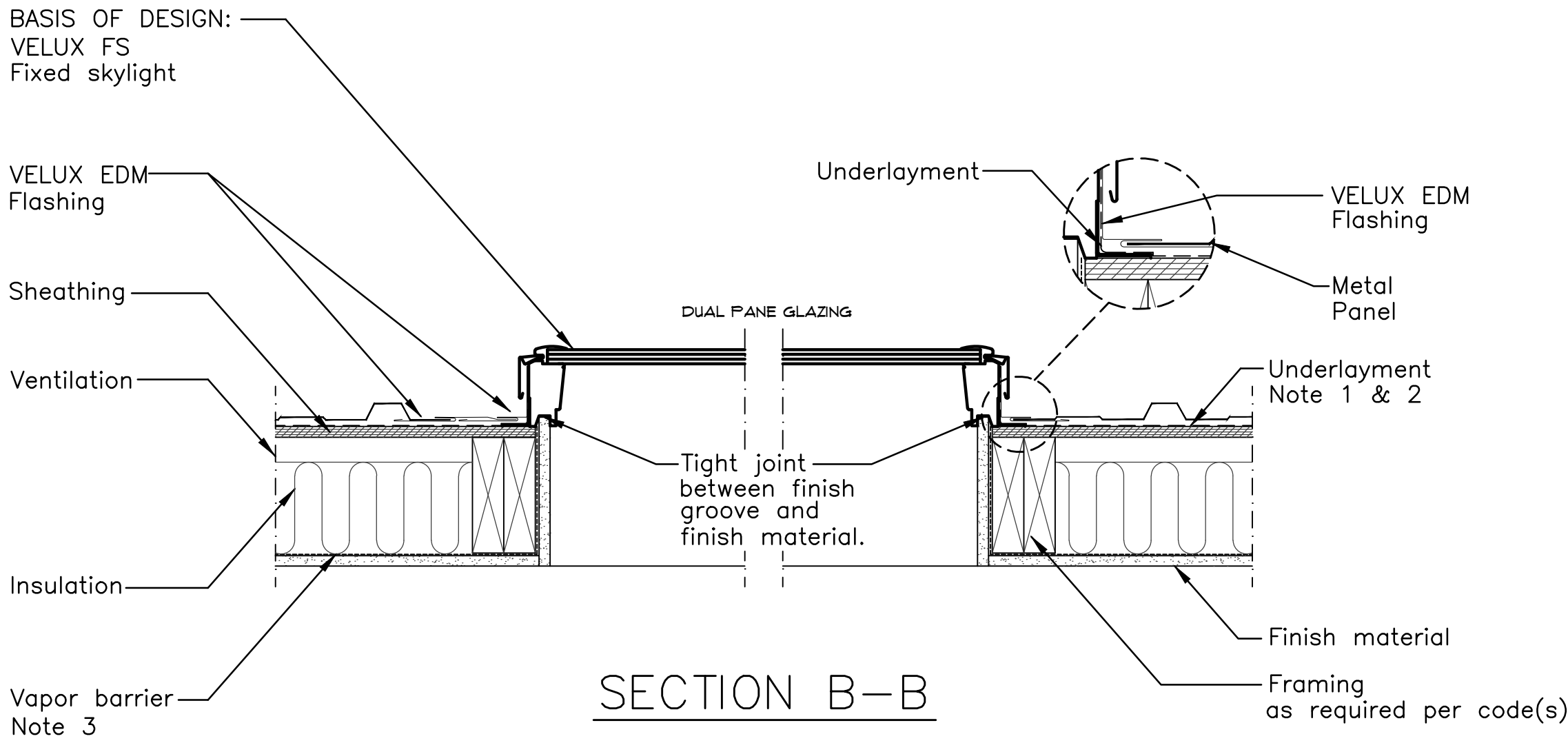
2



SKYLIGHT SECTION A-A - VAULTED CEILING

3

SKYLIGHT SECTION B-B - VAULTED CEILING



Drawing Title:
ARCHITECTURAL DETAILS

Job Title:
MANLY RESIDENCE

Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project:
HC-22073
Date:
12.10.2024
Drawn By:
BGREEN
Scale:
1/4" = 1'-0"

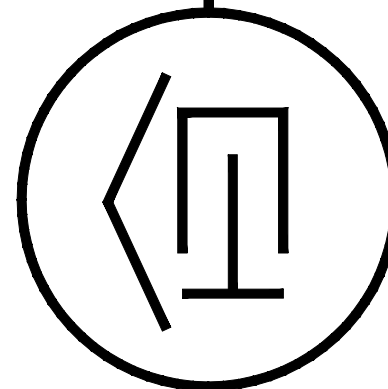
Sheet No.

A8

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