# Exhibit A

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# EXHIBIT A
# DRAFT RESOLUTION

## Before the Chief of Planning
## in and for the County of Monterey, State of California

In the matter of the application of:
**HIMMELVO LAUREN & JANE (PLN250307)**
**RESOLUTION NO. 26-060**
Resolution by the County of Monterey Chief of Planning:

1) Finding that the project qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15301 and 15303, and there are no exceptions pursuant to section 15300.2; and
2) Approving a Coastal Administrative Permit and Design Approval to allow construction of 2,391 square foot additions to an existing 1,675 square foot single family dwelling including a 206 square foot garage; a Coastal Administrative Permit and Design Approval to allow the construction of a 512 square foot accessory dwelling unit with an attached 207 square foot garage and associated site improvements; and a Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%.

[PLN250307, HIMMELVO LAUREN & JANE, 24368 San Juan Road, Carmel, (APN: 009-011-006-000), Carmel Area Land Use Plan]

**The HIMMELVO LAUREN & JANE (PLN250307) came on for an administrative decision before the County of Monterey Chief of Planning on July 15, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:**

## FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
- Carmel Area Land Use Plan (CAR LUP);

- Monterey County Coastal Implementation Plan, Part 2 (Carmel CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

b) Allowed Use. The property is located at 24368 San Juan Road, Carmel (Assessor's Parcel Number 009-011-006-000), Carmel Area Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential with a maximum gross density of 2 units per acre, and a Design overlay, in the Coastal Zone or "MDR/2-D(CZ)", which allows additions to an existing single-family dwelling and an accessory dwelling unit subject to the approval of a Coastal Administrative Permit in each case pursuant to Title 20 sections 20.12.040.A and 20.12.040.S. Additionally, pursuant to Title 20 section 20.44, the proposed development is subject to a Design Approval as the underlying zoning includes a "D" overlay. The project also involves under 120 square feet of development on slopes in excess of 30% and therefore requires a Coastal Administrative Permit pursuant to Title 20 section 20.64.230. Therefore, the project is an allowed land use for this site.

c) Lot Legality. The parcel (Assessor's Parcel Number 009-011-006-000, 0.3 acres, 11,394 square feet) is shown in its current configuration and under separate ownership in the Surveyor's Map of a Re-Subdivision of Block 305 and 306, Third Addition to Carmel Woods, Monterey County, California in Volume 3, Page 164, filed for record June 21, 1938. Therefore, the County recognizes the subject property as a legal lot of record.

d) Design/Neighborhood/Community Character and Visual Resources. The project site and surrounding area are designated as being within a Design Control District or "D" overlay, which provides regulations of the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character as outlined in Title 20, Chapter 20.44. As designed, the single-family dwelling and accessory dwelling unit are consistent with the neighborhood character in which this parcel is located. The single-family dwelling and ADU will include earth-tone colors and natural materials. The proposed development will have a modern architectural style, with exterior colors and materials consisting of horizontal charred wood siding, vertical cedar siding, boxed eaves, exterior brick, green roof, aluminum-clad windows, and Sierra Pacific exterior cladding in the colors Antique Bronze and Black. Although the residence is outside Carmel Area Map A (Local Coastal Program General Viewshed), the parcel borders Pescadero Canyon, which is considered a public viewpoint. To ensure visibility of the residence is limited, CAR LUP Policy 2.2.3.3 indicates that new development on forested slopes within the public viewshed, as illustrated on Map A, shall be sited and designed in such a manner that structures are not visible from public viewpoints, Pescadero Canyon, 17 Mile Drive, and Highway 1. This policy is implemented by Carmel CIP sections 20.146.030.C.1(c) and 20.146.030.C.4, which require that structures blend into the site and its

surroundings through the use of exterior materials that give the appearance of natural materials, modifying bulk and massing to protect the public viewshed, and siting development within forested areas or in areas where existing topography can ensure structures have minimal or no visibility. An exterior lighting condition (Condition No. 4) was added to ensure that lighting will not be intrusive. The project design, together with retention of the surrounding mature trees, will help screen the development. Therefore, as proposed and conditioned, the project blends into the surrounding environment, is consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood, and assures protection of the public viewshed.

e) Development Standards. Title 20 section 20.12.060 establishes the site development standards applicable to structures within the MDR zoning district. Pursuant to Title 20 section 20.12.060.C, the main structures shall have setbacks of at least 20 feet for the front, 5 feet for the sides, and 10 feet for the rear, and a maximum allowable height of 30 feet. The accessory dwelling unit is attached to the proposed residence and therefore, is subject to the same site development standards as the main structure pursuant to Title 20 section 20.62.040.K. As proposed, the residence and attached accessory structure will be over 20 feet from the front, over 5 feet from the sides, and over 10 feet from the rear. The proposed height of the residence and attached garage is 13.7 feet when measured from average natural grade. The underlying zoning has an allowable building site coverage of 35 percent and a floor area ratio (FAR) maximum of 45 percent. Title 20 section 20.64.030.E.6.a requires that an ADU comply with site coverage and FAR requirements, unless such requirements would preclude an 800 square foot ADU. Here, the proposed additions to the main residence and the ADU's attached garage comply with site coverage requirements (resulting in 3,619 square feet of coverage or 31.7%), but the 512-square-foot ADU would result in an exceedance of site coverage by 144 square feet or 1.3 percent (totaling 36.3%). Similarly, the proposed additions to the main residence and the proposed ADU's garage comply with FAR requirements (resulting in 4,687 or 41%), but the proposed 512 square foot ADU would result in an exceedance of FAR by 72 square feet or 0.6 percent (totaling 45.6%). Since the ADU is less than 800 square feet, such exceedance in coverage and FAR is permissible in this case. Therefore, the property complies with the required site development standards based on the applicable MDR zoning district.

f) Cultural Resources. The Monterey County Geographic Information System (GIS) identified the property to be within a low archaeological sensitivity area. The parcel does not fall within 750 feet of archaeological resources, exempting it from a Coastal Development Permit pursuant of CAR CIP section 20.146.090.A.1. Pursuant to CAR CIP section 20.146.090.B.1.c, an archaeological report is required due to the parcel being within a Moderate Archaeological Sensitivity Zone demonstrated on GIS, however, the parcel is not within 750 feet of a known archaeological resource. The report (LIB250397) concluded that there are no evidence of remains or anything of archaeological significance onsite. A pedestrian survey was done onsite, and no site

indicators of cultural activity were found, along with no historical activity. The subject property is not known to contain cultural resources and therefore, potential impacts to cultural resources is limited and will be controlled by application of the County's standard project condition, Condition No. 3, which requires the contractor to stop work if previously unidentified resources are discovered during construction. Therefore, as proposed, the potential for inadvertent impacts on cultural resources is limited, and as conditioned, the project will avoid or substantially minimize impacts on archaeological resources (CAR LUP Policy 2.8.2).

g) Development on Slopes in Excess of 30%. Pursuant to Title 20 section 20.64.230, less than 120 square feet of development on slopes 30% or more only requires a Coastal Administrative Permit. As illustrated on sheet A-1.3 of the attached plans, the additions to the single family dwelling and the driveway require 85 square feet of development on slopes in excess of 30%. This quantity includes the 465 cubic yards of cut and 85 cubic yards of fill. Therefore, the project meets the outlined criteria of Title 20 section 20.64.230, and a Coastal Administrative Permit is granted in this case.

h) Parking. Parking requirements outlined in Title 20 Section 20.58.040 require that a Single-Family Detached residential dwelling unit have 2 spaces/unit, which this application complies with as illustrated in the attached plans. Title 20 section 20.58.040 also regulates ADU parking requirements for parcels demonstrated in Appendix 15. Per Appendix 15, the subject parcel is not in an area that requires additional parking for accessory dwelling units. Therefore, parking for the ADU is not required.

i) Forest Resources. No trees are proposed for removal. Condition No. 6 ensures that nearby native trees will be protected throughout construction activities.

j) Accessory Dwelling Unit. As demonstrated in Finding 6, the development is consistent with the accessory dwelling unit regulations in Title 20 section 20.64.030.

k) Public Access. As proposed and conditioned, the development is consistent with applicable public access policies of the Carmel LUP. See Finding No. 7 and supporting evidence.

l) Land Use Advisory Committee (LUAC). Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, per Resolution No. 08-338, this Project was not referred to the LUAC because it does involve a design approval requiring a public hearing, preparation of an environmental document, a lot line adjustment in the coastal zone, or a variance.

m) The project planner conducted a site inspection on April 27, 2026 to verify that the project on the subject parcel conforms to the plans listed above

n) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250307

2. **FINDING:** **SITE SUITABILITY –** The site is physically suitable for the proposed development and/or use.

**EVIDENCE:**

a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

b) The following reports have been prepared:
   - "Norwalk Residence " (County of Monterey Library No. LIB250396) prepared by Dana E. Supernowicz of Historic Resource Associates, in Pebble Beach, CA on October 19, 2025.
   - "Phase I Archaeological Assessment in Support of the 24368 San Juan Road Project" (County of Monterey Library No. LIB250397) prepared by Susan Morley, Marina, CA in October 2025.
   - "Geotechnical Investigation Design Phase for Proposed Residential Construction, 24368 San Juan Road" (County of Monterey Library No. LIB260028) prepared by Greg Bloom, Watsonville, CA on February 27, 2026.

   County staff independently reviewed these reports and concurred with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

c) Staff conducted a site inspection on April 27, 2026, to verify that the site is suitable for this use.

d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250307.

3. **FINDING:** **HEALTH AND SAFETY –** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:**

a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

b) Necessary public facilities will be provided. The property will retain its potable water through California American Water, and Carmel Area Wastewater District (CAWD) will also be sufficient in its continuance in providing sewer for the dwelling and ADU.

c) Staff conducted a site inspection on April 27, 2026, to verify that the site is suitable for this use
d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250307.

4. **FINDING:** **VIOLATIONS –** The subject property is not compliance with all rules and regulations pertaining to the County's Zoning Ordinance.

**EVIDENCE:**
a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations code enforcement cased on subject property.
b) Per staff's site visit, the subject property currently contains a 130-square-foot shed. This shed required the granting of a discretionary permit. Therefore, with the granting of this permit, the property will come into compliance with requirements of the Zoning Ordinance.
c) Staff conducted a site inspection on April 27, 2026, and researched County records to assess if any violation exists on the subject property.
d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250307.

5. **FINDING:** **CEQA (Exempt) –** The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.

**EVIDENCE:**
a) California Environmental Quality Act (CEQA) Guidelines Section 15301 and 15303 categorically exempts additions to the existing single-family residence and the construction of accessory structures in a residential zone.
b) This project qualifies for a Class 1 and Class 3 exemption because it is the additions to an existing structure and construction of a new accessory dwelling unit on a residentially zoned lot.
c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The site is vacant and therefore no historical (structural) resources would be impacted. There is no evidence that cultural resources are present on-site, and as conditioned, the project would have a less than significant impact on cultural resources (see Finding No. 1, evidence "f"). The proposed development is not visible from Highway 1 or designated public access areas/vista points.
d) No adverse environmental effects were identified during staff review of the development application.
e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250307.

6. **FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20 section 20.64.030.

**EVIDENCE:**

a) Title 20 section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the conversion of an existing 2,095 square foot detached garage into a 512 accessory dwelling unit inclusive of a covered entry and storage.

b) The ADU is below the maximum 1,200 square foot floor area and will be the first ADU on the subject property. The ADU is to be sited along the northeast side of the parcel (see attached plans and Finding 1, Evidence "e").

c) Title 20 Section 20.64.030.E.4 outlines size limitations for ADUs in CAR LUP by specifying that newly constructed ADUs built after March 25, 2024, shall not exceed 1,200 square feet. The proposed ADU will be 512 square feet of the existing garage, which does not exceed the 1,200 square foot maximum. Therefore, the proposed conversion complies with the size limitation policy.

d) As defined in Title 20, Section 20.58.040, the ADU does not provide parking requirements. On-site parking will be provided as the single family dwelling parking requirements of 2 spaces/unit are exceeded.

e) The ADU meets the required site development standards as defined in Title 20 Section 20.12.060 and Section 20.64.030 (See Finding 1, Evidence "e" and "f").

f) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities, and no further comments or conditions were provided (See Finding 3).

g) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in HCD-Planning File No. PLN250307.

7. **FINDING:** **PUBLIC ACCESS-** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

**EVIDENCE:**

a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Carmel CIP Section 20.146.130, can be demonstrated.

b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

c) The subject property is described as an area outside of where the Local Coastal Program requires physical public access (Figure 3, Local Coastal Program Public Access, in the Carmel LUP).

d) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Map A- Local Coastal Program General Viewshed, in the Carmel LUP). Based on the project location, and its topographical relationship to visual public access points in the area, the

development proposal will not interfere with visual access along Highway 1. Consistent with Carmel LUP Policy 5.3.2.4, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.

e) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN250307.

8. **FINDING:** **APPEALABILITY –** The decision on this project may be appealed to the Board of Supervisors.

