

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

PEBBLE BEACH COMPANY (AT&T Mobility) (PLN250242)

RESOLUTION NO. 25-

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project categorically exempt per section 15303 of the CEQA Guidelines; and
- 2) Approving Combined Development Permit consisting of a 1.) Coastal Development Permit and Design Approval to allow the installation of a wireless telecommunication facility consisting of a 40-6 foot high pole with one antenna and associated equipment; 2.) Coastal Development Permit to exceed the required height of 30 feet established by the district; and 3.) Coastal Administrative Permit to allow development within 750 feet of an archaeological resource.

[PLN250242, Pebble Beach Company (AT&T Mobility), 3426 17 Mile Drive, Del Monte Forest Land Use Plan, Coastal Zone (APN: 008-991-001-000)]

The Pebble Beach Company (AT&T Mobility) application (PLN250242) came on for public hearing before the Monterey County Zoning Administrator on November 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF MUP);
 - Del Monte Forest Coastal Implementation Plan (DMF CIP); and
 - Monterey County Code (MCC) Zoning Ordinance (Title 20)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located adjacent to 3426 17 Mile Drive, Pebble Beach (APN 008-381-007-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Public Quasi Public in the Coastal Zone or [PQP(CZ)]. The General Plan does not specify a land use designation for privately or publicly owned roads; however, the County considers such land use as Public/Quasi Public use, serving the public at large. Wireless communication facilities are a conditional use with a Coastal Development Permit in this zoning district, pursuant to Title 20 section 20.40.050.S. The project proposes the installation of a wireless telecommunication facility (WCF) consisting of a 40-6 foot high pole with one antenna and associated equipment greater than the height allowed for the zoning district. Therefore, the project is consistent with the zoning.
- c) Lot Legality. The project is located in the Pacific Gas & Electric (PG&E) right-of-way (36.5606724 N, 121.9272187 W) and adjacent to 3426 17 Mile Drive, Pebble Beach.
- d) Design and Visual Resources. The surrounding areas are designated as a Design Control Zoning District (“D” zoning overlay). Pursuant to Title 20, Chapter 20.44, the regulation of the location, size, configuration, materials, and colors of structures and fences is intended to protect the public viewshed and preserve neighborhood character. The proposed WCF will utilize the same material and colors as the existing utility poles in the area which is wooden dark brown. The development is surrounded by existing vegetation and will blend with the surrounding environment.

Additionally, DMF LUP Policy 48 indicates that new development within visually prominent settings, as illustrated on the Del Monte Forest Visual Resources Map (Figure 3), shall be sited and designed in such a manner that will not take away the scenic value of the area. Figure 3 also indicates that the project area is near a Designated Vista Point and within the Viewshed from 17-Mile Dr & Vista Points. The project and surrounding area are designated Sensitive for visual sensitivity. This designation is due to the project being sited directly off 17 Mile Drive, which is a Major Public Access Road in Figure 8 (Major Public Access & Recreational Facilities, in the DMF LUP). DMF LUP Policy 52 further reinforces that new structures shall be sited and designed to harmonize with the natural setting and not be visually intrusive, to which the natural wooden pole will blend with the environment and not be of contrast to the views along 17 Mile Drive. Pursuant to Title 20 section 20.64.310.H.1, wireless communication facilities should not be sited to create visual clutter or negatively affect specific views. The colors and materials of the pole blend with the surrounding environment and match existing nearby poles. The applicant suspended a balloon simulation to the proposed 40-6 foot height and staff conducted site visit on November 6th, 2025, and viewed it from different points to ensure adverse impacts were minimized on scenic views. Based on this site visit, staff found that the previously proposed development has potential, although minimal, to have a visual impact due to the minimal vegetation surrounding the WCF being at a

significant lower height. Staff worked with the applicant to move the development approximately 15 feet towards existing vegetation of similar height. Based on this revision, staff found that the proposed development blends with the surrounding area and does not have any impact to any public views.

Pursuant to Title 20 section 20.62.030.B, towers, poles, water tanks and similar structures may be erected to a greater height than the limit established for the district in which they are to be located, subject to a Coastal Development Permit. Therefore, the project meets regulations for the siting, design, and construction of wireless communication facilities pursuant to Monterey County Code (MCC) Title 20 section 20.64.310.

- e) Cultural Resources. According to Monterey County Geographic Information System (GIS) records identifies the subject property to be within a high archaeological sensitivity area and is within a known or potential archaeological resource area. An Archaeological Report (LIB120206) was previously conducted on the adjacent parcel and concluded the site was inconclusive of potential significant archaeological resources in the project area and no evidence of significant historical resources. An archaeological waiver was submitted to and approved by a designee of the Chief of Planning given that no cultural resources were discovered in the report from an adjacent parcel. Staff has deemed that an archaeological report is not required under the Title 20 section 20.147.080.B.1. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- f) Wireless Telecommunication Facility. As demonstrated in Finding 6 the project is consistent with the regulations for siting and design of WCF contained in Title 20 Section 20.64.310.
- g) Public Access. As demonstrated in Finding 7, the development is consistent with public access policies of the DMF LUP.
- h) Land Use Advisory Committee. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. The LUAC, at a noticed public meeting on September 18, 2025, unanimously voted to support the project as proposed.
- i) County staff conducted a site visit on October 7th, 2025, and November 6th, 2025, to verify that the project location and height did not cause any adverse or visual impacts.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD- Planning for the proposed development found in Project File PLN250242.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Pebble Beach Community

Services District, HCD-Public Works, HCD-Environmental Services, and the Environmental Health Bureau. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to resources. The following reports have been prepared:

- “Radio Frequency Emissions Compliance Report for AT&T Mobility” prepared by Waterford Consultants, Frederick, MD, January 22, 2025.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. All development shall be in accordance with these reports.

- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN250242.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Pebble Beach Community Services District, HCD-Public Works, HCD-Environmental Services, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The proposed project will not require the use of water or sewer as it is an unmanned wireless communication facility.
 - c) A Radio-Frequency (RF) engineering analysis was prepared by Waterford Consultants, evaluating the proposed WCF. The report finds that the facility will comply with prevailing Federal Communications Commission (FCC) and Occupational Safety and Health Administration (OSHA) standards for limiting public exposure to radio frequency energy. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations. The site is adequate for the proposed development of the wireless communication facility and the applicant has demonstrated that it is the most adequate for the provision of services as required by the FCC.
 - d) County staff conducted a site visit on October 7th, 2025, and November 6th, 2025, to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development found in Project File PLN250242.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on October 7th, 2025 and November 6th, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel (PG&E right-of-way).
 - d) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN250242.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project. California Environmental Quality Act (CEQA) Guidelines §15303 categorically exempts the construction and location of new, small facilities or structures.
- EVIDENCE:**
- a) The development will include the installation of a wireless telecommunication facility consisting of a 40-6 foot high pole with one antenna and associated equipment. The project also includes a PG&E Smart Meter, two (2) mounted radios, and a canister antenna. Due to the wireless facility being considered a small facility and the support structures are also small, they qualify for a categorical exemption as described in §15303 of the CEQA Guidelines.
 - b) No adverse environmental effects were identified during staff review of the development application. None of the exceptions under CEQA Guidelines §15300.2 apply to this project. The project is not located on a hazardous waste site, near a scenic highway or historical resource. The project would not contribute to a cumulative impact of successive projects as there are no other wireless communication facilities in proximity to this project site.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN250242.
6. **FINDING:** **WIRELESS COMMUNICATION FACILITIES** – The development of the proposed co-located wireless communications facility will not significantly affect any designated public viewing area, scenic corridor, or any identified environmentally sensitive area or resources. The site is adequate for the proposed development of the co-located wireless communications facility, and the applicant has demonstrated that it is the most adequate for the provision of services as required by the FCC. The proposed telecommunication facility will not create a hazard for aircraft in flight. The proposed co-located wireless communication facility complies with all applicable requirements of MCC §20.64.310. The subject property on which the wireless communication facility is to

be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of MCC, and all zoning violation abatement costs, if any, have been paid.

- EVIDENCE:**
- a) This project consists of the construction of a 37-6 foot wooden pole and a 2-foot canister antenna, making the complete development a 40-6 foot small wireless communication facility. The development includes a PG&E Smart Meter, two (2) mounted radios, and a canister antenna, and new wooden pole. The property is located adjacent to 3426 17 Mile Drive, Pebble Beach.
 - b) Pursuant to the requirements in MCC §20.64.310(C), wireless communication facilities are allowed on any lot or parcel in any zoning district subject to the appropriate entitlement including the construction, modification, and placement of any antennas used for multi-channel distributions services and personal wireless service facilities. The proposed AT&T Mobility wireless facility requires a Coastal Development Permit. (see evidence b, Finding 1)
 - c) Site Location and Analysis. The development is proposed to be located on 17 Mile Drive, which is a private road, owned and maintained by Pebble Beach Company. The General Plan does not specify a land use designation for privately or publicly owned roads; however, the County considers such land use as Public/Quasi Public use, serving the public at large. Accordingly, Title 20, section 20.40.050.S allows for WCF subject to a Coastal Development Permit in each case. Staff analyzed the proposed development for the best siting and location for the WCF. The proposed development would allow AT&T to provide maximum coverage to its customers. The Applicant provided Service Coverage Maps illustrating this area to have poor coverage, and the proposed WCF would provide a clear and consistent mobile service within the area. According to these Service Coverage Maps, the proposed facility is necessary to close significant service coverage gap area within Del Monte Forest.
 - d) Co-Location. Although no existing WCFs met the coverage objectives for co-location, the project utilizes the same location as the PG&E pole, minimizing new infrastructure and visual clutter. Title 20 section 20.64.310 encourages co-location, and Condition No. 6 has been added to support future co-location by other carriers. Additionally, the proposed 6-foot-1-inch height increase is allowable under Title 20 section 20.62.030.B with a Coastal Development Permit, which is justified here due to the limited visual change and compliance with siting and design standards. See Finding 1, Evidence d for further detail.
 - e) The project is consistent with MCC Chapter 20.92, Airport Approach Zoning, and does not require review by the Monterey County Airport Land Use Commission. This project does not affect any aircraft zones identified in MCC §20.92.050 and therefore need not comply with the heights outlined in MCC §20.92.060. The proposed telecommunication facility will not create a hazard for airport approaches or departures.

