

Exhibit B

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CARMEL RIVER INN

COTTAGE UNIT #17 REMODEL/ADDITION

Project / Owner:

CARMEL RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #17/43 revised

**THE
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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

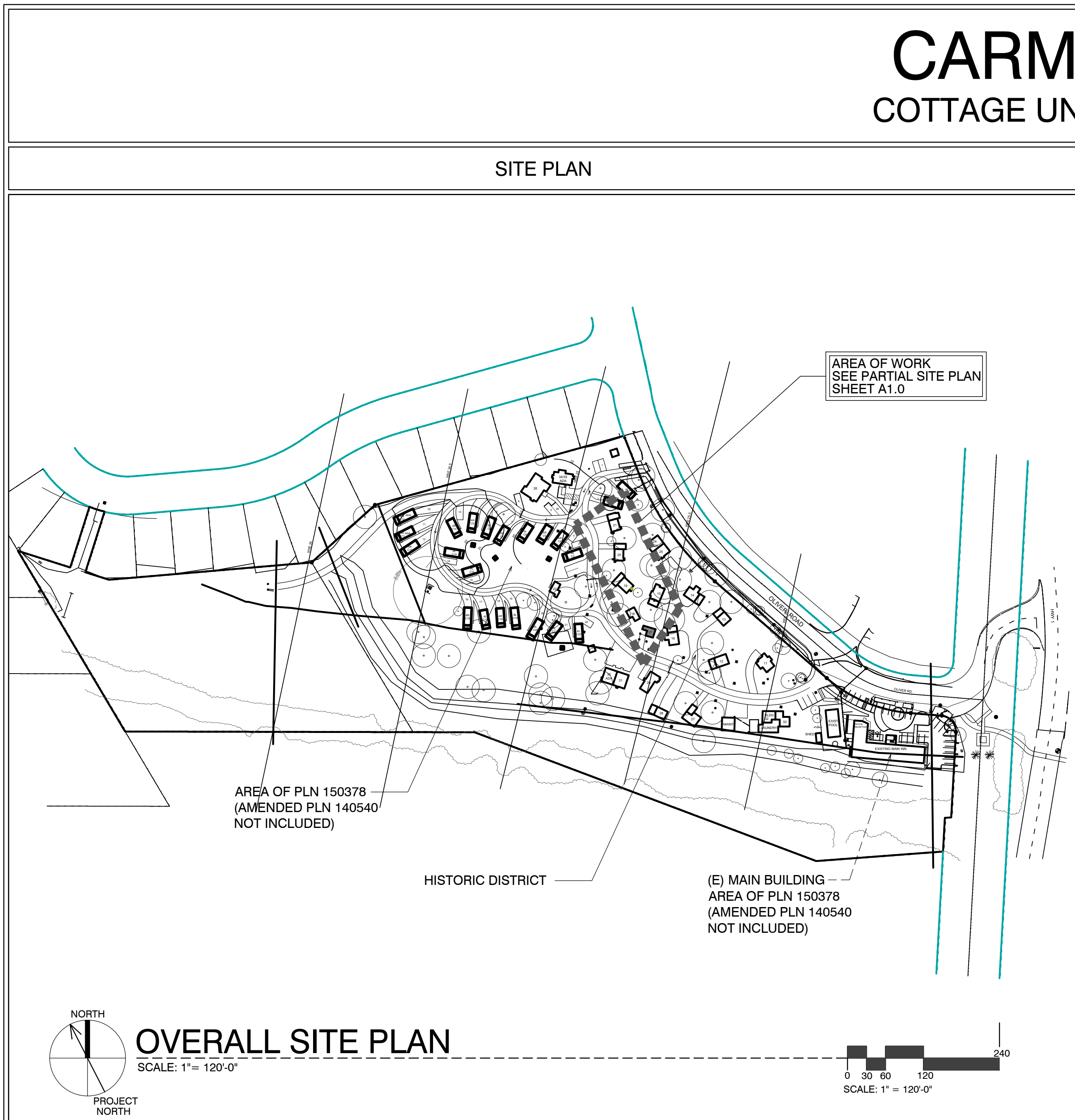
Revisions:



Sheet Title:
OVER SHEET
PROJECT INFO

Sheet Number:

A0.1



SCOPE OF WORK

- REMODEL EXISTING / ORIGINAL COTTAGE 17
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEET A2.1

SHEET INDEX

ARCHITECTURAL

A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1 UNIT #17 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17-#21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

25CP02377



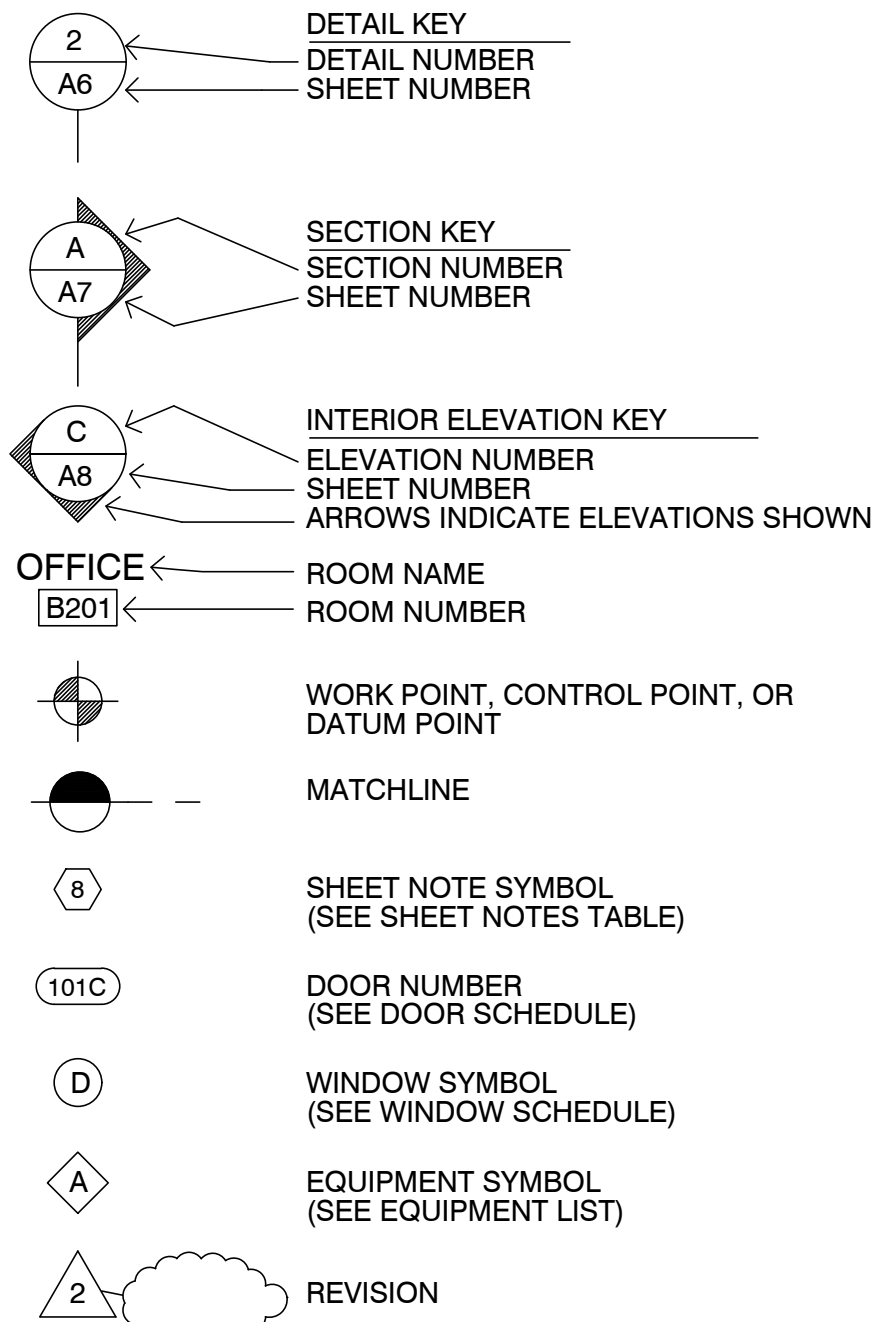
Monterey County
Building Services
Approved

Adan Carlos on Aug 18, 202

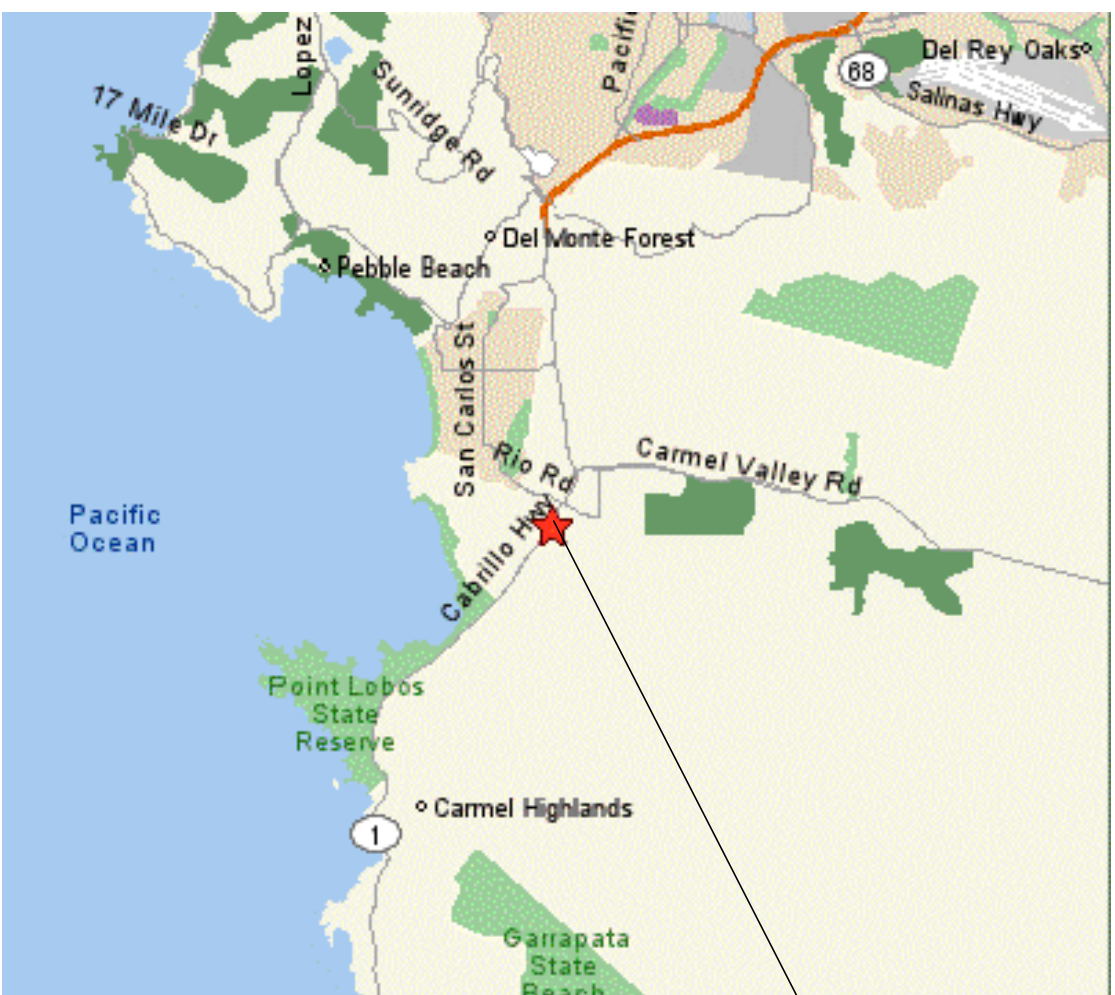
ABBREVIATIONS

A	AND	DBL	DOUBLE	H.B.	HOSE BIB	O'	OVER	S.M.	SIMILAR
@	ANGLE	DEPT.	DEPTMENT	H.B.D.	HARDBOARD	OBS.	OBSCURE	S.S.	STAINLESS STEEL
E	AS	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
E	CENTERLINE	D.F.	DOUGLAS FIR	H.D.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
Q	PLATE	D.H.	DOUBLE HUNG	H.D.W.	HARDWOOD	OFF.	OFFICE	SPECS.	SPECIFICATIONS
Q	DIAMETER OR ROUND	DIAG.	DIAGONAL	H.D.W.R.	HARDWARE	O.H.M.S.	OVALHEAD MACHINE SCREW	SQ.	SQUARE
Q	PERIMETER	DIAM.	DIAMETER	H.M.	HOLLOW METAL	O.H.	OVALHEAD MACHINE SCREW	STL	STEEL
Q	PARALLEL	DIMEN	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
Q	POUND OR NUMBER	DISP.	DISPENSER	HGT.	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
(E)	EXISTING	DN	DOWN	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STOR.	STORAGE
		DRWG.	DRAWING	H.W.	HOT WATER			STRUCT.	STRUCTURAL
A.B.	ANCHOR BOLT	D.S.	DOWNSPOUT	H.VAC	HEATING, VENTILATING,	P.A.F.	POWDER ACTUATED FASTENER	SUSP.	SUSPENDED
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	DWR.	DRAINER		AND AIR CONDITIONING	PART. BD	PARTICLE BOARD	SYN.	SYNTHETIC
						P.G.	PAINT GRADE	SYS.	SYSTEM
A.C.	ASPHALTIC CONCRETE	E	EAST	I.C.B.O.	INTERNATIONAL CONGRESS	PERF.	PERFORATED	T	TREAD (S)
A.C.	AC	E.A.	EACH		OF BUILDING OFFICIALS	P.L.F.	POUNDS PER LINEAL FOOT	T.B.	TOWEL BAR
ACOUS.	ACOUSTICAL	ELEV.	ELEVATION, ELEVATOR	I.D.	INSIDE DIAMETER	P.L.	PROPERTY LINE	T.C.	TOP OF CURB
ADJ.	ADJUSTABLE, ADJACENT	ELEC.	ELECTRIC (AL)	INCL.	INCLUDED, INCLUDING	P.L. LAM.	PLASTIC LAMINATE	T.C.	TOP OF CURB
ADSTR.	ADJUSTABLE	EMERGENCY	EMERGENCY	INCL.	INCLUDING	P.L.	PLASTER	T.C.	TOP OF CURB
ALUM.	ALUMINUM	ENCL.	ENCLOSURE	INT.	INTERIOR	P.V.	PLYWOOD	TEMP.	TEMPERED
ANDON.	ANDONIZED	EQUIP.	EQUIPMENT	INV.	INVERT	PR.	PAIR	T.E.N.	TYPICAL EDGE NAILING
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EXIST.	EXISTING	P.S.F.	POLYSTYRENE FOAM	P.S.F.	POUNDS PER SQUARE FOOT	T.G.R.	TOP OF GRADE
		EXH.	EXHAUST	JAN.	JANITOR	E.S.I.	POUNDS PER SQUARE INCH	T.G.R.	TOP OF GRADE
APPROX.	APPROXIMATE	EXP.	EXPANDED, EXPANSION	J.H.	JOIST HANGER	P.T.	PRESSURE TREATED	THK.	THICK (NESS)
ARCH.	ARCHITECT (URAL)	EXT.	EXTERIOR	JT.	JOINT	PART.	PARTITION	THRESH.	THRESHOLD
						P.T.D.	PAPER TOWEL DISPENSER	T.O.P.	TOP OF
						P.V.C.	POLYVINYL CHLORIDE	T.P.	TOP OF PAVEMENT
BD.	BOARD	F.A.	FIRE ALARM	KIT.	KITCHEN			R	RISER (S)
BIT.	BITUMINOUS	PAST.	PASTE, FASTENER					R	RISER (S)
BLD.	BUILDING	FLAT BAR	B.	L.	LONG LENGTH			R	RISER (S)
BLK.	BLOCK	F.	FLOOR DRAIN	LAM.	LAMINATE, LAMINATED	R.A.	RETURN AIR	T.V.	TOP OF WALL
BLKS.	BLOCKING	FND.	FOUNDATION	LAV.	LAVATORY	RAD.	RADIUS	TYP.	TYPICAL
BM	BENCH MARK	F.E.	FIRE EXTINGUISHER	L.B.	LOAD BEARING	R.D.	ROOF DRAIN	U.B.C.	UNIFORM BUILDING CODE
BM	BEAM	FIBERGL.	FIBERGLASS	LOC.	LOCATION, LOCATION	REG.	REGISTER	L.U.C.	UNDERWRITERS LABORATORIES
BOT.	BOTTOM	FIN.	FINISH (E)	L.W.	LIGHT WEIGHT	REF.	REFRIGERATOR	UN.	UNDERWRITERS LABORATORIES
BRG.	BEARING	F.H.M.S.	FLAT HEAD MACHINE SCREW	F.H.M.S.	FLAT HEAD MACHINE SCREW	REINFORC.	REINFORCING	UR	UNDERWRITERS LABORATORIES
BTWN.	BETWEEN	F.H.M.S.	FLAT HEAD WOOD SCREW	MAS.	MASONRY	REQD.	REQUIRED	UR	UNDERWRITERS LABORATORIES
B.W.	BOTH WAYS	FLASH.	FLASHING	MAT.	MATERIAL (S)	REQMT.	REQUIREMENT	V.B.N.	VAPOR BARRIER
		FLOR.	FLOOR (ING)	MAX.	MAXIMUM	RESIL.	RESILIENT	U.O.	UNDERWRITERS LABORATORIES
C.B.	CABINET	FLOR.	FLOOR (ING)	M.B.	MACHINE BOLT	R.H.M.S.	ROUND HEAD METAL SCREW	VAR.	VARIES
C.B.	CABT BASIN	F.O.	FACE OF	M.C.	MEDICINE CABINET	R.H.M.S.	ROUND HEAD WOOD SCREW	VERT.	VERTICAL
CBM	CEMENT	F.O.C.	FACE OF CONCRETE	M.H.	MAN HOLE	R.O.C.	ROUND HEAD CONCRETE	V.G.	VENTILATION GRAIN
CER.	CERAMIC	F.O.F.	FACE OF FINISH	MECH.	MECHANICAL	R.O.	ROUGH OPENING	V.T.	VINYL TILE
C.F.	CUBIC FOOT	F.O.M.	FACE OF MASONRY	MEMB.	MEMBRANE	R.O.W.	RIGHT OF WAY		
C.I.	CAST IRON	F.O.S.	FACE OF STONE	M.E.	MEZZANINE	R.S.N.	RIGHT OF WAY		
CLKG.	CLAUSTRUM	F.P.	FIREPLACE	MFR.	MANUFACTURER (ER)	RUB.	RUBBER	W.	WIDE, WIDTH
CLG.	CEILING	F.S.	FULL SIZE	M.N.	MINIMUM	RWD.	REDWOOD	W.	WITH
CL.	CLOSEST	F.F.	FOOT OR FEET	MIR.	MIRROR	R.W.L.	RAIN WATER LEADER	WC.	WATER CLOSET
CLR.	CLEAR (ANCE)	FTG.	FOOTING	MISC.	MISCELLANEOUS			WDW.	WINDOW
COL.	COLUMN	FURR.	FURRED (ING)	MLDG.	MOLDING	S.	SOUTH	WDW.	WINDOW
COM.	COMPOSITION			M.L.	MILLABLE IRON WASHER	S.B.	SOLID BLOCKING	W.H.	WATER HEATER
CONC.	CONCRETE	G.	GAUGE	M.O.	MASONRY OPENING	S.C.	SOLID CORE	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
CONX.	CONSTRUCT (ION)	GALV.	GALVANIZED	M.TD.	MOUNTED	SCHED.	SCHEDULE	WO	WITHOUT
CONSTR.	CONSTRUCT (ION)	G.B.	GRAB BAR	MTL.	METAL	S.D.	STORM DRAIN	WO	WITHOUT
CON.	CONCRETE	G.L.	GALVANIZED IRON	MULL.	MULLION	SECT			

SYMBOLS



VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:
Occupancy Group and Div.

R1

Building Area	Factor	Load
UNIT #17	300	2

OCCUPANCY SEPARATIONS: NONE

TYPE OF USE: MOTEL

TYPE OF CONSTRUCTION: V-B

SPRINKLERS REQUIRED: YES, NFPA 13-D

APPLICABLE CODES:
 2022 California Building Code (CBC)
 2022 California Residential Code (CRC)
 2022 California Electrical Code (CEC)
 2022 California Mechanical Code (CMC)
 2022 California Plumbing Code (CPC)
 2022 California Energy Code (CEnC)
 Title 24

PROJECT DIRECTORY

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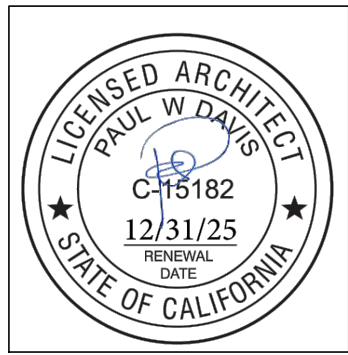
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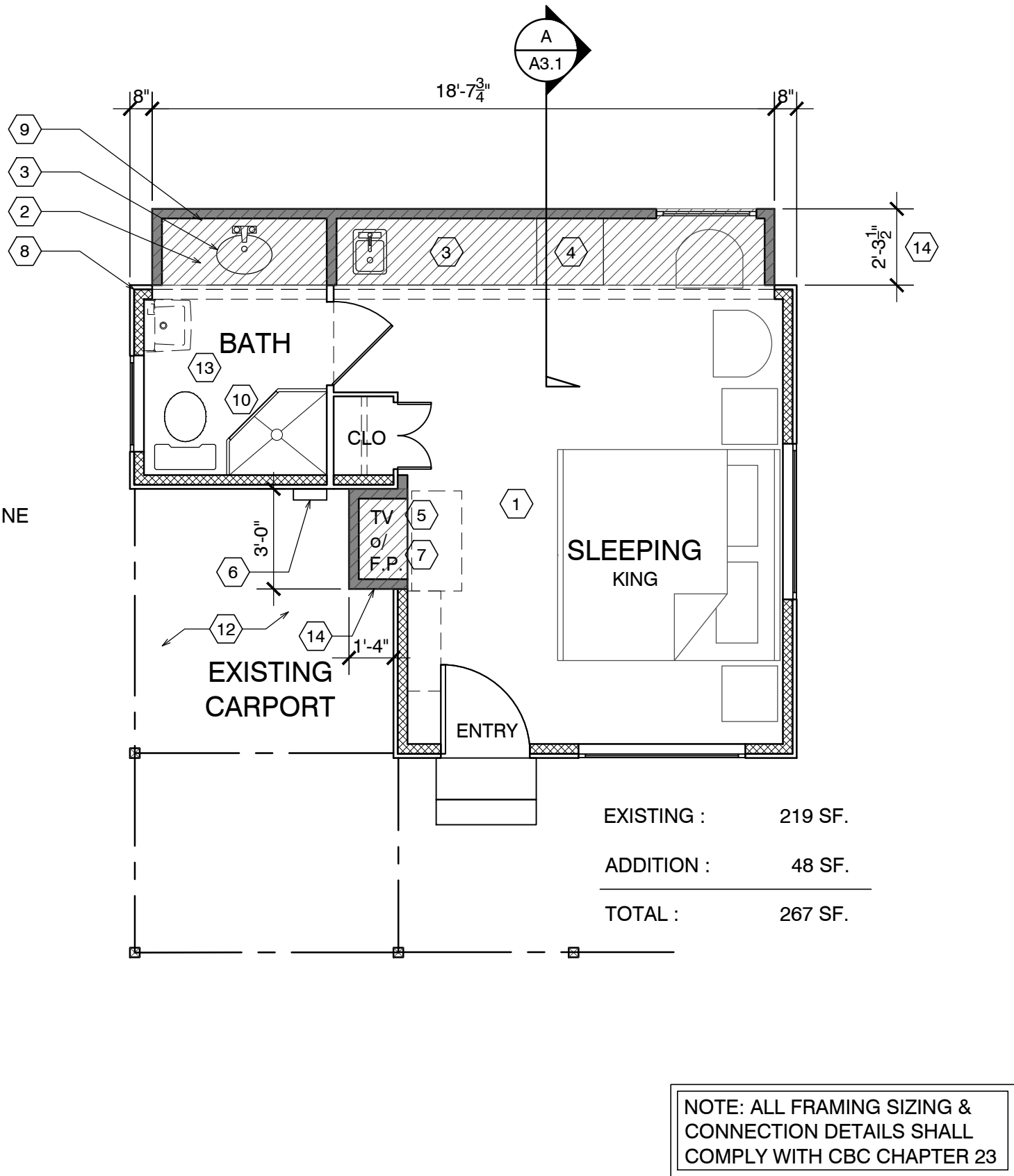
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UNIT #17 FLOOR PLAN

Sheet Number:

FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. WR13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF



ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED



ELECTRICAL LEGEND

- DUPLIX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

NOTES:
1. NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
2. ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

FOUNDATION VENT CALCULATION:
41 SF / 150 = .27 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF



DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-3 1/2"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-4 7/8"
TOTAL DEMO = 26.5%
NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

