

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

FOLEY JARED JOHN (PLN230304)

RESOLUTION NO. 26-058

Resolution by the Monterey County Chief of
Planning to:

- 1) Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Administrative Permit and Design Approval to allow the construction of a 3,193 square foot two-story single-family dwelling with a 943 square foot attached garage, and associated site improvements, including a 864 square foot covered porch and 238 square foot deck.

[PLN230304, Foley Jared John, 372 A Corral De Tierra Road, Salinas, Toro Area Plan (APN: 151-081-007-000)]

The FOLEY JARED JOHN application (PLN230304) came on for an administrative hearing before the Monterey County Chief of Planning on July 1st, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING:** **CONSISTENCY** - The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:** a) The project has been reviewed for consistency with the text, policies, and regulations in:
- The 2010 Monterey County General Plan (General Plan);
 - Toro Area Plan (TAP); and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The proposed project involves the construction of a 3,193 square foot two-story single-family dwelling with a 943 square foot attached garage, and associate site improvements, including a 864 square foot covered porch and 238 square foot deck.

- c) Allowed Use. The subject property is located at 372 A Corral De Tierra Road, Salinas, (Assessor's Parcel Number 151-081-007-000), Toro Area Plan. The parcel is zoned as Resource Conversation with a maximum Density of 10 units an acre and a Visual Sensitivity overlay or "RC/10-VS", which allows a single-family dwelling and non-habitable accessory structures uses to any permitted use as principally allowed uses. Chapter 21.44 requires a Design Approval application for properties within a Design Control district. Additionally, Title 21 section 21.46.030.D.2 requires the granting of an Administrative Permit for development within the VS districts that do not have the potential to create a substantial adverse visual impact when view from a common public viewing area. As further described in Finding 1, evidence "g" below, the proposed development would not have the potential to create a substantial visual impact when viewed from a common public viewing area. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject parcel (9.9 acres), APN: 151-081-007-000, is identified as Parcel 1, as shown in its current size and configuration and described in the 1989 Map of Par Ro Corral De Tierra Road Volume 18 Page 5. Therefore, the County recognizes the property as a legal lot of record.
- e) Review of Development Standards. The property is subject to the site development standards outlined in Title 21 section 21.36.060. Title 21 section 21.62.040 any accessory structure structurally attached to the main structure shall be subject to the same setback requirements as the main structure as proposed the attached garage will be subjugated to the same setback requirements as the main single-family dwelling. Additionally, Toro Plan Policy T-3.3 outlines required setbacks for properties along scenic routes such as Corral de Tierra, except for driveways, pedestrian walkways, and paths, shall have a 100-foot from such route. As proposed, the single-family dwelling with an attached garage complies with the minimum required setbacks of 100 feet (front), 20 feet (side) and 20 feet (rear). The setbacks for the single-family dwelling are 198 feet (front), 98 feet (side) and 134 feet (rear). The maximum allowable height for main structures is 30 feet. The proposed development has a height of 28.6 feet. The property is 431,444 square feet (9.9 acres), and the maximum allowable building site coverage is 25% (62,423 square feet). The proposed coverage is 1.2% (4,262 square feet), which is well below the allowable maximum. Therefore, the proposed project meets the required site development standards and complies with the applicable TAP policies.
- f) Design. Subject properties within a VS zoning district overlay are also subject to design standards outlined in Title 21, Chapter 21.44, which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The topography of the subject property slopes down towards Corral de Tierra Road but as discussed in evidence "e" and "g" below, the development is

properly sited and is within the least visible portion of the property. The proposed single-family dwelling would have a contemporary Spanish Ranch modern architectural style with clean lines and mixed materials consisting of off-white tones, stone veneer exterior siding, and dark gray shingle roof, old bronze Capanna lighting and outdoor wall scones. The property is surrounded by Coast live oak pines, Monterey cypress, as well as other native vegetation with nearby custom residences. The proposed exterior finishes would not detract from the surrounding natural environment and would be consistent with the surrounding residential neighborhood character. The proposed development will blend in with the surrounding residential neighborhood and the natural colors and materials that exist in this community. A standard condition of approval (Condition No. 4) is included to ensure that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas, in accordance with General Plan Policy LU- 1.13 and Toro Area Plan Policy T-3.5 This will require that the all-exterior lighting on the property be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Due to intervening vegetation and existing development, the proposed residence and accessory structure will not create any adverse visual impacts. Therefore, as proposed and conditioned, the project is not in conflict with the surrounding environment or with the surrounding residential neighborhood character and assures protection of the public viewshed and visual integrity.

- g) Visual Sensitivity. The property falls within the Visually Sensitive “VS” zoning district, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area. Toro Area Plan Policy T-3.1 states that new development within “visually sensitive” areas may be permitted if it is sited to enhance the area’s scenic value and that the architectural design of new development shall be consistent with the rural nature of the Toro Area. The proposed exterior colors and materials for the single-family dwelling and attached garage will consist of a black shingle roof, stone, off white paint, and dark gray windows (see evidence “e” and “f” above). Title 21 section 21.46.060 highlights regulations for areas zoned as a “VS” District. Staking and Flagging were provided for the proposed development and as confirmed by an on-site inspection, the proposed project does not have the potential to create a substantially adverse visual impact from any common public viewing areas. The proposed development is sited on the flattest portion of the property and there is existing vegetation surrounding this area, which screens it from the proposed development. Toro Area Plan Policy T-3.3 states that 100-foot setbacks are required for lots adjacent to the scenic corridor. This policy aids the project by having it secluded around the existing trees enveloping the site. Due to these factors the development cannot be seen from Corral de Tierra or any other common public viewing area. Therefore, an Administrative Permit shall be required for such

development. The development is sited in the least visible portion of the property, does not include any tree removal, includes minimal grading for site improvements, and cannot be seen from Corral De Tierra Road, Laureles Grade, San Benancio Road, Highway 68 or shopping centers along Highway 68. Therefore, the project complies with policies and regulations for development within a VS district.

- h) Site Access. Title 16 Chapter 16.80 defines the regulations for applications involving the use of private roads. The subject is served by an access easement that crosses the separately owned parcel directly to the west. On December 7, 2010, a Grant Declaration of Easement was recorded. Through this document, the grantor established a mutually beneficial easement providing shared access to and from both properties. Title 16.80 section 16.80.040.D exempts the first single family dwelling on a legal lot of record of the regulations contained in sections 16.80.050 and 16.80.060. This project will be the first single family dwelling developed on the lot; therefore, it is exempt from private road regulations.
- i) Cultural Resources. According to the Monterey County Geographic Informational System (GIS), the subject property has a high archaeological sensitivity. On December 3rd, 2002, a preliminary cultural resources reconnaissance (County of Monterey Library No. LIB020253), was utilized for the subject property. The surface reconnaissance concluded that the subject property does not contain evidence of significant cultural resources. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction
- j) Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geotechnical Report with a Geologic Hazards Assessment (County of Monterey Library No. LIB250378), this site is suitable for the residential use this project proposes; there are no geological or seismic hazards that would preclude this property from being developed. See Finding 2, evidence "c".
- k) Land Use Advisory Committee. The project was not referred to the Toro Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because the project does not involve public hearing Design Approval, a Lot Line Adjustment in the Coastal Zone, preparation of an Initial Study, or a Variance.
- l) The project planner conducted a site inspection on June 8th to verify that the project on the subject property conforms to the plans submitted.
- m) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230304.

2. **FINDING:** **SITE SUITABILITY** - The site is physically suitable for the proposed use.
- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD-Environmental Services, HCD- Environmental Health Review, and HCD-Public Works. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared and submitted with the application:
 - “Updated Geotechnical Engineering Report” (County of Monterey Library No. LIB250378), prepared by Michelle Garcia, PG, & Bill Zehrbach, GE, Salinas CA, October 17th 2025.
 - “Preliminary Cultural Resources Reconnaissance of Parcels A.P.N. 151-041-9, -25 Corral De Tierra, Salinas, Monterey County, California” (County of Monterey Library No. LIB020253), prepared by Charles R. Smith & Gary S. Brechini, SOPA, Salinas CA, April 19, 1988.County staff independently reviewed this report and concurs with their conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with these reports.
 - c) Geological Hazards. According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to General Plan Policy S-1.7 and Title 21 section 21.66.040.C, a Geological Hazards Assessment and Geotechnical Report (LIB050100 & LIB250378) were prepared to address the property’s known geological hazards. Per the geologist’s research, site reconnaissance, review of previous subsurface data, and review of stereo aerial photography and imagery, there was no evidence indicative of active faults at or immediately adjacent to the building footprint areas. The report states the nearest fault line is the Monterey Bay-Tularcitos Fault, approximately 20,592 feet of the project site located southwest. The project site did not reveal any surface features. The proposed structures, driveways and roads do not reveal any strain, which would be attributable to subsurface, lateral or vertical displacement. Therefore, surface rupture from fault activity across the site is considered improbable. According to the prepared Geologic Hazards & Geotechnical Report (County of Monterey Library No. LIB0501000 & LIB250378), this site is suitable for the residential use this project proposes, and there are no geological or seismic hazards that would preclude this property from being developed. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.
 - d) Staff conducted a site inspection on June 8th 2026 to verify that the site is suitable for this use.

- e) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230304.
3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by the HCD- Planning, Monterey County Regional Fire Protection District, HCD-Engineering Services, HCD- Environmental Services, HCD- Environmental Health Review, and HCD-Public Works. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) The property would be serviced by an existing onsite well. Source capacity testing was conducted which determined the availability of water at 20.1 gallons per minute. EHB conditioned the project accordingly to ensure standard contaminant manganese with below the required threshold. The project includes development of a new septic system that was reviewed and determined adequate by the EHB.
 - c) Staff conducted a site inspection on June 8th, 2026, to verify that the site is suitable for this use.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230304.
4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on June 8th, 2026, to verify that the site has no violations.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN230304.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction, inclusive of single-family dwelling.
 - b) As proposed, the project involves the construction of a single-family dwelling with an attached garage.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on June 8th 2026
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN230304.

