

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

PREMIER REAL ESTATE INC ET AL (PLN240158)

RESOLUTION NO. 25-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303 and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

[PLN240158, PREMIER REAL ESTATE INC ET AL, 11151 and 11151A Wood Street, Castroville, Castroville Community Plan, North County Area Plan (Assessor's Parcel Number: 030-225-013-000)]

The PREMIER REAL ESTATE INC ET AL application (PLN240158) came on for a public hearing before the County of Monterey Zoning Administrator on September 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

RECITALS

WHEREAS, the proposed project PLN240158, located at 11151 and 11151A Wood Street, Castroville, Castroville Community Plan, North County Area Plan (Assessor's Parcel Number: 030-225-013-000), is consistent with the policies of the Monterey County 2010 General Plan, Castroville Community Plan, North County Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Community Plan (CP), which refers to the land use classification designation system of the Castroville Community Plan used to identify appropriate land uses rather than referring to Zoning Districts. The land use classification of the project site is Medium Density Residential (MDR), which allows for the construction of a new single-family dwelling and accessory dwelling unit, subject to the granting of a Design Approval;

WHEREAS, as proposed, the project consists of the construction of 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements including 121 square feet of porches. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof. Site improvements consist of a new driveway and landscaping;

WHEREAS, as proposed, the site plans included in this project illustrate an approximately 789 square foot detached Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the construction of an ADU is not a part of this application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans;

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Table B-4 of the Castroville Community Plan and 2010 General Plan Policy [LU-1.11], (see attached plans);

WHEREAS, the proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan, Castroville Community Plan, and North County Area Plan;

WHEREAS, in accordance with 2010 General Plan Policy and Monterey County Code (MMC) Section 21.66.050, a Phase 1 Archaeological Report was prepared by Ruben G. Mendoza with Archives and Archaeology. On February 23, 2025, a pedestrian survey was conducted on the subject property. The results stated that the visibility of the site was poor due to the presence of overgrown vegetation. However, the records search from the Northwest Information Center of the California Historical Resources Information System found that no archaeological resources had been previously recorded in the project area nor within a 750-foot radius from the parcel. Therefore, the archaeologist concluded the report was negative and potential impacts on archaeological resources are limited. A standard condition of approval requiring work to stop if previously unidentified resources are found during construction has been incorporated into this permit (Condition No. 3);

WHEREAS, the subject property (0.14 acres) is identified as Lot 2A as shown on Record of Survey Map filed December 31, 2007, in Volume 29 of Surveys, at Page 85, together with a portion of Pomber Street (a 40 foot wide County Road) in Block B and C according to the Map of the Town of Castroville, filed in Volume 1 of Cities and Towns, at Page 55, Records of Monterey County, California, and is therefore recognized by the County as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

WHEREAS, the project was not referred to the Castroville Land Use Advisory Committee (LUAC) because the committee no longer has a quorum to hold a public meeting;

WHEREAS, the ADU is being processed ministerially. California Environmental Quality Act (CEQA) Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Zoning Administrator’s discretionary authority is limited to consideration of the proposed residence, the proposed residence and the ADU are subject to CEQA. The project involves the construction of the first single-family dwelling, with an attached garage and a detached accessory dwelling unit on a residentially zoned property. CEQA section 15303 categorically exempts the construction of a new single-family dwelling and accessory dwelling units. Therefore, the proposed development is consistent with CEQA Guidelines Section 15303 and none of the exceptions under CEQA Guidelines Section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.80.040.B, the Planning Commission shall consider appeals from the discretionary decisions of the Zoning Administrator and the decision of the Planning Commission would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the County of Monterey Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, detached 789 square foot accessory dwelling unit, 121 square feet of porches, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof.

PASSED AND ADOPTED this 25th day of September 2025.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240158

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Design Approval (PLN240158) allows construction of a new 1,674 square foot one-story single-family dwelling with an attached 440 square foot garage, and associated site improvements. Colors and materials consist of tan stucco exterior siding, brown brick veneer accent siding, white vinyl windows and doors, and a brown asphalt composite shingled roof. The property is located at 11151 and 11151A Wood Street, Castroville (Assessor's Parcel Number 030-225-013-000), Castroville Community Plan, North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 030-225-013-000 on September 25, 2025. The permit was granted subject to 9 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PW0001 – FRONTAGE IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct curb, driveway connections, sidewalk, along the frontage of Wood Street. Construct pave out connection from project driveway connecting to Wood Street. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the PWFP, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

8. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

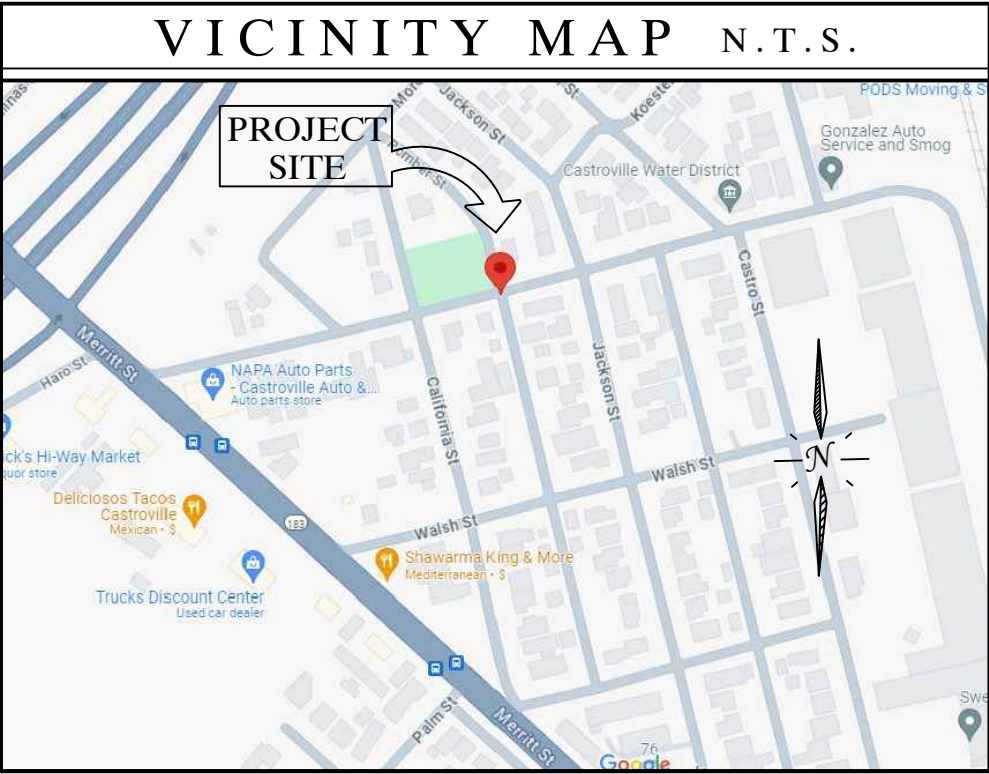
Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

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THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION BY ANY METHOD. IN WHOLE OR IN PART. IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THEIR RESTRICTIONS. IF REPRODUCED, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THEIR RESTRICTIONS.

NEW SINGLE FAMILY:
JIMENEZ DEVELOPMENT
0 CASTROVILLE
CASTROVILLE, CA. 95012
A.P.N.: 030-225-013-000



PROJECT TEAM

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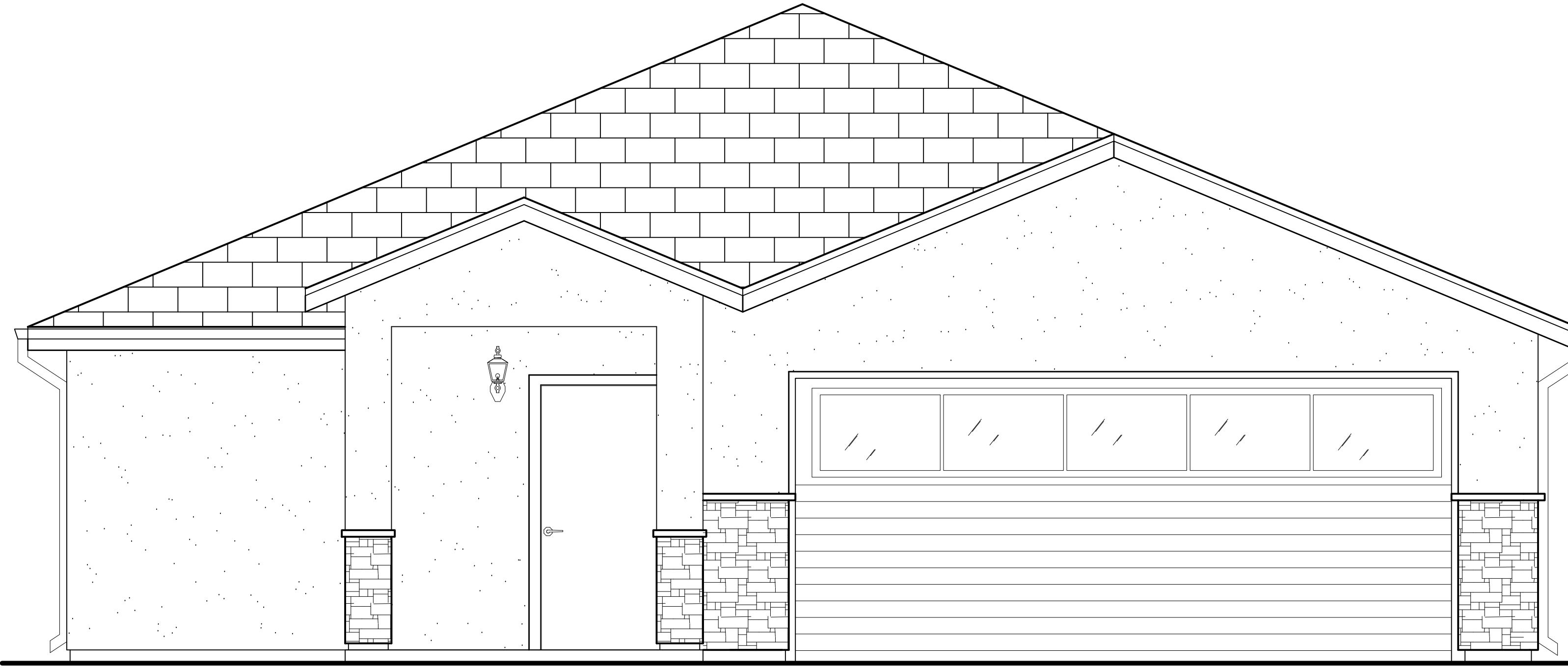
| SHEET INDEX | |
|-------------|---|
| A0. | GENERAL NOTES |
| A1. | SITE PLAN |
| A2. | PROPOSED FLOOR PLAN (MAIN DWELLING) |
| A3. | PROPOSED ELEVATIONS (MAIN DWELLING) |
| A4. | PROPOSED ROOF PLAN (MAIN DWELLING) |
| A5. | PROPOSED FLOOR PLAN ADU & ELEVATIONS |
| A6. | PROPOSED ROOF PLAN ADU |