- f) The project does not penetrate a FAR Part 77 Imaginary Surface. The project site is located approximately 4.9 miles from Monterey Regional Airport, the nearest public use airport. If deemed necessary by the FCC, warning lights would be located on top of the structure to prevent conflict with any aircraft when visibility is limited. The proposed telecommunication facility will not create a hazard for aircraft in flight.
- g) The project planner reviewed the project application materials and plans and the County GIS database to verify that the project on the subject parcel conforms to the plans listed above and that the site is suitable for this use. The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250242.

7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) Public access is not required as part of the project as the development is on 17 Mile Drive and near an unpaved road or trail; however, no substantial adverse impact would occur on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is described as an area where Major Public Access & Recreational Facilities requires visual or physical public access (Figure 8, DMF LUP).
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250242.
8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to §§20.44.070 and 20.86.030 of the Monterey County Zoning Ordinance (Title 20), an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. The proposed project is subject to appeal by/to the California Coastal Commission because it is a project involving development that is permitted in the underlying zone as a conditional use, pursuant to §20.86.080.3 of the Monterey County Zoning Ordinance (Title 20).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project Categorically Exempt per Section 15303 of the CEQA Guidelines and does not meet any of the exceptions under Section 15300.2;
2. Approve a Combined Development Permit consisting of a 1.) Coastal Development Permit and Design Approval to allow the installation of a wireless telecommunication facility consisting of a 40-6 foot high pole with one antenna and associated equipment; 2.) Coastal Development Permit to exceed the required height of 30 feet established by the district; and 3.) Coastal Administrative Permit to allow development within 750 feet of an archaeological resource.

PASSED AND ADOPTED this 13th day of November, 2025.

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250242

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit and Design Approval (PLN250242) allows 1.) Coastal Development Permit and Design Approval to allow the installation of a wireless telecommunication facility consisting of a 40-6 foot high pole with one antenna and associated equipment; 2.) Coastal Development Permit to exceed the required height of 30 feet established by the district; and 3.) Coastal Administrative Permit to allow development within 750 of an archaeological resource. The property is located in the PG&E right-of-way, adjacent to the property located at 3426 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-381-007-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Coastal Development Permit and Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 008-991-001-000 on November 13, 2025. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD039(A) - WIRELESS INDEMNIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant agrees as a condition and in consideration of the approval of the permit to enter into an indemnification agreement with the County whereby the applicant agrees to defend, indemnify, and hold harmless the County, its officers, agents and employees from actions or claims of any description brought on account of any injury or damages sustained by any person or property resulting from the issuance of the permit and conduct of the activities authorized under said permit. Applicant shall obtain the permission of the owner on which the wireless communication facility is located to allow the recordation of said indemnification agreement, and the applicant shall cause said indemnification agreement to be recorded by the County Recorder as a prerequisite to the issuance of the building and/or grading permit. The County shall promptly notify the applicant of any such claim, action, or proceeding and the County shall cooperate fully in the defense thereof. The County may, at its sole discretion, participate in the defense of such action, but such participation shall not relieve applicant of its obligations under this condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit signed and notarized Indemnification Agreement to the Director of HCD-Planning for review and signature by the County.

Prior to the issuance of grading or building permits, the Owner/Applicant shall submit proof of recordation of the Indemnification Agreement, as outlined, to HCD-Planning.

5. PD039(B) - WIRELESS REDUCE VISUAL IMPACTS

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall agree in writing that if future technological advances allow for reducing the visual impacts of the telecommunication facility, the applicant shall make modifications to the facility accordingly to reduce the visual impact as part of the facility's normal replacement schedule. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit, in writing, a declaration agreeing to comply with the terms of this condition HCD - Planning for review and approval.

6. PD039(C) - WIRELESS CO-LOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant and/or successors assigns shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. Any expansion or additions of microwave dishes, antennas and/or similar appurtenances located on the monopole, which are not approved pursuant to this permit, are not allowed unless the appropriate authority approves additional permits or waivers. In any case, the overall height of the pole shall not exceed the specified height. (HCD - Planning)

Compliance or Monitoring Action to be Performed: On an on-going basis, the Owner/Applicant shall encourage co-location by other wireless carriers on this tower assuming appropriate permits are approved for co-location. The overall height of the pole shall not exceed ____ feet.

7. PD039(D) - WIRELESS REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If the applicant abandons the facility or terminates the use, the applicant shall remove the monopole, panel antennas, and equipment shelter. Upon such termination or abandonment, the applicant shall enter into a site restoration agreement subject to the approval of the Director of HCD - Planning and County Counsel. The site shall be restored to its natural state within six (6) months of the termination of use or abandonment of the site.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to abandoning the facility or terminating the use, the Owner/Applicant shall submit a site restoration agreement to HCD - Planning subject to the approval of the HCD - Director of Planning and County Counsel.

Within 6 months of termination of use or abandonment of the site, the Owner Applicant shall restore the site to its natural state.

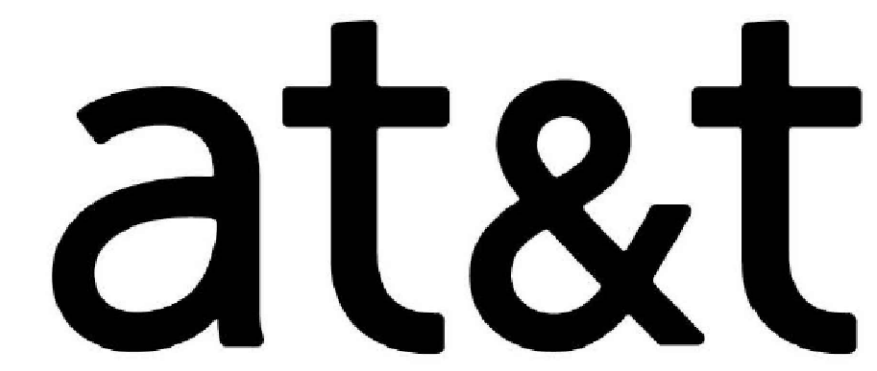
8. PD039(E) - WIRELESS EMISSION

Responsible Department: Planning

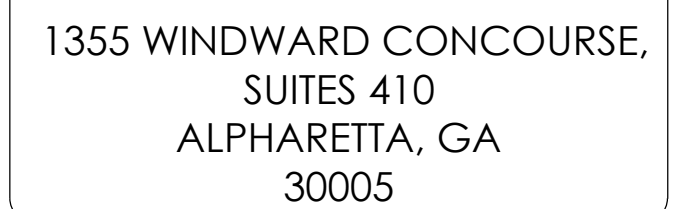
Condition/Mitigation Monitoring Measure: The facility must comply with Federal Communications Commission (FCC) emission standards. If the facility is in violation of FCC emission standards, the Director of HCD - Planning shall set a public hearing before the Appropriate Authority whereupon the appropriate authority may, upon a finding based on substantial evidence that the facility is in violation of the then existing FCC emission standards, revoke the permit or modify the conditions of the permit. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to commencement of use and on an on-going basis, the Owner/Applicant shall submit documentation demonstrating compliance with the FCC emission standards to the Director of HCD-Planning for review and approval.

On an on-going basis, if the facility is in violation of FCC emission standards, the Director of HCD-Planning shall set a public hearing before the Appropriate Authority to consider revocation or modification of the permit.



SITE ID:	CRAN_RSFR_PEBBL_201
IWM:	WSSFR0052073
FA CODE:	16519527
SITE TYPE:	WOODEN UTILITY POLE
POLE #:	TBD
COUNTY:	MONTEREY



APPLICANT:
AT&T MOBILITY
5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583
CONTACT: MARC GRABISCH
EMAIL: MG387K@ATT.COM

AT&T MOBILITY PROJECT MANAGER:
AT&T MOBILITY
5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583
CONTACT: SEAN RANDALL
EMAIL: SR9530@ATT.COM

AT&T MOBILITY RF MANAGER:
5005 EXECUTIVE PARKWAY
SAN RAMON, CA 94583
CONTACT: HENRY PINEDA
EMAIL: HP088P@ATT.COM

PROJECT MANAGER:
NEXT EDGE
1355 WINDWARD CONCOURSE, SUITE 410
ALPHARETTA, GA 30005
PHONE: (707) 225-2865
EMAIL: JUSTIN.GIARRITTA@NEXTEDGENETWORKS.COM

A&E PROJECT MANAGER:
NEXT EDGE
1355 WINDWARD CONCOURSE, SUITE 410
ALPHARETTA, GA 30005
PHONE: (530) 305-6898
EMAIL: TODD.LAWRENCE@NEXTEDGENETWORKS.COM

CONSTRUCTION MANAGER:
NEXT EDGE
1355 WINDWARD CONCOURSE, SUITE 410
ALPHARETTA, GA 30005
PHONE: (415) 989.1102
EMAIL: ATTPROJECTTEAM@MODUSLLC.COM

AT&T PROPOSES TO INSTALL A NEW WIRELESS COMMUNICATION SITE ON A WOODEN UTILITY POLE IN THE PUBLIC RIGHT-OF-WAY.

