

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

1 SPRECKELS LANE LLC (FORMERLY SLAMA KENNETH EUGENE & BRADLEY TR) (PLN220036)

RESOLUTION NO. 24-

Resolution by the County of Monterey Zoning Administrator:

- 1) Adopting a Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approving a Use Permit for the establishment of a 101,087 square foot single level self-storage facility and associated site improvements.

[PLN220036 1 SPRECKELS LANE LLC,
(Assessor's Parcel Number 177-071-013-000),
Greater Salinas Area Plan]

The 1 SPRECKELS LANE LLC application (PLN220036) came before the County of Monterey Zoning Administrator on November 7, 2024 at a public hearing. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as proposed, and conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 County of Monterey General Plan;
 - Greater Salinas Area Plan; and
 - the County of Monterey Zoning Ordinance (Title 21).No correspondence was received during the course of review indicating any identifying potential inconsistencies with these documents. As proposed, and conditioned, no conflicts with these plans and regulations were found to exist.
b) Zoning and Allowable Use. The subject property is zoned Heavy Commercial (HC) which allows “Mini-warehouse storage facilities of more than five thousand (5,000) square feet”, subject to a Use Permit (Title 21 Section 21.20.060.C). The project is described as a 101,087 square foot single level self-storage facility. Operation of the facility consists of gated access hours from 7:00 a.m. to 7:00 p.m., 7 days per week, with staffed hours from 8:30 a.m. to 5:00 p.m., Monday through

Friday. The applicant identified that managing staff of the adjacent self-storage facility located at 14 Spreckels Lane, will also manage this facility. Therefore, the project is an allowed use on the site.

- c) Lot Legality. The 4.65 acre property is shown in its current size and configuration on 1972 Assessor's Parcel Map under APN 207-052-005-000. Therefore, the County recognizes the parcel as a legal lot of record.
- d) General Development Plan. Title 21 section 21.20.030.A requires preparation and adoption of a General Development Plan for any development in the HC district on lots of 1 acre or more to address facility long range development and operation; including physical expansion and new development, operational changes, circulation improvements, alternative development opportunities, environmental considerations and potential mitigation as well as conformance with policies of the local area plan. Title 21 section 21.20.030.E states that the requirement of a General Development Plan may be waived when, due to the circumstances of the particular situation, there is no potential significant adverse impact from the development and requiring the General Development Plan will not further the purposes of Chapter 21.20. In this case, use of the property is limited to a storage facility, operation and staff for the facility is defined and ongoing operation and maintenance of site improvements is addressed through conditions of approval. In addition, as demonstrated in Finding 5 and supporting evidence, environmental impacts resulting from the project have been analyzed and concludes that there is no potential for a significant adverse impact. Therefore, a General Development Plan is waived.
- e) Development Standards – Setbacks. Site development standards for the HC zoning district are codified in Title 21 section 21.20.070. Pursuant to Title 21 section 21.20.070.A.3, required setbacks, where a General Development Plan is not required, shall be established based on the surrounding land use, the provision of adequate parking and landscaping, and other site design features. As illustrated in the attached plans, the project is setback 15 feet from the property line adjacent to the Spreckels Boulevard right of way. This allows adequate room to install landscape screening of the development from the roadway. The project setback 35 feet from the property line adjacent to the right of way of Spreckels Lane on the eastern portion of the site and zero feet on the western portion. However, due to the configuration of the parcel, the development is over 60 feet from the edge of the roadway pavement on the western portion. Access to the site will be through a driveway and gate located off Spreckels Lane, which is a road used less frequently than Spreckels Boulevard. As demonstrated in subsequent Evidence "h" and "i", the site layout and setbacks do not conflict with parking and landscaping requirements. In terms of surrounding land uses, crop farming and agricultural open areas zoned with an agricultural designation are found along Spreckels Boulevard in the vicinity of the project site. Therefore, the project's horizontal development and commercial nature is not comparable. However, in the context of visibility as it relates to the purpose of setbacks, increasing the front setback along Spreckels Boulevard would have the potential to result in increasing the height of the structures resulting in more of a visual mass

when viewed from the roadway. As such, the setbacks delineated on the attached plans are appropriate in this case.

- f) Development Standards – Structure Height. The maximum allowable structure height in the HC zoning district is 35 feet from average natural grade (Title 21 section 21.20.070.A.1). The project structures are 17 feet in height, compliant with the maximum allowed.
- g) Development Standards – Lot Coverage. Title 21 section 21.20.070.B establishes a maximum lot coverage of 50% for development in the HC zoning district. As shown in the attached plans, the project will have a lot coverage of 49.9%, within the allowed limit.
- h) Parking. Pursuant to Title 21 section 21.58.040, the minimum required parking for mini-storage facilities is 4 spaces (2 spaces for managers and 2 for customers). The project meets this requirement as it provides 6 on-site parking spaces, including one ADA space.
- i) Landscaping. Pursuant to Title 21 section 21.20.070.D, the required landscaping is a minimum of 10% of the site. The project meets this requirement as it includes 26,148 square feet (13%) of landscaping. In addition, the project has been conditioned requiring the applicant submit a final landscape plan for review and approval prior to issuance to construction permits and verification of installation prior to final. In addition, the landscaping shall be maintained in perpetuity.
- j) Lighting. The HC zoning district, see Title 21 section 21.20.070.E, requires that exterior lighting comply with the exterior lighting design guidelines established by Title 21 section 21.63.020. The project has been conditioned requiring an exterior lighting plan be prepared, submitted and approved by HCD-Planning prior to issuance of construction permits and that all lighting be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated, and off-site glare is fully controlled.
- k) Sign Regulations. The preliminary plans do not include specifications and design for signage of the facility. Any future signage shall comply with Title 21 section 21.60.090 – Commercial and Industrial zoning district sign regulations and obtain required permits.
- l) Staff conducted a site inspection on March 14, 2023 to verify that the site is suitable for this use.
- m) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220036.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services (representing Public Works), HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts relative to soils, drainage and traffic. The following reports have been prepared:
 - “Geotechnical Report” (LIB230051) prepared by Soil Surveys Group, Inc., Salinas, CA, April 28, 2022.
 - “Preliminary Stormwater Control Plan” (LIB230052) prepared by Whitson Engineers, Monterey, CA, July 19, 2023.
 - “Traffic Study” (LIB230200) prepared by Kimley Horn, Sacramento, CA, June 9, 2023.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) See findings and supporting evidence contained within this resolution.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220036.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services (representing Public Works), HCD-Environmental Services, the Environmental Health Bureau (EHB), and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Traffic and Circulation. The Traffic Study prepared for the project (see Finding 2, Evidence “b”, LIB230200) found that the 4 study intersections (Spreckels Lane/Spreckels Blvd, Spreckels Blvd/Eastbound Highway 68 on-ramp, Spreckels Boulevard/Eastbound Highway 68 off-ramp and Spreckels Lane/Project Driveway) operate between Level of Service (LOS) A and C during peak hours with no operational deficiencies identified. Implementation of the project would not result in a significant increase in traffic which would reduce the existing LOS.
 - c) Erosion Control. Site preparation for project implementation will require earth disturbance of an area greater than 1 acre. Therefore, clearance from the Central Coast Regional Water Quality Control Board (RWQCB) in the form of a letter of exemption or erosivity waiver or coverage under a Stormwater Prevention Pollution Plan (SWPPP) and obtain a Waste Discharger Identification (WDID) number is required. As such, the project has been conditioned requiring the applicant submit proof of the RWQCB’s exemption or SWPPP and WDID to HCD-Environmental Services.

- d) Drainage. The project includes approximately 75,213 square feet of new impervious surface. A preliminary drainage plan (see Finding 2, Evidence “b”, LIB230052) was submitted and reviewed by HCD-Environmental Services and found it acceptable. To ensure the plan is properly implemented, conditions of approval have been incorporated requiring the applicant to submit a final stormwater control plan as well as an operation and maintenance plan and agreement for review and approval.
- e) Floodplain. The subject property is located within the Salinas River floodplain and requires compliance with Monterey County Code Chapter 16.16 – Regulations for Floodplains in Monterey County.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220036.

4. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on March 14, 2024 and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN220036.

5. FINDING: **NEGATIVE DECLARATION** – On the basis of the whole record before the County of Monterey Zoning Administrator, there is no substantial evidence that the proposed project as designed and conditioned, will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines Sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the project may have a significant effect on the environment and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) County of Monterey as Lead Agency, through HCD-Planning, prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (Planning File No. PLN220036).
 - c) There is no substantial evidence, based upon the record as a whole, that the project may have a significant effect on the environment. Based upon the analysis of the Initial Study, HCD-Planning prepared a Negative Declaration and recommends approval of this project.

- d) The Draft Initial Study and Negative Declaration for HCD-Planning File No. PLN220036 was prepared in accordance with the CEQA Guidelines; filed with the County Clerk on June 28, 2024, and circulated for public review and comment from June 28, 2024 to July 29, 2024 (SCH No. 2024061305).
- e) Less than significant impacts were identified in the areas of Aesthetics/Visual, Air Quality, Geologic/Seismic, Greenhouse Gas Emissions, Traffic/Circulation, and Hydrology and Water Quality.
- f) Evidence that has been received and considered includes: the application, technical studies/reports, staff reports that reflect the County's independent judgment, and information and testimony presented during public meetings and hearings. These documents are on file in HCD-Planning (Planning File No. PLN220036) and are hereby incorporated herein by reference.
- g) Public Comment. Public comment received consists of a July 5, 2024 letter from Caltrans which stated that any work within the State's right of way would require an encroachment permit from Caltrans and need to conform to the Caltrans Encroachment Permits Manual. The project plans illustrate offsite improvements limited to new driveway apron on Spreckels Lane, a County road. No work is proposed within the Highway 68 right of way.
- h) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Negative Declaration is based.

6. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: In accordance with Title 21 section 21.80.020, all discretionary decisions of the Zoning Administrator are appealable, and per section 21.80.040.B, the Planning Commission is the appeal authority to consider appeals of discretionary decisions of the Zoning Administrator.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Adopt a Negative Declaration pursuant to Section 15074 of the CEQA Guidelines; and
- 2) Approve a Use Permit the establishment for the establishment of 101,087 square foot single level self-storage facility and associated site improvements.

All of which are in general conformance with the attached project plans, colors and materials, and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 7th day of November 2024.