| SCOPE OF WORK | |
|--|--|
| - NEW SINGLE FAMILY RESIDENCE UNIT CONSISTING OF: 4 BEDROOMS, 3 FULL BATHROOM, LIVING, DINING, KITCHEN, AND ATTACHED GARAGE | |
| - NEW ACCESSORY DWELLING UNIT OF 789 SQ.FT. CONSISTING OF: TWO BEDROOMS, TWO BATHROOMS, LIVING, LAUNDRY & KITCHEN. | |

| DATA | | | |
|---------------------------------------|--|------------------|--------------|
| JURISTICATION: | | MONTEREY COUNTY | |
| BUILDING CODE(S): | | RESIDENTIAL | :2022 C.R.C. |
| | | ELECTRICAL | :2022 C.E.C. |
| | | MECHANICAL | :2022 C.M.C. |
| | | PLUMBING | :2022 C.P.C. |
| ZONING: | | MDR-C | |
| ASSESSORS PARCEL NO: | | 030-225-013-000 | |
| CURRENT USE: | | RESIDENTIAL | |
| PROPOSED USE: | | RESIDENTIAL | |
| OCCUPANCY GROUP: | | RESIDENCE R-3/U | |
| NUMBER OF STORY: | | 1 STORY BUILDING | |
| CONSTRUCTION TYPE: | | V-B | |
| AUTOMATIC FIRE SPRINKLERS SYSTEMS: | | YES | |
| LANDSCAPE: | | 499 S.F. | |
| LOT SIZE: | | 5,903 S.F. | 100% |
| PROPOSED FLOOR AREA | | | |
| DWELLING | | 1,674 S.F. | |
| TOTAL | | 1,674 S.F. | |
| ACCESSORY STRUCTURES | | | |
| 2 CAR GARAGE | | 440 S.F. | |
| ACCESSORY DWELLING UNIT | | 789 S.F. | |
| TOTAL | | 2,903 S.F. | |

| DEFERRED SUBMITTAL | |
|---|--|
| 1. CONSTRUCTION WASTE MANAGEMENT PLAN TO BE SUBMITTED WHEN CONTRACTOR IS CHOSEN SUBMITTED TO: MONTEREY COUNTY | |
| 2. FIRE SPRINKLER DESIGN | |
| 3. WATER SOURCE - CASTROVILLE COMMUNITY WATER SERVICE - CAN & WILL SERVE LETTER | |
| 4. SEWER SOURCE - MONTEREY ONE WATER - CAN & WILL SERVE LETTER | |

| SYMBOLS | | | |
|-----------------------|--|----------------------|--|
| SECTION REFERENCE | | — SECTION NUMBER | |
| | | — SHEET NUMBER | |
| DETAIL REFERENCE | | — DETAIL NUMBER | |
| | | — SHEET NUMBER | |
| REVISION REFERENCE | | — REVISION NUMBER | |
| | | — CLEAR DIM. | |



1 FRONT ELEVATION
SCALE: N.T.S.

| ABBREVIATIONS | | | |
|--|-----------------------|----------|---------------------------|
| 1. NOT ALL ABBREVIATIONS WILL APPLY TO THIS PROJECT. | | | |
| @ | AT | DBL | DOUBLE |
| # | NUMBER | DEPR | DEPRESSED |
| AB | ANCHOR BOLTS | DF | DOUGLAS FIR |
| AC | ASPHALTIC CONCRETE | DIA. (Ø) | DIAMETER |
| ADDNL | ADDITIONAL | DIAG | DIAGONAL |
| AFF | ABOVE FINISH FLOOR | DIM | DIMENSION |
| AGG | AGGREGATE | DN | DOWN |
| ALT | ALTERNATE | DWG | DRAWING |
| ALUM | ALUMINUM | (E) | EXISTING |
| APPROX | APPROXIMATE | EA | EACH |
| ARCH | ARCHITECTURAL | EF | EACH FACE |
| | | EN | EDGE NAILING |
| BLDG | BUILDING | EW | EACH WAY |
| BLK | BLOCK | EJ | EXPANSION JOINT |
| BLKG | BLOCKING | EL | ELEVATION |
| BM | BEAM | EOS | EDGE OF SLAB |
| BN | BOUNDARY NAILING | EQ | EQUAL |
| BOC | BOTTOM OF CONCRETE | EXP B | EXPANSION BOLT |
| BOF | BOTTOM OF FOOTING | EXT | EXTERIOR |
| BOT | BOTTOM | F.E. | FIRE EXTINGUISHER |
| BP | BUTTON PUNCH | F.E.C | FIRE EXTINGUISHER CABINET |
| BRG | BEARING | FF | FINISH FLOOR |
| BRG PL | BEARING PLATE | FG | FINISH GRADE |
| BTW | BETWEEN | FWHS | FLAT HEAD WOOD SCREW |
| CCJ | CRACK CONTROL JOINT | FN | FIELD NAILING |
| CC | CENTER TO CENTER | FND | FOUNDATION |
| CIP | CAST IN PLACE | FOC | FACE OF CONCRETE |
| CJ | CONSTRUCTION JOINT | FOM | FACE OF MASONRY |
| CTR | CENTER | FOS | FACE OF STUD |
| CL | CENTER LINE | FT (') | FOOT/FEET |
| CLG | CEILING | FTG | FOOTING |
| CLR | CLEAR | GA | Gauge |
| CMU | CONCRETE MASONRY UNIT | GALV | GALVANIZED |
| COL | COLUMN | GL | GLUE LAMINATED LUMBER |
| CONC | CONCRETE | | |

| GENERAL NOTES | |
|---|--|
| 1. 1. ALL CONSTRUCTION, DESIGN, WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE: 2022 , CRC, CEC, CMC, CPC, CFC, CGC, CGBC; MONTEREY COUNTY MUNICIPAL CODE, AND 2019 CALIFORNIA ENERGY CODE, AND MOST CURRENT NFPA STANDARDS REQUIRED BY CURRENTLY ADOPTED CODES AND LATEST EDITIONS OF THE UMC, UPC, & NEC. | |
| 2. GUARANTEE: ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FOR COMPLETION DATE. | |
| 3. JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. | |
| 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE SITE OF DEBRIS AND MATERIALS DEMOLISHED AND CLEANUP BEFORE COMMENCING WORK. | |
| 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS AND SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION. | |
| 6. THE PROJECT DESIGNER SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWING AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. | |
| 7. THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT. | |
| 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED. | |
| 9. PLANS FOR ANY (N) GAS LINE SIZING AND APPLICABLE BTU INPUTS WILL BE PROVIDED TO THE BUILDING INSPECTION OFFICE BY THE CONTRACTOR BEFORE INSPECTION. | |
| 10. ALL SITE INSPECTIONS REQUIRE A MINIMUM 24 HOURS NOTICE. FIRE DEPARTMENT INSPECTIONS ARE TO BE REQUESTED THROUGH THE BUILDING DIVISION. PLEASE BE SPECIFIC AS TO THE TYPE OF INSPECTION. | |
| 11. NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT. | |
| 12. THE USE OF FIRE HYDRANTS FOR OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIROMENTAL HEALTH DEPARTMENT.) | |
| 13. THE GRADE ADJACENT TO ALL STRUCTURES SHALL SLOPE A MINIMUM OF 2 PERCENT AWAY FROM THE AID IS PROHIBITED (UNLESS APPROVED IN ADVANCED BY THE ENVIROMENTAL HEALTH DEPARTMENT.) | |
| 14. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE. | |
| 15. CONTRACTOR TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES AND SERVICES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO SUCH. | |
| 16. EXCAVATION: EXCAVATE FOR UTILITY TRENCHES, SEWER, DRAIN LINES AND FOOTINGS. SLOPE UTILITY TRENCHES UNIFORMLY. BACK FILL OF FOOTING AND UTILITY TRENCHES SHALL BE COMPROMISED OF CLEAN SAND, MECHANICALLY COMPACTED IN 6" LIFTS TO A MINIMUM OF 95 REST ON FIRM, UNDISTURBED SOIL OR COMPACTED FILL. | |
| 17. SURFACE WATER SHALL BE DRAINED TO AN APPROVED POINT OF COLLECTION THAT DOES NOT CEATE A HAZARD. INDICATE THAT GRADE SHALL FALL A MINIMUM OF 4" WITHIN THE FIRST 10' (EXCEPTION: WHERE LOT LINES AND/OR PHYSICAL BARRIERS PROHIBIT THE FALL, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE). IMPERVIOUS SURFACES WITHIN 10' SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. | |
| 18. EXTRA EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATION OF EXIT SIGNS MAY BE ALTERED DURING FINAL INSPECTION | |
| 19. APPROVED ADDRESS NUMBERS AND/OR LETTERS, WITH CONTRASTING BACKGROUND, SHALL BE PLACED ON BUILDING(S) TO BE VISIBLE FROM THE STREET. APPROVED ADDRESSES MUST BE CLEARLY IDENTIFIED WITH REFLECTIVE AND/OR ILLUMINATED NUMBERS AND/OR LETTERS A MINIMUM OF 3 1/2" HIGH AND 1/2" STROKE | |
| 20. DISPOSAL, WASHOFF, OR WASHDOWN OF ANY AND ALL MATERIALS SUCH AS MORTAR, CONCRETE, PAINT, GREASE, GLUE, ETC. ON PROPERTY, INCLUDING THE STORM DRAIN SYSTEM, IS STRICTLY PROHIBITED UNLESS SPECIFICALLY AND INDIVIDUALLY APPROVED BY PUBLIC WORKS DIRECTOR. VIOLATORS WILL BE CITED AND ASSESSED OF ALL CLEANING COSTS. | |
| 21. CONTRACTOR MUST ENSURE THAT ALL VENTING BE DONE IN ACCORDANCE WITH CURRENT BUILDING CODES. (RANGE HOOD VENT, BATHROOM VENTS ETC. | |
| 22. THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING. | |
| 23. CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION. | |
| 24. BUILDINGS THAT UNDERGO CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 33- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. | |

