

Exhibit A

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EXHIBIT A
DRAFT RESOLUTION

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

MANLY JOHN C TR (PLN240302)

RESOLUTION NO. 25--

Resolution by the Monterey County Chief of Planning:

- 1) Finding the project Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow the construction of a new 793 square foot accessory dwelling unit, and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN240302, John Manly, 1684 Crespi Lane, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-392-003-000)]

The MANLY JOHN C TR application (PLN240302) came on for an administrative decision hearing before the Monterey County Chief of Planning on March 19, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, including the conditions of approval and project plans, the Monterey County Chief of Planning finds and decides as follows:

FINDINGS

1. FINDING: **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
- Del Monte Forest Land Use Plan (DMFLUP);
- Monterey County Coastal Implementation Plan, Part 5 (CIP);
and
- Monterey County Zoning Ordinance (Title 20).
No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 1684 Crespi Lane, Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Number [APN]: 008-392-003-000). The parcel is zoned Low Density Residential, with a maximum gross density of acres per unit and a Design Control overlay in the Coastal Zone, or "LDR/1.5-D(CZ), which allows for the construction of an Accessory Dwelling Unit subject to the granting of a Coastal Administrative Permit. The Design Control overlay requires the granting of a Design Approval for all structures. The project involves the construction of a 793 square foot accessory dwelling unit and associated site improvements. The project also involves development within 750 feet of known archaeological resources and thus requires the granting of a Coastal Administrative Permit. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The subject property is identified in its current configuration and under separate ownership as Lot 3 of Block 392 in Volume 3, Book 8, Page 39 of the 1972 Assessor's Parcel Map. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures to assure the protection of the public viewshed and neighborhood character. As proposed, the ADU will have colors and materials closely matching the existing single-family dwelling, which include brown shiplap siding, beige painted stucco, a dark bronze metal roof, and stone accents. The proposed exterior colors and materials are compatible with the surrounding environment and are consistent with the surrounding residential neighborhood character. The homes within the surrounding area and the greater Pebble Beach residential community are eclectic in architecture, ranging from modern to California-ranch and Spanish style homes. Condition No. 6 has been applied to require the installation of down-lit unobtrusive exterior lighting. As described in subsequent evidence "f", the project site is not visible from a common public viewing area. Therefore, as proposed and conditioned, the project is compatible with the surrounding environment, consistent with the surrounding residential neighborhood character, and assures protection of the public viewshed and visual integrity.
- e) Development Standards. Development standards for the LDR zoning district are identified in Title 20 section 20.14.60. Required setbacks for accessory habitable structures in the LDR zoning district are 50 feet (front), six feet (side), six feet (rear), and a maximum allowed height of 15 feet. The proposed ADU will have setbacks of approximately 80 feet (front), 11 feet (side), 142 feet (rear), and will have a height of 15 feet. The allowed maximum site coverage for the LDR zoning district is 15%, and the project proposes 13.5% site coverage. The allowed maximum floor area ratio (FAR) for the LDR zoning district is 17.5%, and the proposed development will have a FAR of 13.3%. Therefore,

the proposed project complies with applicable site development standards.

f) Visual Resources. The project is consistent with the DMF LUP policies for the protection of scenic and visual resources. As depicted on DMF LUP Figure 3, the subject property is located within the viewshed from Point Lobos and 17 Mile Drive. Staking and flagging was installed pursuant to the DMF CIP section 20.147.070.A.1. Staff conducted a site visit on January 16, 2025 and confirmed that the subject property and staking and flagging were not visible from Point Lobos, 17 Mile Drive, or any other public common viewing areas due to topography, distance, and existing mature vegetation.

g) Cultural Resources. DMF CIP section 20.147.080.B.1 states that an archaeological survey report shall be required for all development within a known or potential archaeological resource area. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity and is within 750 feet of a known archaeological resource. The Archaeological report (Monterey County Library No. LIB240234) prepared for the subject property concluded that there is no indicator of a prehistoric site or a historic site in the soils of the project parcel. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

h) Combined Structural and Impervious Surface Coverage. The subject property is located within the Pescadero Watershed, a designated watershed as shown on Figure 2b of the DMF LUP. Accordingly, site structural and impervious surface coverage are limited to 9,000 square feet per DMF LUP Policy 77. The project, in conjunction with work approved under a separate design approval, results in an impervious surface coverage of 9,000 square feet and is therefore consistent with Policy 77.

i) Public Access. As proposed, the development is consistent with applicable public access policies of the DMF LUP. See Finding No. 6 and supporting evidence.

j) Land Use Advisory Committee (LUAC) Review. The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.

k) The project planner conducted a site inspection on January 16, 2025 to verify that the project on the subject parcel conforms to the plans listed above.

l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE:

- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
- b) Staff identified potential impacts to Geotechnical and Archaeological resources. The following reports have been prepared:
 - “Geotechnical Investigation” (LIB250023) prepared by Belinda Taluban, Salinas, CA, June 5, 2024.
 - “Phase I Archaeological Assessment” (LIB240234) prepared by Achasta Archaeological Services, Marina, CA, June 2022.County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
- c) Staff conducted a site inspection on January 16, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

3. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Pebble Beach Community Services District (Fire). The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Potable water will be provided by the existing on-site well, and sewer service will be provided by Pebble Beach CSD.
- c) The proposed ADU is served by a private well. Based on the evidence provided, EHB deemed the project complete January 14, 2025.
- d) Staff conducted a site inspection on January 16, 2025 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on January 16, 2025 and researched County records to assess if any violation exists on the subject property.
- c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

5. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE:

- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts the construction of residential structures and accessory structures on residentially zoned properties.
- b) As proposed, the project involves the construction of a 793 square foot accessory dwelling unit on a residentially zoned lot which contains an existing single-family dwelling. Therefore, the proposed development qualifies as a Class 3 Categorical Exemption pursuant to section 15303 of the CEQA Guidelines.
- c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact, without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to section 65962.5 of the Government Code to be considered on a hazardous waste site. No known historical or archaeological resources are present.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on January 16, 2024.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey-Planning found in Project File PLN240302.

6. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE:

- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, section 20.147.130 can be demonstrated.
- b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual

Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).

d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240302.

7. FINDING: **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.

EVIDENCE: a) Title 20, section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of a 793-square-foot ADU that includes independent living facilities as shown in the attached plans.

b) The ADU complies with the maximum allowed floor area of 1,200 square feet and will be the first ADU on the subject property. The ADU is sited approximately 12 feet East of the single-family dwelling and meets all required setback standards (see Finding 1, Evidence “e”).

c) The ADU meets the required site development standards and design criteria as defined in Title 20 section 20.64.030 and Chapter 20.44.

d) The ADU is required to have one parking space. The existing driveway satisfies this requirement and provides adequate parking for the proposed ADU and existing single-family dwelling.

e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities, and no further comments or conditions were provided (See Finding 3 and supporting evidence).

f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN240302.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE: a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and first through public road paralleling the sea (i.e., State Route/Highway 1 and Pescadero Road) and involves a conditionally allowed use (i.e., development within 750 of known archaeological resources).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2;
2. Approve the Coastal Administrative Permit and Design Approval to allow the construction of a new 793 square foot accessory dwelling unit, and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 19th day of March, 2025.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240302

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative permit (PLN240302) allows the construction of a 793 square foot accessory dwelling unit within 750 feet of known archaeological resources. The property is located at 1684 Crespi Lane, Pebble Beach (Assessor's Parcel Number 008-392-003-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state: "A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-392-003-000 on March 19, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

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GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODE AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY.

THIS PROJECT SHALL COMPLY WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, BUILDING STANDARD CODE, 2022 EDITION:
 CRC - CALIFORNIA RESIDENTIAL CODE, PART 2.5
 CBC - CALIFORNIA BUILDING CODE, PART 2, VOL 1 & 2
 CEC - CALIFORNIA ELECTRICAL CODE, PART 3
 CMC - CALIFORNIA MECHANICAL CODE, PART 4
 CFC - CALIFORNIA PLUMBING CODE, PART 5
 CEN - CALIFORNIA ENERGY CODE, PART 6
 CFC - CALIFORNIA FIRE CODE, PART 9
 CECBC - CALIFORNIA EXISTING BUILDING CODE, PART 10
 CALGREEN - CALIFORNIA GREEN BUILDING REQUIREMENTS, PART 11

DURING THE COURSE OF CONSTRUCTION, THE PREVAILING BEST MANAGEMENT PRACTICE (BMP's) SHALL BE OBSERVED.

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED AND CERTIFIED CONTRACTOR.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

EXISTING CONDITIONS ARE SHOWN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER OR OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

CONTRACTOR TO PROTECT EXISTING CONDITIONS FROM DAMAGE, DUST, AND DEBRIS. MATERIALS PLANNED TO BE REUSED ARE TO BE PROTECTED FROM DAMAGE THROUGHOUT THE DEMOLITION PROCESS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY.

ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND.

ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS.

NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AD THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:

SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE

ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL

GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND

MONTEREY COUNTY HOUSING & COMMUNITY DEVELOPMENT SHALL BE NOTIFIED. WORK

NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED

ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS

FOR FURTHER ACTION.

SHOULD HUMAN REMAINS BE UNCOVERED, ALL EXCAVATION SHALL BE HALTED IN THE IMMEDIATE AREA AND COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. SHOULD THE CORoner DETERMINE THAT HE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION AND SHALL DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUZE	R.A.	RETURN AIR
ABV	ABOVE	GA	GALVANIZED ALUMINUM	RAD	RADIUS
AC	ASPHALTIC CONCRETE	GI	GALVANIZED IRON	RD	ROUND
ACR	ASPHALTIC COATING	GR	GROUND FAULT INTERRUPTER	REC	RECESSED
ALUM	ALUMINUM	GL OR GLS	GLASS	REF	REFRIGERATOR
APPROX	APPROXIMATE	GM	GAS METER	REF.	REINFORCING
ARCH	ARCHITECTURAL	GND	GROUND	RES	RESILIENT
ANCH	ANCHOR	GTP. BD	GYPSUM BOARD	RO	ROOF
ASPH	ASPHALT	H.C.	HOLLOW CORE	RO.	ROUGH OPENING
AWN	AWNING	H.D.	HOLLOW DIA.	REQ.	REQUIRED
BA	BATH	H.D.	HEADER	R.D.	RIGHT OF WAY
BD	BOARD	H.D.	HARDWOOD	R.D.	REDWOOD
BLDG	BULDING	HOR.	HORIZONTAL	R.L.	RADIATOR LEADER
BLDG	BULDING	HOR.	HOR.	SCHED	SCHEDULE
BLW	BELOW	H.B.	HOLE BIB	S.C.	SOLID CORE
BM	BEAM	H.C.	HEADER	SECT.	SECTION
BOTT.	BOTTOM	H.C.	HAT-CHAP	S.F.	SQUARE FOOT/FEET
BR	BEDROOM	HVAC	HEATING VENTILATION & AIR CONDITIONING	S.F.	SQUARE FOOT/FEET
CAB	CABINET	H.W.	HOT WATER	S.H.	SHEET
CABT	CABINET	H.W.	HOT WATER	SIM.	SIMILAR
C.I.	CAST IRON	ID	INSIDE DIAMETER	SLD	SLIDER
CLEAR	CLEAR	INS.	INSULATION	SLD GL DR	SLIDING GLASS DOOR
CLAT	CLAT	INT.	INTERIOR	SLD GL DR	SLIDING GLASS DOOR
COMP	COMPOSITION	J.B.	JUNCTION BOX	S.P.	SPHES. & POLE
CONC	CONCRETE	JST.	JOIST	SPEC.	SPECIFICATIONS
C.MU	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SQ.	SQUARE
C.O.	CLEAN OUT	KP	KICKER POST	SQ.FT.	SQUARE FEET
CONN	CONNECTION	K.S.	KING STUD	STD.	STANDARD
CONST	CONSTRUCTION	L.	L.	STD.	STEEL
CSTM	CABINET	L.	LINEAR FOOT/FEET	STRUCT.	STRUCTURAL
C.W.	COLD WATER	L.	LINES	S.S.	SEE STRUCTURAL DRAWINGS
CSMT	CSMT	L.	LINE	S.S.	SEE STRUCTURAL DRAWINGS
DEF	DEF	L.	LIGHT	S.S.	STAINLESS STEEL
DIA OR Ø	DIA OR Ø	MAT.	MATERIAL	TEL.	TELEPHONE
DIM	DIMENSION	MAR.	MARSH	TEMP.	TEMPERED
D.S.	DRAWING	M.B.	MACHINE BOLT	THRSH.	THRESHOLD
DRY	DRYER	M.ECH.	MECHANICAL	TIG	TONGUE & GROOVE
DW	DISHWASHER	M.H.	MEDICINE CABINET	TOP	TOP OF FOOTING
DWG	DRAWING	M.H.P.	MANUFACTURER	T.O.P.	TOP OF PLATE
EA	EACH	MAN.	MINIMUM	T.O.S.	TOP OF SLAB
ELEC	ELECTRICAL	MSC.	MISCELLANEOUS	TOP.	TOP OF WALL
ELV	ELVATION	MTD.	MOUNDED	TP.	TOILET PAPER
EM	EMERGENCY	NEW	NEW	TPH.	TYPIICAL
ENCL	ENCLOSURE	N.O.	NOT IN CONTRACT	VERT.	VERTICAL
EXCL	EXCL	N.O.C.	NUMBER	W.C.	WATER CLOSET
EXHA	EXHAUST	N.O.C.	NOT TO SCALE	WASH.	WATERFAUCET
EXP.	EXPANSION	N.T.S.	NOT TO SCALE	WASH.	WATERFAUCET
EXIST	EXISTING	OVER.	OVER	W.C.	WATER CLOSET
EXT	EXTERIOR	O.C.	ON CENTER	W.C.	WATER CLOSET
FBRGL	FIBERGLASS	O.R.S.	OUTSIDE FACE OF STUD	W.C.	WATER CLOSET
FLOOR	FLOOR DRAIN	OPP.	OPPOSITE	W.C.	WATER CLOSET
FND	FOUNDATIONS	O.A.	OUTSIDE DIAMETER	WD	WOOD
F.P.	FLOOR	PLATE	PROPERTY LINE	WD.	WOOD
F.G.	FLOOR GRADE	P.L.	PLATE	WD.	WOOD
F.S.	FLOOR SLAB	PLA.	PLATE	WD.	WOOD
FL	FLOORS	PLY.	PLYWOOD	WD.	WOOD
F.R.C.	FLUORESCENT	PNL.	PANEL	WD.	WOOD
FACE	FACE OF CONCRETE	P.T.	POLE & SHELF	WD.	WOOD
F.D.	FRENCH DOOR	P.T.	POLE	WD.	WOOD
FT.	FOOT OR FEET	P.R.	POUR	WD.	WOOD
FTG	FOOTING	P.R.	POUDER ROOM	W.P.	WATERPROOF
FX	FIXED	P.R.	POUDER ROOM	W.P.	WELDED WIRE FABRIC

PROJECT DIRECTORY

OWNER

THE JOHN C. MANLY LIVING TRUST
 412 EVENING STAR LANE
 NEWPORT BEACH, CALIFORNIA 92660

DESIGNER

BRADLEY GREEN (HASTINGS CONSTRUCTION INC.)
 11 THOMAS OWENS WAY, SUITE 201
 MONTEREY, CALIFORNIA 93940
 1-(831)-620-0920 ex. 708
 bradley@hastingsconstruction.com

CIVIL

L&S ENGINEERING & SURVEYING, INC
 2460 GARDEN ROAD, SUITE G
 MONTEREY, CALIFORNIA 93940
 1-(831)-655-2723
 landsengineers.com

LANDSCAPE

SIMON PHILIPS (SEVEN SPRINGS STUDIO)
 2548 EMPIRE GRADE
 SANTA CRUZ, CALIFORNIA 95060
 1-(831)-466-9617
 simon.sevensprings@gmail.com