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO THE APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 10/24/2024

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220036

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Use Permit (PLN220036) allows the establishment of a 101,087 square foot single level self-storage facility and associated site improvements. The property is located at the southeast corner of Spreckels Boulevard and Highway 68, off Spreckels Lane, Salinas (Assessor's Parcel Number 177-071-013-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 177-071-013-000 on November 7, 2024. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to HCD-Environmental Services. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

5. EHSP01 – STORAGE OF COMMON HAZARDOUS MATERIALS

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: To minimize the potential risk for leaks of hazardous materials, storage of common hazardous materials (oils, paint, gasoline) is prohibited within all rented or vacated units.

Compliance or Monitoring Action to be Performed: Applicant shall include this condition of approval as a note on the approved plan-set. Prior to commencement of operation, applicant shall provide a copy of the lease agreement template which specifies the storage of common hazardous materials (oils, paint, gasoline) is prohibited within the units, rented or vacant.

6. OPERATION AND MAINTENANCE AGREEMENT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to HCD-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to HCD-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to HCD-Environmental Services.

7. OPERATION AND MAINTENANCE PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: OPERATION AND MAINTENANCE PLAN
The applicant shall submit an Operation and Maintenance Plan prepared by a registered Professional Engineer that includes, at a minimum, the following:

- A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices.

The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HCD-Environmental Services for review and approval.

8. STORMWATER CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Plan and Stormwater Control Report prepared by a registered professional engineer, to HCD-Environmental Services for review and approval. The plan and report shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include retention/detention facilities designed to limit post-development runoff rates to pre-development rates for the 2, 5, 10, 25, 50, and 100-year 24-hour design storms. The plan shall include the location of the drainage facilities, construction details and construction inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with their geotechnical recommendations. (HCD-Environmental Services)

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan to HCD-Environmental Services for review and approval.

Prior to issuance of any grading or construction permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the stormwater control plan for conformance with their geotechnical recommendations.

9. TITEL 16 – ENVIRONMENT / CHAPTER 16.16 – REGULATIONS FOR FLOODPLAINS IN MONTEREY COUNTY

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Promote the public health, safety, and general welfare, and minimize public and private losses due to flood conditions in specific areas by implementing provisions, methods designed to reduce flood losses in order to accomplish its purpose.

Compliance or Monitoring Action to be Performed: Prior to permit issuance, promote the public health, safety, and general welfare, and minimize public and private losses due to flood conditions in specific areas by implementing provisions, methods designed to reduce flood losses in order to accomplish its purpose.

10. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection(s) to Spreckels Lane. The design and construction is subject to the approval of the HCD. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-Engineering, obtain an encroachment permit from the HCD prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

11. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

12. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

13. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

14. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

15. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

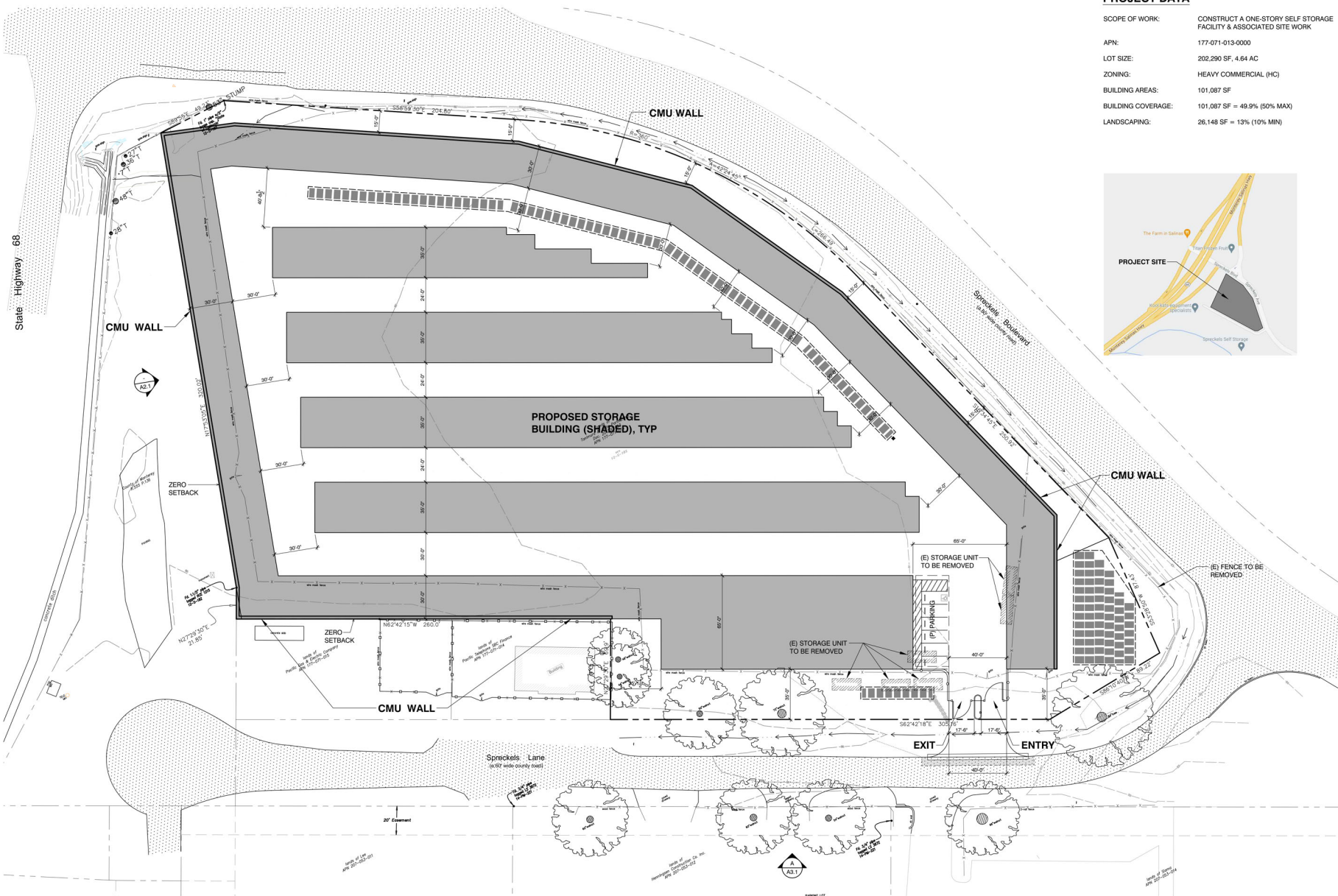
16. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, or recordation of Certificates of Compliance, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Office of County Counsel-Risk Management for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the Office of County Counsel-Risk Management



PROJECT DATA

SCOPE OF WORK:	CONSTRUCT A ONE-STORY SELF STORAGE FACILITY & ASSOCIATED SITE WORK
APN:	177-071-013-000
LOT SIZE:	202,290 SF, 4.64 AC
ZONING:	HEAVY COMMERCIAL (HC)
BUILDING AREAS:	101,087 SF
BUILDING COVERAGE:	101,087 SF = 49.9% (50% MAX)
LANDSCAPING:	26,148 SF = 13% (10% MIN)

Spreckels Ln Storage

0 SPRECKELS LANE
SALINAS, CA 93901
APN: 177-071-013-000



THE PAUL DAVIS PARTNERSHIP
ARCHITECTS & PLANNERS

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286 Eldorado Street
Monterey, CA 93940
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EMAIL: info@pauldavispartnership.com

Drawn By: VQ
Drawing Date: 01.19.23
Project Number: 2142

Revisions:

The use of these plans and specifications is restricted to the project and for which they were prepared, and reproduction or publication in any manner, in whole or in part is prohibited. Title to the plans and specifications remains with the architect and shall not be transferred to any other party without the consent of the architect.

Sheet Title:
SITE PLAN

Sheet Number:

SITE PLAN
SCALE: 1" = 30'-0"

0 7.5 15 30 60
SCALE: 1" = 30'-0"

A1.1

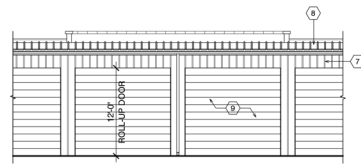
Spreckels Ln Storage

0 SPRECKELS LANE
SALINAS, CA 93901

APH: 177-071-013-000

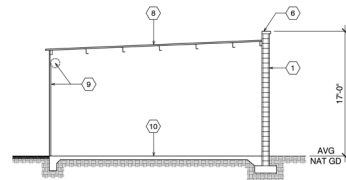
SHEET NOTES

1. SPLIT FACE CMU, TYP
2. CEMENT PLASTER w/ CMU, TYP
3. CEMENT PLASTER WALL BASE, TYP
4. PILASTER, TYP
5. MTL FRAME GRID FOR PLANT VINE, TYP
6. 2" WALL CAP, TYP
7. MTL WALL SIDING
8. MTL ROOF
9. MTL ROLL-UP DOOR
10. CONC SLAB FLOOR



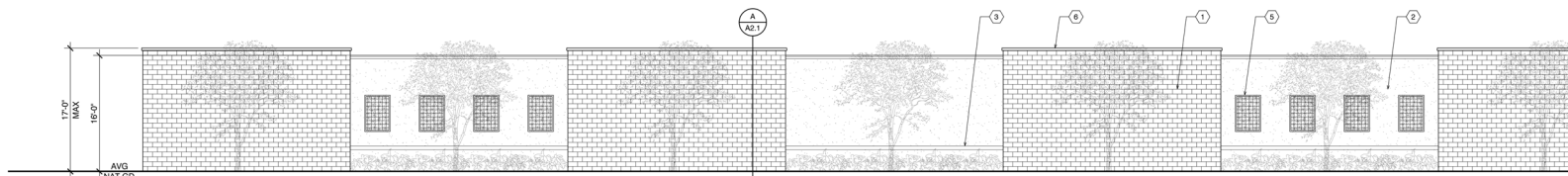
PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"

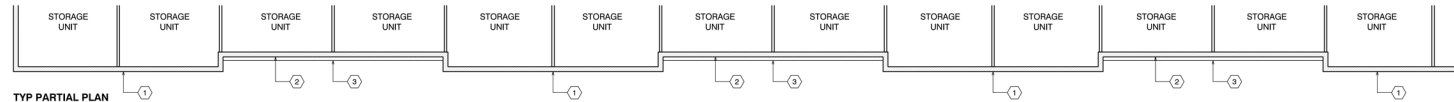


A PROPOSED SIDE SECTION

SCALE: 1/8" = 1'-0"