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REVISION
DATE:
BY:

0

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0 CASTROVILLE
CASTROVILLE, CA. 95012
APN: 030-225-013-000

COVER SHEET

05/10/24

JOB NUMBER:
24-34

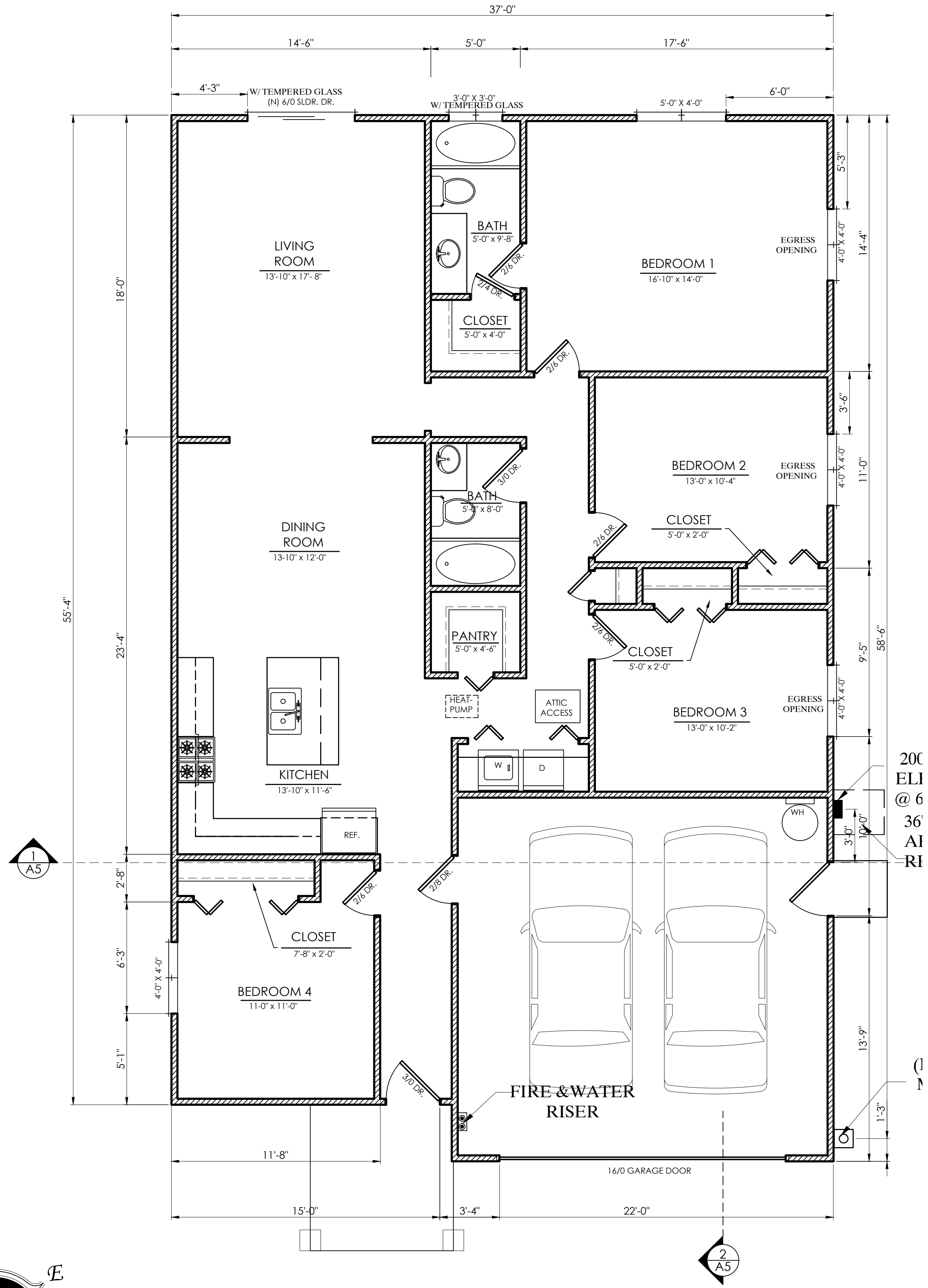
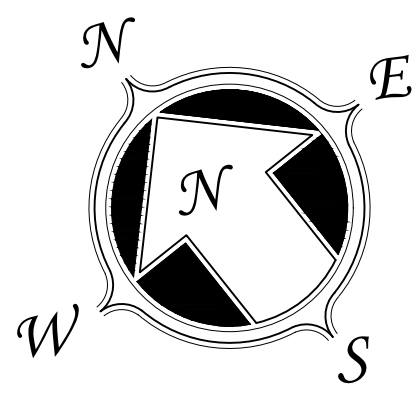
PAGE:
A0

AGE: **A1**

LEGEND

NEW 2X4 WALLS D.F. #2 16" O.C. STUDS

NEW TYPE "X" 5/8" GYP. BRD. WALL



1 FLOOR PLAN - LOT A
SCALE: 1/4" = 1'-0"

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|----------|--|
| REVISION | |
| DATE: | |
| BY: | |

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FLOOR PLAN

| |
|----------------------|
| 05/10/24 |
| JOB NUMBER: 24-34 |
| PAGE: A2 |

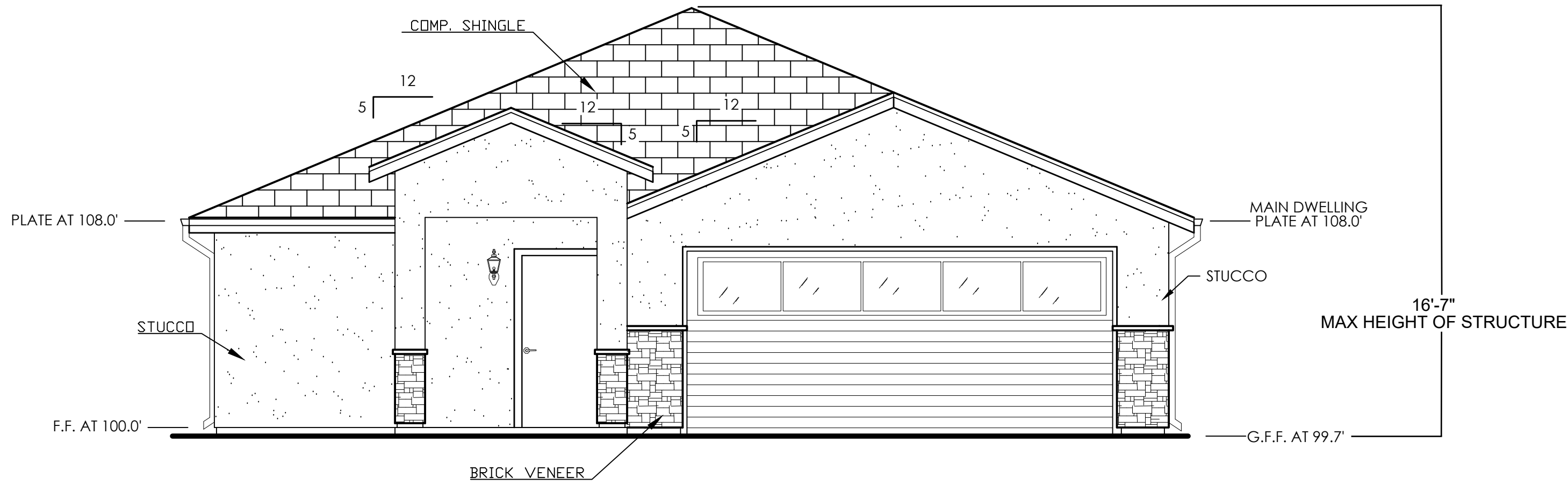
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PROPOSED EXTERIOR FINISHES

