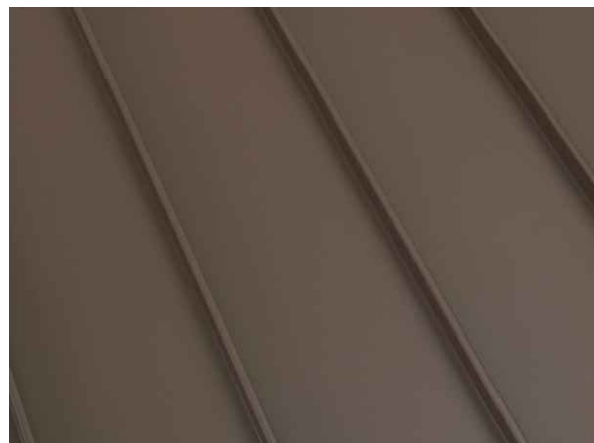
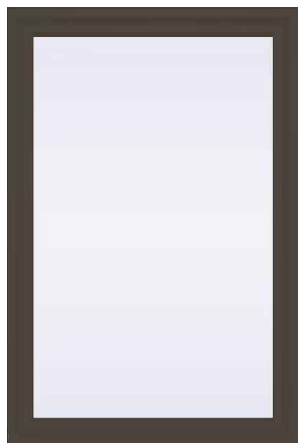


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PROPOSED MATERIALS



PROPOSED METAL STANDING SEAM
ROOF - DARK BROWN



ALUM. CLAD WINDOWS
& DOORS - BRONZE



VERTICAL WOOD SIDING - PAINTED TAN/KHAKI
EXPOSED WOOD POSTS & BEAMS - PAINTED DARK BROWN

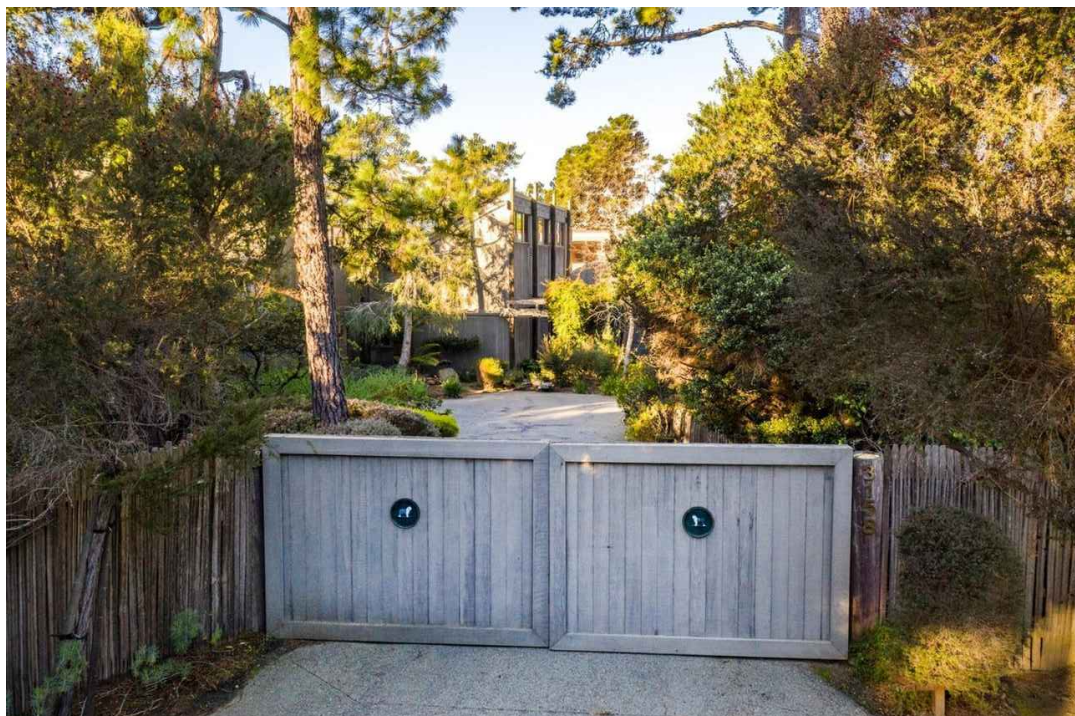
GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY SURVEY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROTECT EXISTING TREES AND ROOT SYSTEM. ALL EXCAVATION AROUND EXISTING TREES SHALL BE MADE BY HAND.
- CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".
- SMOKE DETECTORS IN THE MAIN DWELLING SHALL BE INSTALLED AND FIELD VERIFIED IN EACH BEDROOM, IN THE HALLWAY LEADING TO THE BEDROOMS AND ON EACH FLOOR PER CRC R314.2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND FIELD VERIFIED ON EACH FLOOR PER CRC R315.2.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS
- CONTRACTOR TO OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND TO MAINTAIN THE TICKET IN ACTIVE STATUS AND ON SITE FOR INSPECTION THROUGHOUT THE PROJECT.

DEFERRED SUBMITTALS

- PHOTOVOLTAIC SYSTEM DRAWINGS & DETAILS.

EXISTING PROPERTY PHOTOS



STREET VIEW OF PROPERTY



FRONT OF HOUSE & GARAGE



BACK OF HOUSE

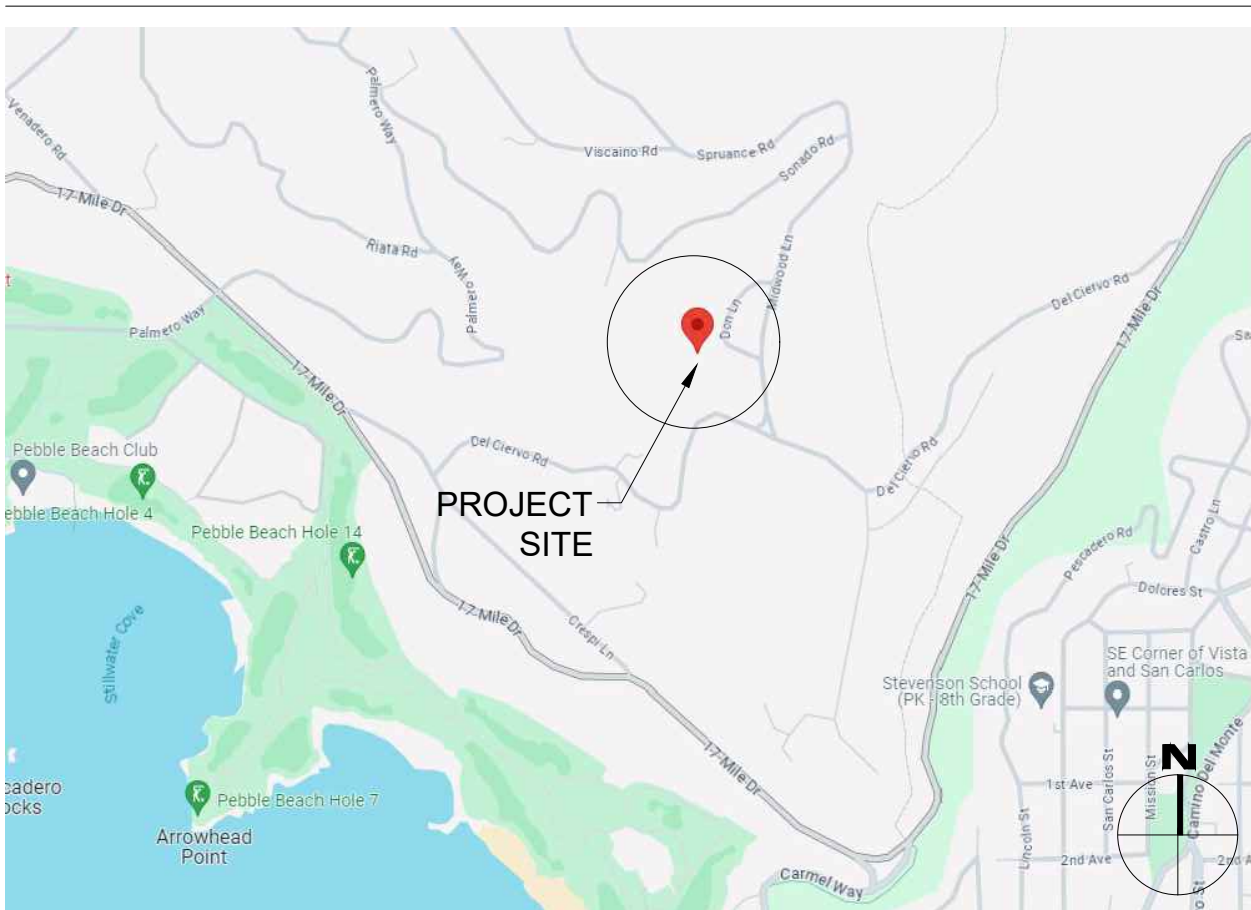
BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC, AND CHAPTER 3, SECTION 337R OF THE 2022 CRC.

VICINITY MAP



SHEET INDEX

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G1.2 GRADING PLAN
G1.3 FUEL MANAGEMENT PLAN
G1.4 SURVEY / EXISTING SITE PLAN

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A1.1 PROPOSED SITE LIGHTING
A2.0 EXISTING LOWER LEVEL FLOOR PLAN
A2.1 EXISTING MAIN LEVEL FLOOR PLAN
A2.2 EXISTING UPPER LEVEL FLOOR PLAN
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A3.3 BUILDING ELEVATIONS
A4.0 DOOR & WINDOW SCHEDULES

L-0.1 OVERALL SITE PLAN
L-1.0 SITE PLAN
L-2.0 GRADING PLAN
L-2.1 DRAINAGE PLAN
L-3.0 SITE DETAILS
L-3.1 SITE DETAILS
L-4.0 PLANTING NOTES
L-4.1 PLANTING PLAN
L-5.0 SITE LIGHTING PLAN
L-5.1 SITE LIGHTING SPECS

SCOPE OF WORK

REMODEL & ADDITION TO AN (E) SINGLE FAMILY HOUSE & ATTACHED GARAGE. CONSTRUCT NEW 375 SF LOWER LEVEL GYM BELOW (E) HOUSE. CONSTRUCT NEW 24 SF ELEVATOR SHAFT. ADD 260 SF TO (E) STORAGE LOFT ABOVE GARAGE. ADD 502 SF OF NEW EXTERIOR DECKING.

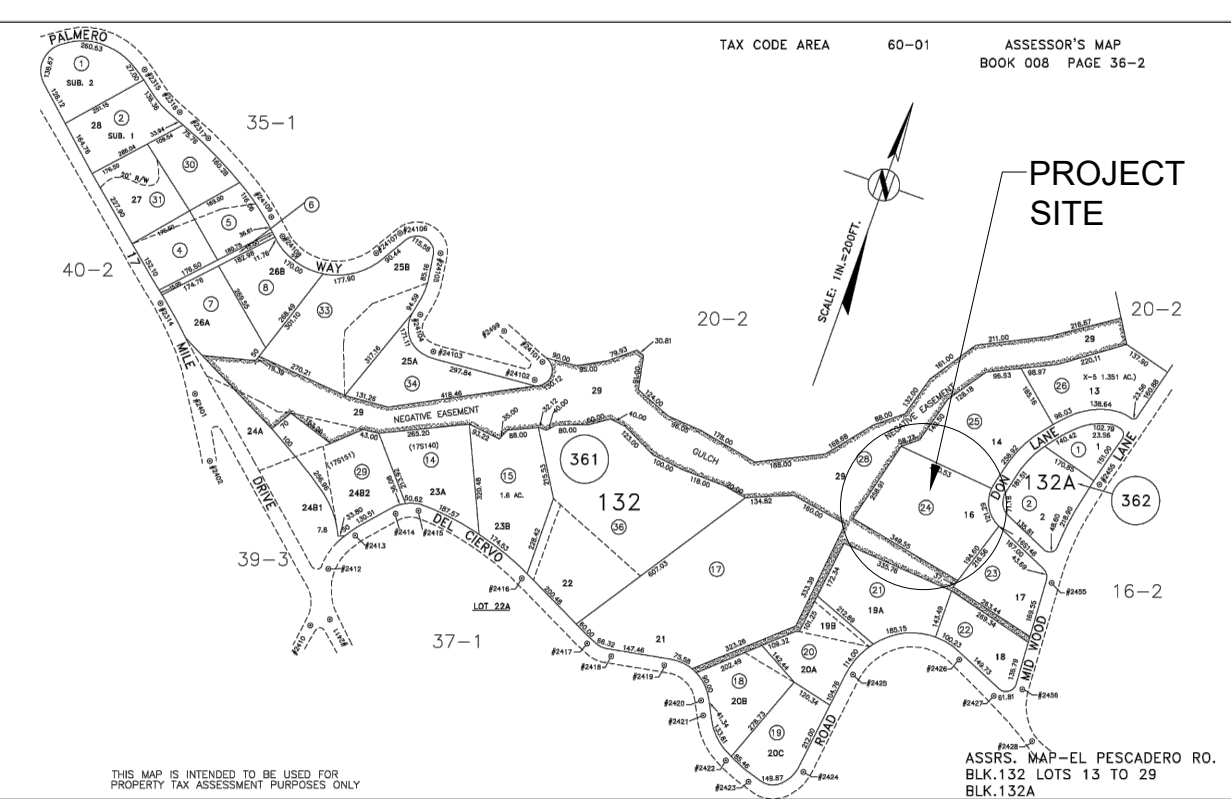
REPLACE (E) EXT. WOOD WINDOWS & DOORS WITH NEW ALUM. CLAD WINDOWS & DOORS. REPLACE (E) SKYLIGHTS & ADD 1 NEW SKYLIGHT. REPLACE (E) COMPOSITE TILE ROOF WITH NEW METAL STANDING SEAM ROOF. REPAINT (E) WOOD SIDING & EXPOSED STRUCTURE.

REPLACE (E) DRIVEWAY & DRIVEWAY GATE. INSTALL NEW HARDSCAPING & LANDSCAPING AROUND HOUSE.

MISCELLANEOUS

WATER SOURCE	CAL AM
WASTE DISPOSAL SYSTEM	SEWER - P.B.C.S.D.
TREES TO BE REMOVED	(1) 15" MONTEREY PINE (2) 36" MONTEREY PINE 3 TREES TOTAL
GRADING ESTIMATES:	
(P) CUT	69 CU.YDS.
(P) FILL	166 CU.YDS.
(P) NET FILL	97 CU.YDS.
(E) PARKING	2 SPACES (COVERED)
(P) PARKING	2 SPACES (COVERED)
(E) BUILDING SPRINKLERED	NO
(P) BUILDING SPRINKLERED	NO (SEE ALTERATION CALC'S)

PARCEL MAP



PROJECT TEAM

OWNER	AMANDA & ALASTAIR CURTIS 3158 DON LANE PEBBLE BEACH, CA 93953
ARCHITECT	SAMUEL PITNICK ARCHITECTS, INC. LICENSE # C-34362 PO BOX 22412, CARMEL, CA 93922 PHONE: (831) 241-1895 SAMUEL.PITNICK@GMAIL.COM
SURVEYOR	RASMUSSEN LAND SURVEYING 2150 GARDEN ROAD, SUITE A-3 MONTEREY, CA 93940 PHONE: (831) 375-7240
LANDSCAPE ARCHITECT	SEVEN SPRINGS STUDIOS 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 PHONE: (831) 466-9617
ARBORIST	THOMPSON WILDLAND MANAGEMENT 57 VIA DEL REY MONTEREY, CA. 93940 PHONE: (831) 372-3796
ARCHAEOLOGIST	ACHASTA ARCHAEOLOGICAL SERVICES 3059 BOSTICK AVENUE MARINA, CA 93933 PHONE: (831) 277-9071

PROJECT INFORMATION

PROPERTY ADDRESS	3158 DON LANE PEBBLE BEACH, CA 93953
APN	008-361-024-000
ZONING	LDR/1.5-D(CZ)
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
YEAR BUILT	1984

BUILDING INFORMATION & LOT COVERAGE

LOT SIZE	93,203 SF (2.14 ACRES)
ALLOWABLE SITE COVERAGE	15% OR 13,980 SF
(E) SITE COVERAGE:	
(E) STRUCTURES	4,167 SF
(E) EAVES >30"	44 SF
(E) DECKS/PATIOS >24"	360 SF
(E) TOTAL	4,571 SF OR 4.9%
(P) SITE COVERAGE:	
(P) STRUCTURES	4,191 SF
(P) EAVES >30"	44 SF
(P) DECKS/PATIOS >24"	957 SF
(P) TOTAL	5,192 SF OR 5.5%
ALLOWABLE FLOOR AREA	17.5% OR 16,310 SF
(E) FLOOR AREA:	
(E) LOWER LEVEL	1,465 SF
(E) MAIN LEVEL	2,515 SF
(E) UPPER LEVEL	870 SF
(E) GARAGE & LOFT	772 SF
(E) GUEST HOUSE	516 SF
(E) TOTAL	6,138 SF
(P) FLOOR AREA:	
(P) LOWER LEVEL GYM	375 SF
(P) ELEVATOR	24 SF
(E) LOWER LEVEL	1,465 SF
(E) MAIN LEVEL	2,515 SF
(E) UPPER LEVEL	870 SF
(P) GARAGE & LOFT	1,032 SF
(E) GUEST HOUSE	516 SF
(P) TOTAL	7,067 SF

PESCADERO WATERSHED COVERAGE CALC'S

ALLOWABLE IMPERVIOUS COVERAGE	9,000 SF
(E) IMPERVIOUS COVERAGE:	
(E) STRUCTURES	4,167 SF
(E) EAVES >30"	44 SF
(E) DRIVEWAY & HARDSCAPE	2,120 SF
(E) TOTAL	6,331 SF

(P) IMPERVIOUS COVERAGE:	
(P) STRUCTURES	4,191 SF
(P) EAVES >30"	44 SF
(P) HARDSCAPE	1,941 SF
(P) TOTAL	6,176 SF

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EMAIL: SAMUEL.PITNICK@GMAIL.COM

REVISIONS	DATE

ARCHITECTURAL

PROJECT
INFORMATION

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.0

05/02/2025

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GENERAL NOTES

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2. ALSO SEE BEST MANAGEMENT PRACTICES SHEET.
3. CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES NOTIFICATION: "STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED".

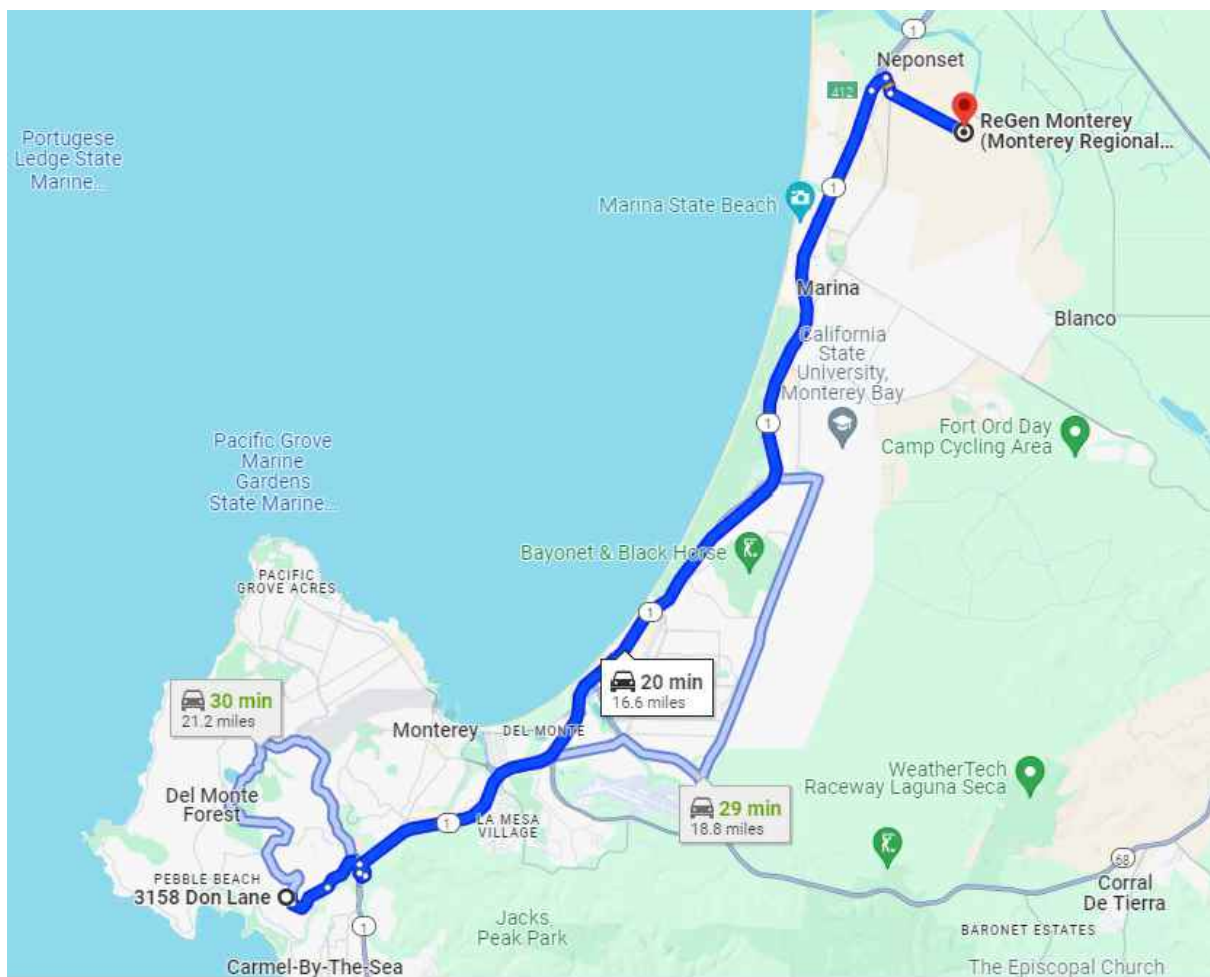
CONSTRUCTION MANAGEMENT NOTES

1. DURATION OF CONSTRUCTION IS APPROX. 12-16 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
2. WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 8 AM AND 5 PM. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR)
3. TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING THE PEBBLE BEACH EXIT OFF OF HIGHWAY ONE. TRUCKS WILL TAKE HIGHWAY ONE NORTH AND EXIT DEL MONTE BLVD. TO TRANSPORT WASTE AND DEBRIS TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT. REFER TO MAP ON THIS SHEET.
4. THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
5. EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS.
6. STERILE STRAW WATTLES SHALL BE PLACED BEFORE AND DURING RAIN STORM EVENTS TO CONTAIN STORM WATER AND EROSION DURING CONSTRUCTION.
7. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES.
8. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
9. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
10. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
11. DUST CONTROL MEASURES WILL BE IMPLEMENTED INCLUDING THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE.
12. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
13. TRUCK STAGING - ALL TRUCK STAGING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE STAGED ON PRIVATE PROPERTY.