- INSTALL (1) NEW WOODEN UTILITY POLE
- INSTALL (2) NEW 2' PANEL ANTENNA ON TOP OF WOODEN UTILITY POLE
- INSTALL (1) NEW RADIO 4490, ON WOODEN UTILITY POLE
- INSTALL (1) NEW PSU AC08 ON WOODEN UTILITY POLE
- INSTALL (1) NEW BBU RP6339 ON WOODEN UTILITY POLE
- INSTALL (1) NEW COAX CONDUIT FROM EQUIPMENT TO NEW CANISTER ANTENNA
- INSTALL (1) NEW POWER CONDUIT FROM P.O.C. TO EQUIPMENT
- INSTALL (1) NEW FIBER CONDUIT FROM P.O.C. TO EQUIPMENT
- INSTALL (1) NEW EQUIPMENT BRACKET
- INSTALL (1) NEW SMART METER / DISCONNECT
- CABLING TO BE INSTALLED IN A TIGHT NEAT MANNER WITHOUT EXCESS CABLE LOOPS
- ALL AT&T ADDED APPURTENANCES SHALL BE PAINTED TO MATCH POLE COLOR (NON-GLOSSY "SABLE" BY SHERWIN WILLIAMS, OR EQUIVALENT)

[illegible]

DRAWN BY:	JC
CHECKED BY:	TDL
APPROVED BY:	CW

[illegible]

A photograph of a paved road curving through a dense forest of tall, slender trees. A small, light-colored wooden signpost stands on the grassy shoulder of the road.

SITE ADDRESS:	(NEAR) 3426 17 MILE DR PEBBLE BEACH, CA 93953
OWNER:	PG&E 1 MARKET STREET, SPEAR TOWER SAN FRANCISCO, CA 94105-1126
APPLICANT:	AT&T MOBILITY 5005 EXECUTIVE PARKWAY SAN RAMON, CA 94583
LATITUDE:	36.5606724 NAD83
LONGITUDE:	-121.9272187 NAD83
COUNTY:	MONTEREY
JURISDICTION:	PEBBLE BEACH
ASSESSORS PARCEL NUMBER:	PUBLIC RIGHT OF WAY NEAR 008-381-007
ZONING:	PUBLIC ROW
ELEVATION:	164.209' AMSL

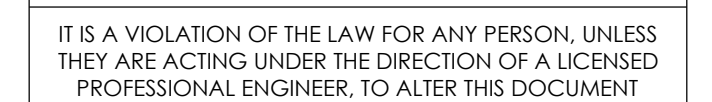


THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E) UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2022 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2021 IBC
- 2022 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2020 NEC
- 2022 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2021 UMC
- 2022 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2021 UPC
- 2022 CALIFORNIA GREEN BUILDING (NGS STANDARDS CODE) (CALGREEN)
- 2022 CALIFORNIA FIRE CODES WITH ALL LOCAL AMENDMENTS, BASED ON THE 2021 IFC
- ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
- CALIFORNIA GENERAL ORDER 95 (G.O. 95, 2020)
- NCJPA OPERATIONS/ROUTINE HANDBOOK (2019)
- NATIONAL ELECTRICAL CODE (NEC) (2020 EDITION)
- NATIONAL ELECTRICAL SAFETY CODE IEEE C2 STANDARDS (NESC)
- CITY / COUNTY ORDINANCES

ACCESSIBILITY REQUIREMENTS FOR PERSONS WITH DISABILITIES:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS
NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE
CODE PART 2, TITLE 24, CHAPTER 11B, SECTION 1103B.



(NEAR) 3426 17 MILE DR
PEBBLE BEACH, CA 93953

T-1

GENERAL CONSTRUCTION NOTES

- ### GENERAL NOTES FOR EXISTING CELL SITES

- APPLICABLE CODES, REGULATIONS AND STANDARDS:

