

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

FERRINI OAKS LLC (PLN240016)

RESOLUTION NO. ----

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project categorically exempt per Section 15303(a) of the CEQA Guidelines and
- 2) Approving a Design Approval to allow construction of a 3,656 square foot single-family dwelling, a 924 square foot attached garage, and new retaining walls (130 linear feet and average height of 4 feet), and debris flow walls. Colors and materials consist of: light brown stucco and brown/beige mixed stone siding for the body, dark brown for the trim, light tan for the windows, and dark brown flat concrete tile roofing, tan CMU block retaining wall, and dark brown pressure treated wood for debris flow walls.

[PLN240016, Ferrini Oaks LLC, 15135 Big Sky Lane, Salinas, of the intersection of San Benancio and Monterey Salians Highway 68, Salinas, Toro Area Plan (APN: 161-013-007-000)]

The Design Approval application (PLN240016) came on for public hearing before the Monterey County Zoning Administrator on August 15, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **PROJECT DESCRIPTION** – The proposed project is a Design Approval to allow construction of a 3,656 square foot single family dwelling with 924 square foot attached garage; new site retaining walls (130 linear feet with an average height of 4 feet) and new debris wall (150 linear feet). Colors and materials consist of: light brown stucco and brown/beige mixed stone siding for the body, dark brown for the trim, light tan for the windows, and dark brown flat concrete tile roofing, tan

CMU block retaining wall, and dark brown pressure treated wood for debris flow walls.

EVIDENCE: a) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN240016.

2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Toro Area Plan; and
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Uses: The property is located at 15135 Big Sky Lane, Salinas (Assessor’s Parcel Number APN 161-013-007-000), Toro Plan. The parcel is zoned Low Density Residential with a Building Site 6 and Design Control overlay districts or “LDR/B-6-D”, which allows for the establishment of a residential use and construction of a single-family residence and accessory structures. Therefore, the project is an allowed land use for this site.
- c) Lot Legality: The property is shown in its current configuration as Lot 7 in Book 23 of Parcel Maps Page 32 of “Tract 1468, The Oaks Subdivision” filed on June 30, 2006. Therefore, the County recognizes the property as a legal lot of record.
- d) As demonstrated in the attached site plan, the location of the single-family dwelling is consistent with the required setbacks of the LDR district. Furthermore, the height of the structure and lot coverage meet the site development standards of the LDR district.
- e) The subject property is located within a Design Control district. As demonstrated in Finding No. 3 and supporting evidence, the project has been found to be consistent with the Design Control regulations in contained in Title 21 Chapter 21.44.
- f) Cultural Resources: According to Monterey County Geographic Information System (GIS) records, the subject parcel has a high archaeological sensitivity and is not within 750 feet of a known archaeological resource. An archaeological assessment was prepared for the Oaks subdivision (EIR-9901) and found that no archaeological or cultural resources are located within the development areas as proposed by this subdivision. As part of the final EIR, there were conditions placed requiring the applicant to stop work in the event any resources were located, and how to proceed in the event this occurs. The potential for inadvertent impacts to cultural resources is limited and will be

controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- g) The subject property is located in a Visually Sensitive area as illustrated in Figure 16 – Scenic Highway Corridors & Visual Sensitivity, of the Toro Area Plan. Policy T-3.1 of the Toro Area plan states that new development in this area may be permitted if located and designed in such a manner that will enhance the scenic value of the area and that architectural consistent with the rural nature of the area is encouraged. The location of the proposed development cannot be seen from any public viewing areas due to being located behind an existing residence, as well as surrounded by mature oak trees. The proposed materials and colors to be used are rural in nature with earth tones for the body and trim, and stone detailing that ensures protection of the scenic qualities of the area.
- h) Land Use Advisory Committee: The project was referred to the Toro Land Use Advisory Committee (LUAC) for review on July 8, 2024. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application warranted referral to the LUAC because the appropriate authority for approval is the Monterey County Zoning Administrator. The LUAC complimented the proposed design elements and recommended approval of the project by a vote of four to zero.
- i) Public Comment: There was no public comment made at the LUAC, or any public comment letters received.
- j) The project planner conducted a site inspection on June 25, 2024 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN240016.

3. **FINDING:** **DESIGN** – The design, size, configuration, materials and colors of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE: a) Based on staff's analysis of the proposed project, the size of the single-family dwelling is consistent with the surrounding residences within the area. The proposed colors and materials enhance the rural setting, and blend the house into the hillside, which in turn protects the public viewshed. The Rustic style architecture and the use of stone and earth tone exterior colors present a rural feel, consistent with the Toro area and the neighborhood character. The proposed colors, light brown and dark brown with exterior stone along with the design continue to maintain the neighborhood character

- b) The project was reviewed by the Toro LUAC (see preceding Finding No. 2, Evidence “c”) and was found to be compatible with the area.
- c) Staff conducted a site inspection on June 25, 2024 to verify that the proposed development is compatible with the area and is a consistent use with the neighborhood.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development found in Project File PLN240016.

4. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts construction of a single-family dwelling. The project consists of establishing the first single family dwelling on a vacant lot within a residential zoning district.
 - b) No adverse environmental effects were identified during staff review of the development application during a site visit on June 25, 2024.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. This section states that construction of the first single family dwelling within a residential zoning district is ordinarily insignificant in its impact on the environment. However, there may be potential impacts on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies due to the project’s location. No such impact is identified in the project area. In addition, the project would not affect a scenic highway, hazardous waste site, or historical resource. No cumulative impacts or significant effects have been identified.
 - d) Staff conducted a site inspection on June 25, 2024 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County RMA-Planning for the proposed development found in Project File PLN240016.

5. **FINDING:** **NO VIOLATIONS-** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) The project planner conducted a site inspection on June 25, 2024, and researched County records to assess if any violations exist on the subject property.
 - b) The application, project plans, and related supporting materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development can be found in Project File PLN240016.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
EVIDENCE: a) Section 21.44.070 of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors pursuant to Section 21.80.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project categorically exempt per Section 15303(a) of the CEQA Guidelines and
2. Approve a Design Approval to allow construction of a 3,656 square foot single- family dwelling, a 924 square foot attached garage, and new retaining walls (130 linear feet and average height of 4 feet), and debris flow walls. Colors and materials consist of: light brown stucco and brown/beige mixed stone siding for the body, dark brown for the trim, light tan for the windows, and dark brown flat concrete tile roofing, tan CMU block retaining wall, and dark brown pressure treated wood for debris flow walls.

All of which are in general conformance with the attached sketch and color samples, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 15th day of August 2024:

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240016

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval permit (PLN240016) allows for construction of a new 3,656 square foot single-family dwelling with an attached 924 square foot garage, new retaining walls (130 linear feet with an average height of 4 feet) and associated site improvements. The property is located at 15135 Big Sky Lane (Assessor's Parcel Number 161-013-007-000), Toro Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by Zoning Administrator for Assessor's Parcel Number 161-013-007-000 on August 15, 2024. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

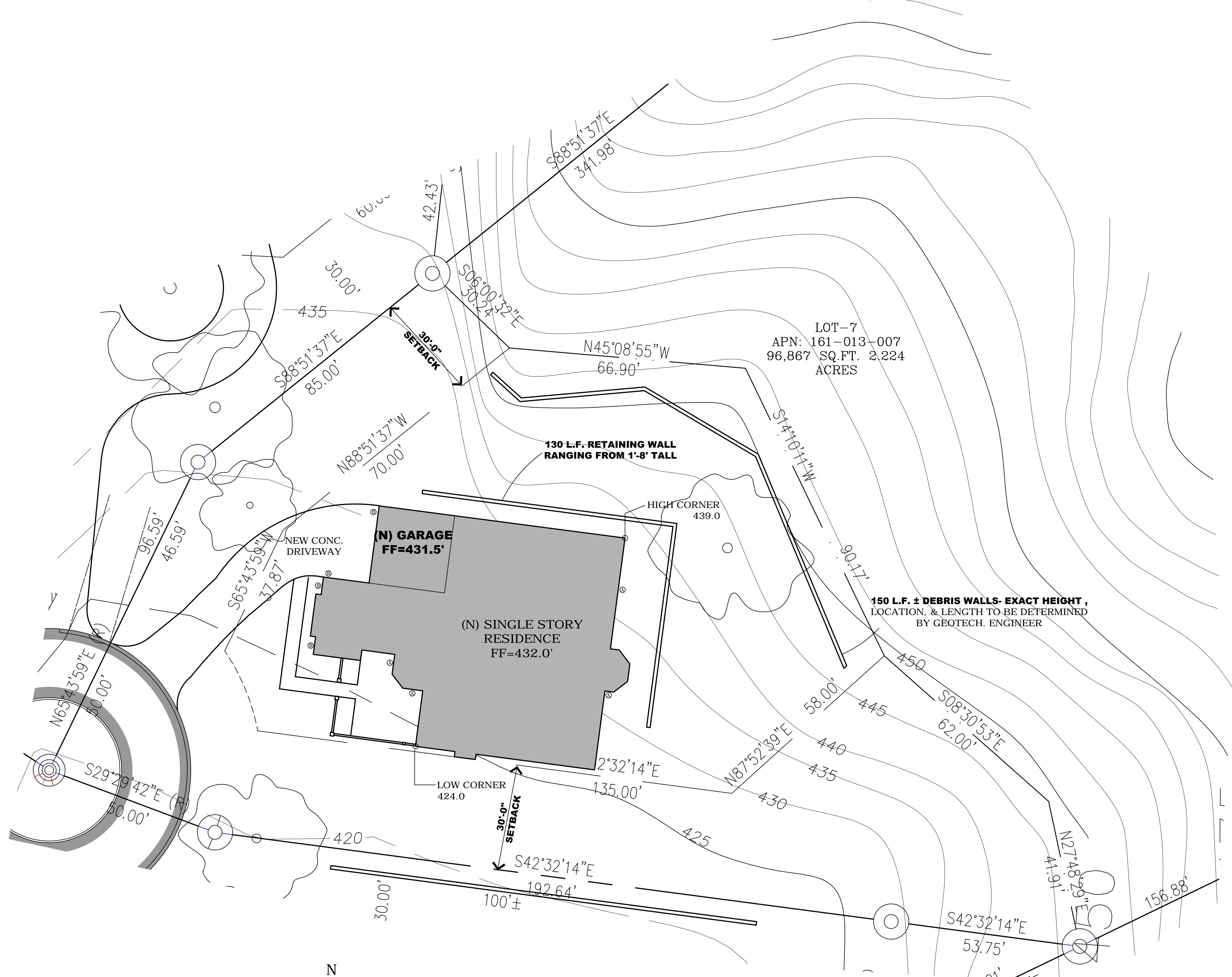
6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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LOT-7
 APN: 161-013-007
 96,867 SQ. FT. 2.224 ACRES

PARTIAL SITE PLAN
 1" = 16'-0"

SEE CIVIL SHEETS C1-C7 FOR
 GRADING, EROSION & SEDIMENT
 CONTROL, AND CONSTRUCTION
 MANAGEMENT PLAN

SEE SITE PLAN FOR EXTERIOR LIGHT LOCATIONS

MOUNT VERNON LED

OLDE BRONZE® FINISH OVER SOLID BRASS WITH ETCHED SEEDY GLASS

A | 9707 OZLED

B | 9708 OZLED

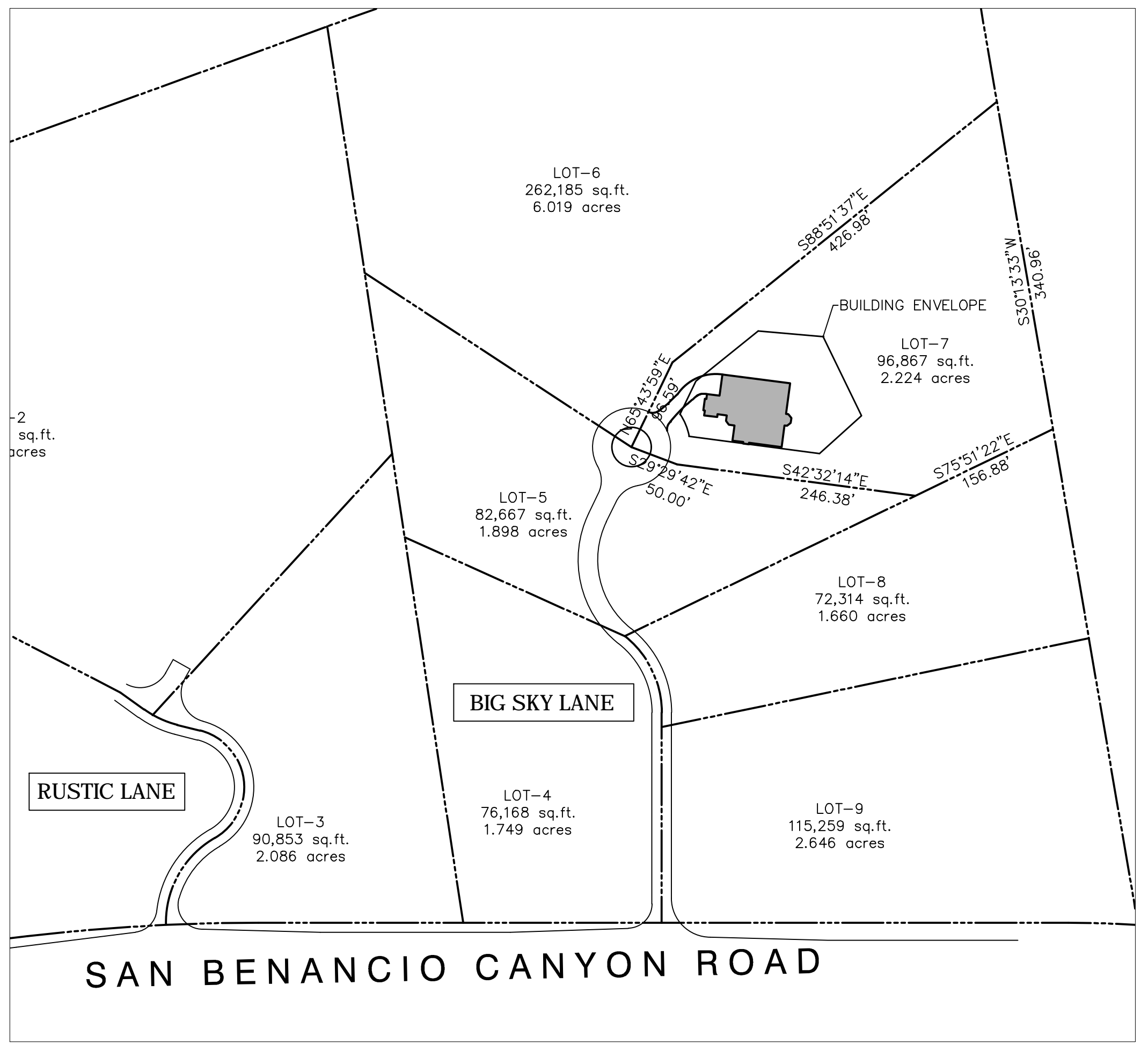
C | 9809 OZLED
Outdoor Pendant

E | 9909 OZLED
Post Lantern

LED ITEM #	FINISH	LIGHT SOURCE	W	H	OVRLL H	EXTRA WIRE	CHAIN/ STEM	EXT.	HCWO
B	9708 OZLED	OZ 9W	7.5	16.75	---	---	---	8.25	6.75
D	9709 OZLED	OZ 9W	9.5	19.5	---	---	---	10.25	7.25
A	9707 OZLED	OZ 9W	5.75	12.5	---	---	---	6.25	5.25
C	9809 OZLED	OZ 9W	9.5	18.5	93	28	72	---	---
E	9909 OZLED	OZ 9W	9.5	20.75	---	---	---	---	---

Measurements shown in inches.

LED OUTPUT	LED OUTPUT
9707 OZLED	584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9708 OZLED	584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9709 OZLED	584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9809 OZLED	584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life
9909 OZLED	584 Lumens, 9.9 Watts 3000 Kelvin, CRI 80, 40K Life



PROJECT NAME:
OAKS LOT 7
 15135 BIG SKY LANE
 SALINAS, CA.
 93908
 APN: 161-013-007
 JOB NUMBER: 2328

M

Moore Design Inc.

MOORE DESIGN Inc.
 RESIDENTIAL PLANNING &
 CONSTRUCTION ADMINISTRATION
 550 FIGUEROA STREET, SUITE B
 MONTEREY CA, 93940
 831.642.9732 FAX 831.401.3292
 john@mooredesign.org

DRAWING RECORD	
DESCRIPTION	ISSUED
PLS SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024
PRINT DATE:	5/23/2024

MEMBER

A |
 B |
 D

AMERICAN INSTITUTE of
 BUILDING DESIGN

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN Inc. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. No-sec. reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN Inc., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

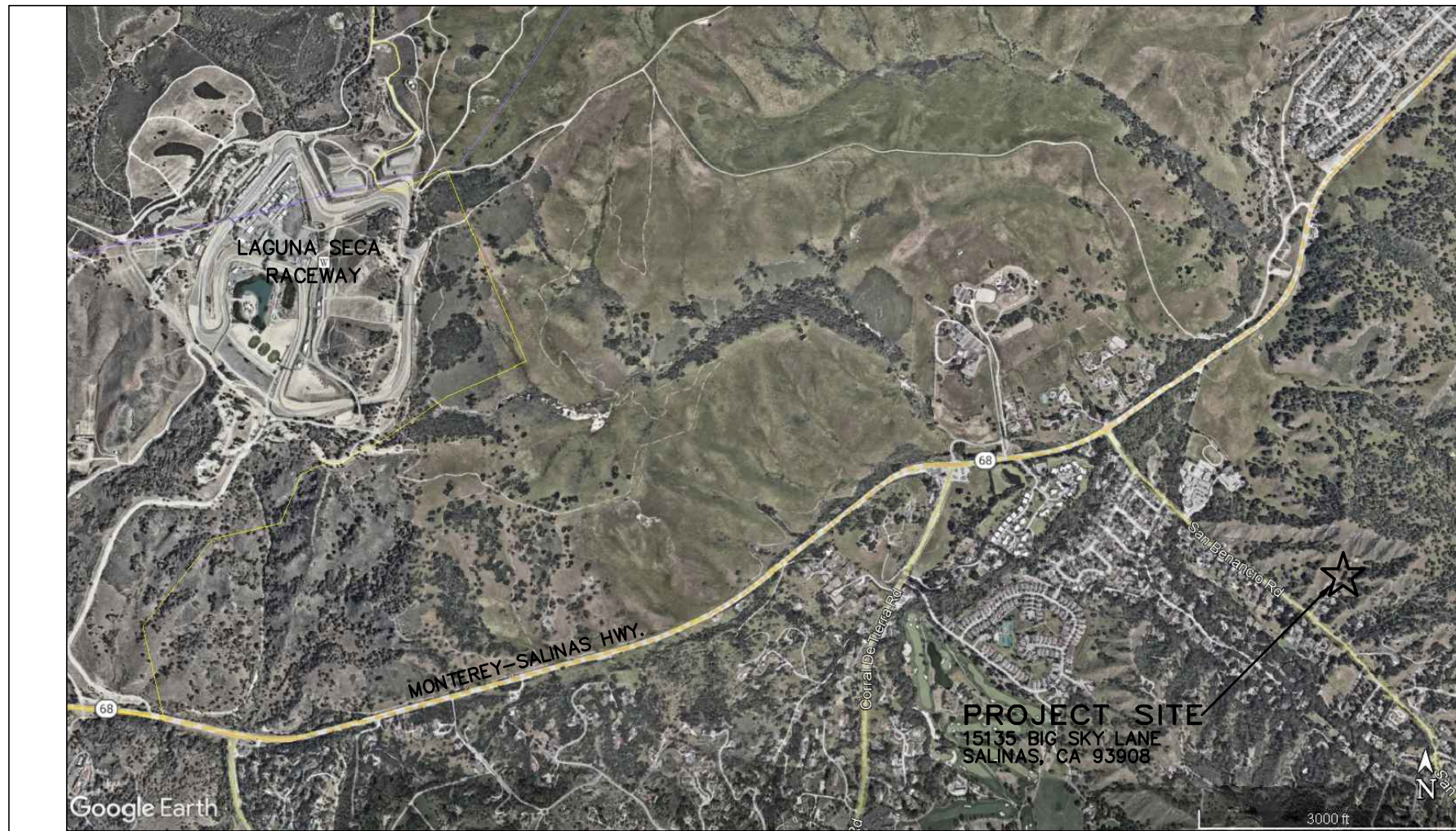
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:
SITE PLANS