CONSTRUCTION MANAGEMENT LEGEND

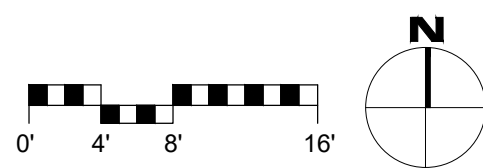
	CONSTRUCTION MATERIAL STORAGE		STRAW WATTLE
	PAINT & SOLVENT CLEAN-OUT AREA		TREE PROTECTION
	CONCRETE CONTAINMENT WASHOUT		SILT FENCING

TRUCK ROUTING FROM SITE TO DUMP

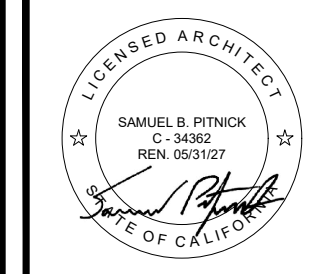


1 CONSTRUCTION MANAGEMENT, EROSION CONTROL & DRAINAGE PLAN

SCALE: 3/32" = 1'-0"



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PEBBLE BEACH, CA
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REVISIONS DATE

ARCHITECTURAL

CONSTRUCTION
MANAGEMENT
PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.1

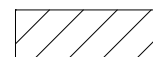
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GRADING LEGEND

-  CUT MATERIAL
-  FILL MATERIAL

GRADING ESTIMATES:

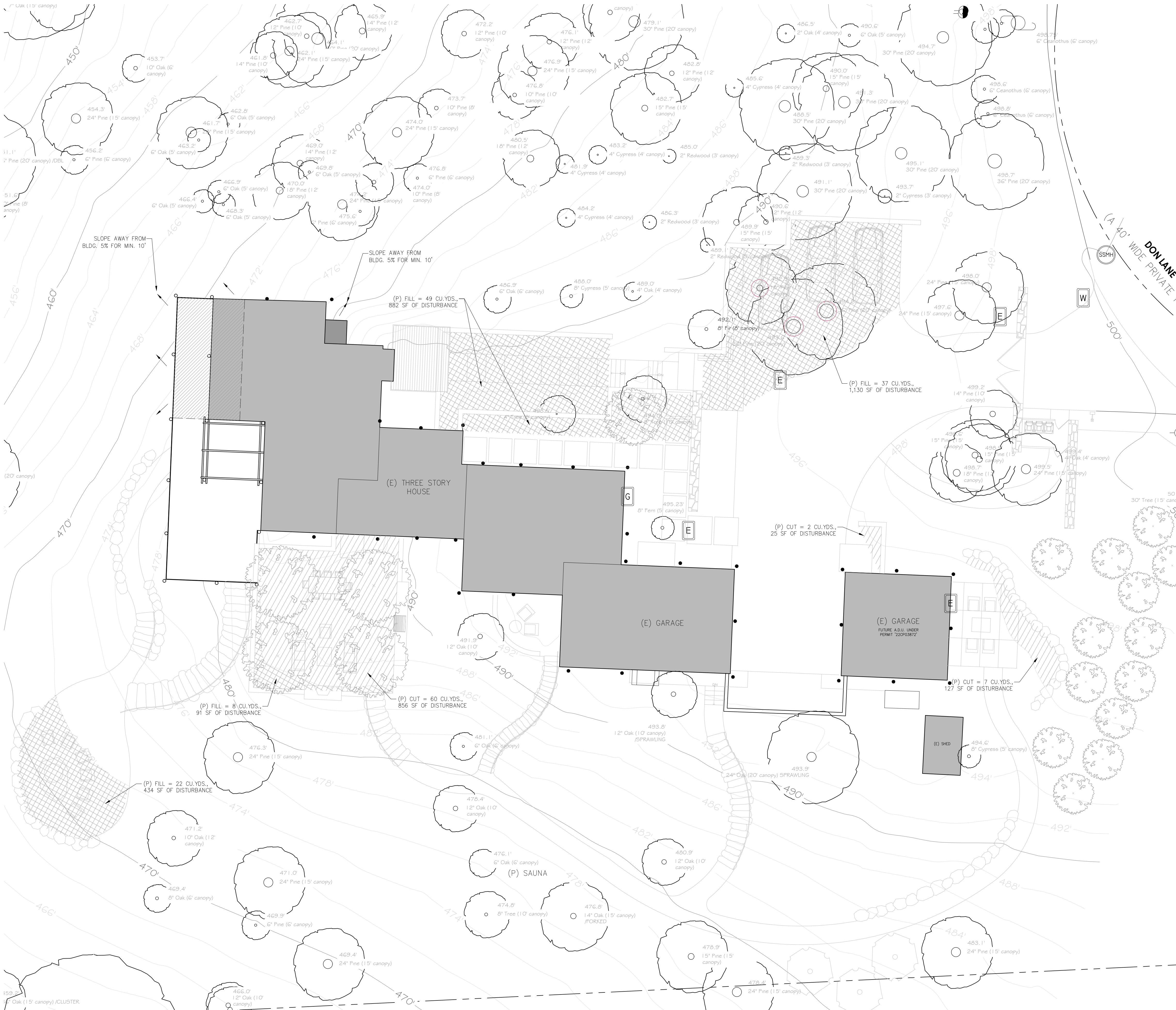
(P) CUT = 69 CU.YDS.

(P) FILL = 166 CU.YDS.

(P) NET FILL = 97 CU.YDS.

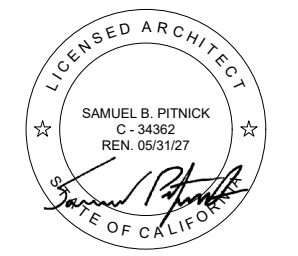
AREA OF DISTURBANCE = 3,542 SF

Inspection item:	When the inspection is to be completed:	Who will conduct the inspection:	Inspection completed by:	Date completed:
Site stripping and clearing	Beginning of project	SOIL SURVEYS GROUP		
Overexcavation	Prior to placement of structural fill	SOIL SURVEYS GROUP		
Subexcavation, fill placement, and compaction	Throughout grading operations	SOIL SURVEYS GROUP		
Foundation excavations	Prior to placement of formwork and reinforcing steel	SOIL SURVEYS GROUP		
Surface and subsurface drainage improvements	Prior to trench backfill	SOIL SURVEYS GROUP		
Utility trench compaction	During backfill operations	SOIL SURVEYS GROUP		



1 GRADING PLAN
SCALE: 3/32" = 1'-0"

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REVISIONS	DATE

ARCHITECTURAL
GRADING
PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.2

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FUEL MANAGEMENT NOTES

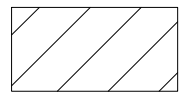
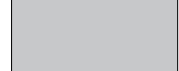
'GREEN ZONE' WITHIN 30 FEET SURROUNDING THE BUILDING:

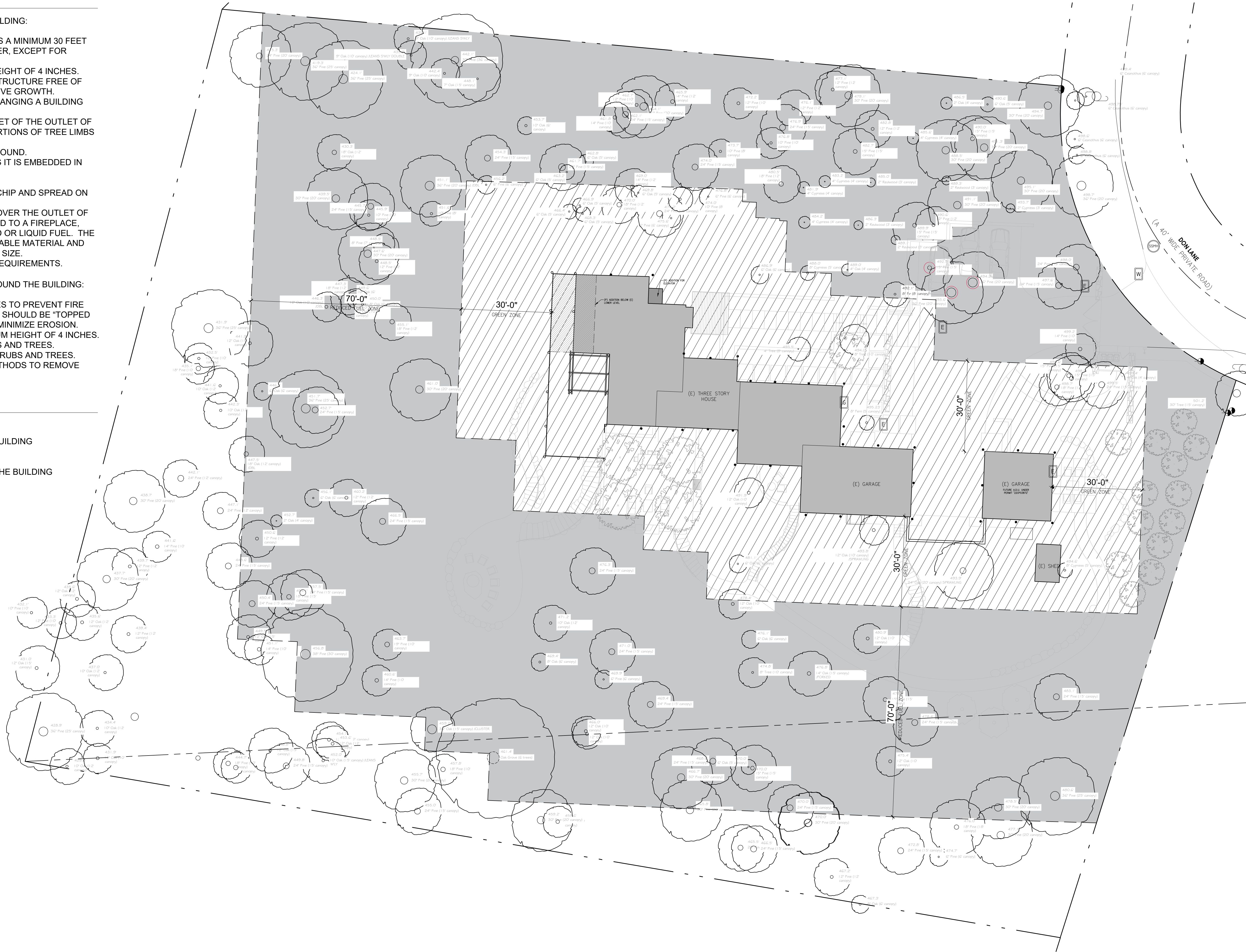
- CUT FLAMMABLE VEGETATION AROUND BUILDINGS A MINIMUM 30 FEET OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER, EXCEPT FOR LANDSCAPING, AS FOLLOWS:
 - CUT DRY AND DEAD GRASS TO A MAXIMUM HEIGHT OF 4 INCHES.
 - MAINTAIN THE ROOF AND GUTTERS OF THE STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.
 - MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD.
 - TRIM TREE LIMBS THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVE PIPE. O TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10 FEET FROM THE GROUND.
 - REMOVE ALL LIMBS WITHIN 6 FEET OF THE GROUND.
 - REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL.
 - REMOVE ALL CUT MATERIAL FROM THE AREA.
- REMOVE ALL CUT MATERIAL FROM THE AREA OR CHIP AND SPREAD ON SITE.
- PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL AND OPENINGS OF NOT MORE THAN ONE-HALF INCH IN SIZE.
- POST HOUSE NUMBERS PER FIRE DEPARTMENT REQUIREMENTS.

'REDUCED FUEL ZONE' BETWEEN 30 AND 100 FEET AROUND THE BUILDING:

- CUT PLANTS AND GRASS BENEATH TREE CANOPIES TO PREVENT FIRE FROM SPREADING TO THE TREES. THESE PLANTS SHOULD BE "TOPPED OFF" LEAVING THE ROOT STRUCTURE INTACT TO MINIMIZE EROSION.
- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS AND TREES.
- CREATE VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
- DO NOT USE HERBICIDE OR OTHER CHEMICAL METHODS TO REMOVE VEGETATION.

FUEL MANAGEMENT LEGEND

-  'GREEN ZONE' WITHIN 30 FEET SURROUNDING THE BUILDING
-  'REDUCED FUEL ZONE' BETWEEN 30 AND 100 FEET AROUND THE BUILDING



1 FUEL MANAGEMENT PLAN
SCALE: 1/16" = 1'-0"

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REVISIONS	DATE

ARCHITECTURAL

FUEL
MANAGEMENT
PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

G1.3

05/02/2025

Map Legend:

Basis of Bearings: The bearing of North 87° 15' 13" East as shown on X3 Surveys 24 and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.

Site Benchmark: Control Point 1 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown hereon. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

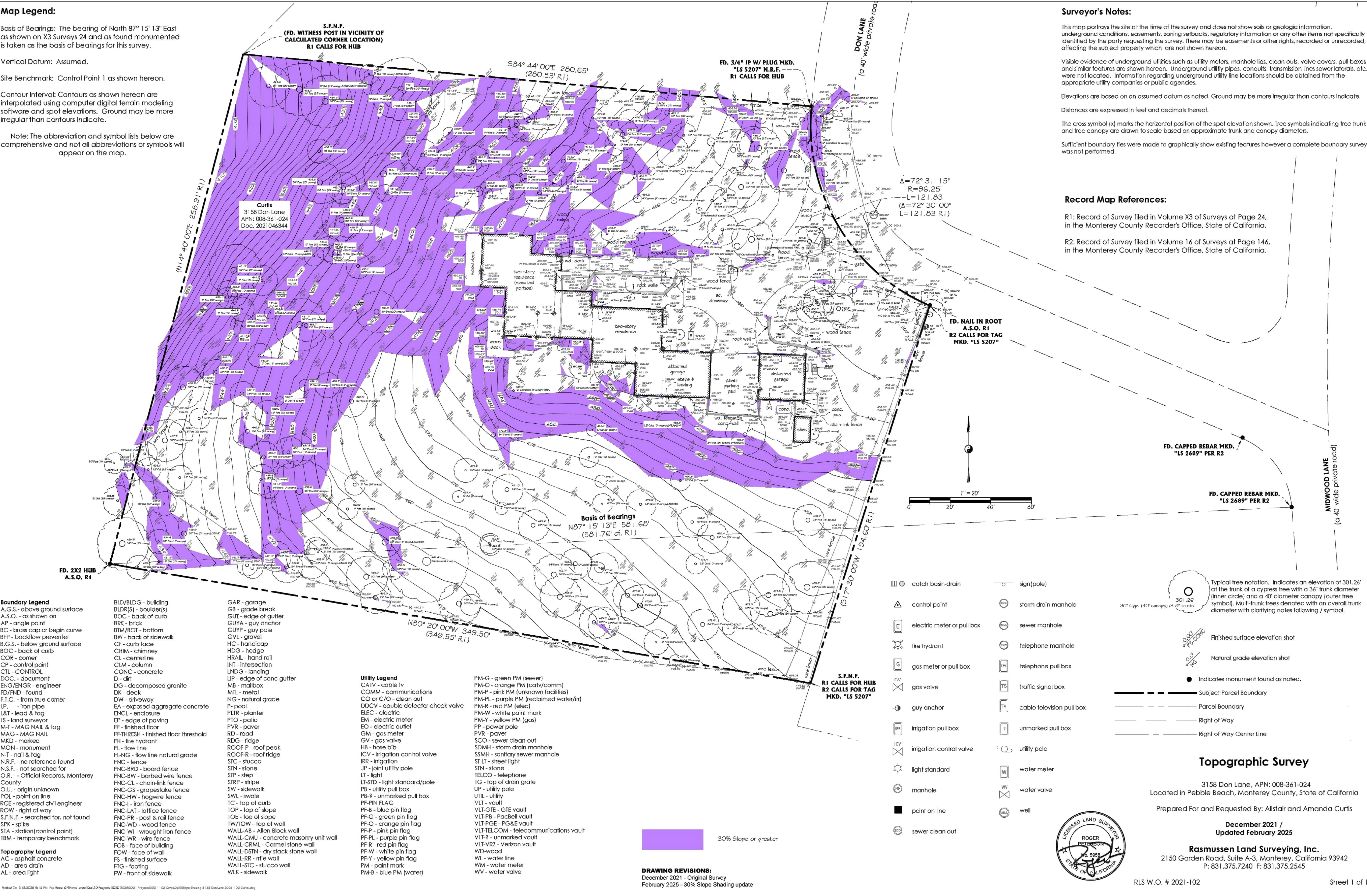
The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating tree trunk and tree canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

Record Map References:

R1: Record of Survey filed in Volume X3 of Surveys at Page 24, in the Monterey County Recorder's Office, State of California.

R2: Record of Survey filed in Volume 16 of Surveys at Page 146, in the Monterey County Recorder's Office, State of California.



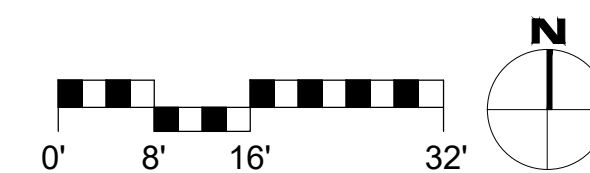
 TREE TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION.

(1) 15" PINE TREE
 (2) 36" PINE TREES
 (3) PINE TREES TOTAL

 SLOPES 30% OR GREATER

1

SCALE: 1/16" = 1'-0"



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EMAIL: SAMUELPTNICK@GMAIL.COM

REVISIONS	DATE

ARCHITECTURA

PROPOSED SITE PLAN

Scale: SEE DWG.

