

# Exhibit A

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**EXHIBIT A  
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning  
in and for the County of Monterey, State of California**

In the matter of the application of:

**STRETCH LESLIE & HEATHER TRS (PLN220019)**

**RESOLUTION NO. 25--**

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 2 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15302 and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow demolition of an existing 7,833 square foot single family dwelling with an attached garage, and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

[PLN220019, Leslie and Heather Stretch, 1535 Palmero Way, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Accessor's Parcel Number: 008-423-014-000)]

**The STRETCH LESLIE & HEATHER TRS application (PLN220019) came on for an administrative decision hearing before the County of Monterey Chief of Planning on March 19, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - the 1982 Monterey County General Plan;
  - Del Monte Forest Land Use Plan (DMF LUP);

- Monterey County Coastal Implementation Plan Part 5 (Del Monte Forest CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project involves the major remodel of an existing 7,833 square foot single family, resulting in a 6,149 square foot two-story single family dwelling with an attached 487 square foot three-car garage with bike storage inclusive of an attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements. However, because the remodel involves alteration or demolition of more than 50% of the exterior walls, the project is described as a demolition and rebuild pursuant to Title 18 section 18.11.0303. The project also involves development within 750 feet of known archaeological resources.
- c) Allowed Use. The property is located at 1535 Palmero Way, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone (Accessor's Parcel Number: 008-423-014-000). The parcel is zoned Low Density Residential with a maximum gross density of 1.5 acres per unit and a Design Control overlay within the Coastal Zone or "LDR/1.5-D(CZ)" which allows development of the first single family dwelling per legal lot of record and junior accessory dwelling units pursuant to Title 20 sections 20.14.040 and 20.64.030. The project is for the major remodel of an existing 7,833 square foot two-story single family dwelling with an attached garage, resulting in a 6,149 square foot two-story single family dwelling with an attached 487 square foot three-car garage with bike storage inclusive of an attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements. Grading consists of approximately 440 cubic yards of cut and 310 cubic yards of fill. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (1.3-acres in size), APN: 008-423-014-000), is shown as Lot 10A and 11A of Block 136B as described in the Map of El Pescadero and Point Pinos Ranchos filed in Volume 3 of Surveys on Page 3 in records of Monterey County. Therefore, the property is recognized by the County as a legal lot of record.
- e) Design/Neighborhood and Community Character. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 3 and supporting evidence, the single family dwelling and junior accessory dwelling unit are consistent with the purpose and regulations of the Design Control district.
- f) Development Standards. The development standards for the LDR zoning district are identified in Title 20 section 20.14.060. Required setbacks for main structures are 30 feet (front), 20 feet (rear), and 20

feet (sides). The maximum allowed height is 30 feet. As proposed, the remodeled single family dwelling will remain within the existing building footprint which meets all required setbacks. The main dwelling will maintain a maximum height of 22 feet 5 inches with the attached garage wing height of 14 feet 9 inches, which is below the height limitations of Title 20. Therefore, the project is consistent with the development standards as outlined in Title 20.

- g) Junior Accessory Dwelling Unit. The project as proposed is consistent with California State law, Title 20 and the DMF CIP regulations and development standards. See Finding No. 4 and supporting evidence below.
- h) Cultural Resources. According to the County of Monterey Geographic Information System (GIS) records, the project site is within an area of high sensitivity for archaeological resources. Pursuant to DMF CIP section 20.147.080.B.1, a Phase I Inventory of Archaeological Resources was prepared for the project. On October 19, 2021, a field reconnaissance survey (HCD Library Document No. LIB220202) was performed by Allen Estes with PaleoWest at the proposed project site. Results of the reconnaissance were negative, and the siting and design of the project were found to not have any potential impacts to known archaeological resources because the site was previously developed. Therefore, potential impacts on archaeological resources are limited, and a standard condition of approval requiring work to stop if previously unidentified resources are found during construction has been incorporated into this permit (Condition No. 3).
- i) Historical Resources. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code section 21084.1(a), all properties fifty years of age or older must be reviewed for potential historic significance. On February 2, 2021, Seth Bergstein performed a site visit to analyze the potential historical significance of the existing single family dwelling (Finding 2, Evidence “b”). The existing residence was constructed in the 1940s and has undergone multiple alterations over the years. The architecture was originally designed to reflect a Monterey Colonial style. That assessment concluded that the structure is not historically significant, and therefore, is not eligible for listing on any national, state, or local Historic Resources registry.
- j) Pescadero Watershed. The DMF LUP Policy 77 requires that new residential development, including accessory structures, be limited to 9,000 square feet of structural and other impervious coverage within the Pescadero Watershed, which drains into the Carmel Bay Area of Special Biological Significance (ASBS). The existing residence and impervious development are currently at 18,013 square feet. The proposed alterations to the residence include reducing the first floor by 236 square feet of coverage, and the remaining reductions coming from replacing 12,519 square feet of the impermeable driveway, walkways, and patios. The site improvements will result in total impervious surfaces of 8,975 square feet, which is an approximate 50 percent reduction of the existing legal non-conforming coverage. The reduction was achieved by replacing asphalt concrete and brick with permeable cobblestone,

- gravel, and flagstone. Therefore, the property will conform with the 9,000 square foot limitation of structural and impervious coverage.
- k) Public Access. The project is consistent with applicable public access policies as demonstrated in Finding No. 8 and supporting evidence.
  - l) Visual Resources and Public Viewshed. The project is located within a visually sensitive area as demonstrated in Finding No. 3, Evidence “c” below.
  - m) Land Use Advisory Committee (LUAC) Review. The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. On November 16, 2023, the LUAC reviewed the project and had no comments or concerns regarding the design. The LUAC unanimously recommended approval of the project as proposed by a vote of 7-0 with one member absent.
  - n) The project planner conducted a site inspection on November 14, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
  - o) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

**2. FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District (CSD). County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to biological, cultural, historic, and soil resources. The following reports have been prepared:
    - “Arborist Report” (LIB220201) prepared by Rob Thompspon with Thompson Wildland Management, Monterey, CA, September 16, 2021.
    - “Cultural Resources Assessment” (LIB220202) prepared by Allen Estes with PaleoWest, LLC, Walnut Creek, CA, December 16, 2021.
    - “Geotechnical Report” (LIB220203) prepared by Greg Bloom with Butano Geotechnical Engineering, Inc., Freedom, CA, November 10, 2021.
    - “Phase I Historical Report” (LIB220204) prepared by Seth Bergstein with Past Consulting, Pacific Grove, CA, April 7, 2021.
 County staff independently reviewed these reports and concurred with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the proposed use. All development shall be in accordance with these reports.
  - c) Staff conducted a site inspection on November 14, 2023, to verify that the site is suitable for this use.

- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

**3. FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Pursuant to Title 20, Chapter 20.44, the purpose of the “D” district is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
  - b) Neighborhood Character. The proposed remodeled single family dwelling with an attached junior accessory dwelling unit would have a comparatively similar bulk and mass to other developments in the vicinity. As proposed, visibility of the structure from the front property line off Palmero Way will remain comparable to the bulk and mass of other dwellings in the surrounding neighborhood.
  - c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the area’s eclectic setting and surrounding residences. Colors and materials of the existing Monterey Colonial style two-story single family dwelling consist of a mix of off-white stucco and wood board and batten siding, mix of white, black and dark green wood framed windows and doors with a gray shingled roof. The proposed remodel of the single family dwelling will include off-white stucco siding for the main residence, black metal windows and doors, black steel railing for the porches, gray standing seam metal roof, and brown cedar vertical exterior siding along the garage wing with attached JADU. The project has been conditioned to include an exterior lighting plan (Condition No. 7) to ensure the proposed lighting plan will comply with the Monterey County lighting design guidelines. Additionally, the project proposes a conceptual landscape plan and a fuel management plan. However, the project was conditioned to submit a formal landscape plan prior to issuance of a building permit (Condition No. 8). The proposed exterior finishes described above blend with the surrounding environment, are consistent with the surrounding eclectic residential neighborhood character, and other dwellings in the neighborhood.
  - d) Visual Resources. The property is located in the unincorporated community of Pebble Beach approximately a quarter mile east of the Pacific Ocean and one and a half miles west of Highway 1. The project site was previously developed and located within a visually sensitive area. As depicted on DMF LUP Figure 3, the subject property is located within the viewshed of 17 Mile Drive and Point Lobos. Staking and flagging was required to be installed pursuant to the DMF CIP section 20.147.070.A.1. Staff conducted a site visit on November 14, 2023, and confirmed that the subject property and staking and flagging were not visible from Point Lobos, Highway 1, or any other public common viewing areas due to topography, distance, and existing mature vegetation. However, the existing

residence is mildly visible through a row of the neighbors' planted cypress trees from the intersection of 17 Mile Drive and Palmero Way. The proposed project involves a remodel of the main residence including construction of the attached JADU within the existing building footprint. The project was not found to have any new significant impacts on the public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- e) The project planner conducted a site inspection on November 14, 2023, to view the staking and flagging, and verify that the project is not visible from Point Lobos or designated vista points, and that the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes).
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD - Planning for the proposed development can be found in Project File PLN220019.

**4. FINDING:** **JUNIOR ACCESSORY DWELLING UNIT** – The proposed project meets the regulations, standards, and circumstances under which a junior accessory dwelling unit (JADU) may be permitted.

- EVIDENCE:**
- a) Title 20 section 20.64.030 establishes regulations and standards for which an ADU, accessory to the main residence on a lot, may be permitted. Title 20 requires that ADUs have a separate kitchen facility from the main residence and be no greater than 1,200 square feet with a height limit of 16 feet. Although regulations for ADUs are provided, the maximum square footage for JADUs is not explicitly called out in Title 20. The project involves the construction of a 495 square foot JADU attached to the main residence. Pursuant to Government Code section 66313, JADUs are allowed to be no more than 500 square feet and section 66321 establishes a height limit of 16 feet. Moreover, pursuant to Title 20 section 20.14.060, site development standards require a 50-foot front, and 6-foot side and rear setbacks for habitable accessory structures.
  - b) Pursuant to Government Code section 66333, JADUs are limited to one per residential lot, require owner-occupancy in the single family residence in which the JADU will be permitted, and require the recordation of a deed restriction prohibiting the sale of said JADU from the main residence. Furthermore, JADUs are required to be constructed within the walls of the single family residence, include a separate entrance from the main residence, and are required to include an efficiency kitchen. As proposed, the project includes a 495 square foot JADU attached to the main dwelling, which features an efficiency kitchen with access to a full range kitchen within the main residence. The JADU will have a maximum height of 14 feet 9 inches and is located on the property where all required setbacks are met. In accordance with Government Code section 66333, the project has been conditioned to require the recordation of a deed restriction (Condition



No. 10) prohibiting the sale of the proposed JADU separate from the single family dwelling. Therefore, the JADU is consistent with State law and Title 20 development standards.

- c) The proposed JADU will be the first accessory dwelling with independent living facilities attached to the existing main residence and constructed on a 1.3-acre lot connected to a public wastewater system. The floor area ratio will be 495 square feet which is below the 500 square foot limitation. Parking for the JADU is not required by State law, however, parking can be accommodated either within the three-car garage or driveway of the reconstructed single family dwelling. The colors and materials of the JADU are visually consistent and compatible with the principal residence on-site and other residences in the area. The JADU is designed to not substantially degrade possible archaeological resources at the site by utilizing previously disturbed areas for development.
- d) Title 20 section 20.64.030.F requires certain findings be made to support the approval of a JADU. The establishment of the JADU will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County (see Finding No. 5 and supporting evidence). The JADU, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development (see Finding No. 1). The subject property upon which the JADU is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of Title 20 and that all zoning violation abatement costs, if any, have been paid (see Finding No. 6). Additionally, the project site must be found physically suitable for the use proposed (see Finding No. 2). Therefore, staff recommends approval of the project as proposed and conditioned.
- e) The proposed colors and materials are designed to match the main residence on the property and meet design requirements in Finding No. 3 and supporting evidence above.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning for the proposed development can be found in Project File PLN220019.

**5. FINDING: HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach CSD. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities are provided and have existed on the project site. Water and sewer are provided to the parcel through the public water system by CalAm and the Carmel Wastewater District (CAWD) via the Pebble Beach Community Services District. The project as proposed will continue to use these same connections. The applicant submitted a water fixture calculation from the Monterey Peninsula Water Management District (MPWMD) showing the previous fixture unit count of 33 with a proposed fixture unit count of 32.3. As proposed, this project would result in a 0.7 fixture unit count decrease. Therefore, the applicant has sufficient water credits to support redevelopment.
- c) The subject parcel is located within a State Responsibility Area classified as having a high fire hazard. The remodel of the existing single family dwelling with attached JADU is designed to be a fire-resistant structure that meets current fire and building code standards. The project also includes a Fuel Management Plan to ensure fire safety regulations are met for the proposed construction.
- d) Staff conducted a site inspection on November 14, 2023, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

**6. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on November 14, 2023, and researched County records to assess if any violation exists on the subject property.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

**7. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines section 15302 for a Class 2 Categorical Exemption allows reconstruction of existing structures where the new structure will be located on the same site as the structure to be replaced, and will have substantially the same purpose and capacity as the structure being replaced.
  - b) The project involves a major remodel of an existing single family dwelling. However, because more than 50% of the exterior walls are being altered, the proposed project is described as the demolition of a single family dwelling with an attached garage, and construction of a single family dwelling with an attached garage and an attached JADU on a residentially zoned parcel within a developed neighborhood. The

remodeled single family dwelling will have the same capacity and purpose as the existing residence. Therefore, the proposed development is consistent with CEQA Guidelines section 15302.

- c) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. The project does not involve a designated historical resource as demonstrated in Finding No. 1, Evidence “i”. The project is also not located near a hazardous waste site or within view of a scenic highway corridor. The project, as proposed, does not cause any unusual circumstances that would result in a significant effect or would result in a cumulative significant impact. However, the project site is located within an area of high archaeological sensitivity. Subject to CEQA Guidelines section 15300.2(c), a field reconnaissance survey was required to be performed for the proposed project. On October 19, 2021, Allen Estes with PaleoWest conducted a survey to determine if resources were present on site. The result of that survey was negative. Therefore, a standard condition of approval (Condition No. 3) has been incorporated to ensure construction work is halted if archaeological resources are accidentally uncovered. Thus, there is no feature or condition of the project that distinguishes the project from the exempt class.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on November 14, 2023.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

- 8. FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No public access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP, section 20.147.130 can be demonstrated.
  - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - c) The subject property is not described as an area where the Local Coastal Program requires visual or physical public access (Figure 3, Visual Resources, and Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
  - d) County staff conducted a site inspection on November 14, 2023, to verify that the proposed project will not impact public access.
  - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220019.

- 9. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or

person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) Coastal Commission. Pursuant to Title 20 section 20.86.080.A(3), the project is subject to appeal by/to the California Coastal Commission because the project site is located between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1 and 17 Mile Drive) and involves a conditionally allowed use (i.e., development within 750 of known archaeological resources).

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find that the project qualifies for a Class 2 Categorical Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines section 15302 and there are no exceptions pursuant to section 15300.2; and
2. Approving a Coastal Administrative Permit and Design Approval to allow demolition of an existing 7,833 square foot single family dwelling with an attached garage, and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 19th day of March 2025.

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Melanie Beretti, AICP, Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

\_\_\_\_\_.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the County of Monterey Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220019

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative Permit and Design Approval (PLN220019) demolition of existing 7,833 square foot single family dwelling with an attached garage, and construction of a 6,149 square foot single family dwelling with an attached 487 square foot garage, attached 495 square foot junior accessory dwelling unit, 1,028 square feet of porches, and associated site improvements; and a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources. The property is located at 1535 Palmero Way, Pebble Beach (Assessor's Parcel Number 008-423-014-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Coastal Administrative Permit and Design Approval (Resolution Number \_\_\_\_\_) was approved by the Chief of Planning for Assessor's Parcel Number 008-423-014-000 on March 19, 2025. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.  
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

#### 5. PD049 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

#### 6. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.



## 7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 8. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

**9. PW0044 - CONSTRUCTION MANAGEMENT PLAN**

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

**Compliance or Monitoring Action to be Performed:** 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

**10. PDSP001 - JUNIOR ACCESSORY DWELLING UNIT DEED RESTRICTION (NON-STANDARD)**

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Pursuant to Article 3 for Government Code section 66333(c), the applicant shall record a deed restriction, which shall run with the land, and shall be filed with the County of Monterey stating both of the following regulations for a Junior Accessory Dwelling Unit as follows:

(1) A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers; and

(2) A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this article.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the signed and notarized document to the Director of HCD-Planning for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to HCD-Planning.

# 1535 PALMERO WAY



## SHEET INDEX

<b>GENERAL</b>	L2.5	IRRIGATION WATER CALCULATION	
A0.1	PROJECT DATA	L3.0	CONCEPTUAL PLANTING PLAN
A0.2	GENERAL NOTES	L3.1	PLANT SCHEDULE
A0.3	SITE PLAN	L4.0	CONCEPTUAL LIGHTING PLAN
<b>CIVIL</b>	L4.1	SITE LIGHTING CUT SHEETS	
C0.1	CIVIL COVER SHEET	L5.0	FUEL MANAGEMENT PLAN
C1.1	OVERALL SITE PLAN	<b>ARCHITECTURAL</b>	
C1.2	RESIDENCE GRADING & DRAINAGE PLAN	A1.0	EXISTING MAIN LEVEL PLAN
C2.1	TEMPORARY EROSION & SEDIMENT CONTROL PLAN	A1.1	EXISTING UPPER LEVEL PLAN
C2.2	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN	A1.2	LOWER LEVEL DEMO PLAN
		A1.3	UPPER LEVEL DEMO PLAN
<b>LANDSCAPE</b>	A1.4	PROPOSED MAIN LEVEL PLAN	
L1.0	CONCEPTUAL LANDSCAPE PLAN	A1.5	PROPOSED UPPER LEVEL PLAN
L2.0	CONCEPTUAL IRRIGATION PLAN	A1.6	MAIN LEVEL EXTERIOR LIGHTING PLAN
L2.1	IRRIGATION NOTES AND LEGEND	A1.7	UPPER LEVEL EXTERIOR LIGHTING PLAN
L2.2	IRRIGATION DETAILS	A2.0	EXISTING ELEVATIONS
L2.3	IRRIGATION DETAILS	A2.1	EXISTING ELEVATIONS
L2.4	IRRIGATION DETAILS	A2.2	PROPOSED ELEVATIONS
		A2.3	PROPOSED ELEVATIONS
		A3.0	ROOF PLAN

## PROJECT DATA

<b>PROPERTY OWNER:</b>	Heather and Leslie Stretch 2626 Larkin Street San Francisco, CA 94109	<b>BUILDING HEIGHT:</b>	30'-0" Allowed 22.5' Existing 22.5' Proposed (NO Change)
<b>PROJECT ADDRESS:</b>	1535 Palmero Way Pebble Beach, CA 93953	<b>TREE REMOVAL:</b>	NONE
<b>APPLICANT:</b>	STOCKER & ALLAIRE, INC. 21B MANDEVILLE CT. MONTEREY, CA. 93940 PH: (831) 375-1890	<b>GRADING:</b>	NONE
<b>A.P.#:</b>	008-423-014-000	<b>LOT SIZE:</b>	56,020 SQ FT
<b>ZONING:</b>	LDR 1.5D/CZ	<b>BUILDING SITE COVERAGE:</b>	8,403 SQ FT (15%) ALLOWED 5,494 SQ FT (9.8%) EXISTING 5,258 SQ FT (9.4%) PROPOSED
<b>PROJECT CODE COMPLIANCE:</b>	2019	<b>SETBACKS:</b>	<u>MAIN STRUCTURE</u> 30' FRONT 20' SIDE 20' REAR
<b>OCCUPANCY GROUP:</b>	R-3	<b>SQ FT PROPOSED:</b>	
<b>CONSTRUCTION TYPE:</b>	VB	<b>1ST FLOOR LIVING:</b>	3,934 SQ FT
<b>TOPOGRAPHY:</b>	VERY GENTLE SLOPE TO SOUTHWEST	<b>GARAGE &amp; BIKES:</b>	982 SQ FT
<b>SEWER:</b>	PBCSD	<b>OVERHANGS AND 2ND STORY PORCHES DEEPER THAN 30"</b>	342 SQ FT
<b>WATER:</b>	CAL Am Water	<b>2nd FLOOR LIVING:</b>	2,215 SQ FT
		<b>2nd story porches</b>	686 SQ FT

## DESCRIPTION

<b>FAR:</b>	9803.5 SQ FT (17.5%) Allowed 7832.7 SQ FT (14.0%) Existing 7,131 SQ FT (12.7%) Proposed
<b>PESCADERO SITE COVERAGE:</b>	9,000 SQ FT. ALLOWED
<b>EXISTING:</b>	6,357 SF Non-Permeable Walkways & Patios 6,162 SF Non-Permeable Driveway 5,494 SF Existing Buildings <b>18,013 SF Total Existing Coverage</b>
<b>PROPOSED:</b>	3,613 SF Cobblestone Driveway (Permeable) 2,250 SF Gravel (Permeable) 1,493 SF Patio Flagstone (Permeable) <b>7,356 SF Permeable Coverage</b> 5,258 SF Proposed Building 3,637 SF Patio Flagstone (Impermeable) 80 SF SPA (Impermeable) <b>8,975 SF Impermeable Coverage</b>

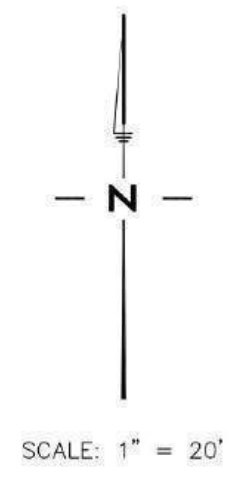
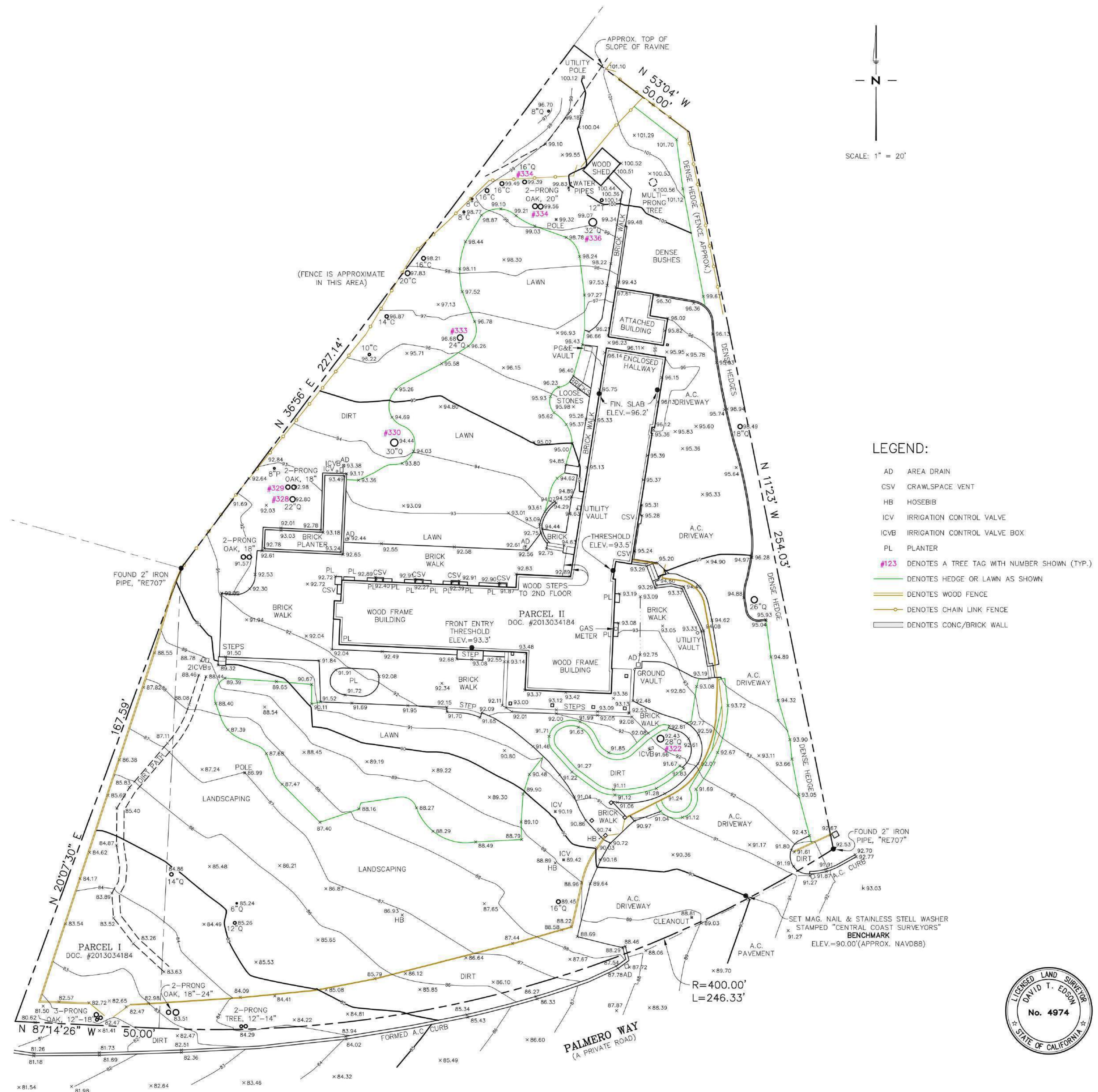
SCOPE INCLUDES A RENOVATION OF A NON-HISTORIC 2 STORY HOME, AND DEMOLITION AND RECONSTRUCTION OF THE GARAGE WING OF THE STRUCTURE. MATERIALS INCLUDE WHITE STUCCO TO MATCH EXISTING WITH A DULL GREY METAL STANDING SEAM ROOF AND BLACK METAL WINDOWS. GARAGE WING EXTERIOR MATERIALS ARE CEDAR WOOD SIDING, WITH THE SAME ROOF AND WINDOWS AS MAIN HOUSE.

LANDSCAPING TO CHANGE. ASPHALT CONCRETE & BRICK TO BE REMOVED AND REPLACED WITH PERMEABLE COBBLESTONE, GRAVEL, AND FLAGSTONE.

## VICINITY MAP





- LEGEND:**
- AD AREA DRAIN
  - CSV CRAWLSPACE VENT
  - HB HOSEBIB
  - ICV IRRIGATION CONTROL VALVE
  - ICVB IRRIGATION CONTROL VALVE BOX
  - PL PLANTER
  - #123 DENOTES A TREE TAG WITH NUMBER SHOWN (TYP.)
  - DENOTES HEDGE OR LAWN AS SHOWN
  - DENOTES WOOD FENCE
  - DENOTES CHAIN LINK FENCE
  - DENOTES CONC/BRICK WALL

- NOTES:**
1. ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  2. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
  3. ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM THAT APPROXIMATES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF PALMERO WAY AT THE DRIVEWAY ENTRANCE, SHOWN HEREON.  
ELEVATION = 90.00 FEET (APPROX. NAVD88)
  4. CONTOUR INTERVAL = ONE FOOT.
  5. TREE TYPES AND TAGS ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" ARE NOT SHOWN.
  6. FIELDWORK FOR THIS SURVEY WAS COMPLETED ON JUNE 11, 2021.

**TOPOGRAPHIC MAP**  
OF  
THE PARCELS DESCRIBED IN DOCUMENT #2013034184,  
BEING A PORTION OF THE LAND SHOWN ON "LICENSED  
SURVEYOR'S MAP OF EL PESCADERO AND POINT PINOS  
RANCHOS" FILED IN VOL. 3 OF "SURVEYS" AT PG. 3  
OFFICIAL RECORDS OF MONTEREY COUNTY

---

PEBBLE BEACH COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
**Stocker & Allaire General Contractors**

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BY  
**CENTRAL COAST SURVEYORS**  
5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940  
Phone: (831) 394-4930  
Fax: (831) 394-4931

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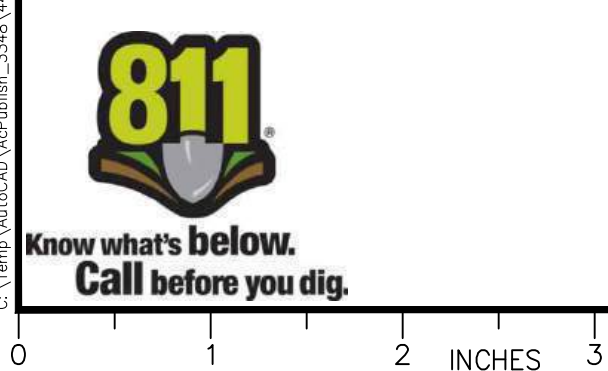
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PREPARED: DRZ

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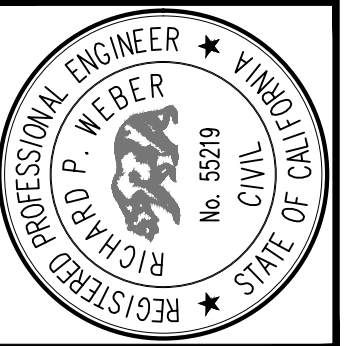
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Menlo Park, California  
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whitsonengineers.com



DATE	DESCRIPTION
8/10/23	PLANNING SUBMITTAL
RA	

APN 008-423-014  
Pebble Beach, California

**STRETCH RESIDENCE**  
**1535 PALMERO WAY**  
**OVERALL SITE PLAN**

SCALE:  
DRAWN: RA  
JOB No.: 4436.00  
SHEET  
**C1.1**  
OF

PLANNING SUBMITTAL; NOT FOR CONSTRUCTION





- # KEYNOTE**
- PERMEABLE GRAVEL
  - PERMEABLE COBBLESTONE DRIVEWAY; S.L.D.
  - PERMEABLE FLAGSTONE ON GRADE; S.L.D.
  - IMPERVIOUS FLAGSTONE ON GRADE; S.L.D.
  - STEEL EDGING
  - NOT USED
  - INTERIOR DEER FENCING; S.L.D.
  - DOWNSPOUT CONNECTED TO STORM DRAIN
  - LINEAR DRAIN
  - 12" WIDE CONCRETE BAND
  - CONCRETE VERTICAL CURB
  - FENCE AND AUTOMATIC GATE; S.A.D.
  - FOOTPRINT OF EXISTING BUILDING; SEE DEMOLITION PLAN
  - WATER FEATURE
  - OUTDOOR KITCHEN; S.L.D
  - EXISTING RETAINING WALL TO REMAIN
  - PROTECT EX. TREE; SEE TREE PROTECTION PLAN

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**Whitson ENGINEERS**

REGISTERED PROFESSIONAL ENGINEER  
RICHARD P. WEEGER  
No. 55219  
CIVIL  
STATE OF CALIFORNIA

SUBMITTAL / REVISION	PLANNING SUBMITTAL
8/10/23	RA

Pebble Beach, California

APN 008-423-014

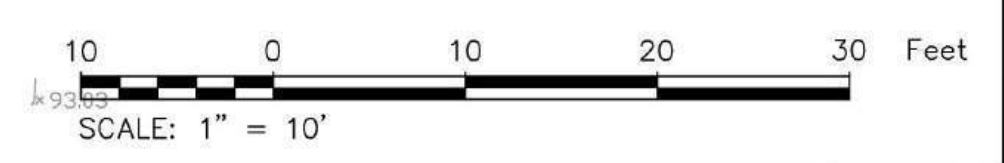
**STRETCH RESIDENCE**  
1535 PALMERO WAY

RESIDENCE GRADING AND DRAINAGE PLAN

PLANNING SUBMITTAL; NOT FOR CONSTRUCTION

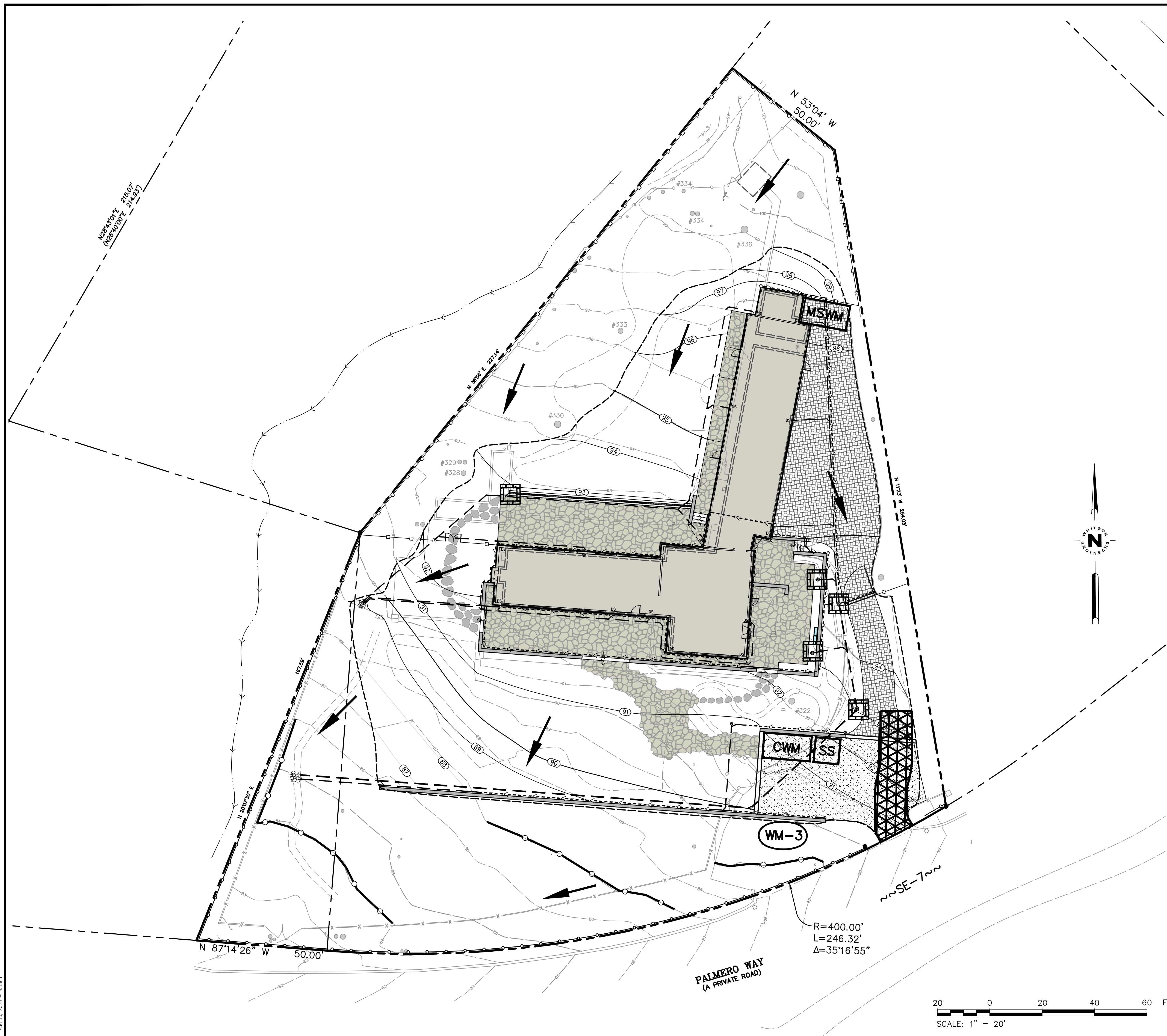
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DRAWN: RA  
JOB No.: 4436.00

SHEET  
**C1.2**  
OF



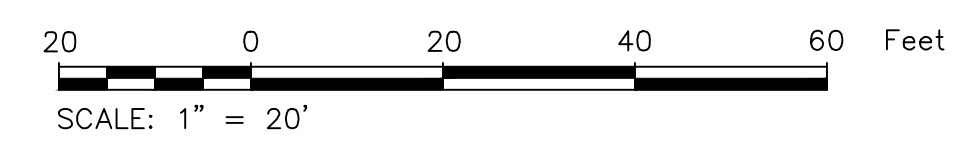
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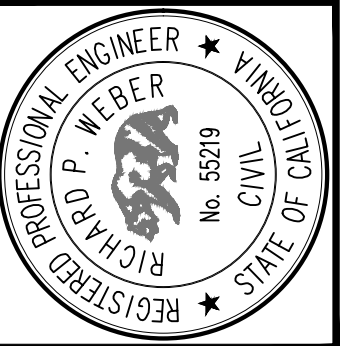
### LEGEND

SYMBOL	BMP #	DESCRIPTION
	EC-9	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES
	SE-1, SE-5, SE-6	LINEAR SEDIMENT BARRIER: LARGE-DIAMETER FIBER ROLL, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)
	SE-1	SILT FENCE
	SE-6	GRAVEL BAG CHECK DAM
	SE-7	STREET SWEEPING
	SE-10	INLET PROTECTION
	WM-8	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA
	TC-1, TC-3	STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TIRE WASH
	WM-1	MATERIAL STORAGE AND WASTE MANAGEMENT AREA
	WM-3	TEMPORARY STOCKPILES
	WM-9	SANITARY FACILITIES
	-	DIRECTION OF DRAINAGE
	SS-3, SS-4	SOIL STABILIZATION (PROVIDE ON ALL DISTURBED SOILS)
	SS-5, SS-6	TEMPORARY STABILIZATION PER CIVIL PLANS
	SS-7, SS-8	PERMANENT STABILIZATION PER LANDSCAPE DRAWINGS



0 1 2 3 INCHES

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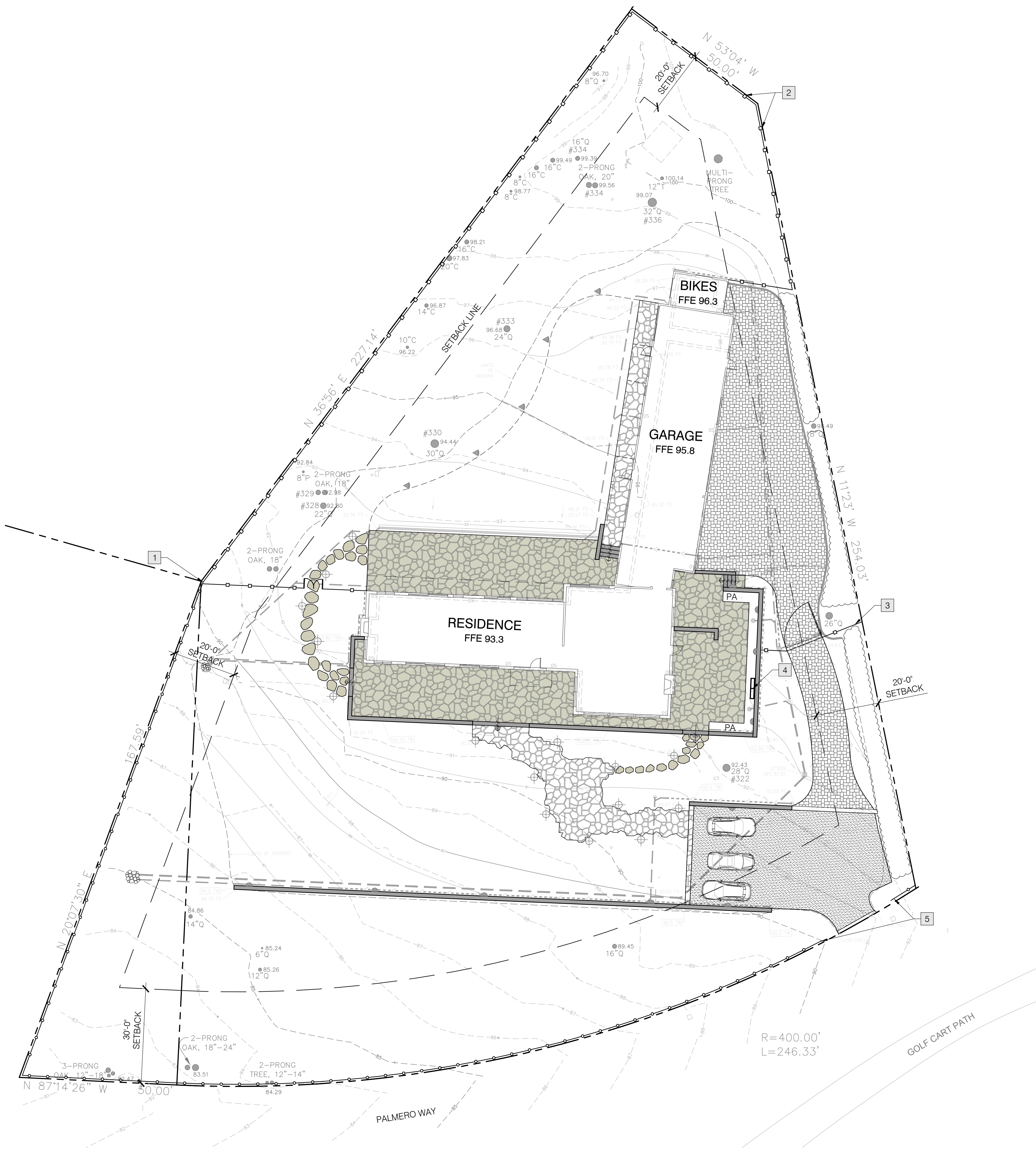
SUBMITTAL / REVISION	PLANNING SUBMITTAL
8/10/23	RA

Pebble Beach, California  
APN 008-423-014

**STRETCH RESIDENCE**  
**1535 PALMERO WAY**  
**TEMPORARY EROSION AND SEDIMENT CONTROL PLAN**

SCALE:	
DRAWN:	RA
JOB No.:	4436.00
SHEET	<b>C2.2</b>
OF	

PLANNING SUBMITTAL; NOT FOR CONSTRUCTION



**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- 6'-0" GRAPE STAKE FENCE
- SPLIT RAIL FENCE
- METAL HEADER
- COBBLESTONE DRIVEWAY - PERMEABLE
- FLAGSTONE - PERMEABLE
- FLAGSTONE - IMPERMEABLE
- GRAVEL - PERMEABLE
- STEPPING STONES
- LANDSCAPE STEPS
- EXISTING TREE LOCATION
- EXISTING TREE DIAMETER
- PA PLANTING AREA
- EXTERIOR LIGHT FIXTURES, REFER TO CONCEPTUAL LIGHTING PLAN, SHEET L4.0

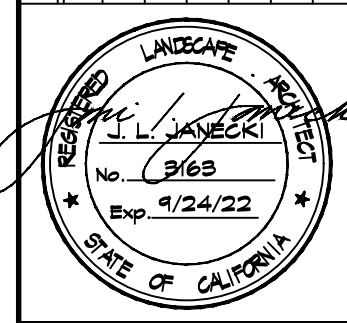
**KEY NOTES**

- 1 END SPLIT RAIL FENCE. BEGIN 6'-0" TALL GRAPE STAKE FENCE
- 2 LOCATE GRAPE STAKE FENCE ON PROPERTY LINE
- 3 5'-0" TALL FENCE AND AUTOMATIC GATE.
- 4 WATER FEATURE
- 5 END SPLIT RAIL FENCE TO MAINTAIN VEHICULAR SIGHT LINES FROM DRIVEWAY.

**NOTES**

1. PROTECT EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION.
2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR COVERAGE TABLE, GRADING AND DRAINAGE.

REVISIONS AND RECORD OF ISSUE:	
NO.	DATE
1.	
2.	
3.	
4.	
5.	
6.	



**JONI L. JANECKI & ASSOCIATES**  
 515 SWIFT ST. SANTA CRUZ CA 95060  
 PHONE 831 423 6040 | WWW.JLJA.COM  
 California Landscape Architect License 3163

**PALMERO WAY**  
**1535 PALMERO WAY**  
**PEBBLE BEACH CA, 93953**  
**APN: 008-423-014**

PROJECT:

SHEET TITLE:  
**CONCEPTUAL LANDSCAPE PLAN**

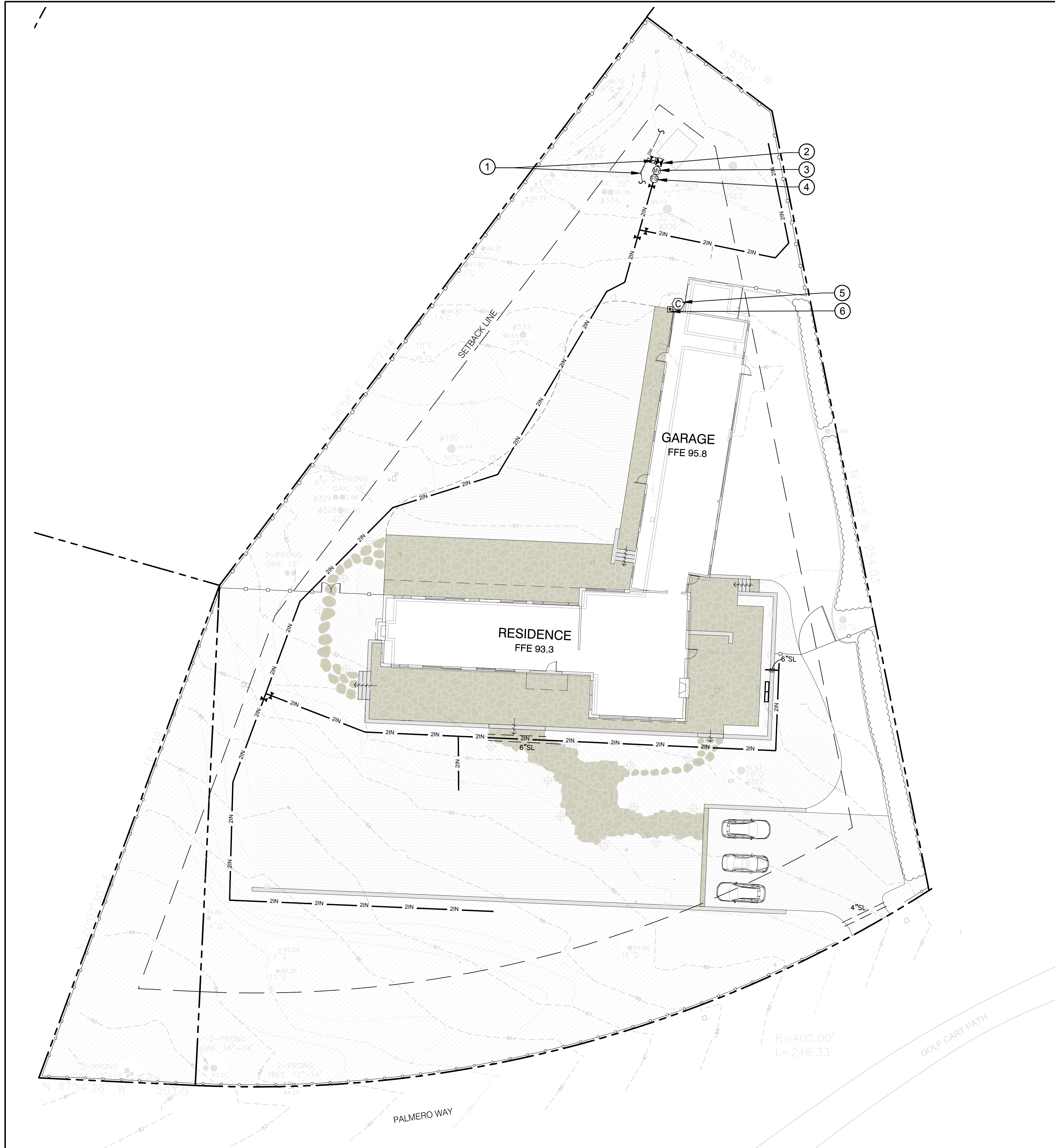
SCALE: AS SHOWN  
 DRAWN BY: M/M/O  
 DATE: 08/10/2023



**NOT FOR CONSTRUCTION** ORIGINAL SHEET SIZE: 24" X 36"

L1.0

T:\PROJECTS\REGISTRATION\130-135-Beaches\W\Chromas\Beaches Landscape.dwg, 11.8.08/10/2023 1:17:08 PM, Autodesk, DWG To PDF Plot, AECOutputPlotD, 0.00, 2400, 1, 1



**PLAN NOTES LEGEND**

- ① CONNECTION OF IRRIGATION SYSTEM SHALL BE DETERMINED IN THE FIELD BY LANDSCAPE CONTRACTOR, CONNECTION SHALL BE TO DOMESTIC WATER LINE FROM RESIDENCE AT THIS APPROXIMATE LOCATION PLUMBER TO PROVIDE 2" STUB-OUT AND GATE VALVE COORDINATE PRIOR TO CONSTRUCTION. MAXIMUM IRRIGATION DEMAND: 18 GPM AT 65 PSI STATIC PRESSURE AT MAINLINE CONNECTION TO DOMESTIC WATER LINE. CONTRACTOR TO FIELD VERIFY THE PRESSURE PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE IF THE PRESSURE IS DIFFERENT THAN NOTED.
- ② BACKFLOW FOR IRRIGATION BY LANDSCAPE CONTRACTOR. REFER TO IRRIGATION LEGEND.
- ③ MASTER CONTROL VALVE (LINE SIZE) WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO IRRIGATION LEGEND.
- ④ FLOW SENSOR. WIRE TO CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS. REFER TO IRRIGATION LEGEND.
- ⑤ IRRIGATION CONTROLLER "C". WALL MOUNT AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION. ELECTRICAL CONTRACTOR TO INSTALL 1.5" CONDUIT WITH PULL CORD FOR 2-WIRE CABLE.
- ⑥ WIRELESS WEATHER SENSOR AND RAIN SENSOR. MOUNT ON EVE OF HOUSE. INSTALL SENSOR OPEN TO THE SKY. COORDINATE AND CONFIRM EXACT LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**NOTES:**

- 1. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- 2. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
- 3. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:
 

.75"	0-6 GPM
1"	7-12 GPM
1.25"	13-20 GPM
1.5"	21-32 GPM
2"	33-50 GPM
- 4. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 

.75"	0-500 FT
1"	501-1100 FT
1.25"	1101-2000 FT
1.5"	2001-3000 FT
- 5. EACH DRIP ZONE SHALL RECEIVE A SET OF AIR VENT/VACUUM RELIEF VALVE AT THE HIGHS POINT AND FLUSH VALVES AND OPERATION INDICATOR AT FARTHEST ENDS OF EACH SYSTEM.
- 6. CONTRACTOR SHALL INSTALL ALL IRRIGATION PIPING AND DRIPLINE TO GO AROUND ALL UTILITY BOX, LIGHTS, AND SIGNS. (DRAWINGS ARE DIAGRAMMATIC).
- 7. MAINLINE, LATERAL LINE AND REMOTE CONTROL VALVE MAY BE SHOWN OUTSIDE PLANTER FOR GRAPHIC CLARITY. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN PLANTING AREAS. (TYPICAL)
- 8. LOCATE REMOTE CONTROL VALVE BOXES AWAY FROM PROMINENT, HIGHLY VISIBLE LOCATIONS. CONTACT LANDSCAPE ARCHITECT FOR EXACT LOCATIONS.

CONTRACTOR SHALL INSTALL CHECK VALVES, AS REQUIRED, IN LATERAL LINES WHERE THERE IS AN ELEVATION DIFFERENCE OF 10 FEET.



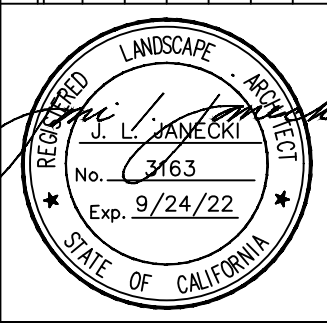
CALL BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT

**RMA**  
RUSSELL D. MITCHELL  
& ASSOCIATES, INC.  
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2760 Camino Diablo  
Walnut Creek, CA 94597  
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ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE:	
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**JONI L. JANECKI**  
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California Landscape Architect License 3163

**PALMERO WAY**  
1535 PALMERO WAY  
PEBBLE BEACH CA, 93953  
APN: 008-423-014

PROJECT:  
**CONCEPTUAL IRRIGATION PLAN**

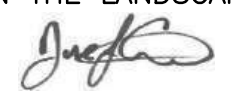
SHEET TITLE:  
**CONCEPTUAL IRRIGATION PLAN**

SCALE: AS SHOWN  
DRAWN BY: JC  
DATE: 08/10/2023

**IRRIGATION NOTES**

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER. A WRITTEN STATEMENTS SHALL BE PROVIDED BY CONTRACTOR TO THE LANDSCAPE ARCHITECT THAT THE MEETING HAVE TAKING PLACE.
- INSTALL 2-WIRE CABLE ALONG THE MAIN LINE. CONTACT CONTROLLER REPRESENTATIVE FOR A PRE-CONSTRUCTION MEETING.
- INSTALL 2-WIRE CABLE WITHIN 1.25" CONDUIT WITH LONG SWEEPS IN AND OUT OF EACH VALVE BOX. SEAL ALL CONDUIT OPENINGS WITH WATERPROOF FOAM.
- INSTALL A 14"x19" GREY ELECTRICAL PULL BOX EVERY 200' AND AT EVERY CHANGE IN DIRECTION. ONLY SPLICE TWO WIRE CABLE AT THREE WAY WIRE CONNECTIONS.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS P7354D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KIT.
- DECODER GROUNDING SHALL BE PROVIDED EVERY (500 FEET OR EVERY 8 DECODERS, WHICHEVER IS SMALLER [RAIN BIRD], 600 FEET [BASELINE, RAIN MASTER] , 750 FEET [TORO]), 300 FEET AT THE DECODER ONLY (CALSENSE), AT THE CONTROLLER AND AT THE LAST DECODER OR AT THE END OF THE 2 WIRE PATH. GROUND WITH A 5/8" X 8' COPPER CLAD GROUNDING ROD. #6 COPPER WIRE TO SURGE DEVICE/DECODER. INCLUDE A SURGE ARRESTOR AT EACH GROUNDING LOCATION. A SPLIT BOLT CONNECTION TO BE USED TO CONNECT THE SURGE DEVICE TO THE GROUND WIRE WITH A DBR/Y-6 WATERPROOF CONNECTOR.
- SPLICING OF JACKETED 2-WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 24" LONG COIL OF WIRE AT EACH SPLICE AND A 24" LONG EXPANSION LOOP IN ALL PULL BOXES.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION CONTROL VALVE". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE, AND PROVIDE 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL WITHIN DRIPLINE AREAS UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- VERIFY LOCATIONS OF ALL IRRIGATION COMPONENTS INSTALLED WITHIN A VALVE BOX WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. DO NOT INSTALL UNTIL LANDSCAPE ARCHITECT PROVIDES ACCEPTABLE LOCATIONS.

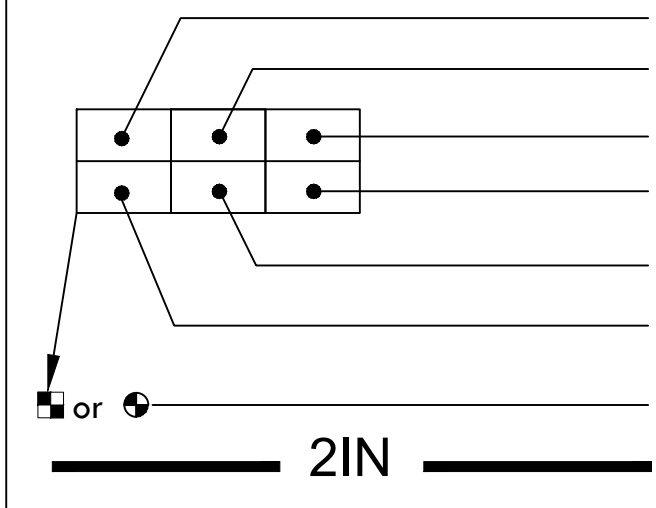
"A Landscape Irrigation Audit is require. This Audit must be completed by a Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

**WATER CONSERVATION STATEMENT**  
 RUSSELL D MITCHELL AND ASSOCIATES, INC. (RMA) HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
  
 JOSE L. CRUZ  
 IRRIGATION CONSULTANT-PROJECT MANAGER

**IRRIGATION LEGEND**

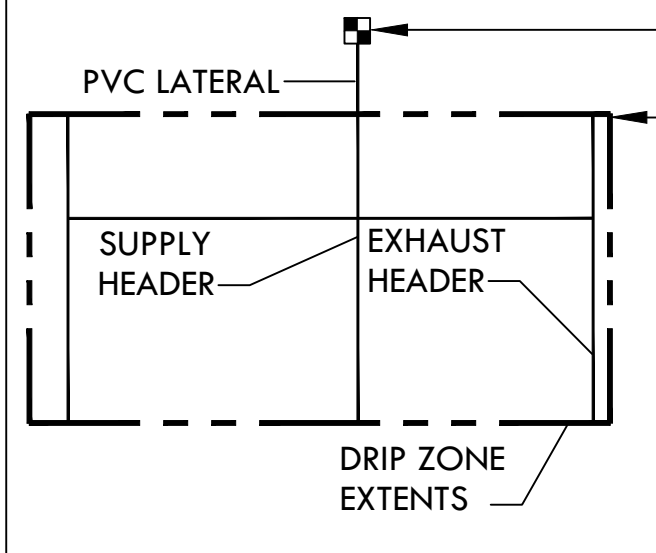
SYMBOL	MODEL NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	570Z-6P-PRX-COM/ O-T-15FP,15HP,15QP	TORO POP-UP SPRAY SPRINKLER (TURF)	2.3,1.2,0.6	30	12-15
	570Z-6P-PRX-COM/ O-T-12FP,12HP,12QP	TORO POP-UP SPRAY SPRINKLER (TURF)	1.5,0.75,.37	30	10-12
	570Z-6P-PRX-COM/ O-T-10FP,10HP,10QP	TORO POP-UP SPRAY SPRINKLER (TURF)	1,0.5,0.23	30	8-10
	HDL-06-12	ON GRADE HDL DRIPLINE WITH 12" O.C. EMITTER DRIP RING FOR TREES (3 RINGS PER TREE) SEE DETAIL	0.10	30	TRICKLE
	PGV-101G	HUNTER REMOTE CONTROL VALVE			
	PCZ-101-40	HUNTER REMOTE CONTROL DRIP KIT WITH 40 PSI REGULATOR			
	WLT-0500-T	NDS SCH 40 BALL VALVE OR APPROVED EQUAL			
	ECO-ID	HUNTER ECO-INDICATOR			
	KC OR KSC	NDS KSC SERIES CHECK VALVE FOR UPHILL FLOW DIRECTION OR KC SERIES SPRING CHECK VALVE FOR DOWNHILL FLOW DIRECTION (LINE SIZE)			
	T-FP600A-LF	NIBCO BRASS BALL VALVE (LINE SIZE)			
	975XLSEU-1"/PBB-20	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY WITH FREEZE BLANKET.			
	ICV-	HUNTER MASTER VALVE-(LINE SIZE) (NORMALLY CLOSED)			
	HC-100-FLOW	HUNTER 1" FLOW METER (0.3 - 30 GPM)			
	HCC-800-PL	HUNTER HCC (54) STATION CONTROLLER IN A PLASTIC WALL MOUNTED ENCLOSURE WITH AN EZ DECODER SYSTEM.			
-	EZ-1	HUNTER SINGLE STATION DECODER (1 PER VALVE)			
-	EZ-DM	HUNTER DECODER OUTPUT MODULE FOR HCC CONTROLLERS			
-	HC-PLAN-ENTHUSIAST	HUNTER HYDRAWISE SOFTWARE			
-	NOT SHOWN ON PLANS	ROUTE TWO WIRE CABLE TO ALL REMOTE CONTROL VALVES. SIZE #14AWG WIRE WITH A JACKETED 2-CONDUCTOR. PREFERRED WIRE MAKE AND MODEL IS PAIGE ELECTRIC WIRE P7072D. ALL SPLICING SHALL BE MADE WITH 3-M DBR/Y-6 WATERPROOF SPLICE KITS OR APPROVED EQUAL. INSTALL 2 WIRE CABLE WITHIN 1.25" SCH 40 ELECTRICAL CONDUIT. PULL BOXES SHALL BE LOCATED EVERY 200' NO SPLICES ARE ALLOWED BETWEEN VALVES. REFER TO DETAIL FOR INSTALLATION INSTRUCTIONS. WIRELESS RAIN-CLIK SENSOR AND RECIEVER MOUNTED ON THE CONTROLLER ENCLOSURE. CONTROLLER AND STATION NUMBER REMOTE CONTROL VALVE SIZE (IN INCHES) FLOW (GPM) WATER USE CLASSIFICATION OF ZONE APPLICATION RATE (IN/HR) or DRIPLINE SPACING AREA (SQ. FT.) ASSOCIATED REMOTE CONTROL VALVE			
	WR-CLIK	WR-CLIK			



2 IN

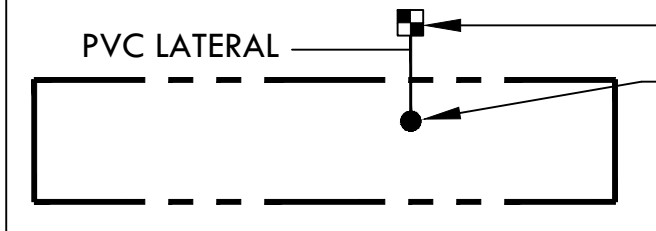


DRIPLINE REMOTE CONTROL VALVE

DRIP ZONE:

HUNTER HDL SERIES DRIPLINE WITH BUILT IN PRESSURE COMPENSATION AND CHECK VALVE, PART #HDL-06-12-250-CV. USE PLD FITTINGS. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. SIZE EXHAUST HEADERS AS FOLLOWS: 1": 0-10 GPM, 1.25": 11-20 GPM. ALL EXHAUST HEADERS SHALL BE 1" SCH 40 PVC OR 1" SCH 40 FLEXIBLE PVC. USE SCH. 40 PVC SOLVENT WELD FITTINGS. EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW IF REQUIRED. SEE DETAILS FOR FURTHER INFORMATION.



DRIPLINE REMOTE CONTROL VALVE

APPROXIMATE CONNECTION POINT BETWEEN DRIPLINE TUBING AND PVC SUPPLY WHEN DRIP ZONE IS LESS THAN 3 GPM AND NO PVC SUPPLY/EXHUST HEADERS ARE NEEDED. REFER TO DRIPLINE TUBING CONNECTION DETAIL FOR MORE INFORMATION.