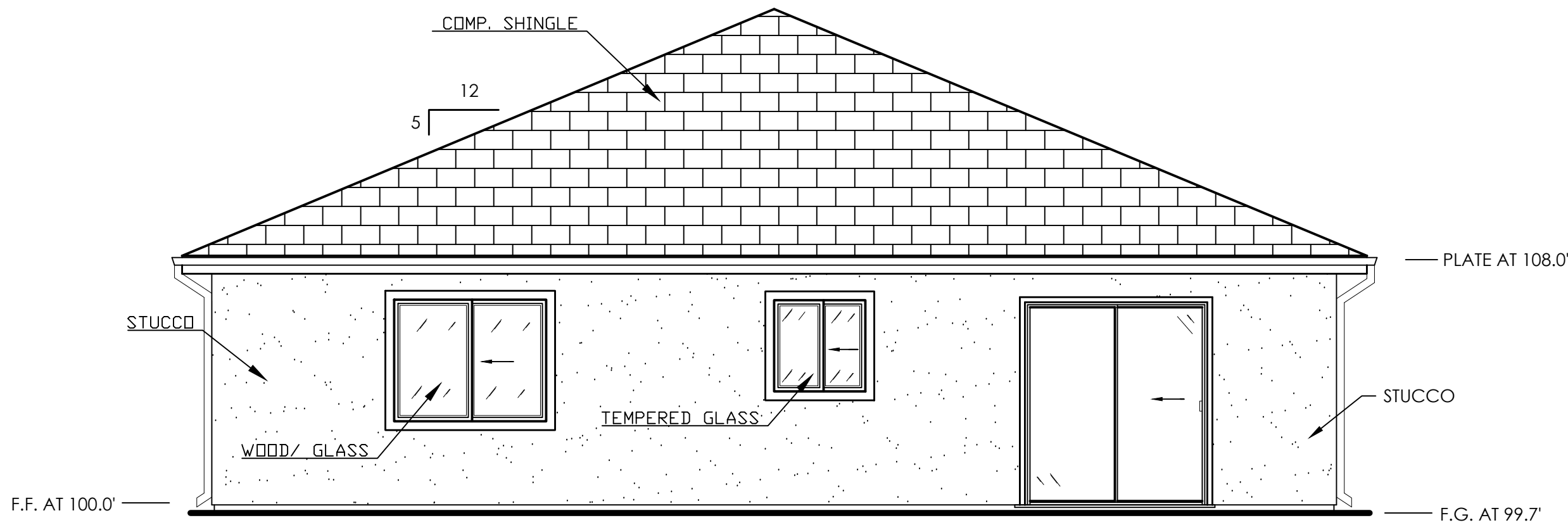
| | |
|------------------------|---|
| ROOF: | NEW ASPHALT COMPO. SHINGLES ROOFING, O/2 LAYER #15 ROOFING FELT PAPER, O/ (N) ½" THK. PLYWOOD SHEATING. |
| ROOF PITCH: | 5:12 GABLE ROOF |
| FASCIA/RAKE: | 2X6 PRIMED SPRUCE |
| OVERHANG: | 1'-0" OVERHANG |
| GUTTER/; DOWNSPOUTS | (N) 4" GUTTER PLASTIC DOWNSPOUTS & BRACKETS @ 3'-0" O.C. MAX W/ SPLASH BLOCKS |
| WALL: | (N) 3 LAYERS OF CEMENT PLASTER OVER PAPER BACKED WIRE, OVER 2 LAYERS OF TYPE D PAPER OVER 1/2" PLY. SHEATING, PROVIDE WEEP SCREED @ BOTTOM OF WALL. |
| WINDOWS: | (N) WHITE VINYL DOUBLE PANE |

EXTERIOR COLORS:

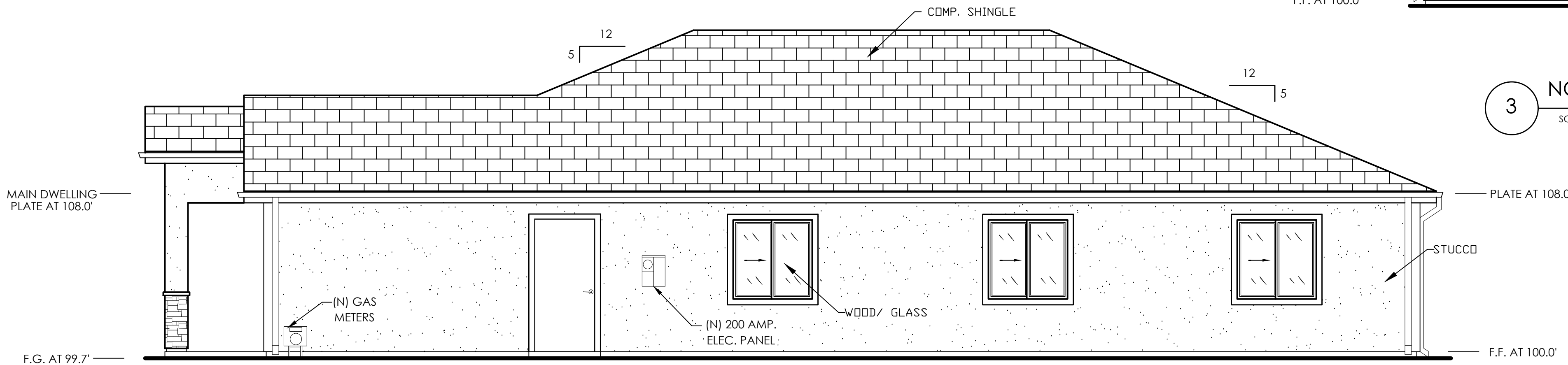
| | |
|------------|-------|
| STUCCO: | BONE |
| ROOF TILE: | BROWN |
| WINDOW: | WHITE |



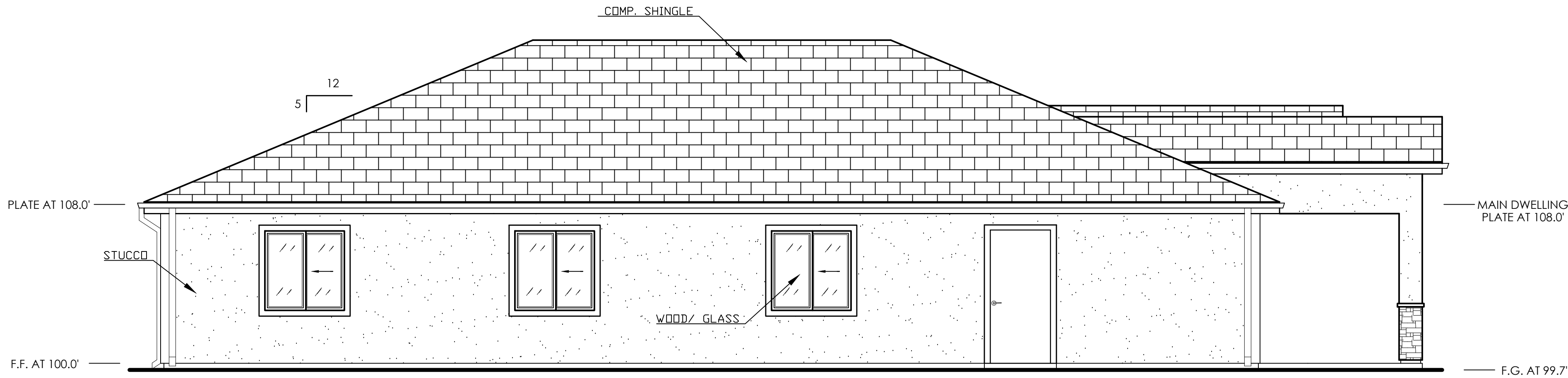
1 SOUTH ELEVATION (FRONT ELEVATION)
SCALE: 1/4"=1'-0"



3 NORTH ELEVATION (REAR ELEVATION)
SCALE: 1/4"=1'-0"



2 EAST ELEVATION (RIGHT ELEVATION)
SCALE: 1/4"=1'-0"



4 WEST ELEVATION (LEFT ELEVATION)
SCALE: 1/4"=1'-0"

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Signature
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DATE:
BY:

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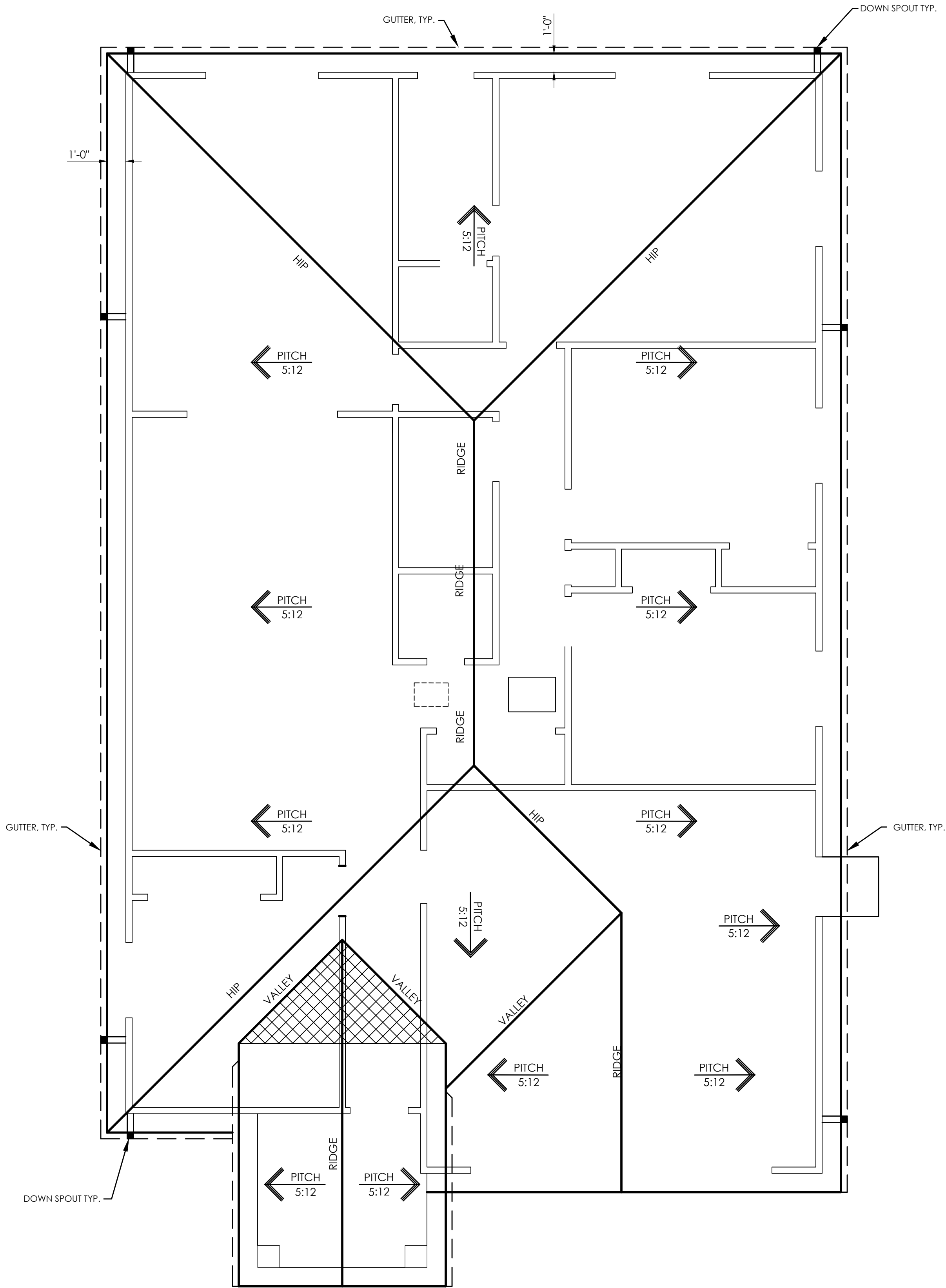
ELEVATIONS