Drawn By: SBP

Job: -

A1.0

05/02/2025

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Caliber LED Outdoor Wall Sconce
By dweLED



Product Options

Finish: Black , Bronze , Brushed Aluminum , White
Size: One-Way Light , Two-Way Light

Details

- Construction, Aluminum hardware with lens diffuser
- Weather-resistant powder coated finish
- Driver concealed within the fixture
- ELV dimming, 100% to 10%
- Material: Aluminum
- Dimmable When Used With a Electronic low voltage (ELV) dimmer Dimmer (Not Included)
- Dimmer Range: 100 - 10%
- ADA compliant
- ETL Listed Wet
- Warranty: 5 Year Functional, 2 Year Finish
- Made In China

Dimensions

One-Way Light Option Fixture: Width 4.5", Height 10", Depth 4", Diameter 3"
One-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"
Two-Way Light Option Fixture: Width 4.5", Height 14", Depth 4", Diameter 3"
Two-Way Light Option Wall Plate: Width 4.5", Height 5.5", Depth 0.5"

Lighting

- One-Way Light Option: 11 Watt (735 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 72000 hours
- Two-Way Light Option: 21 Watt (1500 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 72000 hours

Additional Details

Product URL:
<https://www.lumens.com/caliber-led-outdoor-wall-sconce-by-dweled-DWEP154866.html>
Rating: ETL Listed Wet

Product ID: DWEP154866

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:



Created November 18th, 2020



Notes:



Lightology

Cylinder Adjustable Double Outdoor Wall Light
SPEC #

WAC1206436



BRAND

WAC Lighting

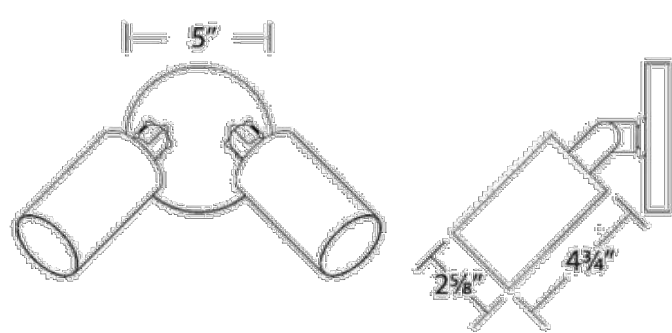
DESCRIPTION

The Cylinder Adjustable Double Outdoor Wall Light provides bright, energy-efficient spot lighting from its sleek, cylindrical housings. The adjustable cylinders house integrated LED light sources with TIR reflectors, and they can be aimed independtly with its grooved swivel joint. Can be mounted on wall or ceiling. Dimmable 100% to 10% with ELV dimmers.



Shown in: Bronze

SHADE COLOR	N/A
BODY FINISH	Bronze
WATTAGE	33W
DIMMER	Low Voltage Electronic
DIMENSIONS	5"W x 5"H x 5"D
INTEGRATED LED MODULE	
LAMP	2 x LED/6.5W/120V LED
Technical Information	
LUMINOUS FLUX	2170 lumens
LUMENS/WATT	131.52
LAMP COLOR	3000K
COLOR RENDERING	90 CRI
SPEC #	WAC1206436



COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE
LIGHTOLOGY.COM RUSHQUOTES@LIGHTOLOGY.COM				Oct 03, 2024 1.866.954.4489

2

PROPOSED EXTERIOR WALL SCONCE @ BACK DECK
SCALE: N.T.S.

Lightology

Alumilux Line Linear Outdoor Wall Sconce
SPEC #

ET21072450



BRAND

Et2

DESCRIPTION

The Alumilux Line 120V Outdoor Wall Sconce is a linear sconce featuring aluminum construction and indirect lighting. Can be mounted in a vertical or horizontal position.



Shown in: Bronze

SHADE COLOR	N/A
BODY FINISH	Bronze
WATTAGE	13W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5"W x 24"H x 2.25"D
INTEGRATED LED MODULE	
LAMP	2 x LED/6.5W/120V LED
Technical Information	
LUMINOUS FLUX	1040 lumens
LUMENS/WATT	160.00
LAMP COLOR	3000K
COLOR RENDERING	90 CRI
SPEC #	ET21072450

COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE
LIGHTOLOGY.COM RUSHQUOTES@LIGHTOLOGY.COM				Sep 25, 2024 1.866.954.4489

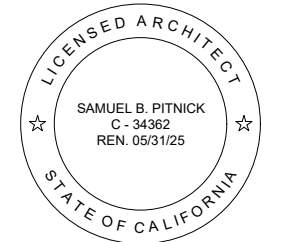
1

PROPOSED EXTERIOR WALL SCONCE @ ENTRY
SCALE: N.T.S.

3

PROPOSED EXTERIOR WALL SCONCE @ EXT. SIDE DOORS
SCALE: N.T.S.

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3158 DON LANE
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REVISIONS	DATE

ARCHITECTURAL

PROPOSED
SITE LIGHTING

Scale: SEE DWG.

Drawn By: SBP

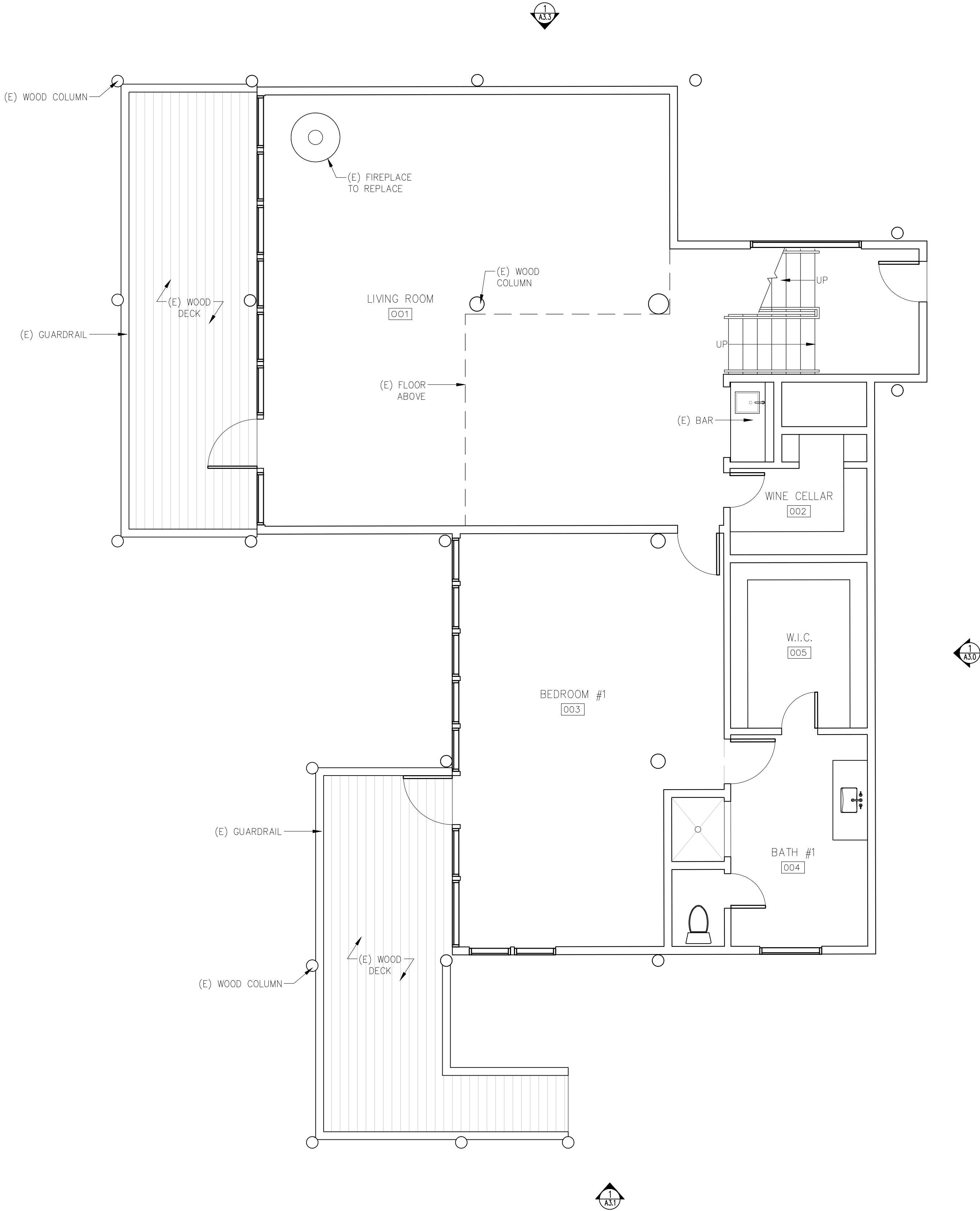
Job: -

A1.1

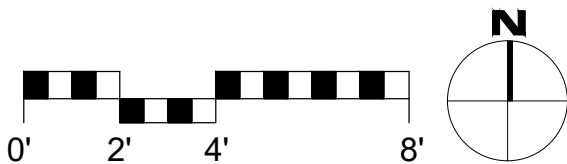
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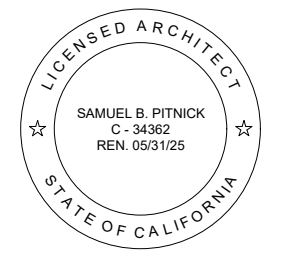
- WALL TYPE LEGEND:
- (E) WALL TO REMAIN
 - (E) WALL TO REMOVE
 - (P) WALL



1 EXISTING LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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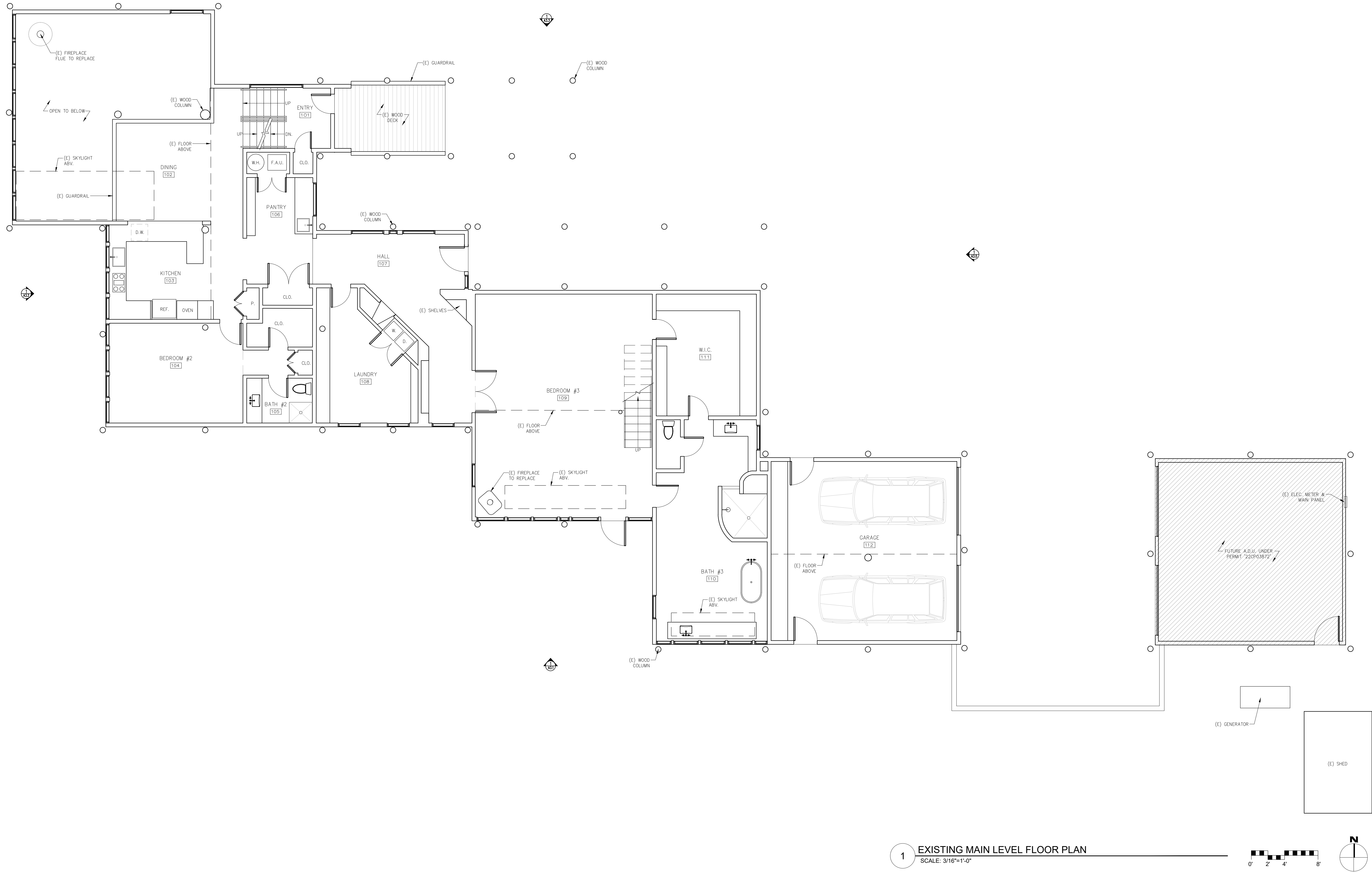
REVISIONS	DATE

ARCHITECTURAL
EXISTING
LOWER LEVEL
FLOOR PLAN
Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.0

02/28/2025

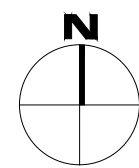
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- WALL TYPE LEGEND:
- (E) WALL TO REMAIN
 - (E) WALL TO REMOVE
 - (P) WALL

1 EXISTING MAIN LEVEL FLOOR PLAN
SCALE: 3/16"=1'-0"

0' 2' 4' 8'



REVISIONS	DATE

ARCHITECTURAL

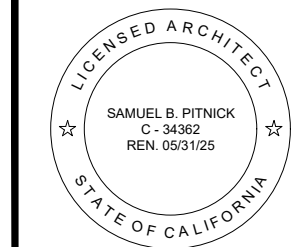
EXISTING
MAIN LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.1

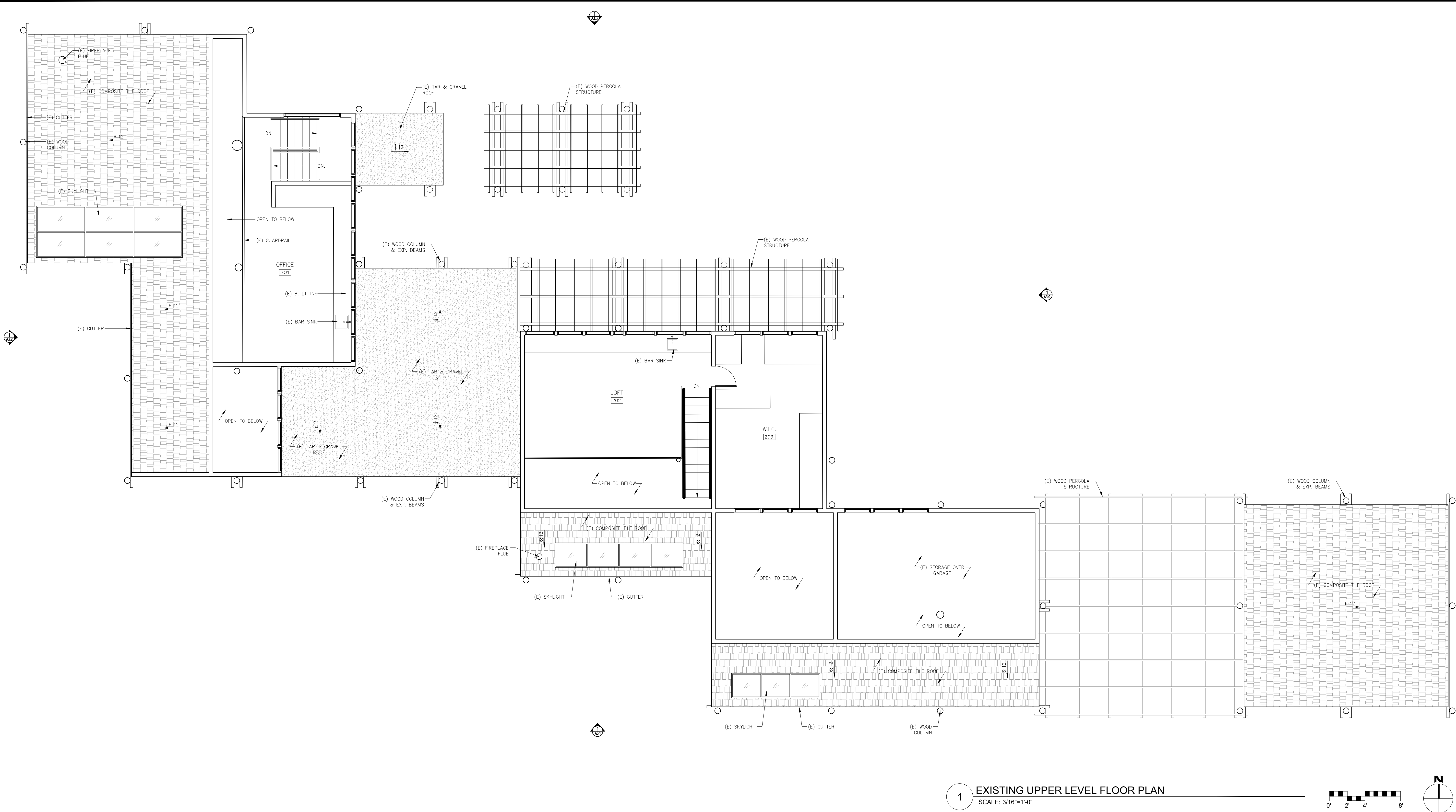
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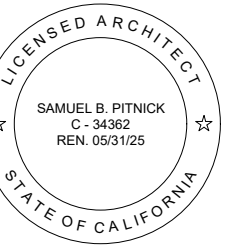
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WALL TYPE LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO REMOVE
- (P) WALL

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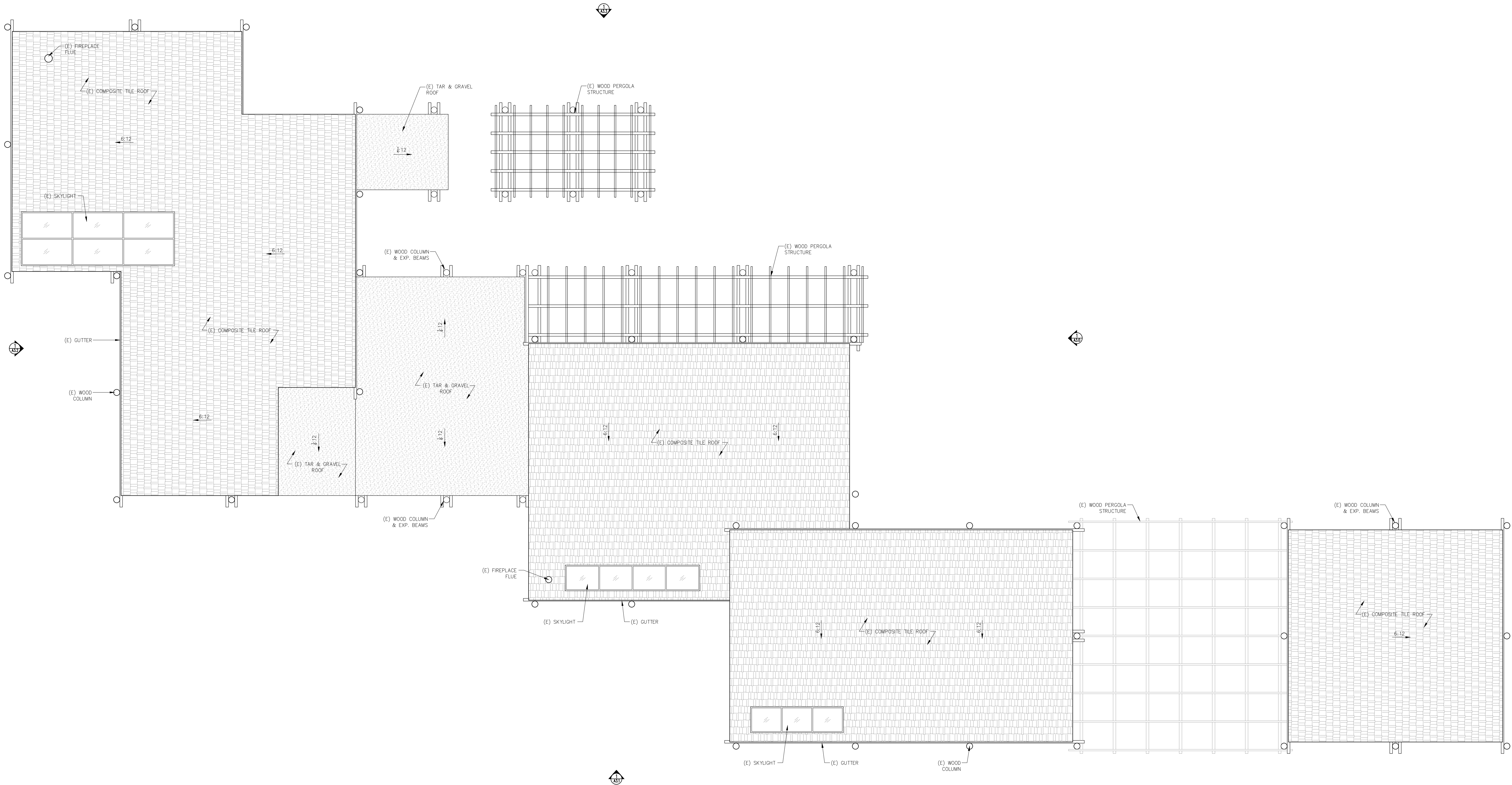
EXISTING
UPPER LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.2