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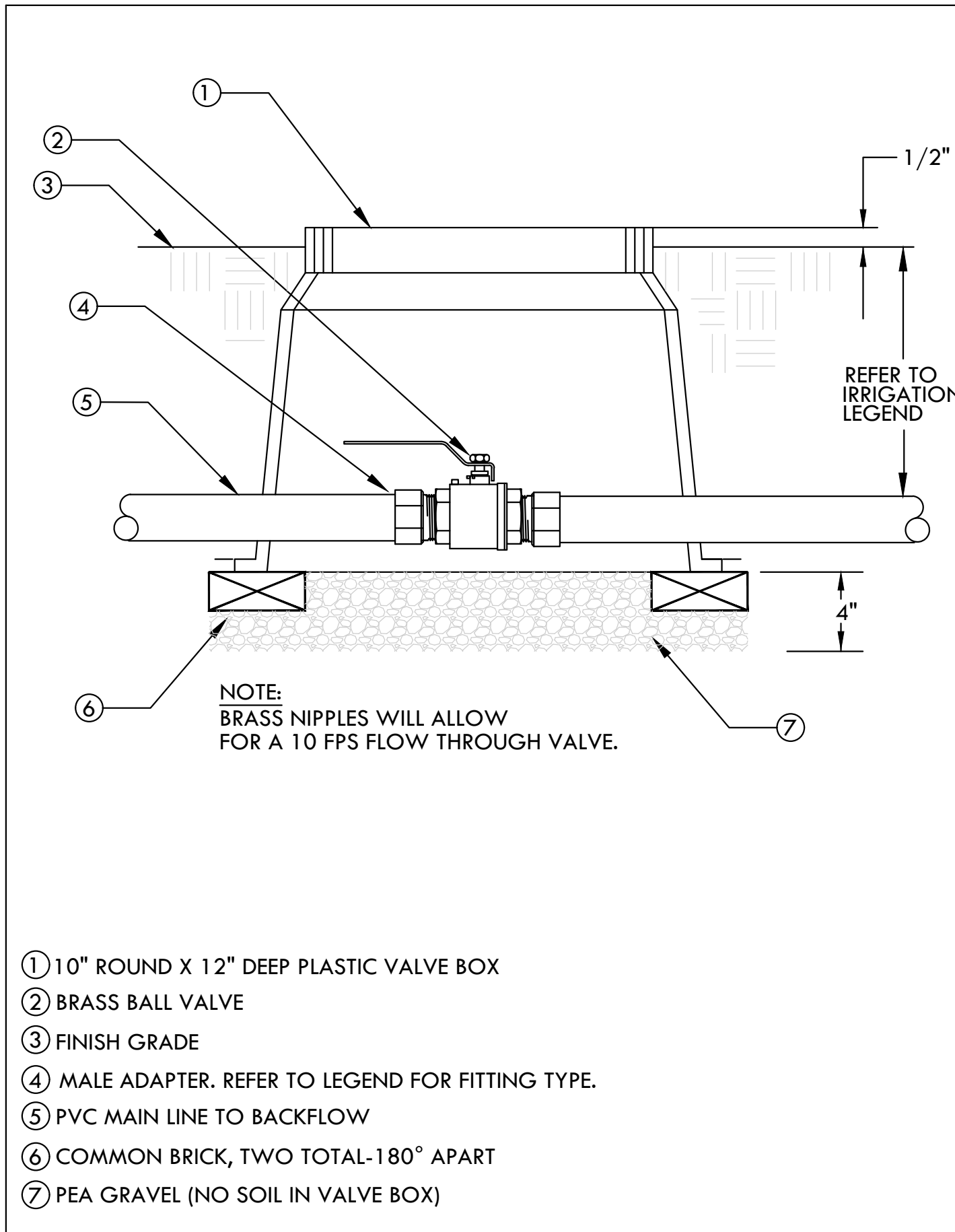
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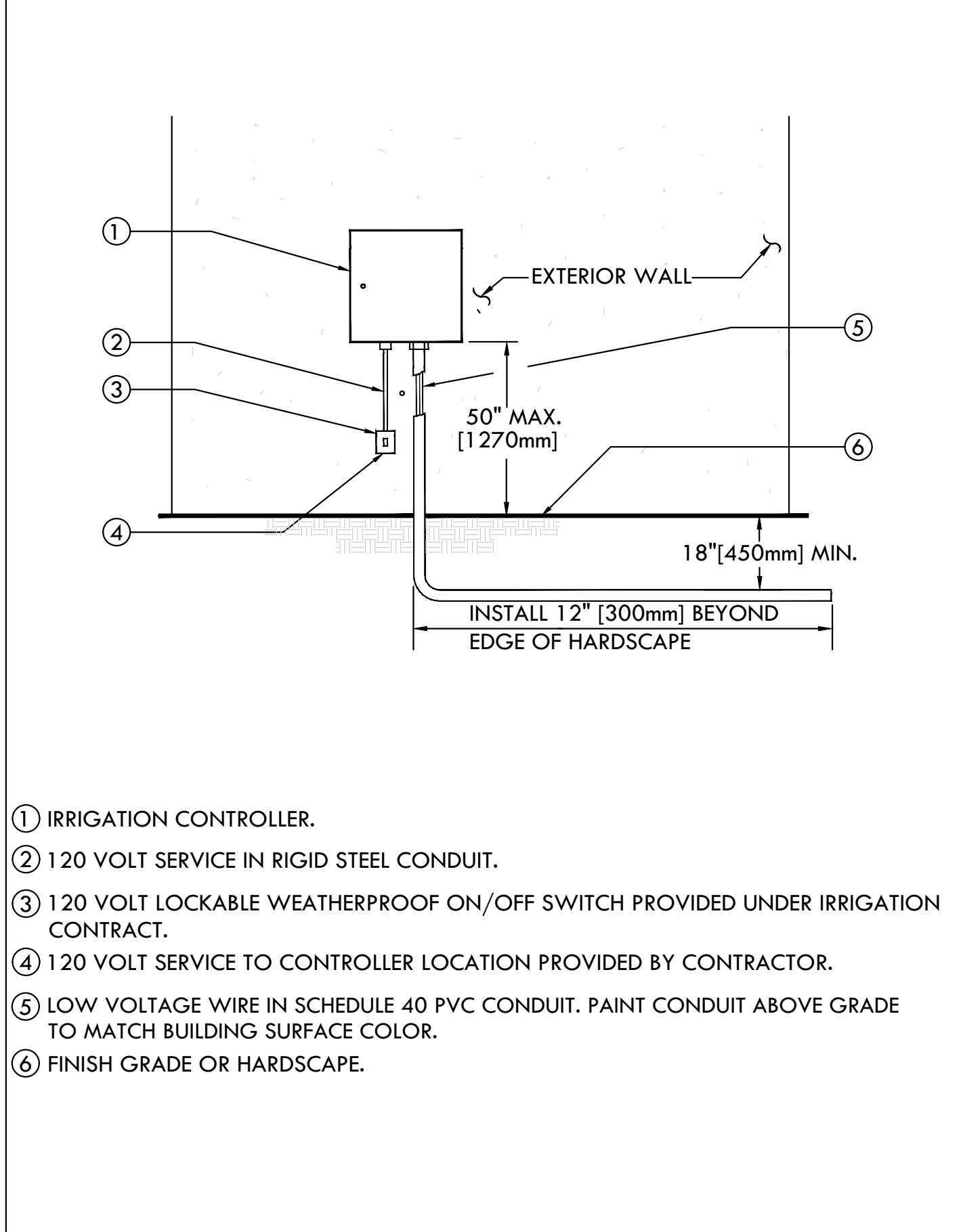
**PALMERO WAY**  
 1535 PALMERO WAY  
 PEBBLE BEACH CA, 93953  
 APN: 008-423-014

PROJECT: IRRIGATION NOTES AND LEGEND

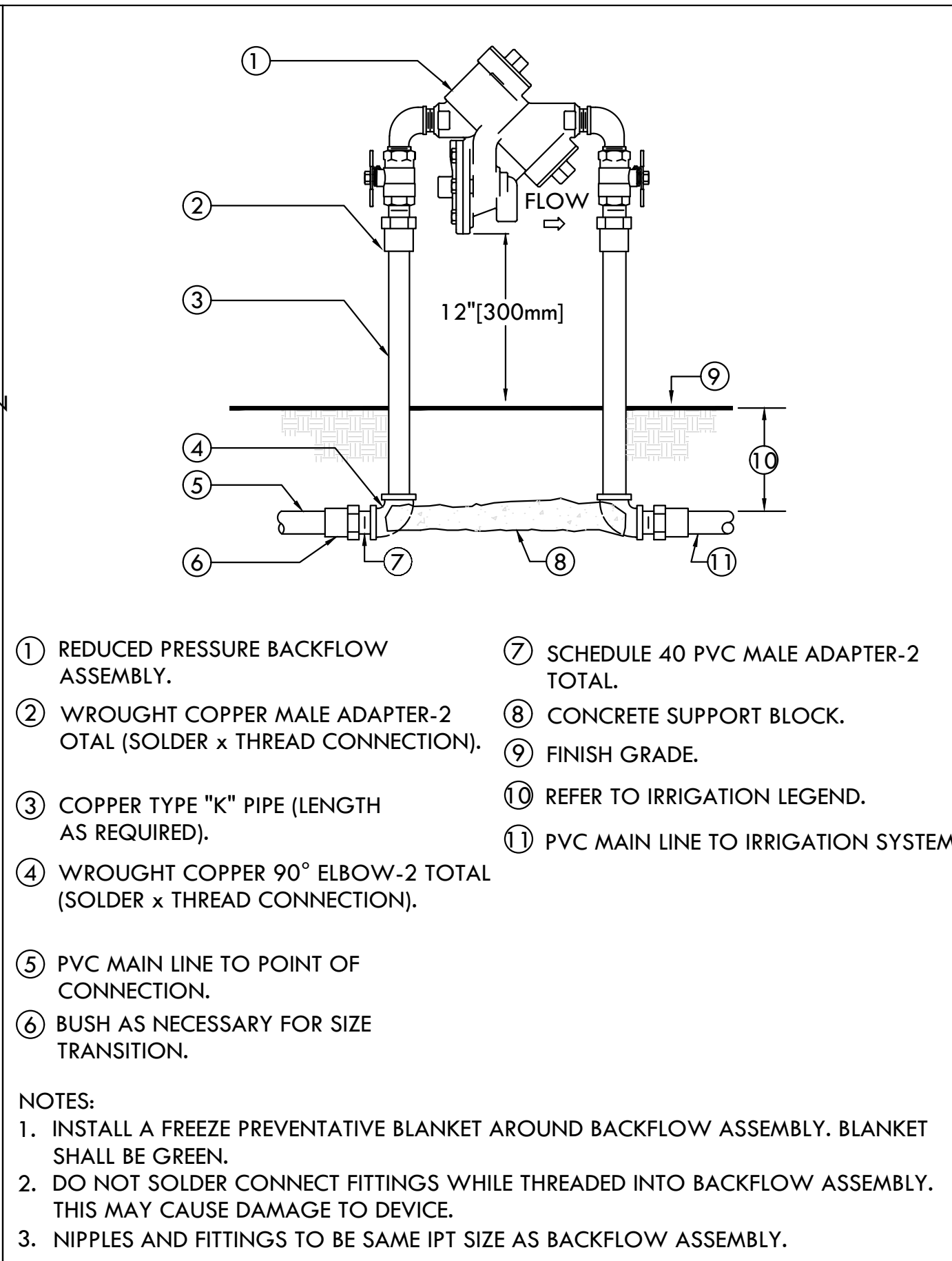
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 SCALE: AS SHOWN  
 DRAWN BY: JC  
 DATE: 08/10/2023



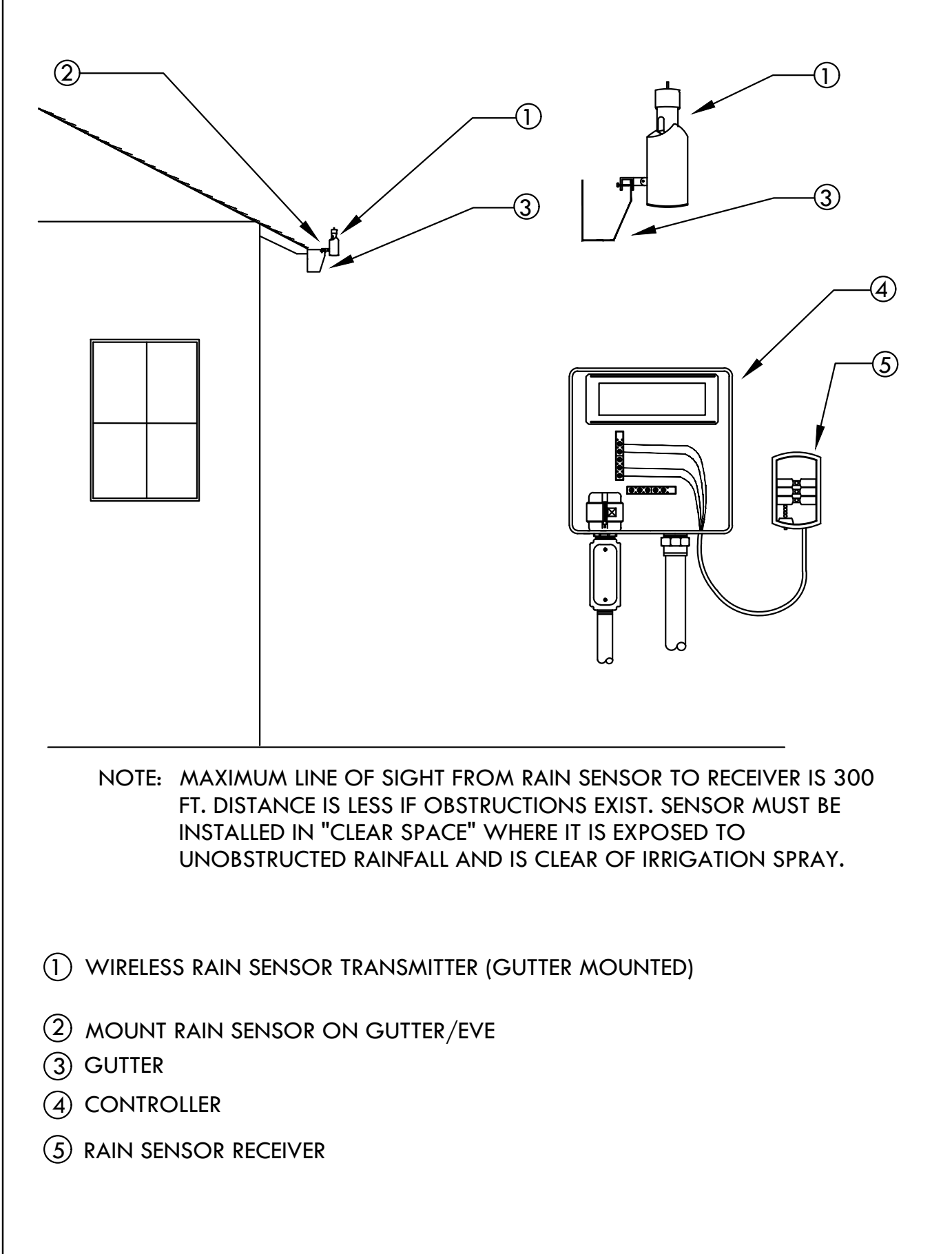
**1 BALL VALVE-BRASS**  
SCALE: NONE



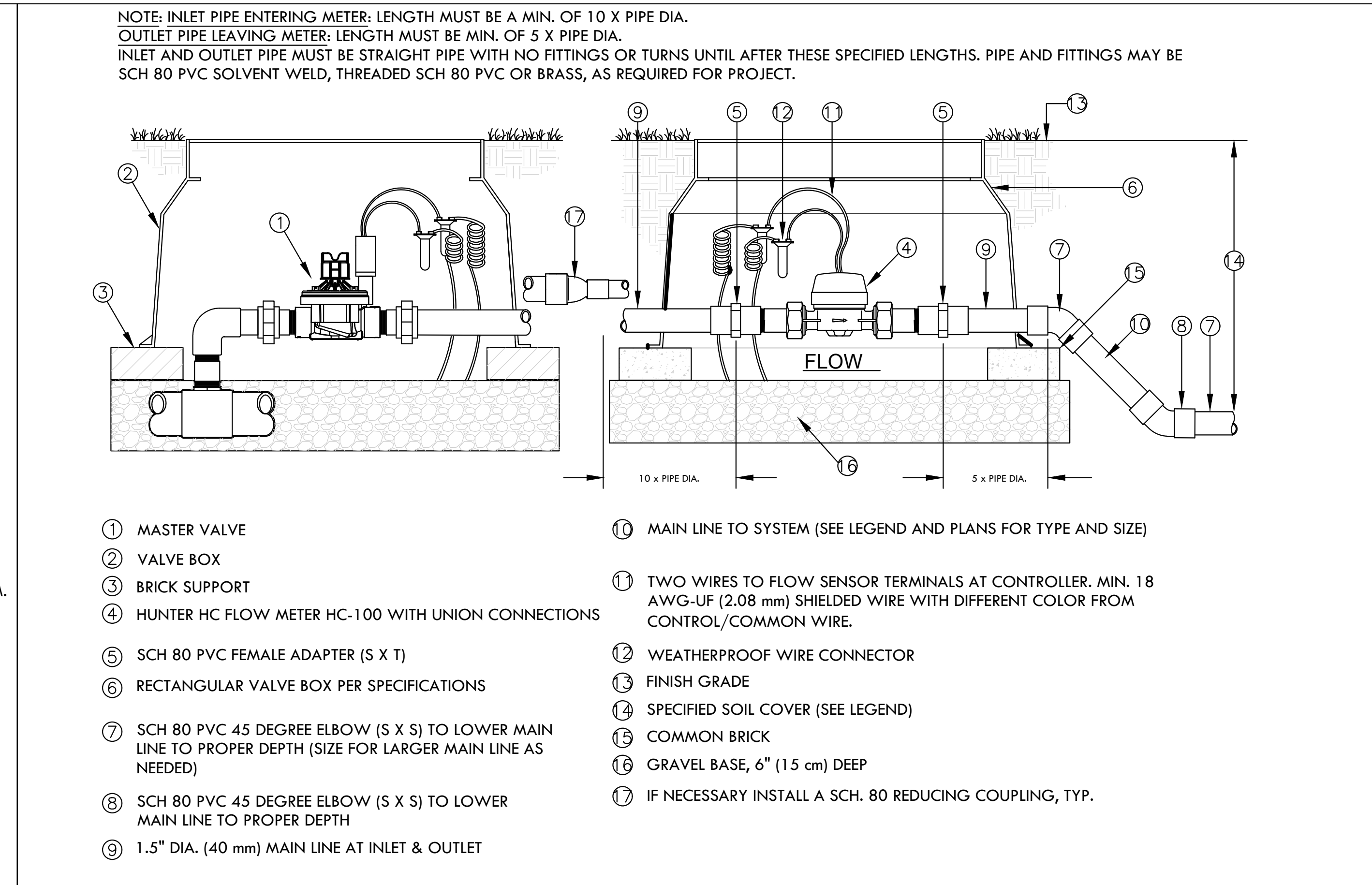
**4 CONTROLLER - EXTERIOR WALL MOUNTED**  
SCALE: NONE



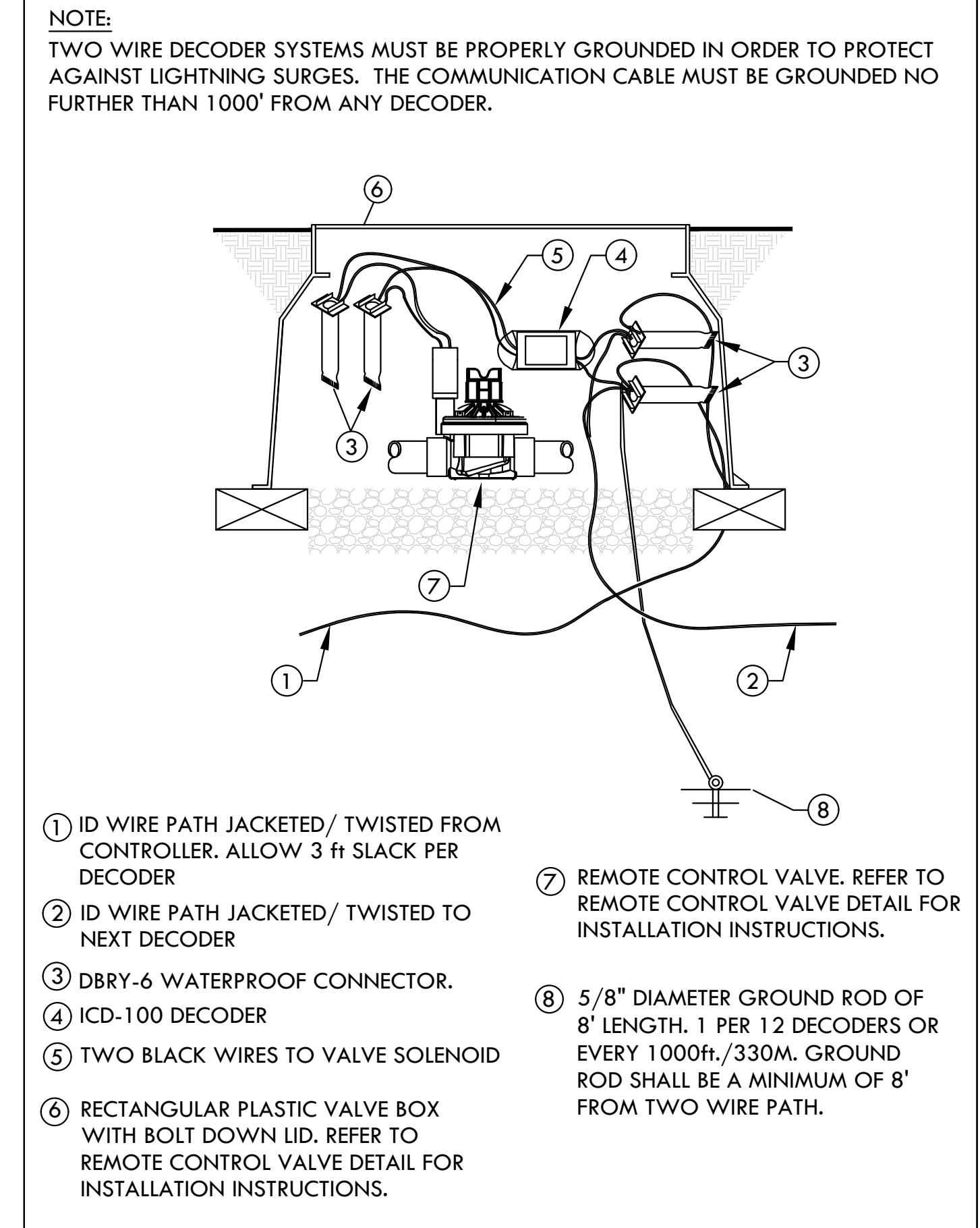
**2 REDUCED PRESSURE BACKFLOW ASSEMBLY**  
SCALE: NONE



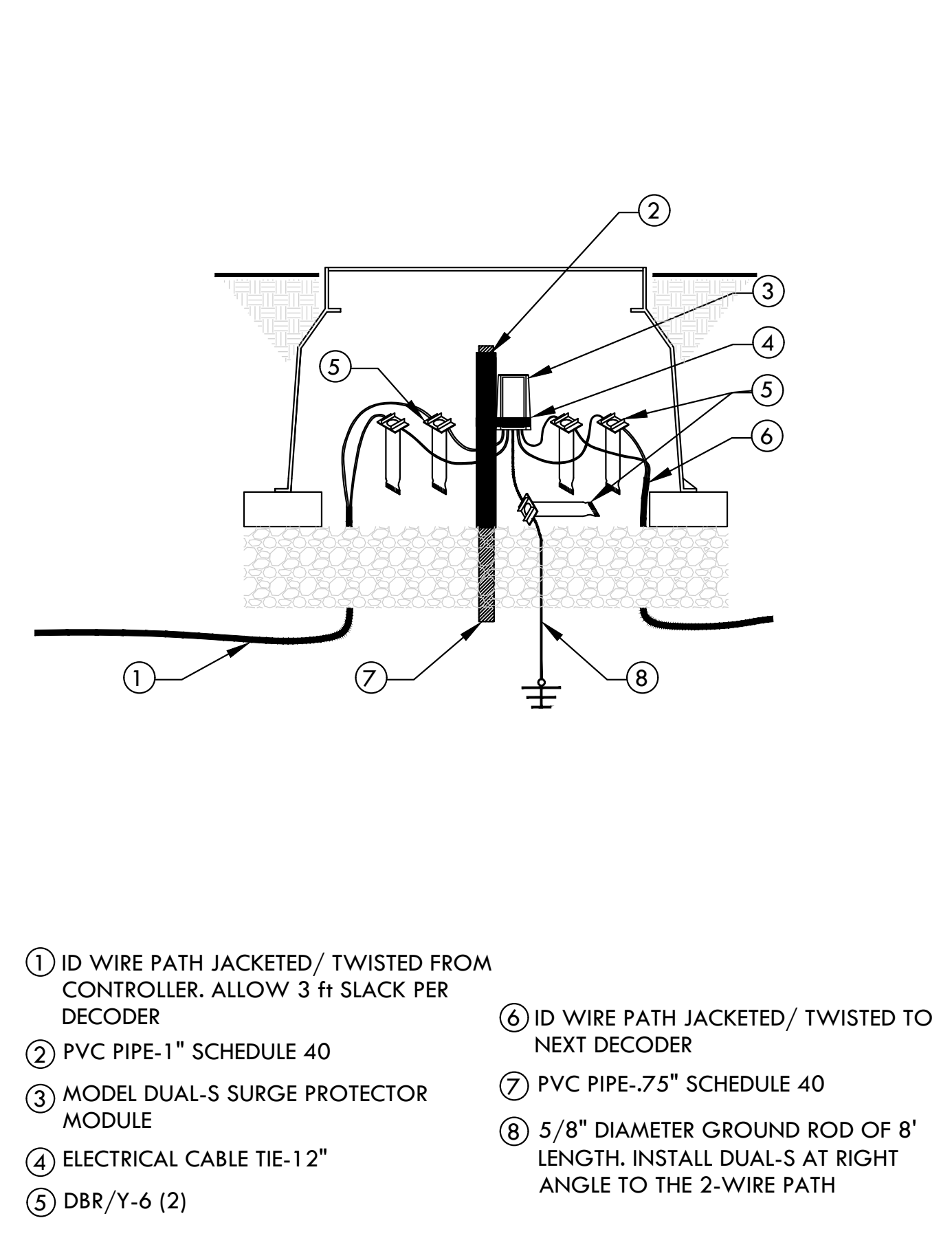
**5 WIRELESS RAIN SENSOR-GUTTER MOUNT**  
SCALE: NONE



**3 HUNTER HC-100 FLOW METER & MASTER VALVE INSTALLATION**  
Scale: NONE  
Det:



**6 HUNTER ICD DECODER**  
SCALE: NONE



**7 HUNTER DUAL-S SURGE DEVICE**  
SCALE: NONE

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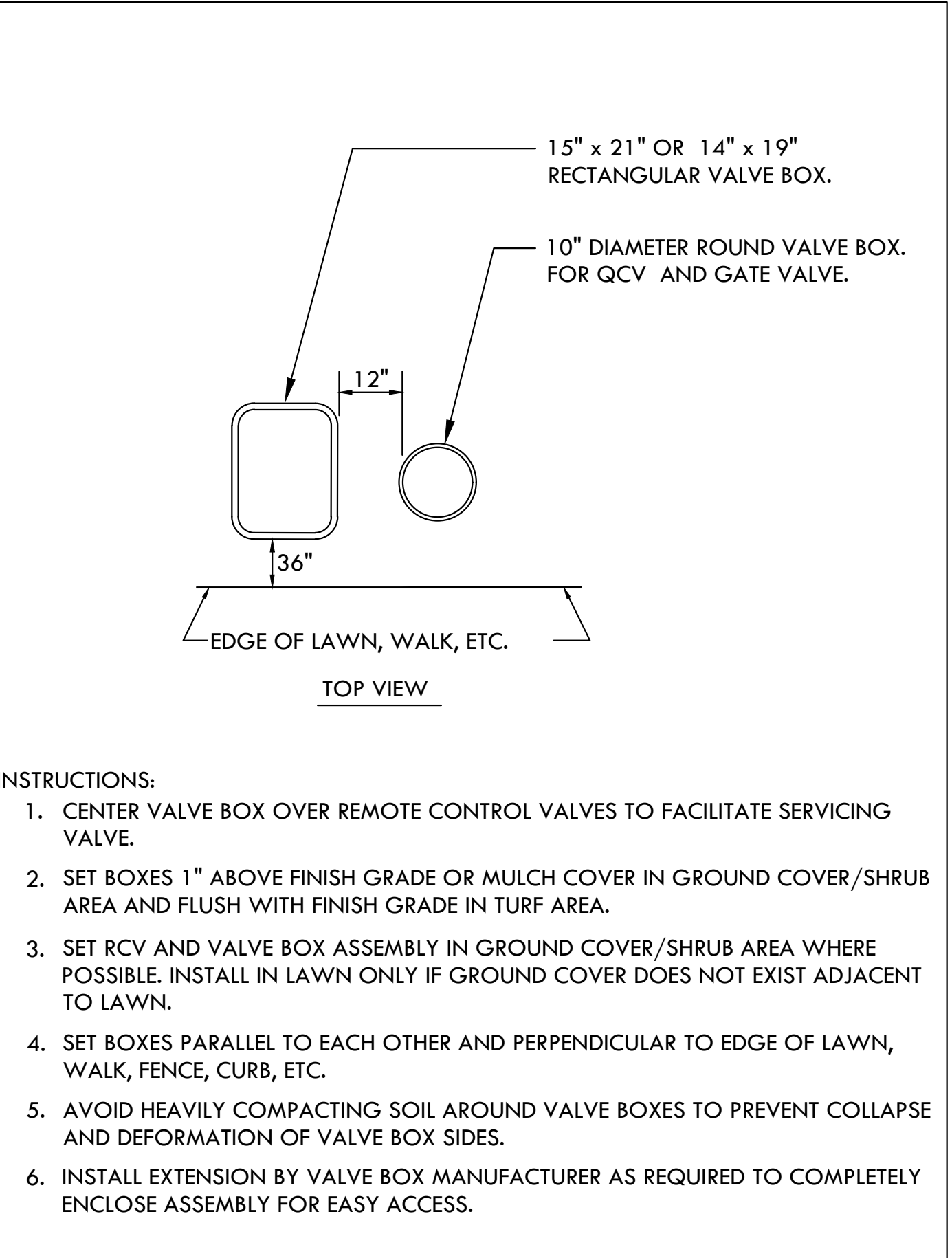
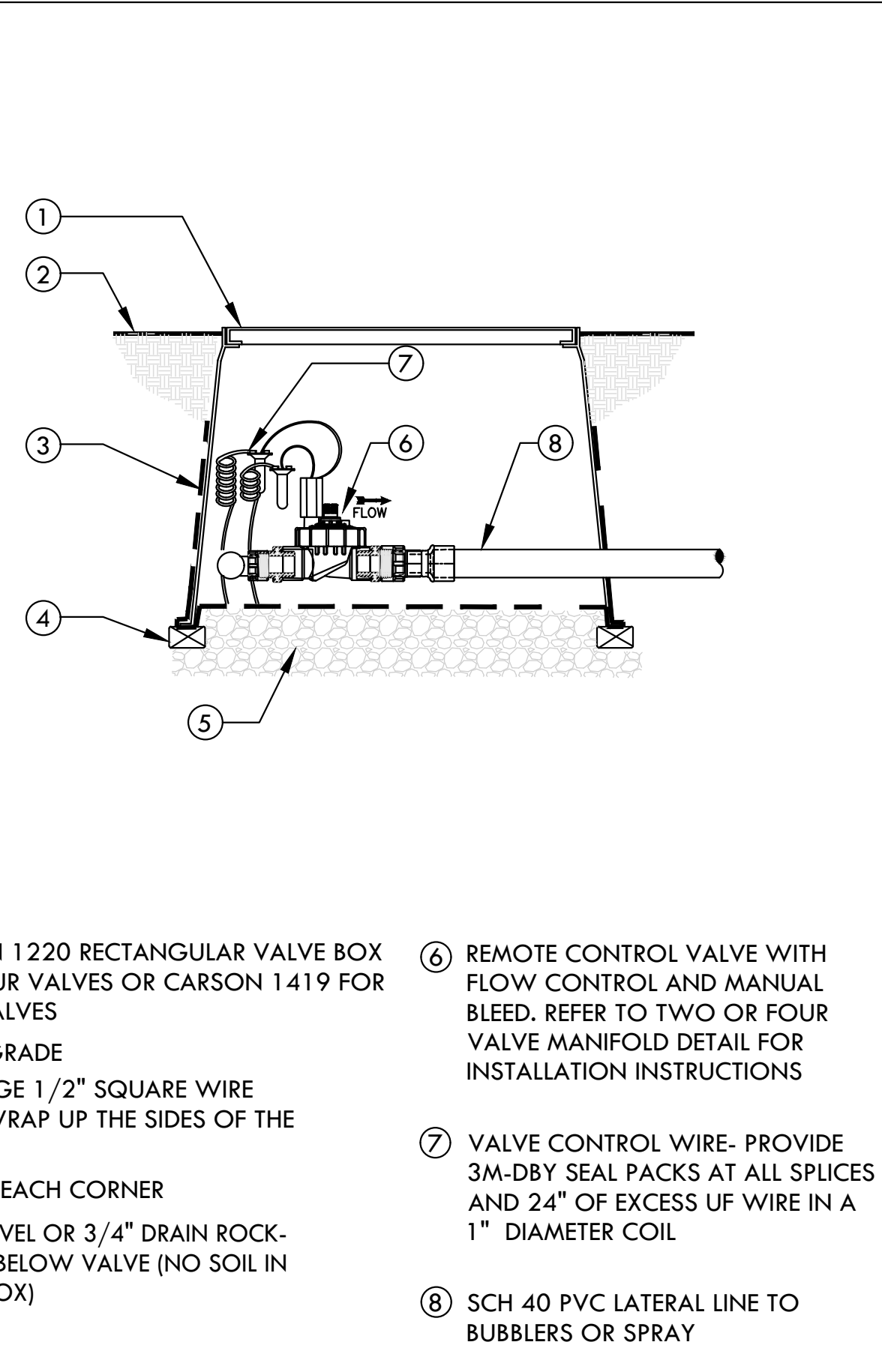
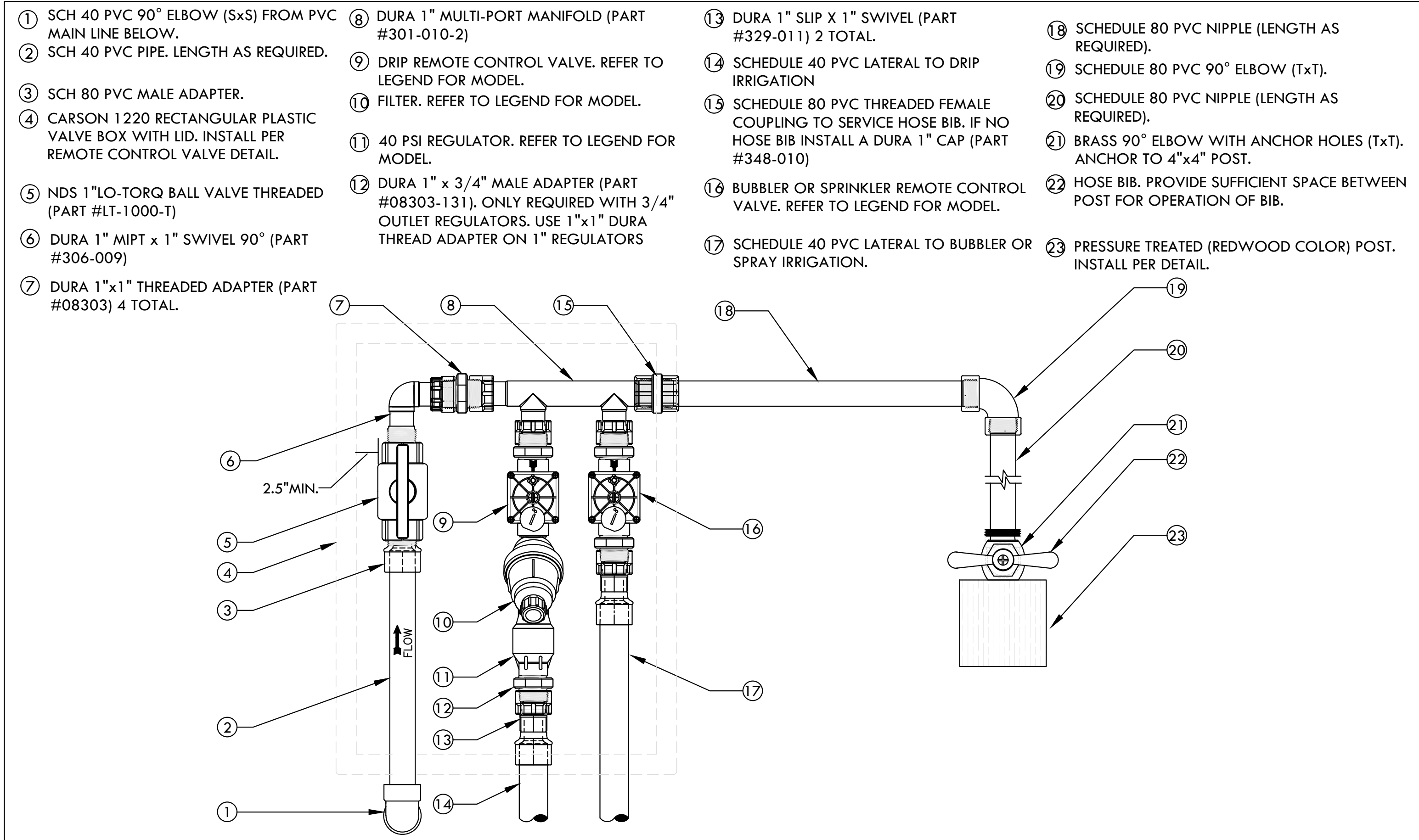
**JONI L. JANECKI & ASSOCIATES**  
515 SWIFT ST. SANTA CRUZ CA 95060  
PHONE 831 423 8040 | WWW.JLJ.AICOM  
California Landscape Architect License 3163

**LANDSCAPE ARCHITECT**  
No. 3163  
Exp. 4/24/22  
STATE OF CALIFORNIA

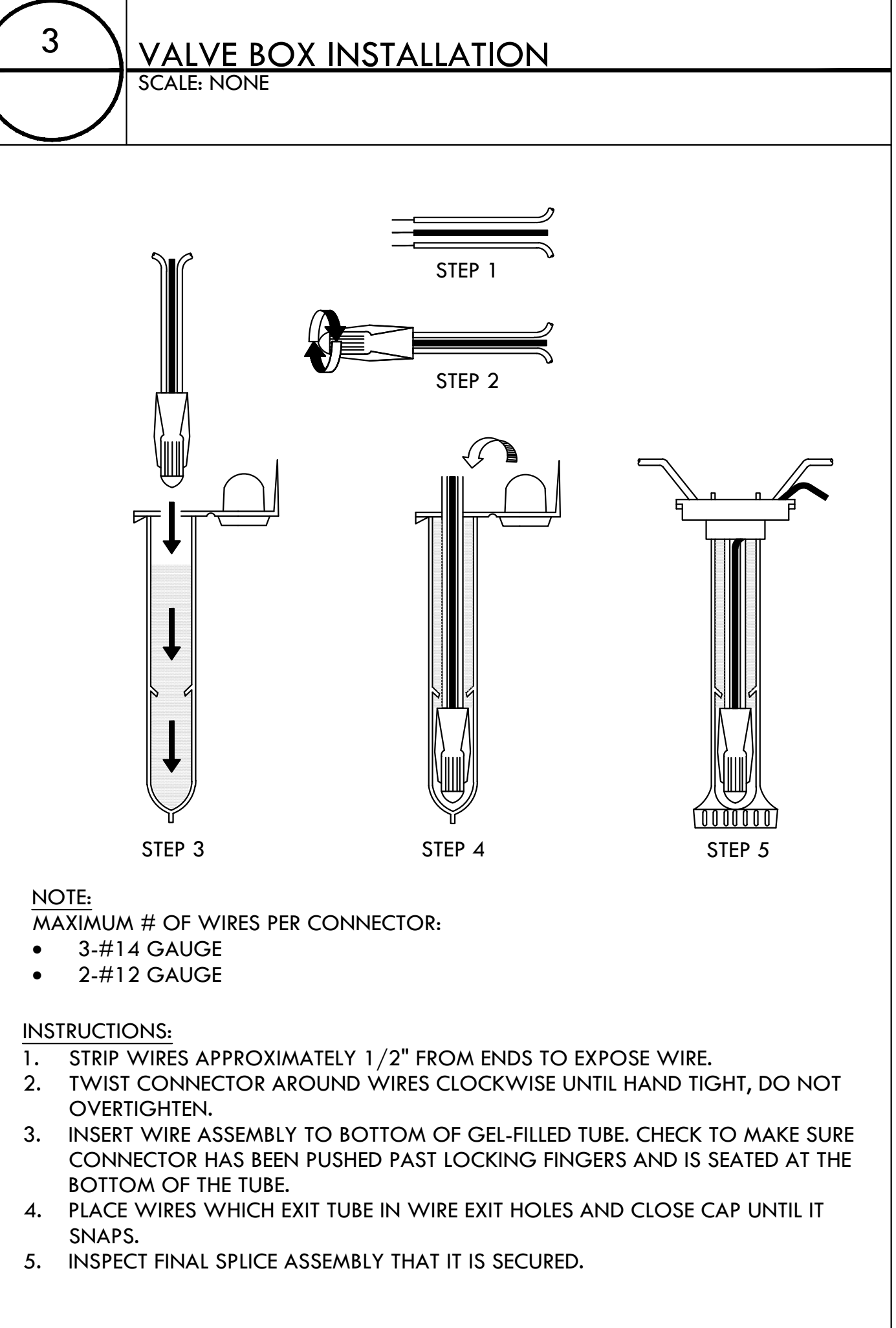
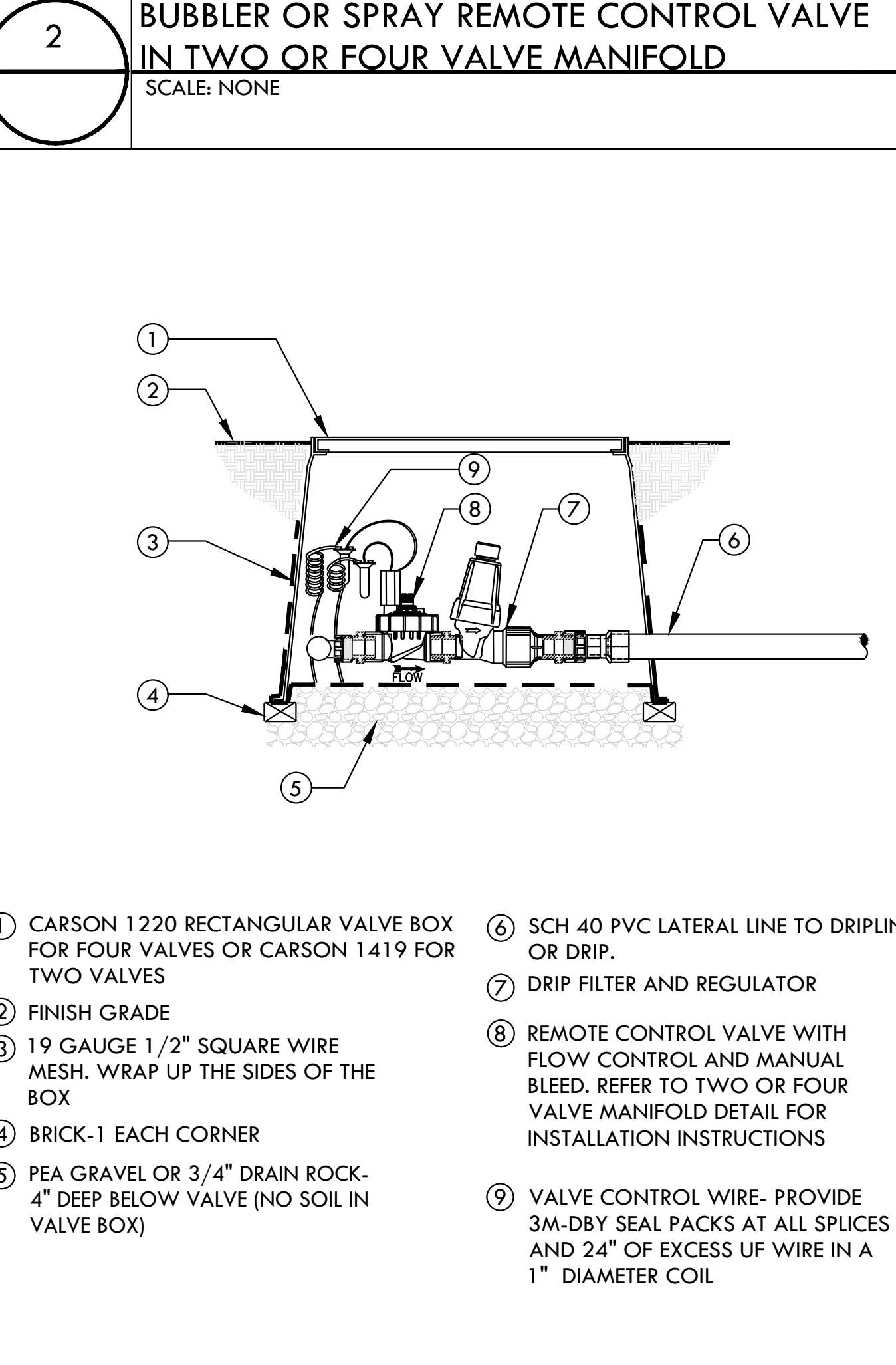
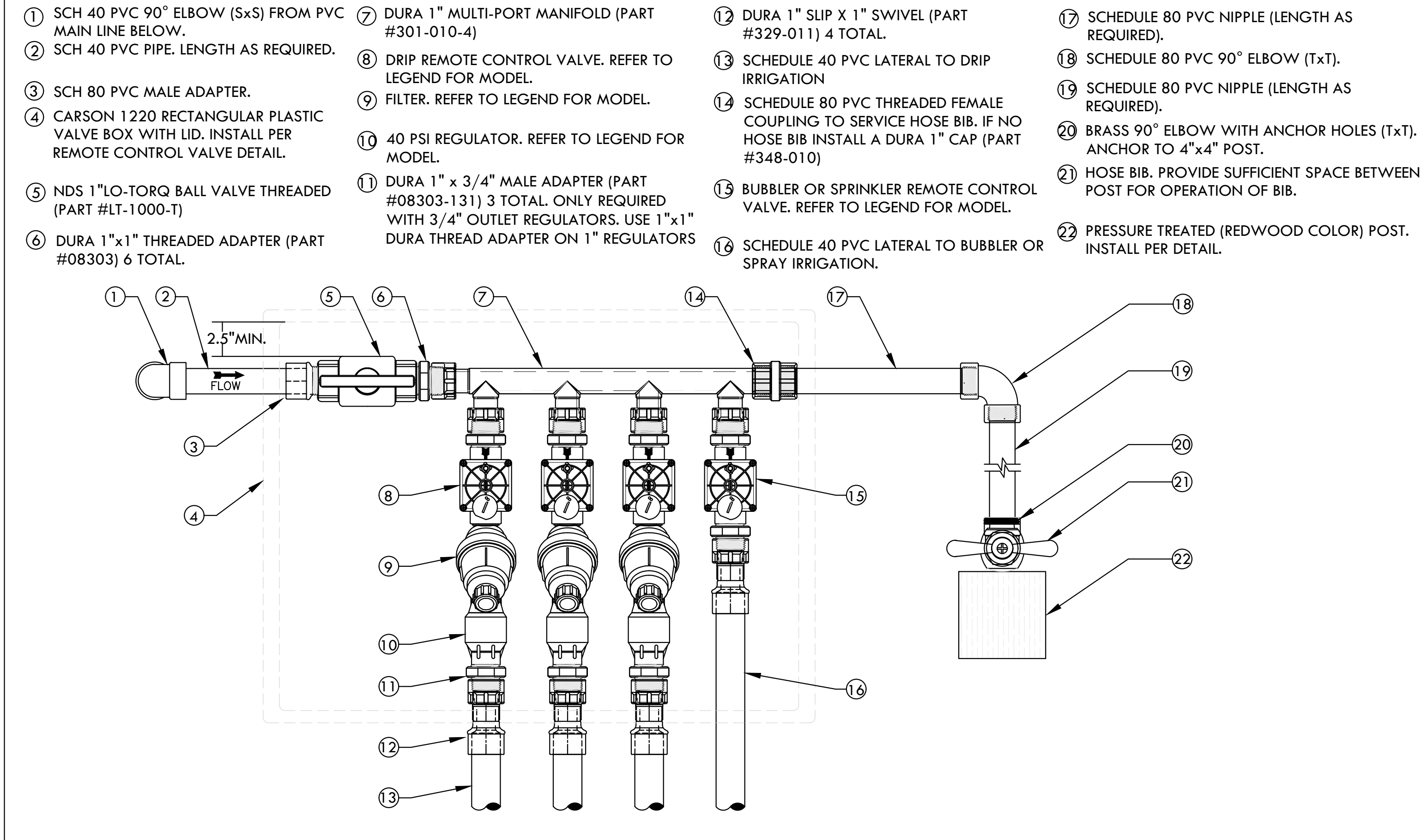
**PROJECT:**  
PALMERO WAY  
1535 PALMERO WAY  
PEBBLE BEACH CA, 93953  
APN: 008-423-014

**SHEET TITLE:**  
IRRIGATION DETAILS

SCALE: AS SHOWN  
DRAWN BY: JC  
DATE: 08/10/2023



**1 TWO REMOTE VALVE MANIFOLD DETAIL WITH HOSE BIB (1" VALVES ONLY)**  
SCALE: NONE



**4 FOUR REMOTE VALVE MANIFOLD DETAIL WITH HOSE BIB (1" VALVES ONLY)**  
SCALE: NONE

**5 DRIP REMOTE CONTROL VALVE IN TWO OR FOUR VALVE MANIFOLD**  
SCALE: NONE

**6 WEATHERPROOF WIRE SPLICE ASSEMBLY**  
SCALE: NONE

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**INSTRUCTIONS:**

- CENTER VALVE BOX OVER REMOTE CONTROL VALVES TO FACILITATE SERVICING VALVE.
- SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
- SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
- SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
- AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
- INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

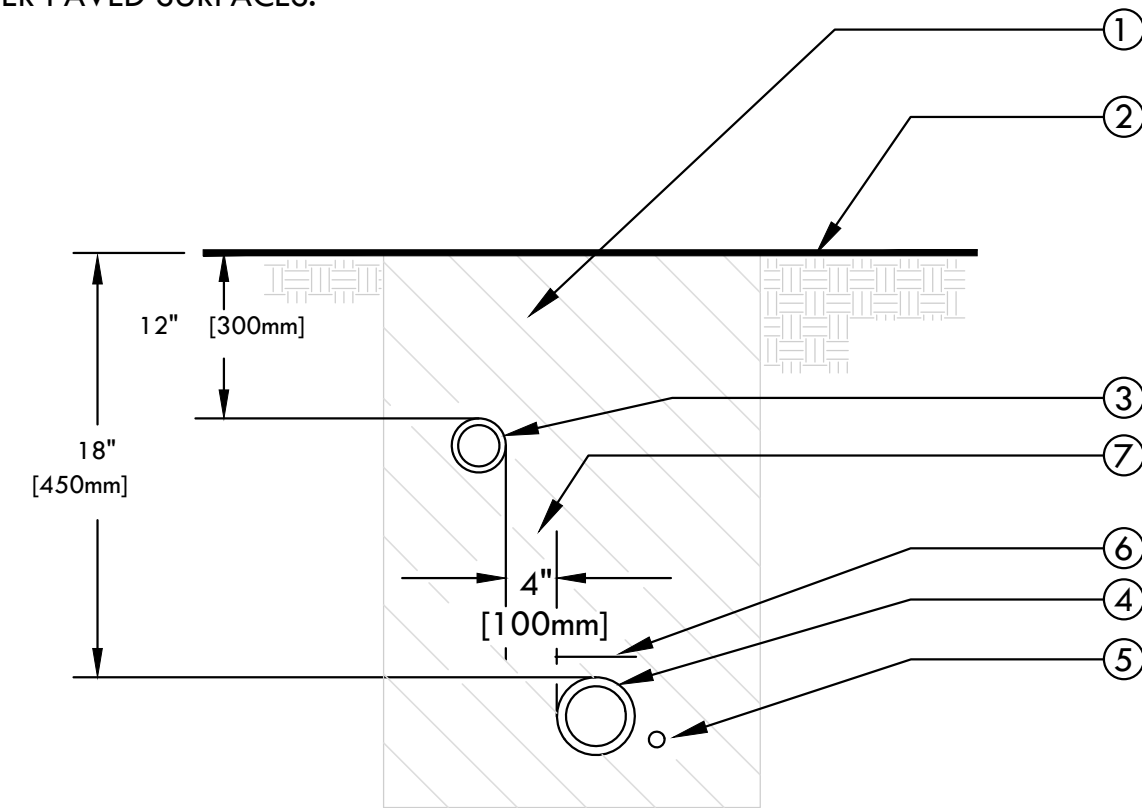
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**IRRIGATION DETAILS**

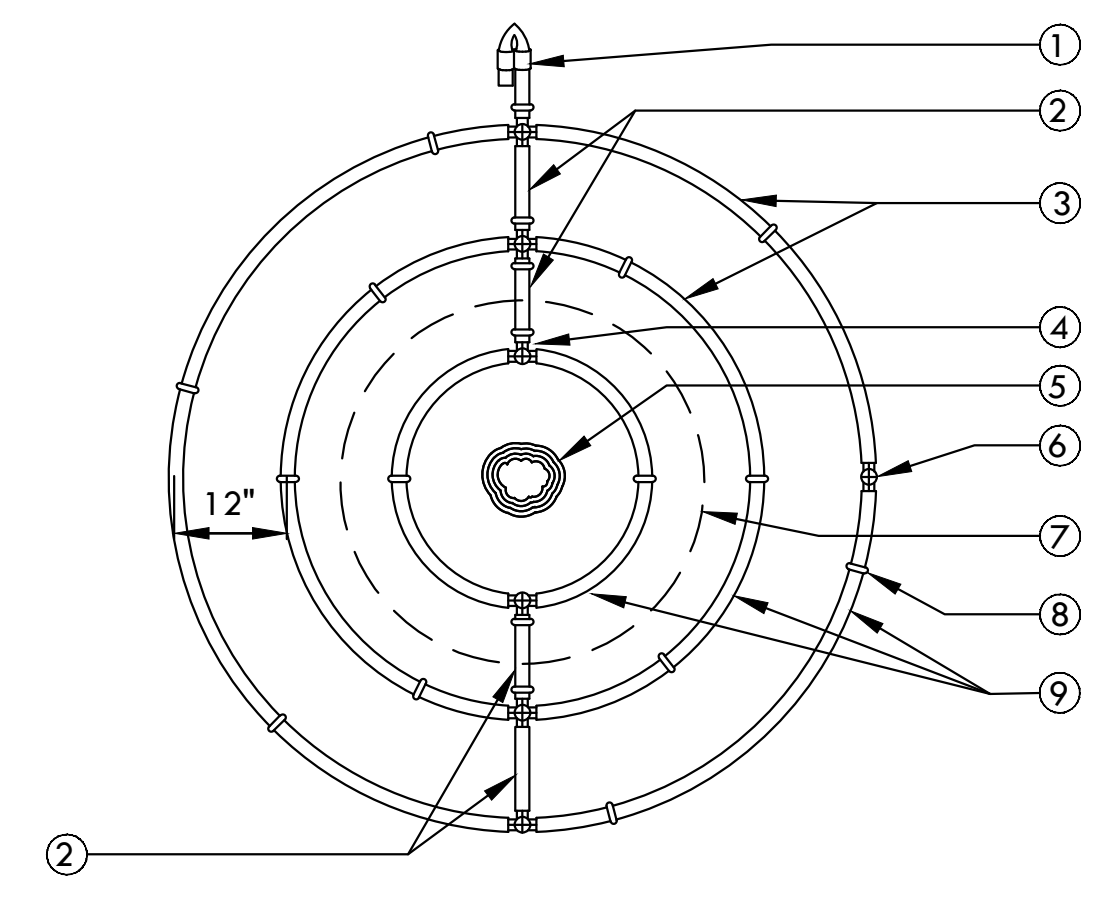
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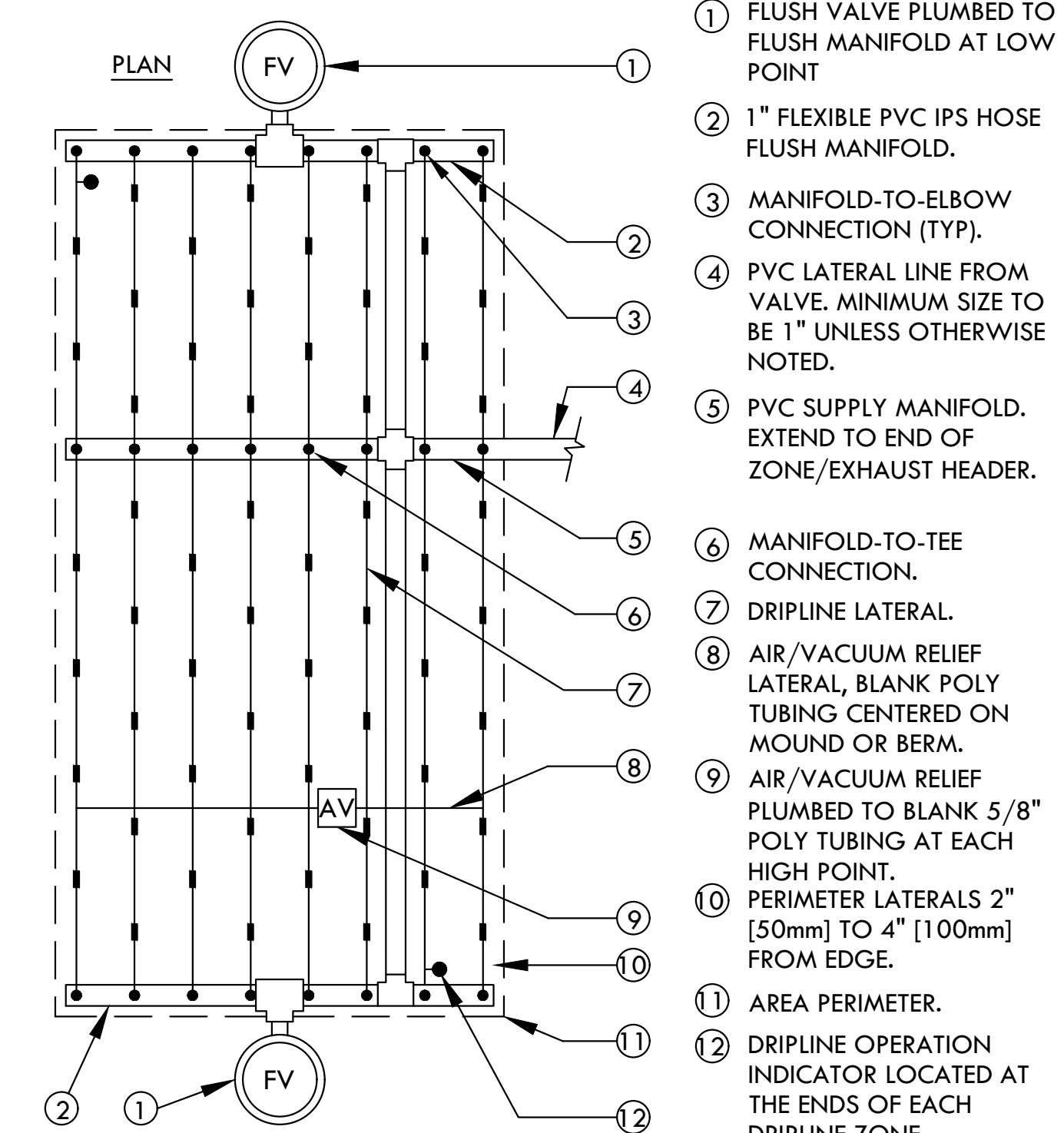
NOTES:  
 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES.



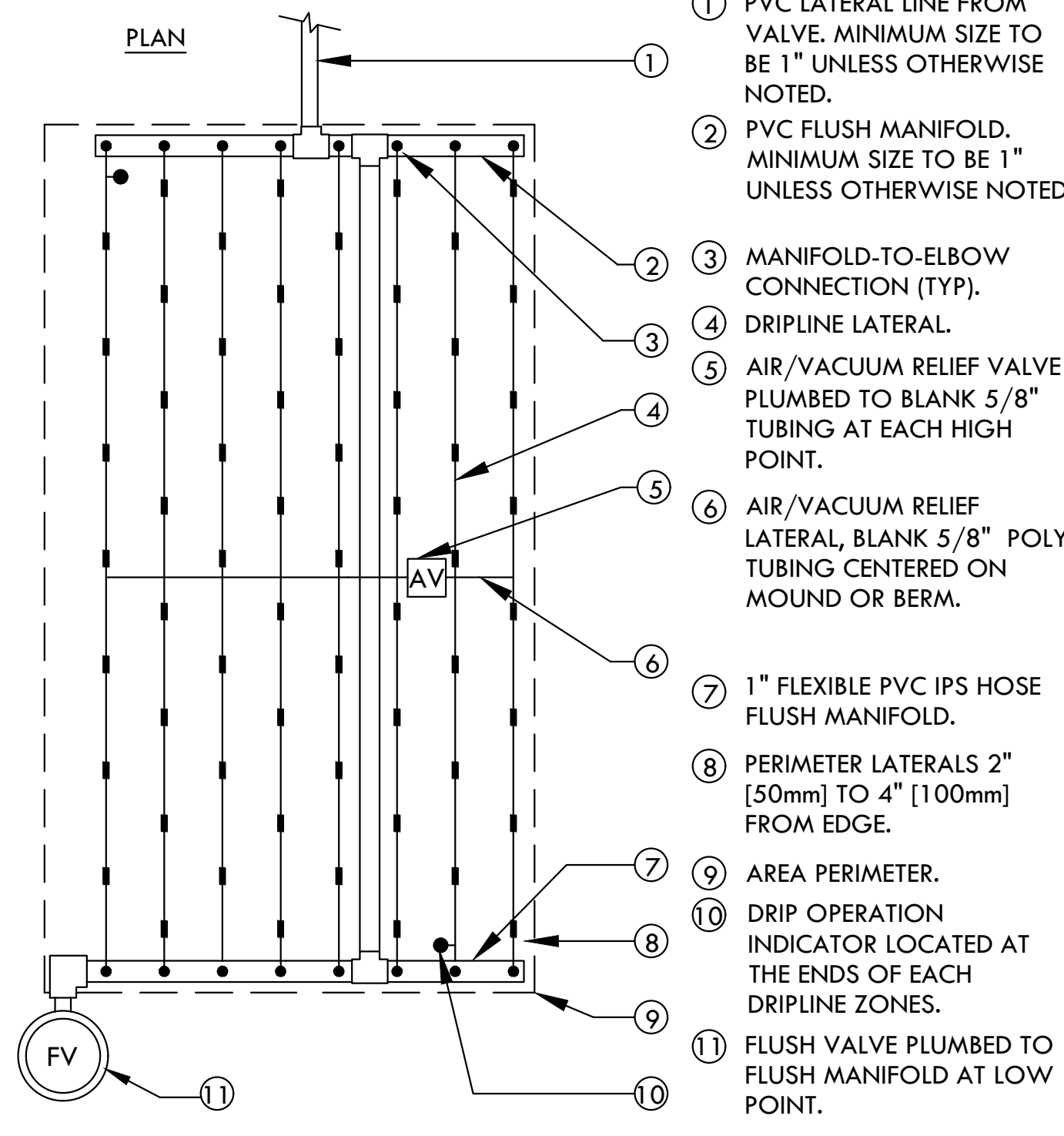
- ① CLEAN BACKFILL MATERIAL.
- ② FINISH GRADE.
- ③ LATERAL LINE.
- ④ MAIN LINE.
- ⑤ 2-WIRE CABLE. CABLE SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- ⑥ 3" DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE. USE CHRISTY MODEL #TA-DT-3-BIRR FOR POTABLE IRRIGATION SYSTEMS OR #TA-DT-3-PRW FOR RECYCLED IRRIGATION WATER SYSTEMS
- ⑦ TYPICAL DISTANCE BETWEEN PIPES.



- ① FIGURE 8 LINE END
  - ② BLANK TUBING
  - ③ DRIPLINE
  - ④ HUNTER PLD-TEE (PLD-TEE)
  - ⑤ TREE TRUNK
  - ⑥ ADAPTER TEE FROM PVC TO DRIPLINE.
  - ⑦ ROOT BALL
  - ⑧ 6-INCH SOIL STAPLE (TYP) EQUALLY SPACE 4 AROUND EACH TUBE RING
  - ⑨ LOCATE FIRST DRIPLINE RING HALFWAY BETWEEN THE TRUNK AND EDGE OF ROOTBALL. LOCATE THE SECOND DRIPLINE RING AT EDGE OF ROOTBALL. LOCATE THE THIRD RING 12" OUTSIDE THE SECOND RING
- NOTE:  
 SUGGESTED QUANTITY DRIP RINGS PER TREES SIZE:  
 • 15 GAL OR 24" BOX = 2 RINGS  
 • 36 GAL OR 48" BOX = 3 RINGS  
 • 60 GAL OR LARGER = 4 RINGS



- ① FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
  - ② 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
  - ③ MANIFOLD-TO-ELBOW CONNECTION (TYP).
  - ④ PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  - ⑤ PVC SUPPLY MANIFOLD. EXTEND TO END OF ZONE/EXHAUST HEADER.
  - ⑥ MANIFOLD-TO-TEE CONNECTION.
  - ⑦ DRIPLINE LATERAL.
  - ⑧ AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM.
  - ⑨ AIR/VACUUM RELIEF PLUMBED TO BLANK 5/8" POLY TUBING AT EACH HIGH POINT.
  - ⑩ PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
  - ⑪ AREA PERIMETER.
  - ⑫ DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- NOTE:  
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.  
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



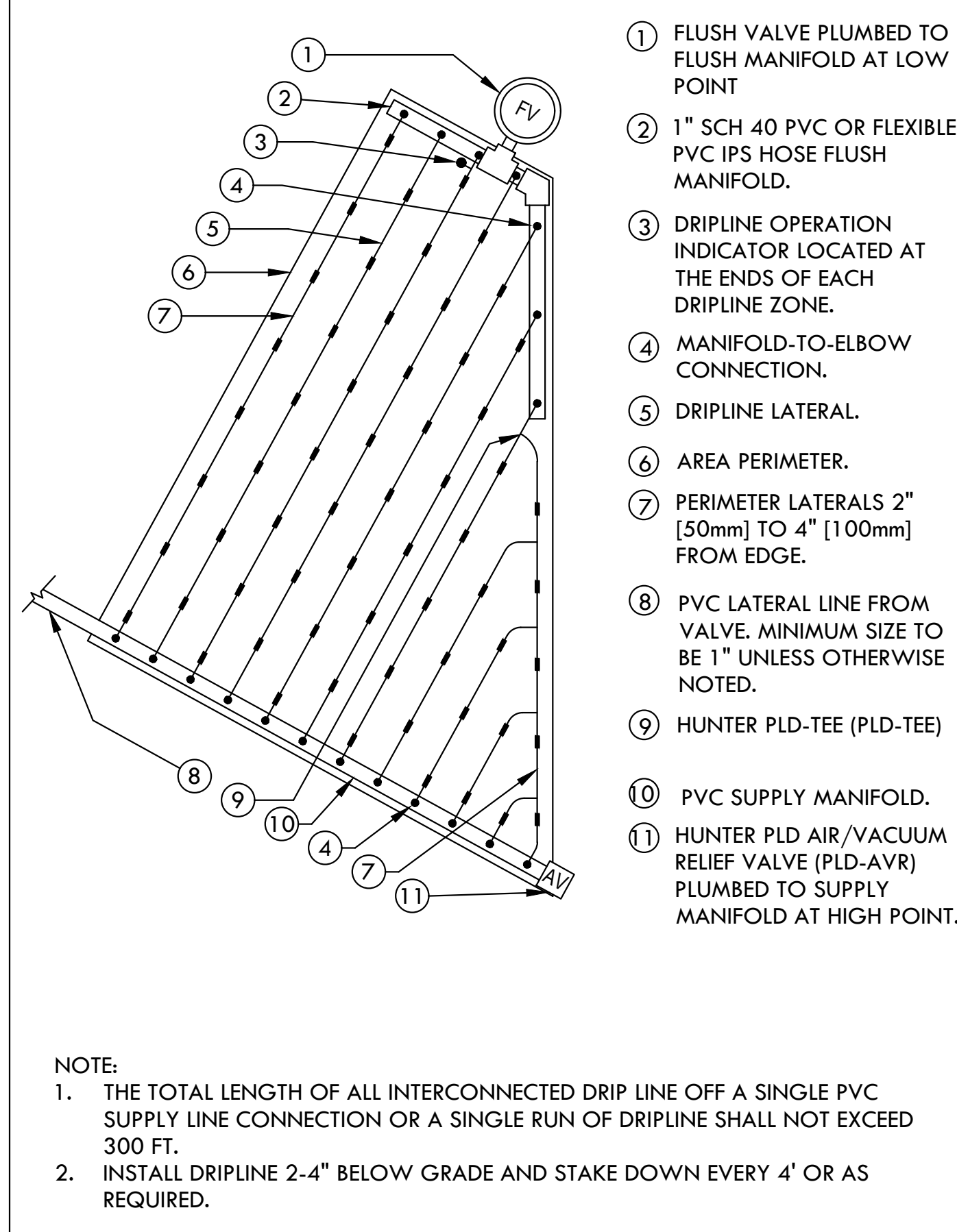
- ① PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  - ② PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
  - ③ MANIFOLD-TO-ELBOW CONNECTION (TYP).
  - ④ DRIPLINE LATERAL.
  - ⑤ AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" TUBING AT EACH HIGH POINT.
  - ⑥ AIR/VACUUM RELIEF LATERAL, BLANK 5/8" POLY TUBING CENTERED ON MOUND OR BERM.
  - ⑦ 1" FLEXIBLE PVC IPS HOSE FLUSH MANIFOLD.
  - ⑧ PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
  - ⑨ AREA PERIMETER.
  - ⑩ DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONES.
  - ⑪ FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- NOTE:  
 1. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE OFF A SINGLE PVC SUPPLY LINE CONNECTION OR A SINGLE RUN OF DRIPLINE SHALL NOT EXCEED 300 FT.  
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.