TYP EXTERIOR PARTIAL ELEVATION

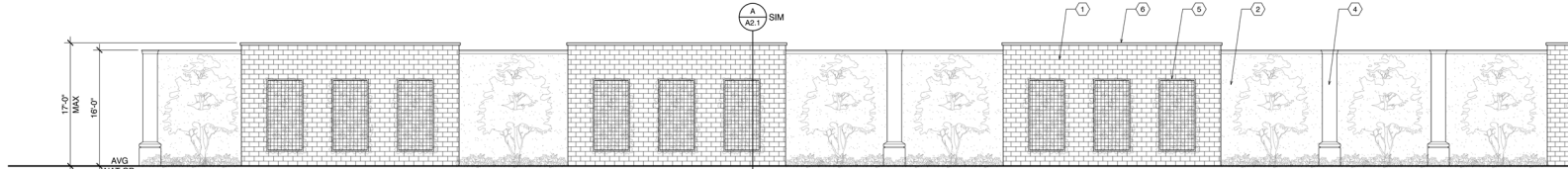


TYP PARTIAL PLAN

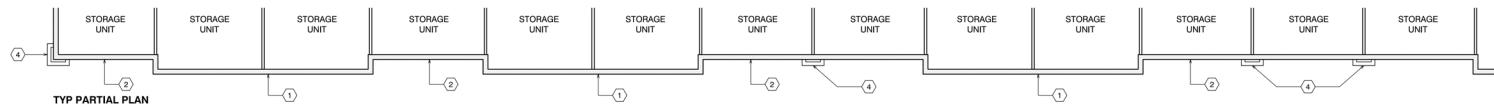
A PROPOSED TYPICAL PARTIAL FLOOR PLAN & EXTERIOR ELEVATION - OPTION 1

SCALE: 1/8" = 1'-0"

0 2 4 8 16
SCALE: 1/8" = 1'-0"



TYP EXTERIOR PARTIAL ELEVATION



TYP PARTIAL PLAN

B PROPOSED TYPICAL PARTIAL FLOOR PLAN & EXTERIOR ELEVATION - OPTION 2

SCALE: 1/8" = 1'-0"

0 2 4 8 16
SCALE: 1/8" = 1'-0"

THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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Drawn By: VQ
Drawing Date: 01.19.23
Project Number: 2142

Revisions:

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Sheet Title: PROPOSED TYP FLOOR PLAN, SECT & ELEVATION

Sheet Number:

A2.1

Spreckels Ln Storage

0 SPRECKELS LANE
SALINAS, CA 93901

APN: 177-071-013-000

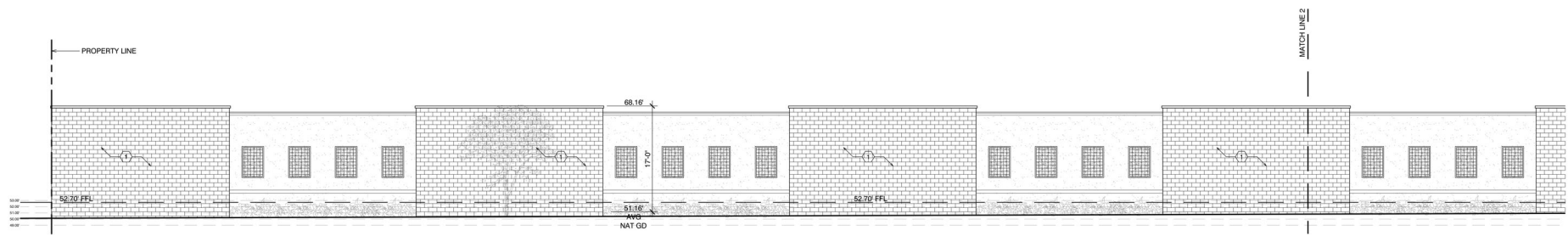
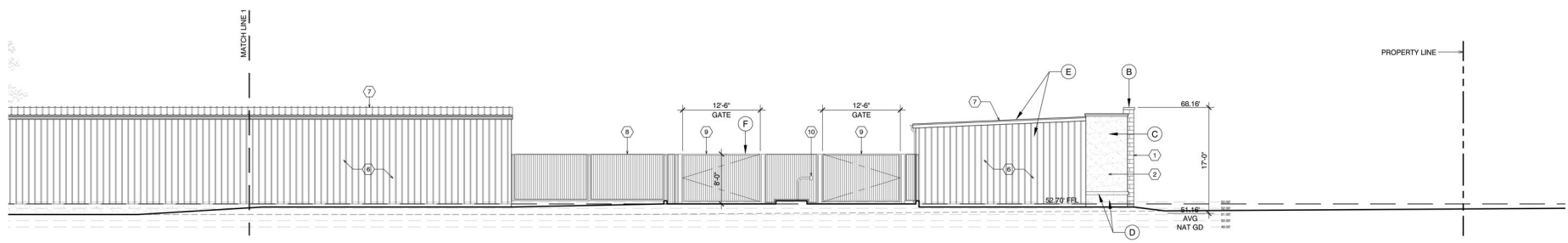


COLOR / MATERIAL

- A. LIGHT TAUPE - SPLIT FACE MASONRY WALL
- B. WHITE - WALL CAP
- C. ACCESSIBLE BEIGE (SW 7036) - CEMENT PLASTER WALL
- D. TOASTY (SW 6096) - CEMENT PLASTER WALL BASE & TRIM
- E. SIERRA TAN - METAL ROOF & SIDING
- F. BLACK POWDER COAT - METAL FENCE & GATE, METAL FRAME GRID FOR PLANT VINE

SHEET NOTES

- 1. SPLIT FACE CMU, TYP
- 2. CEMENT PLASTER w/ CMU, TYP
- 3. CEMENT PLASTER WALL BASE & TRIM, TYP
- 4. MTL FRAME GRID FOR PLANT VINE, TYP
- 5. 2" WALL CAP, TYP
- 6. MTL WALL SIDING
- 7. MTL ROOF
- 8. MTL FENCE
- 9. MTL GATE
- 10. VEHICLE GATE ACCESS CONTROL



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Drawn By: VQ
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Revisions:

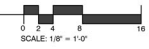
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PROPOSED EXTERIOR ELEVATION SPRECKELS LANE

Sheet Number:

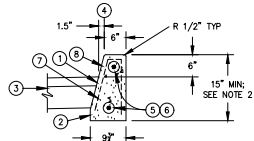
PROPOSED EXTERIOR ELEVATION - SPRECKELS LANE

SCALE: 1/8" = 1'-0"



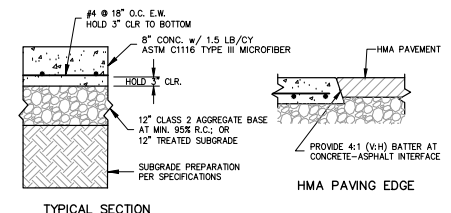
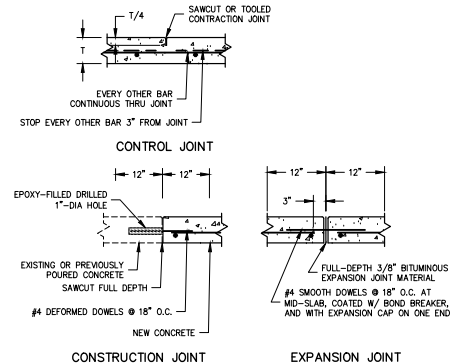
A3.1

1 NOT USED
SCALE: NONE



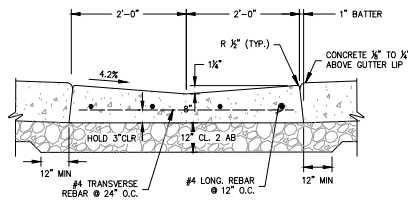
- KEYNOTES:
1. APPLY TACK COAT TO FACE OF CURB PRIOR TO PAVING
 2. EXTEND CURB MIN 2" BELOW BOTTOM OF AGGREGATE BASE COURSE
 3. NEW AC PAVEMENT
 4. CURB LINE PER PLANS
 5. SLIP DOWEL EXPANSION JOINTS WITH TWO 12"-LONG #4 SMOOTH DOWELS. PROVIDE EXPANSION JOINTS AT CURB RETURNS, POINTS OF CURVATURE, AND EVERY 60' MAX.
 6. DOWEL CONSTRUCTION JOINTS WITH TWO 12"-LONG #4 DEFORMED BAR DOWELS.
 7. PROVIDE 1-1/2"-DEEP WEAKENED PLANE JOINTS AT MAXIMUM 12'-FOOT INTERVALS. JOINTS SHOULD CORRESPOND TO SIDEWALK JOINT LOCATIONS WHERE ADJOINING.
 8. TOP AND FRONT OF ALL CURBS SHALL BE FINE BROOM FINISHED. WHERE CURB ABUTS PLANTER, BACK OF CURB SHALL ALSO BE FINISHED TO 6" BELOW FINISH PLANTER GRADE.