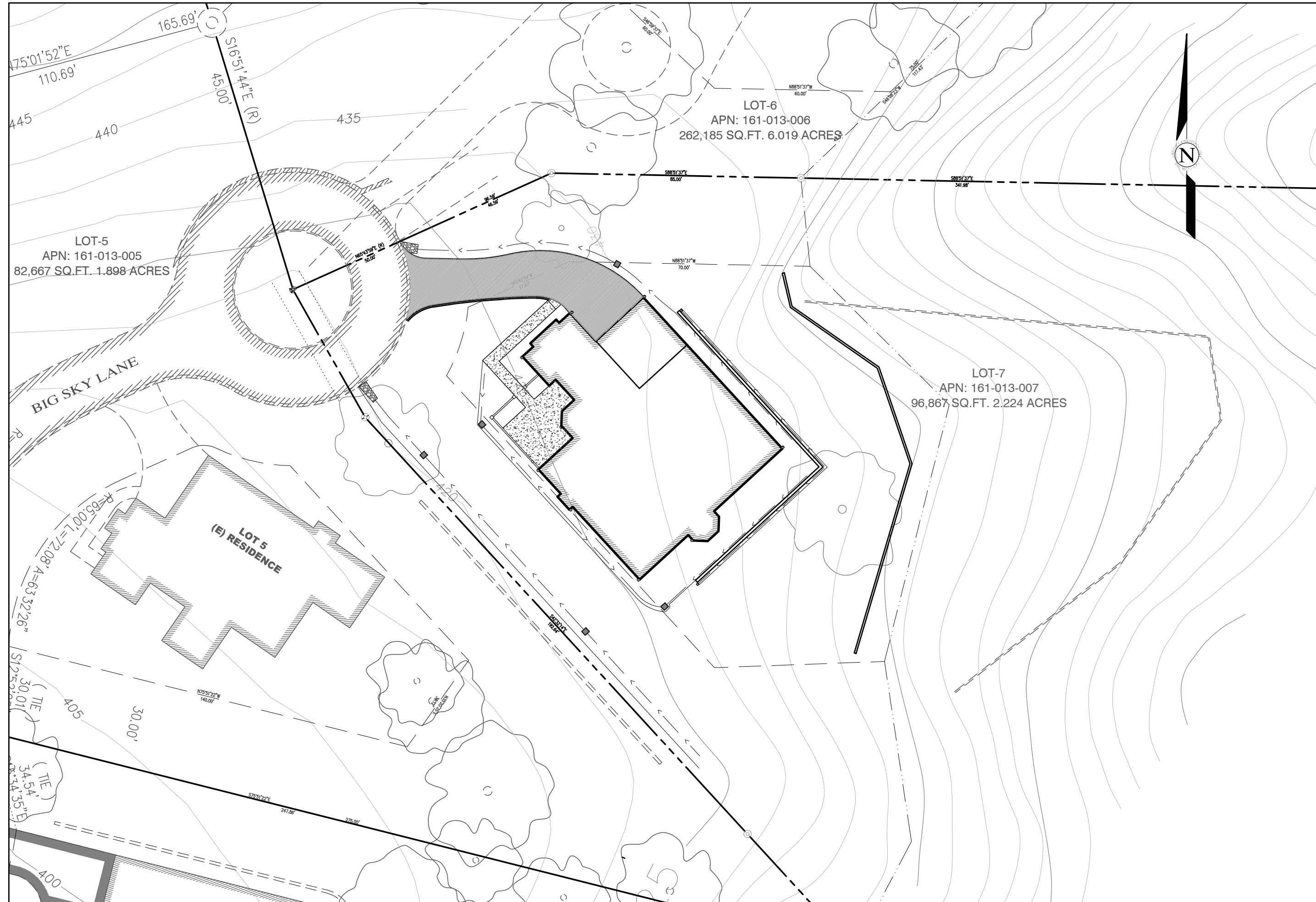
SHEET NUMBER:
A1.1

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
THE OAKS, LOT 7 RESIDENCE
APN: 161-013-007
SALINAS, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=30'

GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE OAKS LOT 7 RESIDENCE PREPARED BY MOORE DESIGN, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 3) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 395 C.Y. OF CUT AND 905 C.Y. OF FILL WITH AN IMPORT OF 510 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASE ROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASIN AND DISCHARGED TO AN EROSION CONTROL AND ENERGY DISSIPATOR. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- 12) STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- 13) SUBSURFACE DRAINAGE FOR RETAINING WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- 14) THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASIN SHALL BE "CHRISTY" PRODUCTS V64 WITH CAST IRON GRATE OR APPROVED EQUAL. AREA DRAINS SHALL BE "NDS" PRODUCTS ROUND SPEE-D WITH 8" SQUARE GRATE OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- 15) ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- 16) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- 17) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 18) NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- 19) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- 20) THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- 21) IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

TOTAL LOT AREA = 96,867 SQ.FT.
 TOTAL IMPERVIOUS AREA = 6,470 SQ.FT.
 TOTAL AREA OF DISTURBANCE = 14,140 SQ.FT.

DEVELOPMENT IN AREAS WITH SLOPE
 EQUAL TO OR GREATER THAN 25% = 133 SQ.FT.

GRADING QUANTITIES:
 CUT = 395 C.Y.
 FILL = 995 C.Y.
 NET = 600 C.Y. IMPORT

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BLDG	BUILDING	NO.	NUMBER
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	O.C.	ON CENTER
CB	CATCH BASIN	PL P/L	PROPERTY LINE
CL C/L	CENTERLINE	PVE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R/R	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV	ELEVATION	R.C.	RELATIVE COMPACTION
EP	EDGE OF PAVEMENT	REL	REINFORCED CONCRETE PIPE
EX (E)	EXISTING	RET	RETAINING WALL
FC	FACE OF CURB	SD	STORM DRAIN
FD	FACE OF DIKE	SHO	SHOULDER
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SS LAT	SANITARY SEWER LATERAL
FDC	FIRE DEPARTMENT CONNECTION	SSW	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	STA	STATION
FG F/C	FACE OF CURB	S/W	SIDEWALK
FL F/L	FACE OF WALL	TC	TOP OF CURB
FP	FINISHED PAD	TD	TOP OF DIKE
FW	FACE OF WALL	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GR	GRATE	UP	UTILITY POLE
HDPE	HIGH DENSITY POLYETHYLENE	W	WATER
HP	HIGH POINT	WS	WATER SERVICE
LF	LINEAR FEET		
LP	LOW POINT		
MAX	MAXIMUM		

STORM WATER CONTROL NOTES:

- 1) ALL WORK SHALL BE IN COMPLIANCE WITH THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, RESOLUTION No. R3-2013-0032, ATTACHMENT 1.
- 2) THIS PROJECT WILL CREATE AND/OR REPLACE 6,470 SQ.FT. OF IMPERVIOUS SURFACES (COLLECTIVELY OVER THE ENTIRE PROJECT).
- 3) PER POST-CONSTRUCTION REQUIREMENTS RESOLUTION R3-2013-0032, CHAPTER B, THIS PROJECT IS A REGULATED PROJECT PERFORMANCE REQUIREMENT No. 1 -SITE DESIGN AND RUNOFF REDUCTION.
- 4) SEE SHEET C5 FOR HCD SITE DESIGN AND RUNOFF REDUCTION CHECKLIST.

LEGEND:

NEW:

	MAJOR CONTOUR LINE (5' INTERVAL)
	MINOR CONTOUR LINE (1' INTERVAL)
	DRAINAGE SWALE FLOW LINE
	STORM DRAIN LINE
	RAIN-WATER LEADER
	SUBDRAIN PIPE
	SPOT ELEVATION
	ROOF DOWNSPOUT/SPLASH BLOCK
	ASPHALT CONCRETE SURFACE
	PORTLAND CEMENT CONCRETE SURFACE
	MAIN FLOOR HOUSE FOOTPRINT
	ROCK RIP/RAP
	SLOPE 25% OR GREATER

NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Base rock subgrade compaction	Soil's Engineer	Prior to pavement installation		

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS
SHEET C5	STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

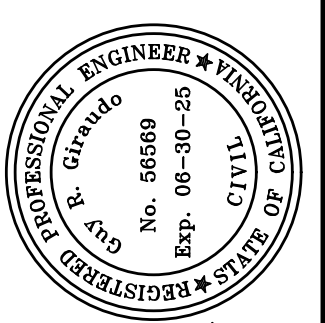
CONTACT INFORMATION:

PRIMARY - OWNER
 MR. RAY HARROD, JR.
 365 VICTOR STREET
 SALINAS, CA 93907

SECONDARY - ARCHITECT
 MOORE DESIGN
 ATTN: MR. JOHN MOORE
 550 FIGUEROA ST., SUITE B
 MONTEREY, CA 93940
 PH (831)642-9732

SITE LOCATION:
 15135 BIG SKY LANE
 SALINAS, CA 93908

No.	DATE	BY	REVISION
05/20/24	AMS	HCD MO.CO.	COMMENTS
03/28/24	AMS	SLOPE ANALYSIS	
08/31/23	AMS	RELEASED TO CLIENT	



APPROVED BY:

 GUY R. GIRARDI



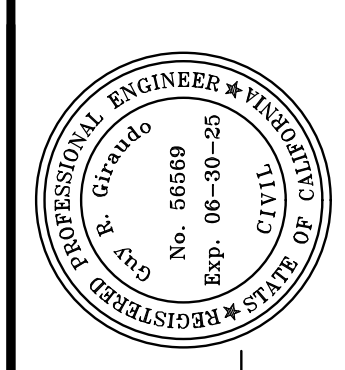
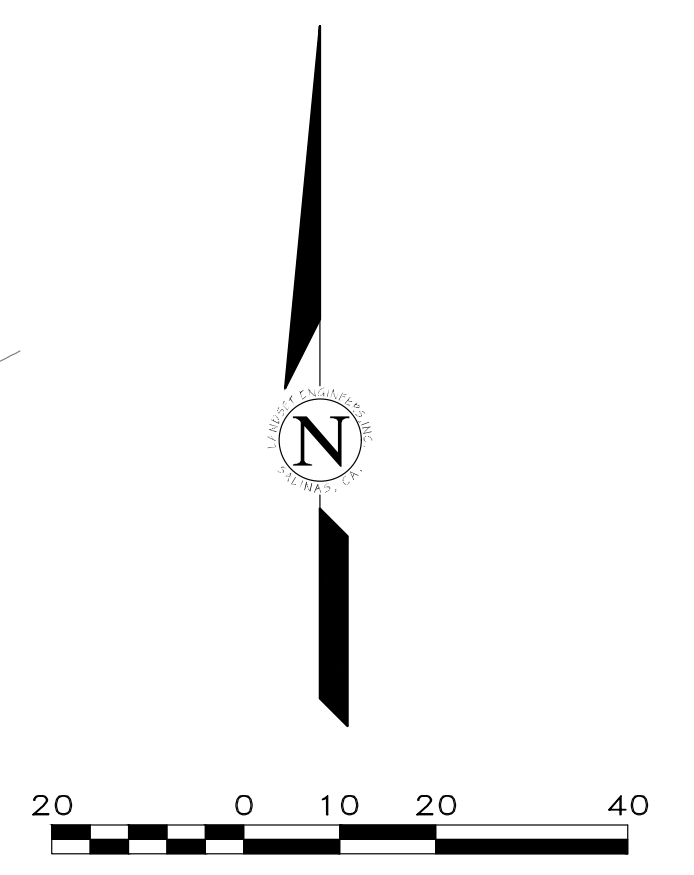
GRADING, DRAINAGE & EROSION CONTROL PLAN

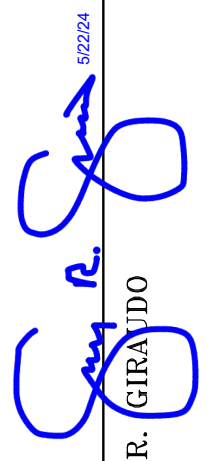
THE OAKS, LOT 7 RESIDENCE
 A.P.N.: 161-013-007
 SALINAS, MONTEREY COUNTY, CALIFORNIA
 FOR MR. RAY HARROD, JR.

COVER SHEET "

SCALE: AS SHOWN
 DATE: JULY 2023
 JOB NO. 2639-01

SHEET **C1**
 OF 7 SHEETS



APPROVED BY:

 GUY R. GIRA, P.E.
 CIVIL ENGINEER



" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

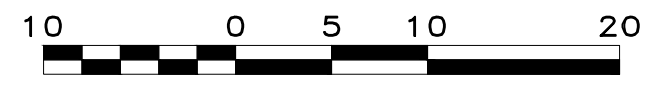
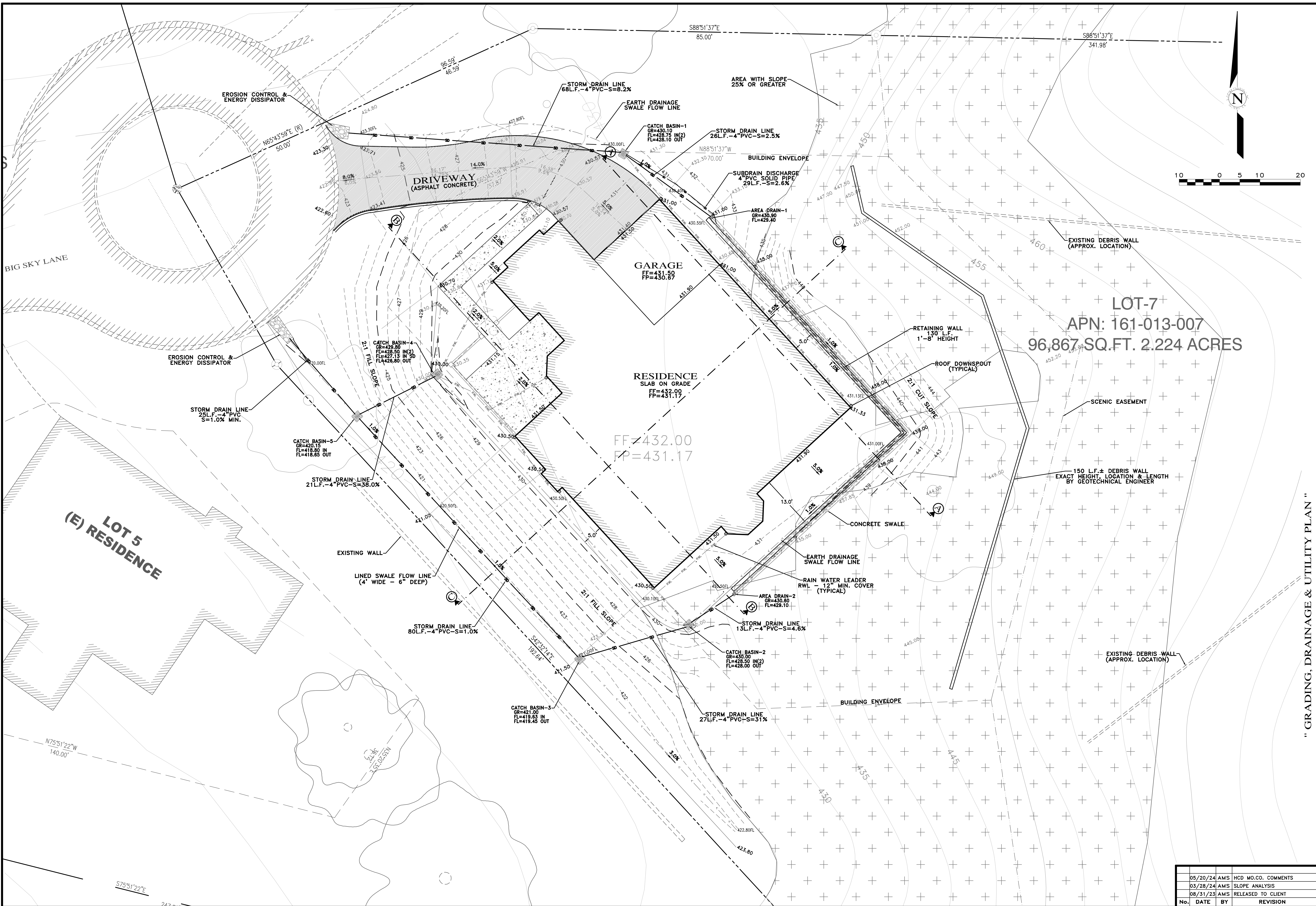
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
THE OAKS, LOT 7 RESIDENCE
 A.P.N.: 161-013-007
 SALINAS, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. RAY HARROD, JR.

