

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

JAMES JOSEPH A & CYNTHIA C TRS (PLN250304)

RESOLUTION NO. 26-067

Resolution by the County of Monterey HCD Chief
of Planning to:

1. Finding the project qualifies for a Class 1
Categorical Exemption pursuant to CEQA
Guidelines Section 15301 and no exceptions
under Section 15300.2 can be made; and
2. Approving a Coastal Administrative Permit
and Design Approval to allow the demolition
of an attached 240 square foot carport and
construction of an attached 480 square foot
garage and 595 square foot addition to an
existing 1,339 square foot single family
dwelling with associated site improvements.

[PLN250304 James Joseph A & Cynthia C TRS,
4149 El Bosque Drive, Pebble Beach, Del Monte
Forest Land Use Plan (APN: 008-062-013-000)]

The JAMES JOSEPH A & CYNTHIA C TRS application (PLN250304) came in for an administrative hearing before the County of Monterey Chief of Planning on August 19, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) The project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Coastal Implementation Plan, Part 5 (CIP); and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. The subject property is located within the Coastal Zone; therefore, the 2010 Monterey County General Plan does not apply.

- b) Project Scope. The proposed project is to allow for the demolition of an attached 240 square-foot carport and construction of an attached 480 square-foot garage and 595 square-foot addition, and a new covered entry porch. The exterior of the existing single-story

residence contains a brick veneer at the south and east elevations, tan stucco at the north and west elevations, white trim, white vinyl windows and doors and brown asphalt composite shingles. The exterior of the addition will be clad in stucco to match existing and brown asphalt composite shingles to match the existing roof. The brick veneer will be retained but will be updated using the German Schmear method resulting in a “washed” look with a tan semi-transparent overlay. New exterior components consist of a blue front door and garage door with integrated transom windows and light fixtures with a bronze finish. All new windows, gutters, fascia and trim will match existing.

- c) Allowed Use. The property is located at 4149 El Bosque Drive in Pebble Beach, located within the Del Monte Forest Land Use Plan. The parcel is zoned Medium Density Residential, 4 acres per unit with a Design Control in the Coastal Zone, or “MDR/4-D(CZ)”, [Assessor’s Parcel Number (APN) 008-062-013-000], which requires the granting of a Coastal Administrative Permit to allow the construction of additions to single-family dwellings that do not exceed 1,000 square-feet and normally associated with residential uses (Title 20, section 20.70.120.A). Medium Density Residential zoning allows for an addition to an existing residence provided the floor area ratio and building site coverage does not exceed 35 percent (Title 20, section 20.12.060). The project complies with these requirements as it will result in a floor area ratio coverage is 20.6 percent and a building site coverage of 21.8 percent. Additionally, pursuant to Title 20 Chapter 20.44, the development in the underlying zoning district is also subject to a Design Approval. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject parcel (0.26 acres), APN 008-062-013-000, is located on Lot 13, in Block 3, as shown on that certain Map entitled, “Tract No. 125, Del Monte Forest Subdivision No. 1”, filed August 14, 1946, in Map Book 4, Maps of “Cities and Towns”, at Page 95, in the Office of the County Recorder of Monterey County, California. Therefore, the County recognizes the subject parcel as a legal lot of record.
- e) Development Standards. The subject property is within the MDR zoning district and the project is in compliance with the development standards for main structures established in Title 20 section 20.12.060.B.1; 20 feet setback from the front, 5 feet setback from the side, 10 feet setback from the rear, and in Del Monte Forest, a maximum height of 27 feet. As shown on the attached project plans, the addition is 20 feet from the front, approximately 40 feet from the rear, and 15 feet from the side property lines and will maintain a maximum height of 14 feet 1 inch from the average natural grade. The property has a maximum allowed floor area ratio of 35 percent and a maximum allowed building site coverage of 25 percent. The proposed additions will result in a floor area ratio of 20.6 percent and building site coverage of 21.8 percent. Therefore, the property is

consistent with this policy and complies with the required site development standards based on the applicable MDR zoning district.

- f) Design/Neighborhood and Community Character. Pursuant to Chapter 20.44 of Title 20, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. According to Figure 3, the subject property falls within the viewshed from 17-mile drive and Vista Points, however the property is not seen from any common public viewing areas due to intervening vegetation, topography and development. DMF CIP section 20.147.070.B.3, requires that development in this area shall include adequate setbacks, minimal tree removal, and architectural design, material, and color consistent with the nature of the Plan area. Residences within the Pebble Beach area are eclectic in architecture, ranging from modern to California-Ranch and Spanish-style. As demonstrated in Evidence “b” above, the remodel and addition will result in retaining most of the exterior materials, finishes and colors. New or modified materials will be consistent of the overall architecture and design of the residence, the surrounding environment and residential neighborhood character. The exterior lighting will be downlit, unobtrusive, and will only illuminate the intended area, as conditioned (Condition No. 4) and required by the County’s 1982 General Plan, DMF LUP and CIP. The project as designed and sited assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- g) Public Access. As demonstrated in Finding 6 and supporting evidence, the development is consistent with public access policies of the DMF LUP.
- h) Tree Removal. No tree removal is proposed. However, in order to protect nearby pine trees from construction-related activities, Condition No. 4 has been applied to ensure the construction will not negatively impact any surrounding native trees.
- i) Driveway. The DMF LUP Policy 1 and Coastal Implementation Plan section 20.147.090.A.2 (Land Use and Development) requires new residential driveways to minimize surface length and width and provide simple and direct access. Based on topography, fire access requirements, and avoidance of tree removal on the parcel, the decomposed granite and permeable pavers for the driveway and parking area meet these requirements. As configured, the development achieves the policy goal of providing simple and direct access to the property, minimizes impacts to trees and other vegetation on the project site, and provides the minimum required parking for the single-family dwelling.
- j) Cultural Resources. According to Monterey County Geographic Information System (GIS) records, the subject property is within a moderate archaeological sensitivity area and is not within a known or potential archaeological resource area. Therefore, an archaeological

report is not required under the DMF CIP section 20.147.080.B.1. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.

- k) Land Use Advisory Committee. The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did not warrant referral to the LUAC because the project does not involve a Design Approval subject to the consideration by the Chief of Planning.
- l) Staff conducted a site inspection on July 16, 2026, to verify that the project on the subject property conforms to the plans submitted.
- m) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250304.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed use.

- EVIDENCE:**
- a) The project was reviewed by HCD- Planning, Pebble Beach Community Service Department (fire), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments or agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following report has been prepared and submitted with the application:
 - “Geotechnical Investigation Design Phase for 4149 El Bosque Drive, Pebble Beach, Monterey County, California (APN:008-062-013-000)”, (LIB260065) prepared by Duano Geotechnical Engineering Inc., February 2026.

County staff independently reviewed this report and concurs with its conclusions. There are no further physical or environmental constraints that would indicate that the site is not suitable for the use proposed. All development shall be in accordance with this report.

- c) Staff conducted a site inspection on July 16, 2026, to verify that the site is suitable for this use.
- d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250304.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace,

morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD- Planning, Pebble Beach Community Service Department (fire), HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities exist on the subject property. California American Water is the domestic water purveyor and Pebble Beach Community Services District (PBCSD) system provides wastewater services. The project will not require intensification of these services already provided.
 - c) Staff conducted a site inspection on July 16, 2026, to verify that the site is suitable for this use.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250304.

4. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on July 16, 2026, to verify that the site has no violations.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File PLN250304.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts additions to existing structures, provided that the addition will not result in 50 percent of the floor area of the structures, or 2,500 square feet, whichever is less.
 - b) The proposed project involves construction of a 595 square foot addition to an existing 1,339 square foot residence, inclusive of a 480 square foot attached garage. The addition is less than 50 percent of the existing floor area and therefore meets the qualifications for an exemption per CEQA guidelines Section 15301(e)(1).

- c) No adverse environmental effects were identified during staff review of the development application during a site visit on July 16, 2026.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a new significant effect, or development that would result in a new cumulative significant impact.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File PLN250304.

6. FINDING: **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP section 20.147.130 can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The subject property is described as an area where the Local Coastal Program requires visual or physical public access (Del Monte Forest Land Use Plan, Figure 8, Local Coastal Program Public Access).
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250304.

7. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A.1, the project is subject to appeal by/to the California Coastal Commission because it is between the sea and first through public road.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Chief of Planning does hereby:

1. Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301 and no exceptions under Section 15300.2 can be made; and
2. Approve a Coastal Administrative Permit and Design Approval to allow the demolition of an attached 240 square foot carport and construction of an attached 480 square foot garage and 595 square foot addition to an existing 1,339 square foot single family dwelling with associated site improvements.

PASSED AND ADOPTED this 19th day of August 2026:

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250304

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit (PLN250304) allows the construction of an attached 480 square foot garage and 595 square foot addition to an existing 1,339 square foot single family dwelling with associated site improvements. The property is located at 4149 El Bosque Drive, Pebble Beach (Assessor's Parcel Number 008-062-013-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit (Resolution Number _____) was approved by Chief of Planning for Assessor's Parcel Number 008-062-013-000 on August 19, 2026. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.

(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

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GENERAL NOTES

All work shall be done in accordance with applicable code and ordinance requirements set forth by the prevailing governing body.