DRAWING INDEX

GENERAL

T1 Title Sheet
 G1 General Notes

CIVIL

1 of 1 Topographic Survey

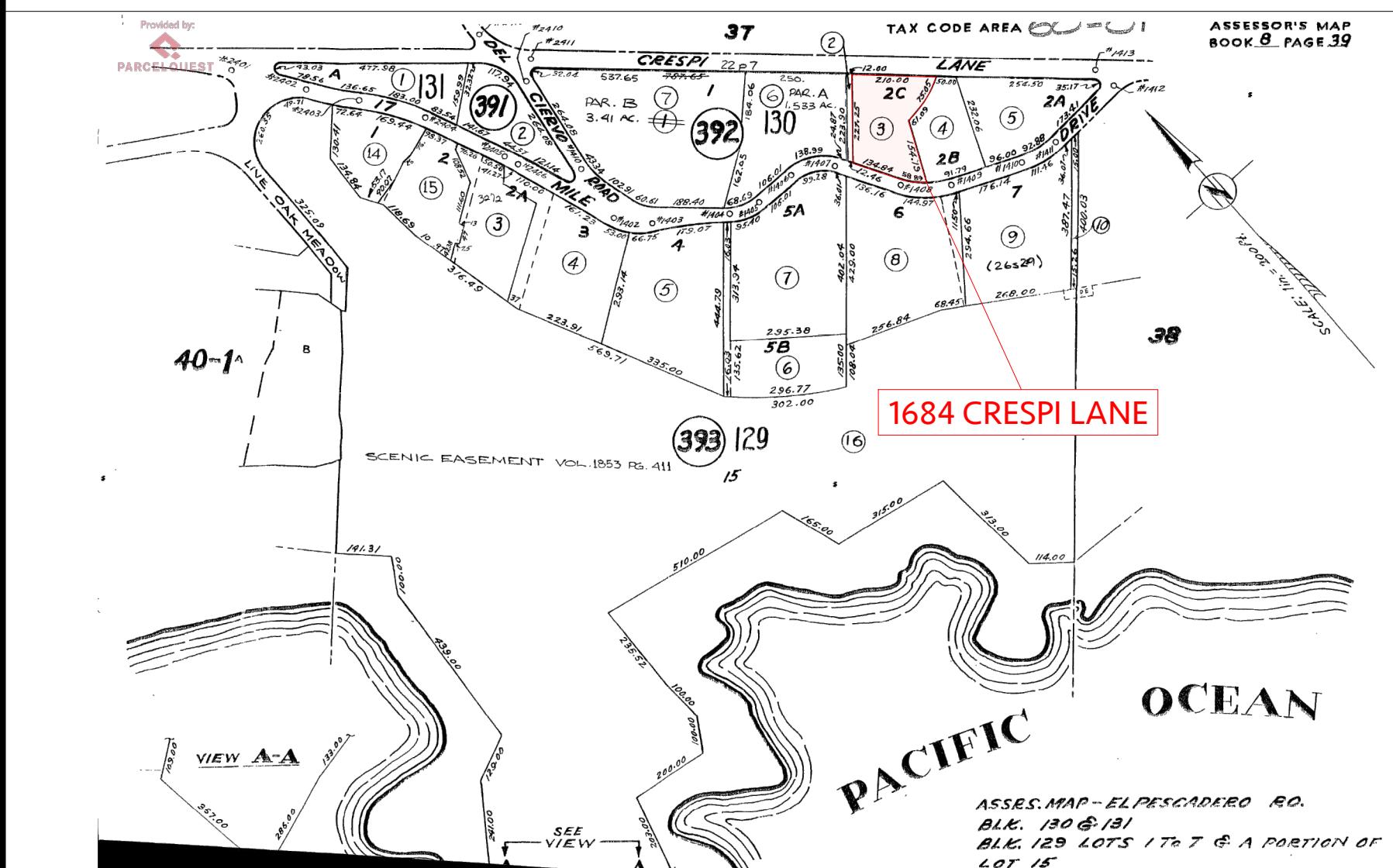
LANDSCAPE / GRADING

L-1 Grading Plan

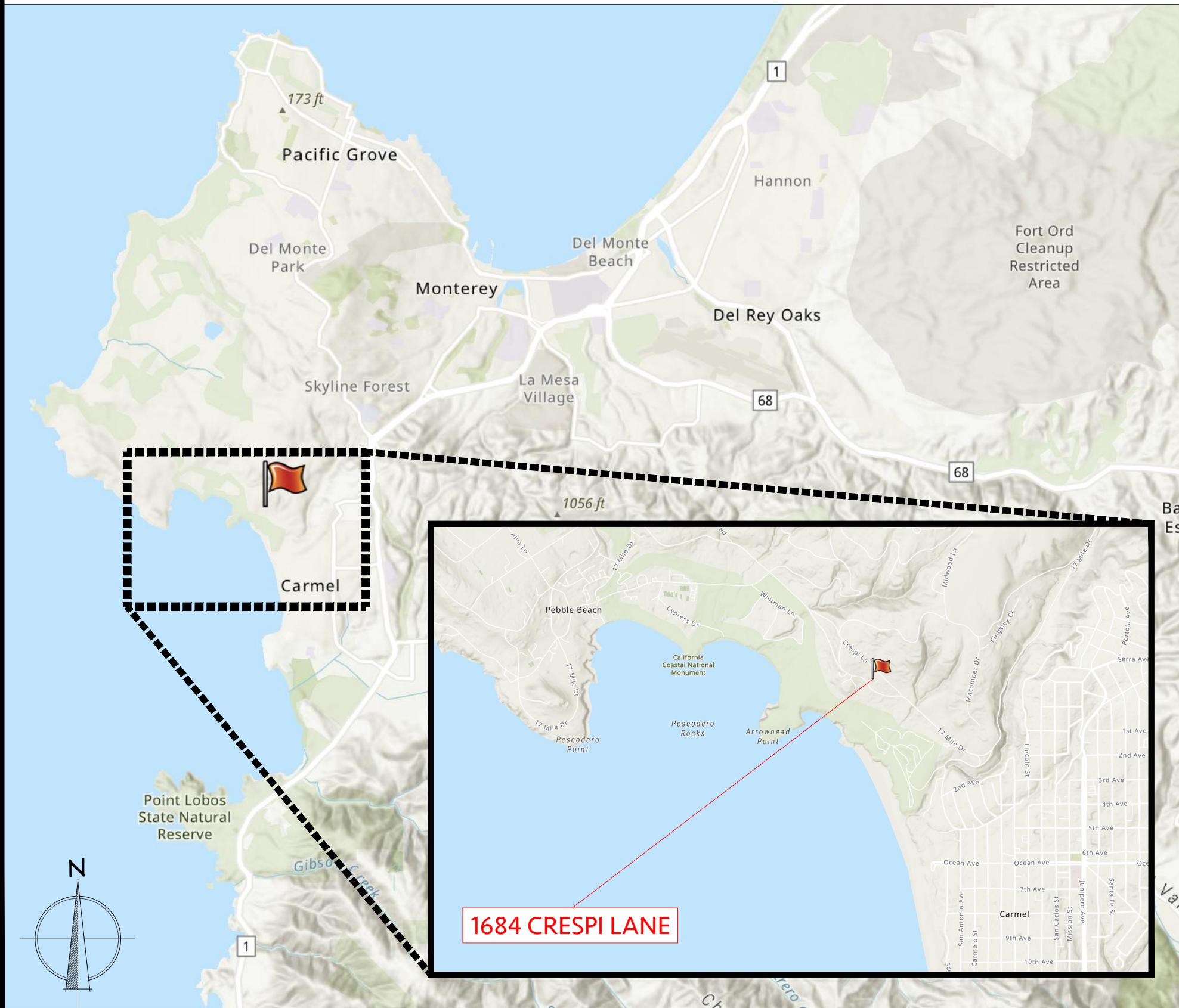
ARCHITECTURAL

A1 Existing Site Plan & Proposed Site Plan
 A2 Erosion Control Plan
 A3 Proposed Floor Plan
 A4 Proposed Elevations and Roof Plan
 A5 Proposed Colors and Materials
 A6 Proposed Sections
 A7 Architectural Details
 A8 Architectural Details

APN MAP



VICINITY MAP



SCOPE OF WORK

Construction of a new 793 sq. ft., 1 bedroom, 1 bath accessory dwelling unit; Accessory to existing single family home at 1684 Crespi Lane.

- Connection of all utilities (septic, electrical, gas & water) to main residence and/or existing meters shall be underground.

PROJECT DATA

CODE DATA:

2022 California Building Code
 2022 California Residential Code
 2022 California Mechanical Code
 2022 California Plumbing Code
 2022 California Fire Code
 2022 California Electrical Code
 2022 California Energy Code
 2022 California Green Building Standards Code

Occupancy:

R-3

Construction Type:

VB

Fire Sprinklers:

NO

Solar:

YES AS REQUIRED (Deferred Submittal)

LOT DATA:

Project Address: 1684 Crespi Lane
 Pebble Beach, California, 93953

APN: 008-392-003-000

Block 392, Parcel 3

Subdivision: Del Monte Forest LUP

Parcel Size: 42,958 sq. ft. (0.98 AC)

Zoning:

LDR/1.5-D(CZ)

Built:

1957

Use:

Single Family Residential (Low Density Residential)

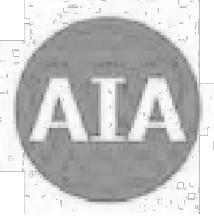
Sewer:

Pebble Beach Community Services District

BUILDING DATA:

Footage:

Main Residence: 4849 SQ. FT.



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Revision/Issue	Date

Y

N/A

RESPON.

PARTY

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. (HCD) The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing buildings or facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.2 for application.

Note: Repairs including, but not limited to, resurfacing, reshaping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water conserving plumbing fixtures. The mandatory provision of this section is subject to a variance or certificate of completion or certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. (HCD) The provisions of individual sections of CALGreen may apply to either low-rise residential buildings, high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

Exceptions:

1. (HCD) Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable.

2. (HCD) Live/Work units, Office/Work units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.

DIVISION 4.1 PLANNING AND DESIGN

ABBREVIATION DEFINITIONS:

HCD Department of Housing and Community Development
BCS California Building Standards Commission
DSO-SS Office of the State Architect, Structural Safety
OSHPD Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES

SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106.1 SITE DEVELOPMENT **4.106.1.1 GENERAL.** Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.3 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or all of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Rain gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

Exceptions:

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power;
1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project.

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and terminate in a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.

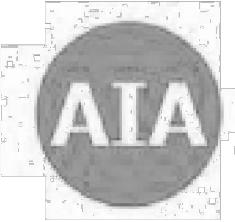
Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code.

4.106.4.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

Y YES
N NO
NA NOT APPLICABLE
RESPON. PARTY OWNER, RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, CONTRACTOR, INSPECTOR ETC.)

Y	N/A	RESPON.	PARTY
4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for nonmultifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.			
4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.			
1. EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.			
The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.			
2. When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces.			
3. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed.			
Notes:			
1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.			
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.			
DIVISION 4.2 ENERGY EFFICIENCY			
4.201 GENERAL			
4.201.1 SCOPe. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.			
DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION			
4.303.1 INDOOR WATER USE			
4.303.1.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.			
Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.			
4.303.1.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.			
Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.			
4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.			
4.303.1.3 Showerheads.			
4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.			
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.			
Note: A hand-held shower shall be considered a showerhead.			
4.303.1.4.1 Faucets.			
4.303.1.4.1.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.			
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping areas) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.			
4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per minute.			
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.			
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.			
4.303.1.4.5 Pre-rinse spray valves.			
When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4)(A) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.			
FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1603.3 (h)(4)(A).			
TABLE H-2			
STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019			
PRODUCT CLASS [spray force in ounce force (ozf)]			
MAXIMUM FLOW RATE (gpm)			
Product Class 1 (< 5.0 ozf)			
1.00			
Product Class 2 (> 5.0 ozf and < 8.0 ozf)			
1.20			
Product Class 3 (> 8.0 ozf)			
1.28			
Title 20 Section 1605.3 (h)(4)(A). Commercial pre-rinse spray values manufactured on or after January 1, 2008, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(g)]			
4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.			
4.303.3 Standards for plumbing			



California

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N = NO
NA = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Revision/Issue	Date

MAXIMUM INCREMENTAL REACTIVITY (MIR): The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT: The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PwMIR): The sum of all weighted-MIR for all ingredients in a product subject to this article. The PwMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PwMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC): Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC: A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 **Gas Fireplaces:** Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstoves or pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 **COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION:** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL: Finish materials shall comply with this section.

4.504.2.1 **Adhesives, Sealants and Caulks:** Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulk shall comply with local or regional air pollution or air quality management district rules where applicable. See CCR, Rule 1168 VOC limits as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chlorofluorocarbons, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 6 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 **Paints and Coatings:** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, as defined in subsections 4.21, 4.38, and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 **Aerosol Paints and Coatings:** Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROG in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 **Verification:** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2}

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

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TABLE 4.504.2 - SEALANT VOC LIMIT	
(Less Water and Less Exempt Compounds in Grams per Liter)	
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	250
NON-POROUS	775
POROUS	500
MODIFIED BITUMINOUS	760
MARINE DECK	750

TABLE 4.504.5 - FORMALDEHYDE LIMITS	
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS: All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/AQ/Pages/VOC.aspx>

4.504.3.1 **Carpet cushion:** All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/AQ/Pages/VOC.aspx>

4.504.3.2 **Carpet adhesive:** All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS: Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

<https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/AQ/Pages/VOC.aspx>

4.504.5 COMPOSITE WOOD PRODUCTS: Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

4.504.5.1 **Documentation:** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and inventoried as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0323 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 **General:** Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS: Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 **Capillary break:** A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7 mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-08.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS: Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture measurement methods may be approved by the enforcing agency and shall satisfy requirements for use in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 **Bathroom exhaust fans:** Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

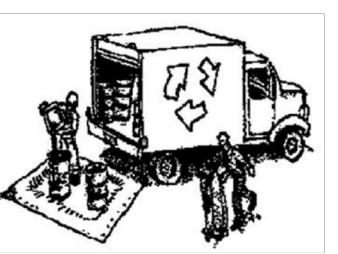
4.507.2 **HEATING AND AIR-CONDITIONING SYSTEM DESIGN:** Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.</li



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

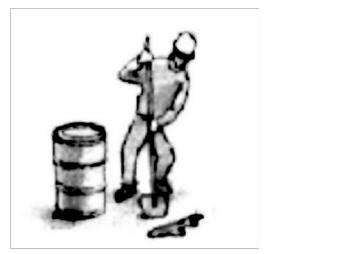
- ❑ Burn and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area and away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ If inlet protection is the last line of spill defense. Drains/ inlets that receive stormwater must be covered and otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Avoid piping and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Stabilize all disturbed areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fabric matrix) until vegetation is established.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Designate all disturbed areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fabric matrix) until vegetation is established.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
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- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.

Painting cleanup

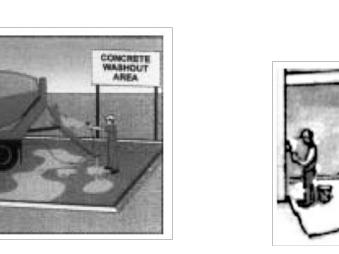
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch mats, or gravel bags to keep slurry out of the storm drain system.

Landscaping & Asphalt/Concrete Removal

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.

De-watering

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.



PAVING/ASPHALT WORK

Concrete, Grout & Mortar Application

- ❑ Store concrete, grout and mortar under cover, or pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment, trucks offsite or in a contained area, so there is no discharge onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete project.

Painting & Paint Removal

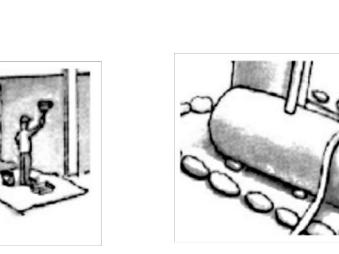
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.

Paint Removal

- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.

De-watering

- ❑ When de-watering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Check for diversion through a basin, park, sediment trap, and disposal in sanitary sewer, or may be required.



PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Store concrete, grout and mortar under cover, or pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment, trucks offsite or in a contained area, so there is no discharge onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete project.

Paint Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.

Paint Removal

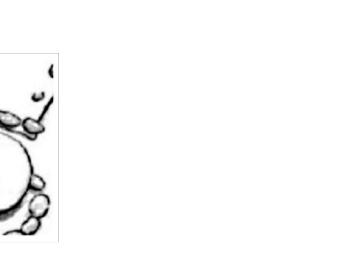
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority.

Paint Removal

- ❑ When de-watering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Check for diversion through a basin, park, sediment trap, and disposal in sanitary sewer, or may be required.

Paint Removal

- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



DEWATERING

Paint Removal

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.

Paint Removal

- ❑ When de-watering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Check for diversion through a basin, park, sediment trap, and disposal in sanitary sewer, or may be required.

Paint Removal

- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

ENGLISH

HASTINGS CONSTRUCTION, INC.
11THOMAS OWENS WAY, SUITE 201 MONTEREY, CA 93940
(831) 620-0920 INFO@HASTINGSCONSTRUCTION.COM
LIC# 79153 CLASS: A/B Bradley Green

Drawing Title: CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
Job Title: MANLY RESIDENCE
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000



LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.



MANEJO DE MATERIALES Y RESIDUOS

Materiales no peligrosos

- ❑ Haga un borde alrededor y cubra con lonas impermeables las plazas de arena, tierra u otros materiales de construcción que no estén siendo promovidos de lluvia o si no se están usando activamente. Para mejor resultado, esto debería hacerse diariamente al final del día de trabajo durante toda la construcción.
- ❑ Use (pero no abuse) agua reclamada para controlar el polvo.

Materiales peligrosos

- ❑ Póngales etiquetas a todos los materiales y residuos peligrosos (como pesticidas, pintas, diluyentes, aceites, aceites de motor, antideslizantes) de acuerdo con las regulaciones de la ciudad, del condado, del estado y federales.
- ❑ Ponga los materiales y residuos peligrosos en contenedores que no pierdan, póngalos luego en contenedores secundarios apropiados y cubralos después de cada uso para proteger la temporada lluviosa, o cuando se haya pronosticado lluvia en las próximas 24 horas.
- ❑ Asegúrese de deshacerse apropiadamente de todos los residuos peligrosos.

Entradas y perímetros de los sitios de construcción

- ❑ Establezca y mantenga control efectivo de los perímetros y establezca todas las entradas y establezca del sitio de construcción



MANEJO DEL EQUIPO Y CONTROL DE DERRAMES

Mantenimiento y estacionamiento

- ❑ Designe un área especial, usando técnicas apropiadas de control de polvo para estacionar los vehículos y el equipo, y para almacenamiento.
- ❑ Realice las tareas mayores de mantenimiento, los trabajos de reparación y el lavado de vehículos y equipos fuera del sitio de construcción.

Control de residuos

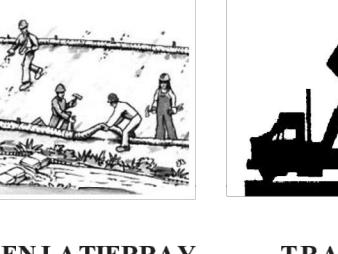
- ❑ Si es necesario hacer gasolina a un vehículo, hágalo en un área húmeda, alejada de los desagües pluviales y sobre una baneda de goteo de tamaño suficiente para contener los líquidos peligrosos que se derramen. Recicle o deseche los residuos de los materiales peligrosos aceptados como combustible.
- ❑ No lave ni manejue las superficies donde se hayan voladado líquidos. Use métodos a seco (materiales absorbentes, aceites de cajas sanitarias para gatos, o trastos).

Control de derrames

- ❑ Barra inmediatamente los materiales que se hayan desprendido. No trate de deshacerse de ellos usando agua, ni de enterrarlo.
- ❑ Limpie los derrames en la tierra excavando la tierra contaminada y deshaciéndose correctamente de ella (vea las guías del Monterey Regional Waste Management District sobre el control de calidad del agua y con el inspector municipal local).