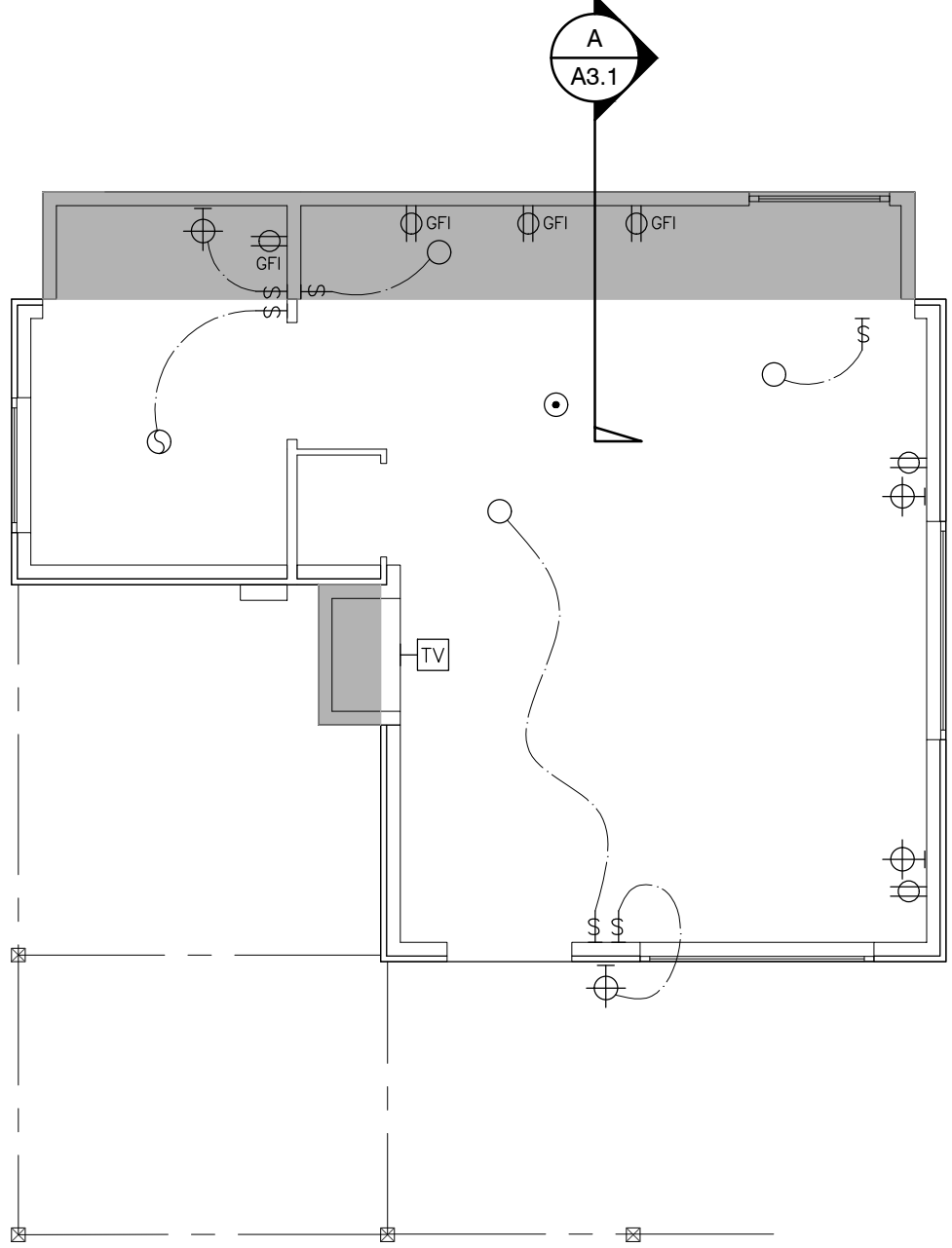
- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

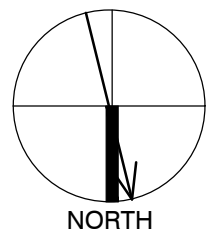
DEMO PLAN UNIT 17

SCALE: 1/4" = 1'-0"



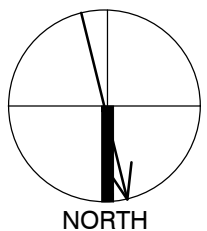
ELECTRICAL PLAN UNIT 17

SCALE: 1/4" = 1'-0"



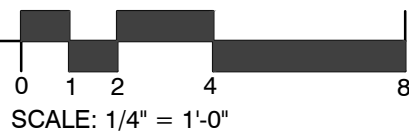
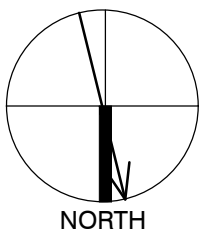
FND. PLAN UNIT 17

SCALE: 1/4" = 1'-0"



ROOF PLAN UNIT 17

SCALE: 1/4" = 1'-0"



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Sheet Title:
UNIT #17
ELEVATIONS

Sheet Number:

ELEVATION SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

SECTION SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" LONG WALL TO EXISTING W/ 10'-16d
8. REUSE EXISTING WINDOW MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



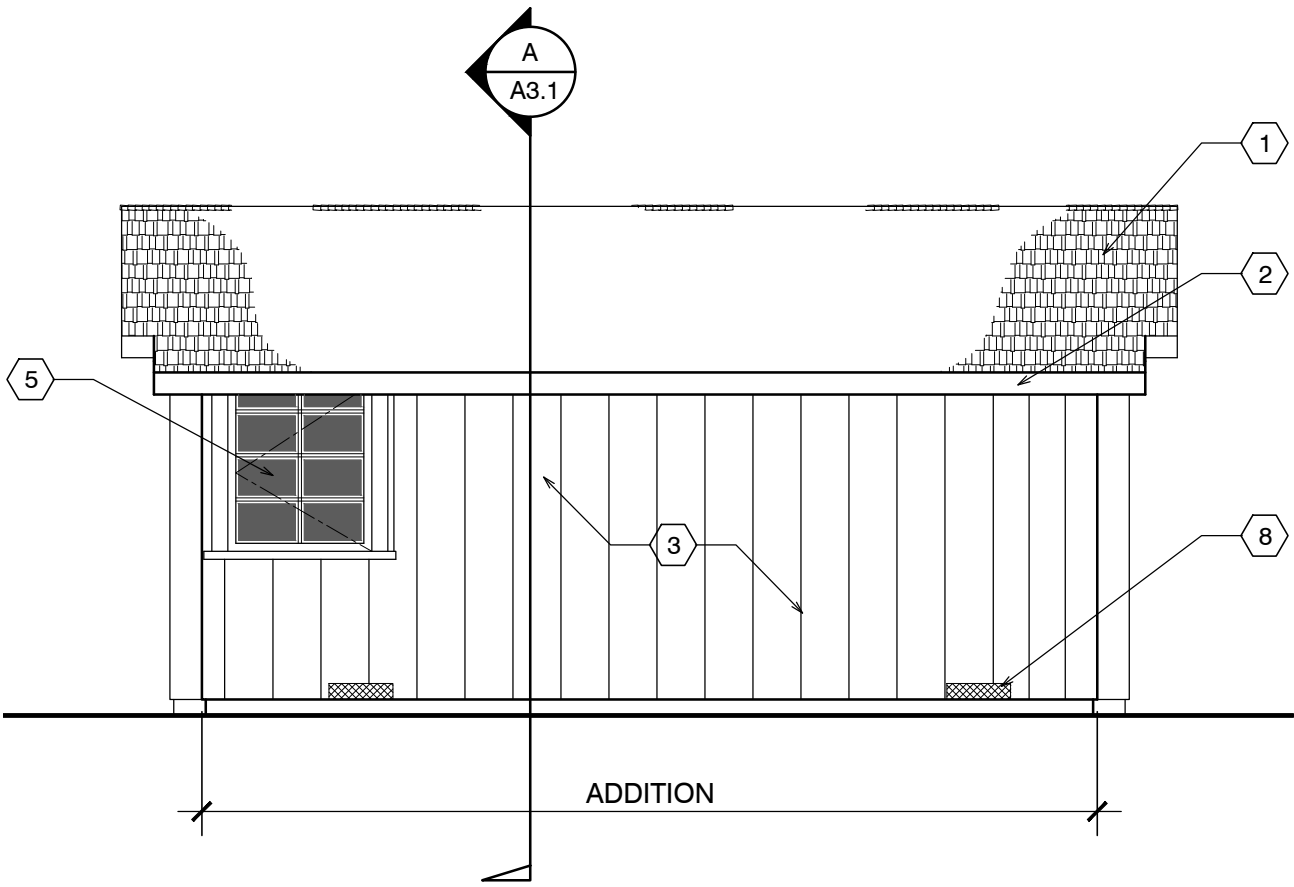
FRONT ELEVATION



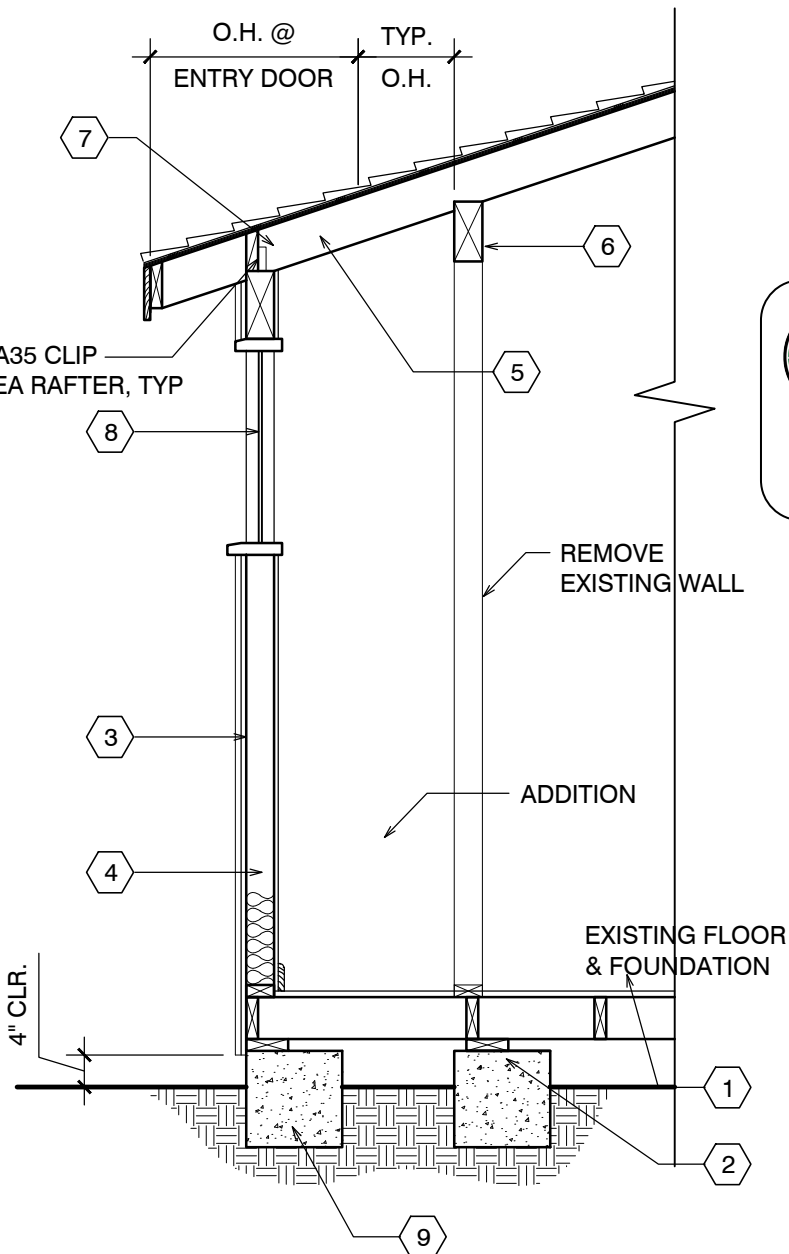
SIDE ELEVATION



SIDE ELEVATION



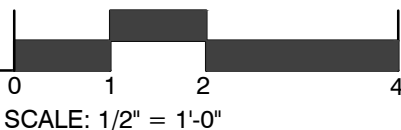
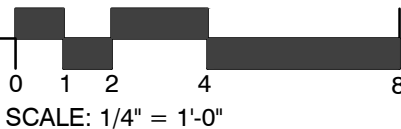
BACK ELEVATION



UNIT #17 SECTION

EXTERIOR ELEVATIONS UNIT #17

SCALE: 1/4" = 1'-0"



CARMEL RIVER INN

COTTAGE UNIT #18 REMODEL/ADDITION

Project / Owner:

CARMEL RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #18/46 revised

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

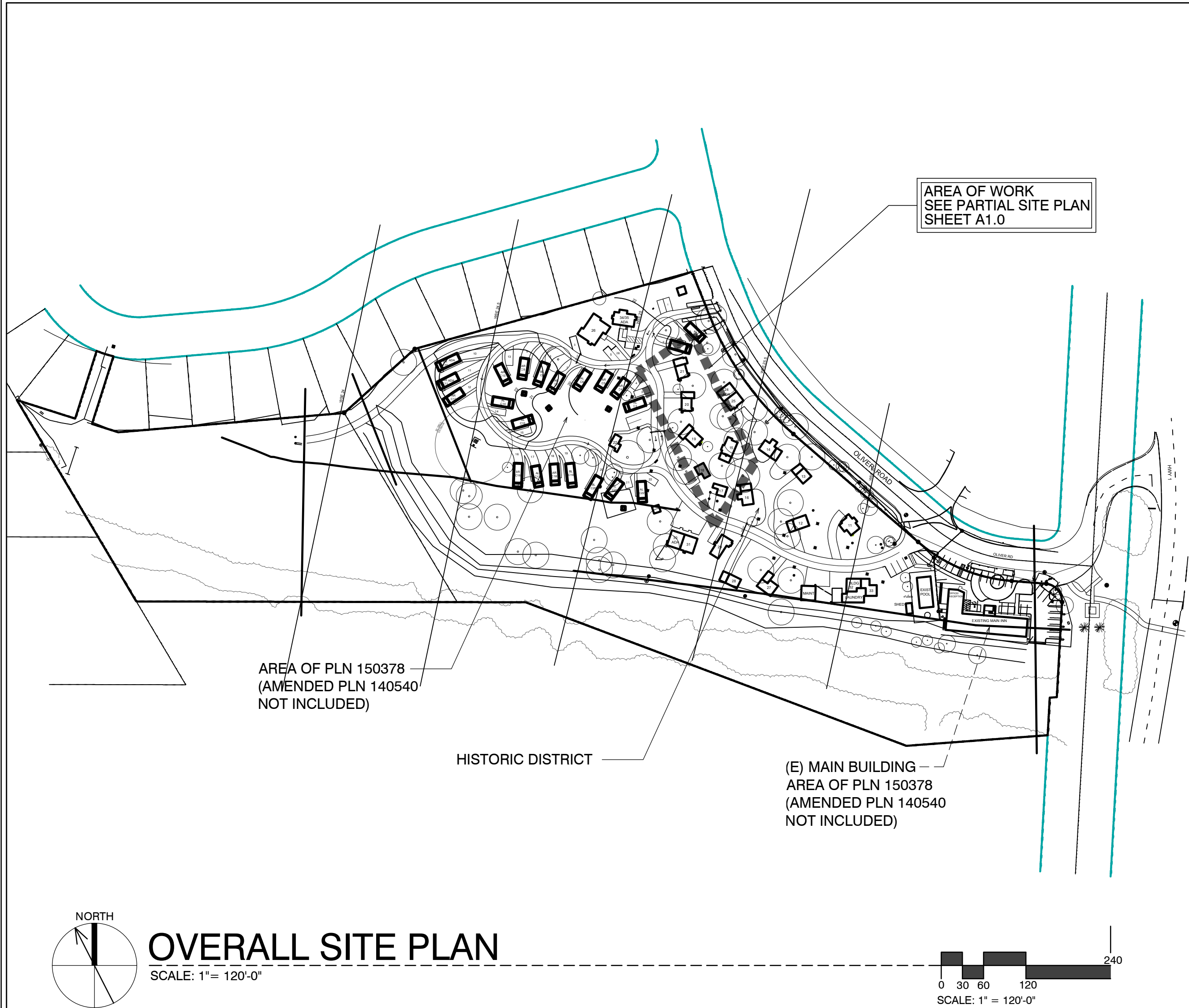
Revisions:

COVER SHEET PROJECT INFO

Sheet Number:

A0.1

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 18
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITION TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 COTTAGE #18 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N. 009-563-005
ZONING: DEVELOPED AREA: VSC-D(CZ)
UNDEVELOPED AREA: RC-D(CZ)
NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN: COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS: NONE
TREE REMOVAL: NONE
SEWER: CARMEL AREA WASTE WATER DISTRICT
WATER: (E) CAL-AM WATER SERVICE TO REMAIN

25CP02473

Monterey County
Building Services
Approved
Adan Carlos on Aug 18, 2025

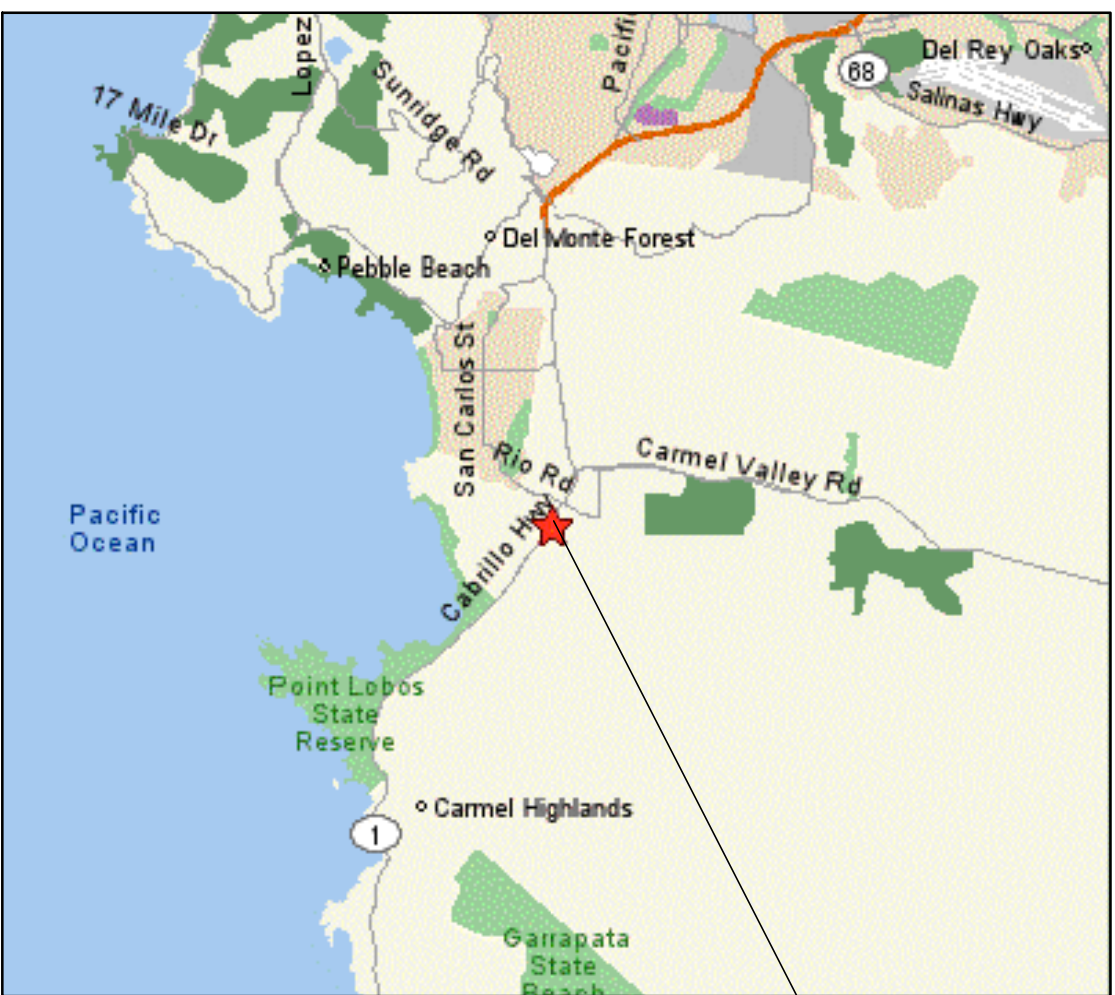
ABBREVIATIONS

& L	AND	DBL	DOUBLE	H.B.	HOSE BIB	O'	OVER	SIM.	SIMILAR
B	ANGLE	DEPT.	DEPARTMENT	HBD	HARDBOARD	OBS.	OBSCURE	S.S.	STAINLESS STEEL
E	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
C	CENTERLINE	D.F.	DOUGLAS FIR	HOR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
E	DIAMETER OR ROUND	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	OFF.	OFFICE	SPECS.	SPECIFICATIONS
O	PERPENDICULAR	DIA.	DIAGONAL	HDWR.	HARDWARE	O.H.W.S.	OVALHEAD WOOD SCREW	SQ.	SQUARE
J	PARALLEL	DIMEN.	DIMENSION	H.M.	HOLLOW METAL	OPNG.	OPENING	STL.	STEEL
J	ROUND OR NUMBER	DISP.	DISPENSER	HORIZ.	HORIZONTAL	OPPS.	OPPOSITE	STD.	STANDARD
(E)	EXISTING	DN.	DOWN	HOT.	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
		DRWG.	DRAWING	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STOR.	STORAGE
		D.S.	DOWNSPOUT	H.W.	HOT WATER	P.A.F.	POWDER ACTUATED FASTENER	STRUC.	STRUCTURAL
A.B.	ANCHOR BOLT	DWR.	DRAWER	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	P.G.	PARTICLE BOARD	SUSP.	SUSPENDED
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	E	EAST	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.L.F.	PERFORATED	SY.	SYMETRICAL
A.C.	ASPHALTIC CONCRETE	E.A.	EACH	I.D.	INSIDE DIAMETER	P.L.	PROPERTY LINE	T.	TREAD (S)
ACOUS.	ACOUSTICAL	ELEV.	ELEVATION, ELEVATOR	INCL.	INCLUDED, INCLUDING	P.L.	PLASTER	T.B.	TOWEL BAR
ADJ.	ADJUSTABLE, ADJACENT	ELEC.	ELECTRIC (AL)	INSUL.	INSULATION	PL. LAM.	PLASTIC LAMINATE	T.C.	TOP OF CURB
AGGR.	AGGREGATE	EMER.	EMERGENCY	INT.	INTERIOR	PLAS.	PLYWOOD	TEL.	TELEPHONE
ALUM.	ALUMINUM	ENCL.	ENCLOSURE	INV.	INVERT	PLY.	PLYWOOD	TEMP.	TEMPERED
ANOD.	ANODIZED	EQUIP.	EQUIPMENT	JAN.	JANITOR	P.S.F.	POUNDS PER SQUARE FOOT	T & G	TONGUE AND GROOVE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EXH.	EXHAUST	J.H.	JOIST HANGER	P.S.I.	POUNDS PER SQUARE INCH	T.G.R.	TOP OF GRATE
APPROX.	APPROXIMATE	EXP.	EXPOSED, EXPANSION	J.T.	JOINT	P.T.	PRESSURE TREATED	TH.	THICK (NESS)
ARCH.	ARCHITECT (URAL)	EXT.	EXTERIOR	KIT.	KITCHEN	P.T.D.	PAPER TOWEL DISPENSER	THRESH.	THRESHOLD
		F.A.	FIRE ALARM			P.V.C.	POLYVINYL CHLORIDE	T.O.	TOP OF
BD.	BOARD	F.A.	FIRE ALARM					T.P.	TOP OF PAVEMENT
BIT.	BITUMINOUS	FAST.	FASTEN, FASTENER					T.P.H.	TOILET PAPER HOLDER
BLDG.	BUILDING	F.B.	FLAT BAR					TV	TELEVISION
BLK.	BLOCK	F.D.	FLOOR DRAIN					T.W.	TOP OF WALL
BLKG.	BLOCKING	FDN.	FOUNDATION					TYP.	TYPICAL
B.M.	BENCH MARK	F.F.	FIRE EXTINGUISHER					U.B.C.	UNIFORM BUILDING CODE
BM.	BEAM	FIBERGL.	FIBERGLASS					U.L.	UNDERWRITERS LABORATORIES
BOT.	BOTTOM	FIN.	FINISH (ED)					U.O.N.	UNLESS OTHERWISE NOTED
BRG.	BEARING	F.H.M.S.	FLAT HEAD MACHINE SCREW					UR.	URINAL
B.TWN.	BETWEEN	F.H.W.S.	FLAT HEAD WOOD SCREW						
B.W.	BOTHWAYS	FLASH.	FLASHING						
		FLR.	FLOOR (ING)						
CAB.	CABINET	F.L.R.	FLOOR (ING)						
C.B.	CATCH BASIN	FLUOR.	FLUORESCENT						
CEM.	CEMENT	F.O.	FACE OF						
CER.	CERAMIC	F.O.C.	FACE OF CONCRETE						
C.F.	CUBIC FOOT	F.O.F.	FACE OF FINISH						
CLG.	CEILING	F.O.M.	FACE OF MASONRY						
C.I.	CAST IRON	F.P.	FACE OF STUDS						
CLKG.	CEILING	F.P.	FACE OF STUDS						
CL.	CLOSE	F.S.	FULL SIZE						
CLG.	CEILING	FT.	FOOT OR FEET						
CL.	CLOSE	FTG.	FOOTING						
CLG.	CEILING	FURR.	FURRED (ING)						
COL.	COLUMN								
COMP.	COMPOSITION								
CONC.	CONCRETE	GA.	GAUGE						
CONN.	CONNECT (ION)	GALV.	GALVANIZED						
CONSTR.	CONSTRUCT (ION)	G.B.	GRAB BAR						
CONT.	CONTINUOUS	G.I.	GALVANIZED IRON						
CORR.	CORRUGATED	GL.	GLASS, GLAZING						
CSMT.	CASEMENT	GR.	GRADE, GRADING						
CSWK.	CASEWORK	G.W.B.	GYPSUM WALLBOARD						
C.T.	CERAMIC TILE								
CTR.	COUNTER								
CTSK.	COUNTERSINK								
C.Y.	CUBIC YARD								

SYMBOLS

- 2 A6 DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- A7 SECTION KEY
SECTION NUMBER
SHEET NUMBER
- C A8 INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE B201 ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR DATUM POINT
- MATCHLINE
- 8 SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- 101C DOOR NUMBER
(SEE DOOR SCHEDULE)
- D WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- A EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- 2 REVISION

VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #18	R1	UNIT #18	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		

APPLICABLE CODES:
2022 California Building Code (CBC)
2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Energy Code (CenC)
Title 24

PROJECT DIRECTORY

PROJECT OWNER
CARMEL INN VENTURES
P.O. BOX 1796
CARMEL VALLEY, CA 93924
CONTACT: JOY BERRY / JAMES FLAGG
PHONE: (949) 500-7069

PROJECT ARCHITECT
THE PAUL DAVIS PARTNERSHIP
286 ELDORADO STREET
MONTEREY, CA 93940
PHONE: (831) 373-2784
FAX: (831) 373-7459
info@pauldavispartnership.com
CONTACT: PAUL E. DAVIS

CARMEL RIVER INN

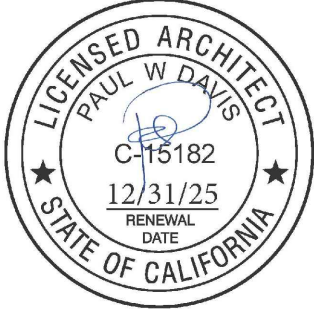
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #18/46 revised

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions:

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Sheet Title:
UNIT #18 FLOOR PLAN

Sheet Number:

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-11"

TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-3 1/4"

TOTAL DEMO = 26.7%

NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
 - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
 - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere of branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FOUNDATION VENT CALCULATION:
41 SF / 150 = .27 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

FND. PLAN UNIT 18

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 18

SCALE: 1/4" = 1'-0"

DEMO PLAN UNIT 18

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

FLOOR PLAN UNIT 18

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

ELECTRICAL PLAN UNIT 18

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

CARMEL
RIVER INN

U.S. HIGHWAY 1
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P.O. BOX 221609
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APN: 009-563-005

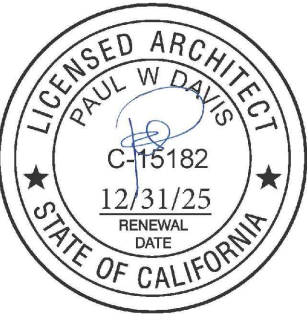
COTTAGE
REMODEL
#18/46 revised

SHEET NOTES

- NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
- PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
- PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
- Not Used
- NEW WOOD WINDOWS PAINTED TO MATCH (E)
- NOT USED
- NOT USED
- COPPER SCREENED FOUNDATION VENTS
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
- NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

THE
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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions:

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Sheet Title:
UNIT #18
ELEVATIONS

Sheet Number:



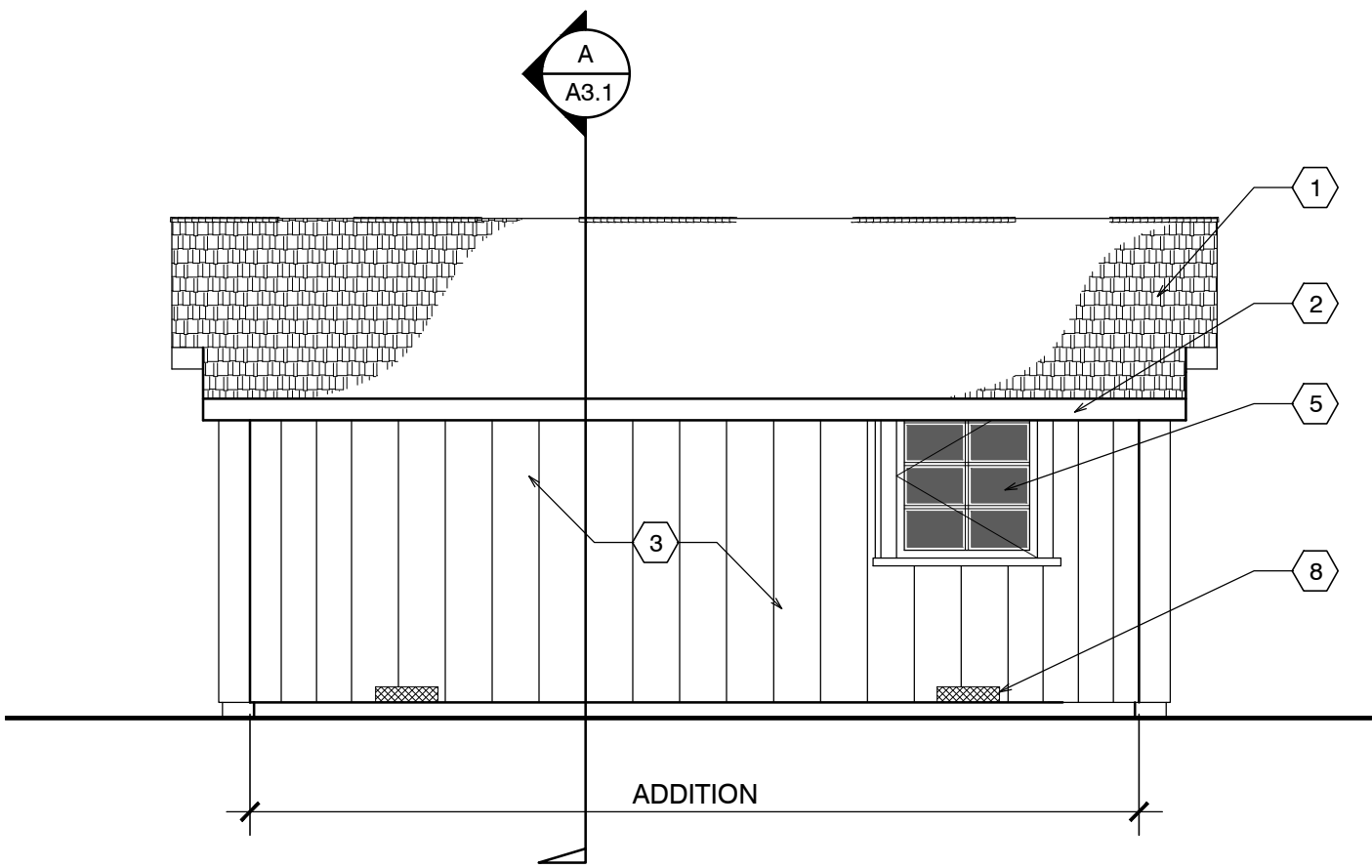
FRONT ELEVATION



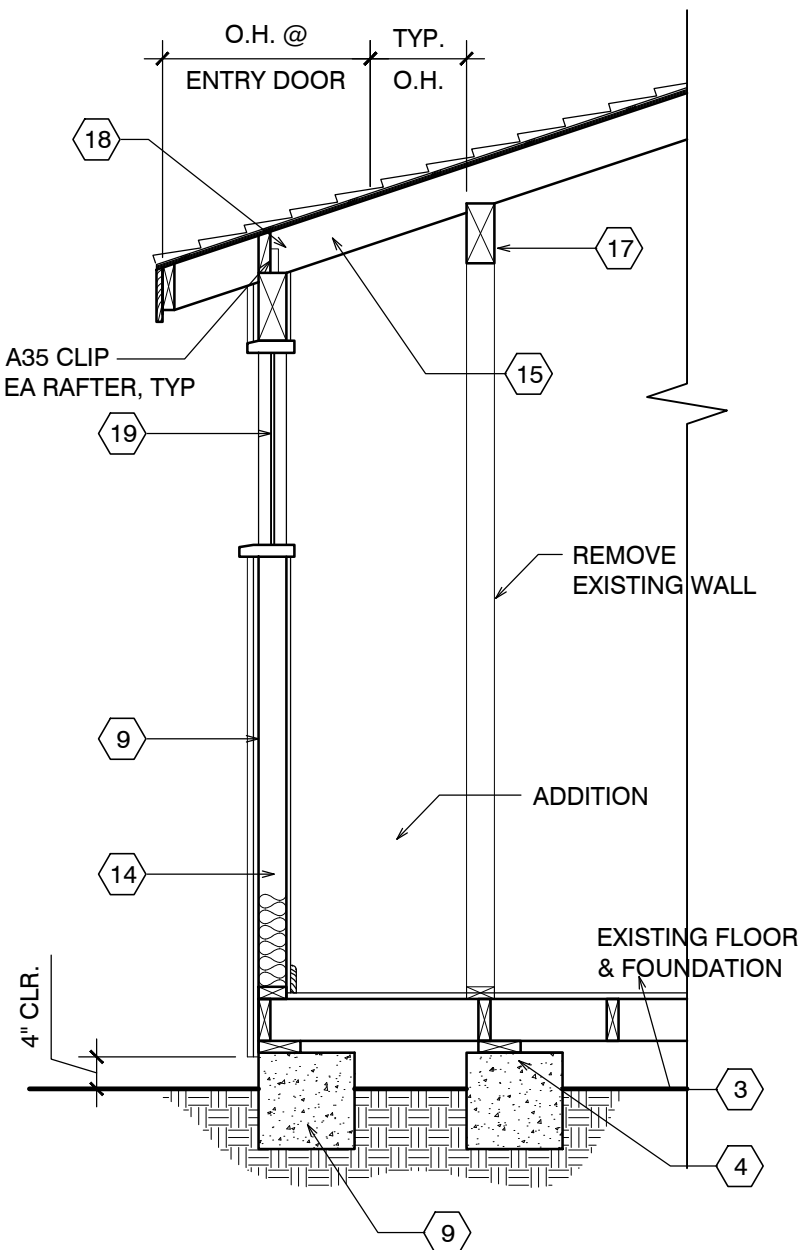
SIDE ELEVATION



SIDE ELEVATION

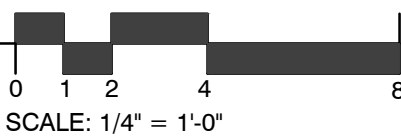


BACK ELEVATION



UNIT #18 SECTION
SCALE: 1/2" = 1'-0"

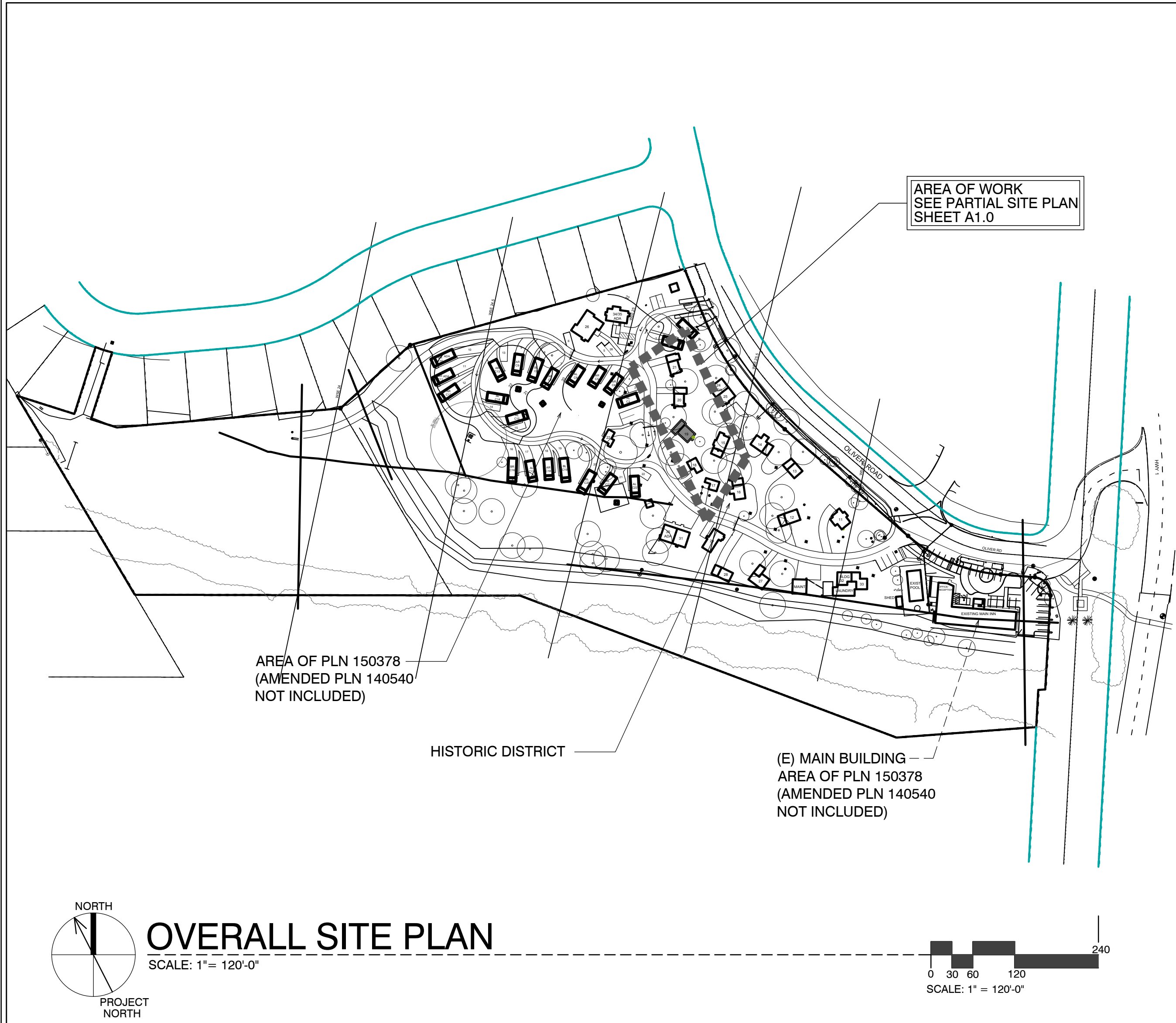
EXTERIOR ELEVATIONS UNIT #18
SCALE: 1/4" = 1'-0"



CARMEL RIVER INN

COTTAGE UNIT #19 (now 47) REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 19
- ADD NEW INSULATION IN WALL @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #19 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

25CP02472



Monterey County
Building Services
Approved
Adan Carlos on Aug 18, 2025

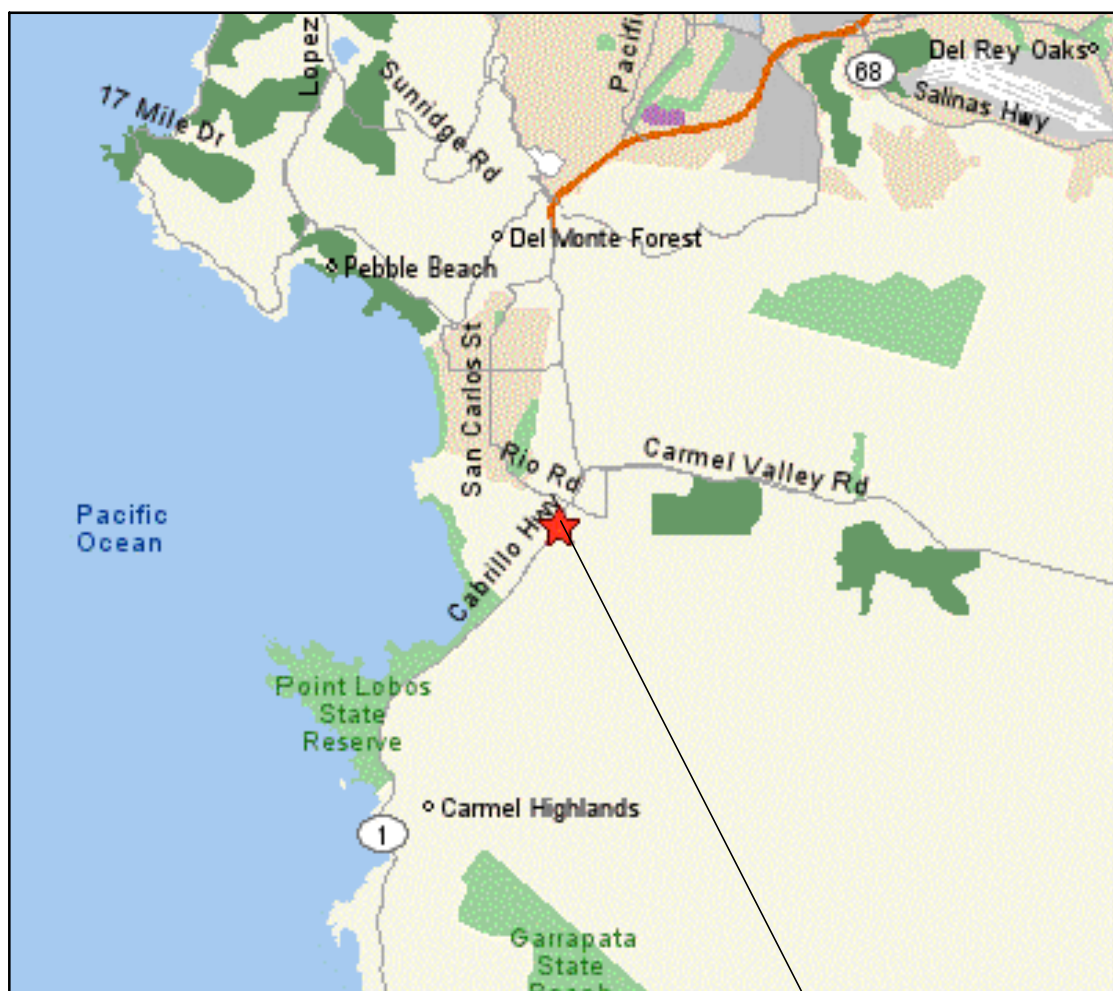
ABBREVIATIONS

& L @ E O # (E)	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL POUND OR NUMBER EXISTING	DBL DEPT. DET. D.F. D.H. DAG. DIA. DIMEN. DISP. DN DRWG. D.S. DWR.	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER	H.B. HBD. H.C. HOR. HDWD. HDWR. H.M. HORIZ. HOT. HTG. H.W. H.VAC.	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING	O/ OBS. O.C. O.D. OFF. O.H.M.S. O.H.W.S. OPNG. OPP. O.S.B.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD	P.A.F. PART. BD P.G. PERF. P.L.F. P.L. PL. PLAS. PLY. P.W. P.S.F. P.S.I. P.T. PART. P.T.D. P.V.C.	POWDER ACTUATED FASTENER PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT	JAN. J.H. JOIST HANGER JOINT KIT.	MAS. MASONRY MATERIAL (S) MAX. M.B. M.C. MCH. MECH. MEMB. MEZZ. MFR. MIN. MIR. MISC. MLDG. MLW. M.O. MTD. MTL. MULL.	LONG LENGTH LAMINATE, LAMINATED LAVATORY LAG BOLT LOCATE, LOCATION LIGHT WEIGHT MASONRY MATERIAL (S) MAXIMUM MACHINE BOLT MEDICINE CABINET MAN HOLE MECHANICAL MEMBRANE MEZZANINE MANUFACTURE (ER) MINIMUM MIRROR MISCELLANEOUS MOULDING MALEABLE IRON WASHER MASONRY OPENING MOUNTED METAL MULLION	N. NAT. N.C. N.O. N.T.S.	NORTH NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE
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SYMBOLS

2 A6	DETAIL KEY DETAIL NUMBER SHEET NUMBER
A7	SECTION KEY SECTION NUMBER SHEET NUMBER
C A8	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
OFFICE B201	ROOM NAME ROOM NUMBER
WORK POINT, CONTROL POINT, OR DATUM POINT	
MATCHLINE	
8	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
101C	DOOR NUMBER (SEE DOOR SCHEDULE)
D	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
A	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
2	REVISION

VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #19	R1	UNIT #19	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		
APPLICABLE CODES:				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Energy Code (CENc)				
Title 24				

PROJECT DIRECTORY

PROJECT OWNER
CARMEL INN VENTURES
P.O. BOX 1796
CARMEL VALLEY, CA 93924
CONTACT: JOY BERRY / JAMES FLAGG
PHONE: (949) 500-7069

PROJECT ARCHITECT
THE PAUL DAVIS PARTNERSHIP
286 ELDORADO STREET
MONTEREY, CA 93940
PHONE: (831) 373-2784
FAX: (831) 373-7459
info@pauldavispartnership.com
CONTACT: PAUL E. DAVIS

Project / Owner:

CARMEL RIVER INN

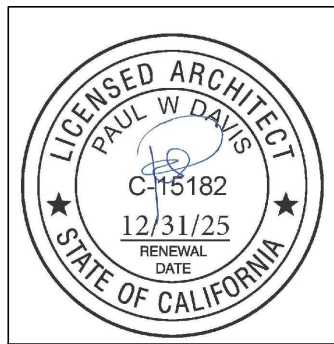
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-03

COTTAGE REMODEL #19/47 revised

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

COVER SHEET PROJECT INFO

Sheet Number:

A0.1

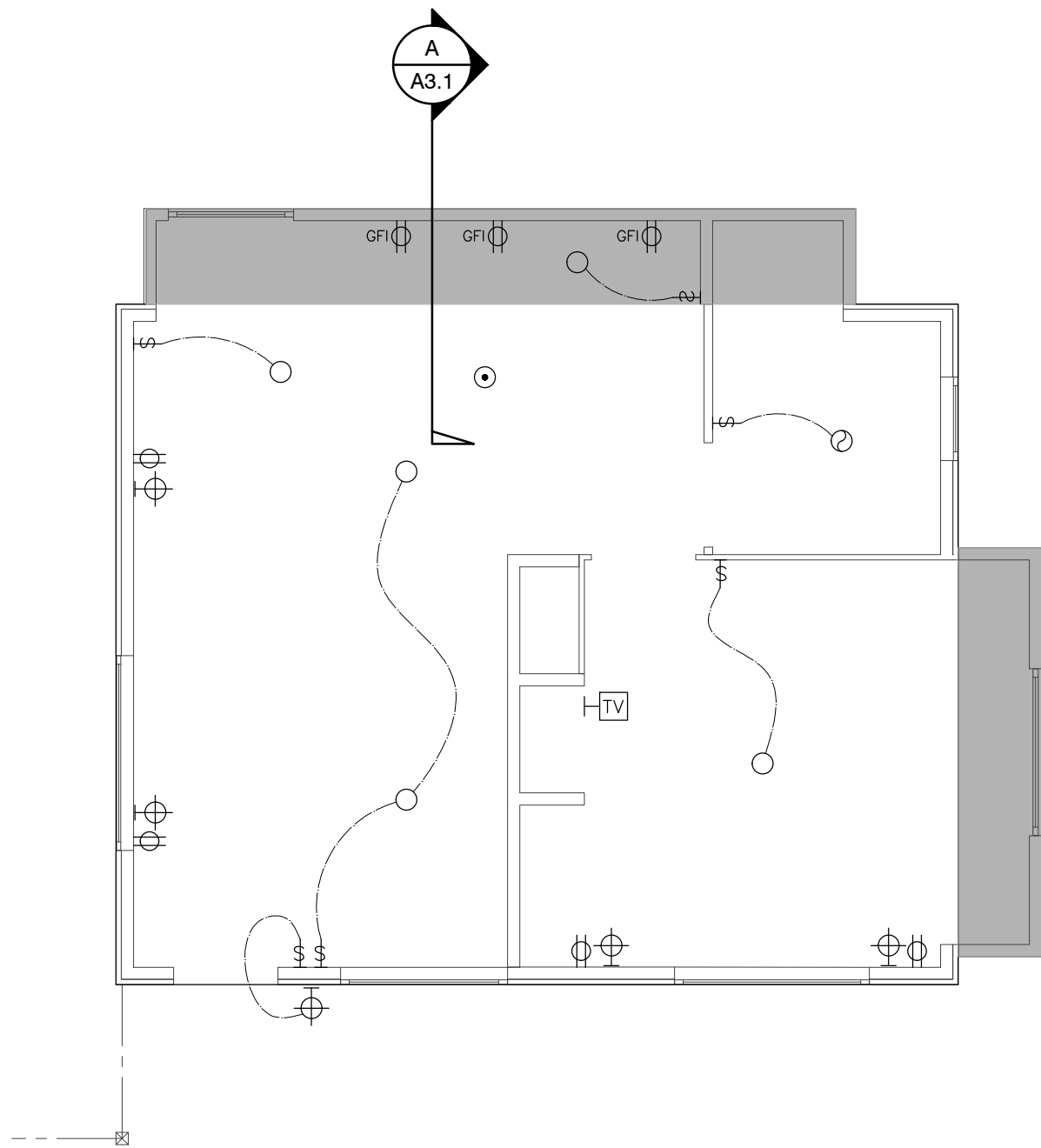
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DEMO PLAN UNIT 19

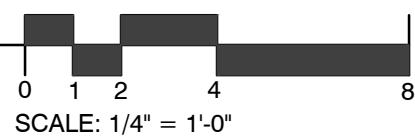
SCALE: 1/4" = 1'-0"

NORTH



ELECTRICAL PLAN UNIT 19

SCALE: 1/4" = 1'-0"



DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 72'-11 1/4"

TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 16'-5"

TOTAL DEMO = 22.5%

NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

ELECTRICAL LEGEND

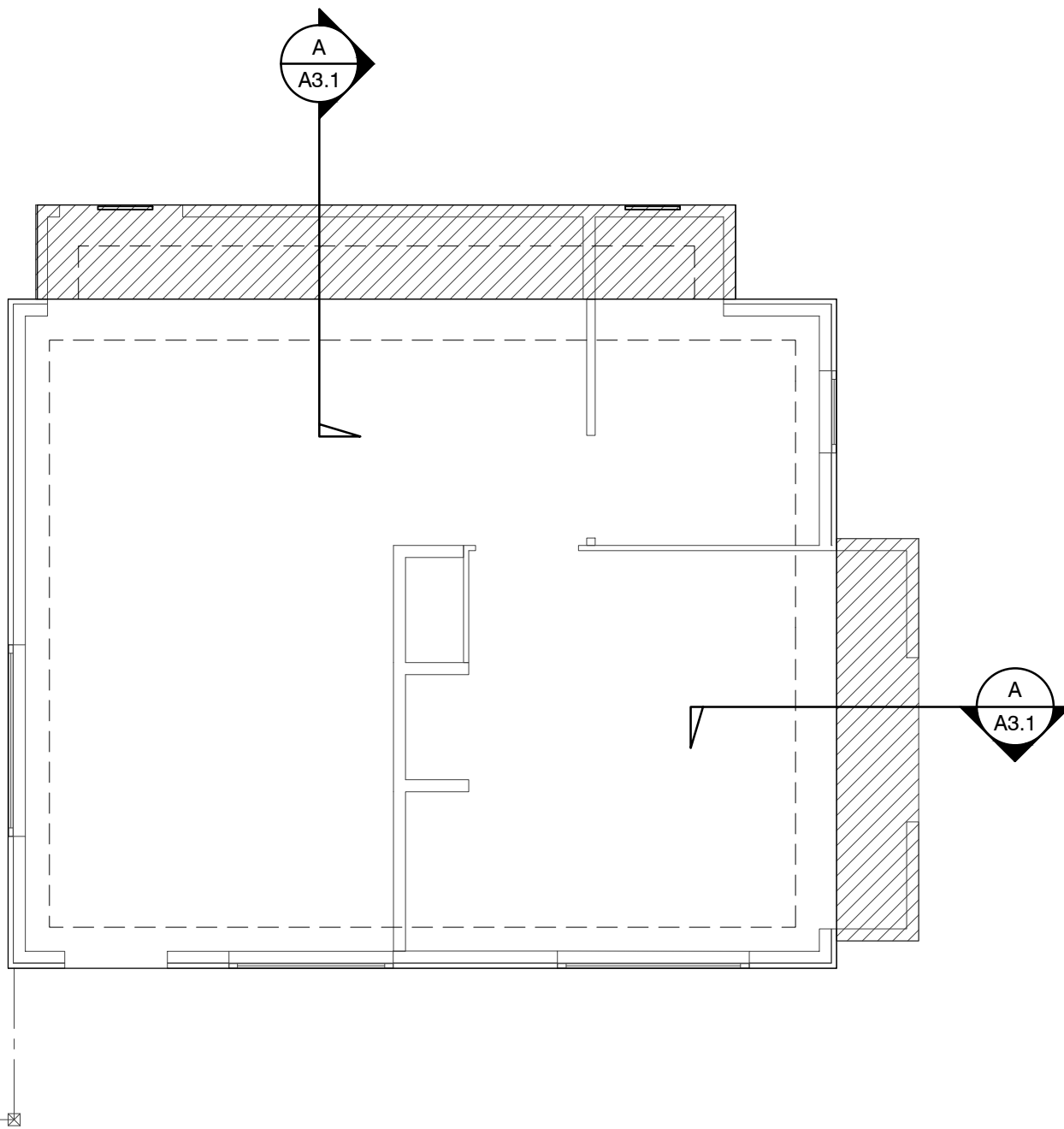
- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