2 CONCRETE VERTICAL CURB
SCALE: NONE

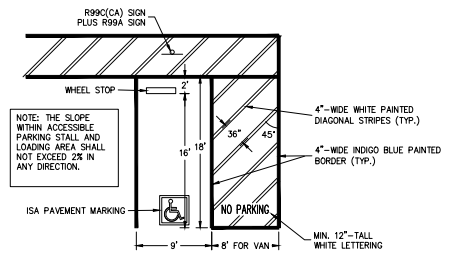


3 CONCRETE PAVEMENT
SCALE: NONE

4 4' WIDE V-GUTTER
SCALE: NONE



5 NOT USED
SCALE: NONE

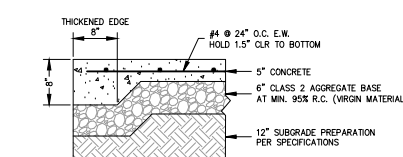


6 ACCESSIBLE PARKING
SCALE: NONE

KEYNOTES

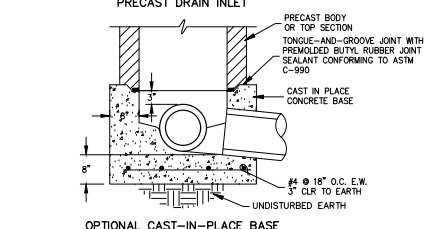
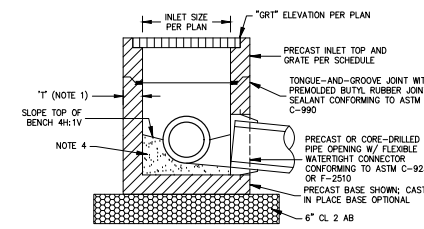
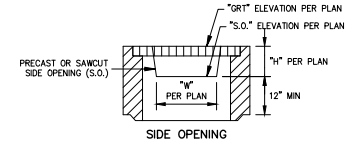
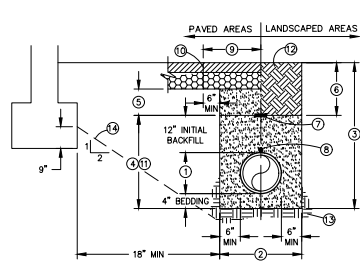
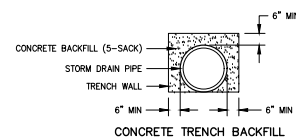
1. PROPOSED PRIVATE UTILITY; PIPE ZONE
2. MINIMUM TRENCH WIDTH = PIPE O.D. + 12" MIN. PROVIDE MIN 6" CLR EITHER SIDE OF PIPE. TRENCH WIDTH MAY VARY FROM ACTUAL WIDTH REQUIRED TO PERFORM THE WORK, DEPENDING UPON METHOD OF COMPACTION AND FOR TRENCH SHORING/PROTECTION USED BY CONTRACTOR.
3. TRENCH DEPTH AS SHOWN ON PLANS. IF NOT SHOWN OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MAINS 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
4. PIPE BEDDING AND INITIAL BACKFILL: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
5. FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
6. FINAL BACKFILL IN LANDSCAPE AREAS: NATIVE MATERIAL COMPACTED IN MAX 8" LIFTS TO MIN. 90% R.C.
7. PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
8. PROVIDE INSULATED 12 AWG TRACER WIRE FOR ALL EXTERIOR NON-METALLIC WATER AND GAS PIPES 4"-DIA AND LARGER. TAPE TO TOP OF PIPE AT 10' INTERVALS. EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC., SO LOCATOR EQUIPMENT CAN BE CONNECTED.
9. PIPE TRENCHING WORK IN EXISTING IMPROVED STREETS SHALL INCLUDE REPLACEMENT OF EXISTING PAVEMENT. THE THICKNESS OF THE NEW AC, AND AB SHALL BE EQUIVALENT TO THE EXISTING AC, AND AB THICKNESS, OR 2.5" NO ON 8" AB, WHICHEVER IS GREATER. TRENCH PATCH SHALL EXTEND MIN 6" BEYOND TRENCH WALL.
10. ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF TRENCH WALL.
11. IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE WITH 5-SACK CONCRETE.
12. ALL SOILS PROPOSED TO BE UTILIZED FOR TRENCH BEDDING AND BACKFILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE USE. IMPORTED SOILS SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
13. UNDISTURBED SUBGRADE SOIL. THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING BEDDING.
14. UTILITY TRENCHES THAT ARE PARALLEL WITH FOOTINGS SHALL NOT BE BELOW A PLANE HAVING A DOWNWARD SLOPE OF 2:1 (H:V) FROM A LINE 9" ABOVE THE BOTTOM OUTSIDE EDGE OF THE FOOTING, AND NOT CLOSER THAN 18" FROM THE FACE OF THE FOOTING.
15. WHERE UTILITY TRENCHES CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED.

7 PRIVATE UTILITY TRENCHING
SCALE: NONE



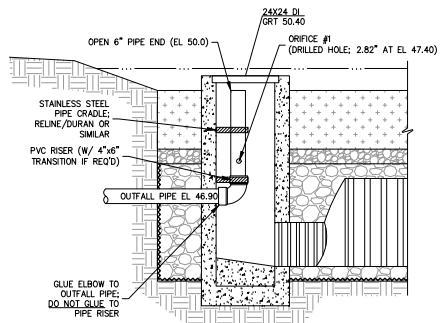
- NOTES:
1. CONCRETE SHALL CONFORM TO THE PROVISIONS IN SECTION 73, "CONCRETE CURBS AND SIDEWALKS," OF THE STANDARD SPECIFICATIONS.
 2. PROVIDE EXPANSION JOINTS AT RE-ENTRANT CORNERS AND EVERY 60' MAX. USING 3/4" PREFORMED EXPANSION JOINT FILLER. SLIP DOWEL EXPANSION JOINTS WITH 12"-LONG #3 SMOOTH DOWELS AT 24" O.C. EXPANSION JOINT DOWEL BARS SHALL BE FREE FROM BURRS OR OTHER DEFORMATIONS DETRIMENTAL TO FREE MOVEMENT OF THE BARS IN THE CONCRETE. EXPANSION JOINT DOWEL BARS SHALL BE LUBRICATED WITH A BOND BREAKER OVER THE ENTIRE BAR, AND SHALL HAVE AN EXPANSION CAP PLACED OVER ONE END.
 3. DOWEL CONSTRUCTION JOINTS WITH 12"-LONG #3 DEFORMED BAR DOWELS AT 24" O.C.
 4. PROVIDE 1 1/2"-DEEP WEAKENED PLANE JOINTS AT MAXIMUM 6'-FOOT INTERVALS IN EACH DIRECTION. EACH PANEL SHOULD BE APPROXIMATELY SQUARE (THE LONG SIDE SHOULD BE NO MORE THAN 20% LONGER THAN THE SHORT SIDE). JOINTS SHOULD CORRESPOND TO ADJOINING JOINT LOCATIONS WHERE PRESENT.
 5. SURFACE FINISH AND COLOR SHALL BE AS DIRECTED BY THE OWNER OR ARCHITECT.

8 CONCRETE PEDESTRIAN PAVING
SCALE: NONE

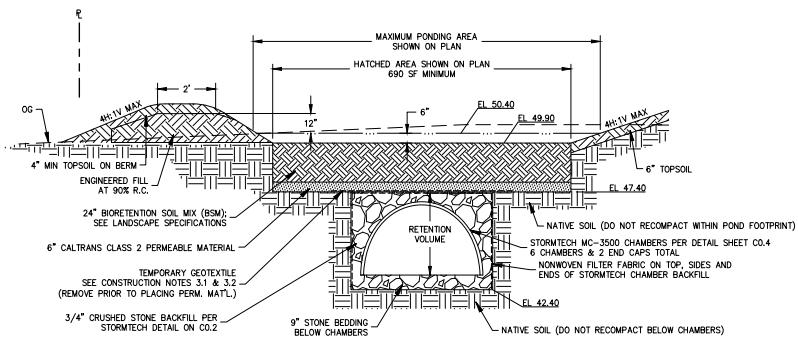


- NOTES:
1. WALL "T"=4" FOR 12" INLETS, T=5" FOR 15"-27" INLETS, AND T=6" FOR 30" AND LARGER INLET SIZES.
 2. CAST IN PLACE CONCRETE AND PRECAST CONCRETE DRAIN INLETS SHALL CONFORM TO SECTION 51, "CONCRETE STRUCTURES", SECTION 52 "REINFORCEMENT", SECTION 70 "MISCELLANEOUS FACILITIES", SECTION 75 "MISCELLANEOUS METAL" OF THE STANDARD SPECIFICATIONS, AND THESE SPECIFICATIONS.
 3. PRECAST MEMBERS SHALL CONFORM TO SECTION 70-1.02H, "PRECAST CONCRETE STRUCTURES", OF THE STANDARD SPECIFICATIONS, AND NEW STANDARD PLAN D73A.
 4. THE FLOW LINE OF CONCRETE INLETS, WHETHER PRECAST OR CAST IN PLACE, SHALL BE FORMED IN THE FIELD TO PROVIDE A SMOOTH FLOW LINE WITH BENCH AT THE PIPE SPRING LINE. PRECAST INLET INVERT PAVING THICKNESS SHALL BE AT LEAST 3" BELOW THE BOTTOM OF THE LOWEST PIPE.
 5. STRUCTURES SHALL BE H-20 LOAD RATED IF LOCATED IN VEHICULAR AREAS, AND PEDESTRIAN LOAD RATED OTHERWISE.
 6. CAST-IN-PLACE CONCRETE MAY BE UTILIZED IN LIEU OF PRECAST UNIT BASE.
 7. CAST-IN-PLACE CONCRETE MAY BE UTILIZED IN LIEU OF PRECAST BOX IF APPROVED BY THE ENGINEER. SUBMIT SHOP DRAWINGS.
 8. ADA-COMPLIANT GRATES HAVE LESS THAN 1/2" CLEAR BETWEEN BARS, AND THE BARS SHALL BE ALIGNED PERPENDICULAR TO THE PEDESTRIAN PATH OF TRAVEL. ALL GRATES WITHIN PEDESTRIAN AREAS SHALL BE ADA-COMPLIANT.

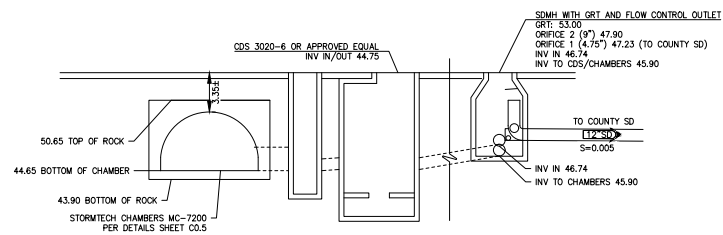
9 PRECAST CONCRETE CATCH BASIN
SCALE: NONE



1 SCM 1 OUTLET CONTROL STRUCTURE
SCALE: NONE



2 BIORETENTION POND WITH STORMTECH CHAMBERS
SCALE: NONE



3 SCM 2 OUTLET CONTROL STRUCTURE
SCALE: NONE

1: Whitney Engineers, Inc. - Salinas, California. Drawing No. C0.3 of 10. Date: 12/14/22.