This project shall comply with California Code of Regulations Title 24, Building Standard Code, 2022 Edition:

CRC - California Residential Code, Part 2.5
CBC - California Building Code, Part 2, Vol. 1 & 2
CEC - California Electrical Code, Part 3
CMC - California Mechanical Code, Part 4
CPC - California Plumbing Code, Part 5
CENC - California Energy Code, Part 6
CFC - California Fire Code, Part 9
CEBC - California Existing Building Code, Part 10
CalGreen - California Green Building Requirements, Part 11
Monterey County Code of Ordinances

During the course of construction, the prevailing best management practice (BMP's) shall be observed; see Sheet G4

These drawings are prepared for use by a properly licensed and certified contractor.

All written dimensions shall supercede scaled dimensions.

Existing conditions are shown. contractor shall verify all dimensions, elevations, materials, and conditions prior to starting construction.

Contractor to verify location of utilities and existing conditions at the site prior to construction.

Contractor is responsible for complete final disposal of all construction debris in a manner consistent with all applicable federal, state and local laws.

Contractor to protect existing conditions from damage, dust, and debris. materials planned to be reused are to be protected from damage throughout the demolition process.

Address Identification:

Prior to construction, a legible address identification shall be placed in a position that is visible from the street or road fronting property. Address identification characters shall contrast with their background. Address numbers shall be all Arabic numerals or Alphabetic letters. Numbers shall not be spelled out. Each character shall not be less than 4 inches in height with a stroke width of not less than 0.5 inch. Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of private road ad the building address cannot be viewed from the public way, a monument, pole, or other sign or means shall be used to identify the structure. Address identification shall be maintained.

Discovery of Prehistoric or Archaeological Resources:

Should concentrations of archaeological or paleontological materials be encountered during construction or grading operations, all ground-disturbing work shall be temporarily halted on the site and Monterey County Housing & Community Development shall be notified. Work near the archaeological finds shall not be resumed until a qualified Archaeologist has evaluated the materials and offered recommendations for further action.

Should human remains be uncovered, all excavation shall be halted in the immediate area and County Coroner shall be contacted immediately. Should the Corner determine that he remains are likely those of a native American, the California Native American Heritage Commission must be contacted within 24 hours of identification and shall determine the appropriate treatment of the remains.

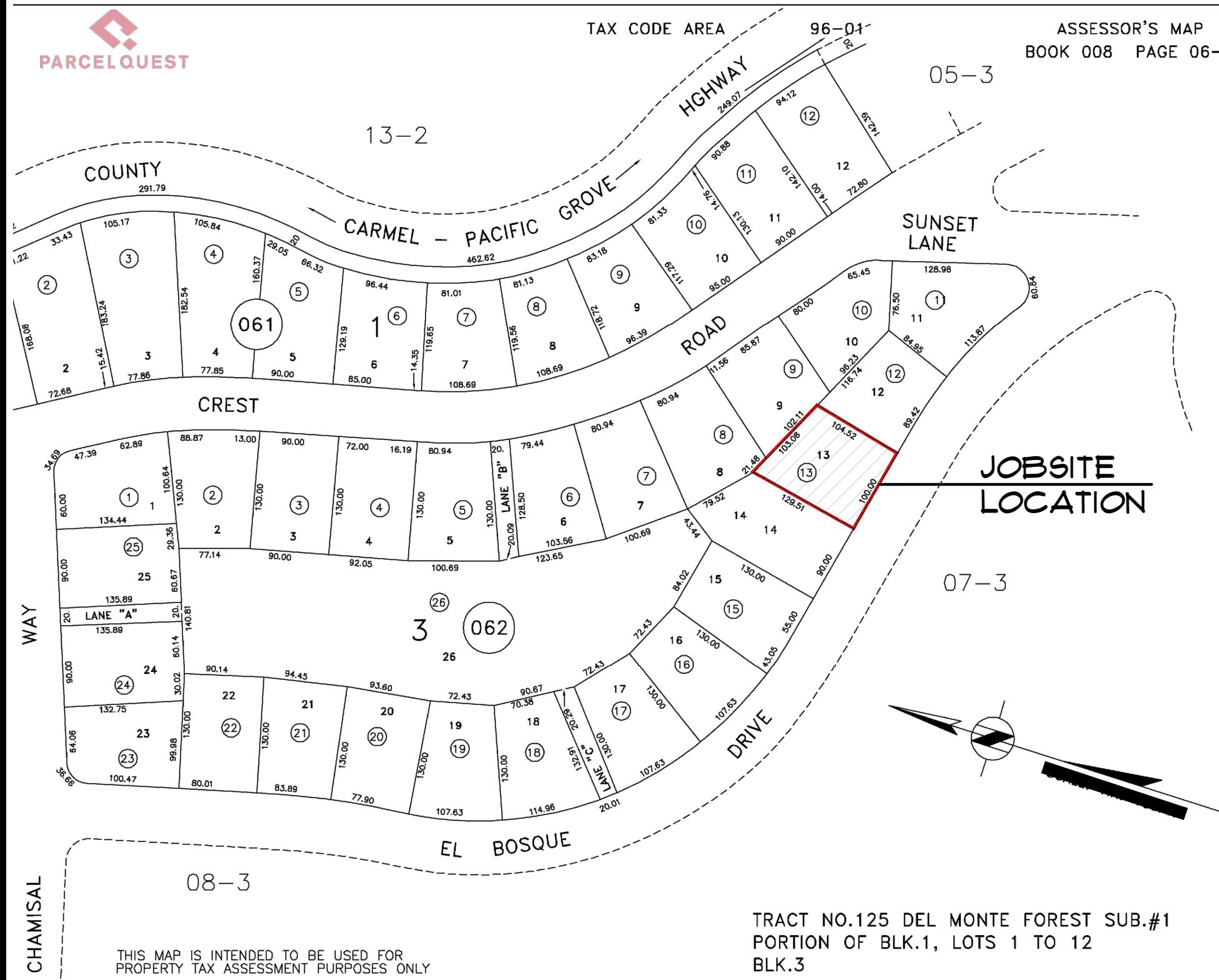
ABBREVIATIONS

A.B.	ANCHOR BOLT	F.G.	FINISH GRADE	N.I.C.	NOT IN CONTRACT	T.O.F.	TOP OF FOOTING
ABV.	ABOVE	F.S.	FINISH SLAB	NO. OR #	NO. OR #	T.O.	TOP OF
A.C.	ASPHALTIC CONCRETE	FL.	FLOOR	N.T.S.	NOT TO SCALE	T.O.P.	TOP OF PLATE
A/C	AIR CONDITIONING	FLR.	FLUORESCENT			T.O.S.	TOP OF SLAB
ALUM.	ALUMINUM	F.O.C.	FACE OF CONCRETE	O/	OVER	T.O.W.	TOP OF WALL
APPROX.	APPROXIMATE	F.O.S.	FACE OF STUD	O.C.	ON CENTER	TP	TYPICAL PAPER
ARCH.	ARCHITECTURAL	FR. DR.	FRENCH DOOR	O.F.S.	OUTSIDE FACE OF STUD	TYP.	TYPICAL
AND.	AND	FT.	FOOT OR FEET	OPP.	OPPOSITE		
ASPH.	ASPHALT	FTG.	FOOTING	O.A.	OUTSIDE DIAMETER	U.N.O.	UNLESS NOTED OTHERWISE
AWN.	AWNING	FX	FIXED			U.C.	UNDER CABINET
						VERT.	VERTICAL
BA.	BATH	G.A.	GAUGE	P/L	PROPERTY LINE		
BD.	BOARD	G.A.	GALVANIZED ALUMINUM	PLAS.	PLASTER		
BLDG.	BUILDING	G.I.	GALVANIZED IRON	P.LY.	PLYWOOD	W/	WITH
BLKG.	BLOCKING	G.O.	GROUND FAULT INTERRUPTER	PNL.	PANEL	WASH.	WASHER
BLW.	BELOW	GL OR GLS	GLASS	P.S.	POLE & SHELF	WAINS.	WAINSCOT
BM.	BEAM	GM	GAS METER	P.T.	POINT	WC	WATER CLOSET
BOTT.	BOTTLE	GND.	GROUND	PR.	PAIR	WD	WOOD
BR.	BEDROOM	GYP. BD.	GYP. BOARD	P.R.	POWDER ROOM	W/D	WASHER & DRYER STACKED
						WDW	WINDOW
CAB.	CABINET	H.C.	HOLLOW CORE	R.A.	RETURN AIR	WM	WATER METER
CEM.	CEMENT	H.D.	HOLD DOWN	RAD.	RADIUS	W/O	WITH OUT
C.T.	CERAMIC TILE	HDR.	HEADER	RD.	ROUND	WP	WATERPROOF
C.I.	CAST IRON	HWD.	HARDWOOD	REF.	REFRIGERATOR	WWP	WELDED WIRE FABRIC
CLR.	CLEAR	HORIZ.	HORIZONTAL	REIN.	REINFORCED/ING		
CLST.	CLOSET	H.R.	HOUR	RES.	RESILIENT		
COMP.	COMPOSITION	H.B.	HOSE BIBB	RM.	ROOM		
CONC.	CONCRETE	HT.	HEIGHT	R.O.	ROUGH OPENING		
C.C.	CEILING	HVC.	HANDICAP	REQ.	REQUIRED		
C.M.U.	CONCRETE MASONRY UNIT	HC	HEATING VENTILATION &	R.W.	RIGHT OF WAY		
C.O.	CLEAN OUT	HW	HOT WATER	R.W.D.	REDWOOD		
COL.	COLUMN			R.W.L.	RAINWATER LEADER		
CONN.	CONNECTION	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE		
CONST.	CONSTRUCTION	INS.	INSULATION	S.C.	SOLID CORE		
CSMT.	CASEMENT	INT.	INTERIOR	SECT.	SECTION		
C.W.	COLD WATER			S.F.	SQUARE FOOT/FEET		
		J.B.	JUNCTION BOX	SQ. F.T	SQUARE FOOT/FEET		
DBL.	DOUBLE	JST.	JOIST	SH	SINGLE HUNG		
DET.	DETAIL			SHW.	SHOWER		
DF.	DOUGLAS FIR	KIT.	KITCHEN	SIM.	SIMILAR		
DIA. OR Ø	DIAMETER	KP	KICKER POST	SLS	SLIDER		
DIM.	DIMENSION	KS	KING STUD	SLS.	SLIDING GLASS DOOR		
D.S.	DOWNSPOUT	LAU.	LAUNDRY	SLS. GLS. DR.	SLIDING GLASS DOOR		
DRY	DRYER	LAV	LAVATORIES	S & P	SHELF & POLE		
DW	DISHWASHER	LIN.	LINEN	SPECS.	SPECIFICATIONS		
DWG	DRAWING	LT.	LIGHT	SQ.	SQUARE		
				SF OR SQ. FT.	SQUARE FEET		
EA.	EACH			STL.	STANDARD		
ELEC.	ELECTRICAL	MAT.	MATERIAL	STOR.	STORAGE		
ELEV.	ELEVATION	MAX.	MAXIMUM	STRUC.	STRUCTURAL		
EM	ELECTRIC METER	M.B.	MACHINE BOLT	S.S.D.	SEE STRUCTURAL DRAWINGS		
ENCL.	ENCLOSURE	MECH.	MECHANICAL	SS	STAINLESS STEEL		
EQ.	EQUAL	MANUF.	MANUFACTURER	SYM.	SYMMETRICAL		
EXH.	EXHAUST	MIN.	MINIMUM				
EXP.	EXPANSION	MISC.	MISCELLANEOUS	TEL.	TELEPHONE		
EXIST. OR (E)	EXISTING	MTD.	MOUNTED	TEMP.	TEMPERED		
EXT.	EXTERIOR	(N)	NEW	THRSH.	THRESHOLD		
				T&G	TONGUE & GROOVE		
FBRGL.	FIBERGLASS						
FD	FLOOR DRAIN						
FND.	FOUNDATION						
F.F.	FINISH FLOOR						