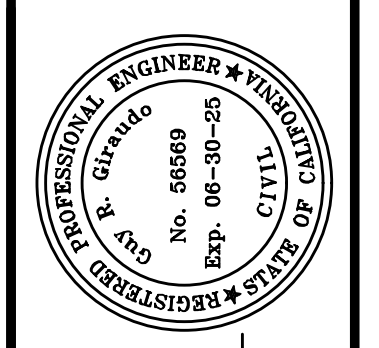
SCALE: 1"=10'
 DATE: JULY 2023
 JOB NO. 2639-01

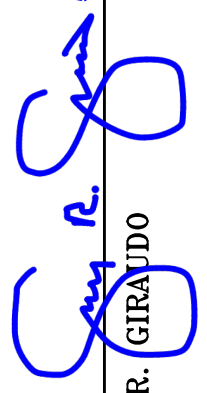
No.	DATE	BY	REVISION
05/20/24	AMS	HCD MO.CO.	COMMENTS
03/28/24	AMS		SLOPE ANALYSIS
08/31/23	AMS		RELEASED TO CLIENT

SHEET **C2**
 OF 7 SHEETS



LOT-7
 APN: 161-013-007
 96,867 SQ.FT. 2.224 ACRES



APPROVED BY:

 GUY R. GIRARDO



" GRADING, DRAINAGE & UTILITY PLAN "

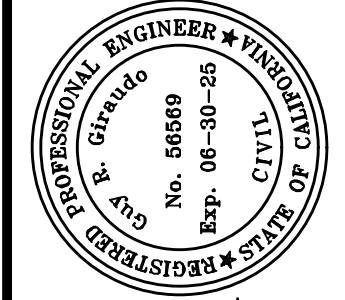
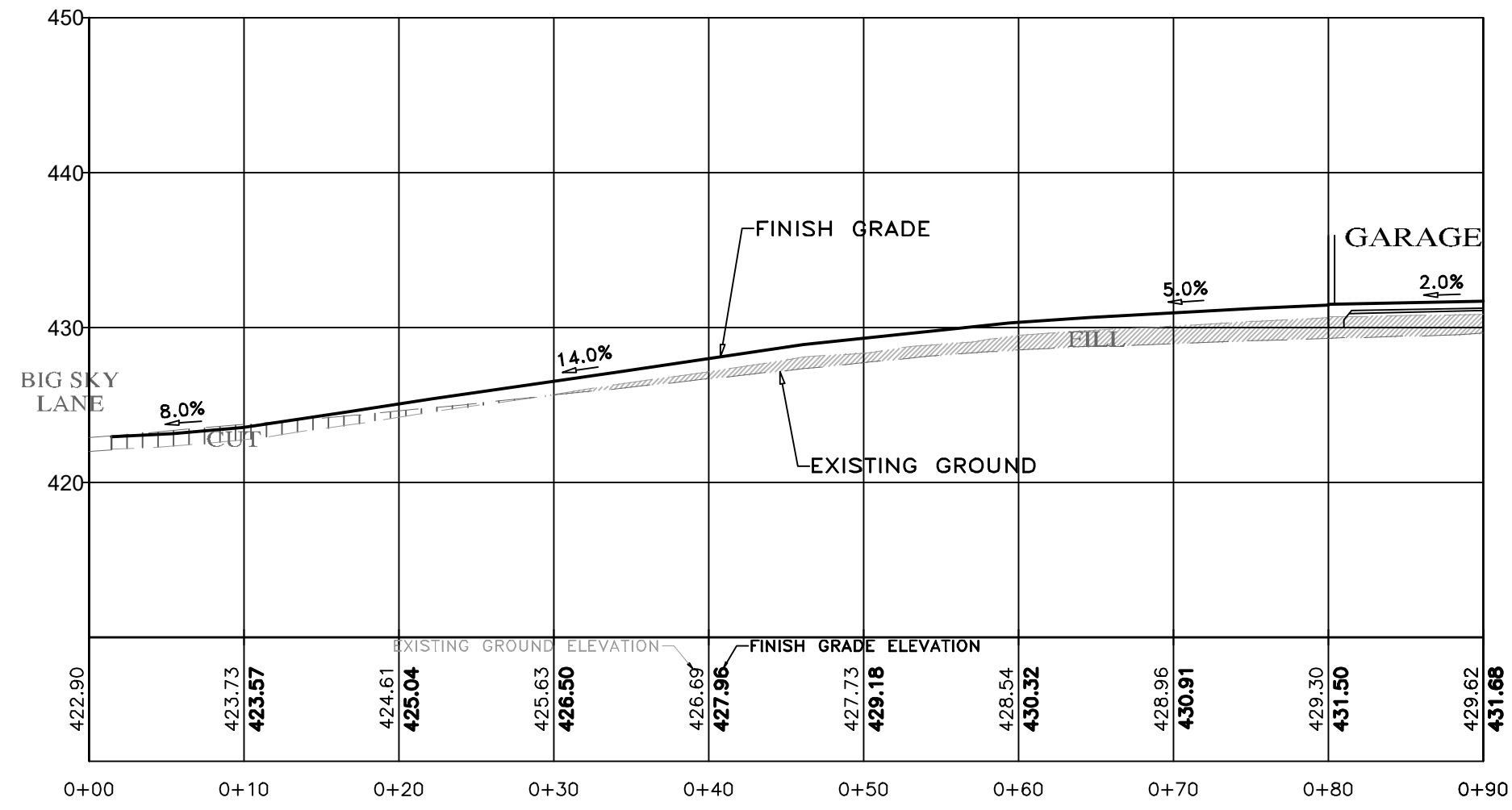
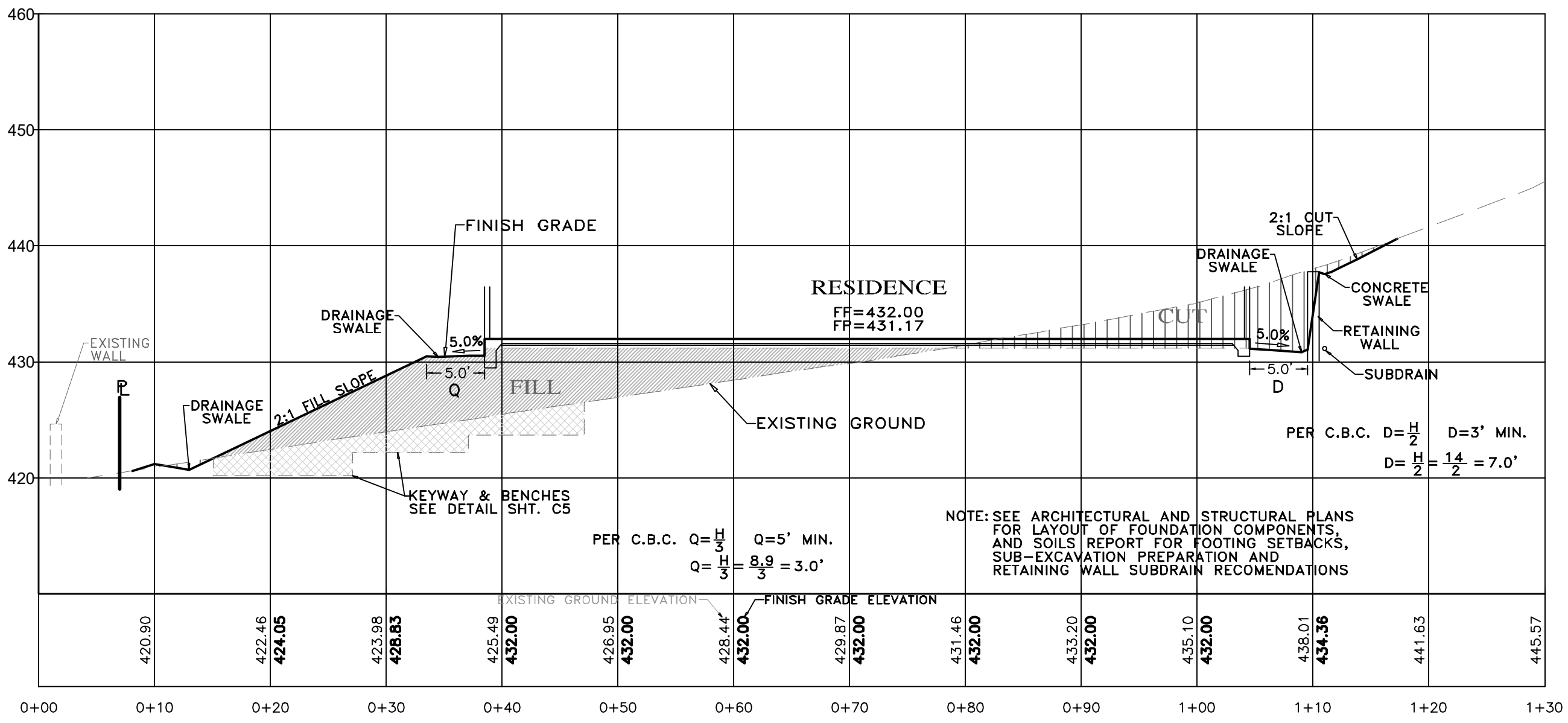
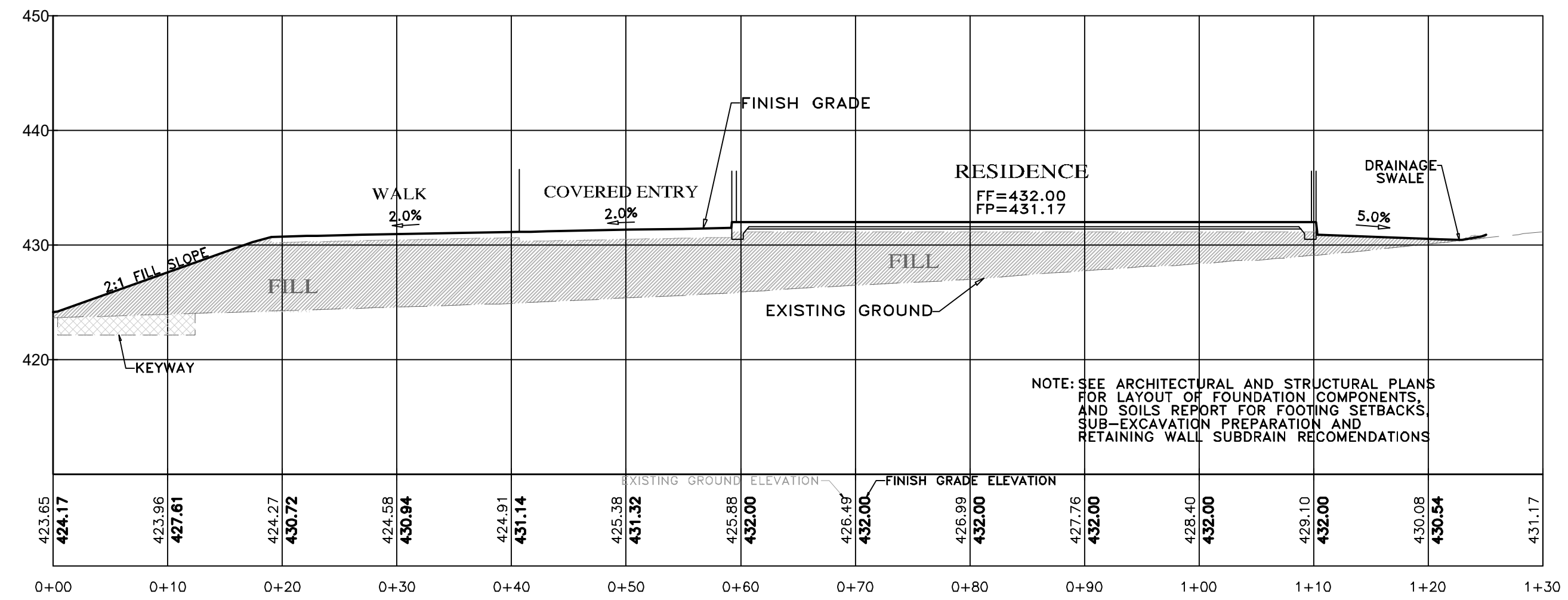
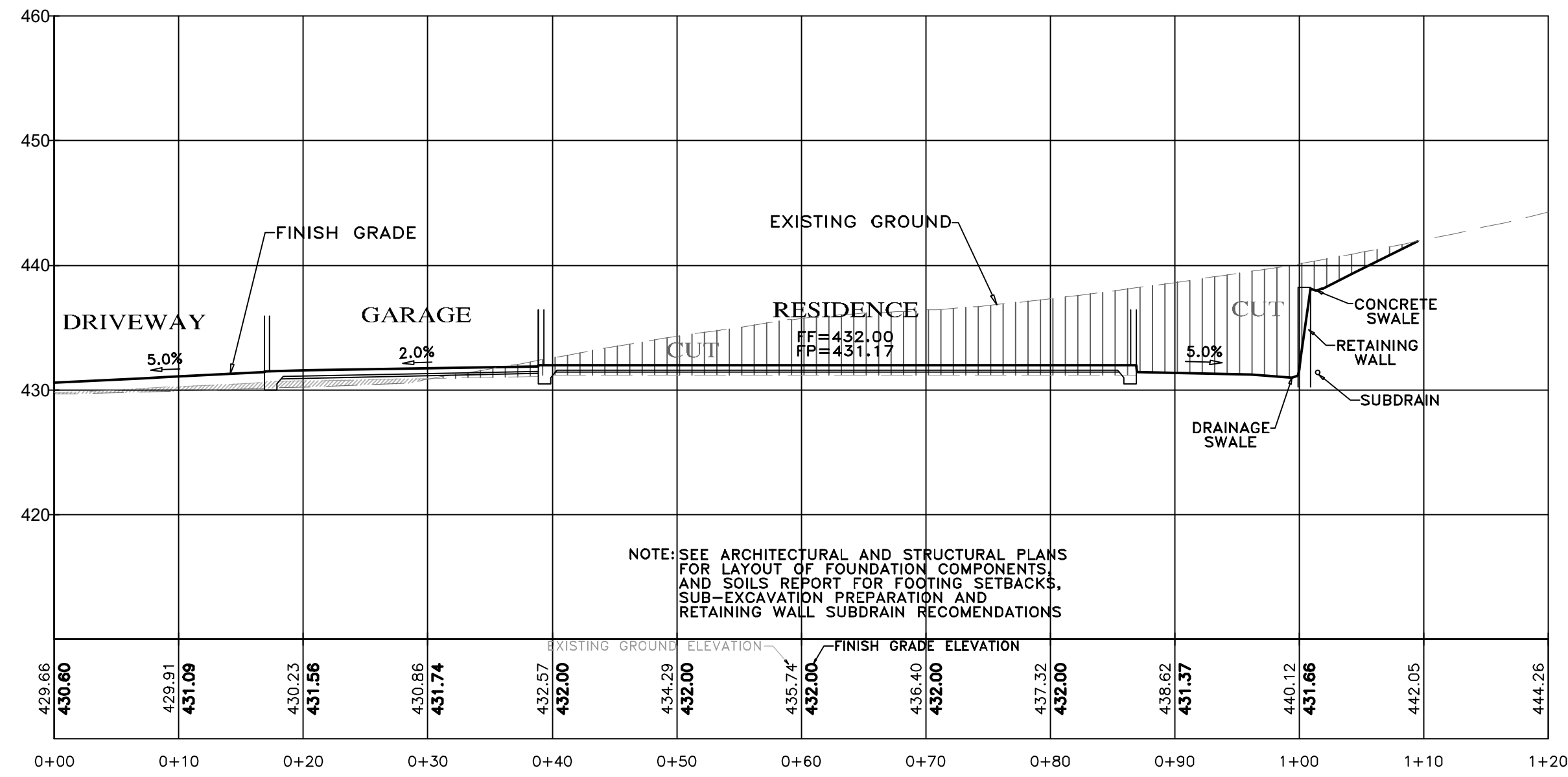
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
 THE OAKS, LOT 7 RESIDENCE
 A.P.N.: 161-013-007
 SALINAS, MONTEREY COUNTY, CALIFORNIA
 FOR
 MR. RAY HARROD, JR.

SCALE: 1"=10'
 DATE: JULY 2023
 JOB NO. 2639-01

No.	DATE	BY	REVISION
05/20/24	AMS	HCD MO.CO.	COMMENTS
03/28/24	AMS		SLOPE ANALYSIS
08/31/23	AMS		RELEASED TO CLIENT

SHEET **C3**
 OF 7 SHEETS

L:\PROJ\4639-THE OAKS L7\4639-CIVIL\DWG\4639-CDS\CP.DWG/244363



APPROVED BY:
GUY R. GIRARDO
52298



" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
THE OAKS, LOT 7 RESIDENCE
A.P.N.: 161-013-007
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. RAY HARROLD, JR.

SCALE: 1"=5' H&V
DATE: JULY 2023
JOB NO. 2639-01

No.	DATE	BY	REVISION
05/20/24	AMS	HCD MO.CO.	COMMENTS
03/28/24	AMS		SLOPE ANALYSIS
08/31/23	AMS		RELEASED TO CLIENT

SHEET C4
OF 7 SHEETS



Site Design and Runoff Reduction Checklist

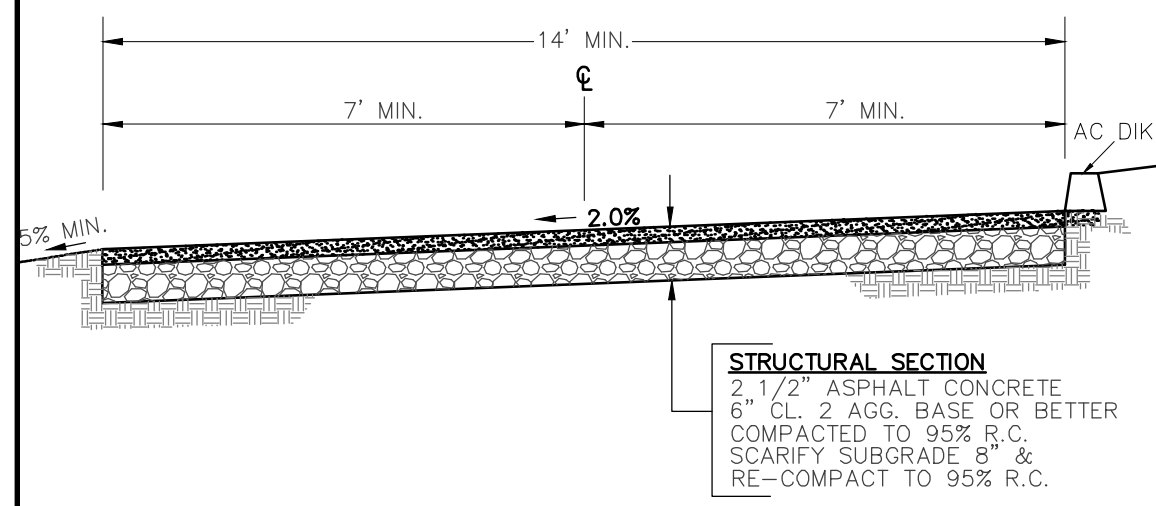
Site Design and Runoff Reduction
Projects that create and/or replace > 2,500 square feet of impervious surface, collectively over the entire project site, including detached single-family home projects, shall implement all of the following design strategies in the design of the project:

- Implemented
 - Limited disturbance of creeks and natural drainage features
 - Minimized compaction of highly permeable soils
 - Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
 - Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state
- And must minimize stormwater runoff by implementing one or more of the following site design measures:

- Implemented
 - Directed roof runoff into cisterns or rain barrels for reuse
 - Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

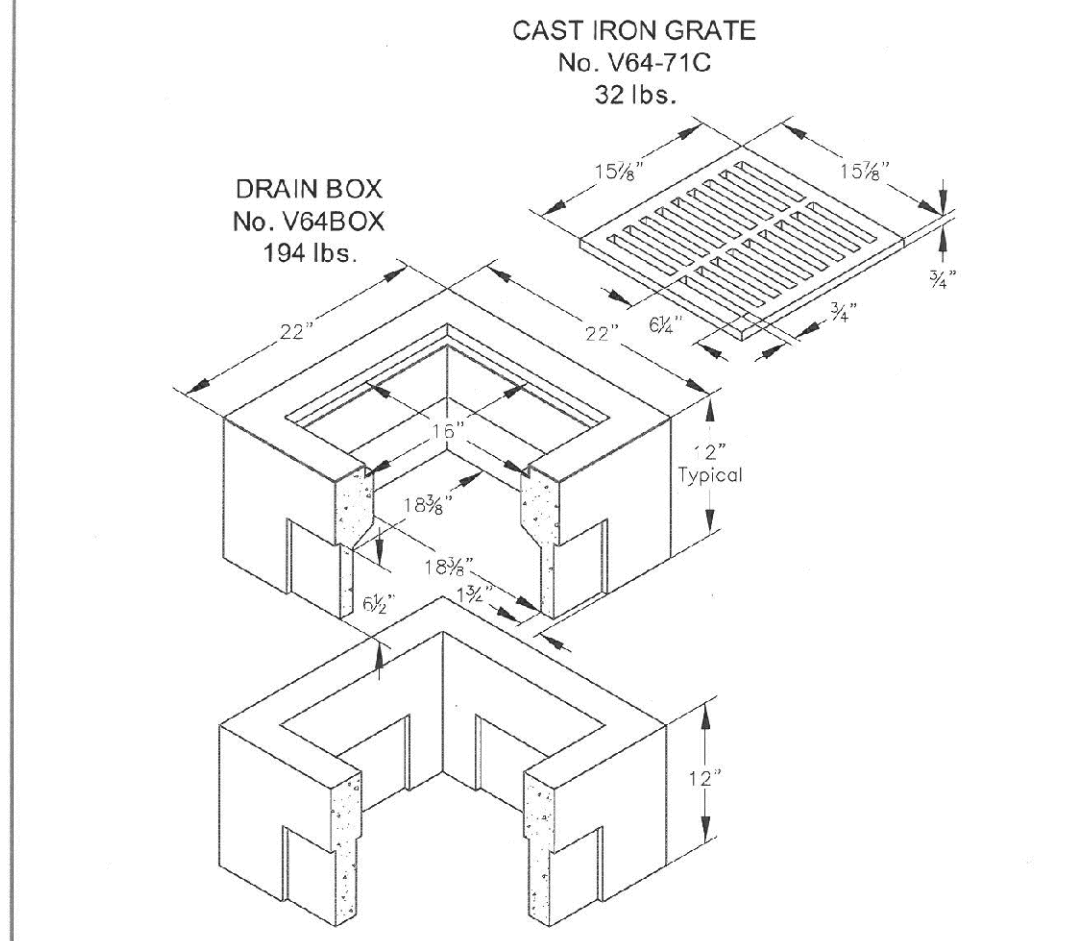
Property Owner/Agent Name: MR. RAY HARROD, JR. Date Prepared: 05/20/2024

Property Owner/Agent Signature: _____ Permit File Number: _____



STRUCTURAL SECTION
2.1/2" ASPHALT CONCRETE
6" CL. 2 AGG. BASE OR BETTER
COMPACTED TO 95% R.C.
SCARIFY SUBGRADE 8" &
RE-COMPACT TO 95% R.C.