6. FINDING: **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

- EVIDENCE:**
- a) Planning Commission, Section 21.80.040 of Title 21 identifies type of permit may be appealable to the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Chief of Planning Authority does hereby:

1. Finding the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303(a) and none of the exceptions to the exemptions listed in Section 15300.2 can be made; and
2. Administrative Permit and Design Approval to allow the construction of a 3,193 square foot two-story single-family dwelling with a 943 square foot attached garage, and associated site improvements, including a 864 square foot covered porch and 238 square foot deck.

PASSED AND ADOPTED this 1st day of July 2026:

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN230304

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative and Design Approval permit (PLN230304) allows a new 3,193 square foot single family dwelling, 943 square foot attached garage, 864 square foot covered porch and 238 square foot deck. The property is located at 372 Corral De Tierra, Salinas, (Assessor's Parcel Number 151-081-007-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative and Design Approval Permit (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 151-081-007-000 on 07/01/26. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. EHSP01- WATER TREATMENT DESIGN (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Water quality analysis of a sample collected from the onsite well (EHB Permit No. WP0003289) on June 22, 2022, indicate that Manganese was detected at 681 (six-hundred and eight-one) parts per million (ppm), which exceeds the maximum containment level (MCL) of 50 (fifty) ppm and notification level, which is 10 (ten) times greater than the MCL. An approved water treatment system shall be designed and installed to provide water that meets drinking water standards. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04. The design shall address water treatment wastewater management. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau (EHB) for review and approval plans for a water treatment system and any associated fees.

Prior to final inspection of construction permit, the EHB-approved water treatment system shall be installed. The applicant shall provide the EHB for review and acceptance as-built plans for the approved treatment system prepared by a qualified individual and shall submit acceptable water quality results for a pre- and post-treatment Manganese sample from the well.

6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: https://www.tamcmonterey.org/files/53eb01ba3/2025-0701-Fee_Implementation_Worksheet.xlsx

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

7. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. The fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138985/638884451861730000>

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

**NEW SINGLE FAMILY RESIDENCE
372 A CORRAL DE TIERRA ROAD
SALINAS, CA, 93908**

GENERAL NOTES

1. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS. NOTIFY THE OWNER AND THE DESIGNER (BEN TISCARENO) IF ANY DISCREPANCIES ARE FOUND OR REQUEST FOR INFORMATION ABOUT SCOPE OF CHANGES FROM PLANS DRAWN BY TISC DESIGN. BEFORE PROCEEDING WITH WORK
2. ALL LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER
3. ALL NAILING SHALL BE PER C.R.C. , CHAPTER 6
4. ALL EQUIPMENT TO BE INSTALLED SHALL BE LISTED BY AN APPROVED TESTING AGENCY THAT IS ACCEPTABLE TO CITY OF SALINAS BUILDING INSPECTION
5. ALL GYPSUM BOARD SHALL BE INSTALLED PER C.R.C. , CHAPTER 7
6. ALL CONCRETE SHALL BE 2500 P.S.I. COMPRESSIVE STRENGTH
7. PROVIDE ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. (CRC SECTION R319.1)
8. WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLON/FLUSH. SHOWERHEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, AND LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM @ 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS AT 80 PSI. 90PC 4UL2, CPC 40B2, CPC 407.2, CPC 402.40
9. PRIOR TO THE START OF CONSTRUCTION THE APPLICANT/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OF CIVIL ENGINEER'S REFERENCE DATA (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
 - a) DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
 - 1) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - 2) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL
 - 3) RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE
 - 4) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
10. CONTRACTOR SHALL REMOVE GRASS AND WEEDS GROWING IN THE SIDEWALK. PREVENT THE USE OF HERBICIDES.
11. ALL OBSTRUCTIONS, IMPROVEMENTS AND/OR CONSTRUCTION WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRE AN ENCROACHMENT PERMIT. PRIOR TO ANY OBSTRUCTION AND/OR WORK IN THE PUBLIC WAY AND/OR IN CITY-OWNED PROPERTY, THE CONTRACTOR/ DEVELOPER SHALL APPLY FOR AND OBTAIN A CITY OF SALINAS ENCROACHMENT PERMIT. CONTRACT THE CITY'S DEVELOPMENT ENGINEERING DIVISION TO PROCESS SAID ENCROACHMENT PERMIT AT P CITY OF MONTEREY PERMIT CENTER ALL OFF-SITE IMPROVEMENTS.
12. FINISHED GRADE SHALL SLOPE A MINIMUM OF 5% AWAY FROM FOUNDATION AND ADJACENT PROPERTIES TO AN APPROVED LOCATION. THE GRADE SHALL BE A FALL OF A MINIMUM OF 6 INCHES WITH THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC SECTION R304.3)
13. COOKING APPLIANCES SHALL HAVE A CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30". A MINIMUM CLEARANCE OF 24" IS PERMITTED WHEN A VENTILATING HOOD CONSTRUCTED OF SHEET METAL NOT LESS THAN 0.0122" THICK IS INSTALLED ABOVE THE COOKING TOP WITH A CLEARANCE OF NOT LESS THAN 1/4" BETWEEN THE HOOD AND UNDERSIDE OF CABINET. [CMC 922.3]
14. A MINIMUM INTERMITTENT VENTILATION AIRFLOW RATE OF 100 CFM AND MAXIMUM OF 3.0 SONE RATES ARE REQUIRED FOR KITCHEN EXHAUST FAN. [CENC 15(0) & ASHREA 62.2]
15. PROVIDE THE FOLLOWING FOR THE WATER HEATER:
 - A) A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN THREE FEET OF THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS, AND LIGHTING FIXTURE.
 - B) A CATEGORY II OR IV INVENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED; AND,
 - C) A CONDENSATE DRAINING WITHOUT PUMP ASSISTANCE.
16. A DEDICATED 125V, 20AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240-VOL. 3 CONDUCTOR, 10 AWG COOPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS AND LIGHTING FIXTURE".
17. SHOWER COMPARTMENT SHALL HAVE A CLEAR WIDTH OPENING OF 22 INCHES, ALSO SHOWER DOOR SHALL OPEN TO MAINTAIN NOT LESS THAN 22-INCH UNOBSTRUCTED OPENING FOR EGRESS. [CPC 408.5]
18. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUTITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

- CONSTRUCTION WASTE MANAGEMENT. ALL ADDITIONS/ALTERATION RESIDENTIAL BUILDING PROJECT SUBJECT TO CAL GREEN SHALL COMPLY WITH THE CONSTRUCTION AND DEMOLITION (C&D) REQUIREMENTS OF SALINAS MUNICIPAL CODE SECTION 9-11.1: AT LEAST 65% OF THE C&D DEBRIS AND 100% OF INERT MATERIALS GENERATED BY THE PROJECT ARE RECYCLED, SALVAGED, COMPOSTED, OR OTHER HANDLED WITH AN APPROVED METHOD.
20. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
21. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
22. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
23. PAINTS, STAINS AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS.
24. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
25. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
26. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
27. 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIC VOC CRITERIA.
28. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEM SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
29. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.
30. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
31. EACH BATHROOM SHALL BE PROVIDED WITH THE FOLLOWING:
 1. ENERGY STAR FANS DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 2. FANS MUST BE CONTROLLED BY HUMIDITY CONTROL (SEPARATE OR BUILT-IN); OR FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.
 3. HUMIDITY CONTROLS WITH A MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF 80 PERCENT.
32. DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
 2. SIZE DUCT SYSTEM ACCORDING TO ANSI/ACCA 1 MANUAL D-20 14 OR EQUIVALENT.
 3. SELECT HEATING COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-20 14 OR EQUIVALENT.
33. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
34. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
35. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SUBSTANTIAL CONFORMANCE.
36. ALL PROPERTY LINE DATA TAKEN FROM RECORD MAPS.
37. ALL FIELD INFORMATION TAKEN FROM AERIAL MAPS, LOCATION OF THE STRUCTURES SHOWN ARE APPROXIMATE. NO FIELD SURVEY WAS TAKEN.
38. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS. NOTIFY THE OWNER AND THE DESIGNER (TISC DESIGN) IF ANY DISCREPANCIES ARE FOUND OR REQUEST FOR INFORMATION ABOUT SCOPE OF CHANGES FROM PLANS DRAWN BY TISC DESIGN, DESIGNER, BEFORE PROCEEDING WITH WORK.
39. FOR HOME REPAIR AND REMODELING, FRESH CONCRETE AND MORTAR APPLICATION AND GENERAL CONSTRUCTION AND SITE SUPERVISION STORM WATER "BMP" BROCHURES BY CITY OF SALINAS NPDES, FOR PROPER CARE AND HANDLING OF THE PROPOSED IMPROVEMENT.
40. STANDPIPE SYSTEM SHALL BE INSTALLED FOR THE CLOTHES WASHER.
[CPC 804.1]
41. CLOTHES DRYER MOISTURE EXHAUST SHALL HAVE A BACK-DRAFT DAMPER. MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT.
[CMC 504.4.2 & 504.2.1 & 504.2.2]
42. BEDROOM WINDOWS SHALL BE AS FOLLOWS:
 - a. AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ.FT. EXCEPTION: 5 SQ.FT. FOR GRADE-FLOOR OPENING (R310.2.1)
 - b. MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT. (R310.2.1)
 - c. MINIMUM NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH (R310.2.1)
 - d. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURES FROM THE FLOOR. (R310.2.2).

43. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS).
44. THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (1/2" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANEED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.
45. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEW AND PERMITS.
46. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS.
47. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND SHORING AND UNDERPINNING.
48. PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.
49. FOR THE NEW 2022 CRC, SECTION R327, AGING IN PLACE DESIGN AND FALL PROTECTION AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.