**EVIDENCE:**

a) Board of Supervisors. Pursuant to Title 20 section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

b) California Coastal Commission. Pursuant to Title 20 section 20.86.080.A, the project is appealable to or by the Coastal Commission because the project is located between the first public road and the sea.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 1 and Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15301 and 15303, and that none of the exceptions pursuant to section 15300.2; and
2. Approve the Coastal Administrative Permit and Design Approval to allow construction of 2,391 square foot additions to an existing 1,675 square foot single family dwelling including a 206 square foot garage; Coastal Administrative Permit and Design Approval to allow the construction of a 512 square foot Accessory Dwelling Unit with an attached 207 square foot garage; and Coastal Administrative Permit to allow less than 120 square feet of development on slopes in excess of 30%.

All of which are in general conformance with the attached sketch and subject to the attached conditions**,** all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 15th day of July 2026.

_____

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

   Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

   Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250307

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Coastal Administrative Permit and Design Approval (PLN250307) allows the construction of a 2,545 square foot addition to an existing 867 square foot single family dwelling including the conversion of 776 square feet of an existing guest room and attached carport; construction of a 512 square foot accessory dwelling unit with an attached 207 square foot garage and associated site improvements, including development on slopes in excess of 30%. The property is located at 24368 San Juan Road, Carmel (Assessor's Parcel Number 009-011-006-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

## 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:
"A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 009-011-006-000 on July 15, 2026. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

## 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

## 4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

## 5. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepare by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

## 6. PD011 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

## 7. PW0005 – DRIVEWAY IMPROVEMENTS

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** Construct a Hot Mix Asphalt driveway connection to San Juan Rd. The design and construction is subject to the
approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an
encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct
and complete improvements prior to occupancy or commencement of use. Applicant is responsible to
obtain all permits and environmental clearances.

## 8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible Department:** Public Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (As applicable):

Names and contact information (primary and secondary) of parties responsible for project during construction.

Summary table including:

Types of construction vehicles and number of truck and/or vehicle trips/day.

Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).

Hours of operation.

Project scheduling (dates) and duration of construction.

Map illustrating:

Location of project (vicinity map).

Proposed route for hauling material.

Location of Sensitive Receptors (schools, hospitals, etc) along haul route.

Location of stockpiles and parking for construction vehicles.

Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.

The CMP shall:

Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling

Prohibit blocking of access roads or driveways.

Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.

Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.

Provide adequate storage and staging areas. Staging and storage areas shall be on-site to maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.

If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.

The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.

Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.

Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

**Compliance or Monitoring Action to be Performed:**

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

# HIMMELVO RESIDENCE

## REMODEL, ADDITIONS & ADU 3

## 24368 SAN JUAN RD, CARMEL, CA, 93923

## APN 009-011-006-000 [MOCO CZ, CARMEL LUP]

## ARCHEOLOGICAL MATERIALS STOP-WORK

SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

## CONSTRUCTION PLAN SUMMARY

1. THE PROPOSED PROJECT IS A SFR REMODEL THAT IS TO BE COMPLETED IN A TIME FRAME OF SEVEN MONTHS.
2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF THREE WORKERS WORKING ON THE PROJECT PER WORKING DAY.
3. PARTIES RESPONSIBLE DURING CONSTRUCTION:
   A. OWNER: LAUREN & JANE HIMMELVO
   B. CONTRACTOR: D ONE BUILDERS, KYLE DICKSON 2
4. ON AVERAGE, TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK.
5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
6. PROJECT SCHEDULING: START FEBRUARY 2026 END NOVEMBER 2026.
7. WASTE TO BE HAULED TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT LANDFILL IN MARINA.

## HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE MUNICIPALITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

## SPECIAL WORK GUIDELINES

- LIMIT ONE TRUCK PER TRADE VENDOR AT THE SITE. OFF SITE PARKING IS AVAILABLE.
- PARK IN DESIGNATED SPOTS POINTED OUT BY THE JOB SUPERVISOR ONLY.
- KEEP NOISE TO A MINIMUM. IF THERE ARE TIMES THAT EXCESSIVE NOISE WILL BE NECESSARY, LET THE JOB SUPERVISOR KNOW SO THEY CAN WARN THE NEIGHBORS.
- JOB SITE HOURS ARE 8:00 AM TO 5:00 PM, MONDAY THRU FRIDAY. NO WORK SHALL BE DONE DURING WEEKENDS OR HOLIDAYS, NO EXCEPTIONS.
- JOB SITE SHALL BE LEFT IN A SAFE, CLEAN CONDITION AT THE END OF EACH WORK DAY. ALL TRUCKS AND TRAILERS SHALL BE MOVED FROM THE PROPERTY.
- EATING LUNCH, STORING MATERIALS, OR MEETINGS SHALL BE ON THE SITE OF THE OWNERS PROPERTY.
- ALL BREAKS SHALL BE ON THE OWNERS PROPERTY WHERE THE WORK IS BEING DONE.
- MUSIC, SMOKING, VAPING, CHEWING TOBACCO, OR DRINKING ALCOHOLIC BEVERAGES IS PROHIBITED.

## PROJECT LOCATION MAP

## LEGAL OWNER

LAUREN & JANE HIMMELVO
3265 CAMINO DEL MONTE
CARMEL, CA 93923
432.298.3420
lauren@countryandseaweed.com

## DESIGNER & PERMIT AGENT

ERIN C ROSE
PO BOX 222399
CARMEL, CA 93922
808.217.7623
erin.rose.HI@gmail.com

## STRUCTURAL ENGINEER

STUART A SCOTT SE#3890
STUART A SCOTT SE INC
1905 RUCKER AVENUE
GILROY, CA 95020
408.500.5712
StuartAScottSE@gmail.com 2

## GENERAL CONTRACTOR

KYLE DICKSON C#1028049
D ONE BUILDERS
8901 MURRAY AVE STE B
GILROY, CA 95020
408.310.1337
office@Donebuilders.com 2

## CIVIL ENGINEER

GUY GIRARDO PE#56569 PLS#8703
LANDSET ENGINEERS, INC.
540 CRAZY HORSE CANYON ROAD
SALINAS, CA 93907
831.443.6970
ssouza@landseteng.com

## INTERIOR DESIGNER

LAUREN HIMMELVO
COUNTRY & SEAWEED
3265 CAMINO DEL MONTE
CARMEL, CA 93923
432.298.3420
lauren@countryandseaweed.com

## GEOTECH ENGINEER

GREG BLOOM GE#2691 PE#58819
BUTANO GEOTECHNICAL ENGINEERING
404 WESTRIDGE DRIVE
WATSONVILLE, CA 95076
831.724.2612
greg@butanogeotech.com

## SURVEYOR

FRANK LUCIDO PLS#8368
LUCIDO SURVEYORS
2 SAUCITO AVENUE
DEL RAY OAKS, CA 93940
831.620.5032
info@lucidosurveyors.com

## ENERGY COMPLIANCE

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MONTEREY ENERGY GROUP
26465 CARMEL RANCHO BLVD #8
CARMEL, CA 93923
831.372.8328
jenn@meg4.com

## HISTORIAN

DANA E. SUPERNOWICZ, M.A., RPA
HISTORIC RESOURCE ASSOCIATES
3142 BIRD ROCK ROAD
PEBBLE BEACH, CA 93953
831.641.7474
historic.resource@comcast.net

## ARCHEOLOGIST

BRENNA WHEELIS, BA.
ACHASTA ARCHEOLOGICAL SERVICES
3059 BOSTICK AVENUE
MARINA, CA 9393
831.262.2300
bwheelis@achastaservices.com

## HAZARDOUS MATERIALS

CHRIS GATWARD
M2 ENVIRONMENTAL LLC
22 LOWER RAGSDALE DRIVE
MONTEREY, CA 93940
chris@m3environmental.com
831.649.4623

## LANDSCAPE ARCHITECT

N/A 2 4

## SITE DETAILS

| | |
|---|---|
| LAND USE: | SINGLE FAMILY RESIDENTIAL |
| ZONING: | MDR/2-D(CZ) |
| DENSITY: | 2U/A |
| SITE AREA: | 11,394 SF |
| YEAR BUILT: | 1948 |
| OCCUPANCY TYPE: | R-3/U |
| CONSTRUCTION TYPE: | V-B |
| SPRINKLED: | NO |
| STORIES: | ONE |
| LIVING AREA: | 1,675 SF |
| *HOUSE:* | *840 SF* |
| *GUEST APT:* | *524 SF* |
| *CARPORT:* | *311 SF* |
| JURISDICTION: | MOCO CZ:<br>*CARMEL LUP - BUILDING AREA*<br>*DEL MONTE FOREST LUP - IN REAR SETBACK* |
| FIRE DISTRICT: | CYPRESS |
| WATER: | CALAM |
| WATER CREDIT PURCHASE: | 9.7 CREDITS REQUESTED (5.8 ARE FOR ADU) |
| SEWER: | CAWD (SEWER) |
| ELECTRICITY/GAS: | PG&E |
| HISTORIC BLDG: | NO |
| ARCHEOLOGY: | NO |
| FLOODPLAIN: | NO |
| WUI ZONE: | YES |
| EASEMENTS: | NO |
| ENCROACHMENT: | DRIVEWAY REQUESTED |
| NON-CONFORMING: | NO |
| VARIANCE: | ~~GARAGE REQUESTED~~ 2 3 |

## CONTRACTOR CHECKLIST

- SMOKE & CO2 ALARMS AFFIDAVIT
- PHOTOS OF INSTALLED SMOKE & CO2 ALARMS TO MATCH THE DRAWINGS
- CONSTRUCTION, DEMOLITION RECYCLE FORMS
- CONTRACTOR MUST SAVE ALL DUMP RECEIPTS

## FIRE SPRINKLERS

SPRINKLERS ARE REQUIRED

## WATER CREDITS

WATER FIXTURE UPGRADES
WATER CREDIT PURCHASE REQUESTED

## ZONING CONFORMANCE

FULL INTERIOR REMODEL
ADDITIONS INCLUDING ADU & ~~DETATCHED~~ GARAGE 2

## BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:

- CALIFORNIA BUILDING CODE 2022
- CALIFORNIA NON-RESIDENTIAL CODE 2022
- CALIFORNIA MECHANICAL CODE 2022
- CALIFORNIA PLUMBING CODE 2022
- CALIFORNIA ELECTRICAL CODE 2022
- CALIFORNIA FIRE CODE 2022
- CALIFORNIA ENERGY CODE 2022
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2022
- CALIFORNIA HISTORIC BUILDING CODE 2022
- MONTEREY COUNTY TITLE-20 2024
- MONTEREY COUNTY CODE AMENDMENTS 2022

## NOTES

BUILDING AREA OF PARCEL IS IN CARMEL LUP
SMALL SLIVER OF PARCEL, IN REAR SETBACK, IS IN DEL MONTE FOREST LUP
WATER CREDIT PURCHASE REQUESTED FOR ADU & BASEMENT BATHROOM
DRIVEWAY ENCROACHMENT REQUESTED
3 ~~GARAGE VARIANCE REQUESTED 5' INTO FRONT SETBACK~~
5 NO IRRIGATED LANDSCAPING, RESTORE SUCCULENTS RETAINED DURING DEMO/GRADING + ADD ZERO WATER NATIVE PLANTS IN DISTURBED AREAS OF SITE. INSTALL BIODEGRADABLE TWO YEAR EROSION CONTROLS.

## DEFERRED SUBMITTAL

PLANNING
~~CIVIL ENGINEERING~~ 4
DRIVEWAY ENCROACHMENT
3 2 ~~GARAGE VARIANCE~~

BUILDING
FIRE SUPPRESSION
SOLAR & BATTERY BACKUP SYSTEM
FAU MODEL, BTU, PIPE SIZE & LENGTHS
RADIANT MODEL, BTU, PIPE SIZE & LENGTHS
GAS SCHEMATIC
GAS PIPE SIZE & LENGTHS
PLUMBING SCHEMATIC
PLUMBING PIPE SIZE & LENGTHS
~~OCCUPANCY RATING~~
2 RIGHT OF WAY TEMPORARY ENCROACHMENT

## PROJECT DESCRIPTION

**PLANNING**

1) REMODEL EXISTING 840 SF RESIDENCE
2) DEMO CHICKEN COOP IN NORTH SETBACK
3) DEMO ALL HARDSCAPE, LANDSCAPE WALLS, GATE PILLARS, & FENCE ALONG FRONT PROPERTY LINE
4) CONVERT EXISTING 300 SF CARPORT TO CONDITIONED LIVING SPACE
5) FIRST FLOOR ADDITIONS TOTALLING 1,769 SF
6) NEW 1,068 SF WALK OUT BASEMENT REC ROOM, GYM & BATHROOM
7) NEW 402 SF ~~ADA COMPLIANT~~ ADU WITH 45 SF COVERED WALKWAY TO ADU ENTRY
8) NEW 206 SF GARAGE ONE CAR GARAGE
~~9) NEW PERMEABLE PAVER PARKING SPACE BETWEEN ADU & GARAGE~~
10) TWO ~~THREE~~ NEW GRAVEL PARKING SPACES FOR OCCUPANTS OF HOME AND ADU AT EXISTING DRIVEWAY AREA
11) REPLACE EXISTING NON-NATIVE LANDSCAPING WITH NATIVE XERISCAPING
12) REPLACE EXISTING ROOF WITH CLASS-A TAR & GRAVEL AND/OR GREEN LIVING ROOF (TBD)
13) MOVE DRIVEWAY TO SOUTH PROPERTY LINE ~~& RECONFIGURE TO NEW GARAGE/CARPORT~~ (ENCROACHMENT PERMIT)
14) REGRADE TO ACCOMMODATE EXCAVATION. ~~1,500 CY~~ CUT TO BE REDISTRIBUTED AS FILL OR GARDEN BEDS, NO SOIL WILL BE EXPORTED OFF-SITE
15) ROOFLINES WILL NOT EXCEED ~~20'~~ 19' (JAN 2026) ABOVE THEIR CORRESPONDING LOWEST NATURAL GRADE. ADDITIONS STEP DOWN TO FOLLOW THE NATURAL, GENTLE, SLOPE OF THE LOT.
16) RE-SIDE EXISTING BUILDINGS & MAIN FLOOR ADDITIONS WITH ~~SHOSUGI BAN~~ HORIZONTAL WOOD SIDING (TREAT EXISTING). ~~CORTEN STEEL SIDING~~ ON LOWER FLOOR AND ADU.
17) ALL NEW WINDOWS AND DOORS TO BE SIERRA PACIFIC URBAN LINE, DOUBLE PANED & TEMPERED. FAUX COPPER ALUMINUM CLAD EXTERIOR AND BLACK ALUMINUM CLAD EXTERIOR, NATURAL PINE INTERIOR TO BE STAINED.