NOTES:

- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
- ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
- PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

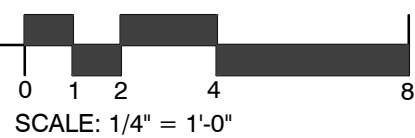
- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



FOUNDATION VENT CALCULATION:
57 SF / 150 = .38 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

FND. PLAN UNIT 19

SCALE: 1/4" = 1'-0"



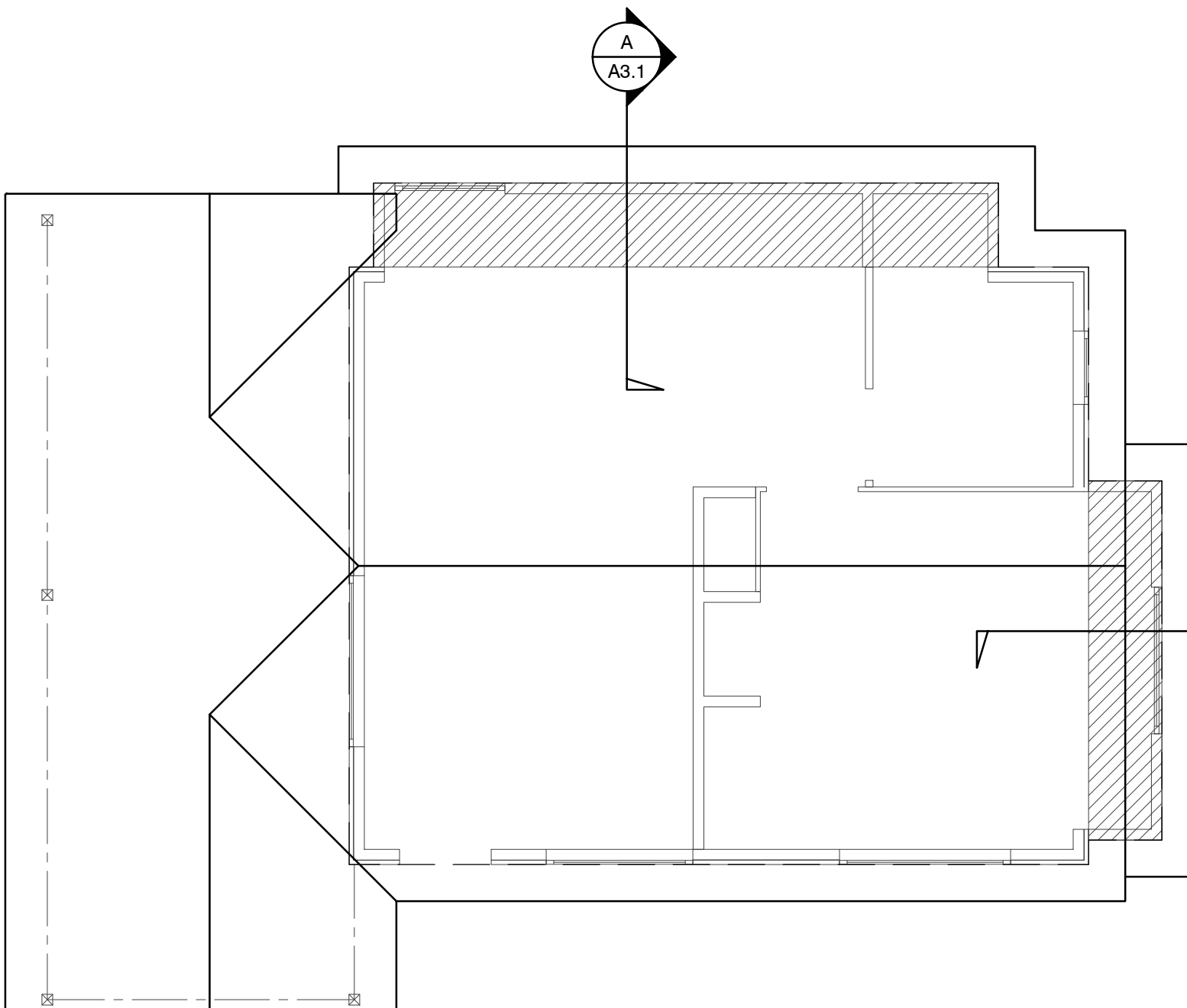
FLOOR PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH

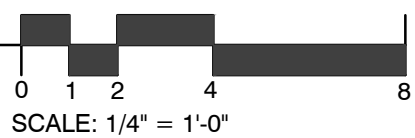
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



ROOF PLAN UNIT 19

SCALE: 1/4" = 1'-0"



FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/4" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF



Adan Carlos on Aug 18, 2025

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x³/₁₆" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

Project / Owner:

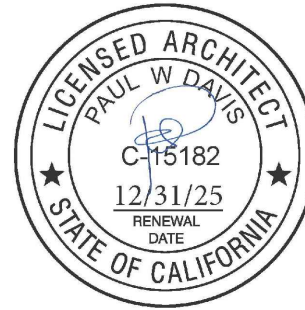
CARMEL RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-03

COTTAGE REMODEL #19/47 revised

THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

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286 Eldorado Street
Monterey, CA 93940
(831) 373-2784 FAX (831) 373-7459
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Sheet Title:
**UNIT #19
FLOOR PLAN**

Sheet Number:

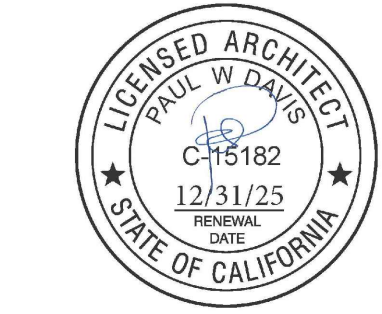
CARMEL
RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-03

COTTAGE
REMODEL
#19/47 revised

THE
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Drawing Date: 07/15/2025
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Sheet Title:
UNIT #19
ELEVATIONS

Sheet Number:

SHEET NOTES

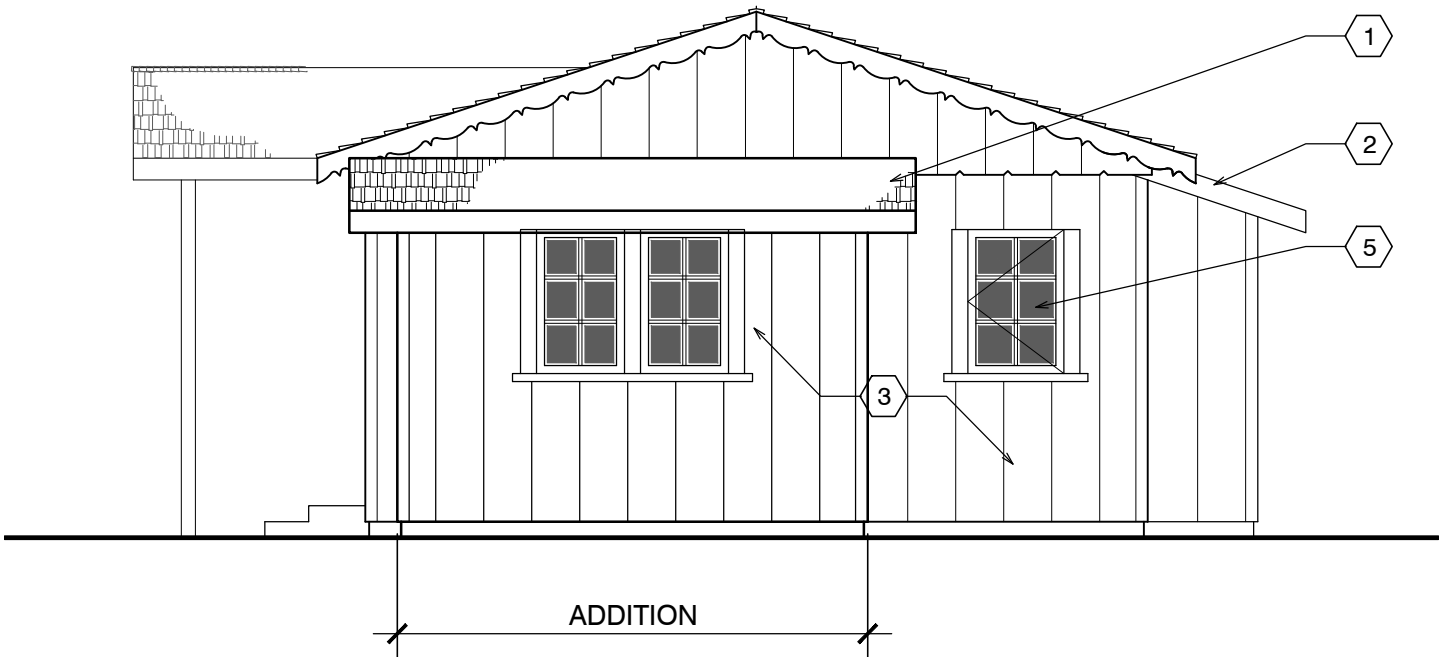
1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



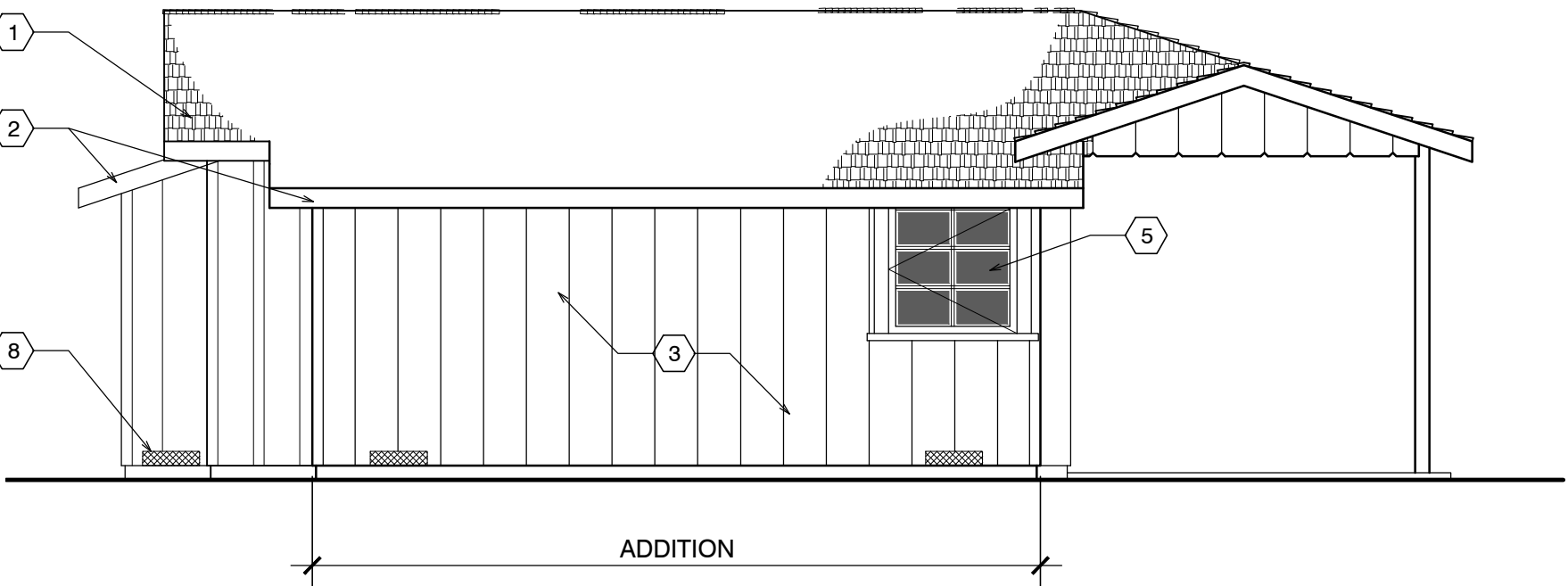
FRONT ELEVATION



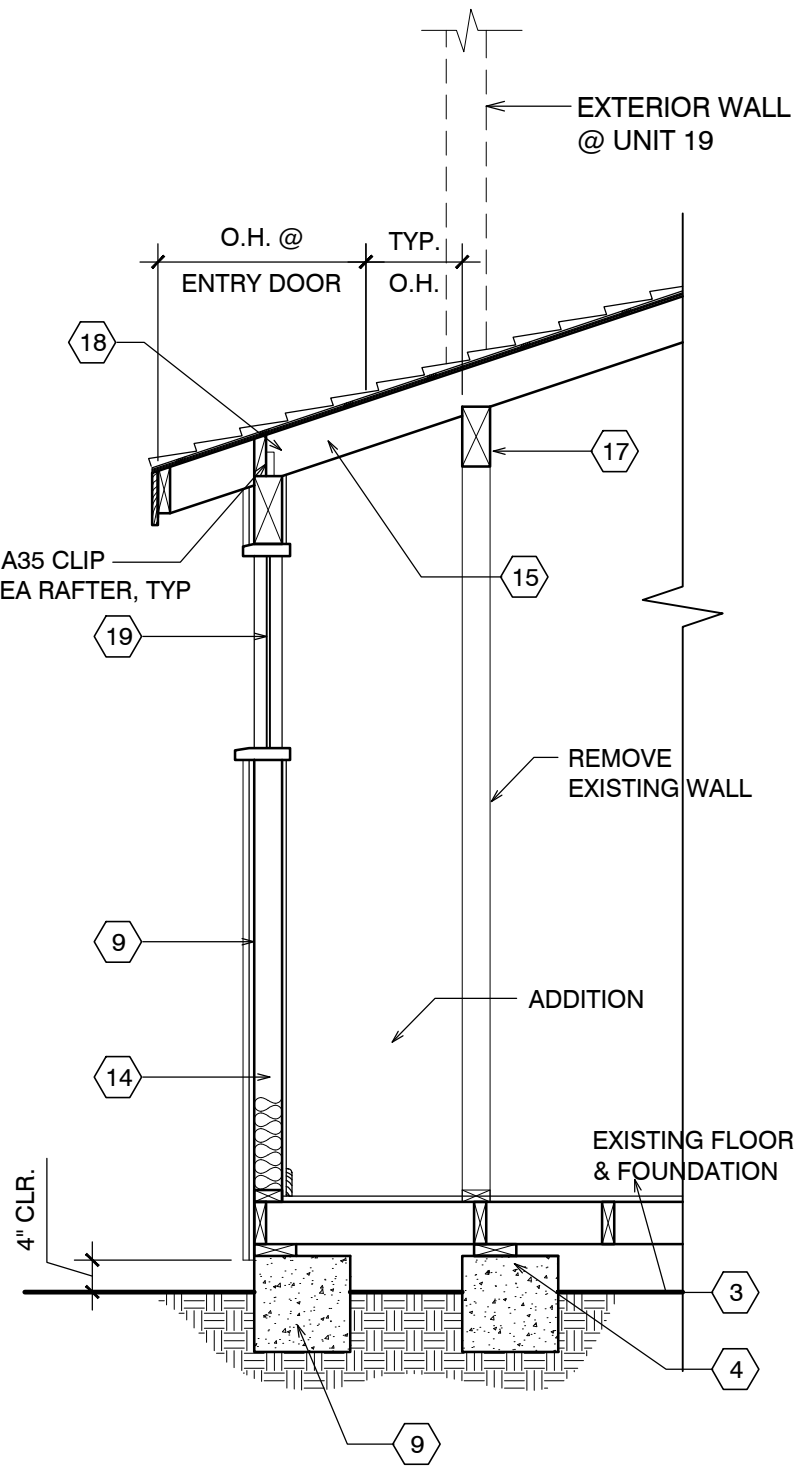
SIDE ELEVATION



SIDE ELEVATION



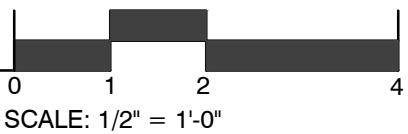
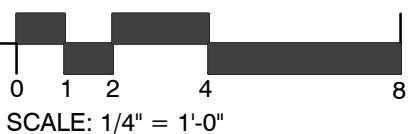
BACK ELEVATION



UNIT #19 SECTION

EXTERIOR ELEVATIONS UNIT #19

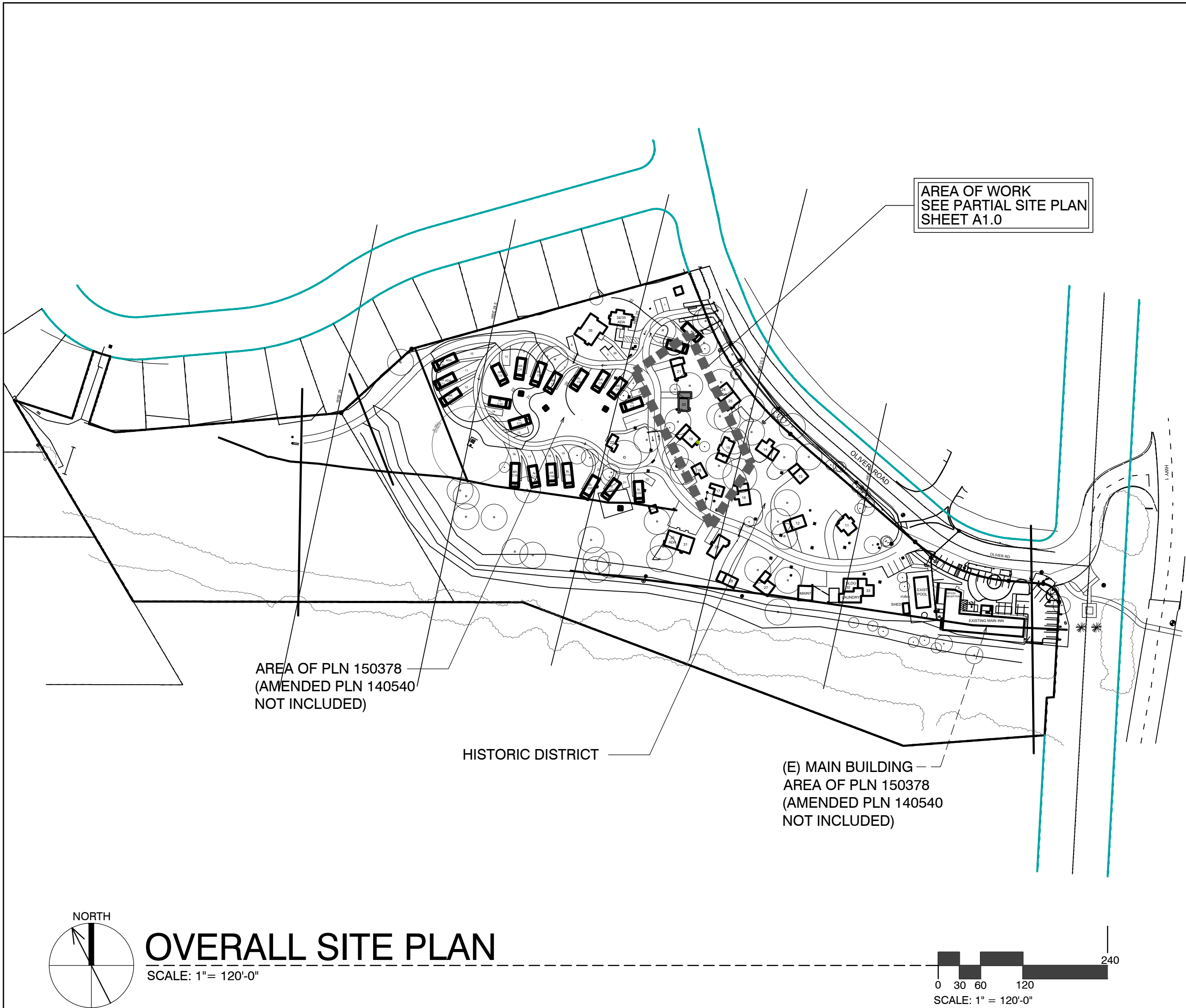
SCALE: 1/4" = 1'-0"



CARMEL RIVER INN

COTTAGE UNIT #20 (now 49) REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 20
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #20 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

ABBREVIATIONS

S L @ E O # (E)	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL POUND OR NUMBER EXISTING	DBL DEPT. DET. D.F. D.H. DAG. DIA. DIMEN DISP DN DRWG. D.S. DWR.	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER	H.B. HBD. H.C. HOR. HDWD. HDWR. H.M. HORIZ. HOT. HTG. H.W. H.VAC.	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING	O' OBS. O.C. O.D. O.H.M.S. O.H.W.S. OPNG. OPP. O.S.B.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD	SIM. S.S. S.M. S.M.S. SPECS. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYS.	SIMILAR STAINLESS STEEL SHEET METAL SHEET METAL SCREW SPECIFICATIONS SQUARE STEEL STANDARD STAGGERED STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM		
A.B.S. A.C. ACOUS. ADJ. AGGR. ALUM. ANOD. A.P.A. APPROX ARCH.	ANCHOR BOLT ACRYLONITRILE BUTADIENE STYRENE ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ADJUSTABLE, ADJACENT AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROXIMATE ARCHITECT (URAL)	E EA. ELEV. ELEC. EMER. ENCL. EQUIP. EXIST (E) EXH. EXP. EXT.	EAST EACH ELEVATION, ELEVATOR ELECTRIC (AL) EMERGENCY ENCLOSURE EQUIPMENT EXIST (E) EXHAUST EXPOSED, EXPANSION EXTERIOR	I.C.B.O. ID. INCL. INSUL. INT. INV.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INCLUDED, INCLUDING INSULATION INTERIOR INVERT	P.A.F. PART. BD P.G. P.L.F. PERF. PLY. P.S.F. P.S.I. P.T. PART. P.T.D. P.V.C.	POWDER ACTUATED FASTENER PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT P.S.I. PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE	R R. R.A. RAD. R.D. R.O. REG. REF. REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT RES. R.H.M.S. R.M. R.O. R.O.W. R.S. RUB. RUB. R.W.L.	RISE RISER (S) RETURN AIR RADIUS ROOF DRAIN REGISTER REFRIGERATOR REINFORCED, REINFORCING REQUIRED REQUIREMENT RESILIENT ROUND HEAD METAL SCREW ROUND HEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RESAW RUBBER REDWOOD RAIN WATER LEADER	T. T.B. T.C. TEL. TEMP. T.E.N. T & G T.G.R. T.H. THRESH. T.O. T.P. T.P.H. T.V. T.W. TYP. U.B.C. U.L. U.O.N. UR. U.S.B. V.B. VAR. VERT. V.G. V.T. W. W.C. W.C. W.C. W.D. W.D.W. W.P. W.R. W.S. W.S.C. W.T. W.W.M.	TREAD (S) TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TYPICAL TYPICAL TYPICAL UNIFORM BUILDING CODE UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED URINAL VAPOR BARRIER VARIES VERTICAL VERTICAL GRAIN VINYL TILE WEST WIDE, WIDTH WITH WATER CLOSET WATER WINDOW WATER HEATER WOODWORK INSTITUTE OF CALIFORNIA WITHOUT WATERPROOF WATER RESISTANT WOOD SCREW WINDSCOT WEIGHT WELDED WIRE MESH
B.D. BIT. BLDG. BLK. BLKG. B.M. BM. BOT. BRG. BTWN. B.W. CAB. C.B. CEM. CER. C.F. C.I. CLKG. CLG. CL. CLG. COL. COL. CONC. CONSTR. CONSTR. CONSTR. CORR. CSMT. CSWK. C.T. CTR. CTSK. C.Y.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BENCH MARK BEAM BOTTOM BEARING BETWEEN BOTHWAYS CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT CAST IRON CALLING CEILING CLOSE CLEAR (ANCE) COLUMN COMPOSITION CONCRETE CONNECT (ION) CONSTRUCT (ION) CONTINUOUS CORRUGATED CASEMENT CASEWORK CERAMIC TILE COUNTER COUNTERSUNK CUBIC YARD	F.A. FAST. F.B. F.D. FDN. FIRE. FIBERGL. FIN. F.H.M.S. F.H.W.S. FLASH. FLR. FLUOR. F.O. F.O.C. F.O.F. F.O.S. F.P. F.S. FT. FTG. FURR.	FIRE ALARM FASTEN, FASTENER FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIBERGLASS FINISH (ED) F.H.M.S. FLAT HEAD MACHINE SCREW F.H.W.S. FLAT HEAD WOOD SCREW FLASHING FLOOR (ING) FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FIREPLACE FULL SIZE FOOT OR FEET FOOTING FURRED (ING)	MAS. MAT. MAX. M.B. M.C. MECH. MEZZ. MFR. MIN. MIR. MISC. MLDG. M.L.W. M.O. MTD. MTL. MULL.	MASONRY MATERIAL (S) MAXIMUM MACHINE BOLT MASONRY CABINET MAN HOLE MECHANICAL MEMBRANE MEZZANINE MANUFACTURE (ER) MINIMUM MIRROR MISCELLANEOUS MOULDING MALLEABLE IRON WASHER MASONRY OPENING MOUNTED METAL MULLION NORTH NEW NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE	N N. NAT. N.C. NOM. N.T.S.	S S. SOUTH SOLID BLOCKING SOLID CORE SCHEDULE S.D. SECTION SERV. S.F. S.G. SH. SHWR. SHT. SHTG.	SOUTH SOLID BLOCKING SOLID CORE SCHEDULE STORM DRAIN SECTION SERVICE SQUARE FEET (FOOT) NEW SHELF, SHELVING SHOWER SHEET SHEATHING			

SYMBOLS

- 2
A6
DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- A
A7
SECTION KEY
SECTION NUMBER
SHEET NUMBER
- C
A8
INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE
B201
ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR
DATUM POINT
- MATCHLINE
- 8
SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- 101C
DOOR NUMBER
(SEE DOOR SCHEDULE)
- D
WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- A
EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- 2
REVISION