- ### GENERAL TRENCHING NOTES

- ### GENERAL GROUNDING NOTES

- ### GENERAL CONDUIT NOTES

- TYPICAL R.O.W. POLE CONSTRUCTION NOTES

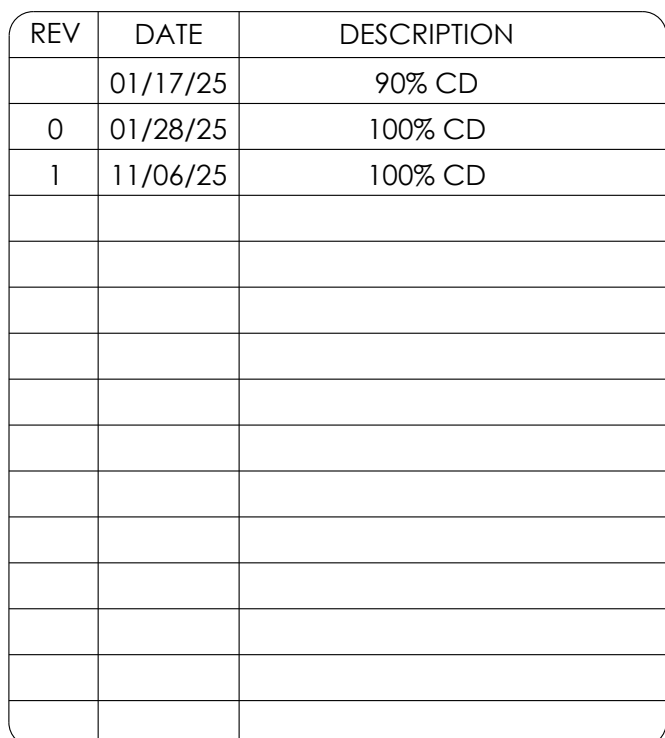
1. CABLE NOT TO IMPEDE 15" CLEAR SPACE

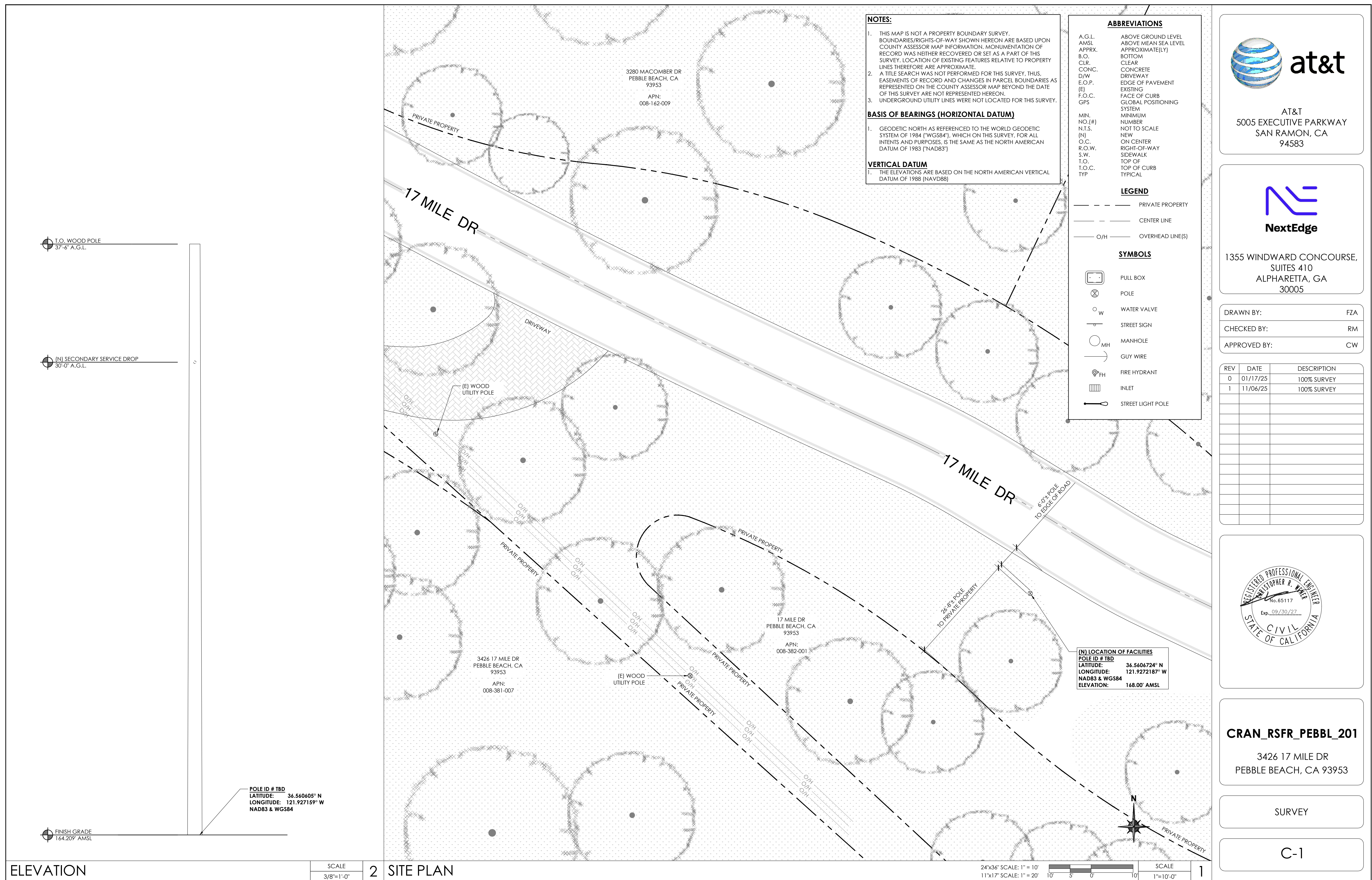
- ## CONTRACTOR REQUIREMENTS

DO NOT SCALE OFF DRAWINGS

B.	ANCHOR BOLT	GLB.	GLUE LAMINATED
ABV.	ABOVE	(GLU-LAM)	BEAM
ACCA	ANTENNA CABLE COVER	GPS	GLOBAL POSITIONING
	ASSEMBLY		SYSTEM
ADDL	ADDITIONAL	GRND.	GROUNDING
A.F.F.	ABOVE FINISHED FLOOR	HDR.	HEADER
A.F.G.	ABOVE FINISHED GRADE	HGR.	HANGER
AGL	ABOVE GROUND LEVEL	HT.	HEIGHT
ALUM	ALUMINUM	ICGB.	ISOLATED COPPER
ALT.	ALTERNATE		GROUND BUS
AMSL	ABOVE SEA LEVEL	IN,(I')	INCH(ES)
ANT.	ANTENNA	INT.	INTERIOR
APPRX.	APPROXIMATE(LY)	LB.(#)	POUND(S)
ARCH.	ARCHITECT(JURAL)	LB.	LAG BOLTS
AWG.	AMERICAN WIRE GAUGE	L.F.	LINEAR FEET(FOOT)
BLDG.	BUILDING	L	LONGITUDINAL
BLK.	BLOCK	MAS.	MASONRY
BLKG	BLOCKING	MAX.	MAXIMUM
BM.	BENCH MARK	M.B.	MACHINE BOLT
B.N.	BOUNDARY NAILING	MECH.	MECHANICAL
BN	BACK-UP CABINET	MFR.	MANUFACTURER
BTCW.	BARE TINNED COPPER WIRE	MIN.	MINIMUM
B.W.	BOTTOM	MISC.	MISCELLANEOUS
B.O.F.	BOTTOM OF FOOTING	MIL	METAL
BONC.	BONNET	NO.(#)	NUMBER
CANT.	CANTILEVER(ED)	N.T.S.	NOT TO SCALE
C.I.P.	CAST IN PLACE	(N)	NEW
CLG.	CEILING	O.C.	ON CENTER
CL	CENTERLINE	OPNG.	OPENING
CLR.	CLEAR	P/C	PRE CAST CONCRETE
COL.	COLUMN	PCS	PERSONAL COMMUNICATION
CONC.	CONCRETE		SERVICES
CONN.	CONNECTION(OR)	R	PLATE
CONST.	CONSTRUCTION	PLY.	PLYWOOD
CONT.	CONTINUOUS	PCC.	POWER PROTECTION CABINET
DBL.	DOUBLE	PRC.	PRIMARY FLEXING CABINET
DEPT.	DEPARTMENT	P.S.F.	POUNDS PER SQUARE FOOT
D.F.	DOUGLAS FIR	P.S.I.	POUNDS PER SQUARE INCH
DIA.	DIAMETER	P.T.	PRESSURE TREATED
DIAG.	DIMENSION	PWR.	POWER (CABINET)
DIM.	DIMENSION	QTY.	QUANTITY
DWG.	DRAWING(S)	RAD.(R)	RADIUS
DWL.	DOWEL(S)	REF.	REFERENCE
E.	EACH	REINF.	REINFORCING
E.A.	ELECTRIC	REQD.	REQUIRED
ELEC.	ELECTRICAL	RGS.	RIGID GALVANIZED STEEL
ELV.	ELEVATOR	R.O.W.	RIGHT OF WAY
EMT.	ELECTRICAL METALLIC	SCH.	SCHEDULE
	TUBING	SHT.	SHEET
E.N.	EDGE NAIL	SIM.	SIMILAR
ENG.	ENGINEER	SPEC.	SPECIFICATION(S)
EQ.	EQUAL	SO.	SQUARE
EXP.	EXPANSION	S.S.	STAINLESS STEEL
EXST.(E)	EXISTING	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
FAB.	FABRICATION(OR)	STRUC.	STRUCTURAL
F.F.	FINISH FLOOR	TEMP.	TEMPORARY
F.G.	FINISH GRADE	THK.	THICKNESS
FIN.	FINISHED	T.M.	TOP OF MAN
FLR.	FLOOR	T.O.A.	TOP OF ANTENNA
FDN.	FOUNDATION	T.O.C.	TOP OF CURB
F.O.C.	FACE OF CONCRETE	T.O.F.	TOP OF FOUNDATION
F.O.M.	FACE OF MASONRY	T.O.P.	TOP OF PLATE(PARAPET)
F.O.S.	FACE OF STUD	T.O.S.	TOP OF STEEL
F.O.W.	FACE OF WALL	T.O.W.	TOP OF WALL
F.S.	FINISH SURFACE	TY.	TYPICAL
FT.(I)	FOOT(FEET)	U.G.	UNDER GROUND
FIG.	FOOTING	UL.	UNDERWRITES LABORATORY
G.	GROWTH(CABINET)	UN.O.	UNLESS NOTED OTHERWISE
GA.	GAUGE	V.I.F.	VERIFY IN FIELD
GAL.	GALVANIZED	W	WIDE(WIDTH)
G.F.I.	GROUND FAULT CIRCUIT	W/W	WOOD
	INTERRUPTER	WD.	WOOD
		W.P.	WEATHERPROOF
		WT.	WEIGHT

	SPOT ELEVATION		STEEL
	REVISION		GROUT OR PLASTER
	GRID REFERENCE		(E) BRICK
	DETAIL REFERENCE		(E) MASONRY
			CONCRETE
	ELEVATION REFERENCE		EARTH
	SECTION REFERENCE		GRAVEL
	MATCH LINE		PLYWOOD
	WORK POINT		SAND
			CENTERLINE
			PROPERTY/LEASE LINE
			GROUND CONDUCTOR
			TELEPHONE CONDUIT
			ELECTRICAL CONDUIT
			ELECTRICAL & TELCO CONDUITS
			COAXIAL CABLE
			OVERHEAD LINES
			CHAIN LINK FENCING
			WOOD FENCING
			OVERHEAD COMM/ OVERHEAD POWER







1355 WINDWARD CONCOURSE,
SUITES 410
ALPHARETTA, GA
30005

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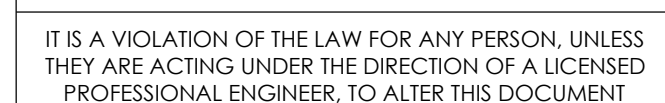
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CHECKED BY:	TDL
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TDL

APPROVED BY:	CW
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CW

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PEBBLE BEACH, CA 93953

SITE PLAN

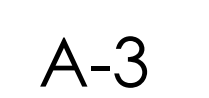
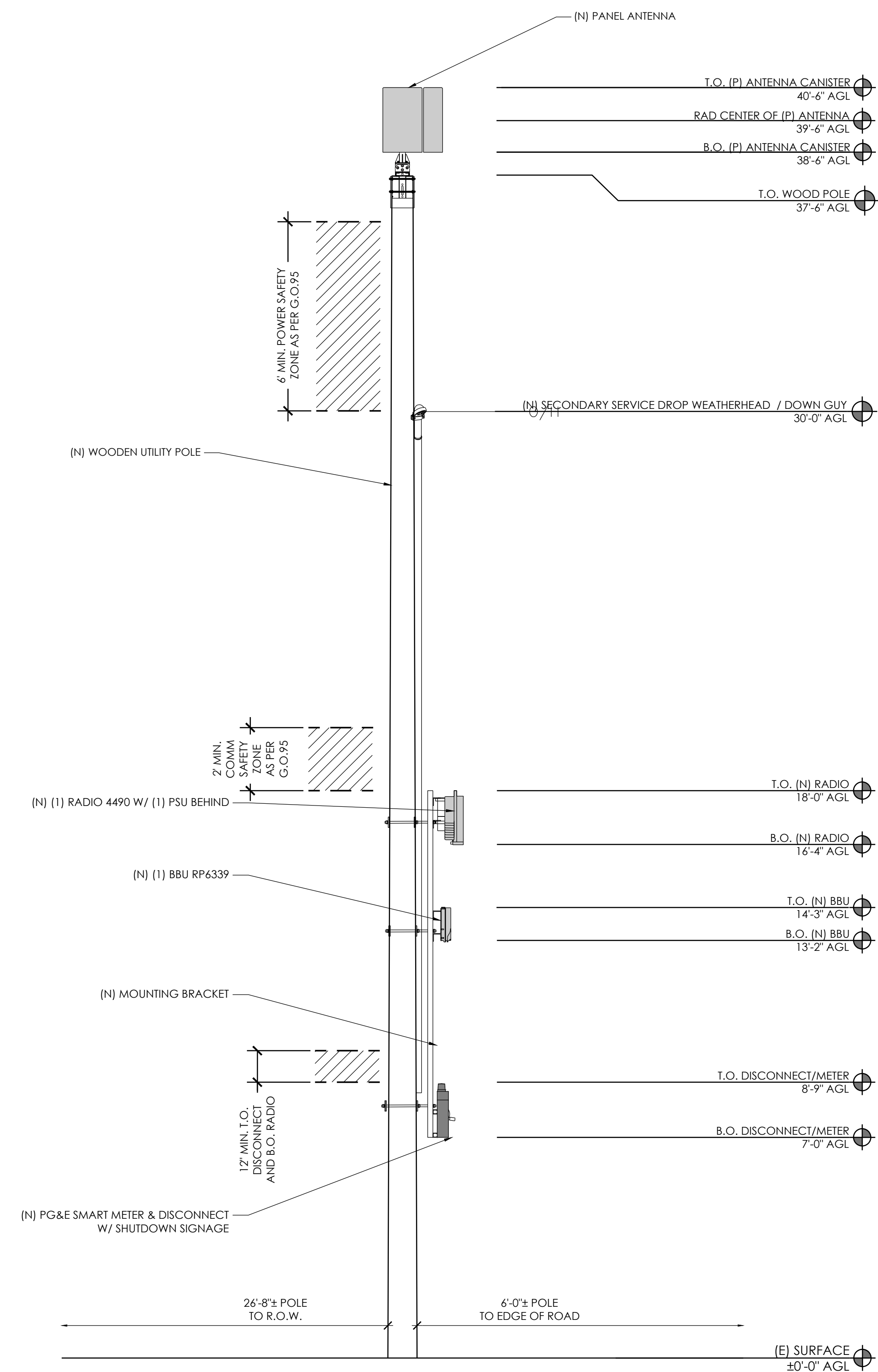
A-1