Control de derrames

- ❑ Contingue inmediatamente cualquier derrame significativo. La ley obliga comunicar todos los derrames de materiales peligrosos, incluyendo el petróleo. Puede comunicar la derriera al tránsito o la seguridad. Informe a la policía de tránsito o la seguridad.



TRABAJO EN LA TIERRA SUELOS CONTAMINADOS

Control de erosión

- ❑ Evite pavimentar o recuperar pavimento en temporadas de lluvias, o cuando se haya pronosticado lluvia. Estos materiales deben ser removidos de las tierras subyacentes.

Control de sedimentación

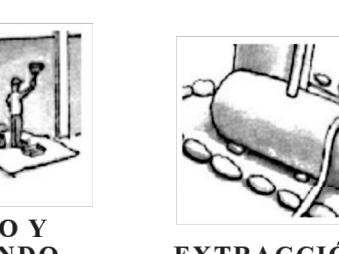
- ❑ Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- ❑ Mantenga en los camiones los materiales excavados en el sitio mismo de construcción y no en la calle.

Control de derrames

- ❑ Levante la tierra que se haya desprendido en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- ❑ Contingue las entradas de desagües pluviales, canaletas, canales y cursos de drenaje con las mejores prácticas de control, como bolsas de grava, filtros de entraida, bordes, etc.

Control de derrames

- ❑ Contingue la tierra que se haya desprendido en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- ❑ Levante la tierra que se haya desprendido en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.



APLICACIÓN DE CONCRETO, LICHADA DE CEMENTO Y ARGAMASAS

Limpieza después de pintar

- ❑ Nunca lave los pinceles ni enjuague los tarros de pintura en la calle, en las cunetas, desagües pluviales o superficies de aguas subterráneas. Estos materiales deben ser desechados o llevar a los desechos de aguas pluviales.

Control de agua

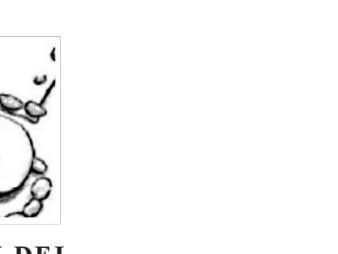
- ❑ Lave el concreto y la licha de cemento y la argamasa cubiertos en palés y alejados de las cunetas, desagües pluviales y superficies de aguas subterráneas.
- ❑ Mantenga el agua que se ha usado para lavar el concreto y la licha de cemento y la argamasa en un recipiente que no sea de plástico.

Control de agua

- ❑ Contenga las entradas de desagües pluviales, canaletas, canales y cursos de drenaje con las mejores prácticas de control, como bolsas de grava, filtros de entraida, bordes, etc.

Control de agua

- ❑ Ponga sobre palés, asperja o aspire la tierra que se haya desprendido en el sitio de construcción con agua.
- ❑ Levante la tierra que se haya desprendido en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.



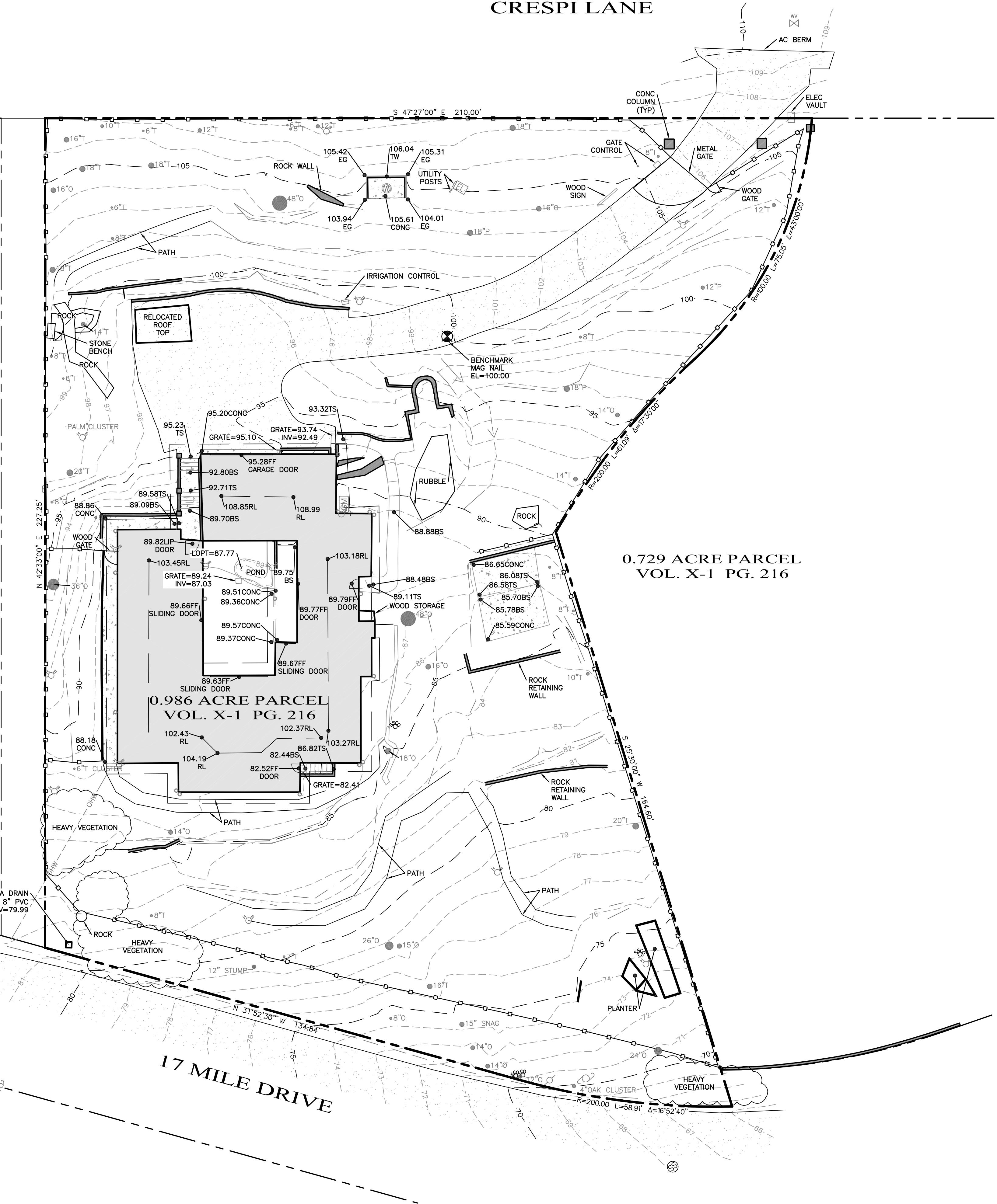
PINTADO Y REMOVIENDO PINTURA

Control efectivamente toda el agua que corre al sitio, o dentro del sitio y la que corre hacia aguas cercanas en el sitio.

- ❑ Al terminar la pintura a mano, lave la pintura a la basa, punto por punto, en la cuneta de una calle o en un desague de aguas pluviales.

CRESPI LANE

PARCEL A
VOL. 22 PAR PG. 7



LEGEND

PROPERTY LINE	—
FLOW LINE	—>
WOOD FENCE	—X—
WIRE FENCE	—○—
LINK FENCE	—X—X—X—X—
RAIL	——
OVERHEAD WIRE	—W—
MAJOR CONTOUR	—80—
MINOR CONTOUR	——

80.00 → SPOT ELEVATION

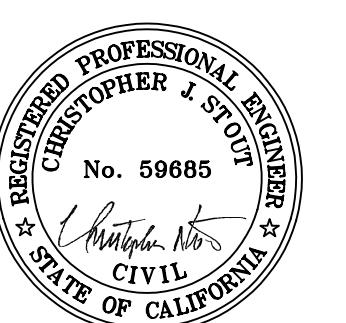
AC	ASPHALT
BS	BOTTOM STAIRS
CONC	CONCRETE
CYP	CYPRESS TREE
DS	DOWNSPOUT
E	EXISTING
EG	EXISTING GRADE
EL	ELEVATION
ELEC	ELECTRICAL
FC	FACE OF CURB
FL	FLOW LINE
FP	FINISH PAVEMENT
FW	FACE OF WALL
JUN	JUNIPER TREE
LOPT	LOW POINT
O	OAK TREE
PLM	PALM TREE
RL	RIDGE LINE
T	TREE
TS	TOP OF STAIRS
TYP	TYPICAL

WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL
W	WATER WELL
H	HOSE BIB
U	UTILITY POLE
EL	ELECTRICAL METER
AT&T	AT&T MANHOLE
GV	GAS VALVE
GM	GAS METER
SM	SEWER MANHOLE
SC	SEWER CLEANOUT
D	DOWNSPOUT
UP	UTILITY GUY POLE
AP	AC PAVEMENT

CONCRETE	—
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NOTES

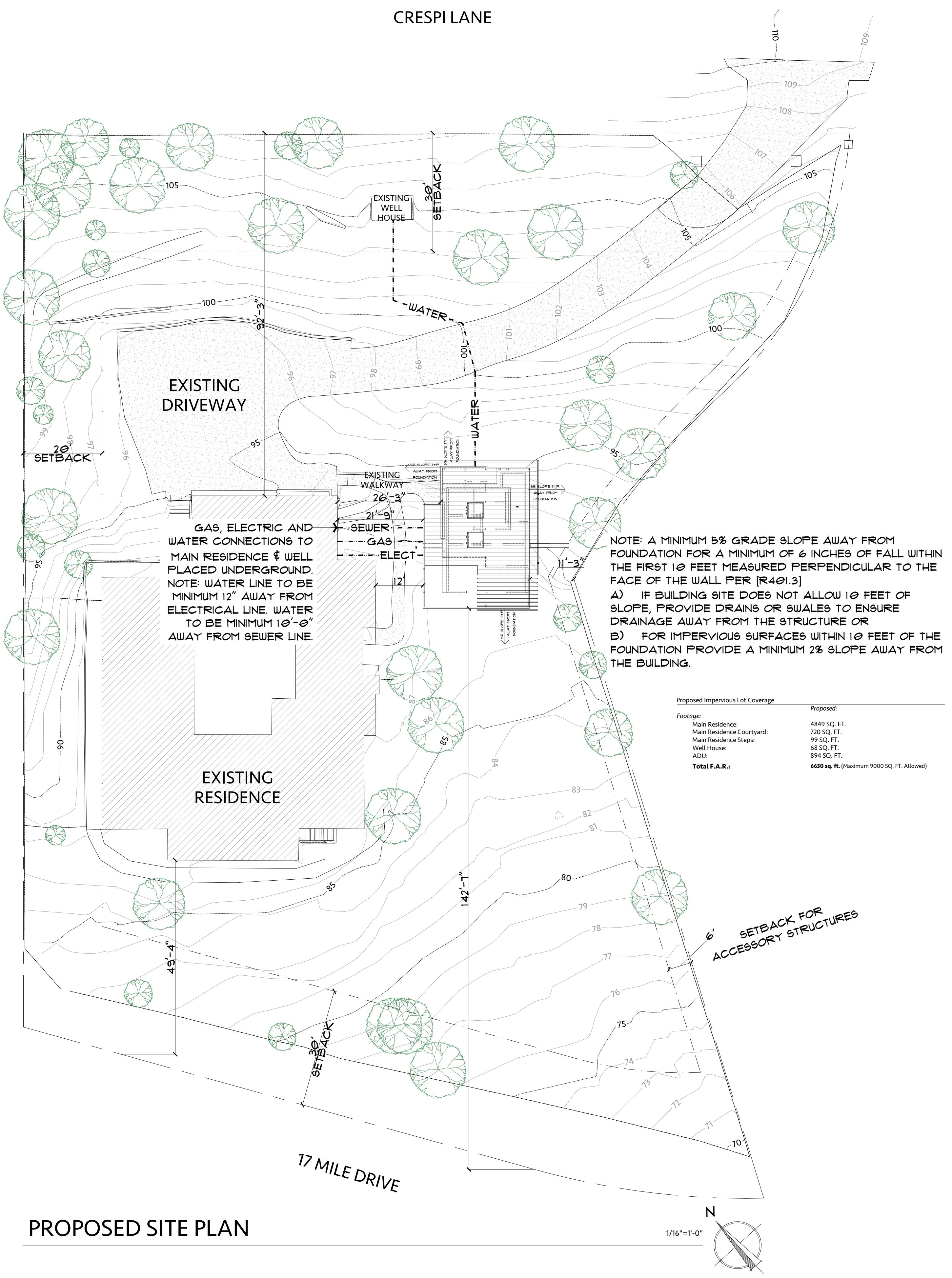
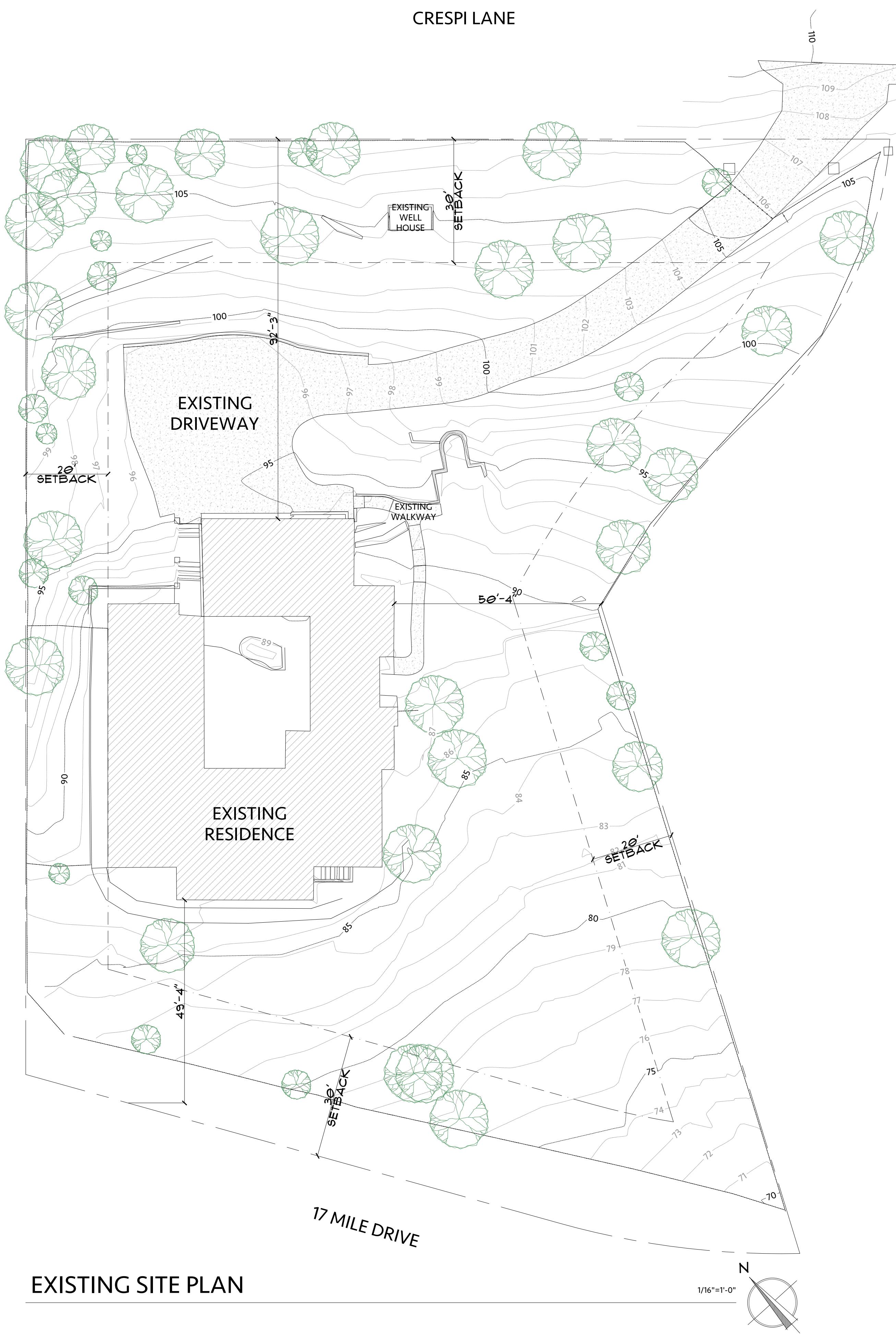
1. BOUNDARY DATA SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DOCUMENTS. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS PER DOCUMENT #2021084802, AND SHOWN APPROXIMATE ONLY. THIS IS NOT A BOUNDARY SURVEY.
2. THIS TOPOGRAPHIC SURVEY IS PREPARED FOR DESIGN PURPOSES ONLY.
3. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
4. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
5. CONTOUR INTERVAL = ONE FOOT.
6. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND Drip LINE SHAPE TO BE VERIFIED BY OTHERS.
7. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
8. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
9. A LOCAL BENCHMARK FOR THIS PROJECT IS A MAG NAIL SET IN DRIVEWAY AS SHOWN HEREON, HAVING AN ELEVATION OF 100.00 BASED UPON AN ASSUMED DATUM.
10. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER 2022. ADDITIONAL DATA COLLECTED ALONG 17 MILE DRIVE JUNE 2024.