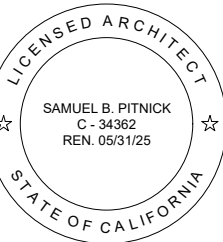
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1 EXISTING ROOF PLAN
SCALE: 3/16"=1'-0"

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ARCHITECTURAL
EXISTING
ROOF PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.3

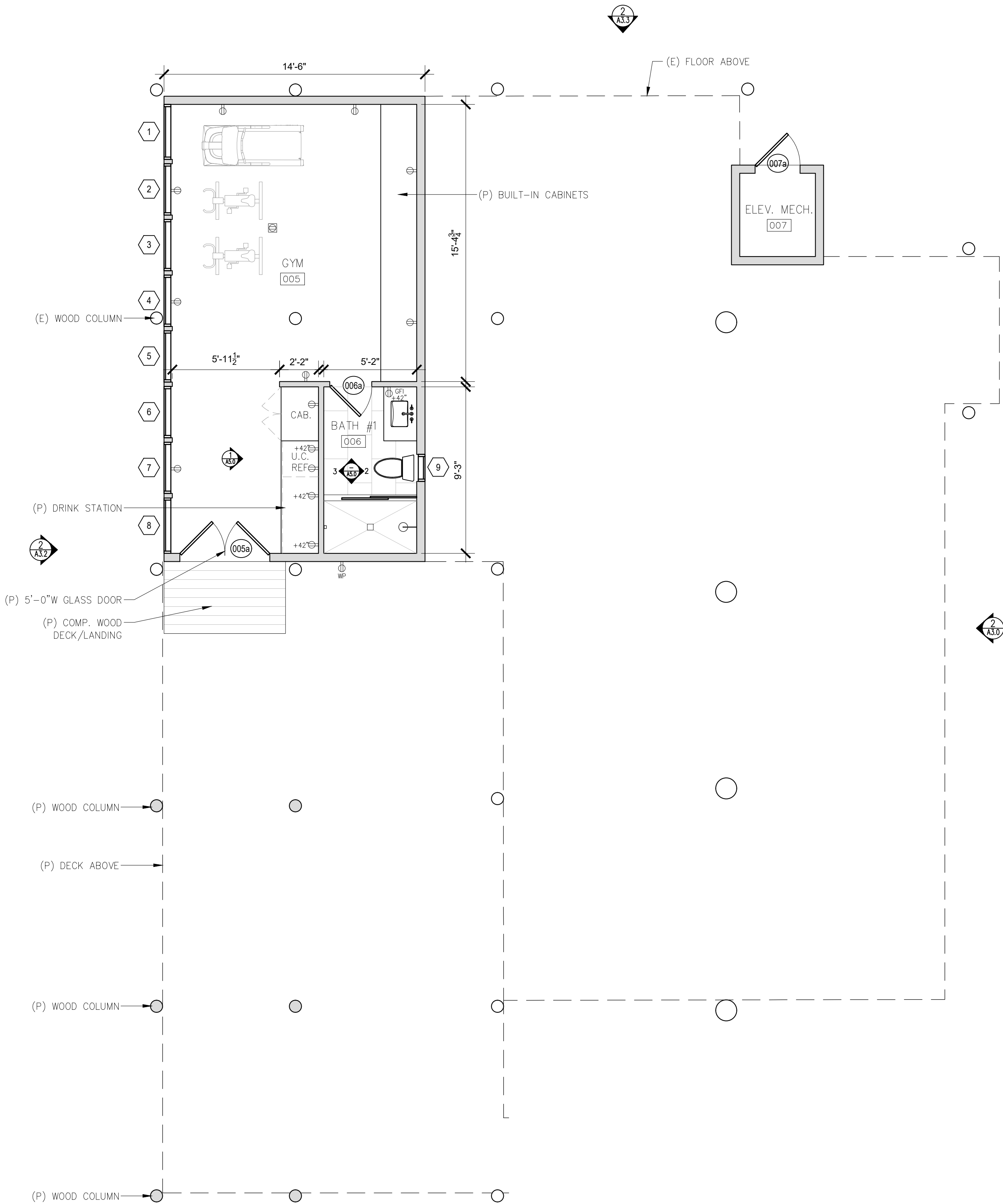
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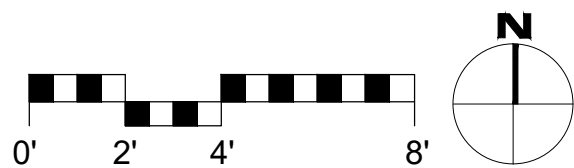
WALL TYPE LEGEND:
—— (E) WALL TO REMAIN
- - - (E) WALL TO REMOVE
= = = (P) WALL

FLOOR PLAN SYMBOLS LEGEND

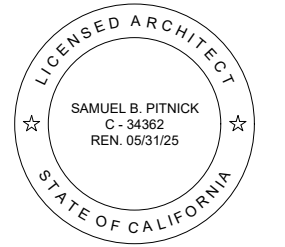
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
- TAMPER RESISTANT QUAD OUTLET
- 220V TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
- TAMPER RESISTANT FLOOR OUTLET
- GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
- HOSE BIBB W/ ANTI-SIPHON DEVICE
- THERMOSTATIC CONTROL FOR HEATING SYSTEM



1 PROPOSED GYM LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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PROPOSED GYM LEVEL FLOOR PLAN
Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.4

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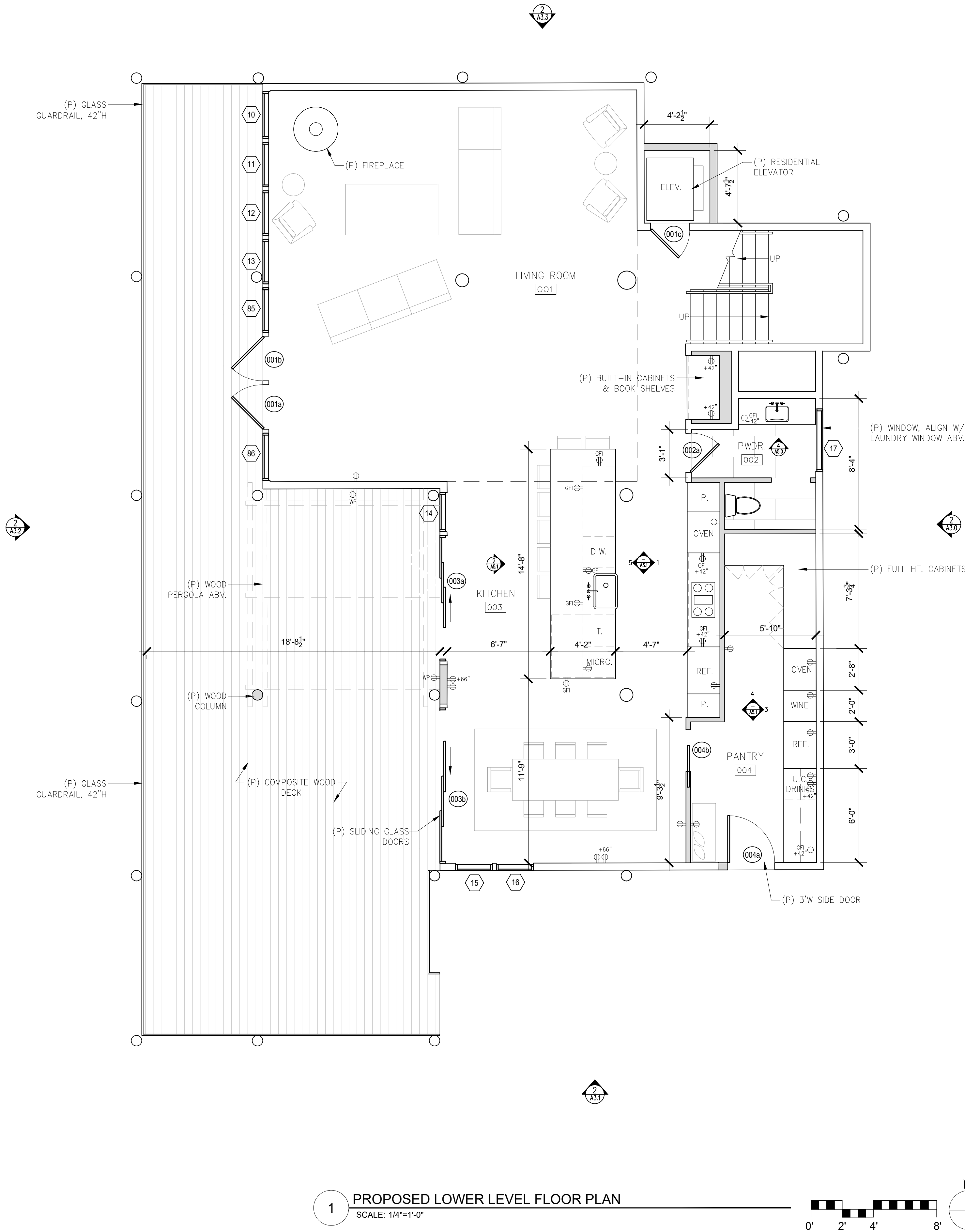
WALL TYPE LEGEND:

(E) WALL TO REMAIN

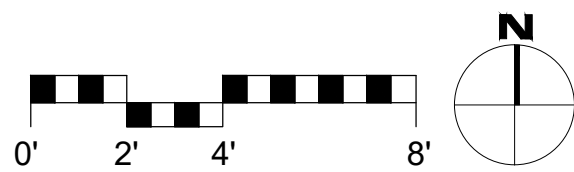
(E) WALL TO REMOVE

(P) WALL

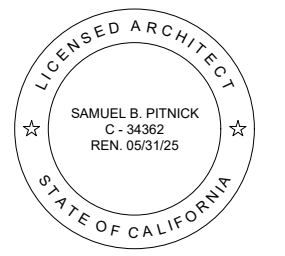
- FLOOR PLAN SYMBOLS LEGEND
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
- TAMPER RESISTANT QUAD OUTLET
- 220V TAMPER RESISTANT DUPLEX OUTLET
- TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
- GROUND FAULT CIRCUIT INTERRUPT OUTLET
- WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
- TAMPER RESISTANT FLOOR OUTLET
- GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
- HOSE BIBB W/ ANTI-SIPHON DEVICE
- THERMOSTATIC CONTROL FOR HEATING SYSTEM



1 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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PROPOSED
LOWER LEVEL
FLOOR PLAN

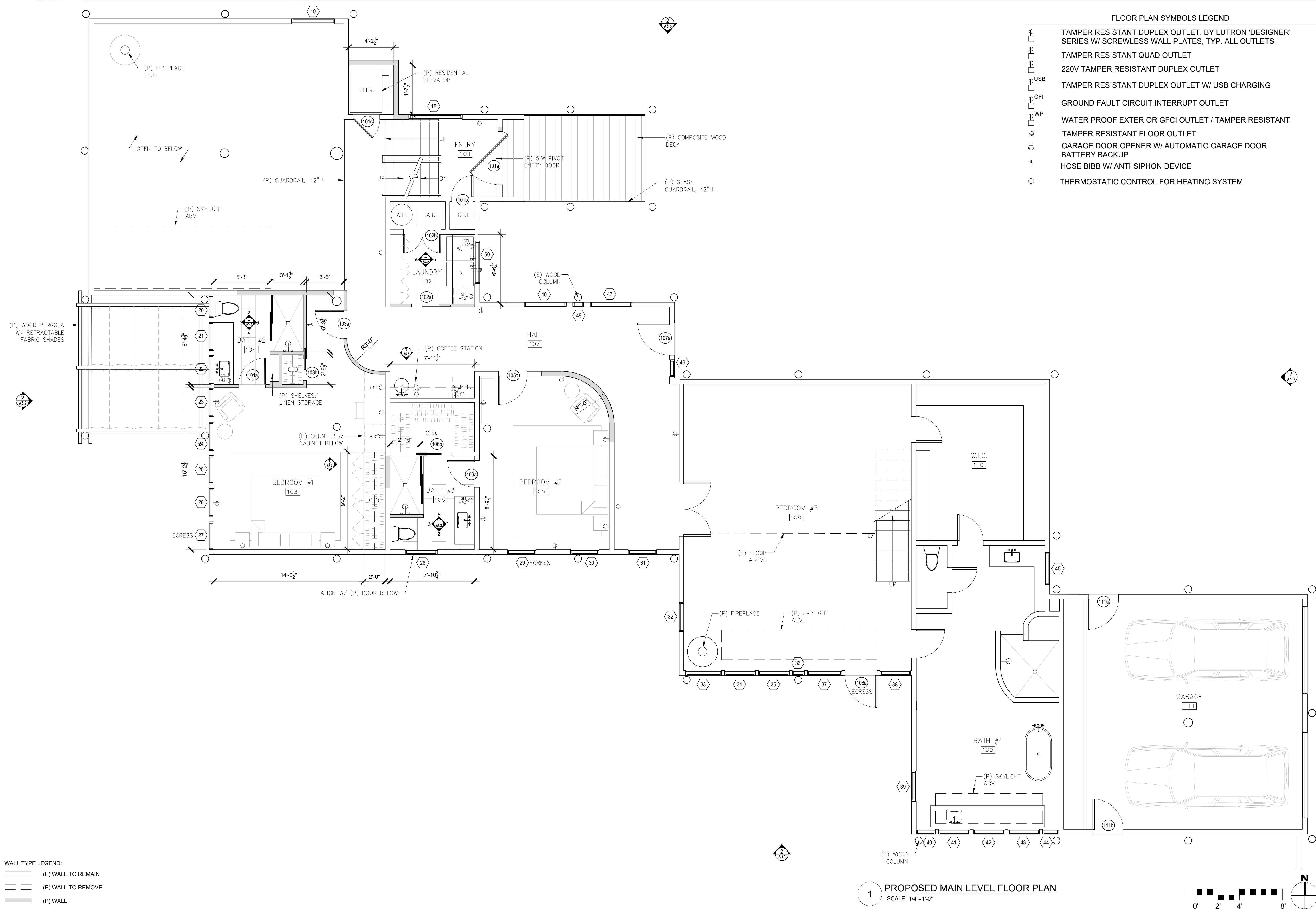
Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.5

02/28/2025

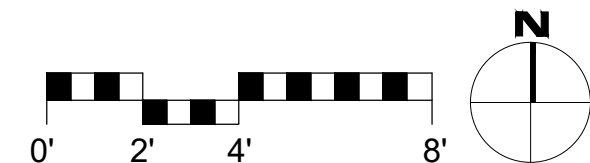
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- WALL TYPE LEGEND:
- (E) WALL TO REMAIN
 - (E) WALL TO REMOVE
 - (P) WALL



- FLOOR PLAN SYMBOLS LEGEND
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
 - TAMPER RESISTANT QUAD OUTLET
 - 220V TAMPER RESISTANT DUPLEX OUTLET
 - TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
 - GROUND FAULT CIRCUIT INTERRUPT OUTLET
 - WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
 - TAMPER RESISTANT FLOOR OUTLET
 - GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
 - HOSE BIBB W/ ANTI-SIPHON DEVICE
 - THERMOSTATIC CONTROL FOR HEATING SYSTEM

1 PROPOSED MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



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PROPOSED
MAIN LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.6

02/28/2025

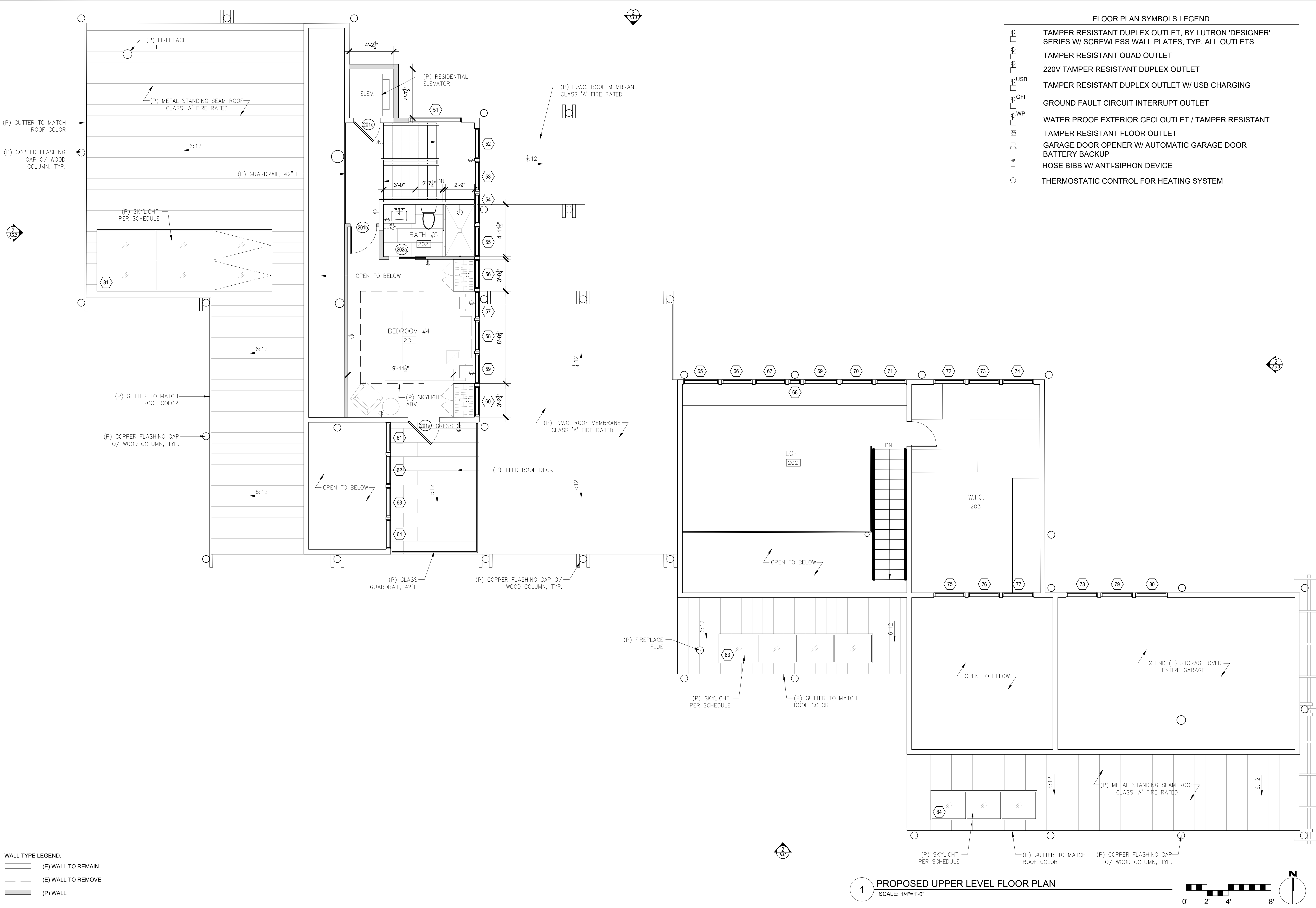
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WALL TYPE LEGEND:

(E) WALL TO REMAIN

(E) WALL TO REMOVE

(P) WALL

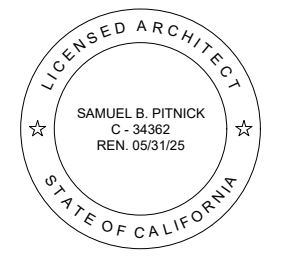


1 PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



- FLOOR PLAN SYMBOLS LEGEND
- TAMPER RESISTANT DUPLEX OUTLET, BY LUTRON 'DESIGNER' SERIES W/ SCREWLESS WALL PLATES, TYP. ALL OUTLETS
 - TAMPER RESISTANT QUAD OUTLET
 - 220V TAMPER RESISTANT DUPLEX OUTLET
 - TAMPER RESISTANT DUPLEX OUTLET W/ USB CHARGING
 - GROUND FAULT CIRCUIT INTERRUPT OUTLET
 - WATER PROOF EXTERIOR GFCI OUTLET / TAMPER RESISTANT
 - TAMPER RESISTANT FLOOR OUTLET
 - GARAGE DOOR OPENER W/ AUTOMATIC GARAGE DOOR BATTERY BACKUP
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REVISIONS DATE