**1 TRENCHING**  
 SCALE: NONE

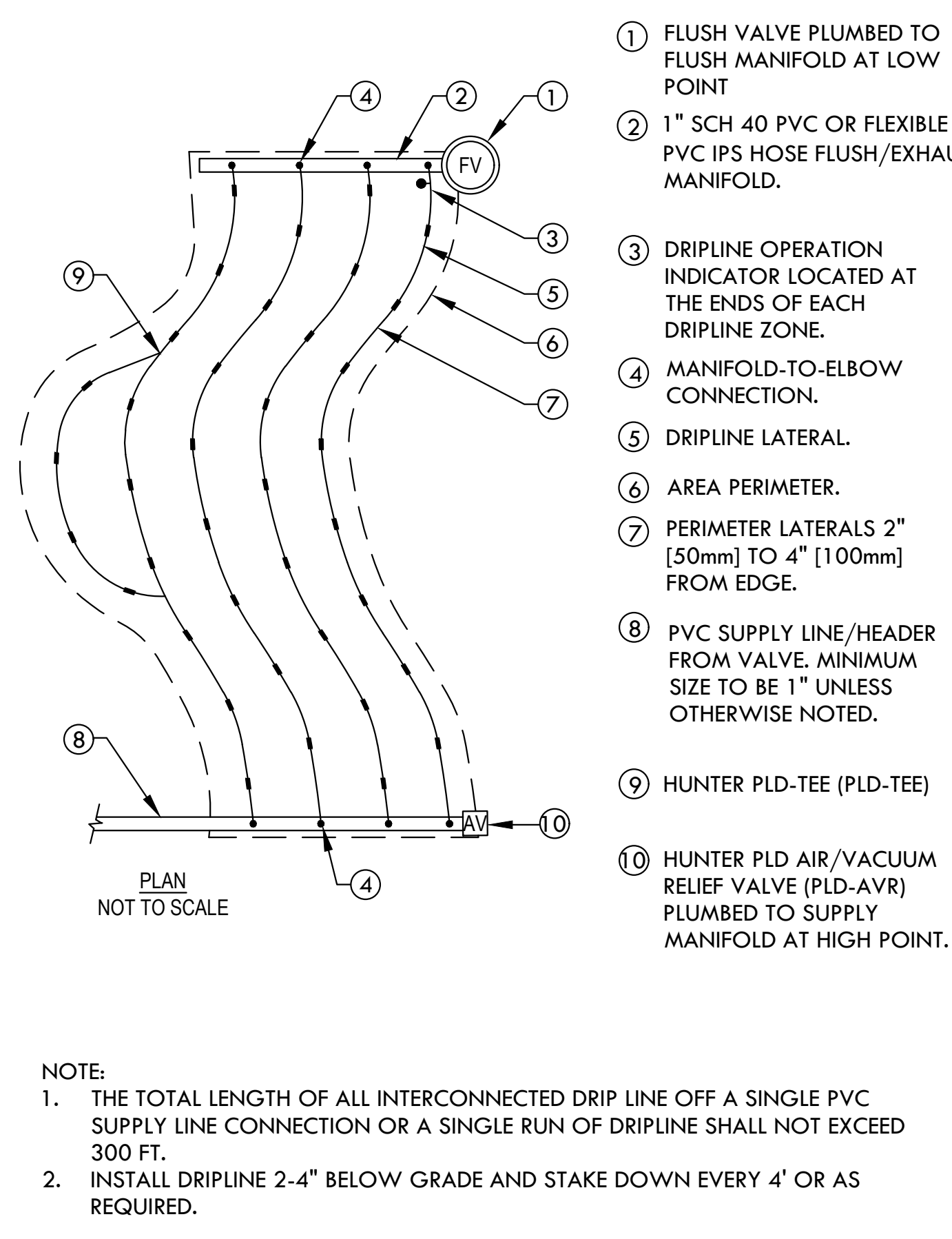
**2 DRIP RINGS AROUND TREE**  
 SCALE: NONE

**3 HLD DRIPLINE CENTER FEED LAYOUT**  
 SCALE: NONE

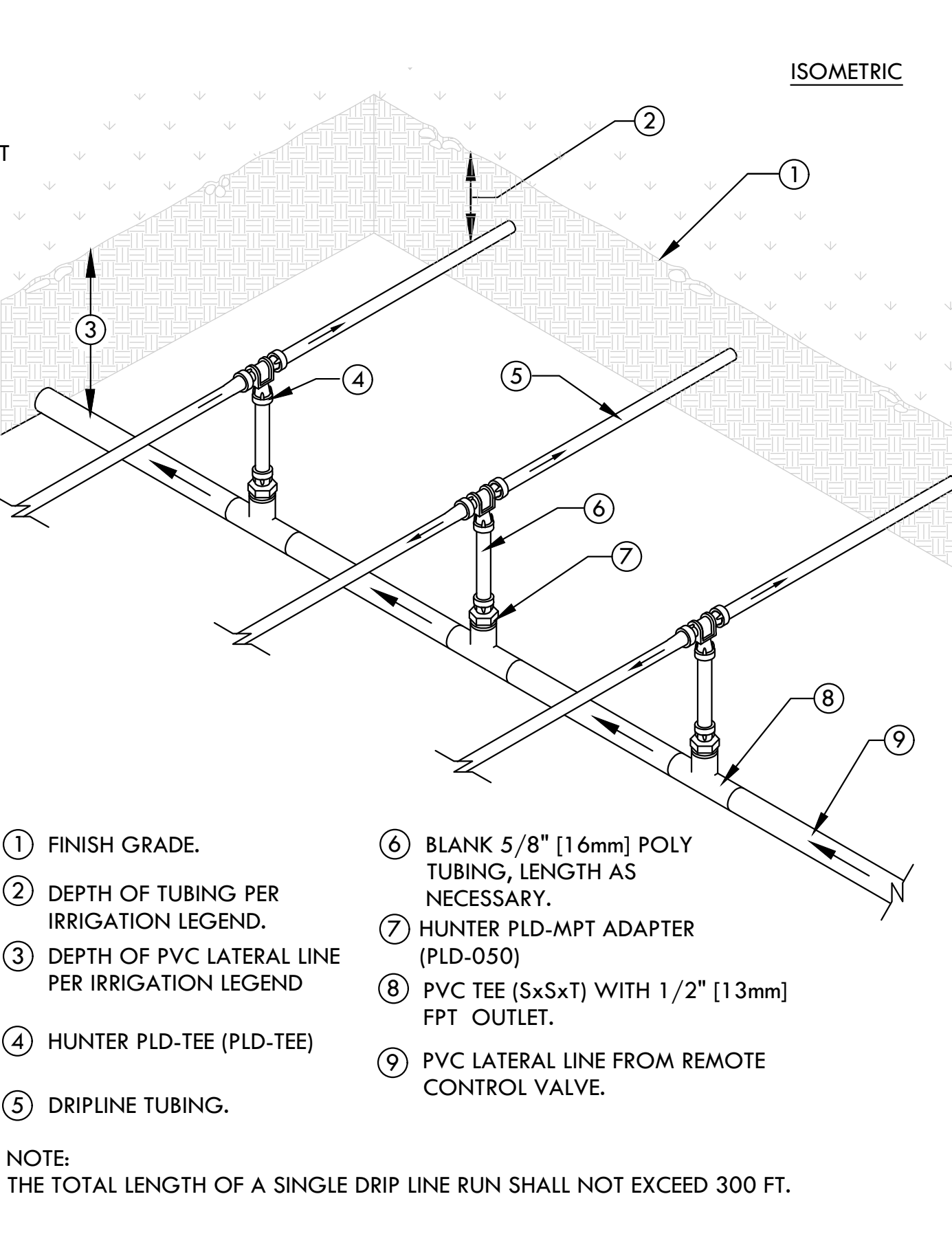
**4 HLD DRIPLINE END FEED LAYOUT**  
 SCALE: NONE



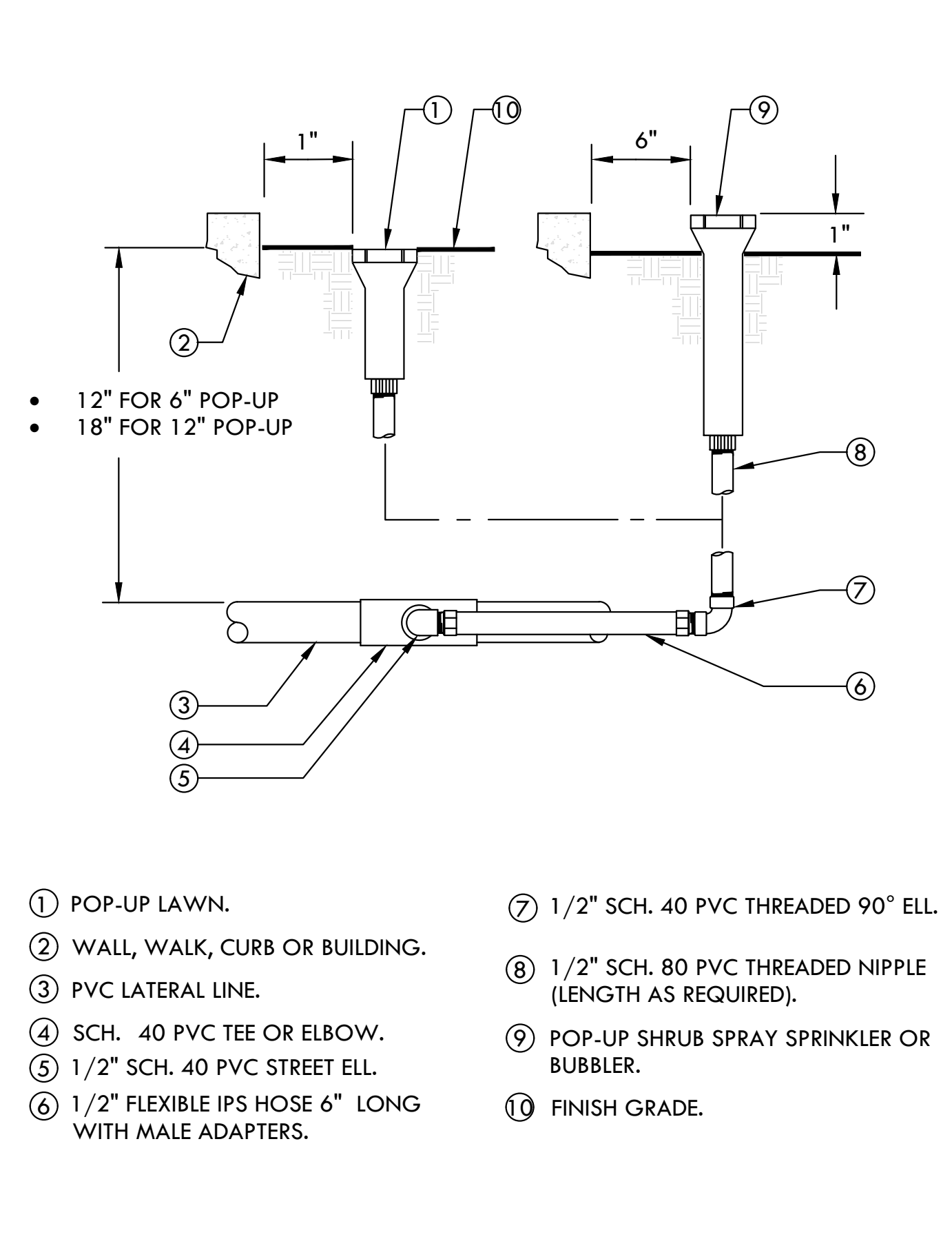
**5 HLD DRIPLINE TRIANGULAR LAYOUT**  
 SCALE: NONE



**6 HLD DRIPLINE ODD CURVE LAYOUT**  
 SCALE: NONE



**7 HLD DRIPLINE CENTER FEED MANIFOLD**  
 SCALE: NONE



**8 POP-UP SPRAY SPRINKLER RISER**  
 SCALE: NONE

REVISIONS AND RECORD OF ISSUE:	
NO.	DESCRIPTION
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2.	
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6.	

JONI L. JANECKI & ASSOCIATES  
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 PHONE 831 423 8040 | WWW.JLJA.COM  
 California Landscape Architect License 3163

PROJECT:  
**PALMERO WAY**  
 1535 PALMERO WAY  
 PEBBLE BEACH CA, 93953  
 APN: 008-423-014

SHEET TITLE:  
**IRRIGATION DETAILS**

SCALE: AS SHOWN  
 DRAWN BY: JC  
 DATE: 08/10/2023

## WATER USE ESTIMATION - 1535 Palmero Way, Pebble Beach CA

WATER TYPE	POTABLE
SITE ETO=	36

7/13/2023

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	SHRUBS	LOW	0.3	DRIP	0.81	0.37	26,131	9,678	216,016	0.66	288.79	70%
2	PERENNIAL BORDER	LOW	0.3	DRIP	0.81	0.37	3,707	1,373	30,645	0.09	40.97	10%
3	LAWN	HIGH	0.8	SPRAY	0.75	1.07	7,541	8,044	179,536	0.55	240.02	20%
<b>TOTALS</b>							<b>37,379</b>	<b>19,095</b>	<b>426,197</b>	<b>1.31</b>	<b>569.78</b>	<b>100%</b>

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
												0%
<b>TOTALS</b>							<b>0</b>					<b>0%</b>

<b>MAWA</b>	<b>GALLONS/YR</b>	458,865
	<b>ACRE FEET/YR</b>	1.41
	<b>HCF/YR</b>	613.46

<b>ETWU</b>	<b>GALLONS/YR</b>	426,197
	<b>ACRE FEET/YR</b>	1.31
	<b>HCF/YR</b>	569.78

<b>SITE IRRIGATION EFFICIENCY</b>	<b>SITE PLANT FACTOR</b>	<b>MAWA COMPLIANT</b>
79.8%	0.40	YES

ETAF Calculations	
<b>REGULAR LANDSCAPE AREAS</b>	
TOTAL ETAF x AREA	19,095
TOTAL AREA	37,379
AVG. ETAF	51.08%

MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
$MAWA = (ET_o)(0.62)[(LA \times 0.55) + (0.45 \times SLA)]$

ET<sub>o</sub> = REFERENCE EVAPOTRANSPIRATION  
 0.45= ET ADJUSTMENT FACTOR  
 LA=LANDSCAPED AREA (SQUARE FEET)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

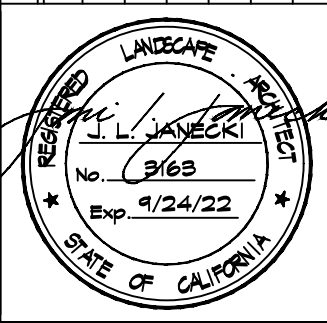
ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
$ETWU = ((ET_o)(.62)(ETAF \times LA))$

ET<sub>o</sub> = REFERENCE EVAPOTRANSPIRATION  
 PF = PLANT FACTOR FOR HYDROZONES  
 HA = HYDROZONE AREA (SQ.FT)  
 0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP  
 IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY

**RMA**  
 RUSSELL D. MITCHELL  
 & ASSOCIATES, INC.  
*Irrigation Consultant:*  
 2760 Camino Diablo  
 Walnut Creek, CA 94597  
 tel 925.939.3985 • fax 925.932.5671  
 www.rmairrigation.com

NO.	DATE	DESCRIPTION
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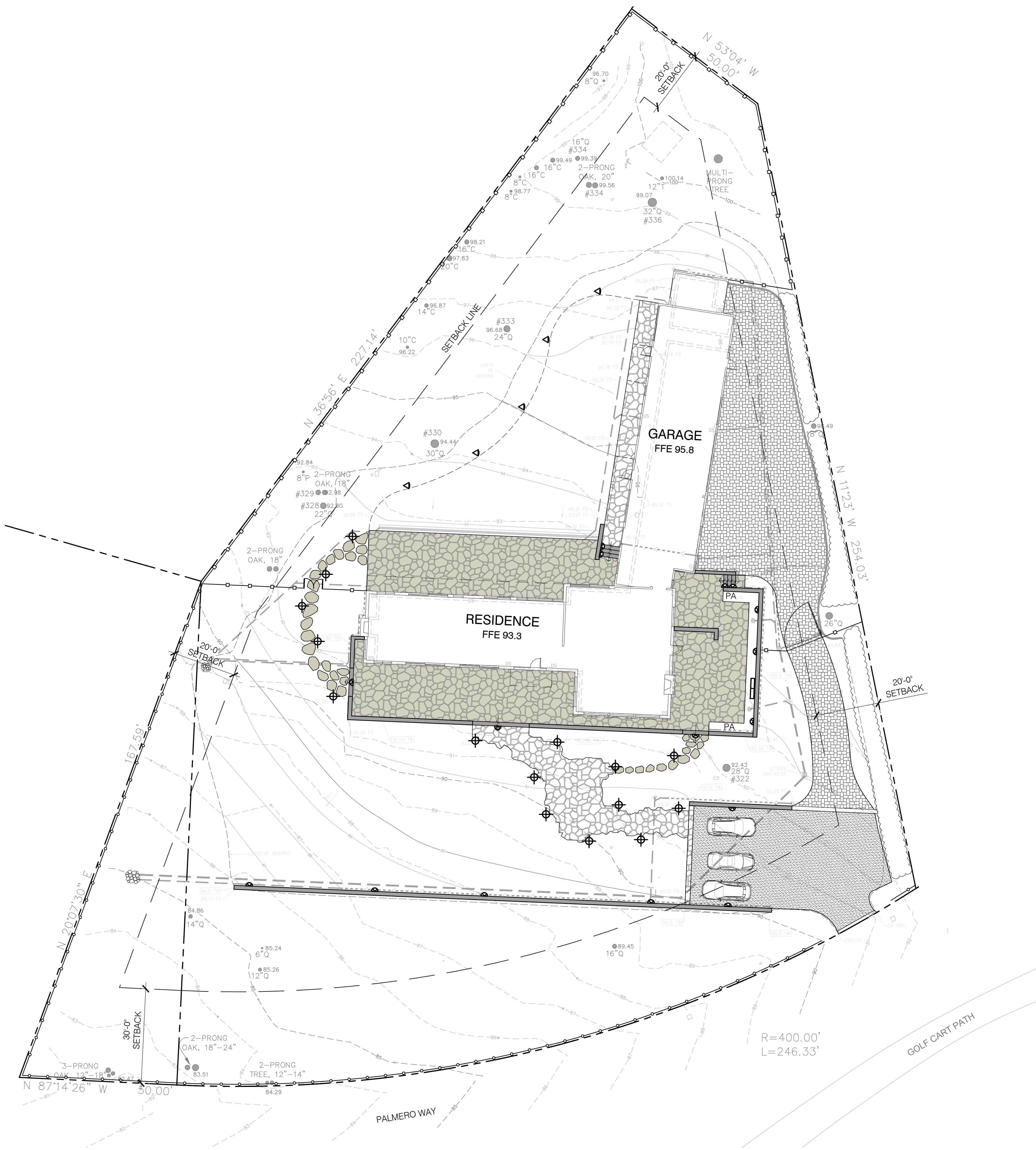
**PROJECT:**  
**PALMERO WAY**  
**1535 PALMERO WAY**  
**PEBBLE BEACH CA, 93953**  
**APN: 008-423-014**

**SHEET TITLE:**  
**IRRIGATION WATER  
 CALCULATION**

SCALE: AS SHOWN  
 DRAWN BY: JC  
 DATE: 08/10/2023







**LIGHTING SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
▲	WALL LIGHT/STEP LIGHT: LUCIFER LIGHTING COMPANY SSL1 BRONZE LAMP: LED, 3W	16
⊕	PATH LIGHT: AURORALIGHT LPL7 ECLIPSE; 7"D X 19" H. COPPER AND BRASS LAMP: LED, 6W	15
◀	DIRECTIONAL PATH LIGHT: AURORALIGHT HSL16 TELLURIDE SOLID BRASS LAMP: LED, 3-12W	5

**NOTES**

- DESIGN INTENTION OF THE SITE LIGHTING IS TO KEEP THE OVERALL LIGHTING AMBIENT, LOW, EFFICIENT, AND MAXIMIZE DARK SKY PRACTICES.
- ALL FIXTURES TO BE UNOBTUSIVE, DOWNWARD FACING, SHIELDED, LED, LOW KELVIN, AND MAXIMUM 15 WATTS.
- ALL LIGHTING TO COMPLY WITH CALIFORNIA ENERGY CODE SET FORTH IN THE CALIFORNIA CODE OF REGULATIONS TITLE 24 PART 6 AND APPROVED BY THE DIRECTOR OF RMA PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
- LIGHTS TO BE CONTROLLED WITH SWITCHES (S.A.D.) - NO SENSORED LIGHTS.
- LIGHT SOURCE SHALL NOT BE VISIBLE FROM OFF-SITE PREMISES.
- THE LIGHTING PLAN IS DIAGRAMMATIC AND INTENDED TO SHOW GENERAL FIXTURE LOCATION AND TYPE. EXACT LOCATION OF FIXTURE AND TRANSFORMERS SHALL BE VERIFIED ON SITE WITH LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR FOR INSTALLATION OF CONDUIT, SLEEVING, SWITCHING LOCATIONS, AND JUNCTION BOXES DURING OTHER PHASES OF WORK.
- ALL FIXTURES TO BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS.
- ALL "FLUSH" FIXTURES TO BE INSTALLED LEVEL WITH TOP OF PAVING MATERIAL, GRAVEL OR PLANT BED MULCH, UNLESS OTHERWISE NOTED.

REVISIONS AND RECORD OF ISSUE:

NO.	DATE	DESCRIPTION
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PROJECT: **PALMERO WAY**  
 1535 PALMERO WAY  
 PEBBLE BEACH CA, 93953  
 APN: 008-423-014

SHEET TITLE: **CONCEPTUAL LIGHTING PLAN**

SCALE: AS SHOWN  
 DRAWN BY: M/M/M  
 DATE: 08/10/2023



NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

L4.0

T:\PROJECTS\REGISTRATION\130-135-Regen\DWG\130-135-Regen.dwg, 130-135-Regen.dwg, DWG To PDF, A, MFCU, 11/10/2023, 11:16 AM, 24.00, 24.00, 1:1



TYPE: \_\_\_\_\_  
CAT # HSL16-

## HSL16 TELLURIDE

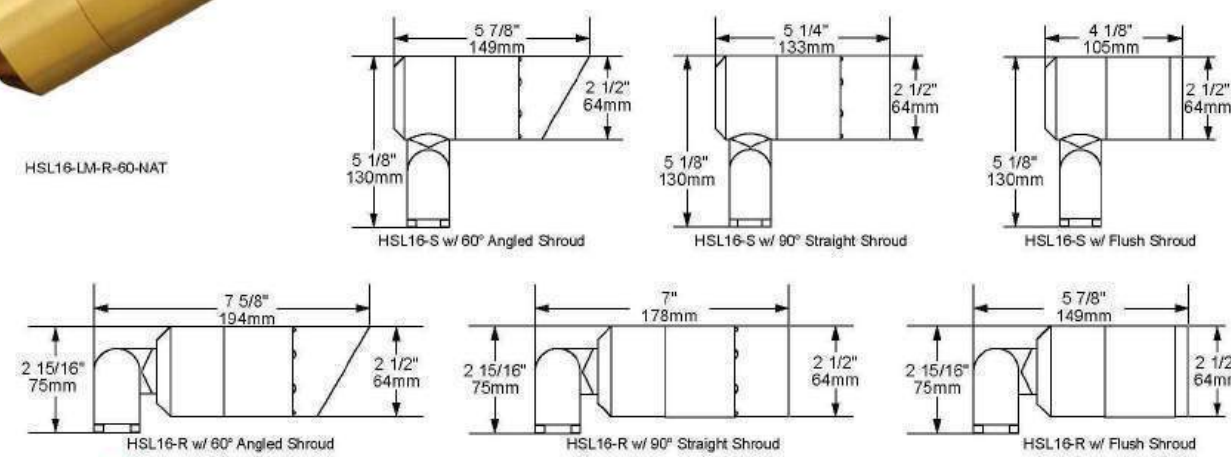


The **HSL16** accent light utilizes our interchangeable LED module while remaining compatible with MR16 Halogen lamps creating a true "Hybrid" luminaire. Coupled to a brass body, our Thermally Integrated® LED module provides superior heat dissipation, longer life and high performance. Our **Storm Drain™** lens drainage system prevents water from collecting on the lens to reduce cleaning and stop hard-water deposits. Ideal for illuminating mid-sized trees and casting subdued light on low shrubbery.

See **HSL11** for additional size and wattage options.

### Features include:

- Interchangeable LED Module in 3–12 Watts
- Cree XLAMP® High Intensity (XP-L) LED
- 2700K or 3000K (CRI 80 typ.)
- **Storm Drain™** Lens Drainage System
- Thermally Integrated® and Field Serviceable LED Module
- TRIAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Brass Construction



### ORDERING GUIDE: H (HYBRID) SL (SPOTLIGHT) 16 (MR16 LAMP BASE)

**INDICATES REQUIRED FIELD**    **INDICATES OPTIONAL FIELD**

<b>KNUCKLE</b> [R] Rear [S] Side	<b>SHROUD</b> [60] 60° Angled [90] 90° Straight [NS] No Shroud	<b>LIGHT SOURCE (LED or Halogen)</b> Leaves blank for <b>NO LAMP</b> For Halogen option, refer to Lamp Guide	<b>ACCESSORIES</b> SELECT UP TO TWO: [M] Hex Baffle [L] Linear Spread [P] Prismatic Lens [MP] Micro Prismatic [F] Frost (Diffusion) [AW] Accessory Retainer* *Required when using accessories w/ MR16 lamp	<b>MOUNT</b> [12] 1/2" Male Thread [GS] Ground Stake [TR-12] 12" Trident Spike [JB-S] J-Box w/ Stake [PB-S] Power Box w/ Stake (inc. 60W 120-12V trans.) [9x18] Telescopic Riser (Specify 9x10, 7x14, 9x18 or 11x22) [TM] Trellis Mount [SB] Spike Box [TS] Tree Strap [BTM] Bolt-on Tree Mount	<b>FINISH</b> [NAT] Natural [BLP] Bronze Living Patina [BLP-XD] BLP Extra Dark [NI] Nickel PVD
<b>LED WATTAGE</b> [3] 3.5W [5] 5.5W [7] 7.5W [12] 12W	<b>OPTIC</b> [W] 10° Narrow [M] 25° Medium [W] 45° Wide [WF] 60° Wide Flood [A] All Optics Kit	<b>LED COLOR</b> [27] 2700K, 80CRI [30] 3000K, 80CRI [AMB] Amber (585-595nm)	<b>NOTE:</b> For other CCT and CRI options, contact factory		

**Highly Configurable Machined Brass LED Module**  
IP67 sealed module with encapsulated electronics. Copper PCB and interchangeable silicone optics.

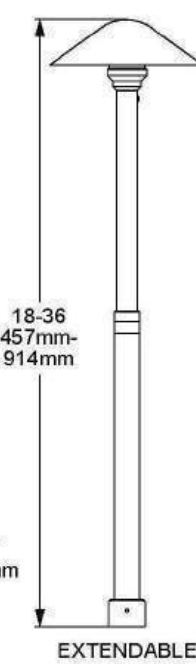


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TYPE: \_\_\_\_\_  
CAT # LPL7-

## LPL7 ECLIPSE



The **LPL7** Eclipse is scaled to suit architecture that requires a more substantial and weighty look. This path light is ideal for illuminating grand driveways, walkways, and open areas requiring generous light spacing. The extendable riser creates a solution for rapid or seasonal plant growth which necessitates a height adjustable fixture.

See **HPL7** for light source and wattage alternatives.

### Features include:

- 4.5W or 6 Watts and up to 343 lumens at 3000K
- Cree XLAMP® XHP35 High Density LED
- 2700K or 3000K (CRI 80 typ.)
- Thermally Integrated® and Field Serviceable
- TRIAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic
- Fixed or Extendable Riser
- Solid Copper and Brass Construction



### ORDERING GUIDE: L (LED) PL (PATH LIGHT) 7 (INCHES)

**INDICATES REQUIRED FIELD**    **INDICATES OPTIONAL FIELD**

<b>WATTAGE</b> [4] 4.5W [6] 6W	<b>LED COLOR</b> [27] 2700K, 80CRI [30] 3000K, 80CRI [AMB] Amber (585-595nm)	<b>HEIGHT</b> [FR] Fixed Riser (19" OAH) [EXT] Extendable Riser (18-36")	<b>LENS</b> [F] Frosted [C] Clear	<b>MOUNT</b> [1/2] 1/2" Male Thread [GS] Ground Stake (Default) [DS] Deluxe Stake 9" [TR-S] Trident Spike (Specify 9" or 12") [PB-S] Power Box w/ Stake (inc. 60W 120-12V trans.) [PM] 4" Pedestal Mount [SM3] 3 1/4" Surface Mount [SM2] 2 1/4" Surface Mount [X] = Specify Length NOTE: See Mount Guide for more options	<b>FINISH</b> [NAT] Natural [BLP] Bronze Living Patina [BLP-XD] BLP Extra Dark [NI] Nickel PVD
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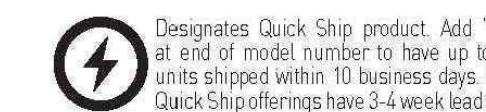


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## STEALTH SSL1-LED

### RECESSED LED LUMINAIRE PATH & STEPLIGHT

In-wall 3.4-watt DC LED path or step light. Slot aperture hides light source. Projects light 4" with 4" width delivering minimum 1 fc up to 5 fc. Well suited for residential, hospitality, theatrical and healthcare applications. Durable precision milled 316 stainless steel or brass casting. 80+ CRI, delivering 33 lumens. Available in 2700K, 3000K, 3500K & 4000K color temperatures. Dry / Damp and Wet location.



### PERFORMANCE

LED Configuration	80+ CRI PERFORMANCE		
	Output Lumens (lm)	Power Consumption (W)	Luminaire Efficacy (lm/W)
6L-Q2B	33	3.4	9.7

### ORDERING INFORMATION - FIXTURE

SSL1	80L	02B
STEALTH STEP LIGHT		
<b>RATING</b> 1 Dry (Damp Non-Locking) 2 Wet (Locking)	<b>POWDERCOAT FINISH</b> W White BK Black AD Satin Silver AB Architectural Bronze CF Custom Finish <sup>1</sup>	<b>NATURAL FINISH</b> IG Industrial King SS Brushed Stainless Steel BR Brushed Bronze NB Natural Bronze
	<b>PLATED FINISH</b> CH Chrome PB Polished Oil Rubbed Bronze <sup>2</sup> MB Matte Oil Rubbed Bronze <sup>2</sup>	<b>CR / LED</b> 80L 80-CRI 02B 3000K
	<b>SOURCE LUMENS</b> 33	<b>CCT</b> 1 2700K 2 3000K 3 3500K 4 4000K C Custom Color (gpl) <sup>3</sup>

<sup>1</sup> Powder coat only; polished finishes, custom finishes assigned sequentially upon receipt of order, consult factory for additional cost  
<sup>2</sup> Dry / Damp location only  
<sup>3</sup> Custom color assigned sequentially upon receipt of order

### MOUNTING OPTIONS FOR REMOTE POWER SUPPLY - SELECT ONLY ONE (SEE PAGE 3 FOR MOUNTING PROVISION DETAILS)

- WET OR DRY / DAMP LOCATION**
- SSL-UMP-Q** Universal Mounting Plate
  - SSL-MP-1.50 / 1.75 / 2.00 / 2.50 / 3.00** Mounting Plate; specify collar depth
  - SSL-BB-Q** Back Box with SSL-UMP mounting plate
  - SSL-BB-1.50 / 1.75 / 2.00 / 2.50 / 3.00** Back Box with SSL-MP mounting plate; specify collar depth
  - SSL-SMB-Finish** Surface Mount; Box, specify finish, powder coat only
- DRY / DAMP LOCATION ONLY**
- SSL-RM** Remodel-Mount collar (drywall / plasterboard)
  - SSL-CC** Century Collar
  - SSL-SC3** Stud-Mount collar [3"]
  - SSL-SC6** Stud-Mount collar [6"]



luciferlighting.com

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As part of its policy of continuous research and product development, the company reserves the right to change or withdraw specifications without prior notice.

[PH] +1-210-227-7229 pg. 1

[FAX] +1-210-227-6987

## WALL/STEP LIGHT

NOT FOR CONSTRUCTION ORIGINAL SHEET SIZE: 24" X 36"

REVISIONS AND RECORD OF ISSUE:	
NO.	DATE
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California Landscape Architect License 3163

**PALMERO WAY**  
1535 PALMERO WAY  
PEBBLE BEACH CA, 93953  
APN: 008-423-014

PROJECT:

SHEET TITLE:  
**SITE LIGHTING CUT SHEETS**

SCALE: AS SHOWN  
DRAWN BY: MIMO  
DATE: 08/10/2023

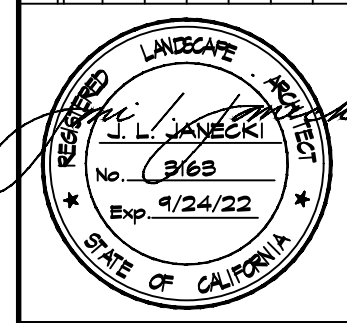
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**LEGEND**

- PROPERTY LINE
- NON-COMBUSTIBLE ZONE (0-5')
- RESTORATION AND LANDSCAPE ZONE (5-30)
- FUEL REDUCTION ZONE (30-100')
- ZONE 1 - SHRUBS
- ZONE 2 - PERENNIAL BORDER
- ZONE 3 - LAWN
- EXISTING TREE LOCATION
- EXISTING TREE DIAMETER

REVISIONS AND RECORD OF ISSUE:	
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**PROJECT:**  
**PALMERO WAY**  
 1535 PALMERO WAY  
 PEBBLE BEACH CA, 93953  
 APN: 008-423-014

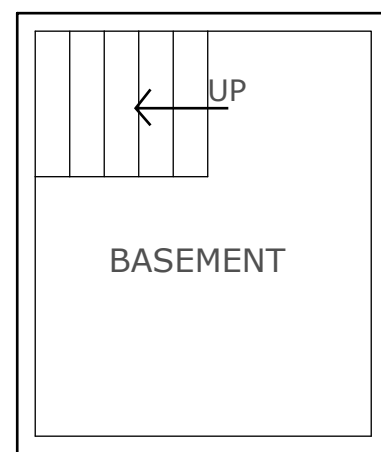
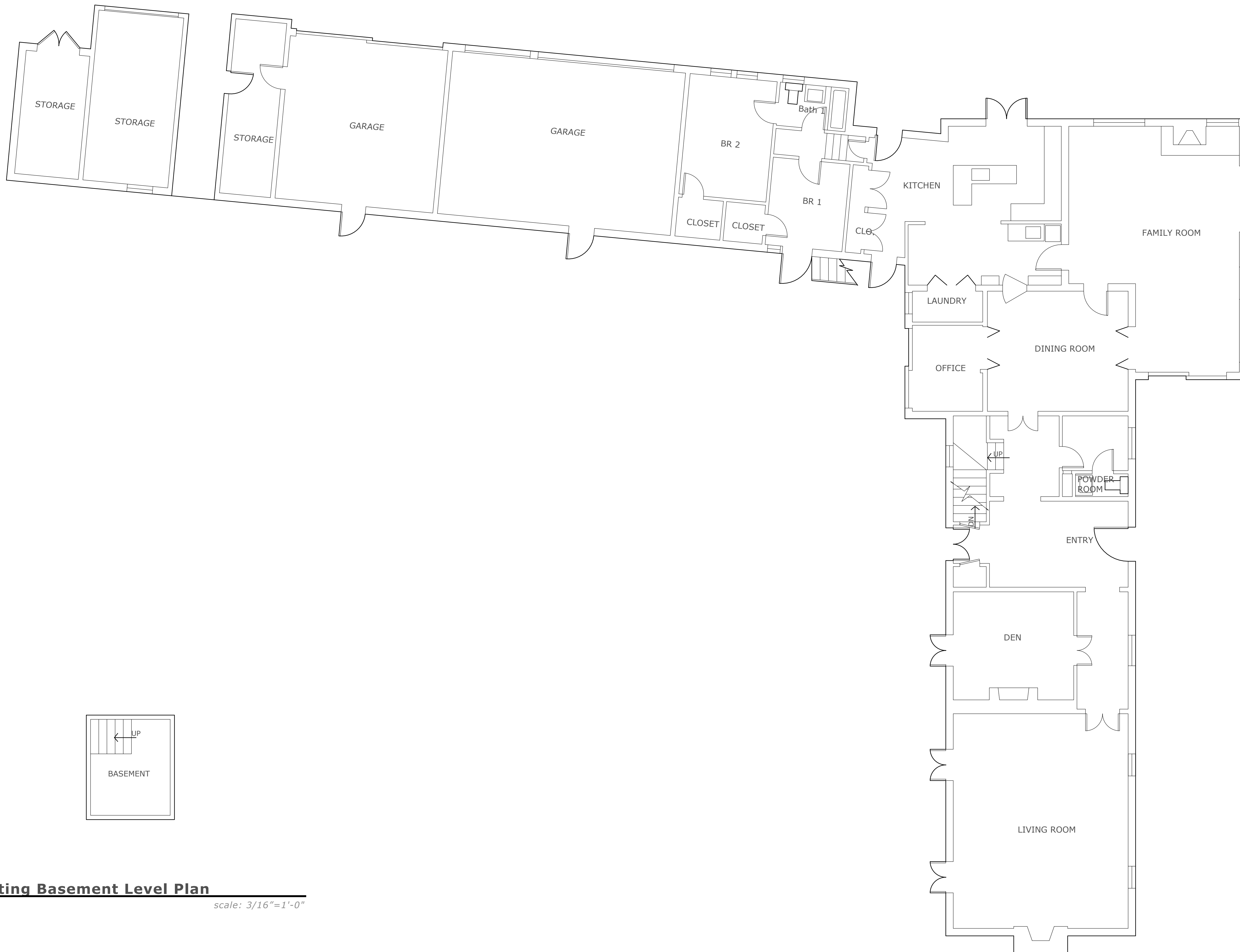
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**FUEL MANAGEMENT PLAN**

**SCALE:** AS SHOWN  
**DRAWN BY:** MIMO  
**DATE:** 08/10/2023



**NOT FOR CONSTRUCTION** ORIGINAL SHEET SIZE: 24" X 36"

L5.0



**Existing Basement Level Plan**

scale: 3/16"=1'-0"

**Existing Main Level Plan**

scale: 3/16"=1'-0"

Revisions:


**A1.0**

1535 PALMERO WAY

**EXISTING MAIN LEVEL PLAN**

1535 PALMERO  
PEBBLE BEACH, CA 93953

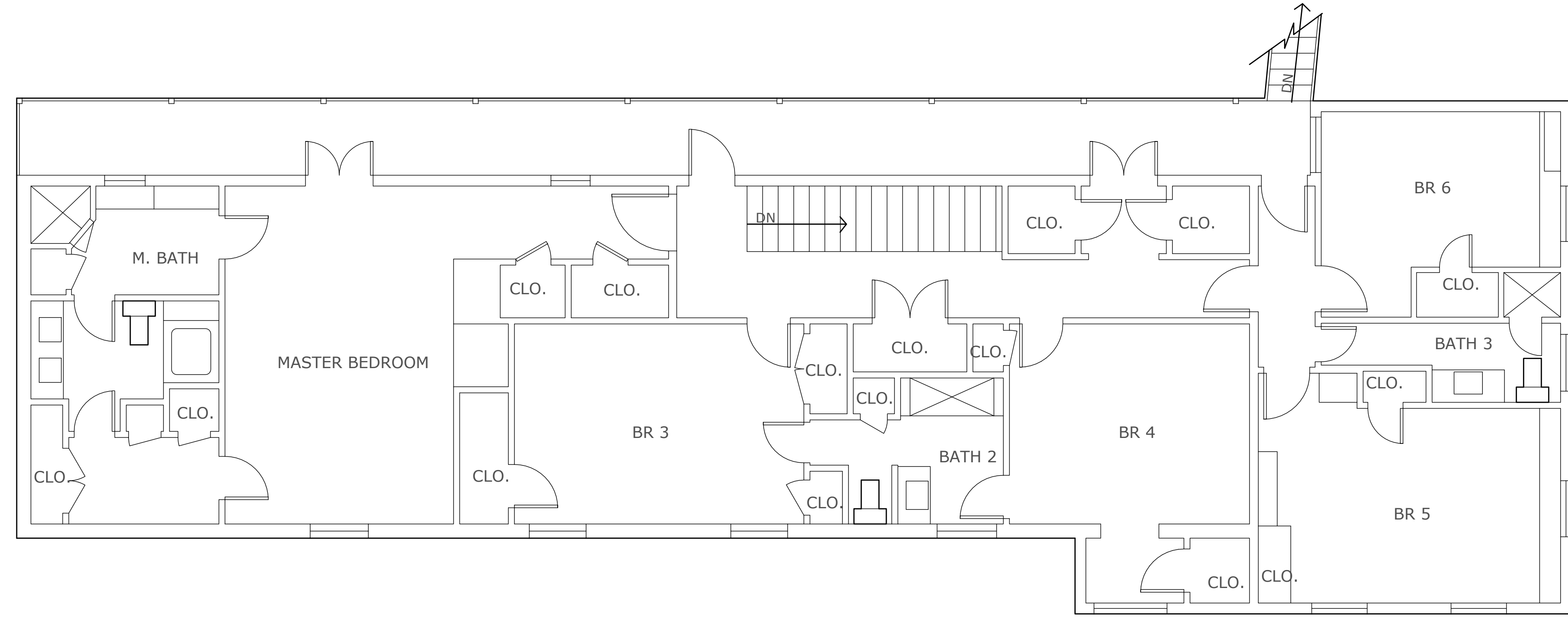
June 27th, 2023      APN: 008-423-014-000

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

21 Mandeville Court    Monterey, CA 93940

Ph 831.375.1880    Fax 831.375.1480





**Existing Upper Level Plan**

scale: 3/16"=1'-0"

Revisions:


**A1.1**

1535 PALMERO WAY

**EXISTING UPPER LEVEL PLAN**

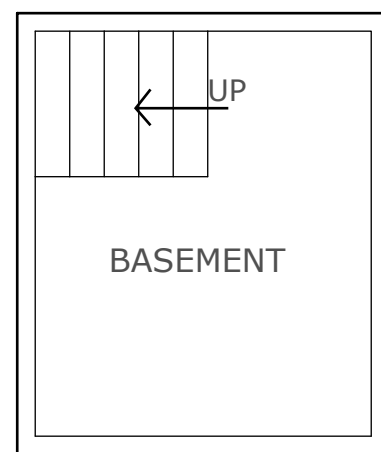
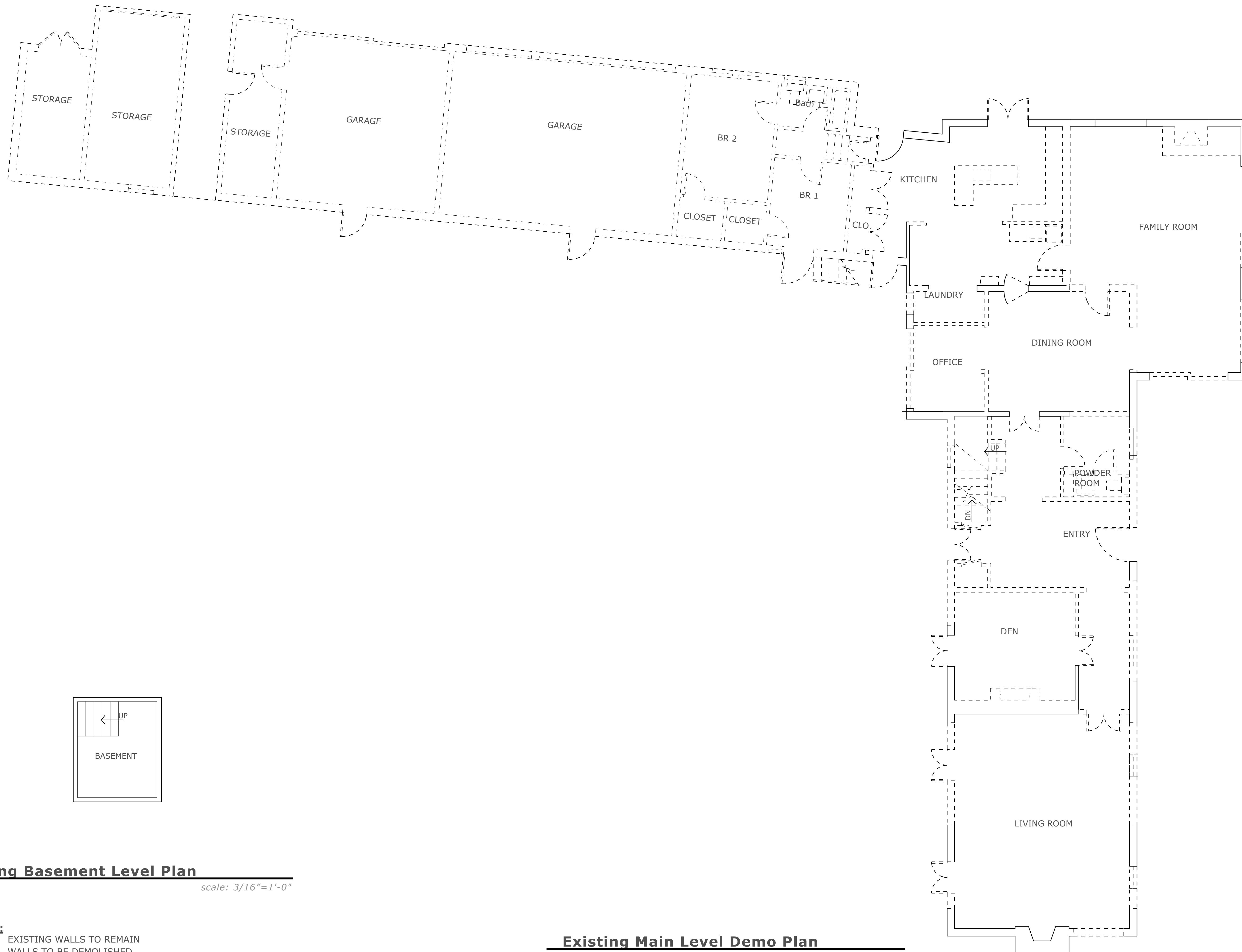
1535 PALMERO  
PEBBLE BEACH, CA 93953

June 27th, 2023      APN: 008-423-014-000

**Stocker & Allaire**  
General Contractors, Inc.      Lic. # 504797

21 Mandeville Court    Monterey, CA 93940

Ph 831.375.1880    Fax 831.375.1480



**Existing Basement Level Plan**

scale: 3/16"=1'-0"

- LEGEND:**
- EXISTING WALLS TO REMAIN
  - WALLS TO BE DEMOLISHED

**Existing Main Level Demo Plan**

scale: 3/16"=1'-0"

Revisions:

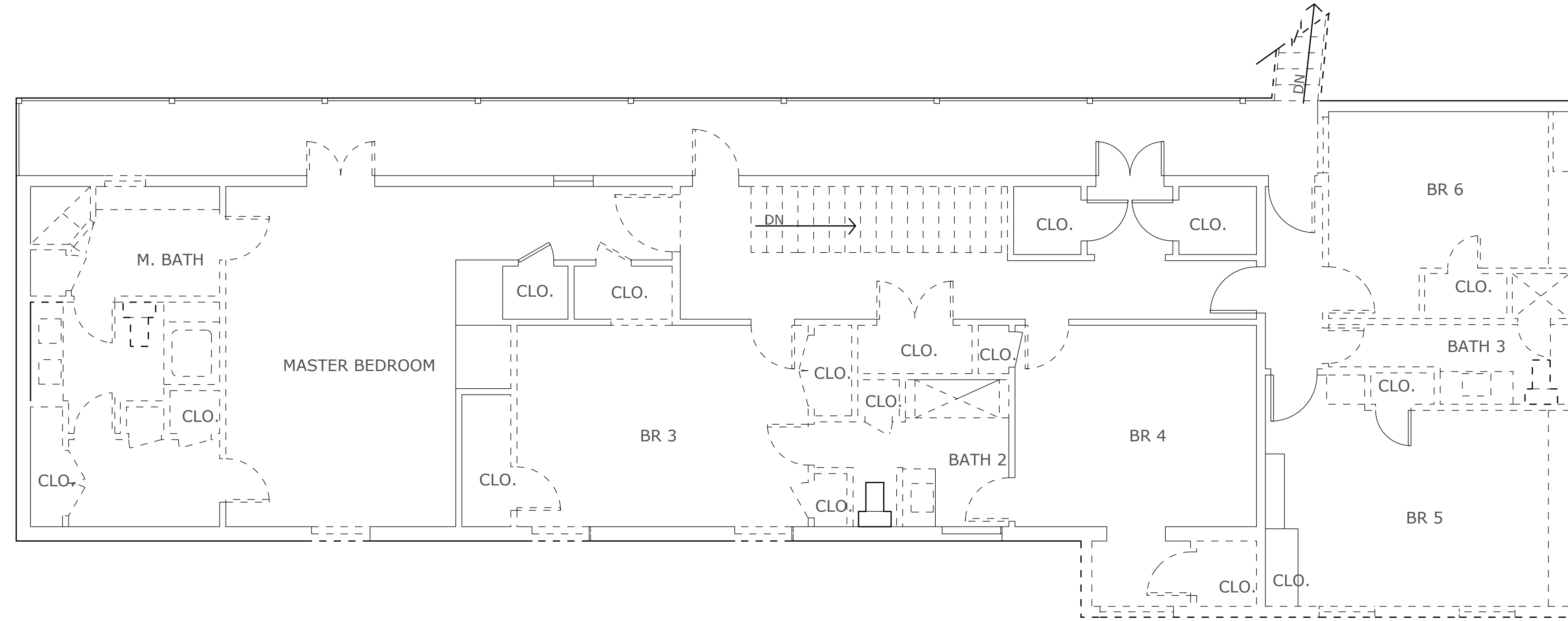

1535 PALMERO  
PEBBLE BEACH, CA 93953

June 27th, 2023      APN: 008-423-014-000

**1535 PALMERO WAY**  
**EXISTING MAIN LEVEL DEMO PLAN**

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

21 Mandeville Court    Monterey, CA 93940  
Ph 831.375.1880    Fax 831.375.1480



**Existing Upper Level Demo Plan**

scale: 3/16"=1'-0"

- LEGEND:**
- EXISTING WALLS TO REMAIN
  - WALLS TO BE DEMOLISHED

Revisions:


**A1.3**

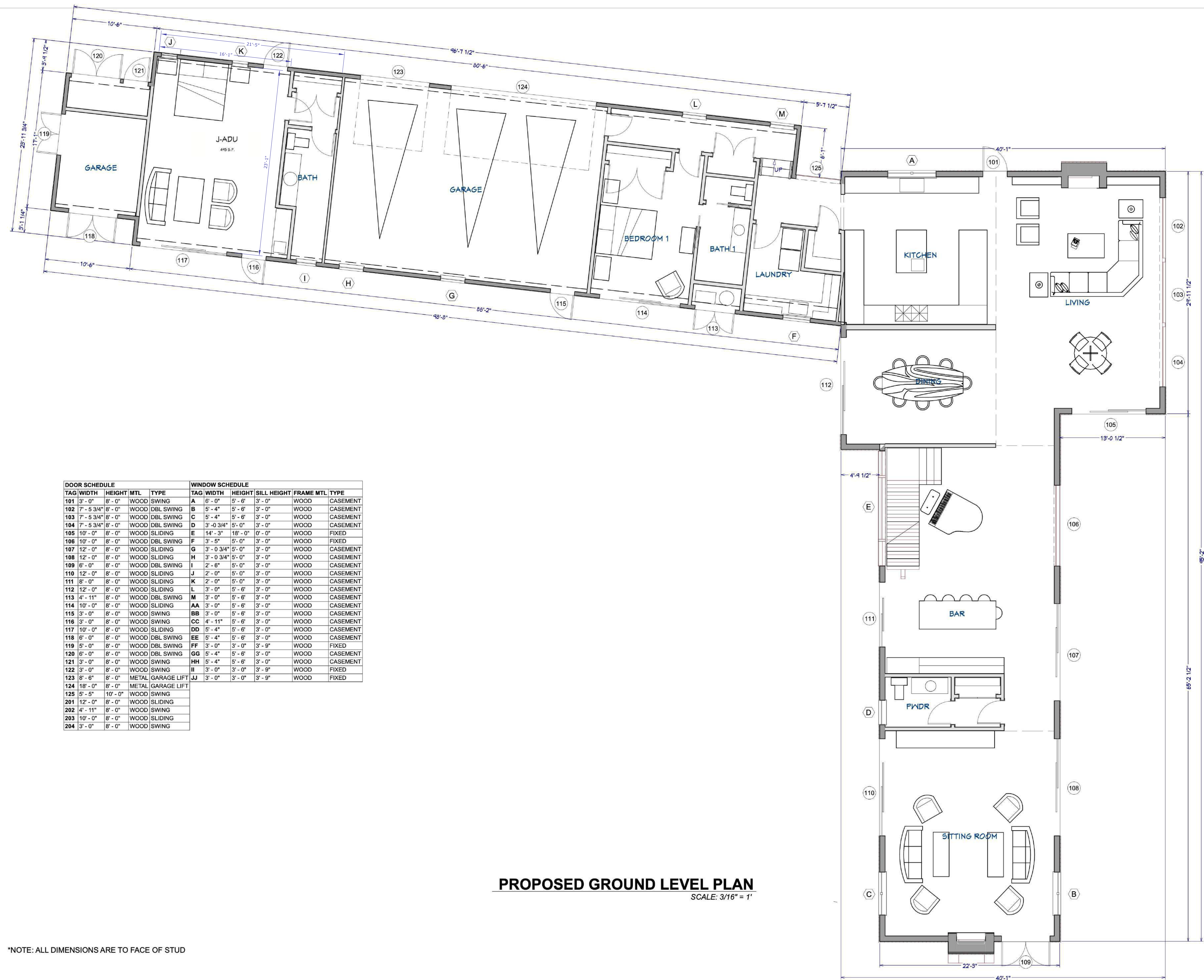
1535 PALMERO  
PEBBLE BEACH, CA 93953

OCTOBER 16TH, 2022    APN: 008-423-014-000

1535 PALMERO WAY  
**EXISTING UPPER LEVEL DEMO PLAN**

**Stocker & Allaire**  
General Contractors, Inc.  
Lic. # 504797

21 Mandeville Court    Monterey, CA 93940    Ph 831.375.1880    Fax 831.375.1480



DOOR SCHEDULE					WINDOW SCHEDULE					
TAG	WIDTH	HEIGHT	MTL	TYPE	TAG	WIDTH	HEIGHT	SILL HEIGHT	FRAME MTL	TYPE
101	3'-0"	8'-0"	WOOD	SWING	A	6'-0"	5'-6"	3'-0"	WOOD	CASEMENT
102	7'-5 3/4"	8'-0"	WOOD	DBL SWING	B	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
103	7'-5 3/4"	8'-0"	WOOD	DBL SWING	C	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
104	7'-5 3/4"	8'-0"	WOOD	DBL SWING	D	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
105	10'-0"	8'-0"	WOOD	SLIDING	E	14'-3"	18'-0"	0'-0"	WOOD	FIXED
106	10'-0"	8'-0"	WOOD	DBL SWING	F	3'-5"	5'-0"	3'-0"	WOOD	FIXED
107	12'-0"	8'-0"	WOOD	SLIDING	G	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
108	12'-0"	8'-0"	WOOD	SLIDING	H	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
109	6'-0"	8'-0"	WOOD	DBL SWING	I	2'-6"	5'-0"	3'-0"	WOOD	CASEMENT
110	12'-0"	8'-0"	WOOD	SLIDING	J	2'-0"	5'-0"	3'-0"	WOOD	CASEMENT
111	8'-0"	8'-0"	WOOD	SLIDING	K	2'-0"	5'-0"	3'-0"	WOOD	CASEMENT
112	12'-0"	8'-0"	WOOD	SLIDING	L	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
113	4'-11"	8'-0"	WOOD	DBL SWING	M	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
114	10'-0"	8'-0"	WOOD	SLIDING	AA	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
115	3'-0"	8'-0"	WOOD	SWING	BB	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
116	3'-0"	8'-0"	WOOD	SWING	CC	4'-11"	5'-6"	3'-0"	WOOD	CASEMENT
117	10'-0"	8'-0"	WOOD	SLIDING	DD	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
118	6'-0"	8'-0"	WOOD	DBL SWING	EE	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
119	5'-0"	8'-0"	WOOD	DBL SWING	FF	3'-0"	3'-0"	3'-9"	WOOD	FIXED
120	6'-0"	8'-0"	WOOD	DBL SWING	GG	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
121	3'-0"	8'-0"	WOOD	SWING	HH	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
122	3'-0"	8'-0"	WOOD	SWING	II	3'-0"	3'-0"	3'-9"	WOOD	FIXED
123	8'-6"	8'-0"	METAL	GARAGE LIFT	JJ	3'-0"	3'-0"	3'-9"	WOOD	FIXED
124	18'-0"	8'-0"	METAL	GARAGE LIFT						
125	5'-5"	10'-0"	WOOD	SWING						
201	12'-0"	8'-0"	WOOD	SLIDING						
202	4'-11"	8'-0"	WOOD	SWING						
203	10'-0"	8'-0"	WOOD	SLIDING						
204	3'-0"	8'-0"	WOOD	SWING						

**PROPOSED GROUND LEVEL PLAN**  
SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

**Stocker & Allaire**  
General Contractors, Inc. Lic # 504797

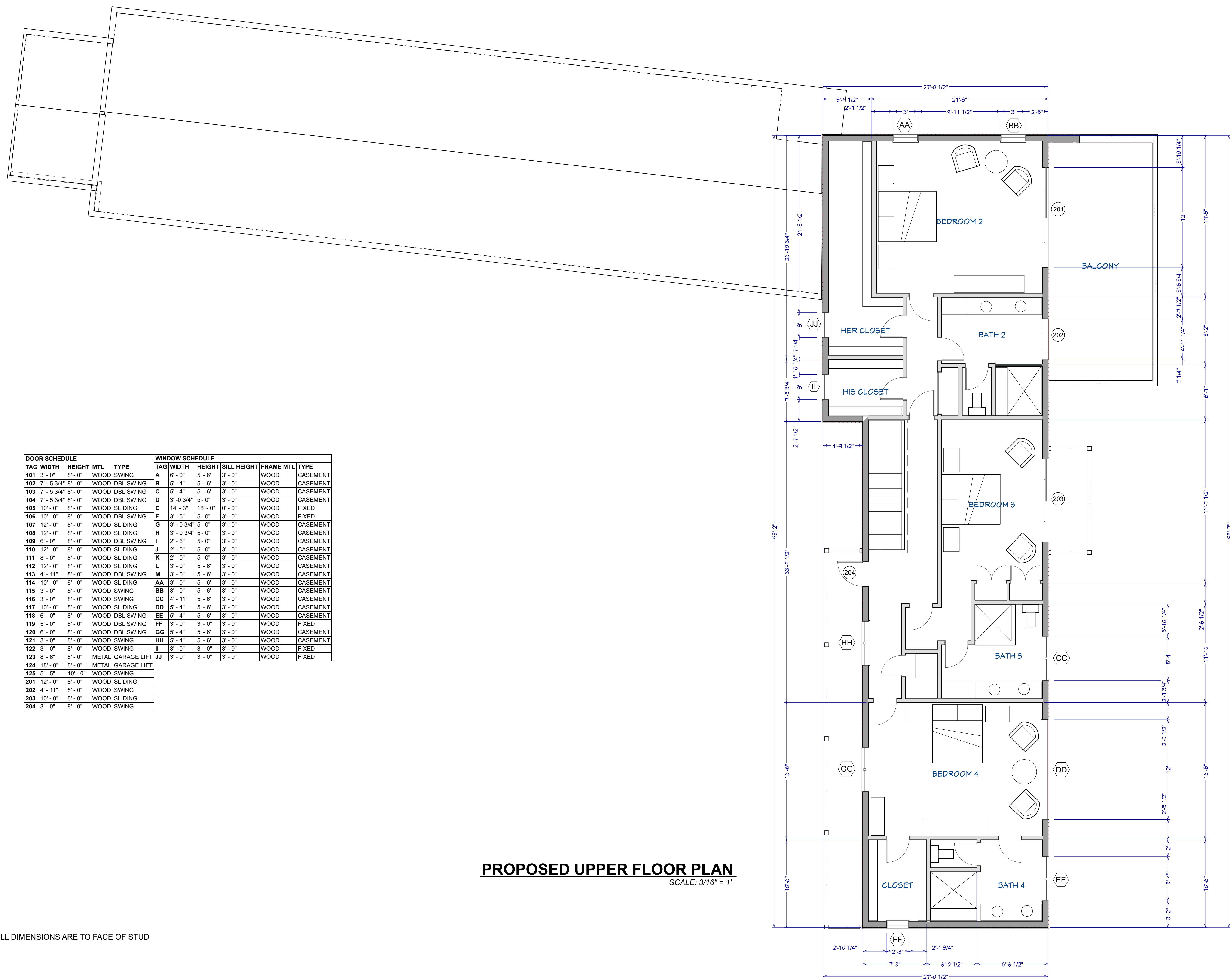
1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
FEBRUARY 12, 2024 APN: 008-423-014-000

**1535 PALMERO WAY**  
**PROPOSED GROUND LEVEL PLAN**

Revisions:

**A2.1**

21 Mandeville Court, Monterey, CA 93940  
831-375-1990



DOOR SCHEDULE					WINDOW SCHEDULE					
TAG	WIDTH	HEIGHT	MTL	TYPE	TAG	WIDTH	HEIGHT	SILL HEIGHT	FRAME MTL	TYPE
101	3'-0"	8'-0"		WOOD SWING	A	6'-0"	5'-6"	3'-0"	WOOD	CASEMENT
102	7'-5 3/4"	8'-0"		WOOD DBL SWING	B	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
103	7'-5 3/4"	8'-0"		WOOD DBL SWING	C	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
104	7'-5 3/4"	8'-0"		WOOD DBL SWING	D	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
105	10'-0"	8'-0"		WOOD SLIDING	E	14'-3"	18'-0"	0'-0"	WOOD	FIXED
106	10'-0"	8'-0"		WOOD DBL SWING	F	3'-5"	5'-0"	3'-0"	WOOD	FIXED
107	12'-0"	8'-0"		WOOD SLIDING	G	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
108	12'-0"	8'-0"		WOOD SLIDING	H	3'-0 3/4"	5'-0"	3'-0"	WOOD	CASEMENT
109	6'-0"	8'-0"		WOOD DBL SWING	I	2'-6"	5'-0"	3'-0"	WOOD	CASEMENT
110	12'-0"	8'-0"		WOOD SLIDING	J	2'-0"	5'-0"	3'-0"	WOOD	CASEMENT
111	8'-0"	8'-0"		WOOD SLIDING	K	2'-0"	5'-0"	3'-0"	WOOD	CASEMENT
112	12'-0"	8'-0"		WOOD SLIDING	L	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
113	4'-11"	8'-0"		WOOD DBL SWING	M	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
114	10'-0"	8'-0"		WOOD SLIDING	AA	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
115	3'-0"	8'-0"		WOOD SWING	BB	3'-0"	5'-6"	3'-0"	WOOD	CASEMENT
116	3'-0"	8'-0"		WOOD SWING	CC	4'-11"	5'-6"	3'-0"	WOOD	CASEMENT
117	10'-0"	8'-0"		WOOD SLIDING	DD	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
118	6'-0"	8'-0"		WOOD DBL SWING	EE	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
119	5'-0"	8'-0"		WOOD DBL SWING	FF	3'-0"	3'-0"	3'-9"	WOOD	FIXED
120	6'-0"	8'-0"		WOOD DBL SWING	GG	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
121	3'-0"	8'-0"		WOOD SWING	HH	5'-4"	5'-6"	3'-0"	WOOD	CASEMENT
122	3'-0"	8'-0"		WOOD SWING	II	3'-0"	3'-0"	3'-9"	WOOD	FIXED
123	8'-6"	8'-0"		METAL GARAGE LIFT	JJ	3'-0"	3'-0"	3'-9"	WOOD	FIXED
124	18'-0"	8'-0"		METAL GARAGE LIFT						
125	5'-5"	10'-0"		WOOD SWING						
201	12'-0"	8'-0"		WOOD SLIDING						
202	4'-11"	8'-0"		WOOD SWING						
203	10'-0"	8'-0"		WOOD SLIDING						
204	3'-0"	8'-0"		WOOD SWING						

**PROPOSED UPPER FLOOR PLAN**  
SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

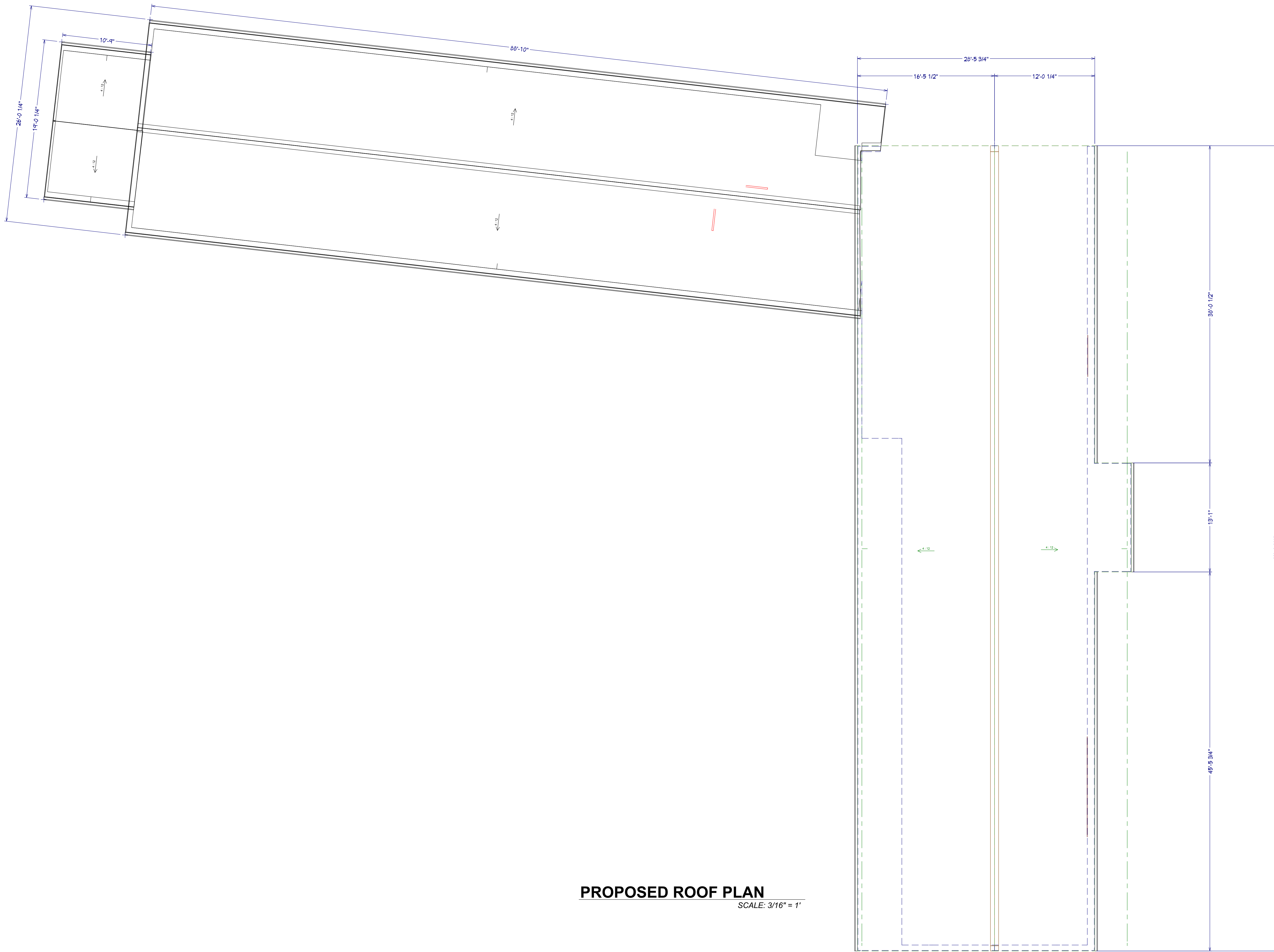
**Stocker & Allaire**  
General Contractors, Inc.  
Lic # 504797  
831-375-1890

1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
FEBRUARY 12, 2024 APN:008-423-014-000

1535 PALMERO WAY  
PROPOSED UPPER FLOOR PLAN

Revisions:


**A2.2**



**PROPOSED ROOF PLAN**  
SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

Revisions:


**A2.3**

**1535 PALMERO WAY**  
**PROPOSED ROOF PLAN**

1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
FEBRUARY 12, 2024 APN:008-423-014-000

**Stocker & Allaire**  
General Contractors, Inc. Lic # 504797  
21 Mendocville Court, Monterey, CA 93940  
831-375-1890



**SOUTH ELEVATION**

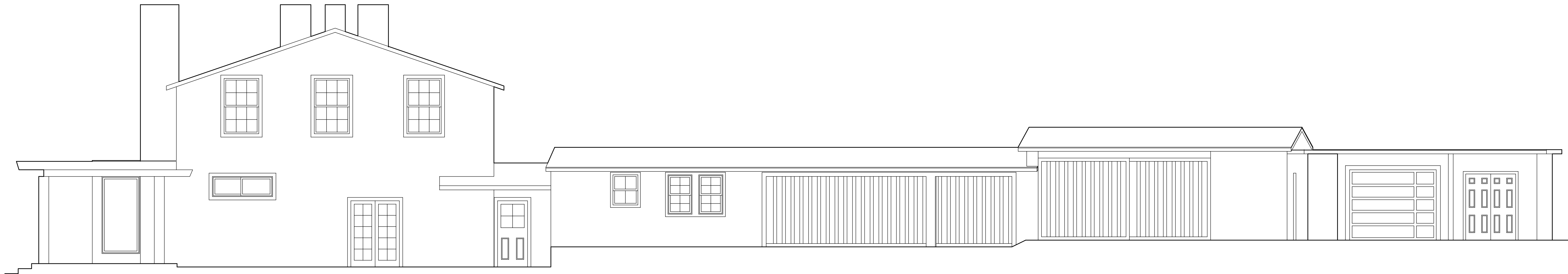
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**NORTH ELEVATION**

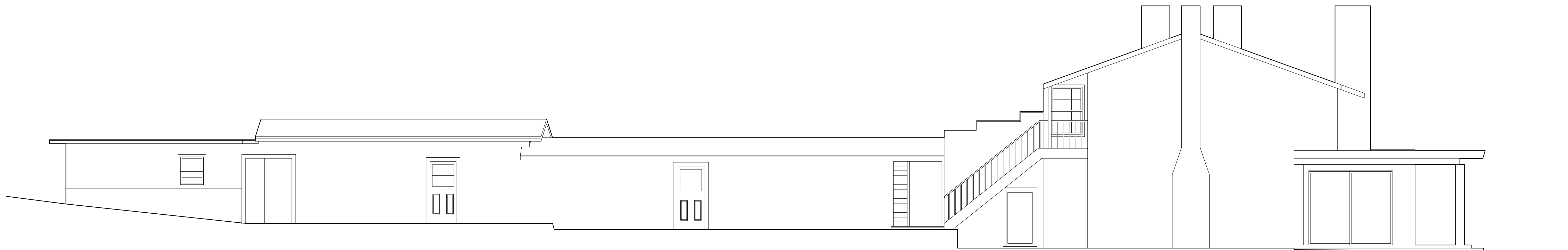
scale: 1/4"=1'-0"