05/10/24

JOB NUMBER:
24-34

PAGE:
A3

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| LEGEND | |
|--------|-------------------------------|
| | GUTTERS |
| | DOWNSPOUTS WITH SPALSH BLOCKS |
| | SLOPE DIRECTION ARROW |
| | ROOF LINE |

1 NEW ROOF PLAN
SCALE: 1/4" = 1'-0"

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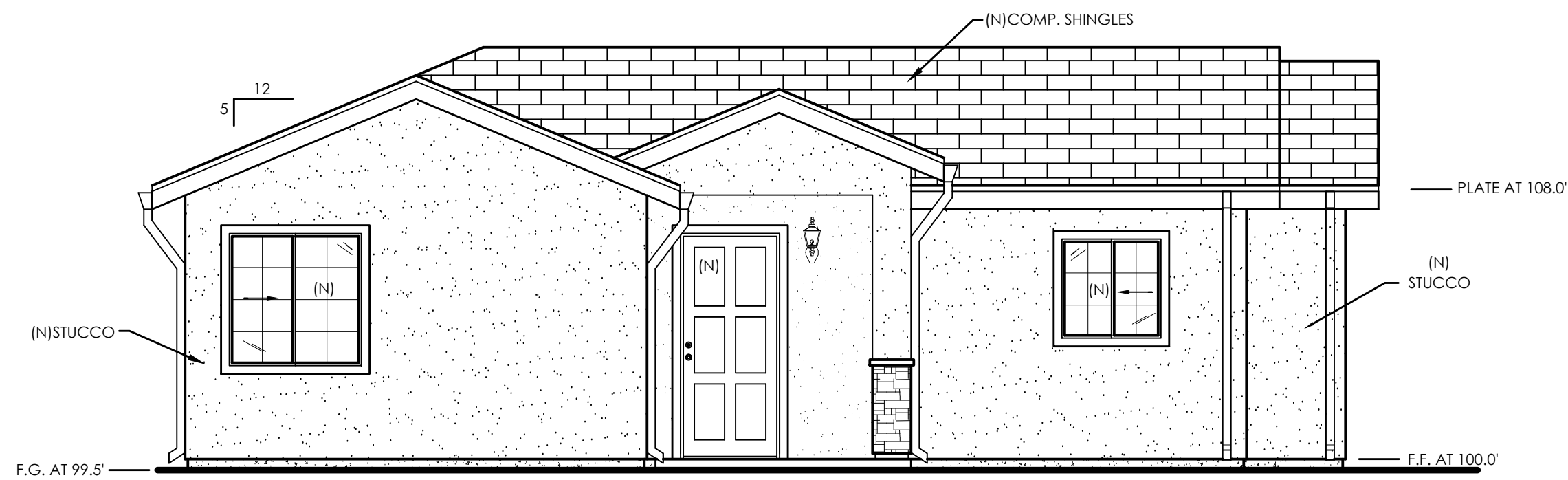
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ROOF PLAN

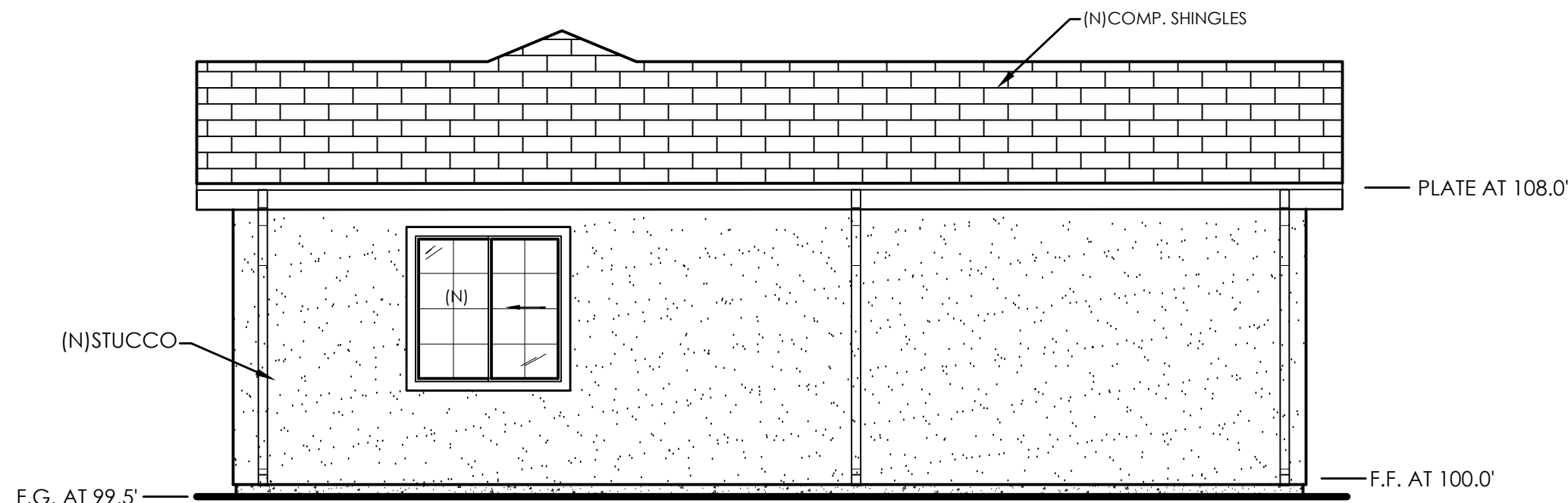
| |
|----------------------|
| 05/10/24 |
| JOB NUMBER: 24-34 |
| PAGE: A4 |

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2 FRONT ELEVATION

SCALE: 1/4"=1'-0"



3 REAR ELEVATION

SCALE: 1/4"=1'-0"

PROPOSED Exterior Finishes

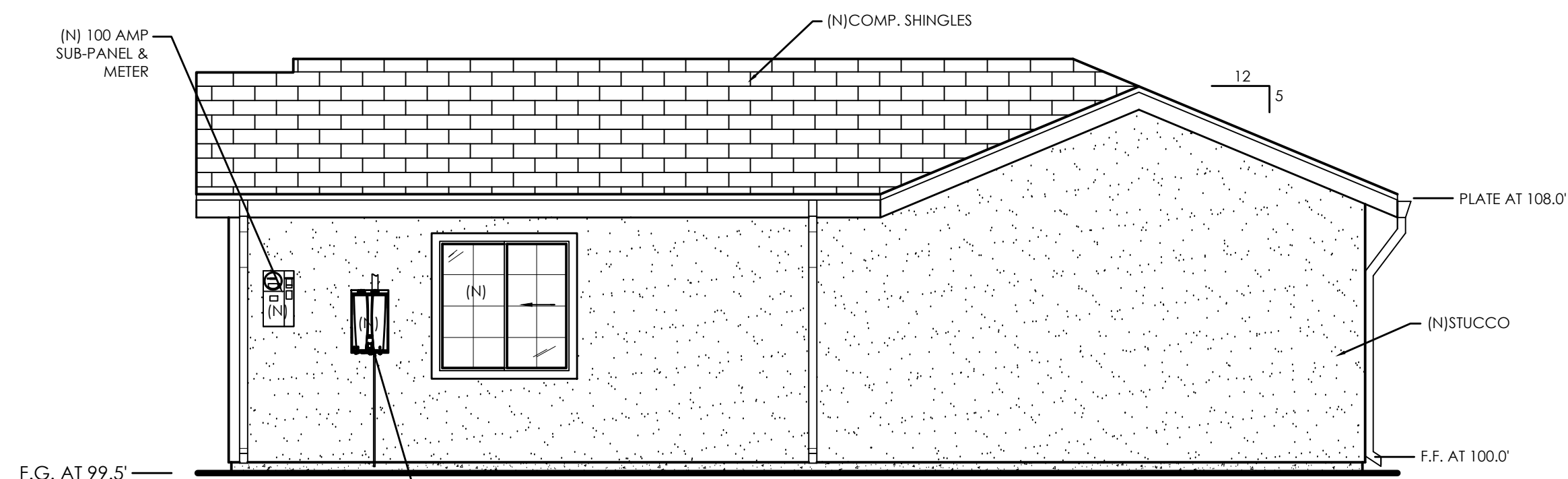
ROOF: ASPHALT COMP. SHINGLE
ROOF PITCH: 5:12 GABLE
OVERHANG: 1'-0" EAVE, 1'-0" GABLE
FASCIA/RAKE: 2X6 PRIMED SPRUCE
GUTTER: (N) GUTTER METAL DOWNSPOUTS
DOWNSPOUTS: W/ NEW SPLASH BLOCKS
WALL: STUCCO