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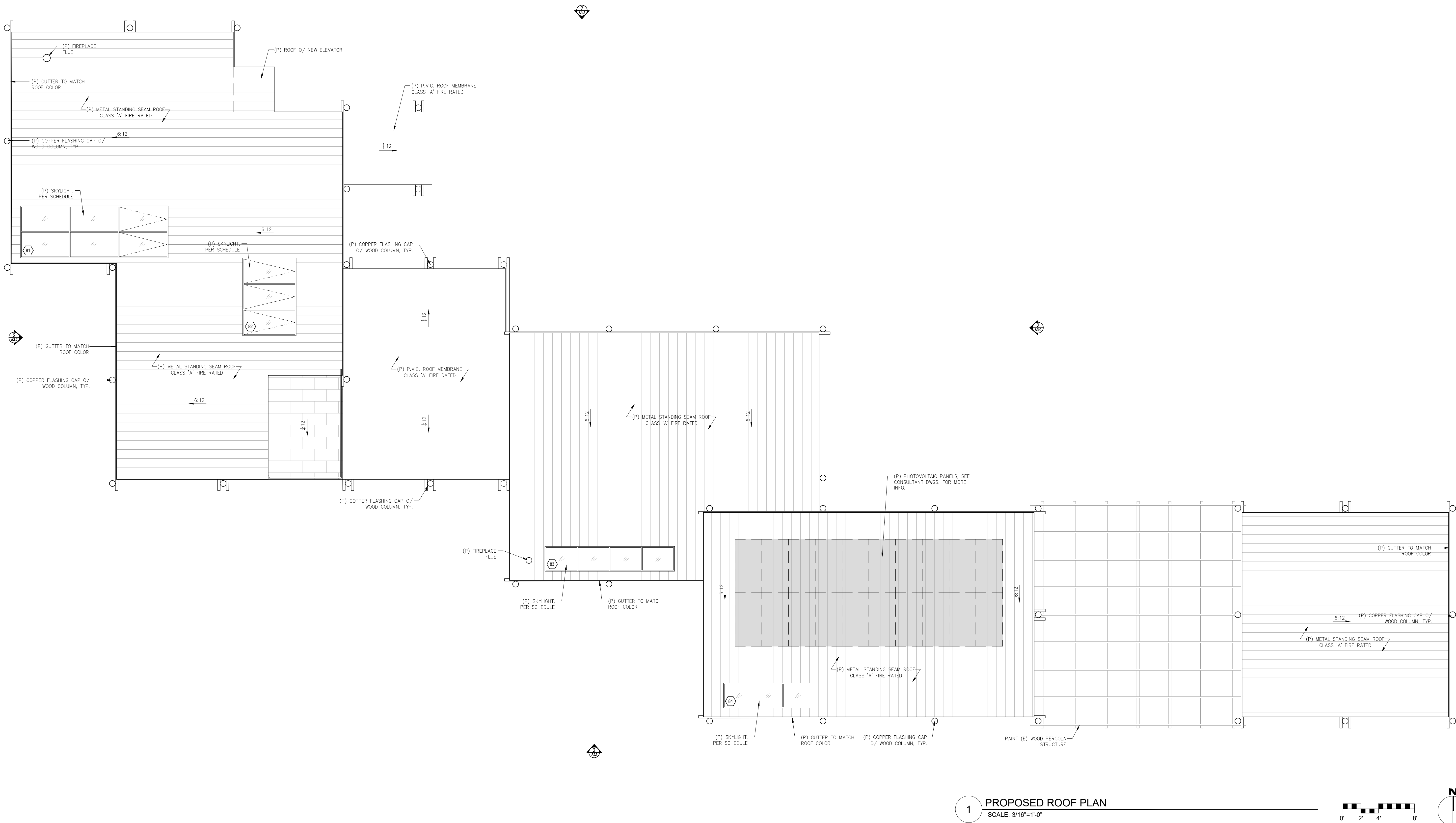
PROPOSED
UPPER LEVEL
FLOOR PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

A2.7

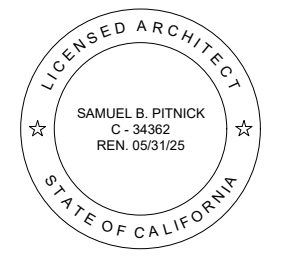
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1 PROPOSED ROOF PLAN
SCALE: 3/16"=1'-0"

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ARCHITECTURAL

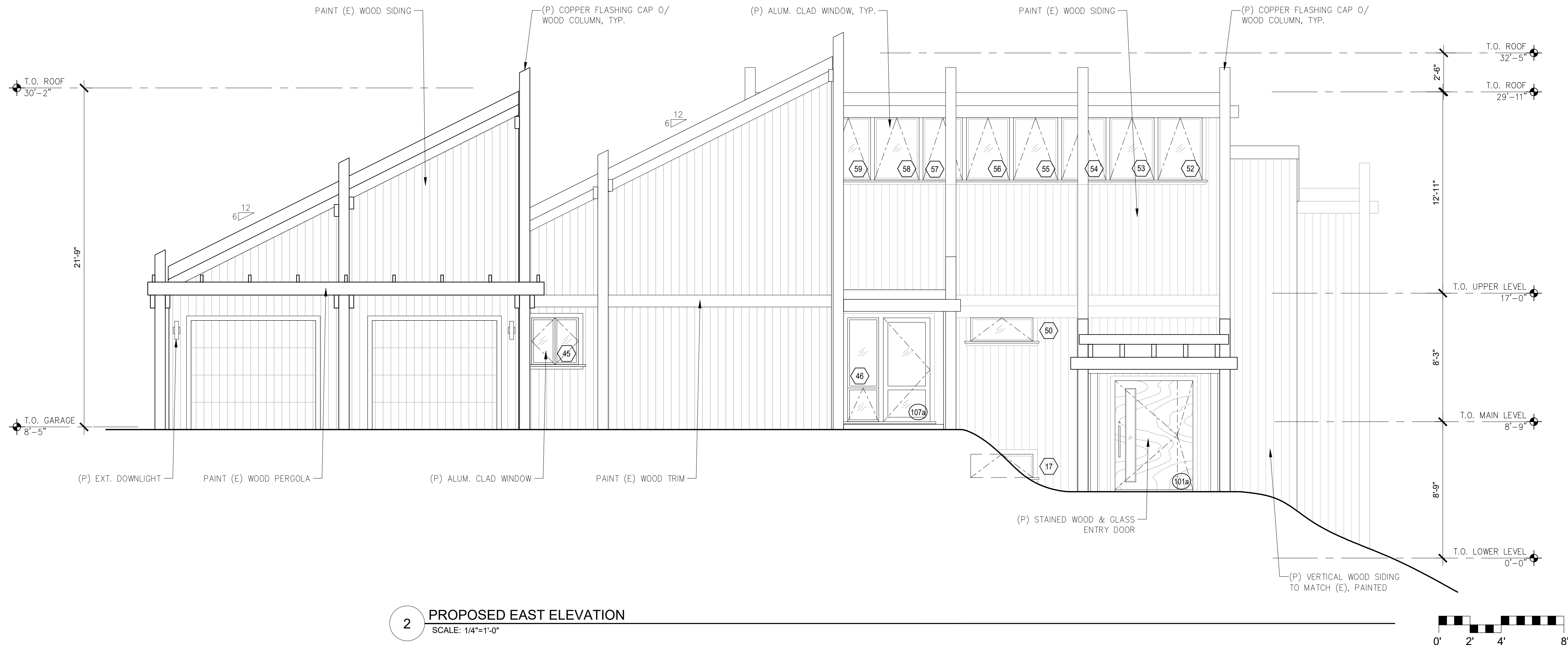
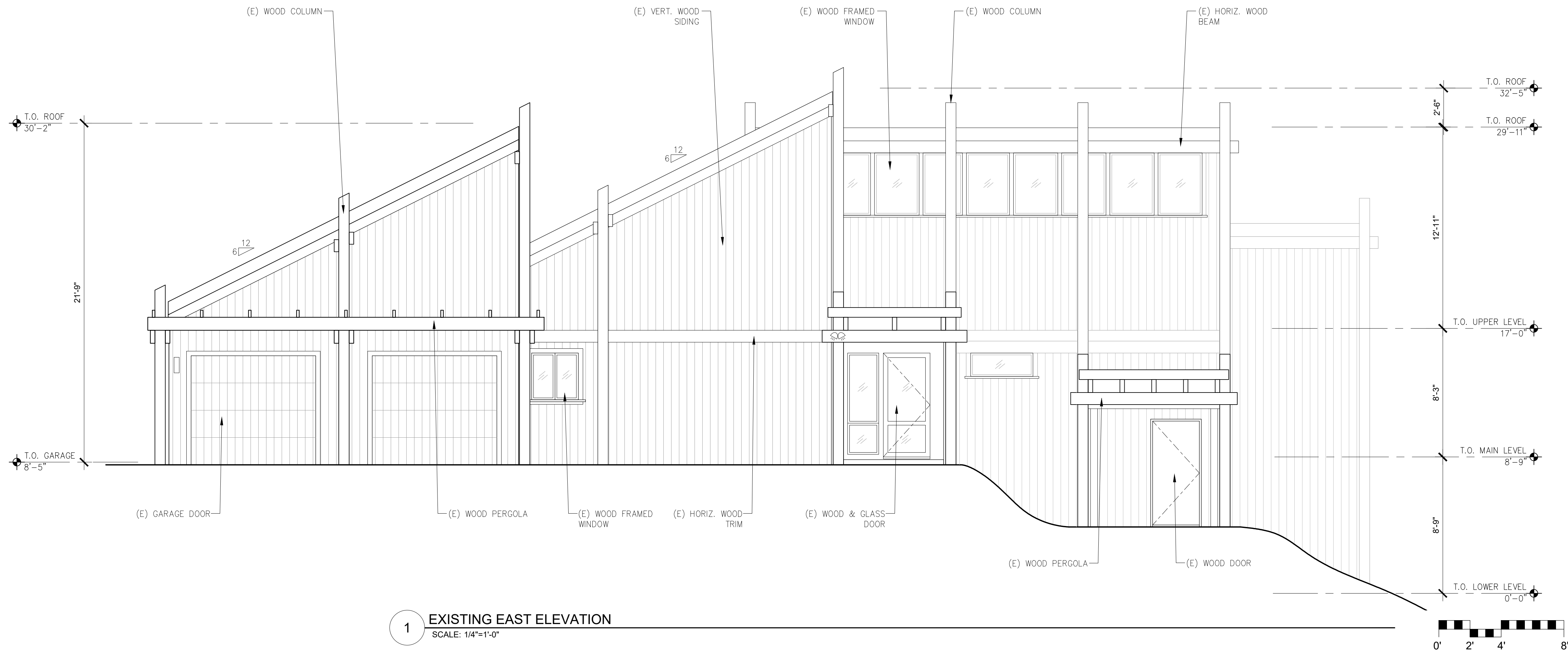
PROPOSED
ROOF
PLAN

Scale: SEE DWG.
Drawn By: SBP
Job: -

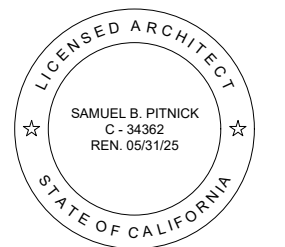
A2.8

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REVISIONS DATE

ARCHITECTURAL

**BUILDING
ELEVATIONS**

Scale: SEE DWG.
Drawn By: SBP
Job: -

A3.0

02/28/2025

Architectural elevation drawing of a building facade. The drawing includes the following labels and dimensions:

- Dimensions:**
 - 12'-11"
 - 2'-8"
 - 6'-5"
 - 8'-9"
- Level Markers:**
 - T.O. ROOF 32'-5"
 - T.O. ROOF 29'-11"
 - T.O. UPPER LEVEL 17'-0"
 - T.O. MAIN LEVEL 8'-9"
 - T.O. LOWER LEVEL 0'-0"
- Materials and Features:**
 - (E) WOOD COLUMN
 - (E) VERT. WOOD SIDING
 - (E) COMPOSITE TILE ROOF
 - (E) SKYLIGHT
 - (E) WOOD COLUMN
 - (E) WOOD PERGOLA
 - (E) GUARDRAIL
 - (E) VERTICAL WOOD SIDING
 - (E) WOOD FRAMED WINDOW
 - (E) WOOD COLUMN
 - (E) WOOD FRAMED WINDOW
 - (E) CONC. WALL
 - (E) EXT. LIGHT

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[illegible]

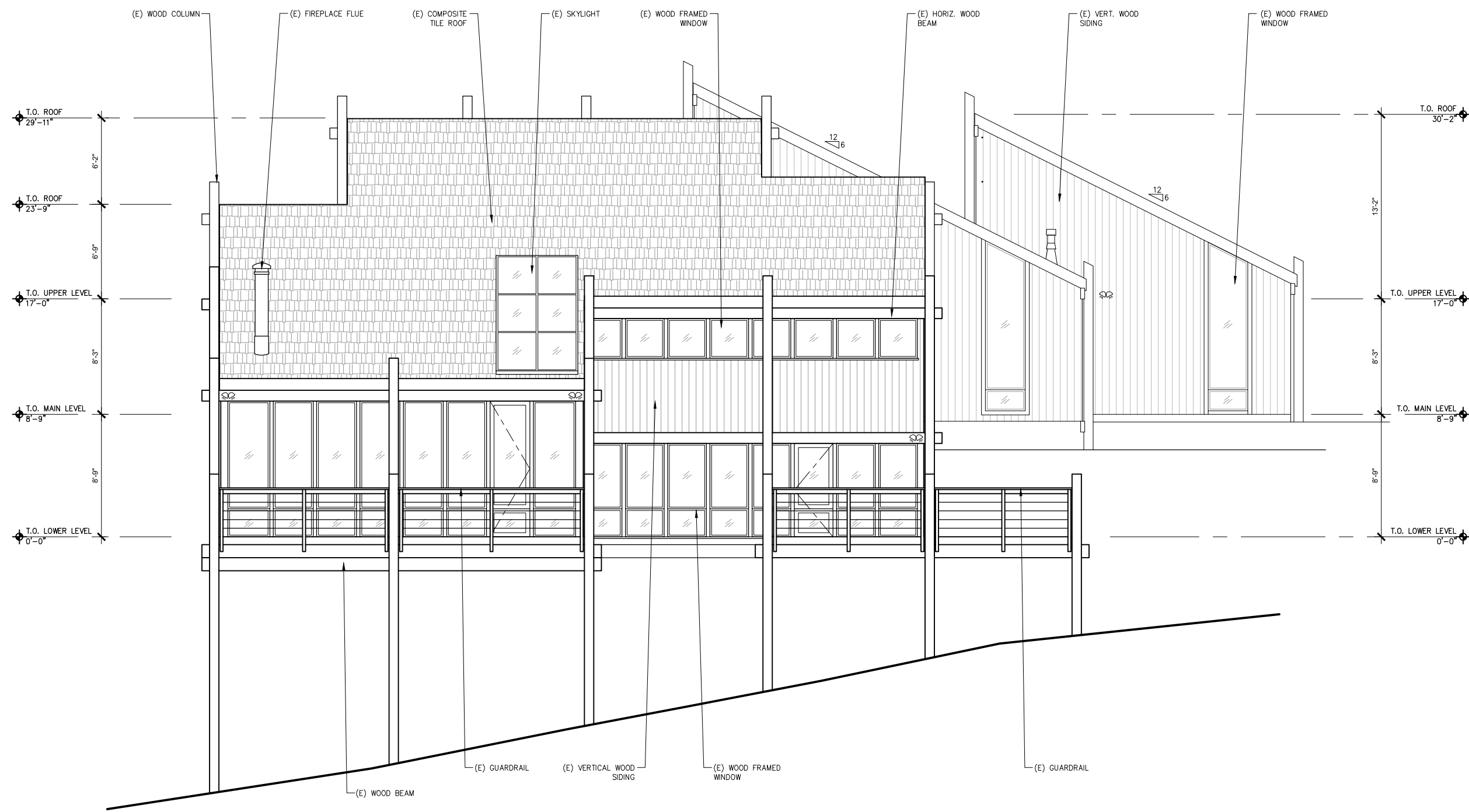
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Drawn By: SBP

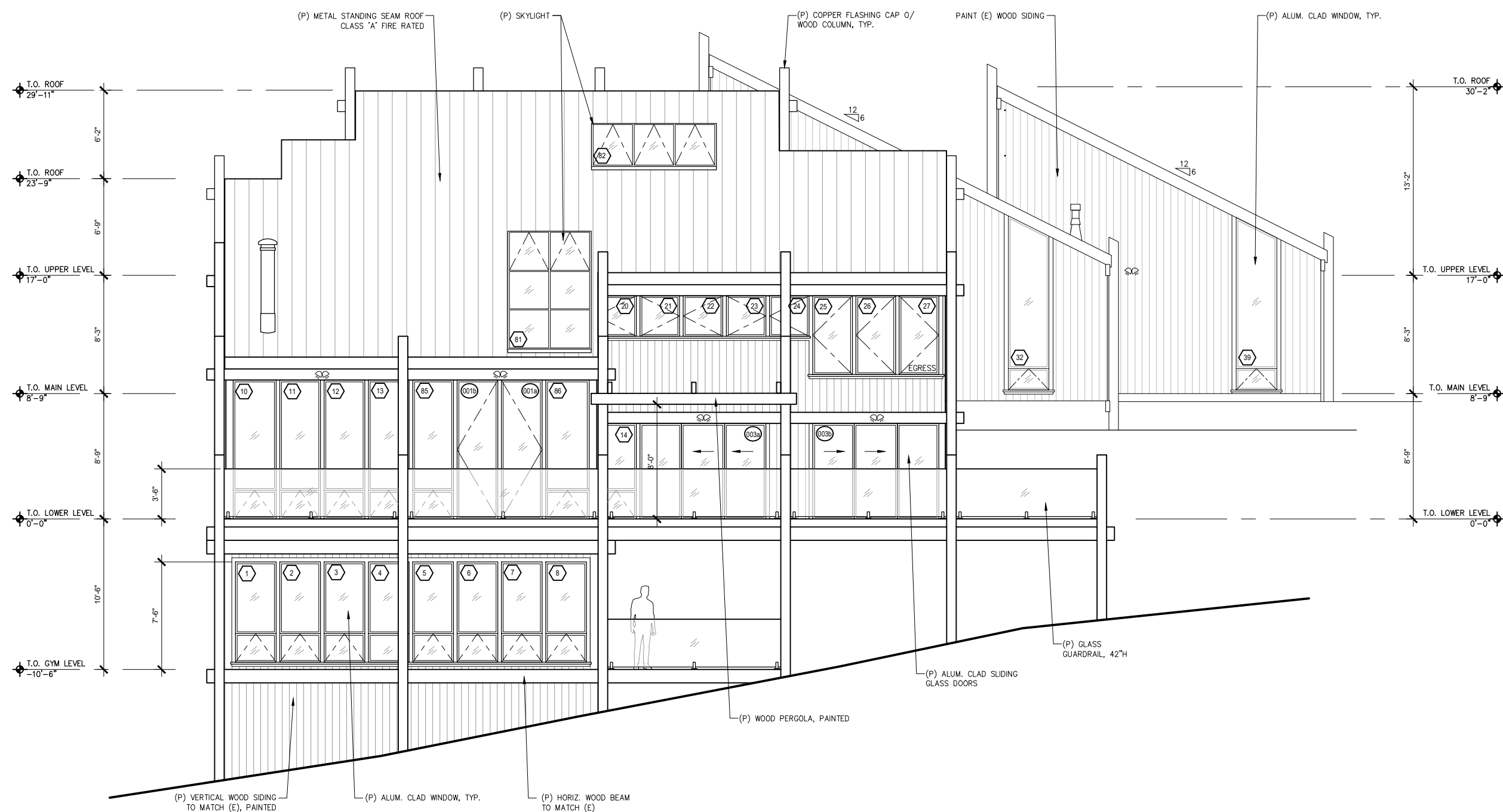
Job: -

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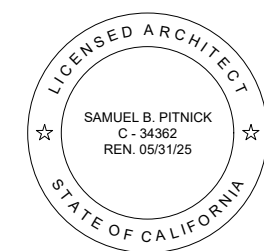