0 1 2 3 INCHES

NOT FOR CONSTRUCTION

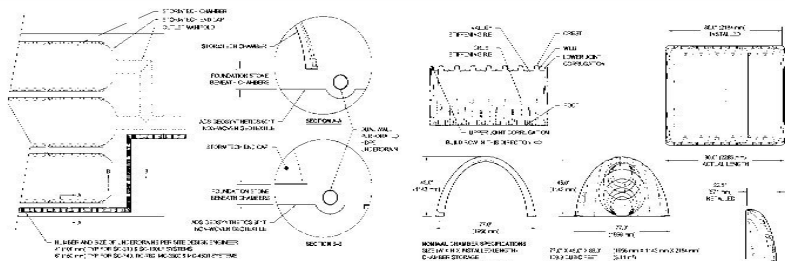


STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE INSTALLED AS SHOWN.
- CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER.
- CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER. STORMTECH CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER.
- IF THE CHAMBER IS TO BE USED IN A SLOPED AREA, THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE.
- CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER. STORMTECH CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER.
- CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER. STORMTECH CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER.

IMPORTANT NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

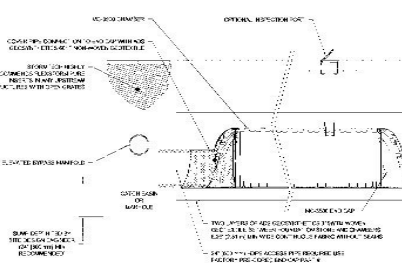
- IF THE CHAMBER IS TO BE USED IN A SLOPED AREA, THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE. THE CHAMBER SHALL BE INSTALLED ON A CONCRETE SLAB ON GRADE.
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- CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER. STORMTECH CHAMBERS SHALL BE MADE FROM PRECAST CONCRETE PER APPROVED MANUFACTURER.



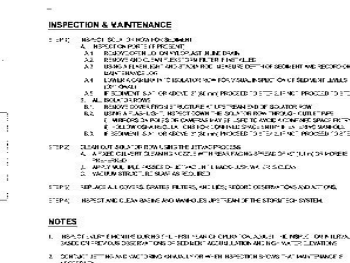
5 UNDERDRAIN DETAIL

PART #	STUB	B	C
MC3500SB06	6.0000 ft	3.0000 ft	6.0000 ft
MC3500SB08	8.0000 ft	4.0000 ft	8.0000 ft
MC3500SB10	10.0000 ft	5.0000 ft	10.0000 ft
MC3500SB12	12.0000 ft	6.0000 ft	12.0000 ft
MC3500SB15	15.0000 ft	7.5000 ft	15.0000 ft
MC3500SB20	20.0000 ft	10.0000 ft	20.0000 ft

CHAMBER	MAXIMUM INLET	MINIMUM INLET	MINIMUM INLET
MC3500	12.0000 ft	6.0000 ft	6.0000 ft
MC3500	12.0000 ft	6.0000 ft	6.0000 ft
MC3500	12.0000 ft	6.0000 ft	6.0000 ft
MC3500	12.0000 ft	6.0000 ft	6.0000 ft
MC3500	12.0000 ft	6.0000 ft	6.0000 ft
MC3500	12.0000 ft	6.0000 ft	6.0000 ft



3 MC-3500 ISOLATOR ROW DETAIL



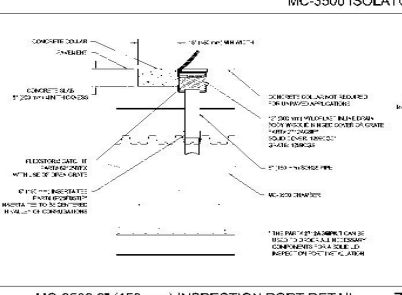
7 MC-SERIES END CAP INSERTION DETAIL

6 INSERT-A-TEE SIDE INLET DETAIL

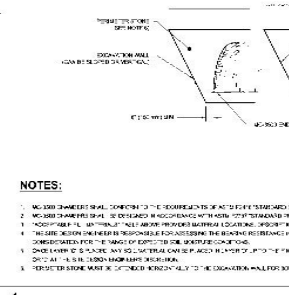
2 MC-3500 TECHNICAL SPECIFICATIONS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

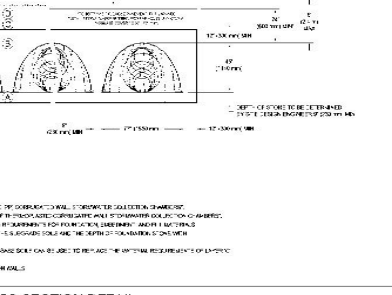
MATERIAL LOCATION	DESCRIPTION	ASBESTOS MATERIAL CLASSIFICATION	COMPACTION DENSITY REQUIREMENT
CHAMBER FILL	CHAMBER FILL	CLASS 1	95% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 2	90% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 3	85% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 4	80% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 5	75% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 6	70% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 7	65% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 8	60% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 9	55% (PROVE)
CHAMBER FILL	CHAMBER FILL	CLASS 10	50% (PROVE)



4 MC-3500 6" (150 mm) INSPECTION PORT DETAIL



1 MC-3500 CROSS SECTION DETAIL



2 MC-3500 TECHNICAL SPECIFICATIONS

1 MC-3500 CHAMBERS
SCALE: NONE

0 1 2 INCHES

DRAWN: [Blank] DATE: [Blank] PROJECT NO: [Blank] NOT TO SCALE

REVIEWED: [Blank] REV: [Blank]

STORMTECH
ADVANCED DRAINAGE SYSTEMS, INC.

1640 TRUEMAN BLVD
HILLIAND, OH 44839

800-447-4477



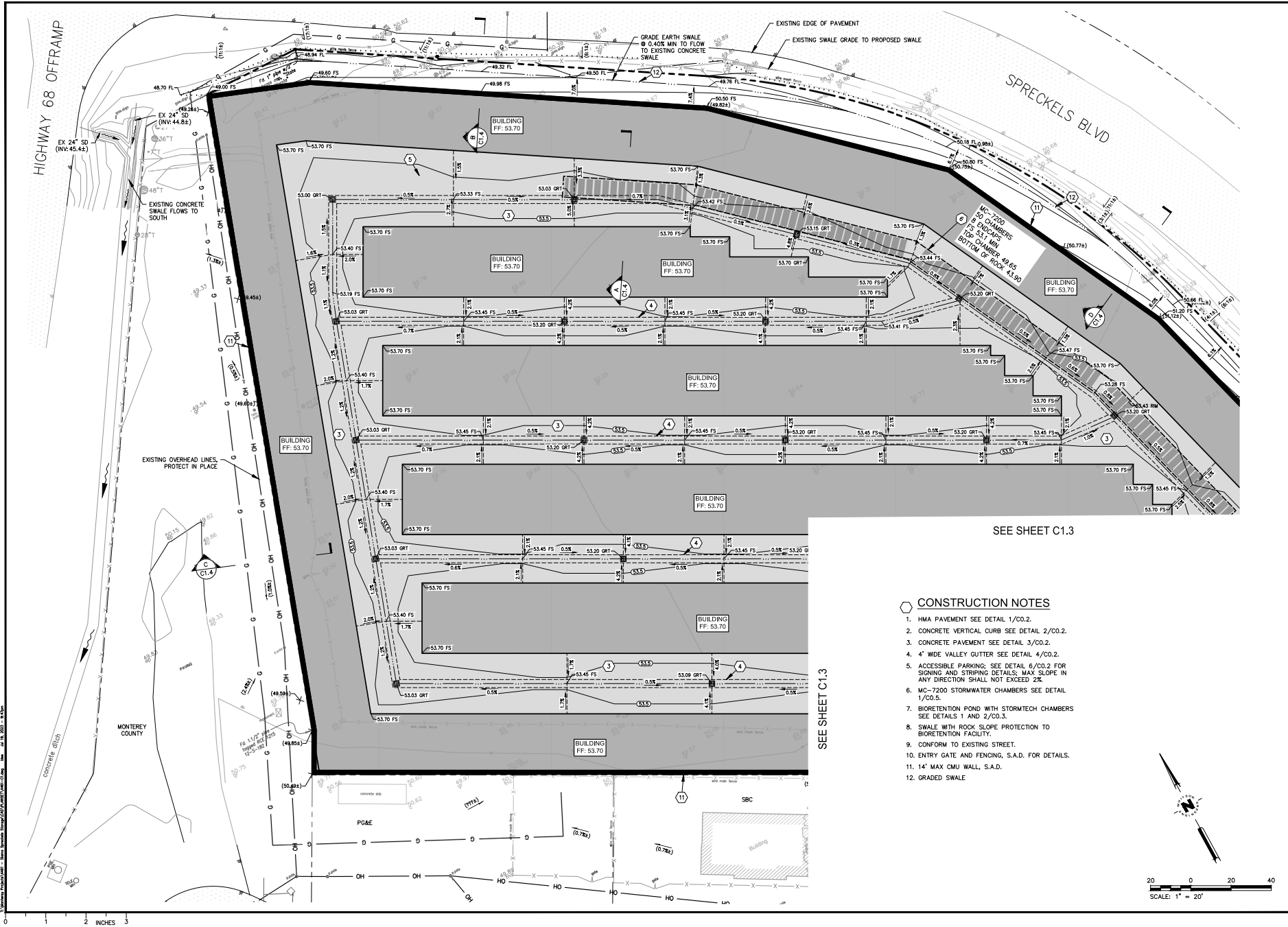
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2	1/23/23	PLANNING SUBMITTAL 2
3	1/23/23	PLANNING SUBMITTAL 3
4	1/23/23	PLANNING SUBMITTAL 4

SALINAS, CALIFORNIA
APR 17, 2023 02:10

SPRECKELS LANE STORAGE
CIVIL DETAILS

SCALE: N/A
DRAWN: KL
JOB No.: 4461.00
SHEET C0.4 OF 10

NOT FOR CONSTRUCTION



HIGHWAY 68 OFFRAMP

SPRECKELS BLVD

SEE SHEET C1.3

SEE SHEET C1.3

CONSTRUCTION NOTES

1. HMA PAVEMENT SEE DETAIL 1/CO.2.
2. CONCRETE VERTICAL CURB SEE DETAIL 2/CO.2.
3. CONCRETE PAVEMENT SEE DETAIL 3/CO.2.
4. 4' WIDE VALLEY GUTTER SEE DETAIL 4/CO.2.
5. ACCESSIBLE PARKING; SEE DETAIL 6/CO.2 FOR SIGNING AND STRIPING DETAILS; MAX SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2%.
6. MC-7200 STORMWATER CHAMBERS SEE DETAIL 1/CO.5.
7. BIORETENTION POND WITH STORMTECH CHAMBERS SEE DETAILS 1 AND 2/CO.3.
8. SWALE WITH ROOF SLOPE PROTECTION TO BIORETENTION FACILITY.
9. CONFORM TO EXISTING STREET.
10. ENTRY GATE AND FENCING, S.A.D. FOR DETAILS.
11. 14' MAX CMU WALL, S.A.D.
12. GRADED SWALE



