

# Exhibit A

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**EXHIBIT A  
DRAFT RESOLUTION**

**Before the Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**WYLIE DOUGLAS & SACKS DENISE (PLN250048)**

**RESOLUTION NO. 26-030**

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions from Section 15300.2 apply to the project; and
- 2) Approving a Coastal Administrative Permit to allow the construction of a 866 square foot single-family dwelling, with a 500 square foot car port, and 200 square foot shed with associated site improvements including the installation of a 5,000 gallon water tank; and a Coastal Administrative Permit to allow construction of a 396 square foot guesthouse.

[PLN250048 WYLIE DOUGLAS & SACKS DENISE, Off San Juan Road, Aromas, North County Land Use Plan (APN: 267-061-011-000)]

**The WYLIE DOUGLAS & SACKS DENISE application (PLN250048) came on for an administrative decision hearing before the County of Monterey Chief of Planning on March 18<sup>th</sup>, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:**

**FINDINGS**

**1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- North County Land Use Plan;
- North County Coastal Implementation Plan (NC CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The property is located off of Suan Juan Road, Aromas, within the North County Land Use Plan. The applicant is proposing to construct a 866 square foot single-family dwelling, with a 500 square foot car port, 200 square foot shed, and a 396 square foot guesthouse on an undeveloped parcel located in a residentially developed rural neighborhood.
- c) Allowed Use. The parcel is split zoned Rural Density Residential, 10 acres per unit, and Low Density Residential, 2.5 acres per unit, or “RDR/10 (CZ)|LDR/2.5”, which allows for which allows the construction of the first single-family dwelling onsite, as well as both habitable and non-habitable accessory structures as principally allowed uses, subject to the approval of a Coastal Administrative Permit in each case pursuant to Title 20 sections 20.16.040 as well as 20.64.020.A and 20.64.020.C. The development on the subject property is proposed solely in the RDR Coastal zoning. The proposed project includes the construction of a 866 square foot single-family dwelling, with a 500 square foot car port, and 200 square foot shed, as well as the construction of a 396 square foot guesthouse, and associated site improvements. The associated site improvements include a 5000-gallon water storage tank, septic system, paved driveway, and 500 cubic yards of cut and fill. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (58.857 acres), APN: 267-061-011-000, is shown in its current configuration on Reel 2217 of Official Records Page 119 in Rancho Vega del Rio del Pajaro (Volume 16 of Surveys, Page 131), recorded on July 30<sup>th</sup>, 1990. Therefore, the County recognizes the subject property as a legal lot of record.
- e) Visual Resources. The subject property zoning district does not include a Design Control Overlay (see Evidence c) and therefore is not subject to the regulations outlined in Title 20.44 (Design Control Zoning Overlay). However, the NC LUP establishes policies that require the protection of public views. NC CIP section 20.144.020.SSS defines the “Public Viewshed” as views visible from Highway 1, Highway 156, Elkhorn Slough Road, Elkhorn and Moro Cojo Sloughs, beaches, dunes, and wetlands, and views to and along the ocean shoreline from Highway 1. NC LUP Policy 2.2.2.1 protects views to and along the ocean shoreline from these public vantage points. The subject property is not visible from any of these viewpoints and will not block views to and from the ocean which was assessed based on the distance and intervening topography surrounding the subject property. The colors and materials proposed include glazed pear orange stucco siding, rain screen, brown trimmed aluminum-clad wood windows and doors, and a vented truss roof with brick colored asphalt shingle tiling. Therefore, the proposed development will not conflict with NC LUP Visual Resource policies.
- f) Development Standards. The proposed project meets all the required development standards for the Rural Density Residential zoning district, which are identified in Title 20 section 20.16.060. Pursuant to Title 20, section 20.16.060.C, development within this district of main structures shall meet the required setbacks of 30 feet (front), 20 feet (side), and 20

feet (rear), unless otherwise indicated on a final map. The proposed single-family dwelling will have setbacks of 480 square feet (front), over 295 feet (sides), and well over 1000 feet (rear). The RDR zoning district allows a maximum height of 30 feet for main structures, and the proposed single-family dwelling will have a height of 17 feet 3 inch from average natural grade. Pursuant to Title 20 section 20.16.060.C, development within this district of accessory habitable structures shall meet the required setbacks of 50 feet (front), 6 feet (side), and 6 feet (rear) unless otherwise indicated on a final map, which are described above. The RDR zoning district allows a maximum height of 15 feet for accessory structures, and the water tank will have a height of 14 foot 3 inches. The RDR zoning district allows the minimum distance between accessory and main structures to be 10 feet, and the proposed distance between the single-family dwelling and the guesthouse is around 15 feet. Pursuant to Title 20, section 20.64.020 regulates the site development standards of guesthouses. The proposed guesthouse will have setbacks that meet the habitable accessory structure setback requirements of over 480 feet (front), over 300 feet (side), and well over 1000 feet (rear). The guesthouse will have a height of 11 feet 6 inches. The RDR zoning district allows a maximum building site coverage of 25%. The proposed project will have a building site coverage of 1,962 square feet including the 500 square foot car port, or 0.000765%. Therefore, the project meets all required development standards for the RDR zoning district.

- g) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property to a low archaeological sensitivity. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Guesthouse. As demonstrated in Finding 5, the project is consistent with all regulations outlined in Title 20 section 20.64.020 for guesthouses.
- i) Public Access. As demonstrated in Finding 7, the development is consistent with public access policies in the NC LUP and NC CIP.
- j) Land Use Advisory Committee (LUAC) Review. Based on the LUAC guidelines, the project was not referred to the North County Advisory Committee (LUAC) for review because it does not involve a public hearing Design Approval, a Lot Line Adjustment, preparation of an Initial study, or a Variance.
- k) The project planner conducted a site visit on March 10<sup>th</sup>, 2026, to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Aromas Tri-County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) The following report has been prepared:
    - “Geotechnical Investigation” (LIB250384) prepared by Yvette M. Wilson P.E., Watsonville, CA, May 27<sup>th</sup>, 2025.
 County staff independently reviewed this report and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
  - c) Staff conducted a site visit on March 10<sup>th</sup>, 2026, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**3. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Aromas Tri-County Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) All necessary public utilities will be provided. Domestic water will be served by the Aromas Water District. The subject property proposes the installation of a new septic system. EHB commented that the conceptual onsite wastewater treatment system design meets the minimum requirements established in Monterey County Code 15.20.
  - c) Staff conducted a site visit on March 10<sup>th</sup>, 2026, to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**4. FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) From a virtual site inspection, there is a road through the property that raised suspicion of materials of either rock or concrete at the entrance, grading without permits on slopes to create a path starting in 2017, and potential structures.
  - c) Staff conducted site visits on both December 8<sup>th</sup>, 2025, and March 10<sup>th</sup>, 2026, and researched County records to assess if any violation exists on the subject property. During the site inspection, staff found no evidence of unpermitted structures, paving without permits, nor grading or mastication of slopes without permits. The dirt road appears to be man-made through foot, bike, and vehicular traffic for maintaining the subject property, as well as some subtle erosion along the edges of the path.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**5. FINDING: GUESTHOUSE (COASTAL)** – The project meets the established regulations and standards as identified in Title 20 section 20.64.020.

- EVIDENCE:**
- a) Guesthouses and accessory structures are listed as principal uses allowed, subject to a Coastal Administrative Permit, within the Rural Density Residential Zoning District pursuant to Title 20 section 20.16.040.B and E. Standards for granting a Coastal Administrative Permit have been met in this case.
  - b) Pursuant to Title 20 section 20.64.020.C.3, guesthouses are to share utilities with the main residence, unless prohibited by public health requirements. Potable water is provided by Aromas Water District and is proposed to be supplied to the guesthouse via a connection to the main residence. EHB reviewed the project and confirmed that the guesthouse will have an insubstantial effect on the mutual water system. EHB assessed that the proposed septic system for the proposed main dwelling and guesthouse and found it suitably designed. Therefore, the project is consistent with this development standard.
  - c) Title 20 section 20.64.020 establishes regulations and standards for which a guesthouse, defined as a sleeping facility not integral to the main dwelling, may be permitted. The project includes the construction of an approximately 396 square foot guesthouse, under the maximum size of 425 square feet. The maximum height of the proposed guesthouse will be 11 feet 6 inches at footing grade without the skylight included, complying with the 12-foot maximum height regulation.
  - d) The proposed guesthouse is the only guesthouse proposed for the subject parcel, has no cooking facilities, and shall not be separately rented. Staff has applied the standard coastal guesthouse deed restriction as Condition No. 4.

- e) The guesthouse meets the required site development standards as defined in Title 20 section 20.16.060 (Rural Density Residential Zoning). See Finding 1, evidence “f.”
- f) In relation to the size of the subject parcel, the guesthouse is located in close proximity to the principal residence, as required by Title 20 section 20.64.020. Other factors affected the siting of the guesthouse, as well, including minimizing development on slopes and conforming with LUP Visual Resources Policies. The guesthouse has been designed to be visually consistent and compatible with the main residence, as required by Title 20 section 20.64.020, as well.
- g) Title 20 section 20.58.040 requires the guesthouse to have at least one associated parking space. Consistent with this requirement, the guesthouse will have a parking space.
- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**6. FINDING: CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15303 categorically exempts construction of limited numbers of new structures.
  - b) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on March 10<sup>th</sup>, 2026.
  - d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**7. FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in NC CIP Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access but is depicted along a proposed trail on San Juan Road (Figure 6, North County General Plan Shoreline Access/Trails, in the NC LUP). The proposed development will not be visible from the public access road to the parcel.
  - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250048.

**8. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors, and not the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
  - b) Coastal Commission. This project is not appealable to the California Coastal Commission as it is not located between the sea and the first through public road, or within 300 feet of the beach, mean high tide line or coastal bluff, nor is not within 100 feet of any wetland and does not include a conditionally allowed use.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions from Section 15300.2 apply to the project; and
2. Approve the Coastal Administrative Permit to allow the construction of a 866 square foot single-family dwelling, with a 500 square foot car port, and 200 square foot shed with associated site improvements including the installation of a 5,000 gallon water tank; and a Coastal Administrative Permit to allow construction of a 396 square foot guesthouse.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 18th day of March 2026.

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Melanie Beretti, AICP  
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250048

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative Permit (PLN250048) allows the construction of a 866 square foot single-family dwelling, with a 500 square foot car port, and 200 square foot shed with associated site improvements including the installation of a 5,000 gallon water tank; and the construction of a 396 square foot guesthouse. The property is located at off of San Juan Road, Aromas (Assessor's Parcel Number 267-061-011-000), North County Coastal Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Administrative Permit (Resolution Number \_\_\_\_\_) was approved by the Chief of Planning for Assessor's Parcel Number: 267-061-011-000 on March 18th, 2026. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

- Only 1 guesthouse shall be allowed per lot.
- Detached guesthouses shall be located in close proximity to the principal residence.
  - Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
  - The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
  - The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
  - The guesthouse shall not exceed 425 square feet of livable floor area.
  - The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
  - Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
  - The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
  - The guesthouse height shall not exceed 12 feet nor be more than one story.

(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of HCD-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the HCD-Planning.

#### 5. PW0005 – DRIVEWAY IMPROVEMENTS

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Construct a Hot Mix Asphalt driveway connection to San Juan Road. The design and construction is subject to the approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

## 6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: [https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee\\_Implementation\\_Worksheet.xlsx](https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee_Implementation_Worksheet.xlsx)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

## 7. PW0045 – COUNTYWIDE TRAFFIC FEE

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. The fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138985/638884451861730000>

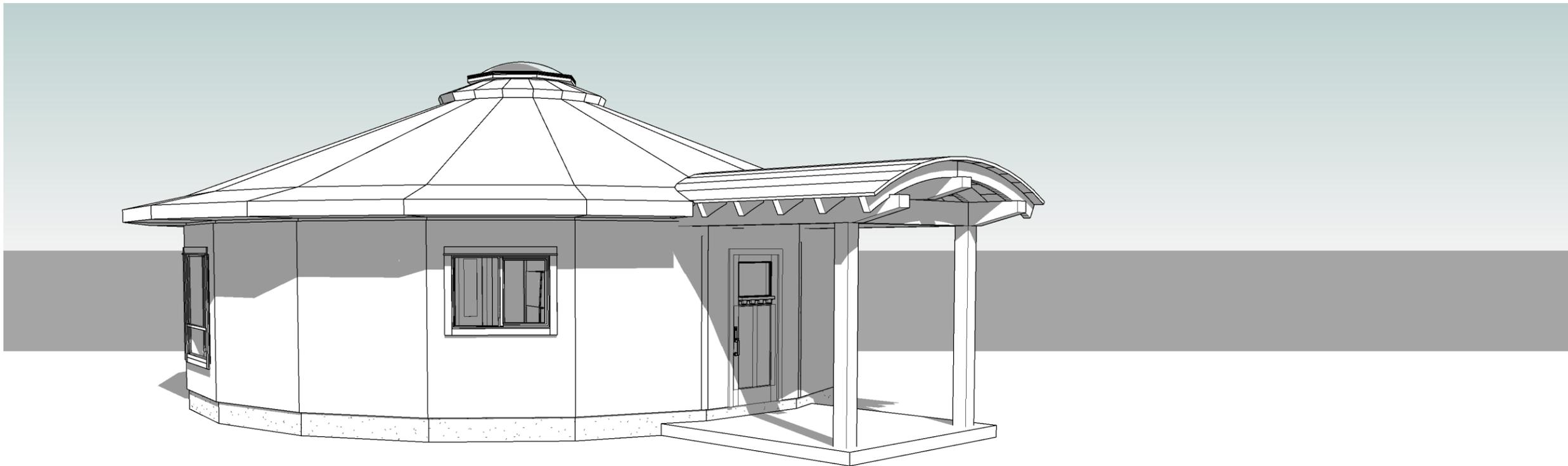
**Compliance or Monitoring Action to be Performed:** Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