SITE PLAN

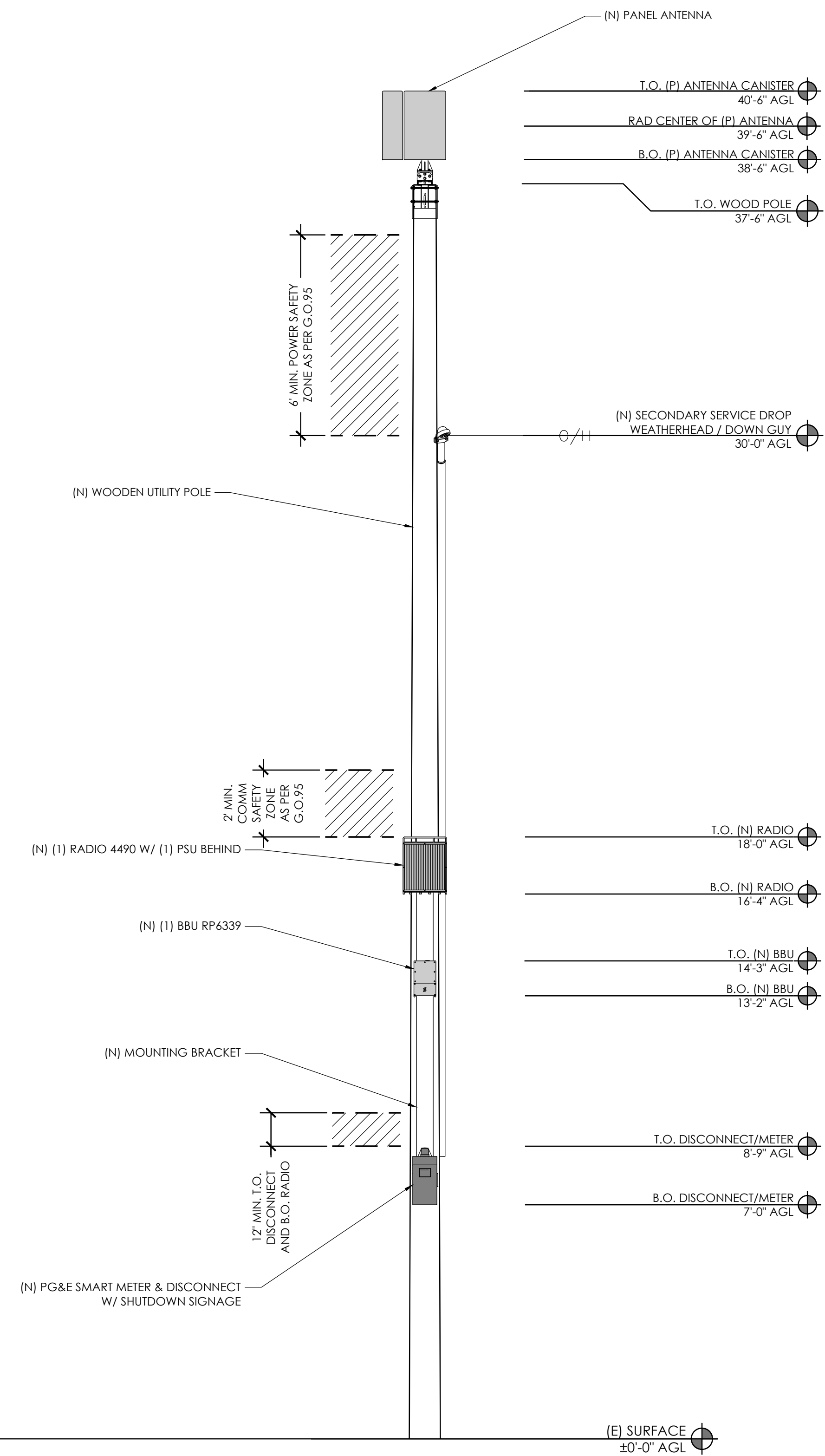
24"x36" SCALE: 1" = 10'-0"
11"x17" SCALE: 1" = 20'-0"

11"x17" SCALE: 1" = 20'-0"



- NOTES:

1. ALL EQUIPMENT SHALL BE PLACED (VERTICALLY) AS CLOSE AS ALLOWED BY POLE OWNER, WHILE MAINTAINING MINIMUM CLEARANCE REQUIREMENTS.
2. MAINTAIN 12" MIN. CLEARANCE TO GUY WIRE FROM PROPOSED EQUIPMENT.
3. MAINTAIN 4" MIN. OFFSET BETWEEN THE MOUNTING BRACKET FLANGE AND THE POLE
4. ALL ANTENNAS, BRACKETS, CABLEING, CONDUIT, AND OTHER EQUIPMENT WILL BE PAINTED NON-GLOSSY SABLE BY SHERWIN WILLIAMS (OR EQUIVALENT)
5. CABLEING TO BE INSTALLED IN A TIGHT NEAT MANNER WITHOUT EXCESS CABLE LOOPS



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SAN RAMON, CA
94583



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SUITES 410
ALPHARETTA, GA
30005

DRAWN BY:	JC
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CHECKED BY:	TDL
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APPROVED BY:	CW
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(NEAR) 3426 17 MILE DR
PEBBLE BEACH, CA 93953

ELEVATIONS

A-4

EXISTING FRONT ELEVATION

2

PROPOSED FRONT ELEVATION

1

1. GENERAL REQUIREMENTS

- ## 2. EQUIPMENT LOCATION

- ### 3. TESTS

- #### 4. PERMITS

- ## 5. GROUNDING

- ## 6. UTILITY SERVICE

- ## 7. PRODUCTS

- ## 8. INSTALLATION

- ## 9. PROJECT CLOSEOUT

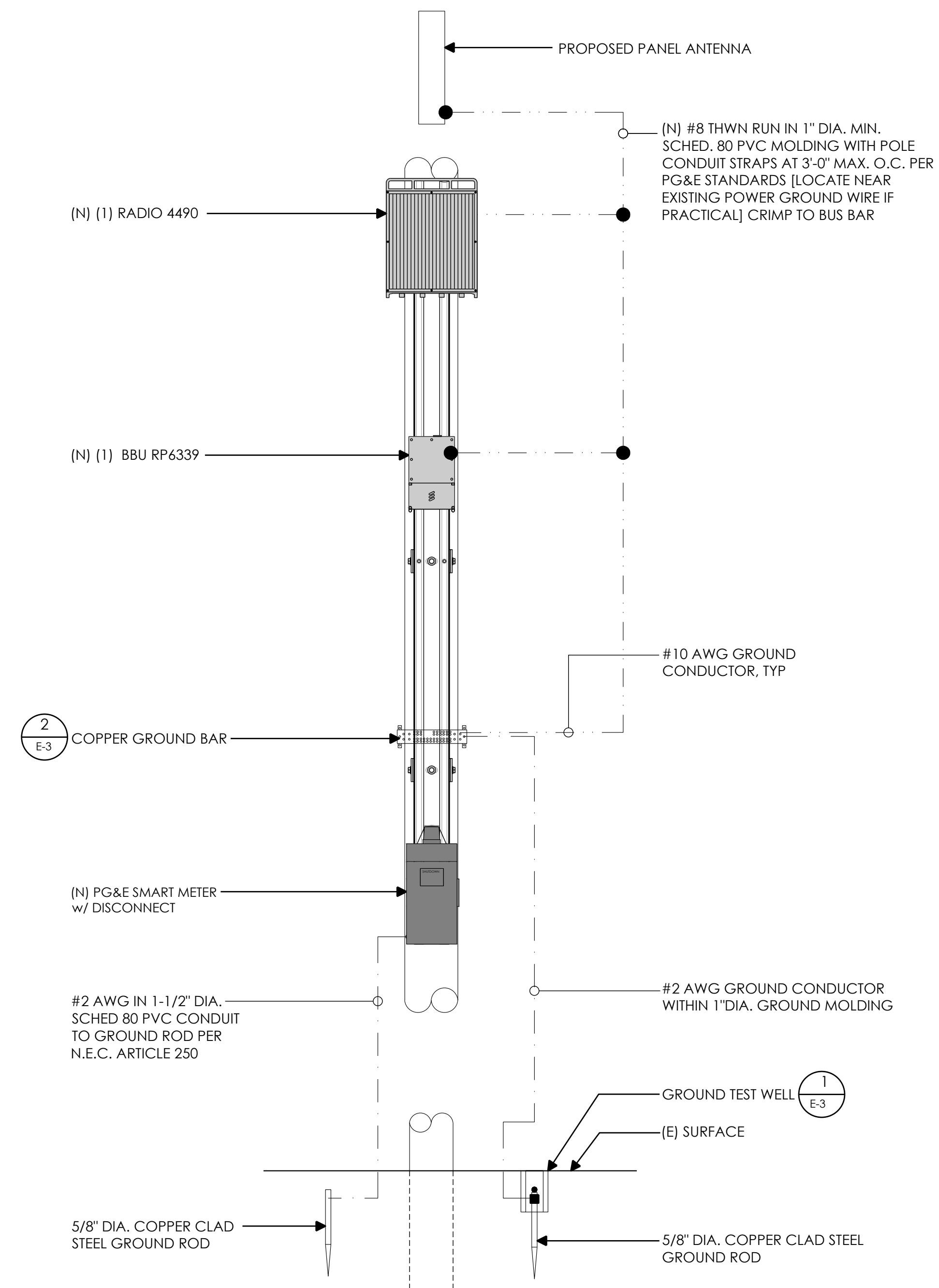
- | | |
|---|--|
|  | OVERHEAD COMM/OVERHEAD POWER |
|  | POWER RUN |
|  | TELCO RUN |
|  | POWER/TELCO RUN |
|  | GROUND LINE |
|  | FUSE, SIZE AND TYPE AS INDICATED. |
|  | LIGHTING FIXTURE |
|  | 5/8" X 10'-0" .CU. GND ROD 24" MIN. BELOW GRADE. |
|  | MECHANICAL CONNECTION |
|  | CIRCUIT BREAKER |

E-1

1. GROUND ROD: UL LISTED COPPER CLAD STEEL, MINIMUM 5/8" DIAMETER x 10'-0" LONG. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND CONDUCTOR.