SUBMITTAL REVISION	PLANNING SUBMITTAL 1
1	PLANNING SUBMITTAL 2
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SALINAS, CALIFORNIA
APN 177-07-013

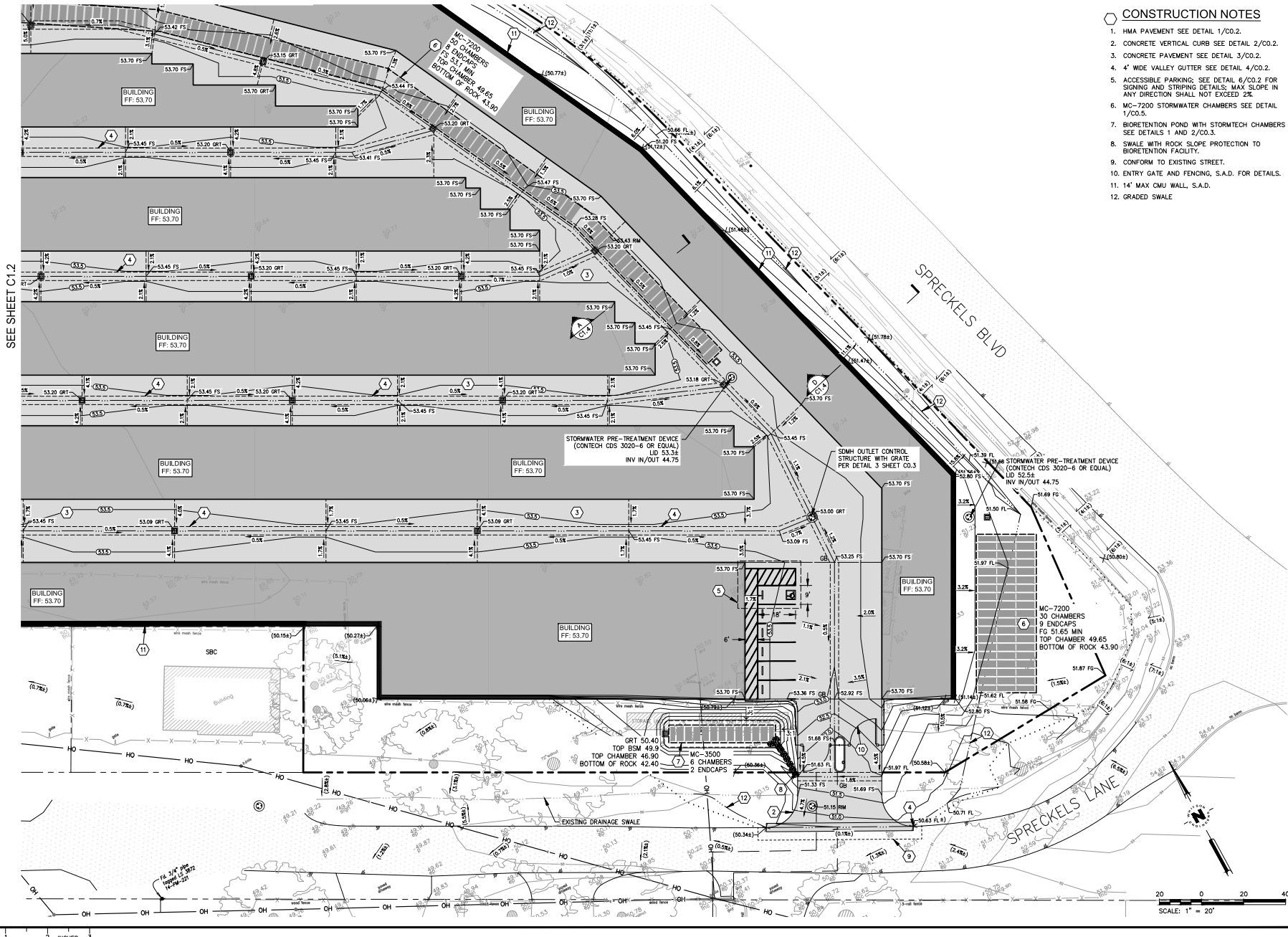
SPRECKELS LANE STORAGE
CIVIL GRADING AND DRAINAGE PLAN

SCALE: AS SHOWN
DRAWN: KL
JOB No.: 4461.00

SHEET
C1.2
OF 10

NOT FOR CONSTRUCTION

SEE SHEET C1.2



SEE SHEET C1.2

- CONSTRUCTION NOTES**
1. HMA PAVEMENT SEE DETAIL 1/CO.2.
 2. CONCRETE VERTICAL CURB SEE DETAIL 2/CO.2.
 3. CONCRETE PAVEMENT SEE DETAIL 3/CO.2.
 4. 4' WIDE VALLEY GUTTER SEE DETAIL 4/CO.2.
 5. ACCESSIBLE PARKING: SEE DETAIL 6/CO.2 FOR SIGNING AND STRIPING DETAILS. MAX SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2%.
 6. MC-7200 STORMWATER CHAMBERS SEE DETAIL 1/CO.5.
 7. BIORETENTION POND WITH STORMTECH CHAMBERS SEE DETAILS 1 AND 2/CO.3.
 8. SWALE WITH ROCK SLOPE PROTECTION TO BIORETENTION FACILITY.
 9. CONFORM TO EXISTING STREET.
 10. ENTRY GATE AND FENCING, S.A.D. FOR DETAILS.
 11. 14' MAX CMU WALL, S.A.D.
 12. GRADED SWALE

Civil Engineering
Land Surveying
4141411, Court
1000 S. California
Whittier, CA 90601
www.whitsoneng.com

SUBMITTAL PERSON:	PLANNING SUBMITTAL 1
DATE:	12/24/22
BY:	12/23
SCALE:	AS SHOWN

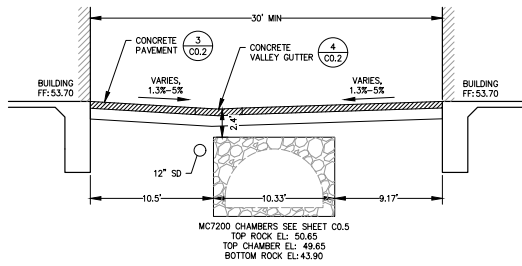
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DATE: 12/24/22
BY: 12/23
SCALE: AS SHOWN

SALINAS, CALIFORNIA
APR 177-07-013

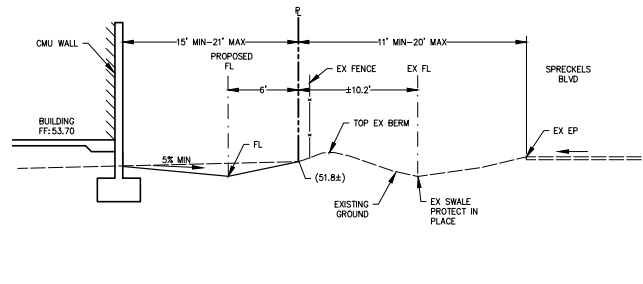
SPRECKELS LANE STORAGE
GRADING AND DRAINAGE PLAN

SCALE: AS SHOWN
DRAWN: KL
JOB No.: 4461.00
SHEET
C1.3
OF 10

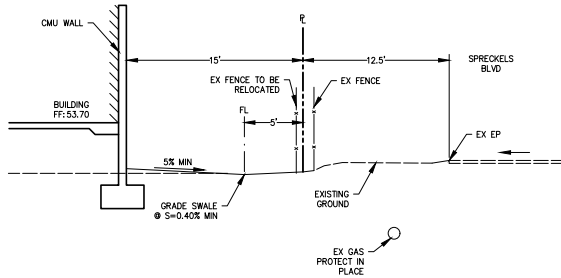
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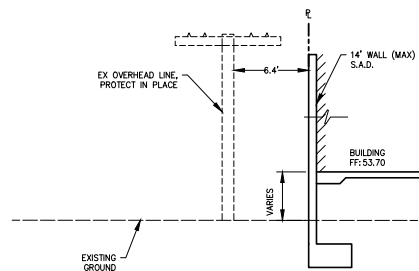
A DRIVE AISLE WITH STORMTECH CHAMBERS
SCALE: 1" = 5'



D SPECKELS BLVD EAST BOUNDARY
SCALE: 1" = 5'



B SPRECKELS BLVD NORTH BOUNDARY
SCALE: 1" = 5'



C WEST BOUNDARY
SCALE: 1" = 5'

Civil Engineering
Land Surveying
414141 Court
4th Floor, Suite 400
100 West 1st Street
Whitson Engineering.com