FIRE NOTES

P103.1 Driveways. (FIRE 2007). Driveway identified in this Section is defined as a vehicle access that serves up to two (2) parcels with no more than two (2) residential units and any number on non-commercial or industrial buildings on each parcel. Driveways shall not be less than twelve (12) feet wide traffic lane and minimum fourteen (14) feet wide unobstructed clearance, with an unobstructed vertical clearance of not less than fifteen (15) feet. The grade for all driveways shall not exceed fifteen percent (15%) with a maximum side slope of five percent (5%). Where driveway grades are eight percent (8%) or less, an all-weather surface such as an aggregate base shall meet minimum fire requirements. Other types of material for driveways may be required by Monterey County Code. Where the grade exceeds eight percent (8%), a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus forty thousand (40,000) pounds, and be accessible by conventional-drive vehicles, including sedans. For driveways with turns ninety (90) degrees and less, the minimum horizontal inside radius of curvature shall be twenty-five (25) feet. For driveways with turns greater than ninety (90) degrees, the minimum horizontal inside radius curvature shall be twenty-eight (28) feet. For all driveways, turns of ninety (90) degrees or less, the minimum surface of forty (4) feet shall be added. All driveways exceeding the minimum width of fifteen (15) feet in length, but less than eight hundred (800) feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds eight hundred (800) feet, turnouts shall be provided at no greater than four hundred (400)-foot intervals. Turnouts shall be a minimum of twelve (12) feet wide and thirty (30) feet long with a minimum of twenty (25) foot taper at both ends. Turnarounds shall be required on driveways in excess of one hundred fifty (150) feet of surface length and shall be thirty (30) feet long with a minimum twenty-five (25) foot taper at both ends. Turnarounds shall be required on driveways in excess of one hundred fifty (150) feet of surface length and shall be located within fifty (50) feet of the primary building. The minimum turning radius for a turnaround shall be forty (40) feet from the center line of the driveway. If a hammerhead/T, that is, the top of the "T" shall be a minimum of sixty (60) feet in length.

P103.2. Gates. (FIRE 008). All gates providing access from a road to a driveway shall be located at least thirty (30) feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least two (2) feet wider than the width of the traffic lane but in no case be less than fourteen (14) feet wide unobstructed and unobstructed vertical clearance of fifteen (15) feet. Where a one-way road with a single traffic lane provides access to a gated entrance, a forty (40) foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required.

P104.2.2 Addresses for buildings. (FIRE 011.) All buildings shall be issued an address in accordance with jurisdictional requirements. Each occupancy, including detached accessory dwelling units (ADU), except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of four-inch (4") height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible from both directions of travel along the road. In the case of a driveway entrance, the address shall be visible from the direction of travel thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance.

P109.1 Standard defensible space requirements. (FIRE O19). Remove combustible vegetation from within a minimum of one hundred (100) feet or to the property line from structures, whichever is closer. Vegetation shall be no taller than four inches (4") high. Limb trees six feet up from ground. Remove limbs within ten (10) feet of chimneys. Additional or alternate fire protection approved by the Fire Code Official may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by the Fire Code Official and other jurisdictional authorities.

P110.1 Residential fire sprinkler systems (Standard). (FIRE 021). The building(s) and attached structure(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection.

Q103.2 Very High Hazard Severity Zone, (FIRE 027). Roofing requirements for existing buildings within a very high hazard severity zone when fifty percent (50%) or more of the roof area is reroofed within a one-year period after the issuance of a building permit shall be a minimum Class "A" roof assembly as defined by the International Building Code. Where there is no permit issued, this Section is applicable to such buildings constructed after the effective date of this code and to buildings where fifty percent (50%) or more of the roof area is reroofed within a one-year period after commencing construction.

ZONING INFORMATION

ZONING: RC/10-VS
LAND USE DESIGNATION: RESIDENTIAL LOW DENSITY
LOT SIZE: 435,600 SQ. FT. (10 ACRES)
LANDS OF MR. & MRS FOLEY, PARCEL "A"
AS SHOWN IN VOL. 21 OF PARCEL MAPS, AT PAGE 118.

LOT DATA

PARCEL SIZE	
NEW RESIDENCE	10.0 ACRES = 436,000 SQ.FT.
NEW RESIDENCE	
FIRST FLOOR AREA:	2,455.9 S.F.
SECOND FLOOR AREA:	736.5 S.F.
GARAGE AREA:	942.3 S.F.
TOTAL	4,134.7 S.F.
NEW DECK	237.7 S.F.
NEW PORCH	864.0 S.F.
LOT COVERAGE	
NEW RESIDENCE	4,262.2 S.F. / 10 ACRES = 1.0%

DIRECTORY

DESIGNER:	SOILS ENGINEER
TISC DESIGN	ELIATH SYSTEMS PACIFIC
109 B CENTRAL AVENUE	1514 MOFFET STREET, SUIT A
SALINAS, CA 93901	SALINAS, CA 93905
(831) 320-1536	(831) 240-4624
TITLE 24	STRUCTURAL ENGINEER
EDWARD RINEHART A.I.A.	CENTRAL COAST ENGINEERS
107 CHURCH STREET	21 WEST ALISAL STREET
SALINAS, CA 93901	SALINAS, CA 93901
(831) 422-1048	(831) 757-5554
SEPTIC ENGINEER	WATER SYSTEM
C3 ENGINEERING	GARY WIEGAND, PE
126 BONIFACIO PL., STE C	UTILITY SERVICES
MONTEREY, CA 93940	25993 COLT LANE
(831) 647-1192	CARMEL VALLEY, CA 93924
	(831)-238-6236

HERS INSPECTION REQ'D NOTE:

THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTED ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING TABLES BELOW.

REGISTERED CF2Rs AND CF3Rs ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY.

BUILDING-LEVEL VERIFICATIONS:

- QUALITY INSULATION INSTALLATION (QII)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD

CLIENT

PROPERTY OWNER

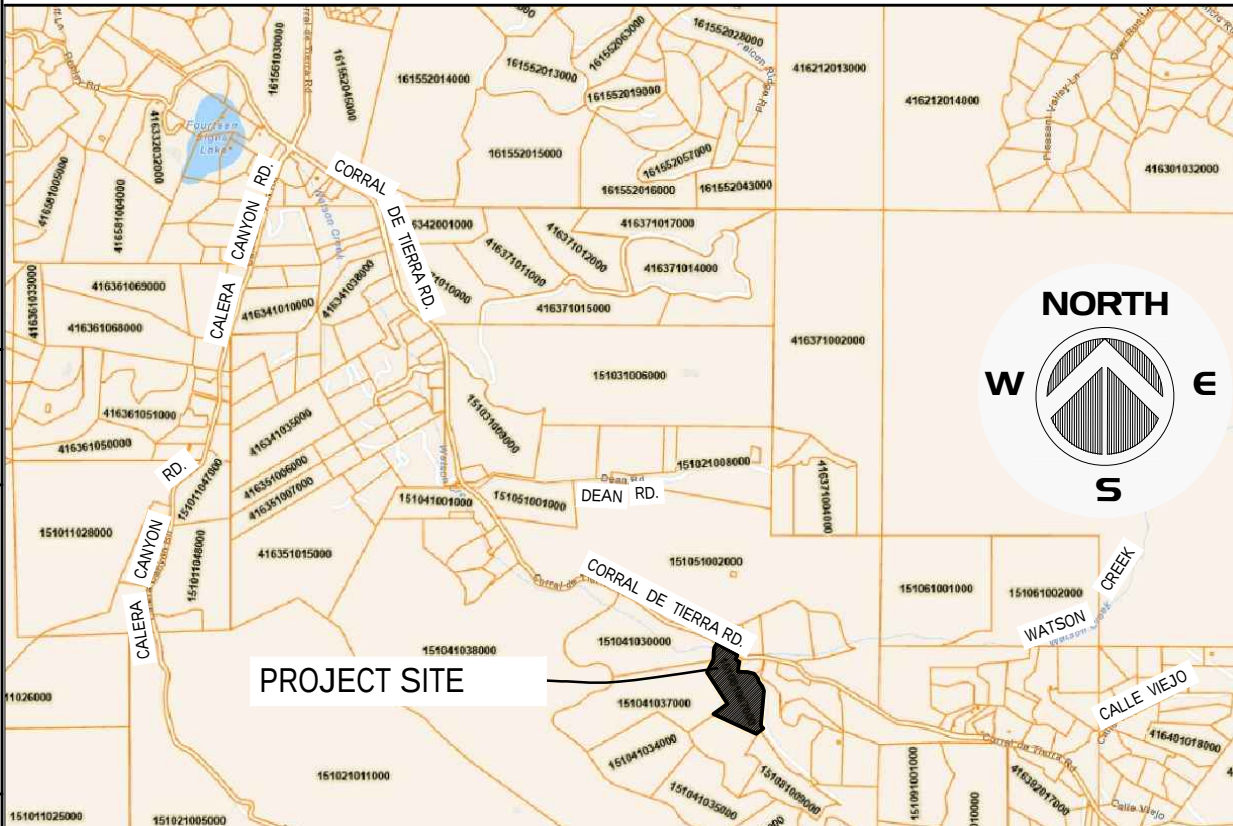
MR. & MRS FOLEY	PROPERTY ADDRESS:
104 RIVER ROAD	372 A CORRAL DE TIERRA ROAD
SALINAS, CA 93908	SALINAS, CA, 93908

DEFERRED SUBMITTALS

PV PHOTOVOLTAIC (SOLAR PANEL SYSTEM)

NOTE:
BUILDING FINAL WILL NOT BE ISSUED UNTIL SOLAR PANELS ARE
INSTALLED AND APPROVED.

VICINITY MAP



LEGAL DESCRIPTION

ZONING : RC/10-VS
 LOT AREA : 435,600 SQ. FT. (10 ACRES) LANDS OF MR. & MRS FOLEY, PARCEL "A"
 AS SHOWN IN VOL. 21 OF PARCEL MAPS, AT PAGE 118.
 APN 151-081-007-000

PROJECT DESCRIPTION

1. NEW SINGLE FAMILY RESIDENCE
2. NEW 3 CAR GARAGE

CODE ANALYSIS

GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH:

2022 CRC, 2022 C.M.C., 2022 C.P.C., 2022 C.E.C., 2022 TITLE 24, CEnC (R1061.1 CRC), 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE.