PAVEMENT TYPICAL SECTION
NOT TO SCALE

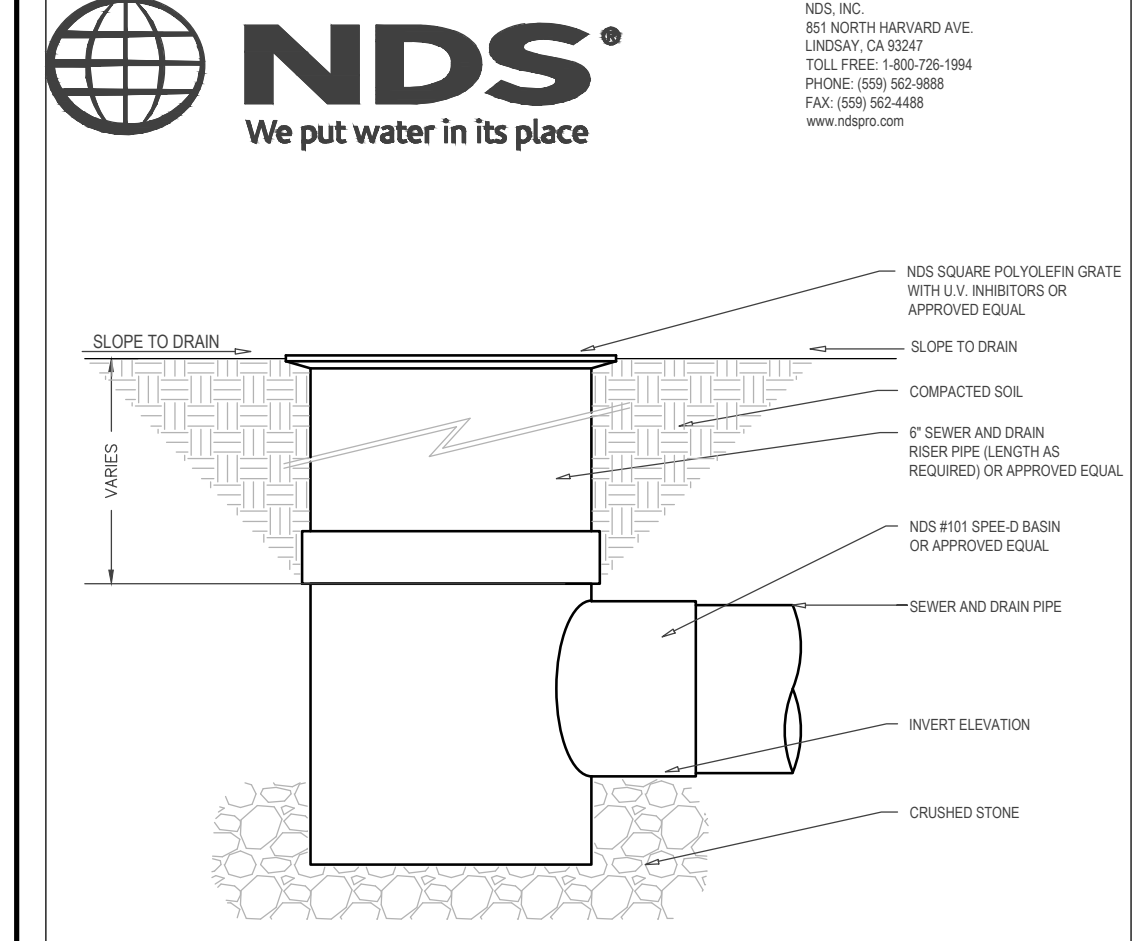


Ordering Code	Item	Approx. Shipping Weight	Description
V64-71C	GRATE	32	Cast iron
V64X12	EXTENSION	132	12" Reinforced concrete - 12 per pallet

Oldcastle Precast
Enclosure Solutions
14000 HWY 99/99th St, Fremont, CA 94555
Phone: (800) 366-7171 Fax: (510) 481-8904
www.oldcastleprecast.com

V64 DRAIN BOX
FILE NAME: V64_SD
ISSUE DATE: January 2009

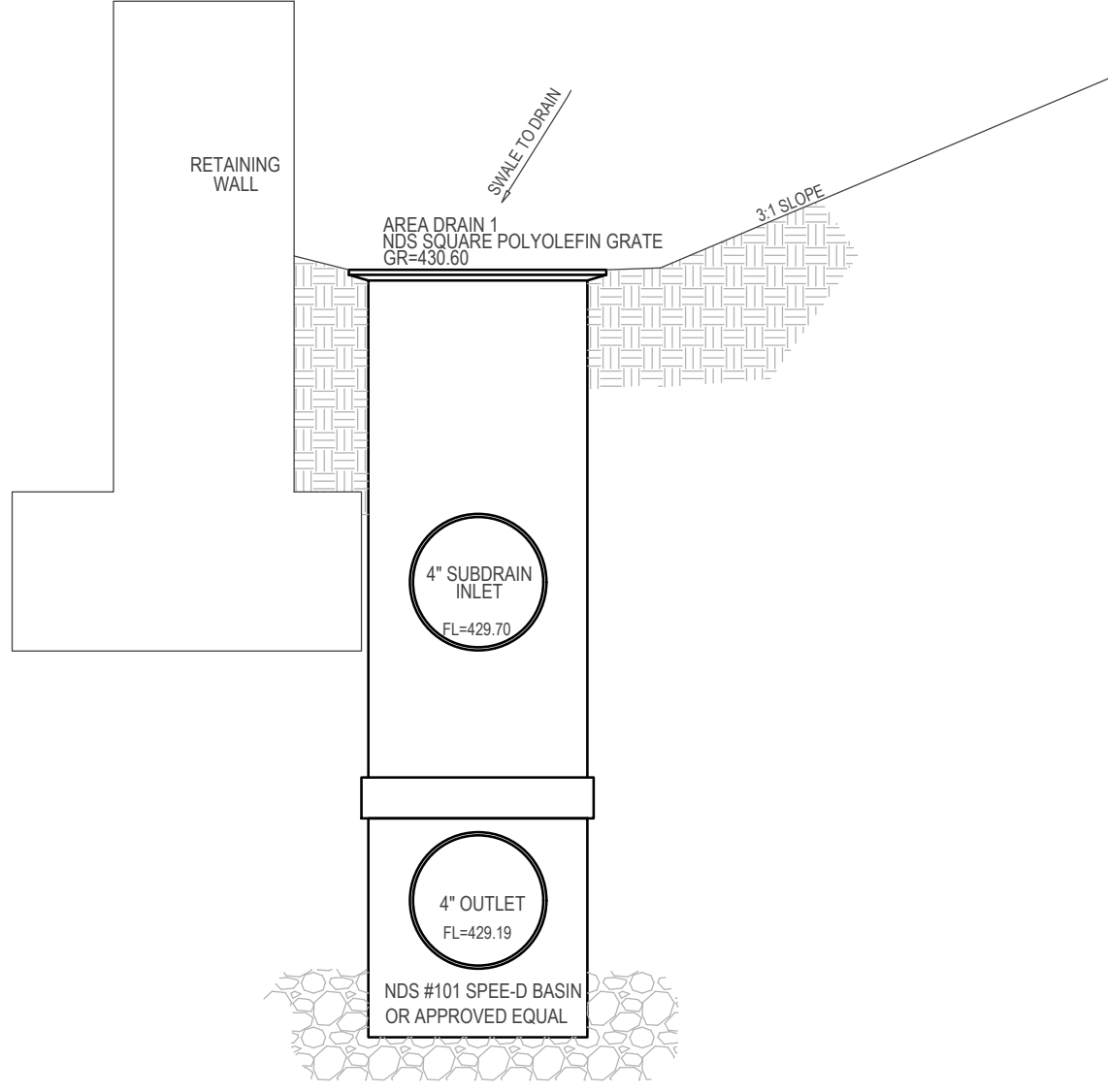
V64 DRAIN BOX
18-3/8" x 18-3/8"
Christy



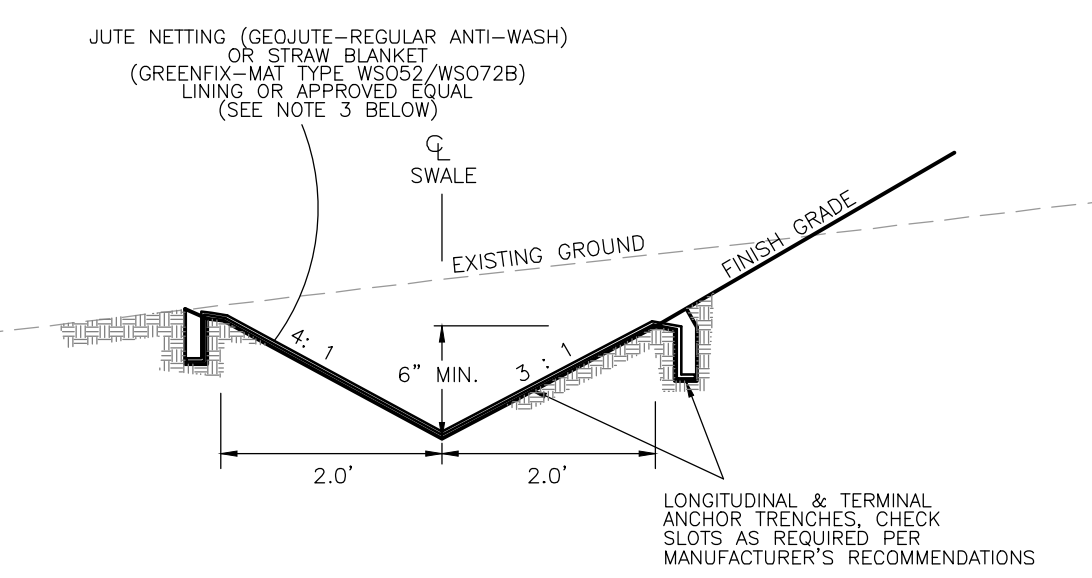
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

ROUND SPEED-D BASINS
SQUARE GRATE WITH SPEED-D BASIN

NDS
KEY COMPONENT

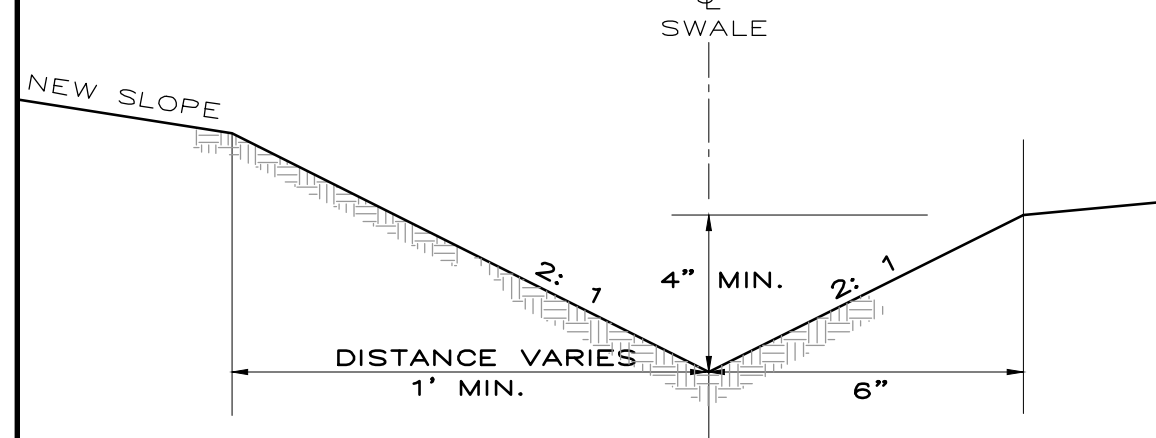


RETAINING WALL SUBDRAIN OUTLET
NOT TO SCALE



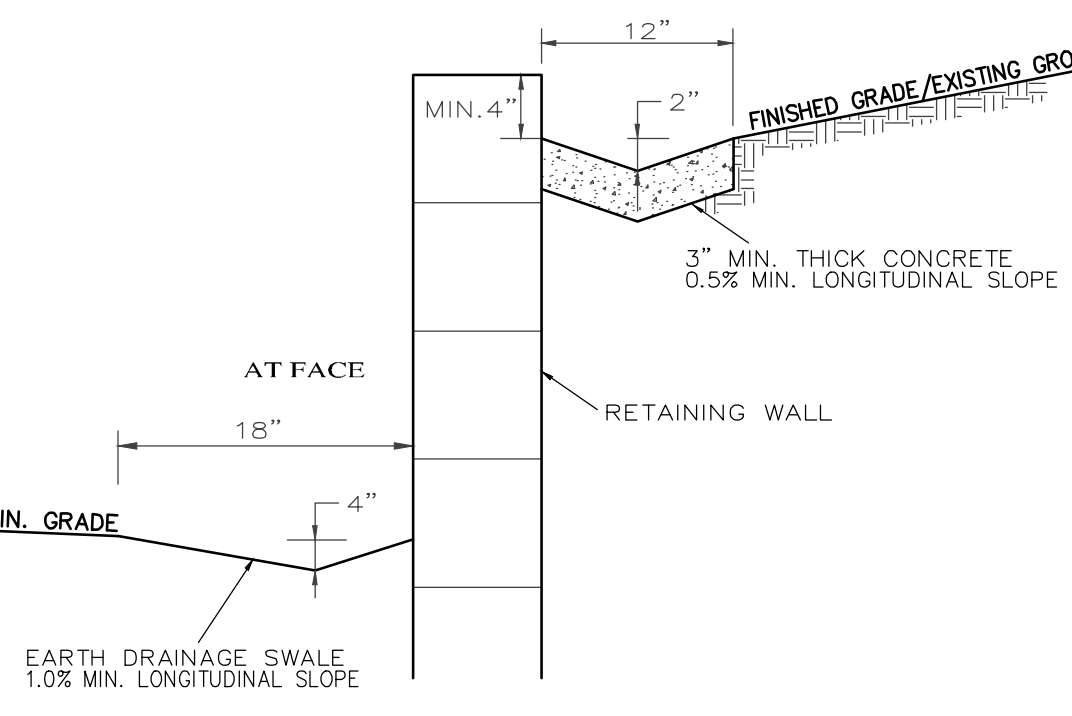
NOTES:
1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0% OR GREATER THAN 20%
2) THE SWALE SHALL BE REVEGETATED WITH A HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3) IF THE SWALE DOES NOT HAVE ADEQUATE GROWTH ESTABLISHED PRIOR TO THE ONSET OF THE WINTER SEASON, OCTOBER 15, IT SHALL BE LINED WITH JUTE NETTING OR STRAW BLANKETS AND PROPERLY SECURED (ANCHORED & FASTENED) AS OUTLINED FOR THE MANUFACTURER'S GUIDELINES AND SPECIFICATIONS IN ORDER TO FUNCTION PROPERLY AND PREVENT ACCELERATED EROSION.
4) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.

LINED SWALE
NOT TO SCALE

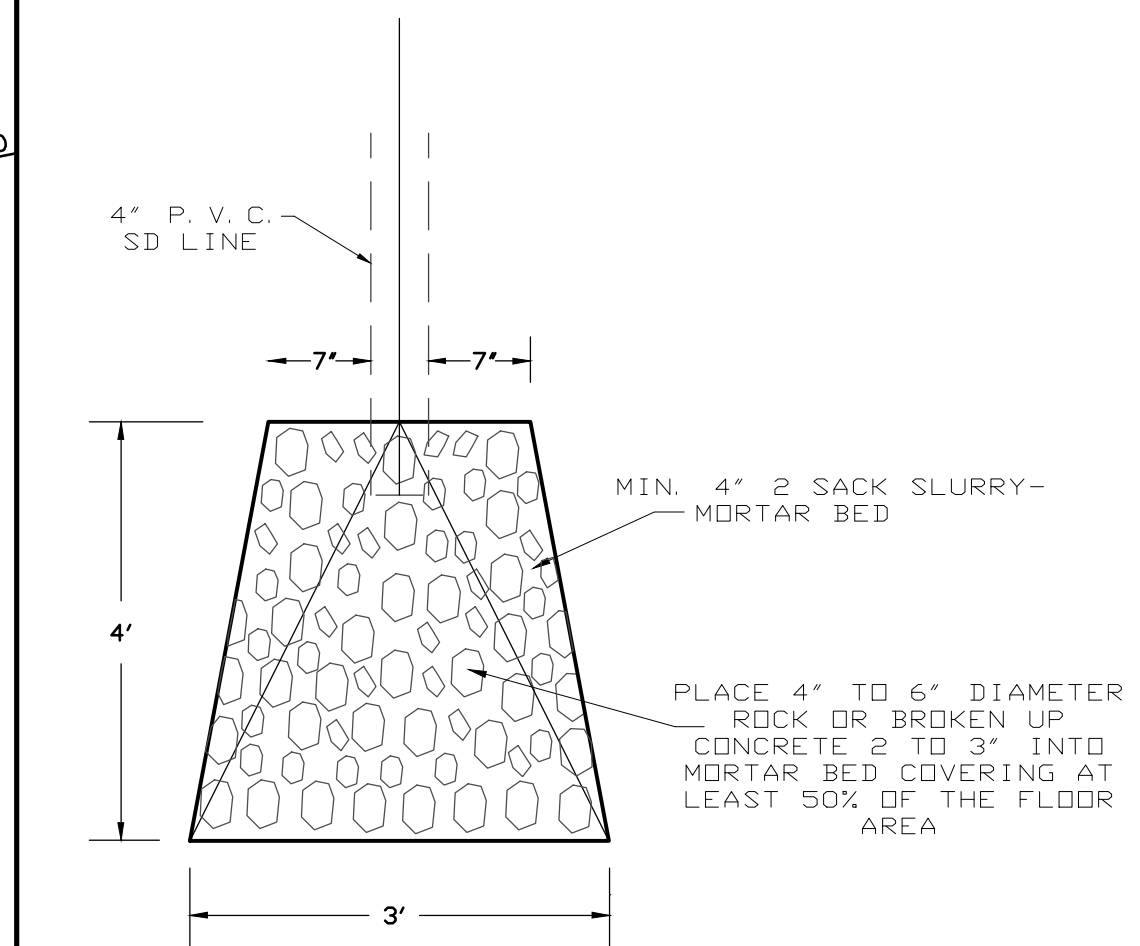


NOTES:
1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0%
2) THE SWALE SHALL BE REVEGETATED WITH A HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH AND/OR SILTATION.