3. EXTERIOR UNIT BONDS: METALLIC OBJECTS SHALL BE BONDED TO THE EXTERIOR GROUND ROD.

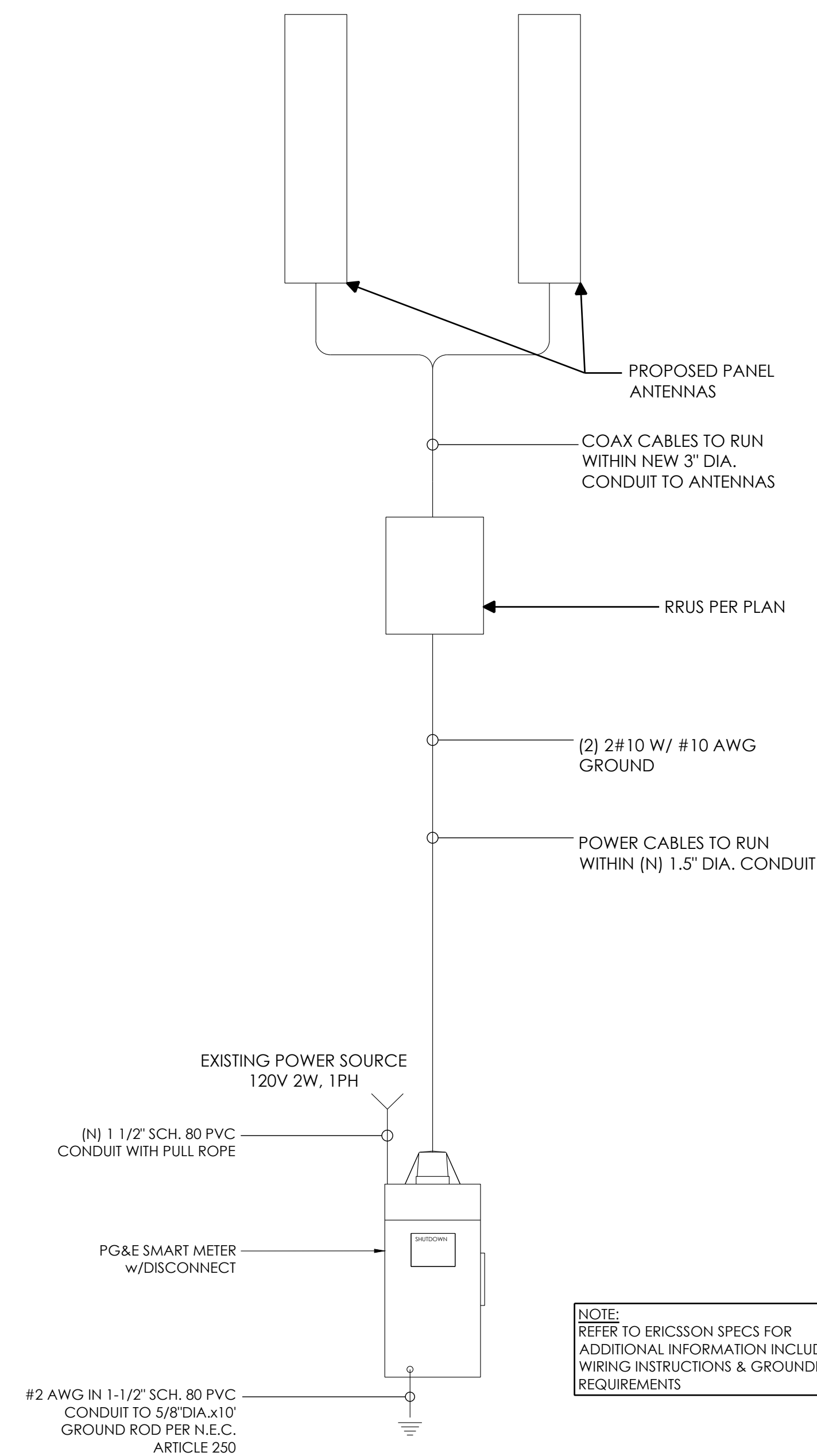
5. OUTDOOR EQUIPMENT SHALL BE RATED NEMA 3R AND/OR UL LISTED FOR WET ENVIRONMENT.