Revisions:

**SOUTH ELEVATION**

scale: 3/16"=1'-0"



**NORTH ELEVATION**

scale: 3/16"=1'-0"

1535 PALMERO  
PEBBLE BEACH, CA 93953

June 27th, 2023 APN: 008-423-014-000

**1535 PALMERO WAY**  
**EXISTING ELEVATIONS**

Revisions:






**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

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General Contractors, Inc.  
Lic # 504797

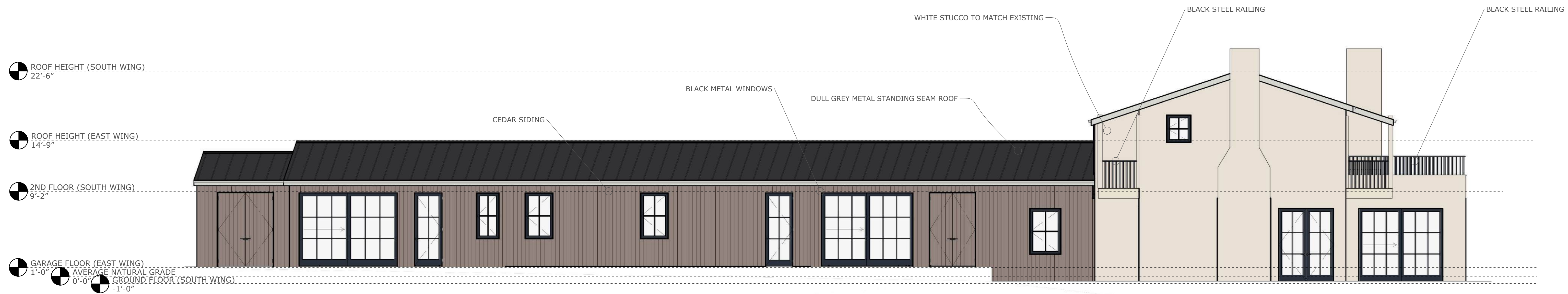
21 Mandeville Court, Monterey, CA 93940  
831-375-1890

1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
JANUARY 26, 2024 APN:008-423-014-000

1535 PALMERO WAY  
PROPOSED ELEVATIONS

Revisions:


**A3.3**



**WEST ELEVATION**  
SCALE: 3/16" = 1'



**EAST ELEVATION**  
SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

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21 Mendocino Court, Monterey, CA 93940  
831-375-1890

1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
JANUARY 26, 2024 APN: 008-423-014-000

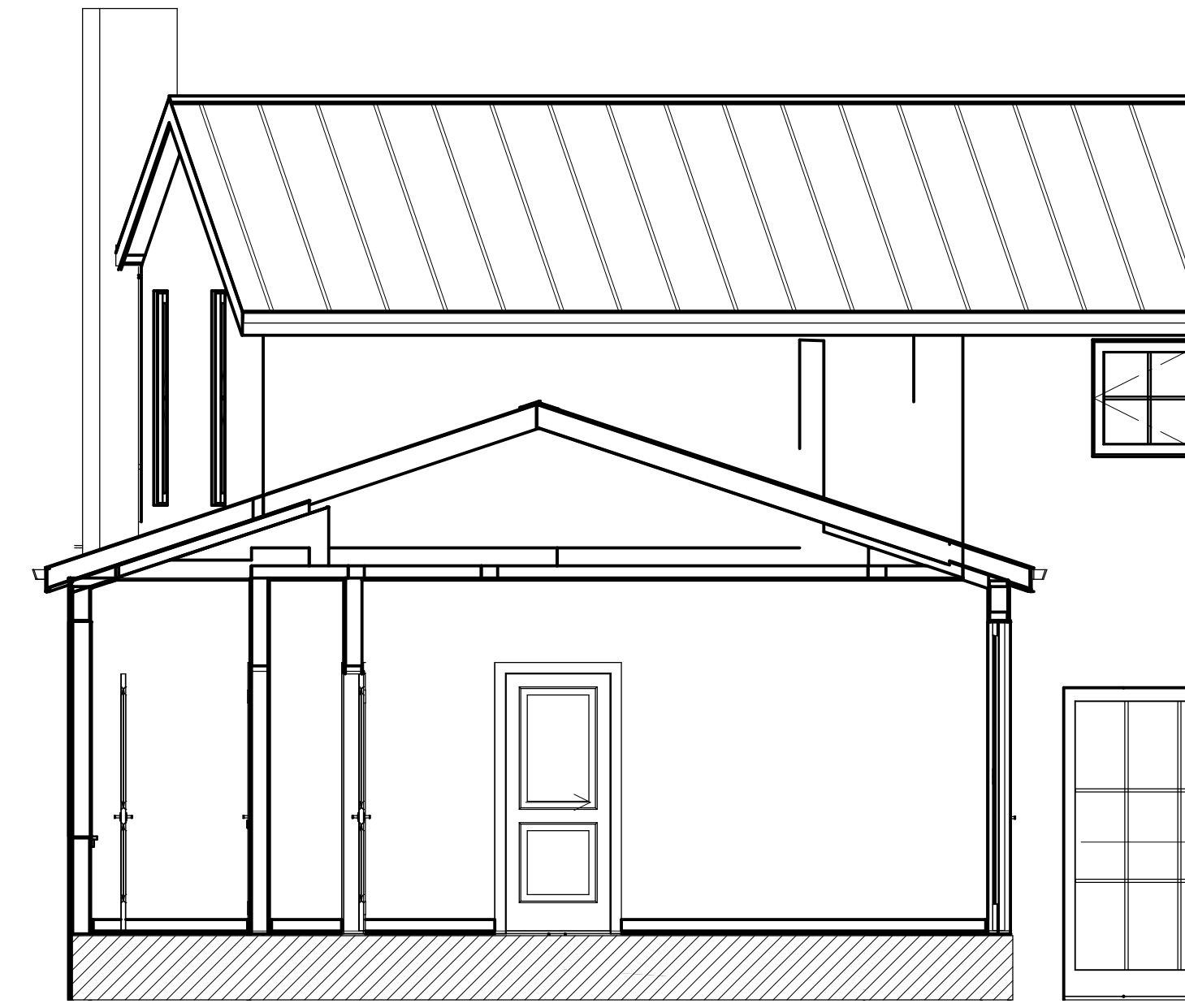
1535 PALMERO WAY  
PROPOSED ELEVATIONS

Revisions:



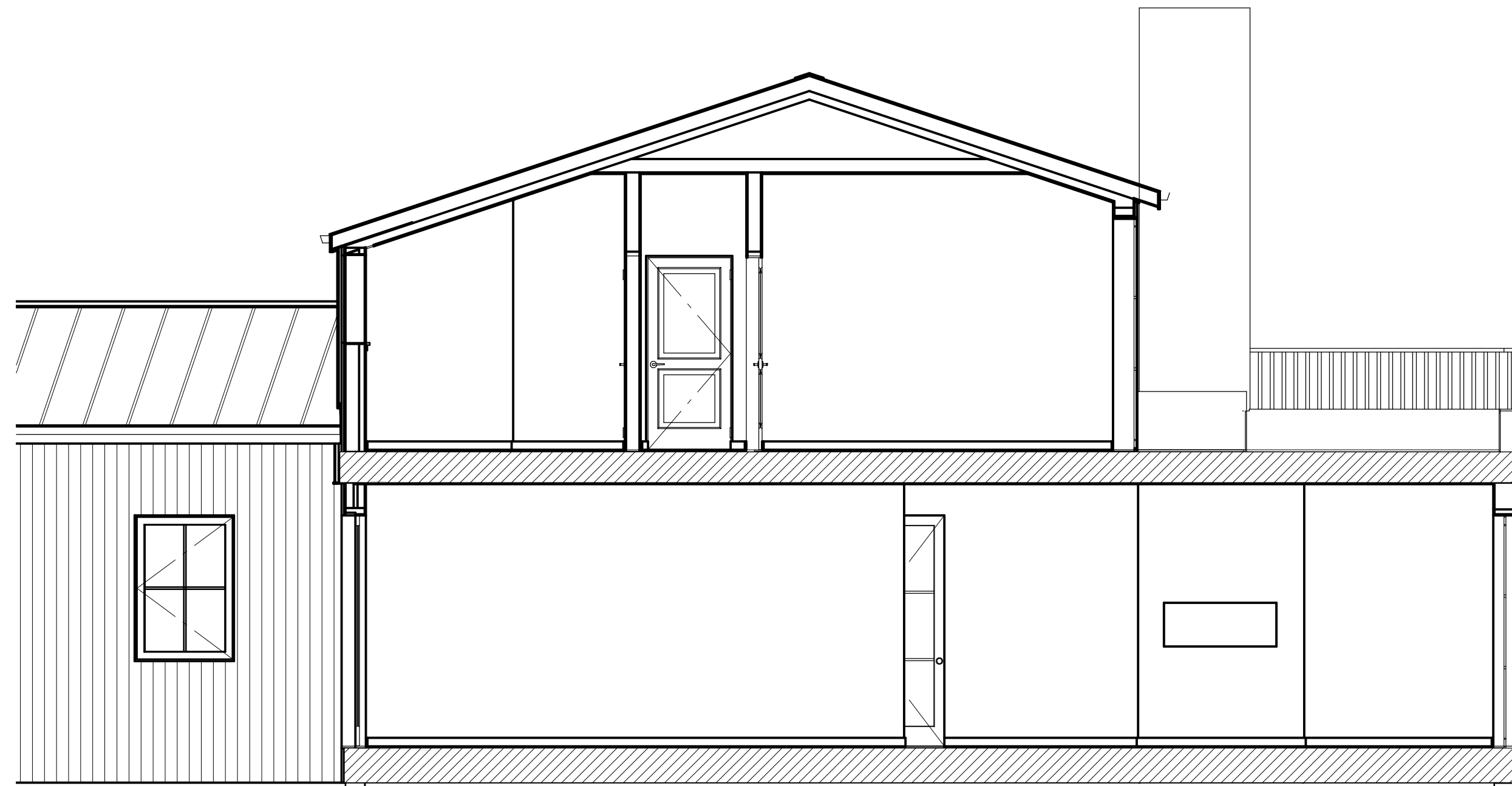

**SECTION A**

SCALE: 3/16" = 1'



**SECTION B**

SCALE: 3/16" = 1'



**SECTION C**

SCALE: 3/16" = 1'



**SECTION D**

SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

**Stocker & Allaire**  
General Contractors, Inc. Lic # 504797

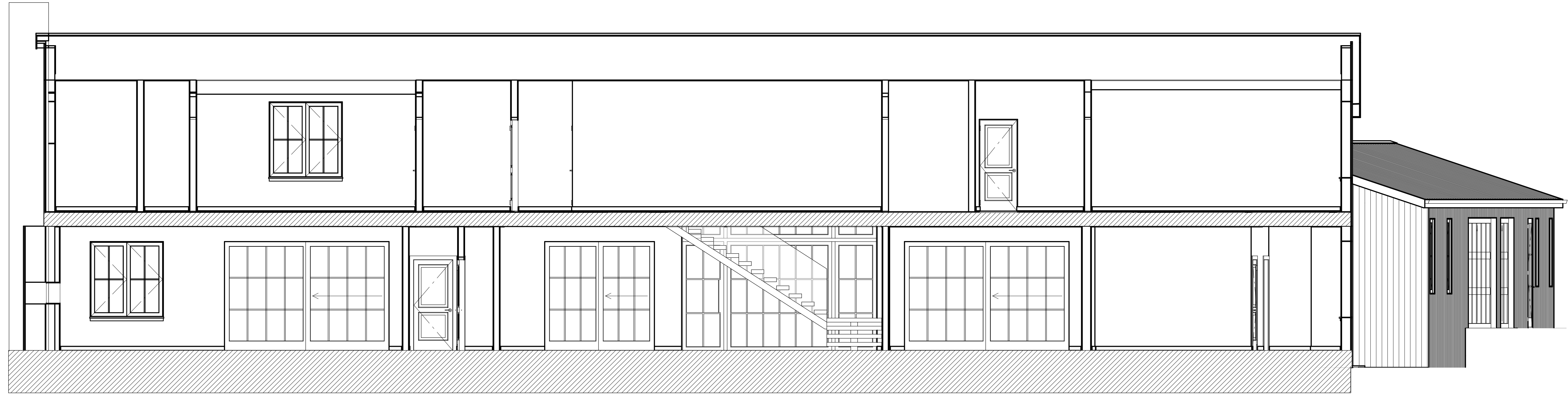
21 Mendocino Court, Monterey, CA 93940 831-375-1890

1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
JANUARY 26, 2024 APN: 008-423-014-000

**1535 PALMERO WAY**  
**SECTIONS**

Revisions:


**A3.5**



**SECTION E**

SCALE: 3/16" = 1'



**SECTION F**

SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

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General Contractors, Inc.  
Lic # 504797

21 Mendocino Court, Monterey, CA 93940  
831-375-1990



1535 PALMERO WAY  
PEBBLE BEACH, CA. 93953  
JANUARY 26, 2024 APN: 008-423-014-000

1535 PALMERO WAY  
SECTIONS

Revisions:


**A3.6**



-  PENDANT LIGHT
-  RECESSED LIGHT



**GROUND LEVEL RCP**  
SCALE: 3/16" = 1'

\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

Revisions:

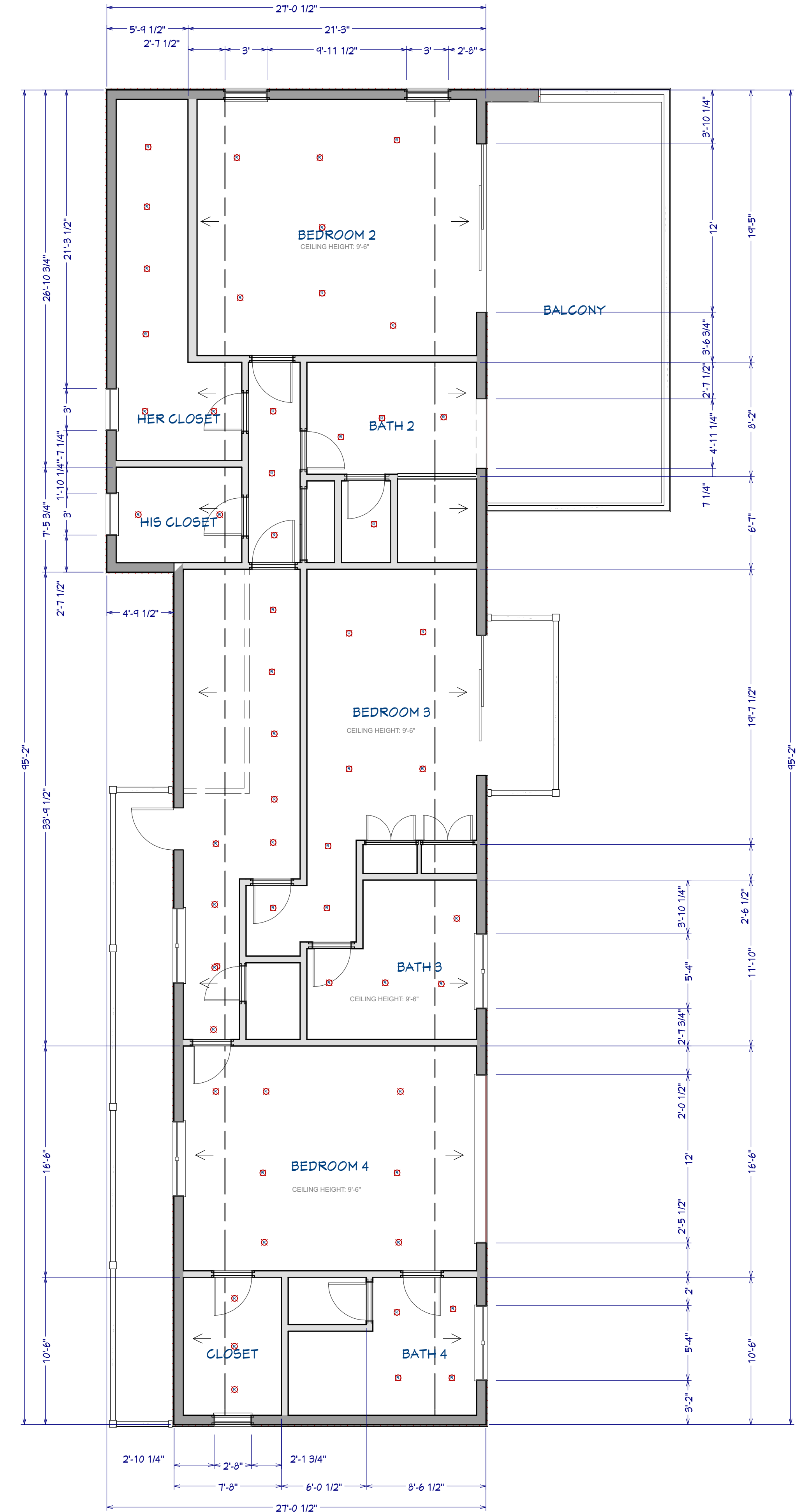

**1535 PALMERO WAY**  
**PEBBLE BEACH, CA. 93953**  
FEBRUARY 12, 2024    APN: 008-423-014-000

**Stocker & Allaire**  
General Contractors, Inc.    Lic # 504797  
21 Mendocino Court, Monterey, CA 93940    831-375-1890

-  PENDANT LIGHT
-  RECESSED LIGHT

**UPPER LEVEL RCP**

SCALE: 3/16" = 1'



\*NOTE: ALL DIMENSIONS ARE TO FACE OF STUD

Revisions:


**A4.2**

**1535 PALMERO WAY**  
**UPPER LEVEL REFLECTED**  
**CEILING PLAN**

1535 PALMERO WAY  
 PEBBLE BEACH, CA. 93953  
 FEBRUARY 12, 2024 APN:008-423-014-000

**Stocker & Allaire**  
 General Contractors, Inc. Lic # 504797  
 21 Mendocville Court, Monterey, CA 93940  
 831-375-1890

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 1 of 17)

Project Name: 1535 Palmero Way  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2024-11-18T08:23:54-08:00  
Input File Name: 1535 Palmero Way.rbd22x

01	Project Name		05	Standards Version	
01	Project Name	1535 Palmero Way	05	Standards Version	2022
02	Run Title	Title 24 Analysis	07	Software Version	EnergyPro 9.2
03	Project Location	1535 Palmero Way	09	Front Orientation (deg/ Cardinal)	180
04	City	Pebble Beach	11	Number of Dwelling Units	1
06	Zip Code	93953	13	Number of Bedrooms	5
08	Climate Zone	3	15	Self Number of Stories	2
10	Building Type	Single family	17	Fenestration Average U-factor	0.39
12	Project Scope	Addition and/or Alteration	19	Glazing Percentage (%)	26.32%
14	Addition Cond. Floor Area (ft²)	1245	21	ADU Bedroom Count	n/a
16	Existing Cond. Floor Area (ft²)	5871	23	No Dwelling Unit:	No
18	Total Cond. Floor Area (ft²)	7119			
20	ADU Bedroom Count	n/a			
22	Fuel Type	Natural gas			

**COMPLIANCE RESULTS**

01	02
01	Building Complies with Computer Performance
02	This building incorporates Features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 424-P01028536A-000-000-0000000-0000  
 Registration Date/Time: 11/18/2024 08:37  
 HERS Provider: CHEERS  
 NOTICE: This document has been generated by California Home Energy Efficiency Rating Services (CHEERS) using information uploaded by third parties not affiliated with or related to CHEERS. Therefore, CHEERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document.  
 CA Building Energy Efficiency Standards - 2022 Residential Compliance  
 Report Version: 2022.0.000  
 Report Generated: 2024-11-18 08:25:01  
 Schema Version: rev 20220901

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 2 of 17)

Project Name: 1535 Palmero Way  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2024-11-18T08:23:54-08:00  
Input File Name: 1535 Palmero Way.rbd22x

Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft² - yr)	Standard Design TDV Energy (EDR2) (kWh/ft² - yr)	Proposed Design Source Energy (EDR1) (kBtu/ft² - yr)	Proposed Design TDV Energy (EDR2) (kWh/ft² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	27.08	0	29.81	0	-2.73
Space Cooling	0	4.31	0	1.45	0	2.86
IAQ Ventilation	0	2.81	0	2.81	0	0
Water Heating	0	7.64	0	7.44	0	0.2
Self Utilization/Flexibility Credit						
Efficiency Compliance Total	0	41.84	0	41.51	0	0.33
Photovoltaics	0	0	0	0	0	0
Battery	0	0	0	0	0	0
Flexibility	0	0	0	0	0	0
Indoor Lighting	0	3.76	0	3.76	0	0
Appl. & Cooking	0	5.97	0	5.91	0	0
Plug Loads	0	10.89	0	10.89	0	0
Outdoor Lighting	0	1	0	1	0	0
<b>TOTAL COMPLIANCE</b>	<b>0</b>	<b>63.46</b>	<b>0</b>	<b>63.07</b>	<b>0</b>	<b>0.39</b>

Registration Number: 424-P01028536A-000-000-0000000-0000  
 Registration Date/Time: 11/18/2024 08:37  
 HERS Provider: CHEERS  
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 CA Building Energy Efficiency Standards - 2022 Residential Compliance  
 Report Version: 2022.0.000  
 Report Generated: 2024-11-18 08:25:01  
 Schema Version: rev 20220901

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 3 of 17)

Project Name: 1535 Palmero Way  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2024-11-18T08:23:54-08:00  
Input File Name: 1535 Palmero Way.rbd22x

	Standard Design (kBtu/ft² - yr)	Proposed Design (kBtu/ft² - yr)	Compliance Margin (kBtu/ft² - yr)	Margin Percentage
Gross EU1	12.54	13.06	-0.52	-4.15
Net EU1	12.54	13.06	-0.52	-4.15

Notes:  
 1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area.  
 2. Net EU1 is Energy Use Total (including PV) / Total Building Area.

**REQUIRED SPECIAL FEATURES**

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Precooling Credit Taken
- Ducts with high level of insulation
- Ceiling has high level of insulation
- Floor has high level of insulation
- Insulation below roof deck
- Ducts in crawl space
- Non-standard duct location (any location other than attic)

**HERS FEATURE SUMMARY**

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

- Indoor air quality ventilation
- Kitchen range hood
- Minimum Airflow
- Verified SEER/SEER2
- Fan Efficacy Watts/CFM
- Duct leakage testing
- Ducts located entirely in conditioned space confirmed by duct leakage testing

Registration Number: 424-P01028536A-000-000-0000000-0000  
 Registration Date/Time: 11/18/2024 08:37  
 HERS Provider: CHEERS  
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 Schema Version: rev 20220901

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 4 of 17)

Project Name: 1535 Palmero Way  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2024-11-18T08:23:54-08:00  
Input File Name: 1535 Palmero Way.rbd22x

**BUILDING - FEATURES INFORMATION**

01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Systems	Number of Water Heating Systems
1535 Palmero Way	7119	1	5	4	0	1

**ZONE INFORMATION**

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Main Living Zone	Conditioned	Main System1	2686	9	DHW Sys 1	Existing Unchanged
GUEST	Conditioned	Guest System2	1248	9	DHW Sys 1	New
Garage 1	Conditioned	Guest System2	970	9	DHW Sys 1	Existing Unchanged
Upper Zone	Conditioned	System 23	2215	8	DHW Sys 1	Existing Unchanged

**OPAQUE SURFACES**

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
12F-Obw 7	Main Living Zone	R-21 Wall	270	Left	86.6	0	90	none	Altered	No
12F-Obw 8	Main Living Zone	R-21 Wall	0	Back	303.4	256.5	90	none	Altered	No
12F-Obw 9	Main Living Zone	R-21 Wall	0	Back	11.07	0	90	none	Altered	No
12F-Obw 10	GUEST	R-21 Wall	90	Right	213.03	44	90	none	New	n/a
12F-Obw 11	GUEST	R-21 Wall	270	Left	212.85	116.5	90	none	New	No
12F-Obw 12	GUEST	R-21 Wall	0	Back	31.14	0	90	none	New	n/a
12F-Obw 13	GUEST	R-21 Wall	0	Back	34.92	0	90	none	New	n/a
12F-Obw 14	GUEST	R-21 Wall	90	Right	236.5	33	90	none	New	No
12F-Obw 15	GUEST	R-21 Wall	180	Front	62.2	0	90	none	New	No
12F-Obw 16	GUEST	R-21 Wall	90	Right	60.4	54.2	90	none	New	No
12F-Obw 17	GUEST	R-21 Wall	270	Left	317.1	97.1	90	none	New	No
12F-Obw 18	Garage 1	R-21 Wall	90	Right	96.57	64.13	90	none	Altered	No
12F-Obw 19	Garage 1	R-21 Wall	270	Left	96.57	48	90	none	Altered	No
12F-Obw 20	Garage 1	R-21 Wall	0	Back	151.11	40	90	none	Altered	No
12F-Obw 21	Garage 1	R-21 Wall	90	Right	105.57	68	90	none	Altered	No
12F-Obw 22	Garage 1	R-21 Wall	90	Right	193.41	144	90	none	Altered	No
12F-Obw 23	Garage 1	R-21 Wall	270	Left	297.36	48.69	90	none	Altered	No
12F-Obw 24	Upper Zone	R-21 Wall	90	Right	247.5	33	90	none	Altered	No
12F-Obw 25	Upper Zone	R-21 Wall	180	Front	271.53	135.36	90	none	Altered	No
12F-Obw 26	Upper Zone	R-21 Wall	270	Left	4.5	0	90	none	Altered	No
12F-Obw 27	Upper Zone	R-21 Wall	180	Front	589.5	165.69	90	none	Altered	No
12F-Obw 28	Upper Zone	R-21 Wall	270	Left	200.25	9	90	none	Altered	No
12F-Obw 29	Upper Zone	R-21 Wall	0	Back	550.53	82.63	90	none	Altered	No
12F-Obw 30	Upper Zone	R-21 Wall	270	Left	98.4	0	90	none	Altered	No

**ATTIC**

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic GUEST	Attic Roof/GUEST	Ventilated	0	0.1	0.85	No	No	Existing	No
Attic Garage 1	Attic Roof/Garage 1	Ventilated	0	0.1	0.85	No	No	Existing	No
Attic Upper Zone	Attic Roof/Upper Zone	Ventilated	0	0.1	0.85	No	No	Existing	No

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 Registration Date/Time: 11/18/2024 08:37  
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 CA Building Energy Efficiency Standards - 2022 Residential Compliance  
 Report Version: 2022.0.000  
 Report Generated: 2024-11-18 08:25:01  
 Schema Version: rev 20220901

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD** CF1R-PRF-01-E  
(Page 5 of 17)

Project Name: 1535 Palmero Way  
Calculation Description: Title 24 Analysis  
Calculation Date/Time: 2024-11-18T08:23:54-08:00  
Input File Name: 1535 Palmero Way.rbd22x

**OPAQUE SURFACES**

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
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12F-Obw 8	Main Living Zone	R-21 Wall	0	Back	303.4	256.5	90	none	Altered	No
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12F-Obw 12	GUEST	R-21 Wall	0	Back	31.14	0	90	none	New	n/a
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Attic Garage 1	Attic Roof/Garage 1	Ventilated	0	0.1	0.85	No	No	Existing	No
Attic Upper Zone	Attic Roof/Upper Zone	Ventilated	0	0.1	0.85	No	No	Existing	No

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OPAQUE DOORS table with columns 01-06: Name, Side of Building, Area (ft²), U-factor, Status, Verified Existing Condition

SLAB FLOORS table with columns 01-10: Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated, Status, Verified Existing Condition

OPAQUE SURFACE CONSTRUCTIONS table with columns 01-08: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers

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BUILDING ENVELOPE - HERS VERIFICATION table with columns 01-05: Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50

WATER HEATING SYSTEMS table with columns 01-12: Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (#), Status, Verified Existing Condition, Existing Water Heating System

WATER HEATERS table with columns 01-15: Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency Type, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, Tank Location, Status, Verified Existing Condition

WATER HEATING - HERS VERIFICATION table with columns 01-07: Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery

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SPACE CONDITIONING SYSTEMS table with columns 01-12: Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type, Status, Verified Existing Condition, Existing HVAC System

HVAC - HEATING UNIT TYPES table with columns 01-05: Name, System Type, Number of Units, Heating Efficiency, Heating Unit Brand

HVAC - COOLING UNIT TYPES table with columns 01-09: Name, System Type, Number of Units, Efficiency Metric, Efficiency EER/EER2/CEER, Efficiency SEER/SEER2, Zonally Controlled, Multi-speed Compressor, HERS Verification

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HVAC - COOLING UNIT TYPES table with columns 01-09: Name, System Type, Number of Units, Efficiency Metric, Efficiency EER/EER2/CEER, Efficiency SEER/SEER2, Zonally Controlled, Multi-speed Compressor, HERS Verification

HVAC COOLING - HERS VERIFICATION table with columns 01-06: Name, Verified Airflow, Airflow Target, Verified EER/EER2, Verified SEER/SEER2, Verified Refrigerant Charge

HVAC - DISTRIBUTION SYSTEMS table with columns 01-16: Name, Type, Design Type, Duct Ins. R-value, Return, Surface Area, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution System, New Ducts >= 25 ft

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HVAC - DISTRIBUTION SYSTEMS table with columns 01-16: Name, Type, Design Type, Duct Ins. R-value, Return, Surface Area, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution System, New Ducts >= 25 ft

HVAC DISTRIBUTION - HERS VERIFICATION table with columns 01-09: Name, Duct Leakage Verification, Duct Leakage Target (%), Verified Duct Location, Verified Duct Design, Buried Ducts, Deeply Buried Ducts, Low-leakage Air Handler, Low-leakage Ducts Entirely in Conditioned Space

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HVAC - FAN SYSTEMS table with columns 01-04: Name, Type, Fan Power (Watts/CFM), Name

HVAC FAN SYSTEMS - HERS VERIFICATION table with columns 01-03: Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM)

INDOOR AIR QUALITY (IAQ) FANS table with columns 01-09: Dwelling Unit, Airflow (CFM), Fan Efficiency (W/CFM), IAQ Fan Type, Includes Heat/Energy Recovery?, IAQ Recovery Effectiveness - SRE/ASRE, Includes Fault Indicator Display, HERS Verification, Status

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT, RESPONSIBLE PERSON'S DECLARATION STATEMENT, and signatories: Philip Neumann Energy Design, Cynthia Spellacy

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1520 CYPRESS PEBBLE BEACH, CA 93953  
SEPTEMBER 3, 2023  
APN: 008-521-005-000

1520 CYPRESS  
Title 24 CF-1R-PRF-01 (cont.)  
ISSUE REVISIONS:  
BLOG PERMIT PERMIT REV1  
04-23-24 11-18-24  
EN 0.2





CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.

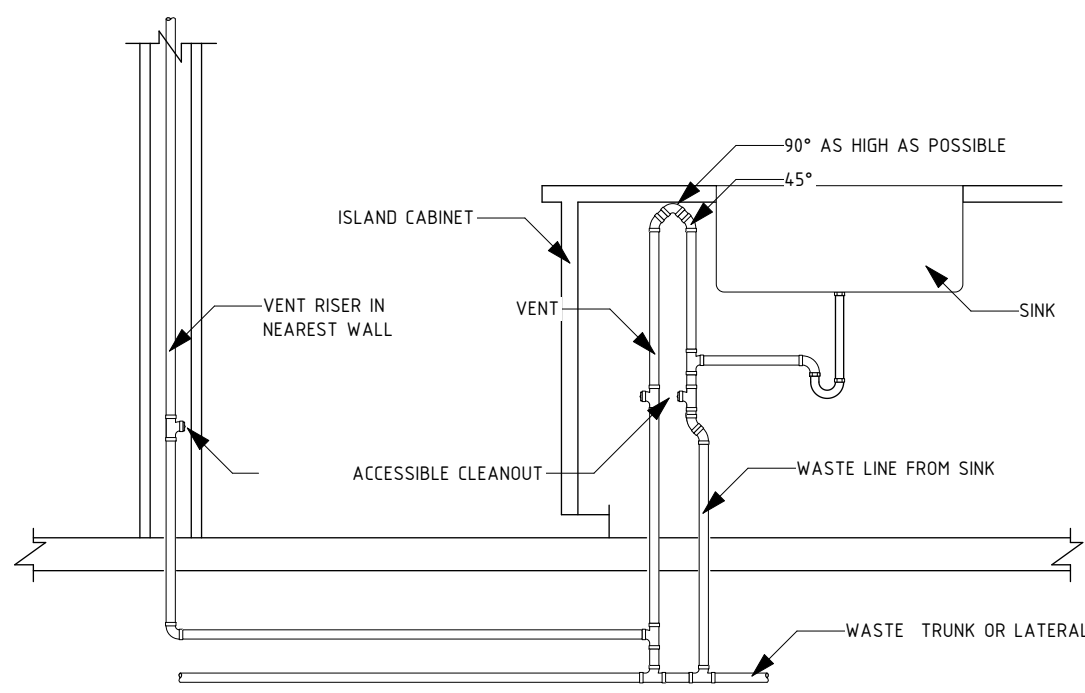
4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes.

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

Vertical sidebar containing contact information for Philip Neumann Energy Design (415.680.7015), 1520 CYPRESS PEBBLE BEACH, CA 93963, and CAL GREEN logo with GB 2.0 text.

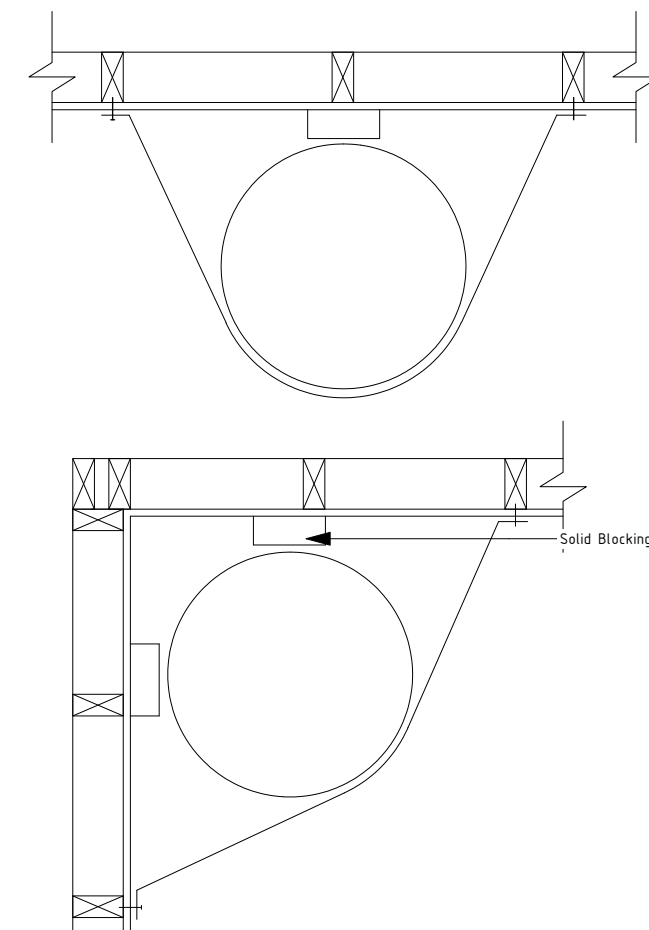


ISLAND VENT DETAIL



1 ISLAND VENTING

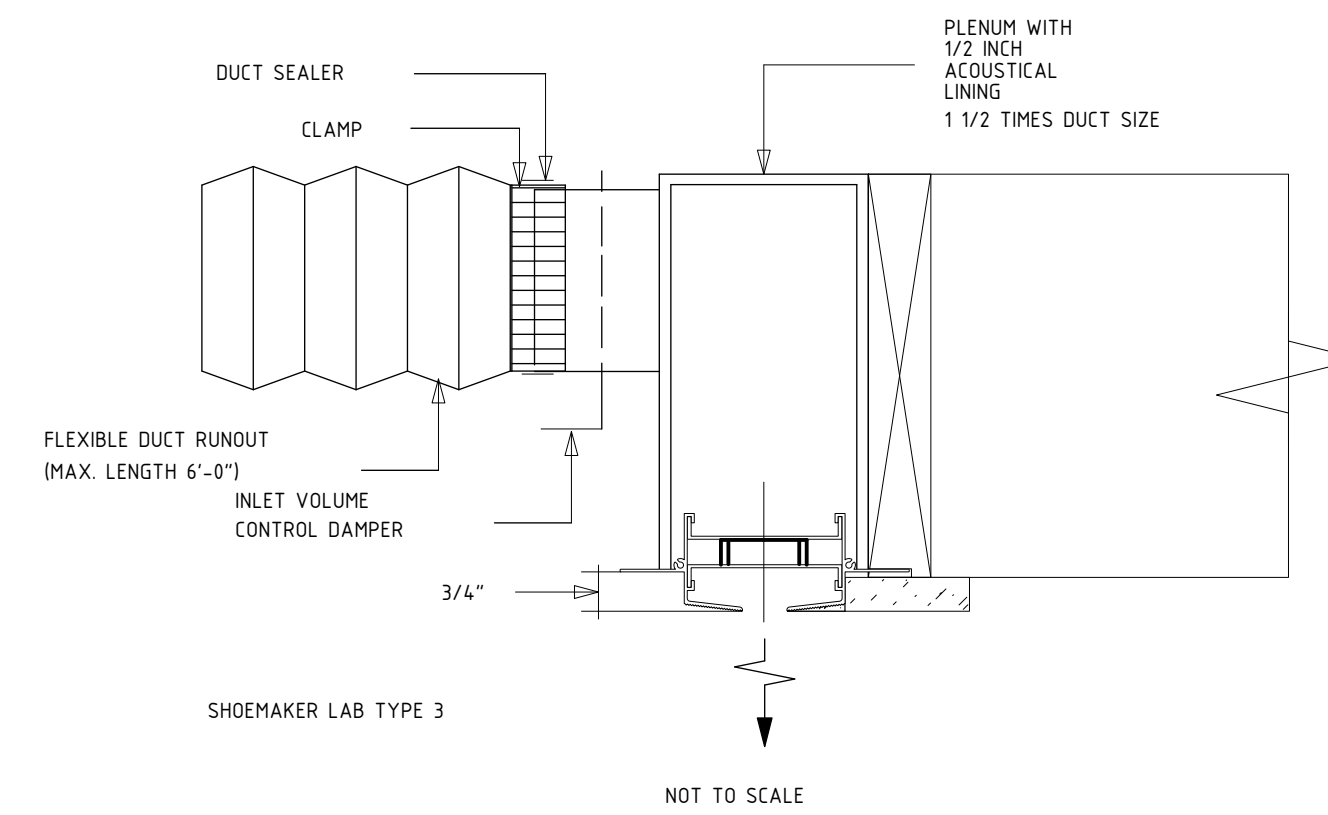
WATER HEATER/STORAGE TANK STRAPPING



PROVIDE 18 Ga. SEISMIC STRAPPING OF WATER HEATER OR STORAGE TANK. STRAP UPPER AND LOWER 1/3 OF TANK NOT CLOSER THAN 4" FROM ANY CONTROL BOX OR VALVE. THREE STRAPS REQUIRED ON TANKS OF 100 GALLONS BLOCK BEHIND TANK. IF STUDS NOT AVAILABLE SECURE TO HORIZONTAL 2X4S SPANNING STUDS. SECURE WITH 1/4" BY 3" LAG BOLTS

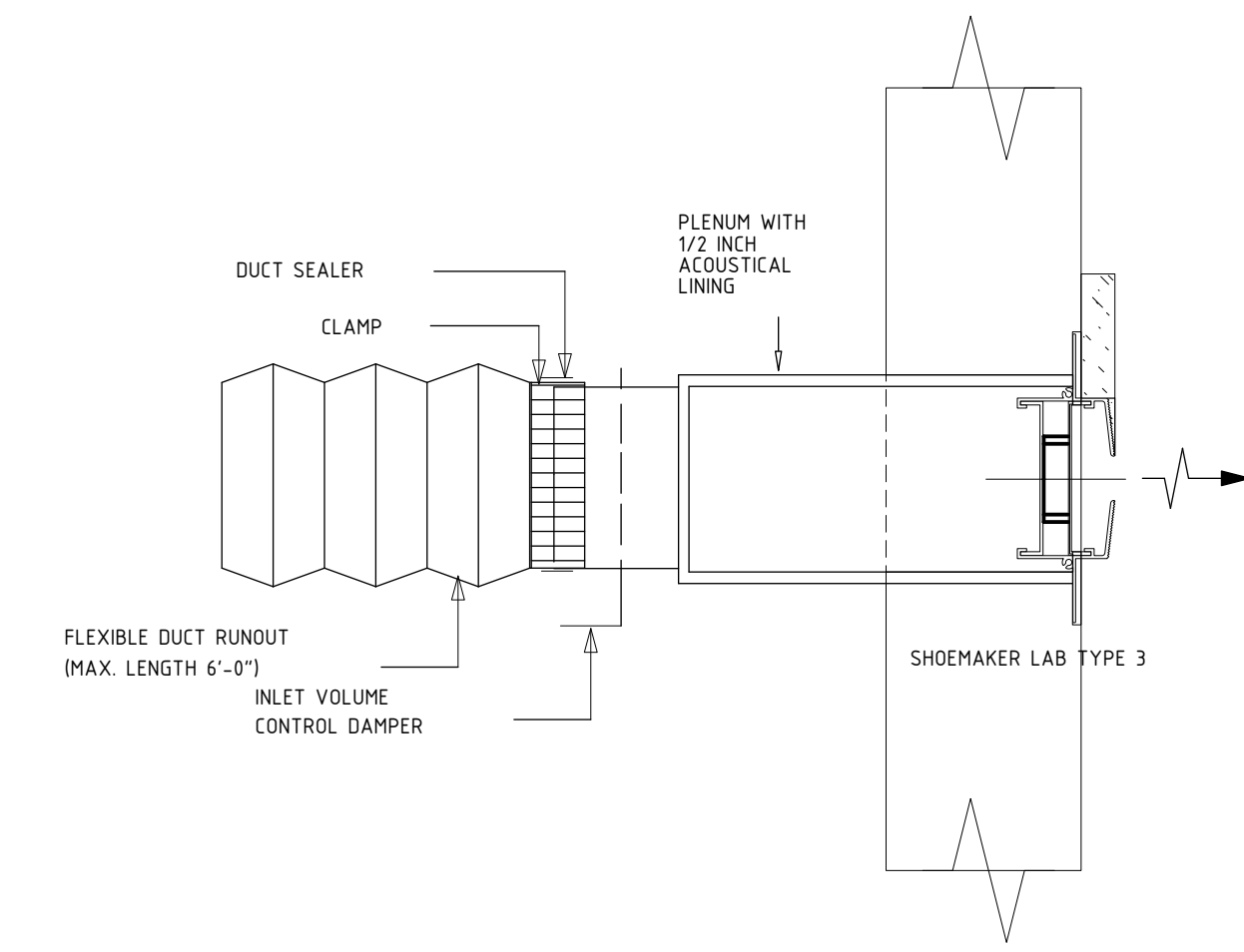
2 TANK STRAPPING

LINEAR DIFFUSER INSTALLATION



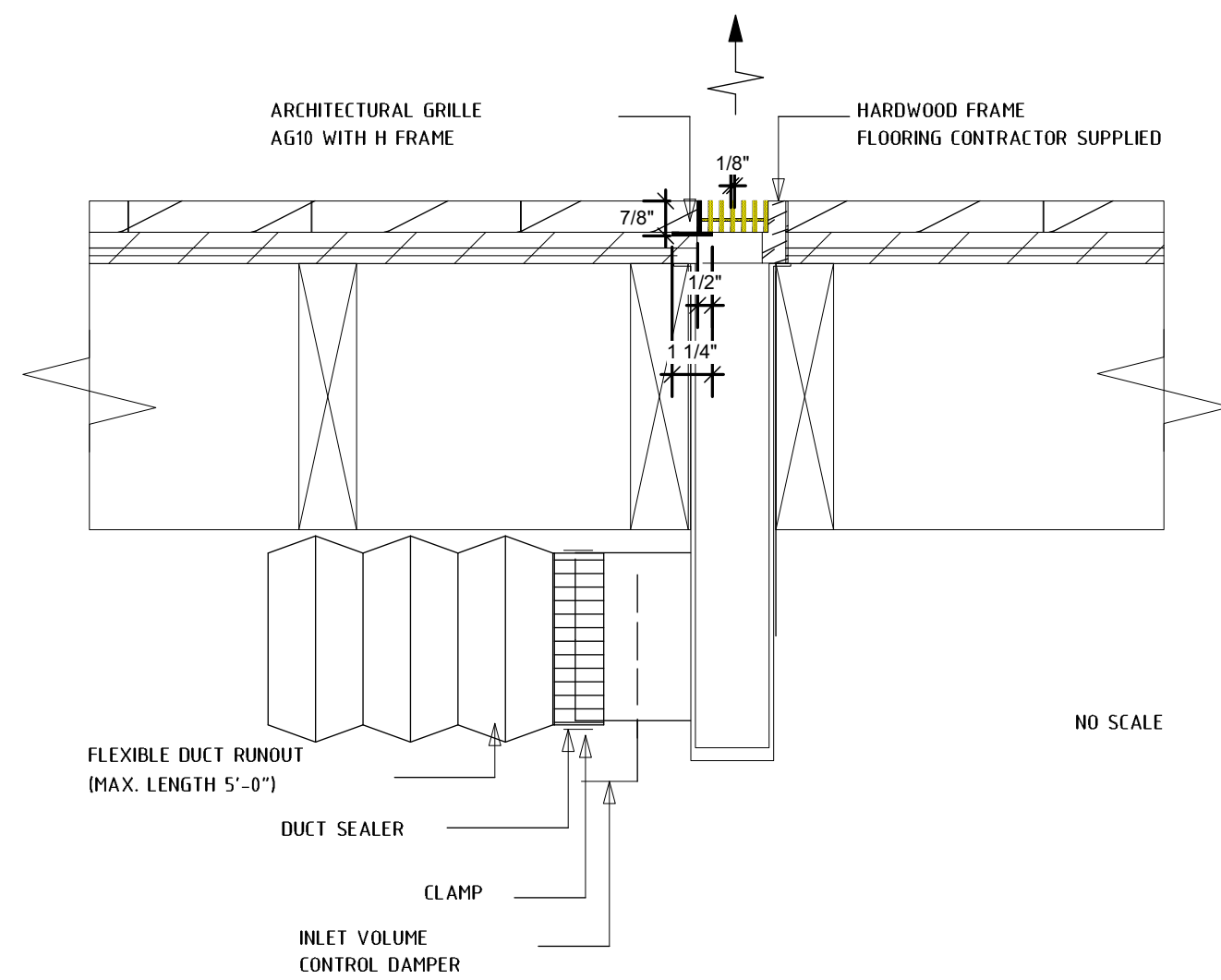
3 LINEAR DIFFUSER CEILING Typ.

LINEAR DIFFUSER INSTALLATION



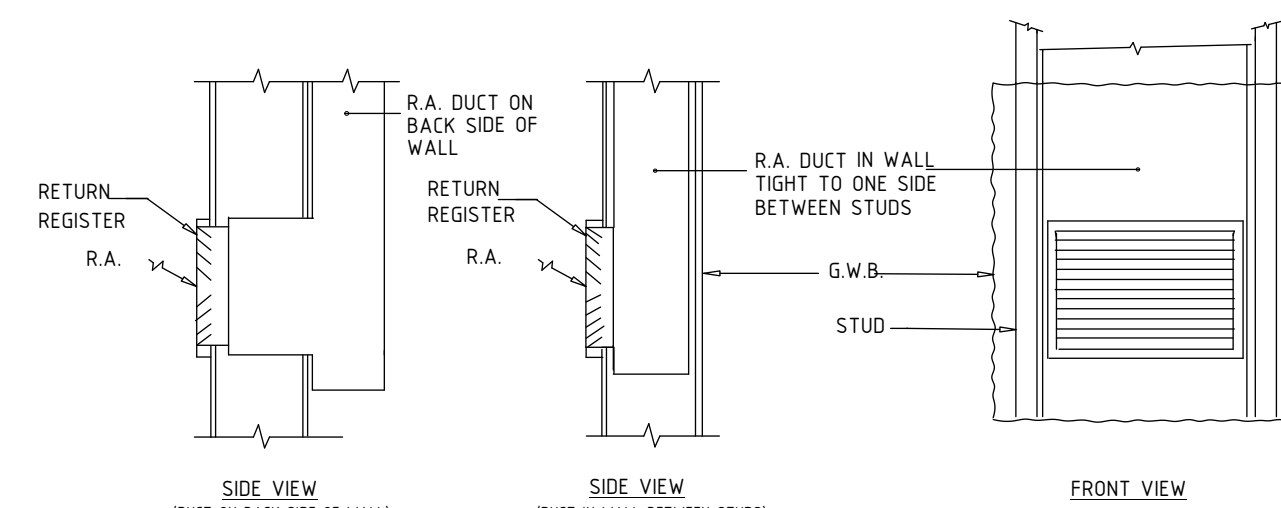
4 LINEAR DIFFUSER SIDE WALL Typ.

TYP. REFRIGERANT LINE INSTALLATION



5 FLOOR REGISTER INSTALLATION

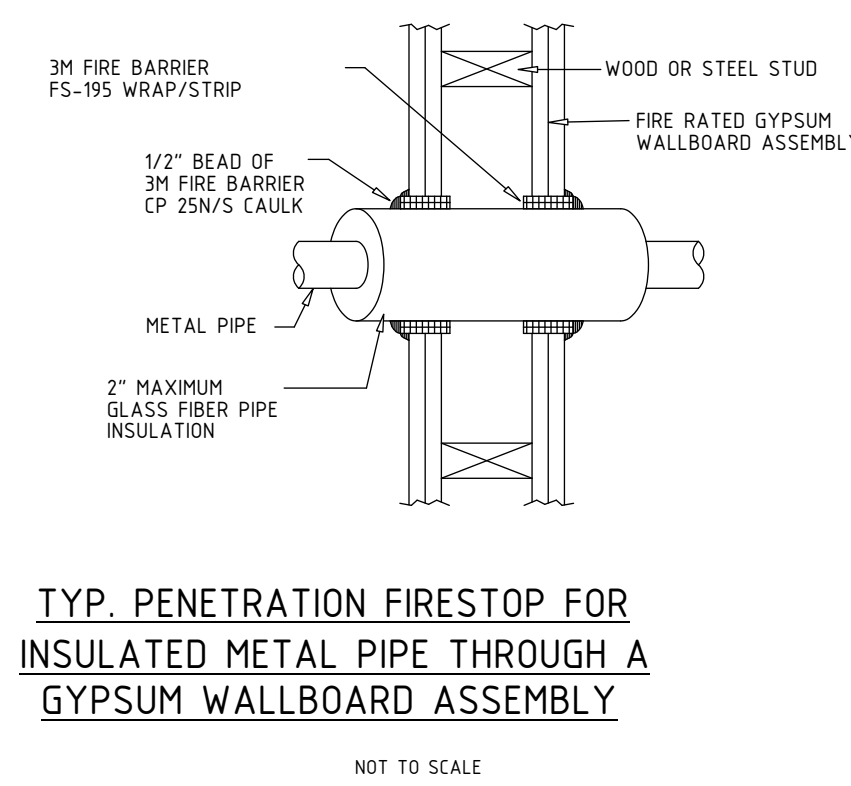
TYP. WALL MOUNTED RETURN AIR GRILLE DETAIL



TYP. WALL MOUNTED RETURN AIR GRILLE DETAIL

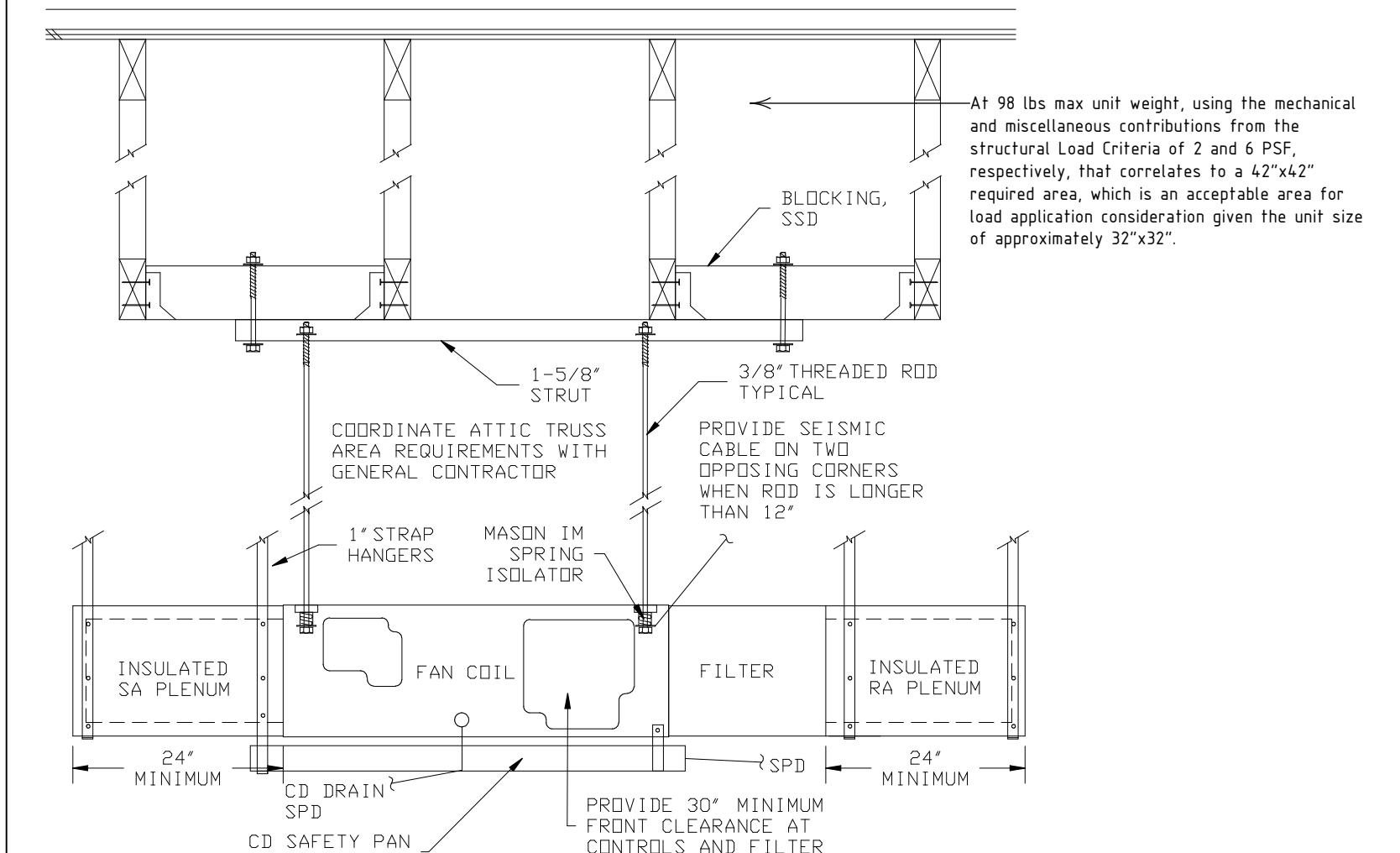
6 SIDE WALL GRILLE INSTALLATION

TYP. PENETRATION FIRESTOP

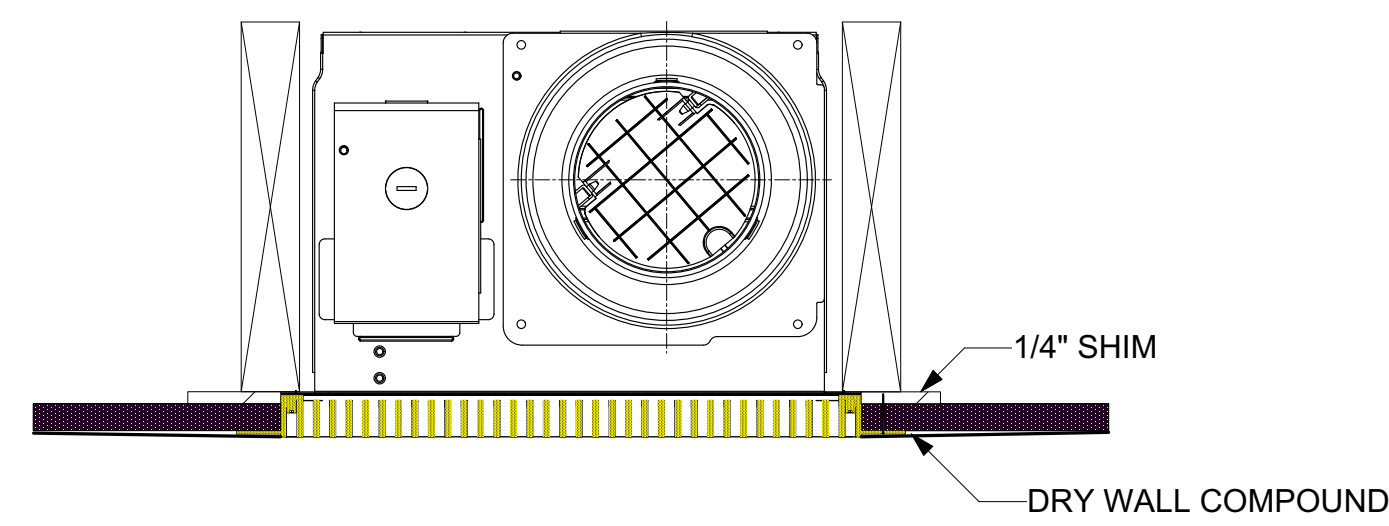


TYP. PENETRATION FIRESTOP FOR INSULATED METAL PIPE THROUGH A GYPSUM WALLBOARD ASSEMBLY

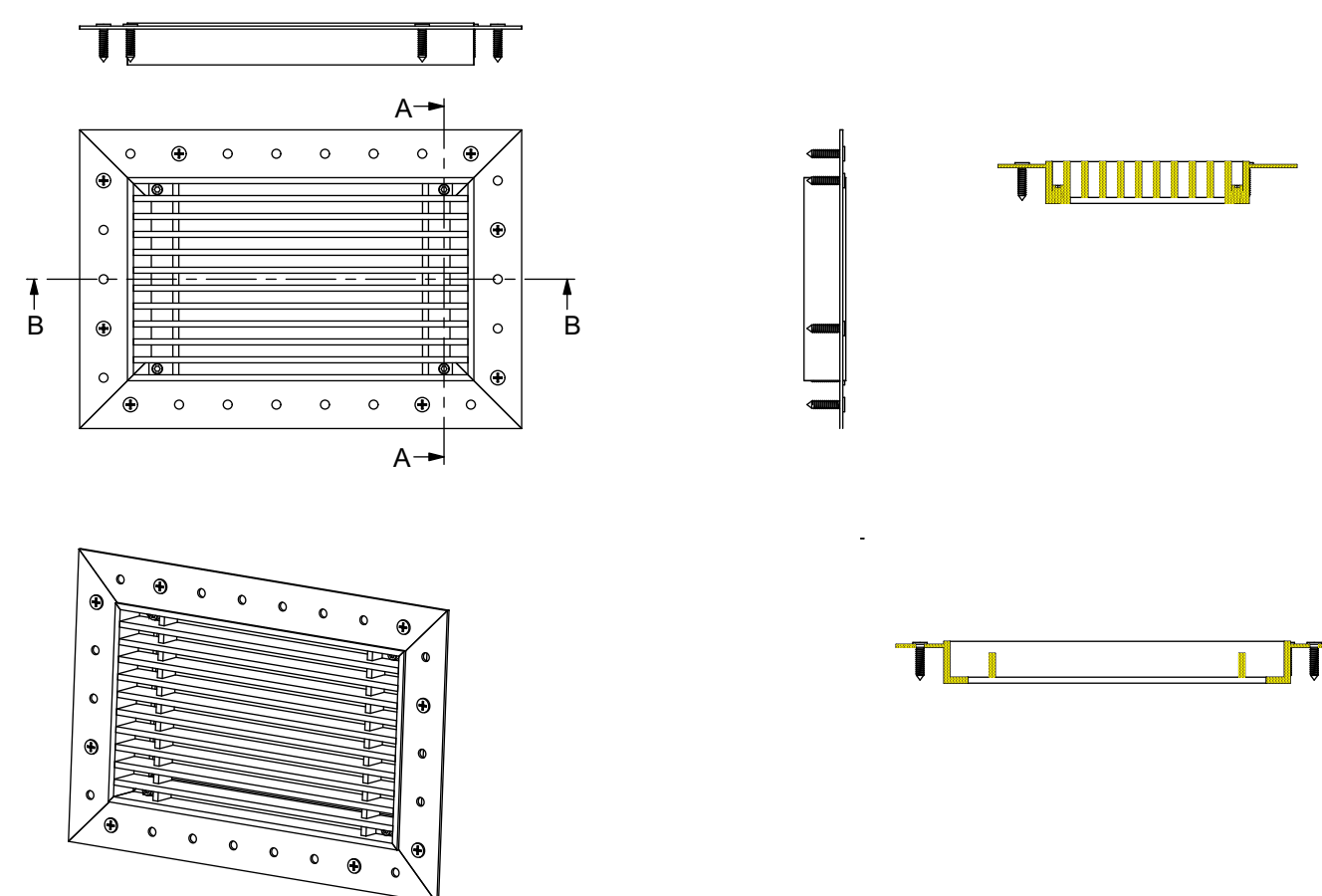
7 FIRESTOP - PIPE PENETRATIONS



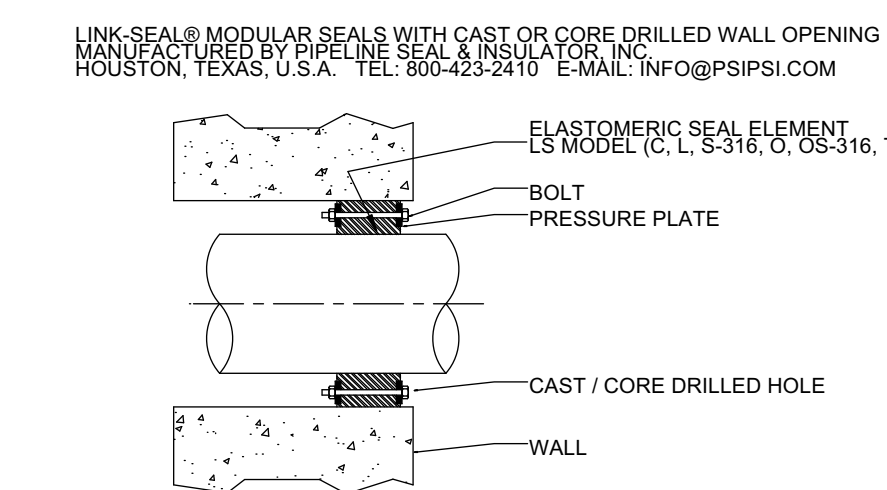
8 TYPICAL HORIZONTAL FAN COIL INSTALLATION



9 CUSTOM EXHAUST GRILLE Typ.



10 MUD-IN GRILLE DETAILS Typ.



11 RIGID PIPE PENETRATION THROUGH CONCRETE

DETAILS  
NO SCALE

Drawings are for coordination only. Design build mechanical contractor or qualified subcontractor is to be used to complete design documents. All drawings are to be checked for accuracy and compliance with applicable codes and regulations. Contractor to verify conditions and quantities before construction. All dimensions are in feet and inches unless otherwise noted.