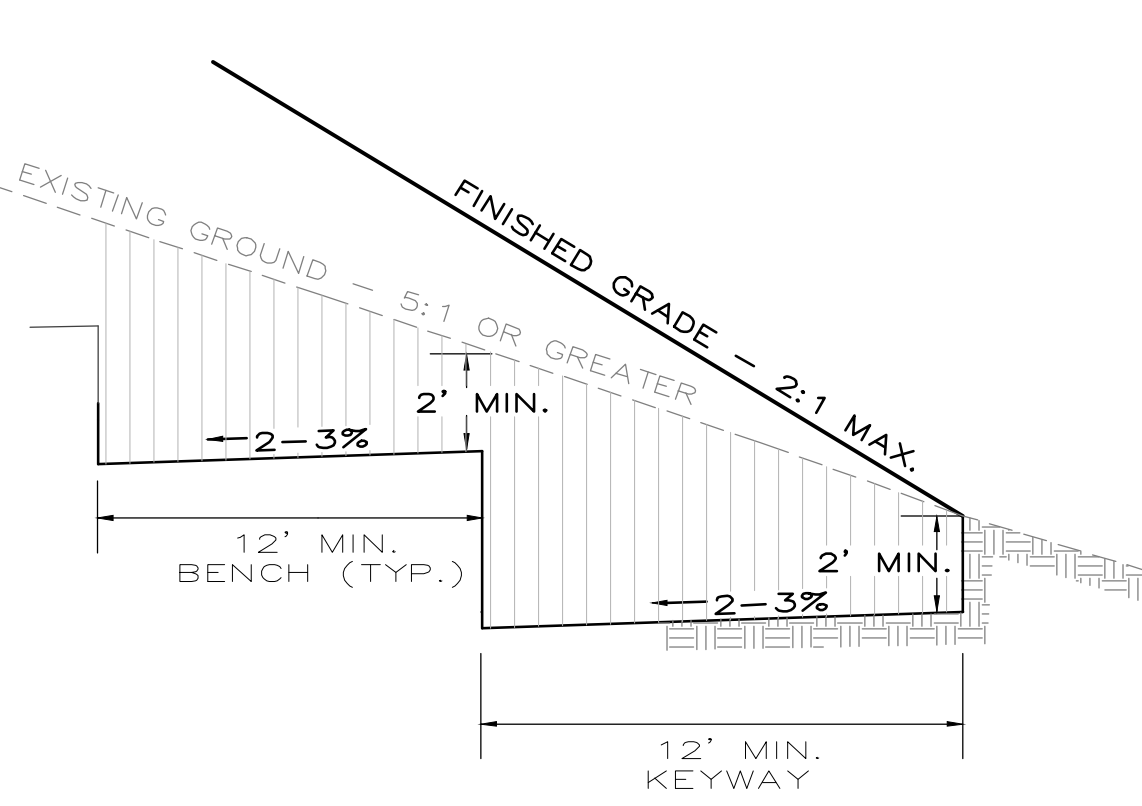
EARTH DRAINAGE SWALE
NOT TO SCALE



SWALES AT RETAINING WALL
NOT TO SCALE



EROSION CONTROL & ENERGY DISSIPATOR
NOT TO SCALE



KEYWAY & BENCH DETAIL
NOT TO SCALE

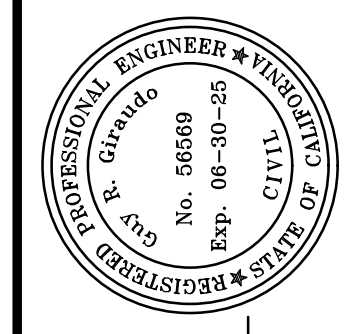
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APPROVED BY:
Erik V. Lundquist
ERIK V. LUNDQUIST
CIVIL

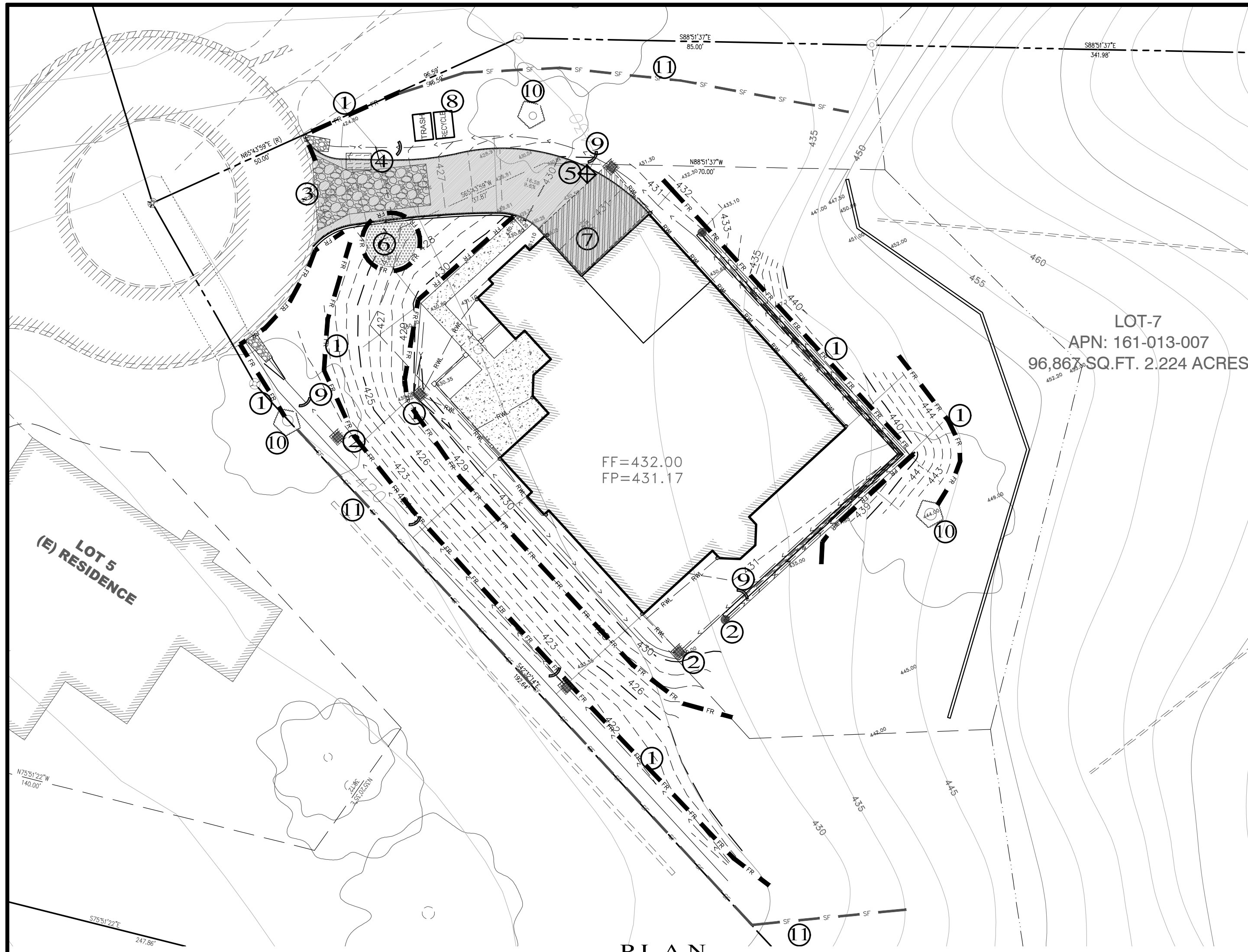


" STANDARD PLANS & CONSTRUCTION DETAILS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
THE OAKS, LOT 7 RESIDENCE
A.P.N.: 161-013-007
FOR
SALINAS, MONTEREY COUNTY, CALIFORNIA
MR. RAY HARROD, JR.

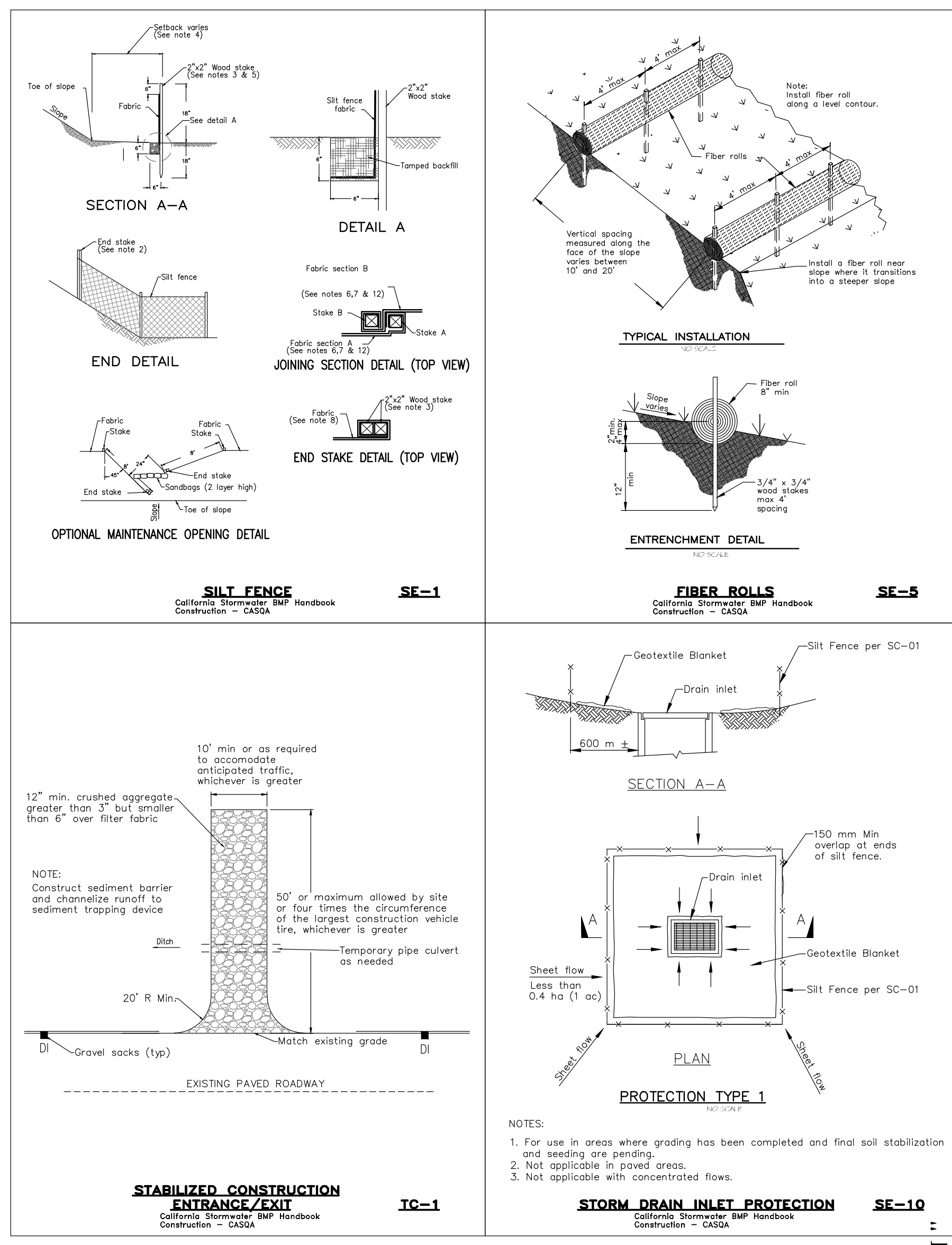
05/20/24	AMS	HCD MO.CO.	COMMENTS	SHEET	C5	
03/28/24	AMS	SLOPE ANALYSIS	OF			7
08/31/23	AMS	RELEASED TO CLIENT				
No.	DATE	BY	REVISION			



PLAN
SCALE: 1"=20'

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYNIA GLAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRUMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



LEGEND:

1. FR: FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DI: DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. SC: STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CW: CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SW: SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. SM: STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX" TREATED WOOD AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. SA: CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. TRASH/RECYCLE: WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GBCD: GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TP: TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
11. SF: SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose

Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or waterreuses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMP's in this section.

Stockpile Management WM-3

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose

Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so-called "cold mix" asphalt), and pressure treated wood.

Hazardous Waste Management WM-6

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose

Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Sanitary/Septic Waste Management WM-9

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose

Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Solid Waste Management WM-5

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Description and Purpose

Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Preservation Of Existing Vegetation EC-2

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Description and Purpose

Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

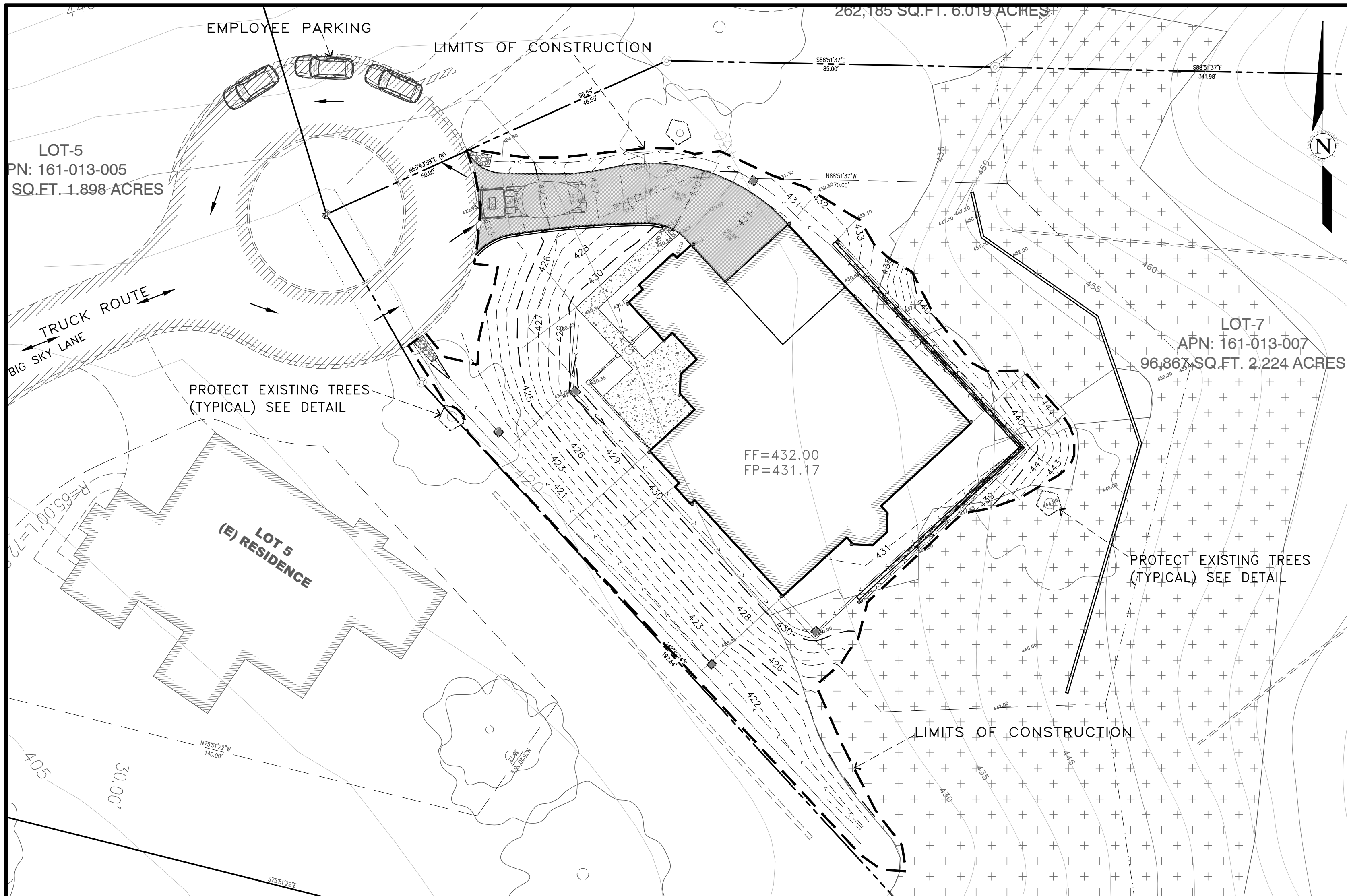
APPROVED BY:
GUY R. GIRA, D.O.
PROFESSIONAL ENGINEER #11111
CITY OF MONTEREY
No. 66666
Exp. 06-30-25

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
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www.landseteng.com

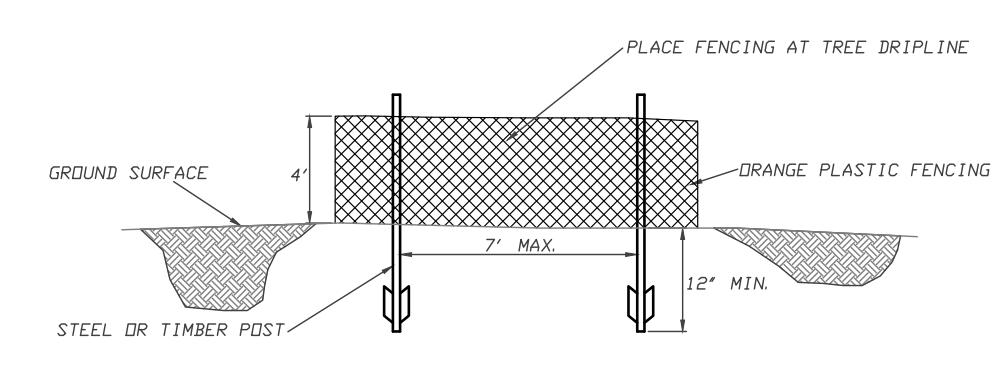
EROSION & SEDIMENT CONTROL PLAN
OF
THE OAKS, LOT 7 RESIDENCE & EROSION CONTROL PLAN
A.P.N.: 161-013-007
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. RAY HARROD, JR.