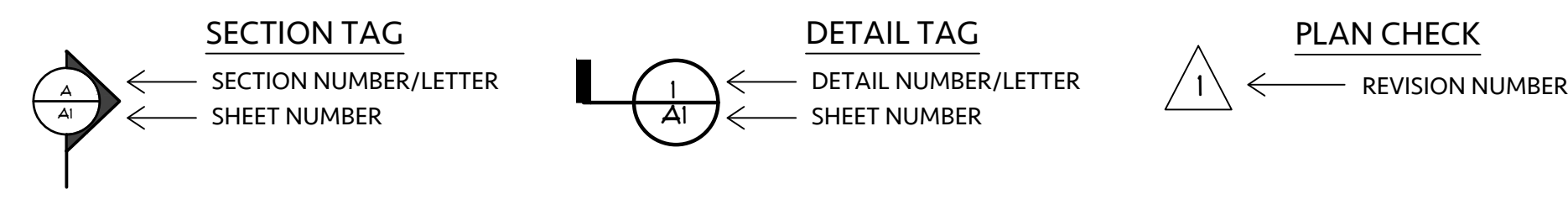
VICINITY MAP



A.P.N. MAP



SYMBOL KEY



DRAWING INDEX

GENERAL

T1 Title Sheet

CIVIL

1 Topographic Survey

ARCHITECTURAL

A1 Existing Site & Roof Plans, with Construction Parking
A2 Existing Floor Plan
A3 Proposed Floor Plan
A4 Proposed Roof Plan
A5 Existing Exterior Elevations & Photos
A6 Proposed Exterior Elevations & Exterior Materials Pallet

SCOPE OF WORK

Remodel and addition to a Single Family Residence

Scope to include:

- Demolition of existing Carport
- Addition of new 595 SF Bedroom Suite and Hallway
- Addition of new 480 SF Two-Car Garage
- New Covered Entry Porch
- Reconfiguration and remodeling of interior spaces adjacent to the Addition to include a new Half-Bath.
- Window and Door changes (as noted)
- New Exterior Lighting
- Exterior finishes to match existing, with new paint colors (see sheet A6).
- M.E.P. updates throughout- as noted; includes removal of 1 sink basin in Bath 2.

PROJECT DATA

PROJECT DIRECTORY:

Owner:
Joe & Cynthia James
4149 El Bosque Drive
Pebble Beach, CA 93956
408-627-5383
pbretire123@gmail.com
joejamesusa@gmail.com

Designer & Applicant:
Angie Phares
Hastings Construction, Inc.
11 Thomas Owens Way, Suite 201
Monterey, CA 93940
831-620-0920
design@hastingsconstruction.com

SURVEYOR:
Brian Wilson
Monterey Bay Engineers, Inc.
607 Charles Avenue, Suite B
Seaside, CA 93955
831-899-7899
mbayengr@mbay.net

SITE & BUILDING DATA:

Project Address: 4149 El Bosque Drive
Built: 1949
APN: 008-062-013-000
Tract No. 125 Del Monte Forest Sub. #1
Block 3, Lot 13
Parcel Size: 0.2686 Acres (11,701 sq. ft.)
Zoning: MDR/4-D(CZ)
Planning Area: Del Monte Forest LUP

ADMIN. BOUNDARIES & DISTRICTS:

Land Use Advisory: DMF Advisory Committee
Water Mngt. Agency: MPWMD
Fire District: Pebble Beach CSD
CAL-AM Service: YES
School District: Monterey Peninsula Unified

BUILDING CODE DATA:

Occupancy: R-3
Construction Type: VB/U
Fire Sprinklers: NO

Site Coverage:	Existing:	Proposed
Main Residence:	1,339 SF	1,934 SF
Carport:	240 SF	-
Garage:	-	480 SF
Covered Porches/Patios:	-	135 SF

Total Site Coverage: 1,579 SF 2,549 SF (21.78%)

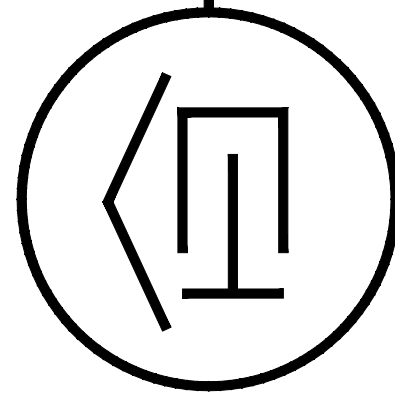
Site Coverage Allowed: 35% = 4,095.35 SF

Floor Area Square Footages:	Existing:	Proposed
Main Residence:	1,339 SF	1,934 SF
Garage:	-	480 SF
Total F.A.R.	1,339 SF	2,414 (20.63%)
F.A.R. Allowed :	35% = 4,095.35 SF	

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B



Drawing Title:
TITLE SHEET

Job Title:

JAMES RESIDENCE

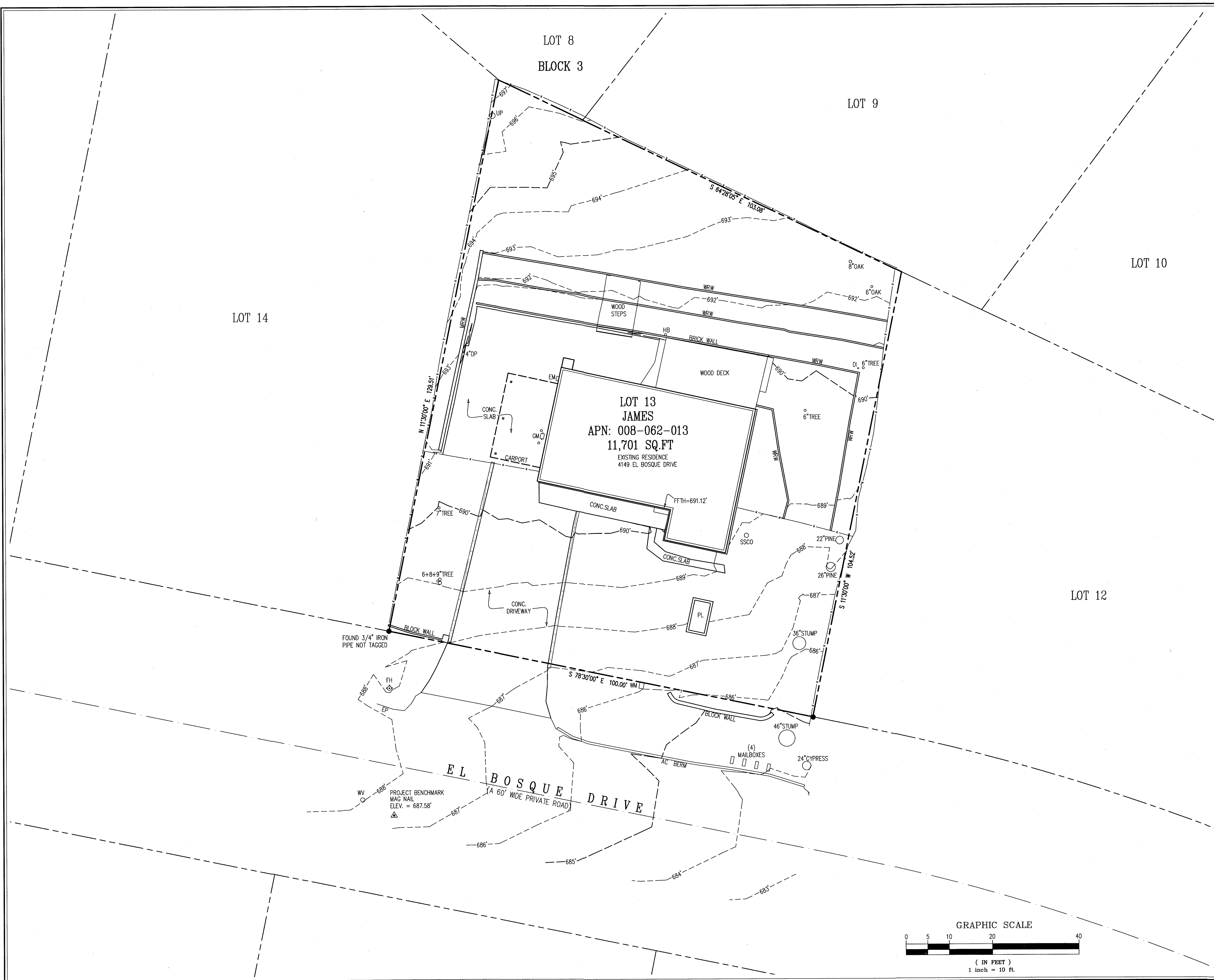
Project Address & APN:

4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953

APN: 008-062-013-000

Project:	Sheet No.
HC25013	
Date:	
7/14/2025	
Drawn By:	
AAP	
Scale:	
N.T.S.	

T1



NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = 1 FOOT.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. A GPS SURVEY WAS CONDUCTED TO ESTABLISH THE SITE BENCHMARK USING REFERENCE STATION "CAMT" ON THE SMARTNET NORTH AMERICA NETWORK. THE PROJECT BENCHMARK IS A MAG NAIL WITH WASHER IN THE PAVEMENT, AS SHOWN ON THIS MAP. ELEVATION = 687.58'.
- DENOTES A FOUND 3/4" IRON PIPE TAGGED "LS 3381". UNLESS OTHERWISE NOTED.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
- ANY SUBSEQUENT USE OF THIS SURVEYING DATA MUST INCLUDE THIS NOTE:
THE BOUNDARY AND SURVEYING DATA SHOWN WAS FURNISHED BY MONTEREY BAY ENGINEERS, INC., AND THAT FIRM IS NOT RESPONSIBLE FOR ANY REVISIONS. THE ORIGINAL WORK WAS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR.

LEGEND:

---	FENCE LINE
AC	ASPHALTIC CONCRETE
CONC.	CONCRETE
DI	DROP INLET
DP	DRAIN PIPE
ELEV.	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FFTH	FINISHED FLOOR AT THRESHOLD
GM	GAS METER
HB	HOSE BIB
MRW	MASONRY RETAINING WALL
PL	PLANTER BOX
SSCO	SANITARY SEWER CLEAN OUT
UP	UTILITY POLE
WM	WATER METER
WRW	WOOD RETAINING WALL
WV	WATER VALVE

SCALE: 1" = 10'



TOPOGRAPHIC SURVEY

OF
LOT 13, BLOCK 3
DEL MONTE FOREST No.1
VOLUME 4, CITIES & TOWNS, PAGE 95

PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

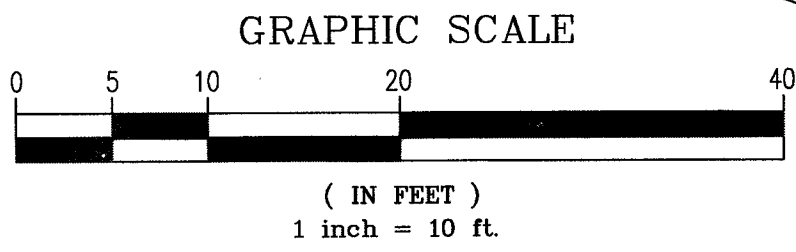
PREPARED FOR
CYNTHIA JAMES

BY
MONTEREY BAY ENGINEERS, INC.

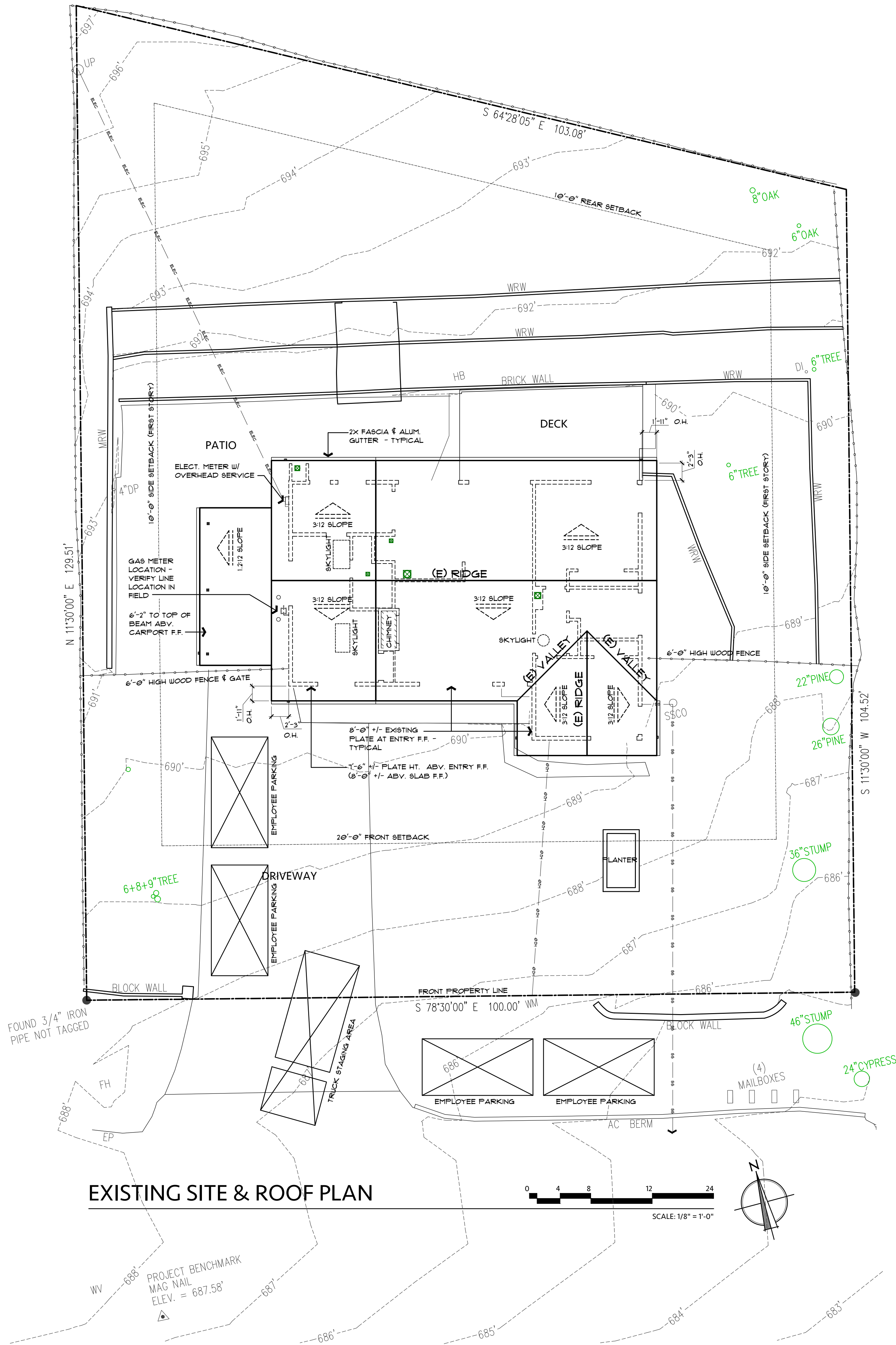
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93955
Phone: (831) 899-7899

SCALE: 1" = 10' JOB No. 25-019 MARCH 2025

FIELD: MAL & AL DRAWN BY: AL



THESE PLANS ARE INTENDED ONLY FOR THE SITE FOR WHICH THEY WERE DESIGNED AND ARE PROPERTY OF HASTINGS CONSTRUCTION. THESE PLANS MAY NOT BE REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF HASTINGS CONSTRUCTION, INC.



Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

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(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC# 791539 CLASS: A/B

Drawing Title:
EXISTING SITE & ROOF PLAN WITH CONSTRUCTION PARKING

Job Title:
JAMES RESIDENCE

Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project: HC25013	Sheet No.
Date: 7/14/2025	A1
Drawn By: AAP	
Scale: 1/8" = 1'-0"	

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N 11°30'00" E 129.51'

MRW

BLOCK WALL

6+8+9" TREE

10'-0" SIDE SETBACK (FIRST STORY)

PATIO
CONC. SLAB

CARPORT
CONC. SLAB

2'8" EXISTING STUCCO WALL

GAS METER

ELECT. METER

DRIVEWAY
CONC. SLAB

PATIO
CONC. SLAB

BEDROOM 1
8'-0" C.H.

LAUNDRY
8'-0" C.H.

LIVING ROOM
11'-0" C.H.

DINING
10'-0" C.H.

BEDROOM 2
8'-0" C.H.

BEDROOM 3
8'-0" C.H.

BATH 2
5'-0" C.H.

BATH 1
5'-0" C.H.

WASH
5'-0" C.H.