ENERGY METHOD : 2022 STANDARDS

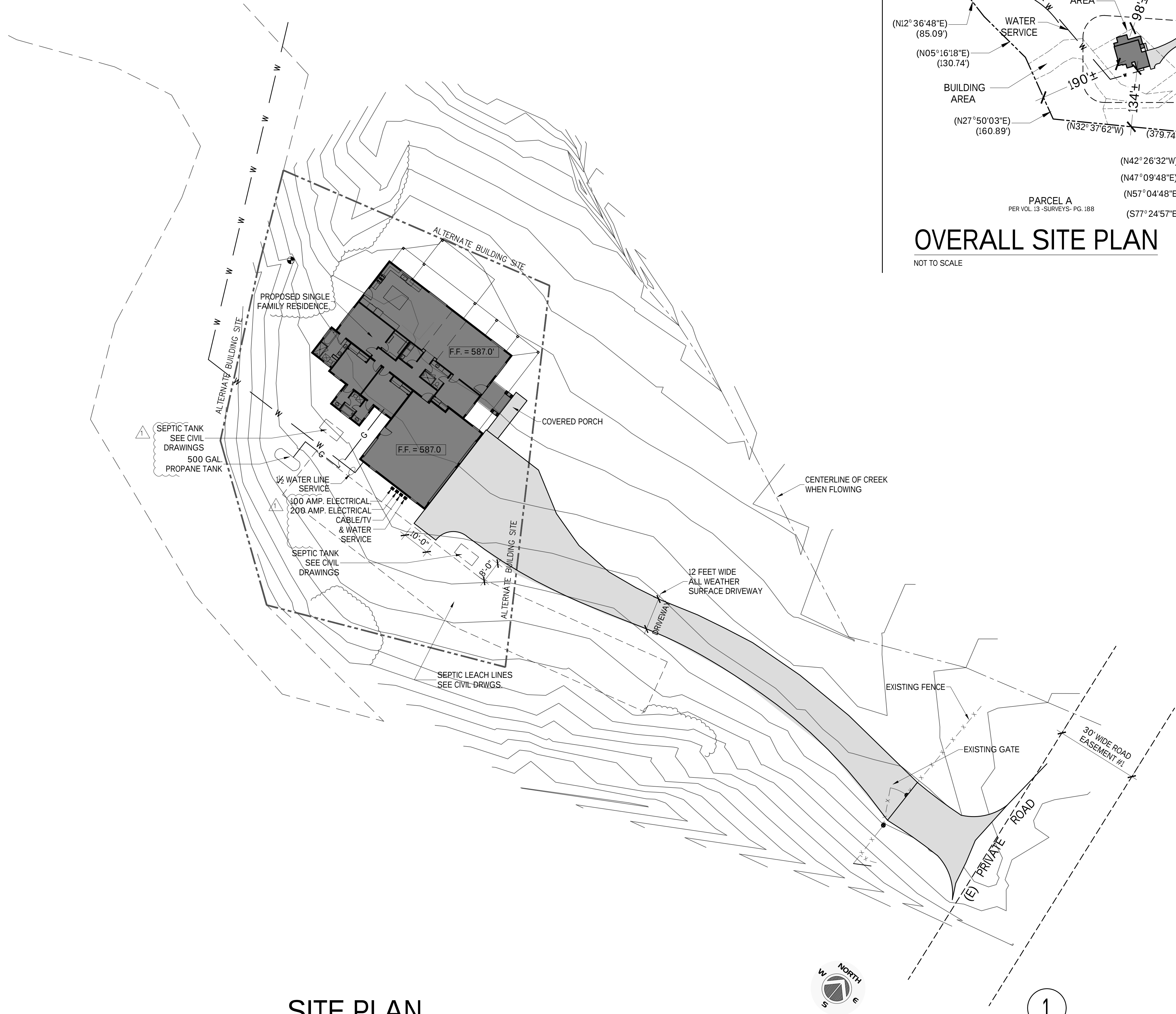
SITE ADDRESS: 372 A CORRAL DE TIERRA ROAD
SALINAS CA 93908

GOVERNING AGENCY:	MONTEREY COUNTY, CA
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	VB
STORIES:	2
AUTOMATIC SPRINKLER SYSTEM: YES	

SHEET INDEX

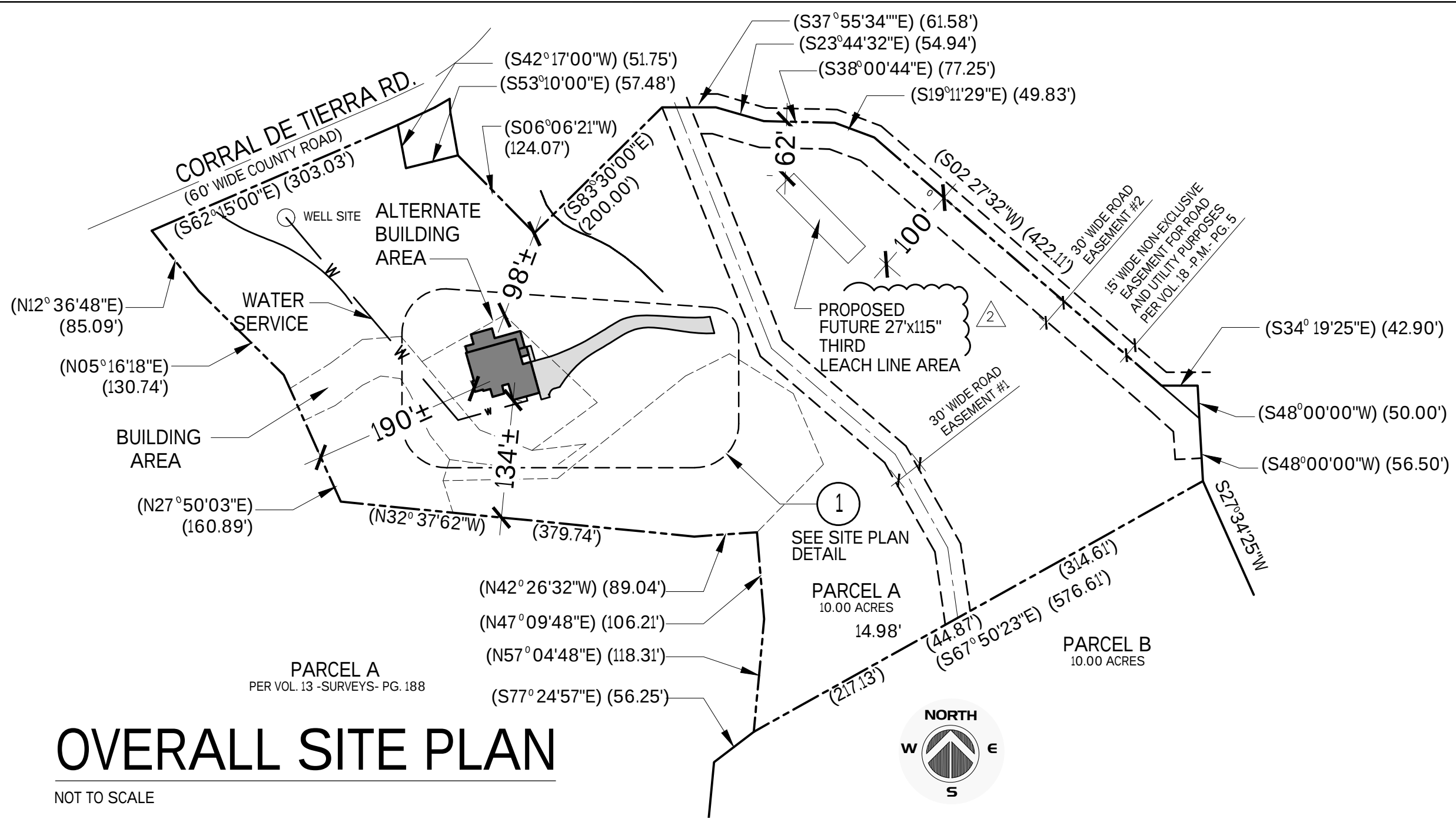
A-0	TITLE SHEET - NOTES
A-0.1	SITE PLAN, VICINITY MAP, CODE ANALYSIS, PROJECT DIRECTORY.
A-0.2	GRADING AND EROSION CONTROL PLAN, DETAILS
A-0.3	RECYCLING PLAN
A-1	FIRST FLOOR PLAN AND
A-2	SECOND FLOOR PLAN
A-3	ELEVATIONS - ROOF PLAN
A-3.1	ELEVATIONS
A-4	SECTIONS
A-5	DETAILS
A-6	FASTENING SCHEDULE -DETAILS
E-1	FIRST ELECTRICAL PLAN
E-2	SECOND FLOOR ELECTRICAL PLAN
S0.0	STRUCTURAL NOTES
S0.1	STRUCTURAL NOTES
S1.1	TYPICAL DETAILS
S1.2	TYPICAL DETAILS
S2.1	FOUNDATION PLAN
S2.2	SECOND FLOOR FRAMING PLAN AND LOWER ROOF PLAN
S2.3	UPPER ROOF PLAN
S3.1	DETAILS
S3.2	DETAILS
S3.3	STRUCTURAL DETAILS
S3.4	STRUCTURAL DETAILS
WSWH1	STRONG WALL DETAILS
WSWH2	STRONGWALL DETAILS
1	DOMESTIC WATER SYSTEM PLAN
C-1	SEPTIC COVER SHEET
C-2	UTILITY PLAN
C-3	SECTION, DETAILS
EN.1	TITLE 24
EN.2	TITLE 24
EN.3	TITLE 24
GB.1	CAL GREEN

[illegible]



SITE PLAN

1" = 20.00'



OVERALL SITE PLAN

NOT TO SCALE

PRIOR TO FINAL
SITE INSPECTIONS NOTES:

PRIOR TO LAND DISTURBANCE:
PRIOR TO ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

DURING ACTIVE CONSTRUCTION:
DURING CONSTRUCTION, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

FOLLOWING ACTIVE CONSTRUCTION:
PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

REVISIONS		BY
1	4-2-25	BT
2	7-29-25	BT
3	4-26-26	BT
TISC D SIGN 109 B CENTRAL AVENUE SALINAS, CA 93901 Phone : (831)-320-1536		
BEN TISCARENO DESIGNER		
SHEET TITLE: SITE PLAN, VICINITY MAP.		
PROJECT NAME: MR. & MRS FOLEY 372 A CORRAL DE TIERRA ROAD SALINAS, CA. 93908 APN 151-081-007-000		
PROJECT CLIENT: MR. & MRS FOLEY 104 RIVER ROAD SALINAS, CA 93908		
DATE: 12-12-22		
SCALE: SHOWN		
DRAWN: BT		
SHEET NO. A-0.1		

IMPORT/EXPORT = 0 CYDS.