**Project Data Summary Table**  
**PLN 250048**

Index of Sheet numbers:						
ID	Description	Type	By	Title	Sheet Number	Notes
1	Application Checklist	Form	County/Owner	Application Checklist	-	
2.1	Development Project Application	Form	County/Owner	Development Project Application page 1	-	
2.2	Development Project Application	Form	County/Owner	Development Project Application page 2	-	
3	Costal Supplemental Application Form	Form	County/Owner	Costal Supplemental Application Form	-	
4	Affidavit for permission to make plans available	Document	Mandala	Affidavit for permission to make plans available	-	
5	Site Plan and Runoff Reduction Checklist	Form	County/Roper	Site Design and Runoff Reduction Checklist	-	
6	Address Request Form	Form	County/Owner	Address Request Form	-	
7	Grant Deed	Document	County	Grant Deed	-	
8	Staking, Flagging and photo Simulation	Sheets	Owner	Staking Flagging Photo Simulation	-	
9	Water Service Provider Letter	Document	Aromas Water District	Statement	-	In-service (Complete)
10.1	Demonstration of Parcel Legality	Survey Map	County of Monterey Assessors	Assessor map book 267, Page 06	-	Map from Title Report
10.2	Demonstration of Parcel Legality	Survey Map	GLS Land Surveyors	June 1990, map 13, job 28-90, vol 16, pg 131	-	Map from Title Report
11	Project Data Summary Table	Document	Owner	Project Data Summary Table	-	This Document
12	Site Plans	Sheets	Roper Engineering	Site Plan	C1	
13.1	Elevations - 9000 Sq Ft Main House	Sheets	Mandala Homes	Cover - 866sf	A0.1	
13.1	Elevations - 9000 Sq Ft Main House	Sheets	Mandala Homes	Elevations 866sf	A3.1	All Exterior Coverings Class A roof color slate grey
13.1	Elevations - 9000 Sq Ft Main House	Sheets	Mandala Homes	Elevations 866sf	A3.2	All Exterior Coverings Class A stucco natural color
13.1	Elevations - 9000 Sq Ft Main House	Sheets	Mandala Homes	Building Sections 865SF	A4.1	All Exterior Coverings Class A
13.1	Elevations - 9000 Sq Ft Main House	Sheets	Mandala Homes	Schedules 396SF	A6.1	Windows and Doors - tempered glass
13.2	Elevations - 400 Sq Ft Guest House	Sheets	Mandala Homes	Cover - 396sf	A0.1	
13.2	Elevations - 400 Sq Ft Guest House	Sheets	Mandala Homes	Elevations 396sf	A3.1	All Exterior Coverings Class A roof color slate
13.2	Elevations - 400 Sq Ft Guest House	Sheets	Mandala Homes	Elevations 396sf	A3.2	All Exterior Coverings Class A stucco natural color
13.2	Elevations - 400 Sq Ft Guest House	Sheets	Mandala Homes	Building Sections 395SF	A4.1	All Exterior Coverings Class A
13.2	Elevations - 400 Sq Ft Guest House	Sheets	Mandala Homes	Schedules 396SF	A6.1	Windows and Doors - tempered glass
13.3	Elevations - Carport	Sheets	Sustech	8.4 KW Direct Solar		Example only, size 15ft x 30ft
14.1	Floor Plans	Sheets	Mandala Homes	Main Floor Plan (Primary Residence)	A1.1	
14.2	Floor Plans	Sheets	Mandala Homes	Main Floor Plan (Guest House)	A1.1	
NA	Slope Plans	NA	NA	NA		Not Required - no developments on slopes >25%
15	Grading Plans	Sheets	Roper Engineering	Grading Plan	C3	(above - Email Jade 7/14/25)
15	Grading Plans	Sheets	Roper Engineering	Driveway Plan and Profile	C2	
15	Grading Plans	Sheets	Roper Engineering	Sections and Notes	C4	
16	Erosion Control plan	Sheets	Roper Engineering	Erosion Control Plan	C5	
17	Drainage Plan	Sheets	Roper Engineering	Above	C5	
18	Draft Construction Management Plan	document	Owner	Draft Construction Management Plan		
19	Fuel Management Plan	Sheets	Owner	Fuel Management Plan		
20	Conceptual Landscaping Plans	Sheets	Owner	Landscaping Plan		
NA	Tree Resource Assesment/Forest Management Plan	NA	NA	NA	NA	No Tree removed or affected (email Jade 7/14/25)
21	Geotechnical Report	Report	Rocksolid	Geotechnical Investigation		
22.1	Onsite Wastwater Systems Feasibility	Form	Fox Onsite Solutions	Application for OWTS Permit		
22.2	Onsite Wastwater Systems Feasibility Report	Report	Fox Onsite Solutions	OWTS Feasibility Report		
22.3	Onsite Wastwater Systems Feasibility Report	Design Map	Fox Onsite Solutions	Septic Design Drawing		

Data Table:			
ID	Item	Response	Maximum Allowed
1	Location:	2075 San Juan Road (pending) APN: 267-061--11-000	
2	Property Size	59.41 Acres (2,587,900 sq. ft.)	
3	Description	New Single Family Dwelling (2 bedroom - 900 sq ft); Guest House (400 sq ft); New Septic system; new 500 ft paved driveway, small (200 sq ft) shed; Carport with solar panel roof (500 sq ft)	
4	Building Site Coverage	2,000 sq ft	FAR: 0.0008
5	Impervious Coverage	9,000 sq ft	
6	Cut Grading	500 C.Y.	
7	Fill Grading	500 C. Y.	
8	Import	0 C.Y. Fill, 100 C.Y. Base rock, 5 C.Y. Asphalt	
9	Export	0 C.Y.	
10	Slope Development	None- > No Development on Slopes >20%	
11	Tree Removal	None	
12	Landscape Area	100 ft x 100 ft	
13	Parking Count	3 spaces	
14	Potable Water	Aromos Water District (Existing Service)	

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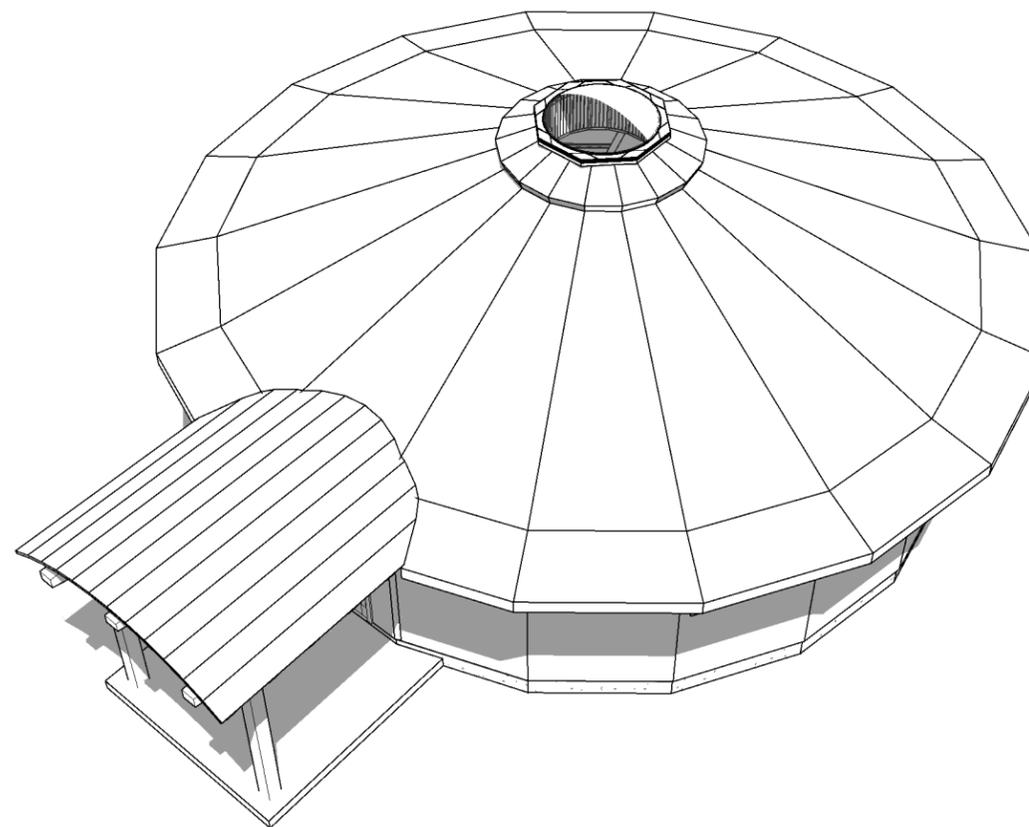


## Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

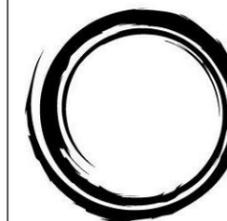
Sheet List	
Sheet #	Sheet Name
A0.1	Cover Sheet
A1.1	Main Floor Plan
A3.1	Elevations
A3.2	Elevations
A4.1	Building Section
A6.1	Schedules

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Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

Cover Sheet

Date  
Jul. 16, 2025

Drawn by  
AMA

Checked by  
CHK

Plot Date  
7/16/2025 2:44:07 PM

A0.1  
Dwg.  
#

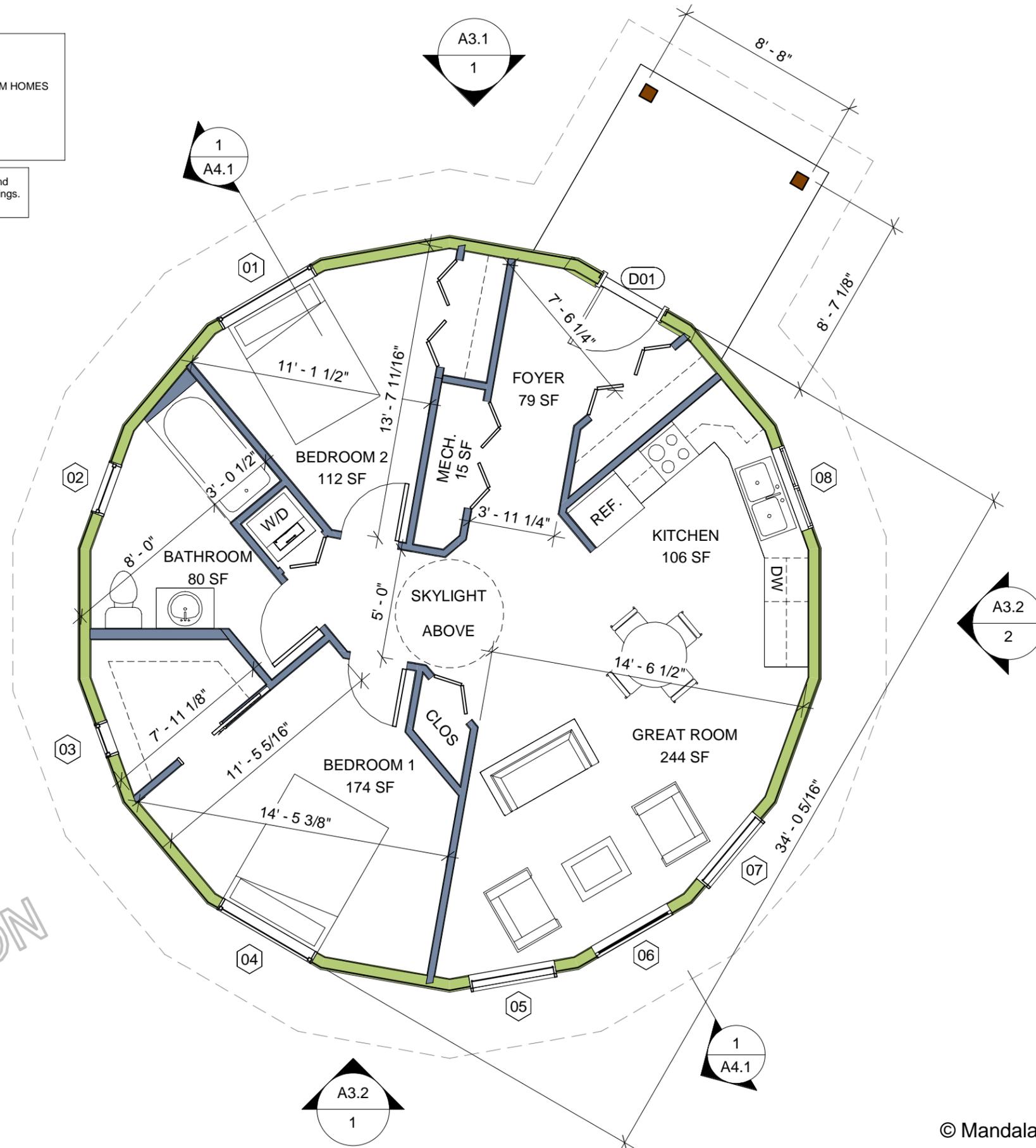
**WALL LEGEND**

- A  STRUCTURAL WALL - BY MANDALA CUSTOM HOMES
- B  NON-STRUCTURAL WALL - BY OTHER
- C  FOUNDATION WALL - BY OTHER

Exterior and structural dimensions to outside of framing of bearing walls and concrete foundation walls, and centerline of partition walls or concrete footings.  
Interior (room) dimensions to finished wall surfaces.



N



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1 Main Floor  
3/16" = 1'-0"

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Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

Main Floor Plan

Date  
Jul. 16, 2025

Drawn by  
AMA

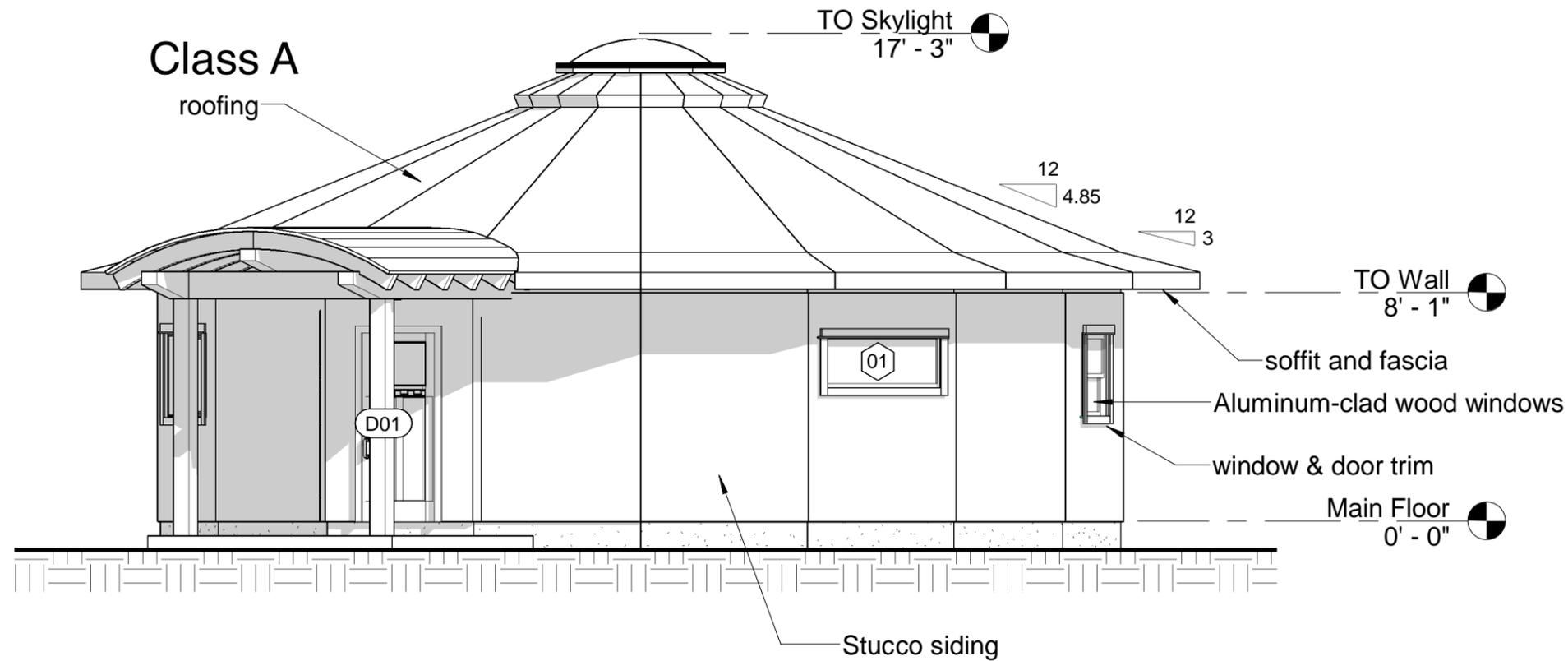
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CHK