VICINITY MAP



PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #20	R1	UNIT #20	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		

APPLICABLE CODES:
2022 California Building Code (CBC)
2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Energy Code (CEnC)
Title 24

PROJECT DIRECTORY

PROJECT OWNER
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Project / Owner:

CARMEL RIVER INN

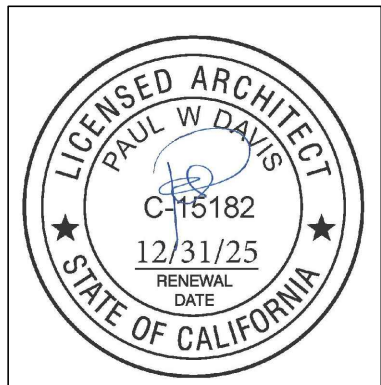
U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE REMODEL #20/49 revised

THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions: 08-29-2025

COVER SHEET PROJECT INFO

Sheet Title:

A0.1

CARMEL RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
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APN: 009-563-005

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Sheet Title:
UNIT #20 FLOOR PLAN

Sheet Number:

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 74'-8"

TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 28'-1 1/2"

TOTAL DEMO = 37.6%

NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

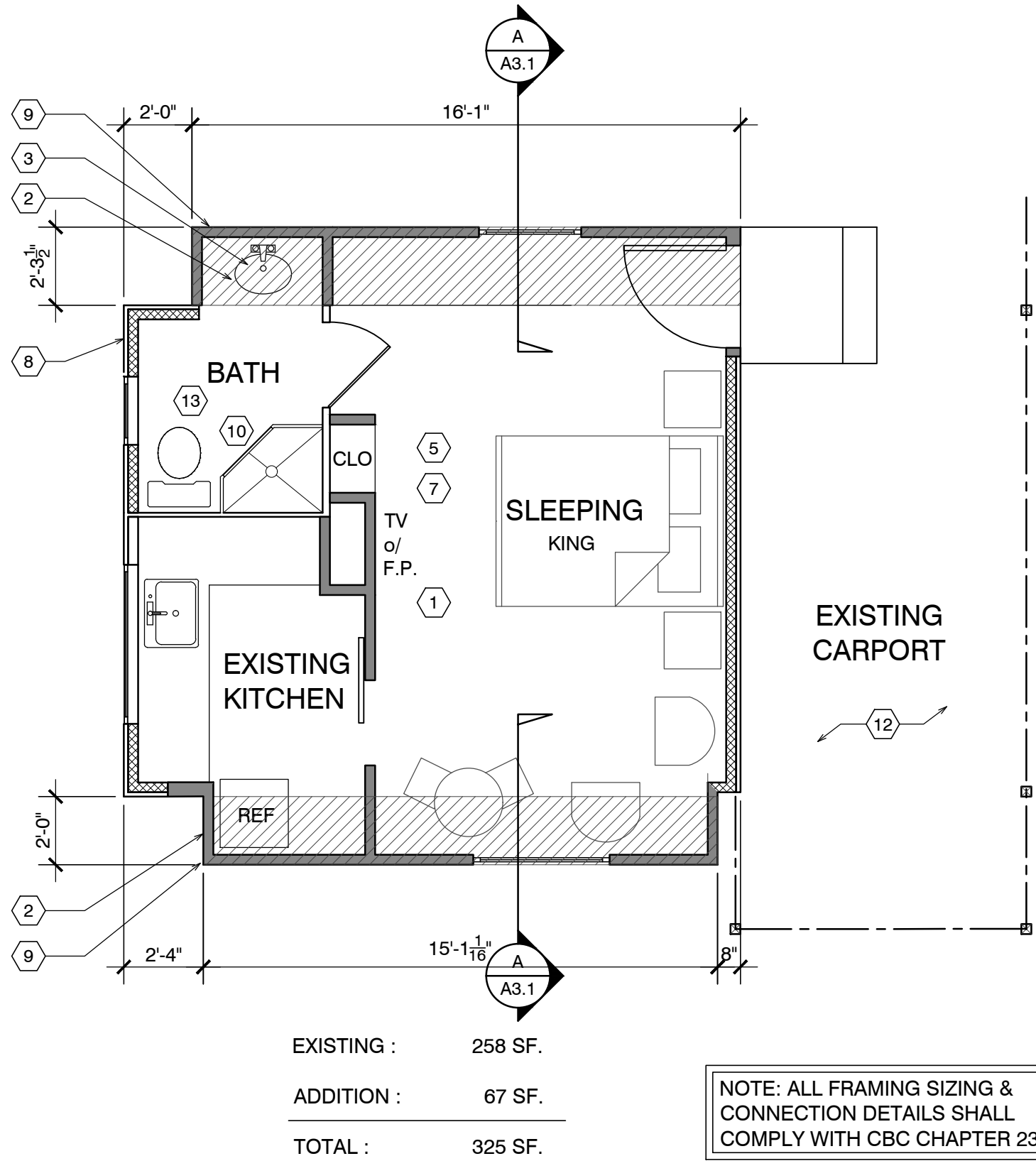
ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
 - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
 - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



FLOOR PLAN UNIT 20

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x³/₁₆" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

DEMO PLAN UNIT 20

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

ELECTRICAL PLAN UNIT 20

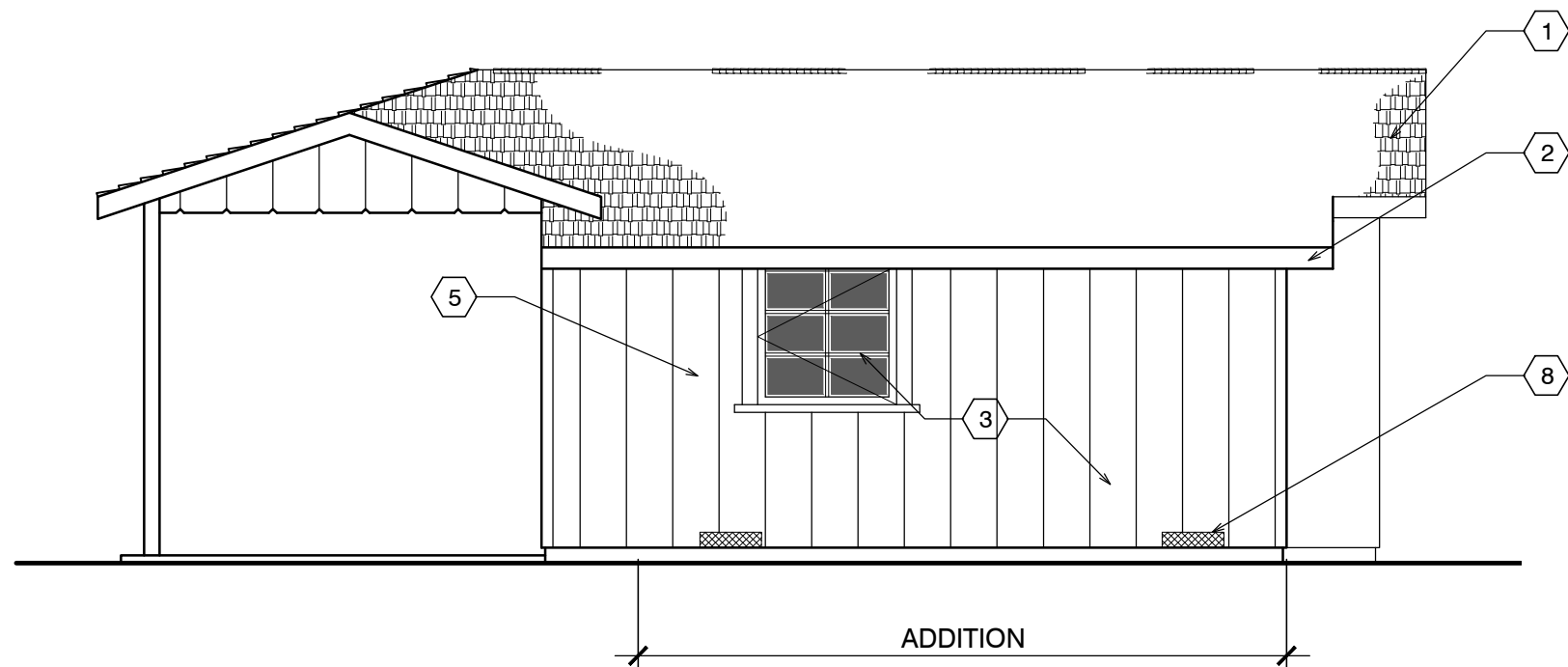
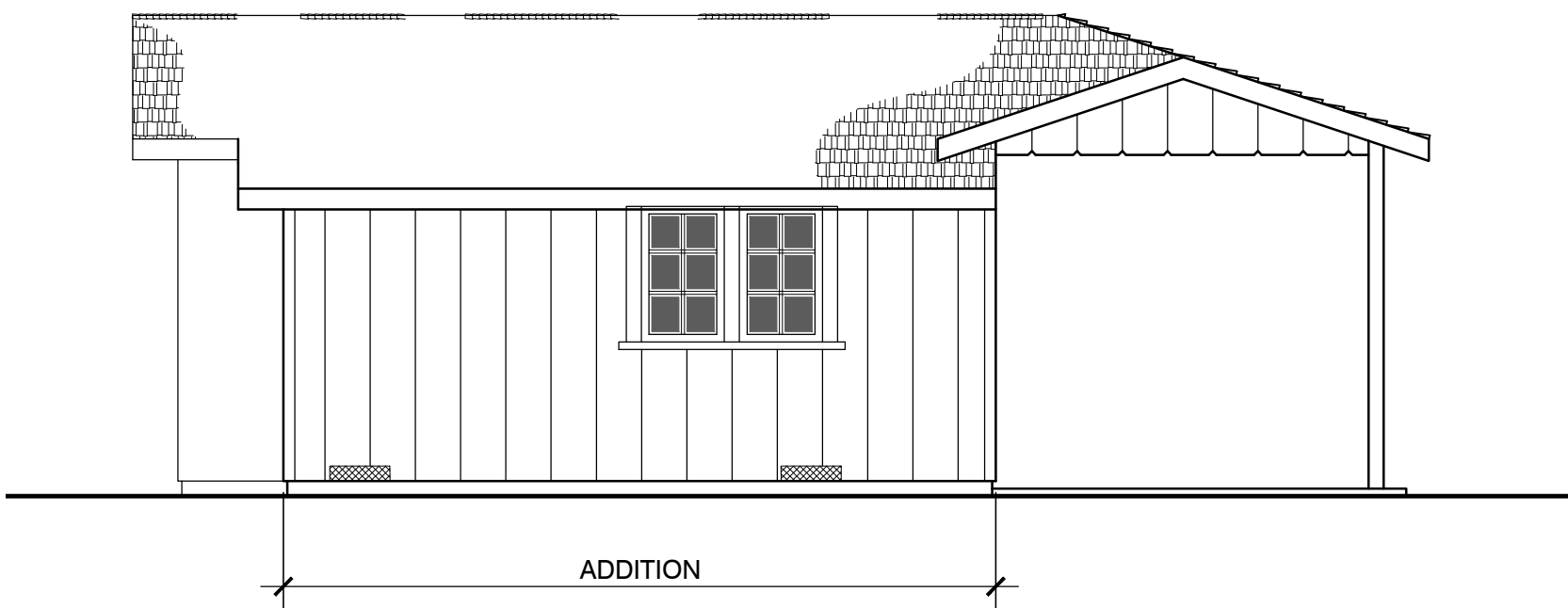
SCALE: 1/4" = 1'-0"

FND. PLAN UNIT 20

SCALE: 1/4" = 1'-0"

ROOF PLAN UNIT 20

SCALE: 1/4" = 1'-0"



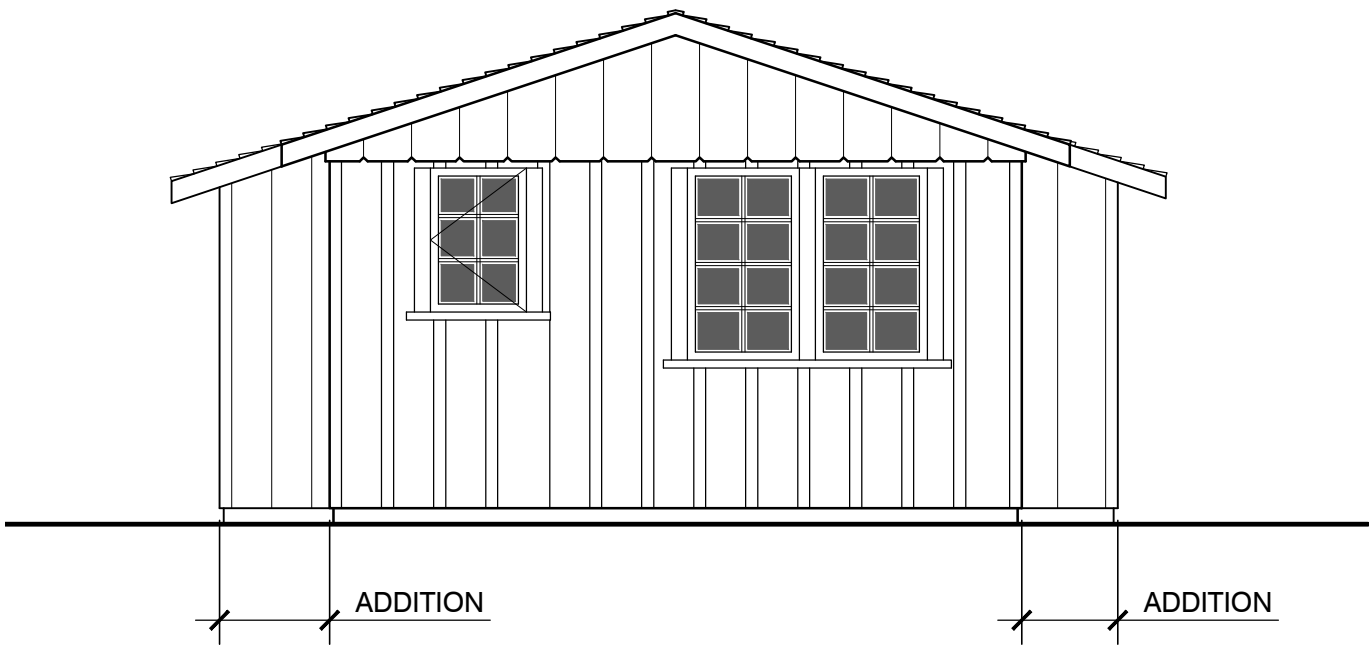
FRONT ELEVATION



SIDE ELEVATION



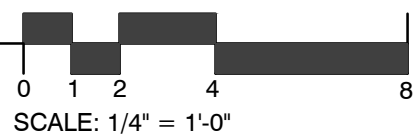
SIDE ELEVATION



BACK ELEVATION

EXTERIOR ELEVATIONS UNIT #20

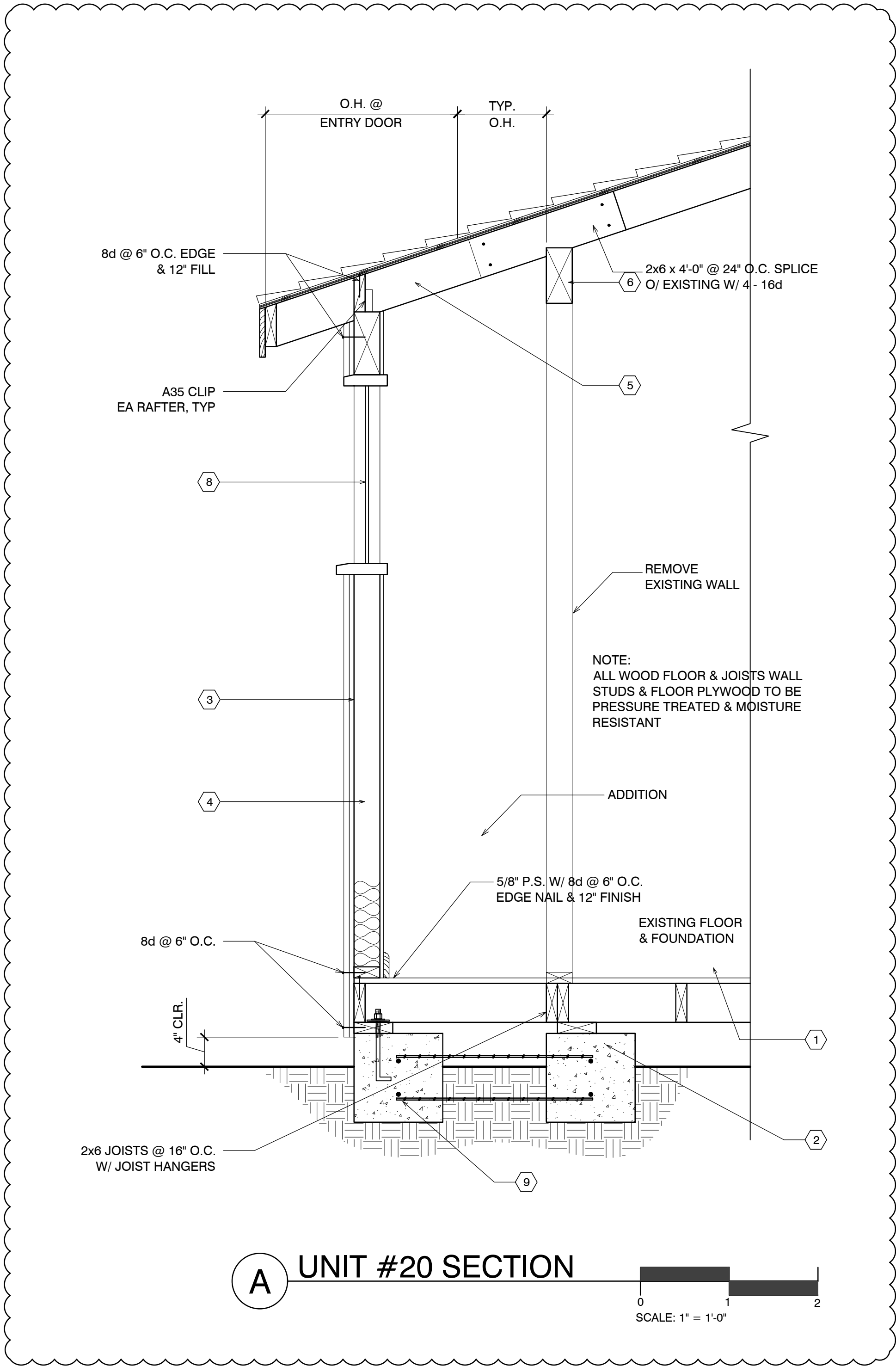
SCALE: 1/4" = 1'-0"



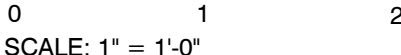
SHEET NOTES

- (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
- (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
- NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
- R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
- R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
- NEW 6x8 & BTR D.F. HEADER
- EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" LONG WALL TO EXISTING W/ 10'-16d
- REUSE EXISTING WINDOW MATCH EXISTING TRIM
- NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.

1



UNIT #20 SECTION



Project / Owner:

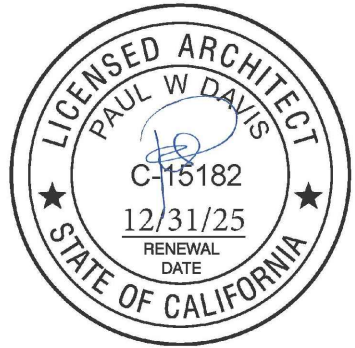
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COTTAGE REMODEL
#20/49 revised

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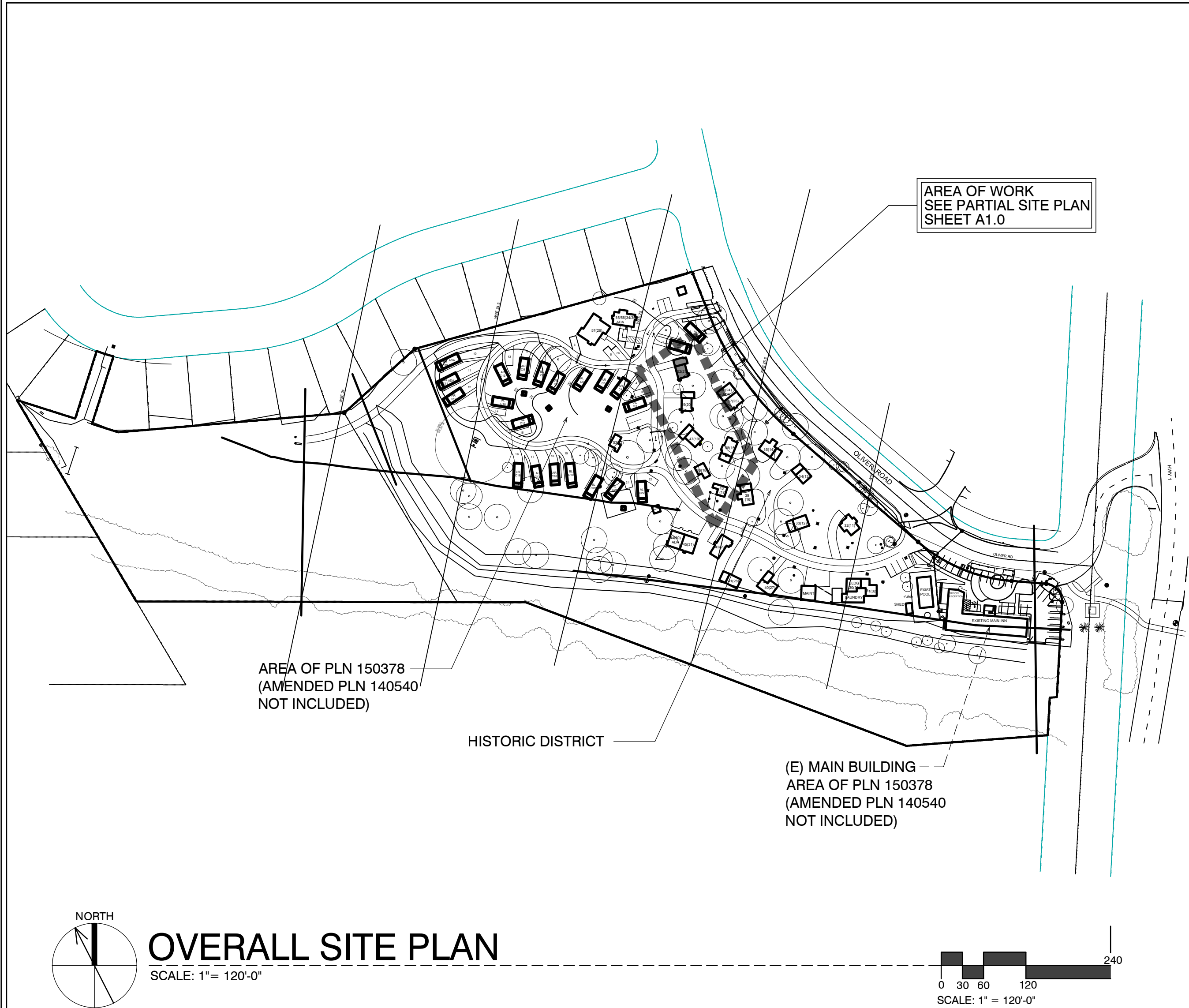
Sheet Title:
UNIT #20
ELEVATIONS

Sheet Number:

CARMEL RIVER INN

COTTAGE UNIT #21 (now 52) REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 21
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1 & A3.1

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #21 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

Project / Owner:

CARMEL RIVER INN

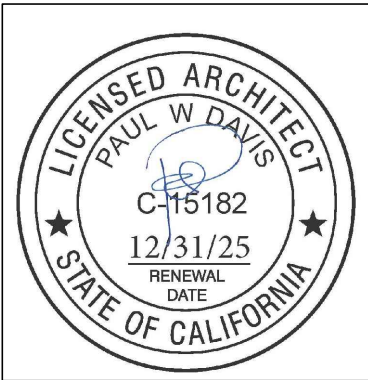
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COTTAGE REMODEL #21/now #52