1 EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"

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REVISIONS	DATE

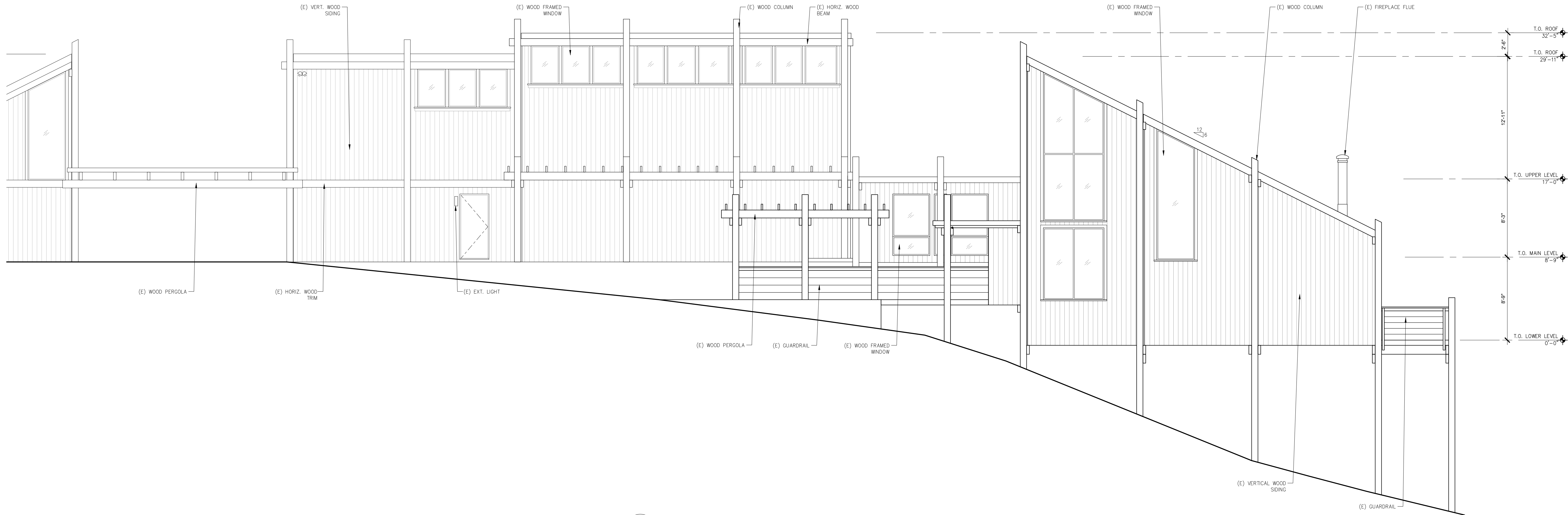
ARCHITECTURAL
BUILDING
ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

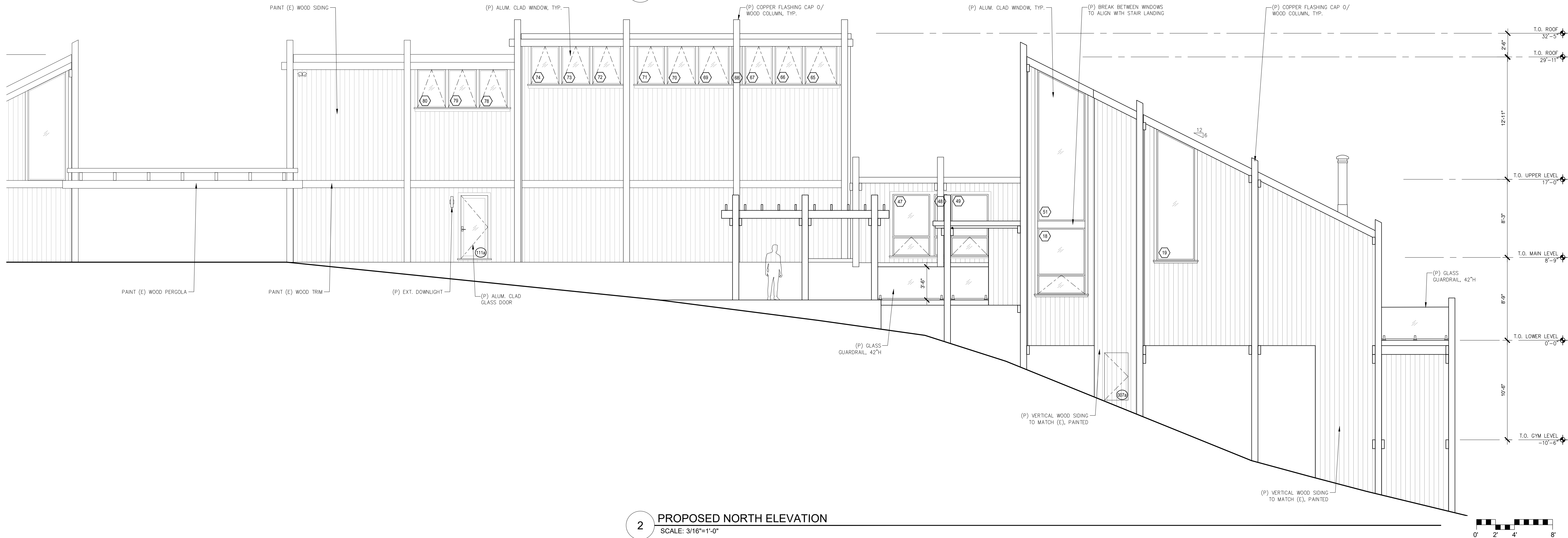
A3.2

02/28/2025

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

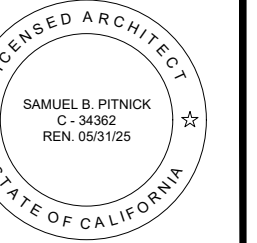


1 EXISTING NORTH ELEVATION
SCALE: 3/16"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 3/16"=1'-0"

CURTIS
RESIDENCE
3158 DON LANE
PEBBLE BEACH, CA
93953



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REVISIONS	DATE

ARCHITECTURAL
BUILDING
ELEVATIONS

Scale: SEE DWG.
Drawn By: SBP
Job: -

A3.3
02/28/2025

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WINDOW SCHEDULE (CONTINUED)							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
42	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
43	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
44	1'-8"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
45	3'-0"	3'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
46	2'-0"	6'-8"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
47	4'-0"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
48	1'-4"	6'-6"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
49	4'-0"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
50	4'-0"	1'-6"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
51	5'-0"	VARIES		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
52	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
53	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
54	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
55	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
56	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
57	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
58	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
59	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
60	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
61	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
62	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
63	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
64	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
65	3'-4"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
66	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
67	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
68	1'-2"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
69	3'-3"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
70	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
71	2'-10"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
72	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
73	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
74	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
75	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
76	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
77	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
78	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
79	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
80	3'-0"	4'-0"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
81	5'-10"	16'-6"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING, OPERABLE
82	8'-8"	6'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING, OPERABLE W/ BLACKOUT SHADES
83	14'-6"	3'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
84	10'-0"	3'-0"		GLASS	ALUM.	SKYLIGHT	TEMPERED GLAZING
85	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
86	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING

EXTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001a	2'-10"	9'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
001b	2'-10"	9'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
003a	8'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SLIDING	TEMPERED GLAZING
003b	9'-11"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SLIDING	TEMPERED GLAZING
004a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
005a	5'-0"	7'-6"	-	ALUM. CLAD/GLASS	ALUM. CLAD	FRENCH	TEMPERED GLAZING
007a	2'-8"	5'-0"	-	WOOD	WOOD	SWING	TO MATCH ADJ. SIDING
101a	5'-0"	7'-0"	-	WOOD/GLASS	WOOD	PIVOT	TEMPERED GLAZING
107a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING
108a	2'-6"	7'-10"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, EGRESS
111a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, OBSCURE
111b	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, OBSCURE
201a	3'-0"	6'-8"	-	ALUM. CLAD/GLASS	ALUM. CLAD	SWING	TEMPERED GLAZING, EGRESS

INTERIOR DOOR SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	DOOR MTL.	FRAME MTL.	TYPE	COMMENTS
001c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
002a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
004b	2'-8"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
006a	2'-4"	6'-8"	1.75"	WOOD	WOOD	SWING	
101b	2'-0"	6'-8"	1.75"	WOOD	WOOD	SWING	
101c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
102a	2'-8"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
102b	3'-6"	6'-8"	1.75"	WOOD	WOOD	FRENCH/CLOSET	
103a	2'-8"	6'-8"	1.75"	WOOD	WOOD	SWING	
103b	2'-0"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
104a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
105a	2'-8"	6'-8"	1.75"	WOOD	WOOD	SWING	
106a	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
106b	2'-4"	6'-8"	1.75"	WOOD	WOOD	POCKETING	
201b	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	
201c	2'-6"	6'-8"	1.75"	WOOD	WOOD	SWING	VERIFY SIZE W/ ELEV. MANUF.
202a	2'-6"	6'-8"	1.75"	WOOD	WOOD	POCKETING	

WINDOW SCHEDULE							
TAG	WIDTH	HEIGHT	THICK	WINDOW MTL.	FRAME MTL.	TYPE	COMMENTS
1	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
2	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
3	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
4	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
5	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
6	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
7	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
8	2'-10"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING, PROVIDE MOTORIZED SHADE
9	1'-6"	3'-0"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
10	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
11	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
12	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
13	2'-10"	9'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
14	2'-6"	6'-6"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
15	2'-4"	4'-8"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
16	2'-4"	4'-8"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
17	4'-0"	1'-6"		GLASS	ALUM. CLAD	AWNING	TEMPERED GLAZING
18	5'-0"	7'-0"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
19	4'-0"	VARIES		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING
20	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
21	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
22	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
23	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
24	2'-10"	2'-10"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
25	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
26	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
27	2'-10"	5'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING, EGRESS
28	3'-0"	4'-6"		GLASS	ALUM. CLAD	CASEMENT	TEMPERED GLAZING
29	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING, EGRESS
30	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING
31	2'-8"	6'-6"		GLASS	ALUM. CLAD	CASEMENT/AWNING	TEMPERED GLAZING
32	3'-0"	VARIES		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
33	3'-4"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
34	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
35	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
36	1'-2"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
37	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
38	2'-10"	7'-10"		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
39	3'-0"	VARIES		GLASS	ALUM. CLAD	FIXED/AWNING	TEMPERED GLAZING
40	1'-8"	7'-10"		GLASS	ALUM. CLAD	FIXED/FIXED	TEMPERED GLAZING
41	3'-0"	5'-0"		GLASS	ALUM. CLAD	FIXED	TEMPERED GLAZING

WINDOW & EXTERIOR DOOR NOTES

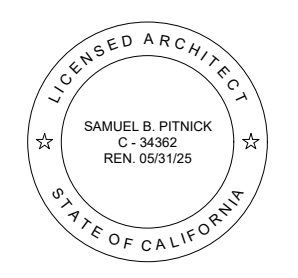
- WINDOWS & DOORS ARE BY 'KOLBE - VISTALUX' (OR APP'VD EQUAL)
GLAZING: DUAL GLAZING, ARGON GAS, LOWE2
EXTERIOR MTL: DARK BRONZE ALUM.
INTERIOR MTL: STAIN GRADE WOOD
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS & DOORS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH SCREENS.
- REQUIRED SAFETY GLAZING SHALL CONFIRM TO THE HUMAN IMPACT LOADS PER CRC SECTIONS R308.3 & R308.4.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET ; AND
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING; AND
(E) GLAZING IN ENCLOSURES FOR, OR WALLS FACING BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
(F) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOOR ASSEMBLIES.
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - ARGON FILLED WITH THERMAL SPACER
- MIN. U-VALUE & SGHC = PER TITLE 24 CALCULATIONS
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITIONRESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1- 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [§R327.8.3]

SKYLIGHT NOTES

- SKYLIGHTS ARE BY "VELUX" (OR APP'VD EQUAL)
- SKYLIGHTS SHALL HAVE SOLAR SHADING DEVICES INSTALLED.
- SKYLIGHTS SHALL USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES.
- SKYLIGHTS SHALL BE FLAT IN PROFILE.
- SKYLIGHT FLASHING SHALL MATCH THE ADJACENT ROOF COLOR.

CURTIS RESIDENCE

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REVISIONS	DATE

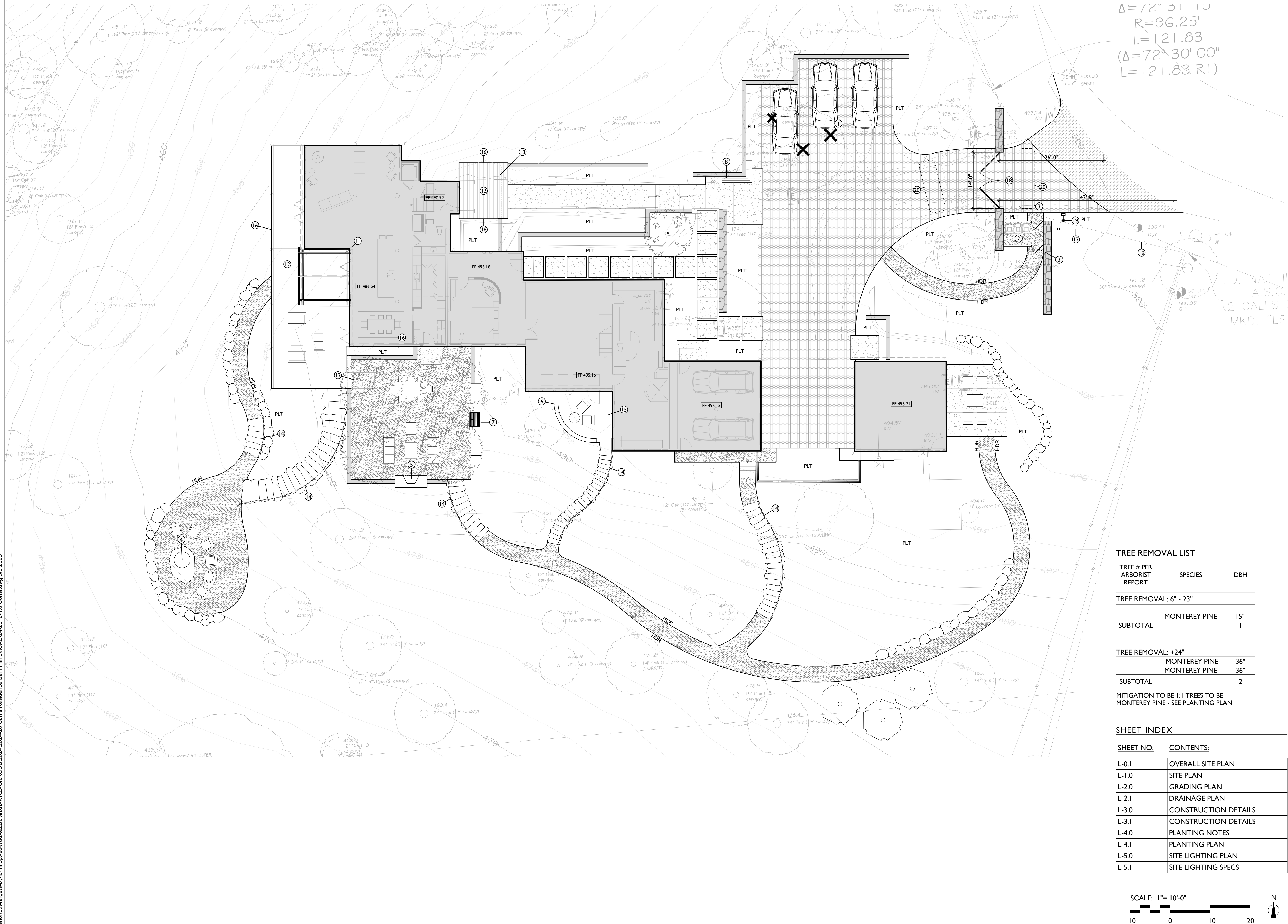
ARCHITECTURAL

DOOR & WINDOW SCHEDULES

Scale: SEE DWG.
Drawn By: SBP
Job: -

A4.0

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$\Delta = 72^\circ 31' 13''$
 $R = 96.25'$
 $L = 121.83$
 $(\Delta = 72^\circ 30' 00''$
 $L = 121.83 R1)$

TREE REMOVAL LIST		
TREE # PER ARBORIST REPORT	SPECIES	DBH
TREE REMOVAL: 6" - 23"		
SUBTOTAL		1
TREE REMOVAL: +24"		
SUBTOTAL		2
MITIGATION TO BE 1:1 TREES TO BE MONTEREY PINE - SEE PLANTING PLAN		

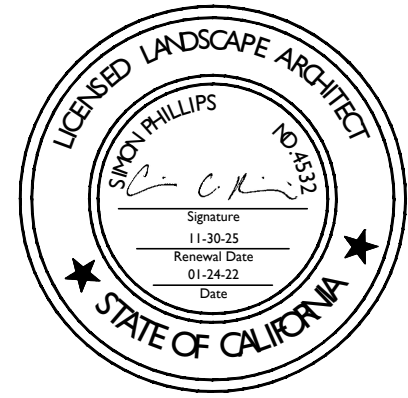
SHEET NO:	CONTENTS:
L-0.1	OVERALL SITE PLAN
L-1.0	SITE PLAN
L-2.0	GRADING PLAN
L-2.1	DRAINAGE PLAN
L-3.0	CONSTRUCTION DETAILS
L-3.1	CONSTRUCTION DETAILS
L-4.0	PLANTING NOTES
L-4.1	PLANTING PLAN
L-5.0	SITE LIGHTING PLAN
L-5.1	SITE LIGHTING SPECS

SCALE: 1"= 10'-0"



SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

CURTIS
RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-26

DATE: 05/06/2025

REVISIONS:

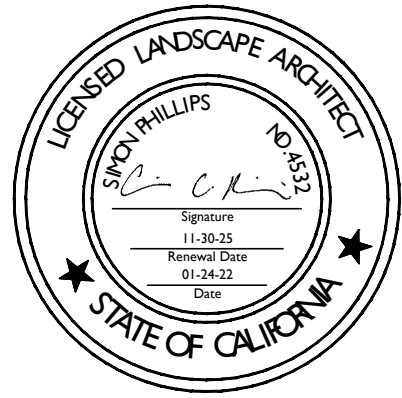
DATE DESCRIPTION

SHEET NAME:

OVERALL SITE
PLAN

SHEET NO:

L-0.1



PROJECT NAME:

CURTIS
RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-26
DATE: 05/06/2025

REVISIONS:

DATE	DESCRIPTION
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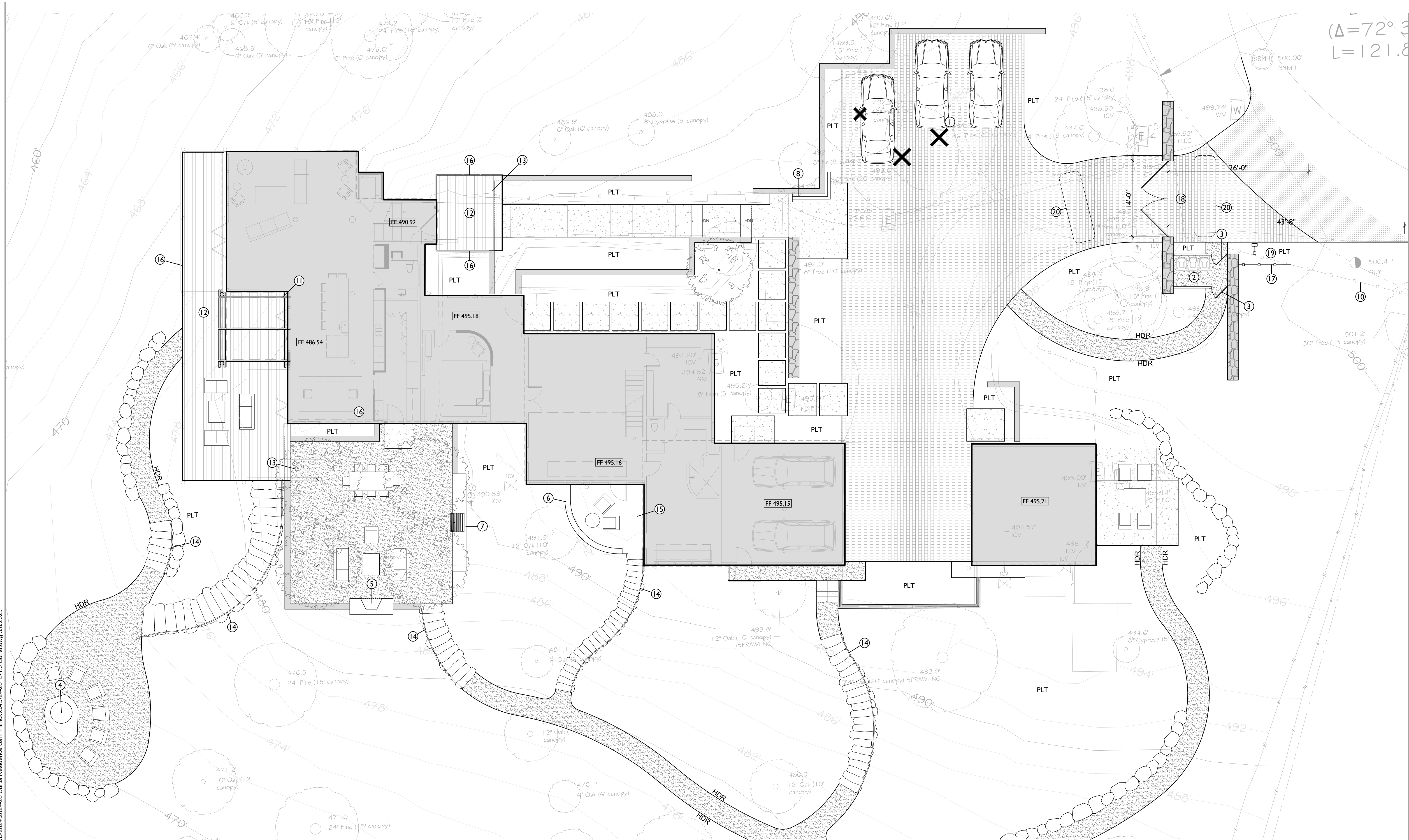
SHEET NAME:

SITE PLAN

SHEET NO:

L-1.0

($\Delta=72^\circ 3'$)
L=121.8'



REFERENCE NOTES

- GUEST PARKING
- TRASH ENCLOSURE
- PEDESTRIAN GATE: 6' HIGH. SEE 3/L-2.2
- GAS FIREPIT WITH AUTO IGNITER. SEE 1/L-3.1
- GAS FIREPLACE WITH AUTO IGNITER. SEE 1/L-3.1
- REPAIR EXISTING DRYSTACK STONE WALL AS NEEDED AND INFILL EXISTING STEPS WITH NEW WALL SECTION TO MATCH EXISTING.
- OUTDOOR KITCHEN WITH BBQ
- CANTILEVERED WOOD SEAT OFF STONE WALL
- INTENTIONALLY LEFT BLANK
- EXISTING FENCE: TO REMAIN
- WOOD TRELLIS: SEE ARCHITECTURAL DRAWINGS.
- WOOD DECK: SEE ARCHITECTURAL DRAWINGS.
- RETAINING WALL TO CONTINUE BELOW LEVEL OF DECK
- ORNAMENTAL HANDRAIL ON ONE SIDE OF STEPS
- EXISTING OPEN JOINT FLAGSTONE TERRACE: TO REMAIN
- GUARDRAIL AT EDGE OF DECK: SEE ARCHITECTURAL DRAWINGS.
- NEW 6' HIGH PROPERTY LINE FENCE TO MATCH EXISTING PROPERTY LINE FENCING
- NEW WOOD DRIVE GATE WITH AUTOMATIC GATE OPERATORS WITH BATTERY BACK-UPS: SEE 1/L-3.0
- GATE KEYPAD WITH KNOX BOX
- TRAFFIC LOOPS FOR DRIVE GATES AS NEEDED

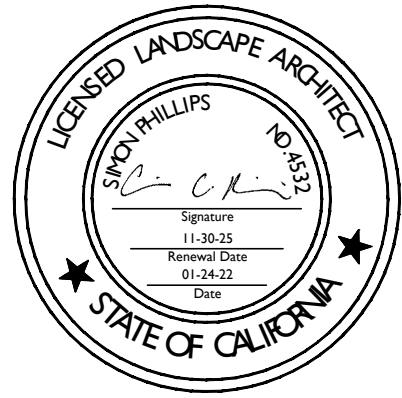
LEGEND

- | | | | |
|--|---|--|--|
| | ASPHALT PAVING: MATCH EXISTING ROAD SECTION. | | STONE STEPS |
| | PERMEABLE PAVER DRIVEWAY: SAND SET OVER 8" COMPACTED PERMEABLE CLASS II BASE. INSTALL PER MANUFACTURERS INSTRUCTIONS. | | STONE WALL: CMU WALL WITH STONE VENEER. STONE TYPE TO MATCH ARCHITECTURAL STONE. |
| | CONCRETE PAVING: INTEGRAL COLOR WITH LIGHT SAND FINISH - 4" THICK WITH #4 @ 16" O.C. OVER 6" COMPACTED CLASS II BASE. SEE GEOTECHNICAL REPORT - CONTRACTOR TO PREPARE SAMPLES FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW. | | POURED IN PLACE CONCRETE WALL WITH INTEGRAL COLOR AND BOARD FORM FINISH. CONTRACTOR TO PREPARE SAMPLES FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW. |
| | CRUSHED GRAVEL: FOR PEDESTRIAN AREAS - 2" OF 3/8" "CALIFORNIA GOLD" CRUSHED GRAVEL OVER 4" COMPACTED CLASS II PERMEABLE BASE COMPACTED SUBGRADE. | | BOULDER WALL |
| | WOOD DECK | | FENCE: 6' HIGH WOOD FENCING. |
| | CONCRETE STEPS: COLOR AND FINISH TO MATCH CONCRETE PAVING. | | METAL EDGE |
| | | | PLT PLANTING AREA |
| | | | EXISTING TREE: TO REMAIN, PRESERVE AND PROTECT. |
| | | | EXISTING TREE: TO BE REMOVED. |

SCALE: 1/8" = 1'-0"



N



PROJECT NAME:

CURTIS
RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT
SUBMITTAL

PROJECT NO: 2024-26
DATE: 05/06/2025

REVISIONS:

DATE	DESCRIPTION
------	-------------

SHEET NAME:

GRADING PLAN

SHEET NO:

L-2.0

($\Delta=7\%$)
L=12

LEGEND

- × 214.05 EXISTING ELEVATION
- + FS 0.00 SPOT ELEVATION
- FS FINISH SURFACE (PAVING OR DG)
- FG FINISH GRADE
- TW TOP OF WALL
- HP / LP HIGH POINT / LOW POINT
- VIF VERIFY IN FIELD
- WD WOOD DECK SURFACE ELEVATION: DECKS TO BE LEVEL
- 5.00% SLOPE
- ↻ FLUSH
- DESIGNATES SLOPES IN EXCESS OF 30%

REFERENCE NOTES

- ① ADJUST UTILITY BOX TO NEW FINISH GRADE - CONTRACTOR TO VERIFY IF BOX COULD BE RELOCATED.

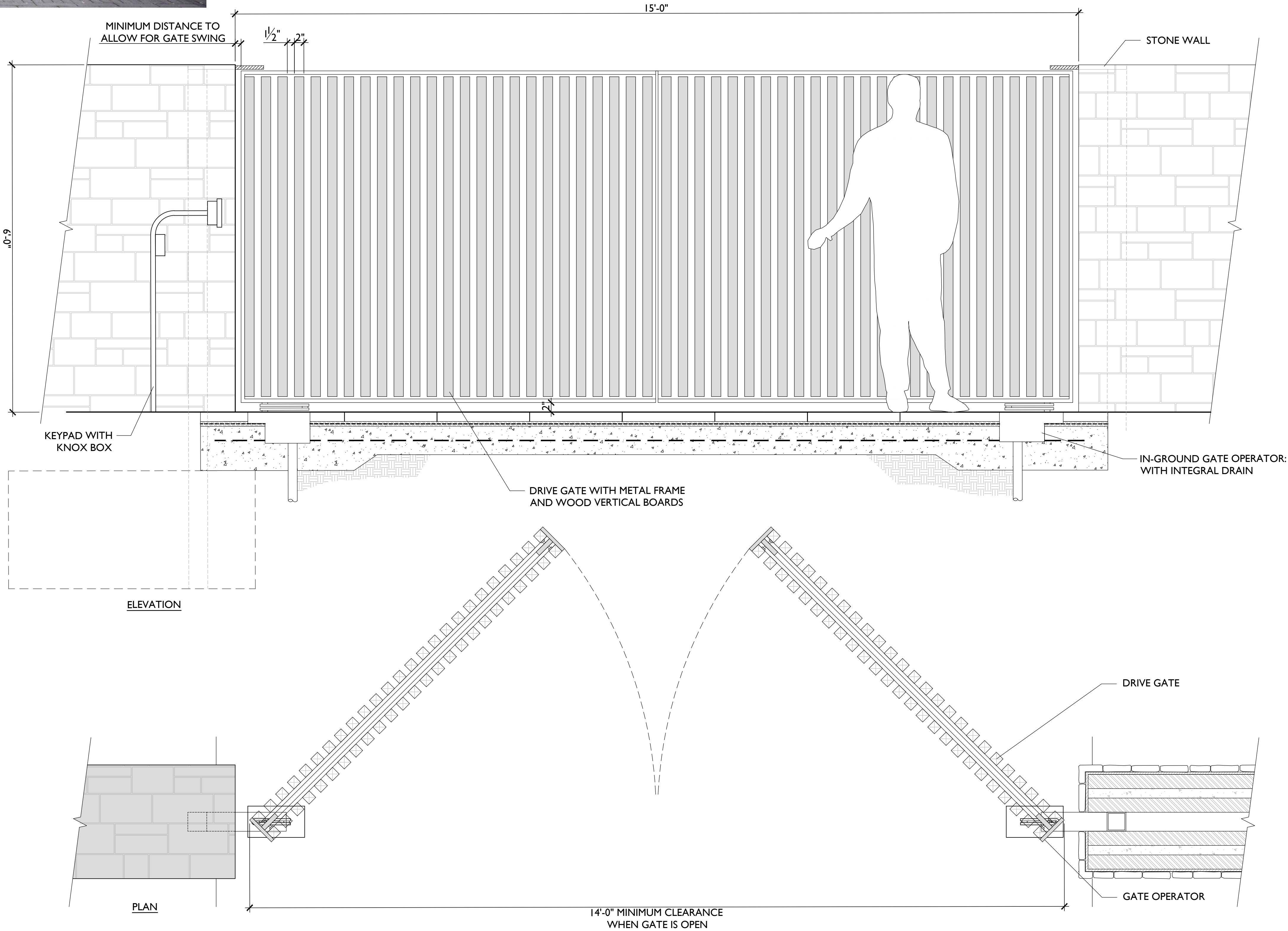
SCALE: 1/8"= 1'-0"







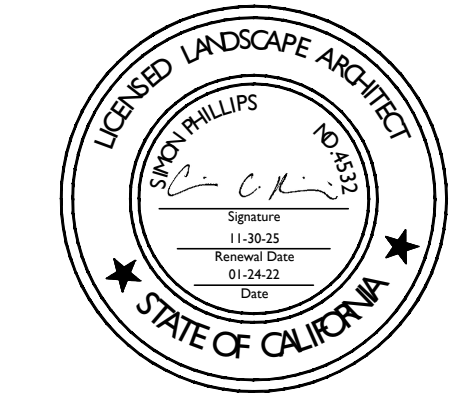
DRIVE GATE INSPIRATION



I DRIVE GATE
1" = 1'-0"

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



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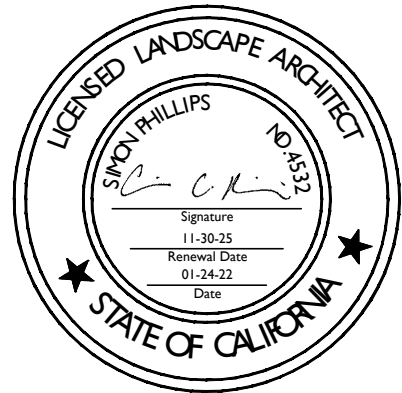
ISSUANCE:
**PLANNING DEPARTMENT
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**CONSTRUCTION
DETAILS**

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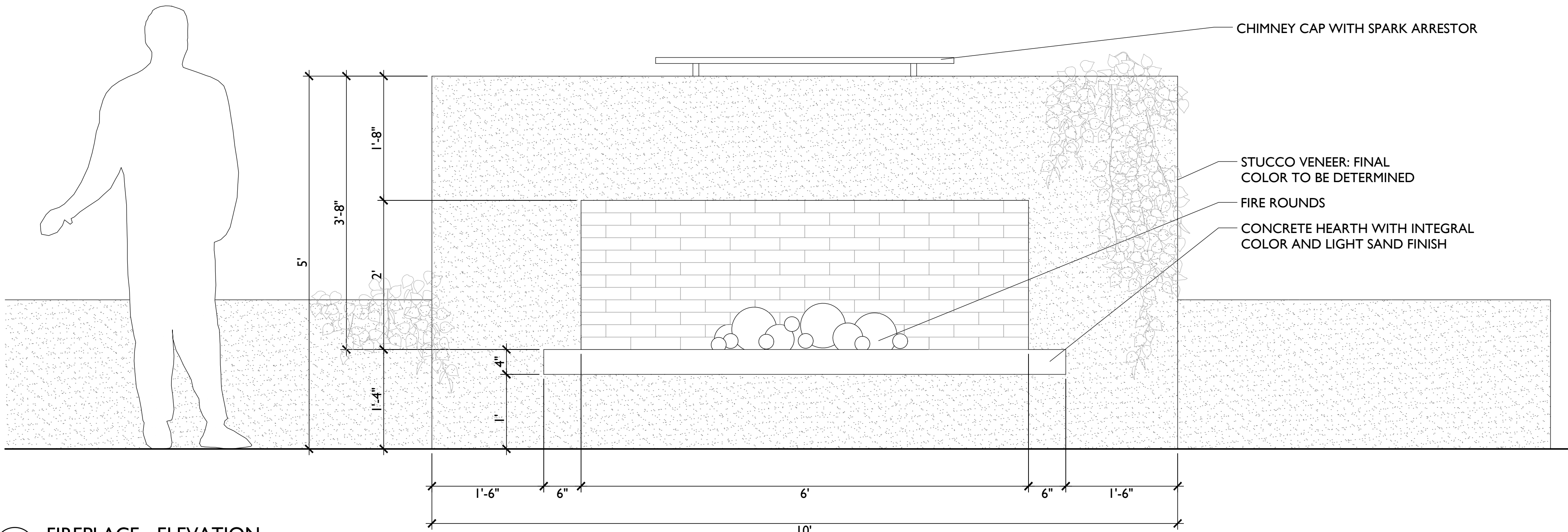
ISSUANCE:
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SUBMITTAL**

PROJECT NO: 2024-26
DATE: 05/06/2025

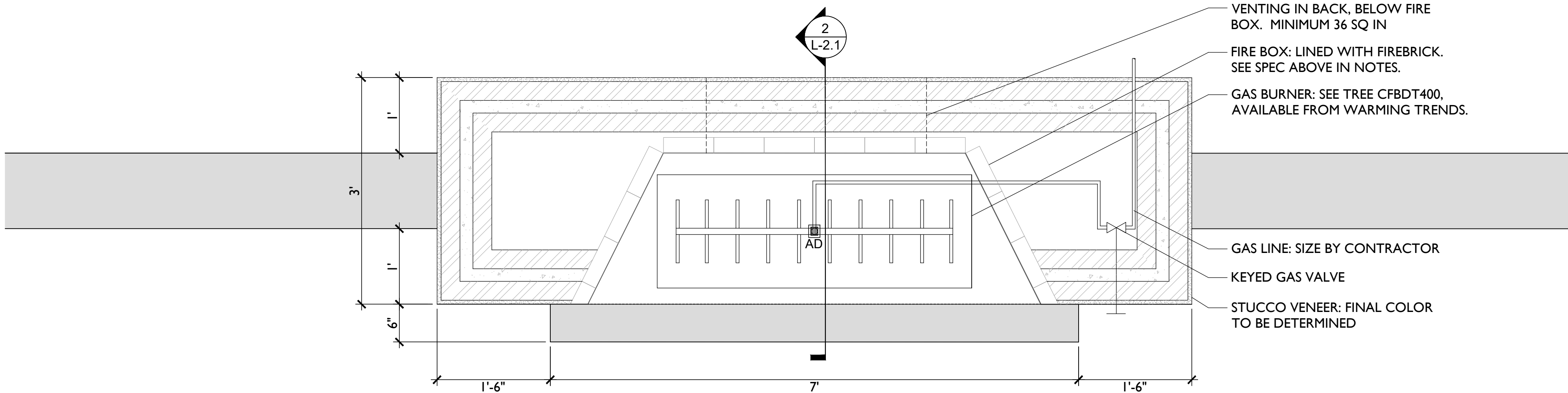
REVISIONS:
DATE DESCRIPTION

SHEET NAME:
**CONSTRUCTION
DETAILS**

SHEET NO:



2 FIREPLACE - ELEVATION
1" = 1'-0"



1 FIREPLACE - PLAN
1" = 1'-0"



INSPIRATION

G:\shortcuts\targets-by-id\1103\Xs0\W8d4cZB9l\mhXwR2XQl8K0DBl2024\2024-26 Curtis Residence Sam Plinick\CAD\24-26_L-4.0 Planting.dwg 5/6/2025

GENERAL NOTES

1.

ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
2.

CONTRACTOR TO TAKE SAMPLES OF PLANTING AREA SOIL, FROM 0"-12" DEEP FROM AT LEAST THREE SEPARATE LOCATIONS FROM PLANTING AREAS ON THE SITE, MIXED TO FORM A SINGLE COMPOSITE SAMPLE. COMBINED VOLUME OF COMPOSITE SAMPLE SHALL BE AT LEAST 1-QUART. SAMPLE LOCATIONS SHALL BE MARKED ON THE PLANTING PLAN AND SHALL BE REPRESENTATIVE OF SITE CONDITIONS AND PROPOSED PLANTING TYPES.
3.

FORWARD THE COMPOSITE SAMPLES TO THE TESTING LABORATORY FOR TESTING AND THEIR RECOMMENDATIONS AS TO EXACT FERTILIZERS AND SOIL AMENDMENTS TO BE USED IN PLANTING, WAYPOINT ANALYTICAL A05-2 COMPLETE ANALYSIS.
LAB REPORT TO INCLUDE RECOMMENDATION LETTER AND TESTING RESULTS.
LAB REPORT TO INCLUDE AN ESTIMATED INFILTRATION RATE FOR SOIL TESTED.
LAB REPORT TO NOTE THE PROPOSED PLANTING TYPES SPECIFIC TO THE PROJECT, GROUND-COVERS, NATIVE GRASSES AND TREES.
4.

AMENDMENT AND FERTILIZER RECOMMENDATIONS BY THE TESTING LAB SHALL BE SPECIFIC TO THE PROPOSED AMENDMENTS TO BE USED AND INCLUDE THE AMENDMENT LAB TEST / SAMPLE ID NUMBER AND TESTING DATE AS REFERENCE. GENERIC RECOMMENDATIONS WILL BE REJECTED AND WILL REQUIRE SPECIFIC RECOMMENDATIONS TO BE OBTAINED FROM THE TESTING LAB.
5.

FOR BIDDING PURPOSES ASSUME SOIL AMENDMENT FERTILIZER TO BE COMMERCIAL FERTILIZER, 16-6-8 (N-P-K) UNIFORM PELLET, EXACT FERTILIZER TO BE DETERMINED BY TESTING LAB ANALYSIS.
6.

INSTALL COMMERCIAL PLANT FERTILIZER PACKETS / TABLETS, TWO-YEAR CONTROLLED -RELEASE 20-10-05 (N-P-K), BEST TABS BY SIMPLOT PROFESSIONAL PRODUCTS, AGRIFORM BY THE SCOTTS COMPANY.
7.

SOIL AMENDMENTS TO BE MINERALIZED AND NITRIFIED BARK OR SAWDUST, WITH WETTING AGENT AND PROPERLY PULVERIZED, CONTAINING A MINIMUM OF 270LBS. PER CUBIC YARD OF ORGANIC MATTER. SUBMIT SAMPLE ANALYSIS FOR APPROVAL.
8.

AMENDMENT CHEMISTRY – SUITABILITY CONSIDERATIONS
1.NITROGEN (DRY WEIGHT BASIS): 0.4 TO 0.6%
2.IRON (MINIMUM): 0.08%
3.ORGANIC CONTENT: ABOVE 17%
4.CARBON-NITROGEN RATIO: BELOW 25
5. PH: BELOW 8.0
6.SALINITY (ECE): A VALUE SUCH THAT WHEN COMBINED WITH THE EXISTING SITE SOIL AT A USE RATE DETERMINED BY THE TESTING LAB ANALYSIS, THE SALINITY OF THE AMENDED SOIL SHALL NOT EXCEED 4.0 DS/M (MMHOS/CM).
6.