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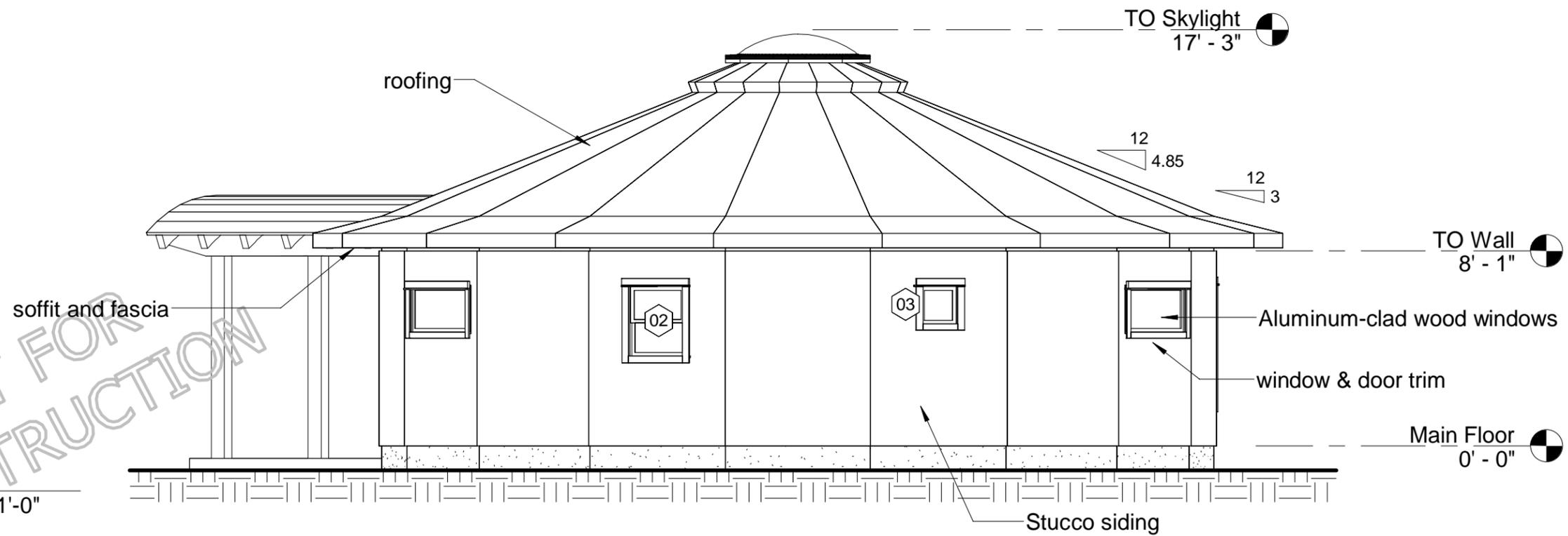
A1.1

Dwg.

#



1 North  
3/16" = 1'-0"

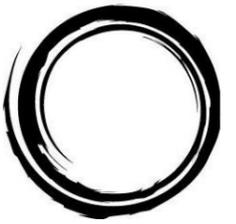


2 West  
3/16" = 1'-0"

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Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

Elevations

Date  
Jul. 16, 2025

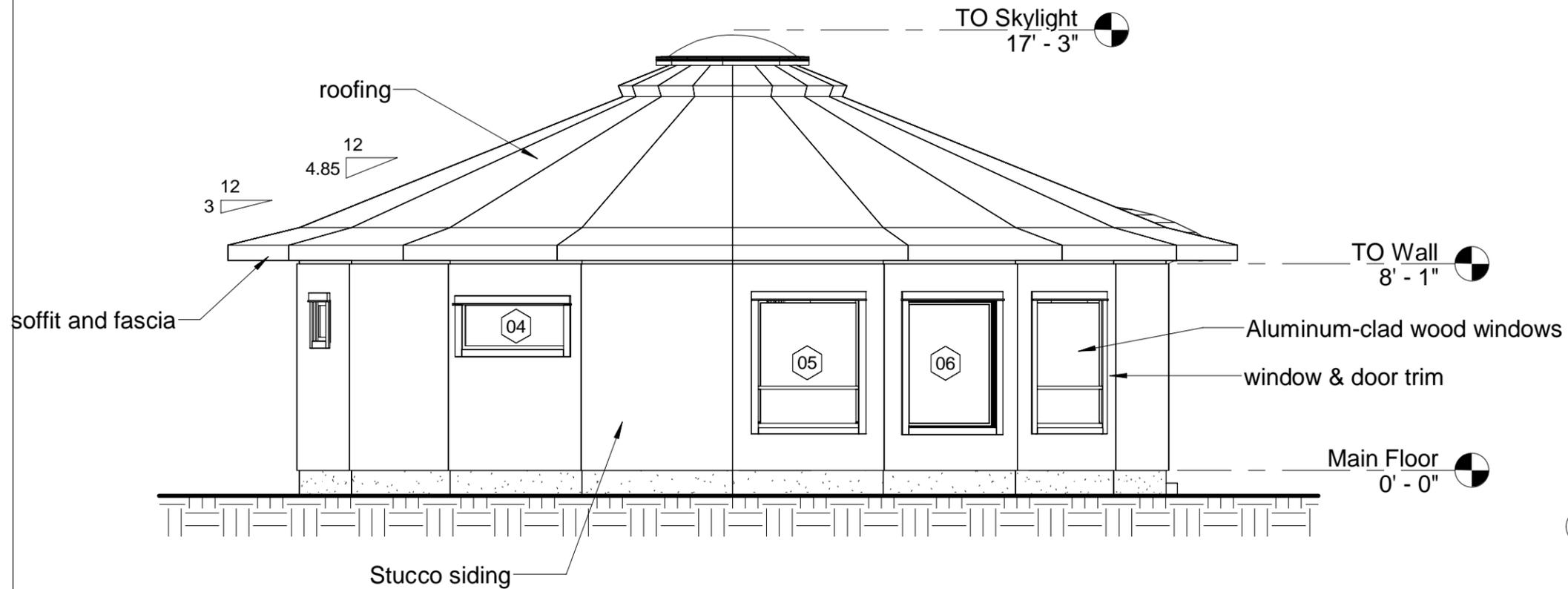
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CHK

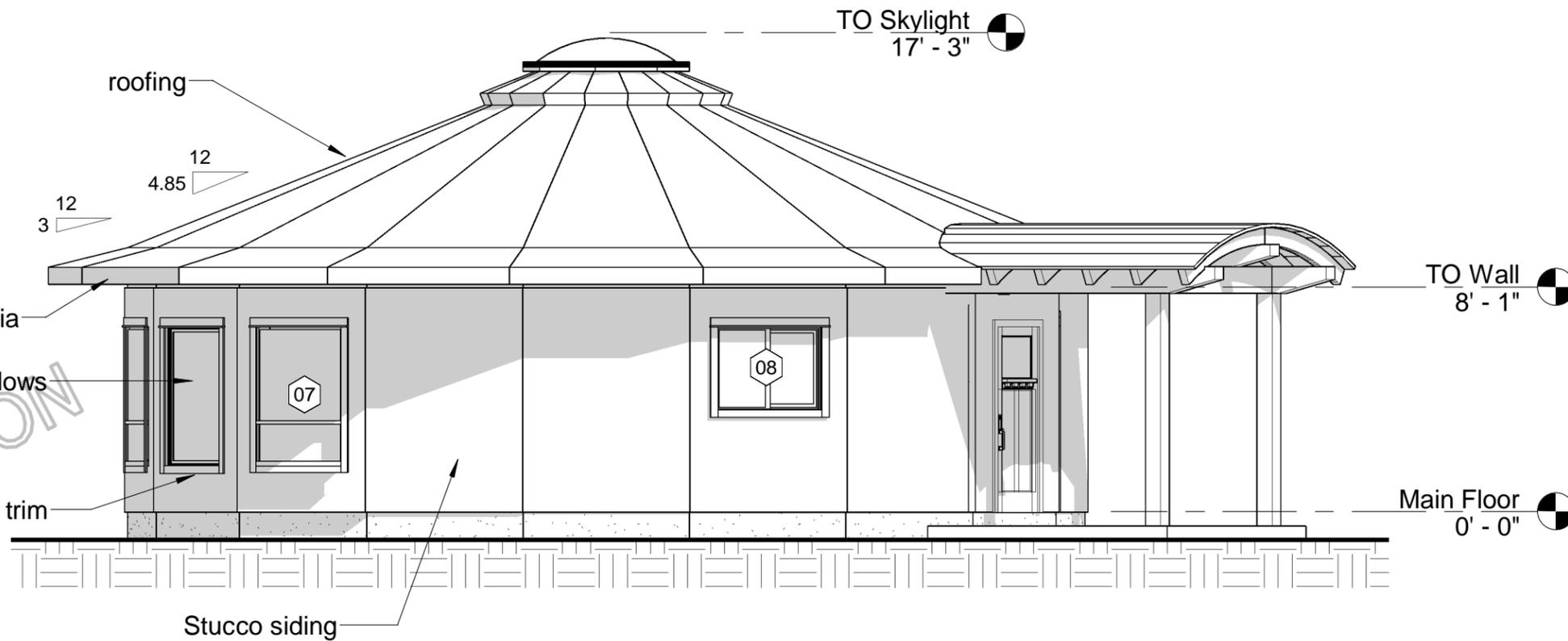
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A3.1

Dwg.  
#



① South  
3/16" = 1'-0"



② East  
3/16" = 1'-0"

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Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

Elevations

Date  
Jul. 16, 2025

Drawn by  
AMA

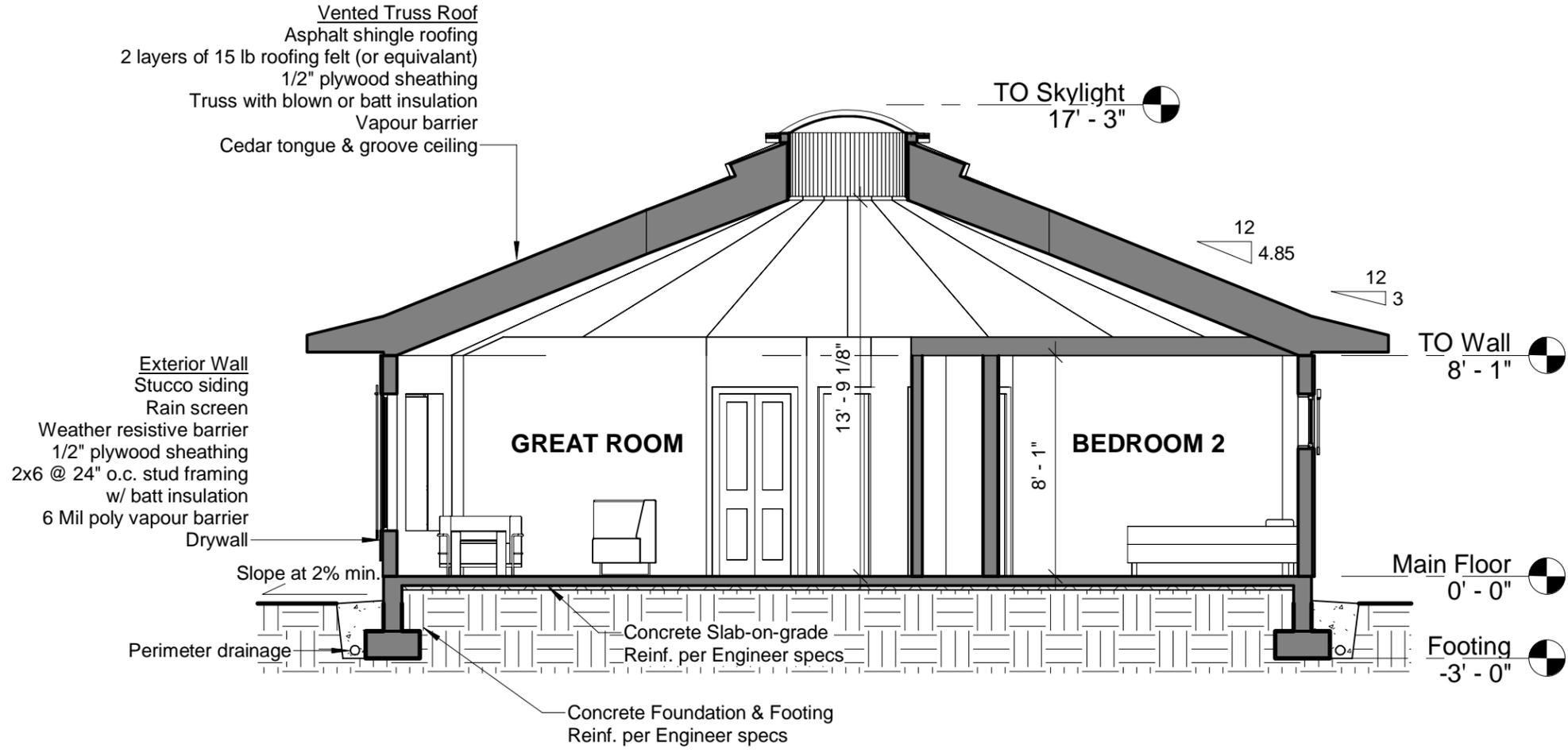
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CHK

Plot Date  
7/16/2025 2:44:09 PM

A3.2

Dwg.  
#

NOT FOR  
CONSTRUCTION



① Building Section  
 3/16" = 1'-0"

NOT FOR  
 CONSTRUCTION



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Wylie and Sacks - 866sf

San Juan Rd.  
 Aromas, CA

Building Section

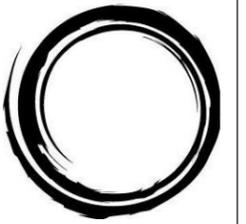
Date Jul. 16, 2025	
Drawn by AMA	Checked by CHK
Plot Date 7/16/2025 2:44:09 PM	

A4.1  
 Dwg.  
 #

Window Schedule						
Tempered glass Window #	Type	Rough Opening		Head Height	Sill Height	Comments
		Width	Height			
01	Awning	5' - 0"	2' - 0"	6' - 8"	4' - 8"	
02	Double Hung	2' - 6"	3' - 0"	6' - 8"	3' - 8"	
03	Awning	1' - 8"	1' - 8"	6' - 4"	4' - 8"	
04	Awning	5' - 0"	2' - 0"	6' - 8"	4' - 8"	
05	Fixed Panel Window Over Awning	4' - 0"	5' - 0"	6' - 8"	1' - 8"	
06	Fixed Panel	4' - 0"	5' - 0"	6' - 8"	1' - 8"	
07	Fixed Panel Window Over Awning	4' - 0"	5' - 0"	6' - 8"	1' - 8"	
08	Slider	4' - 0"	3' - 0"	6' - 8"	3' - 8"	

Door Schedule					
Door #	Function	Type	Width	Height	Comments
D01	Exterior	Entry-Quarter Lite	3' - 0"	6' - 8"	