REF.
5'-0" C.H.

KITCHEN
10'-0" C.H.

DINING
10'-0" C.H.

DECK
WOOD DECKING F.F.
(LESS THAN 24" ABV. GRADE)

46' EXISTING STUCCO WALL

ROOF OVERHANG - TYP.

11'0"32' XOX SLD

38'34' SLD

2'0" SLD

2'0" SLD

2'0" SLD

2'0" SLD

2'0" SLD

2'0" SLD

2'0" SLD

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2'0" SLD

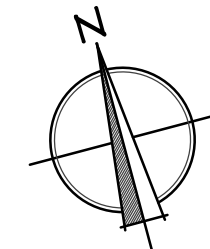
EXISTING FLOOR PLAN

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL/ELEMENT TO BE REMOVED
- EXISTING BRICK VENEER TO REMAIN

FRONT PROPERTY LINE

S 78°30'00" E 100.00' WM

0 2 4 8 12
SCALE: 1/4" = 1'-0"



46" STUMP

36" STUMP

26" PINE

22" PINE

6" TREE

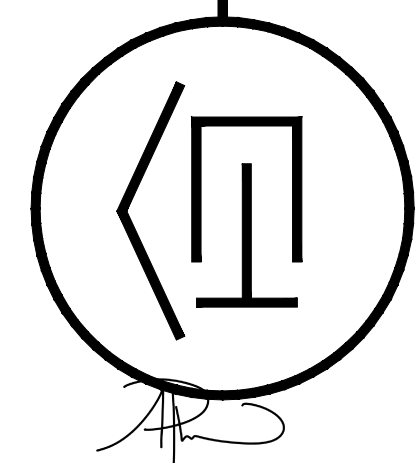
DI. 6" TREE

S 11°30'00" W 104.52'

Revision/Issue	Date

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LIC#: 791539 CLASS: A/B



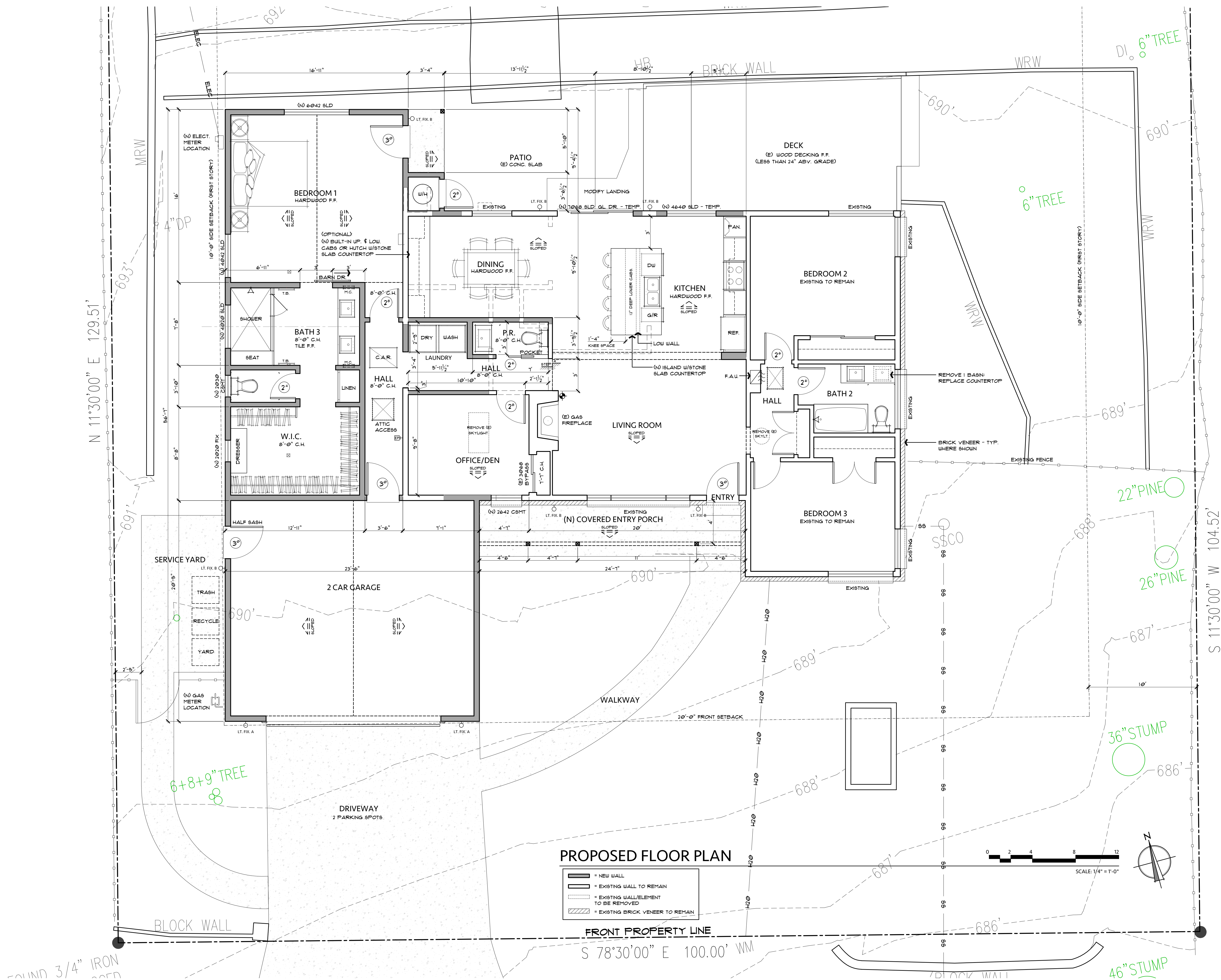
Drawing Title:
EXISTING FLOOR PLAN

Job Title:
JAMES RESIDENCE

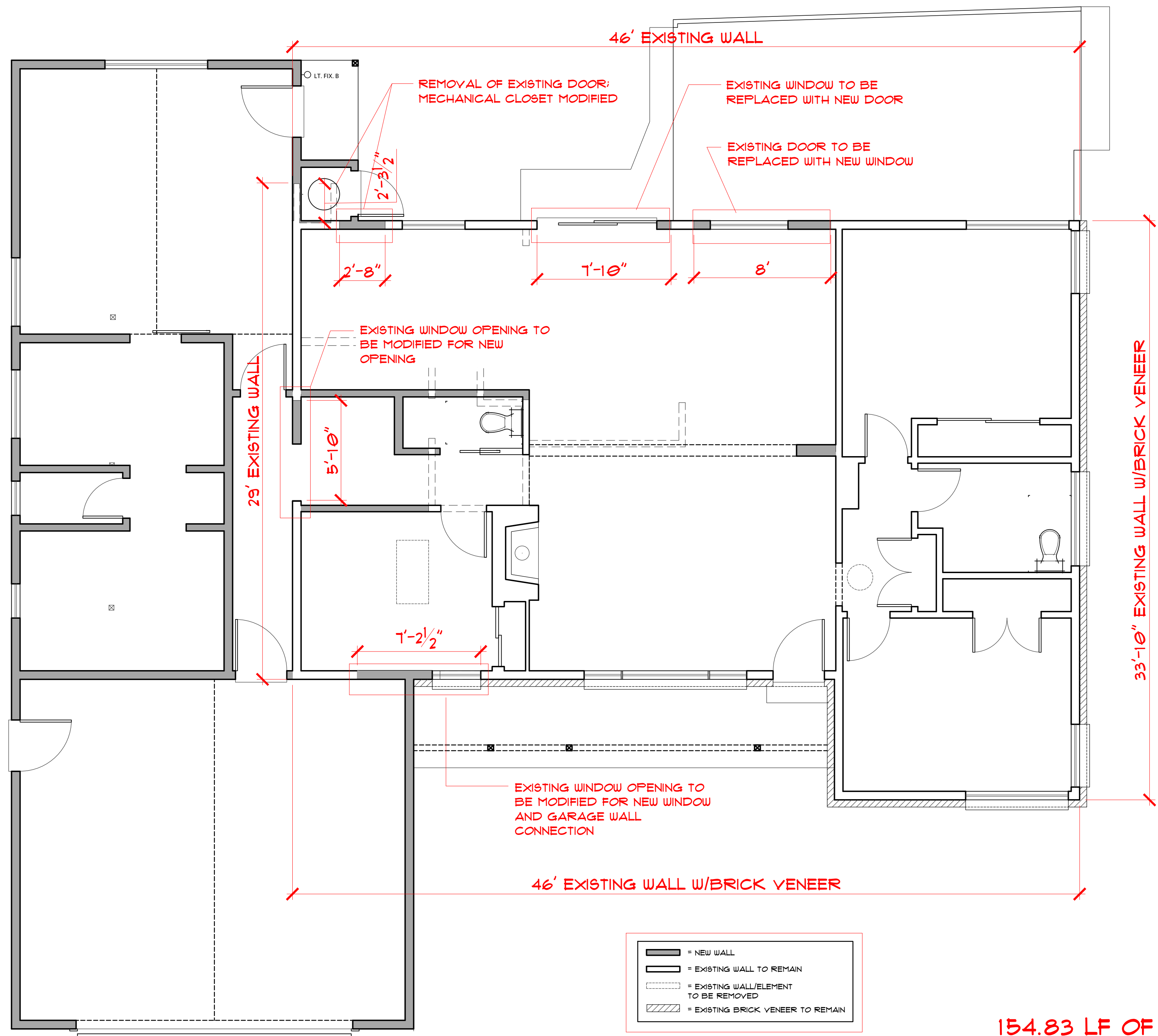
Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project:
HC25013
Date:
10/7/2025
Drawn By:
AAP
Scale:
1/4" = 1'-0"