SCALE: AS SHOWN
DATE: JULY 2023
JOB NO. 2639-01
SHEET **C6**
OF 7 SHEETS

No.	DATE	BY	REVISION
05/20/24	AMS		HCD MO.CO. COMMENTS
03/28/24	AMS		SLOPE ANALYSIS
08/31/23	AMS		RELEASED TO CLIENT



PLAN
SCALE: 1"=20'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
395 CY CUT
995 CY FILL

- CONSTRUCTION STAGING:**
- A. MOBILIZE, CLEAR & GRAB.
 - B. SITE GRADING.
 - C. UTILITY INSTALLATION.
 - D. CONSTRUCT STRUCTURE.
 - E. INSTALL PAVEMENT AND LANDSCAPING.
 - F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE BIG SKY LANE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM THE HIGHWAY 68 TO SAN BENANCIO ROAD TO BIG SKY LANE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE ON THE BIG SKY LANE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B & C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE THE BIG SKY LANE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE BIG SKY LANE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	3	2
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	30	4
TOTALS	34	7

TRUCK TRIP GENERATION NOTES:

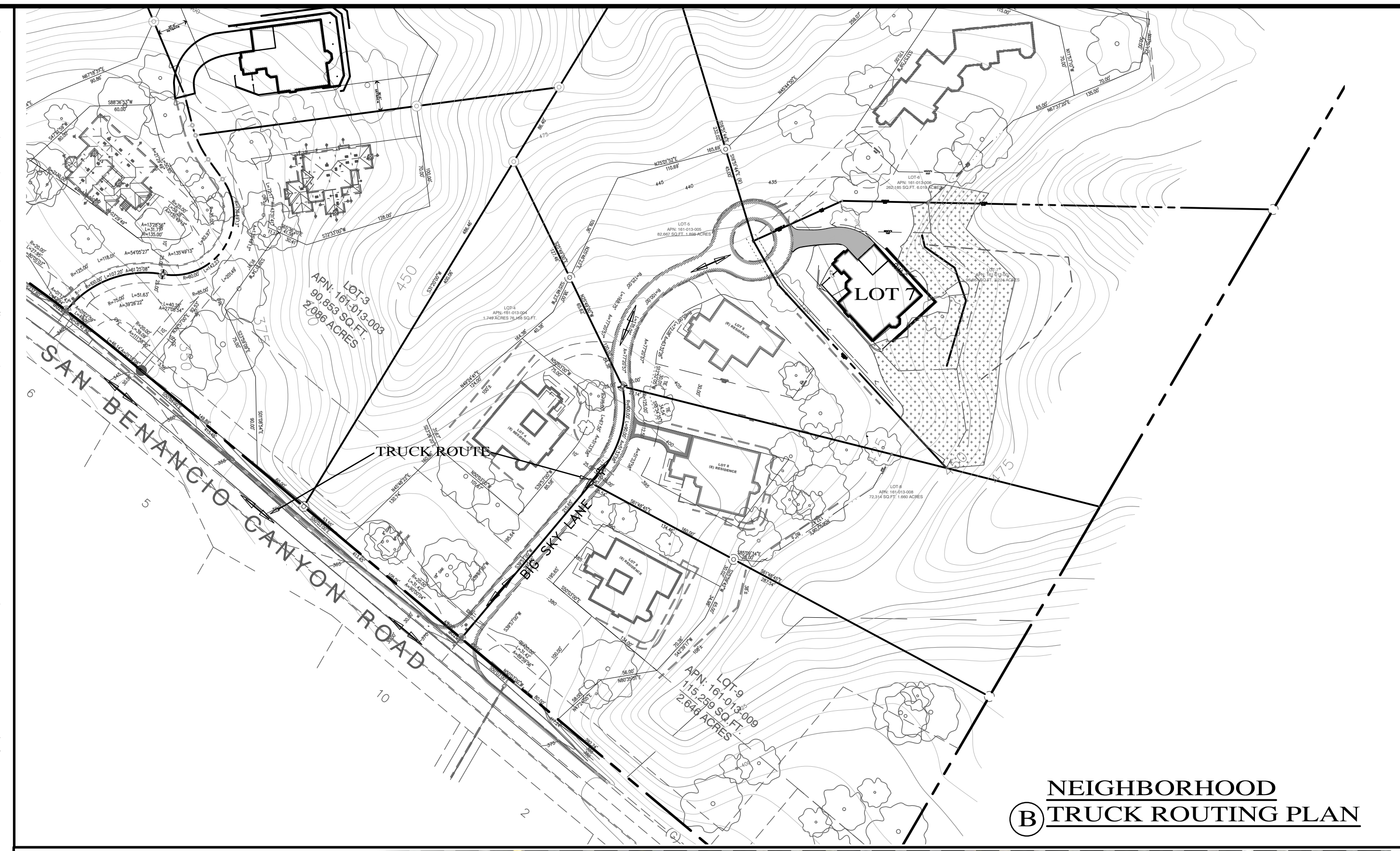
1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 7 TRUCK LOADS PER DAY.
2. THERE ARE 600 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 7 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

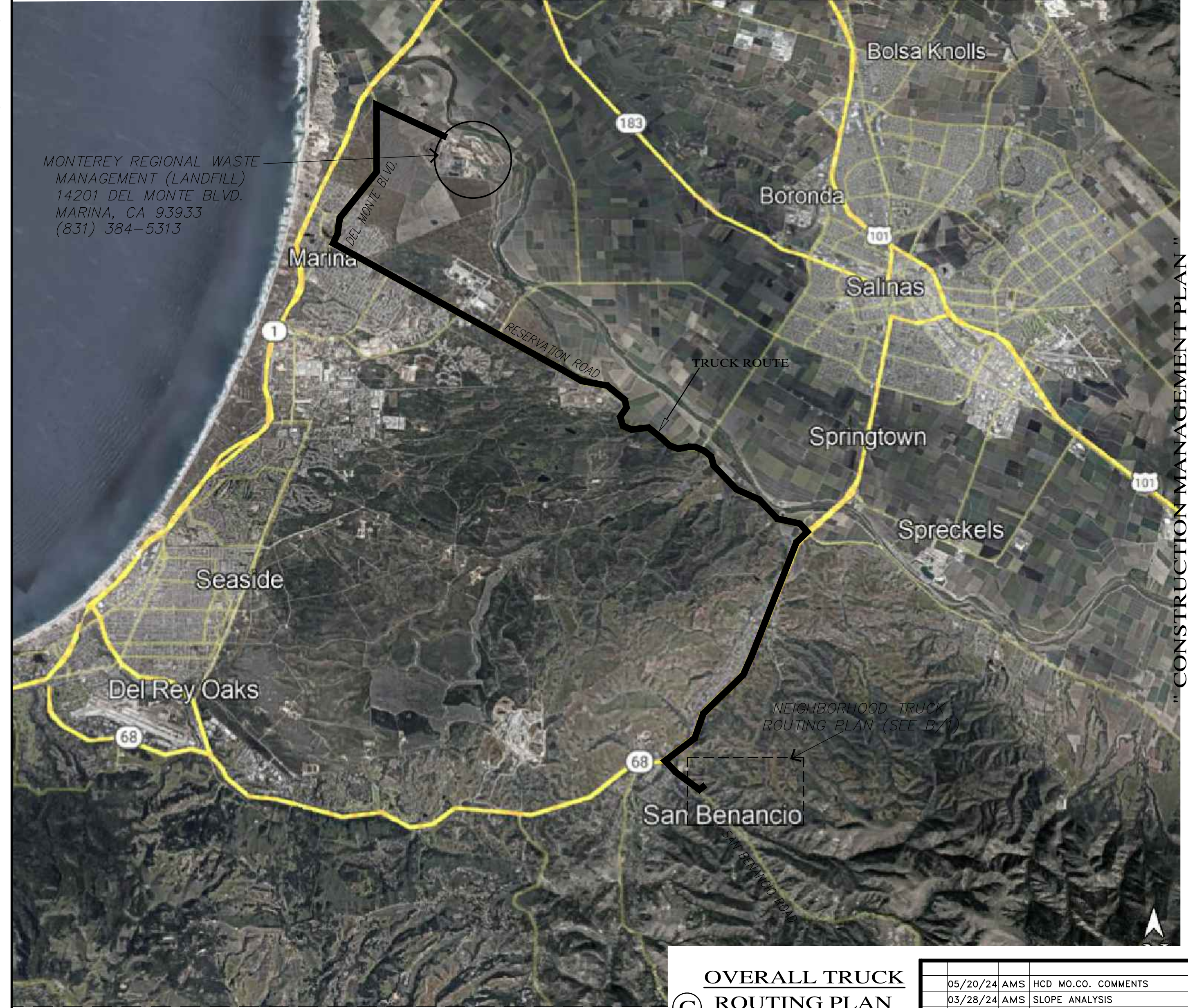
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 25 SEPTEMBER 2023, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

(A) CONSTRUCTION STAGING PLAN
SCALE: 1"=30'



NEIGHBORHOOD TRUCK ROUTING PLAN (B)



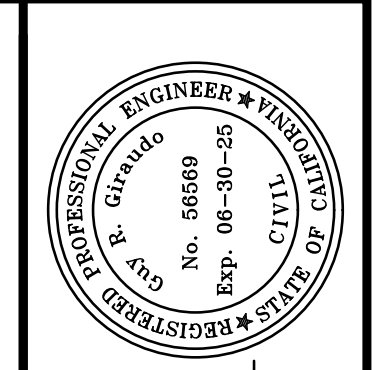
(C) OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
05/20/24	AMS	HCD	MO.CO. COMMENTS
03/28/24	AMS		SLOPE ANALYSIS
08/31/23	AMS		RELEASED TO CLIENT

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
THE OAKS, LOT 7 RESIDENCE
A.P.N.: 161-013-007
SALINAS, MONTEREY COUNTY, CALIFORNIA
MR. RAY HARROD, JR.

SCALE: AS SHOWN
DATE: JULY 2023
JOB NO. 2639-01

SHEET **C7**
OF 7 SHEETS

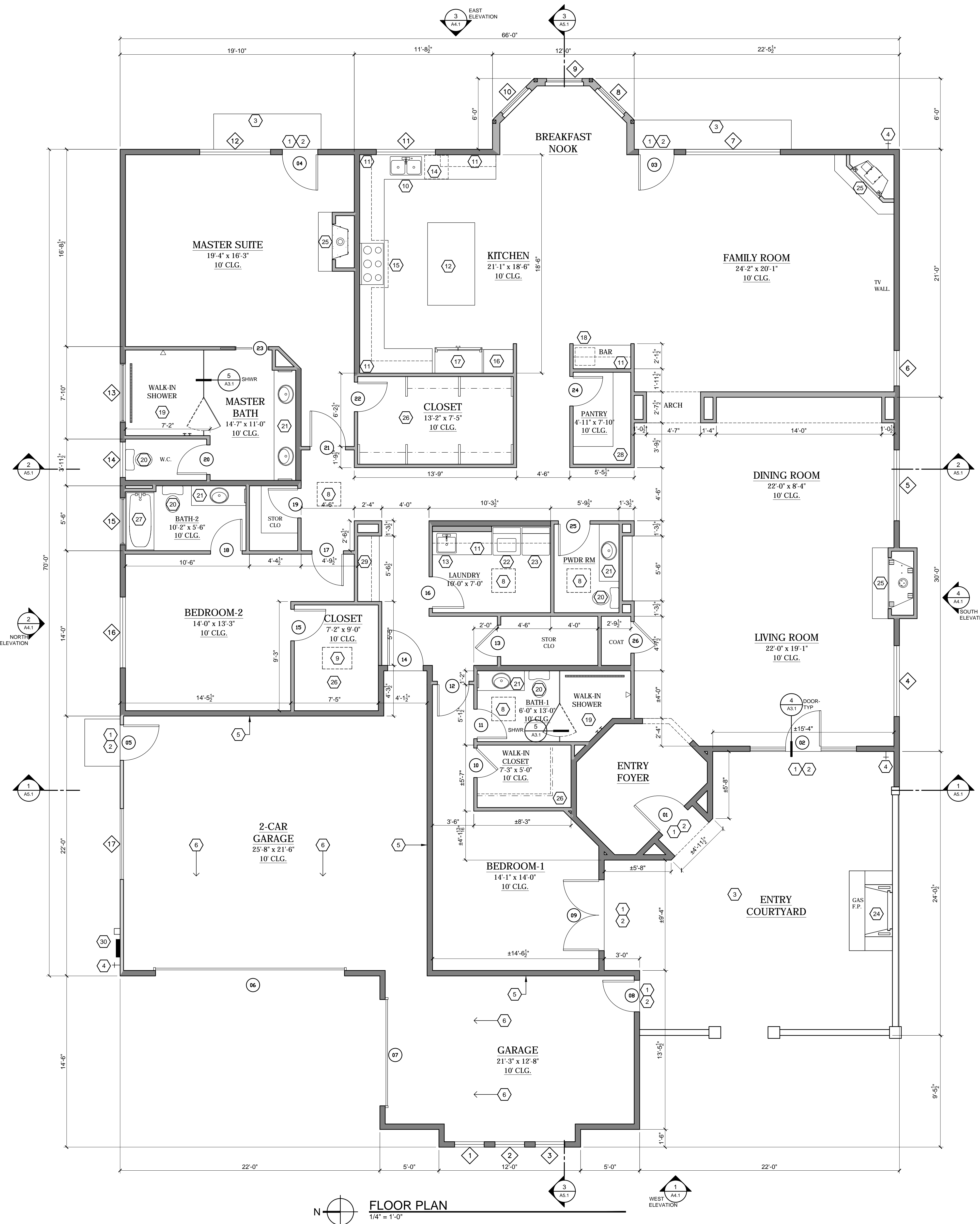
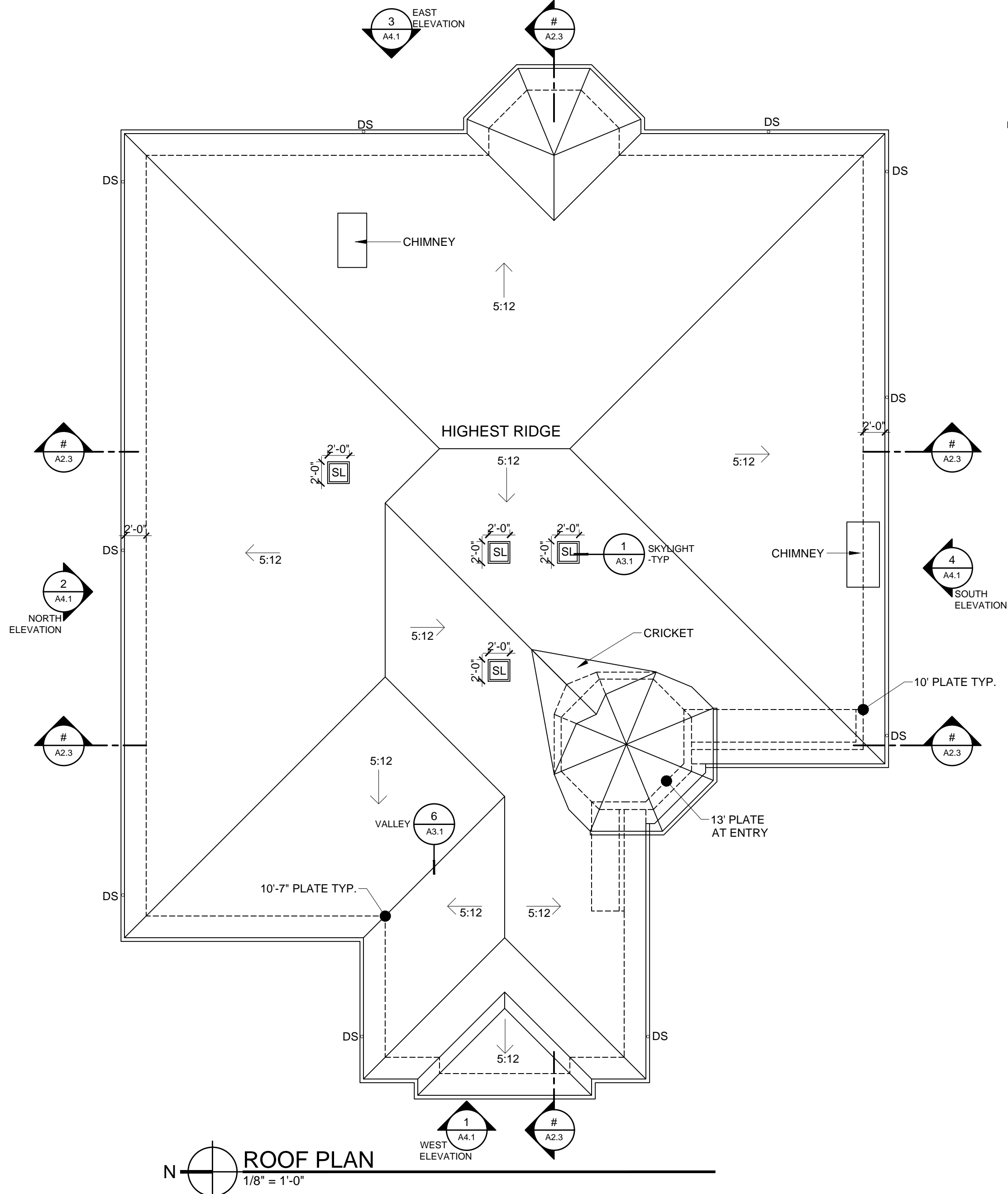


APPROVED BY:
GUY R. GIRARDO



GENERAL ROOF & CHIMNEY NOTES

- Roof Material = Eagle Roofing flat concrete tile - 4689 brown range
- Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
- Roof Slope = 5/12 unless otherwise noted
- Overhang = 24" unless otherwise noted
- Painted ogee gutters with round downspouts
- Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
- SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves. arrester screen shall have heat and corrosion resistance equal to 12 gauge wire, 19 gauge galvanized steel or 24 gauge stainless steel (CRC R1003.9.1).
- CHIMNEY TERMINATION: Chimneys shall extend at least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 2' above the highest point where the chimney passes through the roof (CRC R1003.9).
- Masonry or concrete chimneys shall be anchored at each floor, ceiling or roof line more than 6' above grade with (2) 3/16" x 1" metal straps hooked around the outer bars and extend 6" beyond the bend. Each strap shall be fastened to not less than four floor ceiling or floor joists or rafters with two 1/2-inch bolts per CRC R1001.4.1



WALL LEGEND

- NEW 2x4 WALLS
- NEW 2x6 WALLS
- NEW 2x8 WALLS

- EXTERIOR WALLS- 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' CWB ON THE INTERIOR.
- INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' CWB ON BOTH SIDES.
- SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (CBC 2512).
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
- SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
- PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