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Wylie and Sacks - 866sf

San Juan Rd.  
Aromas, CA

Schedules

Date  
Jul. 16, 2025

Drawn by  
AMA

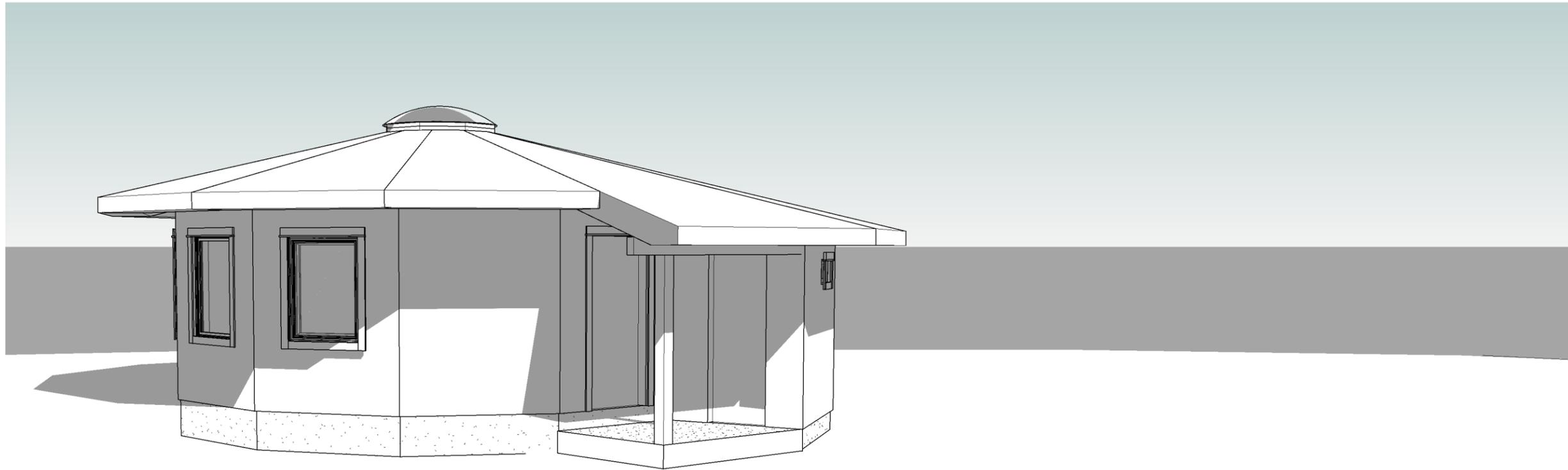
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**A6.1**  
Dwg.

#

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CONSTRUCTION

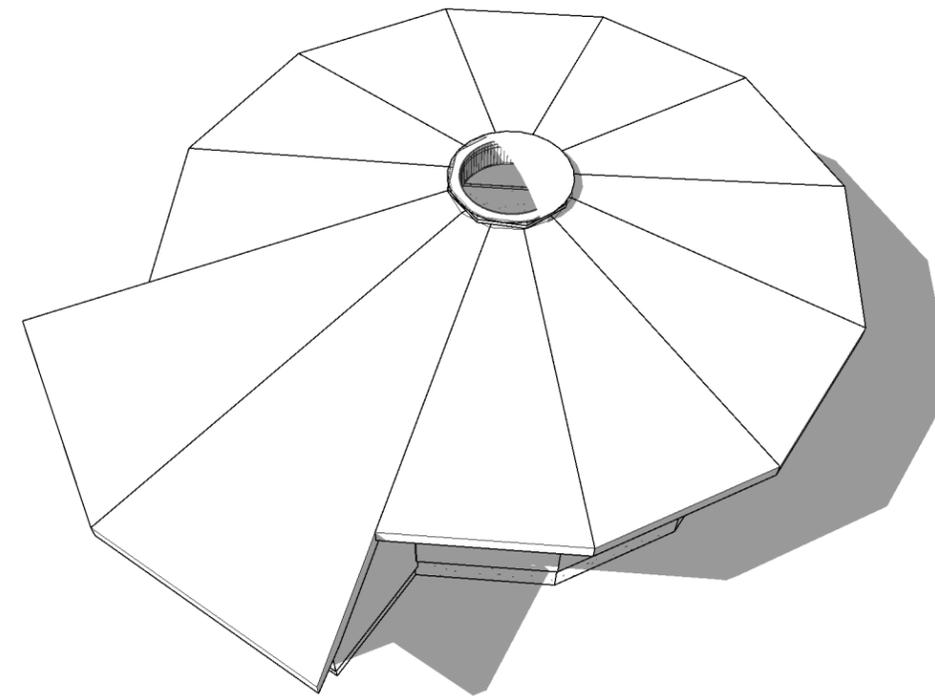


## Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Sheet List	
Sheet #	Sheet Name
A0.1	Cover Sheet
A1.1	Main Floor Plan
A3.1	Elevations
A3.2	Elevations
A4.1	Building Section
A6.1	Schedules

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### Revision Schedule

No.	Description	Date

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Cover Sheet

Date  
Jul. 15, 2025

Drawn by AMA	Checked by CHK
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Plot Date  
3/11/2026 3:17:34 PM

**A0.1**  
Dwg.

#

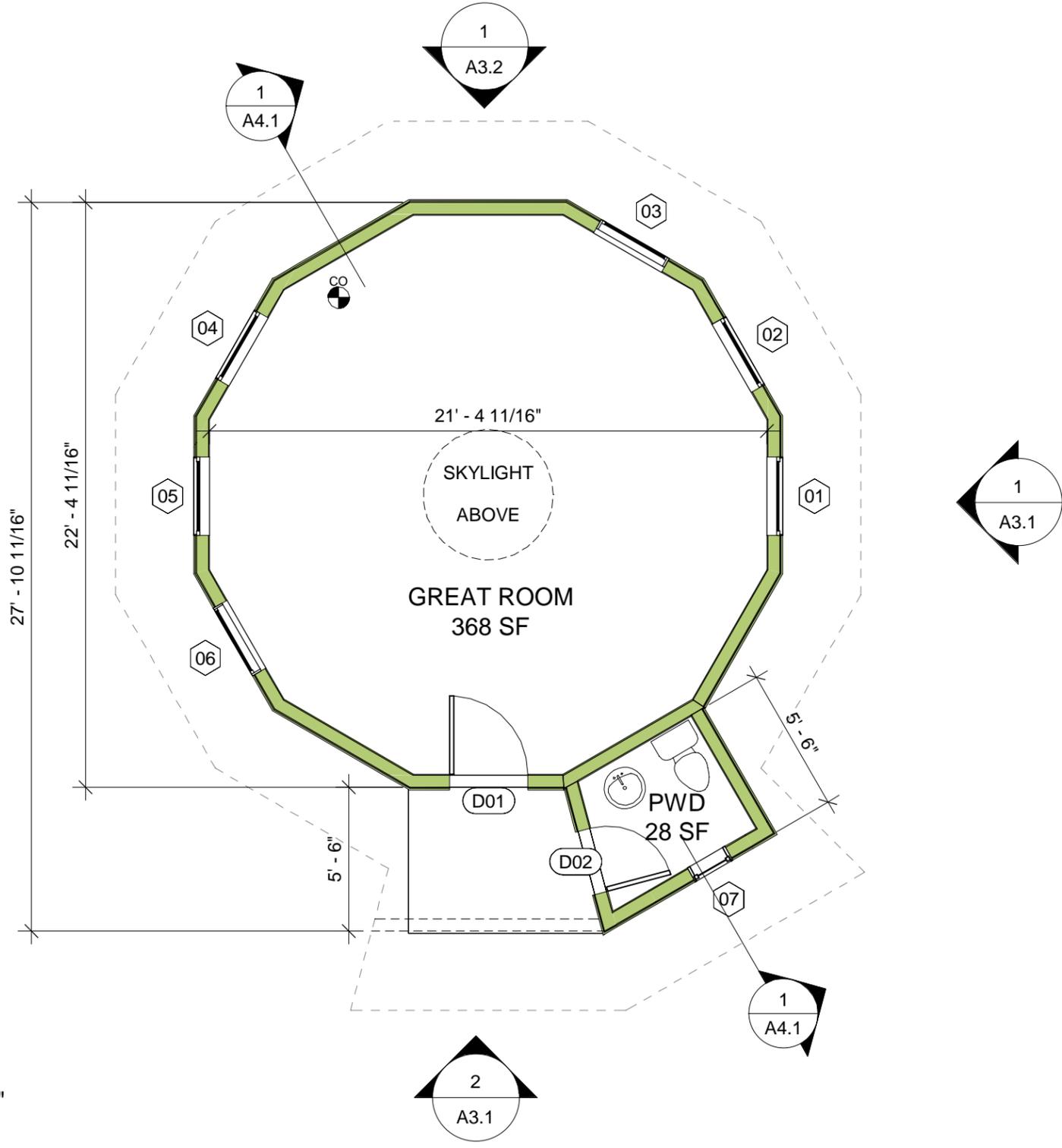
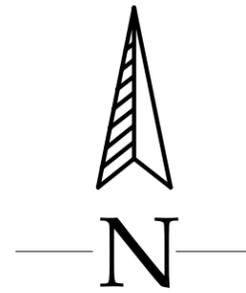
**WALL LEGEND**

- A  STRUCTURAL WALL - BY MANDALA CUSTOM HOMES
- B  NON-STRUCTURAL WALL - BY OTHER
- C  FOUNDATION WALL - BY OTHER

Exterior and structural dimensions to outside of framing of bearing walls and concrete foundation walls, and centerline of partition walls or concrete footings. Interior (room) dimensions to finished wall surfaces.

-  Smoke Detector
-  Smoke & Carbon Monoxide Detector

Floor area: 396 sf



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① Main Floor  
3/16" = 1'-0"

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Revision Schedule

No.	Description	Date

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Main Floor Plan

Date  
Jul. 15, 2025

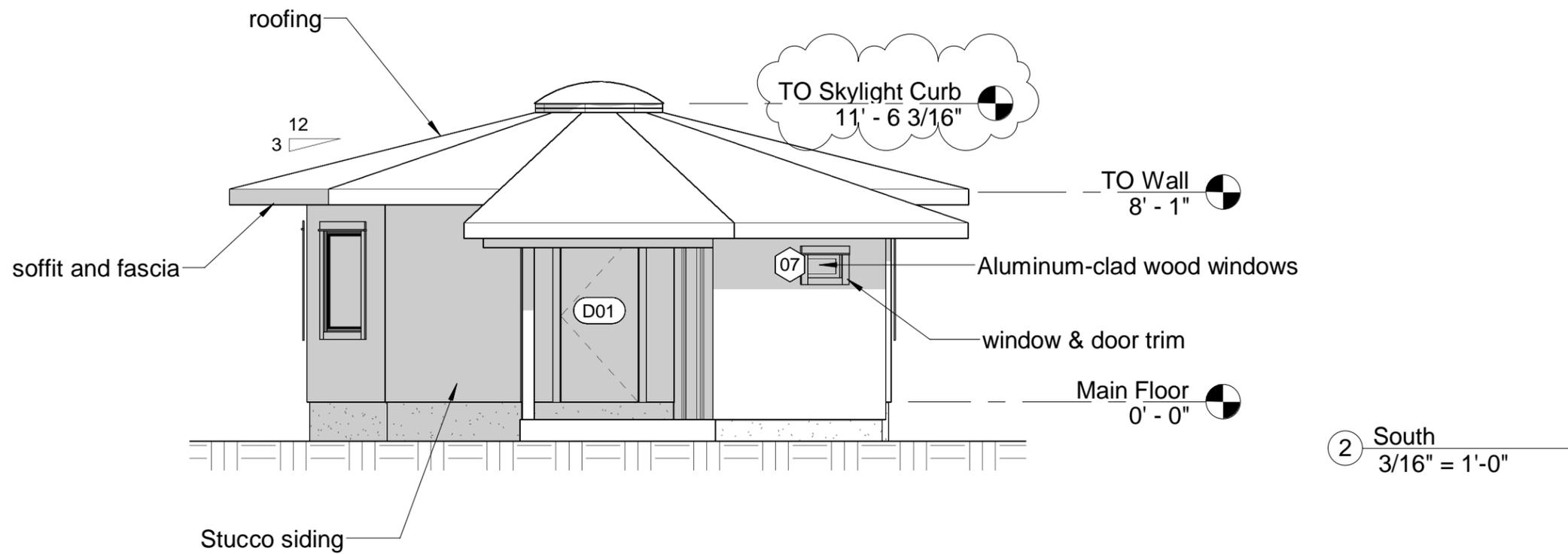
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AMA

Checked by  
CHK

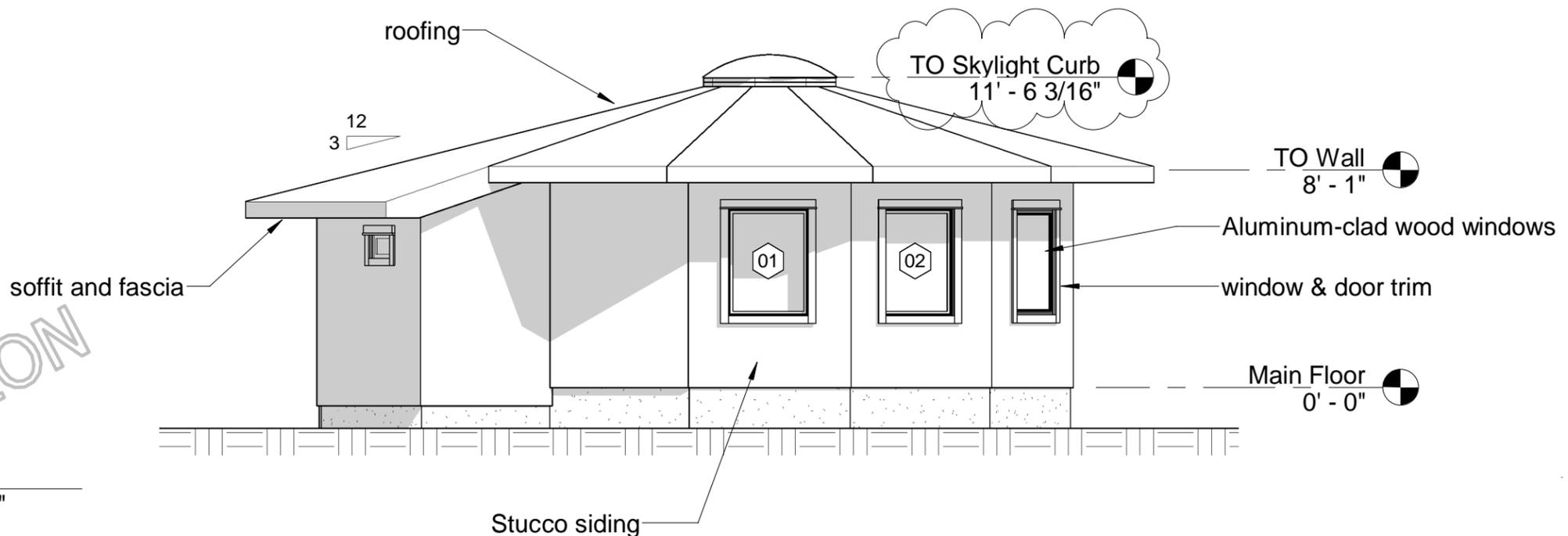
Plot Date  
3/11/2026 3:17:34 PM

A1.1

Dwg.