GROUNDING SCHEMATIC

2

ONE-LINE DIAGRAM



NOTE:
REFER TO ERICSSON SPECS FOR
ADDITIONAL INFORMATION INCLUDING
WIRING INSTRUCTIONS & GROUNDING
REQUIREMENTS



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APPROVED BY:	CW

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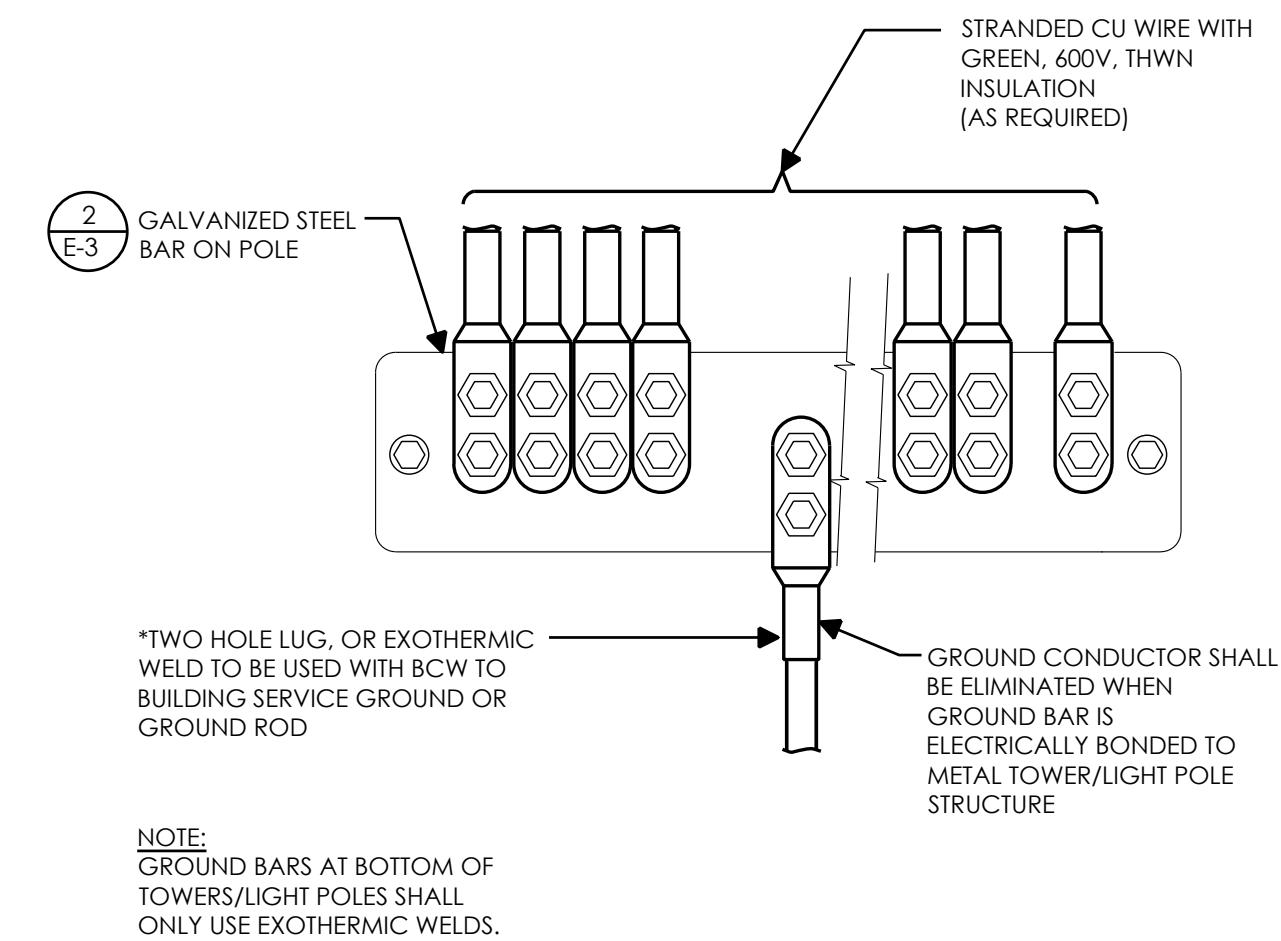
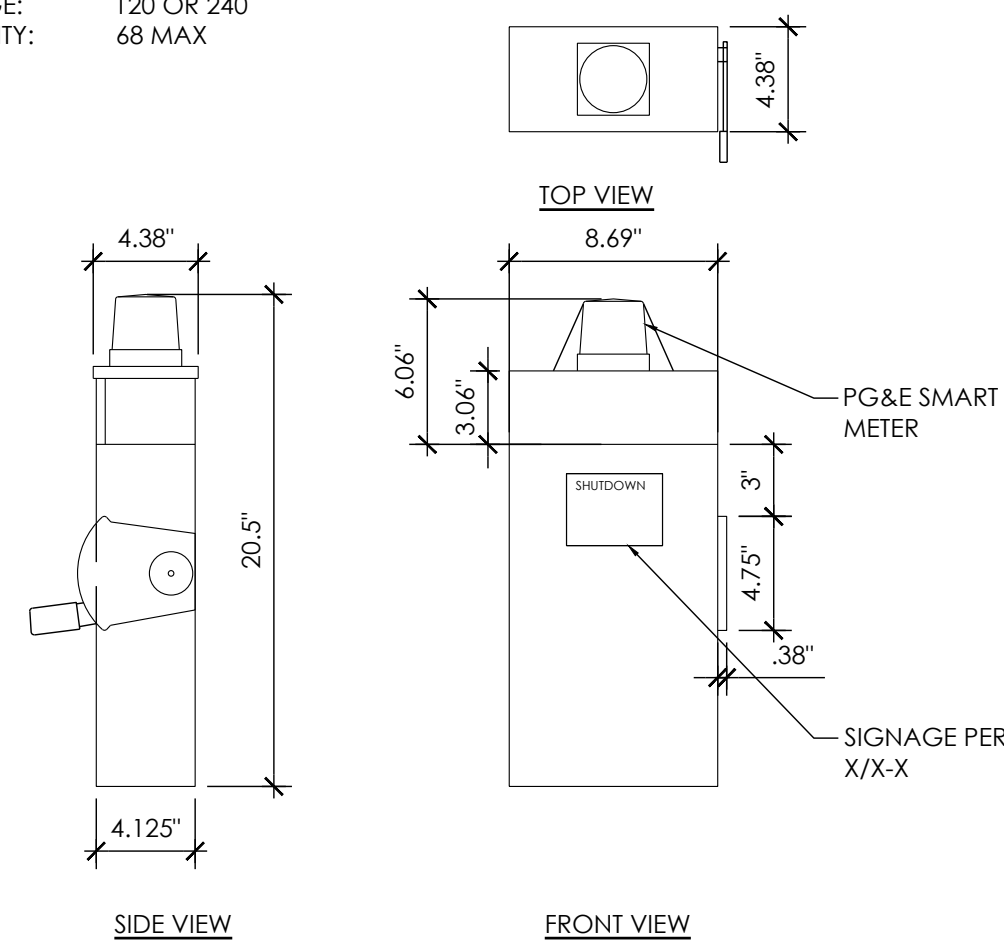
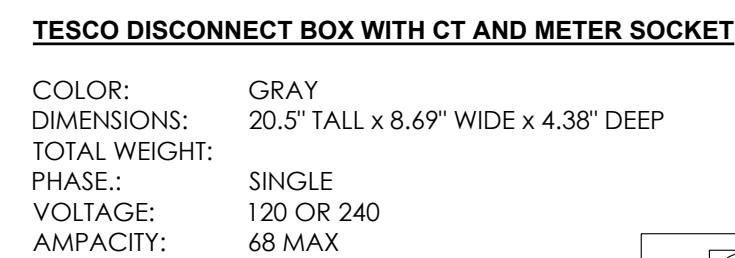
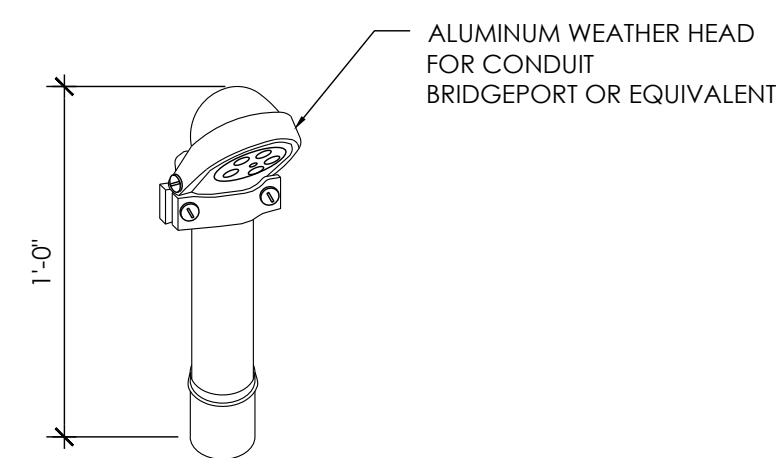
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ONE-LINE DIAGRAM & GROUNDING SCHEMATIC

E-2

1



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CHECKED BY:	TDL
APPROVED BY:	CW

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ELECTRICAL DETAILS

E-3

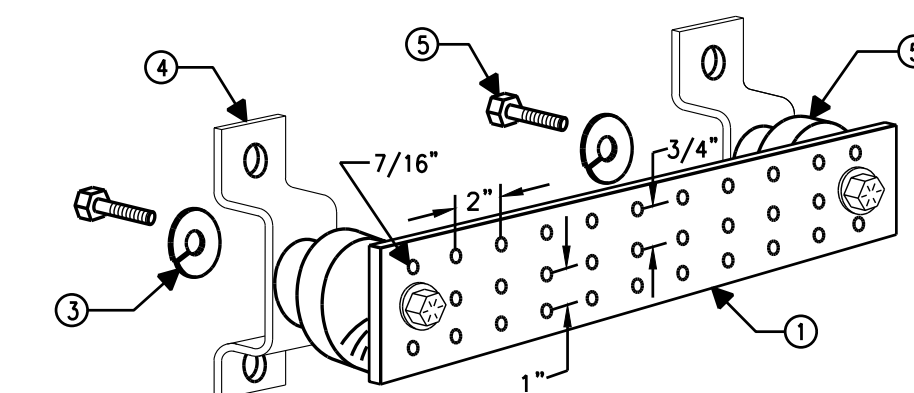
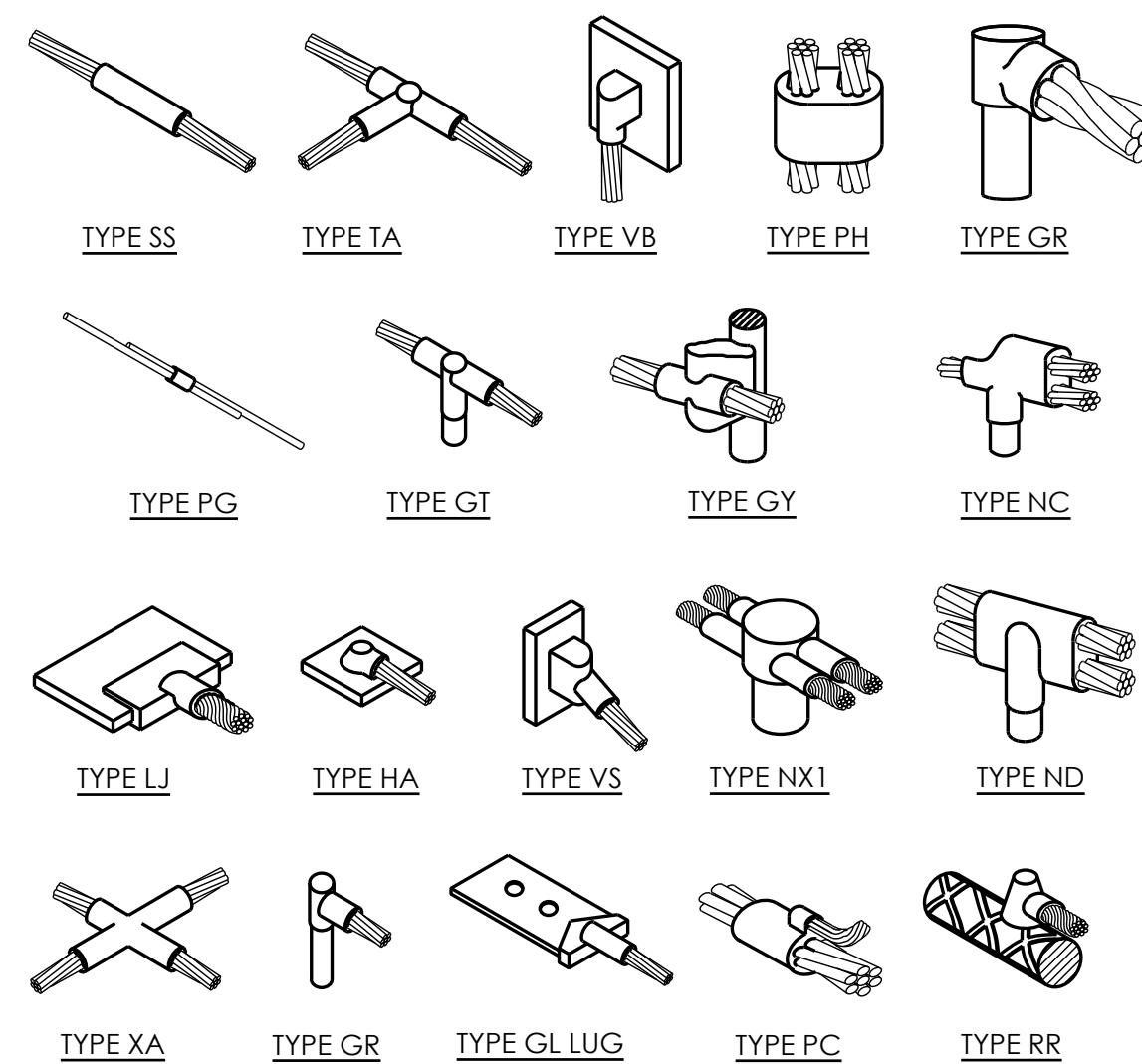
NOT USED