SUBMITTAL PERSON	PLANNING SUBMITTAL 1
DATE	12/14/22
DATE	12/22/22
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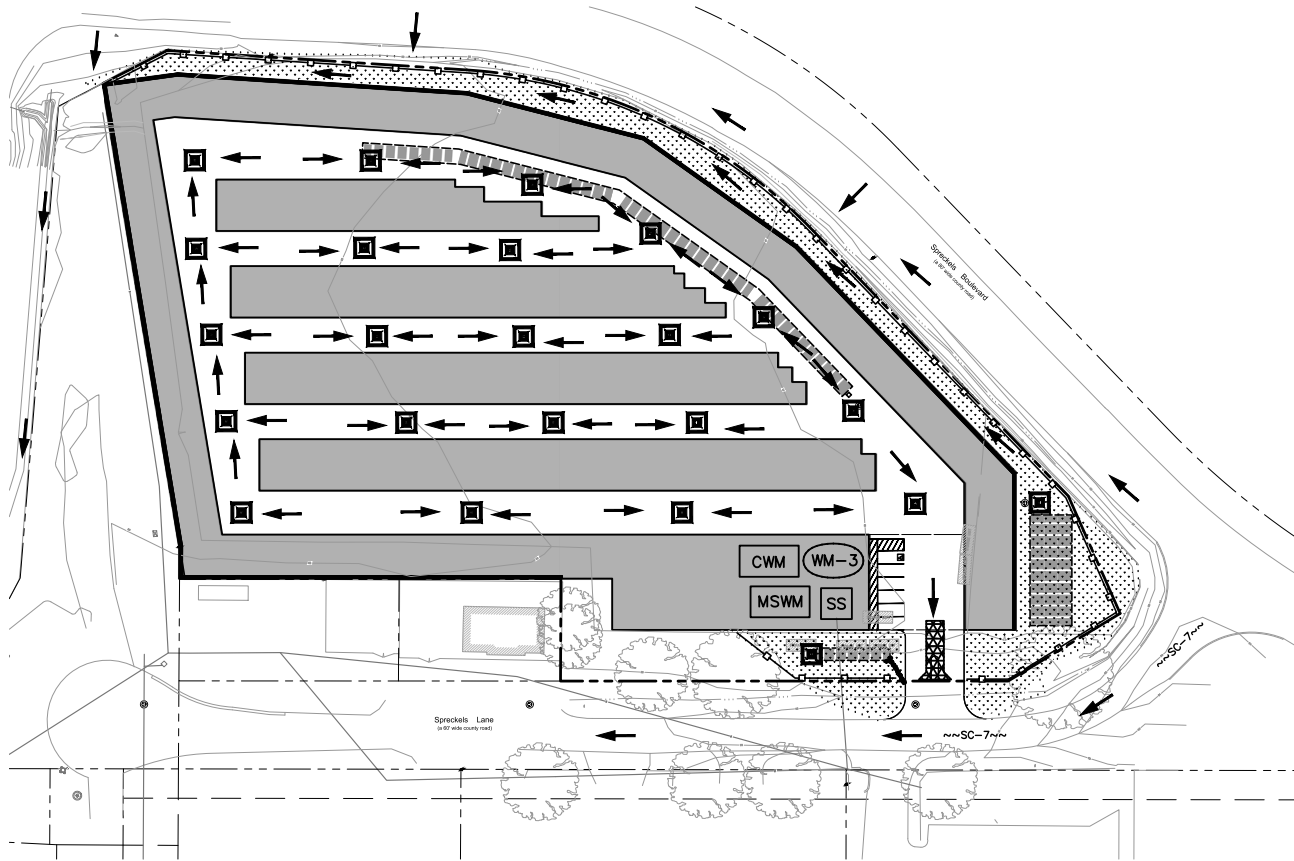
SPRECKELS LANE STORAGE
GRADING SECTIONS
SALINAS - CALIFORNIA
APN 177-07-013

SCALE:	AS SHOWN
DRAWN:	KL
JOB No.:	4461.00
SHEET	C1.4
	OF 10

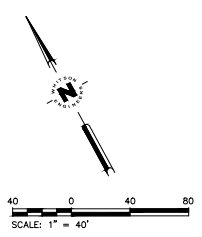
NOT FOR CONSTRUCTION

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 177-07-013





SYMBOL	CALTRANS BMP #	CALTRANS STD. PLAN	DESCRIPTION	SYMBOL	CALTRANS BMP #	CALTRANS STD. PLAN	DESCRIPTION
~~~~~	SS-9	-	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES	[Cross-hatched box]	TC-1, TC-3	T58	STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TIRE WASH
[Square with line]	SC-1	T51, T60	SILT FENCE	[Box with 'MSWM']	WM-1	-	MATERIAL STORAGE AND WASTE MANAGEMENT AREA
~~~~~	SC-5, SC-6	-	FIBER ROLLS OR COMPOST SOCK	[Circle with 'WM-3']	WM-3	T53	TEMPORARY STOCKPILES
~SC-7~	SC-7	-	STREET SWEEPING	[Box with 'SS']	WM-9	-	SANITARY FACILITIES
[Square with 'X']	SC-10	-	INLET PROTECTION	[Arrow]	-	-	DIRECTION OF DRAINAGE
[Box with 'CWM']	WM-8	T61, T62, T63, T64	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA	[Star]	-	-	SAMPLING LOCATIONS (TO BE DIRECTED BY QSP AT START OF CONSTRUCTION)
[Stippled area]	SS-3, SS-4, SS-5, SS-6, SS-7, SS-8	T59	SOIL STABILIZATION (PROVIDE ON ALL DISTURBED SOILS) TEMPORARY STABILIZATION PER CIVIL PLANS PERMANENT STABILIZATION PER LANDSCAPE DWGS				



J:\Projects\2024\04_19_2024 - 121289.dwg Date: 04/19/2024 Time: 11:58:13 AM User: KLM Plot Device: HP DesignJet T1140e

0 1 2 3 INCHES

Civil Engineering
Land Surveying
61011th Court
1001 Park Dr., Colton
95711
www.whitsoneng.com

SUBMITTAL PERUSON

PLANNING SUBMITTAL 1

PLANNING SUBMITTAL 2

SALINAS, CALIFORNIA

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

APN 177-07-013

SCALE: N/A

DRAWN: KLM

JOB No.: 4461.00

SHEET

C2.1

OF 10

NOT FOR CONSTRUCTION

EROSION AND SEDIMENT CONTROL PLAN

- BEST MANAGEMENT PRACTICES (BMPs) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
 - THE 2017 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOK PDF.
 - THE 2012 EDITION OF THE CALIFORNIA STORMWATER BMP HANDBOOK PORTAL (CASQA).
- THE BMPs SHOWN ON THIS WATER POLLUTION CONTROL PLAN SHALL BE ADJUSTED OR SUPPLEMENTED AS REQUIRED TO PROTECT WATER QUALITY AND/OR AS DIRECTED BY AN ENGINEER OR JURISDICTION HAVING AUTHORITY.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING BMPs PRIOR TO, DURING, AND AFTER STORM EVENTS, AND SHALL PROMPTLY CORRECT ANY DEFICIENCIES NOTED.
- ALL PAVED AREAS SHALL BE KEPT CLEAN OF SOIL AND DEBRIS. REGULAR STREET SWEEPING IS REQUIRED. ADDITIONAL STREET SWEEPING MAY BE REQUIRED BY THE ARCHITECT/ENGINEER OR JURISDICTION HAVING AUTHORITY.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULLED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL INACTIVE DISTURBED AREAS (AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF REQUIRED DUE TO PROJECT SCHEDULING.
- PROVIDE WIND EROSION CONTROL AT ALL TIMES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICE ME-1.
- LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.
- ESTABLISH AND MAINTAIN EFFECTIVE PERIMETER CONTROLS AND STABILIZE ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE.
 - PROVIDE SILT FENCE OR LARGE-DIAMETER FIBER ROLL AT CONSTRUCTION SITE PERIMETER WHERE RUNOFF LEAVES THE CONSTRUCTION SITE.
 - PROVIDE INLET PROTECTION AT ALL DRAIN INLETS.

MONTEREY COUNTY REQUIREMENTS

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY CODE, INCLUDING CHAPTER 16.08 "GRADING" AND CHAPTER 16.12 "EROSION CONTROL".
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE EROSION CONTROL DEVICES ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFIRMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- ACTUAL GRADING SHALL BEGAIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - RUNOFF FROM THE SITE SHALL BE DEFLECTED OR FILTERED BY BERM, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DUST DAMAGE DONE BY HIS OR HER SUBCONTRACTOR.

BMP OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - DAILY DURING STORM EVENTS.
- REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
- TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

WORKER TRAINING

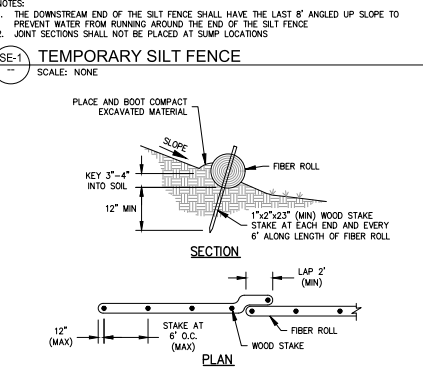
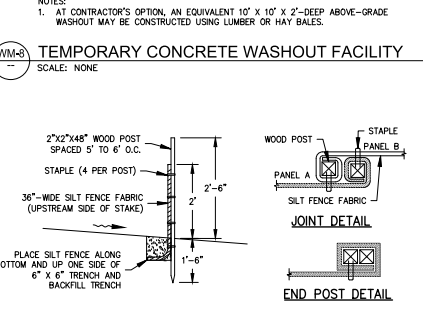
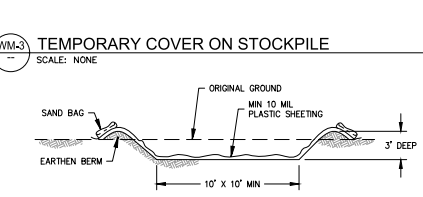
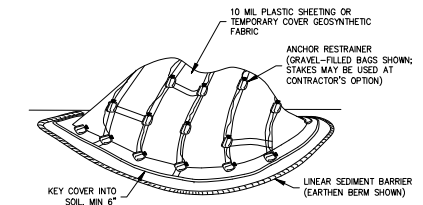
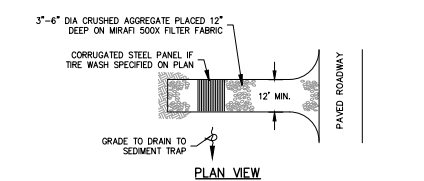
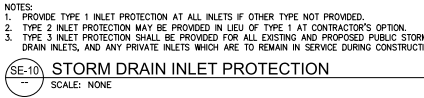
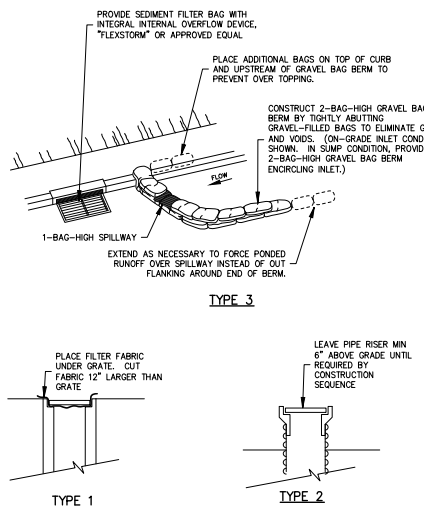
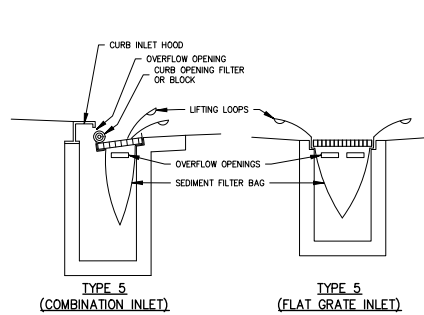
- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND AT LEAST QUARTERLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S STORM WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - GOOD HOUSEKEEPING
 - MATERIAL MANAGEMENT PRACTICES
 - SPILL PREVENTION AND RESPONSE
 - LOCATIONS AND FUNCTIONS OF EROSION AND SEDIMENT CONTROL DEVICES
 - FINES AND PENALTIES

QSD / QSP SCOPE OF WORK

THE PROJECT SWPPP HAS BEEN PREPARED BY THE OWNER'S CIVIL ENGINEER. ONE ORIGINAL "FIELD COPY" SWPPP WILL BE PROVIDED TO THE CONTRACTOR BY THE OWNER, IN ADDITION TO ELECTRONIC (PDF) FILES.