② South  
3/16" = 1'-0"



① East  
3/16" = 1'-0"

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Revision Schedule		
No.	Description	Date
1	Review	03/11/2026

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Elevations

Date  
Jul. 15, 2025

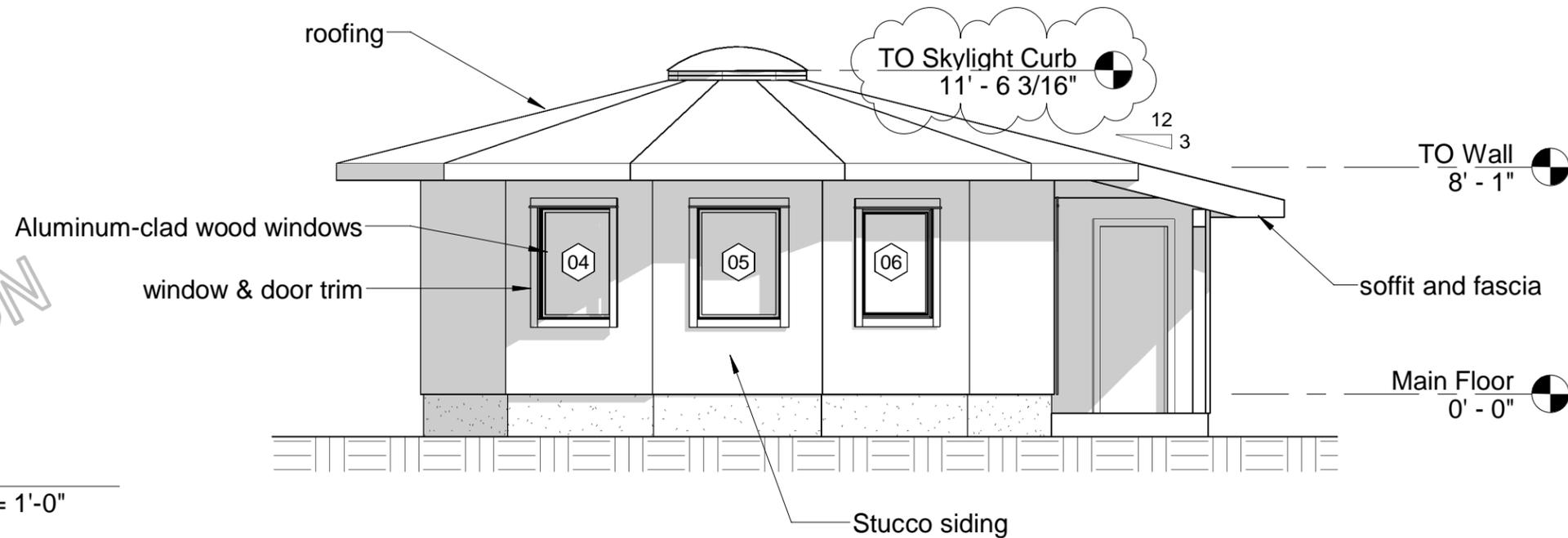
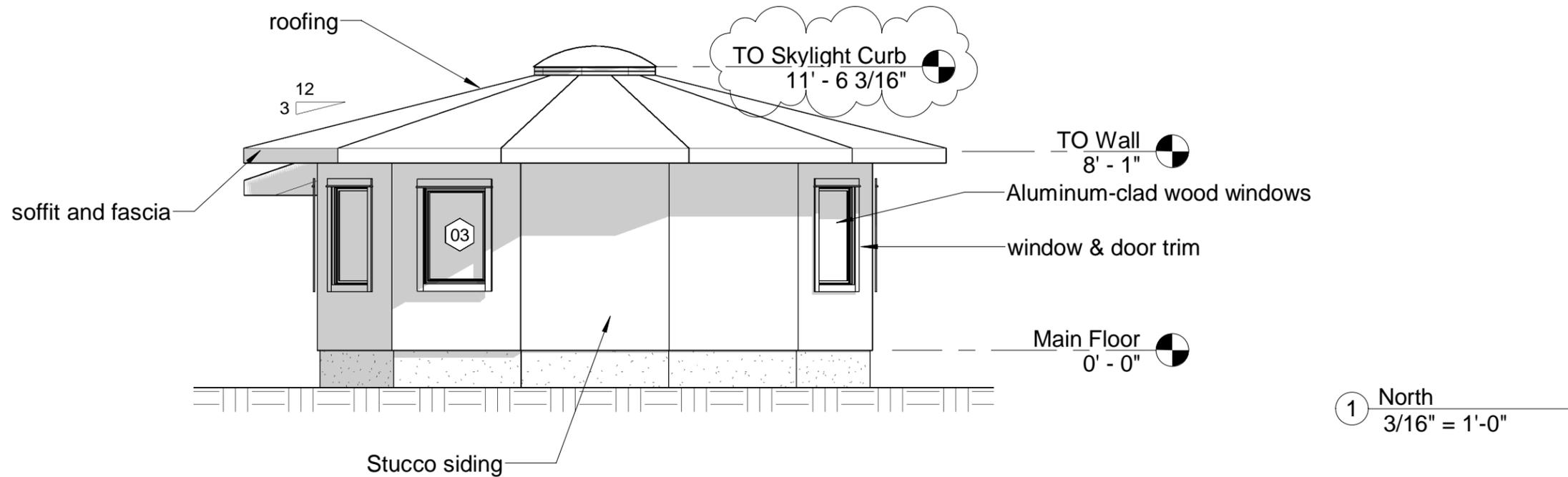
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Checked by  
CHK

Plot Date  
3/11/2026 3:17:35 PM

A3.1  
Dwg.

#



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Revision Schedule

No.	Description	Date
1	Review	03/11/2026

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Elevations

Date  
Jul. 15, 2025

Drawn by  
AMA

Checked by  
CHK

Plot Date  
3/11/2026 3:17:35 PM

A3.2

Dwg.  
#



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Nelson, BC V1L 5P9  
P. 250.352.5582  
F. 250.352.5503  
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Revision Schedule

No.	Description	Date
1	Review	03/11/2026

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Building Section

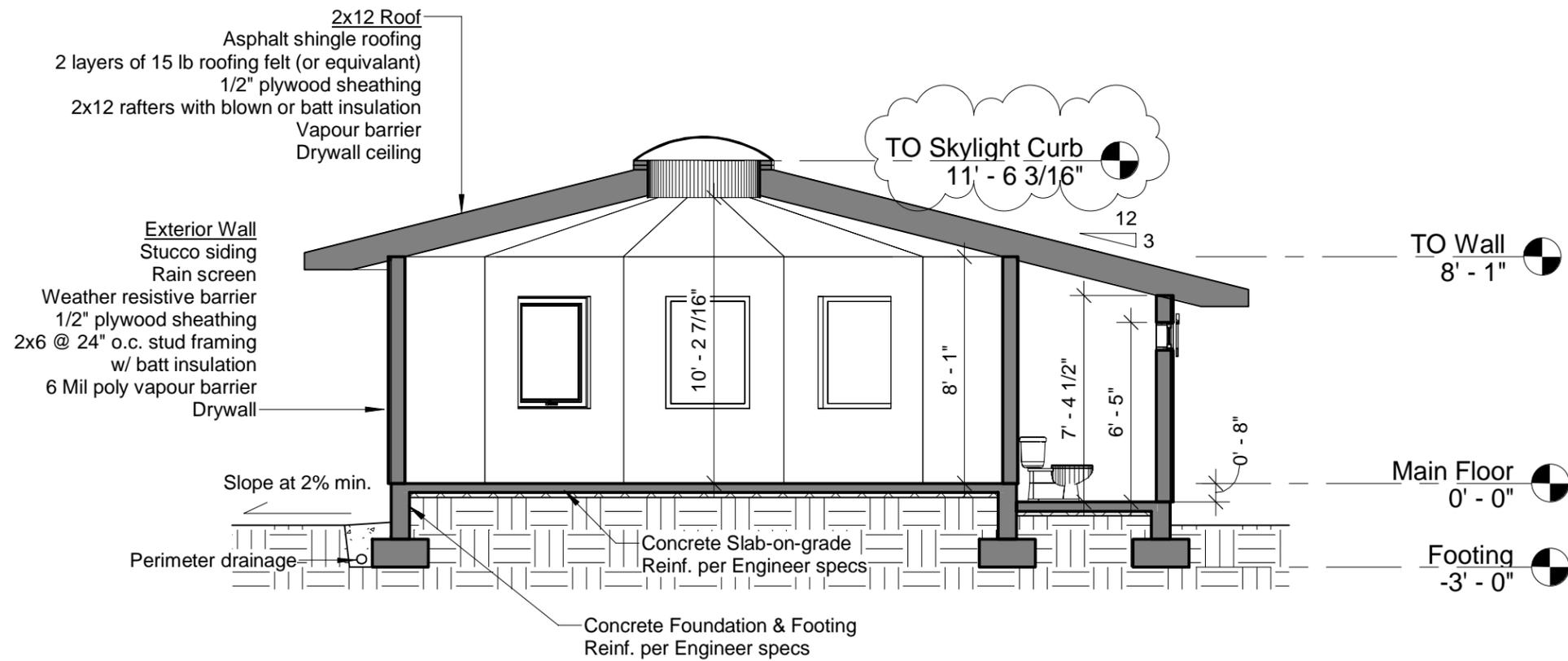
Date  
Jul. 15, 2025

Drawn by  
AMA

Checked by  
CHK

Plot Date  
3/11/2026 3:17:35 PM

A4.1  
Dwg.



1 Building Section  
3/16" = 1'-0"

NOT FOR  
CONSTRUCTION

Window Schedule						
Window #	Type	Rough Opening		Head Height	Sill Height	Comments
		Width	Height			
01	Fixed Panel	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
02	Fixed Panel	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
03	Casement	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
04	Fixed Panel	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
05	Fixed Panel	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
06	Casement	3' - 0"	4' - 0"	6' - 8"	2' - 8"	
07	Awning	1' - 8"	1' - 0"	5' - 9"	4' - 9"	

Door Schedule					
Door #	Function	Type	Width	Height	Comments
D01	Interior	Single-Exterior	3' - 0"	6' - 8"	
D02	Interior	Door-Single-Panel	2' - 6"	6' - 8"	

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Revision Schedule		
No.	Description	Date

Wylie & Sacks - 396 sf

San Juan Rd.  
Aromas, CA

Schedules

Date  
Jul. 15, 2025

Drawn by AMA	Checked by CHK
-----------------	-------------------

Plot Date  
3/11/2026 3:17:35 PM

**A6.1**  
Dwg.

#

TOPOGRAPHIC MAPPING THIS SHEET BASED UPON AERIAL MAPPING BY JUSIS DATED 2018 NAVD 1988 DATUM, 5 FOOT CONTOUR INTERVAL BOUNDARY LINES COMPILED FROM RECORD INFORMATION THIS IS NOT A BOUNDARY SURVEY



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

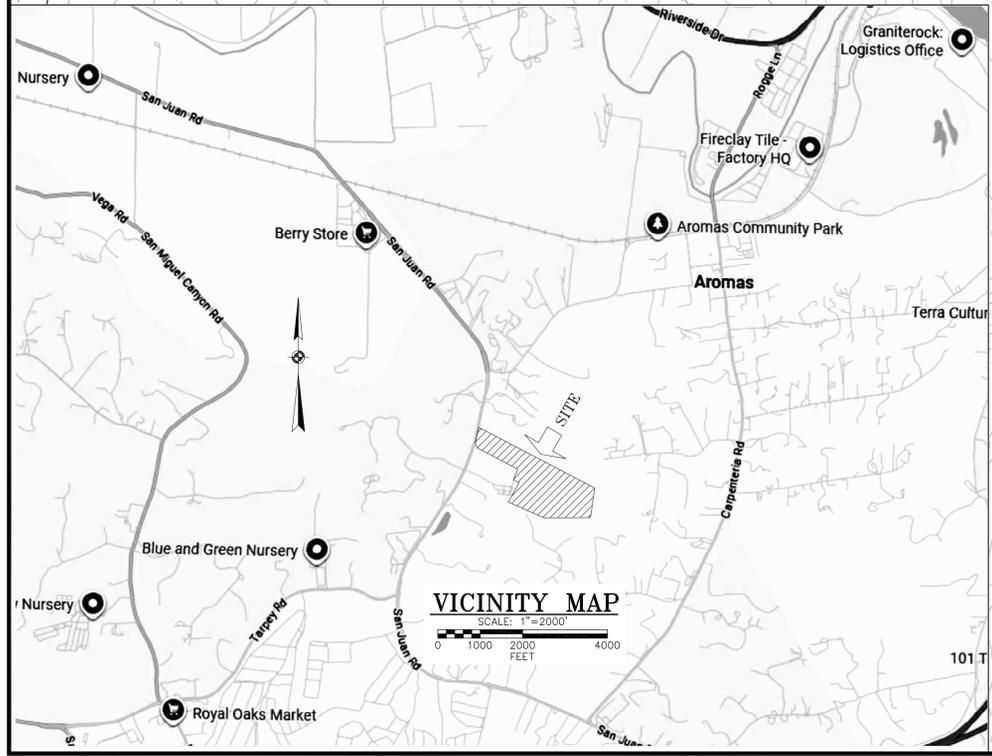
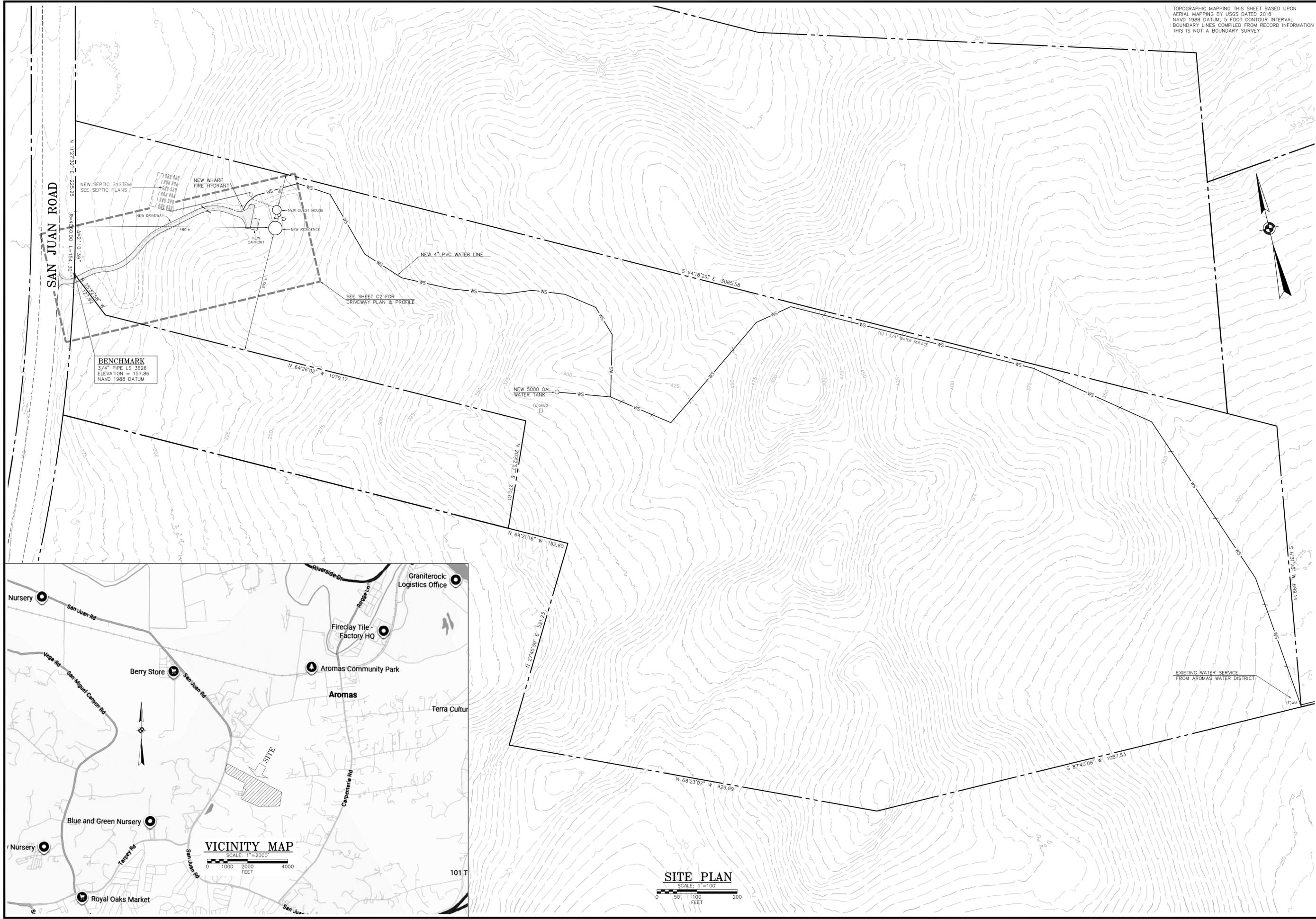
**ROPER ENGINEERING**  
**CIVIL ENGINEERING & LAND SURVEYING**  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (831) 724-5300 jeff@roperengineering.com