Sheet No.
A2



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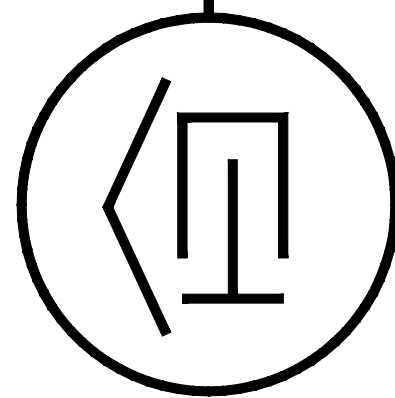
154.83 LF OF EXISTING EXTERIOR WALLS
33.9 LF OF MODIFIED EXISTING WALLS

= 21.89% MODIFICATION

Revision/Issue	Date

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(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B



Drawing Title:
PROPOSED FLOOR PLAN - WALLS

Job Title:
JAMES RESIDENCE

Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project:
HC25013
Date:
10/7/2025
Drawn By:
AAP
Scale:
1/4" = 1'-0"

Sheet No.
A3.1



EXISTING FRONT ELEVATION (SOUTH)



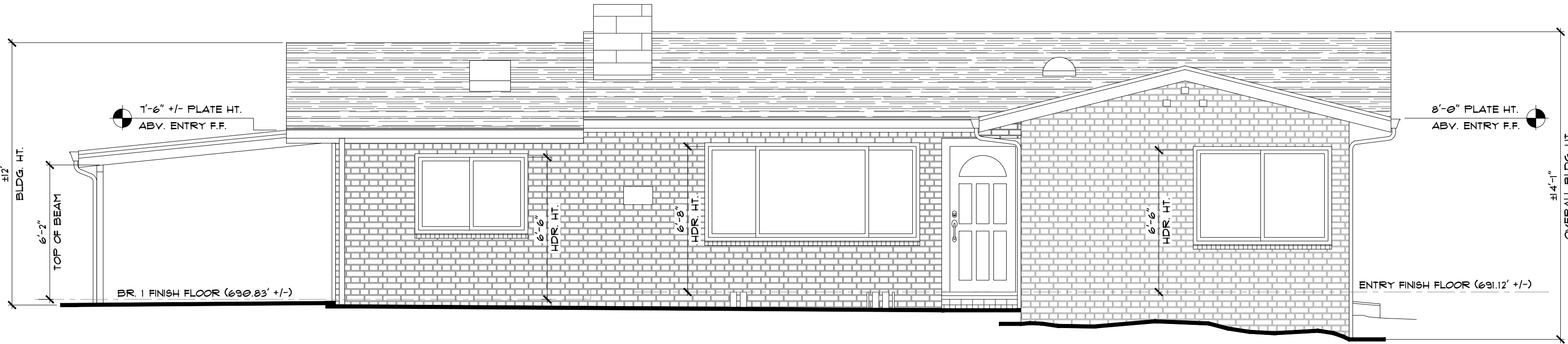
EXISTING RIGHT ELEVATION (EAST)



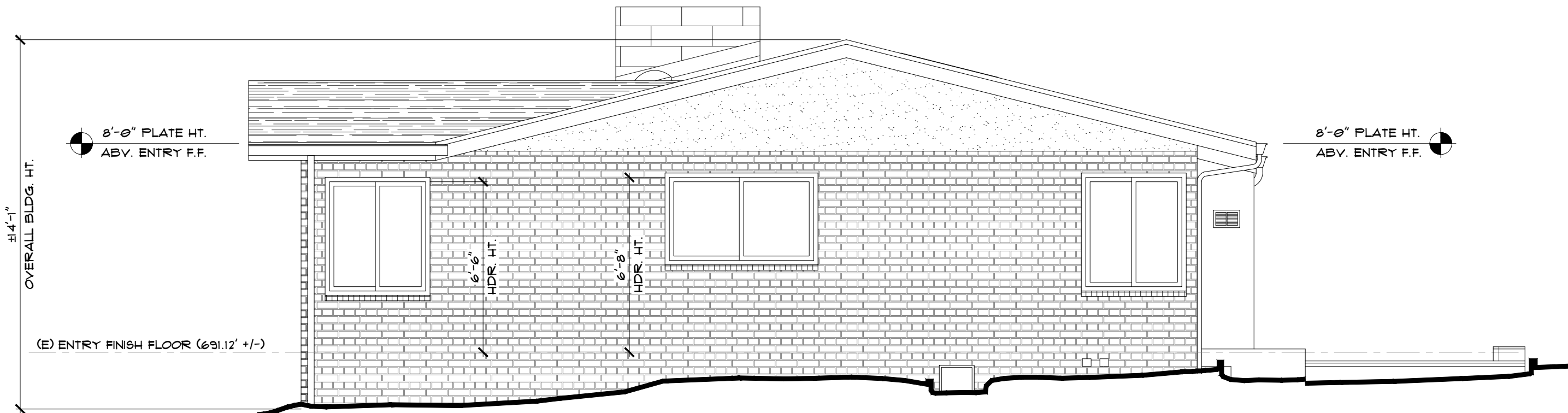
EXISTING REAR ELEVATION (NORTH)



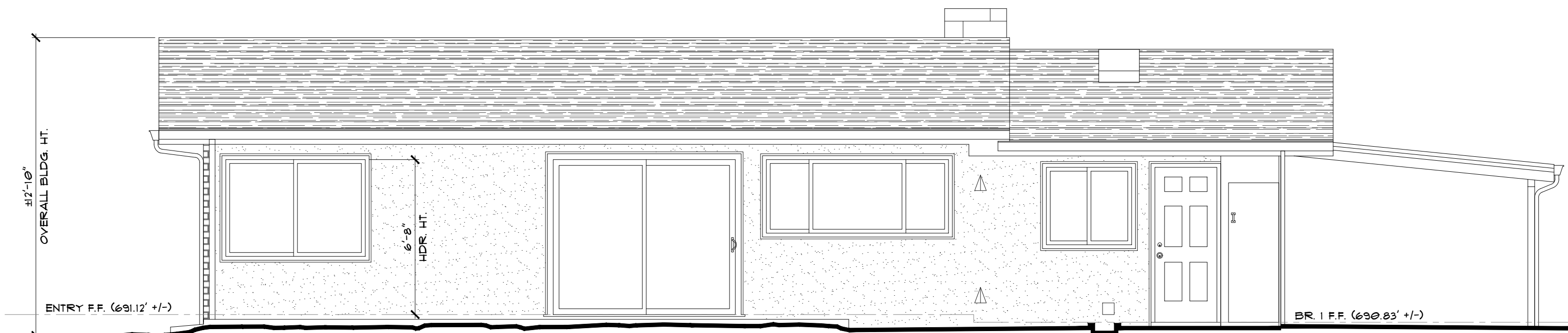
EXISTING LEFT ELEVATION (WEST)



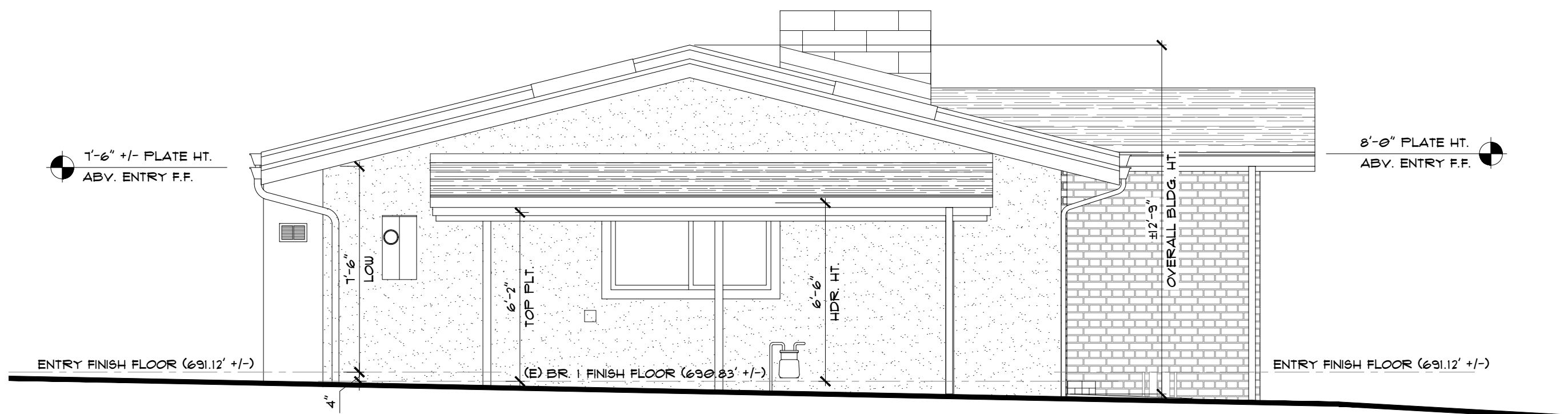
EXISTING FRONT ELEVATION (SOUTH)



EXISTING RIGHT ELEVATION (EAST)



EXISTING REAR ELEVATION (NORTH)



EXISTING LEFT ELEVATION (WEST)

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

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LIC#: 791539 CLASS: A/B

Drawing Title:
EXISTING EXTERIOR ELEVATIONS

Job Title:
JAMES RESIDENCE

Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project:
HC25013

Date:
7/14/2025

Drawn By:
AAP

Scale:
1/4" = 1'-0"