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COVER SHEET PROJECT INFO

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A0.1

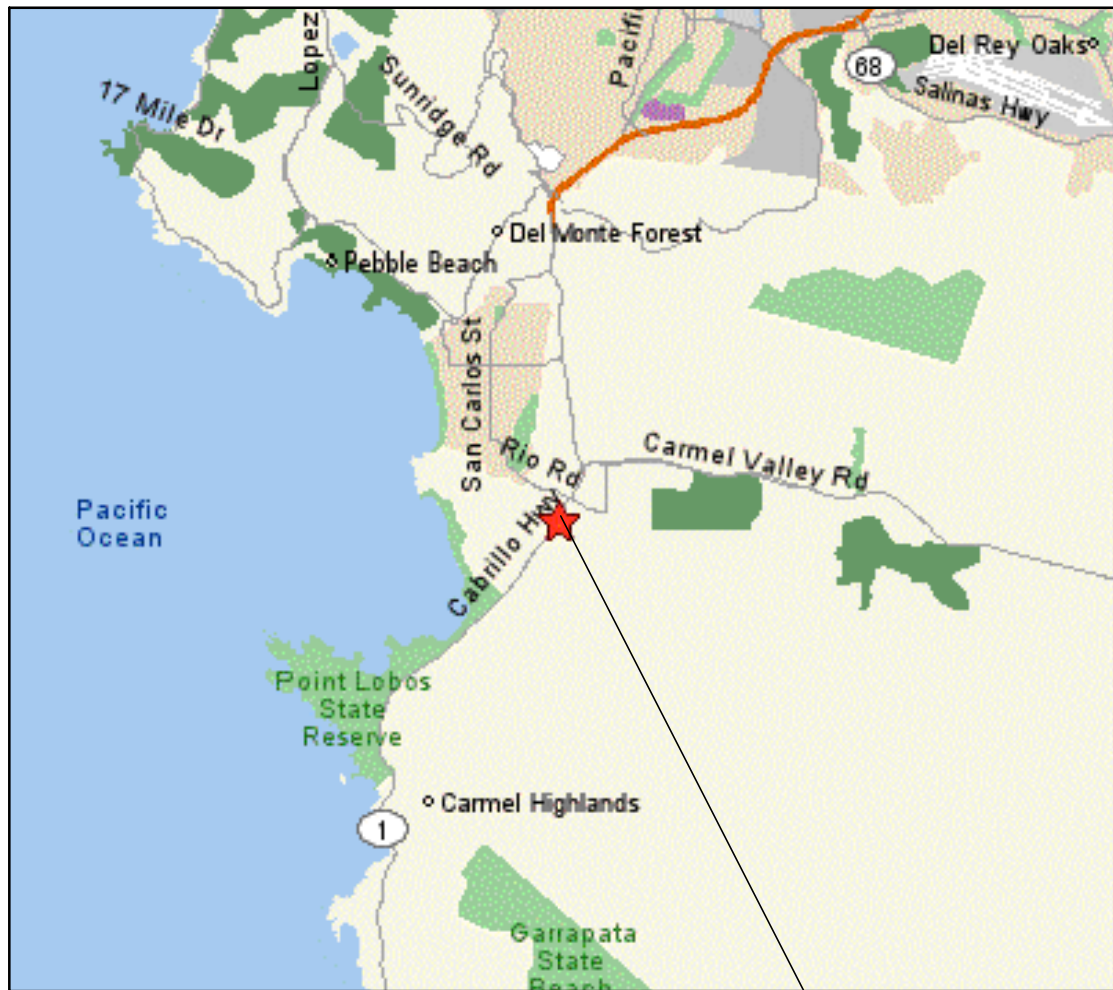
ABBREVIATIONS

& L B E O J # (E)	AND ANGLE AT CENTERLINE PLATE DIAMETER OR ROUND PERPENDICULAR PARALLEL POUND OR NUMBER EXISTING	DBL DEPT. DET. D.F. D.H. DIAG. DIA. DIMEN. DISPENSER DN DRWG. D.S. DWR.	DOUBLE DEPARTMENT DETAIL DOUGLAS FIR DOUBLE HUNG DIAGONAL DIAMETER DIMENSION DISPENSER DOWN DRAWING DOWNSPOUT DRAWER	H.B. HBD H.C. HOR. HDWR. HDWD. H.M. HORIZ. HGT. HTG. H.W. H.VAC	HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEIGHT HEATING HOT WATER HEATING, VENTILATING, AND AIR CONDITIONING	O/ OBS. O.C. O.D. OFF. O.H.M.S. O.H.W.S. OPNG. OPP. O.S.B.	OVER OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OVALHEAD MACHINE SCREW OVALHEAD WOOD SCREW OPENING OPPOSITE ORIENTED STRAND BOARD	P.A.F. PART. BD P.G. PERF. P.L.F. P.L. PL. PLAS. PLY. P.S.F. P.S.I. P.T. PART. P.T.D. P.V.C.	POWDER ACTUATED FASTENER PARTICLE BOARD PAINT GRADE PERFORATED POUNDS PER LINEAL FOOT PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PARTITION PAPER TOWEL DISPENSER POLYVINYL CHLORIDE	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS I.D. INSIDE DIAMETER INCL. INCLUDING INSUL. INSULATION INT. INTERIOR INV.	JAN. J.H. JOIST HANGER JOINT KIT.	KITCHEN
BD BIT BLDG BLK BLKG B.M BM BOT BRG BTWN B.W	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BENCH MARK BEAM BOTTOM BEARING BETWEEN BOTHWAYS	F.A FAST. F.B F.D FDN F.E FIBERGL FIN F.H.M.S F.H.W.S FLASH FLR FLUOR F.O F.O.C F.O.F F.O.M F.P F.S FT FTG FUR	FIRE ALARM FASTEN, FASTENER FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIBERGLASS FINISH (ED) FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW FLASHING FLOOR (ING) FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FIREPLACE FULL SIZE FOOT OR FEET FOOTING FURRED (ING)	MAS MASONRY MAT MATERIAL (S) MAX MAXIMUM M.B MACHINE BOLT M.C MEDICINE CABINET MECH MECHANICAL MEMB MEMBRANE MEZZ MEZZANINE MIR MIRROR MISC MISCELLANEOUS MLDG MOULDING M.L.W MALLEABLE IRON WASHER M.O MASONRY OPENING MTD MOUNTED MTL METAL MULL MULLION	N NORTH NAT NATURAL N.I.C NOT IN CONTRACT NOM NOMINAL N.T.S NOT TO SCALE	R RISER (S) R RETURN AIR RAD RADIUS R.B ROOT DRAIN REG REGISTER REF REFRIGERATOR REF REINFORCED, REINFORCING REQD REQUIRED REGMT REQUIREMENT RESIL RESILIENT R.H.M.S ROUND HEAD MACHINE SCREW R.W.S ROUND HEAD WOOD SCREW RM ROOM R.O ROUGH OPENING R.O.W RIGHT OF WAY R.S RESAWN RUB RUBBER RN REDWOOD R.W.L RAIN WATER LEADER	T TREAD (S) T TOWEL BAR T TOP OF CURB TEL TELEPHONE TEMPERED T.E.N TYPICAL EDGE NAILING T & G TONGUE AND GROOVE TOP OF GROUND THK THICK (NESS) THRESH THRESHOLD T.P TOP OF PAVEMENT T.P.H TOILET PAPER HOLDER T.E TELEVISION T.W TOP OF WALL TYP TYPICAL	U U.B.C UNIFORM BUILDING CODE U.L UNDERLAINERS LABORATORIES U.N UNLESS OTHERWISE NOTED UNR UNDERLAY V.B VAPOR BARRIER VAR VARIES VERT VERTICAL V.G VINYL GRADE V.T VINYL TILE	W WEST W WIDE, WIDTH W WITH W.C WATER CLOSET W WOOD W WINDOW W.H WATER HEATER W.I.C WOODWORK INSTITUTE OF CALIFORNIA W WITHOUT W.P WATERPROOF W.R WATER RESISTANT W.W WOOD SCREW W.S.C WAINSCOT WT WEIGHT W.W.M WELED WIRE MESH			

SYMBOLS

- DETAIL KEY
DETAIL NUMBER
SHEET NUMBER
- SECTION KEY
SECTION NUMBER
SHEET NUMBER
- INTERIOR ELEVATION KEY
ELEVATION NUMBER
SHEET NUMBER
ARROWS INDICATE ELEVATIONS SHOWN
- OFFICE
ROOM NAME
ROOM NUMBER
- WORK POINT, CONTROL POINT, OR DATUM POINT
- MATCHLINE
- SHEET NOTE SYMBOL
(SEE SHEET NOTES TABLE)
- DOOR NUMBER
(SEE DOOR SCHEDULE)
- WINDOW SYMBOL
(SEE WINDOW SCHEDULE)
- EQUIPMENT SYMBOL
(SEE EQUIPMENT LIST)
- REVISION

VICINITY MAP



PROJECT LOCATION: CARMEL RIVER INN
OLIVER ROAD
CARMEL, CA

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #21	R1	UNIT #21	300	2
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		
APPLICABLE CODES:				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Energy Code (CEnC)				
Title 24				

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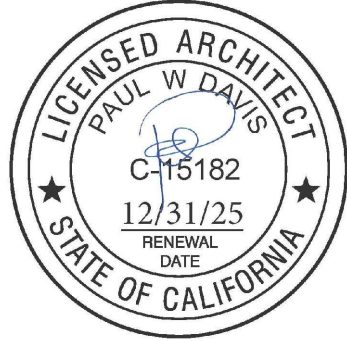
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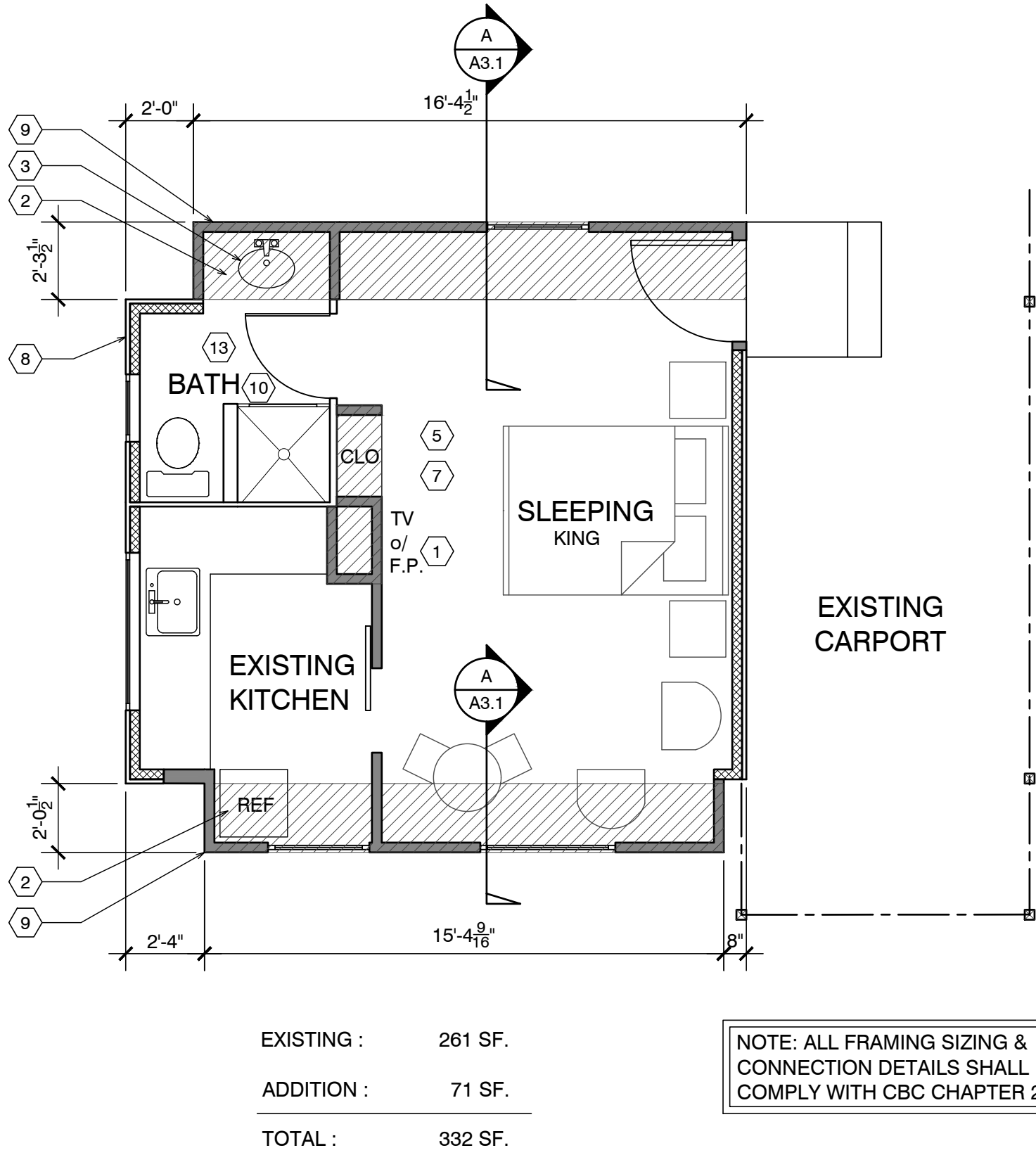
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Sheet Title:
UNIT #21 FLOOR PLAN

Sheet Number:

FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN. SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF
- 2x6 P.T. FLOOR JOIST @ 16" O.C



ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

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ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED

ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

NOTES:
1. NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
2. ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 75'-1 3/8"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 29'-11/16"
TOTAL DEMO = 28.04%
NOTE: FIRE SPRINKLERS NOT REQUIRED

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

ELECTRICAL NOTE:

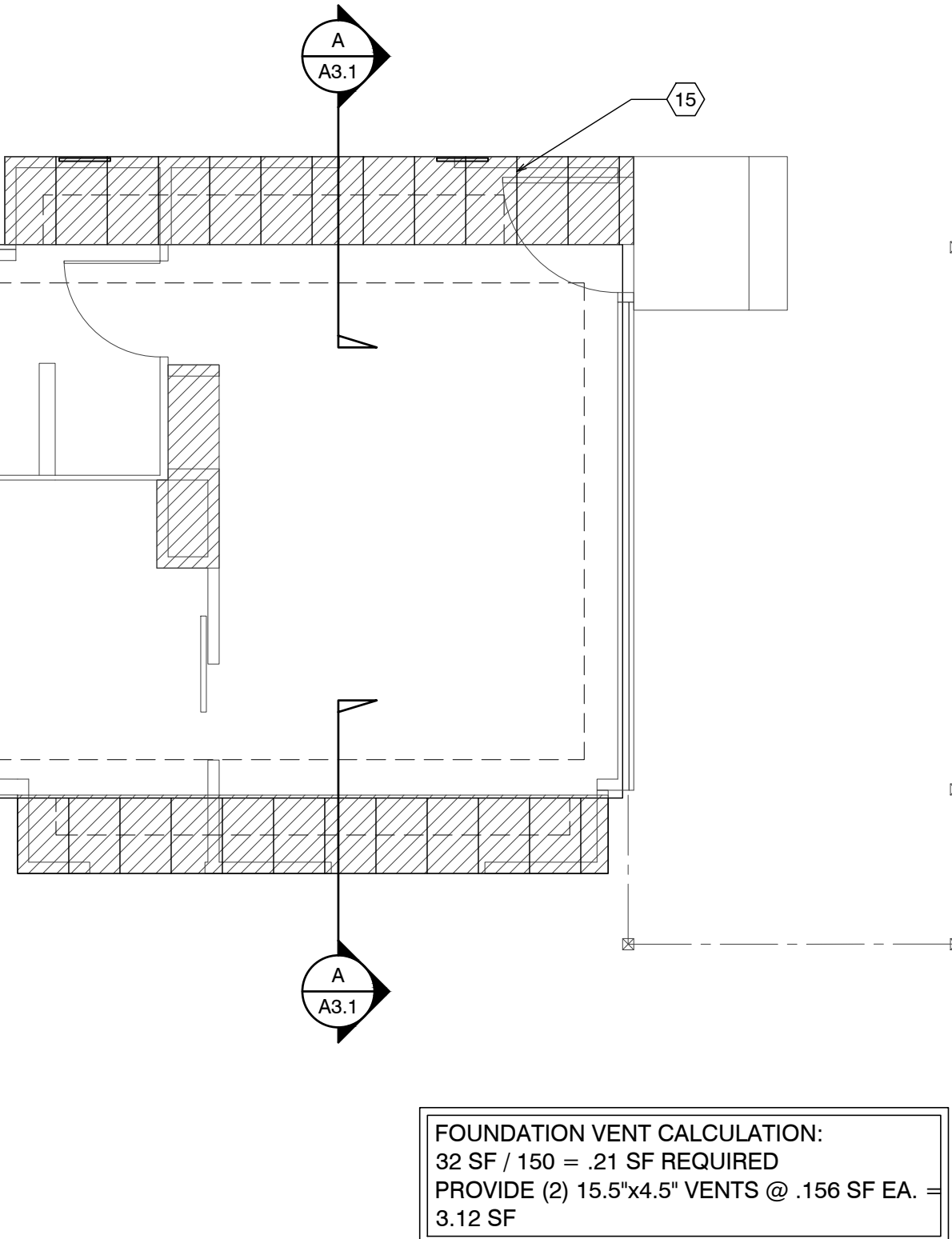
Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

RCP LEGEND

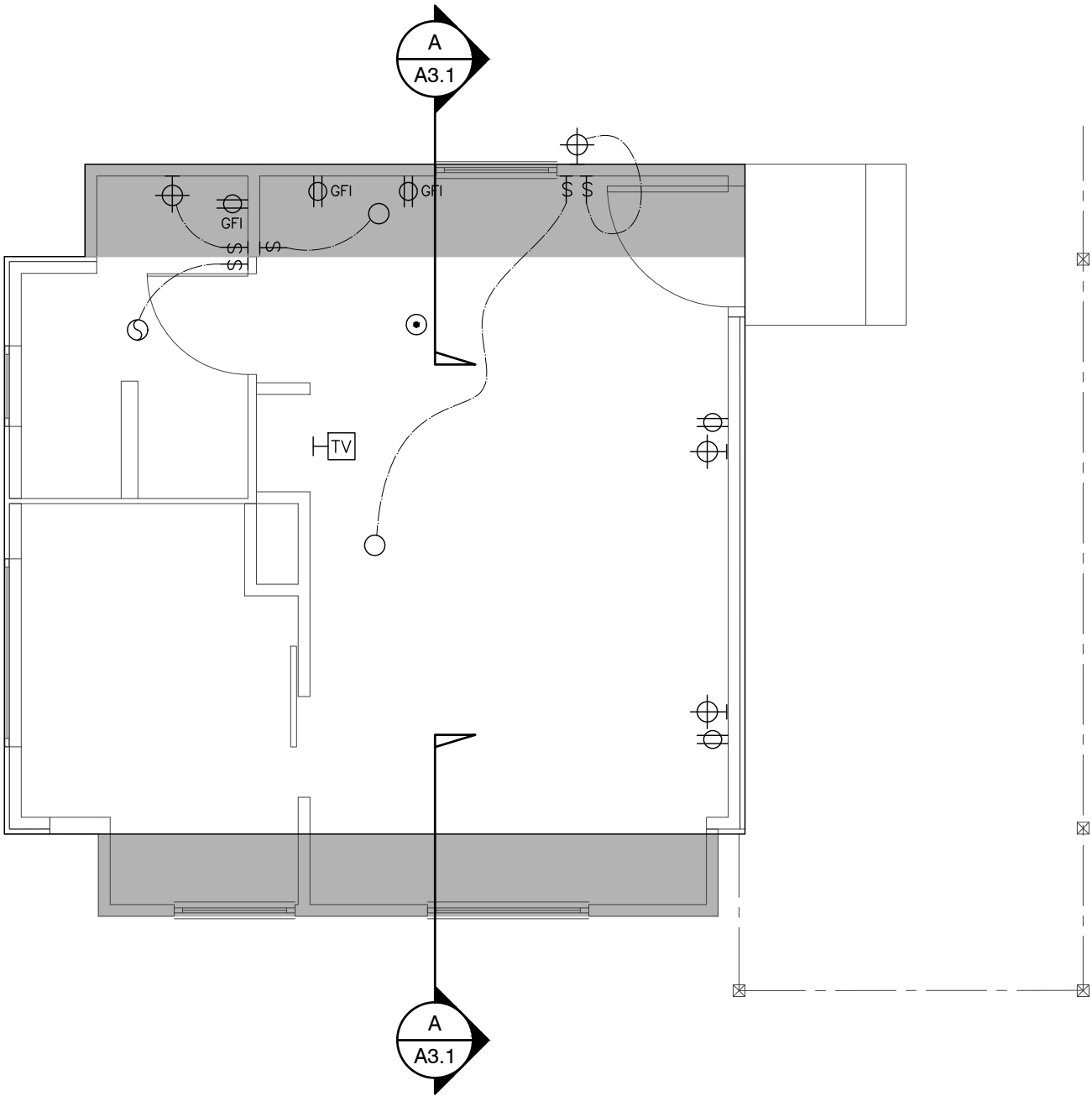
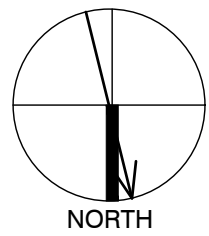
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE



FND. PLAN UNIT 21

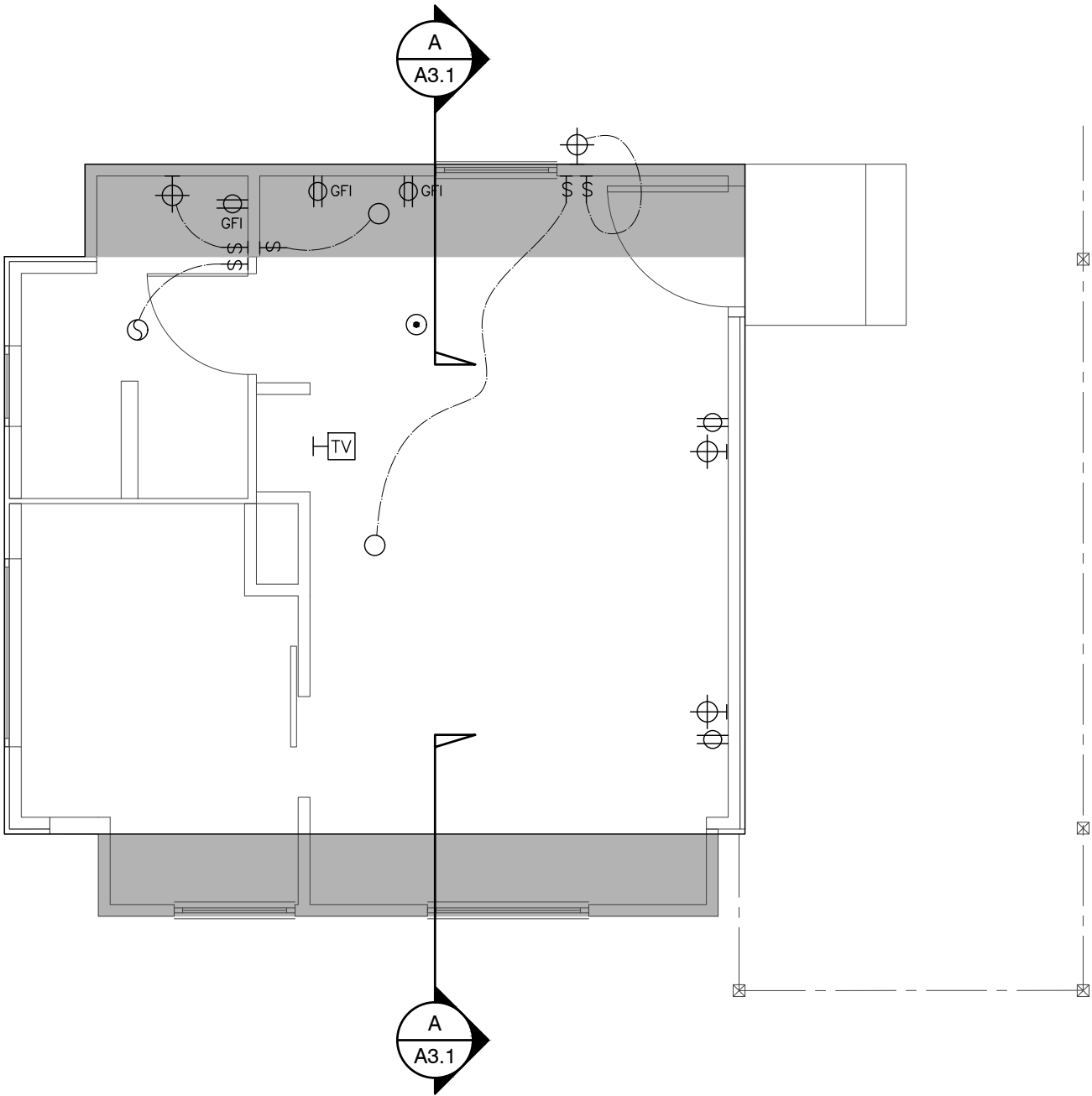
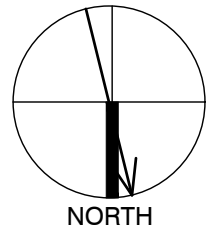
DEMO PLAN UNIT 21

SCALE: 1/4" = 1'-0"



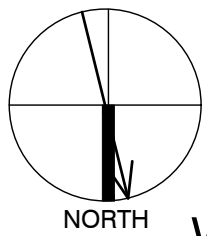
RCP PLAN UNIT 21

SCALE: 1/4" = 1'-0"



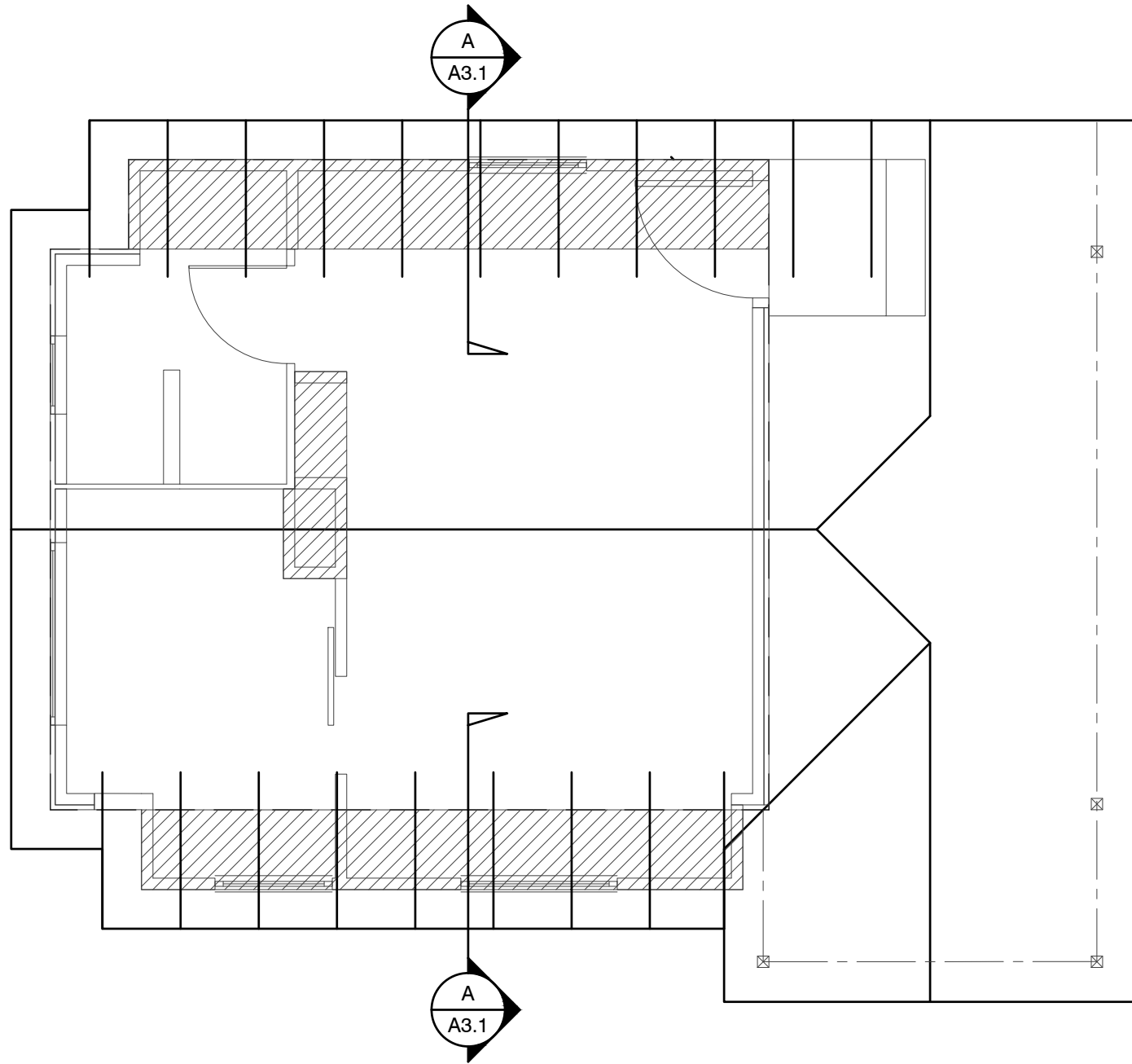
FLOOR PLAN UNIT 21

SCALE: 1/4" = 1'-0"