**TREE REMOVAL**

1) REMOVAL OF FIVE NON-NATIVE TREES ~~AND ONE OAK~~: HAZARDOUS 24" PINE ALREADY REMOVED VIA PERMIT TRM250402.

**BUILDING**

1) UPDATE ALL MECHANICAL, ELECTRICAL, PLUMBING AS REQUIRED BY CODE
2) RELOCATE EXISTING SEWAGE PUMP OUTSIDE FOOTPRINT OF PROPOSED ADDITIONS

**RIGHT OF WAY**

1) RECONFIGURE DRIVEWAY & OFF STREET PARKING ACCESS THROUGH RIGHT OF WAY

1

**12/22/2025 - CHANGES FROM DESIGN APPROVAL**

1) FOOTAGE DECREASE IN BSC AND FAR
2) LIVING ROOM PLATE INCREASED FROM 10' TO 12'
3) MAXIMUM HEIGHT ABOVE NATURAL GRADE INCREASED FROM 18' TO ~~20'~~ TO 19' (JAN 2026)
4) ADU ENTRY ROOFLINE CHANGE W/ NEW STORAGE CLOSET. EXTEND EAVE OF FORMER CARPORT TO MEET ~~ADU~~ ADU ROOFLINE
5) SOLAR PANELS & BACKUP BATTERIES ADDED TO PROJECT, ARRAY & STORAGE SIZE TBD
6) STEPS (FLOOR LEVEL CHANGES) REMOVED FROM MAIN FLOOR TO MEET AGE-IN-PLACE NEEDS
7) REMOVE STAIRS FROM LIVING ROOM TO REAR PATIO
8) RECONFIGURE/REDUCE TILE DECK AND SAUNA ROOM TO ACCOMMODATE SPIRAL STAIRCASE
9) RECONFIGURE WALKWAYS AND PATIO SHAPE AND SIZE
10) MOVE THE INTERIOR STAIRS TO LOWER FLOOR FURTHER WEST
11) NUMBER OF SKYLIGHTS REDUCED, ALL WILL BE VELUX FIXED SKYLIGHTS WITH BLACK OUT SHADES
12) INSULATE ROOF, FRAMED EXTERIOR WALLS & FRAMED FLOORS
13) RADIANT FLOOR HEATING IN SELECT ROOMS

**01/26/2026- CHANGES FROM DESIGN APPROVAL**

2

1) ROTATE GARAGE 90 DEGREES, ATTACH ADU TO GARAGE
~~2) MOVE ATTACHED GARAGE FIVE FEET (5') INTO FRONT SETBACK (VARIANCE REQUESTED)~~
3) RECONFIGURE DRIVEWAY, PARKING, LANDSCAPE WALLS, DRAINAGE, AND DRIVEWAY GATE LOCATION. ADD 6' WOOD FENCE AT FRONT PROPERTY LINE.
4) EXTERIOR SIDING CHANGED TO CLASS-A HORIZONTAL BLACK CEDAR ON EXISTING HOME. ADDITIONS, ADU, AND GARAGE TO BE CLASS-A VERTICAL CEDAR WITH CLEAR STAIN.
5) RADIANT FLOOR HEATING AREAS REDUCED PER T-24 RECOMMENDATION
6) MOVE SCULLERY FIREPLACE & CHIMNEY TO NORTH WALL OF LIVING ROOM, RECONFIGURE SCULLERY
7) REDUCED NUMBER OF SOUTH AND WEST FACING WINDOWS IN DINING AND LIVING ROOM. REDUCED NORTH LIVING ROOM WINDOWS. BASEMENT DOORS AND WINDOWS REDUCED TO MATCH MAIN FLOOR CHANGES.
8) PRIVACY VESTIBULE ADDED TO PRIMARY BEDROOM DOOR
9) ROOFLINES RECONFIGURED AT ADU & HOUSE ENTRY
10) SKYLIGHTS IN HOUSE REDUCED. SKYLIGHT ADDED TO ADU.
11) ALL WINDOWS AND DOORS IN ADU RECONFIGURED.
12) GARAGE PLATE INCREASED TO 9' TO ACCOMODATE SUV ROOF RACKS

**02/02/2026- MOVE GARAGE OUT OF FRONT SETBACK**

1) CHANGE ADU TO ADU
2) MOVE GARAGE OUT OF FRONT SETBACK, RESCIND VARIANCE REQUEST
3) REDUCE GARAGE PLATE TO 8'
4) REDUCE ADU PLATE TO 8' & CHANGE ALL WINDOWS & DOORS 3

**02/27/2026- MARK 30% GRADE, CUT FILL QTY**

4

1) AREAS OF EXISTING GRADE OVER 30% MARKED ON SITE PLANS.
2) EXISTING GRADE OVER 30% RESULT FROM LAND WORK BY PREVIOUS OWNER (PLANTERS, LANDSCAPE WALL, AND PATIOS). AREAS DO NOT REPRESENT ORIGINAL/NATURAL GRADE.
3) REGRADE TO ACCOMMODATE EXCAVATION. 465 CY CUT AND 85CY FILL, FOR NET 380 CY CUT.
4) NET 380 CY CUT TO BE REDISTRIBUTED AS FILL OR GARDEN BEDS, NO SOIL WILL BE EXPORTED OFF-SITE

## FAR & BUILDING SITE COVERAGE 3

| BSC: BUILDING SITE COVERAGE | Existing | Additions | Proposed | |
|---|---|---|---|---|
| House | 867 | 0 | 867 | *867* |
| Guest Apt | 508 | -32 | 476 | *1,343* |
| Carport Conversion | 300 | 0 | 300 | *1,643* |
| Great Room + Hall | 0 | 1500 | 1500 | *3,143* |
| Pbath Wedge (incl Deck & Stairs) | 0 | 269 | 269 | *3,412* |
| | **1675** | **1737** | **3412** | **HOUSE ONLY BSC** |
| ADU | 0 | 396 | 396 | *3,808* |
| ADU covered entry & storage | 0 | 116 | 116 | *3,924* |
| | **0** | **512** | **512** | **ADU ONLY BSC** |
| Garage | **0** | **207** | **207** | **GARAGE ONLY BSC** |
| | **1675** | **2456** | **4131** | **TOTAL BLDG SITE CVG** |

| FAR: FLOOR AREA RATIO | Exist | Additions | Proposed | |
|---|---|---|---|---|
| Walk Out Basement (FAR only) | 0 | 919 | 919 | *2,656* |
| Gym (FAR Only) | 0 | 149 | 149 | *2,805* |
| | **0** | **1,068** | **5,199** | **FLOOR AREA RATIO** |

**CALCULATIONS**

| lot size | *45% far* | *35% bsc* | FOOTAGES | |
|---|---|---|---|---|
| 11,394 | *5,127.3* | *3,987.9* | *3,412* | house |
| +150 SF for JADU egress | *150.0* | *150.0* | 512 | ADU + entry eave |
| | **5,277.3** | **4,137.9** | 207 | garage |
| | | | **4,131** | **BSC total** |
| | | | -6.9 | **BSC balance** |
| | | | **5,199** | **FAR total** |
| | | | -78.3 | ***FAR balance*** |

SEE A-1.3 PROPOSED SITE PLAN FOR HARDSCAPE COVERAGE TABLE

## PAGE INDEX FOR PLN250307

***SHEETS MARKED WITH * ARE NEW SHEETS IN 01.26.2026 REVISION SET***


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| *A-0.1 | CONDITIONS OF APPROVAL |
| SURV | SITE SURVEY |
| *A-0.2 | EXISTING HOUSE+TERRAIN W/ PROPOSED OVERLAY |
| *A-0.3 | RENDERINGS PROPOSED PROJECT |
| *FLAG1 | HOUSE CORNER STAKING PLAN |
| *FLAG2 | HOUSE FLAGGING PLAN |
| *FLAG3 | ADU & GARAGE STAKING & FLAGGING PLANS |
| *A-1.1 | SITE PREPARATION / CMP PLAN |
| A-1.2 | EXISTING / DEMO SITE PLAN |
| A-1.3 | PROPOSED SITE PLAN |
| *A-1.4 | FUEL MANAGEMENT PLAN |
| A-1.5 | BUILDING SITE COVERAGE [BSC] & FAR STUDY |
| ~~A-1.5~~ | ~~GRADING & DRAINAGE PLAN~~, SEE CIVIL |
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| *A-3.4 | EXTERIOR HOUSE ELEVATIONS: NORTH (SIDE) |
| *A-3.5 | PROPOSED CROSS SECTIONS |
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| C5-C6 | CONSTRUCTION DETAILS |
| C7 | EROSION & SEDIMENT CONTROL PLAN |
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## REVISION HISTORY DETAIL

1 **12.22.25** **PLN2.0** PLANNING CO#1 - MATCH BUILDING SUBMITTAL
PS1.3 EDITED: ALL PAGES

2 **01.26.26** **PLN3.0** PLANNING RFI#1 & CO#2
PS1.9 EDITED: ALL PAGES

3 **02.02.26** **PLN4.0** PLANNING RFI#1 & CO#3
PS2.0 ADU, MOVE GARAGE OUT OF FRONT SETBACK
EDITED: A-0, A-0.2, A-0.3, FLAG3, A-1.3 to A-1.7, A-3.6

4 **03.07.26** **PLN5.0** PLANNING RFI#2
PS2.2 MARK GRADE OVER 30%, CUT/FILL EDIT, CVL ADDED
FNDT EDITS + FND VENT CALCS
EDITED: A-0, A-1.2, A-2.2 NEW: CIVIL SET

5 **03.31.26** **BLDG2.0** BUILDING RFI#1 & CO#1
EDITED: ALL PAGES NEW: T24, STRUCTURAL. PG&E, A-2.1

6 **04.17.26** **PLN6.0** PLANNING RFI#3
PS2.4 CALC SF/CY CUT/FILL GRADE OVER 30%,

## SUBMITTAL RECORD

| | | | |
|---|---|---|---|
| 11.07.25 | 1.0 | LH/ER | INITIAL DESIGN APPROVAL SUBMITTAL |
| 12.22.25 | 1.3 | ER | INITIAL COMBI PLANNING/BUILDING SUBMITTAL |
| 01.26.26 | 1.9 | ER | PLANNING RFI#1 & CHANGE ORDER #2 |
| 01.26.26 | 2.0 | ER | PLANNING RFI#1 & CHANGE ORDER #3 |
| 03.07.26 | 2.2 | ER | PLANNING RFI#2 |
| 04.01.26 | 2.3 | ER | BUILDING RFI#1 & CO#1 |
| 04.16.26 | 2.4 | ER | PLANNING RFI#3 |

# A-0

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

COVER: PROJECT DATA

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
| 1 | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
| 4 | PLN RFI#2 03.07.2026 |
| 5 | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

*All attempts have been made to ensure the accuracy of plans. Should contradictory conditions arise, it is the responsibility of the owner, licensed consultant, trade partner, and/or the contractor to notify Erin C. Rose before commencement of construction activities to address discrepancies.*

*Renderings are approximate representations only and do not guarantee appearance of final product.*


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Plans has been created for Lauren & Jane Himmelvo for 24368 San Juan Road and are solely intended for use in application to relevant municipal departments and utility companies in Monterey County, California. Plans may be used to obtain bids, estimates, and/or licensed professional consulting related to the Design, Planning, or Building Permit Application process. Plans shall not be used by any other individual or for any other purpose without written consent of Erin C Rose. Plan sheet must be marked 'FOR CONSTRUCTION' in title block to be used for construction activities.


*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

# Monterey County Planning Department

## DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN250307

### 0. PD001 - SPECIFIC USES ONLY

**Responsible**: Planning

**Condition/Mitigation Monitoring Measure:** This _____ permit (PLNxxxxxx) allows _____. The property is located at _____ (Assessor's Parcel Number xxx-xxx-xxx-000), ____ Area Plan/Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 0. PD002 - NOTICE PERMIT APPROVAL

**Responsible**: Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:
"A [Type of Permit] (Resolution Number _____) was approved by [Name of Hearing Body] for Assessor's Parcel Number *** on [Date the permit was approved]. The permit was granted subject to *** conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.