GYPSUM (IF REQUIRED BY EXISTING SOILS TEST): AGRICULTURAL GRADE, OMRI LISTED.
1.CAL-SUL PELLETTIZED GYPSUM BY NORTH PACIFIC, PORTLAND OR
2.ULTRA FINE AG GYPSUM BY WESTERN MINING & MINERALS
3. APPROVED EQUAL
7.

SULFUR (IF REQUIRED BY EXISTING SOILS TEST): GRANULAR DEGRADABLE SULFUR PRODUCT, TIGER 90CR ORGANIC 0-0-0-90 SULFUR BY TIGERSUL.COM, OR APPROVED EQUAL.
8.

ALL PLANTING AREAS TO BE CULTIVATED TO A MINIMUM DEPTH OF 10". SOIL AMENDMENTS AND COMMERCIAL FERTILIZERS TO BE APPLIED AT THE RATES SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
9.

CROSS-RIP OR CULTIVATE SUB-GRADE TO THE 10" MINIMUM DEPTH. ADD WATER IF NECESSARY AND CONTINUE RIPPING OR CULTIVATION UNTIL THE ENTIRE SPECIFIED DEPTH IS LOOSE AND FRIABLE. CROSS RIPING SHALL INCLUDE AREAS IN BETWEEN TREE AND PLANT PITS. UPON COMPLETION OF CROSS RIPPING APPLY THE AMENDMENTS AS SPECIFIED IN THE TESTING LAB ANALYSIS. SETTLE THE SOIL WITH WATER AS NEEDED AND REGRADE HIGH/LOW AREAS TO CREATE A SMOOTH FINISH GRADE.
10.

UNIFORMLY SPREAD AND INCORPORATED THE MATERIALS TO OBTAIN A HOMOGENEOUSLY BLENDED SOIL, 6-INCHES IN DEPTH. IF GYPSUM AND/OR SULFUR ARE REQUIRED TO BE ADDED AS PART OF AMENDMENTS PER SOILS REPORT FROM THE TESTING LAB, MANUALLY WATER THE AMENDED SOILS USING IMPACT SPRINKLERS OR HOSE-END SPRINKLERS - TO APPLY 1/2-INCH OF WATER OVER ALL PLANTING AREAS. EXISTING SOILS WITH HIGH ALKALINITY AS DETERMINED BY THE SOILS REPORT FROM THE TESTING LAB WILL BE REQUIRED TO BE SIMILARLY MANUALLY WATERED TO LEACH THE SALTS DEEPER INTO THE SOIL, AMOUNT OF WATER TO BE DETERMINED BY THE TESTING LAB.
11.

PRE-MIX AMENDMENTS INTO SOIL BEFORE BACKFILLING PLANT PITS - DO NOT MIX INSIDE PITS. BREAK LARGE CLOUDS INTO SMALL PIECES. ALL PLANTING AREAS TO BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO BEGINNING PLANTING.
12.

INSTALL 3" MULCH TO ALL PLANTING AREAS. MULCH TO BE SHREDDED CEDAR BARK OR SIMILAR. SUBMIT A SAMPLE OF MULCH FOR OWNER & LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
13.

COMPOST: COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA TILLED TO A DEPTH OF 6".
15.

NO PLANTING OR MULCH TO BE INSTALLED WITHIN 5' OF ANY STRUCTURES.
16.

ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM, IRRIGATION CONTROLLER TO HAVE EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSING CAPABILITIES AND A RAIN SENSOR.
17.

IRRIGATION SYSTEM TO HAVE A DEDICATED BACKFLOW PREVENTER AND FLOW SENSOR AND MASTER VALVE AT THE POINT OF CONNECTION.
18.

PRESSURE REGULATORS SHALL BE INSTALLED AT EACH DRIP VALVE AND SET TO THE OPTIMAL PRESSURE AS SUGGESTED BY THE MANUFACTURER OF THE DRIP EMITTERS. ALL DRIP ZONES INSTALLED ON SLOPES TO BE FITTED WITH CHECK VALVES AND ALL LINES TO INCLUDE FLUSH PORTS.
19.

MANUAL-SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION AND AT VALVE MANIFOLDS. HOSE BIBS TO BE INSTALLED, VERIFY LAYOUT IN FIELD WITH OWNER & LANDSCAPE ARCHITECT
20.

IRRIGATION VALVES TO CORRESPOND TO HYDROZONE LIMITS.
21.

IRRIGATION SYSTEM TO BE A DESIGN BUILD. ALL PLANTING AREAS TO BE DRIP IRRIGATED.
22.

CONTRACTOR TO DISCUSS IRRIGATION DESIGN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO LANDSCAPE ARCHITECT FOR ALL IRRIGATION EQUIPMENT INCLUDING VALVES, FILTERS, PRESSURE REGULATORS, DRIP EMITTERS, VALVE BOXES, SHUT OFF VALVES, LINE TYPES AND CONTROLLER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
23.

TEMPORARY IRRIGATION INSTALLED FOR HYDROSEED AREAS TO BE REMOVED AFTER PLANT ESTABLISHMENT OR 2 YEARS FROM DATE OF INSTALLATION. IRRIGATION TO BE INSTALLED ABOVE GROUND. IRRIGATION HEADS TO BE SECURED TO STAKES ABOVE GRADE. INSTALL DEDICATED VALVES FOR THE HYDROSEED SYSTEMS WITH SHUT OFF VALVES UPSTREAM OF SOLENOID VALVE. CAP MAIN LINE ONCE VALVES ARE REMOVED. ADJUST SPRAY AS NEEDED TO AVOID OVER SPRAY ONTO EXISTING OAK TREES.

PLANT LEGEND

*WUCCODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
M	Aa ALSOPHILA AUSTRALIS	AUSTRALIAN TREE FERN	15 GAL.	
L	Am ARBUTUS MARINA	STRAWBERRY TREE	24" BOX	
VL	Co CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL.	
L	Dk DIOSPYROS KAKI 'FUYU'	FUYU PERSIMMON	24" BOX	
M	Pr PINUS RADIATA	MONTEREY PINE	15 GAL.	MULTI
SHRUBS				
M	Ac ACANTHUS MOLLIS	BEAR'S BREECH	1 GAL.	
L	Au AEONIUM URBICUM 'SALAD BOWL'	SALAD BOWL AEONIUM	1 GAL.	
L	Adh ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA	15 GAL.	
L	Ap ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	1 GAL.	
L	Ahm ARCTOSTAPHYLOS 'HOWARD MC MINN'	HOWARD MCMINN MANZANITA	15 GAL.	
M	Bc BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA	1 GAL.	
L	Cy CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	1 GAL.	
L	Cr CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS	15 GAL.	
M	Dt DIANELLA TASMANICA	TASMAN FLAX-LILY	1 GAL.	
L	Ee ECHEVERIA ELEGANS	HENS AND CHICKS	1 GAL.	
L	Em EUPHORBIA 'MARTINI'	MARTIN'S SPURGE	1 GAL.	
M	Fr FRANCOA RAMOSA	BRIDAL WREATH	1 GAL.	
M	Hj HEMEROCALLIS 'JOAN SENIOR'	JOAN SENIOR DAYLILY	1 GAL.	
L	Jp JUNCUS 'ELK BLUE'	COMMON RUSH	1 GAL.	
L	Lp LOMANDRA 'POM POM'	SHORTY MAT RUSH	1 GAL.	
L	Ms MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL.	
L	Mc MUHLENBERGIA CAPILLARIS	MUHLY GRASS	1 GAL.	
L	Rs RIBES S. V. GLUTINOSUM	PINK-FLOWERING CURRANT	5 GAL.	
L	Sj SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL.	
VL	Vb VERBENA BONARIENSIS	PURPLETOP VERVAIN	1 GAL.	
M	Vp VIBURNUM PLICATUM	JAPANESE SNOWBALL	15 GAL.	
L	Wm WESTRINGIA 'MUNDI'	COAST ROSEMARY	1 GAL.	
M	Wf WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	1 GAL.	
MEADOW				
M	 SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL @ 18" O.C., 435 SF	
MISCELLANEOUS				
	 CRUSHED GRAVEL: 2" THICK OVER 4" COMPACTED CLASS II BASE.			
	 MULCH			
	 HDBR. METAL EDGE WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.			

REFERENCE NOTES

- ①

HYDROSEED TO FOLLOW GRADING LIMITS AS DETERMINED DURING CONSTRUCTION.
- ②

HYDROSEED TO BE APPLIED AT 36 LBS/AC EVENLY BETWEEN THE SPECIES LISTED
- ③

EXISTING TREE: TO BE REMOVED
- ④

FINAL PLACEMENT OF MITIGATION TREES TO BE DETERMINED IN FIELD. TOTAL MITIGATION TREES TO BE PLANTED - 3.
- ⑤

CITRUS TREES AVAILABLE FROM MENLO GROWERS IN GILROY
- ⑥

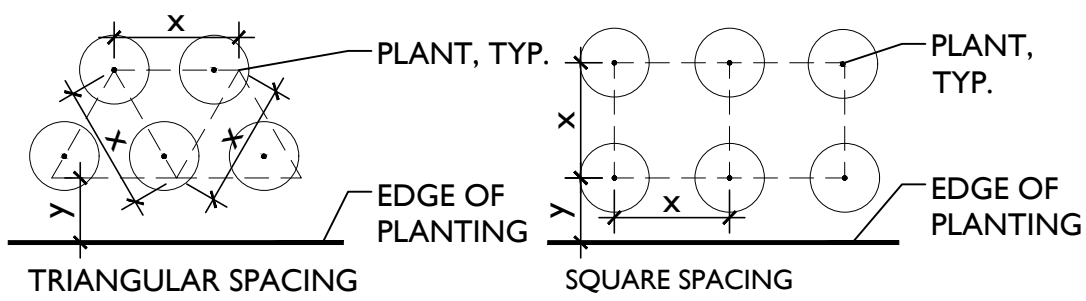
5' NON-COMBUSTIBLE ZONE AROUND ALL STRUCTURES
- ⑦

IRRIGATION FOR MITIGATION TREES BY THE YOGA STUDIO TO BE CONNECTED TO THE YOGA STUDIO POTABLE LINE - INSTALL WITH BACKFLOW PREVENTER AND BATTERY OPERATED VALVE.

* WATER USE CATEGORY (WUC) KEY

WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS) UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

PLANT SPACING AND PLANTING SETBACK DIAGRAM



1. FOR SPACING 'X', SEE PLANTING PLAN LEGEND
2. Y= 1/2X + 12" UON

MWELO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

	SIMON PHILLIPS	4532	05-06-2025
SIGNED	NAME	CLA#	DATE

MONTEREY COUNTY COMPLIANCE STATEMENT

I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT-TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES.

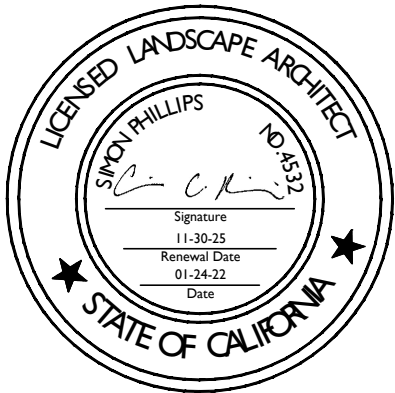
	SIMON PHILLIPS	4532	05-06-2025
SIGNED	NAME	CLA#	DATE

SCALE: 1/8"= 1'-0"



SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

CURTIS RESIDENCE

PROJECT ADDRESS:

3158 DON LANE
PEBBLE BEACH, CA 93953

APN: 008-361-024-000

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

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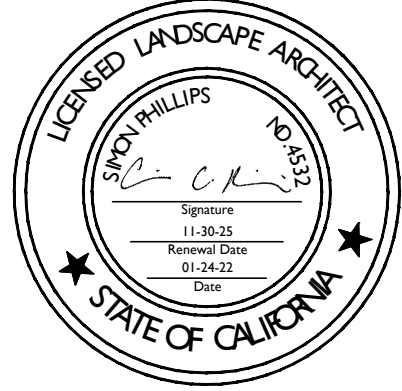
SHEET NAME:

PLANTING NOTES

SHEET NO:

SEVEN
SPRINGS
STUDIO
LANDSCAPE ARCHITECTS

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REVISIONS:
DATE DESCRIPTION

SHEET NAME:
PLANTING PLAN

SHEET NO:

L-4.I

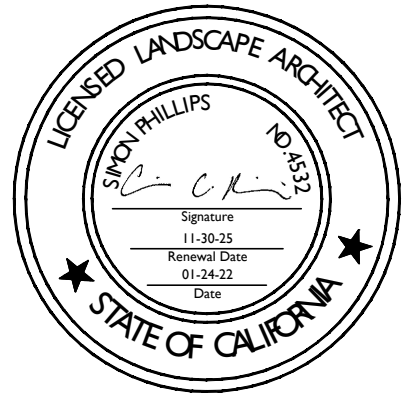
PLANT LEGEND

*WUCCODE	BOTANICAL NAME	COMMON NAME
TREES		
M	Aa ALSOPHILA AUSTRALIS	AUSTRALIAN TREE FERN
L	Am ARBUTUS MARINA	STRAWBERRY TREE
VL	Co CERCIS OCCIDENTALIS	WESTERN REDBUD
L	Dk DIOSPYROS KAKI 'FUYU'	FUYU PERSIMMON
M	Pr PINUS RADIATA	MONTEREY PINE
SHRUBS		
M	Ac ACANTHUS MOLLIS	BEAR'S BREECH
L	Au AEONIUM URBICUM 'SALAD BOWL'	SALAD BOWL AEONIUM
L	Adh ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA
L	Ap ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA
L	Ahm ARCTOSTAPHYLOS 'HOWARD MC MINN'	HOWARD MC MINN MANZANITA
M	Bc BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA
L	Cy CEANOTHUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS
L	Cr CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS
M	Dt DIANELLA TASMANICA	TASMAN FLAX-LILY
L	Ee ECHEVERIA ELEGANS	HENS AND CHICKS
L	Em EUPHORBIA 'MARTINI'	MARTIN'S SPURGE
M	Fr FRANCOA RAMOSA	BRIDAL WREATH
M	Hj HEMEROCALLIS 'JOAN SENIOR'	JOAN SENIOR DAYLILY
L	Jp JUNCUS 'ELK BLUE'	COMMON RUSH

L	Lp LOMANDRA 'POM POM'	SHORTY MAT RUSH
L	Ms MAHONIA 'SOFT CARESS'	SOFT CARESS MAHONIA
L	Mc MUHLENBERGIA CAPILLARIS	MUHLY GRASS
L	Rs RIBES S. V. GLUTINOSUM	PINK-FLOWERING CURRANT
L	Sj SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM
VL	Vb VERBENA BONARIENSIS	PURPLETOP VERVAIN
M	Vp VIBURNUM PLICATUM	JAPANESE SNOWBALL
L	Wm WESTRINGIA 'MUNDI'	COAST ROSEMARY
M	Wf WOODWARDIA FIMBRIATA	GIANT CHAIN FERN
MEADOW		
M	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS
MISCELLANEOUS		
	CRUSHED GRAVEL: 2" THICK OVER 4" COMPACTED CLASS II BASE.	
	MULCH	
HDR	METAL EDGE WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.	

SCALE: 1/8"= 1'-0"





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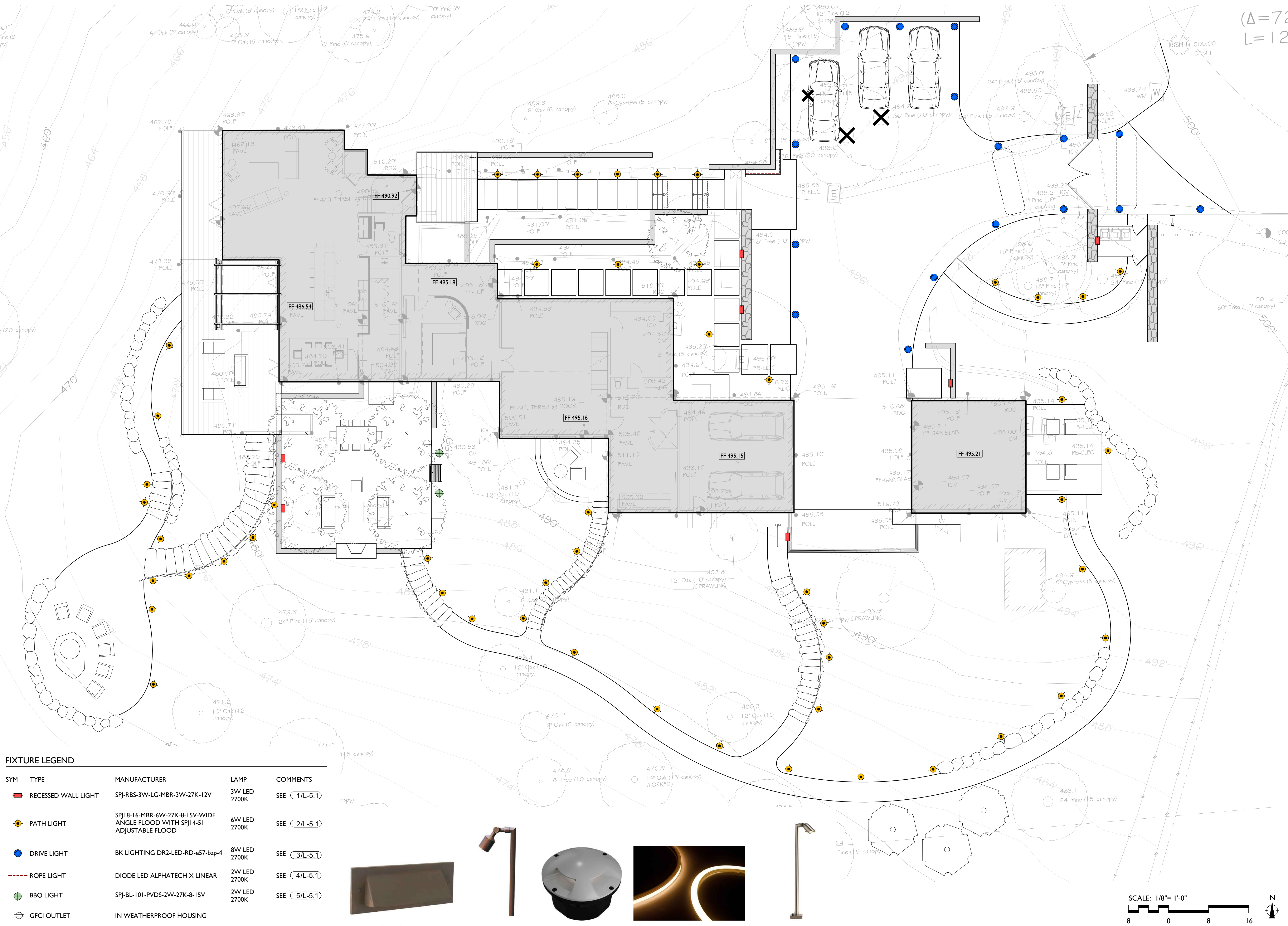
SHEET NAME:

SITE LIGHTING
PLAN

SHEET NO:

L-5.0

($\Delta=7'$
L=12



FIXTURE LEGEND

SYM	TYPE	MANUFACTURER	LAMP	COMMENTS
	RECESSED WALL LIGHT	SPJ-RBS-3W-LG-MBR-3W-27K-12V	3W LED 2700K	SEE <u>1/L-5.1</u>
	PATH LIGHT	SPJ18-16-MBR-6W-27K-8-15V-WIDE ANGLE FLOOD WITH SPJ14-51 ADJUSTABLE FLOOD	6W LED 2700K	SEE <u>2/L-5.1</u>
	DRIVE LIGHT	BK LIGHTING DR2-LED-RD-e57-bzp-4	8W LED 2700K	SEE <u>3/L-5.1</u>
	ROPE LIGHT	DIODE LED ALPHATECH X LINEAR	2W LED 2700K	SEE <u>4/L-5.1</u>
	BBQ LIGHT	SPJ-BL-101-PVDS-2W-27K-8-15V	2W LED 2700K	SEE <u>5/L-5.1</u>
	GFCI OUTLET	IN WEATHERPROOF HOUSING		



RECESSED WALL LIGHT



PATH LIGHT



DRIVE LIGHT



ROPE LIGHT



BBQ LIGHT

CURTIS
RESIDENCE

APN: 008-361-024-000

4 ROPE LIGHT

2 PATH LIGHT

BBQ LIGHT

DRIVE LIGHT

RECESSED WALL LIGHT

REVISIONS:	
DATE	DESCRIPTION

SITE LIGHTING SPECS

L-5.1