TOPOGRAPHIC SURVEY
1684 CRESPI LANE
PEBBLE BEACH, CA 93953
APN: 008-392-003

PREPARED FOR:
JOHN MANLY

SHEET 1
OF
1 SHEET



EROSION AND SEDIMENT CONTROL NOTES

1. BEST MANAGEMENT PRACTICES (BMP'S) AT A MINIMUM, THE FOLLOWING BMP'S ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION ACTIVITIES PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESCP SUBMITTAL AS APPLICABLE.
 - A. WET WEATHER MEASURES IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WET WEATHER SEASON - OCTOBER 15 THROUGH APRIL 15, OTHERWISE, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR PRE-RAIN INSTALL.
 - B. EXISTING VEGETATION PROTECT EXISTING VEGETATION, AVOID REMOVAL AND REQUIRED AND WHEREVER POSSIBLE, INSTALL PERIMETER PROTECTION AND CONCRETE CURB & GUTTER.
 - C. EROSION AND SEDIMENT CONTROL, AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMP'S SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENT ON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.
 - D. STOCKPILE MANAGEMENT: 1.) ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. 2.) STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. 3.) NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 - E. WASTE MANAGEMENT: ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ON-SITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE MAINTAINED, AND ITS CONTENT DISPOSED OF IN A MANNER THAT NO MATERIAL SHALL BE WASHED INTO THE STORM DRAIN SYSTEM. CONSTRUCTION WASTE THAT IS NOT REUSABLE OR RECYCLABLE SHALL BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.
 - F. DRAIN/INLET PROTECTION: PERIMETER CONTROLS DRAINS/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. ALSO, CHANGING CONSTRUCTION CONDITIONS NECESSITATE THAT THE TYPE OF INLET AND DRAIN PROTECTION IMPLEMENTED BE CHANGED AND OR ADJUSTED ACCORDINGLY TO ADEQUATELY PROTECT THE STORM DRAIN SYSTEM DURING THE VARIOUS CONSTRUCTION PHASES.
 - G. SWEEPING: ALL IMPERVIOUS SURFACES (DRIVeways, STREETS) SHALL BE PHYSICALLY SWEEP (NOT WASHED OR HOSED DOWN) AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT OR TRASH. OFF-SITE DEWATERING IS ALLOWED FROM CONSTRUCTION SITES UNLESS DISCHARGE IS AN EXCEPTION TO THE DISCHARGE PROHIBITION PER CITY CODE CH. 31.5-1(c). ASBS DRAInAGES HAVE GREATER RESTRICTIONS, ANY PROPOSED DEWATERING MUST BE REVIEWED/CLEARED BY CITY AND APPLICABLE REGULATORY AGENCIES. STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORM WATER.
 2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - A. DISTURBED SURFACE NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWHILL PROPERTIES.
 - C. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - D. DRAInAGE CONTROL FACILITIES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.

[MONTEREY COUNTY GRADING/EROSION ORD. 2006 - 16-12-030]

CONSTRUCTION MANAGEMENT NOTES

CONTRACTOR
JUSTIN HASTINGS
(Primary Contact during construction)
11 THOMAS OWENS WAY, SUITE 201
MONTEREY, CA 93940
831-620-0320
JUSTINHASTINGSCONSTRUCTION.COM

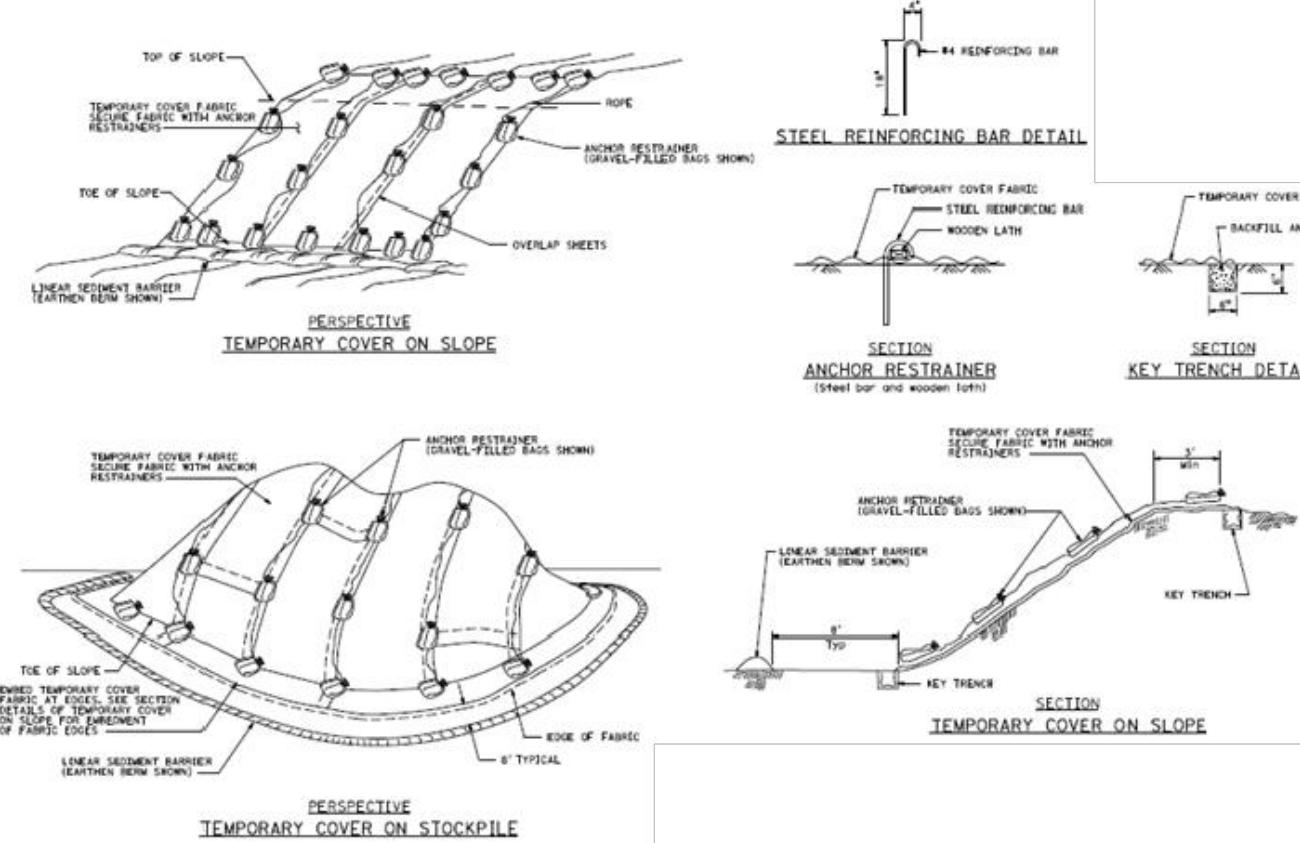
PROJECT MANAGER
JORGE SALGADO
(Secondary Contact during construction)
HASTINGS CONSTRUCTION, INC.
11 THOMAS OWENS WAY, SUITE 201
MONTEREY, CA 93940
831-620-0320
PM@HASTINGSCONSTRUCTION.COM

SUMMARY:
VEHICLES:
ANTICIPATED CONSTRUCTION VEHICLES WILL CONSIST OF DUMP TRUCKS, EXCAVATORS, BACKHOES, CONCRETE TRUCKS, PICK-UP TRUCK & CARS DURING GENERAL CONSTRUCTION.

HOURS:
HOURS OF OPERATION WILL BE FROM 8:00AM - 6:00 PM, MONDAY - SATURDAY

SCHEDULING & GRADING:
PROJECT IS ESTIMATED TO LAST 18 MONTHS. DURING GRADING ACTIVITIES, THERE MAY BE UP TO 6 TRUCKLOADS PER DAY AND UP TO 120 YARDS CUBED OF EARTHWORK PER DAY.

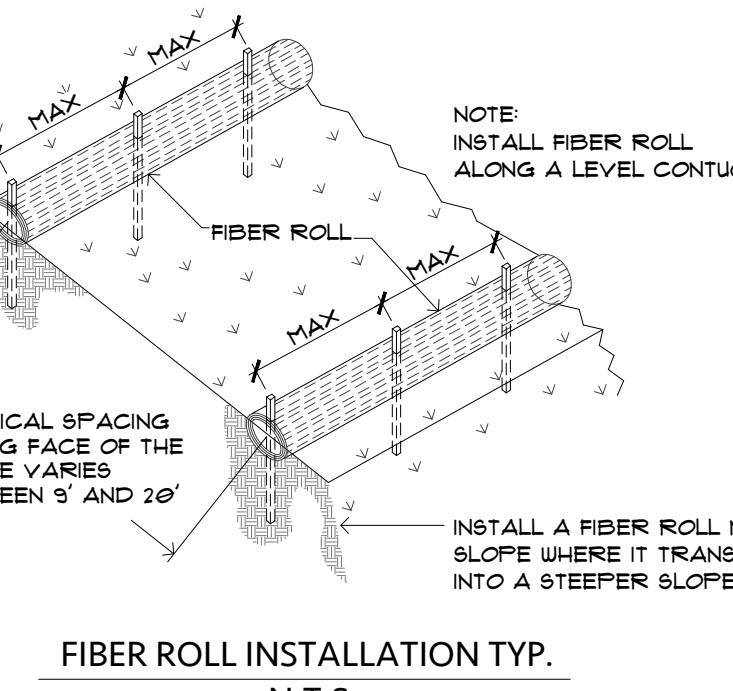
TREE PROTECTION:
PRIOR TO THE START OF CONSTRUCTION, A PROTECTED BARRICADE WITH WOOD OR METAL STAKES CONNECTED WITH ORANGE SNOW NETTING SHALL BE ERECTED AROUND EACH TREE OR GROUP OF TREES TO BE PRESERVED.



TEMP COVER ON STOCKPILE

1 FIBER ROLLS

2

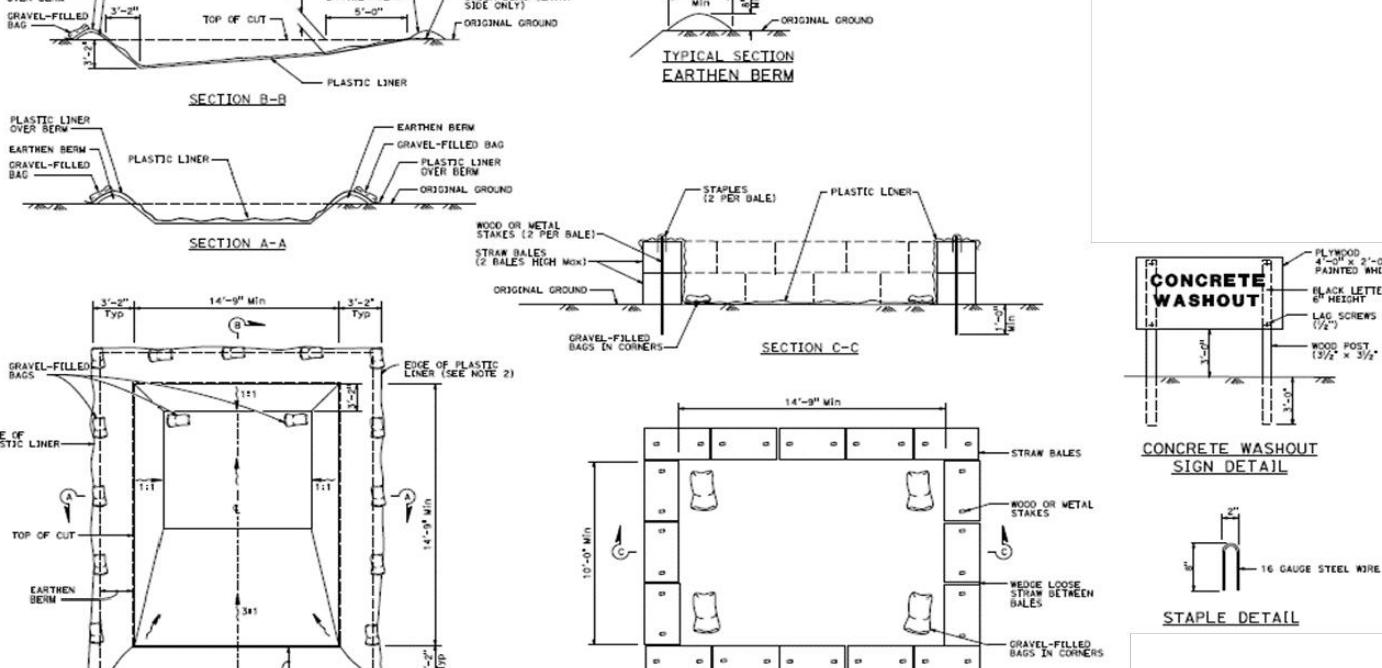


FIBER ROLL INSTALLATION TYP.
N.T.S.

TEMP CONCRETE WASHOUT FACILITY

1 FIBER ROLLS

2



2

TEMP CONCRETE WASHOUT FACILITY

3 SANITARY WASTE MANAGEMENT

4

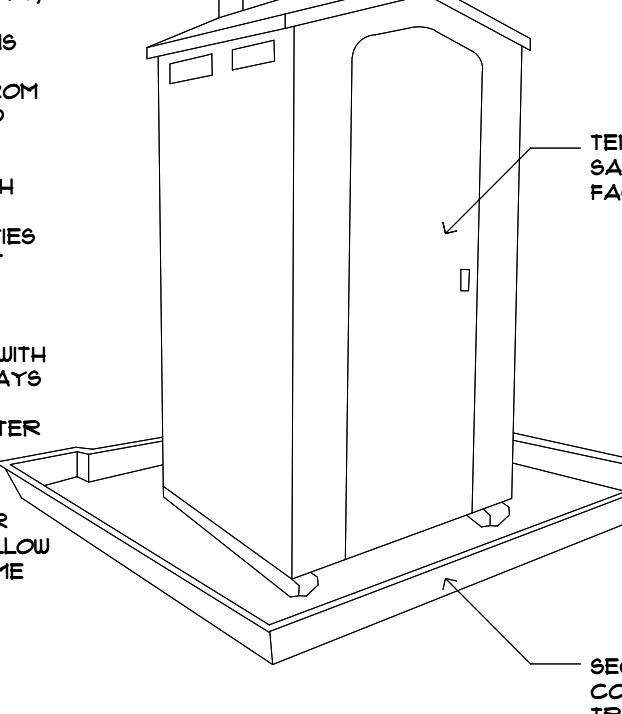
STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM CREEKS/STREAMS. SITE CONDITIONS ALLOW PLACEMENT OF SANITARY FACILITIES A MINIMUM OF 50' FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.

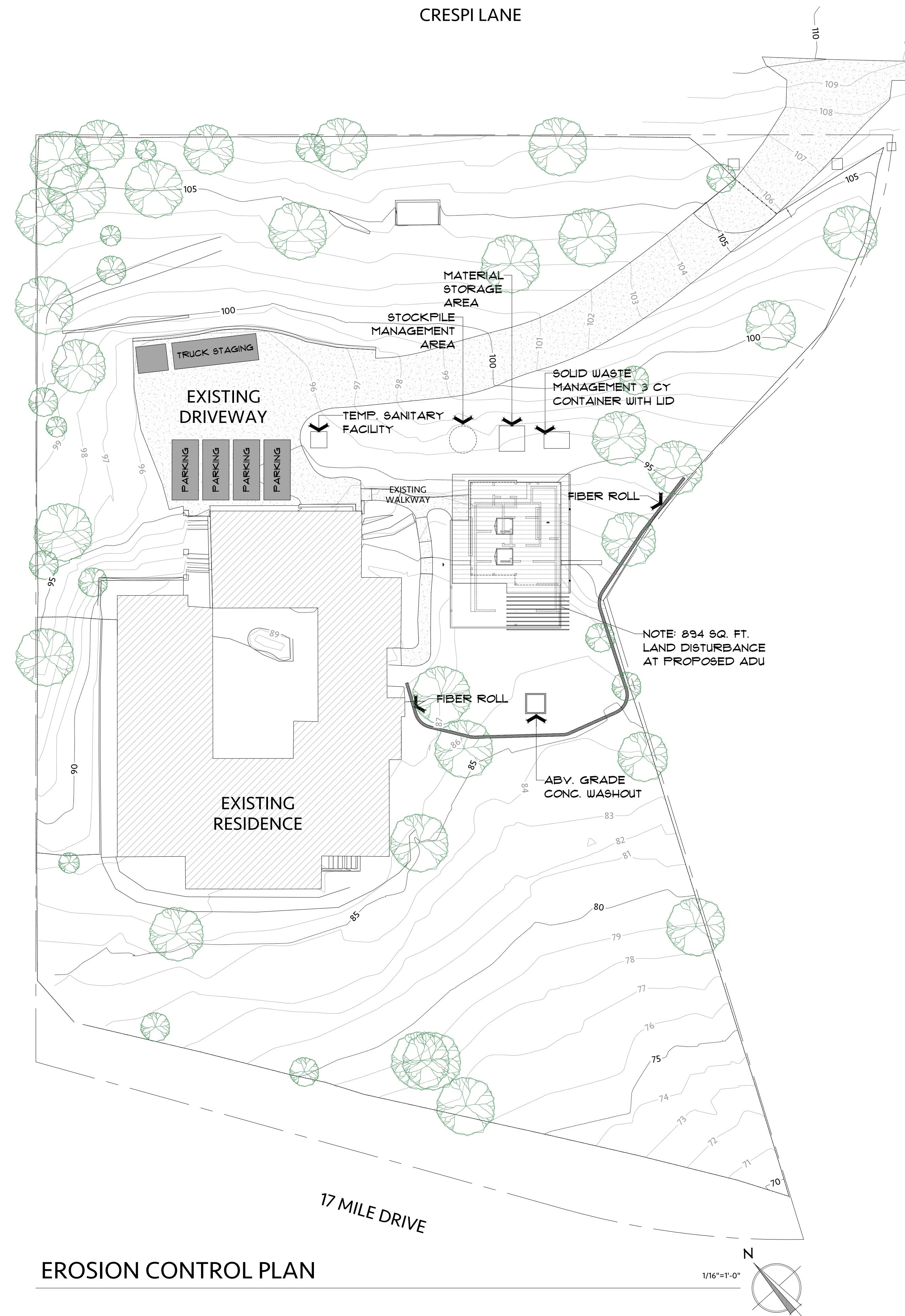
2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.

3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.