Sheet No.
A5



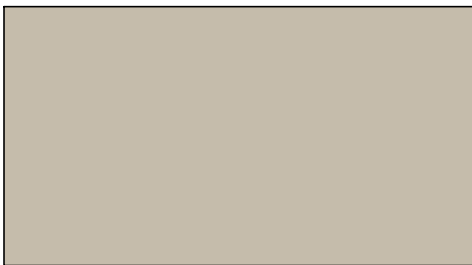
EXTERIOR MATERIALS PALLET



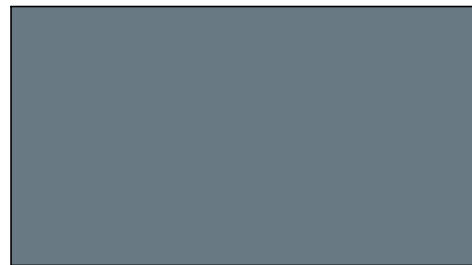
LIGHT FIXTURE A: MINKA LAVERY 11" KIRKHAM
8102-A138 IN ASPEN BRONZE FINISH, 60 WATTS



LIGHT FIXTURE A: MINKA LAVERY 8" KIRKHAM
8101-A138 IN ASPEN BRONZE FINISH, 60 WATTS



STUCCO COLOR & ENTRY PORCH BRICKS
BEHR "SCULPTER CLAY" PPUS-08



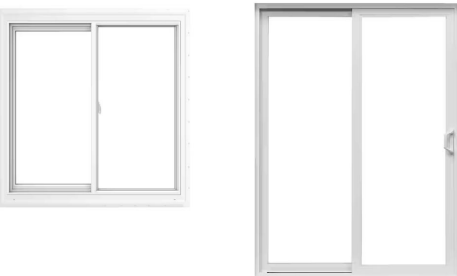
FRONT DOOR & GARAGE MAN-DOOR
BEHR "ADIRONDACK BLUE" N480-5



FASCIA, GUTTERS & TRIM
BEHR "BLANK CANVAS" DC-003



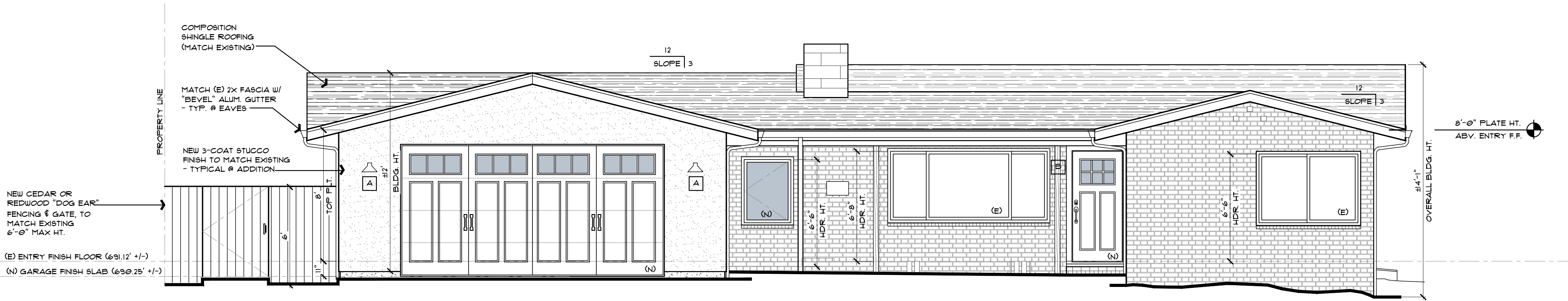
EXISTING ROOF
NEW TO MATCH EXISTING
CERTAINTED "AUTUMN BLEND" ASPHALT
COMP. SHINGLE (OR EQ.)



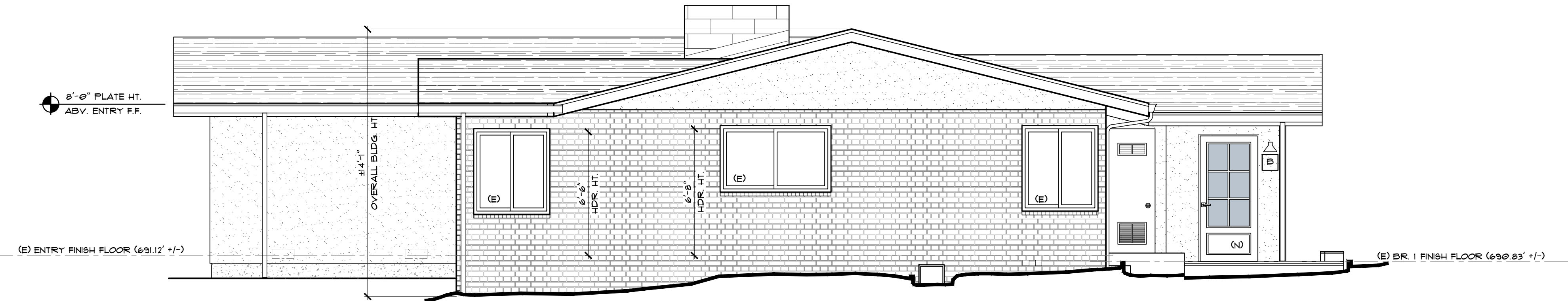
EXISTING WINDOWS & SLIDING GLASS DOOR
NEW TO MATCH EXISTING - MILGARD (OR EQ.) IN WHITE
WINDOWS: V250 STYLE LINE SERIES
DOOR: V300 TRINISC SERIES



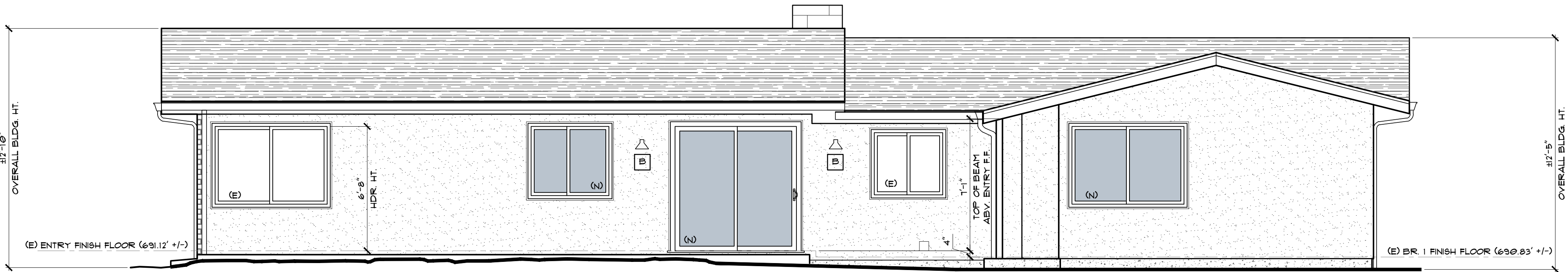
GARAGE DOOR
CLOPAY "COACHMAN" SERIES ONE, DESIGN 12,
REC.13 WINDOW IN WHITE



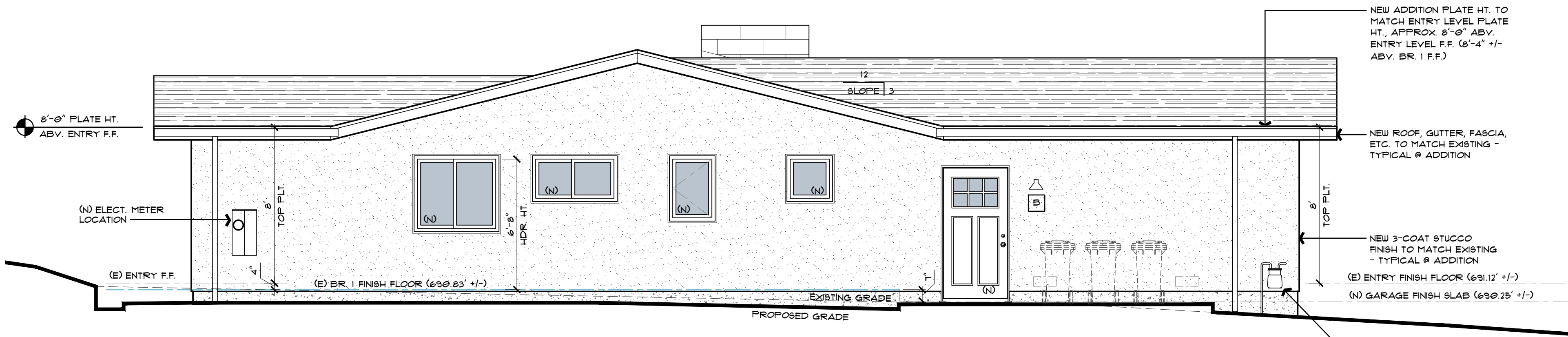
PROPOSED FRONT ELEVATION (SOUTH)



PROPOSED RIGHT ELEVATION (EAST)



PROPOSED REAR ELEVATION (NORTH)



PROPOSED LEFT ELEVATION (WEST)

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

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(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B

Drawing Title:
PROPOSED EXTERIOR ELEVATIONS & MATERIALS PALLET

Job Title:
JAMES RESIDENCE

Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project:
HC25013

Date:
7/14/2025

Drawn By:
AAP

Scale:
1/4" = 1'-0"

Sheet No.