1. PRIOR TO LAND DISTURBANCE, THE APPLICANT SHALL AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
2. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFICIENCY OF THE DRAINAGE DEVICES, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
3. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSIONAL AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
4. PRIOR TO FINAL INSPECTION, THE APPLICANT SHALL PROVIDE A LETTER FROM A LICENSED PRACTITIONER CERTIFYING THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

1. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION, BETWEEN OCTOBER 15 AND APRIL 15, EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED.
2. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
3. DISTURBED AREAS SHOULD BE SEEDED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SILTATION BARRIER AS SHOWN ON PLAN.
4. ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIXTURE THAT WILL YIELD THE FOLLOWING RATE OF APPLICATION:

TYPE OF SEED	POUNDS PER ACRE
COMMON RYEGRASS	30
WINTER BARLEY	10
BIRDFOOT TREFOIL	5
PORPHY AND LUPIN (CALIFORNIA WILDFLOWER MIX)	5
MANZANITA	3
5. AFTER CULTIVATION, THE EROSION CONTROL MATERIAL SHALL BE MIXED AND APPLIED TO ALL CUT AND FILL SLOPES IN APPROXIMATELY THE FOLLOWING PROPORTIONS:

MATERIAL	PER ACRE (SLOPE MEASUREMENTS)
SEED	51 POUNDS
FERTILIZER	500 POUNDS
STRAW MULCH	1,000 POUNDS
WATER	AS REQUIRED
6. RAIN RUNOFF FROM THE SITE SHALL BE FILTERED BY A STRAW BALE SILTATION BARRIER TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
7. TEMPORARY CUT-OFF BERMS OR DITCHES MAY BE CONSTRUCTED TO DIRECT RUNOFF TO SILTATION BASINS PRIOR TO OUTLETTING INTO NATURAL CHANNELS OR ONTO ROADS.
8. ALL EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH DAY.
9. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
10. DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTION HAVE BEEN COMPLETED TO THAT POINT.
11. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.



NTS

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

CC

IMPERVIOUS AREA (IN DISTURBED AREA) = 9,280 S.F.

Site Inspection – Prior to Land Disturbance
Prior to any land disturbance, the owner/applicant shall schedule an inspection with the Department of Housing and Community Development to ensure all necessary sediment controls are in place and the project is compliant with Monterey County regulations

Site Inspection –During Active Construction
During construction, the applicant shall schedule an inspection with the Department of Housing and Community Development to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site.

Site Inspection –Following Active Construction
Prior to final inspection, the owner/applicant shall schedule an inspection with the Department of Housing and Community Development to ensure all disturbed areas have been stabilized and all temporary erosion and sediment control measures that are no longer needed have been removed.

THE FOLLOWING ITEMS SHALL BE INSPECTED "SPECIAL INSPECTION" SHALL CONFORM TO 2016 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCIES SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

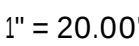
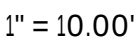
ITEM	REQ.	REMARKS
FOUNDATION EXCAVATIONS	N/A	BY SOILS ENGINEER / CONTINUOUS
SUB-GRADE PREPARATION	N/A	BY SOILS ENGINEER / PERIODIC
CLASSIFICATION/TESTING OF FILL MATERIAL	N/A	BY SOILS ENGINEER / PERIODIC
OBSERVATION OF FILL MATERIAL/ COMPACTION	YES	BY SOILS ENGINEER / CONTINUOUS
FOUNDATION	N/A	BY SOILS ENGINEER / PERIODIC VERIFICATION OF MATERIAL BELOW FOOTING TO ACHIEVE CAPACITY
MASONRY AND CONCRETE CONSTRUCTION	N/A	LOADS < 2500 PSI. INSPECTION NOT REQUIRED. CBC SECTION 1704.4
REINFORCING STEEL CONSTRUCTION	N/A	TO BE DETERMINED/ PERIODIC
SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION		



NTS

THE FOLLOWING STEPS WILL HELP REDUCE STORM WATER POLLUTION FROM CONCRETE WASTES:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- FOR ON-SITE WASHOUT:
 - LOCATE WASHOUT AREA AT LEAST FIFTY FEET (50') FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
 - WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
 - WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO A BERMED OR LEVEL AREA.
 - DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.


$$1'' = 20.00$$

$$1'' = 10.00'$$

TISC DESIGN
109 B CENTRAL AVENUE
SALINAS, CA 93901
Phone : (831)-320-1536

SHEET TITLE:
**GRADING AND
EROSION CONTROL PLAN
NOTES**

PROJECT NAME:
MR. & MRS FOLEY
3372 A CORRAL DE TIERRA ROAD
ESALINAS, CA, 93908
APN 151-081-007-000

PROJECT CLIENT:
MR. & MRS FOLEY
104 RIVER ROAD
SALINAS, CA 93908

SCALE: SHOWN

SHEET NO.

A-0.2

DOOR SCHEDULE

NO.	SIZE	TYPE	HRDW. GROUP	FINISH / MATERIAL	REMARKS
1	2'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	
2	2'-4"x8'-0"	H.C. 1 3/8"		WOOD FRAME PAINT GRADE	
3	2'-6"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	
4	2'-8"x8'-0"	H.C. 1 3/8"		WOOD FRAME PAINT GRADE	
5	3'-0"x8'-0"	H.C. 1 3/8"		WOOD FRAME PAINT GRADE	
6	3'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	SELF CLOSING
7	3'-4"x8'-0"	S.C. 1 3/8"		WOOD FRAME CLOSET PAINT GRADE	
8	5'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME CLOSET PAINT GRADE	CLOSET DOOR
9	5'-6"x8'-0"	S.C. 1 3/8"		WOOD FRAME CLOSET PAINT GRADE	CLOSET DOOR
9	7'-6"x8'-0"	S.C. 1 3/8"		WOOD FRAME CLOSET PAINT GRADE	CLOSET DOOR
10	8'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	GARAGE DOOR/ OPENER ELECTRIC DOOR OPENER OVERHEAD
11	10'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	GARAGE DOOR/ OPENER ELECTRIC DOOR OPENER OVERHEAD
12	16'-0"x8'-0"	S.C. 1 3/8"		WOOD FRAME PAINT GRADE	GARAGE DOOR/ OPENER ELECTRIC DOOR OPENER OVERHEAD

HARDWARE GROUP:
A. PUSH-PULL TYPE HARDWARE W/ DEADBOLT
B. PRIVACY LOCK W/ LEVER TYPE HARDWARE
C. LEVER TYPE HARDWARE

WOOD FRAME
1-HR RATED
SELF CLOSING

WINDOW SCHEDULE

NO.	SIZE	TYPE	SHAPE	FINISH / MATERIAL	REMARKS
1	2'-6"x5'-0"	VERT. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34
2	3'-0"x4'-0"	VERT. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34
3	3'-0"x5'-0"	VERT. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34 TEMPERED IN BATHROOMS
4	4'-0"x5'-0"	HORIZ. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34 TEMPERED IN BATHROOMS
5	5'-0"x5'-0"	HORIZ. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34 TEMPERED IN BATHROOMS
6	6'-0"x5'-0"	HORIZ. SLIDING	SQ.	VINYL	DBL. GLAZE U= .34
7	8'-0"x8'-0"	SLIDING GLASS DOOR	SQ.	VINYL	DBL. GLAZE U= .34

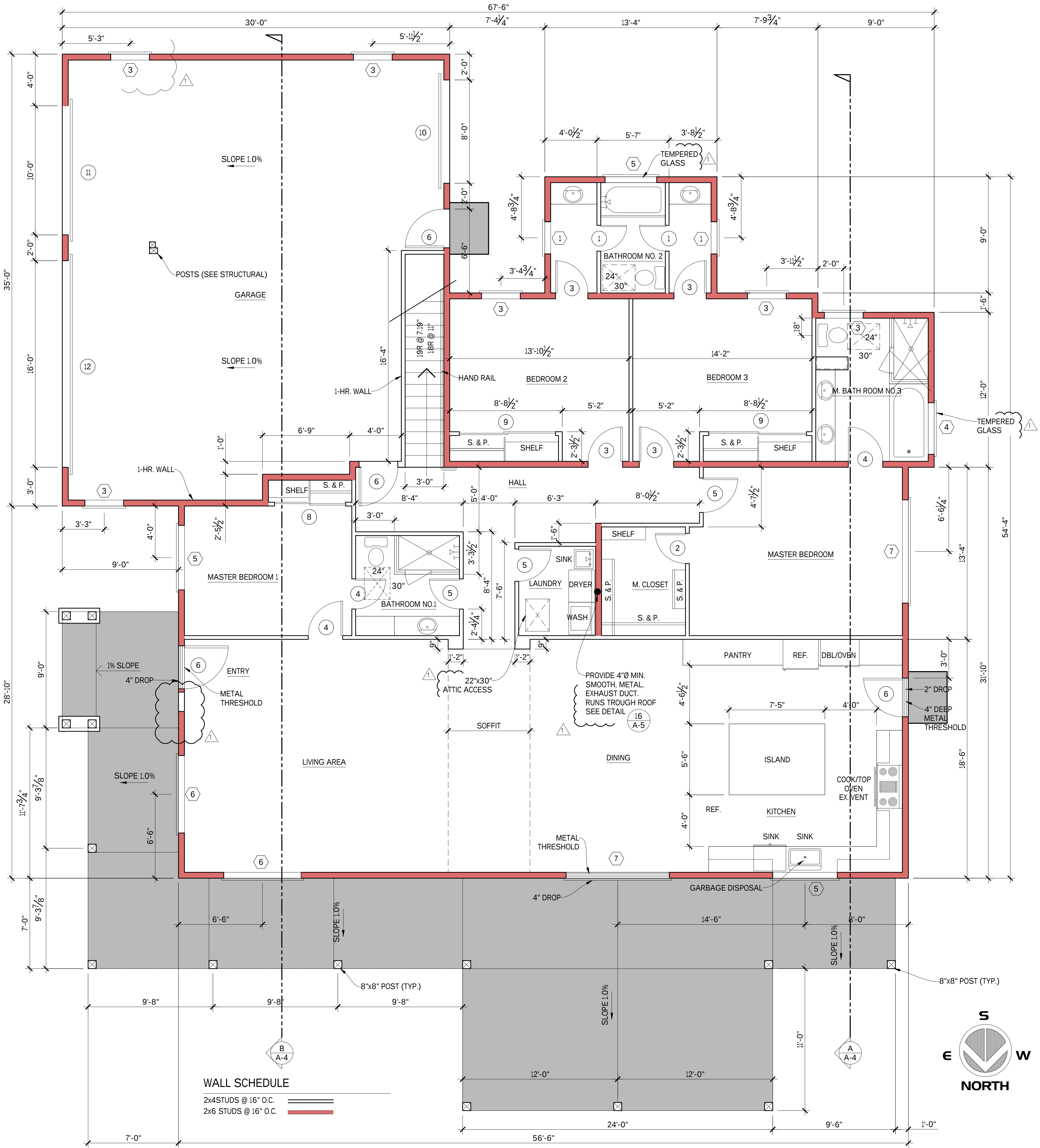
- DOOR AND WINDOW NOTES:
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS. HAVE A FIRE RESISTANCE RATING OF A 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [9R337.8.2.1]
 - EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK. SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252. OR MEET THE REQUIREMENTS OF SFM-7A-1.