4. ARRANGE FOR REGULAR WASTE COLLECTION DO NOT ALLOW SANITARY FACILITIES TO BECOME OVERFULL.



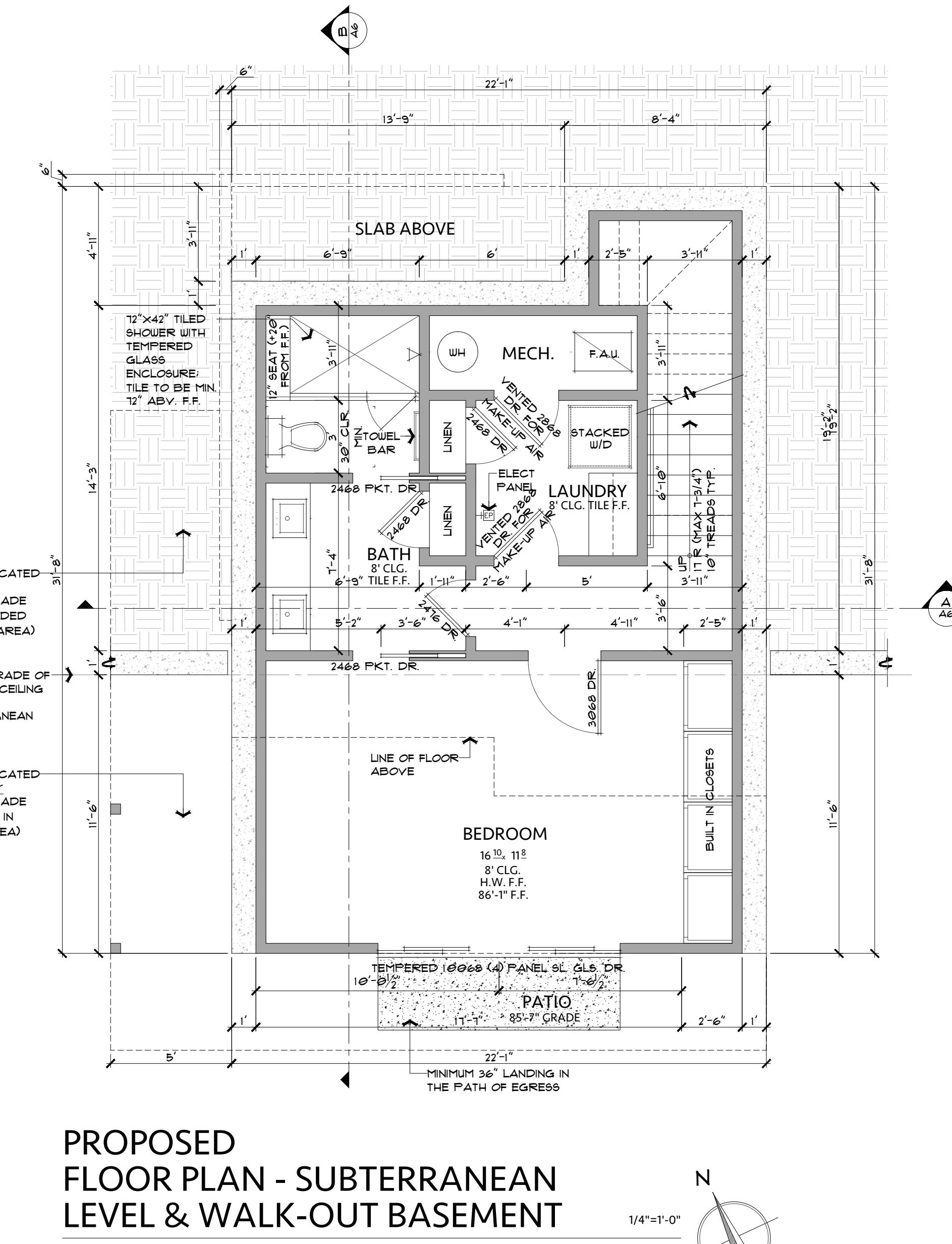
EROSION CONTROL PLAN



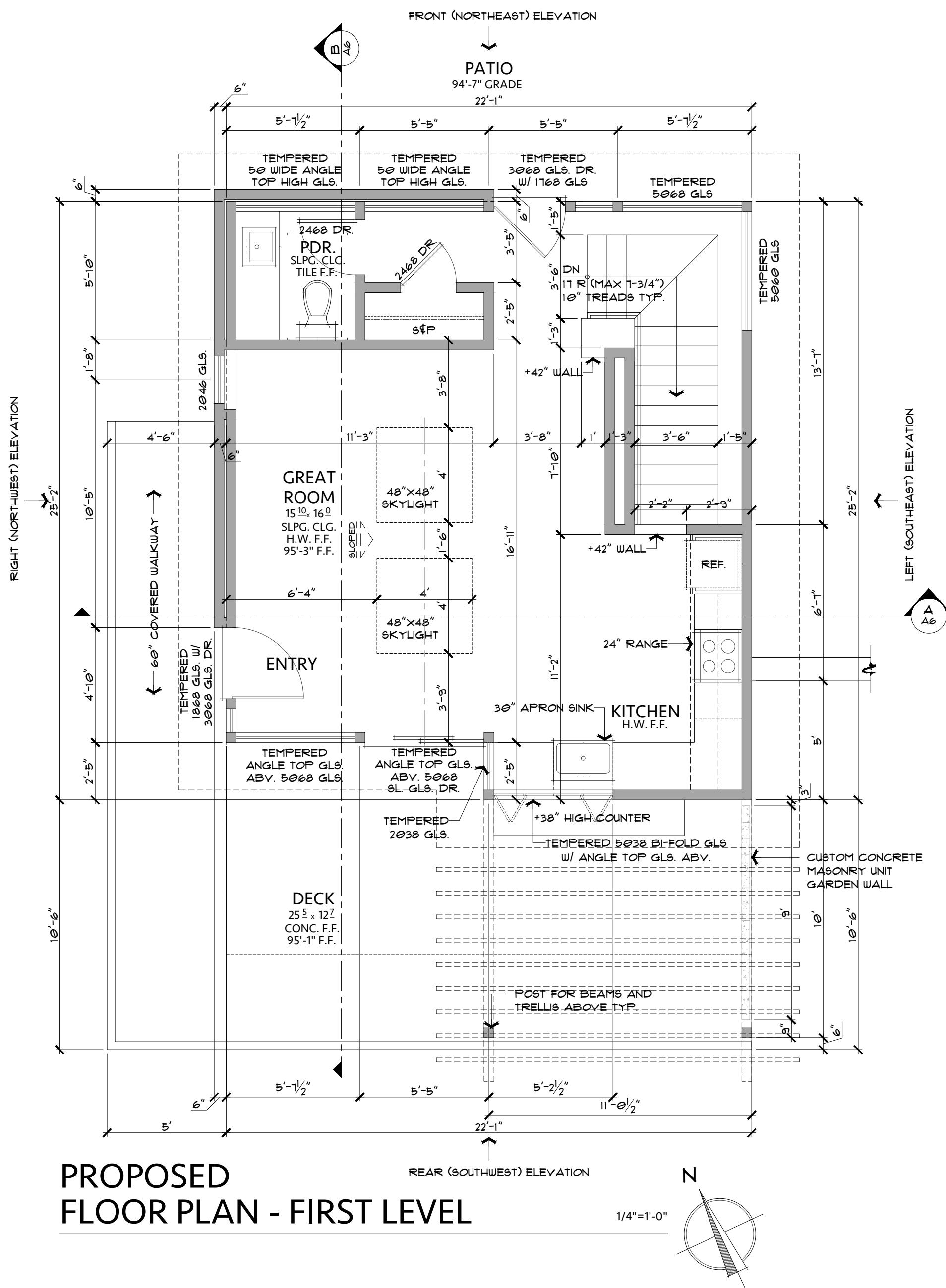
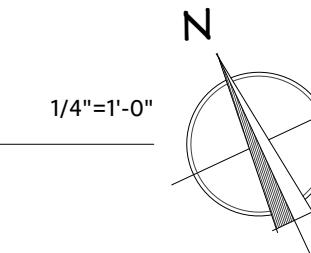
Project: HC-22073
Date: 12.10.2024
Drawn By: BGREEN
Scale: 1/16" = 1'-0"
Sheet No. A2

Drawing Title: EROSION CONTROL PLAN
Job Title: MANLY RESIDENCE
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

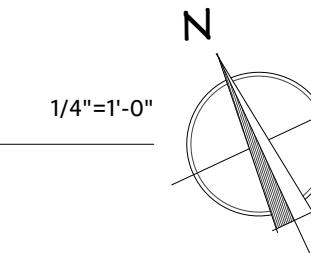
Revision/Issue Date
11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0320 | INFO@HASTINGSCONSTRUCTION.COM
LIC#79539 CLASS: A/B
Bradley Green



PROPOSED
FLOOR PLAN - SUBTERRANEAN
LEVEL & WALK-OUT BASEMENT



PROPOSED
FLOOR PLAN - FIRST LEVEL



1684 CRESPI LANE - ADU
1 BED / 1.5 BATH

FLOOR AREA TABLE

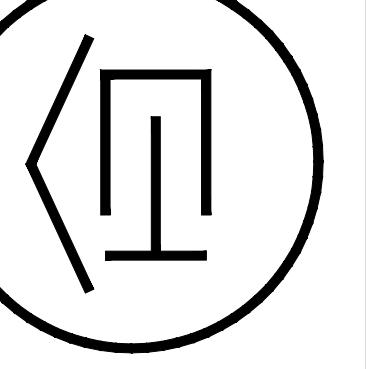
FIRST LEVEL	530 SQ. FT.
WALK-OUT BASEMENT (INCLUDES BEDROOM - PARTIALLY ABOVE GRADE)	263 SQ. FT.
TOTAL AREA ABOVE -OR- PARTIALLY ABOVE GRADE (FIRST FLOOR AND WALK-OUT BASEMENT)	793 SQ. FT.

SUBTERRANEAN LEVEL (INCLUDES HALL, LAUNDRY, MECH., AND BATH - ENTIRELY BELOW GRADE)	285 SQ. FT.
DECK	364 SQ. FT.

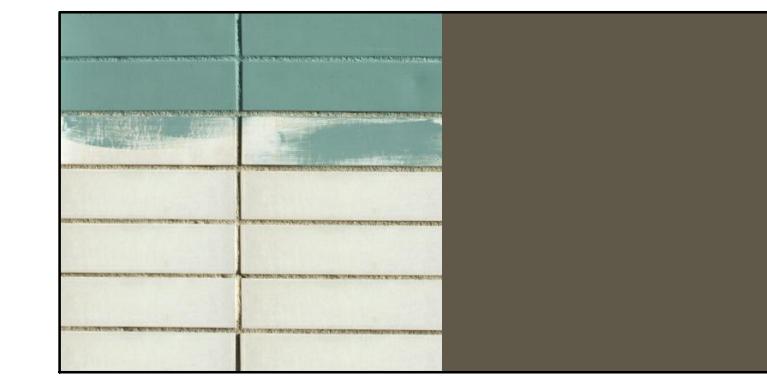
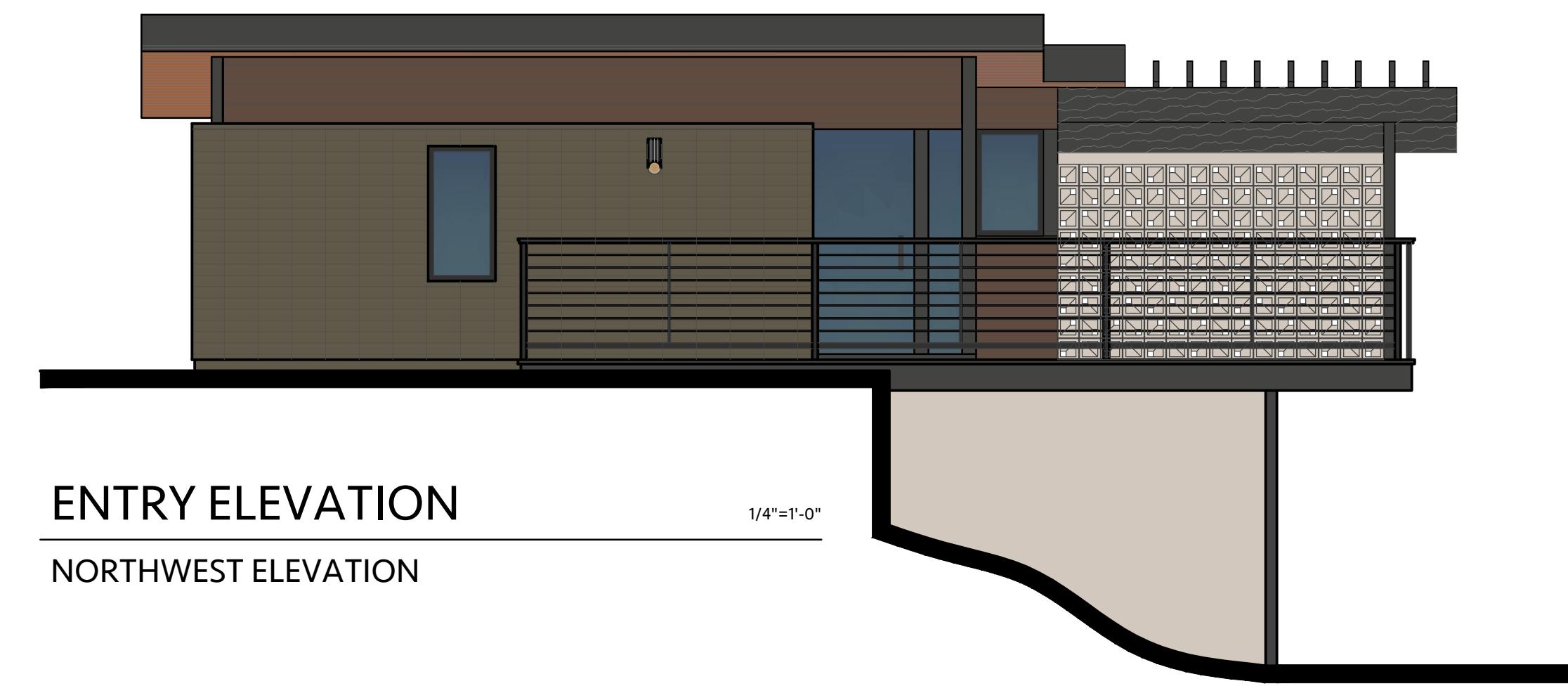
Drawing Title: PROPOSED FLOOR PLAN
Job Title: MANLY RESIDENCE
Project Address & APN: 1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project: HC-22073
Date: 3.6.2025
Drawn By: BGREEN
Scale: 1/4" = 1'-0"
Sheet No. A3

HASTINGS CONSTRUCTION, INC.
11THOMAS OWENS WAY, SUITE 201 MONTEREY, CA 93940
(831) 620-0920 INFO@HASTINGSCONSTRUCTION.COM
LIC# 791539 CLASS: A/B Bradley Green



Revision/Issue	Date



STONE ACCENT
CREATIVE MINES - CRAFT MODERN PAINT GRADE (OR EQ.)
SHERWIN WILLIAMS GARDEN GATE (SW6167) (OR EQ.)



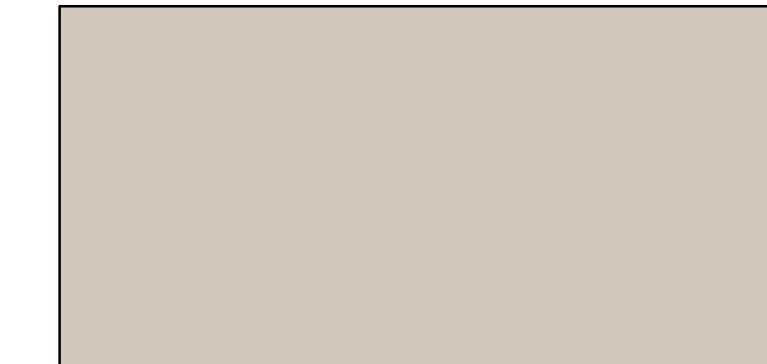
EXTERIOR SIDING
HARDIE ARTISAN HORIZONTAL SHIPLAP PAINTED (OR EQ.)
SHERWIN WILLIAMS SABLE (SW6083) (OR EQ.)



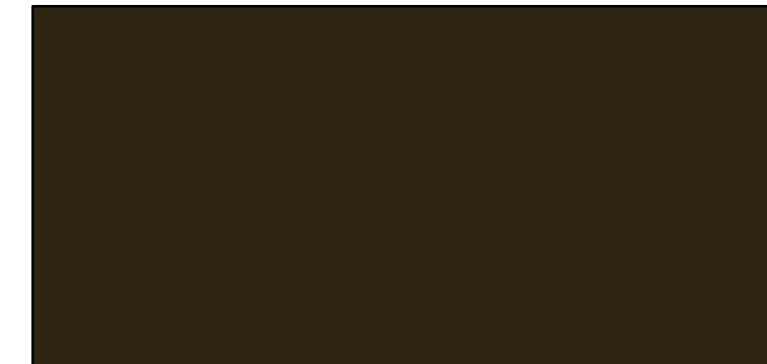
EXTERIOR FASCIA, POSTS & TRELLIS
PAINTED
SHERWIN WILLIAMS IRON ORE (SW7069) (OR EQ.)



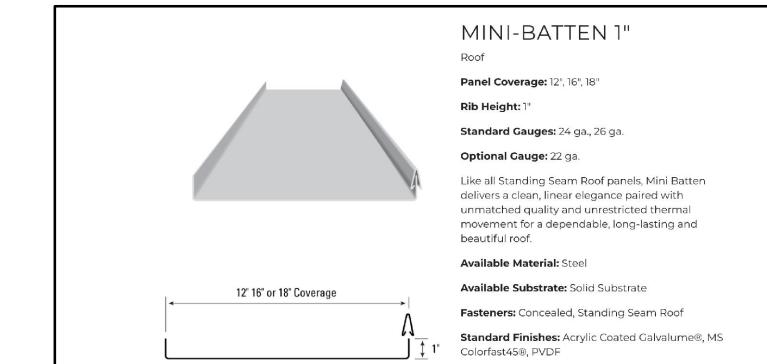
INTERIOR CEILING AND EAVE SOFFIT
RESAWN TIMBER CO. - ADOBO (OR EQ.)
COLOR: GISBOURNE (OR EQ.)