THE CONTRACTOR SHALL:

- SERVE AS THE QUALIFIED SWPPP PRACTITIONER (QSP), AND ALSO THE QUALIFIED SWPPP DEVELOPER (QSD) IF QSD SERVICES ARE REQUIRED DURING CONSTRUCTION
- TRAIN ITS EMPLOYEES AND SUBCONTRACTORS AS REQUIRED BY THE CONSTRUCTION GENERAL PERMIT
- MAINTAIN THE FIELD COPY SWPPP BINDER
- PERFORM ALL STORM WATER INSPECTIONS, SAMPLING AND ANALYSIS
- IMPLEMENT RAIN EVENT ACTION PLANS (REAPs) IF PROJECT IS RISK LEVEL 2 OR 3
- PREPARE THE PROJECT SPILL RESPONSE PLAN
- PREPARE THE STORMWATER ANNUAL REPORT EACH YEAR, AND PRIOR TO PROJECT COMPLETION
- PROVIDE NOTICE OF TERMINATION DOCUMENTATION TO THE OWNER AT PROJECT COMPLETION
- SERVE AS DATA SUBMITTER FOR THE OWNER FOR EACH ON-LINE SUBMITTAL THROUGH THE STATE'S WEBSITE (SMARTS)
- ASSIST THE OWNER IN COORDINATING WITH THE REGIONAL WATER QUALITY CONTROL BOARD AND STATE WATER RESOURCES CONTROL BOARD, AS NEEDED
- IMPLEMENT ALL BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY TO PROTECT WATER QUALITY, AS REQUIRED BY THE CONSTRUCTION GENERAL PERMIT, AND AS OUTLINED IN THE PROJECT SWPPP
- PAY FOR NON-STORMWATER TESTING, IF REQUIRED DUE TO LEAKS OR SPILLS.
- PAY ANY FINES IMPOSED FOR FAILING TO COMPLY WITH THE CONSTRUCTION GENERAL PERMIT OR OTHER LAWS, REGULATIONS, OR REQUIREMENTS OF THE VARIOUS JURISDICTIONS HAVING AUTHORITY.



DATE: 11/13/2024 11:23:24 AM BY: JACOB W. HARRIS, CIVIL ENGINEER, LICENSE NO. 50818

Civil Engineering
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10000 G Street, California
94133
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REGISTERED PROFESSIONAL ENGINEER
No. 10700
EXPIRES 12/31/2025

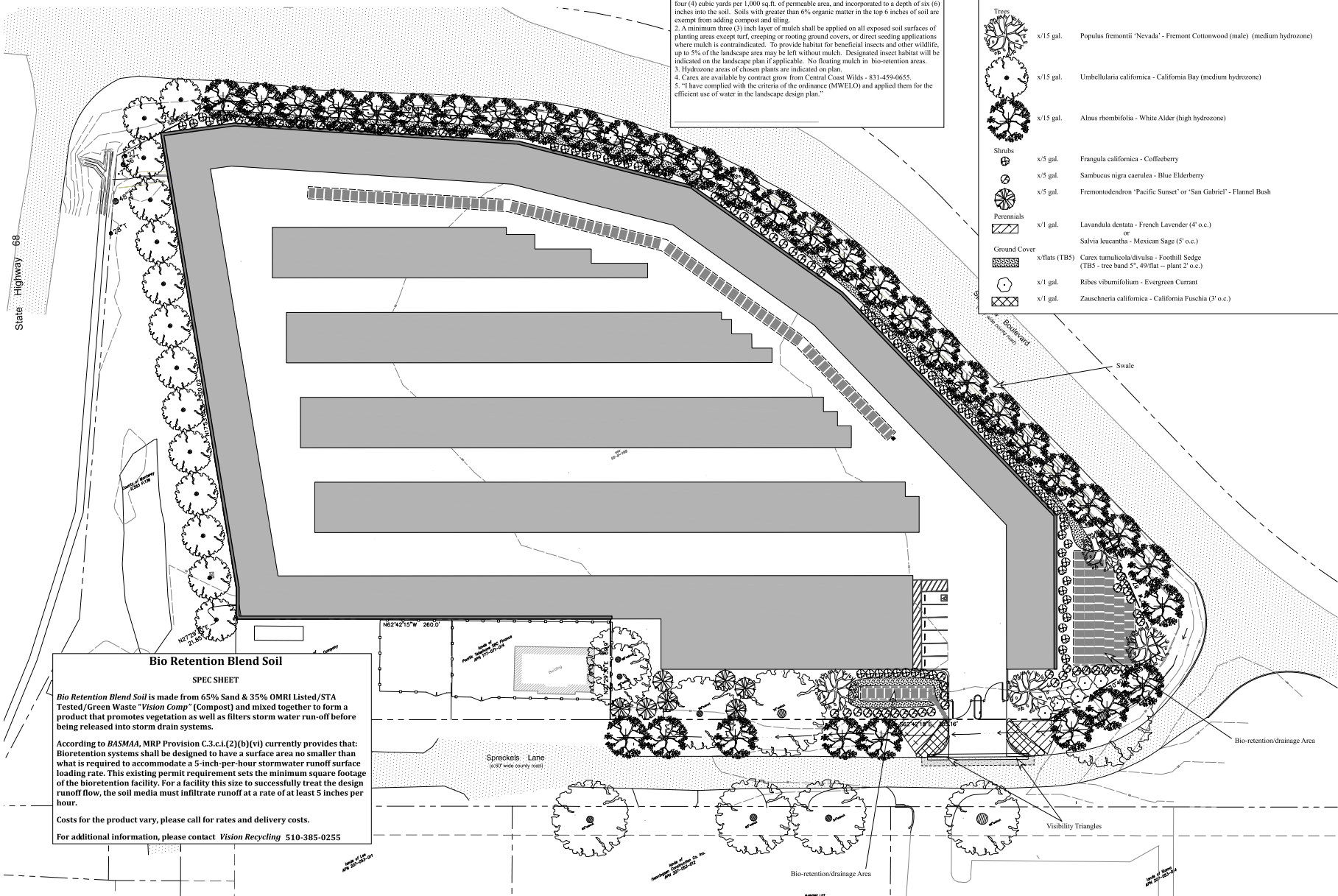
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2	12/12/24	PLANNING SUBMITTAL 2
3	12/12/24	PERMITS SUBMITTAL

SALINAS, CALIFORNIA
APR 17, 2024 - 01:3

SPRECKELS LANE STORAGE
TEMPORARY SEDIMENT AND EROSION CONTROL NOTES & DETAILS
NOT FOR CONSTRUCTION

SCALE: N/A
DRAWN: KL
JOB No.: 4461.00

SHEET
C2.2
OF 10



Landscaping Notes

1. Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tiling.
2. A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable. No floating mulch in bio-retention areas.
3. Hydrozone areas of chosen plants are indicated on plan.
4. Carex are available by contract grow from Central Coast Wilds - 831-459-0655.
5. "I have complied with the criteria of the ordinance (MWEL0) and applied them for the efficient use of water in the landscape design plan."

RECOMMENDED PLANT LIST (all plants are low hydrozone except where noted)

Symbol	Q/Size	Name
	x/15 gal.	Populus fremontii 'Nevada' - Fremont Cottonwood (male) (medium hydrozone)
	x/15 gal.	Umbellularia californica - California Bay (medium hydrozone)
	x/15 gal.	Alnus rhombifolia - White Alder (high hydrozone)
Shrubs		
	x/5 gal.	Frangula californica - Coffeeberry
	x/5 gal.	Sambucus nigra caerulea - Blue Elderberry
	x/5 gal.	Fremontodendron 'Pacific Sunset' or 'San Gabriel' - Flannel Bush
Perennials		
	x/1 gal.	Lavandula dentata - French Lavender (4' o.c.)
	x/flats (TB5)	Salvia leucantha - Mexican Sage (5' o.c.)
	x/flats (TB5)	Carex tumulicola/divulsa - Foothill Sedge (TB5 - tree band 5", 49 flat - plant 2' o.c.)
	x/1 gal.	Ribes viburnifolium - Evergreen Currant
	x/1 gal.	Zauschneria californica - California Fuschia (3' o.c.)

Project / Owner:
Spreckels Ln Storage
 XXX SPRECKELS LANE
 SALINAS, CA 93901
 APN: 177-071-013-000

THE PAUL DAVIS PARTNERSHIP
 ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
 286 Eldorado Street
 Monterey, CA 93940
 (831) 373-2784 FAX (831) 373-7459
 EMAIL: info@pauldavispartnership.com

Bio Retention Blend Soil
 SPEC SHEET

Bio Retention Blend Soil is made from 65% Sand & 35% OMRI Listed/STA Tested/Green Waste "Vision Comp" (Compost) and mixed together to form a product that promotes vegetation as well as filters storm water run-off before being released into storm drain systems.

According to RASMAA, MRP Provision C.3.c.i.(2)(b)(vi) currently provides that: Bio-retention systems shall be designed to have a surface area no smaller than what is required to accommodate a 5-inch per-hour stormwater runoff surface loading rate. This existing permit requirement sets the minimum square footage of the bio-retention facility. For a facility this size to successfully treat the design runoff flow, the soil media must infiltrate runoff at a rate of at least 5 inches per hour.

Costs for the product vary, please call for rates and delivery costs.
 For additional information, please contact Vision Recycling 510-385-0255

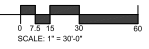
Drawn By:
 Drawing Date:
 Project Number:
 Revisions:

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Sheet Title:
LANDSCAPE PLAN

Sheet Number:

LANDSCAPE PLAN
 SCALE: 1" = 30'-0"



L1.1