**NEW RESIDENCE FOR DOUGLAS WYLIE**  
 2075 SAN JUAN ROAD, AROMAS APN 267-061-011  
**SITE PLAN**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	SEPT. 10, 2025
REVISED:	
JOB NO.:	25013
SHEET	

**C1**  
 OF 5 SHEETS



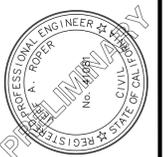
**SITE PLAN**  
 SCALE: 1"=100'  
 0 50 100 200 FEET

SAN JUAN ROAD

**BENCHMARK**  
3/4" PIPE LS 3626  
ELEVATION = 157.86  
NAVD 1988 DATUM

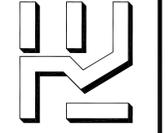


TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY ROPER ENGINEERING, DATED 3-19-25, NAVD 1988 DATUM, ONE FOOT CONTOUR INTERVAL. BOUNDARY LINES COMPILED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

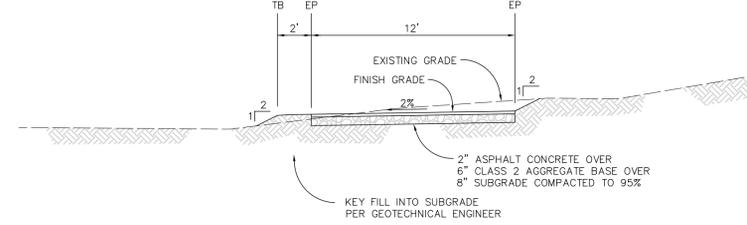
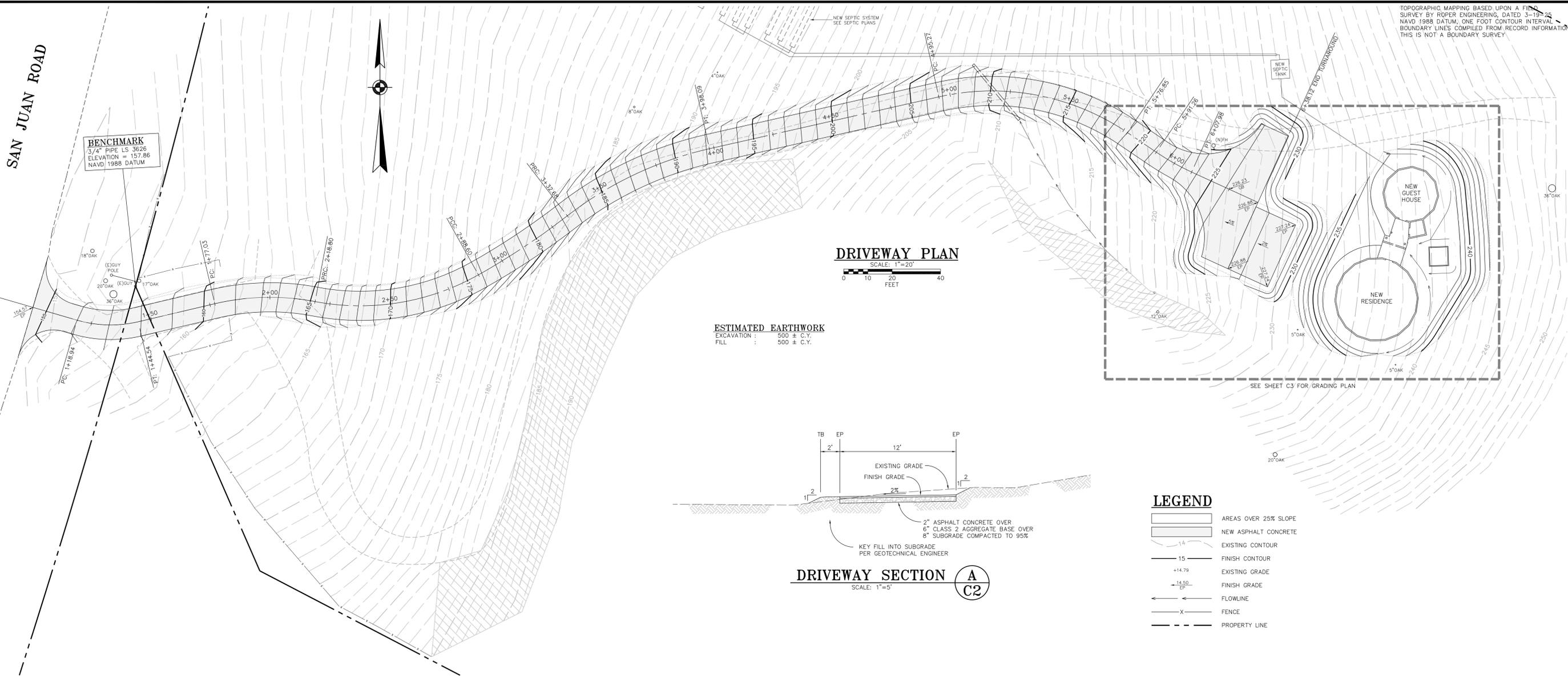
**ROPER ENGINEERING & LAND SURVEYING**  
CIVIL ENGINEERING & LAND SURVEYING  
48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 [jeff@roperengineering.com](mailto:jeff@roperengineering.com)



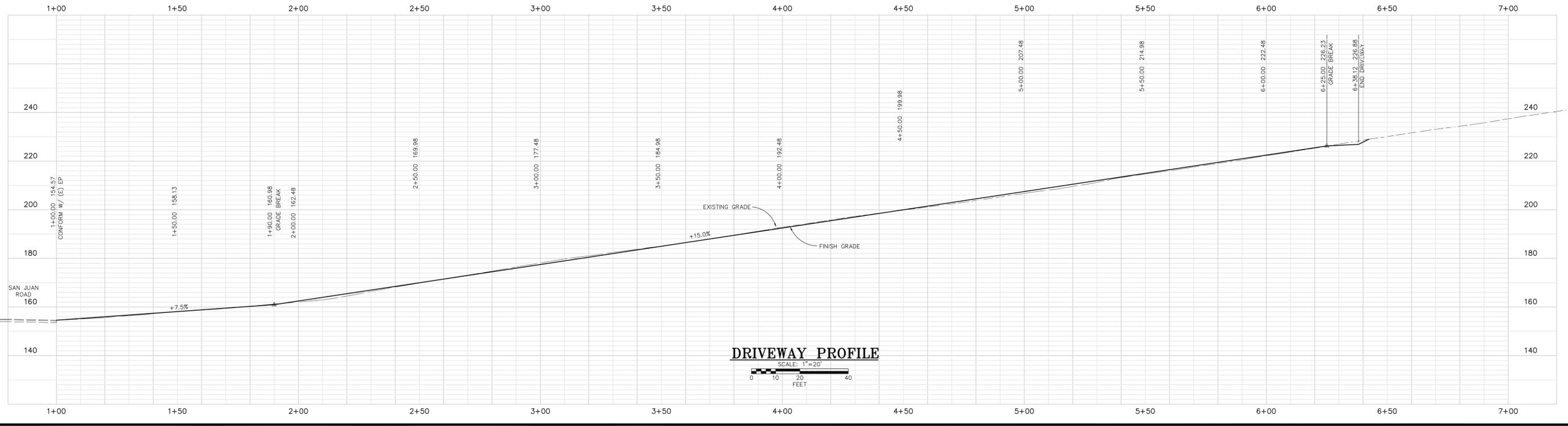
**NEW RESIDENCE FOR DOUGLAS WYLIE**  
2075 SAN JUAN ROAD, AROMAS APN 267-061-011  
**DRIVEWAY PLAN & PROFILE**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	SEPT. 10, 2025
REVISED:	
JOB NO.:	25013
SHEET	

**C2**  
OF 5 SHEETS



- LEGEND**
- AREAS OVER 25% SLOPE
  - NEW ASPHALT CONCRETE
  - EXISTING CONTOUR
  - FINISH CONTOUR
  - EXISTING GRADE
  - FINISH GRADE
  - FLOWLINE
  - FENCE
  - PROPERTY LINE



TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY ROPER ENGINEERING, DATED 3-19-25 NAVD 1988 DATUM, ONE FOOT CONTOUR INTERVAL BOUNDARY LINES COMPILED FROM RECORD INFORMATION THIS IS NOT A BOUNDARY SURVEY



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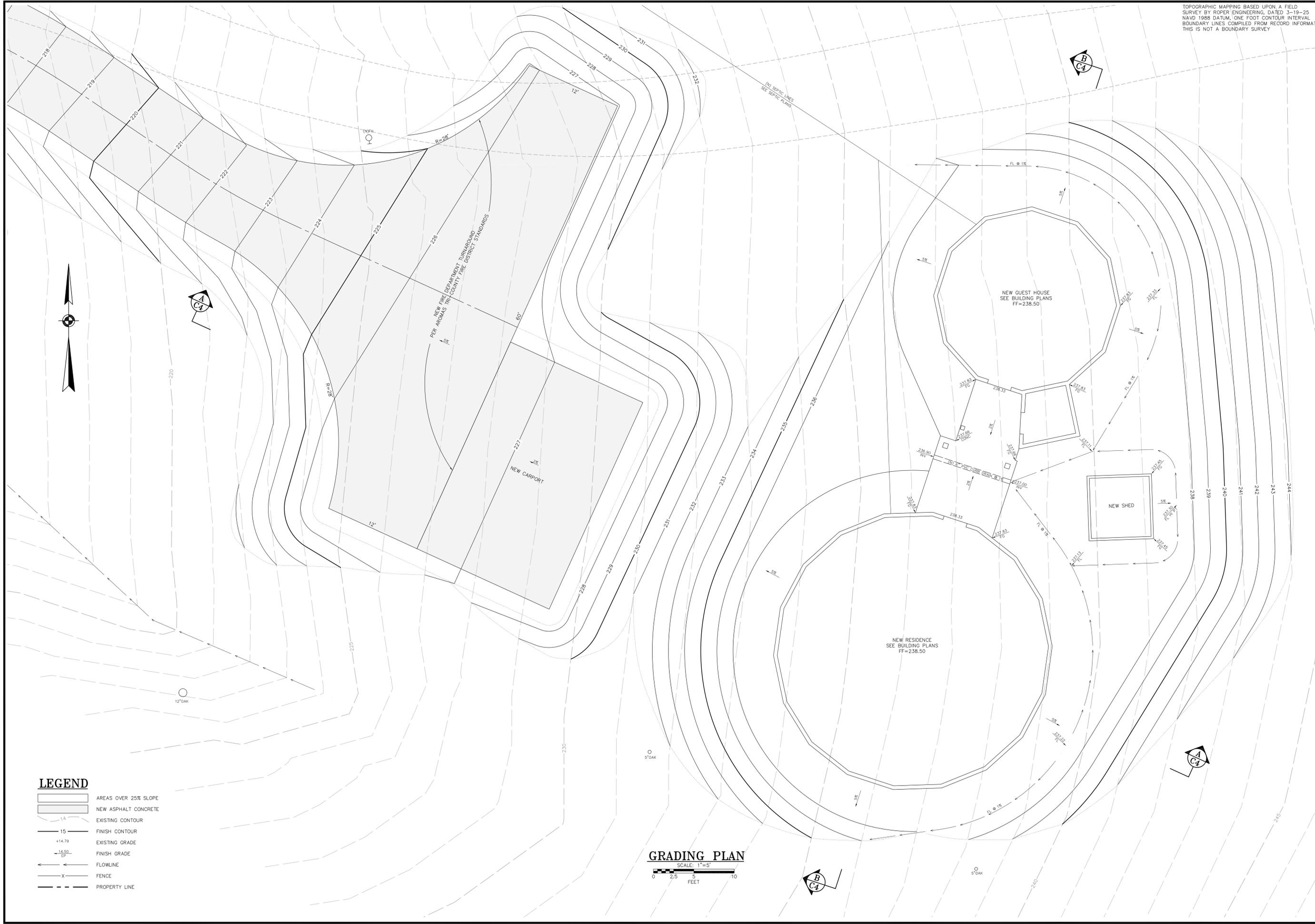
**ROPER ENGINEERING & LAND SURVEYING**  
 CIVIL ENGINEERING & LAND SURVEYING  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (831) 724-5300 jeff@roperengineering.com



**NEW RESIDENCE FOR DOUGLAS WYLIE**  
 2075 SAN JUAN ROAD, AROMAS APN 267-061-011  
**GRADING PLAN**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	SEPT. 10, 2025
REVISED:	
JOB NO.:	25013
SHEET	

**C3**  
 OF 5 SHEETS



**LEGEND**

	AREAS OVER 25% SLOPE
	NEW ASPHALT CONCRETE
	EXISTING CONTOUR
	FINISH CONTOUR
	EXISTING GRADE
	FINISH GRADE
	FLOWLINE
	FENCE
	PROPERTY LINE