EXTERIOR STUCCO (AT BASEMENT)
PAINTED
SHERWIN WILLIAMS REALIST BEIGE (SW6078) (OR EQ.)



METAL ROOF
METAL SALES 1" MINI BATTEN (OR EQ.)
DARK BRONZE (OR EQ.)



DECK RAIL
FEENEY (OR EQ.)
ALUMINUM CABLE RAIL - MODERN (OR EQ.)



BREEZE BLOCKS
TESSELLE (OR EQ.)
GLIMMER DIMENSIONAL WHITE 7.5" CEMENT (OR EQ.)



EXTERIOR DECKING
TILE
SQUARE SLATE (OR EQ.)



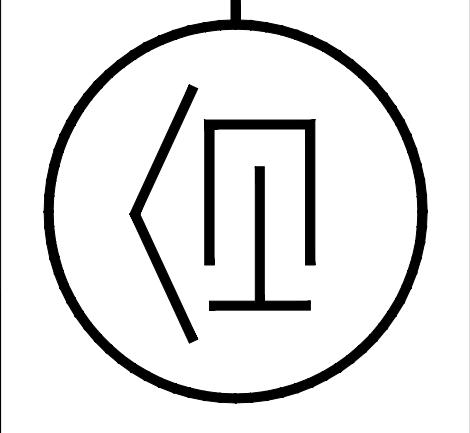
GUTTERS AND DOWNSPOUTS
G.A. ALUMINUM - SQUARE
PAINTED TO MATCH FASCIA



WINDOWS AND DOORS
KOLBE VISTA LUXE AL LINE (OR EQ.)
DARK BRONZE ANODIZED (OR EQ.)

Revision/Issue	Date

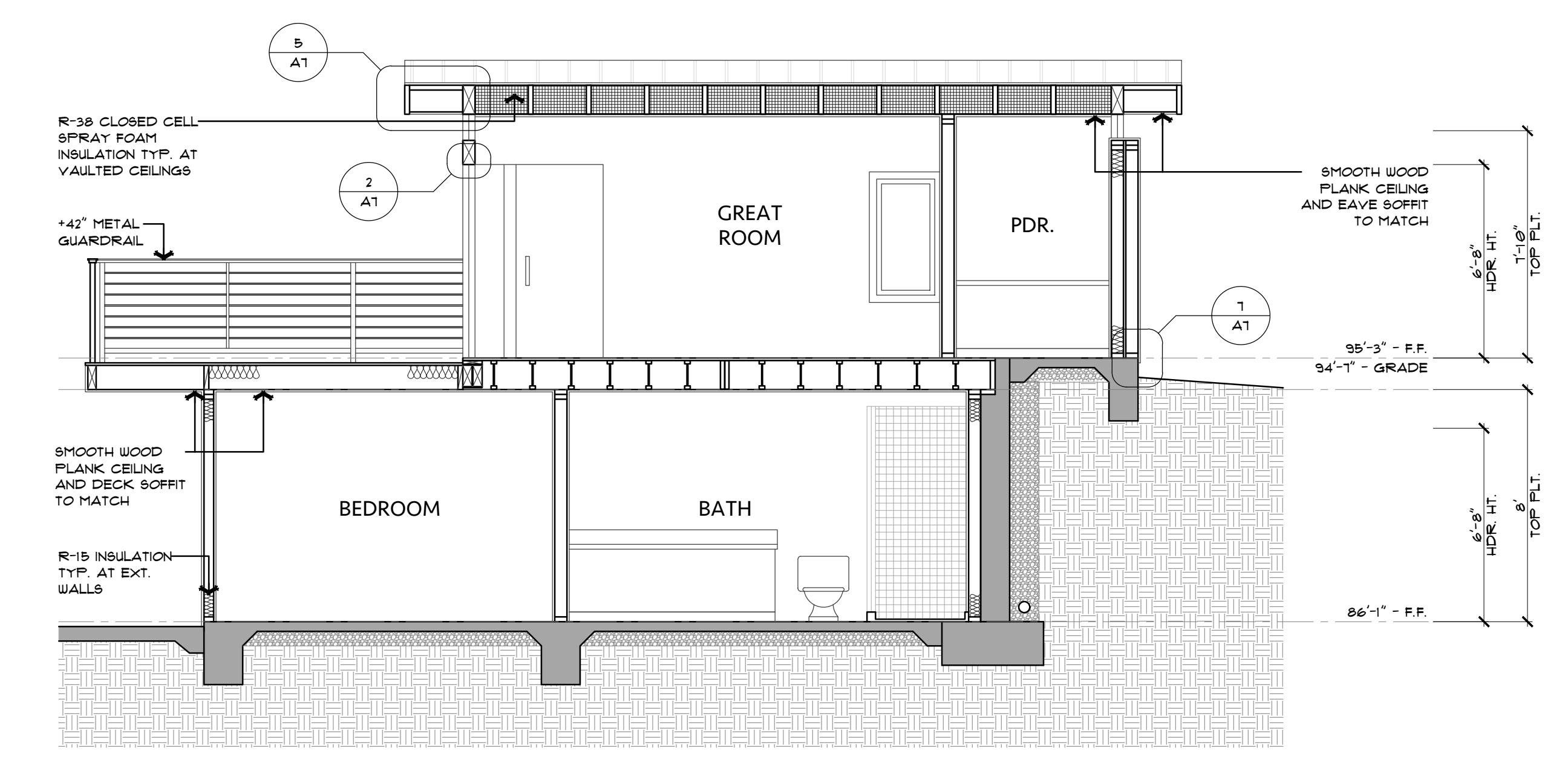
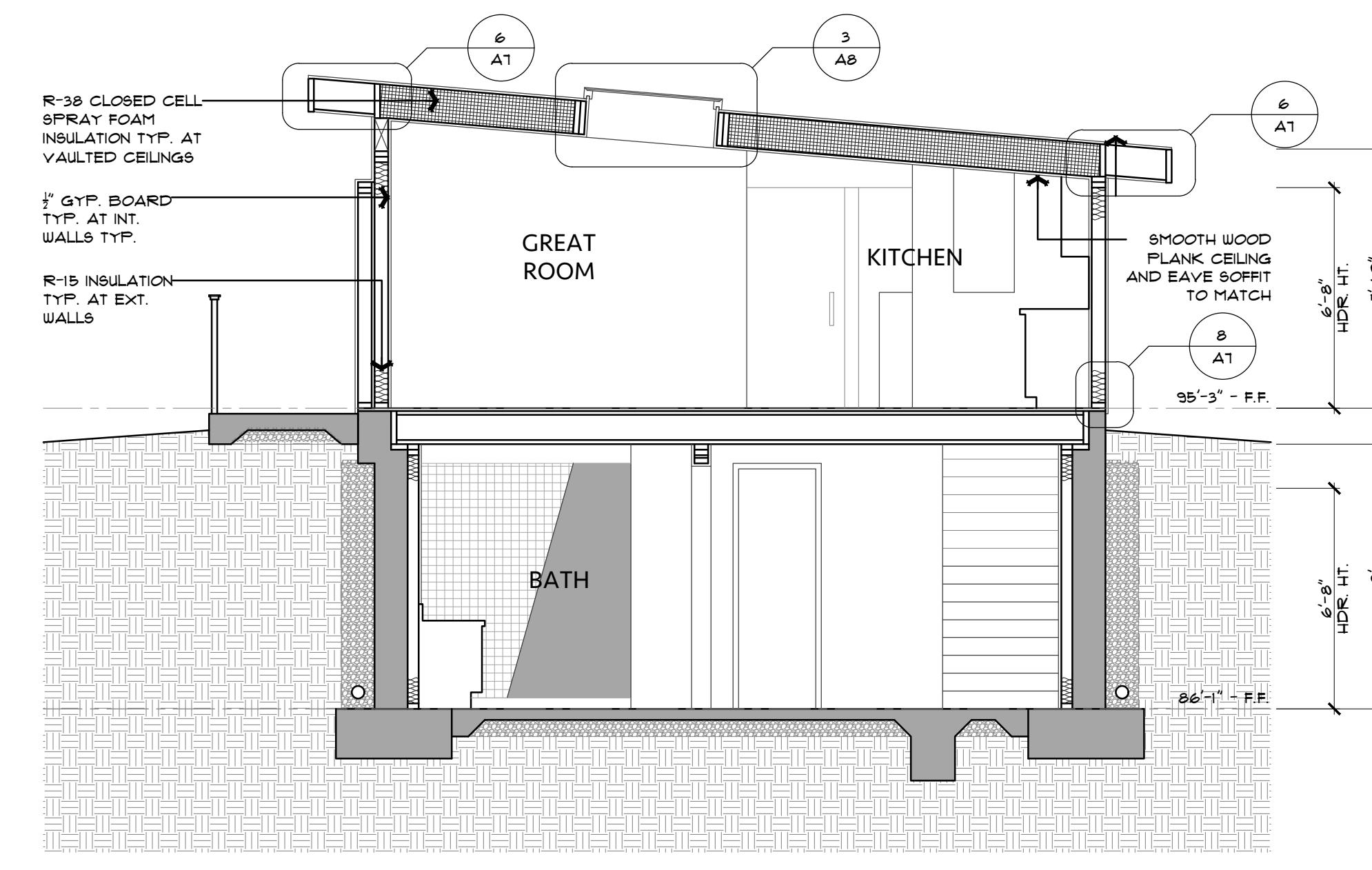
HASTINGS CONSTRUCTION, INC.
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(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#791539 CLASS: A/B
Bradley Green



Drawing Title:	ELEVATION COLOR AND MATERIALS	
Job Title:	MANLY RESIDENCE	
Project Address & APN:	1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953 APN: 008-392-003-000	

Project:	HC-22073	Sheet No.
Date:		
Drawn By:		
Scale:	1/4" = 1'-0"	

A5



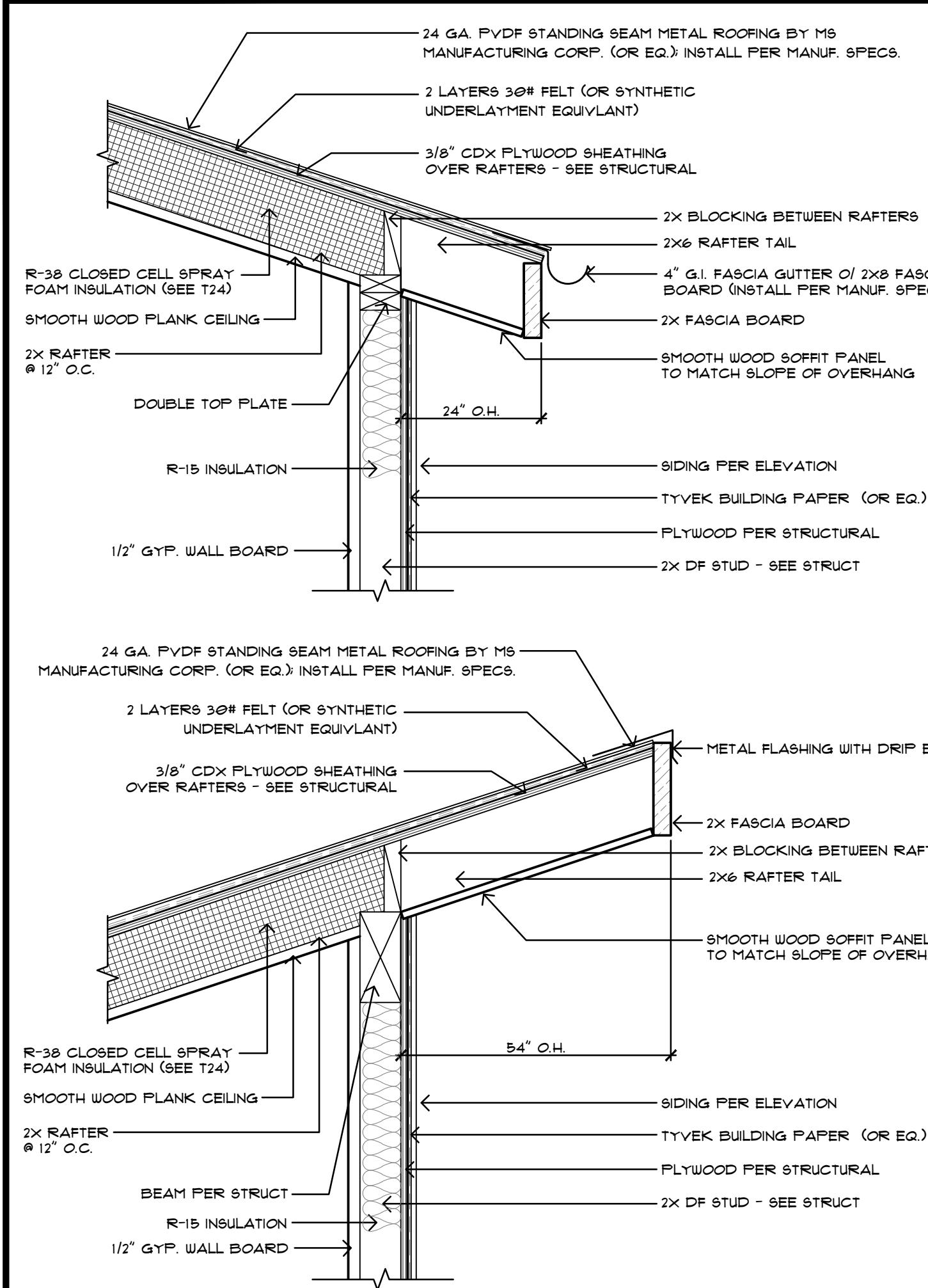
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Date: 3.6.2025
Drawn By: BGREEN
Scale: 1/4" = 1'-0"

Sheet No. A6

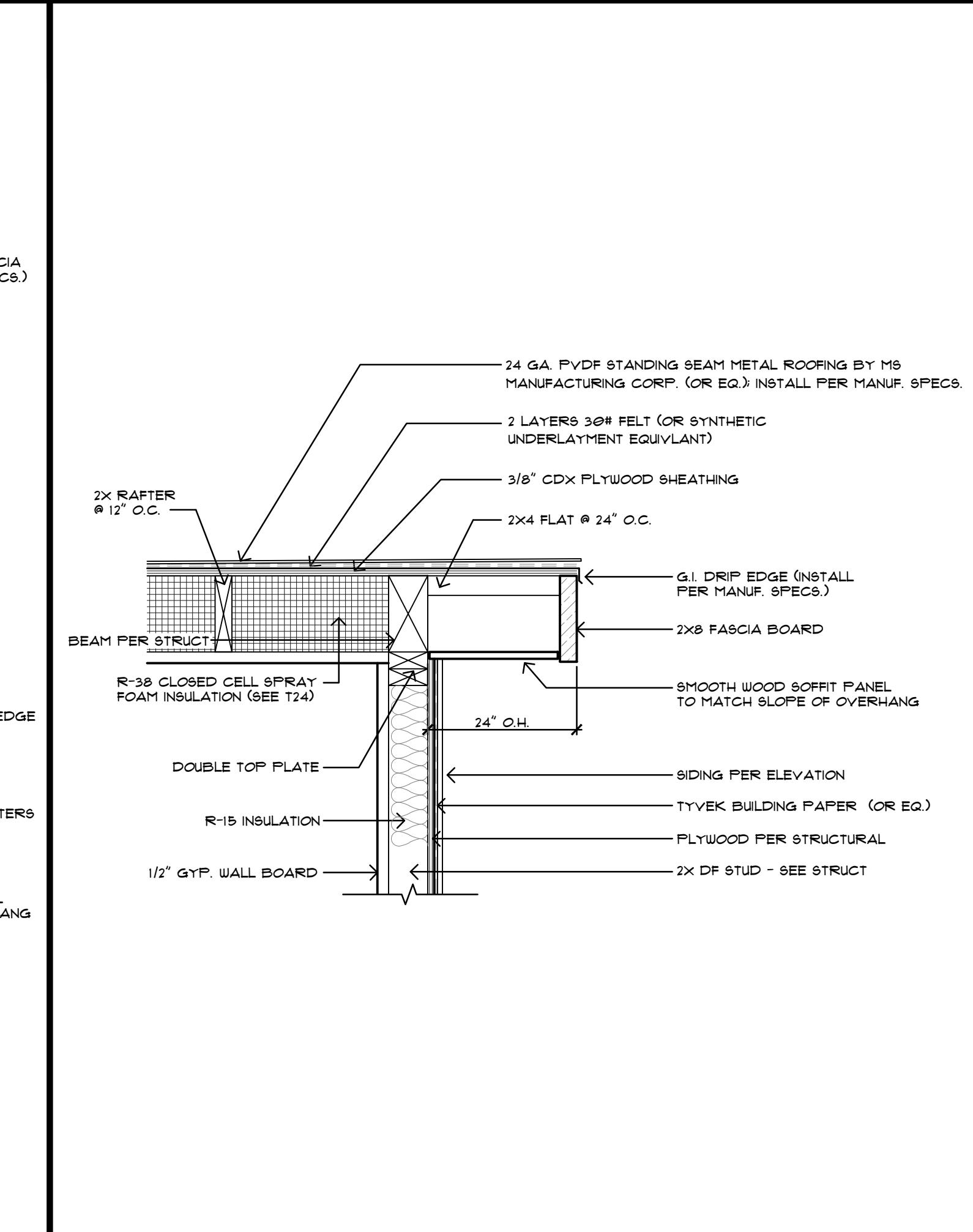
Drawing Title: PROPOSED SECTIONS
Job Title: MANLY RESIDENCE
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Revision/Issue	Date