WINDOWS: WHITE VINYL DOUBLE PANE
Exterior Colors:
SIDING: TAN BROWN
ROOF: CHARCOAL GRAY
WINDOW: WHITE

ALL NEW MATERIALS & COLORS TO
MATCH EXISTING SFD

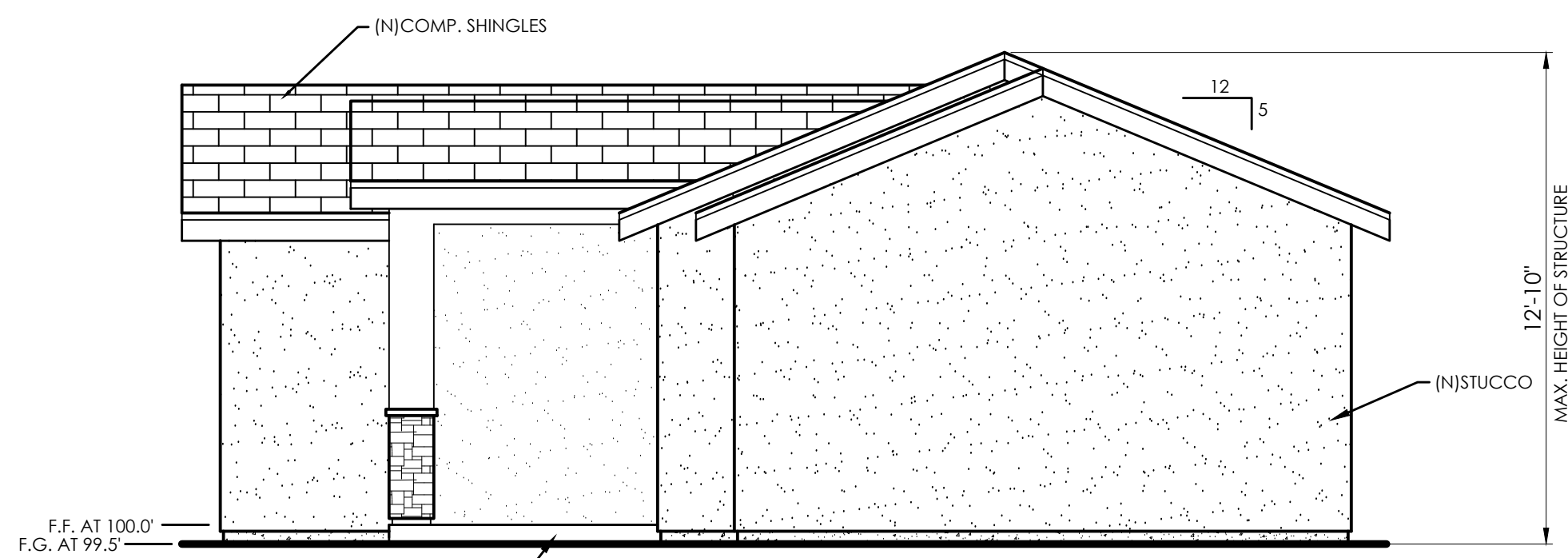
LEGEND

- NEW 2X4 WALLS D.F. #2 @ 16" O.C. STUDS (U.O.N.)
 EXISTING 2X4 WALLS



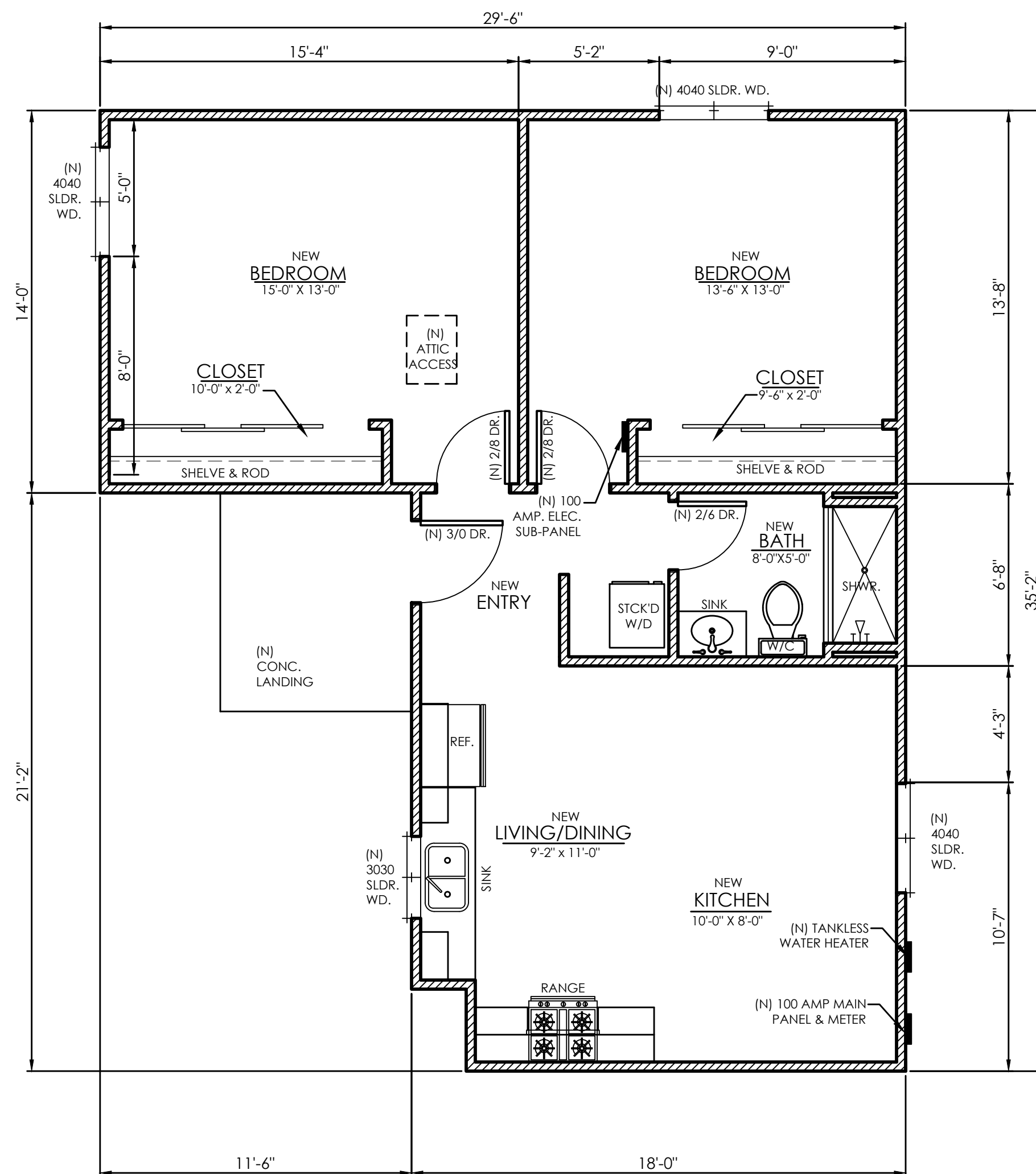
1 SIDE ELEVATION

SCALE: 1/4"=1'-0"



4 SIDE ELEVATION

SCALE: 1/4"=1'-0"



5 PROPOSED FLOOR PLAN - ADU

SCALE: 1/4"=1'-0"

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DATE:

BY:

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JUAN JIMENEZ

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APN: 030-225-013-000

ADU PROPOSED
FLOOR PLAN & ELEVATIONS

05/10/24

JOB NUMBER:

24-34

PAGE:

A5

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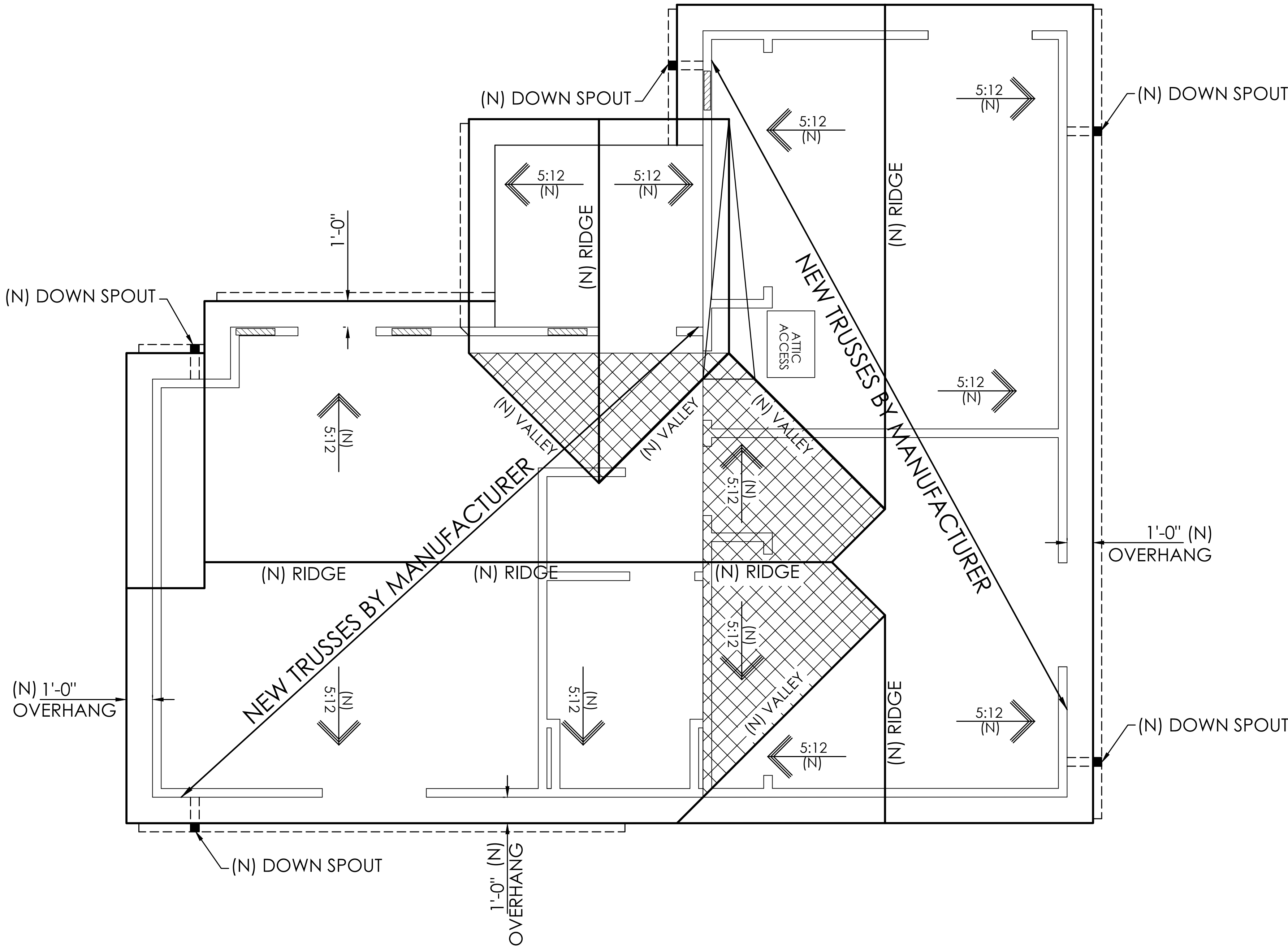
LEGEND