### 0. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPOR

**Responsible**: Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

### 0. HOLD PERMIT DUE TO NO ACCOUNT/UNABLE TO LOCATE ACCOUNT

**Responsible**: Planning

**Condition/Mitigation Monitoring Measure:** TOTAL FEES $6,509.00 HAS BEEN PAID IN FULL BY APPLICANT LAUREN HIMMELVO ON 11/19/2025. M HERNANDEZ

FEE WAS PAID VIA ON-LINE ON 11/14/2025 IN $6,466.00. A RETURNED CHECK FEE OF $43.00 HAS BEEN ADDED MAKING A TOTAL OF $6,509.00 THAT WILL NEED TO BE PAID. ENTRY DONE BY CASHIER M HERNANDEZ

**Compliance or Monitoring Action to be Performed:** "TOTAL OF $6,509.00 WILL NEED TO BE PAID. PAYMENT CAN BE VIA ON-LINE, CHECK, CASHIER'S CHECK, MONEY ORDER, CASH OR CREDIT CARD.

### 0. PW0005 – DRIVEWAY IMPROVEMENTS

**Responsible**: Pub Works

**Condition/Mitigation Monitoring Measure:** Construct a Hot Mix Asphalt driveway connection to San Juan Rd. The design and construction is subject to the
approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

**Compliance or Monitoring Action to be Performed:** Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct
and complete improvements prior to occupancy or commencement of use. Applicant is responsible to
obtain all permits and environmental clearances.



### 0. PW0044 - CONSTRUCTION MANAGEMENT PLAN

**Responsible**: Pub Works

**Condition/Mitigation Monitoring Measure:** The applicant shall submit a site-specific Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval that describes how the site will be managed during construction to protect onsite and nearby sensitive resources, avoid construction nuisance impacts to nearby properties, and reduce congesting/circulation impacts to the local transportation network. The applicant shall be required to adhere to the approved CMP. The Construction Management Plan shall include the following (As applicable):
Names and contact information (primary and secondary) of parties responsible for project during construction.
Summary table including:
Types of construction vehicles and number of truck and/or vehicle trips/day.
Quantity and extent (acreage) of grading per day (Air Quality Management District Standards).
Hours of operation.
Project scheduling (dates) and duration of construction.
Map illustrating:
Location of project (vicinity map).
Proposed route for hauling material.
Location of Sensitive Receptors (schools, hospitals, etc) along haul route.
Location of stockpiles and parking for construction vehicles.
Sensitive areas (tree protection zones, drainage, environmentally sensitive habitat, slopes, etc) where no parking, stockpiling, construction will occur.
The CMP shall:
Prescribe measures to reduce traffic impacts including but not limited to scheduling hauling and material deliveries off-peak hours and encouraging carpooling
Prohibit blocking of access roads or driveways.
Avoid impacting access to private properties by not parking on neighboring properties or impinging on the travel lane of access roads. Construction vehicles shall be encouraged to not park directly in-front of neighboring properties.
Ensure pedestrian paths of travel are not impeded or that alternative paths of travel are provided.
Provide adequate storage and staging areas. Staging and storage areas shall be on-site to maximum extent possible to reduce potential noise, dust, glare, and other impacts to neighboring property.
If on-site storage and staging areas cannot be accommodated, appropriate best management practices shall be implemented to ensure that off-site storage and staging do not adversely impact access or cause excessive noise, dust, or lighting for neighboring properties.
The Applicant/Owner may need to obtain separate authorization to utilize off-site storage and staging areas. The owner/applicant shall be responsible for securing this authorization prior to approval of the CMP.
Prior to the commencement of construction activities, the applicant shall post a publicly visible sign that outlines the specifics of the construction management plan, the telephone number of the on-site contractor, and the telephone number of the person to contact regarding complaints. This contact person shall respond to complaints and take corrective action within 24 hours.
Recommendations from the project biologist, arborist, archaeologist, and/or other qualified professionals relating to construction activities shall be included in the CMP.

**Compliance or Monitoring Action to be Performed:** 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall
submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the
construction/grading phase of the project.



NEW SHEET 01.25.2026 2

# A-0.1

*FOR PERMITTING ONLY*

PLAN SET: HIMSJ 2.4
ISSUE DATE: 4/17/26
PLANNING APPROVAL

CONDITIONS OF APPROVAL

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| | PLN RFI#1 & CO#3 02.02.2026 |
| | PLN RFI#2 03.07.2026 |
| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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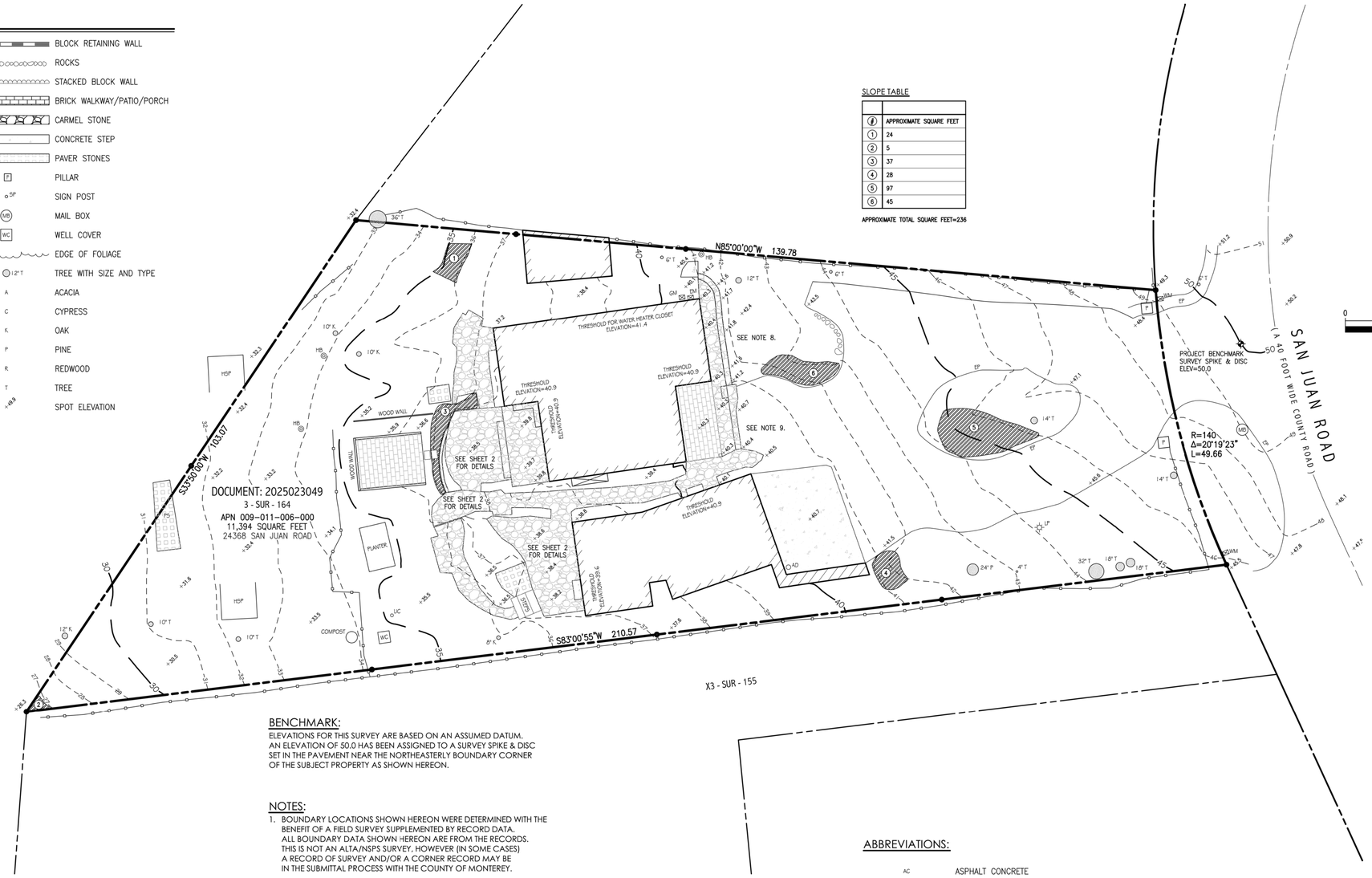
*FOR PERMITTING ONLY*

***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

## LEGEND:

- SET IRON BAR & CAP, PLS 8368
- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- PROJECT BENCHMARK
- 50 CONTOUR (MAJOR)
- 49 CONTOUR (MINOR)
- APPROXIMATE BUILDING OUTLINE
- CHIMNEY
- THRESHOLD ELEVATION — APPROXIMATE FLOOR ELEVATION
- GARAGE SLAB ELEVATION — APPROXIMATE GARAGE SLAB ELEVATION
- W WATER LINE
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- HB HOSE BIB
- ICV IRRIGATION CONTROL VALVE
- SS SANITARY SEWER LINE
- MH SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN-OUT
- SD STORM DRAIN
- MH STORM DRAIN MANHOLE
- AD AREA DRAIN
- CB STORM DRAIN CATCH BASIN
- E ELECTRIC LINE
- UP UTILITY POLE
- GW GUY WIRE
- EV ELECTRIC VAULT
- UV UTILITY VAULT
- EM ELECTRIC METER
- UC UTILITY CONNECTION
- LP LAMP POST
- G GAS LINE
- GM GAS METER
- T TELEPHONE LINE
- TS TELEPHONE STANDARD
- TV CABLE TELEVISION LINE
- CTVB CABLE TELEVISION BOX
- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- FLOWLINE
- SLOPE BETWEEN 25% AND 35%
- BLOCK RETAINING WALL
- ROCKS
- STACKED BLOCK WALL
- BRICK WALKWAY/PATIO/PORCH
- CARMEL STONE
- CONCRETE STEP
- PAVER STONES
- P PILLAR
- SP SIGN POST
- MB MAIL BOX
- WC WELL COVER
- EDGE OF FOLIAGE
- 12"T TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- +49.9 SPOT ELEVATION




### SLOPE TABLE

| # | APPROXIMATE SQUARE FEET |
|---|---|
| 1 | 24 |
| 2 | 5 |
| 3 | 37 |
| 4 | 28 |
| 5 | 97 |
| 6 | 45 |

APPROXIMATE TOTAL SQUARE FEET=236

SCALE: 1"=10'

0 10 20 30 40

## BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A SURVEY SPIKE & DISC SET IN THE PAVEMENT NEAR THE NORTHEASTERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

## NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS. THIS IS NOT AN ALTA/NSPS SURVEY, HOWEVER (IN SOME CASES) A RECORD OF SURVEY AND/OR A CORNER RECORD MAY BE IN THE SUBMITTAL PROCESS WITH THE COUNTY OF MONTEREY.
2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
8. THE WALL ELEVATIONS IN THE AREA ARE APPROXIMATE ONLY DUE TO THE UNEVEN NATURE OF THE PHYSICAL FEATURES.
9. THE SPOT ELEVATIONS IN THE AREA ARE APPROXIMATE ONLY DUE TO THE UNEVEN NATURE OF THE PHYSICAL FEATURES.
10. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN SEPTEMBER OF 2025.

## ABBREVIATIONS:

| | |
|---|---|
| AC | ASPHALT CONCRETE |
| BOC | BACK OF CURB |
| BSW | BACK OF SIDEWALK |
| CS | CARMEL STONE |
| CMP | CORRUGATED METAL PIPE |
| CONC | CONCRETE SLAB |
| DG | DECOMPOSED GRANITE |
| DWY | DRIVEWAY |
| EP | EDGE OF PAVEMENT |
| EX AGG | EXPOSED AGGREGATE |
| FC | FACE OF CURB |
| HSP | HORSESHOE PIT |
| LG | LIP OF GUTTER |
| PCC | PORTLAND CEMENT CONCRETE |
| PS | PAVER STONES |
| PVC | POLY VINYL CHLORIDE |
| RCP | REINFORCED CONCRETE PIPE |
| TE | TRASH ENCLOSURE |

## SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF Lauren Himmelvo IN AUGUST OF 2025.

10/2/2025
DATE

FRANK LUCIDO JR.
PLS 8368
EXPIRES 12/31/25

PROFESSIONAL LAND SURVEYOR · FRANK LUCIDO JR. · No. 8368 · STATE OF CALIFORNIA

# TOPOGRAPHIC SITE SURVEY

OF

## 24368 SAN JUAN ROAD

PER

DOCUMENT: 2025023049
Records of Monterey County

PREPARED FOR

Lauren Himmelvo

BY


LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940

info@lucidosurveyors.com
(831) 620-5032


| | | |
|---|---|---|
| SCALE: 1"=10' | PROJECT No. 3737 | SEPTEMBER 2025 |
| CARMEL WOODS | COUNTY OF MONTEREY | STATE OF CALIFORNIA |

***RENDERING DISCLAIMER***

*RENDERINGS ARE APPROXIMATE REPRESENTATIONS OF MASSING AND EXTERIOR MATERIALS. RENDERINGS DO NOT RELFECT EXACT COLORS, TEXTURES, NOR ACTUAL MATERIAL APPEARANCE.*