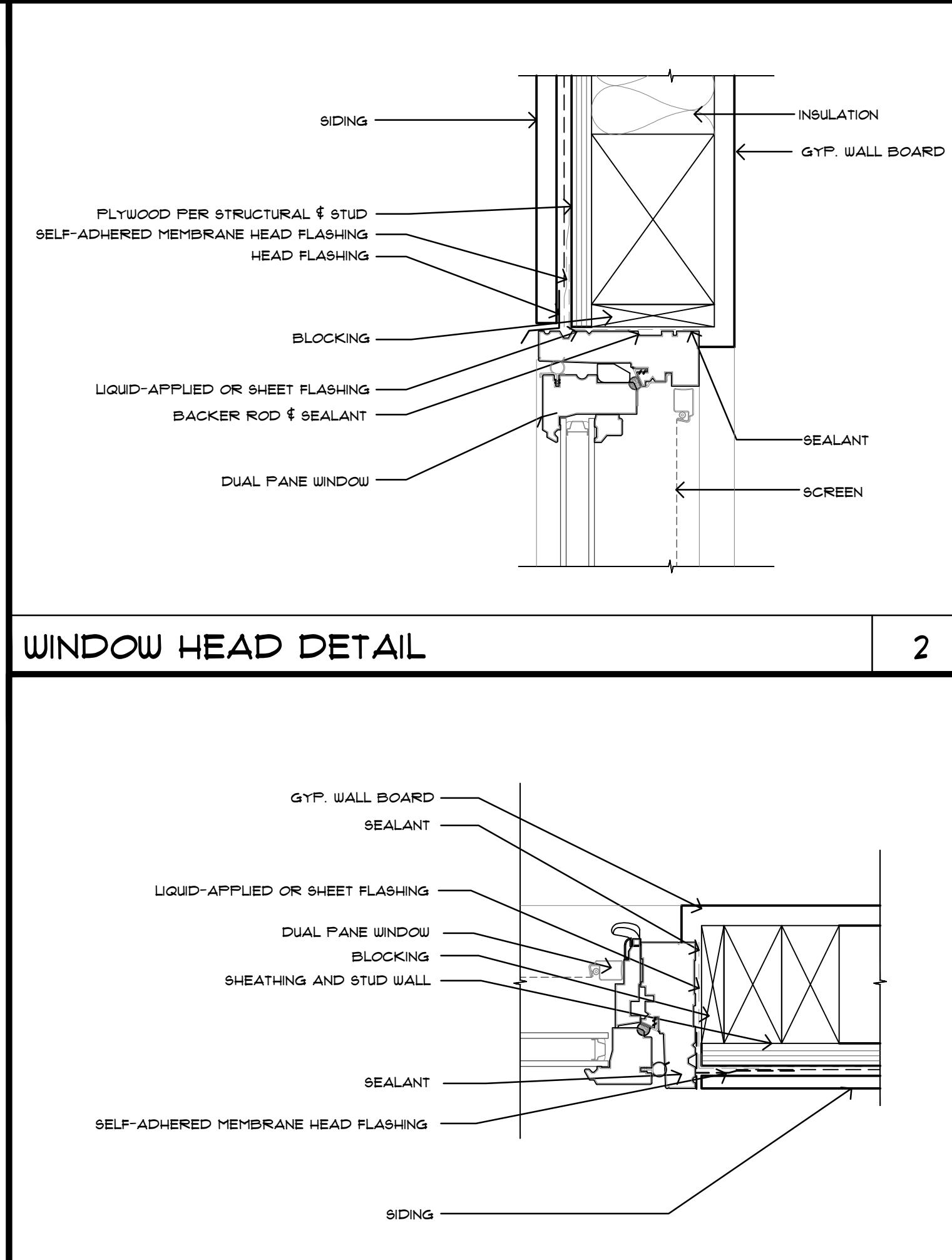
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LIC# 791539 CLASS: A/B
Bradley Green



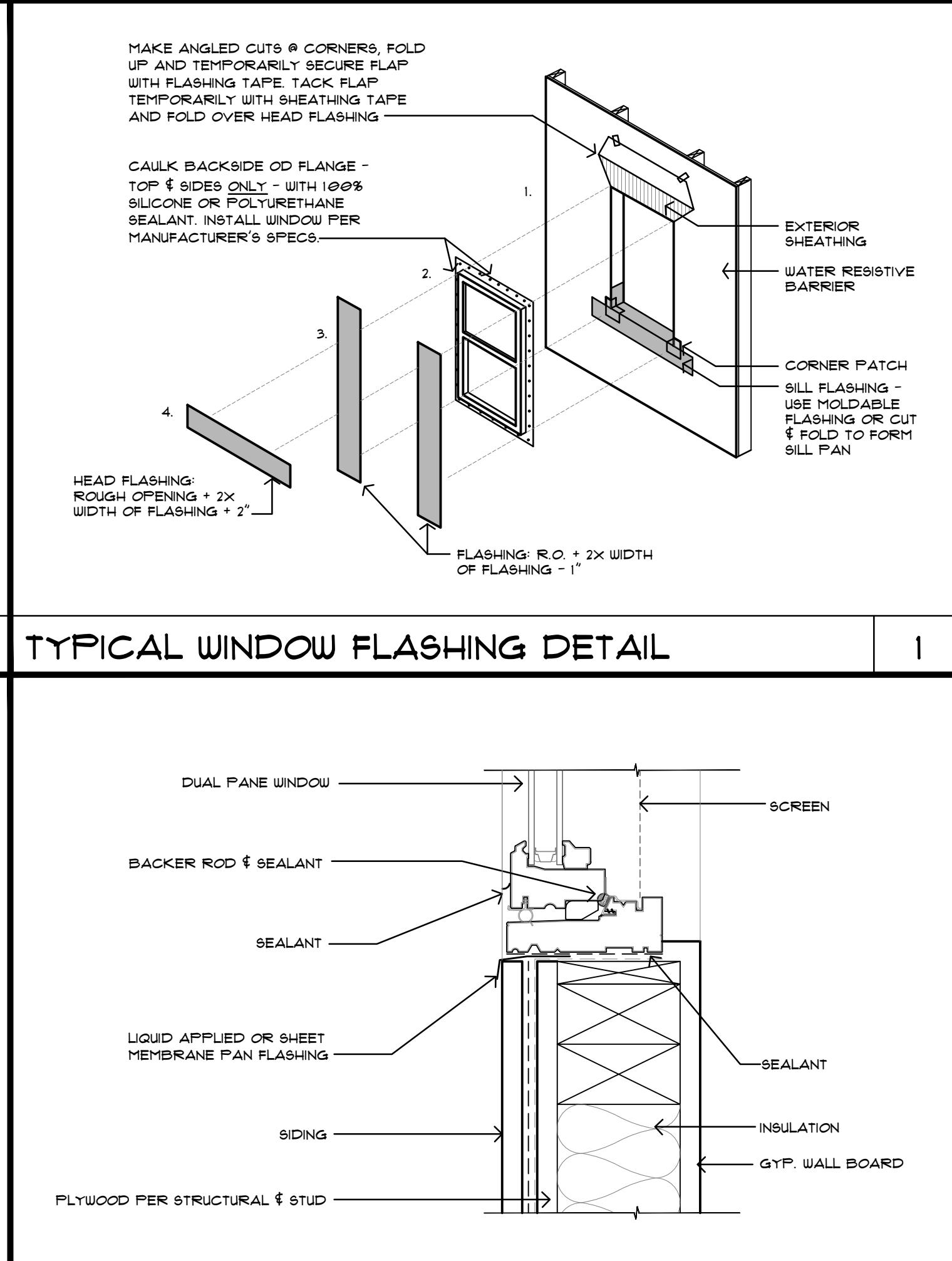
1 TYPICAL EAVE DETAIL @ VAULTED CEILING



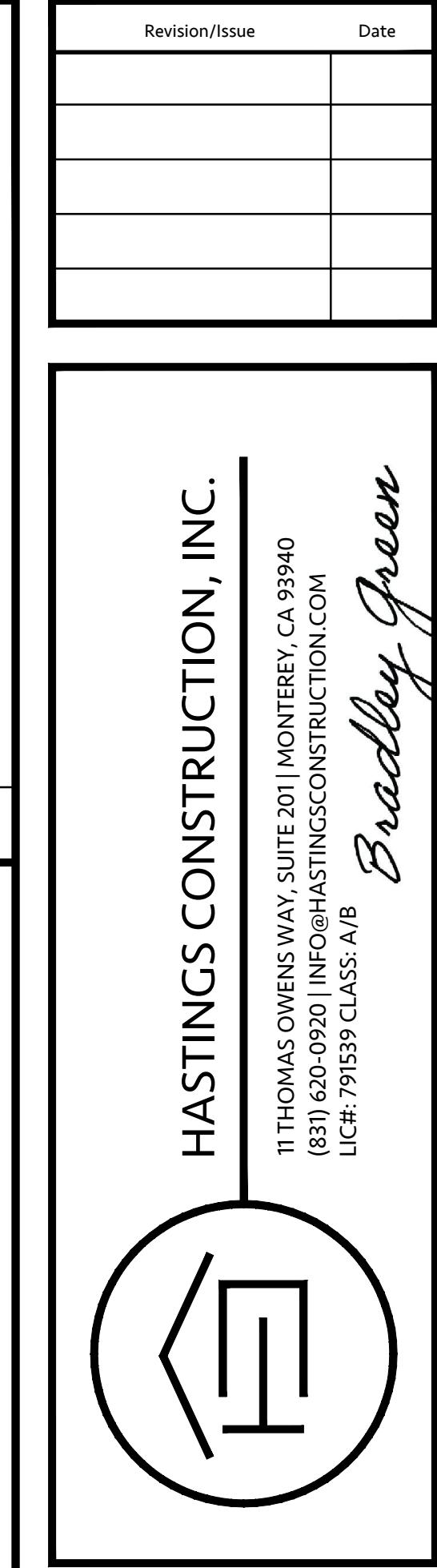
2 TYPICAL RAKE DETAIL



3 WINDOW HEAD DETAIL



4 TYPICAL WINDOW FLASHING DETAIL



5 WINDOW SILL DETAIL



6 TYPICAL RAKE DETAIL

7 WINDOW JAMB DETAIL

8 WINDOW SILL DETAIL

9 EXTERIOR LIGHTING SPEC

10 MINKA LAVERY - PINEVIEW 12.5" OR EQ.

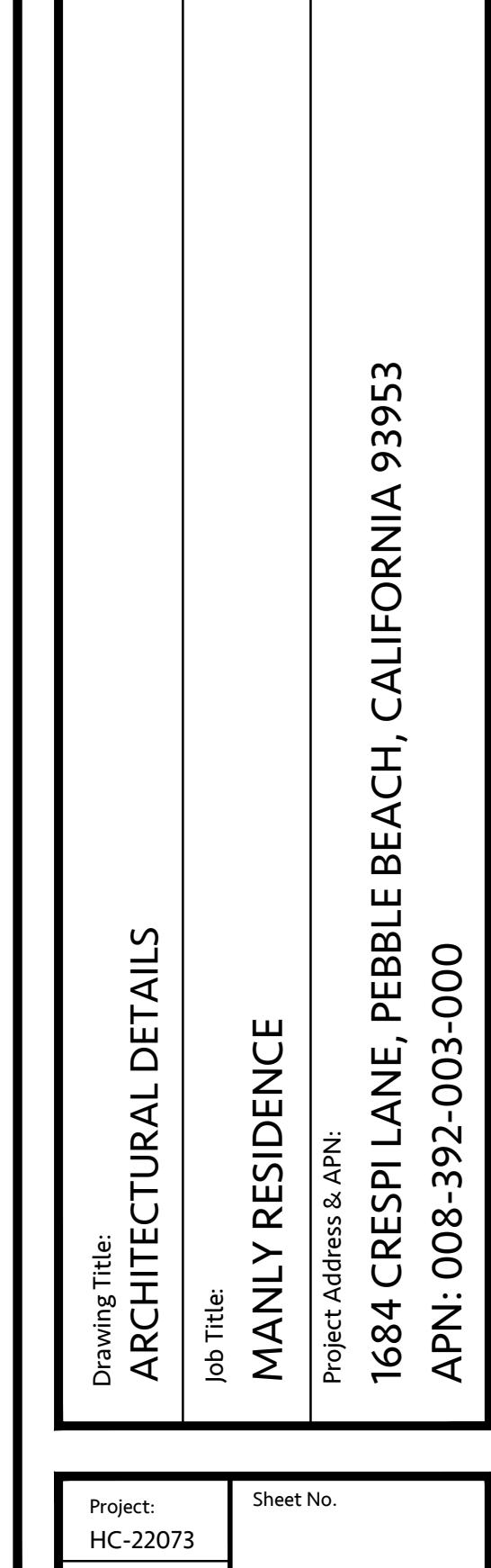
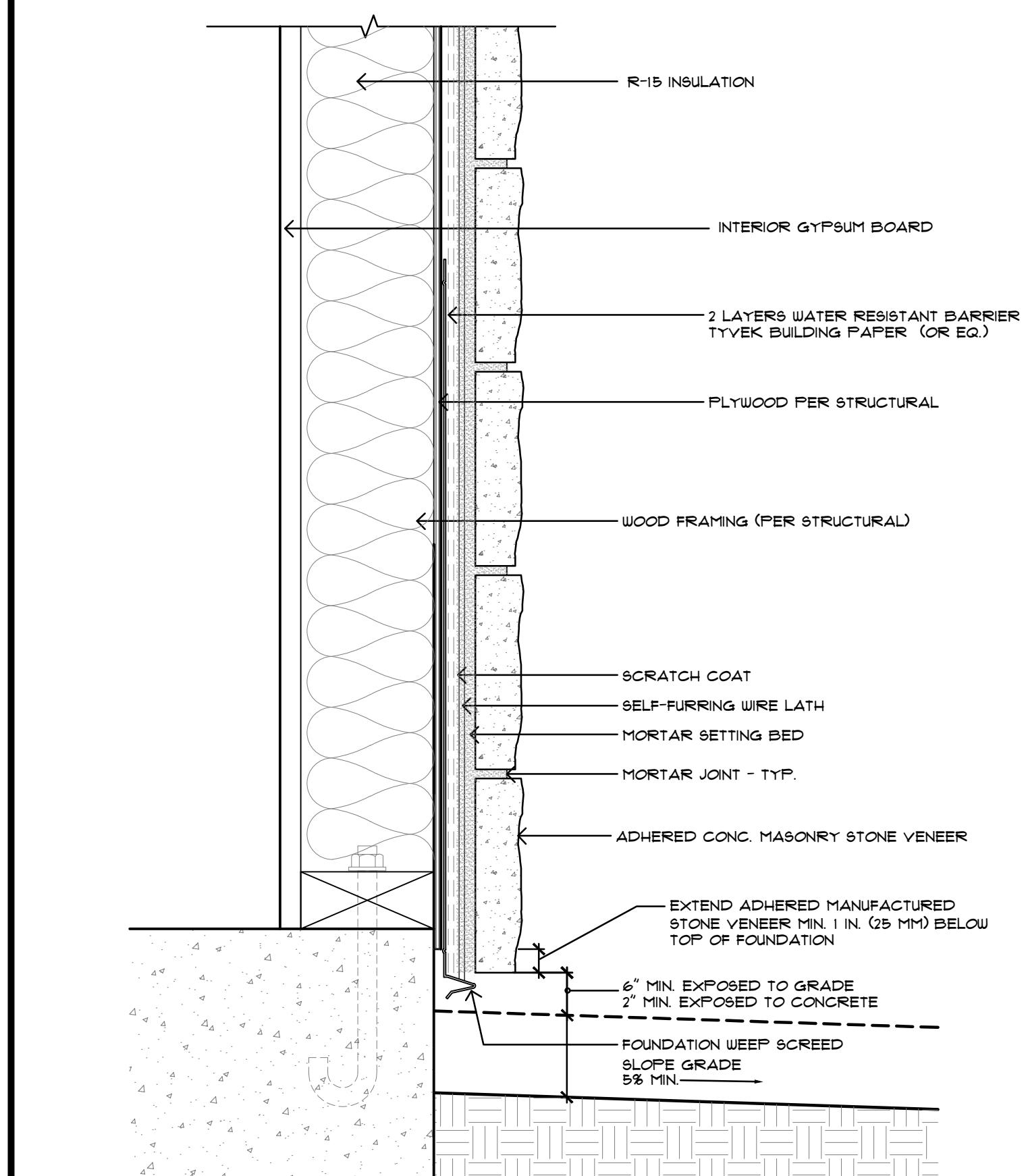
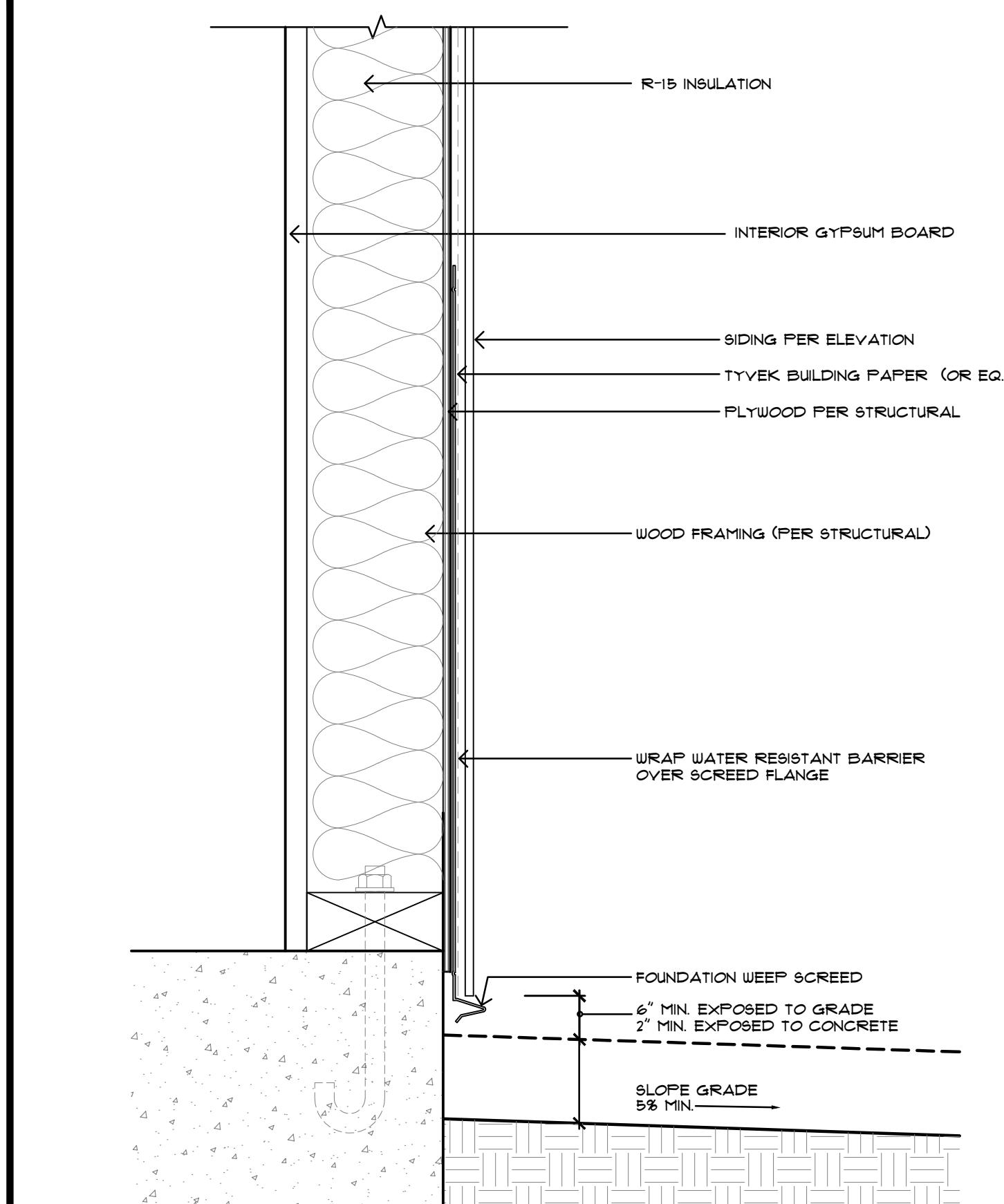