**GRADING PLAN**  
 SCALE: 1"=5'  
 0 2.5 5 10 FEET

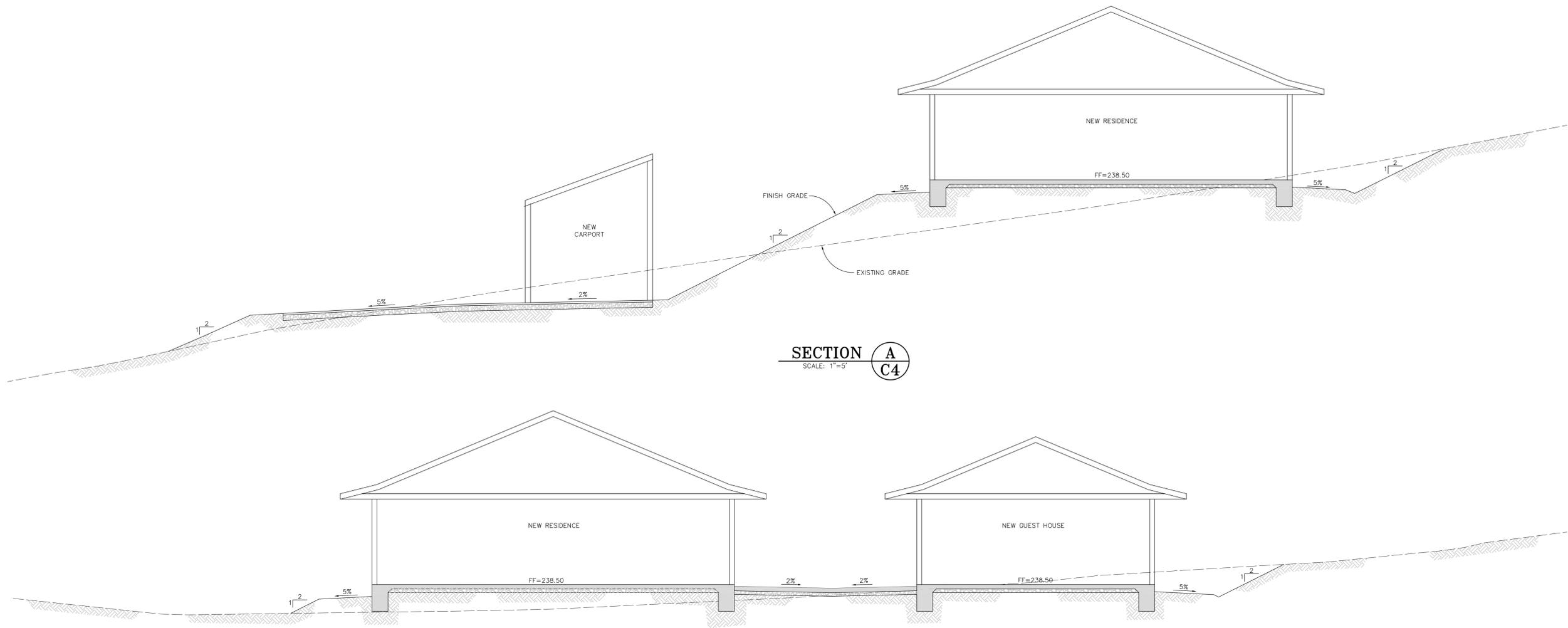


UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

**ROPER ENGINEERING & LAND SURVEYING**  
 CIVIL ENGINEERING & LAND SURVEYING  
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 (831) 724-5300 jeff@roperengineering.com



**NEW RESIDENCE FOR DOUGLAS WYLIE**  
 2075 SAN JUAN ROAD, AROMAS APN 267-061-011  
**SECTIONS & NOTES**



**SECTION A**  
 SCALE: 1"=5'  
 C4

**SECTION B**  
 SCALE: 1"=5'  
 C4

**GRADING NOTES**

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 6" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 39-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE GEOTECHNICAL INVESTIGATION PREPARED BY ROCK SOLID ENGINEERING FOR DOUGLAS WYLIE DATED MAY 27, 2025 PROJECT NO. 25011 SHALL BE STRICTLY ADHERED TO DURING THE GRADING AND CONSTRUCTION OF THIS PROJECT.

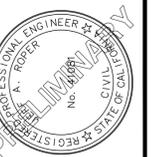
GEOTECHNICAL INSPECTION SCHEDULE				
ITEM	TO BE INSPECTED BY	WHEN	INSPECTED BY	DATE
1				
PRIOR TO GRADING				
PRE-GRADING MEETING	GEOTECHNICAL	PRIOR TO START OF GRADING		
RETRIEVE SOIL SAMPLE	ENGINEER/REPRESENTATIVE	PRIOR TO START OF GRADING		
2				
FILL/CUT SLOPE CONSTRUCTION				
OBSERVE KEYWAY EXCAVATION		WHEN EXCAVATED, PRIOR TO PLACING FILL		
TEST FILL MATERIAL	GEOTECHNICAL	ON GOING		
OBSERVE CUT SLOPES FOR COMPLIANCE WITH GRADIENTS	ENGINEER/REPRESENTATIVE	WHEN EXCAVATED		
3				
BUILDING PAD PREPARATION				
OBSERVE BOTTOM OF OVER-EXCAVATION AT BUILDING PAD		WHEN EXCAVATED PRIOR TO PLACING FILL		
OBSERVE STABILIZATION FABRIC PLACEMENT	GEOTECHNICAL	PRIOR TO PLACING FILL		
OBSERVE AND TEST FILL MATERIAL	ENGINEER/REPRESENTATIVE	ON GOING		
OBSERVE FOUNDATION EXCAVATIONS AT STRUCTURE		PRIOR TO REINFORCEMENT		
4				
RETAINING WALL CONSTRUCTION				
OBSERVE FOUNDATION EXCAVATIONS	GEOTECHNICAL	PRIOR TO PLACING REINFORCEMENT		
OBSERVE RETAINING WALL DRAIN AND OUTLET	ENGINEER/REPRESENTATIVE	AFTER PIPE IS IN PLACE, PRIOR TO BACKFILLING		
OBSERVE AND TEST RETAINING WALL BACKFILL		DURING FILL PLACEMENT, ON GOING		
5				
SUBDRAIN CONSTRUCTION	GEOTECHNICAL			
OBSERVE SUBDRAIN CONSTRUCTION	ENGINEER/REPRESENTATIVE	AFTER PIPE IS IN PLACE, PRIOR TO BACK FILLING		
6				
DRIVEWAY CONSTRUCTION				
OBSERVE OVEREXCAVATION	GEOTECHNICAL	WHEN EXCAVATED, PRIOR TO PLACING FILL		
TEST SUBGRADE	ENGINEER/REPRESENTATIVE	DURING FILL PLACEMENT AND PRIOR TO PLACING BASEROCK		
TEST BASEROCK		IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO PAVING		
7				
UTILITY TRENCHES	GEOTECHNICAL			
TEST TRENCH BACKFILL	ENGINEER/REPRESENTATIVE	ON GOING		
8				
SITE DRAINAGE	GEOTECHNICAL			
OBSERVE SITE DRAINAGE	ENGINEER/REPRESENTATIVE	PRIOR TO FINAL		

SCALE: AS NOTED  
 DESIGNED BY: JR  
 DRAWN BY: JR  
 DATE: SEPT. 10, 2025  
 REVISED:  
 JOB NO.: 25013  
 SHEET  
**C4**  
 OF 5 SHEETS

SAN JUAN ROAD

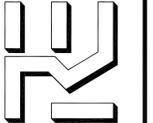


TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY ROPER ENGINEERING, DATED 3-19-25 NAVD 1988 DATUM, ONE FOOT CONTOUR INTERVAL. BOUNDARY LINES COMPILED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

**ROPER ENGINEERING & LAND SURVEYING**  
 CIVIL ENGINEERING & LAND SURVEYING  
 48 MANN AVENUE CORRALITOS, CA 95076  
 (831) 724-5300 jef@roperengineering.com



**NEW RESIDENCE FOR DOUGLAS WYLIE**  
 2075 SAN JUAN ROAD, AROMAS APN 267-061-011  
**EROSION CONTROL PLAN**

SCALE: AS NOTED  
 DESIGNED BY: JR  
 DRAWN BY: JR  
 DATE: SEPT. 10, 2025  
 REVISED:  
 JOB NO.: 25013

SHEET  
**C5**  
 OF 5 SHEETS

**EROSION CONTROL PLAN**



**LEGEND**

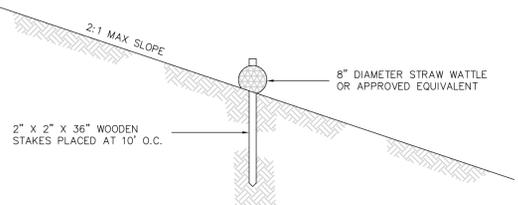
- AREAS OVER 25% SLOPE
- NEW ASPHALT CONCRETE
- EXISTING CONTOUR
- FINISH CONTOUR
- EXISTING GRADE
- FINISH GRADE
- FLOWLINE
- FENCE
- PROPERTY LINE

**MONTEREY COUNTY EROSION CONTROL NOTES**

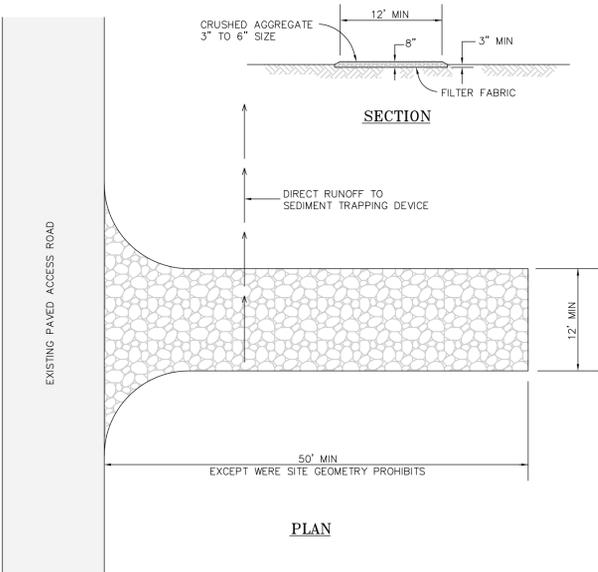
1. ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH.) [YES] NO
2. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
3. THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
4. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
5. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
6. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

**SITE HOUSEKEEPING REQUIREMENTS**

- CONSTRUCTION MATERIALS**
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
  - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
  - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
  - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- WASTE MANAGEMENT**
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
  - SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
  - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
  - COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
  - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
  - STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
  - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
  - EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
  - CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
- VEHICLE STORAGE AND MAINTENANCE**
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FIE1 TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
  - ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
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- LANDSCAPE MATERIALS**
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
  - CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
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  - APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
  - STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



**STRAW WATTLE DETAIL**  
 SCALE: 1"=2'  
 A  
 C5



**STABILIZED CONSTRUCTION ENTRANCE**  
 SCALE: 1"=10'  
 B  
 C5

**EROSION CONTROL PLAN**



**LEGEND**

- AREAS OVER 25% SLOPE
- NEW ASPHALT CONCRETE
- EXISTING CONTOUR
- FINISH CONTOUR
- EXISTING GRADE
- FINISH GRADE
- FLOWLINE
- FENCE
- PROPERTY LINE

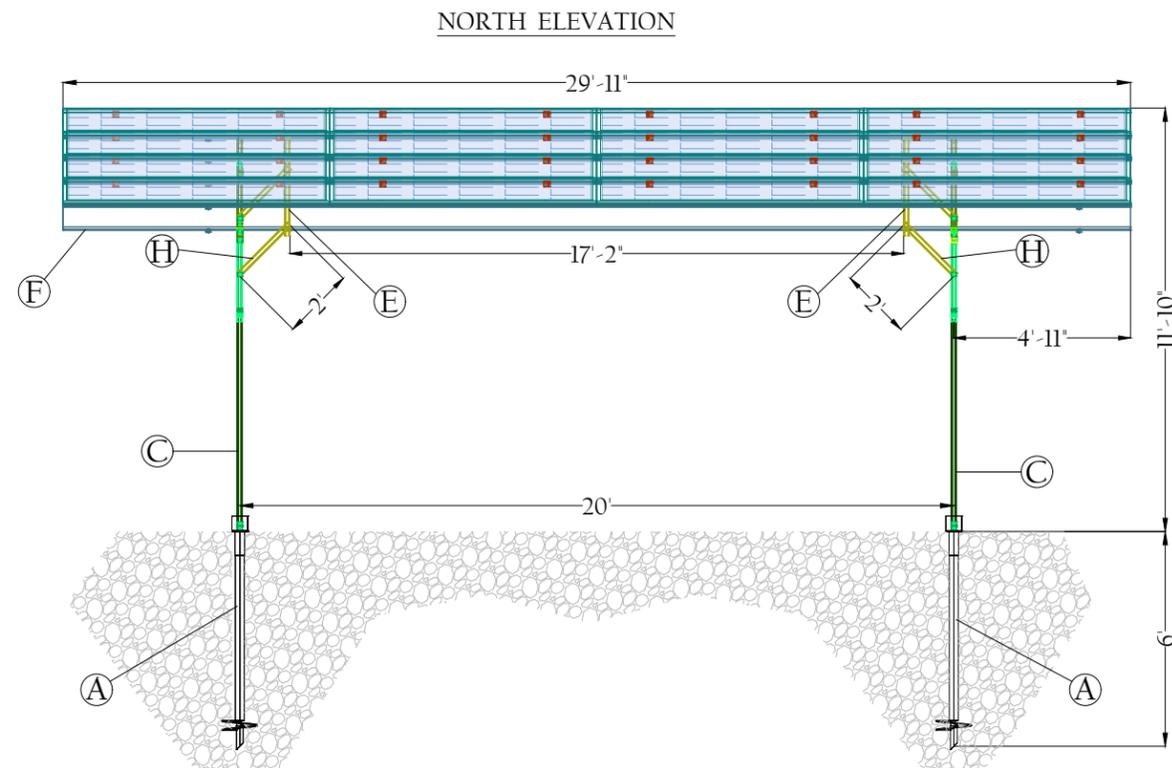
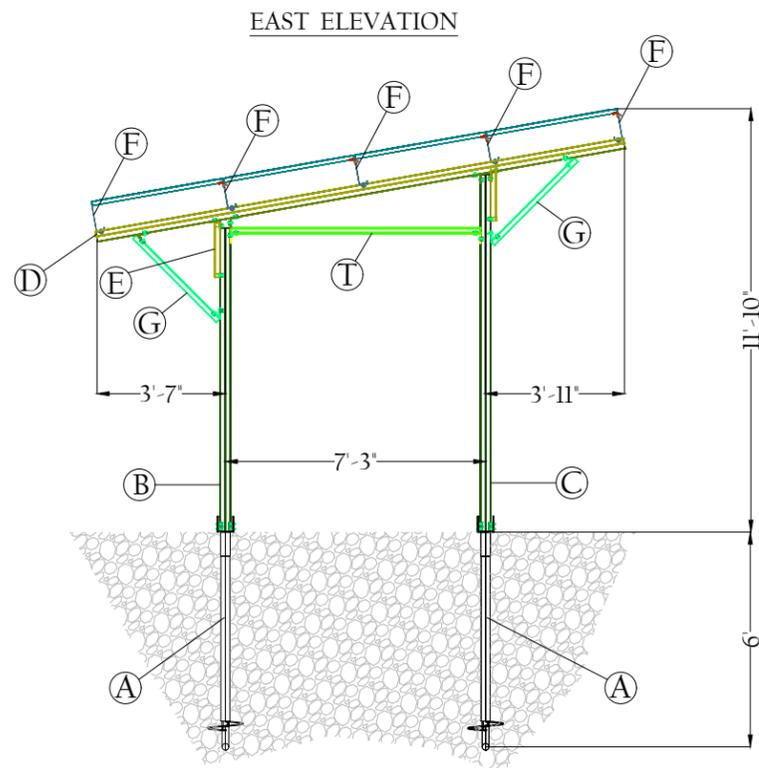
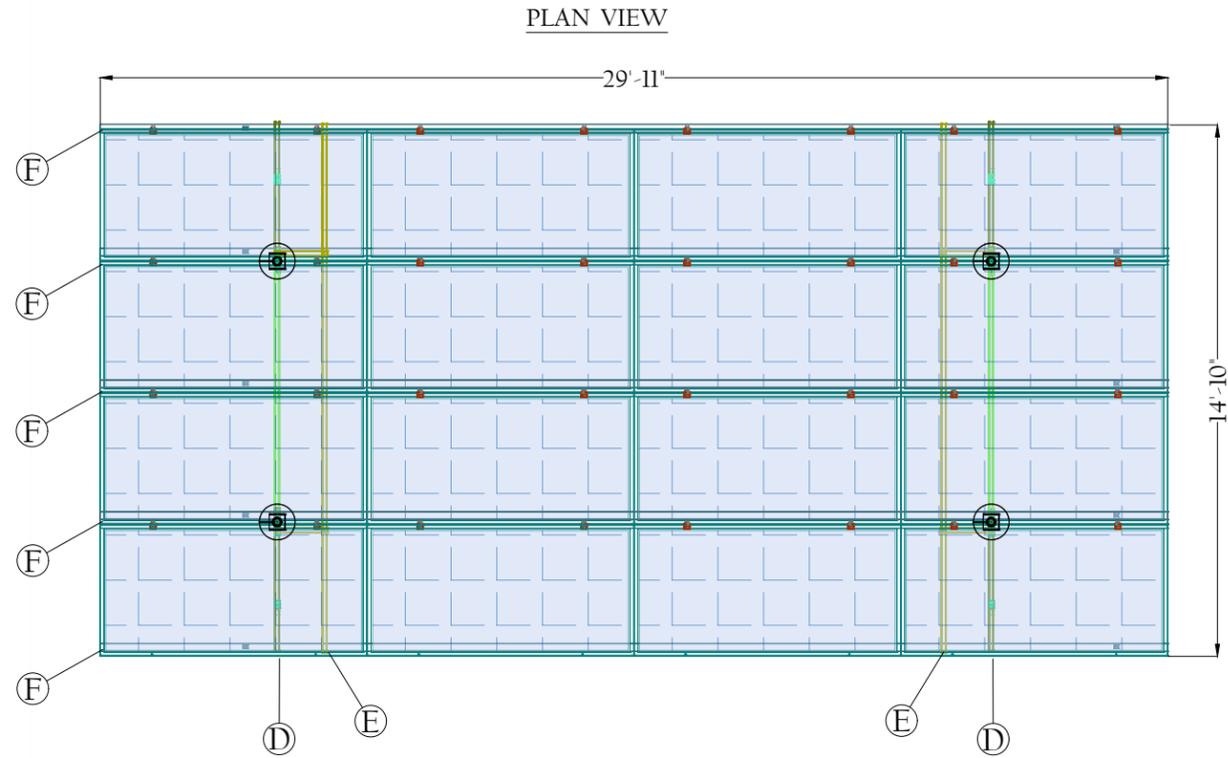
**MONTEREY COUNTY EROSION CONTROL NOTES**