**MECHANICAL KEYED NOTES**

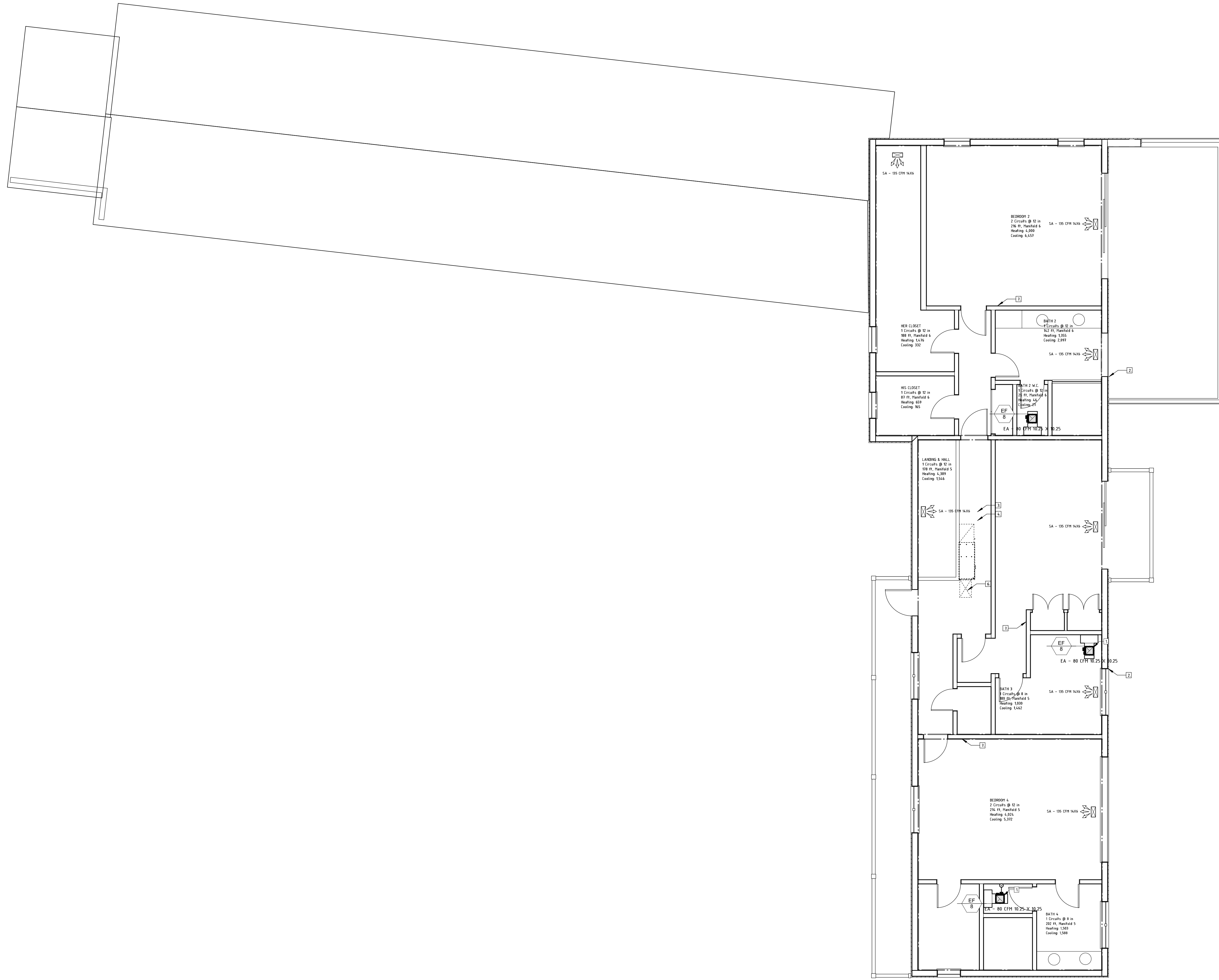
1. VENTILATION EXHAUST TERMINATIONS SHALL BE NO LESS THAN 3 FEET FROM OPENINGS TO THE BUILDING.
2. TYPICAL SENSOR - THERMOSTAT - CONTROLLER LOCATION IN WALL SENSORS TO BE PLACED ON INTERIOR WALLS OUT OF DRAFT OR DIRECT SUNLIGHT AWAY FROM HEAT SOURCES SUCH AS HIGH VOLTAGE DIMMERS 48-50" ABOVE FINISHED FLOOR THERMOSTATS OR DIGITAL CONTROLS TO BE PLACED 60" ABOVE FINISHED FLOOR OR AT CONVENIENT HEIGHT FOR OCCUPANTS VISIBILITY ADA COMPLIANT APPLICATIONS REQUIRE PLACEMENT AT NO MORE THAN 48" FROM FINISHED FLOOR WITH FRONT ACCESS.
3. BATHROOM EXHAUST FANS, EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: ENERGY STAR BATH FAN PANASONIC WHISPER GREEN FV-05-11VXK1 VARIABLE SPEED FAN - SET TO 5 ACH (TYP OR EQUAL) PROVIDE CONDENSATION CONTROL FV-ESVK1 2) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. B) A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN). (CG 4.506.1) VENTING EXTERIOR TERMINATIONS TO BE MINIMUM OF 36" FROM ANY BUILDING OPENING.
4. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE. CPC SECTION 4.08.3
5. 3014 ELECTRICAL CONNECTIONS, EQUIPMENT REGULATED BY THIS CODE REQUIRING ELECTRICAL CONNECTIONS OF MORE THAN 50 VOLTS SHALL HAVE A POSITIVE MEANS OF DISCONNECT ADJACENT TO AND IN SIGHT FROM THE EQUIPMENT SERVED. A 120 VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET (7620 MM) OF THE EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES.
6. DRYER VENT SHALL BE A MINIMUM OF 4" EXHAUSTED TO THE OUTSIDE OF BUILDING. LENGTH LIMITATIONS, UNLESS OTHERWISE PERMITTED OR REQUIRED BY DRYER MANUFACTURER'S INSTRUCTION AND APPROVED BY THE AUTHORITY HAVING JURISDICTION, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 34 FEET (10.41 M) INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE IN EXCESS OF TWO. FOR LENGTHS BEYOND THIS MAXIMUM PROVIDE MECHANICAL DUCT BOOSTER FAN. PROVIDE BACKDRAFT DAMPER PER I.A. ENERGY CODE (5000) AND PROVISIONS OF CPC 504.3 PROVIDE 100 SQ. IN. MAKEUP AIR OPENING FOR DOMESTIC DRYERS.
7. GAS APPLIANCES CONNECTED TO A PIPING SYSTEM SHALL HAVE AN ACCESSIBLE, APPROVED MANUAL SHUTOFF VALVE WITH A NO DISPLACEMENT VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUTLET, INSTALLED WITHIN 6 FEET OF THE EQUIPMENT IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. SHUTOFF VALVES SERVING DECORATIVE GAS APPLIANCES SHALL BE PERMITTED TO BE INSTALLED IN FIREPLACES IF LISTED FOR SUCH USE. (CPC 12115)
8. RANGE HOOD TO OUTSIDE - PROVIDE THE LARGER OF, a. 5 ACH (ASHRAE 62.2 SECTION 4.6.5) b. 1 CFM PER 100 Btu/h BASED ON CAPACITY OF GAS APPLIANCES IN KITCHEN INSTALL AS PER REQUIREMENTS OF CPC 504.2 AND CPC TABLE 403.7
9. AS PER CALIFORNIA CODE - 4.5031 FIREPLACES. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

**MECHANICAL LEGEND AND GENERAL NOTES**

- A. RETURN AIR GRILLES AND REGISTERS SHOWN AS BOOT SIZE OR OPEN AREA REQUIRED. SIZE SHOWN REPRESENTS SIZING OF 350 FPM WITH A MINIMUM OF 50% OPEN AREA. REGISTER STYLE, SUPPLY REGISTERS REPRESENTED AS 500 FPM MINUS 50% OPEN AREA STYLE REGISTER/DIFFUSER. NOTE, REGISTER MAY APPEAR GRAPHICALLY SIZED IN ELEVATION VIEW.
- B. DUCT SIZES AND ROUTING SHOWN SCHEMATICALLY - V.I.F. WITH ARCHITECT FOR FINAL LOCATION. SIZING SHOWN AS ROUND AND CAN BE SIZED TO RECTANGULAR EQUIVALENT.
- C. DUCT SIZING SHOWN REPRESENTS 10" W.C. OF STATIC IN FLEXIBLE DUCT WITH NO COMPRESSION. SUBCONTRACTOR MAY ADJUST TO FIT FRAMING CONDITIONS BUT MAINTAINING DUCT VELOCITY BELOW SMACNA STANDARDS AND AVAILABLE STATIC PRESSURE OF AIR HANDLER. SEE "LOW PRESSURE DUCT SIZING CHART" M 0.1
- D. NOTE: FINAL STATIC PRESSURE AND AIRFLOW OF SYSTEM TO MEET THE HERS TESTING REQUIREMENTS FOR CFM PER TON AND WATTS PER CFM AS INDICATED IN PERMIT CF-1R.
- E. PROPERLY SEAL ANY PENETRATIONS THROUGH FIRE AND/OR SMOKE RATED PARTITIONS WITH U.L. APPROVED METHODS AND MATERIALS.
- F. PROJECT REQUIRES VOLUNTARY AND MANDATORY HERS INSPECTIONS. SEE CF-1R AND SCHEDULE DM M 0.1 FOR APPLICABLE INSPECTIONS.
- G. REGISTER LEGEND: LSW-LOW SIDE WALL HSW-HIGH SIDE WALL, C-CEILING F-FLOOR M-MILLWORK TK-TOE KICK

MAIN FLOOR HVAC  
1/4"=1'

Designs are for coordination only. Design build mechanical contractor or qualified subcontractor to be used to verify design documents. It is to be used as a design reference and not a construction document. All dimensions are provided for information only. Contractor to verify conditions and coordination with other trades. All dimensions are provided for information only. Contractor to verify conditions and coordination with other trades.



- MECHANICAL SHEET & KEYED NOTES**
- BATHROOM EXHAUST FANS, EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:  
ENERGY STAR BATH FAN PANASONIC WHISPER GREEN FV-05-11VX2 VARIABLE SPEED FAN - SET TO 5 ACH (TYP)  
PROVIDE CONDENSATION CONTROL FV-CSXK1  
UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.  
A HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.  
B.A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN [CG 4.506.1])  
VENTING EXTERIOR TERMINATIONS TO BE MINIMUM OF 36" FROM ANY BUILDING OPENING
  - VENTILATION EXHAUST TERMINATIONS SHALL BE NO LESS THAN 3 FEET FROM OPENINGS TO THE BUILDING AS PER CMCA 402.5
  - 301.6 ELECTRICAL CONNECTIONS, EQUIPMENT REGULATED BY THIS CODE REQUIRING ELECTRICAL CONNECTIONS OF MORE THAN 50 VOLTS SHALL HAVE A POSITIVE MEANS OF DISCONNECT ADJACENT TO AND IN SIGHT FROM THE EQUIPMENT SERVED. A 120 VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET (7620 MM) OF THE EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES.
  - 306.4.4 LIGHTING AND CONVENIENCE OUTLET.  
A PERMANENT 120-VOLT RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.
  - 50 CFM CONTINUOUS VENTILATION FOR ASHRAE 62.2 COMPLIANCE
  - FLEXIBLE DUCT INSTALLATION GUIDELINES  
USE BALANCING DAMPERS TO CONTROL THE FLOW IN FLEX DUCTS.  
USE RIGID METAL DUCT ELBOWS AT BENDS TO REDUCE CHANCES FOR KINKS.  
INSTALL FLEX DUCTS WITHOUT KINKS OR SHARP BENDS.  
ENSURE THAT ALL BENDS ARE GRADUAL RATHER THAN TIGHT.  
THE RADIUS OF EACH BEND SHOULD BE GREATER THAN THE DIAMETER OF THE FLEXIBLE DUCT.  
INSTALL FLEX DUCT IN THE STRAIGHTEST LINE POSSIBLE.  
PULL DUCTING TIGHT AND PROVIDE ADEQUATE SUPPORTS PER CODE.  
COORDINATE WITH OTHER SERVICES TO AVOID CRUSHING DUCTS.
  - TYPICAL SENSOR - THERMOSTAT - CONTROLLER LOCATION  
IN WALL SENSORS OR THERMOSTATS TO BE PLACED ON INTERIOR WALLS OUT OF DRAFT OR DIRECT SUNLIGHT  
AWAY FROM HEAT SOURCES SUCH AS HIGH VOLTAGE DIMMERS  
4.8-5.0' ABOVE FINISHED FLOOR  
THERMOSTATS OR DIGITAL CONTROLS TO BE PLACED 60" ABOVE FINISHED FLOOR OR AT CONVENIENT HEIGHT FOR OCCUPANT'S VISIBILITY  
ADA COMPLIANT APPLICATIONS REQUIRE PLACEMENT AT NO MORE THAN 48" FROM FINISHED FLOOR WITH FRONT ACCESS

- MECHANICAL LEGEND AND GENERAL NOTES**
- RETURN AIR GRILLES AND REGISTERS SHOWN AS BOOT SIZE OR OPEN AREA REQUIRED. SIZE SHOWN REPRESENTS SIZING OF 350 FPM WITH A MINIMUM OF 50% OPEN AREA REGISTER STYLE.
  - DUCT SIZES AND ROUTING SHOWN SCHEMATICALLY - V.A.F. WITH ARCHITECT FOR FINAL LOCATION. SIZING SHOWN AS ROUND AND CAN BE SIZED TO RECTANGULAR EQUIVALENT.
  - DUCT SIZING SHOWN REPRESENTS 0.4" W.C. OF STATIC. SUBCONTRACTOR MAY ADJUST TO FIT FRAMING CONDITIONS BUT MAINTAINING DUCT VELOCITY BELOW SMACNA STANDARDS AND AVAILABLE STATIC PRESSURE OF AIR HANDLER. SEE "LOW PRESSURE DUCT SIZING CHART" M 0.1
  - NOTE: FINAL STATIC PRESSURE AND AIRFLOW OF SYSTEM TO MEET THE HERS TESTING REQUIREMENTS FOR CFM PER TON AND WATTS PER CFM AS INDICATED IN PERMIT CP-1R.
  - FOR FINAL PLACEMENT OF REGISTERS AND GRILLES - PLEASE REFER TO ARCHITECT, ARCHITECTURAL REPS AND ELEVATIONS
  - DUCT SIZING SHOWN FOR RIGID DUCT - FOR FLEXIBLE DUCT SUBSTITUTION INCREASE DIAMETER FOR LENGTH AND PERCENTAGE OF COMPRESSION OF DUCTS

UPPER FLOOR HVAC  
NO SCALE

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Drawings are for construction only. Design build mechanical contractor or qualified subcontractor shall be used to construct and install. It is to be used as a design reference and equipment listing. Final performance and equipment listing shall be determined by the contractor. Contractor to verify conditions and coordinate with other trades before construction.

1520 CYPRESS  
PEBBLE BEACH, CA 93953

SEPTEMBER 3, 2023  
APN: 008-521-005-000

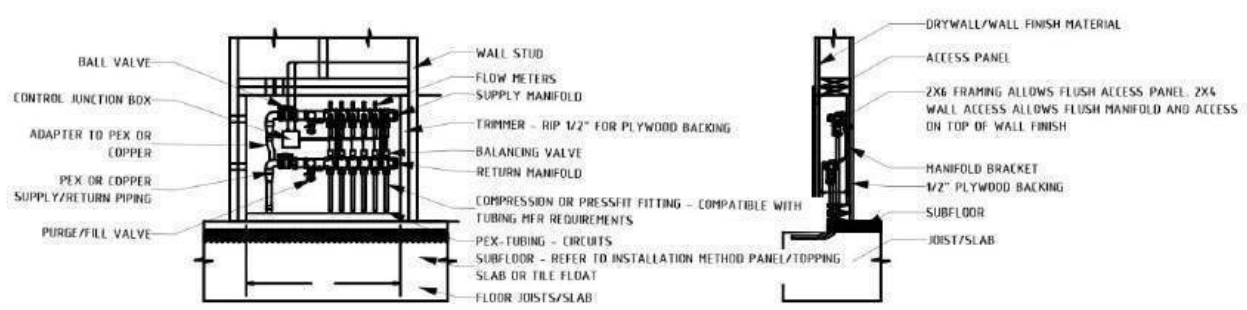
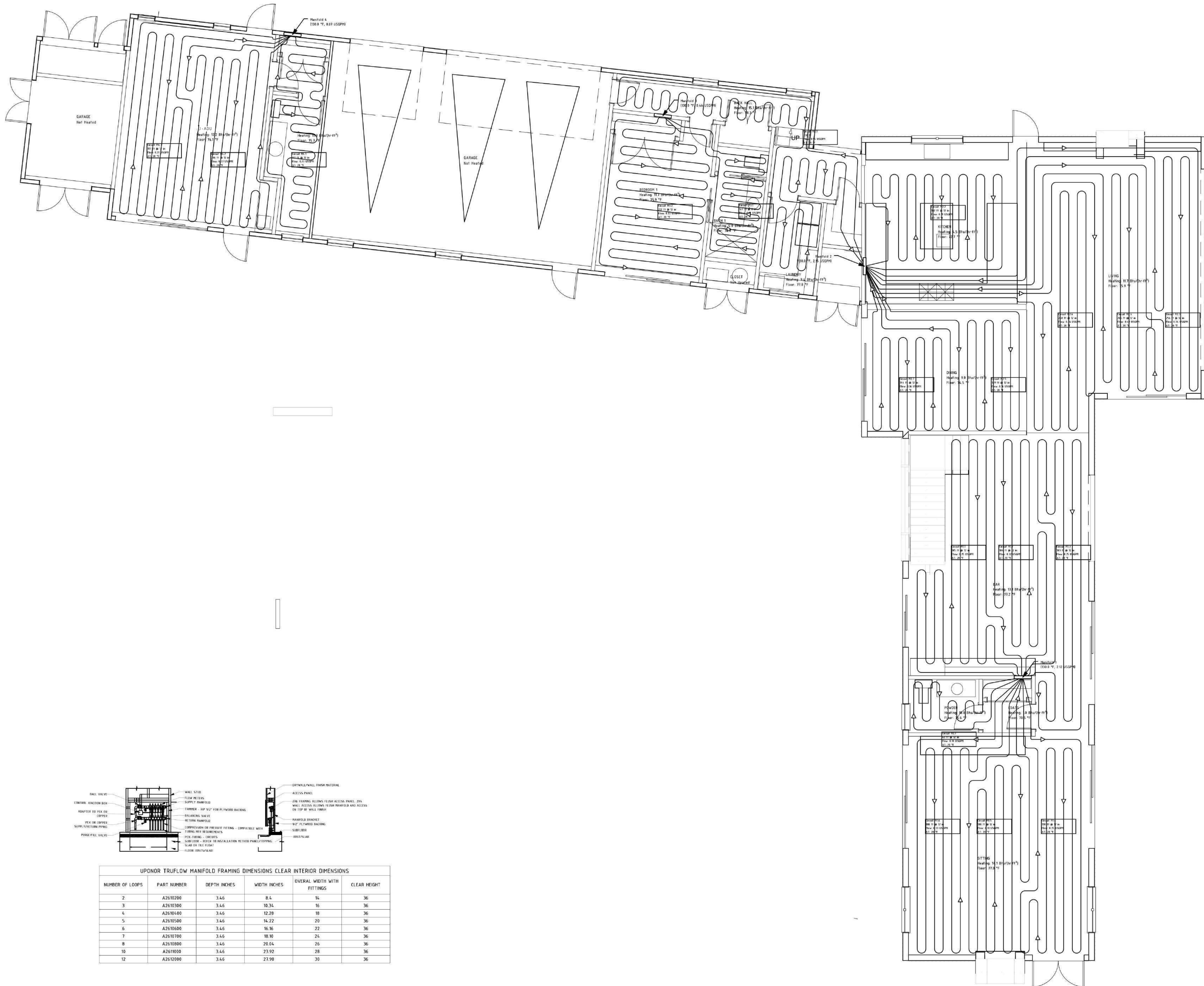
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UPPER FLOOR HVAC

M 1.2



UPONOR TRUFLOW MANIFOLD FRAMING DIMENSIONS CLEAR INTERIOR DIMENSIONS					
NUMBER OF LOOPS	PART NUMBER	DEPTH INCHES	WIDTH INCHES	OVERALL WIDTH WITH FITTINGS	CLEAR HEIGHT
2	A2610200	3.46	8.4	14	36
3	A2610300	3.46	10.34	16	36
4	A2610400	3.46	12.28	18	36
5	A2610500	3.46	14.22	20	36
6	A2610600	3.46	16.16	22	36
7	A2610700	3.46	18.10	24	36
8	A2610800	3.46	20.04	26	36
10	A2611000	3.46	23.92	28	36
12	A2612000	3.46	27.80	30	36

MAIN LEVEL RADIANT PLAN  
NO SCALE

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**M 2.0**

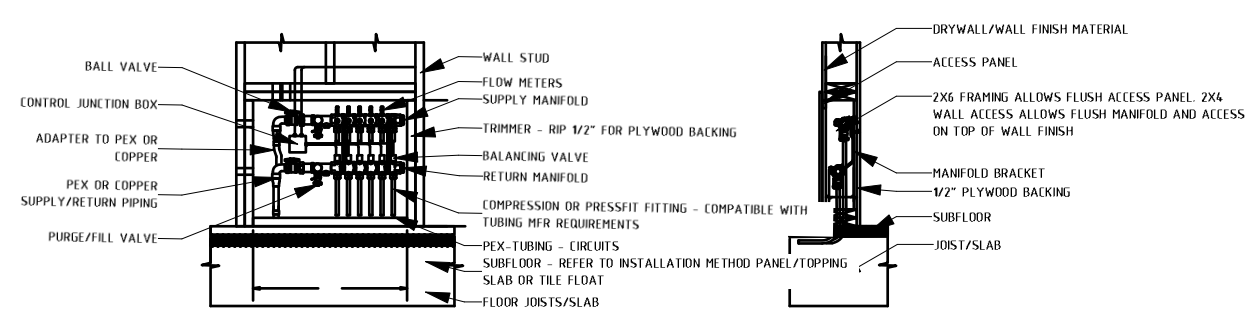
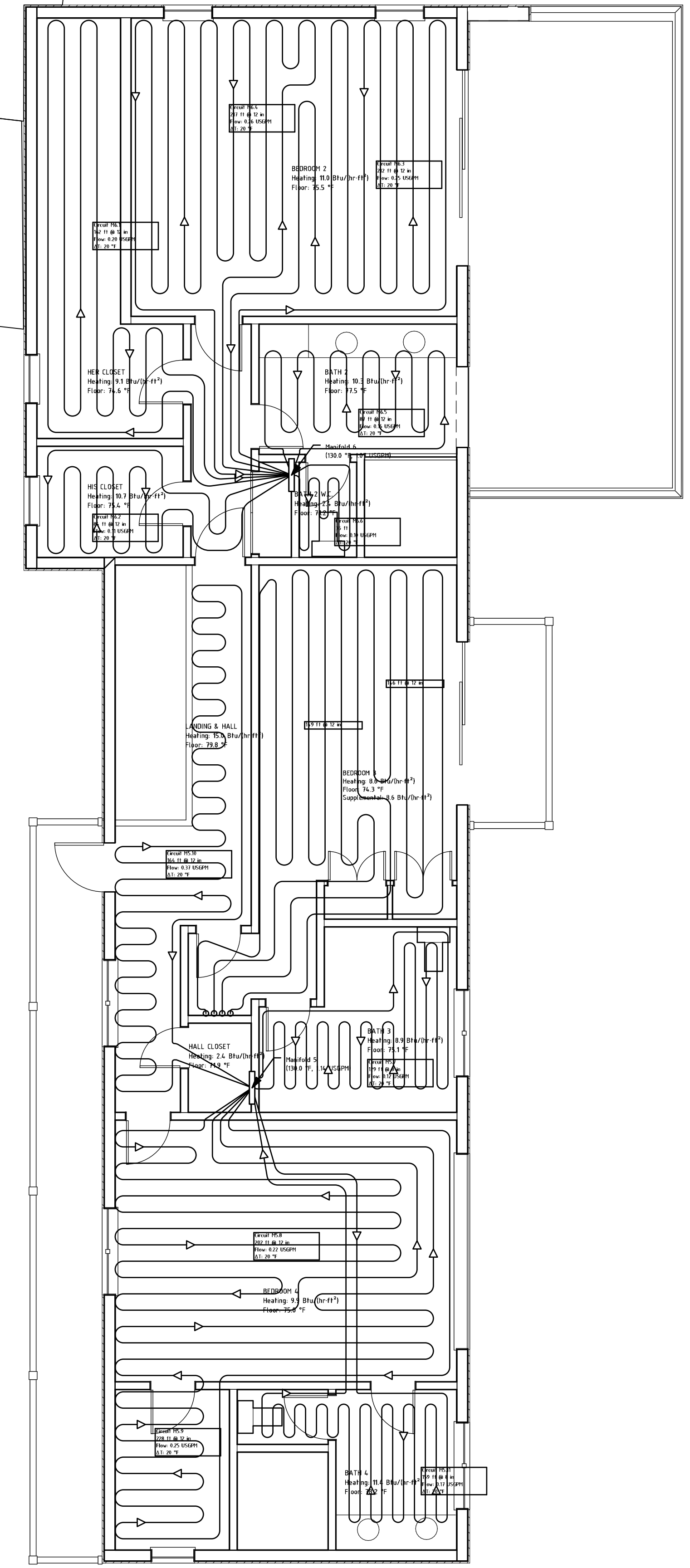
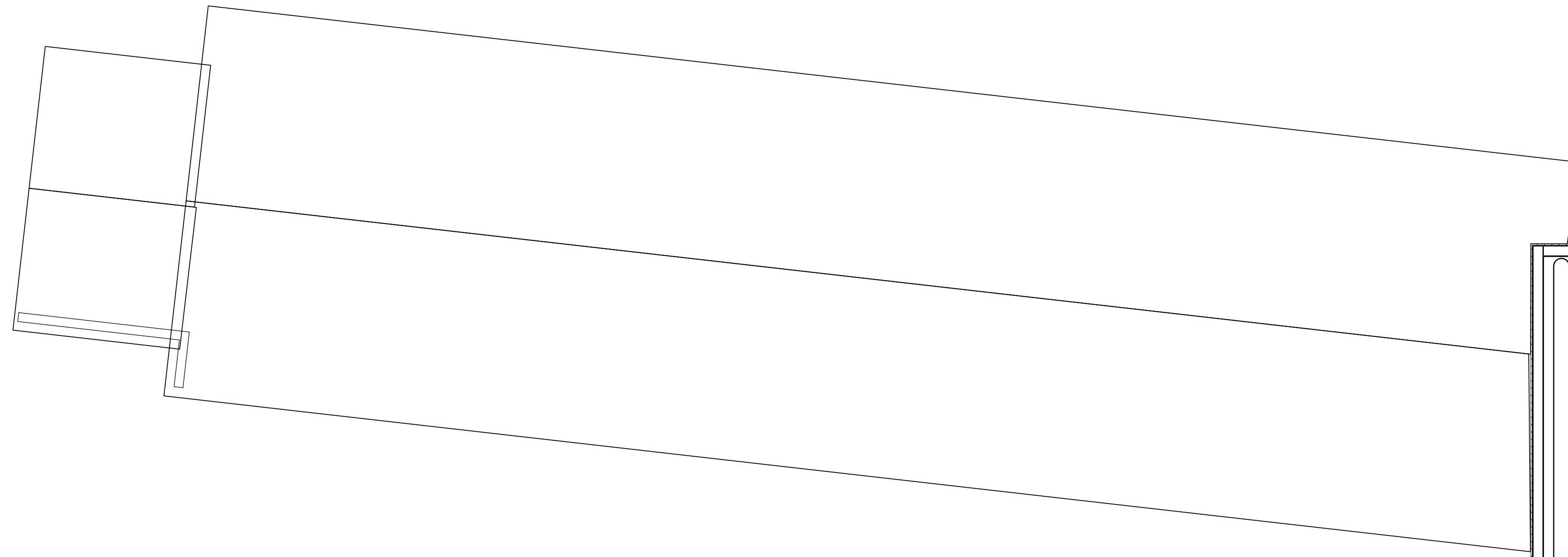
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Drawings are for coordination only. Design shall be coordinated with all other trades. The contractor shall be responsible for obtaining all necessary permits and for the proper installation and operation of the system. The contractor shall be responsible for the proper installation and operation of the system. The contractor shall be responsible for the proper installation and operation of the system.



UPONOR TRUFLOW MANIFOLD FRAMING DIMENSIONS CLEAR INTERIOR DIMENSIONS					
NUMBER OF LOOPS	PART NUMBER	DEPTH INCHES	WIDTH INCHES	OVERALL WIDTH WITH FITTINGS	CLEAR HEIGHT
2	A2610200	3.46	8.4	14	36
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8	A2610800	3.46	20.04	26	36
10	A2611000	3.46	23.92	28	36
12	A2612000	3.46	27.90	30	36

UPPER FLOOR RADIANT  
NO SCALE

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**M 2.1**

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UPPER FLOOR RADIANT

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**GENERAL STRUCTURAL NOTES**

SCOPE OF WORK: RENOVATION OF EXISTING 2-STORY BUILDING AND RECONSTRUCTION OF 1-STORY NORTH WING

GOVERNING CODE: THE STRUCTURAL DESIGN OF BUILDING COMPONENTS DESCRIBED ON THESE DRAWINGS IS IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE

LIMITATIONS: THE SEISMIC LATERAL FORCE RESISTING SYSTEM SHOWN ON THESE DRAWINGS IS INTENDED PRIMARILY TO SAFEGUARD AGAINST MAJOR FAILURES AND LOSS OF LIFE, NOT TO LIMIT DAMAGE, MAINTAIN FUNCTION, OR PROVIDE FOR EASY REPAIR TO NEW OR REHABILITATED BUILDINGS.

**1. GENERAL**

MATERIALS AND WORKMANSHIP TO CONFORM TO THE BUILDING CODE DEFINED ABOVE AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

A. THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED. WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN THE NOTES, DRAWINGS, OR SPECIFICATIONS, CONTACT THE ENGINEER FOR CLARIFICATION.

B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.

C. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, USE SIMILAR DETAILS OF CONSTRUCTION, SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.

D. DETAILS NOTED AS "TYPICAL" IN THEIR TITLE OR ON SHEETS TITLED "TYPICAL DETAILS" APPLY TO SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED. SUCH DETAILS ARE NOT NOTED AT EACH LOCATION THAT THEY OCCUR.

E. ALL ELEMENTS INDICATED ON THE DRAWINGS SHALL BE ASSUMED "NEW" UNLESS OTHERWISE NOTED.

F. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING, BUT NOT LIMITED TO:
a) SAFETY OF THE PERSONS AND PROPERTY,
b) MEANS AND METHODS OF CONSTRUCTION,
c) COMPLIANCE WITH APPLICABLE CAL/OSHA REQUIREMENTS AND GUIDELINES.

THE CONTRACTOR SHALL BRACE OR SHORE THE CONSTRUCTION AS REQUIRED TO PROVIDE A SAFE AND TRUE STRUCTURE. WHERE BRACING OR SHORING IS INDICATED IN THE DRAWINGS, IT IS DONE SO ONLY AS A COURTESY TO THE CONTRACTOR AND SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COORDINATE THE WORK WITH THE AFOREMENTIONED PROVISIONS. THE ARCHITECTS OR ENGINEERS' JOB SITE REVIEW IS NOT INTENDED AS A FIELD REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

**2. SUBMITTALS**

A. SUBMIT ELECTRONIC PORTABLE DOCUMENT FORMAT (PDF) COPY OF REQUIRED SUBMITTALS TO OWNER'S REPRESENTATIVE FOR REVIEW. THE ENGINEER SHALL HAVE 15 WORKING DAYS FROM DATE OF RECEIPT TO COMPLETE AND RETURN THE SUBMITTAL REVIEW.

B. SHOP DRAWINGS, MILL CERTIFICATES, AND/OR OTHER RELEVANT CERTIFICATIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BEFORE FABRICATION, FOR THE FOLLOWING ITEMS:

- 1) STRUCTURAL AND MISCELLANEOUS STEEL
a. MILL CERTIFICATIONS FOR ALL STEEL AND ALL FASTENERS.
b. SHOP DRAWINGS INCLUDING AT A MINIMUM ASTM MATERIAL DESIGNATIONS, MEMBER SIZES, SIZES AND TYPES OF WELDS, SIZES AND TYPES OF BOLTS, AND DIMENSIONS.
c. WELD PROCEDURE SPECIFICATIONS FOR EACH TYPE OF WELD TO BE USED AND PRODUCT DATA FOR WELDING FILLER METAL. ONLY SUBMIT RELEVANT WPS FORMS.
d. MANUFACTURER'S PRODUCT DATA FOR PRIMER AND FINISH PAINT, INCLUDING COLOR CHARTS.
e. CONTRACTOR SHALL ESTABLISH AND VERIFY REQUIRED TOP OF STEEL (T.O.S.) ELEVATIONS, WHETHER INDICATED ON THE DRAWINGS OR NOT, AGAINST ARCHITECTURAL FINISHED FLOOR AND ROOF ELEVATIONS, AND THE STRUCTURAL DETAILS, INCLUDING ANY SPECIFIED OFFSET OR PRE-CAMBER. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
2) REINFORCING STEEL
a. MATERIAL CERTIFICATES FOR REINFORCING STEEL.
3) PREFABRICATED TRUSSES
a. FRAMING DRAWINGS AND CALCULATIONS STAMPED AND SEALED BY A REGISTERED CIVIL OR STRUCTURAL ENGINEER IN THE STATE OF CALIFORNIA TO THE ENGINEER AND THE BUILDING DEPARTMENT FOR REVIEW.
4) CAST-IN-PLACE CONCRETE AND SHOTCRETE
a. MIX DESIGNS FOR EACH TYPE OF CONCRETE ON THE PROJECT INCLUDING RESULTS OF SLUMP, COMPRESSION, AND OTHER PROJECT SPECIFIC CRITERIA
b. MATERIAL CERTIFICATES
c. PROPOSED CONSTRUCTION AND CONTROL JOINT LOCATIONS
d. CURING MATERIALS AND METHODS
5) UNDERSLAB VAPOR-BARRIER

**3. SPECIAL INSPECTION REQUIREMENTS AND TESTING**

A. PROVIDE SPECIAL INSPECTIONS AND TESTING FOR ALL ITEMS AS REQUIRED BY THE GOVERNING JURISDICTION.

B. THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT, QUALIFIED INSPECTOR AND/OR TESTING LAB TO PERFORM ALL REQUIRED TESTING AND SPECIAL INSPECTIONS.

C. IF INITIAL TESTS OR INSPECTIONS MADE BY THE OWNER'S TESTING AGENCY REVEAL THAT ANY PORTION OF THE WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, ADDITIONAL TESTS, INSPECTIONS, AND NECESSARY REPAIRS WILL BE MADE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER OF NON-CONFORMING WORK. THIS NOTIFICATION SHALL SPECIFICALLY ADDRESS THE NON-CONFORMING WORK AND SHALL BE SEPARATE FROM THE SPECIAL INSPECTION REPORTS.

D. SPECIAL INSPECTION REPORTS SHALL BE SENT TO THE ENGINEER AT THE TIME OF COMPLETION FOR REVIEW OF CONFORMANCE WITH THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS.

E. THE CONTRACTOR SHALL NOTIFY THE TESTING LAB A MINIMUM OF 48 HOURS PRIOR TO TIME OF INSPECTION.

F. THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED AND/OR TESTED BY THE TESTING LAB:

- 1) CONCRETE:
a. SAMPLE AND TEST CONCRETE AS FOLLOWS:
1. FABRICATE SPECIMENS FOR STRENGTH TESTS PER ACI 318.
2. PERFORM SLUMP AND AIR CONTENT TESTS.
3. DETERMINE TEMPERATURE OF THE CONCRETE.
b. REINFORCING STEEL
1. PLACEMENT
2. OBTAIN AND REVIEW MILL TEST REPORTS.
c. CONCRETE PLACEMENT (CONTINUOUS INSPECTION).
d. CAST-IN-PLACE ANCHOR BOLTS.
e. CURING TEMPERATURE AND TECHNIQUES AND DURATION.
f. REVIEW MIX DESIGN FOR EACH CLASS OF CONCRETE.
g. REVIEW THE TICKET OF EACH BATCH OF CONCRETE DELIVERED.
2) ALL STRUCTURAL WELDING INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
a. CONTINUOUS INSPECTION FOR ALL BUTT WELDS, COMPLETE AND PARTIAL PENETRATION WELDS, GROOVE WELDS AND PLUG WELDS, INCLUDING WELDING OF REINFORCEMENT.
b. CONTINUOUS INSPECTION OF ALL FILLET WELDS EXCEEDING 5/16".
c. PERIODIC VISUAL INSPECTION OF THE FOLLOWING ITEMS:
1. SINGLE-PASS FILLET WELDS NOT EXCEEDING 5/16".
3) POST INSTALLED ANCHORS.
4) STRUCTURAL WOOD
a. PERIODIC SPECIAL INSPECTION FOR NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, SHEAR PANELS AND HOLD-DOWNS.
5) ALL EXCAVATIONS AND EARTH FORMS SHALL BE INSPECTED BY THE LOCAL BUILDING INSPECTOR AND INSPECTED BY THE GEOTECHNICAL ENGINEER AND/OR ENGINEER PRIOR TO PLACING REINFORCING STEEL.

**4. STRUCTURAL OBSERVATIONS**

A. STRUCTURAL OBSERVATIONS WILL BE UNDERTAKEN BY PERSONNEL UNDER THE SUPERVISION OF THE ENGINEER OF RECORD. STRUCTURAL OBSERVATIONS ARE SEPARATE FROM THE SPECIAL INSPECTION REQUIREMENTS OUTLINED ABOVE.

B. THE PURPOSE OF STRUCTURAL OBSERVATIONS IS TO REVIEW THE OVERALL PROGRESS OF CONSTRUCTION AND ASCERTAIN ITS GENERAL COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, THESE GENERAL NOTES, AND OTHER SPECIFICATIONS, WHERE APPLICABLE. OBSERVATIONS WILL BE NOTED IN REGULAR SITE REPORTS ISSUED TO THE OWNER'S REPRESENTATIVE.

C. UNLESS OTHERWISE AGREED UPON, THE ENGINEER OF RECORD SHALL BE ENGAGED TO PROVIDE, AT MINIMUM, A LEVEL OF CONSTRUCTION INVOLVEMENT NEEDED TO OBSERVE THE FOLLOWING AT SIGNIFICANT MILESTONES DURING THE CONSTRUCTION PROCESS:

- 1) FOUNDATION REINFORCEMENT AND CONSTRUCTION
2) STRUCTURAL STEEL AND WOOD FRAMING
3) LATERAL FORCE RESISTING ELEMENTS

ADDITIONAL ENGINEER INVOLVEMENT MAY BE DESIRED. ANY AGREEMENT TO THAT EFFECT SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.

D. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 3 DAYS PRIOR TO TIME OF OBSERVATION AND PROVIDE ACCESS FOR THE OBSERVATIONS.

E. AN OWNER'S REPRESENTATIVE MAY BE DESIGNATED, BY THE OWNER'S SPECIFIC AUTHORIZATION PRIOR TO THE START OF CONSTRUCTION, WHO WILL HAVE THE AUTHORITY TO REQUEST ADDITIONAL ENGINEER INVOLVEMENT OUTSIDE OF THE NORMAL DUTIES ASSOCIATED WITH STRUCTURAL OBSERVATION.

**5. DESIGN BASIS**

A. CONSTRUCT IN CONFORMANCE WITH THE BUILDING CODE NOTED ABOVE.

B. DESIGN LIVE LOADS (PSF):
ROOF 20
FLOOR 40
DECK/BALCONY 60
ATTIC 10 (NO STORAGE PERMITTED)

C. DESIGN DEAD LOADS (PSF):
FLOOR 20
BALCONY 25
ROOF 15

D. EARTHQUAKE DESIGN DATA

- 1) SEISMIC IMPORTANCE FACTOR, I: 1.0
2) RISK CATEGORY: II
3) USGS MCEP SPECTRAL RESPONSE ACCELERATIONS
i. Ss = 1.273 g
ii. S1 = 0.481 g
4) SITE CLASS: D
5) ASCE 7 DESIGN SPECTRAL RESPONSE COEFFICIENTS:
i. SDS = 0.849 g
6) SEISMIC DESIGN CATEGORY: D
7) BASIC SEISMIC-FORCE RESISTING SYSTEM: PLYWOOD SHEARWALLS
8) RESPONSE MODIFICATION FACTOR, R: 6.5
9) SEISMIC RESPONSE COEFFICIENT, Cs (AT STRENGTH LEVEL): 13.1% G
10) ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE

E. WIND:
1) RISK CATEGORY: II
2) BASIC WIND SPEED: 91 MPH
3) WIND DIRECTIONALITY FACTOR, Kd: 0.85
4) EXPOSURE CATEGORY TYPE: D
5) TOPOGRAPHIC FACTOR, Kzt: 1.0
6) ENCLOSURE CLASSIFICATION: ENCLOSED
7) INTERNAL PRESSURE COEFF (GCi): ±0.18

F. FOUNDATIONS:
1) SPREAD/STRIP FOOTINGS: 2000 PSF
2) COEFFICIENT OF FRICTION: 0.3

**6. FOUNDATION, FILL, AND SITE WORK**

FOUNDATION DESIGN IS BASED ON A GEOTECHNICAL REPORT PREPARED BY BUTANO GEOTECHNICAL ENGINEERS, DATED NOVEMBER 2021

A. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF SIDE FORMS WHERE POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.

B. DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR SLURRY OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO OWNER.

C. FOR SHALLOW FOUNDATIONS, THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10-PERCENT SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTING OR WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL.

D. AREAS TO RECEIVE FILL SHOULD BE SCARIFIED, CLEARED OF ORGANICS, MOISTURE-CONDITIONED, AND COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION. THE COMPACTED SUBGRADE SHOULD EXTEND 2-FEET LATERALLY OF ANY PROPOSED IMPROVEMENTS.

**7. UNDER-SLAB VAPOR BARRIER**

A. VAPOR BARRIER MUST HAVE THE FOLLOWING MATERIAL QUALITIES:
1) WVTR LESS THAN 0.008 AS TESTED BY ASTM E96.
2) ASTM (E) 1745 CLASS A (PLASTICS).

B. ACCEPTABLE PRODUCTS:
1) STEGO WRAP (15 MIL) VAPOR BARRIER BY STEGO INDUSTRIES.
2) W.R. MEADOWS PREMOULDED MEMBRANE WITH PLASMATIC CORE.

C. INSTALLATION & PREPARATION OF SUBSOIL FOR VAPOR BARRIER SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND ASTM E1643-11.

**8. CONCRETE**

A. EXCEPT WHERE NOTED OTHERWISE ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS OTHERWISE NOTED, COMPLY WITH CONSTRUCTION TOLERANCES AS SPECIFIED IN ACI 117 "SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS".

B. REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.

C. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE I OR II.

D. CONCRETE SHALL BE HARDROCK CONCRETE AND CONFORM TO ALL REQUIREMENTS OF ASTM C-33, UNLESS OTHERWISE NOTED. FLY ASH SHALL COMPLY WITH ASTM C618; SLAG SHALL COMPLY WITH ASTM C989. PROPORTION CONCRETE IN ACCORDANCE WITH ACI 211.1, INCLUDING ANY REQUIRED ADMIXTURES. CONCRETE SHALL SATISFY THE FOLLOWING PROPERTIES:

Table with 5 columns: LOCATION, MIN. STRENGTH @ 28 DAYS PSI, MAX. AGGREGATE SIZE - INCHES, MAX. SLUMP INCHES, MAX. W/C/M RATIO. Rows include FOUNDATIONS, SLAB-ON-GRADE and MISCELLANEOUS.

**9. REINFORCING STEEL**

A. ALL REINFORCING STEEL BARS, UNLESS OTHERWISE NOTED, SHALL CONFORM WITH THE LATEST STANDARD SPECIFICATIONS FOR DEFORMED BILLET STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A615 AND SHALL BE MINIMUM GRADE 60.

B. SUITABLE DEVICES (DOBIES, CHAIRS, ETC.) OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENTS IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCING DURING PLACING OF CONCRETE. ALL SUCH DEVICES HAVE PRIOR APPROVAL FROM THE ARCHITECT AND ENGINEER.

C. LAP SPLICE ALL BARS IN CONCRETE PER STANDARD DETAILS SCHEDULE, USING LAP TYPE "TOP" UNLESS OTHERWISE NOTED. WHEN LAPPING BARS OF DIFFERENT SIZES, USE THE LAP LENGTH OF THE LARGER BAR.

D. HOOK DISCONTINUOUS ENDS OF REINFORCING STEEL PER TYPICAL DETAIL, UNLESS OTHERWISE NOTED.

E. DETAIL ACCORDING TO THE LATEST ACI STANDARD 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. PLACE REINFORCEMENT PER ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE", UNLESS OTHERWISE NOTED.

F. REBAR SHALL ONLY BE BENT ONCE. REBAR SHALL NOT BE BENT AND STRAIGHTENED FOR CONSTRUCTION UNLESS EXPLICITLY NOTED ON THE CONSTRUCTION DOCUMENTS.

G. MAINTAIN COVERAGE TO FACE OF BARS, INCLUDING SLEEVES AND PENETRATIONS, AS FOLLOWS, UNLESS OTHERWISE NOTED:

- a. 3 INCHES WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT SLAB-ON-GRADE.
b. 2 INCHES FOR FORMED CONCRETE WHICH IS EXPOSED TO EARTH OR WEATHER FOR #6 BAR THROUGH #18 BAR, REDUCED TO 1-1/2 FOR #5 BAR, W31 OR D31 WIRE AND SMALLER.
c. 1-1/2 INCHES FOR SLAB-ON-GRADE.

**10. NON-SHRINK GROUT**

A. NON-SHRINK GROUT SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS (F'c) OF 7,000 PSI.

B. NON-SHRINK GROUT SHALL COMPLY WITH ONE OF THE FOLLOWING.

- 1) DRY PACK NON-SHRINK GROUT SHALL BE EUCLID CHEMICAL COMPANY'S "EUCCO-NS", LAM CRYSTEX, MASTER BUILDERS "MASTERFLOW 713", SIMPSON'S "FX-228", OR FIVE STAR GROUT.
2) WHERE HIGH FLUIDITY OR INCREASED PLACING TIME IS REQUIRED, USE EUCLID CHEMICAL COMPANY'S "EUCCO HI-FLOW GROUT" OR MASTER BUILDERS "MASTERFLOW 928".

C. COMPLY WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND REQUIREMENTS.

**11. FRAMING LUMBER**

A. ALL FRAMING LUMBER (EXCEPT REDWOOD) SHALL BE GRADED PER WCLIB GRADING RULES NO. 17. REDWOOD FRAMING SHALL BE GRADED PER THE REDWOOD INSPECTION SERVICE "STANDARD SPECIFICATIONS FOR GRADES OF CALIFORNIA REDWOOD LUMBER."

B. ALL FRAMING LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF INSTALLATION.

C. ALL POSTS AND BEAMS SHALL BE DOUGLAS FIR, #1.

D. ALL FLOOR AND ROOF JOISTS SHALL BE DOUGLAS FIR, #1.

E. ALL STUDS, PLATES, ETC., SHALL BE DOUGLAS FIR, CONSTRUCTION GRADE.

F. ENGINEERED WOOD PRODUCTS MAY BE USED AS SUBSTITUTES FOR SAWN LUMBER UPON REQUEST BY THE CONTRACTOR AND APPROVAL FROM THE ARCHITECT AND ENGINEER OF RECORD. CONTRACTOR SHALL SUBMIT MANUFACTURER'S TESTING REPORTS FOR APPROVAL.

**12. ENGINEERED WOOD PRODUCTS (EWP)**

A. ALL ENGINEERED WOOD PRODUCTS (EWP) SUPPLIED ON THIS PROJECT SHALL BE SUPPLIED BY ONE MANUFACTURER.

B. ALL MICROLAM LVL FRAMING MEMBERS SHALL BE FABRICATED BY TRUS JOIST WITH THE FOLLOWING ALLOWABLE STRESSES: Fb = 2600 PSI, Fv = 285 PSI, E = 2,000,000 PSI. MOISTURE CONTENT AT THE TIME OF FABRICATION SHALL NOT EXCEED 9%.

C. ALL PARALLAM PSL FRAMING MEMBERS SHALL BE FABRICATED BY TRUS JOIST WITH THE FOLLOWING ALLOWABLE STRESSES: Fb = 2900 PSI, Fv = 290 PSI, E = 2,200,000 PSI. MOISTURE CONTENT AT THE TIME OF FABRICATION SHALL NOT EXCEED 9%.

D. FIELD NOTCHING AND BORING OF LVL MEMBERS IS NOT ALLOWED UNLESS APPROVED BY ENGINEER.

**13. PLYWOOD (PW)**

A. EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1. PLYWOOD GRADE SHALL CONFORM TO CD-X FOR PLYWOOD, UNLESS OTHERWISE NOTED.

B. WHERE PLYWOOD IS PERMANENTLY EXPOSED TO WEATHER, IT SHALL BE EXTERIOR TYPE, OTHERWISE, PANEL SHEATHING SHALL BE EXPOSURE 1. PLYWOOD TO BE CC GRADE AT LOCATIONS EXPOSED TO WEATHER; CC OR CD GRADE ELSEWHERE.

C. PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM.

D. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS. PLYWOOD AT FLOORS SHALL BE GLUED TO FRAMING BELOW (USE SOLVENT BASED GLUE COMPLYING WITH ASTM D3498 AND VOLATILE ORGANIC COMPOUND (VOC) LIMITS PER CALGREEN), LN-950 BY LIQUID NAILS OR APPROVED EQUIVALENT, UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT. PROVIDE RING-SHANK NAILS AT FLOOR AND ROOF SHEATHING. ALTERNATELY, PROVIDE WSNTL SCREWS (#9x2.5") @ 6" O.C. U.O.N.; SCREWS SHALL BE INSTALLED W/IN 10-MINUTES OF APPLYING ADHESIVE.

E. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES WITH A MINIMUM OF 3X BLOCK AND/MEMBERS. ALL NAILING SHALL HAVE 3/8 INCH EDGE DISTANCE FOR FRAMING, BLOCKING AND PLYWOOD EDGES. USE SMOOTH-SHANK NAILS FOR PLYWOOD WALL SHEATHING.

F. PROVIDE 1/8" GAP BETWEEN PANELS UNLESS OTHERWISE NOTED.

**14. ROUGH CARPENTRY**

A. FOR SCHEDULE OF MINIMUM NAILING TABLE 2304.10.1 OF THE 2022 CBC 16d VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16d BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.

B. SILLS AND LEDGERS ON CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED DOUGLAS FIR. SILLS AND LEDGERS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE AND A FASTENER NO FURTHER THAN 9 INCHES FROM END OF EACH PIECE, UNLESS OTHERWISE NOTED.

C. PLACE JOISTS WITH CROWN UP.

D. RE-TIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.

E. WHEN METAL CONNECTORS, ANCHORS OR FASTENERS ITEMS ARE EXPOSED TO WEATHER AND/OR PRESSURE TREATED LUMBER THE METAL ITEMS ARE TO BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A153. SEE ADDITIONAL COATING REQUIREMENTS AS NOTED IN THE PRESSURE TREATMENT SECTION.

F. DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS UNLESS NOTED OTHERWISE.

G. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2x SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED.

H. 2x JOISTS SHALL BE SISTERED (VERTICAL NAIL LAMINATED) WITH SDWS 0.220x3 MIN. LENGTH AT 6" O.C. IN (2) ROWS STAGGERED UNLESS OTHERWISE NOTED.

I. ALL POSTS LOCATED OVER WOOD WALLS SHALL HAVE A POST OF EQUAL OR GREATER SIZE LOCATED IN THE WALL DIRECTLY BELOW UNLESS OTHERWISE NOTED.

J. THE STRUCTURAL DESIGN ASSUMES THAT ALL FLOORS AND ROOFS ARE CONSTRUCTED AND LOADED WITH FINISHES (OR EQUIVALENT WEIGHT) FOR A MINIMUM OF SEVEN (7) DAY PRIOR TO THE TIME OF DOOR AND WINDOW INSTALLATION.

K. ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG-TIE'S STANDARD FASTENERS INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

L. ALL STRUCTURAL WOOD WALLS SHALL BE FRAMED WITH 2x6 MINIMUM STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED.

M. PRE-DRILL HOLES AS REQUIRED TO PREVENT SPLITTING OF WOOD.

**15. PRESSURE TREATMENT**

A. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH A.W.P.A. STANDARD U1, WITH A PRESERVATIVE AND RETENTION SUITABLE FOR THE APPLICATION (SEE BELOW). ALL CUT ENDS SHALL ALSO BE FIELD TREATED WITH A PRESERVATIVE, AS AN ALTERNATE, CONTRACTOR MAY USE REDWOOD OF EQUIVALENT STRENGTH PROPERTIES AS THOSE SHOWN ABOVE, AND AN APPROVED PRIMER. THE FOLLOWING USE CATEGORIES SHALL BE REQUIRED BASED ON THE APPLICATION:

- 1) UC1 - INTERIOR DRY
2) UC2 - INTERIOR DAMP
3) UC3A - EXTERIOR ABOVE GROUND - PROTECTED
4) UC3B - EXTERIOR ABOVE GROUND - UNPROTECTED
5) UC4A - GROUND CONTACT, GENERAL USE

D. WHEN METAL CONNECTOR, ANCHOR OR FASTENER ITEMS ARE IN CONTACT WITH PRESSURE TREATED LUMBER AND/OR CORROSIVE ENVIRONMENTS THE CONTRACTOR SHALL USE CORROSION RESISTANT METAL ITEMS AS NOTED:

- 1) WHEN LUMBER IS TREATED WITH CHROMATED COPPER ARSENATE (CCA-C) OR DOT SODIUM ARSENATE (SBX) THE METAL ITEMS SHALL HAVE A MINIMUM G590 (0.90 OZ/SOFT) ZINC COATING OR ENGINEER APPROVED EQUIVALENT.
2) WHEN LUMBER IS TREATED WITH ALKALINE COPPER QUAT (ACQ-C OR ACQ-D), COPPER AZOLE (CBA-A OR CA-B) OR OTHER BORATE (NON-DOT) TREATMENT THE METAL ITEMS SHALL HAVE A MINIMUM G185 (1.85 OZ/SOFT) ZINC COATING OR ENGINEER APPROVED EQUIVALENT.
3) WHEN LUMBER IS TREATED WITH OTHER TREATMENTS (NOT AMMONIACAL COPPER ZINC ARSENATE (ACZA) SEE 4 BELOW) OR IS EXPOSED TO CORROSIVE ENVIRONMENTS NOT LIST ABOVE THE METAL ITEMS SHALL BE TYPE 316L STAINLESS STEEL OR ENGINEER APPROVED EQUIVALENT.
4) AMMONIACAL COPPER ZINC ARSENATE (ACZA) IS NOT PERMITTED UNLESS APPROVED BY THE ENGINEER.
5) CONTRACTOR IS TO CONFIRM LUMBER PRESSURE TREATMENT TYPE PRIOR TO PURCHASE OF METAL ITEMS.

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■ ISSUE / REVISION

Table with 3 columns: No., DESCRIPTION, DATE. Row 1: PERMIT SET, 06-10-24.

■ SCALE AS NOTED
IF PRINT SIZE IS
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■ PROJECT No. 23059.01

■ DRAWING TITLE

GENERAL NOTES

S0.1

**16. STRUCTURAL STEEL**

A. STRUCTURAL STEEL SHALL CONFORM TO FOLLOWING ASTM DESIGNATIONS, UNLESS OTHERWISE NOTED:

- 1) PLATES AND BARS, INCLUDING DOUBLER PLATES, CONTINUITY PLATES, BASE PLATES, GUSSET PLATES, AND SHEAR TABS: ASTM A572 GRADE 50.
- 2) WIDE FLANGES (W): ASTM A992 (Fy = 50 KSI).
- 3) MISCELLANEOUS (M), AMERICAN STANDARD (S), CHANNEL (C), MISCELLANEOUS CHANNEL (MC), AND ANGLES (L): ASTM A36 (Fy = 36 KSI).
- 4) RECTANGULAR HSS: ASTM A500, Gr. C (Fy = 46 KSI), OR ASTM A1085 (Fy = 50 KSI).

B. STRUCTURAL FASTENERS INCLUDING BOLTS, THREADED RODS, AND ANCHOR RODS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS, UNLESS OTHERWISE NOTED.

- 1) ERECTION, GROUTED, AND TIMBER CONNECTION BOLTS: ASTM A307 WITH WELDABILITY SUPPLEMENT S1 GRADE A.
- 2) THREADED RODS: ASTM A36.
- 3) ANCHOR RODS AND ANCHOR BOLTS: ASTM F1554 GRADE 36.
- 4) NUTS SHALL COMPLY WITH ASTM A563.
- 5) WELDED THREADED STUDS SHALL BE NELSON TYPE CPL OR CFL FLUX-LOADED AS MANUFACTURED BY NELSON (OR APPROVED EQUAL). STUDS SHALL BE MADE FROM COLD-WORKED LOW CARBON STEEL COMFORMING TO ASTM A108 GRADES 1010-1020 W/ MINIMUM TENSILE STRENGTH OF 61 KSI. STUD WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1-10.

C. ALL STRUCTURAL STEEL MEMBERS EXPOSED TO WEATHER OR CALLED OUT AS HOT DIP GALVANIZED (HDG) ON PLAN OR STRUCTURAL STEEL MEMBERS LOCATED IN EXTERIOR ENVIRONMENTS SHALL BE HDG IN ACCORDANCE WITH ASTM A 123. ANY MEMBER THAT HAS HAD ITS HDG COATING DAMAGED OR REMOVED DURING TRANSPORT OR ERECTION SHALL HAVE ITS COATING REPAIRED USING ZNC GALVILITE REPAIR COMPOUND OR EQUAL. REPAIR GALVANIZING AFTER WELDING IN ACCORDANCE WITH ASTM A780.

D. PAINT STEEL (EXCEPT GALVANIZED STEEL AND PORTIONS TO BE ENCASED IN CONCRETE) WITH ONE COAT OF PRIMER STANDARD TNEC P10-99 OR EQUIVALENT SUBJECT TO ENGINEER'S APPROVAL. ALTERNATES WILL BE CONSIDERED UPON REQUEST AND SUBMISSION OF THE MANUFACTURER'S SPECIFICATIONS.

E. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST AISC "SPECIFICATIONS" FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

F. WELDING SHALL CONFORM TO THE LATEST EDITION OF THE ANSIAWS D1.1 STRUCTURAL WELDING CODE. USE E70XX ELECTRODES.

**17. EPOXY GROUTING OF DOWELS, REBAR AND ANCHOR BOLTS**

A. INSTALLATION OF POST-INSTALLED DOWELS, REBAR AND ANCHOR BOLTS (EPOXY ANCHORS) SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPII). WHERE THERE IS A CONFLICT BETWEEN THESE NOTES AND THE MPII, SEE MPII FOR CLARIFICATION.

B. EPOXY ANCHORS SHALL MEET THE REQUIREMENTS OF ACI 308.4 AND THE FOLLOWING INSTALLATION REQUIREMENTS, UNLESS OTHERWISE NOTED.

- 1) MINIMUM AGE OF CONCRETE: 21 DAYS
- 2) CONCRETE TEMPERATURE RANGE: 50-80 DEGREES FAHRENHEIT
- 3) MOISTURE CONDITION OF CONCRETE: DRY

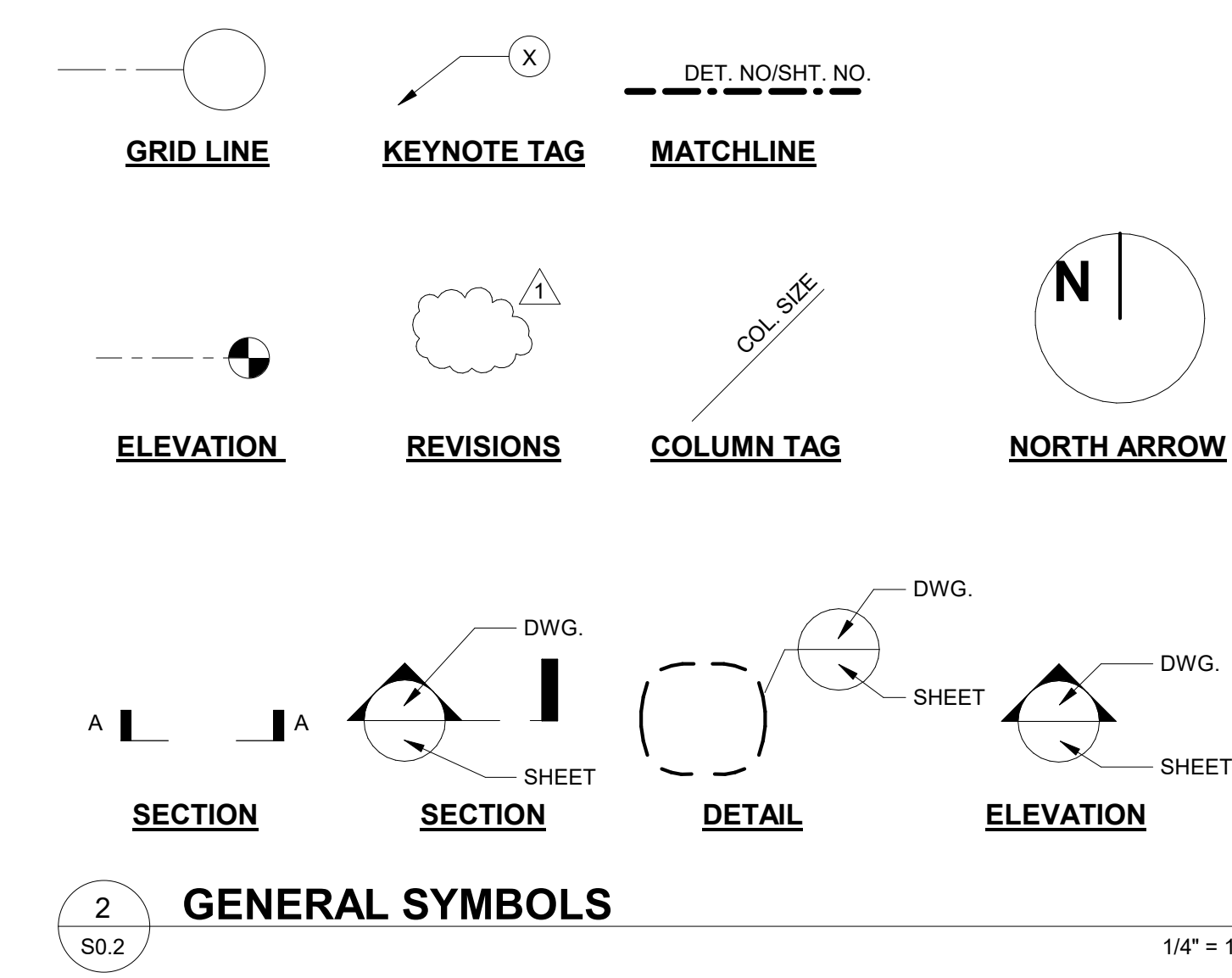
C. EPOXY GROUTING WILL BE USED IN ALL LOCATIONS WHERE EITHER ALL-THREAD ROD OR REBAR ARE BEING EMBEDDED INTO EXISTING CONCRETE.

D. IN CONCRETE, HOLES SHALL BE DRILLED WITH ROTARY HAMMER UNLESS NOTED OTHERWISE.

E. UNLESS OTHERWISE NOTED, EPOXY TYPES SHALL BE AS FOLLOWS:  
FOR DOWELS AND REBAR IN CONCRETE, EPOXY SHALL BE:  
a. HILTI HIT-RE 500 V3

FOR ANCHOR BOLTS IN CONCRETE, EPOXY SHALL BE  
a. SIMPSON SET-XP  
b. HILTI HIT-HY 200

- 1) WHEN INSTALLING ANCHORS, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS.
- 2) IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT. PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH, WHICHEVER IS LARGER, OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT. IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED, THE ENGINEER WILL DETERMINE A NEW LOCATION.
- 3) LOCATE EXISTING REINFORCEMENT AND CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLIES ATTACHED WITH ANCHORS.



A.B.	ANCHOR BOLT	LLV	LONG LEG VERTICAL LEVEL
ADD'L	ADDITIONAL	LV	LEVEL
ADJ.	ADJACENT	LVL	LAMINATED VENEER LUMBER
A.F.F.	ARCHITECTURAL FINISHED FLOOR	L.W.	LIGHT WEIGHT
APPROX.	APPROXIMATE	MAX.	MAXIMUM
ARCH.	ARCHITECT	M.B.	MACHINE BOLT
BLDG.	BUILDING	MECH.	MECHANICAL
BLKG.	BLOCKING	MIN.	MINIMUM
BM.	BEAM	MISC.	MISCELLANEOUS
B.N.	BOUNDARY NAILING	MTL.	METAL
B.O.	BOTTOM OF	(N)	NEW
BTWN.	BETWEEN	N.S.	NEAR SIDE
C.	CENTERLINE	N.T.S.	NOT TO SCALE
C.F.	CUBIC FEET	N.W.	NORMAL WEIGHT
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
C.J.	CONSTRUCTION JOINT	OPNG.	OPENING
CLR.	CLEAR	PAR.	PARALLEL
CMU	CONCRETE MASONRY UNIT	PERP.	PERPENDICULAR
COL.	COLUMN	PL	PLATE
CNTRS/NK.	COUNTER SUNK	PSL	PARALLEL STRAND LUMBER
COLL.	COLLECTOR	PLYWD.	PLYWOOD
CONC.	CONCRETE	P.T.	PRESSURE TREATED
COND.	CONDITION	REF.	REFERENCE
CONN.	CONNECTION	REINF.	REINFORCING
CONT.	CONTINUOUS	REQ'D	REQUIRED
DBL	DOUBLE	REV.	REVISION
DET.	DETAIL	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIA. Ø	DIAMETER	S.C.D.	SEE CIVIL DRAWINGS
DIAPH.	DIAPHRAGM	SCH.	SCHEDULE
DIM.	DIMENSION	SHT.	SHEET
DN.	DOWN	SHTG.	SHEATHING
DWG.	DRAWING	SIMP.	SIMPSON
(E)	EXISTING	SIM.	SIMILAR
EA.	EACH	S.O.G.	SLAB ON GRADE
E/E	EACH END	SPEC.	SPECIFICATIONS
E/F	EACH FACE	SQ.	SQUARE
EL.	ELEVATION	STAG.	STAGGERED
EMB.	EMBEDMENT	STD.	STANDARD
E.N.	EDGE NAILING	STIFF.	STIFFENER
EQ.	EQUAL	STL.	STEEL
EQUIV.	EQUIVALENT	S.W.	SHEAR WALL
E/S	EACH SIDE	SYMM.	SYMMETRIC
EW	EACH WAY	T&B	TOP AND BOTTOM
EXT.	EXTERIOR	T&G	TONGUE AND GROOVE
FDN.	FOUNDATION	THK.	THICK
FIN.	FINISH	THRD.	THREADED
FLR.	FLOOR	THRU.	THROUGH
F.N.	FIELD NAILING	T.O.	TOP OF
F.S.	FAR SIDE	TRNSV.	TRANSVERSE
F.T.	FEET	TYP.	TYPICAL
FTG.	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAUGE	VERT.	VERTICAL
GALV.	GALVANIZED	V.I.F.	VERIFY IN FIELD
G.L.	GRID LINE	W	WITH
GLB	GLUED LAMINATED BEAM	WD	WOOD
HD	HOLDOWN	WO	WITHOUT
H.D.G.	HOT DIP GALVANIZED	W.P.	WORKING POINT
HDR.	HEADER	WT.	WEIGHT
HORIZ.	HORIZONTAL		
HT	HEIGHT		
HSS	HOLLOW STRUCTURAL STEEL		
LONG.	LONGITUDINAL		

**1 ABBREVIATIONS** N.T.S.

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Scale	AS NOTED
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**GENERAL NOTES & ABBREVIATIONS**

Title  
Sheet **S0.2**

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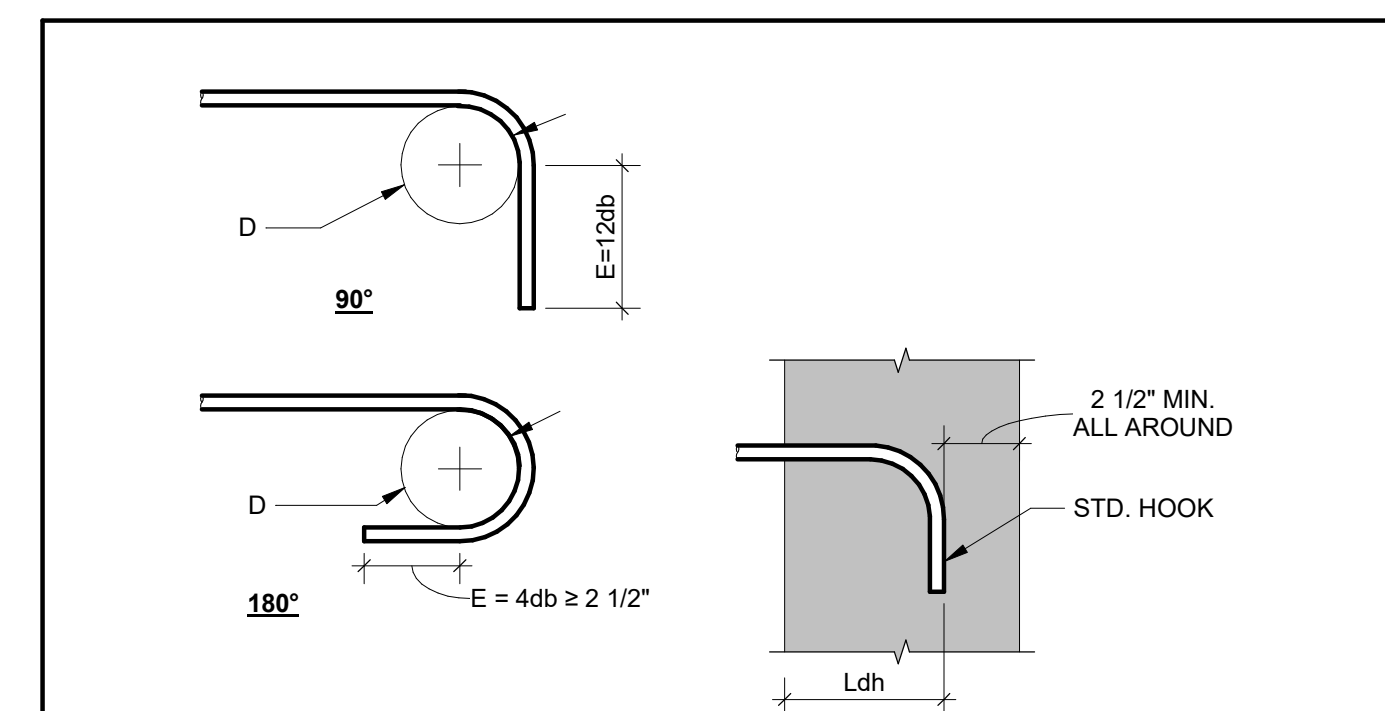
SCALE AS NOTED  
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DRAWING TITLE

TYPICAL CONCRETE  
DETAILS

S1.1A



BAR SIZE	D (BEND ø)	E (HOOK EXTENSION)		Ldh (HOOK DEVELOPMENT LENGTH)		
		90° BEND	180° BEND	f'c=3000psi	f'c=4000psi	f'c>=5000psi
#3	2 1/4"	4 1/2"	2 1/2"	6"	6"	6"
#4	3"	6"	2 1/2"	8"	7"	6"
#5	3 3/4"	7 1/2"	2 1/2"	10"	9"	8"
#6	4 1/2"	9"	3"	12"	10"	9"
#7	5 1/4"	10 1/2"	3 1/2"	14"	12"	11"
#8	6"	12"	4"	16"	14"	12"
#9	9 1/2"	14"	5"	18"	15"	14"
#10	10 1/4"	15 1/2"	5 1/2"	20"	17"	16"
#11	11 1/2"	17"	6"	22"	19"	17"
#14	17"	20 1/2"	7"	38"	33"	29"
#18	22 3/4"	27 1/2"	9 1/2"	50"	43"	39"

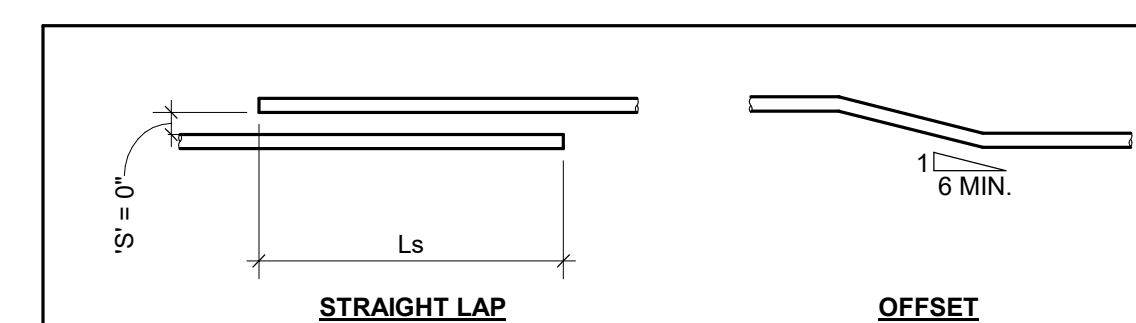
NOTES:

- db = BAR DIAMETER
- UNCOATED BARS
- NORMAL WEIGHT CONCRETE
- MULTIPLY HOOK DEVELOPMENT LENGTH BY 1.33 FOR LIGHTWEIGHT CONCRETE
- DO NOT FIELD BEND REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE

2 STANDARD HOOK DIM. / DEVELOPMENT SCHED.

S1.1A

N.T.S.