Pineview - 1 Light Mount
 Item #: 726166G
 UPC Code: 747395106242
 Product Family Name: Pineview Slope
 Finish: Black with Gold
 Category: OUTDOOR WALL MOUNT
 Category Type: Outdoor Lighting
 Certification:
 Patent:
 Notes:

Dark Sky Wet Location

MEASUREMENTS
 Width: 5
 Length: 12.5
 Height: 5.5
 Height Adjustable: NO
 Min Overall Height: 12.5
 Max Overall Height: 12.5
 Slope: NO
 Wire Length:
 Chain Length:
 Safety Cable Included: NO
 Net Weight:
 Cans/Spots:
 Cans/Spots Height:
 Cans/Spots Length:
 Center to Bottom:
 Backplate Width:
 Backplate Height:
 Center to Top:
 Power:
LAMPING
 No. of Bulbs: 1
 Max Bulb Watts: 60
 Light Type: A19, MED
 Socket: E26, MED
 Dimmable: NO
 Ballast:
 Rated Life Hours:
 Photocell Included: NO
 Bulb ID Included: N
 Bulb ID: 40-Watt Equivalent A19 Ultra Definition Dimmable E26 LED Light Bulb Soft White with Warm Glow 2700K (4-Pack)
 Color Temp:
 CRI:
 Initial Lumens:
 Delivered Lumens:

GLASS
 Description:
 Material:
 Part No.:
 Quantity:
 Width:
 Height:
 Length:
SHIPPING
 Carton Width: 7.25
 Carton Height: 15.25
 Carton Length: 7.75
 Carton Weight: 2.71
 Carton Cubic Feet: 0.66
 Smart Shipping Available: Yes
 Master Pack Width:
 Master Pack Height:
 Master Pack Length:
 Master Pack Weight:
 Master Cubic Feet:
 Multi-Pack: 1
 Master Pack: 1



Project: HC-22073
 Date: 12.10.2024
 Drawn By: BGREEN
 Scale: 1/4" = 1'-0"

Sheet No. A7

METAL SALES - 1' MINI BATTEN STANDING SEAM METAL ROOFING

MINI-BATTEN 1"

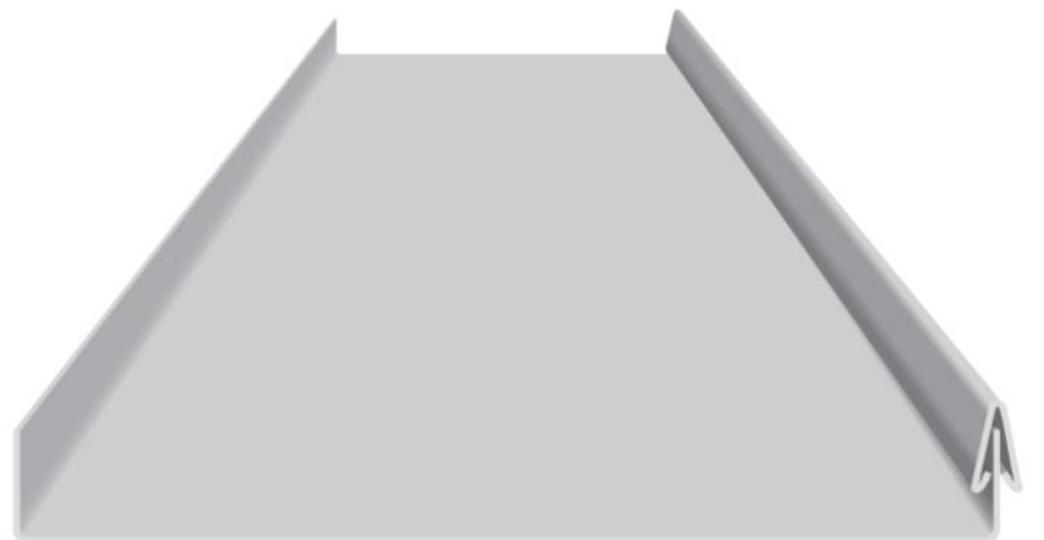
Roof

Panel Coverage: 12", 16", 18"

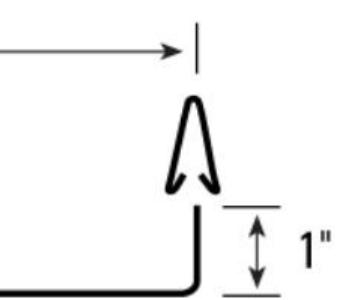
Rib Height: 1"

Standard Gauges: 24 ga., 26 ga.

Optional Gauge: 22 ga.



12" 16" or 18" Coverage

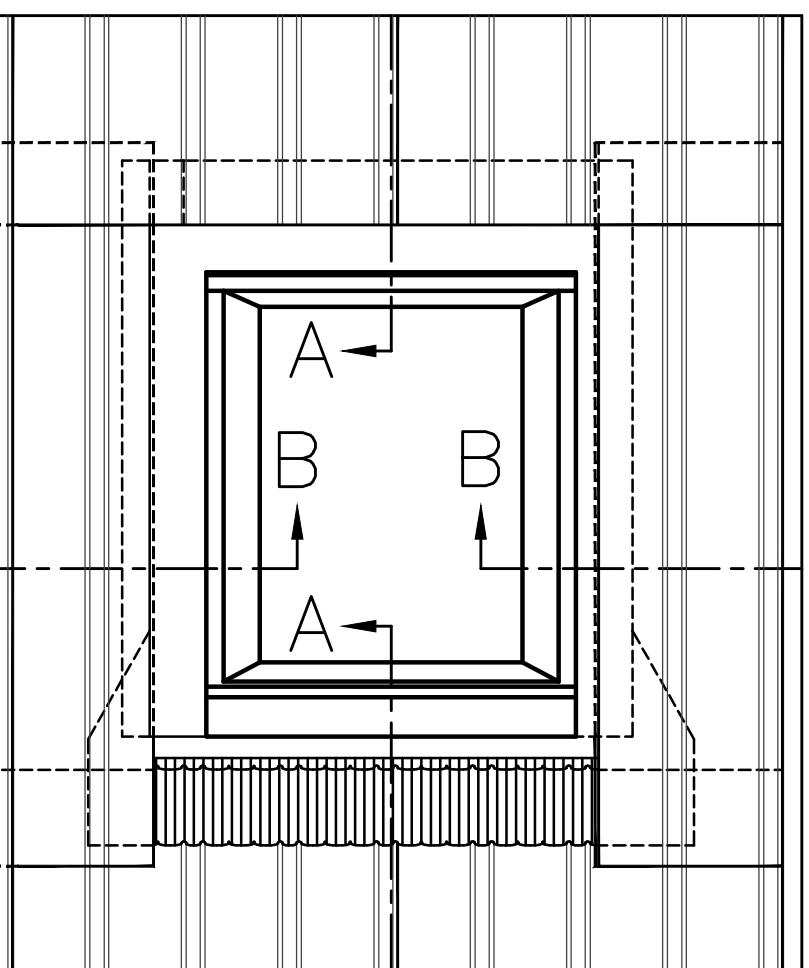


Available Material: Steel

Available Substrate: Solid Substrate

Fasteners: Concealed, Standing Seam Roof

Standard Finishes: Acrylic Coated Galvalume®, MS Colorfast45®, PVDF



ELEVATION

GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment included with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

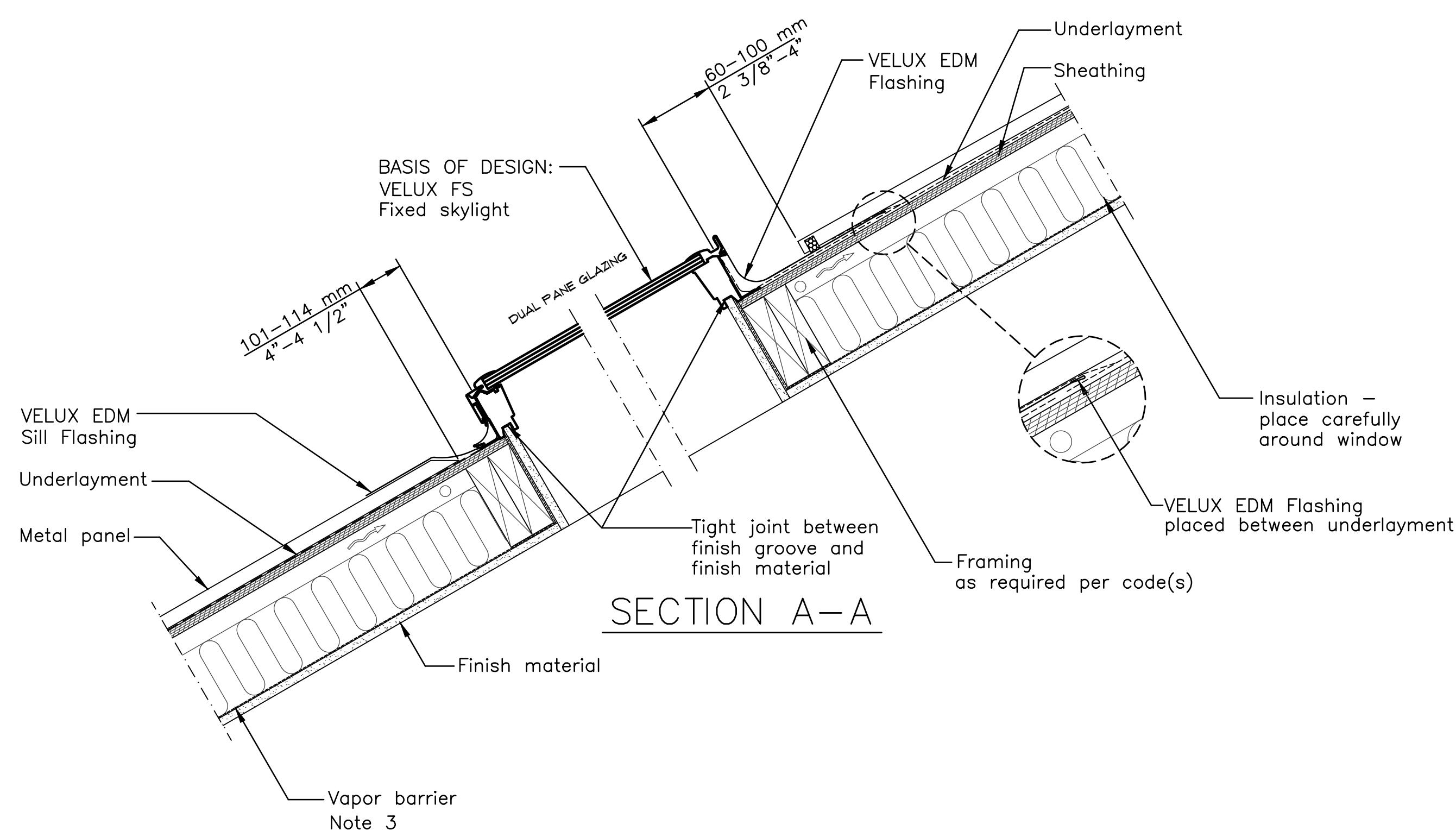
VELUX Sky-Product Management	1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name	Date
	Drawn by JDH Sept 10 Checked by WQ Sept 10 Drawing No. FS-01-0910		

FS-Residential/Commercial
Roof Section with EDM Flashing
and Metal Panel Roofing

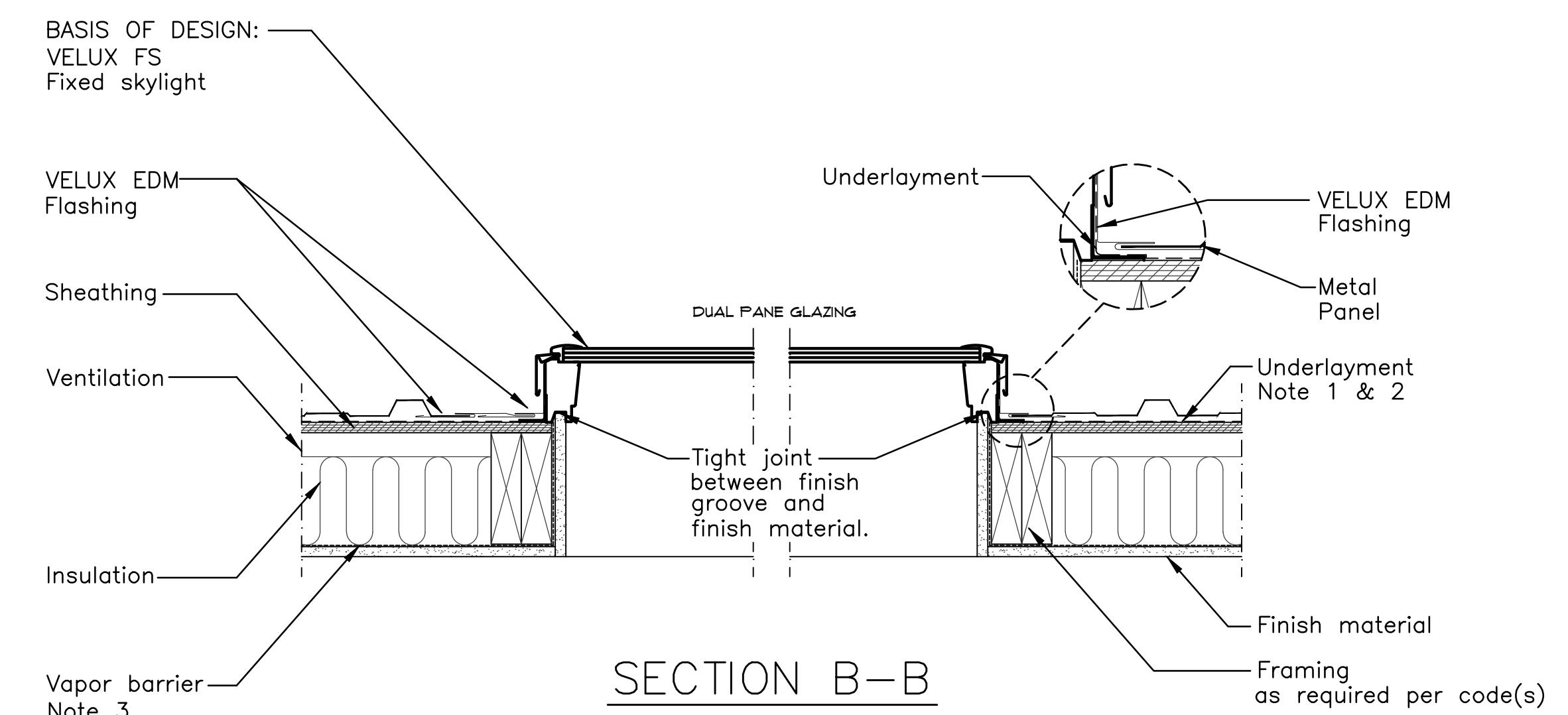
ROOF MATERIAL SPECIFICATION

1 SKYLIGHT DETAILS

2



SKYLIGHT SECTION A-A - VAULTED CEILING



SKYLIGHT SECTION B-B - VAULTED CEILING

Drawing Title: ARCHITECTURAL DETAILS
Job Title: MANLY RESIDENCE
Project Address & APN:
1684 CRESPI LANE, PEBBLE BEACH, CALIFORNIA 93953
APN: 008-392-003-000

Project: HC-22073
Date: 12.10.2024
Drawn By: BGREEN
Scale: 1/4" = 1'-0"
Sheet No. A8

HASTINGS CONSTRUCTION, INC.
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LIC# 791539 CLASS: A/B
Bradley Green

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