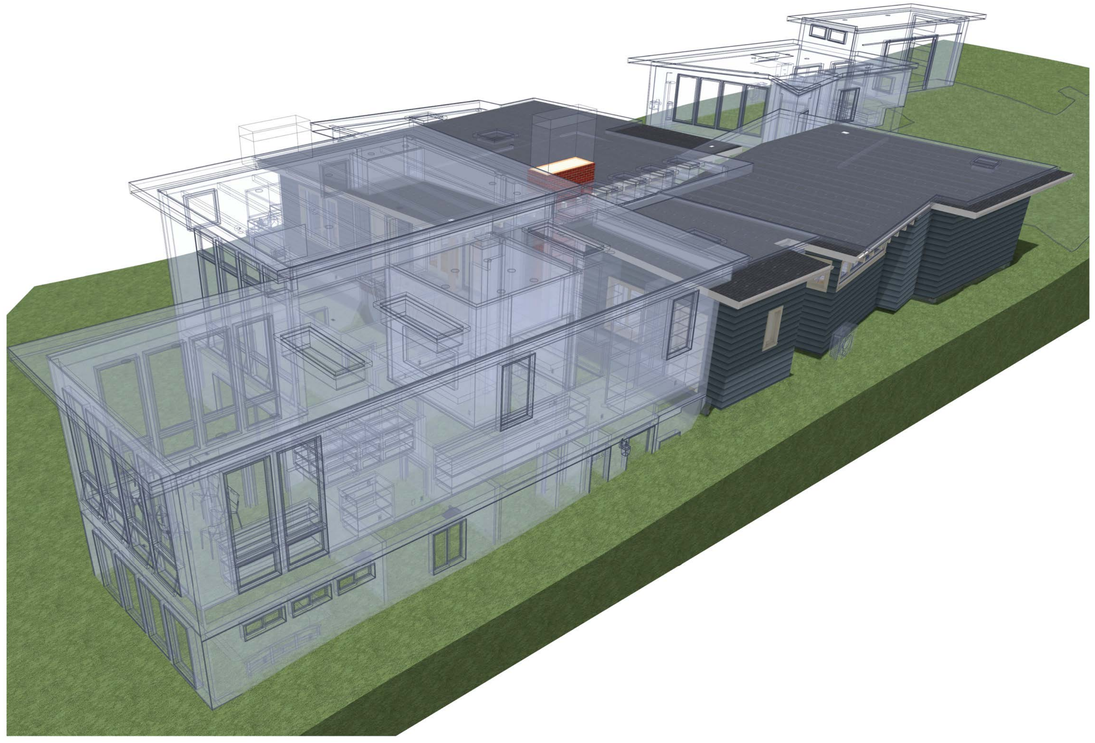
DRONE VIEW COMPARISION FROM NORTH WEST

ALL RENDERINGS UPDATED WITH NEW GARAGE/ADU LOCATION FEB 02, 2026 3

NEW SHEET 01.25.2026 2

DRONE VIEW COMPARISION FROM NORTH EAST

DRONE VIEW COMPARISION FROM SOUTH EAST



DRONE VIEW COMPARISION FROM SOUTH WEST

# A-0.2

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

EXISTING HOUSE +TERRAIN W/ PROPOSED OVERLAY

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
| | PLN RFI#2 03.07.2026 |
| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

VIEW FROM NEW DRIVEWAY

DRONE VIEW FROM SOUTH EAST

DRONE VIEW FROM NORTH WEST

NEW SHEET 01.25.2026 2

DRONE VIEW FROM SOUTH WEST

***RENDERING DISCLAIMER***

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ALL RENDERINGS UPDATED WITH NEW GARAGE/ADU LOCATION FEB 02, 2026 3

VIEW FROM BACK YARD LOOKING SOUTH EAST

# A-0.3

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

RENDERINGS PROPOSED PROJECT

**HIMMELVO RESIDENCE**

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
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***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

**FLAG1**
*FOR PERMITTING ONLY*

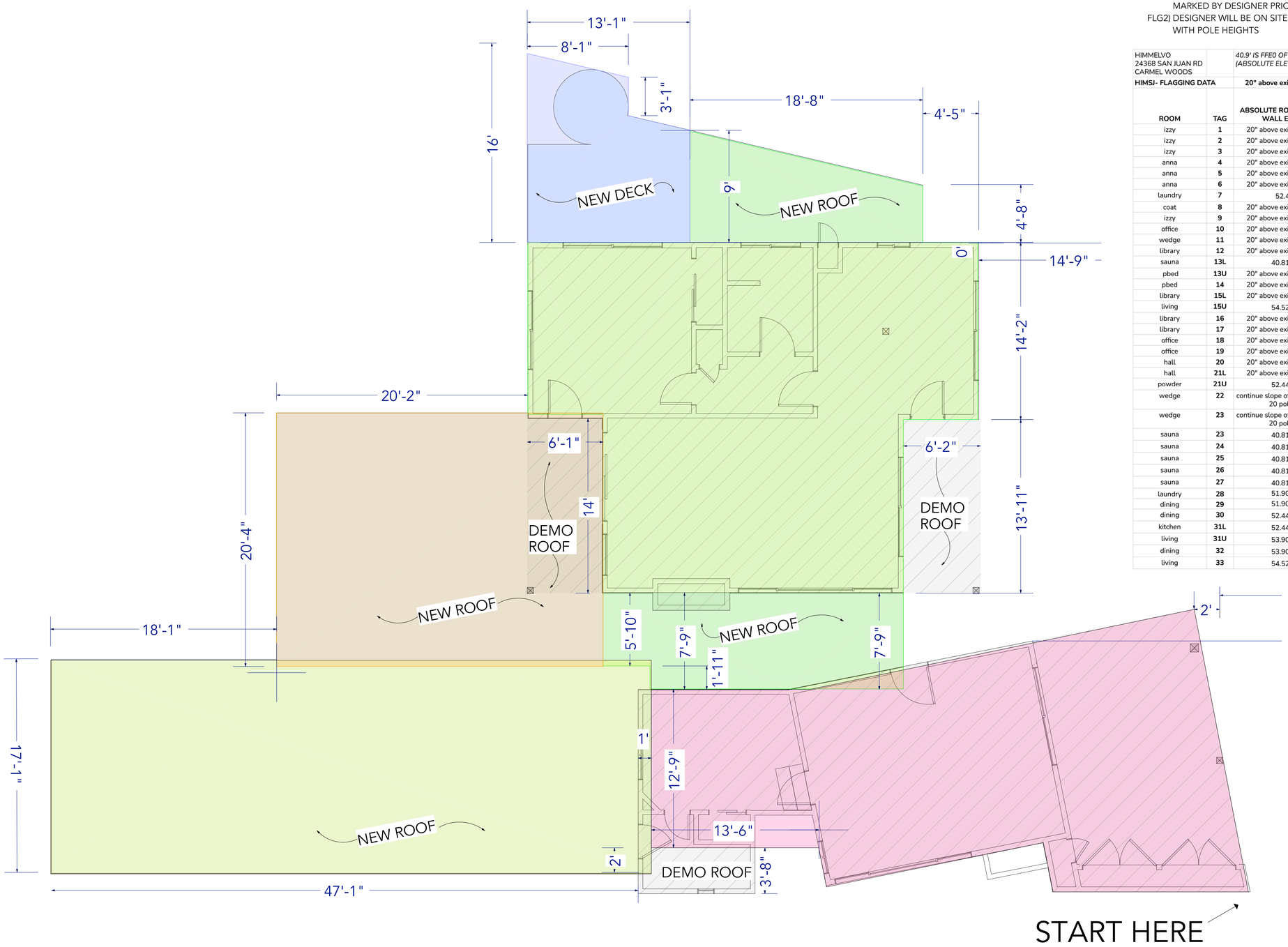
| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

**FLAGGING & STAKING SCOPE OF WORK**

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

FLG1) POINTS OF NEW CONSTRUCTION WILL BE MEASURED AND MARKED BY DESIGNER PRIOR TO FLAGGING

FLG2) DESIGNER WILL BE ON SITE DURING FLAGGING TO ASSIST WITH POLE HEIGHTS




| HIMMELVO<br>24368 SAN JUAN RD<br>CARMEL WOODS | | *40.9' IS FFE0 OF HOUSE (ABSOLUTE ELEVATION)* |
|---|---|---|
| **HIMSJ- FLAGGING DATA** | | **20" above existing roof** |
| **ROOM** | **TAG** | **ABSOLUTE ROOF TOP AT WALL EDGE** |
| izzy | **1** | 20" above existing roof |
| izzy | **2** | 20" above existing roof |
| izzy | **3** | 20" above existing roof |
| anna | **4** | 20" above existing roof |
| anna | **5** | 20" above existing roof |
| anna | **6** | 20" above existing roof |
| laundry | **7** | 52.4 |
| coat | **8** | 20" above existing roof |
| izzy | **9** | 20" above existing roof |
| office | **10** | 20" above existing roof |
| wedge | **11** | 20" above existing roof |
| library | **12** | 20" above existing roof |
| sauna | **13L** | 40.817 |
| pbed | **13U** | 20" above existing roof |
| pbed | **14** | 20" above existing roof |
| library | **15L** | 20" above existing roof |
| living | **15U** | 54.525 |
| library | **16** | 20" above existing roof |
| library | **17** | 20" above existing roof |
| office | **18** | 20" above existing roof |
| office | **19** | 20" above existing roof |
| hall | **20** | 20" above existing roof |
| hall | **21L** | 20" above existing roof |
| powder | **21U** | 52.442 |
| wedge | **22** | continue slope of north roof + 20 poles |
| wedge | **23** | continue slope of north roof + 20 poles |
| sauna | **23** | 40.817 |
| sauna | **24** | 40.817 |
| sauna | **25** | 40.817 |
| sauna | **26** | 40.817 |
| sauna | **27** | 40.817 |
| laundry | **28** | 51.900 |
| dining | **29** | 51.900 |
| dining | **30** | 52.442 |
| kitchen | **31L** | 52.442 |
| living | **31U** | 53.900 |
| dining | **32** | 53.900 |
| living | **33** | 54.525 |

HOUSE CORNER STAKING PLAN

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
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| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623


N

HOUSE CORNER STAKING PLAN
SCALE: 1/4" = 1'-0"

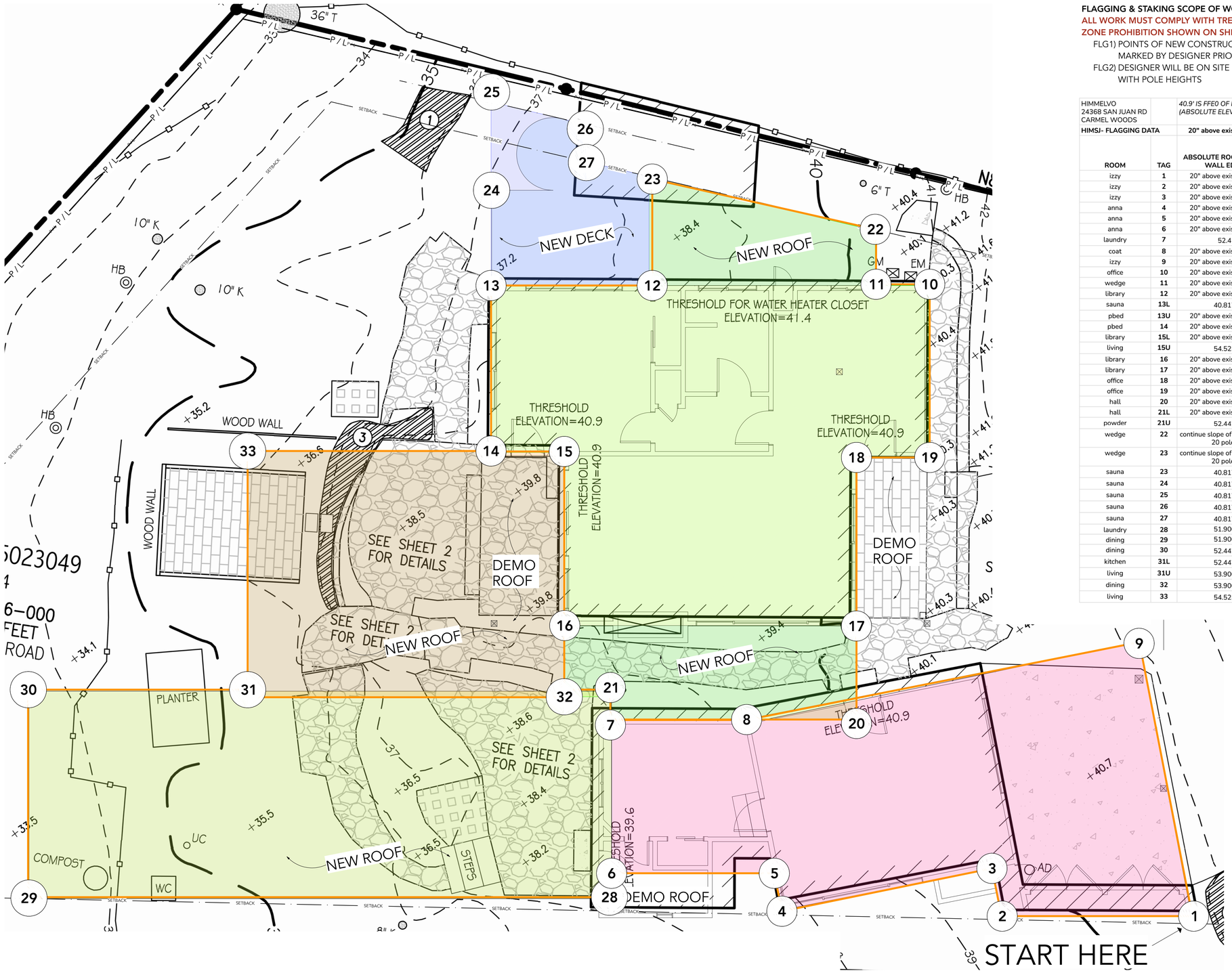
0 1 3 5 10 20

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

**FLAG2**
*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |




## FLAGGING & STAKING SCOPE OF WORK

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

FLG1) POINTS OF NEW CONSTRUCTION WILL BE MEASURED AND MARKED BY DESIGNER PRIOR TO FLAGGING

FLG2) DESIGNER WILL BE ON SITE DURING FLAGGING TO ASSIST WITH POLE HEIGHTS

| | |
|---|---|
| HIMMELVO<br>24368 SAN JUAN RD<br>CARMEL WOODS | *40.9' IS FFE0 OF HOUSE (ABSOLUTE ELEVATION)* |
| **HIMSJ- FLAGGING DATA** | **20" above existing roof** |