SHEET NOTES

- Floor elevations at the required Egress Door (1 required) (CRC (311.3.1) landings or floors at the required egress door shall not be more than 1'-12" lower than the top of the threshold for outward swinging doors and 3/4" for inward or sliding doors. Non-egress doors (CRC (311.3.2) - landings or floors shall be not more than 7-3/4" lower than the top of the threshold for inward swinging, or sliding. A landing is not required where a stairway has two or fewer risers is located on the exterior side of the door and the door does not swing over the landing or floor.
- Landing at doors (CRC (311.3) - There shall be a landing or floor on each side of each exterior door - min. depth 36" min. width shall be not less than the width of the door served, landing may have a slope not to exceed 2% (1/4" vertical in 12' horizontal).
- Terraces and patios - slope at min. 1/4" per ft. away from structure and toward drainage system - see civil drawings
- Hose bib - provide shut off valve for all hose bibs located near the garage or water main, all hose bibs shall have a non-removable back flow device per CRC 603.1.7.
- Fire separation wall (CRC 302.6) provide 5/8 type 'x' gyp. bd. over framing at walls and ceiling
- Garage Floor - Provide:
 - concrete slab & control joints per structural drawings
 - seal concrete with concrete sealer
 - slope toward garage doors for drainage (min. 2")
 - 4" curb at all walls for termite and water protection
 - protect finish slab during construction with protection board
- On demand water heater
- Skylight - see roof plan for size and detail location
- Attic space and access (CRC 607.1) attic opening shall be min. 22" x 30" with 30" min. head clearance and is required when an attic area exceed 30 sq ft and has a vertical height of 30" or greater. If FAA in attic, attic access must be minimum 30" x 30"
- Kitchen sink with garbage disposal - owner to select make and model
- Casework- 24" base cabinet with 14" upper cabinet, owner to select finish, countertop & layout
- Casework- Island with drawers and cabinets below, owner to select finish, countertop and layout
- Deep laundry sink - owner to select make & model
- 24" dishwasher - low-flow per standards - owner to select make & model
- Range top - 42" wide with drawers below, owner to select make & model
- Oven with convection microwave - 30" wide - owner to select make & model
- Refrigerator - 48" wide, provide recessed plumbing for ice maker - owner to select make & model
- Beverage cooler - 24" wide, under counter
- Shower - provide:
 - 24" wide minimum (outswing) tempered glass door, door optional
 - shampoo recess, soap shelf & seat per owner's specifications
 - impervious surface to 2" minimum above drain inlet
 - 2"x6" wall for thermostatic valves
 - Control valves and showerheads shall be located on the sidewall of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. [CRC 408.9]
- Toilet - 1.28 gallons per flush u.o.n. on water permit, provide 30" width clear in the toilet compartment and min. 24" clear from the front of bowl to the wall (spc 2904)
- Provide sinks), base cabinet, plumbing fixture, countertop, mirror and optional recessed vanity cabinet per owner's specifications
- Washing machine - verify make and model with owner (provide plumbing connections needed in wall)
- Clothes dryer - vent to exterior with 4" pipe, 14'-0" maximum horizontal run with (2) 90° bends maximum. Vent discharge location shall be a minimum 3' away from any opening into the building per CMC 504.3.1. Inline dryer booster fan to be installed, vent to terminate at roof
- Superior VRE3200 Ventless outdoor gas fireplace - ANSINFPFA 70 - CAN/CGA B148.1 - ANSI Z223.1/NFPA 54 - CSA C22.1.1, B149.2
- Superior DRT 3500 direct vent gas fireplace - ANSI Z21.88, CAN/CGA 2-17-M91
- Provide a shelf and closet pole system at all wardrobe closets, owner to specify locations for double pole and/or additional shelving/drawer systems
- Cast iron rectangular skinned tub under 66 gallons with showerhead above - owner to select color and verify if glass enclosure is needed.
- Casework- Pantry with adjustable shelves, owner to select layout and finish
- Casework- Full height linen cabinet with adjustable shelves, owner to select layout and finish
- Electrical meter & gas meter

Floor Plan Notes:

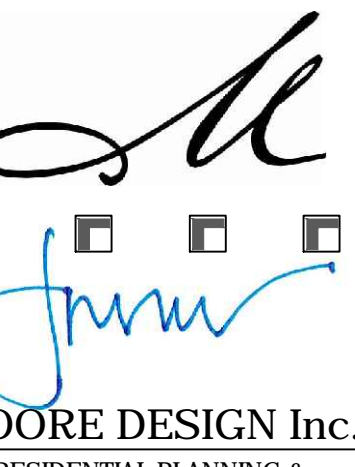
- Refer to general building notes on A0.2 for additional notes.
- SEE DOOR & WINDOW SCHEDULE ON SHEET A3.1

PROJECT NAME:

OAKS LOT 7

15135 BIG SKY LANE
SALINAS, CA.
93908

APN: 161-013-007
JOB NUMBER: 2328



MOORE DESIGN Inc.

RESIDENTIAL PLANNING & CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	1-18-2024
BLDG SUBMIT	2-29-2024

PRINT DATE: 5/23/2024

MEMBER



AMERICAN INSTITUTE OF BUILDING DESIGN

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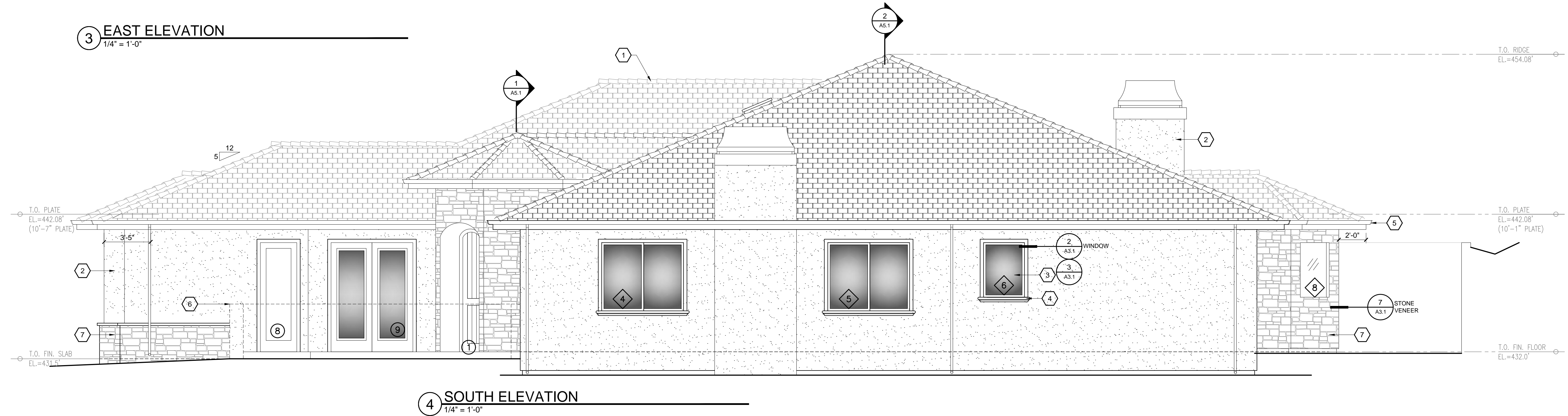
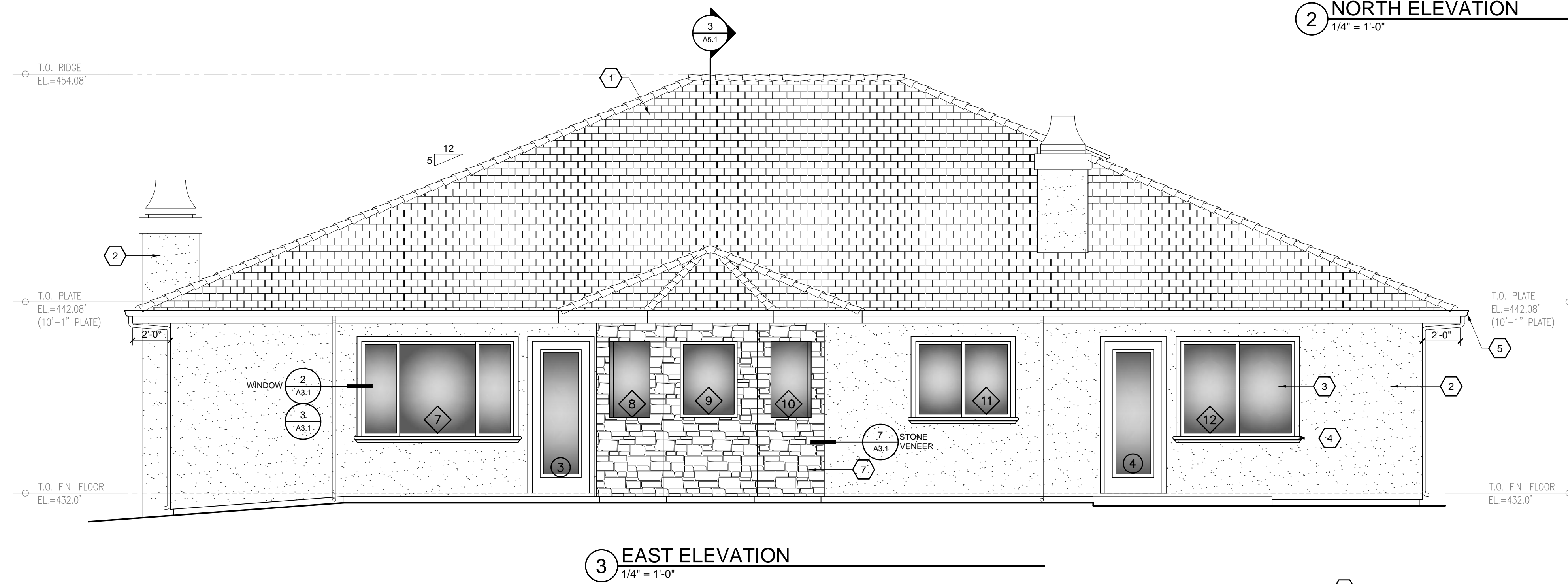
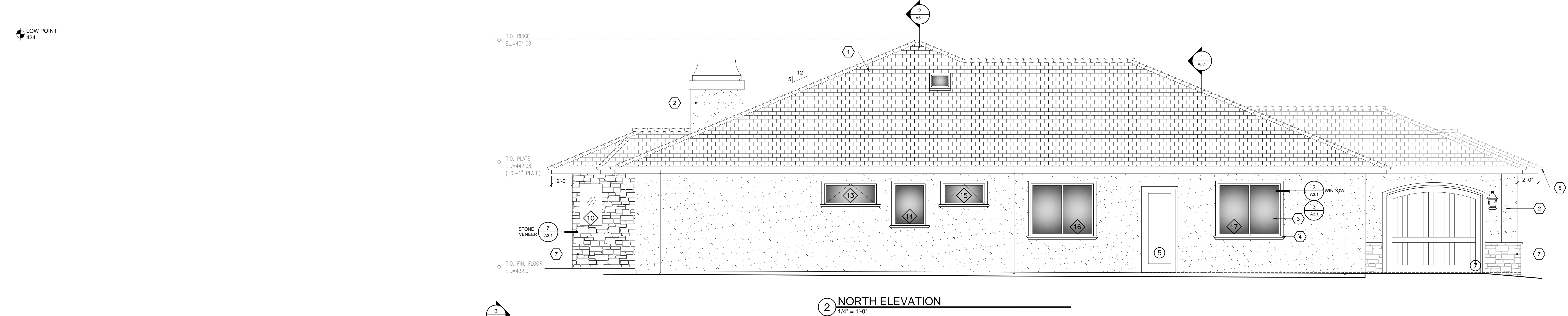
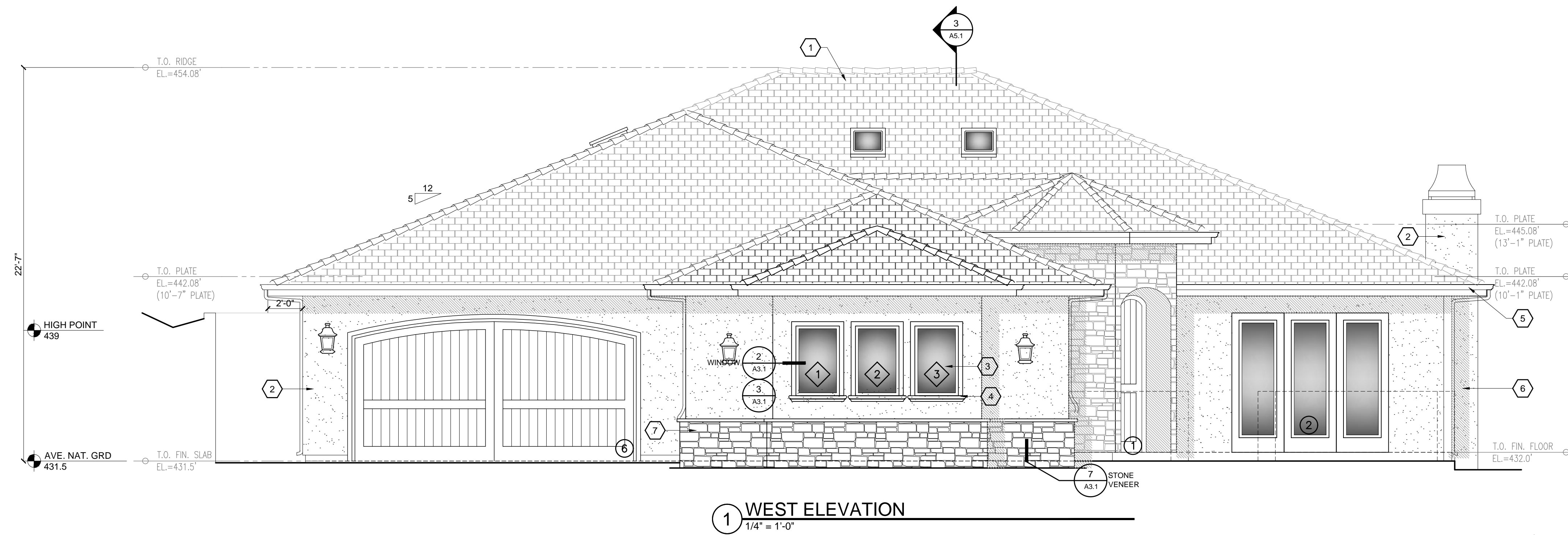
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

A2.1



SHEET NOTES

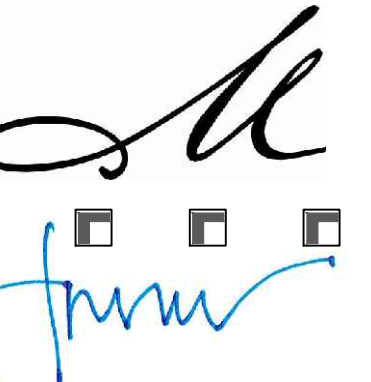
1. ROOF - EAGLE ROOFING FLAT CONCRETE TILE 4502 ARCADIA CANYON BROWN.
2. WALLS - TWO COATS EXTERIOR PAINT OVER 7/8" CEM. PLASTER W/ EXP. METAL LATH & PLASTERIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'D' BLDG. PAPER BODY PAINT COLOR - KELLY MOORE KM4596 DINOSAUR EGG, TRM COLOR - KELLY MOORE KM413 LOAM.
3. WINDOWS - TAN MILGARD TUSCANY DOUBLE PANE VINYL WINDOWS.
4. PAINTED SILL MOULDINGS AT WINDOWS
5. GUTTERS - PAINTED OGEE GUTTERS WITH ROUND DOWNSPOUTS.
6. LOW PRIVACY WALL WITH CAP
7. STONE VENEER - ELDORADO STONE ANDANTE FIELDLEDGE

PROJECT NAME:

OAKS LOT 7

15135 BIG SKY LANE
SALINAS, CA.
93908

APN: 161-013-007
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PRINT DATE: 5/23/2024

MEMBER



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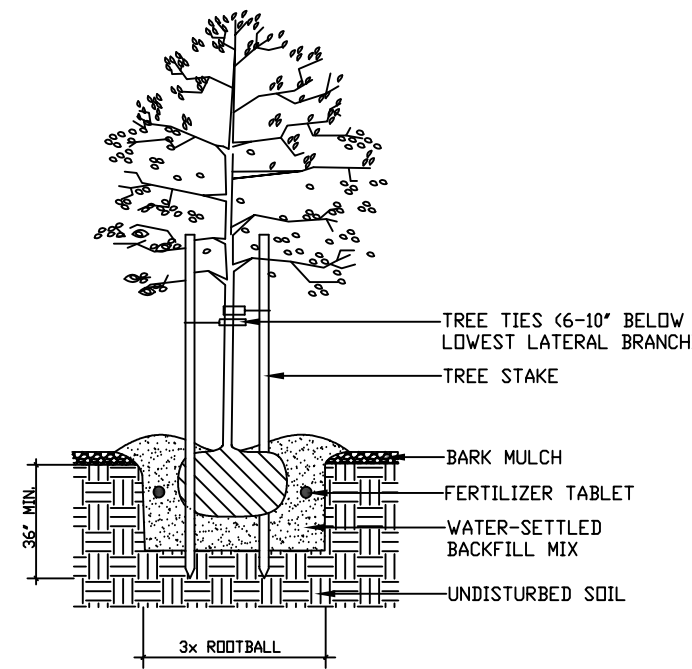
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

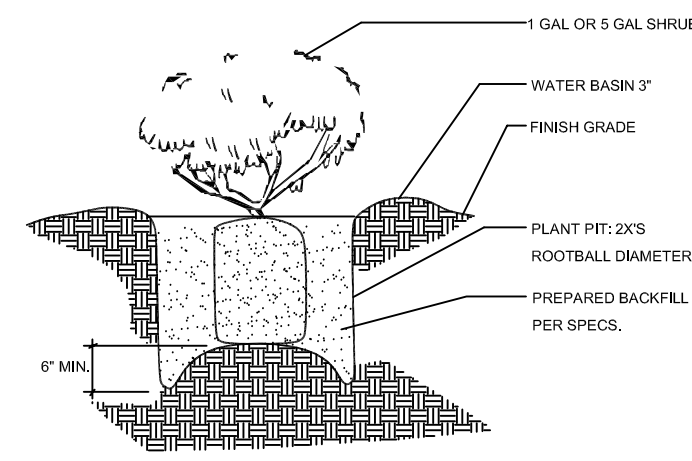
ELEVATIONS

SHEET NUMBER:

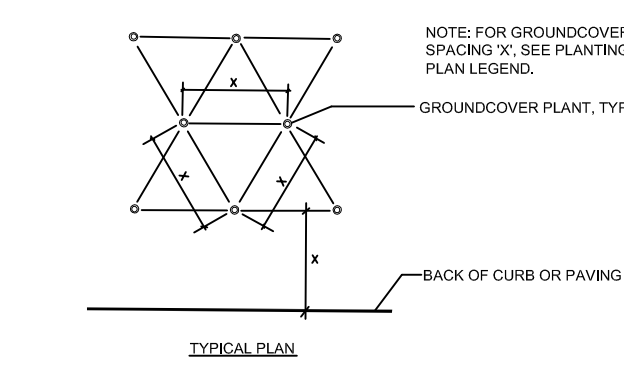
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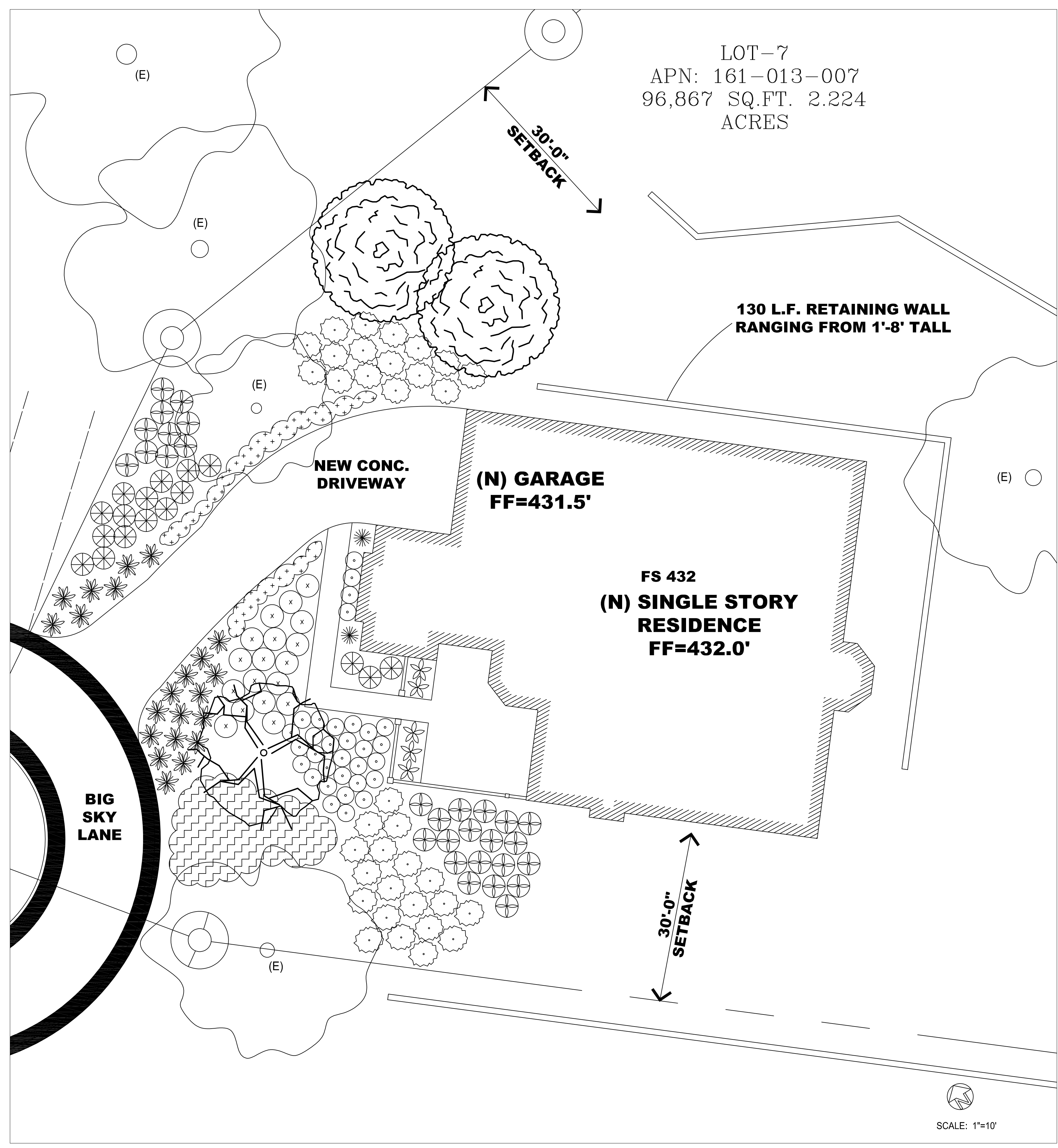
TREE PLANTING & STAKING
NTS



Shrub Planting
NTS



Groundcover Planting
NTS



SCALE: 1"=10'

SYMBOL	PLANT LIST	COMMON NAME	SIZE	QTY	WATER USE
GROUNDCOVER					
[Symbol]	CISTUS SALVIFOLIUS - 6' O.C.	SAGE LEAF ROCKROSE	1 GAL	11	L
[Symbol]	ERIGERON KARVINIANUS - 2' O.C.	SANTA BARBARA DAISY	1 GAL	47	L
SHRUBS					
[Symbol]	COLEONEMA PUL. 'GOLDEN SUNSET'	PINK DIOSMA	1 GAL	18	L
[Symbol]	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	2	L
[Symbol]	EURYOPS PECTINATUS VIRIDIS	EURYOPS	1 GAL	22	M
[Symbol]	ELEGANUS X EBBERGENI 'GILT EDGE'	SILVERBERRY	5 GAL	35	M
[Symbol]	GREVILLEA 'NOELLII'	GREVILLEA	5 GAL	17	L
[Symbol]	LAVANDULA 'PROVENCE'	LAVENDER	1 GAL	-	L
[Symbol]	LEPTOSPERMUM SCD. 'RUBY GLOW'	NEW ZEALAND TEA TREE	5 GAL	29	M
[Symbol]	PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	5 GAL	-	L
[Symbol]	ROSMARINUS 'TUSCAN BLUE'	ROSEMARY	5 GAL	32	L
[Symbol]	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL	5	M
TREES					
[Symbol]	PLATANUS ACER 'BLOODGOOD'	LONDON PLANE	15 GAL	2	M
[Symbol]	SCHINUS MOLLE - STD	CALIFORNIA PEPPER	15 GAL	1	VL

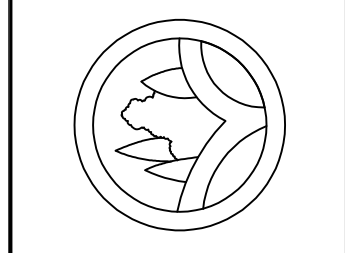
LANDSCAPE AREA: 5,927 SQ FT

- NOTES:**
1. ALL PLANT PITS TO BE 6 INCHES WIDER AND DEEPER THAN THE PERIMETER OF THE PLANT CONTAINER.
 2. COMPOST SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ FT OF PERMEABLE AREA.
 3. ALL TREES ARE TO BE DOUBLE STAKED USING 10' LODGE POLES AND 2 RUBBER TIES.
 4. ALL LANDSCAPE AREAS ARE TO BE TREATED WITH 'RONSTAR' HERBICIDE AT THE MANUFACTURERS RECOMMENDED RATE.
 5. ALL LANDSCAPE AREAS ARE TO BE COVERED WITH A 2 INCH LAYER OF 'WALK-ON' BARK.
 6. LANDSCAPE CONTRACTOR TO HAVE SOIL TESTED PRIOR TO PLANTING AND TO FOLLOW THE AMENDMENT RECOMMENDATIONS OF THE LAB.
 7. 110 POWER SUPPLY AND WATER METER SHALL BE PROVIDED BY GENERAL CONTRACTOR.
 8. ROUGH GRADE TO BE PROVIDED BY OTHERS WITHIN 1/10 OF FINISHED GRADE.

I, James Smith, certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native drought tolerant, non-invasive species, limited turf and low flow, water conserving irrigation fixtures.

DESIGNED BY:
DATED: 4/2/24
James Smith
James Smith
SMITH & ENRIGHT LANDSCAPING, INC.
C-27 CONTRACTOR, LIC# 757700

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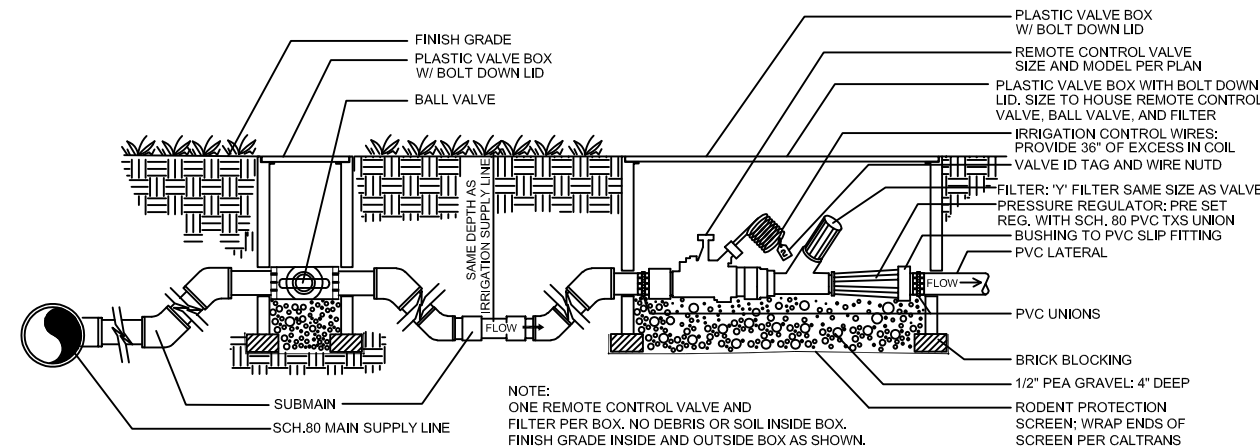
LANDSCAPING PLAN FOR:
FERRINI OAKS (LOT 7)
SAN BENANCIO CANYON RD
SALINAS, CA

DATE: 3-28-24

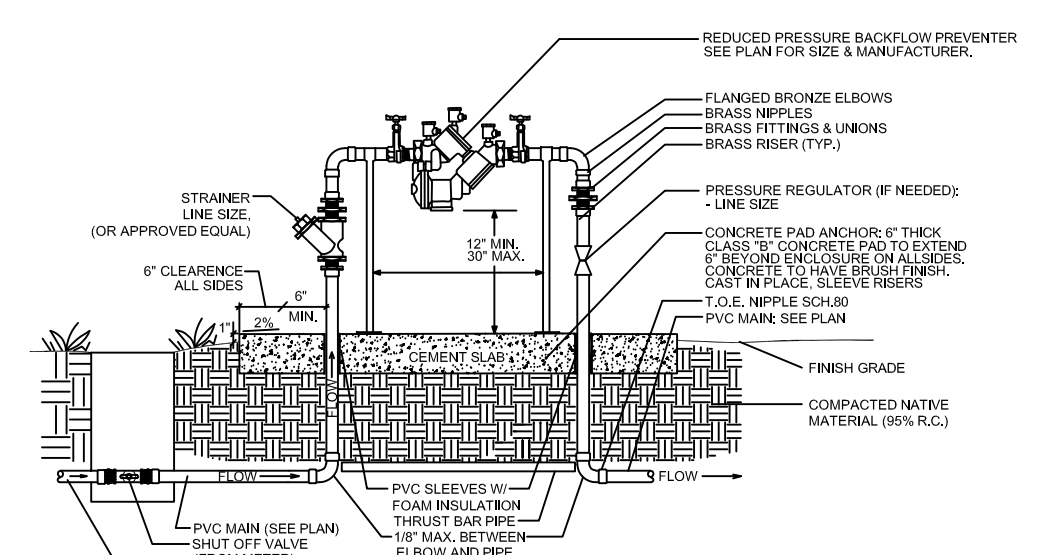
SCALE: 1"=10'

DRAWN: KH

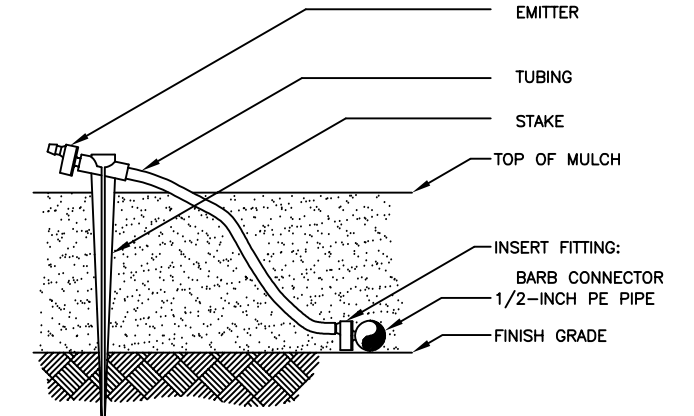
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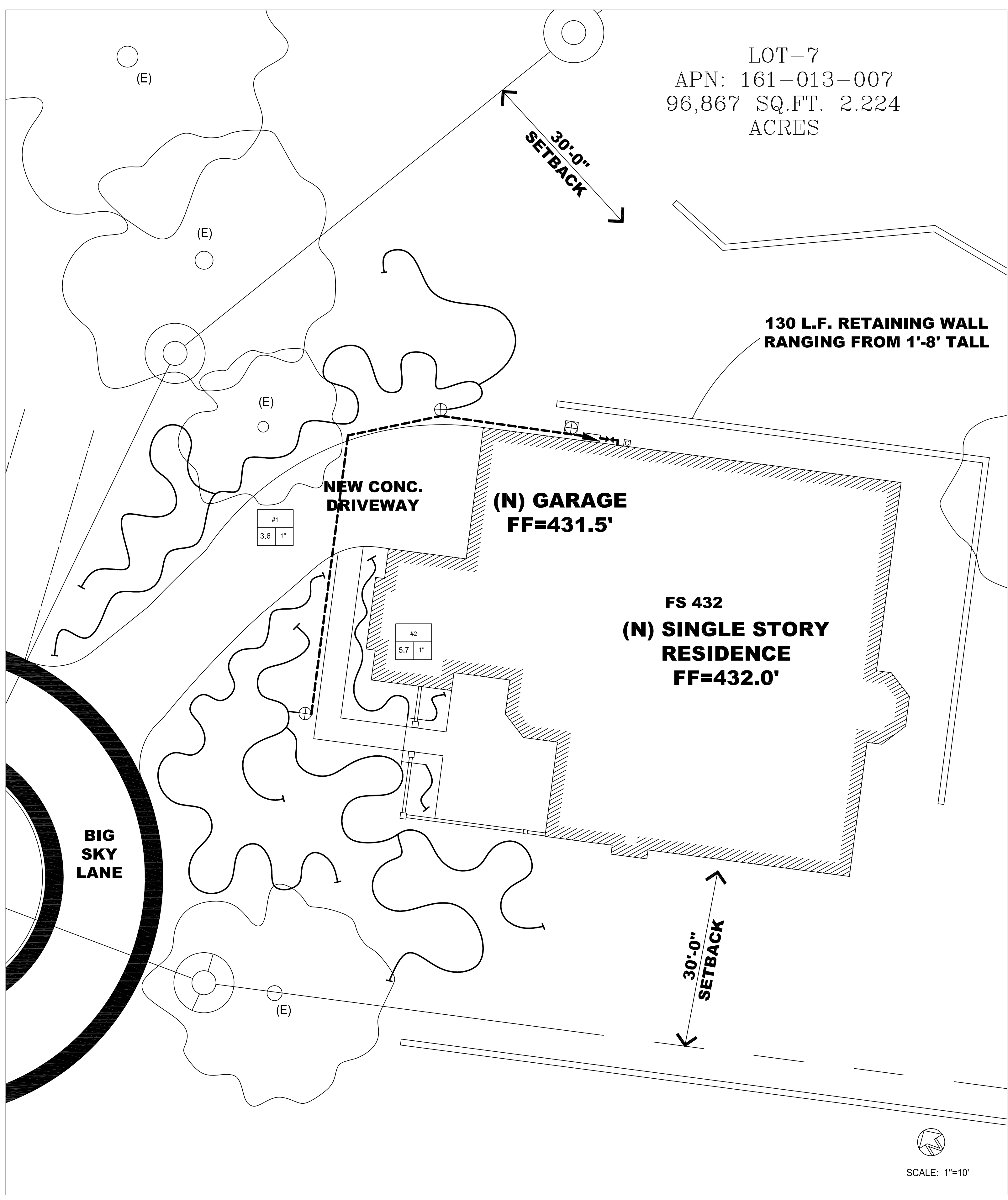
Drip Valve NTS



Backflow Device NTS



EMITTER INTO 1/4" TUBING NTS



LOT-7
APN: 161-013-007
96,867 SQ.FT. 2.224 ACRES

130 L.F. RETAINING WALL RANGING FROM 1'-8" TALL

(N) GARAGE
FF=431.5'

FS 432
(N) SINGLE STORY RESIDENCE
FF=432.0'

BIG SKY LANE

SCALE: 1"=10'

IRRIGATION LEGEND

- 3/4" SCH. 80 BALL VALVE IN ROUND BOX
- FEBCO 825Y-BV REDUCED PRESSURE BACKFLOW PREVENTOR-3/4"
- HUNTER PRO-C 4 STATION OUTDOOR CONTROLLER WITH PLASTIC CABINET WITH SOLARSYNC SENSOR
- MASTER VALVE: 1" WEATHERMATIC BLACK MAX BULLET
- 1" WEATHERMATIC BLACK BULLET MAX VALVE WITH DRIP FILTER KIT
- SLEEVE
- LATERAL LINE-CLASS 200 PVC
- MAINLINE-1" SCHED. 40 PVC
- 1/2" POLYETHYLENE DRIP TUBING

EMITTER SCHEDULE		PSI	GPM
AGRIUM PC-PLUS EMITTER			
12 GPH		0.3	.01
1 PER 1 GAL CONTAINER			
1 GPH		0.3	.02
2 PER 5 GAL CONTAINER			
2 GPH		0.3	.04
2 PER 15 GAL CONTAINER			

IRRIGATION NOTES:

1. DRAWINGS ARE SCHEMATIC ONLY FOR THE PURPOSE OF GRAPHIC CLARITY.
2. ALL MATERIALS AND THEIR INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH LOCAL CODES.
3. IRRIGATION MAIN LINES ARE TO HAVE A MINIMUM OF 18 INCHES COVER; LATERAL LINES A MINIMUM OF 12 INCHES COVER.
4. ALL MAIN LINES ARE TO BE SCHEDULE 40.
5. 110 POWER SUPPLY TO CONTROLLER AND WATER METER TO BE PROVIDED BY DEVELOPER.
6. ALL IRRIGATION PIPE UNDER PAVING OR CONCRETE SHALL BE INSTALLED IN SLEEVE CONNECTION.
7. CONTROLLERS INSTALLED ON THE HOUSES WILL BE INSTALLED NEAR THE PG&E CONNECTION.
8. RAIN SENSOR TO BE INSTALLED ON SOUTHWEST SIDE OF THE HOUSE AT LEAST 12' ABOVE THE GROUND CLEAR OF ANY OVERHANGS OR TREES.
9. RECOMMENDED IRRIGATION SCHEDULE:
SUMMER & FALL - DRIP IRRIGATION: 60 MINUTES ONCE A WEEK
WINTER & SPRING - TURN THE IRRIGATION OFF DURING THE RAINY SEASON

WATER EFFICIENT LANDSCAPE WORKSHEET

Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas							
Valve #1 - Mixed Shrubs and Trees	0.4	Drip	0.81	0.49	1603	786	19054
Valve #3 - Mixed Shrubs and Trees	0.4	Drip	0.81	0.49	1642	805	19515
					Totals	3245	1591
Special Landscape Areas							
					1		
					Totals		
						ETWU Total	38,569 Gal
						Maximum Allowed Water Allowance (MAWA)†	43,266 Gal
ETWU complies with MAWA							

Estimated Total Water Use (ETWU) = $ET_0 \times 0.62 \times ETAF \times Area$
 Maximum Applied Water Allowance (MAWA) = $(ET_0)(0.62)[(ETAF \times LA) + ((1-ETAF) \times SLA)]$
 $(38.1)(0.62)[(0.55 \times 3245) + ((1-0.55) \times 0)] = 43,266$ Gallons

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	1591
Total Area	3245
Average ETAF	0.49

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Average ETAF does not exceed allowable maximum of 0.55 for residential areas.

I, James Smith, certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native drought tolerant, non-invasive species, limited turf and low flow, water conserving irrigation fixtures.

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DATED: 4/2/24
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IRRIGATION PLAN FOR:
FERRINI OAKS (LOT 7)
SAN BENANCIO CANYON RD
SALINAS, CA

DATE: 3-28-24

SCALE: 1"=10'

DRAWN: KH

L2

The Oaks, Lot 7
15135 Blue Sky Lane
Salinas, CA 93908
Exterior Materials

Roof

Eagle Roofing
Flat Concrete Tile
4502 Arcadia Canyon Brown



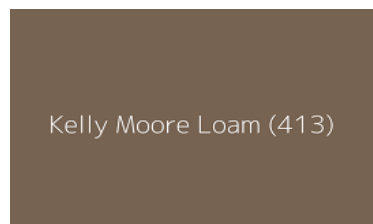
Paint Body Color

Kelly-Moore
Dinosaur Egg
KM4556



Paint Trim Color

Kelly-Moore
KM 413 Loam



Windows/Doors

Milgard Tuscany
Tan Double Pane
Vinyl Windows



Exterior Stone

Eldorado Stone
Andante Fieldledge