GUTTERS

DOWNSPOUTS WITH SPALSH BLOCKS

SLOPE DIRECTION ARROW

ROOF LINE



1

ROOF PLAN

SCALE: 3/8"=1'-0"

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ADU

ROOF PLAN

05/10/24

JOB NUMBER:

24-34

PAGE:

A6

TOPOGRAPHIC SURVEY

PRELIMINARY GRADING & ENCROACHMENT PLAN

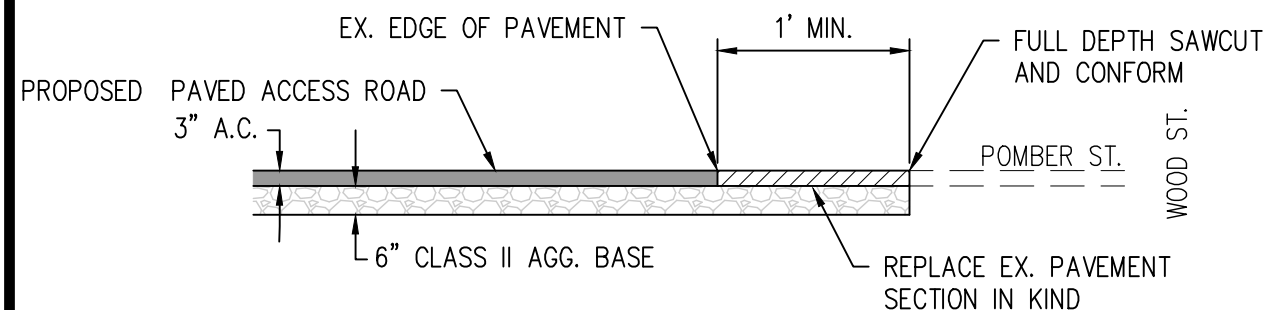
SHOWING LOT 2A AS SAID LOT IS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED DECEMBER 31, 2007, IN VOLUME 29 OF SURVEYS, AT PAGE 85, TOGETHER WITH A PORTION OF POMBER STREET (A 40 FOOT WIDE COUNTY ROAD) IN BLOCK B & C ACCORDING TO THE MAP OF THE TOWN OF CASTROVILLE, FILED IN VOLUME 1 OF CITIES & TOWNS, AT PAGE 55, RECORDS OF MONTEREY COUNTY, CALIFORNIA

SITUATE IN:

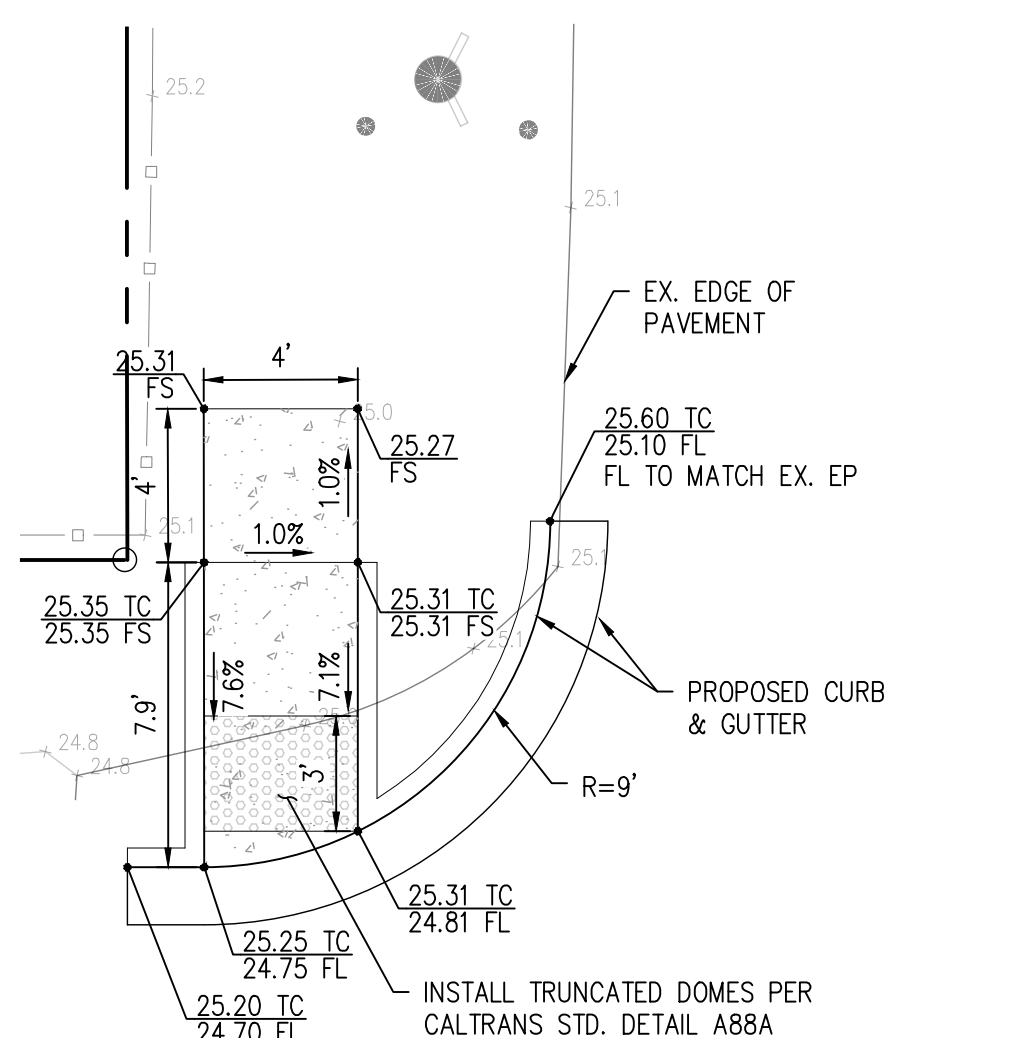
UNINCORPORATED TOWN OF CASTROVILLE
RANCHO BOLSA NUEVA y MORO COJO
COUNTY OF MONTEREY
STATE OF CALIFORNIA

PREPARED FOR

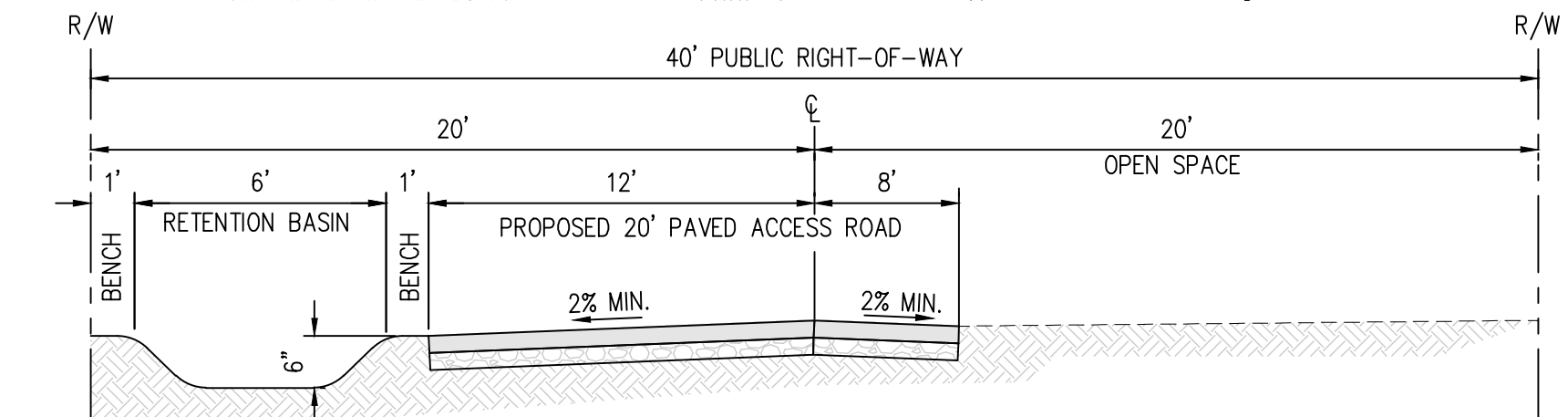
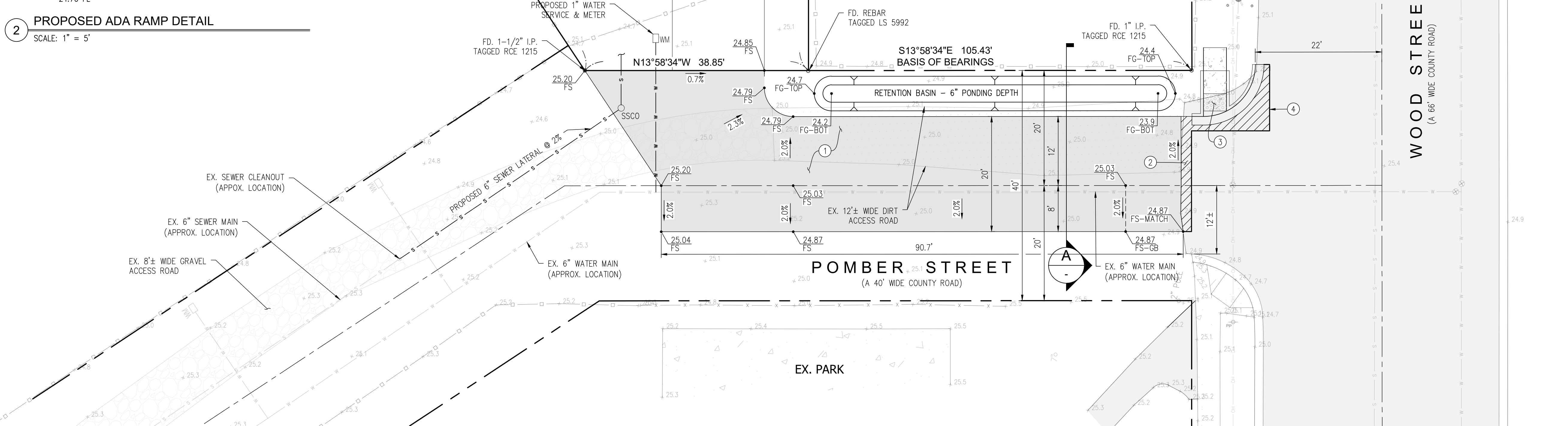
PREMIER REAL ESTATE INC. ET AL
DOCUMENT NO. 2024046248 (11/22/24)
APN: 030-225-013-000