| ROOM | TAG | ABSOLUTE ROOF TOP AT WALL EDGE |
|---|---|---|
| izzy | 1 | 20" above existing roof |
| izzy | 2 | 20" above existing roof |
| izzy | 3 | 20" above existing roof |
| anna | 4 | 20" above existing roof |
| anna | 5 | 20" above existing roof |
| anna | 6 | 20" above existing roof |
| laundry | 7 | 52.4 |
| coat | 8 | 20" above existing roof |
| izzy | 9 | 20" above existing roof |
| office | 10 | 20" above existing roof |
| wedge | 11 | 20" above existing roof |
| library | 12 | 20" above existing roof |
| sauna | 13L | 40.817 |
| pbed | 13U | 20" above existing roof |
| pbed | 14 | 20" above existing roof |
| library | 15L | 20" above existing roof |
| living | 15U | 54.525 |
| library | 16 | 20" above existing roof |
| library | 17 | 20" above existing roof |
| office | 18 | 20" above existing roof |
| office | 19 | 20" above existing roof |
| hall | 20 | 20" above existing roof |
| hall | 21L | 20" above existing roof |
| powder | 21U | 52.442 |
| wedge | 22 | continue slope of north roof + 20 poles |
| wedge | 23 | continue slope of north roof + 20 poles |
| sauna | 23 | 40.817 |
| sauna | 24 | 40.817 |
| sauna | 25 | 40.817 |
| sauna | 26 | 40.817 |
| sauna | 27 | 40.817 |
| laundry | 28 | 51.900 |
| dining | 29 | 51.900 |
| dining | 30 | 52.442 |
| kitchen | 31L | 52.442 |
| living | 31U | 53.900 |
| dining | 32 | 53.900 |
| living | 33 | 54.525 |

HOUSE FLAGGING PLAN

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
| | PLN RFI#2 03.07.2026 |
| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623


N

HOUSE FLAGGING PLAN
SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

**FLAG3**
*FOR PERMITTING ONLY*

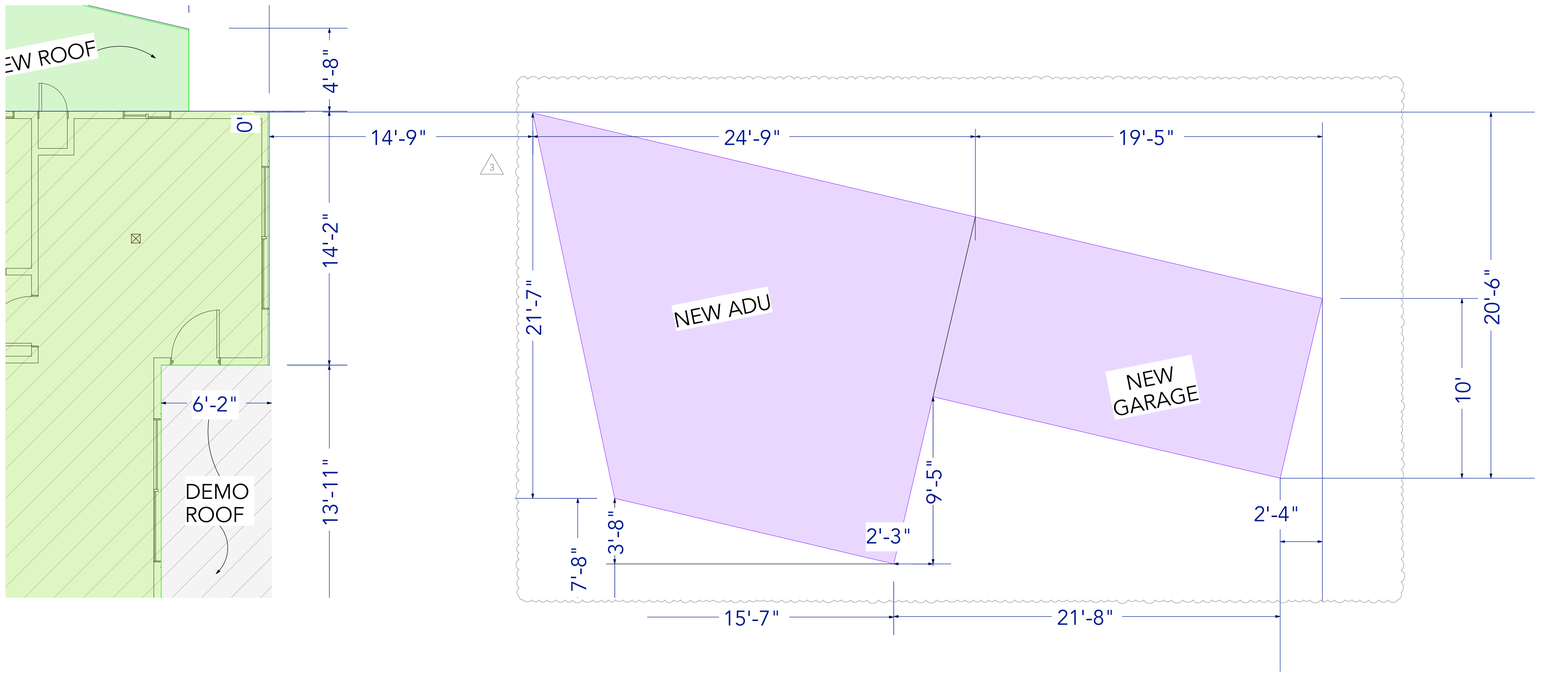
| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

**FLAGGING & STAKING SCOPE OF WORK**

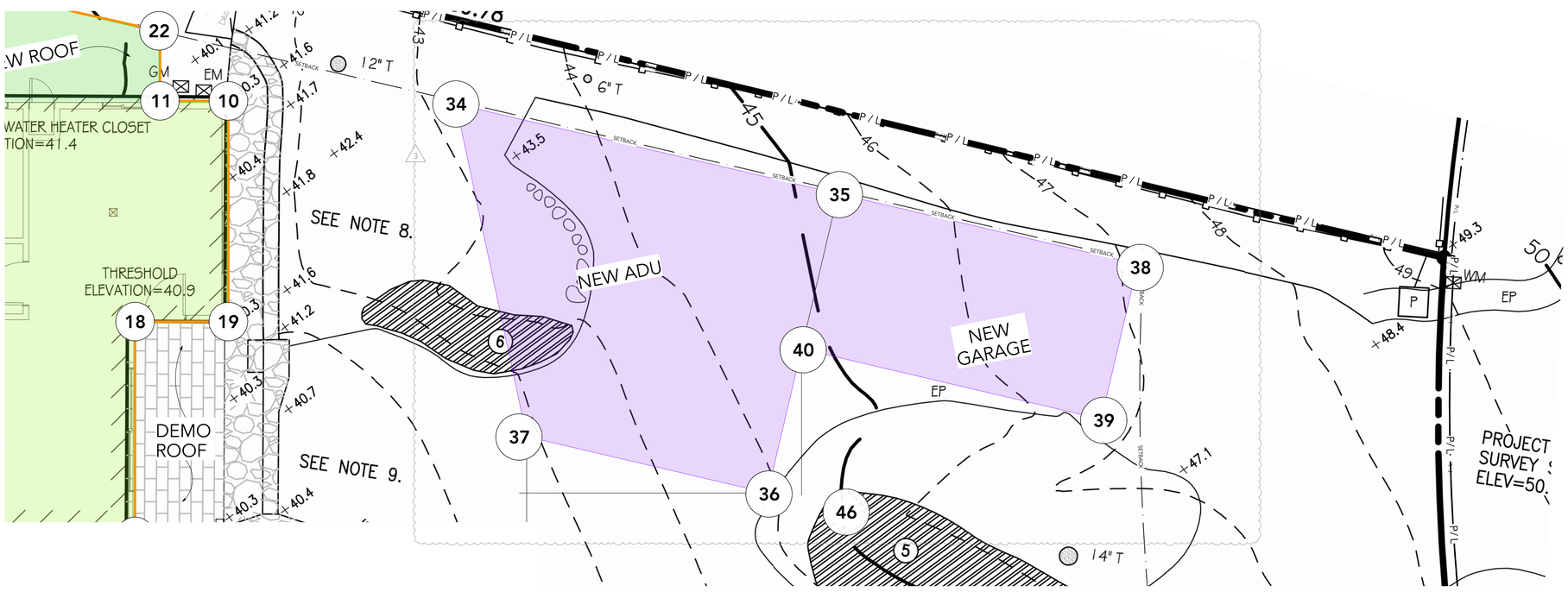
**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

FLG1) POINTS OF NEW CONSTRUCTION WILL BE MEASURED AND MARKED BY DESIGNER PRIOR TO FLAGGING

FLG2) DESIGNER WILL BE ON SITE DURING FLAGGING TO ASSIST WITH POLE HEIGHTS




| HIMMELVO | | *40.9' IS FFE0 OF HOUSE* |
|---|---|---|
| **HIMSJ- FLAGGING DATA** | | **20" above existing roof** |
| **ROOM** | **TAG** | **ABSOLUTE ROOF TOP AT** |
| HIMMELVO<br>24368 SAN JUAN RD<br>CARMEL WOODS | | *40.9' IS FFE0 OF HOUSE (ABSOLUTE ELEVATION)* |
| **ROOM** | **TAG** | **ABSOLUTE ROOF TOP AT WALL EDGE** |
| **NO VARIANCE OPTION: garage not in front setback** | | |
| jadu (ffe0+24) | **34** | 53.900 |
| jadu (ffe0+24) | **35L** | 53.900 |
| jadu (ffe0+24) | **36** | 54.900 |
| jadu (ffe0+24) | **37** | 54.900 |
| garage (ffe0+78) | **35U** | 56.900 |
| garage (ffe0+78) | **38** | 56.900 |
| garage (ffe0+78) | **39** | 57.233 |
| garage (ffe0+78) | **40** | 57.233 |




N

## ADU & GARAGE STAKING & FLAGGING PLANS

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

ADU & GARAGE STAKING & FLAGGING PLANS

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
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# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

## TREE PROTECTION NOTES

TPR1) PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.

A) EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.

B) NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.

TPR2) NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.

TPR3) TREE PROTECTION ZONE -- THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.

TPR4) THE STRUCTURAL ROOT ZONE -- STRUCTURAL ROOT ZONE SHALL BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.

TPR5) IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.

TPR6) IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

## TREE PROTECTION EXAMPLES

OAK

CONIFER

CLUSTER

CERTIFIED ARBORIST MUST VERIFY STRUCTURAL ROOT ZONES AND DRIPLINES PRIOR TO ISSUANCE OF GRADING PERMIT. 6

**TREE PROTECTION AND WORK ZONES**

*zones are in shown in feet. measure from outside of trunk 4.5 feet above natural grade*

| TAG | DIAMETER INCHES | SPECIES | NO DIG ZONE FT | STRUCTURAL ROOT ZONE FT | DRIPLINE ZONE FT |
|---|---|---|---|---|---|
| 1 | 36 | REDWOOD | 6 | 18 | 54 |
| 2 | 10 | OAK | 6 | 5 | 15 |
| 3 | 10 | OAK | 6 | 5 | 15 |
| 4 | 10 | TREE | 6 | 5 | 15 |
| 5 | 10 | TREE | 6 | 5 | 15 |
| 6 | 12 | OAK | 6 | 6 | 18 |
| 7 | 4 | TREE | 6 | 2 | 6 |
| 8 | 32 | TREE | 6 | 16 | 48 |
| 9 | 18 | TREE | 6 | 9 | 27 |
| 10 | 18 | TREE | 6 | 9 | 27 |
| 11 | 14 | TREE | 6 | 7 | 21 |
| 12 | 6 | TREE | 6 | 3 | 9 |
| 13 | 12 | OAK | 6 | 6 | 18 |

## SITE LEGEND

- EXISTING ITEMS TO REMAIN
- EXISTING HOUSE
- DEMO ITEMS
- DEMO ROOF TO GRADE
- NEW ITEMS
- AREAS OF ADDITION
- NEW PERMEABLE HARDSCAPE
- NEW RETAINING WALL OR LANDSCAPE WALL
- NEW 6' WOOD FENCE
- RESTRICTED TREE ROOT ZONE 6' FROM TREE TRUNK WITH 4FT TALL ORANGE PROTECTION FENCING AND 6" OF MULCH WITH GORILLA HAIR NO DIG, NO WALK, NO TOOLS, NO DRIVE, NO STORAGE
- STRUCTURAL ROOT ZONE *TBD BY CERTIFIED ARBORIST* HAND DIG ONLY NOT ROOT CUTS > 2" DIAMETER NO MACHINE EXCAVATION NO AIR HOSE EXCAVATION NO WATER EXCAVATION 6

## SITE PREPARATION SCOPE OF WORK

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

SPR1) TREE PROTECTION 2X4 AND 4' ORANGE NETTING, OR STAKES WITH NETTING FOR CLUSTERS, AS SHOWN ON PLAN

SPR2) INSTALL 6" OF MULCH, RINGED WITH WATTLES 6' FROM TRUNK OF EVERY TREE. OK TO COMBINE 6' ZONES THAT OVERLAP. SEE LOCATION IN PLAN.