FLOW RATES REQ'S SCHEDULE

PLUMBING FIXTURES	REQ' FLOW RATES
WATER CLOSETS	1.20 GALLONS PER FLUSH
URINALS	0.5 GALLONS PER FLUSH
SHOWER HEADS	1.8 GALLONS PER MINUTE AT 80 PSI
LAVATORY FAUCET	1.2 GALLONS PER MINUTE AT 60 PSI
KITCHEN FAUCETS	1.8 GALLONS PER MINUTE AT 60 PSI

WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED	
GA FILE NO. WP 3614	GENERIC
GYPSUM WALLBOARD, WOOD STUDS	
One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs @ 16" o.c. with 1/4" Type W drywall screws 12" o.c.	
Joints staggered 16" on opposite sides. (LOAD-BEARING)	
Thickness: 4 3/4"	4 3/4"
Approx. Weight: 7 psf	7 psf
Fire Test: See WP 3520	See WP 3520
Sound Test: (G&H NG-246FT, 1-2-68)	(G&H NG-246FT, 1-2-68)

1-HR WALL DETAIL



WALL SCHEDULE

2x4STUDS @ 16" O.C.
2x6 STUDS @ 16" O.C.

REVISIONS

BY

6-1-23

BT

TISC DESIGN

109 B CENTRAL AVENUE

SALINAS, CA 93901

Phone : (831)-320-1536

FLOOR PLANS

PROJECT NAME:

MR. & MRS FOLEY

372 A CORRAL DE TIERRA ROAD

SALINAS, CA

APN 151-081-007

PROJECT CLIENT:

MR. & MRS FOLEY

104 RIVER ROAD

SALINAS, CA 93930

DATE:

12-12-2022

SCALE:

SHOWN

DRAWN:

BT

SHEET NO.

A-1

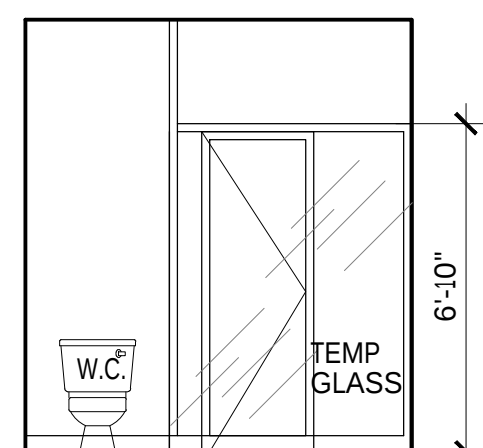
$$\frac{1}{2}'' = 1'-0''$$

SCALE : 1" = 1' - 0"

SCALE : 1" = 1' - 0'

NOT TO SCALE

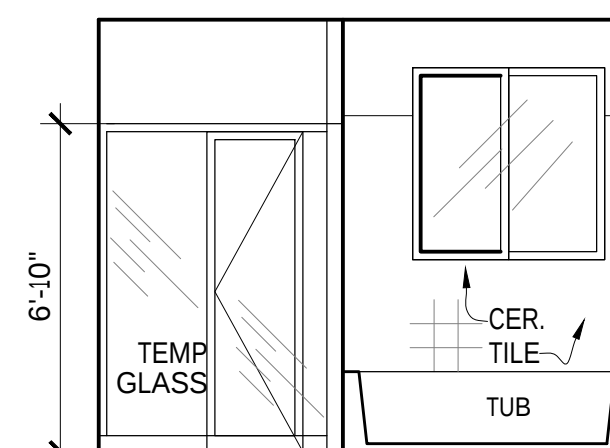
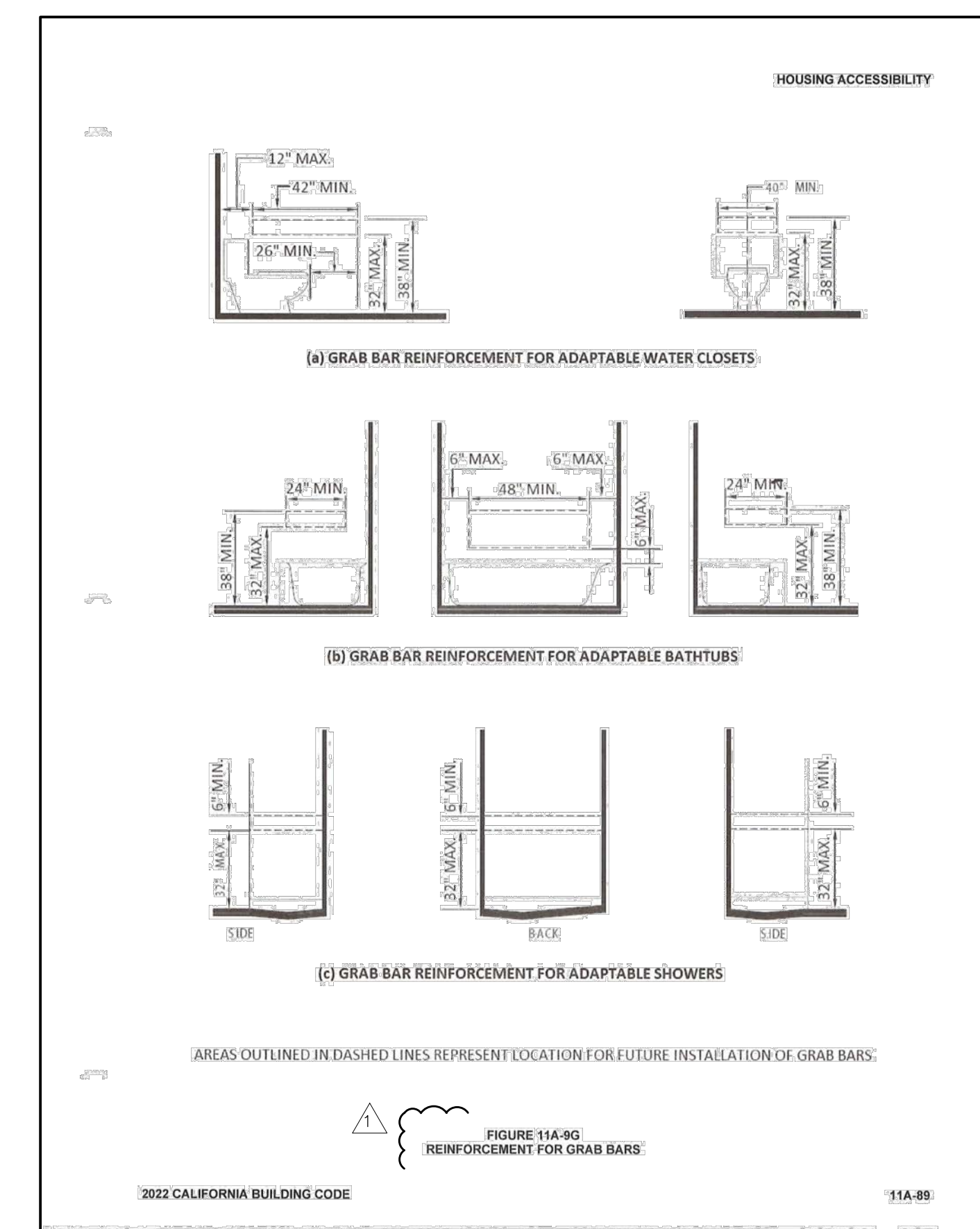
1/4" = 1'-0"



1/4" = 1'-0"



1/4" = 1'-0"


$$1/4" = 1'-0"$$


REVISIONS	BY
1 6-1-23	BT

TISC DESIGN
109 B CENTRAL AVENUE
SALINAS, CA 93901
Phone : (831)-320-1536

SHEET TITLE:
SECOND FLOOR PLANS

MR. & MRS FOLEY
372 A CORRAL DE TIERRA ROAD
SALINAS, CA, 93908
APN 151-081-007-000

MR. & MRS FOLEY
104 RIVER ROAD
SALINAS, CA 93908

DATE: 12-12-2022

SCALE: SHOWN

DRAWN: BT

SHEET NO.