BAR SIZE	CLASS B TENSION LAP SPLICE FOR GRADE 60 REINFORCING (INCHES)							
	f'c=2500 PSI		f'c=3000 PSI		f'c=4000 PSI		f'c>=5000 PSI	
	TOP	OTHER	TOP	OTHER	TOP	OTHER	TOP	OTHER
#3	31"	23"	29"	22"	25"	19"	22"	17"
#4	42"	32"	38"	29"	33"	25"	29"	23"
#5	51"	39"	47"	36"	41"	31"	36"	28"
#6	61"	47"	56"	43"	49"	37"	44"	34"
#7	90"	69"	82"	63"	71"	54"	64"	49"
#8	101"	78"	94"	72"	81"	62"	73"	56"
#9	114"	88"	105"	81"	91"	70"	82"	63"
#10	130"	100"	118"	91"	102"	79"	92"	71"
#11	143"	110"	131"	101"	114"	87"	102"	78"

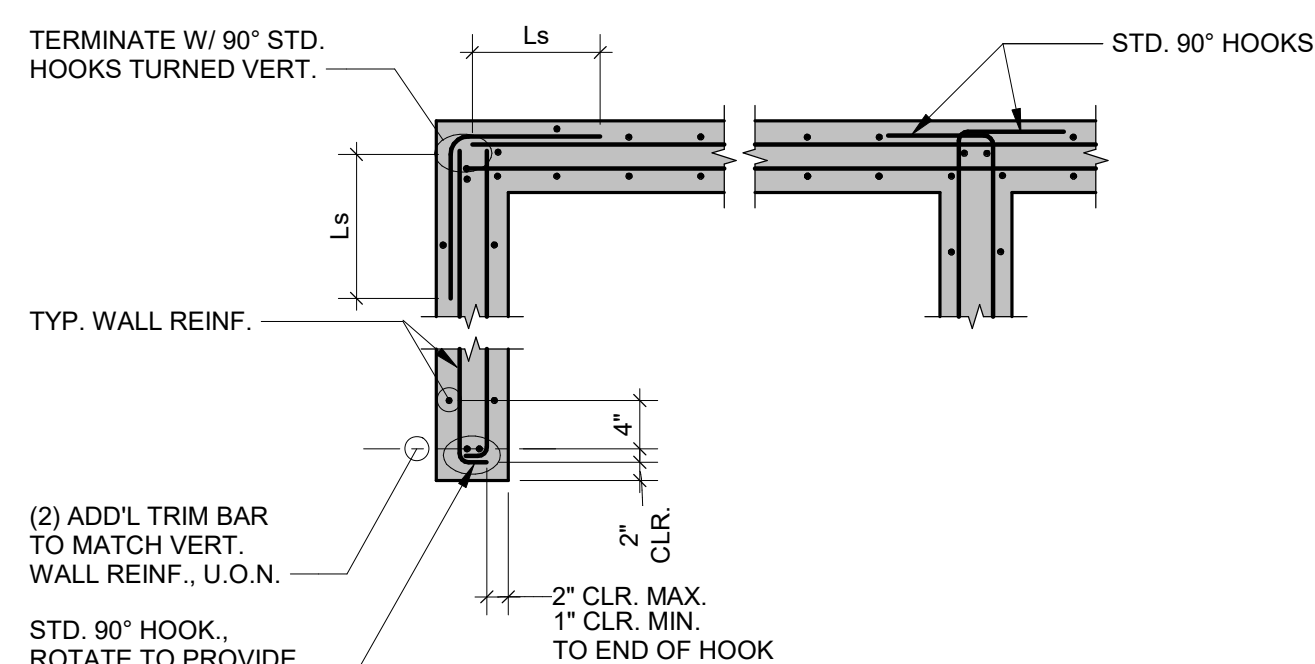
NOTES:

- THIS TABLE CONTAINS MIN. LENGTHS FOR LAP SPLICES & BAR DEVELOPMENT NOT OTHERWISE SPECIFIED ON THESE DRAWINGS. THESE LENGTHS MAY BE REDUCED IN CERTAIN SITUATIONS, SUBJECT TO PRIOR REVIEW & APPROVAL OF THE ENGINEER.
- SPLICE LENGTHS ARE FOR NORMAL WEIGHT CONC. W/ GRADE 60 REINF.
- SPLICE LENGTHS ARE FOR UNCOATED BARS
- USE "TOP" FOR WALL BOUNDARIES & WHEN MORE THAN 12" OF FRESH CONC. IS PLACED BELOW SPLICE, "OTHER" FOR ALL OTHER SITUATIONS
- PROVIDE MIN. COVER PER GENERAL NOTES, BUT NOT LESS THAN 1x BAR DIAMETER

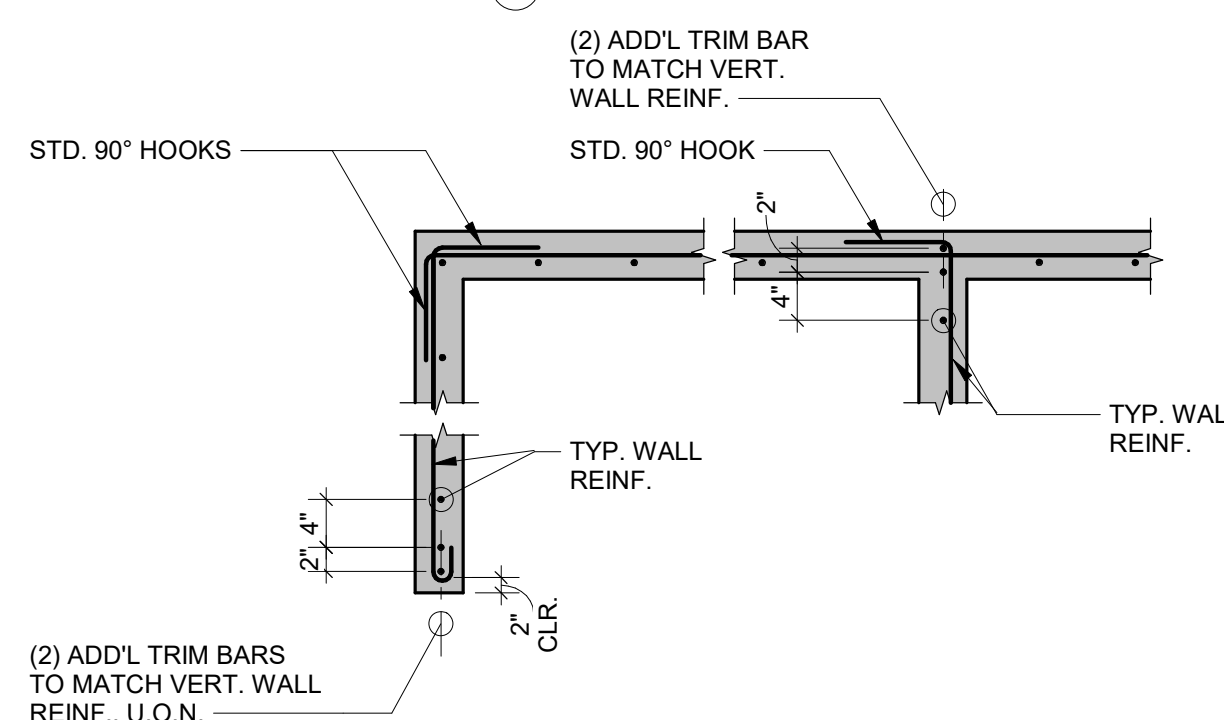
1 LAP SPLICE / DEVELOPMENT SCHEDULE

S1.1A

NO SCALE



A DOUBLE CURTAIN REINF. AT WALL

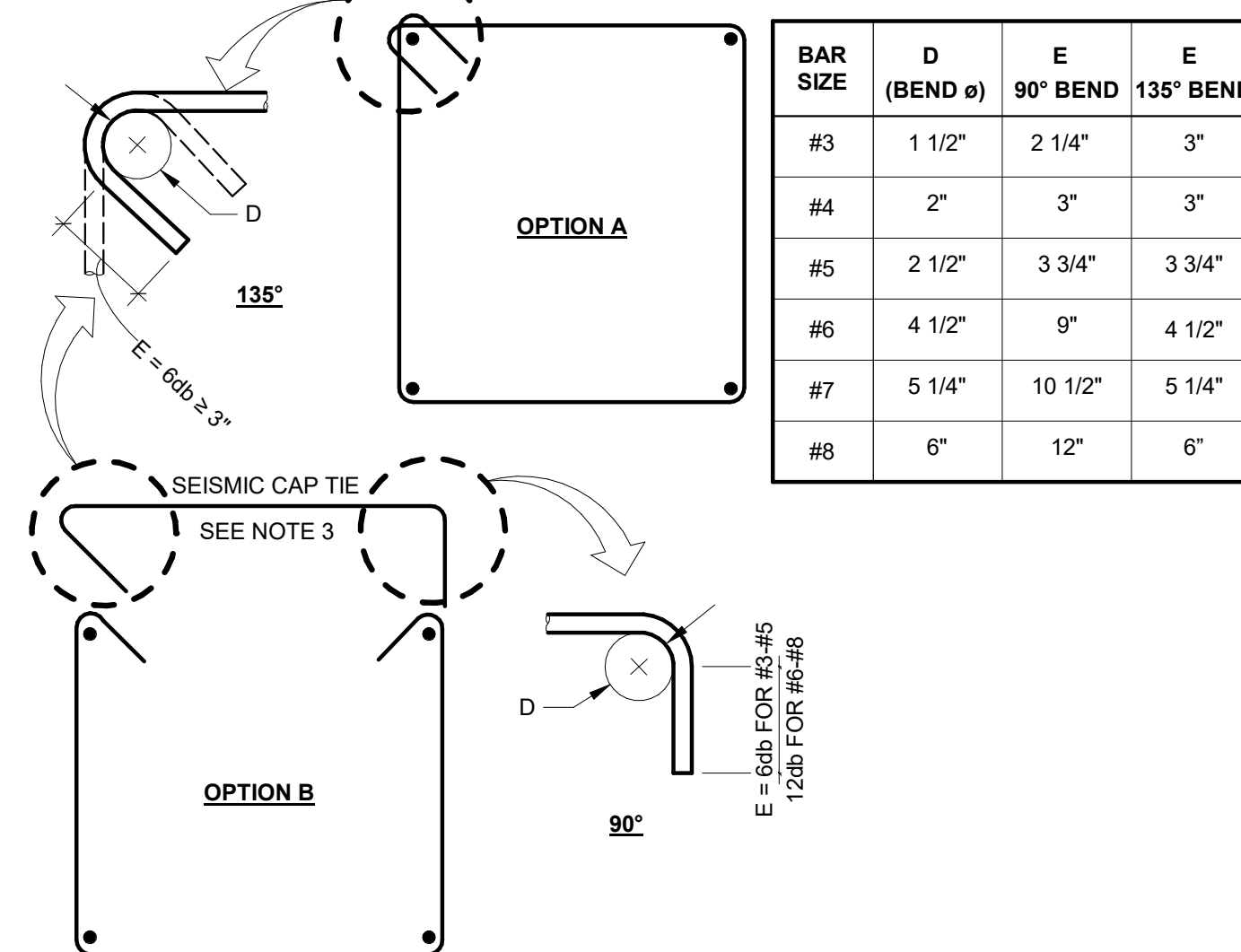


B SINGLE CURTAIN REINF. AT WALL

4 WALL REINFORCING AT CORNERS AND INTERSECTIONS

S1.1A

N.T.S.



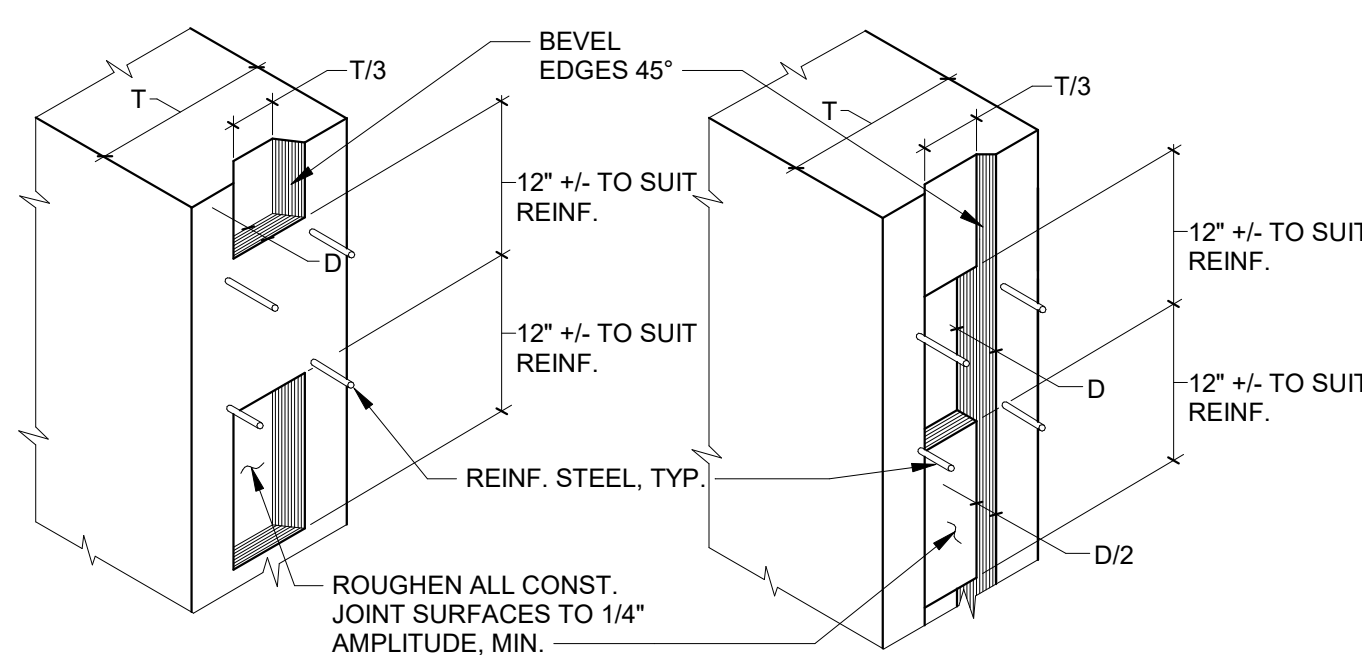
NOTES:

- db = BAR DIAMETER
- EITHER OPTION A OR OPTION B IS ACCEPTABLE FOR USE IN ALL COLS. & BMS.
- THE CAP TIE IN OPTION B MUST HAVE THE 90° HOOK ALTERNATED IN ADJACENT TIES

3 SEISMIC STIRRUP / TIE SCHEDULE

S1.1A

N.T.S.



KEY TYPE #1

TYP. FOR WALLS

KEY TYPE #2

FOR SLABS, RETAINING WALLS &  
EXTERIOR WALLS BELOW GRADE

KEY SCHEDULE

T	D
< 8"	3/4"
8"-16"	1 1/2"
>16"	2 1/2"

NOTE:

- DETAILS APPLY TO BOTH HORIZ. & VERT. CONSTRUCTION JOINTS

6 CONSTRUCTION JOINTS IN CONCRETE WALLS & SLABS

S1.1A

1" = 1'-0"

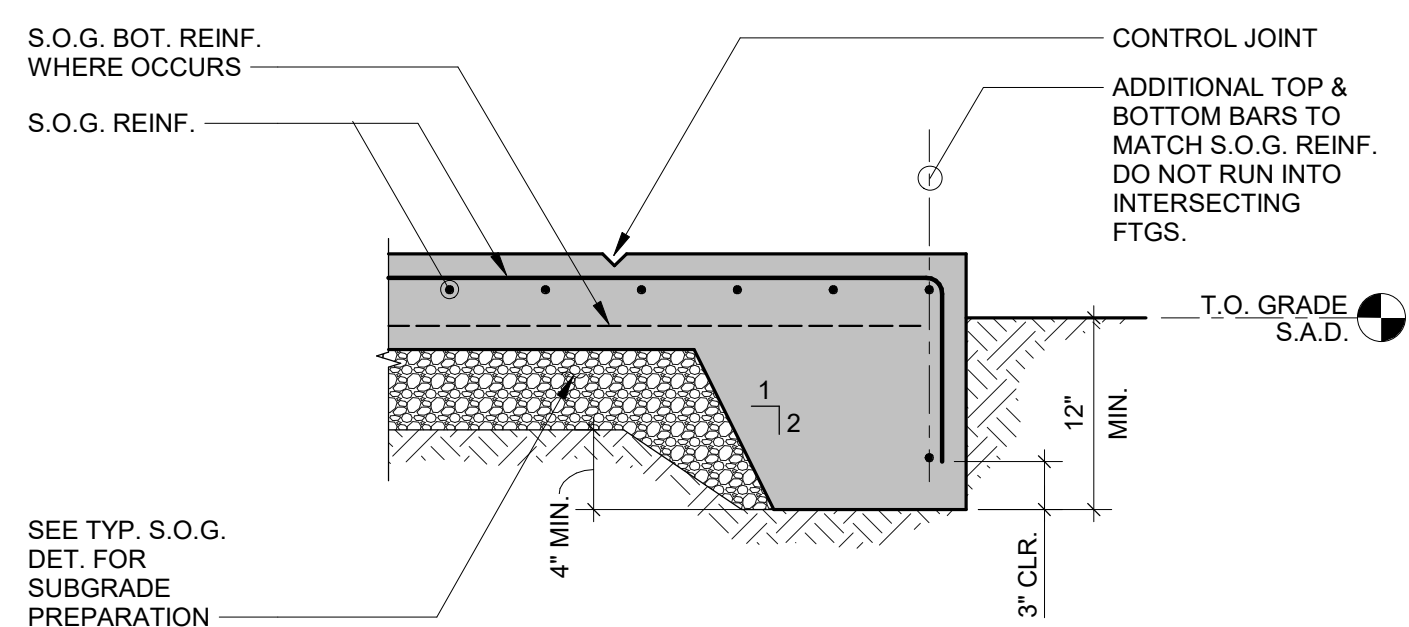
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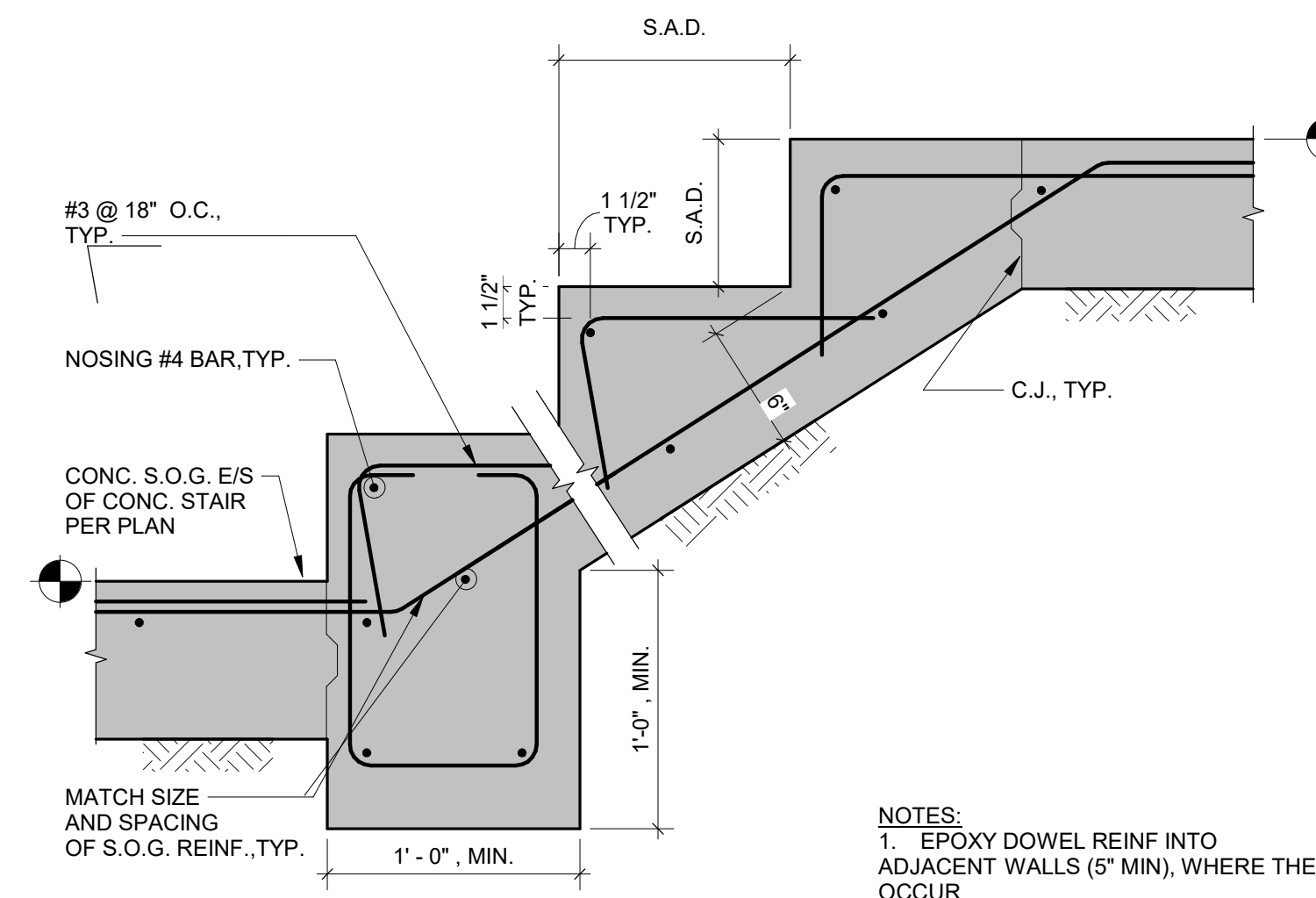
No.	DESCRIPTION	DATE
-	PERMIT SET	06-10-24

TYPICAL CONCRETE  
DETAILS

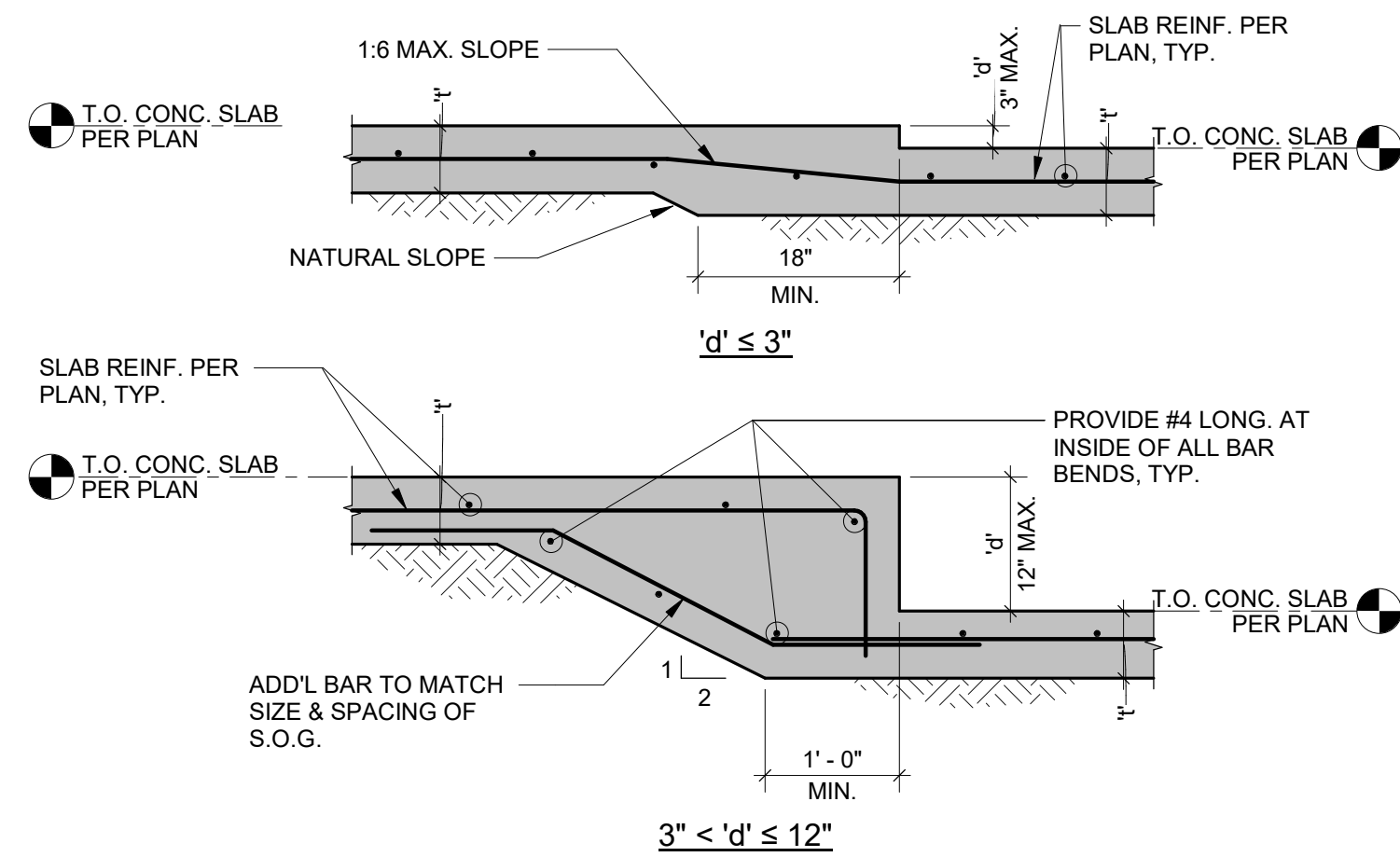
S1.1B



6 SLAB ON GRADE AT FREE EDGE  
S1.1B 1" = 1'-0"

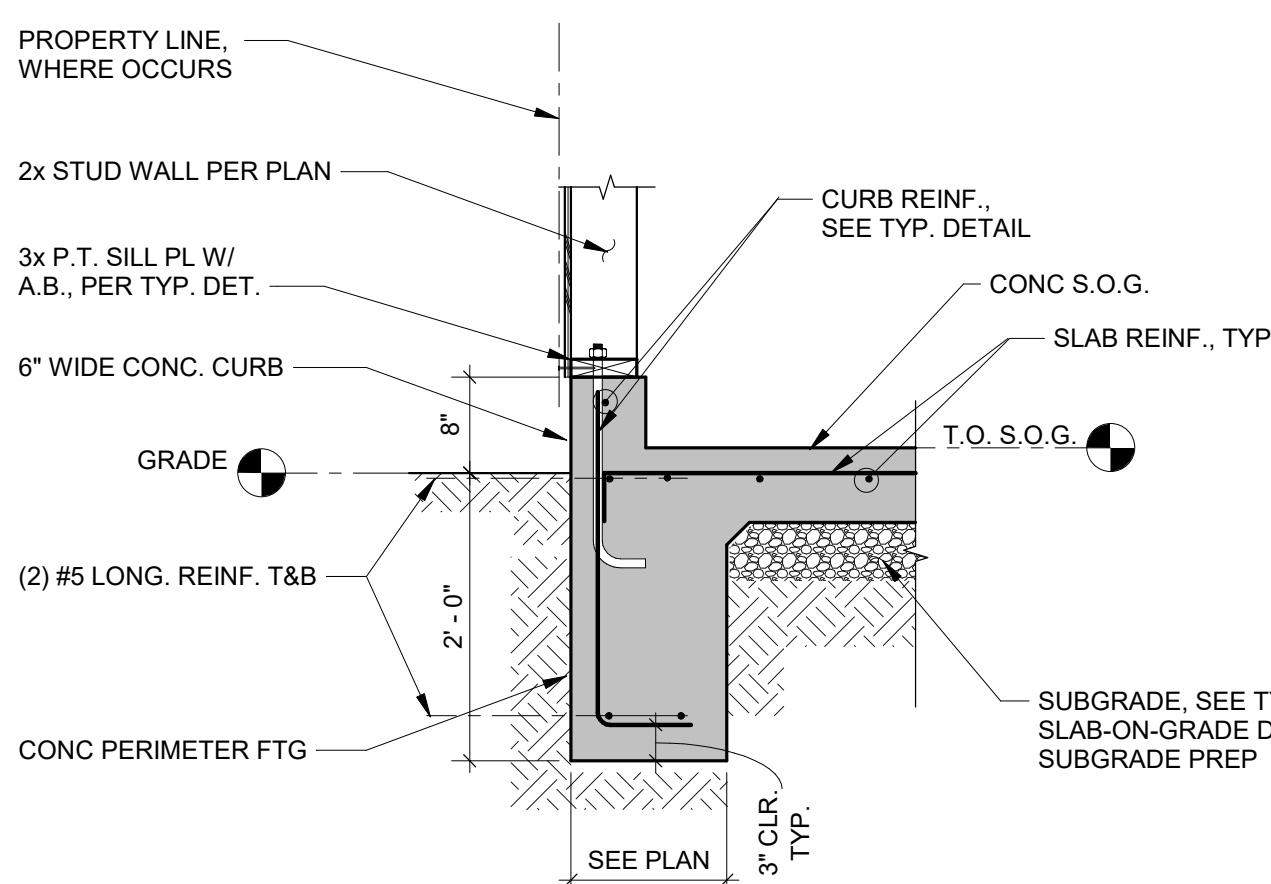


3 TYPICAL CONC. STEPS/STAIR  
S1.1B 1 1/2" = 1'-0"

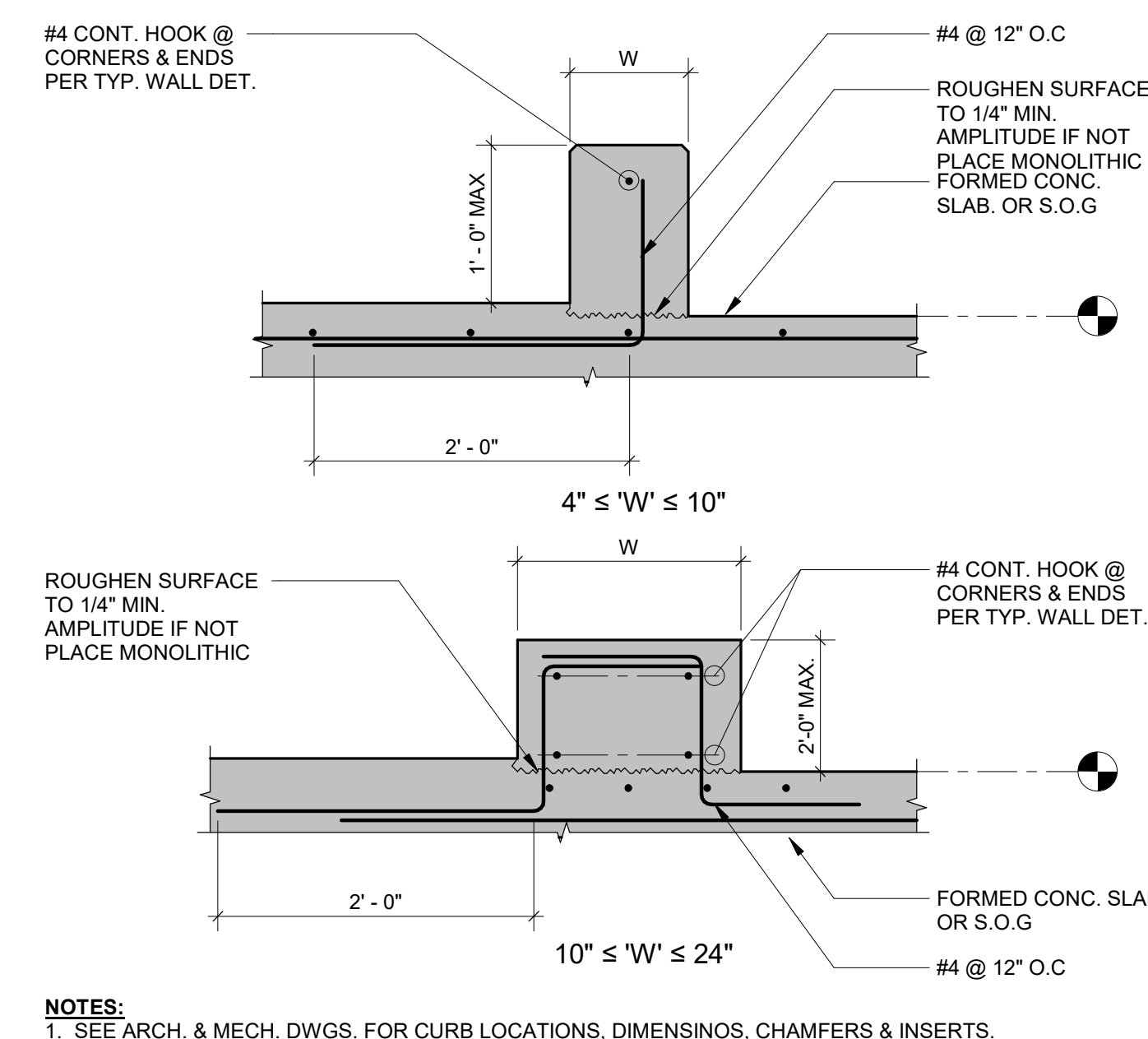


- NOTES:
- COORDINATE LOCATION, DEPTH, EXTENT, AND EDGE CONDITIONS OF DEPRESSION WITH ARCHITECTURAL DRAWINGS.
  - SEE TYP. S.O.G. DETAIL FOR SLAB THICKNESS 't', REINF. & SUBGRADE PREPARATION, TYP.

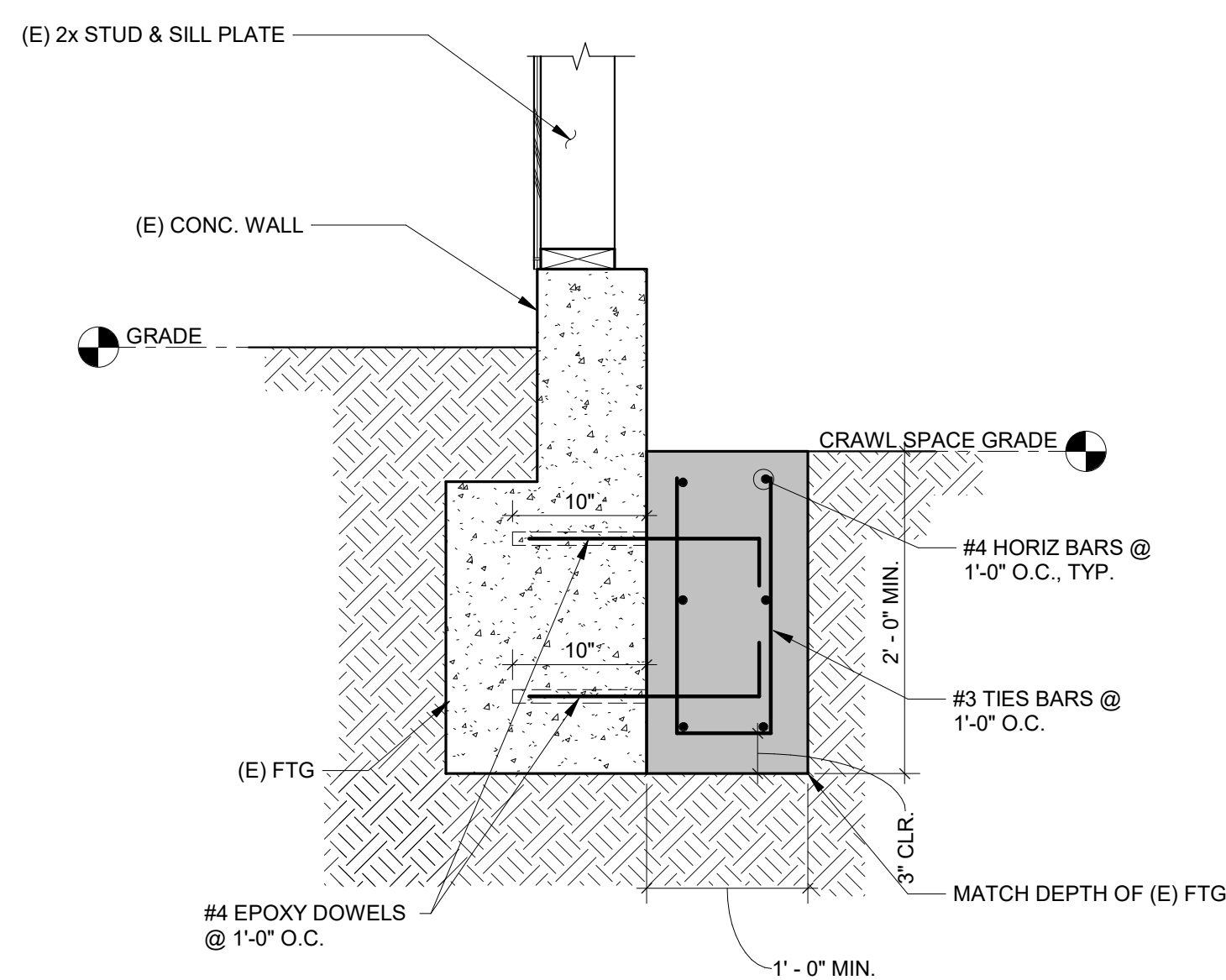
8 CONC. SLAB ON GRADE DEPRESSION  
S1.1B 3/4" = 1'-0"



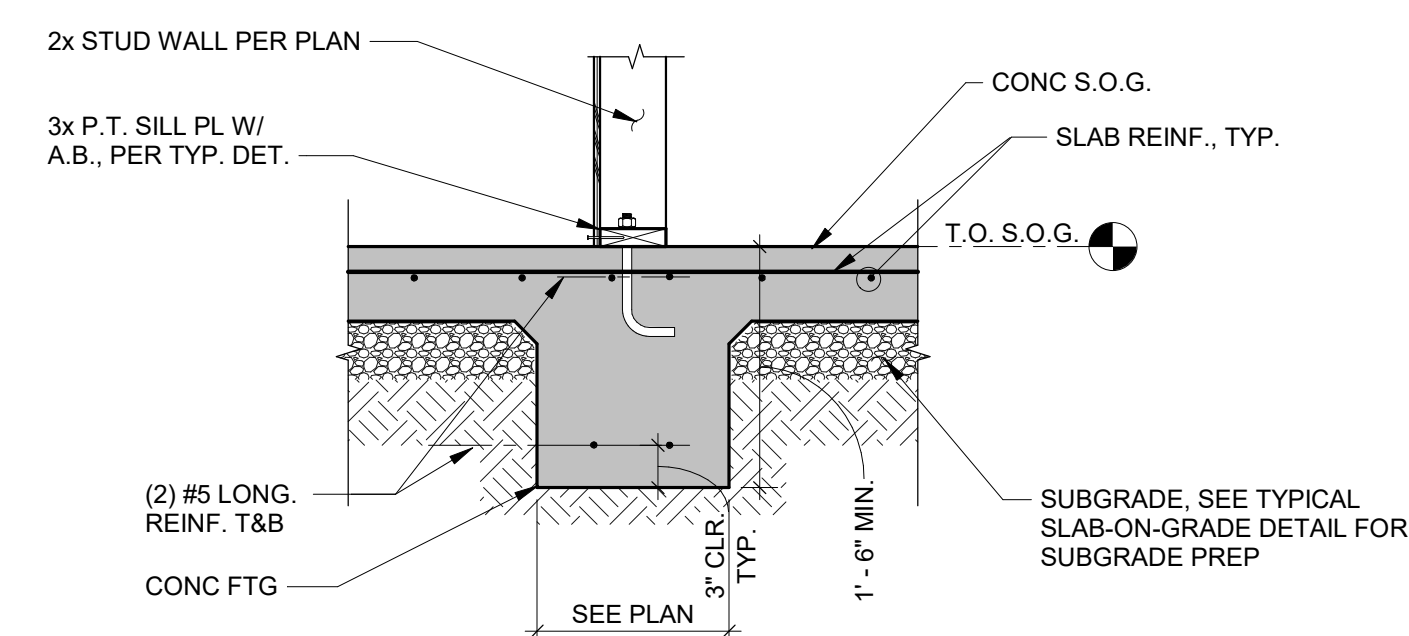
5 CONTINUOUS PERIMETER FTG W/ S.O.G.  
S1.1B 3/4" = 1'-0"



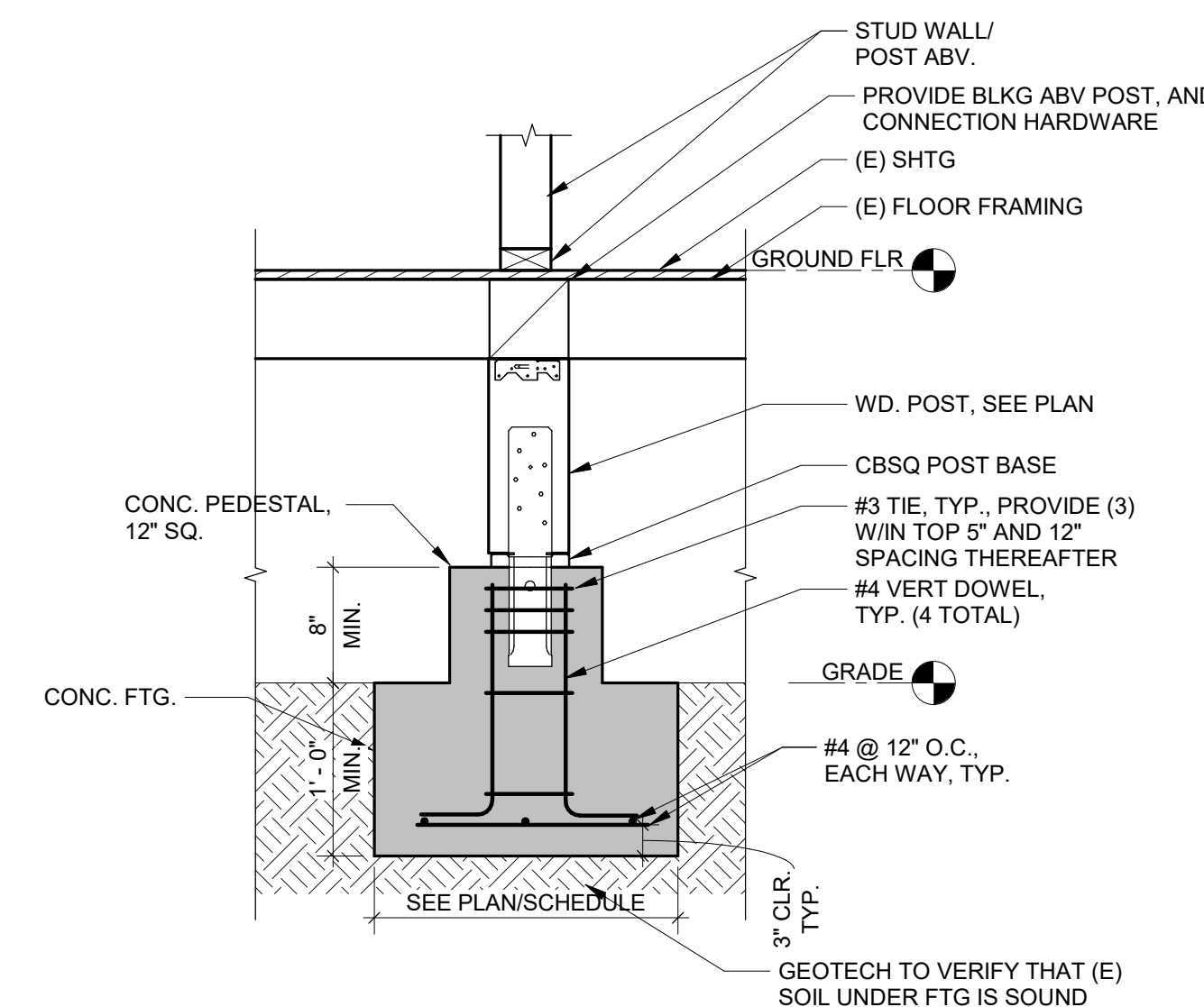
2 CONC. CURB  
S1.1B 1" = 1'-0"



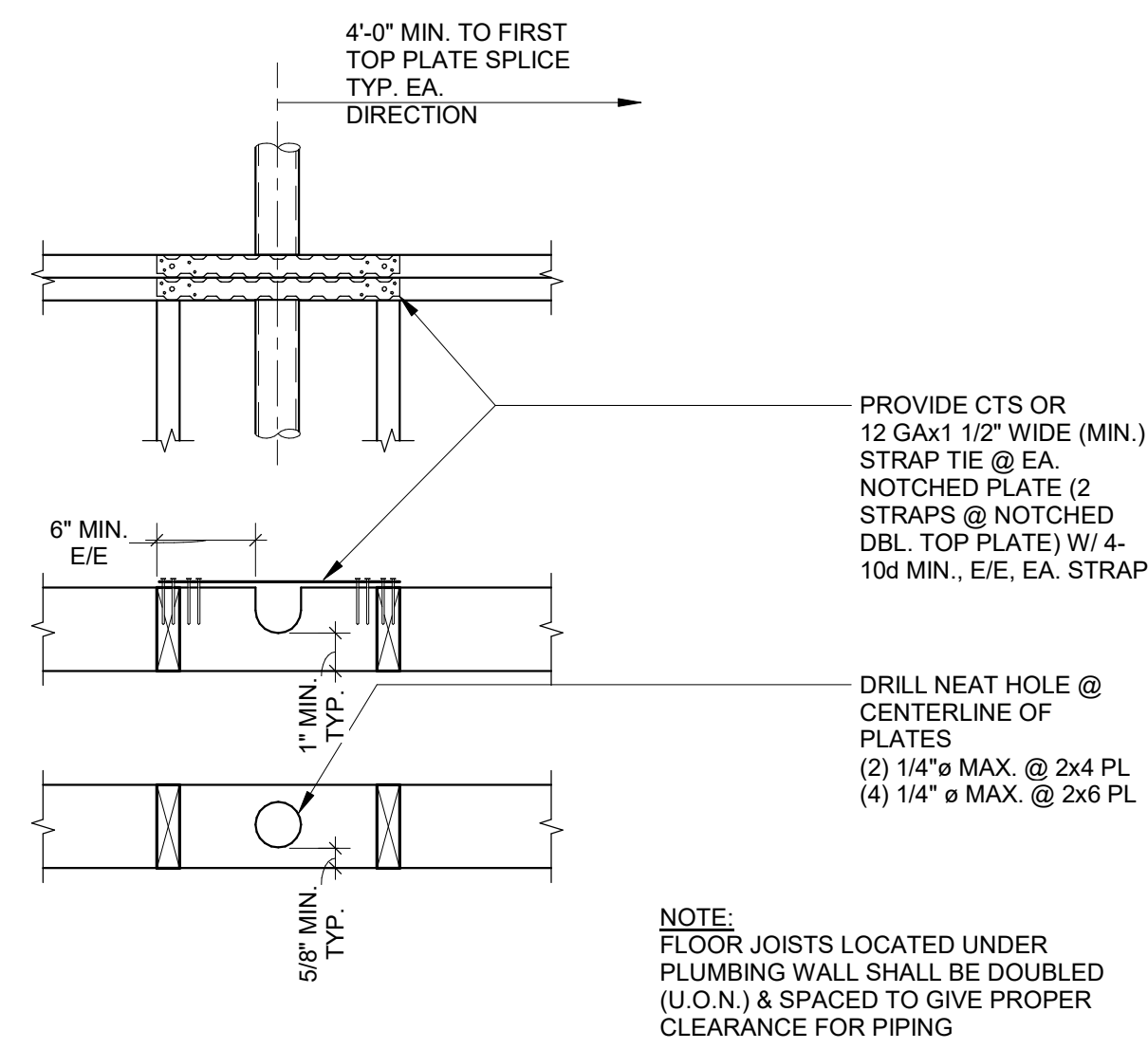
7 FOOTING STRENGTHENING DETAIL  
S1.1B 1" = 1'-0"



4 CONT. INT. FTG W/ STUD WALL ABOVE  
S1.1B 3/4" = 1'-0"



1 TYPICAL PAD FTG DETAIL  
S1.1B 1" = 1'-0"



9 HOLES & STRAPS @ STUD WALL TOP PLATE  
S1.2A 1" = 1'-0"

CJ SIZE & SPACING	MAX SPAN
2x4 @ 24" O.C.	6'-6"
2x6 @ 24" O.C.	10'-0"
2x8 @ 24" O.C.	13'-6"
2x10 @ 24" O.C.	16'-6"
2x12 @ 24" O.C.	19'-6"

- NOTES:**
- CEILING JOISTS SHALL BE DOUG FIR #1 U.O.N.
  - CEILING JOISTS DESIGNED TO SUPPORT DRYWALL AND INSULATION. IF AREA OVER CEILING JOISTS WILL BE USED FOR STORAGE CONTACT ENGINEER FOR ALTERNATE CEILING JOIST SIZES.

8 TYPICAL CEILING JOIST SCHEDULE  
S1.2A N.T.S.

MEMBER	HANGER	
	FACE MOUNT	TOP FLANGE
2x ROOF RAFTER	LUS OR U <sup>3</sup>	JB OR HUTF <sup>3</sup>
DBL. 2x ROOF RAFTER	HU <sup>3</sup>	HUTF <sup>3</sup>
LVL ROOF RAFTER	HU <sup>3</sup>	LBV <sup>3</sup>
2x FLOOR JOIST	LUS OR U	LB OR JB
LVL OR DBL. LVL FLOOR JOIST	HU	LBV
4x OR 6x BEAM	HU	BA
GLULAM OR PSL BEAM	HHUS	HB

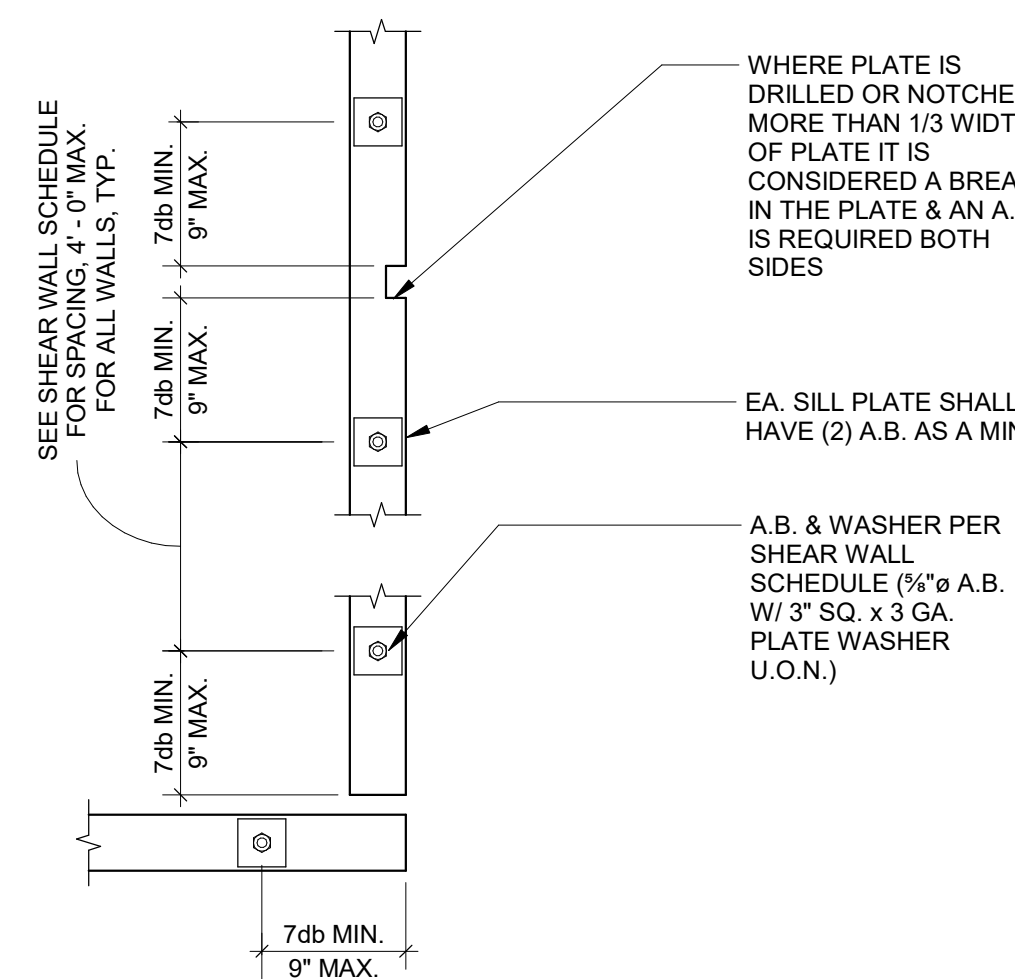
- NOTES:**
- ALL HANGERS BY SIMPSON OR APPROVED EQUIVALENT. INSTALL PER MANUFACTURER'S INSTRUCTIONS. FILL ALL HOLES U.O.N.
  - USE LARGEST HANGER ALLOWED FOR FRAMING MEMBER.
  - HANGER MAY BE SLOPED UP TO 45°

7 TYPICAL HANGER SCHEDULE  
S1.2A N.T.S.

MAX' SPAN "W"	SUPPORTING ROOF			MAX' SPAN "W"	HEADERS @ INTERIOR WALLS		
	HDR SIZE	BEARING STUDS	KING STUDS		HDR SIZE	BEARING STUDS	KING STUDS
	4'-0"	4x6 OR 6x6	2x		2x	4'-0"	4x8 OR 6x8
6'-0"	4x8 OR 6x8	2x	DBL 2x	6'-0"	4x8 OR 6x8	2x	DBL 2x
8'-0"	4x8 OR 6x8	2x	DBL 2x	8'-0"	4x10 OR 6x10	DBL 2x	DBL 2x

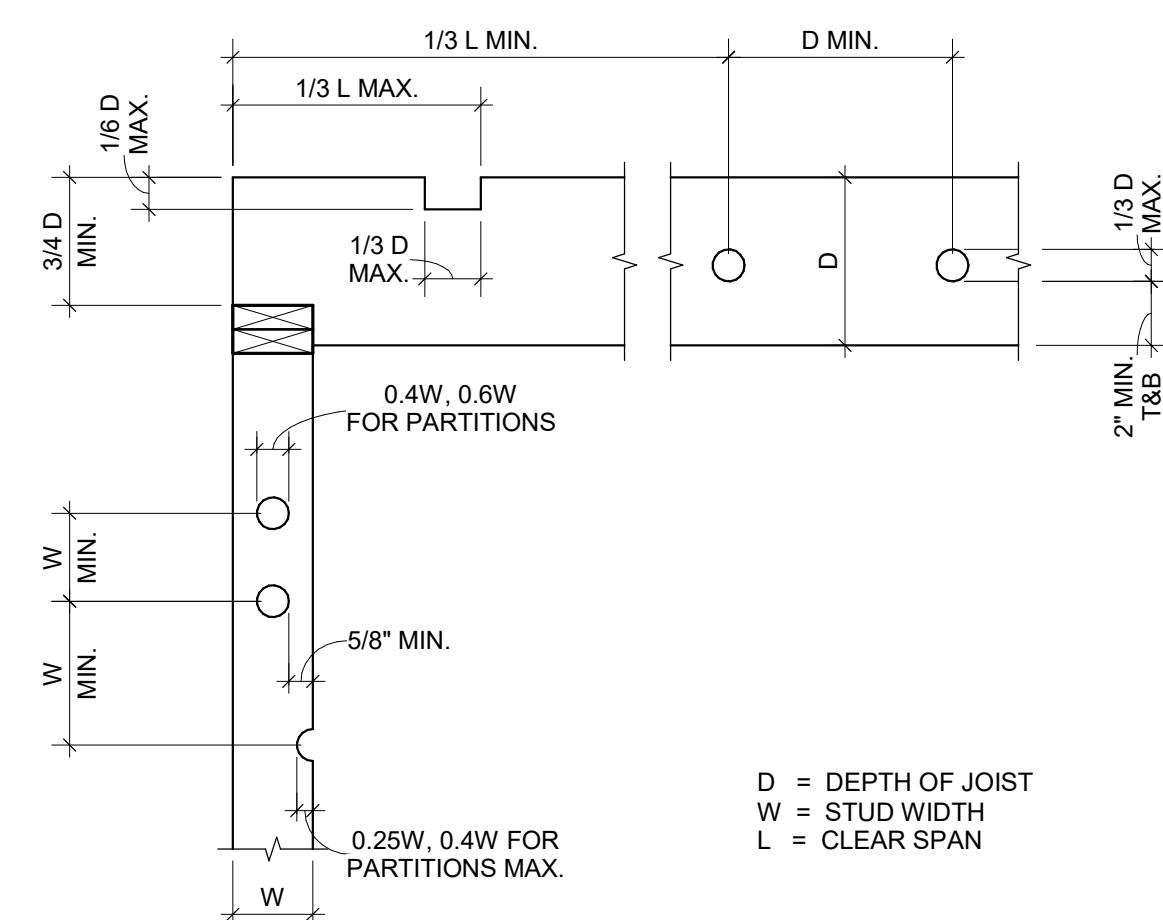
- NOTES:**
- MATCH DEPTH OF WALL FRAMING
  - SEE TYPICAL FRAMING @ DOORS & WINDOWS ELEVATION FOR HDR. SPAN
  - USE DBL. 2x KING STUD MIN. @ ALL DOORS U.O.N.

6 TYPICAL HEADER SCHEDULE  
S1.2A 1" = 1'-0"



- NOTES:**
- db REFERS TO A.B. DIA.
  - SILL PLATES IN CONTACT W/ CONCRETE SHALL BE P.T.D.F. OR FOUNDATION GRADE REDWOOD.
  - IF 7db MIN/12" MAX. DIM. W/ HD THEN MEASURE FROM CENTERLINE HD A.B.
  - SILL BOLTS SHALL BE 5/8" Ø L-BOLTS W/ 7" EMB. INTO FTG. (BELOW SLAB WHERE OCCURS) @ 4'-0" MAX. SPACING

5 TYP. SILL BOLTING LAYOUT  
S1.2A 1" = 1'-0"



4 HOLES & NOTCHES IN STUDS & JOIST  
S1.2A N.T.S.

NAILING SCHEDULE	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOE NAIL	(3) 8d
2. BRIDGING TO JOIST, TOE NAIL E/E	(2) 8d
3. 1" x 6" SUBFLOOR OR LESS TO EA. JOIST, FACE NAIL	(2) 8d
4. WIDER THAN 1" x 6" SUBFLOOR TO EA. JOIST, FACE NAIL	(3) 8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	(2) 16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL SOLE PLATE TO JOIST, AT BRACED WALL PANELS	16d @ 16" O.C. (3) 16d @ 16" O.C.
7. TOP PLATE TO STUD, END NAIL	(2) 16d
8. STUD TO SOLE PLATE	(4) 8d TOE NAIL OR (2) 16d END NAIL
9. DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
10. DOUBLE TOP PLATES, FACE NAIL DOUBLE TOP PLATES, LAP SPLICE (PARTITION)	16d @ 16" O.C. (8) 16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	(3) 8d
12. RIM JOIST TO TOP PLATE, TOE NAIL	8d @ 16" O.C.
13. TOP PLATES, LAP AND INTERSECTIONS, FACE NAIL	(2) 16d
14. CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d
16. CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d
17. CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL	(3) 16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d MIN. SEE 2010 CBC TABLE 2308.10.4.1
19. RAFTER TO PLATE, TOE NAIL	(3) 8d
20. 1" DIAGONAL BRACE TO EA. STUD & PLATE, FACE NAIL	(2) 8d
21. 1" x 8" SHEATHING OR LESS TO EA. BEARING, FACE NAIL	(2) 8d
22. WIDER THAN 1" x 8" SHEATHING TO EA. BEARING, FACE NAIL	(3) 8d
23. BUILT-UP CORNER STUDS	16d @ 24" O.C.
24. BUILT-UP GIRDER & BEAMS	20d @ 32" O.C. FACE NAIL T&B STAGG. ON OPP. SIDES & (2) 20d FACE NAIL AT ENDS AND SPLICES
25. 2" PLANKS, FACE NAIL	16d @ EACH BEARING
26. COLLAR TIE TO RAFTER, FACE NAIL	(3) 10d
27. JACK RAFTER TO HIP	(3) 10d TOE NAIL (2) 16d FACE NAIL
28. ROOF RAFTER TO 2x RIDGE BEAM	(2) 16d TOE NAIL (2) 16d FACE NAIL
29. JOIST TO BAND JOIST, FACE NAIL	(3) 16d
30. LEDGER STRIP, FACE NAIL AT EACH JOIST	(3) 16d
31. WOOD STRUCTURAL PANELS SUBFLOOR, ROOF & WALL SHEATHING (TO FRAMING)	10d
32. PANEL SIDING (TO FRAMING)	8d
33. FIBERBOARD SHEATHING	8d
34. INTERIOR PANELING	6d

1 NAILING SCHEDULE  
S1.2A N.T.S.

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No.	DESCRIPTION	DATE
-	PERMIT SET	06-10-24

TYPICAL WOOD DETAILS

S1.2A

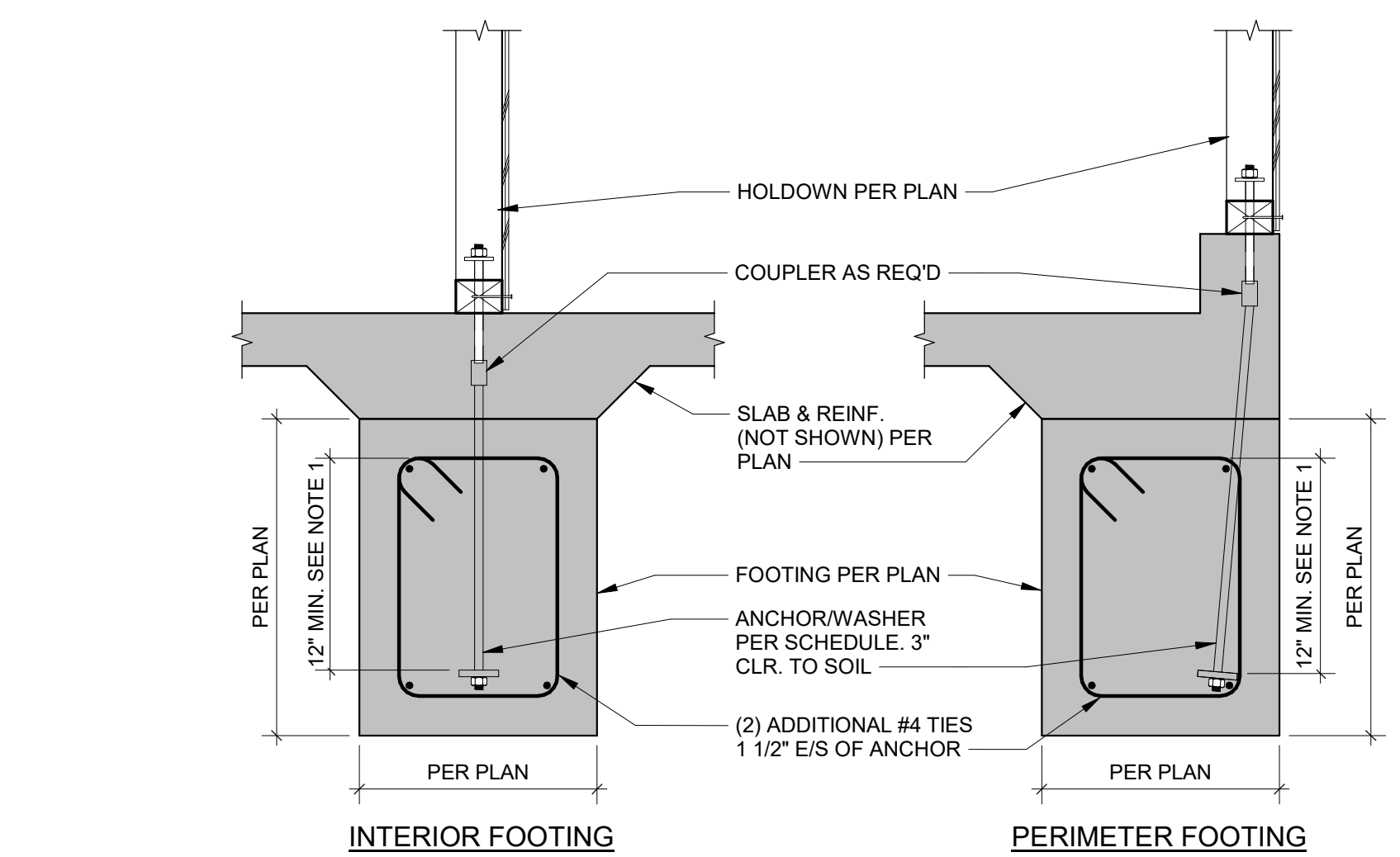
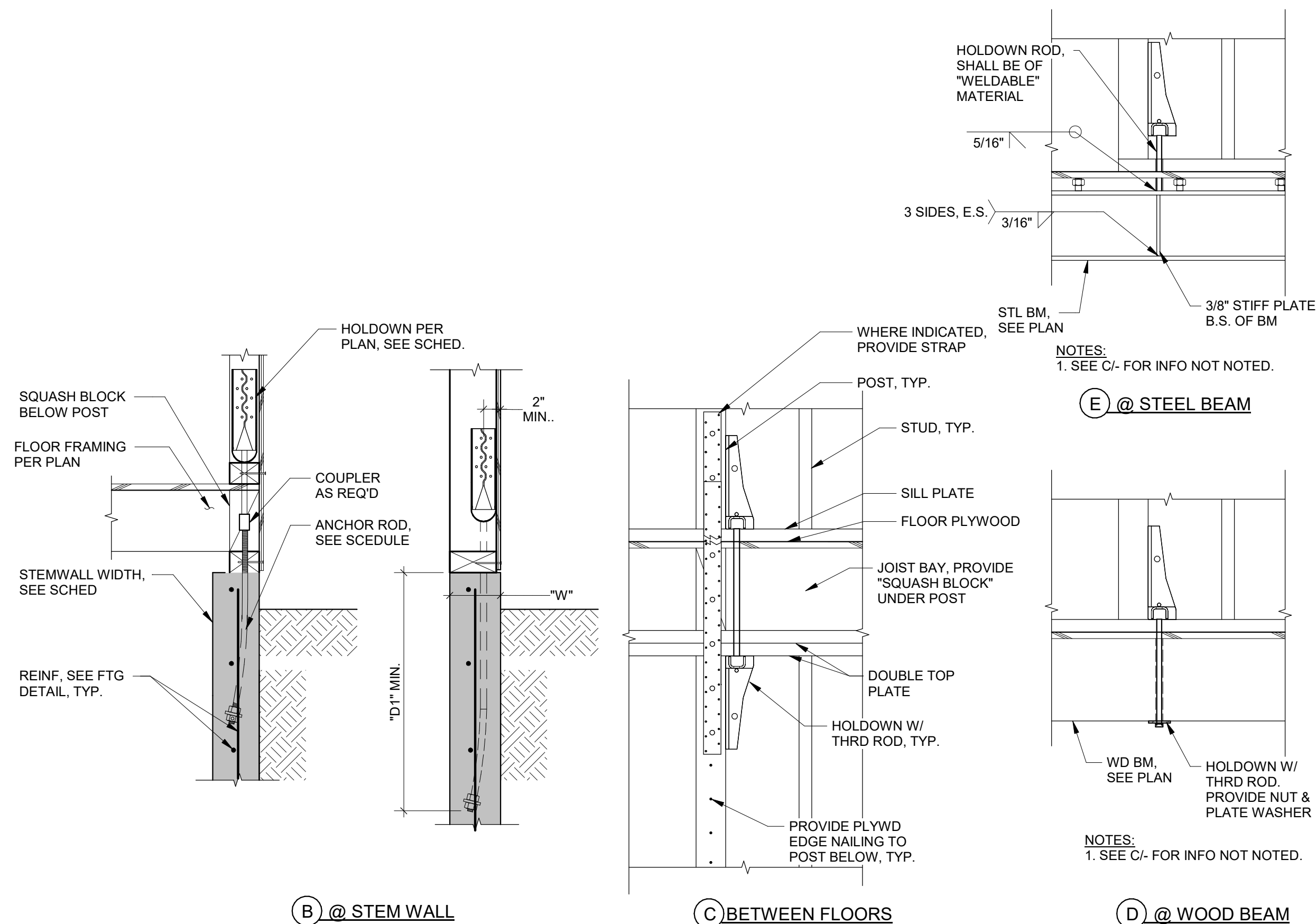
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No.	DESCRIPTION	DATE
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TYPICAL WOOD  
DETAILS

S1.2B



HOLDOWN TO CONCRETE SCHEDULE						
HOLDOWN SIZE	MIN. END POST SIZE		SIMPSON ANCHOR BOLT	STEM/CURB MIN. WIDTH "W"	MIN. EMBEDMENT "D1"	CAPACITY (LBS.)
	2x4 WALL	2x6 WALL				
HDU2-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	3075
HDU4-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	4565
HDU5-SDS2.5	4x4	4x6	SB5/8x24	6"	1'-6"	5645
HDU8-SDS2.5	4x6	6x6	SB7/8x24	8"	1'-6"	7870
HDU11-SDS2.5	4x8	6x8	SB1x30	8"	2'-0"	11,175

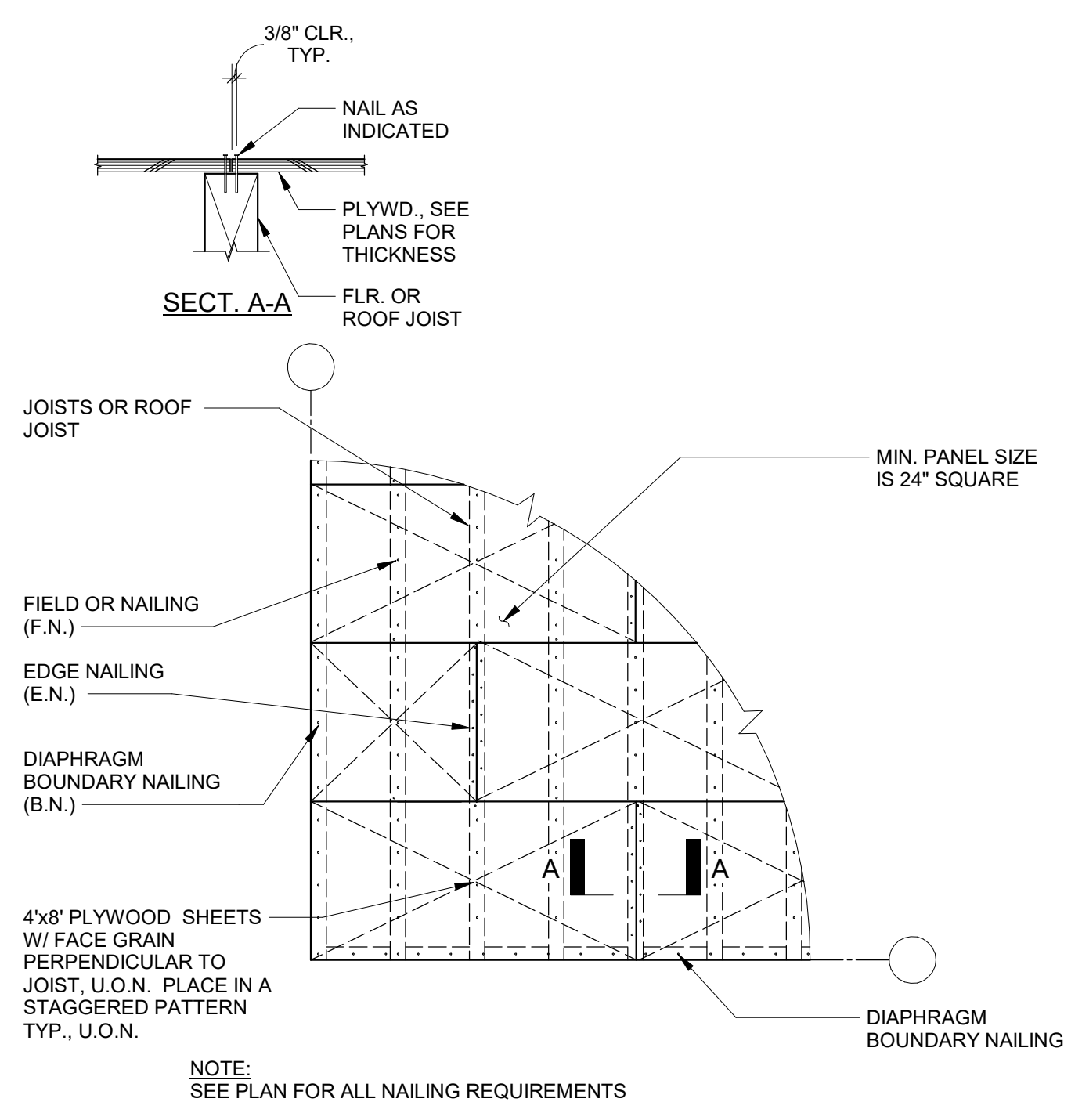
NOTES:

- REFER TO THE PLANS FOR HOLDOWN SIZE AND HOLDOWN POST SIZES. POST SIZE INDICATED ON PLAN SHALL BE USED UNLESS IT IS SMALLER THAN MIN. POST SIZE INDICATED IN SCHEDULE.
- FOR HOLDDOWN ASSEMBLIES, USE SIMPSON HOLDDOWNS OR APPROVED EQUAL. ALL HARDWARE (ALL THREAD ROD, COUPLERS, WASHERS, NUTS) IN CONTACT WITH CONCRETE TO BE HOT DIPPED GALVANIZED.
- BOLTS THROUGH FLOOR AND EMBEDDED IN FOUNDATION SHALL BE F1554 STEEL, GRADE A36, ALL THREAD.
- HOLDDOWNS SHALL NOT BE SUBSTITUTED FOR SILL PLATE ANCHOR BOLTS.
- EMBEDMENT PER MANUFACTURER'S REQUIREMENTS. IF REQUIRED EMBEDMENT IS DEEPER THAN FOOTING THEN FOOTING SHALL BE LOCALLY DEEPENED TO PROVIDE 3" CLR. BETWEEN ANCHOR AND SOIL. DIMENSION IS TAKEN FROM TOP OF REBAR TIE NOT TOP OF FOOTING.
- USE STANDARD STEEL FOR THE SIMPSON PRE-ASSEMBLED ANCHOR BOLTS AND OVERSIZE PENETRATION IN P.T. SILL PLATE 1/4".
- HOLDDOWN ANCHOR BOLT NUT SHOULD BE FINGER TIGHT PLUS 1/3 TO 1/2 TURN WITH HAND WRENCH.
- POST SIZE INDICATED ON PLAN SHALL BE USED UNLESS IT IS SMALLER THAN MIN. POST SIZE INDICATED IN SCHEDULE.