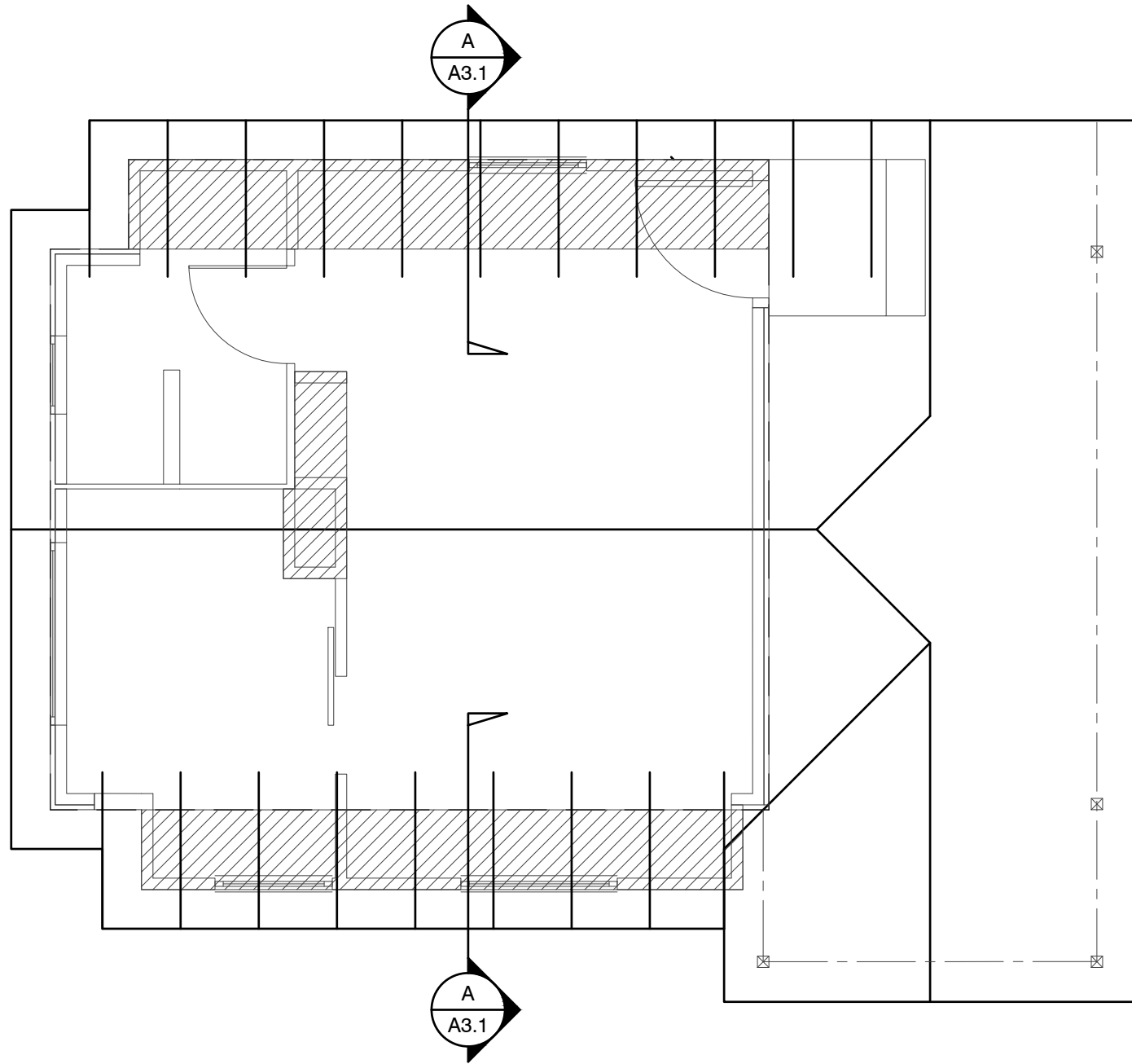
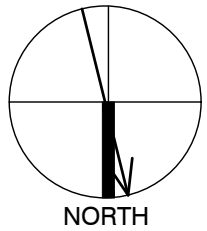
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



ROOF PLAN UNIT 21

SCALE: 1/4" = 1'-0"



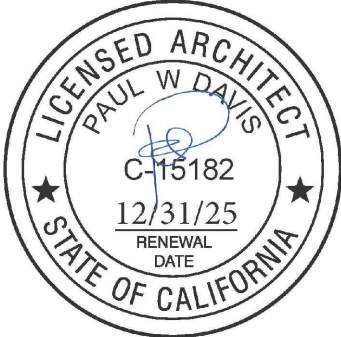
CARMEL
RIVER INN

U.S. HIGHWAY 1
@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

COTTAGE
REMODEL
#21/now #52

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Drawn By: ML
Drawing Date: 07/15/2025
Project Number: 2502

Revisions:

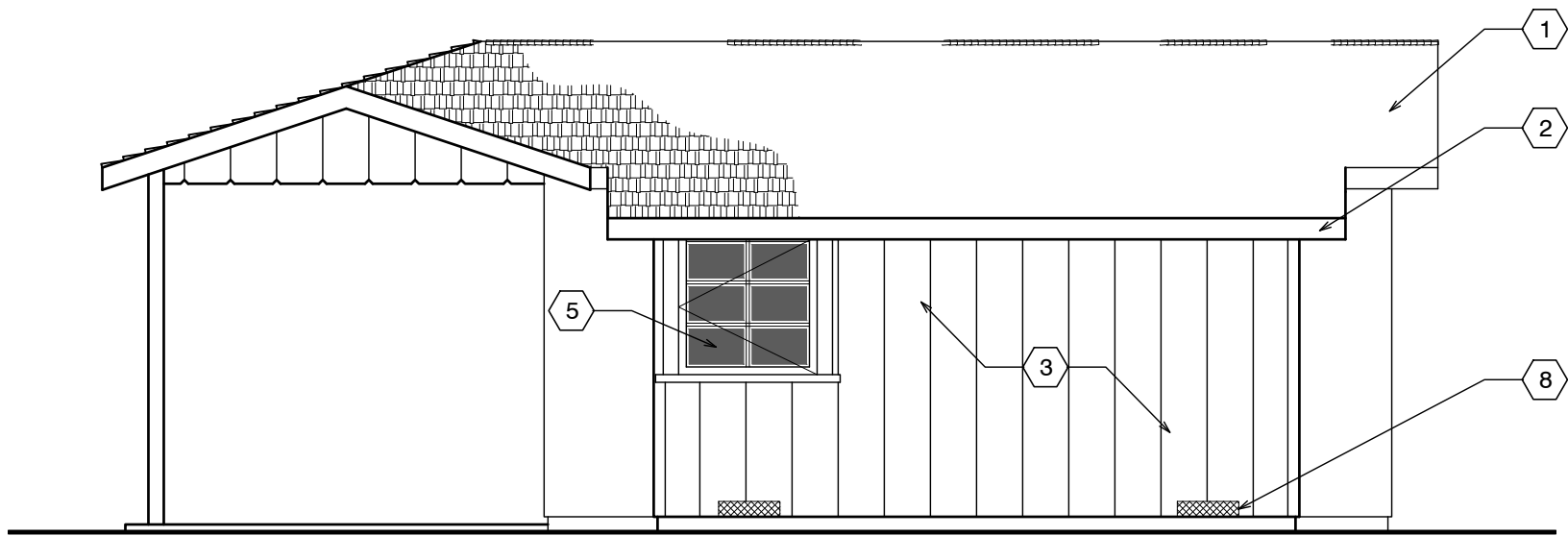
The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Sheet Title:
UNIT #21
ELEVATIONS

Sheet Number:

SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



FRONT ELEVATION



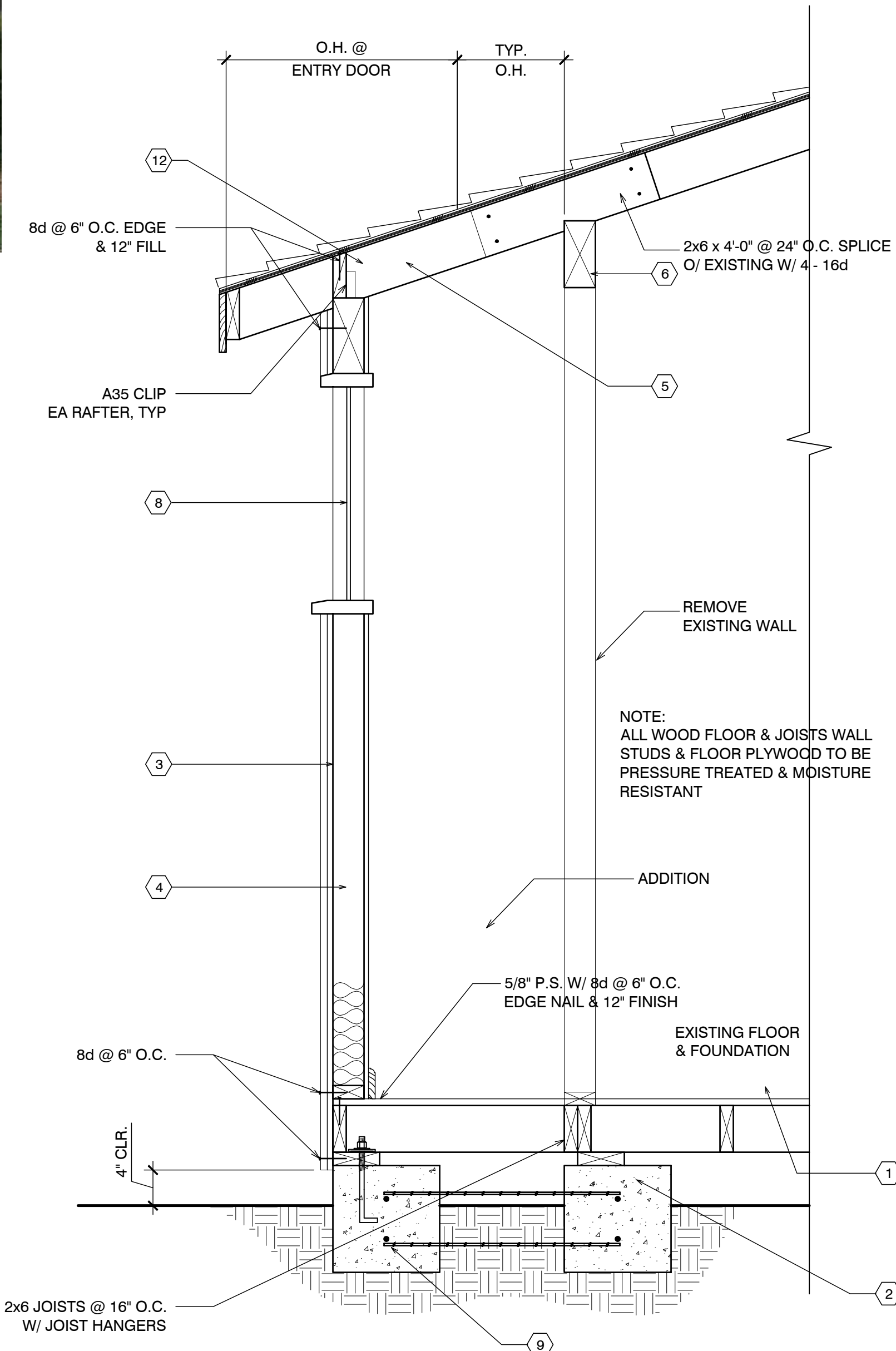
SIDE ELEVATION



SIDE ELEVATION



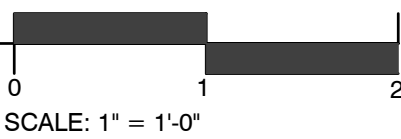
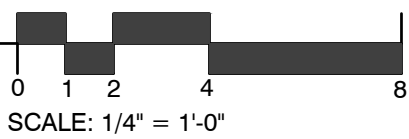
BACK ELEVATION



UNIT #21 SECTION

EXTERIOR ELEVATIONS UNIT #21

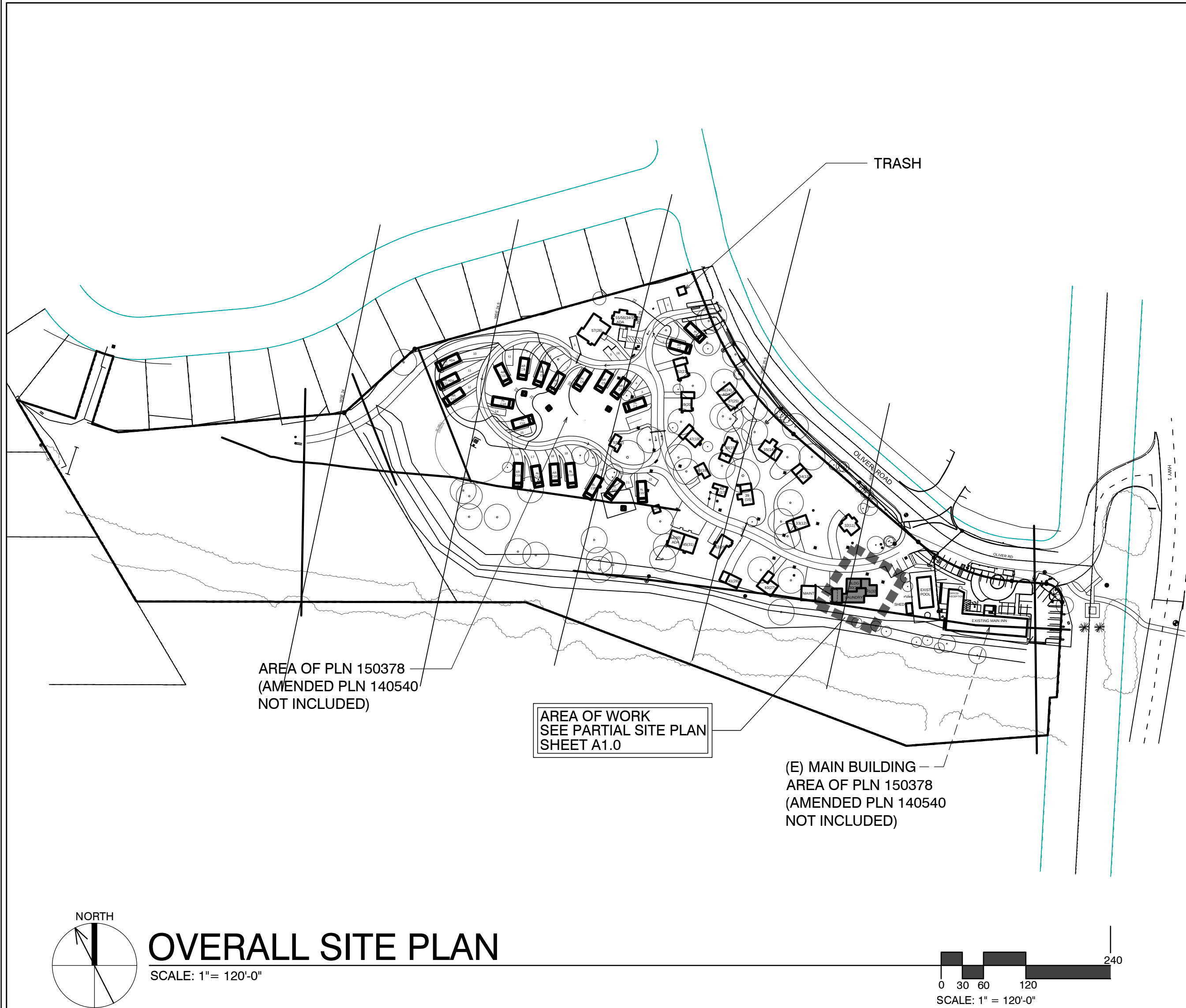
SCALE: 1/4" = 1'-0"



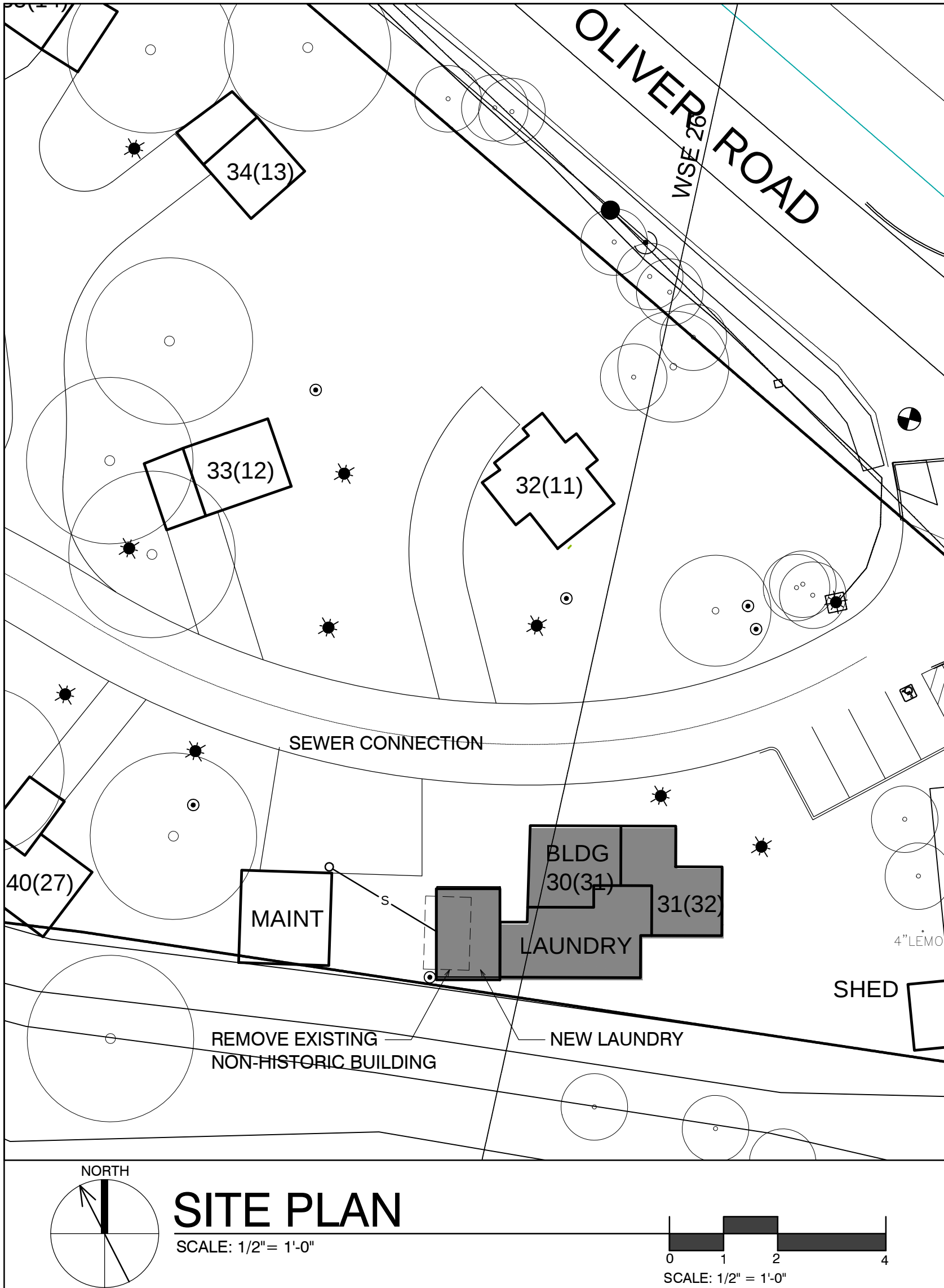
CARMEL RIVER INN

COTTAGE UNIT 32/33 LAUNDRY REMODEL/ADDITION

SITE PLAN



SHEET INDEX



SCOPE OF WORK

- DEMOLISH EXISTING NON HISTORIC, UNPERMITTED BUILDING
- ADDITION TO EXISTING LAUNDRY/HOUSEKEEPING
- RELOCATE EXISTING LAUNDRY EQUIPMENT TO NEW ADDITION

SHEET INDEX

ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #32 & #33 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

PROJECT INFORMATION

A.P.N. 009-563-005
ZONING: DEVELOPED AREA: VSC-D(CZ)
UNDEVELOPED AREA: RC-D(CZ)
NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN: COTTAGE UNITS #32/33 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE
(SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)

EXISTING: 1,126 SF
ADD TO LAUNDRY 280 SF
TOTAL 1,406 SF

GRADING CALCS: NONE
TREE REMOVAL: NONE
SEWER: CARMEL AREA WASTE WATER DISTRICT
WATER: (E) CAL-AM WATER SERVICE TO REMAIN

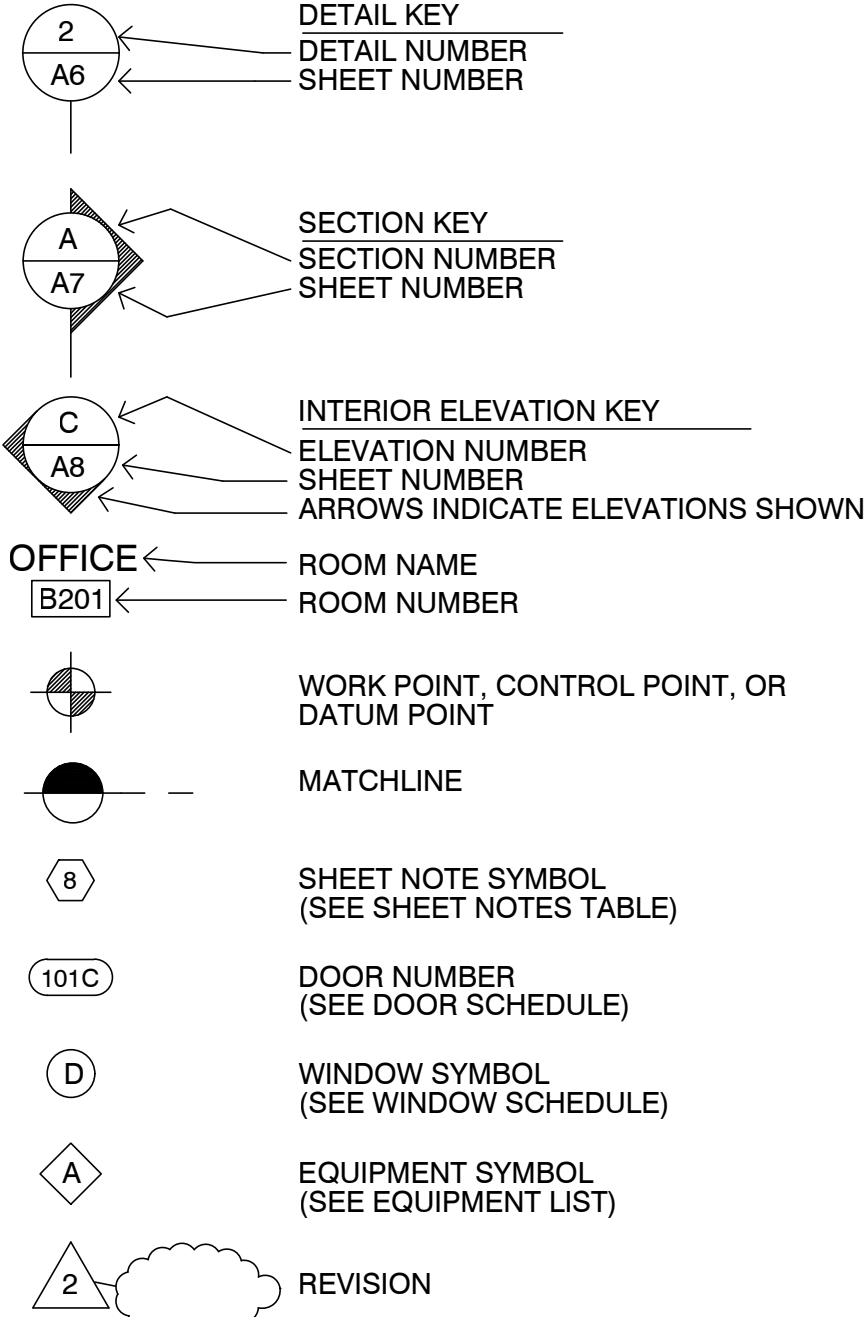
OCCUPANCY: R1
OCCUPANCY SEPARATIONS: NONE
TYPE OF USE: MOTEL
TYPE OF CONSTRUCTION: V-B
SPRINKLERS REQUIRED: YES, NFPA 13-D

APPLICABLE CODES:
2022 California Building Code (CBC)
2022 California Residential Code (CRC)
2022 California Electrical Code (CEC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Energy Code (CEnC)
Title 24