A-2

REVISIONS	BY
7-01-23	BT

TISC DESIGN
99 B CENTRAL AVENUE
SALINAS, CA 93901
Phone: (831)-320-1536

~~BEN TISCARENO
DESIGNER~~

ELEVATIONS

MR. & MRS FOLEY
372 A CORRAL DE TIERRA ROAD
SALINAS, CA
APN 151-081-007

MR. & MRS FOLEY
104 RIVER ROAD
SALINAS, CA 93930

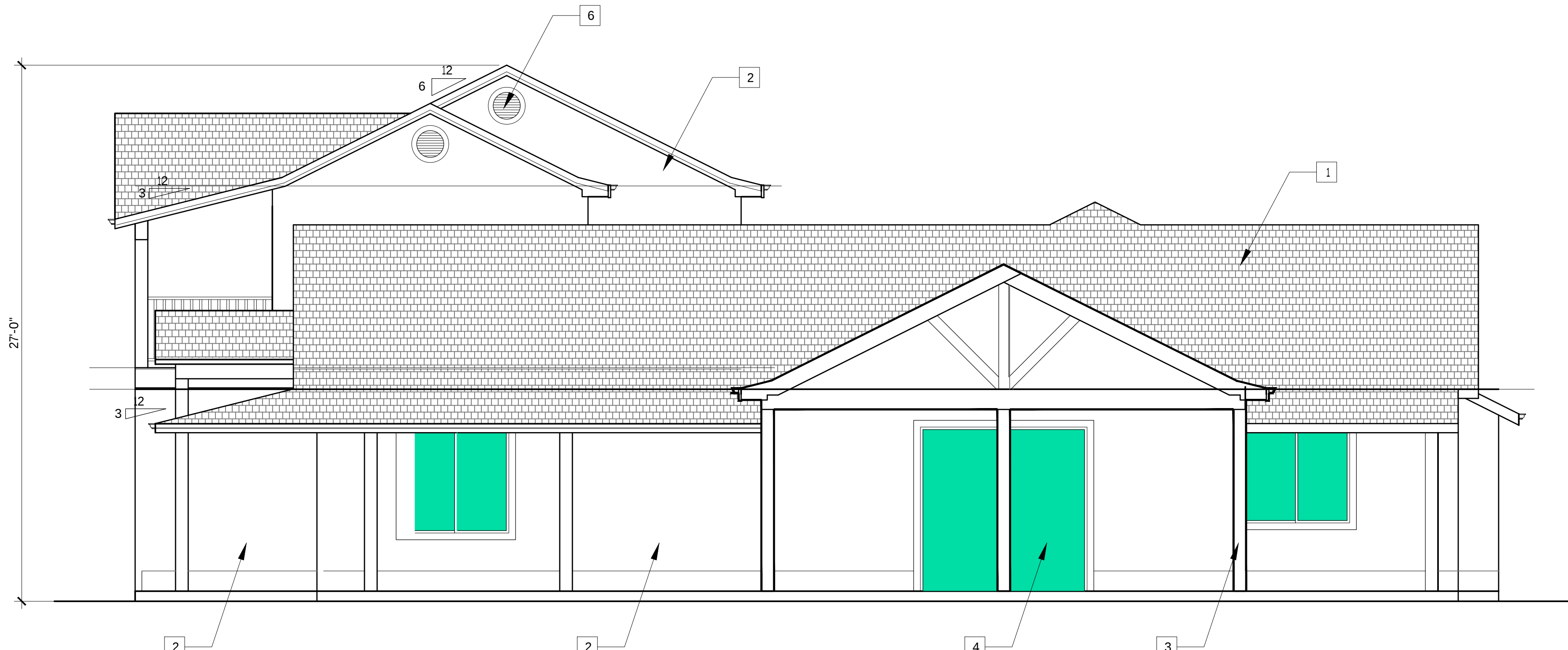
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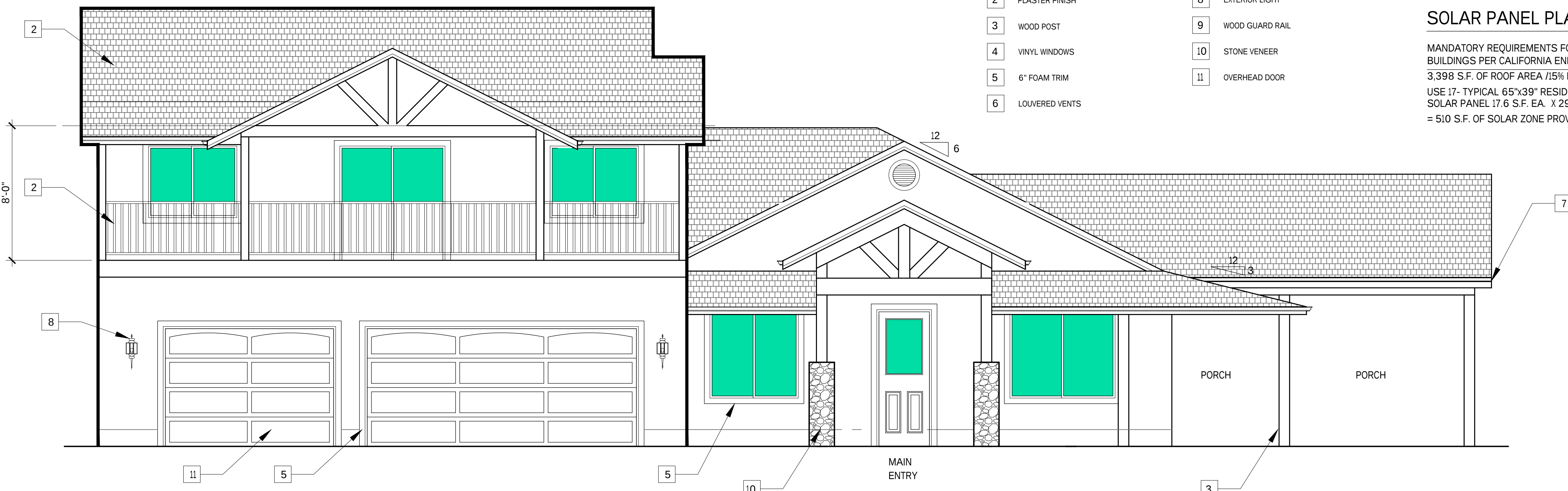
RAWN: BT

SHEET NO.

A-3



 NORTH ELEVATION



 EAST ELEVATION "C"

FINISH LEGEND:

- | | | | |
|---|-------------------------------------|----|-----------------|
| 1 | COMPOSITION CLASS "A" ROOF SHINGLES | 7 | WOOD FACIA |
| 2 | PLASTER FINISH | 8 | EXTERIOR LIGHT |
| 3 | WOOD POST | 9 | WOOD GUARD RAIL |
| 4 | VINYL WINDOWS | 10 | STONE VENEER |
| 5 | 6" FOAM TRIM | 11 | OVERHEAD DOOR |

SOLAR PANEL PLAN

MANDATORY REQUIREMENTS FOR SOLAR READY
BUILDINGS PER CALIFORNIA ENERGY CODE SECTION 110.10
3,398 S.F. OF ROOF AREA /15% MIN. = 509 S.F. MIN. REQ.
USE 17- TYPICAL 65"x39" RESIDENTIAL
SOLAR PANEL 17.6 S.F. EA. X 29 PANELS
= 510 S.F. OF SOLAR ZONE PROVIDED

ROOF SYMBOL LEGEND

- CSB CONCRETE SPLASH BLOCK
DS DOWN SPOUT

VENTS NOTES:

1. DRAFT STOPS: CBC 708.3.1/505
ATTIC VENTS CBC 1505.3
1/150 S.F. NET FIRE VENTILATION.
2. AT EAVES/CORNICE VENTS, INSUL.
NOT BLOCK THE FREE FLOW OF AIR
3. AIR, A MIN. OF 1-INCH OF AIR SPACE SHALL BE
PROVIDED BETWEEN THE INSULATION AND ROOF
SHEATHING
4. OPENING FOR VENTILATION SHALL BE COVERED
W/CORROSION-RESISTANT METAL MESH OPENING
OF 1/4 INCH IN DIMENSION.
5. FIRE BLOCK PER SECTION 803.3.1.3 ITEM 1 @ CEILINGS.
6. DRAFT STOP: PER SECTION CBC 708.3.1.3
7. VENTILATION: CONCEALED ROOF SPACES PER
CBC SECTION 1505.
8. FLOOR CEILING ASSEMBLIES INSTALL @ USABLE
SPACE ABOVE AND BELOW THE CONCEALED
SPACE-DRAFT STOPS, SHALL BE INSTALLED SO
THAT THE AREA OF CONCEALED SPACE DOES
NOT EXCEED 1000 SQ. FT.. DRAFT STOPPING
SHALL DIVIDE THE CONCEALED SPACE INTO
APPROXIMATELY EQUAL AREAS.
9. PROVIDE ATTIC FURNACE VENTILATION PER
FURNACE MANUFACTURERS SPECIFICATIONS.
10. PROVIDE 35 SQ. IN. FREE AREA FOR ATTIC WATER HEATER.
11. ATTIC FURNACE DIRECT VENT. NO ADDITION VENTILATION
REQUIRED.

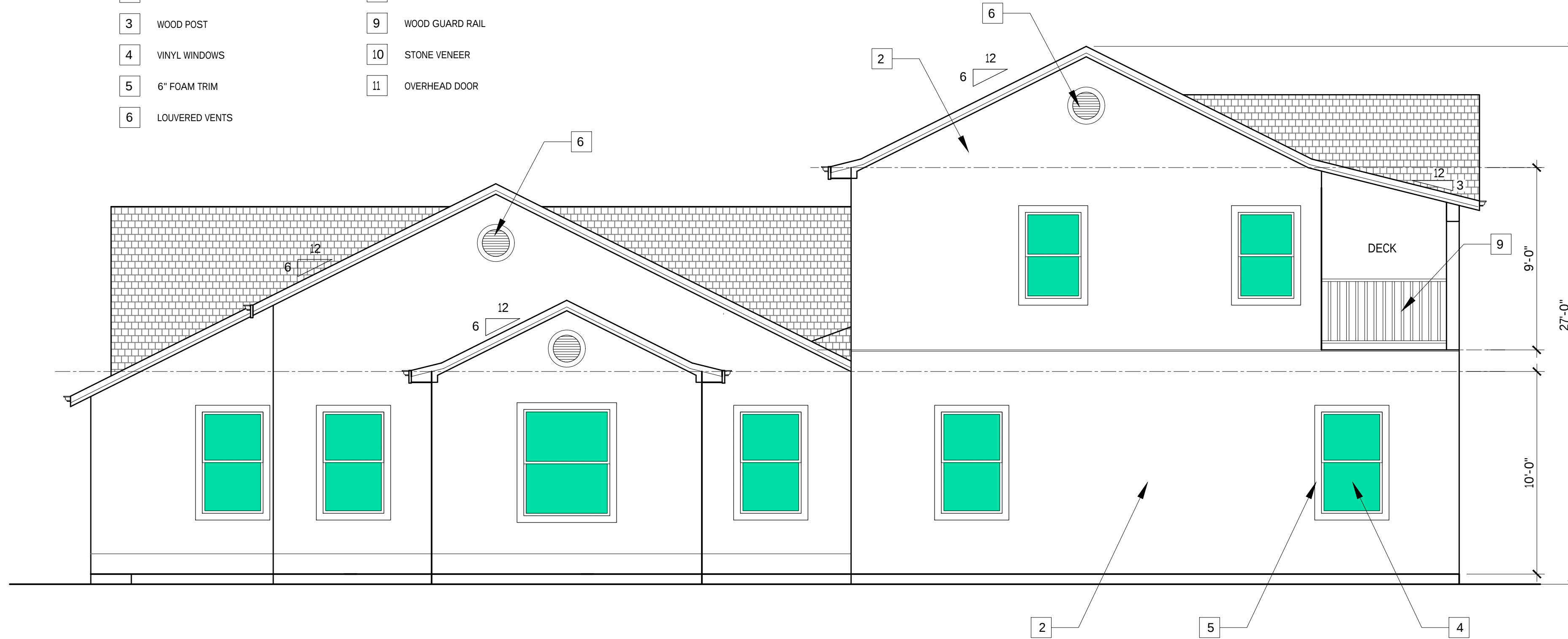
ROOF VENTILATION CALCULATIONS:

ROOF AREA = 3,398 S.F./150 = 22.65 S.F.
22.65 S.F. = 3,263 SQ.IN. REQUIRED VENTILATION

VENTS PROVIDED:
5 -GABLE END ROOF 16" DIA. VENTS = 1,005 SQ. IN.
40 -ATTIC TUNE-UP OR EQ. EAVE VENTS = 60 (40) = 2,400 SQ.IN.
TOTAL VENTILATION PROVIDED = 3,405 SQ. IN.

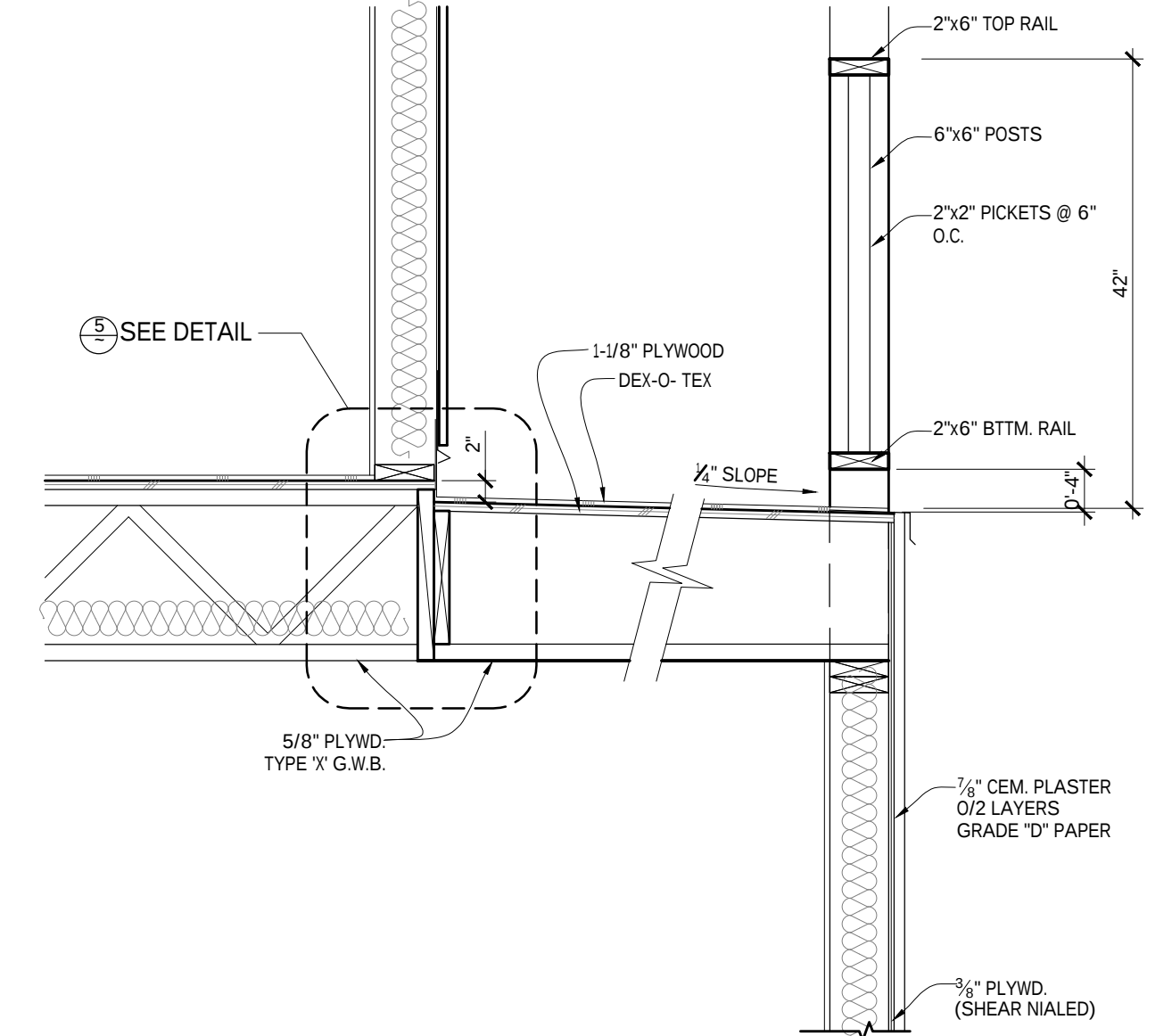
FINISH LEGEND:

- | | | | |
|---|-------------------------------------|----|-----------------|
| 1 | COMPOSITION CLASS "A" ROOF SHINGLES | 7 | WOOD FACIA |
| 2 | PLASTER FINISH | 8 | EXTERIOR LIGHT |
| 3 | WOOD POST | 9 | WOOD GUARD RAIL |
| 4 | VINYL WINDOWS | 10 | STONE VENEER |
| 5 | 6" FOAM TRIM | 11 | OVERHEAD DOOR |
| 6 | LOUVERED VENTS | | |



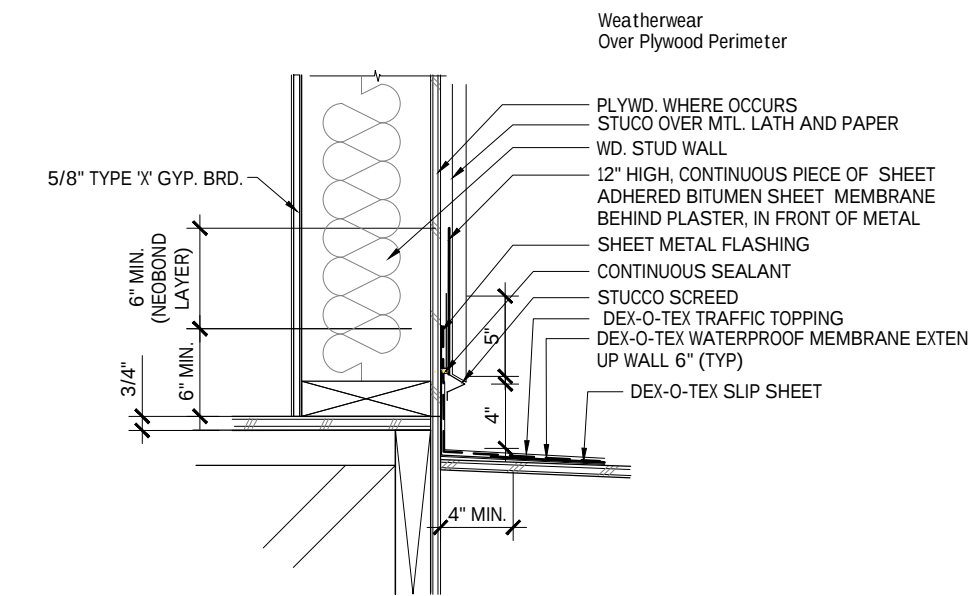
SOUTH ELEVATION

1/4" = 1'-0"



TYP. DECK SECTION

1" = 1'-0"



DECK TO WALL FLASHING DETAIL

1/2" = 1'-0"

FIRE HAZARD SEVERITY ZONES NOTES:

- a) ROOF GUTTERS SHALL BE PROVIDED WIHT THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R337.5.4]
- b) ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH OPENING A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [§R337.6.2]
- c) VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED TO RESIST THE INTRUSION OF FLAME AND EMBERS, THE ATTIC SPACE IS SPRINKLERED IN ACCORDANCE WITH CBC SEC. 903.3.11, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [§R337.6.3]
- d) EXTERIOR WALL COVERING, OR WALL ASSEMBLY SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL. IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [§R337.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
- e) EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [§R337.7.3.1]
- f) THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED EAVES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD, OR EXTERIOR PORTION OF AN APPROVED ONE-HOUR WALL ASSEMBLY. [§R337.7.4]
- g) EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF A 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R337.8.2.1]
- h) EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 7A-1.

WEST ELEVATION "C"

1/4" = 1'-0"

REVISIONS		BY
△	6-1-23	BT
TISC DESIGN		
109 B CENTRAL AVENUE		
SALINAS, CA 93901		
Phone : (831)-320-1536		
BEN TISCARENO		
DESIGNER		
SHEET TITLE:		
ELEVATIONS		
PROJECT NAME:		
MR. & MRS FOLEY		
372 A CORRAL DE TIERRA ROAD		
SALINAS, CA		
APN 151-081-007		
PROJECT CLIENT:		
MR. & MRS FOLEY		
104 RIVER ROAD		
SALINAS, CA 93930		
DATE: 12-12-2022		
SCALE: SHOWN		
DRAWN: BT		
SHEET NO.		
A-3.1		

COLOR SAMPLES FOR PROJECT FILE NO. PLN230304



Materials: 30 Year Compostion Shingles Colors: Dark Gray
Description: Timberline HDZ Charcoal Gray



Materials: Stone Venner Colors: Grays
Description: Gray Faux Stone



Materials: Cement Plaster Colors: SW 6385 Dover White
Description: Sherwin Williams/ Duration Exterior White