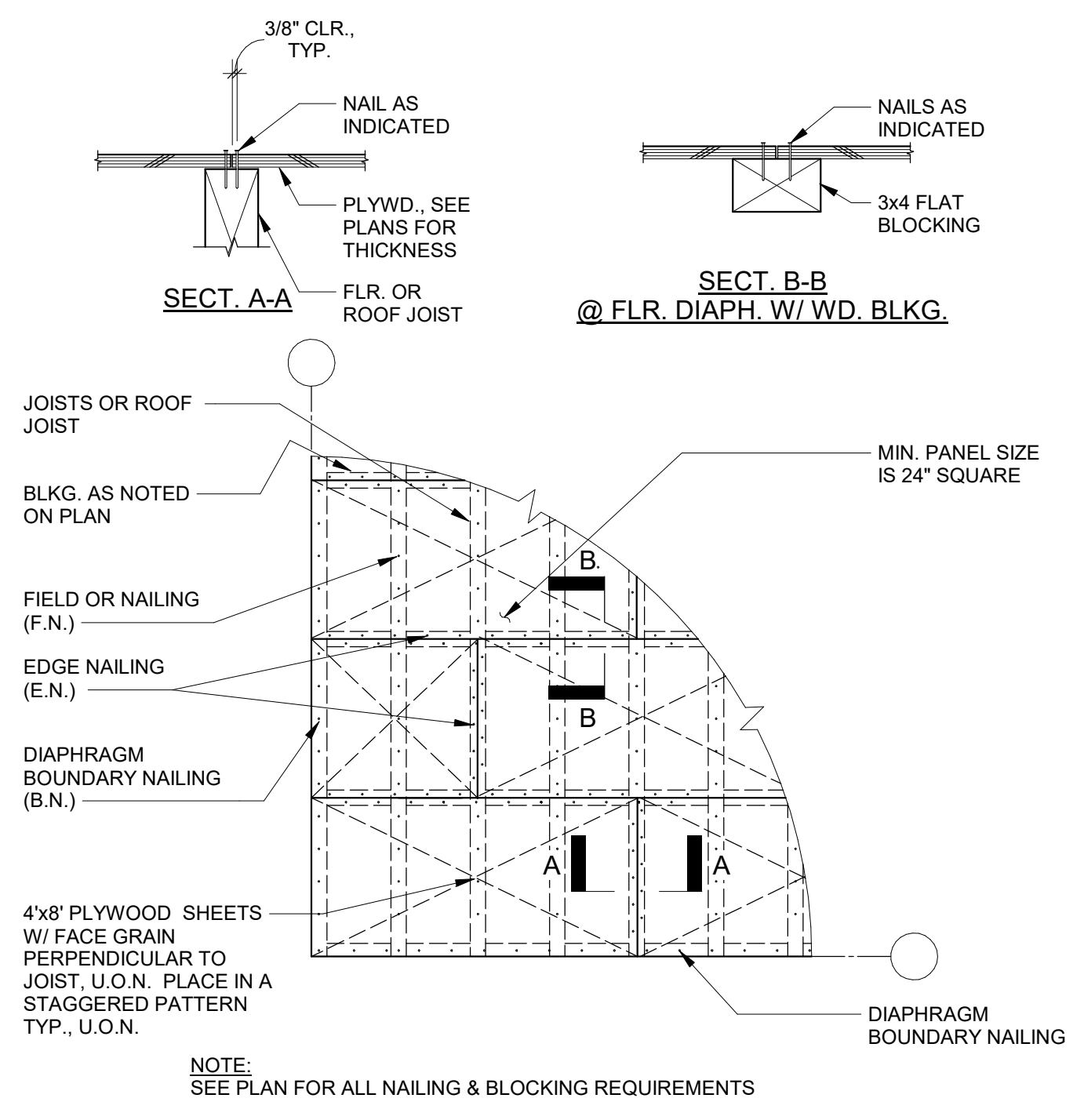
HOLDOWN TO EXISTING CONCRETE SCHEDULE					
HOLDOWN SIZE	MIN. END POST SIZE	THREADED ROD (2)	EMBEDMENT DEPTH "D"	DIRECT TENSION TEST LOAD (LB) (3)	
	2x4 WALL	2x6 WALL			
HDU2	4x4	4x6	5/8"Ø	10"	7,690
HDU4	4x4	4x6	5/8"Ø	16"	11,420
HDU5	4x4	4x6	5/8"Ø	16"	14,120
HDU8	4x6	6x6	7/8"Ø	18"	19,680
HDQ2	4x6	6x6	7/8"Ø	21"	23,080
HDU11	4x8	6x8	1"Ø	24"	27,940
HDU14	4x8	6x8	1"Ø	24"	35,980

NOTES:

- SPECIAL INSPECTION IS REQUIRED FOR THE INSTALLATION OF HOLDDOWN ANCHORS IN CONCRETE WITH EPOXY. SEE EPOXY MANUFACTURER'S REQUIREMENTS FOR EPOXY ANCHOR INSTALLATION, SPECIAL INSPECTION, AND TESTING REQUIREMENTS.
- THREADED ROD ANCHOR BOLTS SHALL BE F1554 GRADE 36.
- IF SPECIAL INSPECTION OF BOLT INSTALLATION IN CONCRETE IS NOT PROVIDED, THEN PROVIDE DIRECT TENSION TEST AS FOLLOWS:
  - APPLICABILITY: AN INDEPENDENT TESTING COMPANY HIRED BY THE OWNER SHALL TENSION TEST HOLDOWN EPOXY ANCHORS.
  - TEST LOADS: DIRECT TENSION TEST TO DIRECT TENSION TEST LOAD LISTED IN THE TABLE ABOVE.
  - TEST FREQUENCY: TEST ALL ANCHORS.
  - TEST ACCEPTANCE CRITERIA: TEST ANCHORS WITH A HYDRAULIC RAM/JACK AND MAINTAIN THE TEST LOAD FOR A MINIMUM 5 MINUTES. ANCHORS SHALL EXHIBIT NO DISCERNABLE MOVEMENT DURING THE TENSION TEST AS EVIDENCED BY LOOSENING OF THE WASHER UNDER THE NUT. THE DISTANCE BETWEEN THE ANCHOR AND TEST APPARATUS SUPPORT SHALL NOT BE LESS THAN 75% OF THE EMBEDMENT DEPTH.



2 TYP. FLR. & ROOF PLYWD. UNDIAPHRAGM NAILING @ UNBLOCKED DIAPHRAGMS N.T.S.



1 TYP. FLR. & ROOF PLYWD. DIAPHRAGM NAILING @ BLOCKED DIAPHRAGMS N.T.S.

7 HOLDDOWN ANCHORAGE AT FOUNDATION N.T.S.

4 HOLDDOWN TO EXISTING CONCRETE N.T.S.

STRUCTURAL ENGINEER

HALTERMAN ENGINEERING  
P.O. BOX 370084  
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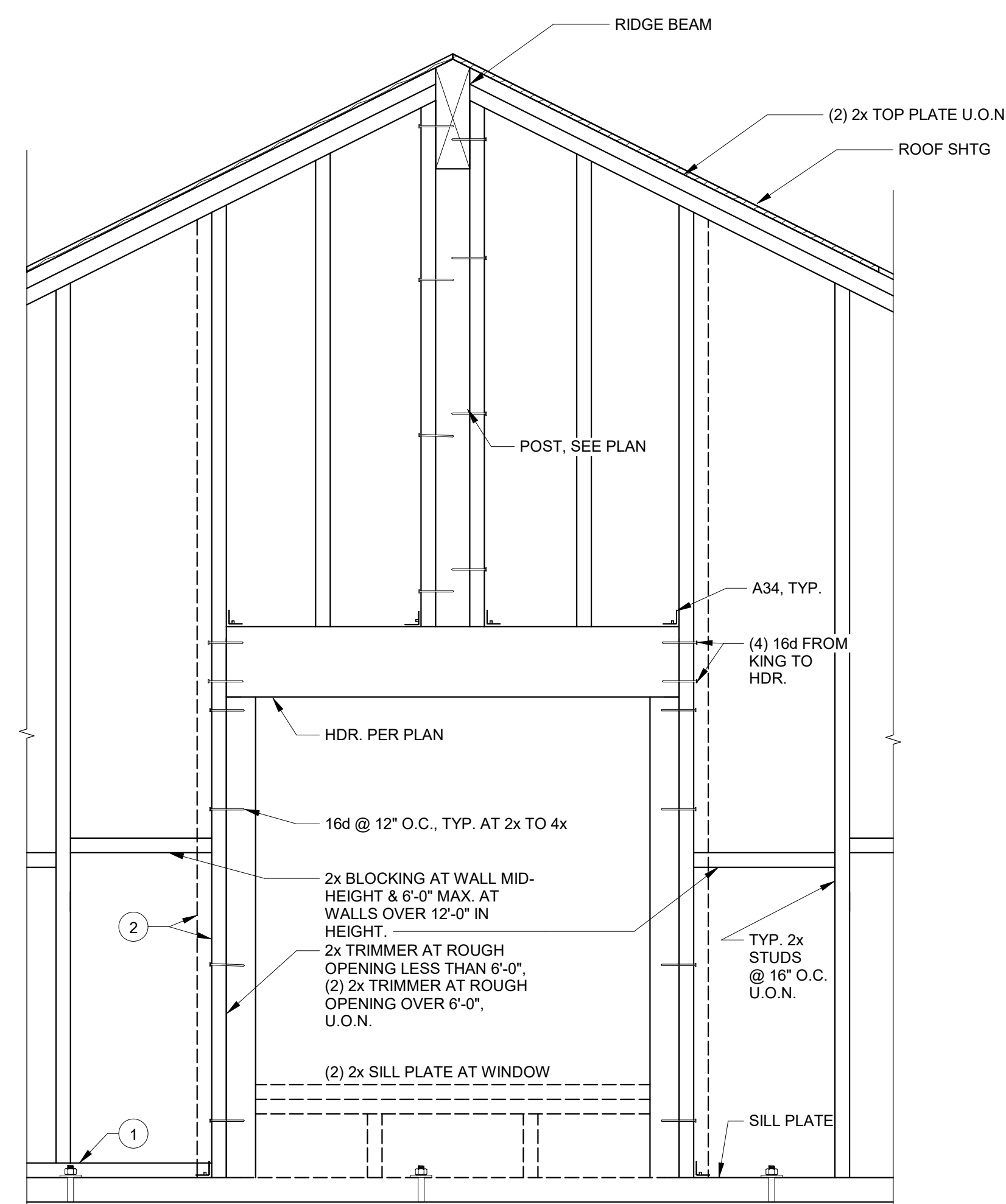
SCALE AS NOTED  
IF PRINT SIZE IS  
24"x36"

PROJECT No. 23059.01

DRAWING TITLE

TYPICAL WOOD  
DETAILS

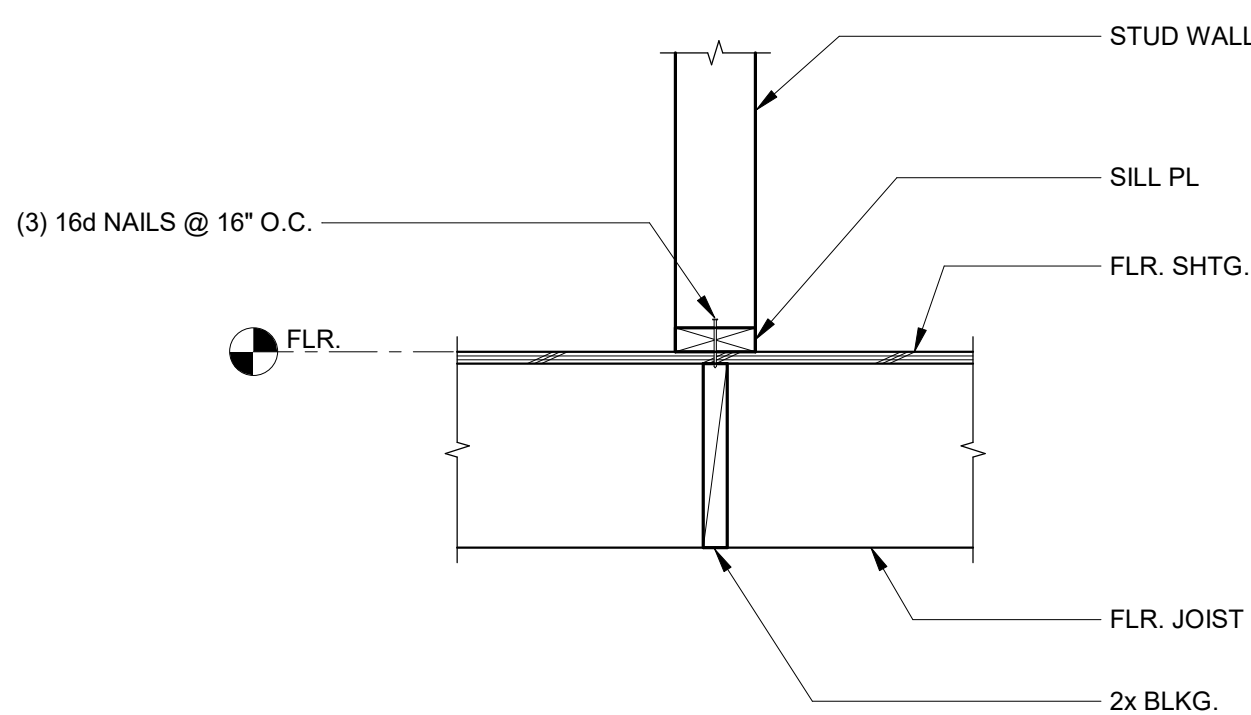
S1.2C



- 1 WHERE STUD OCCURS OVER ANY PART OF A.B. NUT OR WASHER PROVIDE 2x SCAB PLATE W/ (4) 16d NAILS TO SILL PLATE. DRILL 1 1/2" DIA. HOLE FOR A.B.
- 2 (1) 2x KING STUD FOR ROUGH OPENING LESS THAN 3'-0" WIDE AT INTERIOR WALLS, (2) 2x KING STUDS FOR ROUGH OPENING OVER 3'-0" WIDE AND AT EXTERIOR WALLS, U.O.N.

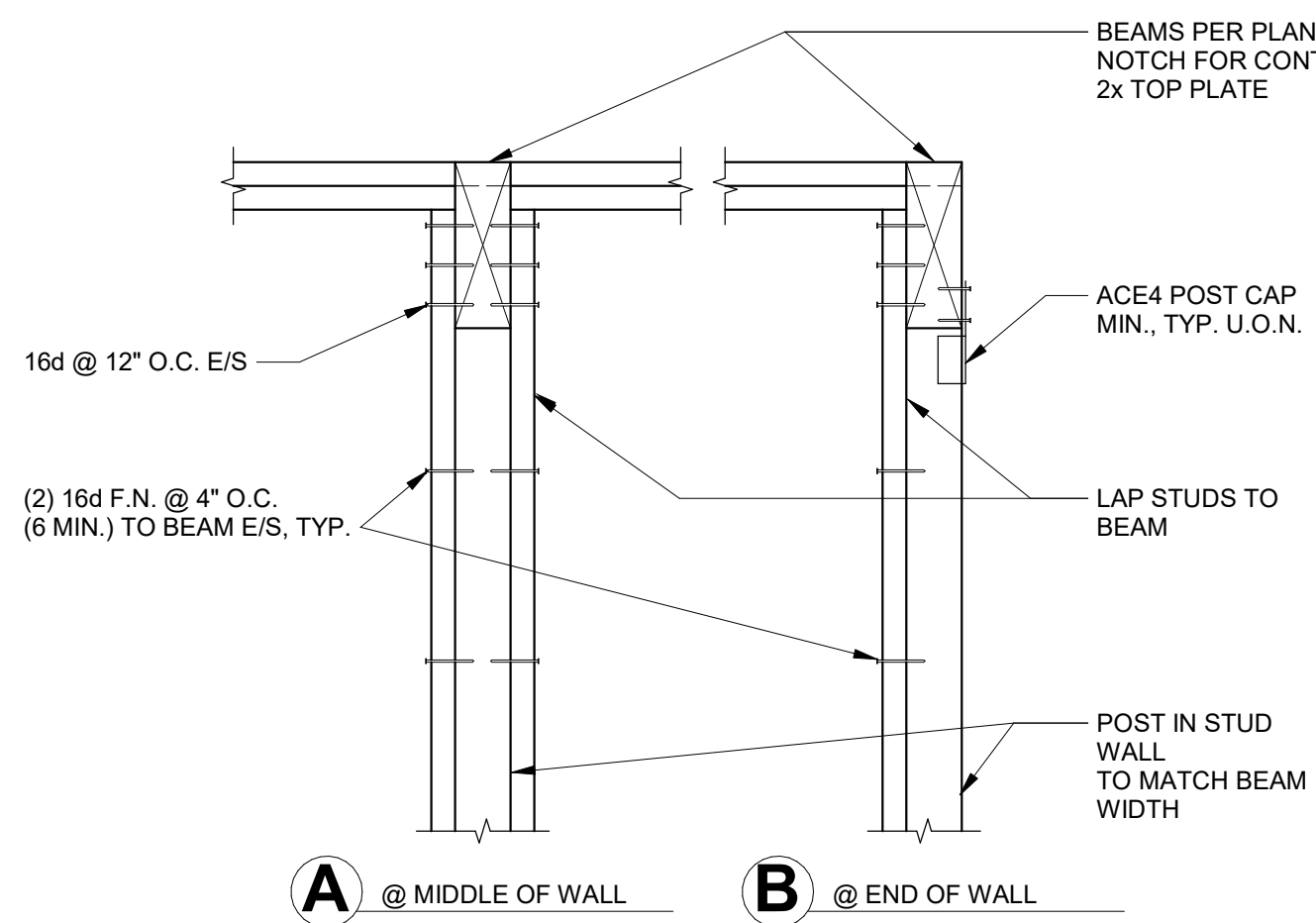
8 TYPICAL FRAMING @ GABLE WINDOW

S1.2C N.T.S.



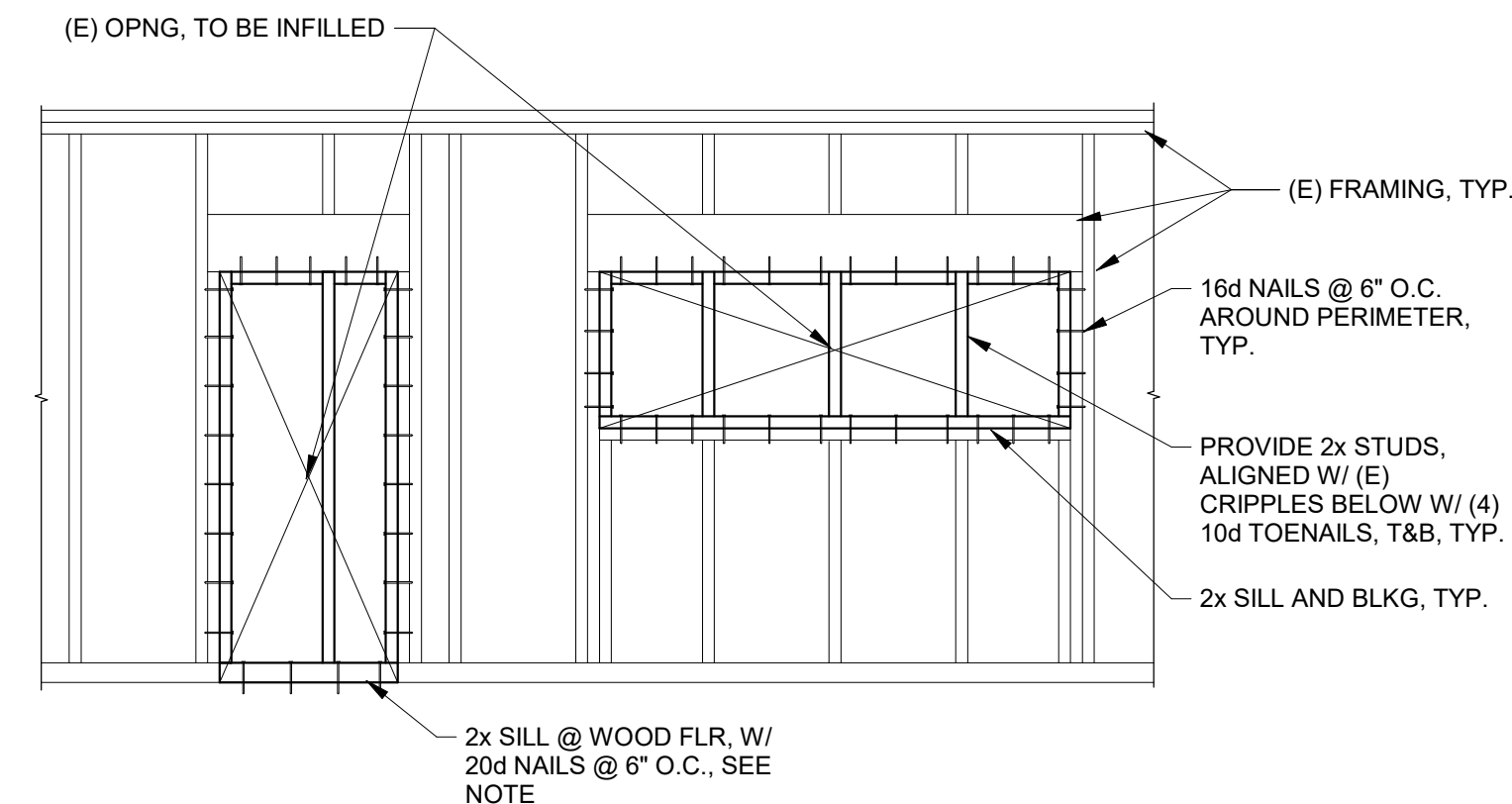
7 TYPICAL PERPENDICULAR WALL ON JOIST DETAIL

S1.2C 1" = 1'-0"



6 BEAM SUPPORT @ STUD BEARING WALL

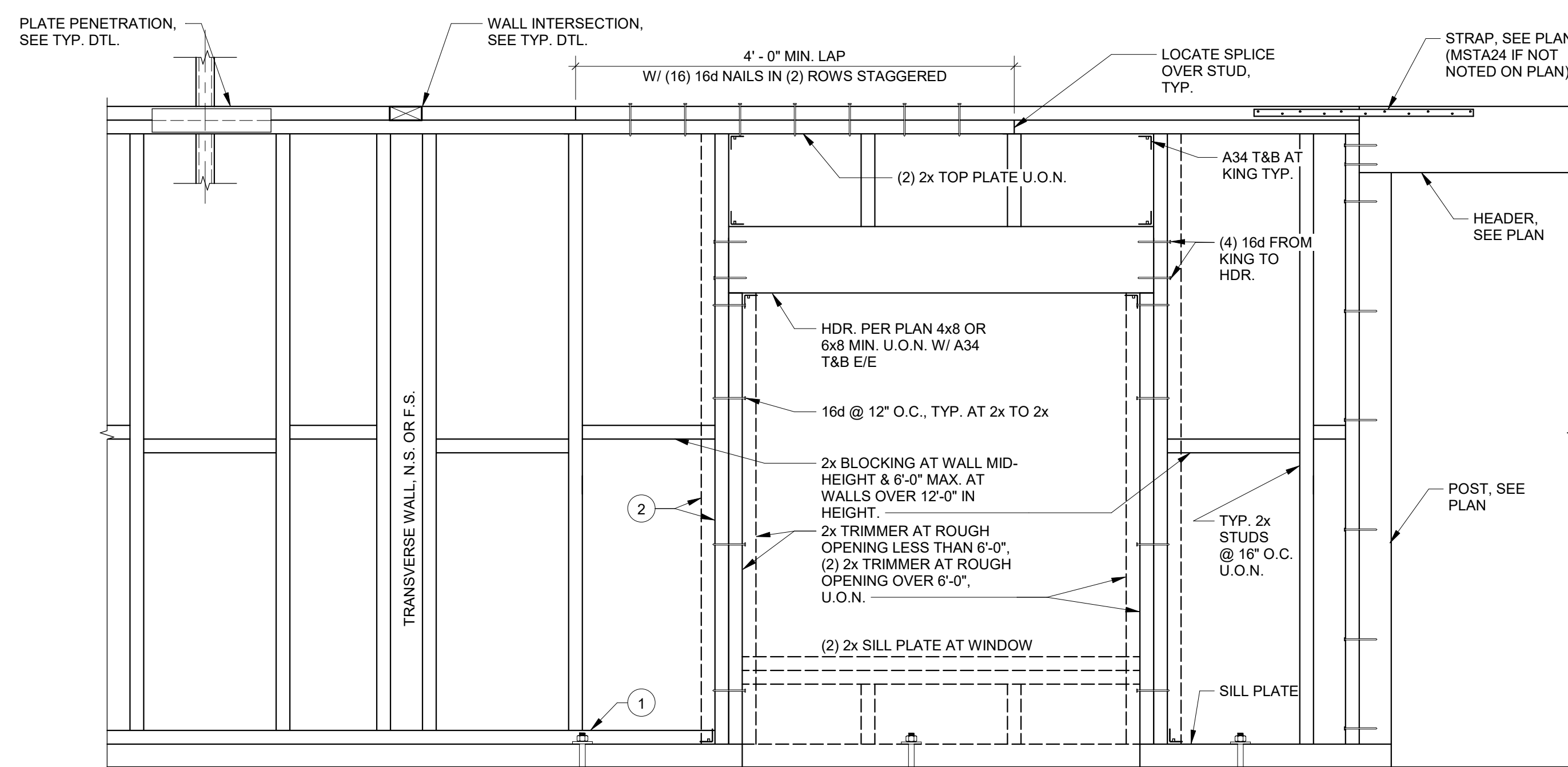
S1.2C 1" = 1'-0"



- NOTES:  
1. @ EXTERIOR WALLS, PROVIDE PLYWD SHG TO MATCH (E) SHG THICKNESS. PROVIDE 10d NAILS @ 6" O.C. @ EDGES & 12" O.C. @ INTERMEDIATE MEMBERS (FIELD NAILING).  
2. WHERE SILL SITS ATOP CONCRETE STEM, PROVIDE 3x PT SILL W/ 5/8" DIA EPOXY ANCHORS W/ 7" EMBED @ 24" O.C. MAX SPACING.

3 TYPICAL INFILL FRAMING @ (E) OPENINGS

S1.2C N.T.S.



- 1 WHERE STUD OCCURS OVER ANY PART OF A.B. NUT OR WASHER PROVIDE 2x SCAB PLATE W/ (4) 16d NAILS TO SILL PLATE. DRILL 1 1/2" DIA. HOLE FOR A.B.
- 2 (1) 2x KING STUD FOR ROUGH OPENING LESS THAN 3'-0" WIDE AT INTERIOR WALLS, (2) 2x KING STUDS FOR ROUGH OPENING OVER 3'-0" WIDE AND AT EXTERIOR WALLS, U.O.N.

1 TYPICAL STUD WALL FRAMING

S1.2C N.T.S.

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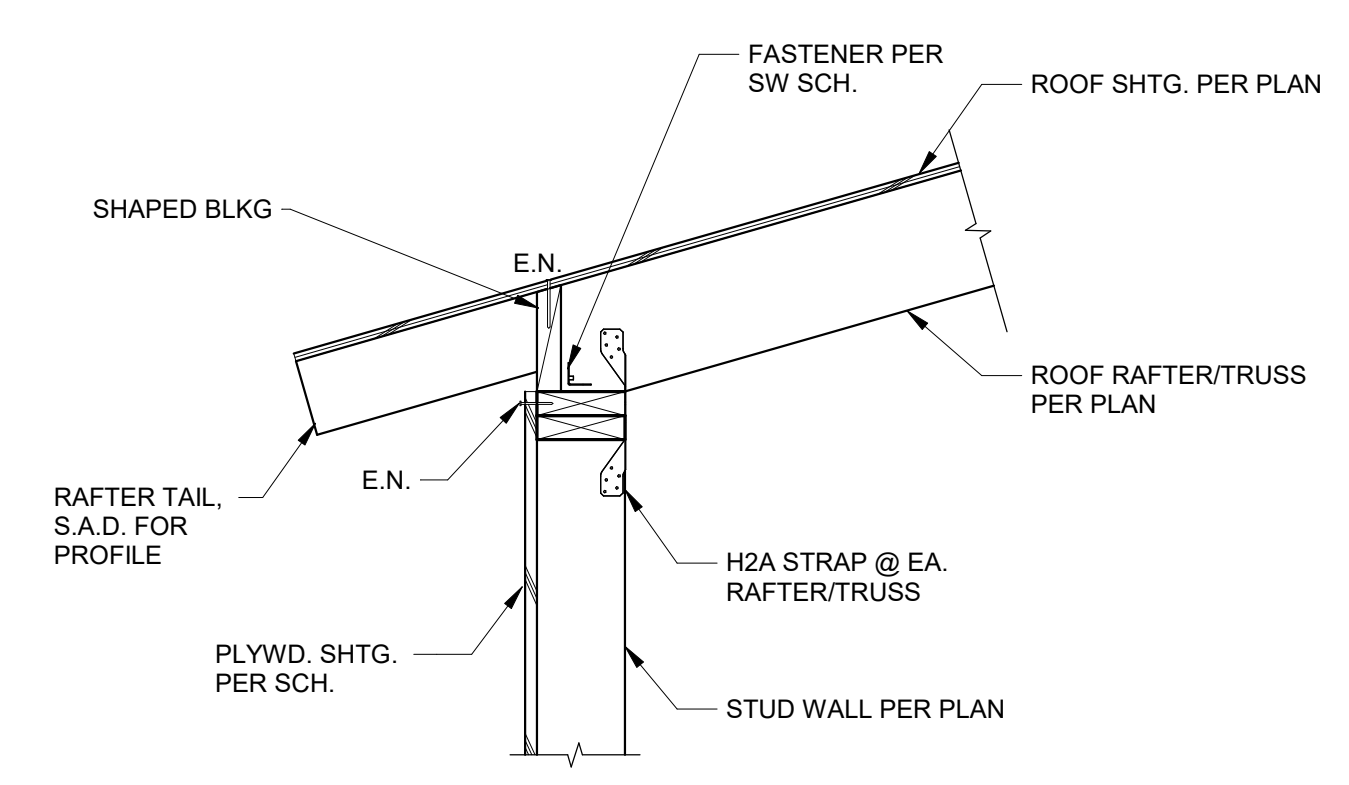
■ SCALE AS NOTED  
IF PRINT SIZE IS  
24"x36"

■ PROJECT No. 23059.01

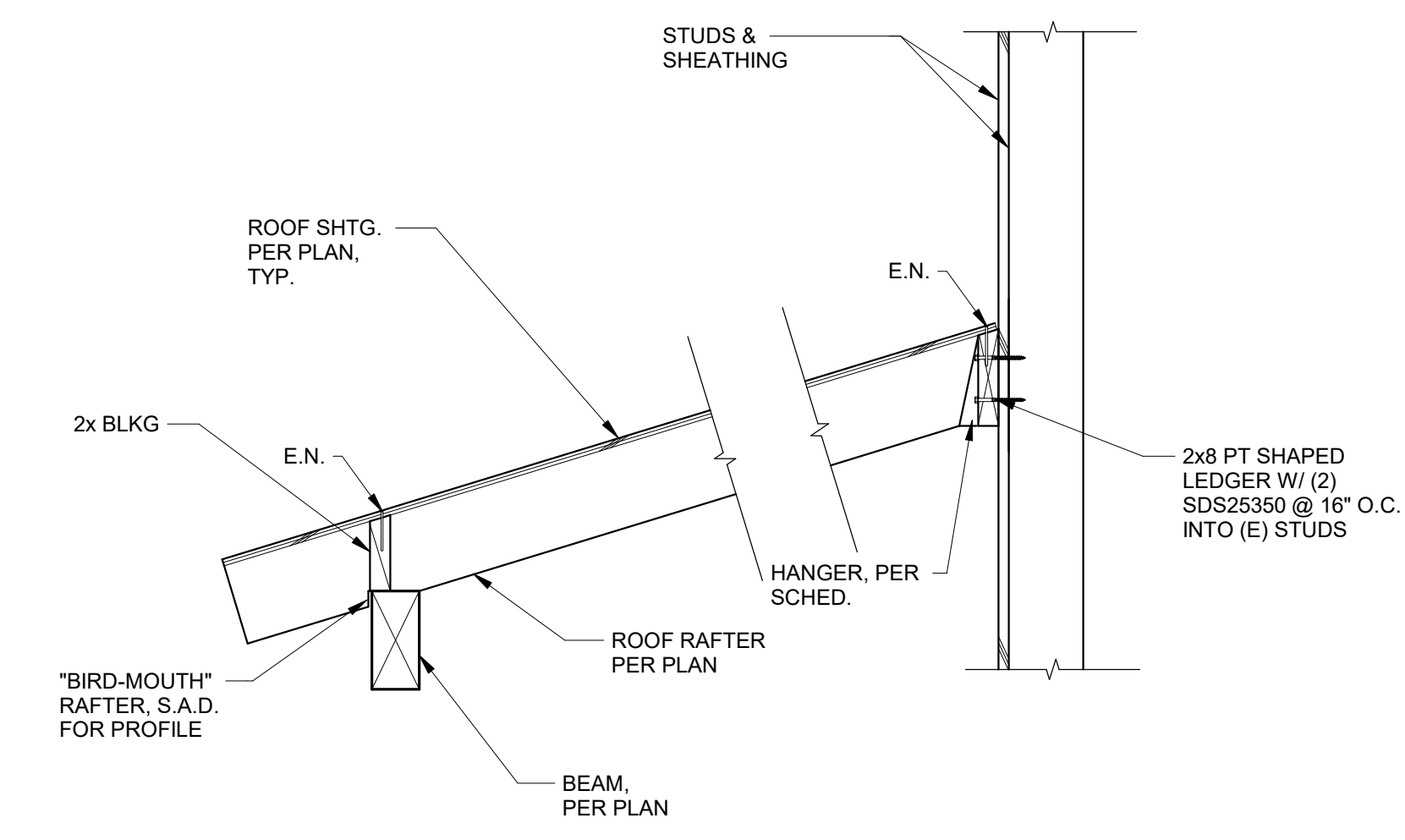
■ DRAWING TITLE

TYPICAL WOOD  
DETAILS

S1.2D

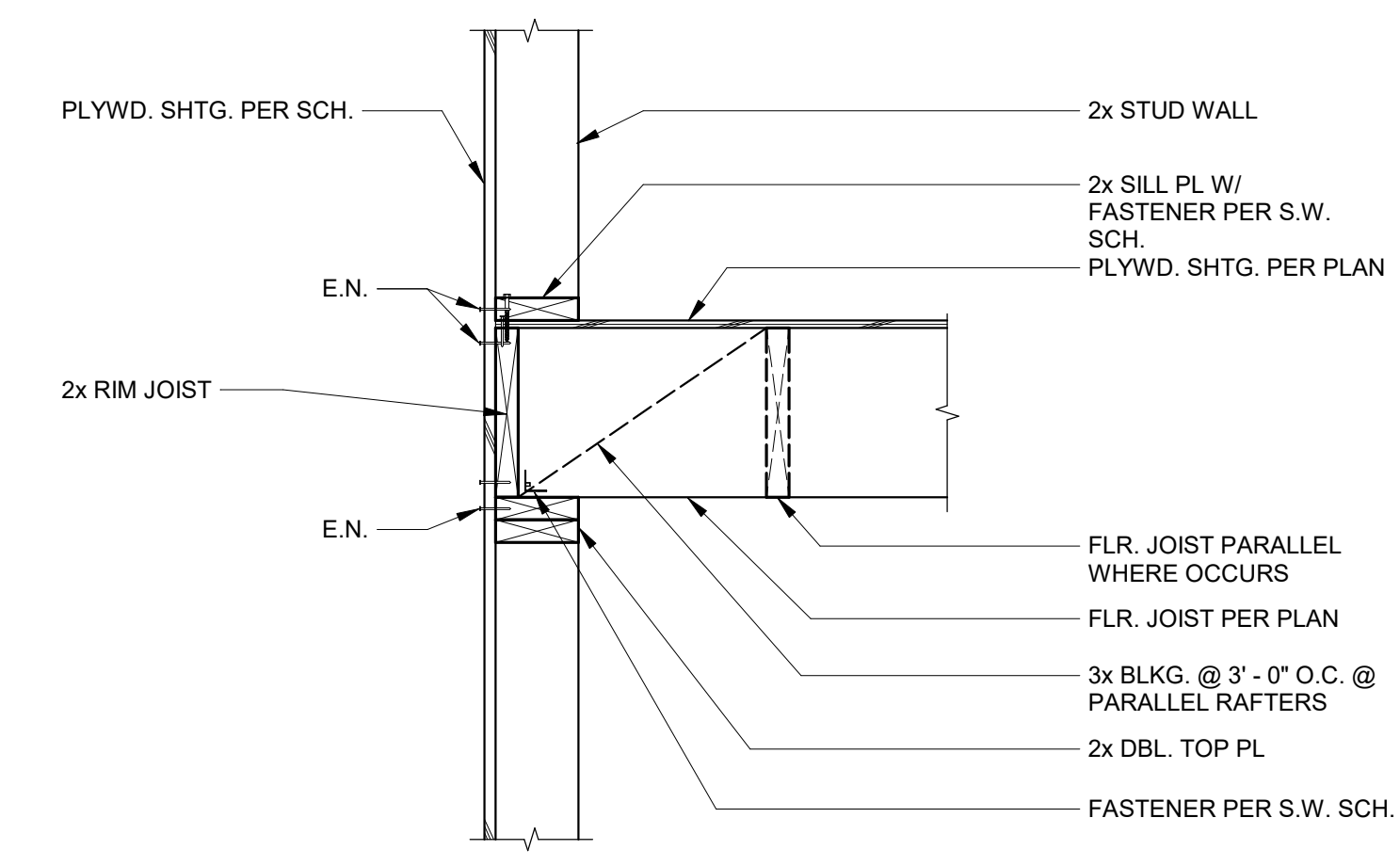


6 TYP. RAFTER-TO-WALL DETAIL 1" = 1'-0"

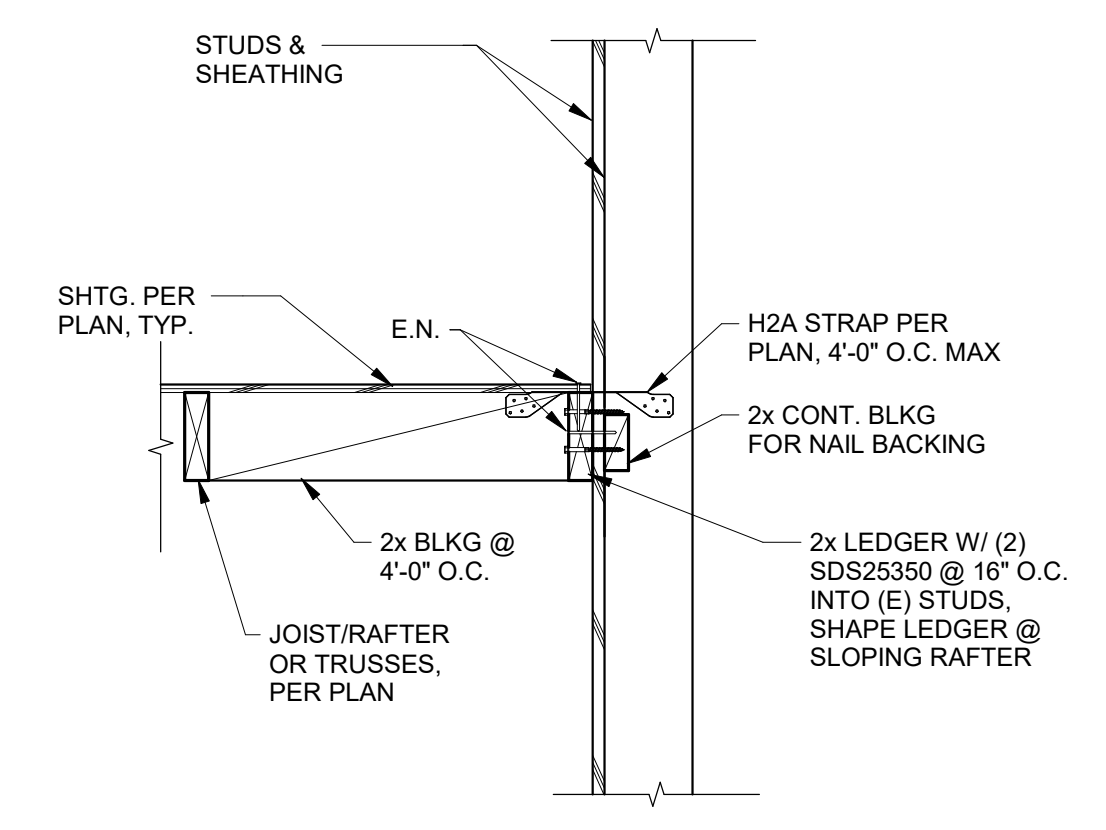


3 ROOF DETAIL @ AWNING 1" = 1'-0"

NOTES:  
1) SEE OTHER DETAILS FOR INFO NOT NOTED  
2) SEE ARCHITECTURAL DWGS FOR FLASHING & WATERPROOFING

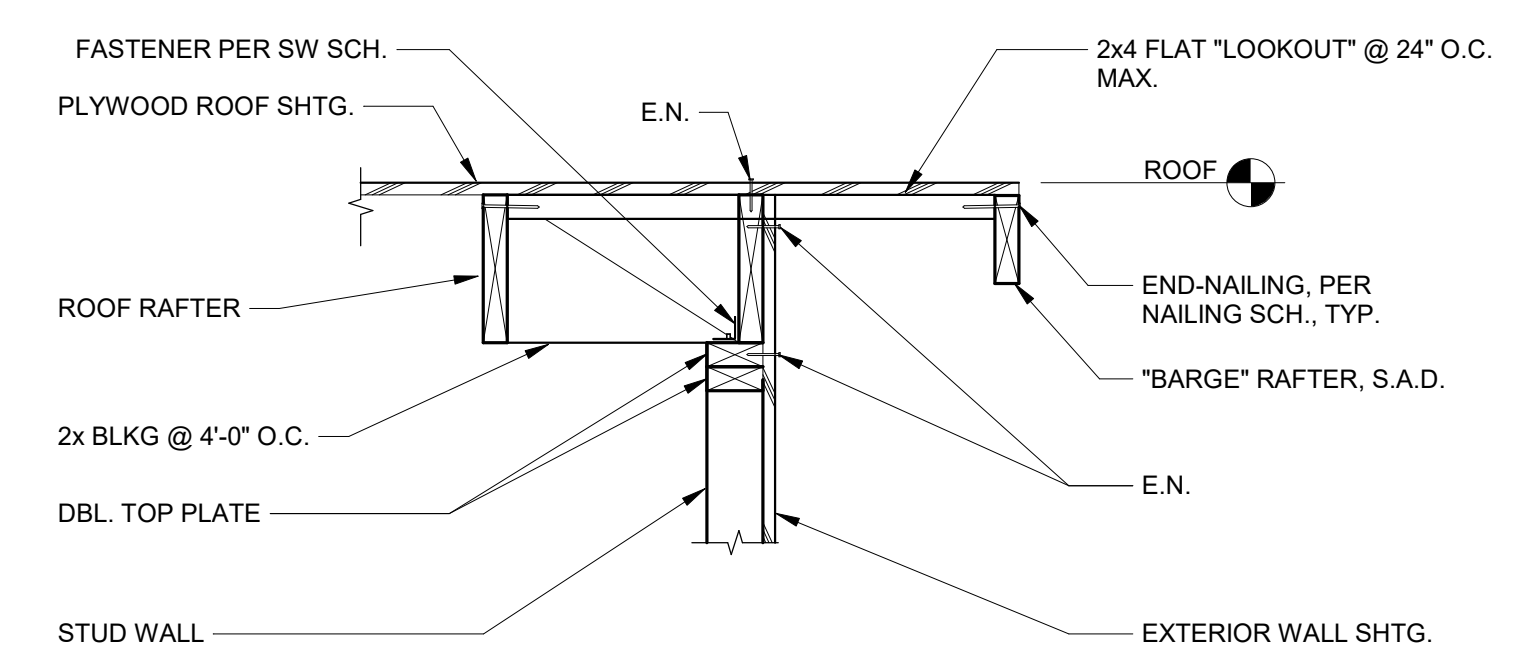


5 TYP. FLOOR FRAMING 1" = 1'-0"



2 TYPICAL WOOD LEDGER CONNECTION DETAIL 1" = 1'-0"

NOTES:  
1) SEE OTHER DETAILS FOR INFO NOT NOTED  
2) SEE ARCHITECTURAL DWGS FOR FLASHING & WATERPROOFING



1 TYPICAL RAKE OUTRIGGER DETAIL 1" = 1'-0"

NOTE:  
1. ARCHITECTURAL DETAILS NOT SHOWN



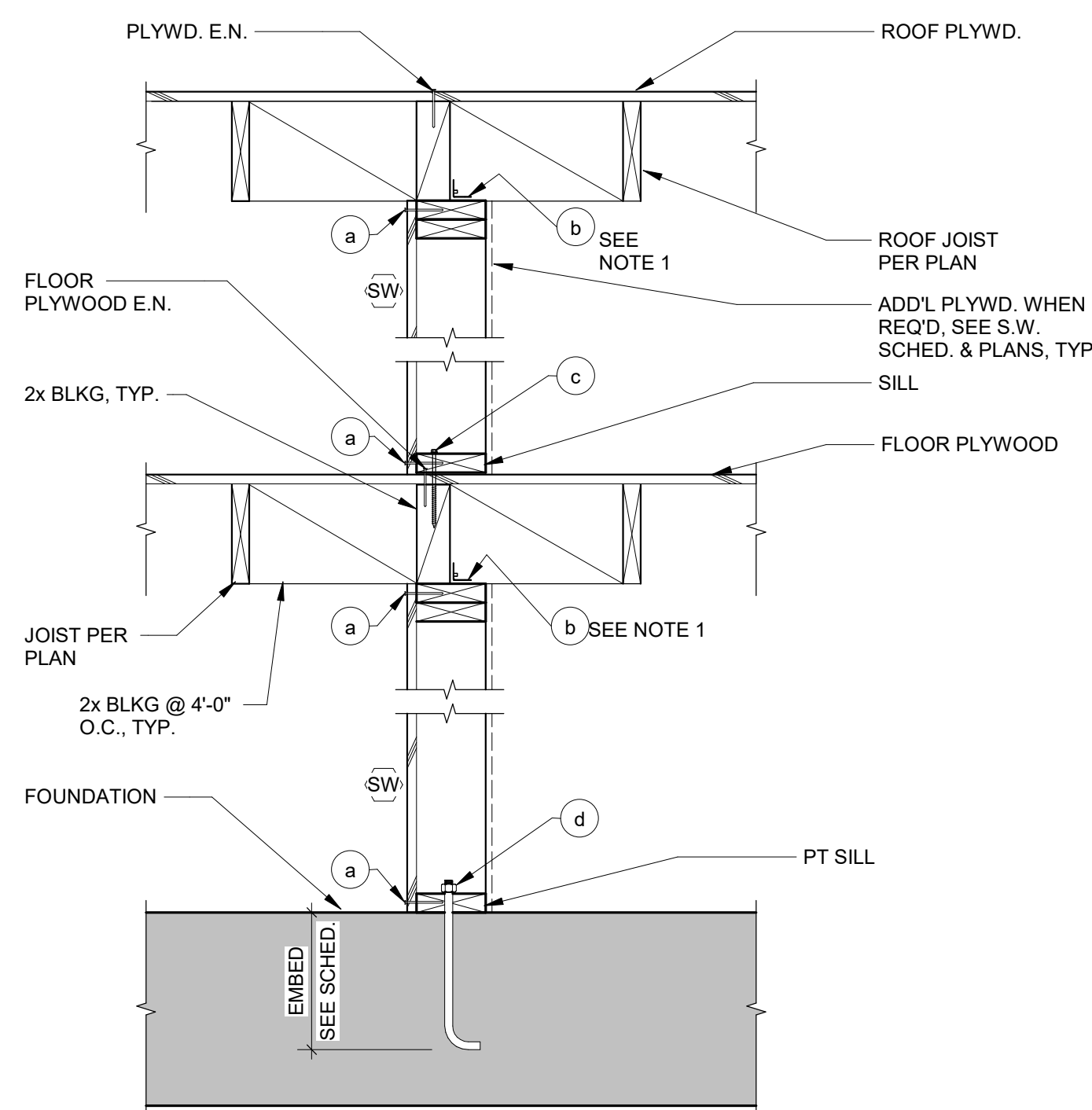
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-	PERMIT SET	06-10-24

TYPICAL WOOD  
DETAILS

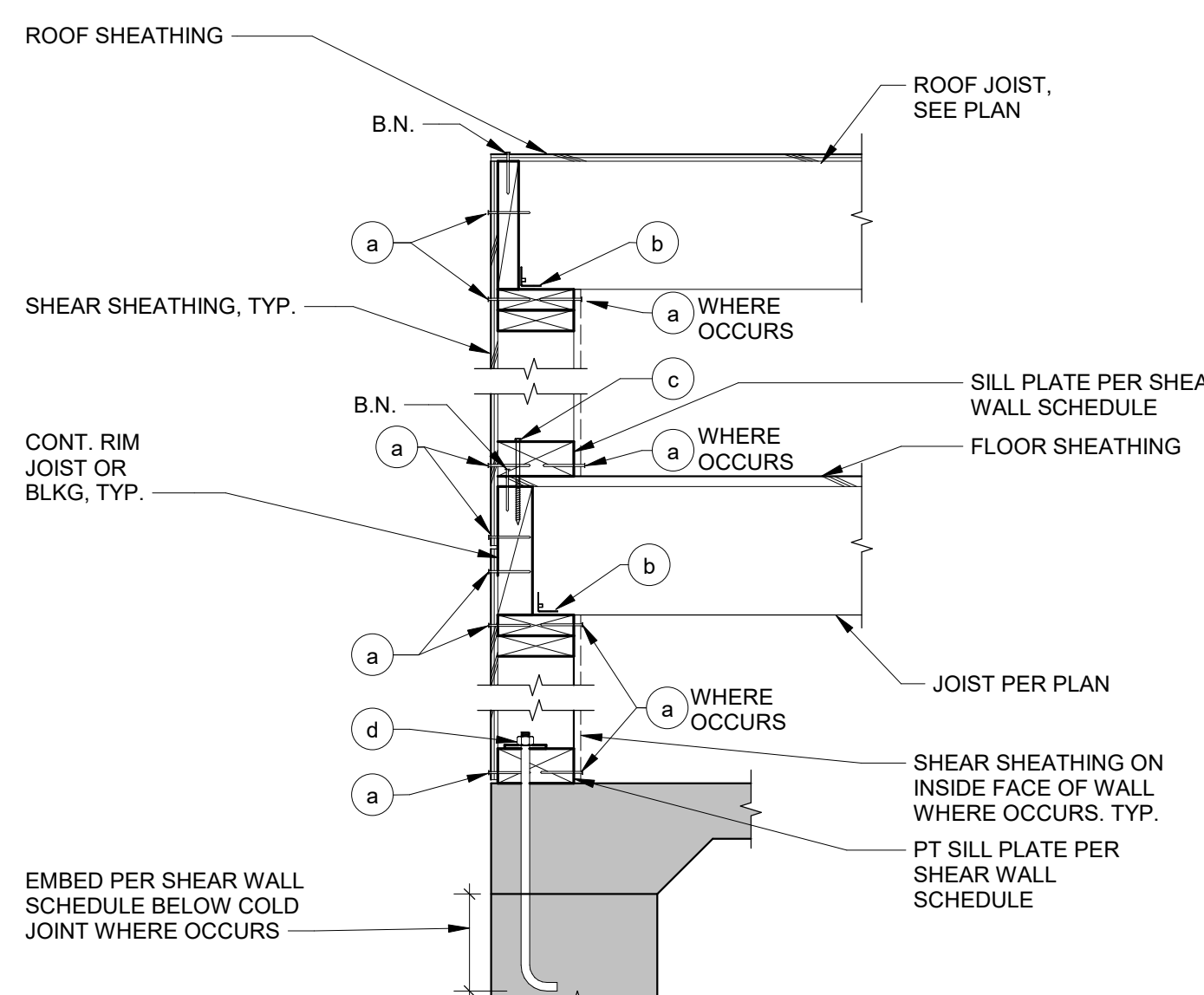
S1.2E



NOTE:  
1. CONNECTIONS INDICATED W/ LETTERS ARE DEFINED IN S.W. SCHED.

6 TYPICAL INTERIOR SHEAR WALL

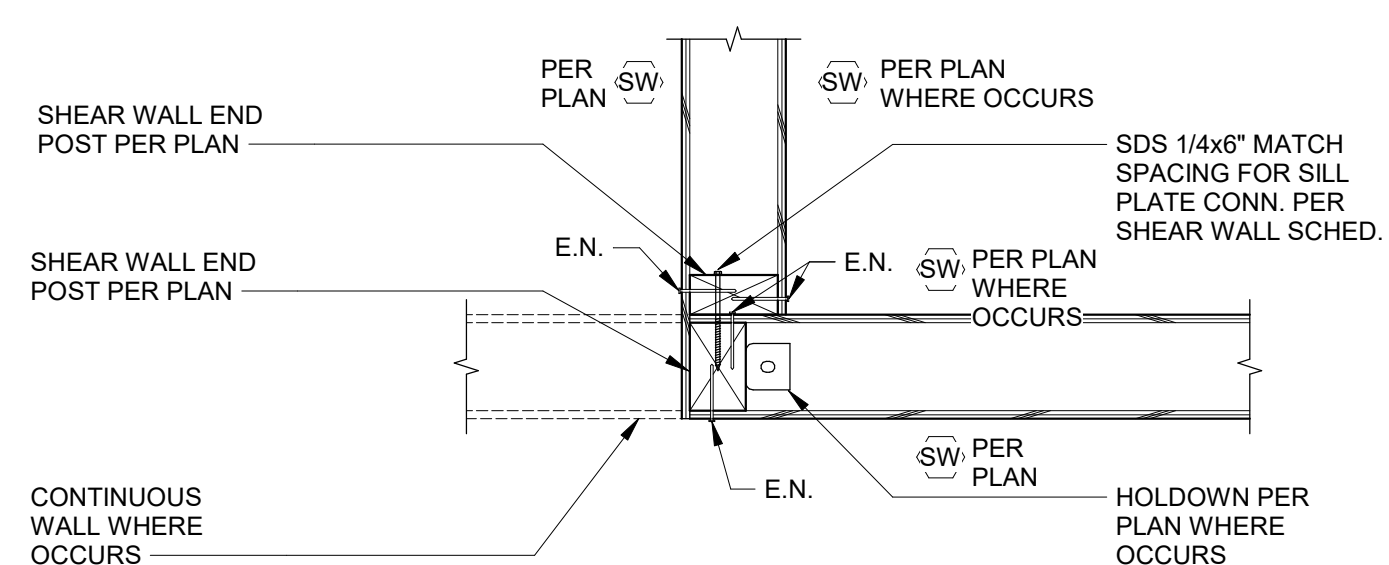
S1.2E 1" = 1'-0"



NOTES:  
1. CONNECTIONS INDICATED WITH LETTERS ARE DEFINED IN SHEAR WALLS SCHEDULE.

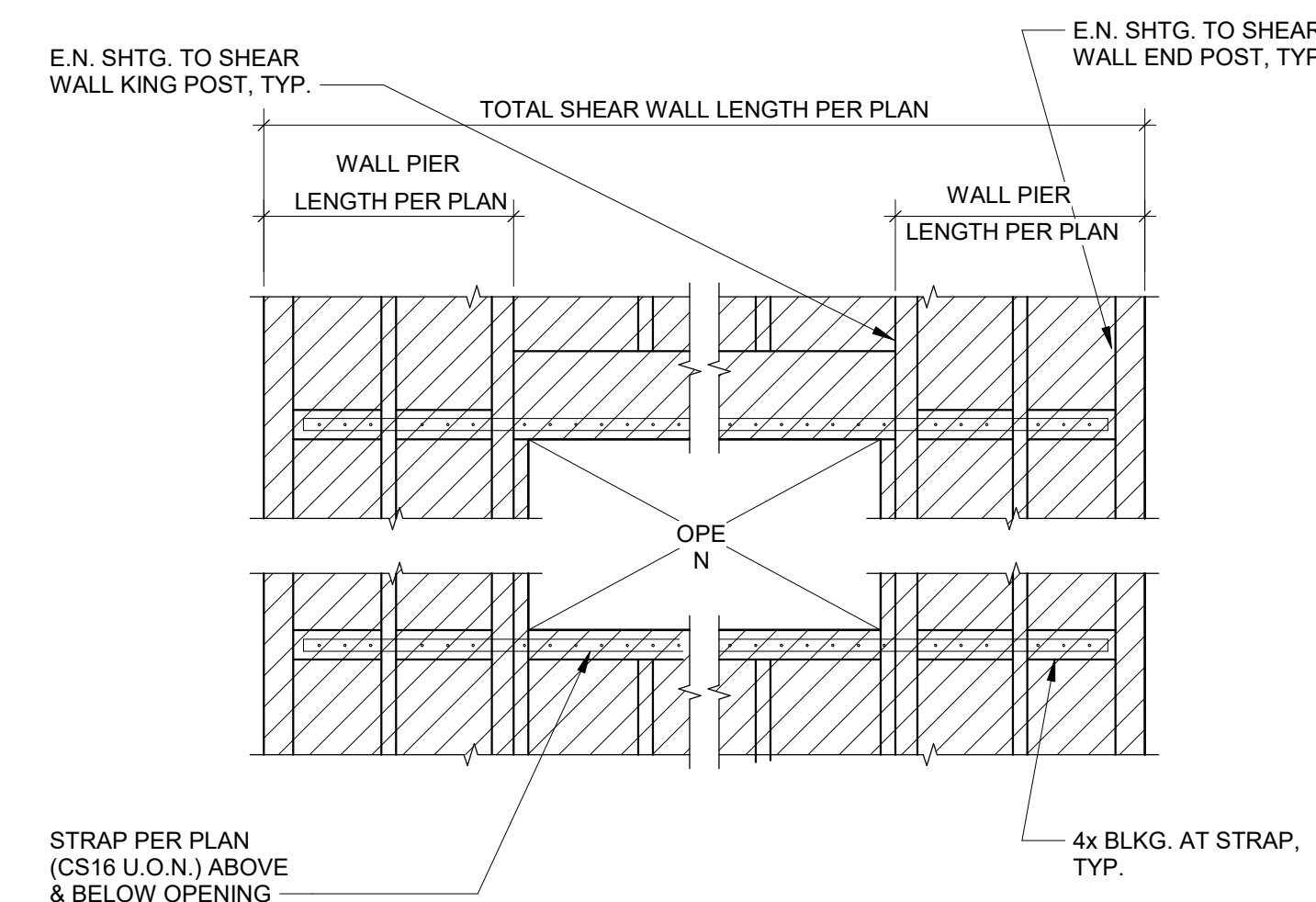
5 TYPICAL EXTERIOR SHEAR WALL

S1.2E 1" = 1'-0"



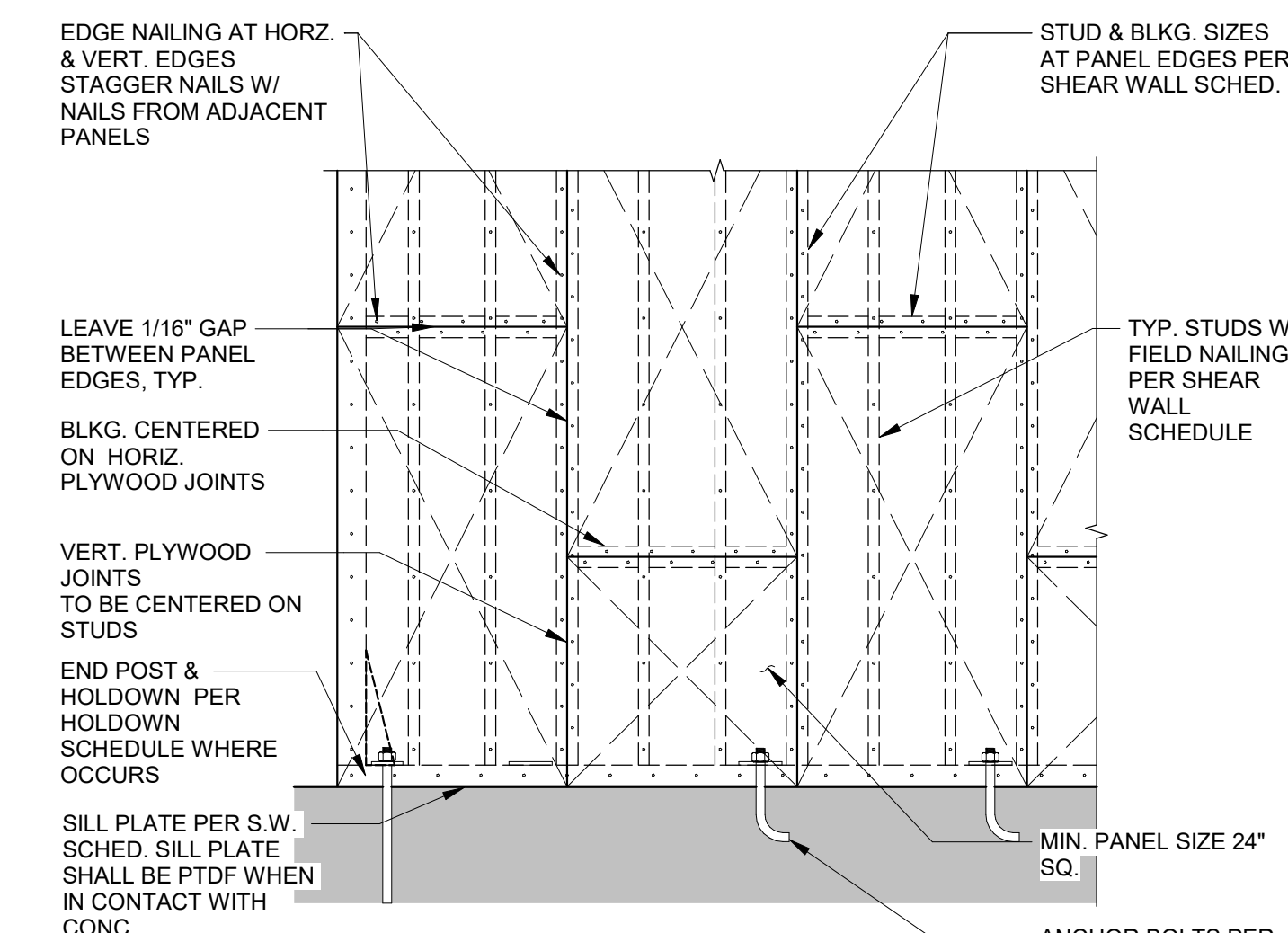
4 SHEAR WALL INTERSECTION

S1.2E 1" = 1'-0"



3 OPENING REINF. @ WOOD S.W.

S1.2E 1" = 1'-0"



2 TYPICAL PLYWD. SHEAR WALL ELEV.

S1.2E N.T.S.