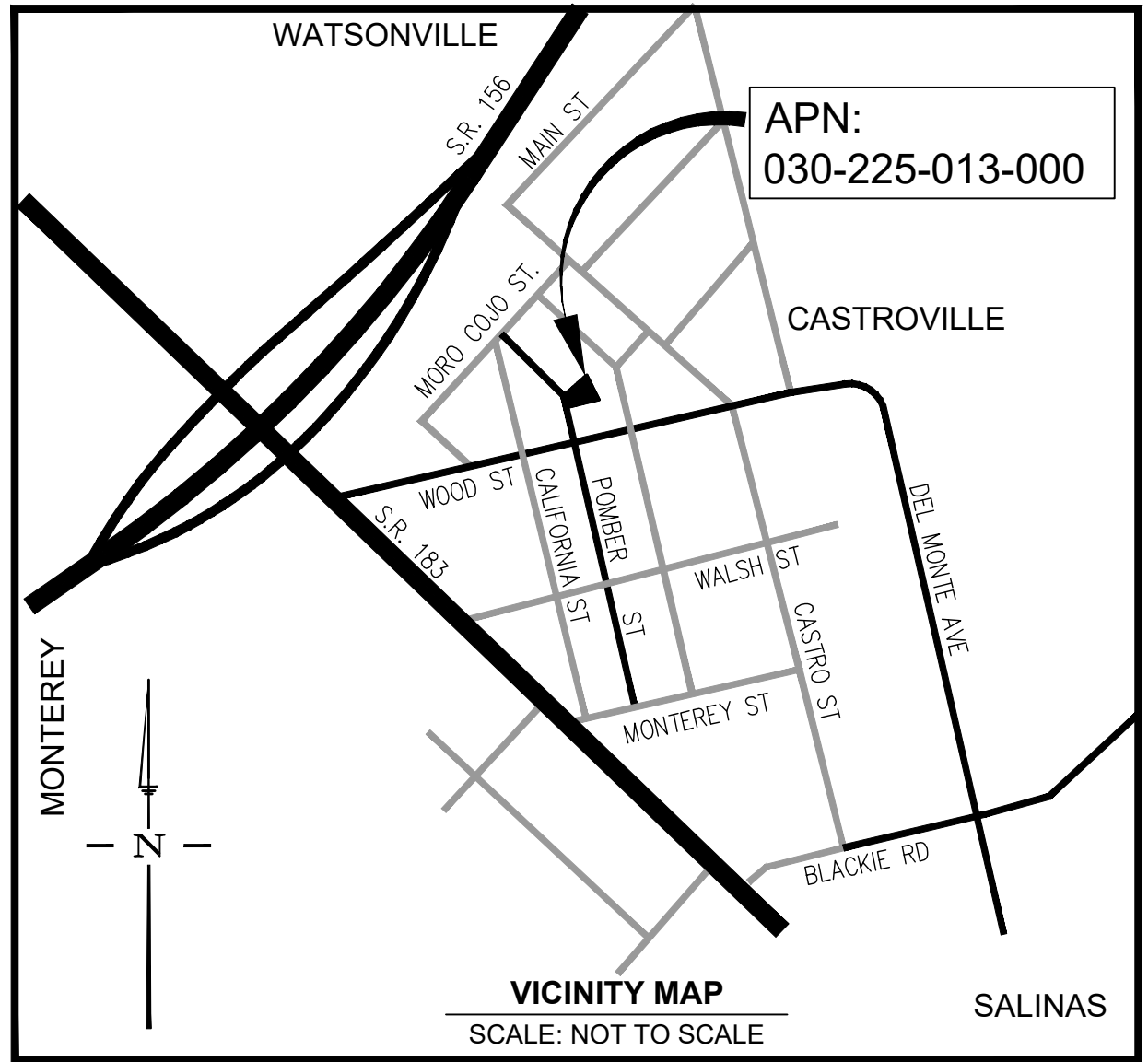
1 PAVEMENT CONFORMITY DETAIL @ DWY
NOT TO SCALE



2 PROPOSED ADA RAMP DETAIL
SCALE: 1" = 5'



A TYPICAL SECTION - POMBER STREET
NOT TO SCALE



LEGEND

- ASPHALT PAVEMENT
- PROPERTY LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- OH EXISTING OVERHEAD POWER LINE
- EXISTING WOOD FENCE
- X EXISTING CHAIN LINK FENCE
- W EXISTING WATER LINE (APPROX)
- S EXISTING SEWER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PP EXISTING POWER POLE
- EXISTING TREE
- FOUND MONUMENT AS NOTED
- I.P. IRON PIPE
- FD. FOUND
- SSCO SEWER CLEANOUT

CONSTRUCTION NOTES

- CONSTRUCT 3" A.C. OVER 6" CLASS II AB (90% REL. COMP.) OVER 12" COMPACTED NATIVE SOIL (90% REL. COMP.)
- CONFORM TO EX. AC. PAVEMENT PER DETAIL 1, THIS SHEET.
- CONSTRUCT ADA RAMP PER DETAIL 2, THIS SHEET.
- SAWCUT & REMOVE EX. PAVEMENT WITHIN HATCHED AREA & REPLACE PAVEMENT SECTION IN KIND.

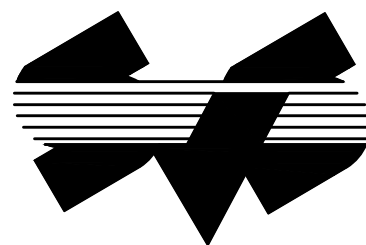
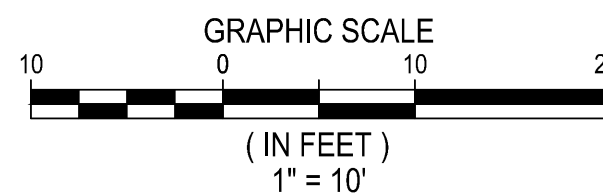
BASIS OF BEARINGS

THE BEARING OF NORTH 13°58'34" WEST, SHOWN TO BE THE EAST LINE OF POMBER STREET ON THAT CERTAIN RECORD OF SURVEY MAP FILED DECEMBER 31, 2007 IN VOLUME 29 OF SURVEYS, AT PAGE 85, AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING SHOWN UPON THIS MAP.

BENCHMARK

FOUND 3" DIAMETER BRASS DISC SET IN A CONCRETE SLAB FOR AN ELECTRICAL SERVICE CABINET FOUNDATION AT THE SOUTHERLY CORNER OF THE INTERSECTION AT DEL MONTE AVENUE & BLACKIE ROAD; STAMPED C 1449 RESET 1994.

PID: AA9738
DESIGNATION: C 1449 RESET
ELEVATION: 29.8 FEET - NAVD 88



SALINAS VALLEY SURVEYORS

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210 CAPITOL STREET, SUITE 15
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(831) 757-3244
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FEBRUARY 19, 2024

| BY | REVISIONS | DATE |
|----|-----------|------|
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| | | |
| | | |
| | | |

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DOCUMENT NO. 2024046248 (11/22/24)
APN: 030-225-013-000

TOPOGRAPHIC SURVEY
PRELIMINARY GRADING AND ENCROACHMENT PLAN

PROJECT No: 25-007
PREPARED ON: 6/9/25
REVISED ON: 6/27/25
PREPARED BY: C.ROGERS
CHECKED BY: P.PEARMAN

SHEET
1 OF 1

POMBER DEVELOPMENT

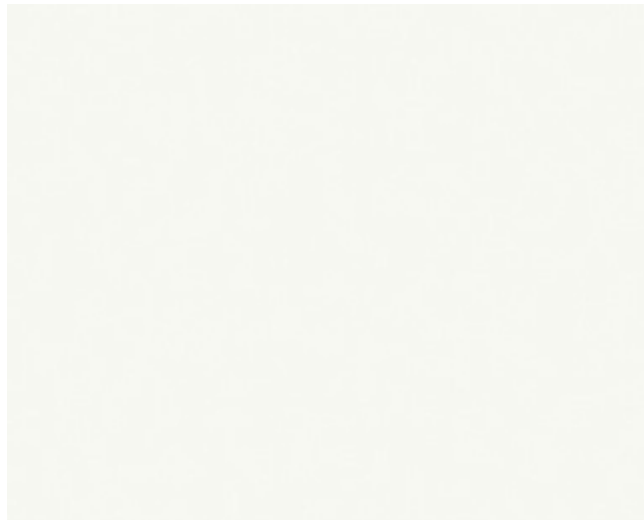
0 POMBER ST

CASTROVILLE, CA. 95012

A.P.N.: 030-225-013-000



EXTERIOR STUCCO
(BONE) STUCCO FINISH



WINDOWS & DOORS
(JELD-WEN) WHITE VINYL DOUBLE PANE

POMBER DEVELOPMENT

0 POMBER ST

CASTROVILLE, CA. 95012

A.P.N.: 030-225-013-000



ROOFING MATERIAL
(BROWN) COMPOSITE SHINGLES



VEENEERS MATERIAL
(BROWN) BRICK VENEER