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  - STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

RACKING PARTS			
#	NAME	LONG	Qty
A	Helical Piles	6'	4
B	Unistrut P1001 Front Posts	8'	2
C	Unistrut P1001 Back Posts	10'	2
D	Unistrut P1001 Beams	15'	2
E	Unistrut P1000 Auxiliar Support	15'	2
F	Super Purlins	29.9'	6
G	Unistrut P100 Front & Back Braces	29.9'	4
H	Unistrut P100 Lateral Braces	24"	4
I	1/2" SS x 1.25" Bolts	NA	16
J	1/2" SS x 1" Bolts	NA </td <td>24</td>	24
K	1/2" SS x 1" x 0.06" Flat Washers	NA	40
L	1/2" SS Split Washers	NA	40
M	1/2" Strut Nuts	NA	40
N	1/2" EG Square Plate	NA	24
O	3/8" SS x 1" Bolts	NA	40
P	3/8" SS x 1" x Flat Washers	NA	40
Q	3/8" SS Split Washers	NA	40
T	Unistrut P1000 Post to Post Support	6.8'	2



Project Developer:  
**Sustainable Technologies**  
 1367 Willow Street  
 Oakland, 94607CA  
 CA Lic. 772329

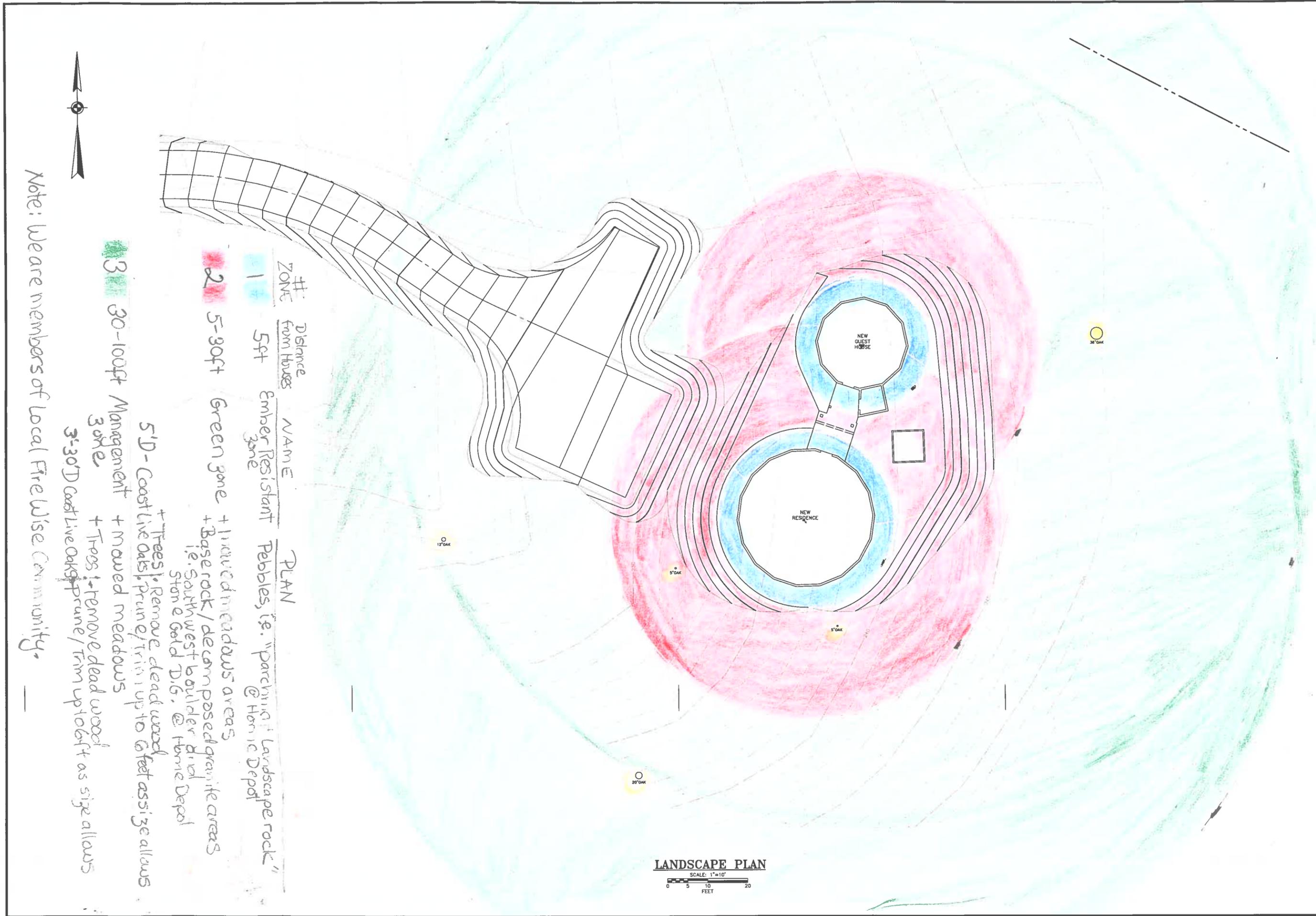
Project Manager: ERNESTO MONTENERO  
 Drawn by: EDUARDO HEREDIA

**8.4 KW DIRECT SOLAR  
 PUMPING SYSTEM  
 LAZARO FARM**

Address:  
 774 Old Stage Rd,  
 Salinas, CA 93906

Sheet Name:  
**SYSTEM  
 DETAILS**

Project: LAZARO FARM  
 Date: 06/10/2025  
 Scale:  
 Sheet: **C3**



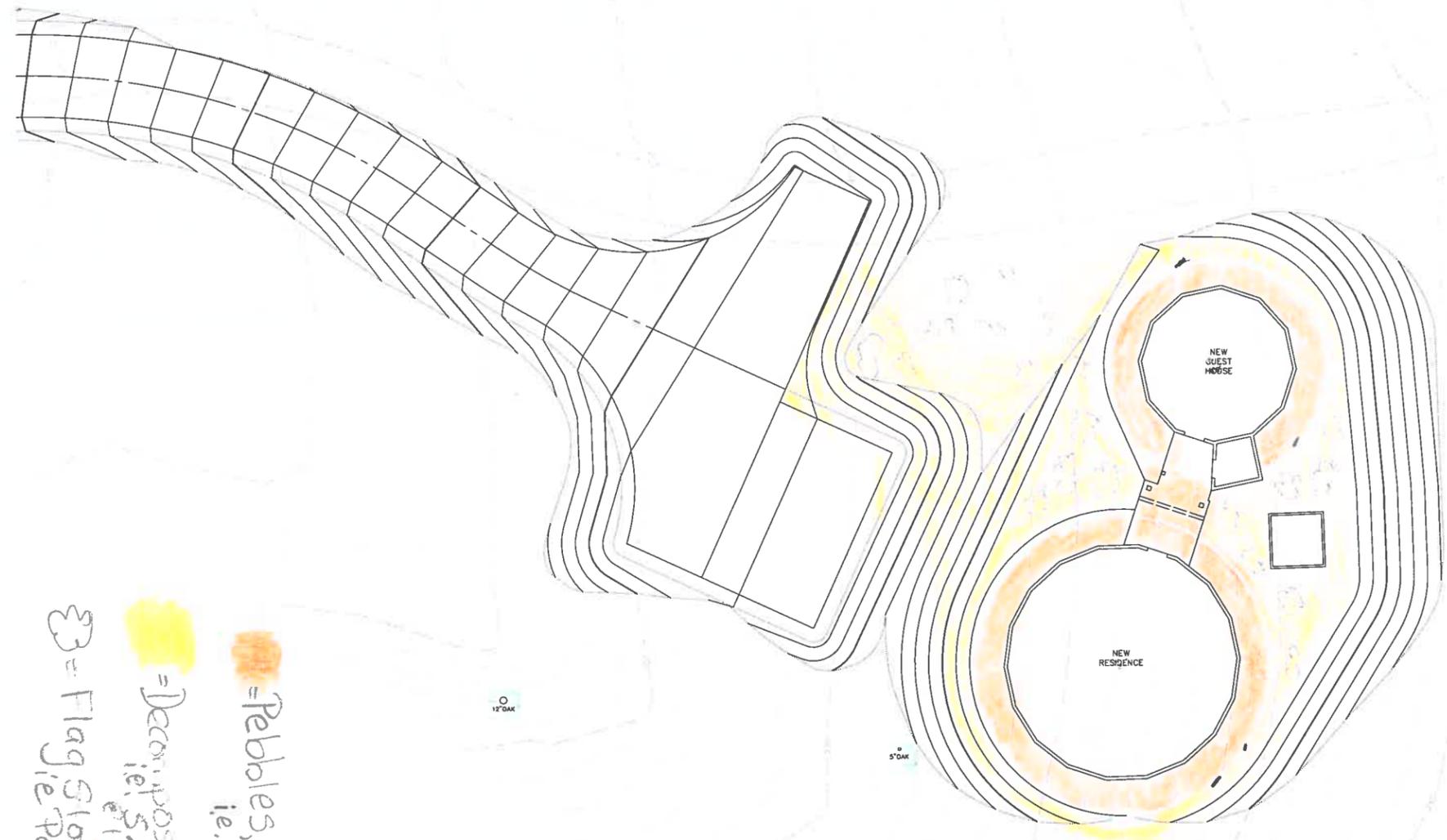
**LANDSCAPE PLAN**  
 SCALE: 1"=10'  
 0 5 10 20  
 FEET

ZONE #	Distance from Houses	NAME	PLAN
1	5ft	Ember Resistant zone	Pebbles, i.e. "parching" landscape rock" @ Home Depot
2	5-30ft	Green zone	+ mowed meadows areas + Base rock / decomposed granite areas i.e. Southwest boulder drial Stone Gold D.G. @ Home Depot
3	30-100ft	Management zone	+ Trees! Remove dead wood 5'D - Coast live oaks, Prune/trim up to 6 feet as size allows + mowed meadows + Trees! - remove dead wood 3'-30'D Coast live oaks, Prune/Trim up to 6ft as size allows

Note: We are members of Local Fire Wise Community. \_\_\_\_\_

-NEW RESIDENCE FOR DOUGLAS WYLIE 2075 SAN JUAN ROAD, AROMAS APN 267-061-011	
Fuel Management PLAN	
SCALE:	AS NOTED
DESIGNED BY:	
DRAWN BY:	
DATE:	
REVISED:	
JOB NO.:	
SHEET	<b>L1</b>
OF	SHEETS

Natural Landscape preserved except as defined in Fuel Management Plan.  
(Now Meadows, Trees: Remove Deadwood and pruning up to 6ft feet,  
30-100 feet radius around structures.)



- = Pebbles, multicolored  
ie. Parchment Landscape Park & Home Depot
- = Decomposed Granite  
ie. S.W. Boulder and Stone Gold  
Home Depot
- = Flag Stones  
ie. Park City Gold @ Home Depot

LANDSCAPE PLAN  
SCALE: 1"=10'  
0 5 10 20  
FEET



NEW RESIDENCE FOR <b>DOUGLAS WYLIE</b> 2075 SAN JUAN ROAD, AROMAS APN 267-061-011	
LANDSCAPE PLAN	
SCALE:	AS NOTED
DESIGNED BY:	
DRAWN BY:	
DATE:	
REVISED:	
JOB NO.:	
SHEET	<b>L1</b>
OF	SHEETS