MARK	EDGE NAILING (E.N.) SEE NOTE 2	CAPACITY (PLF)	RIM CONN. SPACING (SIMP. A35, LTP4 OR LS50)	SILL PL CONN. SPACING (SIMP. SDWS 0.220 x 6) SEE NOTE 5	FDN. ANCHOR SPACING. SEE NOTE 4
6	10d @ 6" O.C.	310	18" O.C.	16" O.C.	48" O.C.
4	10d @ 4" O.C.	460	12" O.C.	12" O.C.	48" O.C.
3	10d @ 3" O.C.	600	10" O.C.	8" O.C.	32" O.C.
2	10d @ 2" O.C.	770	8" O.C.	8" O.C.	24" O.C.
6	10d @ 6" O.C. B/S	620	12" O.C.	8" O.C.	32" O.C.
4	10d @ 4" O.C. B/S	920	8" O.C.	6" O.C.	24" O.C.

- NOTES:
- USE 1/2" CDX PLYWOOD
  - E.N. ACROSS ALL PANEL EDGES, FIELD NAILING IS 12" O.C. ALL NAILS ARE COMMON WIRE NAILS, MAY USE 10d SHORTS (2 1/8" MIN. LENGTH) W/ FULL HEADS.
  - ALL MEMBERS RECEIVING E.N. INCLUDING SILL PLATE SHALL BE 3x AS A MIN. NAILING SHALL BE STAGGERED. EXCEPTION: WHERE PLYWOOD IS APPLIED TO ONLY ONE SIDE OF WALL AND NAIL SPACING IS 6" O.C. MEMBERS RECEIVING EDGE NAILING CAN BE 2x.
  - ALL FDN. ANCHOR BOLTS ARE 1/2" L-BOLTS W/ A 2" HOOK OR ALL THREAD ROD WITH A NUT, WASHER AND NUT ON THE EMBEDDED END. WHEN SHEAR WALLS ARE LOCATED ON (E) CONCRETE 1/2" ALL THREAD ROD WITH SIMPSON SET-XP EPOXY MAY BE USED. ANCHORS SHALL HAVE A MIN. EMBEDMENT OF 7", A MIN. EDGE DISTANCE OF 1 1/2" AND SHALL HAVE A 3" SQ. x 3 GA. PLATE WASHER AT THE SILL. CONTRACTOR MAY USE BPS-3 OR BPS-3 SIMPSON WASHERS. PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING. WHERE WALL IS GREATER THAN 2x4 AND SHEATHING OCCURS ON BOTH SIDES, ANCHOR BOLTS SHALL BE STAGGERED. A.B. & WASHER SHALL BE HOT DIPPED GALVANIZED.
  - SILL CONNECTION IS FOR WOOD TO WOOD CONNECTION ONLY, TYP. BTWN. FLOORS. WHERE SPACING IS CLOSER THAN 8" O.C. RIM OR RIM BLOCKING SHALL BE 3/2" MIN WIDTH AND FASTENERS SHALL BE STAGGERED. SDS 1/4 x 6 MAY BE USED IN LIEU OF SDWS 0.220 x 6 AT CONTRACTOR'S DISCRETION.

1 SHEAR WALL SCHEDULE

S1.2E N.T.S.

STRUCTURAL ENGINEER

HALTERMAN ENGINEERING  
P.O. BOX 370084  
MONTARA, CA 94037

415-676-9390

www.haltermanengineering.com

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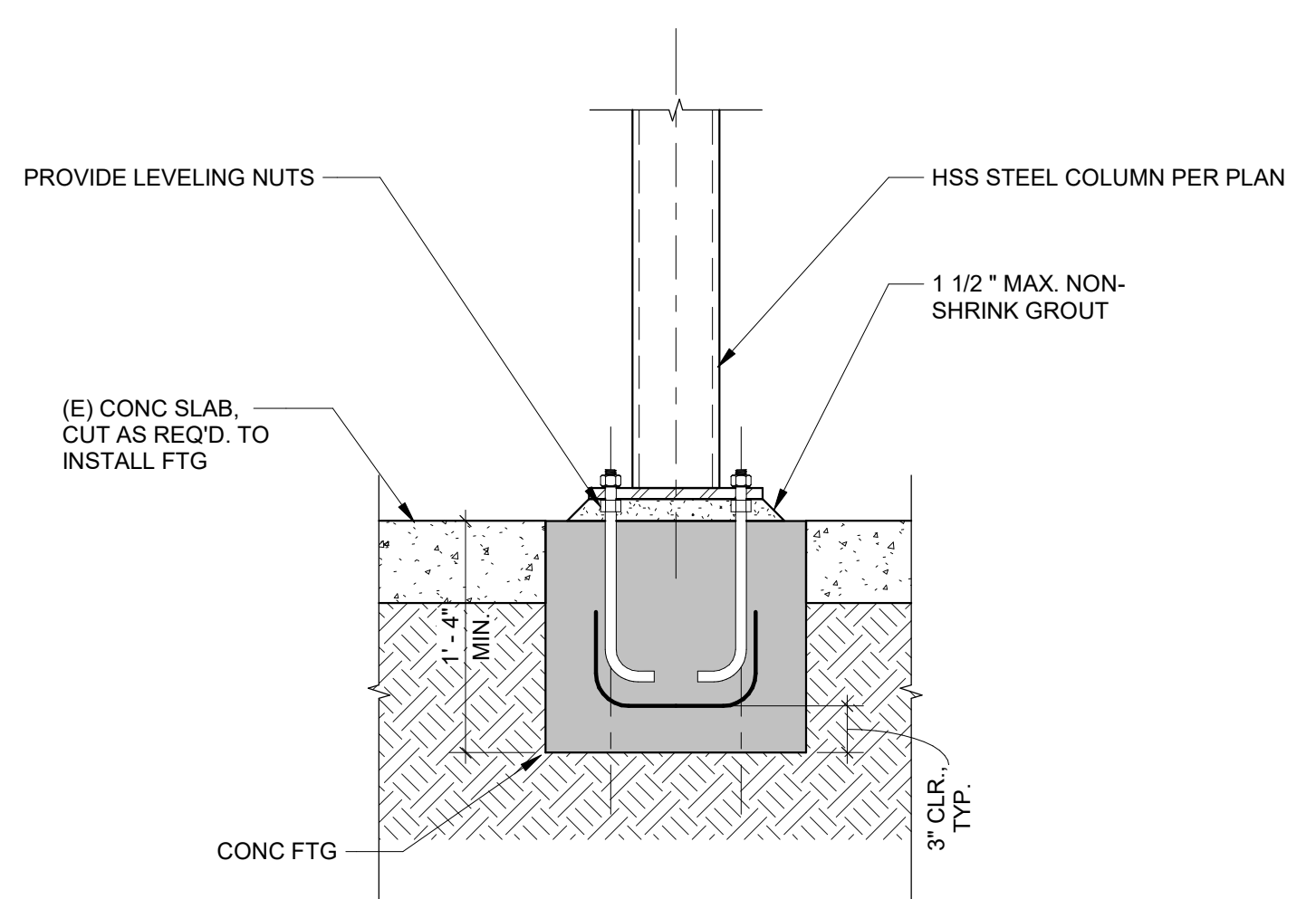
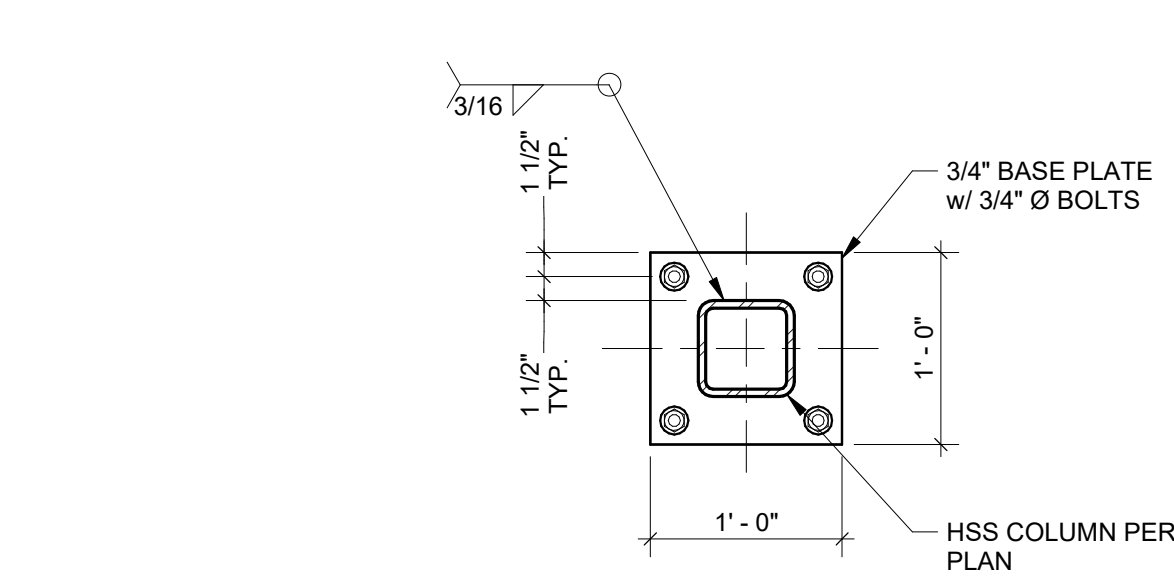
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IF PRINT SIZE IS  
24"x36"

PROJECT No. 23059.01

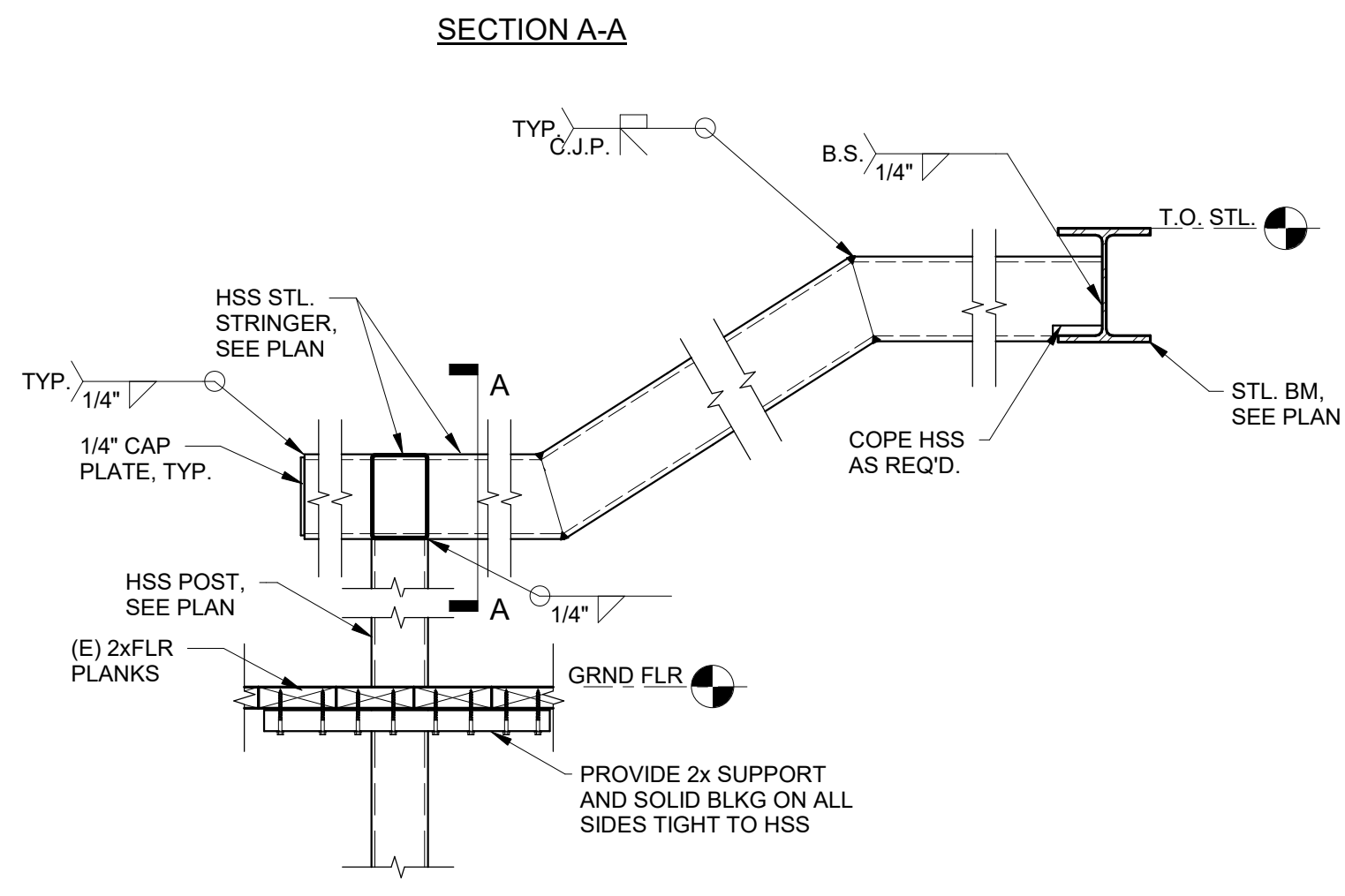
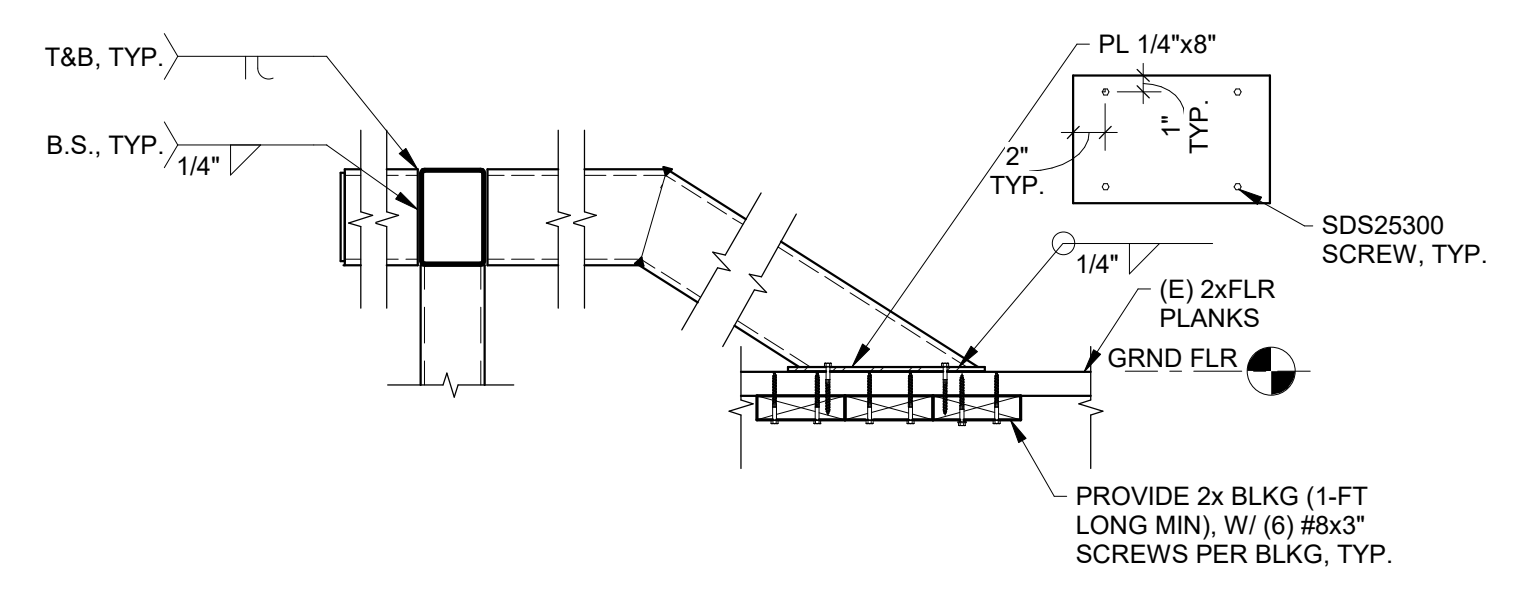
DRAWING TITLE

TYPICAL STEEL  
DETAILS

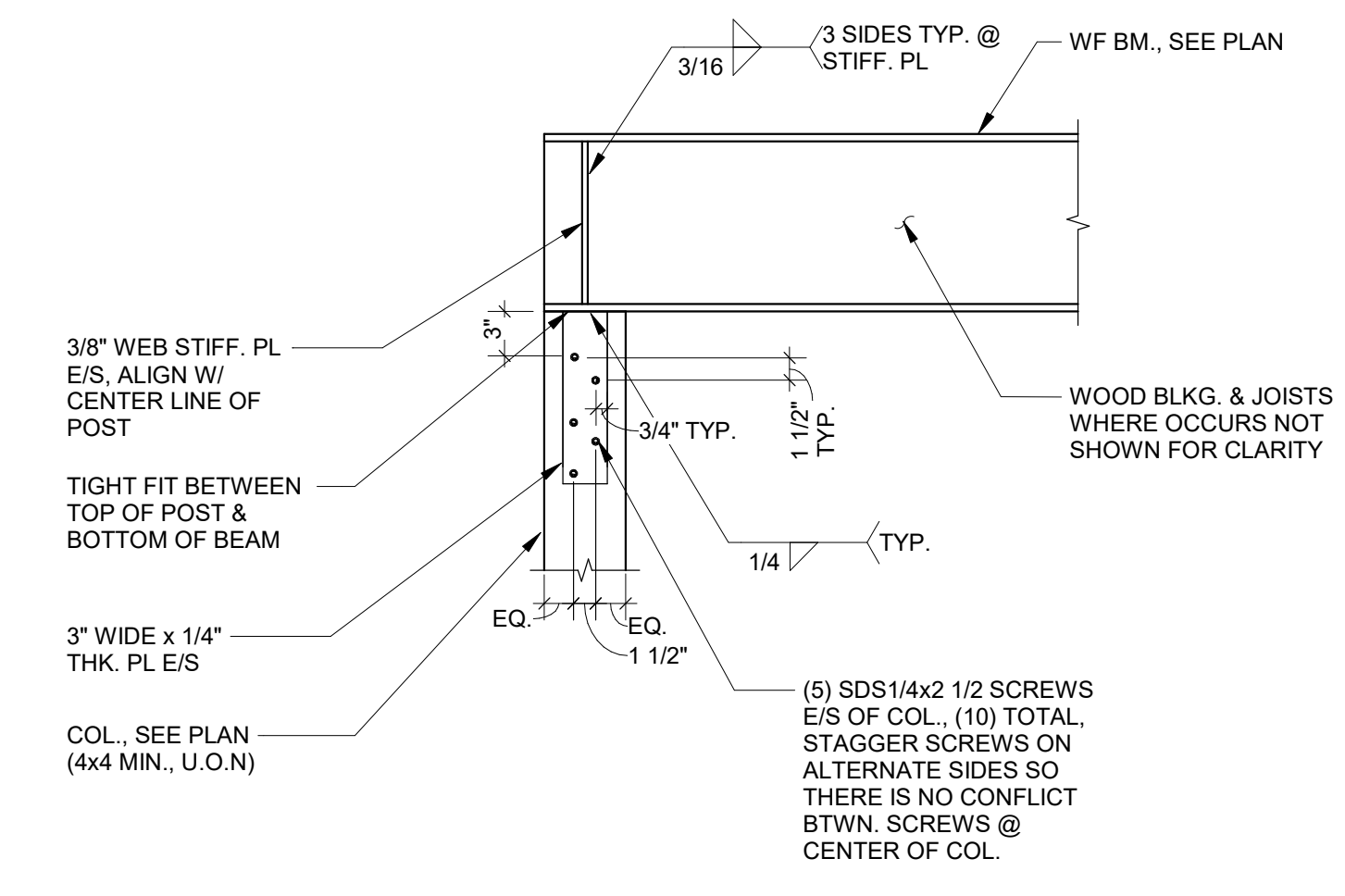
S1.3A



8 HSS COLUMN BASE PLATE CONNECTION  
S1.3A N.T.S.

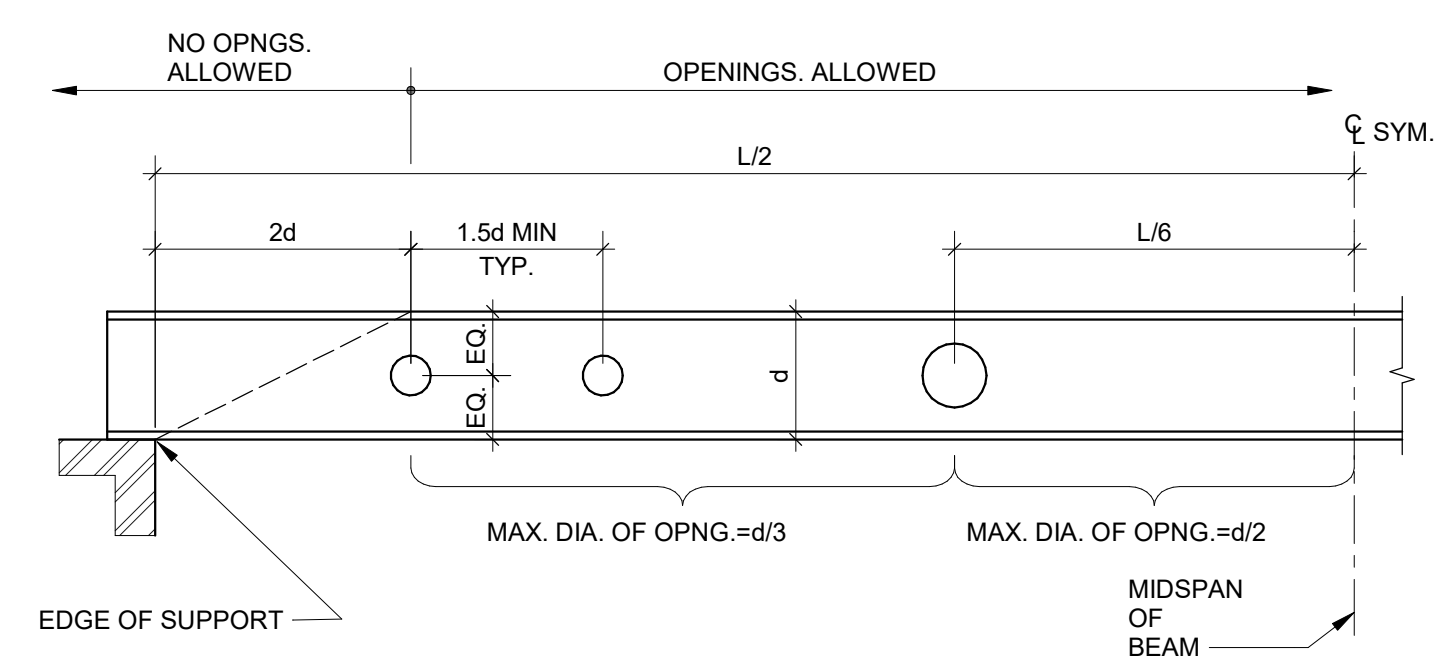


5 STEEL STRINGER CONNECTION DETAILS  
S1.3A 1" = 1'-0"

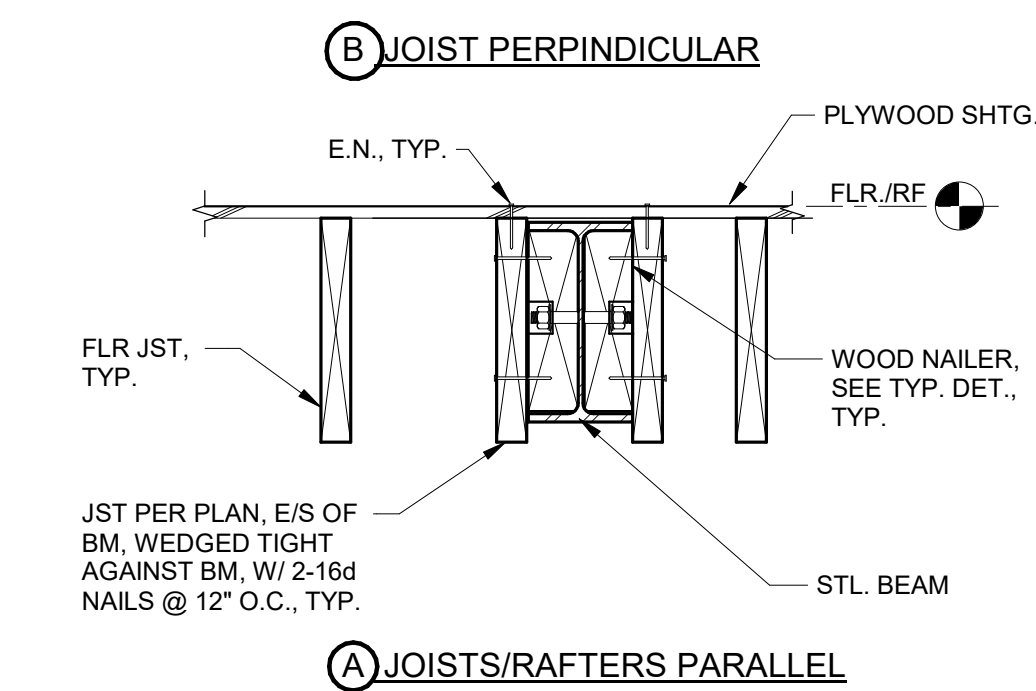
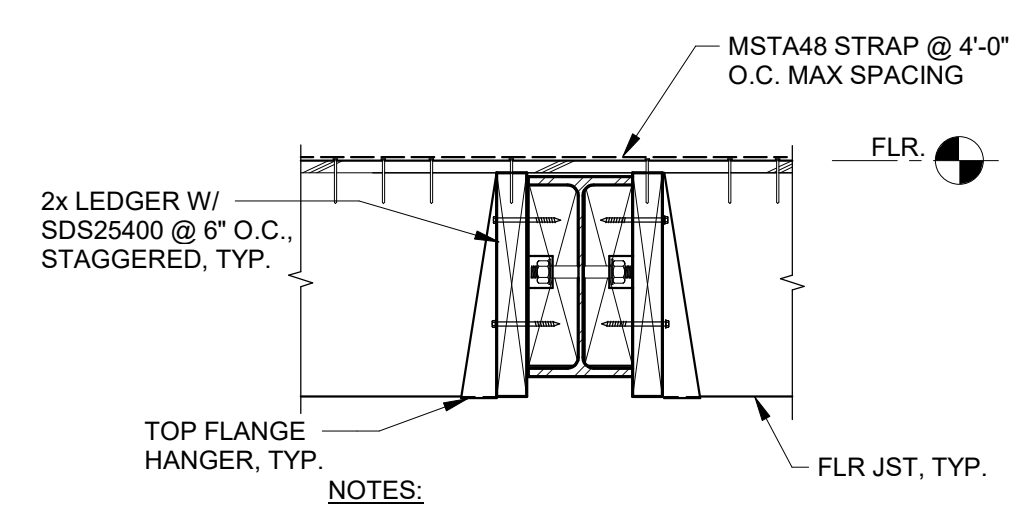


2 WF BM. TO WOOD COL. CONN.  
S1.3A 1" = 1'-0"

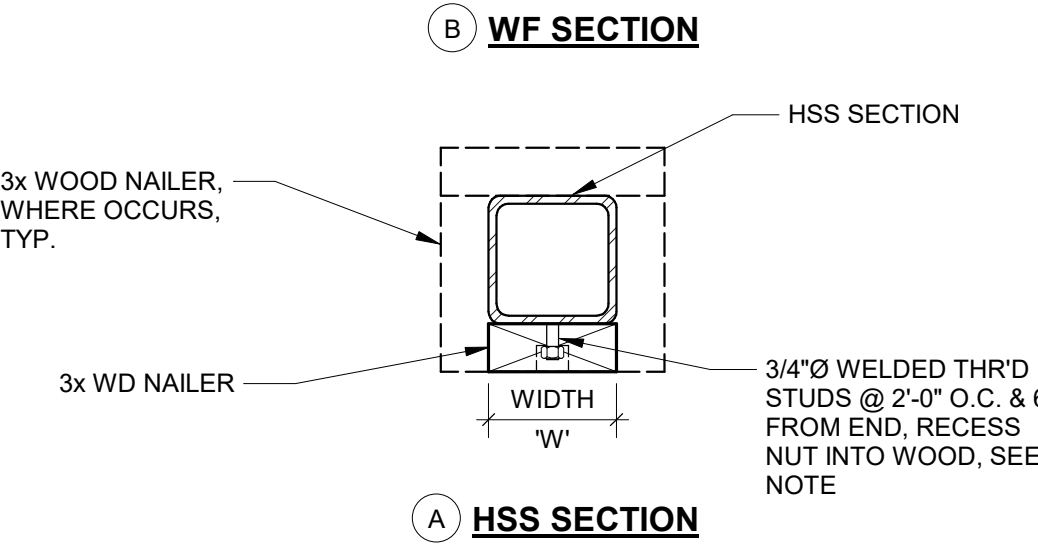
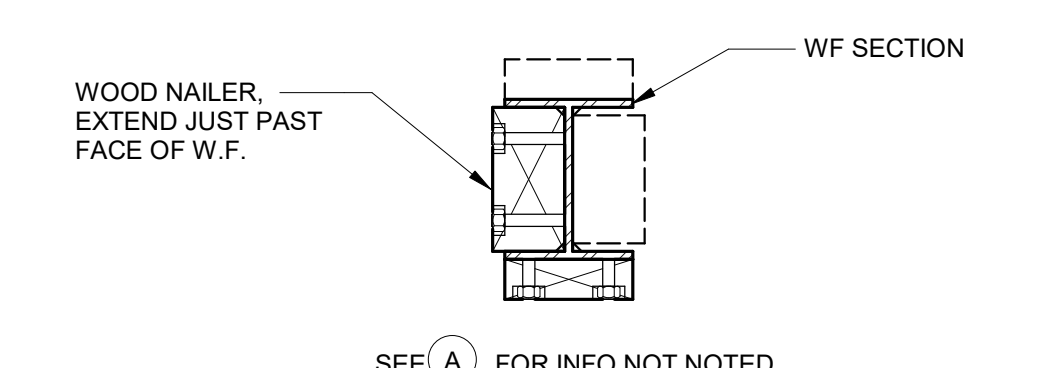
SECTION	MIDSPAN (L)
W8x10 - W8x21	8 FT
W10x12 - W10x33	10 FT
W12x14 - W12x50	12 FT
W14x22 - W14x53	12 FT
W16x26 - W16x57	12 FT
W18x35 - W18x119	15 FT
W21x44 - W21x93	15 FT
W24x55 - W24x84	15 FT



1 STEEL BEAM WEB OPENING  
S1.3A N.T.S.



7 FLUSH FRAMED STL BM DTL @ FLOOR/ROOF  
S1.3A 1" = 1'-0"



4 TYP. WOOD NAILER DET.  
S1.3A 1" = 1'-0"

STRUCTURAL ENGINEER

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P.O. BOX 370084  
MONTARA, CA 94037  
415-676-9390

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SCALE AS NOTED  
IF PRINT SIZE IS  
24"x36"

PROJECT No. 23059.01

DRAWING TITLE

HOUSE FOUNDATION  
PLAN

S2.0

SHEET NOTES:

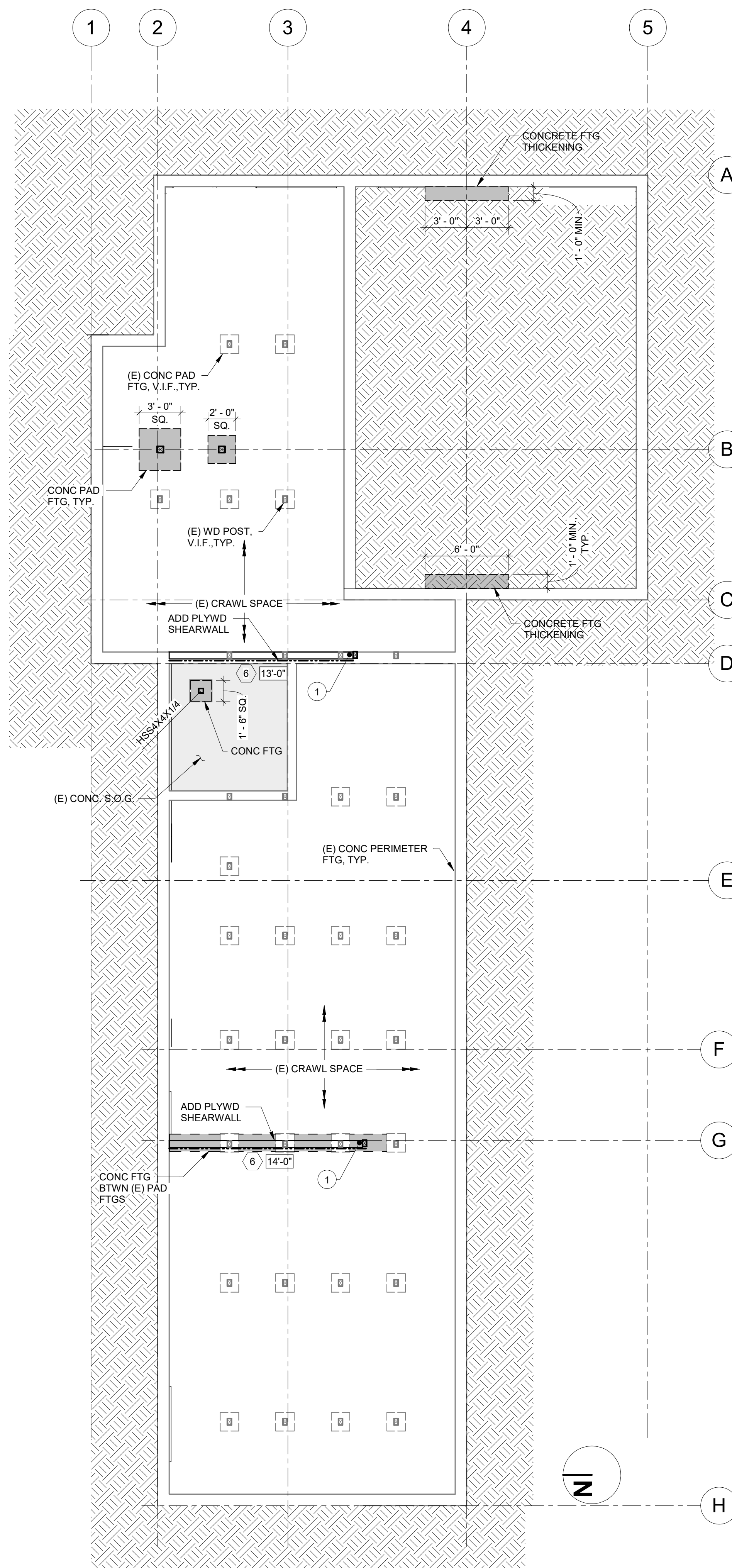
- ALL FOUNDATIONS/EXCAVATIONS SHALL BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACING OF REINFORCING STEEL. FOUNDATIONS SHALL EXTEND TO COMPETENT MATERIAL BELOW.
- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONS NOT NOTED, CURB LOCATIONS AND HEIGHTS, SLOPE OF ELEMENTS, LOCATIONS OF NON-STRUCTURAL WALLS, ETC.
- SEE OTHER DRAWINGS FOR WATERPROOFING AND DRAINAGE DETAILS.
- SEE TYPICAL DETAIL SHEETS FOR DETAILS NOT SPECIFICALLY REFERENCED:  
CONCRETE TYPICAL DETAILS: S1.1 SERIES  
WOOD TYPICAL DETAILS: S1.2 SERIES  
STEEL TYPICAL DETAILS: S1.3 SERIES
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- U.O.N. WOOD STUD WALLS SHALL BE:  
A) 2x6 STUDS @ 16" O.C. @ GROUND FLOOR  
B) 2x4 STUDS @ 16" O.C. @ 2ND FLOOR
- PROVIDE PLYWD SHEAR TO ALL EXTERIOR WALLS W/ TYPE (E)  
U.O.N. NOTE THAT WHERE NEW PLYWOOD SHEATHING IS SPECIFIED AT EXISTING WALLS TO REMAIN, IF EXISTING WALLS ARE DETERMINED IN THE FIELD (DURING CONSTRUCTION WHEN THE EXISTING FRAMING IS EXPOSED) TO HAVE SUFFICIENT LATERAL STRENGTH, THEN SOME SHEATHING REQUIREMENTS MAY BE REDUCED, SUBJECT TO REVIEW BY THE ENGINEER.
- WHERE CONTINUOUS COIL STRAPS ARE SPECIFIED, PROVIDE CONTINUOUS JST OR 2x BLKG.
- U.O.N. FLOOR DIAPHRAGM SHALL BE 3/4" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:  
- 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING  
U.O.N. ROOF DIAPHRAGM SHALL BE 5/8" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:  
- 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING
- AS NOTED IN GENERAL NOTES, PROVIDE JSTS UNDER ALL PARALLEL WALLS OR PROVIDE BLOCKING UNDER PERPENDICULAR WALL

LEGEND:

- STRUCTURAL CONC. WALL
- STRUCTURAL STUD WALL
- STRUCTURAL WALL BELOW
- BEAM
- STL BM MOMENT CONNECTION
- HDR (A) OR (B)  
HEADER ABOVE (A) OR BELOW (B)  
SEE TYPICAL DETAIL
- SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.
- SHEAR WALL SHEATHING
- SHEAR WALL MARK, SEE SCH. 1/ S1.2E
- MIN. SHEAR WALL LENGTH
- POST/ COLUMN ABOVE (TAGGED)
- POST/ COLUMN BELOW
- JOIST FRAMING
- HOLDOWN, SEE SCHEDULE AND DTL. 7/ S1.2B
- FOOTING
- WSWH24x10  
SIMPSON STRONG WALL
- JOIST HANGER, SEE TYPICAL DETAIL
- HIDDEN FLANGE JOIST HANGER
- INVERTED JOIST HANGER
- STEP

HOLDOWN SCHEDULE

MARK	HOLDOWN TYPE
①	HDU4
②	MSTC66 STRAP

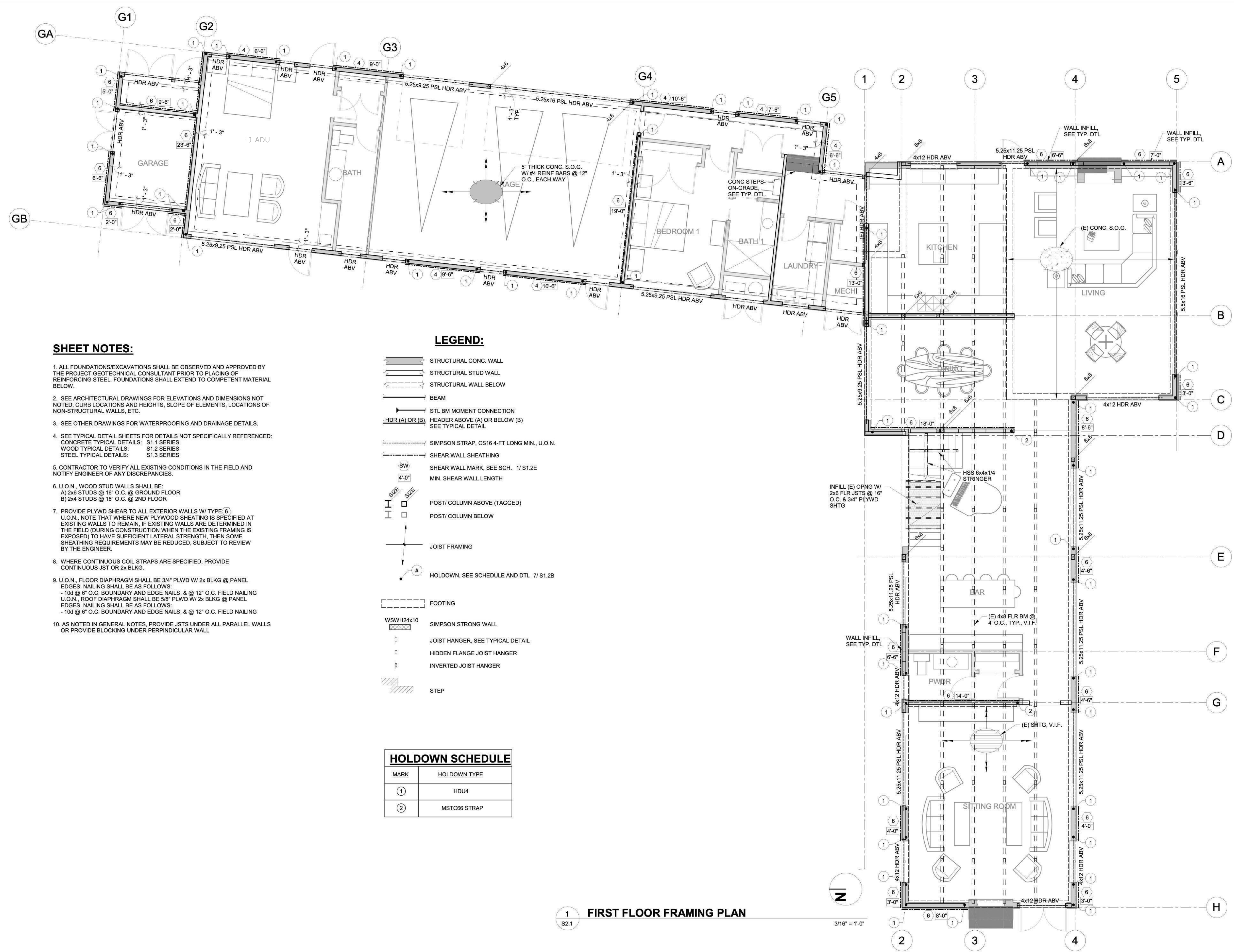


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No.	DESCRIPTION	DATE
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**FIRST FLOOR FRAMING PLAN**

**S2.1**



**SHEET NOTES:**

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- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONS NOT NOTED, CURB LOCATIONS AND HEIGHTS, SLOPE OF ELEMENTS, LOCATIONS OF NON-STRUCTURAL WALLS, ETC.
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- SEE TYPICAL DETAIL SHEETS FOR DETAILS NOT SPECIFICALLY REFERENCED:  
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 WOOD TYPICAL DETAILS: S1.2 SERIES  
 STEEL TYPICAL DETAILS: S1.3 SERIES
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 A) 2x6 STUDS @ 16" O.C. @ GROUND FLOOR  
 B) 2x4 STUDS @ 16" O.C. @ 2ND FLOOR
- PROVIDE PLYWD SHEAR TO ALL EXTERIOR WALLS W/ TYPE (E) U.O.N., NOTE THAT WHERE NEW PLYWOOD SHEATHING IS SPECIFIED AT EXISTING WALLS TO REMAIN, IF EXISTING WALLS ARE DETERMINED IN THE FIELD (DURING CONSTRUCTION WHEN THE EXISTING FRAMING IS EXPOSED) TO HAVE SUFFICIENT LATERAL STRENGTH, THEN SOME SHEATHING REQUIREMENTS MAY BE REDUCED, SUBJECT TO REVIEW BY THE ENGINEER.
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 - 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING  
 U.O.N., ROOF DIAPHRAGM SHALL BE 5/8" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:  
 - 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING
- AS NOTED IN GENERAL NOTES, PROVIDE JSTS UNDER ALL PARALLEL WALLS OR PROVIDE BLOCKING UNDER PERPENDICULAR WALL

**LEGEND:**

- STRUCTURAL CONC. WALL
- STRUCTURAL STUD WALL
- STRUCTURAL WALL BELOW
- BEAM
- STL BM MOMENT CONNECTION
- HDR (A) OR (B)  
SEE TYPICAL DETAIL
- SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.
- SHEAR WALL SHEATHING
- SHEAR WALL MARK, SEE SCH. 1/ S1.2E  
MIN. SHEAR WALL LENGTH
- POST/ COLUMN ABOVE (TAGGED)
- POST/ COLUMN BELOW
- JOIST FRAMING
- HOLDOWN, SEE SCHEDULE AND DTL 7/ S1.2B
- FOOTING
- WSWH24x10  
SIMPSON STRONG WALL
- JOIST HANGER, SEE TYPICAL DETAIL
- HIDDEN FLANGE JOIST HANGER
- INVERTED JOIST HANGER
- STEP

**HOLDOWN SCHEDULE**

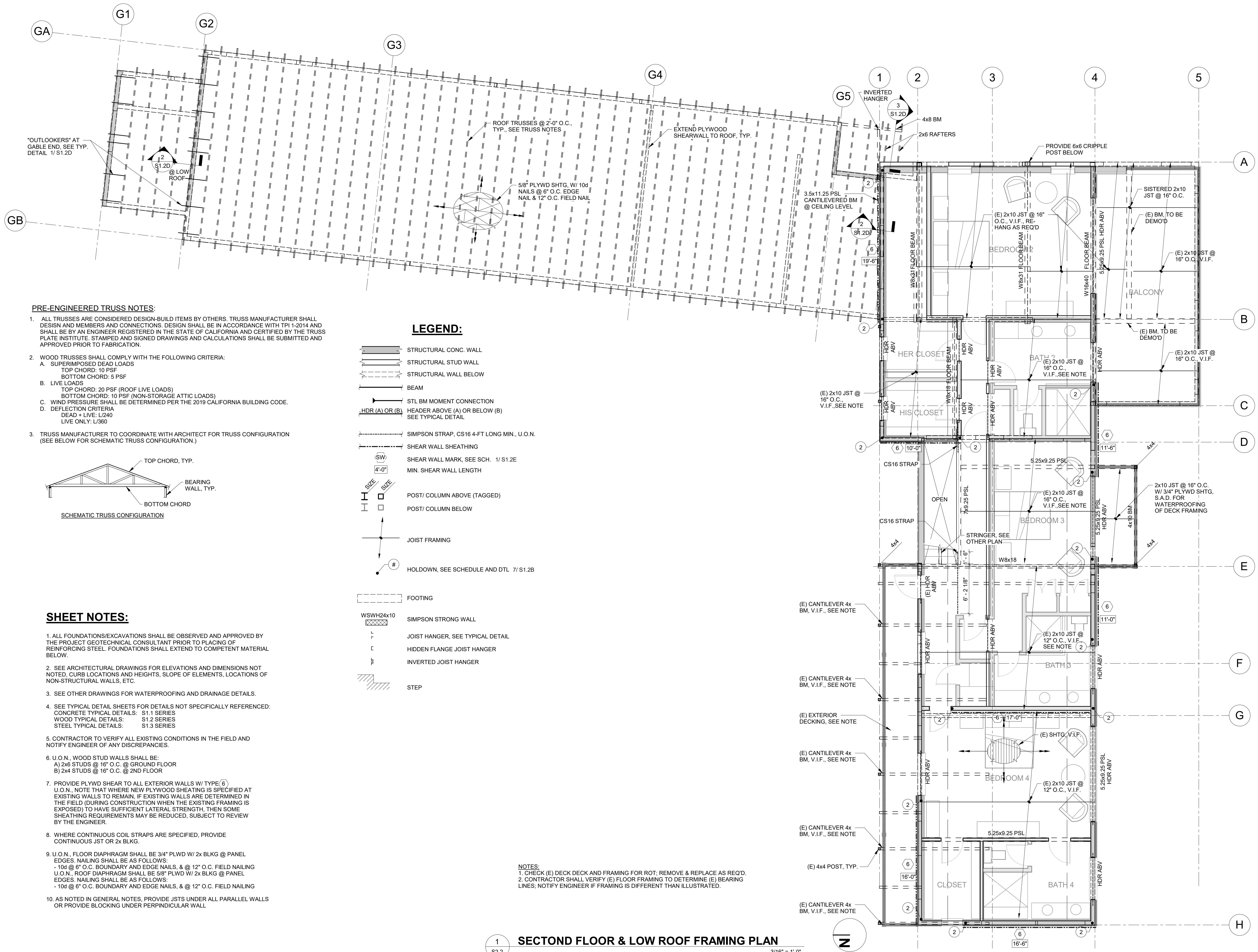
MARK	HOLDOWN TYPE
①	HDU4
②	MSTC66 STRAP

**1 FIRST FLOOR FRAMING PLAN**

S2.1

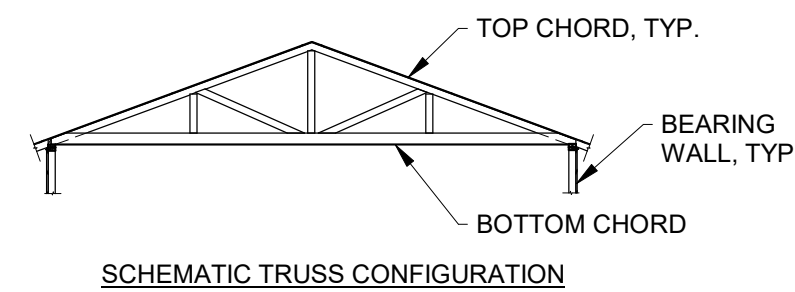
3/16" = 1'-0"

No.	DESCRIPTION	DATE
-	PERMIT SET	06-10-24



**PRE-ENGINEERED TRUSS NOTES:**

- ALL TRUSSES ARE CONSIDERED DESIGN-BUILD ITEMS BY OTHERS. TRUSS MANUFACTURER SHALL DESIGN AND MEMBERS AND CONNECTIONS. DESIGN SHALL BE IN ACCORDANCE WITH TPI 1-2014 AND SHALL BE BY AN ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND CERTIFIED BY THE TRUSS PLATE INSTITUTE. STAMPED AND SIGNED DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED AND APPROVED PRIOR TO FABRICATION.
- WOOD TRUSSES SHALL COMPLY WITH THE FOLLOWING CRITERIA:
  - SUPERIMPOSED DEAD LOADS  
TOP CHORD: 10 PSF  
BOTTOM CHORD: 5 PSF
  - LIVE LOADS  
TOP CHORD: 20 PSF (ROOF LIVE LOADS)  
BOTTOM CHORD: 10 PSF (NON-STORAGE ATTIC LOADS)
  - WIND PRESSURE SHALL BE DETERMINED PER THE 2019 CALIFORNIA BUILDING CODE.
  - DEFLECTION CRITERIA  
DEAD + LIVE: L/240  
LIVE ONLY: L/360
- TRUSS MANUFACTURER TO COORDINATE WITH ARCHITECT FOR TRUSS CONFIGURATION (SEE BELOW FOR SCHEMATIC TRUSS CONFIGURATION.)



**LEGEND:**

- STRUCTURAL CONC. WALL
- STRUCTURAL STUD WALL
- STRUCTURAL WALL BELOW
- BEAM
- STL BM MOMENT CONNECTION
- HDR (A) OR (B)  
SEE TYPICAL DETAIL
- SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.
- SHEAR WALL SHEATHING
- SHEAR WALL MARK, SEE SCH. 1/S1.2E  
MIN. SHEAR WALL LENGTH 4'-0"
- POST/ COLUMN ABOVE (TAGGED)
- POST/ COLUMN BELOW
- JOIST FRAMING
- HOLDOWN, SEE SCHEDULE AND DTL 7/ S1.2B
- FOOTING
- WSWH24x10  
SIMPSON STRONG WALL
- JOIST HANGER, SEE TYPICAL DETAIL
- HIDDEN FLANGE JOIST HANGER
- INVERTED JOIST HANGER
- STEP

**SHEET NOTES:**

- ALL FOUNDATIONS/EXCAVATIONS SHALL BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACING OF REINFORCING STEEL. FOUNDATIONS SHALL EXTEND TO COMPETENT MATERIAL BELOW.
- SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONS NOT NOTED, CURB LOCATIONS AND HEIGHTS, SLOPE OF ELEMENTS, LOCATIONS OF NON-STRUCTURAL WALLS, ETC.
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- SEE TYPICAL DETAIL SHEETS FOR DETAILS NOT SPECIFICALLY REFERENCED:  
 CONCRETE TYPICAL DETAILS: S1.1 SERIES  
 WOOD TYPICAL DETAILS: S1.2 SERIES  
 STEEL TYPICAL DETAILS: S1.3 SERIES
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- U.O.N., WOOD STUD WALLS SHALL BE:  
 A) 2x6 STUDS @ 16" O.C. @ GROUND FLOOR  
 B) 2x4 STUDS @ 16" O.C. @ 2ND FLOOR
- PROVIDE PLYWD SHEAR TO ALL EXTERIOR WALLS W/ TYPE 6 U.O.N., NOTE THAT WHERE NEW PLYWOOD SHEATHING IS SPECIFIED AT EXISTING WALLS TO REMAIN, IF EXISTING WALLS ARE DETERMINED IN THE FIELD (DURING CONSTRUCTION WHEN THE EXISTING FRAMING IS EXPOSED) TO HAVE SUFFICIENT LATERAL STRENGTH, THEN SOME SHEATHING REQUIREMENTS MAY BE REDUCED, SUBJECT TO REVIEW BY THE ENGINEER.
- WHERE CONTINUOUS COIL STRAPS ARE SPECIFIED, PROVIDE CONTINUOUS JST OR 2x BLKG.
- U.O.N., FLOOR DIAPHRAGM SHALL BE 3/4" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:  
 - 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING  
 U.O.N., ROOF DIAPHRAGM SHALL BE 5/8" PLWD W/ 2x BLKG @ PANEL EDGES. NAILING SHALL BE AS FOLLOWS:  
 - 10d @ 6" O.C. BOUNDARY AND EDGE NAILS, & @ 12" O.C. FIELD NAILING
- AS NOTED IN GENERAL NOTES, PROVIDE JSTS UNDER ALL PARALLEL WALLS OR PROVIDE BLOCKING UNDER PERPENDICULAR WALL

NOTES:  
 1. CHECK (E) DECK DECK AND FRAMING FOR ROT; REMOVE & REPLACE AS REQ'D.  
 2. CONTRACTOR SHALL VERIFY (E) FLOOR FRAMING TO DETERMINE (E) BEARING LINES; NOTIFY ENGINEER IF FRAMING IS DIFFERENT THAN ILLUSTRATED.

1 S2.2 **SECOND FLOOR & LOW ROOF FRAMING PLAN** 3/16" = 1'-0"

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FOR CONSTRUCTION

1535 Palmero Way  
Pebble Beach, CA

ISSUE / REVISION

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SCALE AS NOTED  
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PROJECT No. 23059.01

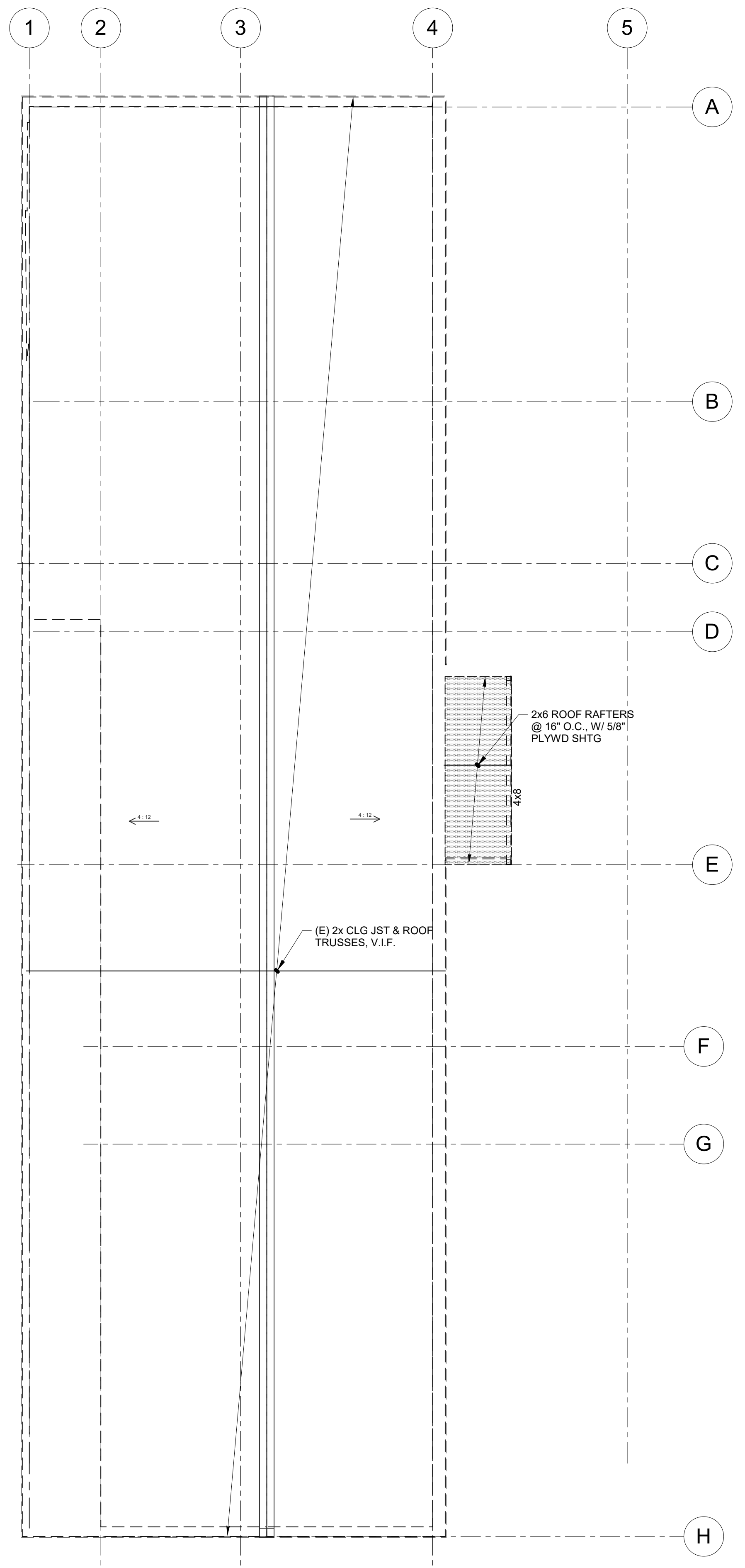
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HOUSE CEILING AND  
ROOF FRAMING  
PLAN

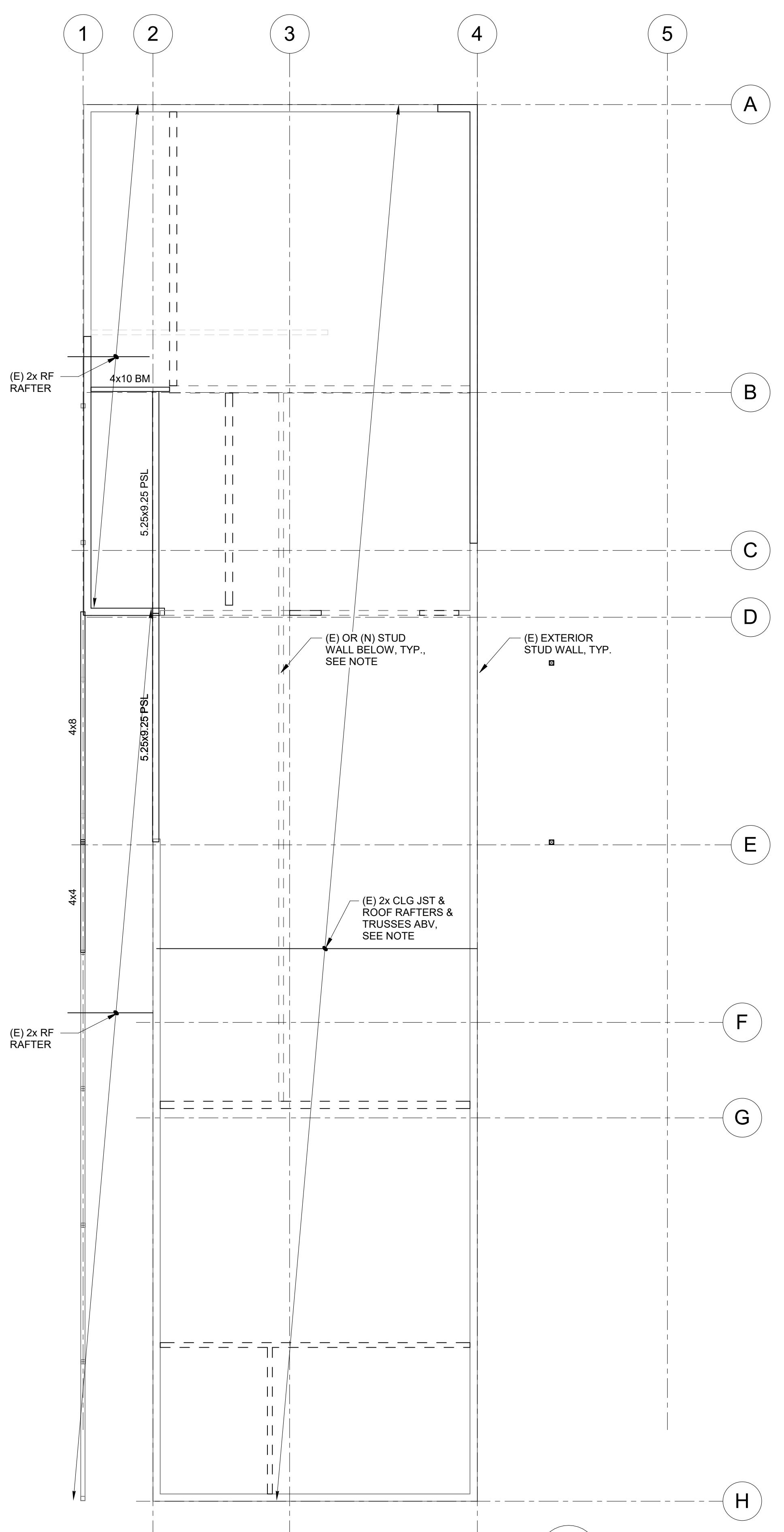
S2.3

LEGEND:

- STRUCTURAL CONC. WALL
- STRUCTURAL STUD WALL
- STRUCTURAL WALL BELOW
- BEAM
- STL BM MOMENT CONNECTION
- HDR (A) OR (B) HEADER ABOVE (A) OR BELOW (B) SEE TYPICAL DETAIL
- SIMPSON STRAP, CS16 4-FT LONG MIN., U.O.N.
- SHEAR WALL SHEATHING
- SHEAR WALL MARK, SEE SCH. 1/ S1.2E
- MIN. SHEAR WALL LENGTH
- POST/ COLUMN ABOVE (TAGGED)
- POST/ COLUMN BELOW
- JOIST FRAMING
- HOLDDOWN, SEE SCHEDULE AND DTL 7/ S1.2B
- FOOTING
- WSWH24x10 SIMPSON STRONG WALL
- JOIST HANGER, SEE TYPICAL DETAIL
- HIDDEN FLANGE JOIST HANGER
- INVERTED JOIST HANGER
- STEP

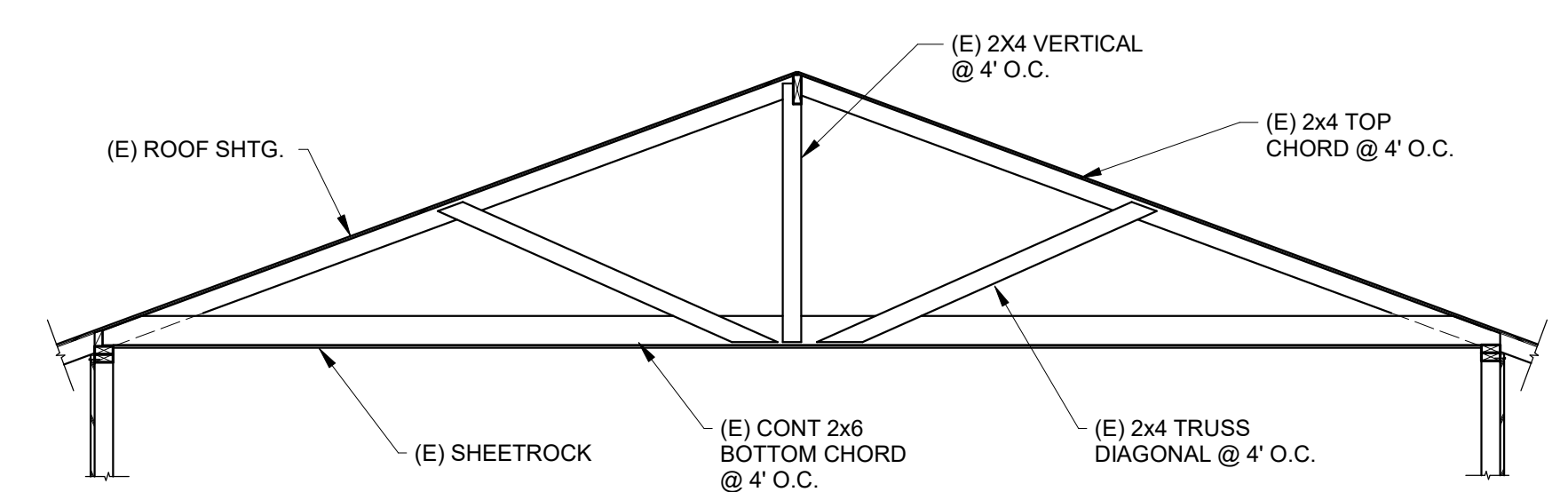


2 ROOF FRAMING PLAN  
S2.3 3/16" = 1'-0"



NOTES:  
1. THE EXISTING ROOF & CEILING FRAMING WAS CONSTRUCTED WITH "CARPENTER BUILT" TRUSSES. MAINTAIN SUPPORT FOR THE EXISTING FRAMING IN ITS CURRENT CONFIGURATION.

1 HOUSE CEILING FRAMING PLAN  
S2.3 3/16" = 1'-0"



NOTES:  
1. THIS IS THE EXPECTED ROOF TRUSS LAYOUT BASED ON LIMITED OBSERVATIONS. CONTRACTOR TO CONFIRM THAT EXISTING TRUSSES MATCH THIS SKETCH.

3 EXISTING ROOF FRAMING DETAIL  
S2.3 3/8" = 1'-0"