12	WEATHERHEAD
----	-------------

9	DISCONNECT
---	------------

6	GROUND WIRE TO BAR
---	--------------------

3



NOTES:

1. COPPER GROUND BAR, HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
2. INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR APPROVED EQUAL
3. 5/8" LOCK WASHERS, NEWTON INSTRUMENT CO., CAT. NO. 3015-8 OR APPROVED EQUAL
4. WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO., CAT NO. A-6056 OR APPROVED EQUAL
5. 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO., CAT NO. 3012-1 OR APPROVED EQUAL
6. INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/MONOPINE STRUCTURE. CONNECTION TO TOWER/MONOPINE STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
7. VALMONT T1NMG212U-K (OR EQUIVALENT) 1/4"x2"x12"

NOT USED

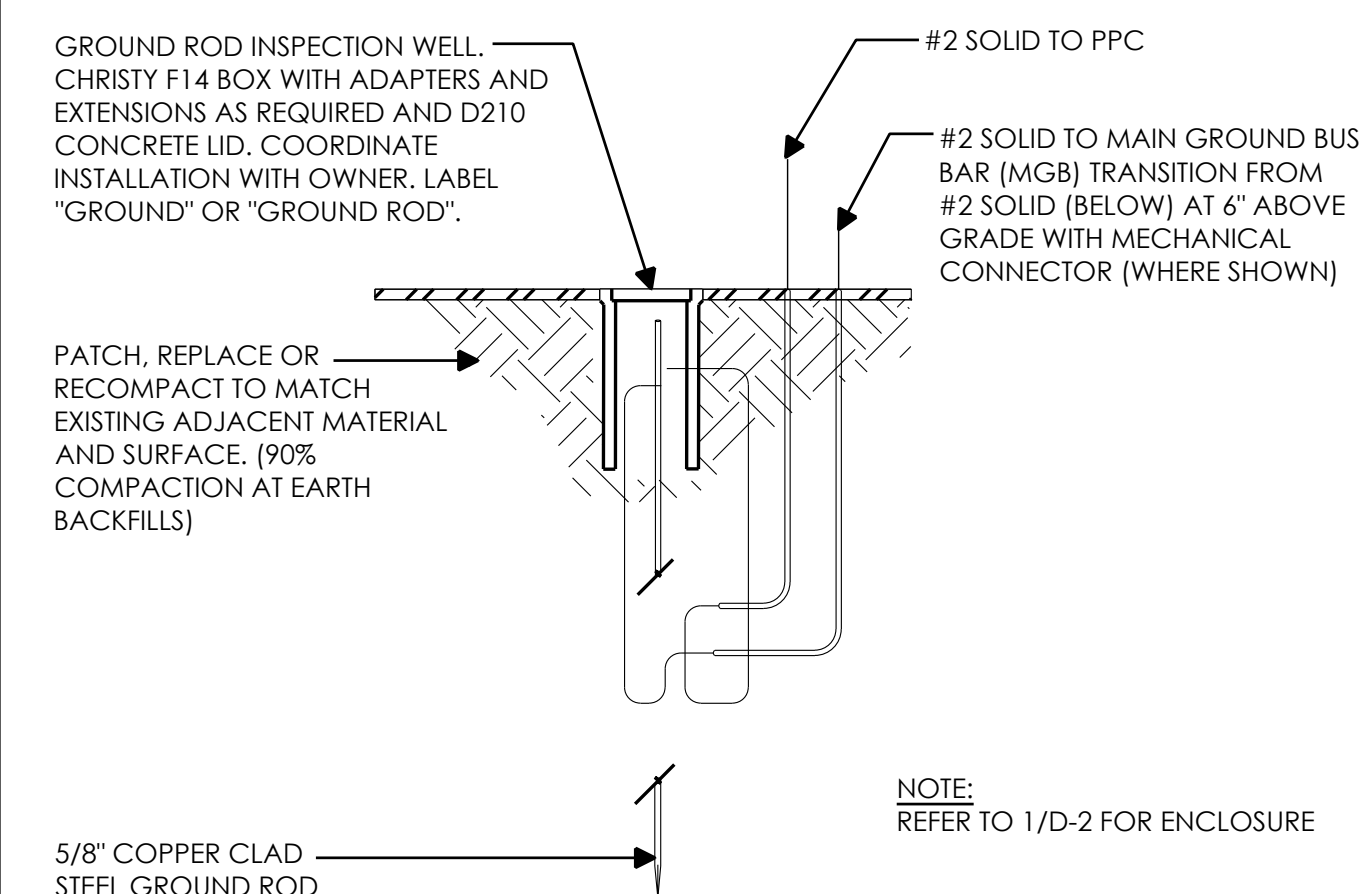
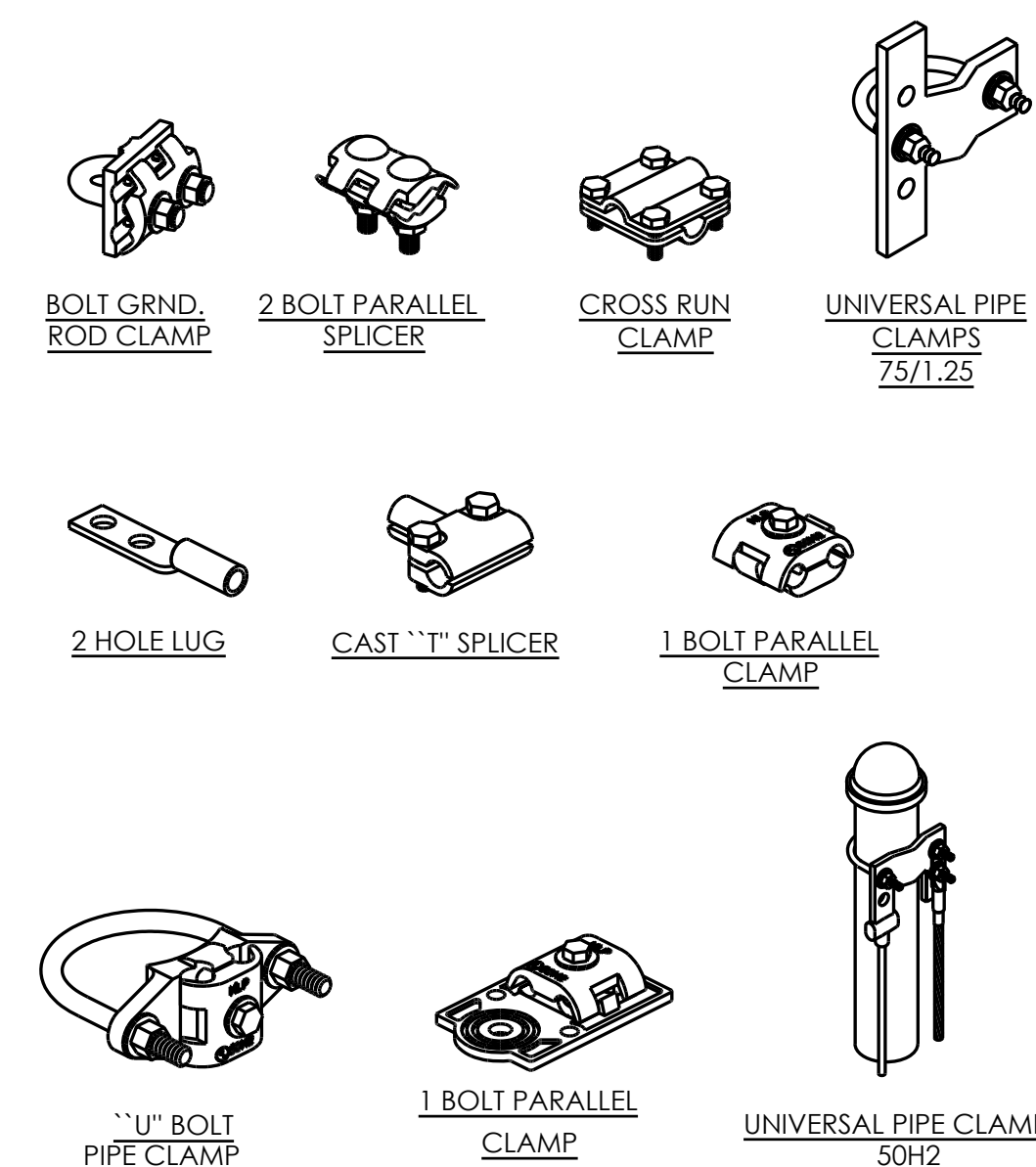
11	NOT USED
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8	EXOTHERMIC WELD CONNECTION
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5	GROUND BAR
---	------------

2

Electrical Load Calculations @ 120V			
Radio	Wattage	1.25*VA	Amps
4490	480	600.0	5.0
		0.0	0.0
		0.0	0.0
		0.0	0.0
		0.0	0.0
Totals		600.0	5.0
Disconnect / Meter: 68 Amps			
Total Load: 7.4%			



NOTE:
REFER TO 1/D-2 FOR ENCLOSURE

NOT USED

10	ELECTRICAL LOAD CALCULATIONS
----	------------------------------

7	MECHANICAL CONNECTION
---	-----------------------

4	GROUND TEST WELL
---	------------------

1

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