SPR3) INSTALL GORILLA HAIR AND ORANGE GROUND NETTING TO CONTAIN MULCH AND ACT AS VISUAL WARNING OF OFF LIMITS TREE ZONES.

SPR4) INSTALL TREE ZONE SIGNAGE (NO WALK, NO DIG, NO STORAGE, NO EQUIPMENT, NO DRIVING) ON EVERY TREE OR CLUSTER (NAIL TO 2X4, NOT THE TREE)

SPR5) INSTALL TEMP POWER POLE

SPR6) INSTALL PAINT WASHOUT BASIN

SPR7) INSTALL PORT O LET & PRIVACY SCREENING

SPR8) MATERIALS STAGING UNLOCKED

SPR9) INSTALL SIGNS FOR WORKER PARKING

SPR10) REMOVE AND LEVEL DRIVEWAY ISLAND, INSTALL DOWNHILL WATTLES AND GRAVEL FOR PARKING

SPR11) LEVEL GARDEN AREA BY FUTURE ADU, INSTALL DOWNHILL WATTLES AND GRAVEL FOR PARKING

SPR12) INSTALL GRAVEL BY CARPORT FOR MATERIALS STORAGE

SPR13) LEVEL CONEX LOCATION & SET TEMP CONCRETE CORNER BLOCKS (MUFFIN BLOCKS)

SPR14) SIGNAGE FOR DEMOLITION DUMPSTER/TRAILER PARKING

SPR15) SITE EROSION WATTLES AS SHOWN ON PLAN

SPR16) INSTALL HAND WASH SINK & FIRST AID STATION

SPR17) SIGNAGE FOR CONSTRUCTION WATER SPIGOT

SPR18) INSTALL CONSTRUCTION PRIVACY FENCING AT STREET (EAST) PROPERTY LINE

SPR19) INSTALL OSHA & CALWORKS SIGNAGE ON PORT-O-LET PRIVACY SCREEN

SPR20) SIGNAGE FOR GRADING SOIL STORE PILES LOCATIONS W/ TARPS & WATTLES

SPR21) INSTALL WATTLES & TARPS AT SOIL STORAGE LOCATIONS

SPR22) CONTRACTOR TO SELECT HOSE BIB FOR WATER USE DURING CONSTRUCTION (TBD)

## SITE PREPARATION NOTES

NEW SHEET 01.25.2026 2

SPN1) TREE ROOT PROTECTION 6' DIAMETER, 6" THICK MULCH RINGS SHOWN WITH CODE REQUIREMENT. STABILIZE WITH TEMP JUTE NETTING AND ORANGE NETTING. INSPECT WEEKLY DURING CONSTRUCTION AND AFTER EVERY HEAVY RAIN, REPLENISH AS REQUIRED.

SPN2) TREE NO-DIG ROOT ZONES. IS THE SAME AS THE TREE MULCH RING 6' ZONE. NOTE NOT TO DIG, DRIVE OVER ,OR HARASS THE TREES IN THEIR 6' PROTECTED ZONE, EVER. FINES START AT $25K PER VIOLATION, PER TREE.

SPN3) TREE CODE REGARDING APPROPRIATE DIGGING TECHNIQUES OUTSIDE THE 6' NO DIG ZONE. FINES START AT $25K PER VIOLATION, PER TREE.

SPN4) STRAW WATTLES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ANY WORK ON THE SITE AND BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT. FINES START AT $25K PER INCIDENT WHERE CONSTRUCTION RUNOFF OR DETRITUS (INCLUDING SOIL) IS OBSERVED IN THE ROADWAY.

SPN5) NO SOIL, GROUND MATERIAL, GRAVEL, ETC MAY BE PRESENT IN THE ROADWAY DUE TO EROSION OR CONSTRUCTION TRAFFIC. FINES START AT $25K PER INCIDENT WHERE CONSTRUCTION RUNOFF OR DETRITUS (INCLUDING SOIL!) IS OBSERVED IN THE ROADWAY.

SPN6) *RD AND PM TO DETERMINE IF TEMPORARY GRANITE CRUSHER ROCK WILL BE NECESSARY FOR CONSTRUCTION VEHICLE EGRESS TO THE SITE. APPLY FOR ROW ENCROACHMENT PERMIT IF CONSTRUCTION EGRESS OCCURS IN ROW NOT INCLUDING THE EXISTING DRIVEWAY. GRAVEL, DECOMPOSED GRANITE, OR MULCH ARE NOT ACCEPTABLE FOR USE.

SPN7) LOCATION OF CONSTRUCTION FENCING MUST BE 100% PERCENT ON PRIVATE PROPERTY (NOT IN THE RIGHT OF WAY), WITH THE EXCEPTION OF THE EXISTING DRIVEWAY.

~~SPN8) CARMEL-BY-THE SEA ONLY: NO PARKING WITHIN THE NEWLY ADOPTED CODE OF 30' FROM INTERSECTIONS. NEW AS OF 1/1/25.~~

SPN9) NO PARKING IN THE RIGHT OF WAY (ROW), AT ALL. NO PLANTS CAN BE DISTURBED, NO PARKING SPACES CAN BE CREATED FOR EASE OF CONSTRUCTION., NO MATERIALS STORAGE, NO PORTA POTTY, NO CONSTRUCTION FENCING - **UNLESS GC HAS OBTAINED A TEMPORARY RIGHT OF WAY ENCROACHMENT AHEAD OF COMMENCING WORK.**

SPN10) DESIGNER AND PM TO DETERMINE NECESSITY AND APPROPRIATE MATERIALS OF TEMPORARY ROW ENCROACHMENT REQUESTS. THE CITY DOES *NOTAUTOMATICALLY GRANT THEM UNLESS THERE IS NO FEASIBLY USABLE AREA INSIDE THE PROPERTY LINE. DO NOT ASSUME YOU WILL GET ONE.

SPN11) CONSTRUCTION FENCING MUST NOT BLOCK VEHICLE, BICYCLE, OR PEDESTRIAN VIEW OF INTERSECTIONS, SIDEWALKS, STREET PARKING, DRIVEWAYS, OR A NEIGHBORS REASONABLE VISIBILITY FROM THEIR DRIVEWAY OR GARAGE. IN SHORT, IT CANNOT BE INSTALLED IN SUCH A WAY THAT CREATES A FORESEEABLE HAZARD.

## ADDRESS IDENTIFICATION

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

N

SITE PREPARATION / CMP PLAN

SCALE: 1/8" = 1'-0"

0 5 10 20 50

# A-1.1

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

SITE PREPARATION / CMP PLAN

**HIMMELVO RESIDENCE**

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

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| | BLDG RFI#1 & CO#1 04.01.2026 |
| 6 | PLN RFI#3 04.17.2026 |

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***Principal Designer***
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# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

**A-1.2**
*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

## SITE LEGEND

- EXISTING ITEMS TO REMAIN
- EXISTING HOUSE
- DEMO ITEMS
- DEMO ROOF TO GRADE
- NEW ITEMS
- AREAS OF ADDITION
- NEW PERMEABLE HARDSCAPE
- NEW RETAINING WALL OR LANDSCAPE WALL
- NEW 6' WOOD FENCE
- RESTRICTED TREE ROOT ZONE 6' FROM TREE TRUNK WITH 4FT TALL ORANGE PROTECTION FENCING AND 6" OF MULCH WITH GORILLA HAIR NO DIG, NO WALK, NO TOOLS, NO DRIVE, NO STORAGE
- STRUCTURAL ROOT ZONE ***TBD BY CERTIFIED ARBORIST*** HAND DIG ONLY NOT ROOT CUTS > 2" DIAMETER NO MACHINE EXCAVATION NO AIR HOSE EXCAVATION NO WATER EXCAVATION (6)
- SLOPE OVER 30%. DUE TO WORK BY PRIOR OWNER. DOES NOT REPRESENT ORIGINAL/ NATURAL GRADE
- PROPOSED DEVELOPMENT ON SLOPE OVER 30%. DUE TO WORK BY PREVIOUS OWNER. DOES NOT REPRESENT ORIGINAL NATURAL GRADE. (6)

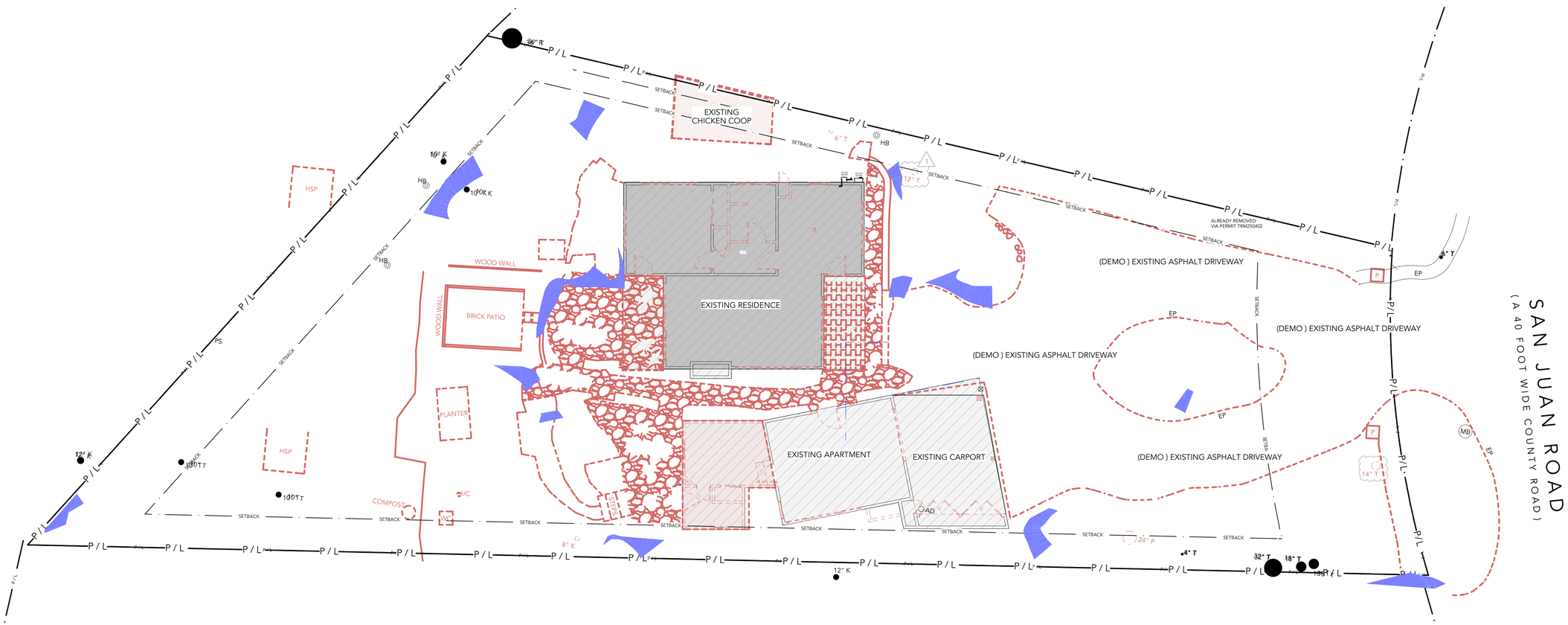
**SITE DEMOLITION SCOPE OF WORK**

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

SD1) DEMO CHICKEN COOP
SD2) DEMO ALL EXTERIOR HARDSCAPE, ~~SAVE FLAGSTONE FOR RE-USE IF FINANCIALLY VIABLE~~
~~SD3) RELOCATE RAISED GARDEN BED IF FINANCIALLY VIABLE~~
SD4) DEMO STONE GATE PILLARS AT DRIVEWAY
SD5) DEMO FRONT (EAST, STREET) FENCING
SD6) DEMO LANDSCAPE WALLS
SD7) REMOVE SUCCULENTS, PLACE AT REAR OF PROPERTY FOR RE-PLANTING
SD8) RE-SET ANY FLAGGING OR STAKING MOVED DURING DEMOLITION PROCESS. MUST BE RE-SET ON SAME DAY.
SD9) RELOCATE ELECTRICAL METER TO TEMP POWER POLE, LOCATION TBD
SD10) REMOVE GAS METER, STORE IN CONEX FOR REINSTALLATION - **DO NOT DEMO GAS LINE FROM STREET OR MOVE THE SERVICE FEED AT THE HOUSE**

*STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED*

ADDITIONAL DETAIL ADDED (1)