A6

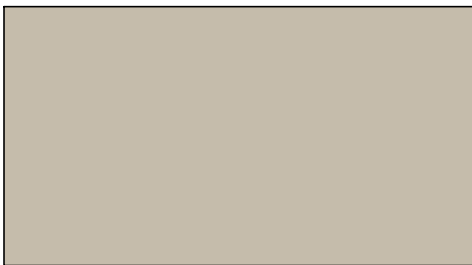
EXTERIOR MATERIALS PALLET



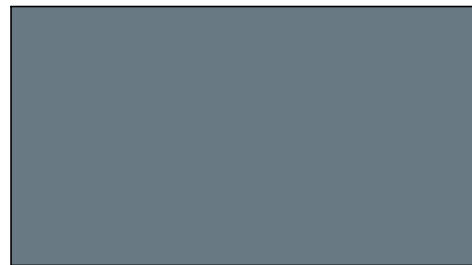
LIGHT FIXTURE A: MINKA LAVERY 11" KIRKHAM
8102-A138 IN ASPEN BRONZE FINISH, 60 WATTS



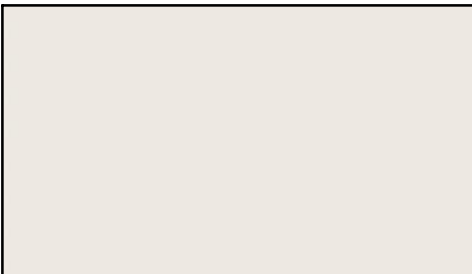
LIGHT FIXTURE A: MINKA LAVERY 8" KIRKHAM
8101-A138 IN ASPEN BRONZE FINISH, 60 WATTS



STUCCO COLOR & ENTRY PORCH BRICKS
BEHR "SCULPTER CLAY" PPUS-08



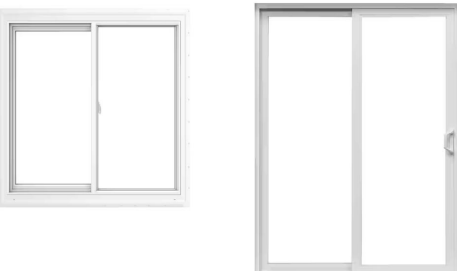
FRONT DOOR & GARAGE MAN-DOOR
BEHR "ADIRONDACK BLUE" N480-5



FASCIA, GUTTERS & TRIM
BEHR "BLANK CANVAS" DC-003



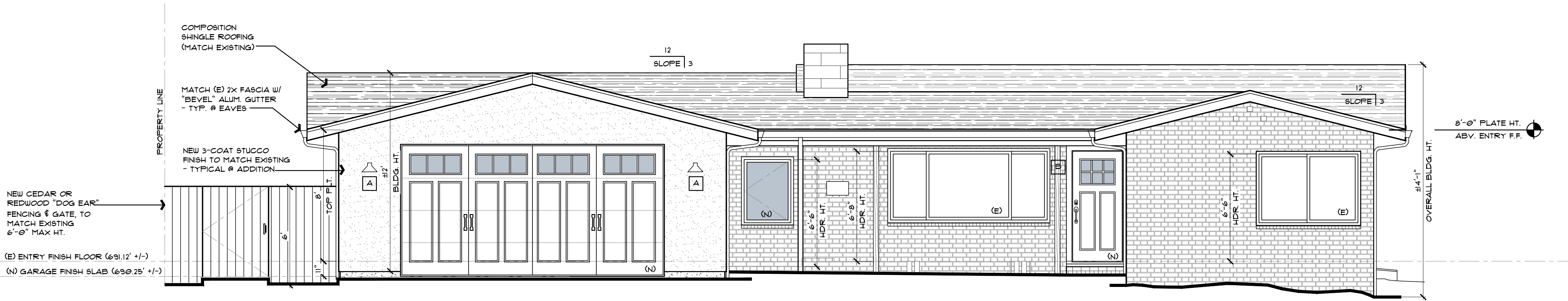
EXISTING ROOF
NEW TO MATCH EXISTING
CERTAINTED "AUTUMN BLEND" ASPHALT
COMP. SHINGLE (OR EQ.)



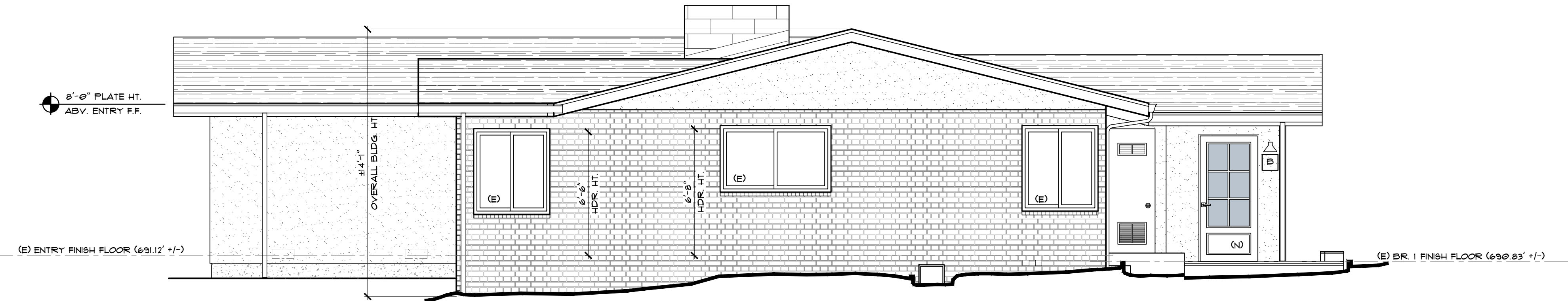
EXISTING WINDOWS & SLIDING GLASS DOOR
NEW TO MATCH EXISTING - MILGARD (OR EQ.) IN WHITE
WINDOWS: V250 STYLE LINE SERIES
DOOR: V300 TRINISC SERIES



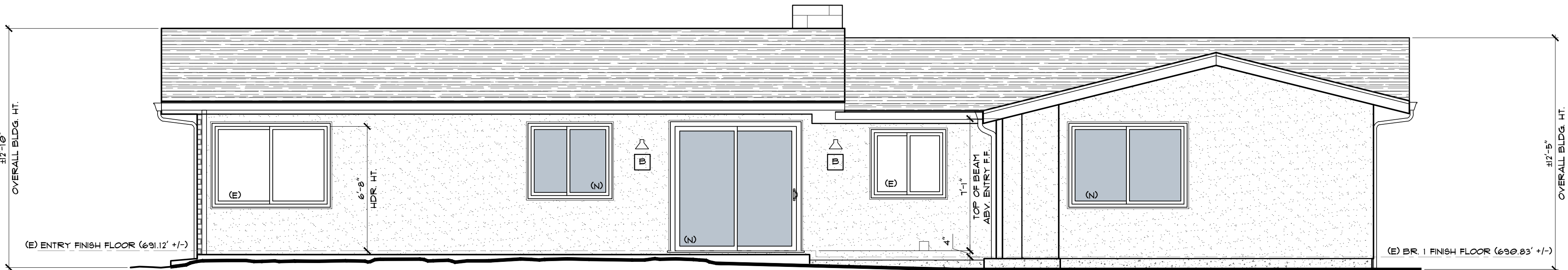
GARAGE DOOR
CLOPAY "COACHMAN" SERIES ONE, DESIGN 12,
REC.13 WINDOW IN WHITE



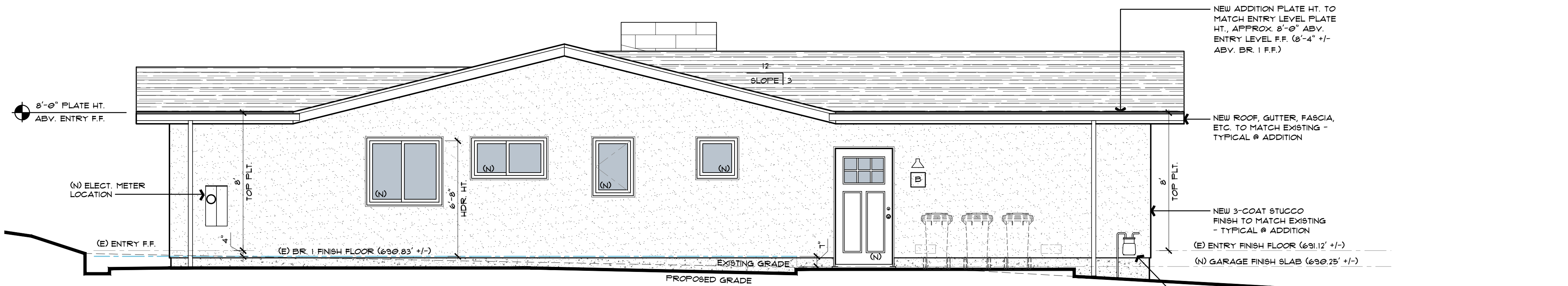
PROPOSED FRONT ELEVATION (SOUTH)



PROPOSED RIGHT ELEVATION (EAST)



PROPOSED REAR ELEVATION (NORTH)



PROPOSED LEFT ELEVATION (WEST)

Revision/Issue	Date

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B

Drawing Title:
PROPOSED EXTERIOR ELEVATIONS & MATERIALS PALLET

Job Title:
JAMES RESIDENCE

Project Address & APN:
4149 EL BOSQUE DRIVE, PEBBLE BEACH, CA 93953
APN: 008-062-013-000

Project:
HC25013

Date:
7/14/2025

Drawn By:
AAP

Scale:
1/4" = 1'-0"

Sheet No.

A6