ABBREVIATIONS

A. L. AND ANGLE	DBL. DOUBLE DEPARTMENT	H.B. HOSE BIB	O. OVER	SIM. SIMILAR
B. DET. DETAIL	D.F. DOUGLAS FIR	H.C. HOLLOW CORE	OBS. OBS.	S.S. STAINLESS STEEL
C. CENTERLINE	D.H. DOUBLE HUNG	HOR. HEADER	O.D. OUTSIDE DIAMETER	S.M.S. SHEET METAL SCREW
D. DIAMETER OR ROUND	DAG. DIAGONAL	HDWR. HARDWARE	O.H.W.S. OVALHEAD WOOD SCREW	S.S. SPECIFICATIONS
E. DIAMETER	DIMEN. DIMENSION	H.M. HOLLOW METAL	OPNG. OPENING	STL. STEEL
F. PARALLEL	DISP. DISPENSER	HORIZ. HORIZONTAL	OPP. OPPOSITE	STD. STANDARD
G. POUND OR NUMBER	DN. DOWN	HGT. HEIGHT	O.S.B. ORIENTED STRAND BOARD	STAG. STAGGERED
H. EXISTING	DRWG. DRAWING	HTG. HEATING	P.A.F. POWDER ACTUATED FASTENER	STOR. STORAGE
I. ANCHOR BOLT	D.S. DOWNSPOUT	H.W. HOT WATER	P.B. PARTICLE BOARD	STRUC. STRUCTURAL
J. ACRYLONITRILE BUTADIENE STYRENE	DWR. DRAWER	H.V. HEATING, VENTILATING, AND AIR CONDITIONING	P.G. PAINT GRADE	SUSP. SUSPENDED
K. ASPHALTIC CONCRETE	E. EAST	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.H. PERFORATED	SY. SYMMETRICAL
L. AIR CONDITIONING	E.A. EACH	I.D. INSIDE DIAMETER	P.L.F. POUNDS PER LINEAL FOOT	SYS. SYSTEM
M. ACOUS. ACOUSTICAL	ELEV. ELEVATION, ELEVATOR	I.N. INCLUDED, INCLUDING	P.L. PLASTIC LAMINATE	T. TREAD (S)
N. ADJ. ADJUSTABLE, ADJACENT	EMER. EMERGENCY	INSUL. INSULATION	PL. PLASTER	T.B. TOWEL BAR
O. AGGR. AGGREGATE	ENCL. ENCLOSURE	INT. INTERIOR	PLY. PLYWOOD	T.C. TOP OF CURB
P. ALUM. ALUMINUM	EQUIP. EQUIPMENT	INV. INVERT	P.P. PAIR	TEMP. TEMPERED
Q. ANOD. ANODIZED	EXIST. (E) EXISTING	JAN. JANITOR	P.S.F. POUNDS PER SQUARE FOOT	T.E.N. TYPICAL EDGE MAILING
R. ASSOCIATION	EXH. EXHAUST	J.H. JOIST HANGER	P.S.I. POUNDS PER SQUARE INCH	T & G. TONGUE AND GROOVE
S. APPROXIMATE	EXP. EXPOSED, EXPANSION	J.T. JOINT	P.T. PRESSURE TREATED	T.G.R. TOP OF GRATE
T. ARCH. ARCHITECT (URAL)	EXT. EXTERIOR	KIT. KITCHEN	P.T.D. PARTITION	TH. THICK (NESS)
U. BOARD	F.A. FIRE ALARM	L. LONG LENGTH	P.V.C. POLYVINYL CHLORIDE	THRESH. THRESHOLD
V. BIT. BITUMINOUS	FAST. FASTEN, FASTENER	L.A.M. LAMINATE, LAMINATED	R. RISER (S)	T.O. TOP OF
W. BLDG. BUILDING	F.B. FLAT BAR	L.B. LAG BOLT	R.A. RETURN AIR	T.O.P. TOP OF PAVEMENT
X. BLK. BLOCK	F.D. FLOOR DRAIN	L.C. LOCATE, LOCATION	RAD. RADIUS	T.P. TOILET PAPER HOLDER
Y. B.M. BENCH MARK	FDN. FOUNDATION	L.W. LIGHT WEIGHT	R.D. ROOF DRAIN	T.V. TELEVISION
Z. BM. BOTTOM	FIBERGL. FIBERGLASS	M.A.S. MASONRY	REF. REFRIGERATOR	T.W. TOP OF WALL
AA. BRG. BEARING	F.H.M.S. FLAT HEAD MACHINE SCREW	MAT. MATERIAL (S)	REIN. REINFORCED, REINFORCING	TYP. TYPICAL
BB. BTWN. BETWEEN	F.H.W.S. FLAT HEAD WOOD SCREW	MAX. MAXIMUM	REQD. REQUIRED	U.B.C. UNIFORM BUILDING CODE
CC. B.W. BOTH WAYS	FLASH. FLASHING	M.B. MACHINE BOLT	REQMT. REQUIREMENT	U.L. UNDERWRITER'S LABORATORIES
DD. CAB. CABINET	FLR. FLOOR (ING)	M.C. MEDICINE CABINET	RESIL. RESILIENT	U.O.N. UNLESS OTHERWISE NOTED
EE. C.B. CATCH BASIN	FLUOR. FLUORESCENT	M.H. MACHINE HOLE	R.H.W.S. ROUND HEAD METAL SCREW	UR. URINAL
FF. CEM. CEMENT	F.O. FACE OF	M.I. MASONRY	R.M. ROOM	V.B. VAPOR BARRIER
GG. CER. CERAMIC	F.O.C. FACE OF CONCRETE	M.O. MASONRY OPENING	R.O. ROUGH OPENING	VERT. VERTICAL
HH. C.F. CUBIC FOOT	F.F. FACE OF FINISH	M.T. MOUNTED	R.O.W. RIGHT OF WAY	V.G. VERTICAL GRAIN
II. C.I. CAST IRON	F.O.S. FACE OF STUDS	M.E. MECHANICAL	R.S. RESAWN	V.T. VINYL TILE
JJ. CLK. CLALKING	F.P. FIREPLACE	MEZ. MEZZANINE	RUB. RUBBER	W. WEST
KK. CLG. CEILING	F.S. FULL SIZE	MIR. MIRROR	RWD. REDWOOD	W.W. WITH
LL. CL. CLOSET	FT. FOOT OR FEET	MIS. MISCELLANEOUS	R.W.L. RAIN WATER LEADER	W.C. WATER CLOSET
MM. BTWN. BETWEEN	FTG. FOOTING	M.L. MULLION	S. SOUTH	W.D. WOOD
NN. B.W. BOTH WAYS	FURR. FURRED (ING)	M.L.W. MALLEABLE IRON WASHER	S.B. SOLID BLOCKING	WOW. WINDOW
OO. CAB. CABINET	GA. GAUGE	M.O. MASONRY OPENING	S.C. SOLID CORE	W.W. WATER HEATER
PP. C.B. CATCH BASIN	GALV. GALVANIZED	M.TD. MOUNTED	S.D. SCHEDULE	W.W.I.C. WOODWORK INSTITUTE OF CALIFORNIA
QQ. CEM. CEMENT	G.B. GRAB BAR	M.TL. METAL	S.E. STORM DRAIN	W.O. WITHOUT
RR. CTR. CONTINUOUS	G.I. GALVANIZED IRON	M.LL. MULLION	S.E. SECTION	W.P. WATERPROOF
SS. CORR. CORRUGATED	GL. GLASS, GLAZING	N. NORTH	S.E. SERVICE	W.R. WATER RESISTANT
TT. CSMT. CASEMENT	GR. GRADE, GRADING	(N) NEW	S.F. SQUARE FEET (FOOT)	W.S. WOOD SCREW
UU. CSWL. CASEWORK	G.W.B. GYPSUM WALLBOARD	NAT. NATURAL	S.G. STAIN GRADE	W.S.C. WOOD SCOT
VV. C.T. CERAMIC TILE		N.C. NOT IN CONTRACT	SH. SHELF, SHELVING	WT. WEIGHT
WW. CTR. COUNTER		N.M. NOMINAL	SHWR. SHOWER	W.W.M. WELDED WIRE MESH
XX. CTSK. COUNTERSUNK		N.S. NOT TO SCALE	SHT. SHEET	
YY. C.Y. CUBIC YARD			SHTG. SHEATHING	

SYMBOLS



VICINITY MAP



PROJECT DIRECTORY

PROJECT OWNER
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PHONE: (949) 500-7069

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FAX: (831) 373-7459
info@pauldavispartnership.com
CONTACT: PAUL E. DAVIS

Project / Owner:

CARMEL RIVER INN

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@ CARMEL RIVER BRIDGE
P.O. BOX 221609
CARMEL, CA 93922
APN: 009-563-005

ADDITION TO
EXISTING LAUNDRY

#32-33/

#30-31 revised

THE
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PARTNERSHIP
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP
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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

Sheet Title:
COVER SHEET
PROJECT INFO

Sheet Number:

A0.1

ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ DEDICATED CIRCUIT (20 amps)
- ⊕ 220 VOLT OUTLET
- ⊕ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ GFI WP OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- ⊕ TELEPHONE JACK
- ⬛ HIGH SPEED DATA LINE
- ⚡ THERMOSTAT CONTROL
- ⊕ TV TELEVISION CABLE
- ⊕ GAS OUTLET
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NOTES:
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3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

FIRE SPRINKLER SYSTEM NOTES

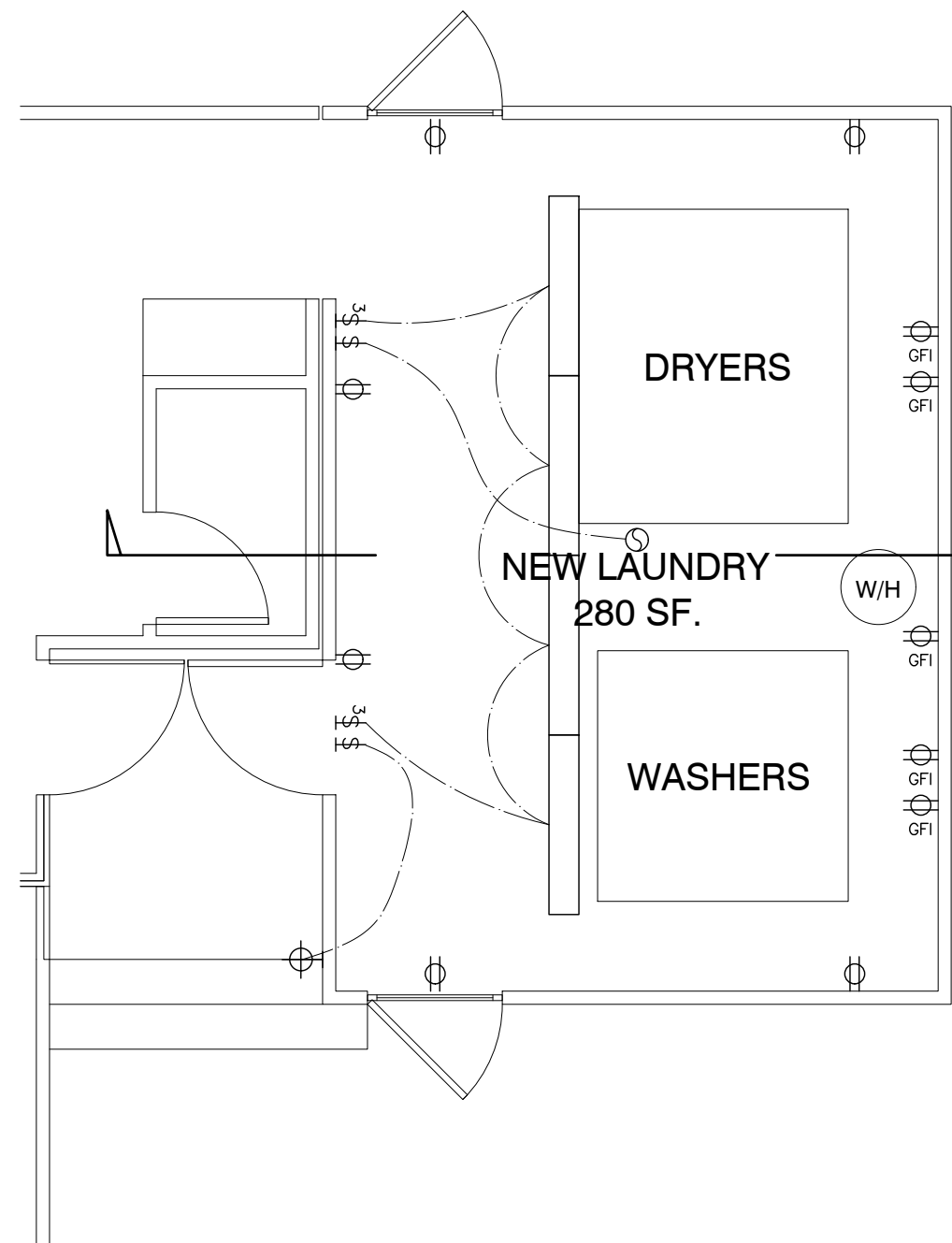
FIRE O21 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) RESIDENTIAL OFF DOMESTIC WATER

Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2013 California Fire Code:

Existing structures Alterations and repairs. All work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structure and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official. (NFPA 13-D)

WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
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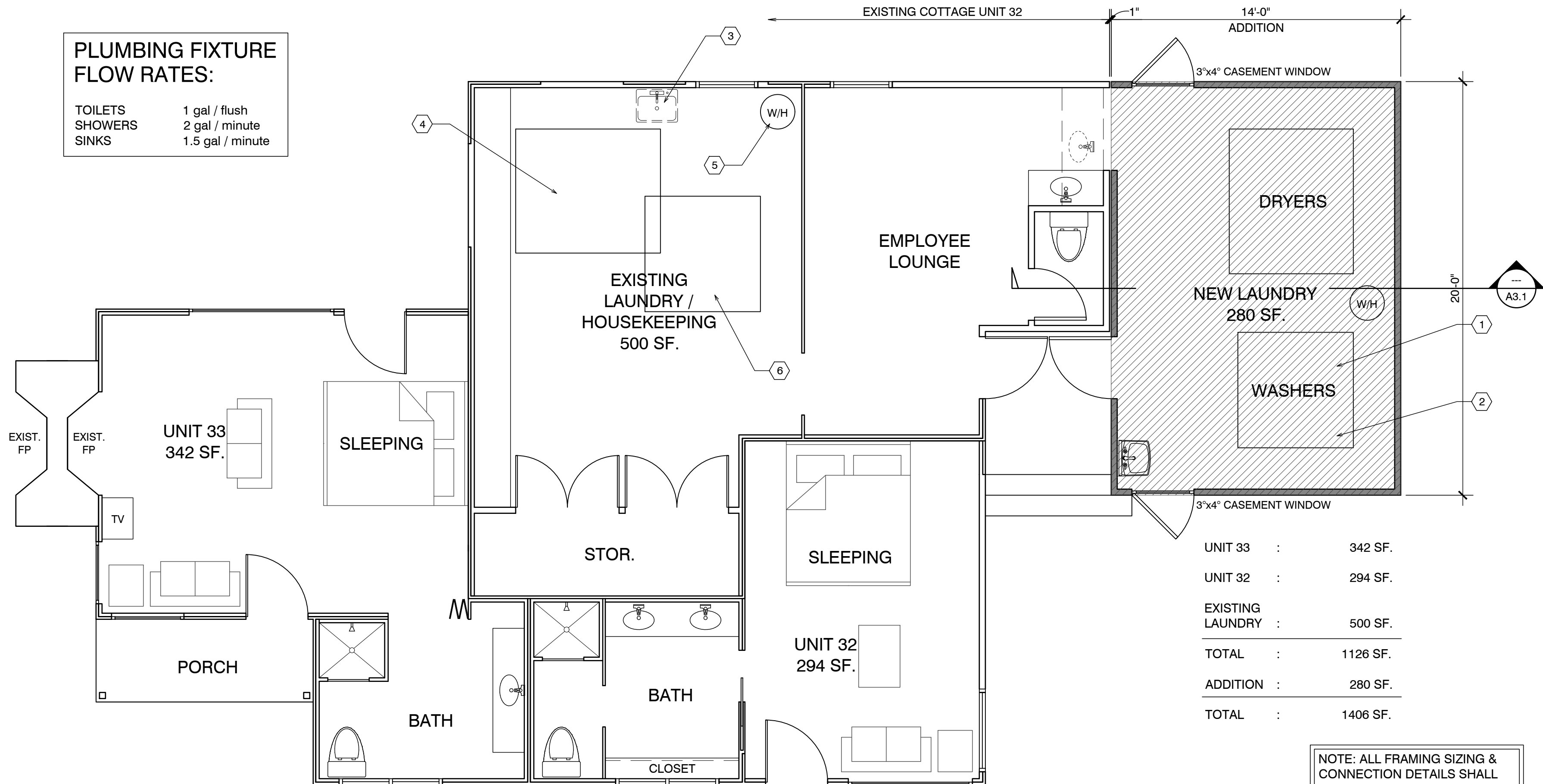


NEW LAUNDRY RCP PLAN

SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE FLOW RATES:

TOILETS	1 gal / flush
SHOWERS	2 gal / minute
SINKS	1.5 gal / minute



UNIT 33	:	342 SF.
UNIT 32	:	294 SF.
EXISTING LAUNDRY	:	500 SF.
TOTAL	:	1126 SF.
ADDITION	:	280 SF.
TOTAL	:	1406 SF.

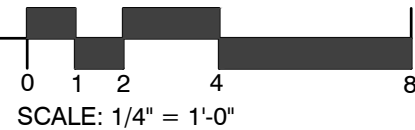
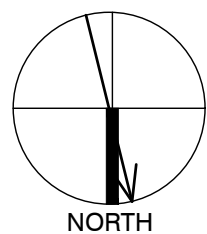
NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

NEW LAUNDRY FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



REBUILD AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 3 X 6 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 8 HEADERS OVER OPENINGS BEHIND EXISTING SINGLE WALL CONSTRUCTION. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS W/ 6d@6"/12" O.C. W/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND. ROOF SYSTEM: 2 X 6 @ 24" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

ROOF NOTES

- NOT USED
- (N) ROOF OVER ADDITION
- 2x8 HIP & RIDGE
- NOT USED
- OUTLINE OF ROOF, TYP.
- GUTTER
- NOT USED
- NOT USED
- NOT USED

FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE	=	168'-6"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED	=	71'-0"
TOTAL DEMO	=	42%

NOTE: PER CALCS ABOVE FIRE SPRINKLERS ARE NOT REQUIRED

ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER

RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR, 110V, HARDWIRE W/ BATTERY BACK-UP, TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDER CABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

- BPE BASE FLOOD ELEVATION
- XXX SEE DOOR SCHEDULE
- XX SEE WINDOW SCHEDULE



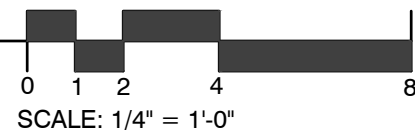
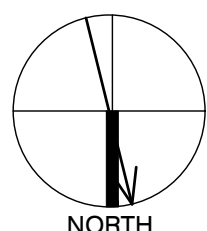
FOUNDATION VENT CALCULATION:
41 SF / 150 = .27 SF REQUIRED
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

NEW LAUNDRY FND. PLAN

SCALE: 1/4" = 1'-0"

NEW LAUNDRY ROOF PLAN

SCALE: 1/4" = 1'-0"



Project / Owner:

CARMEL RIVER INN

U.S. HIGHWAY 1
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CARMEL, CA 93922
APN: 009-563-005

ADDITION TO EXISTING LAUNDRY

#32-33/

#30-31 revised

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Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

Sheet Title:
UNIT #32 FLOOR PLAN

Sheet Number:

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Drawing Date: 07/15/2025
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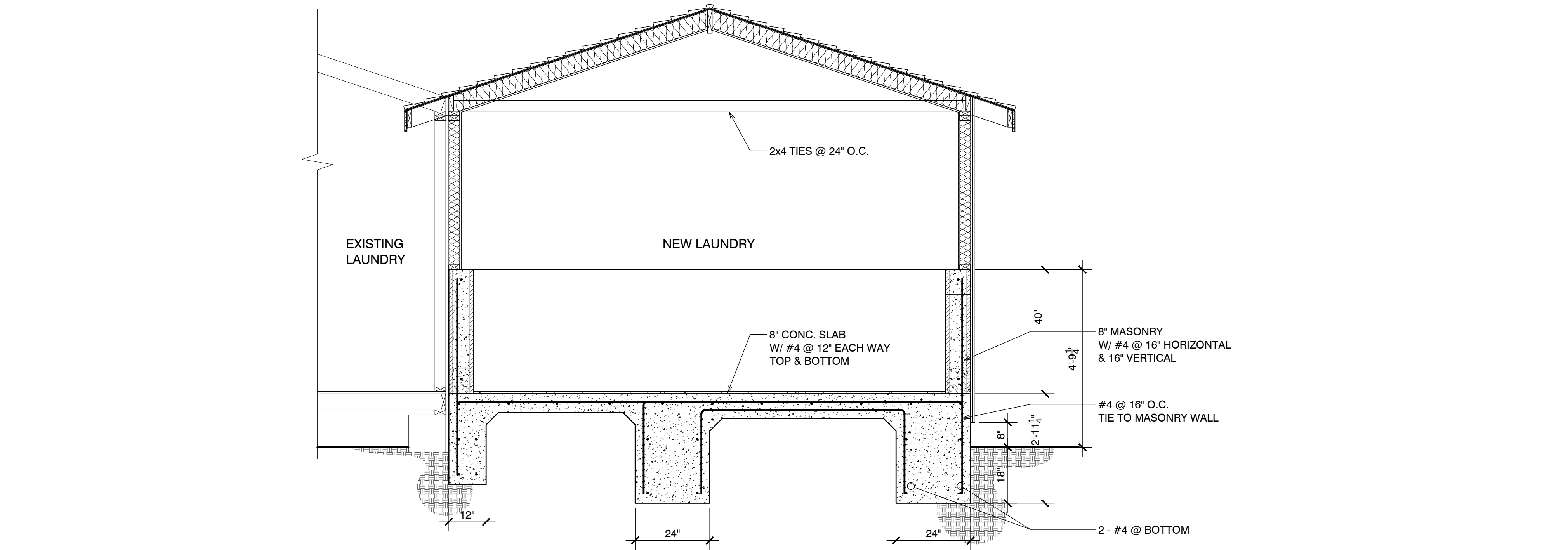
Revisions:

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Sheet Title:
UNIT #32 & #33
ELEVATIONS

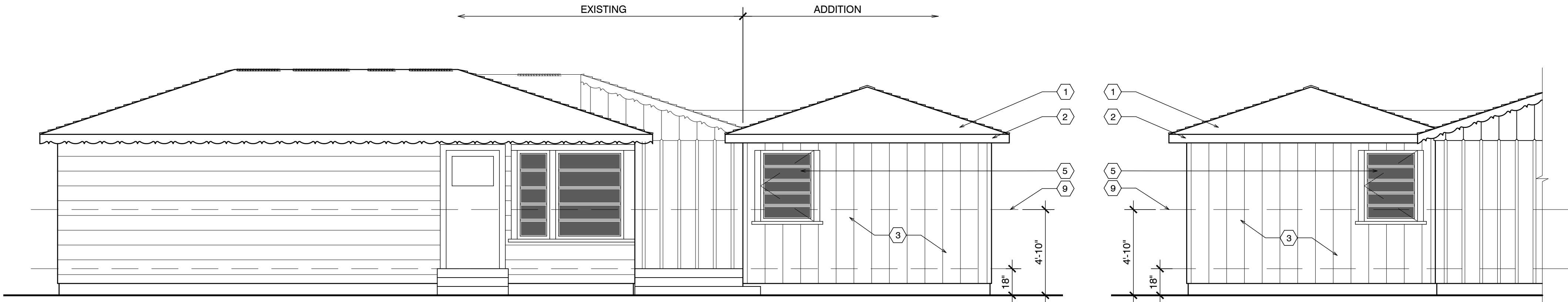
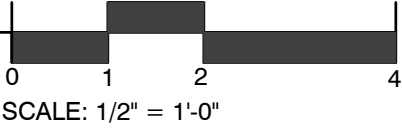
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A3.1



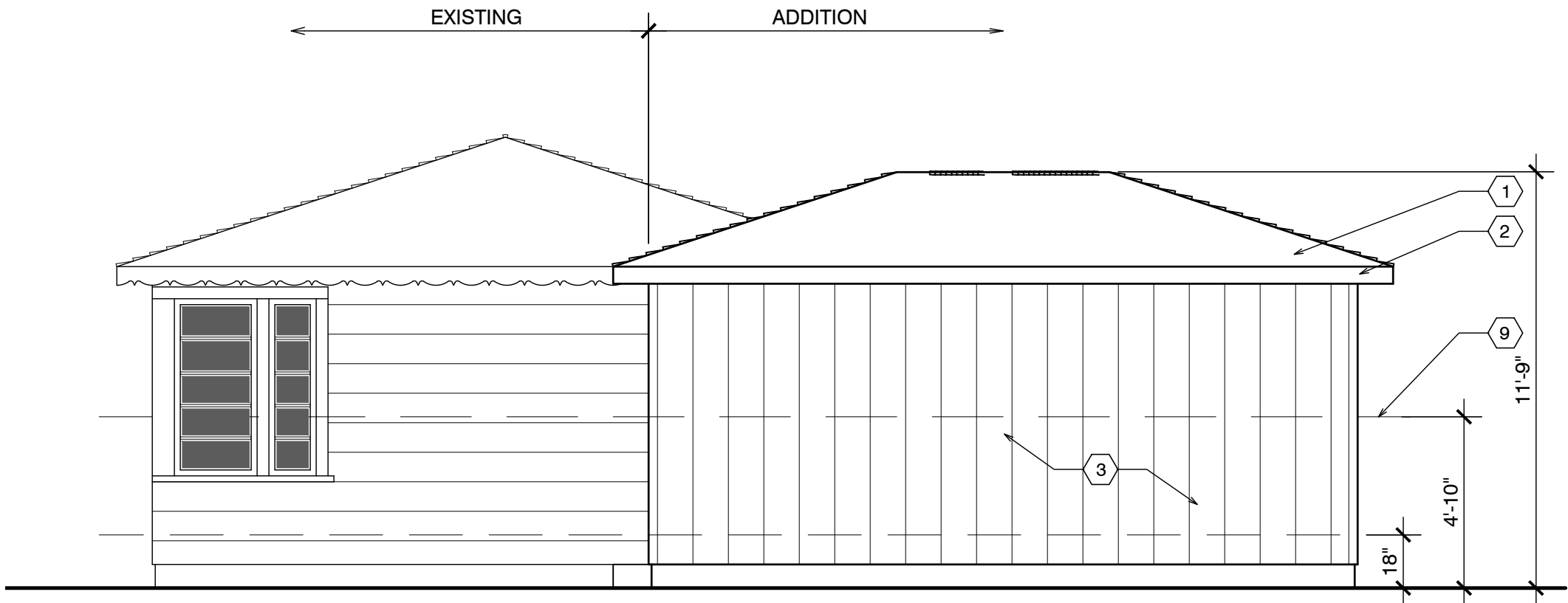
SECTION UNIT #32 & #33

SCALE: 1/2" = 1'-0"



FRONT ELEVATION

SIDE ELEVATION



BACK ELEVATION

SIDE ELEVATION

EXTERIOR ELEVATIONS UNIT #32 & #33

SCALE: 1/4" = 1'-0"