N

## EXISTING / DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

0 5 10 20 50

EXISTING / DEMO SITE PLAN

# HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

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# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

HIMSJ PLN250307 — 04/17/2026

30% SLOPE CALCULATIONS (all values are decimal feet)

| TAG) LOCATION | TOTAL SF | UNDEV SF | DEV SF | lowest grade | highest grade | avg orig grade | revised to ffe or undev lowest | delta to ffe | slab+ depth | develop delta | develop cut / fill | total SF * dev delta/27 | undev SF * dev delta/27 | dev SF * dev delta/27 | COMMENTS |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1) adu entry | 22.67 | 19.01 | 3.66 | 42.0 | 43.1 | 42.6 | 43.1 | 1.10 | -0.8 | 0.35 | FILL | 0.294 | 0.246 | 0.05 | planter build up |
| 2) car court center | 4.69 | 0.00 | 4.69 | 45.2 | 44.3 | 44.8 | 44.3 | -0.90 | -0.8 | -1.65 | CUT | 0.287 | 0.000 | 0.29 | 3" pavers. |
| 3) lower floor south exterior door | 10.92 | 7.57 | 3.35 | 36.8 | 32.3 | 34.6 | 32.3 | -4.50 | -0.8 | -5.25 | CUT | 2.123 | 1.472 | 0.65 | terracing by previous owner. |
| 4) lower floor footprint storage | 3.93 | 0.00 | 3.93 | 36.5 | 30.1 | 33.3 | 30.1 | -6.40 | -0.8 | -7.15 | CUT | 1.041 | 0.000 | 1.04 | terracing by previous owner. |
| 5) lower floor footprint gym | 11.40 | 0.00 | 11.40 | 36.1 | 30.1 | 33.1 | 30.1 | -6.00 | -0.8 | -6.75 | CUT | 2.850 | 0.000 | 2.85 | terracing by previous owner. |
| 6) lower floor gym, shower, walkway | 33.97 | 0.00 | 33.97 | 36.9 | 30.1 | 33.5 | 30.1 | -6.80 | -0.8 | -7.55 | CUT | 9.499 | 0.000 | 9.50 | terracing by previous owner. |
| 7) south car court parking | 18.20 | 0.00 | 18.20 | 41.5 | 43.1 | 42.3 | 43.1 | 1.60 | -0.8 | 0.85 | FILL | 0.573 | 0.000 | 0.57 | root ball of large plant |
| 8) library patio landscape wall | 8.27 | 5.38 | 2.89 | 41.8 | 40.3 | 41.1 | 40.3 | -1.50 | -0.8 | -2.25 | CUT | 0.689 | 0.448 | 0.24 | widen walkway to 36" |
| 9) office corner landscape wall | 6.32 | 3.54 | 2.78 | 41.8 | 40.3 | 41.1 | 40.3 | -1.50 | -0.8 | -2.25 | CUT | 0.527 | 0.295 | 0.23 | widen walkway to 36" |
| 10) by redwood (no development) | 14.53 | 14.53 | 0.00 | 35.0 | 36.0 | 35.5 | 35.0 | 0.00 | 0.0 | 0.0 | NONE | 0.000 | 0.000 | 0.00 | no development of 30% slope |
| 11) between oaks 2 & 3 (no development) | 28.22 | 28.22 | 0.00 | 34.5 | 35.2 | 34.9 | 34.5 | 0.00 | 0.0 | 0.0 | NONE | 0.000 | 0.000 | 0.00 | no development of 30% slope |
| 12) southwest corner of lot (no development) | 8.89 | 8.89 | 0.00 | 26.8 | 28.5 | 27.7 | 26.8 | 0.00 | 0.0 | 0.0 | NONE | 0.000 | 0.000 | 0.00 | no development of 30% slope |
| 13) southeast corner of lot (no development) | 14.79 | 14.79 | 0.00 | 45.0 | 45.9 | 45.5 | 45.0 | 0.00 | 0.0 | 0.0 | NONE | 0.000 | 0.000 | 0.00 | no development of 30% slope |
| TOTALS | 186.80 | 101.93 | 84.87 | | | | | | | | | 17.88 | 2.46 | 15.42 | TOTALS |

| | SF | CY | COMMENT |
|---|---|---|---|
| TOTAL 30% SLOPE ON LOT | 186.80 | 17.88 | |
| TOTAL UNDEVELOPED 30%+ SLOPE | 101.93 | 2.46 | |
| TOTAL DEVELOPED 30%+ SLOPE | 84.87 | 15.42 | *below Coastal Development Permit threshold* |
| TOTAL DEVELOPED 30%+ MORE THAN 24" DEEP | 60.22 | -26.70 | *triggers Coastal Admin Permit* |

## SITE LEGEND

- EXISTING ITEMS TO REMAIN
- EXISTING HOUSE
- DEMO ITEMS
- DEMO ROOF TO GRADE
- NEW ITEMS
- AREAS OF ADDITION
- NEW PERMEABLE HARDSCAPE
- NEW RETAINING WALL OR LANDSCAPE WALL
- NEW 6' WOOD FENCE
- RESTRICTED TREE ROOT ZONE 6' FROM TREE TRUNK WITH 4FT TALL ORANGE PROTECTION FENCING AND 6" OF MULCH WITH GORILLA HAIR NO DIG, NO WALK, NO TOOLS, NO DRIVE, NO STORAGE
- STRUCTURAL ROOT ZONE ***TBD BY CERTIFIED ARBORIST*** HAND DIG ONLY NOT ROOT CUTS > 2" DIAMETER NO MACHINE EXCAVATION NO AIR HOSE EXCAVATION NO WATER EXCAVATION
- SLOPE OVER 30%. DUE TO WORK BY PRIOR OWNER. DOES NOT REPRESENT ORIGINAL/ NATURAL GRADE
- PROPOSED DEVELOPMENT ON SLOPE OVER 30%. DUE TO WORK BY PREVIOUS OWNER. DOES NOT REPRESENT ORIGINAL NATURAL GRADE.

## PROPOSED SITE SCOPE OF WORK

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

SP1) NEW ASPHALT APRON AT SAN JUAN ROAD (IN ROW-RIGHT OF WAY)
SP2) NEW PERMEABLE PAVER DRIVEWAY, RECONFIGURED (ENCROACHMENT PERMIT FOR ROW SECTION)
SP3) NEW CORTEN GATE PILLARS & GATE AT EAST PROPERTY LINE RECONFIGURED DRIVEWAY
SP4) NEW 4' TALL METAL DRIVEWAY GATE
SP5) NEW GATE MOTOR WEST OF NORTH PILLAR
SP6) NEW CODE/CALL BOX BY SOUTH GATE PILLAR WITH FIRE DEPARMENT ACCESS KEYBOX
SP7) GRAVEL PARKING IN AREA OF FORMER DRIVEWAY (NORTH EAST HALF OF EAST PROPERTY LINE
SP8) NEW LANDSCAPE WALLS AND RETAINING WALLS AS SHOWN, ~~FINAL TBD~~ BY CIVIL ENGINEER
SP9) NEW GARAGE & ADU ~~WITH PERMEABLE PAVER PARKING BETWEEN THE BUILDINGS~~
SP10) NEW FRENCH DRAINS AND DISSIPATION PITS AS SHOWN ON DRAINAGE PLAN, ~~FINAL TBD~~ BY CIVIL ENGINEER
SP11) CUT AND FILL TO LEVEL BUILDING PADS OF ADDITION, GARAGE, AND ADU
SP12) ALL CUT SOIL TO BE REDISTRIBUTED ON SITE WITH APPROPRIATE 2 YEAR EROSION CONTROL IN PLACE
SP13) NEW PERMEABLE PAVER WALKWAYS AND REAR PATIO
SP14) NEW CONCRETE STEPS TO ACCOMMODATE GRADE SLOPES
SP15) TWO NEW MINI SPLIT COMPRESSORS ON CONCRETE PADS AS SHOWN ON PLAN
SP16) RELOCATE ELECTRICAL METER TO SOUTH WALL OF LAUNDRY ROOM/CRAWL SPACE AS SHOWN ON PLAN. TBD BY ELECTRICIAN.

*STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED*

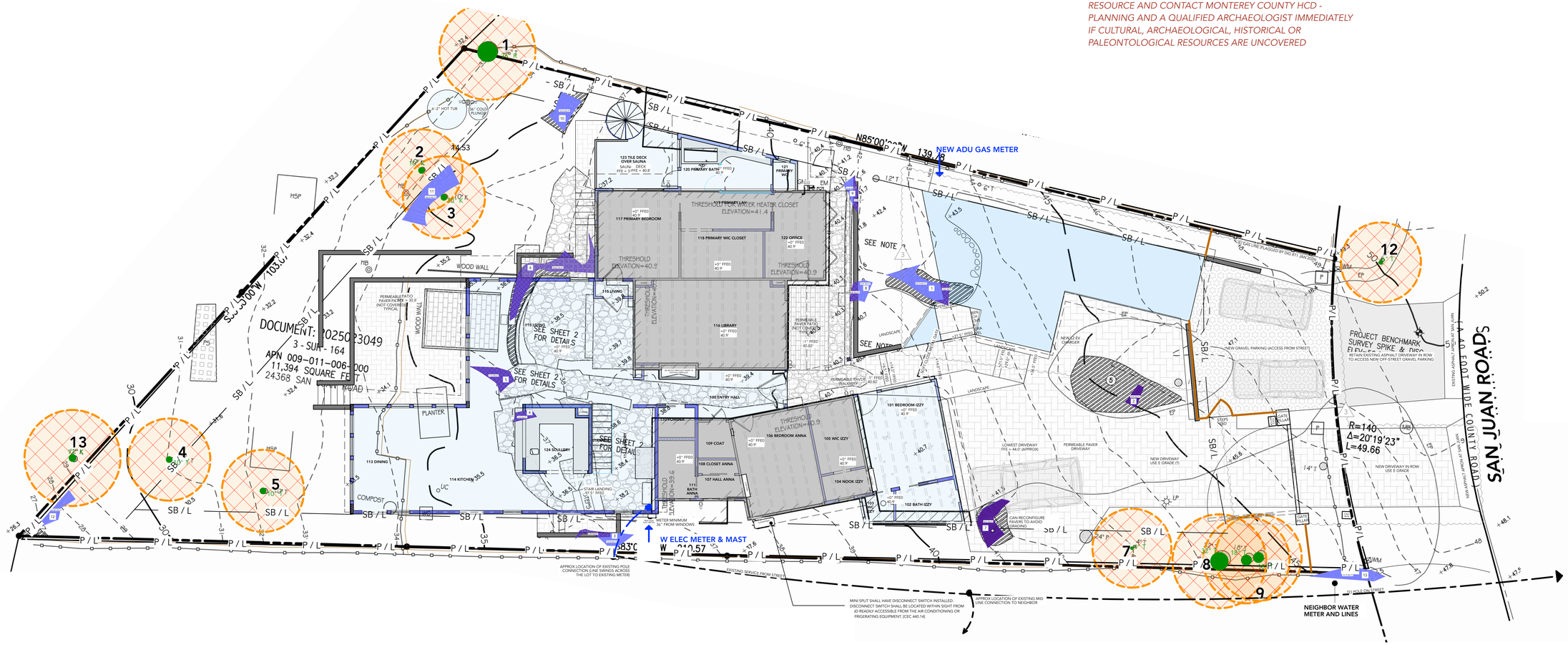
| DEMO HARDSCAPE | |
|---|---|
| asphalt driveway (not in ROW) | 2,017 |
| pavers, patios & walkways | 1,315 |
| ***total demo hardscape*** | **3,332** |

| PROPOSED IMPERVIOUS COVERAGE | |
|---|---|
| entry steps & landing | 10 |
| adu entry steps & landing | 30 |
| sauna steps | 12 |
| patio steps | 16 |
| gym steps | 12 |
| basement steps | 6 |
| ***total impervious concrete*** | ***86*** |
| *keep (e) asphalt driveway in ROW* | *275* |

| PROPOSED PERMEABLE COVERAGE | |
|---|---|
| paver driveway (not in ROW) & carport | 1,424 |
| paver walkways east | 383 |
| paver walkways south | 36 |
| paver patio west | 336 |
| paver walkways gym/sauna | 100 |
| gravel driveway & parking | 464 |
| ***total permeable pavers*** | ***2,743*** |
| *new permeable driveway in ROW* | *208* |

| BUILDING COVERAGE | |
|---|---|
| Existing Stuctures Footprint | 1,675 |
| Proposed Structures Footprint | 4,131 |

GARAGE/ADU MOVED OUT OF FRONT SETBACK FEB 02, 2026




## PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

0 5 10 20 50

# A-1.3

*FOR PERMITTING ONLY*

PLAN SET: HIMSJ 2.4
ISSUE DATE: 4/17/26
PLANNING APPROVAL

PROPOSED SITE PLAN

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
| 1 | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
| 4 | PLN RFI#2 03.07.2026 |
| 5 | BLDG RFI#1 & CO#1 04.01.2026 |
| 6 | PLN RFI#3 04.17.2026 |

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*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

**FUEL MANAGEMENT PLAN SCOPE OF WORK**

**ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1**

FMP1) REMOVE ALL EXISTING LANDSCAPING, REPLACE WITH XERISCAPE CALIFORNIA NATIVES

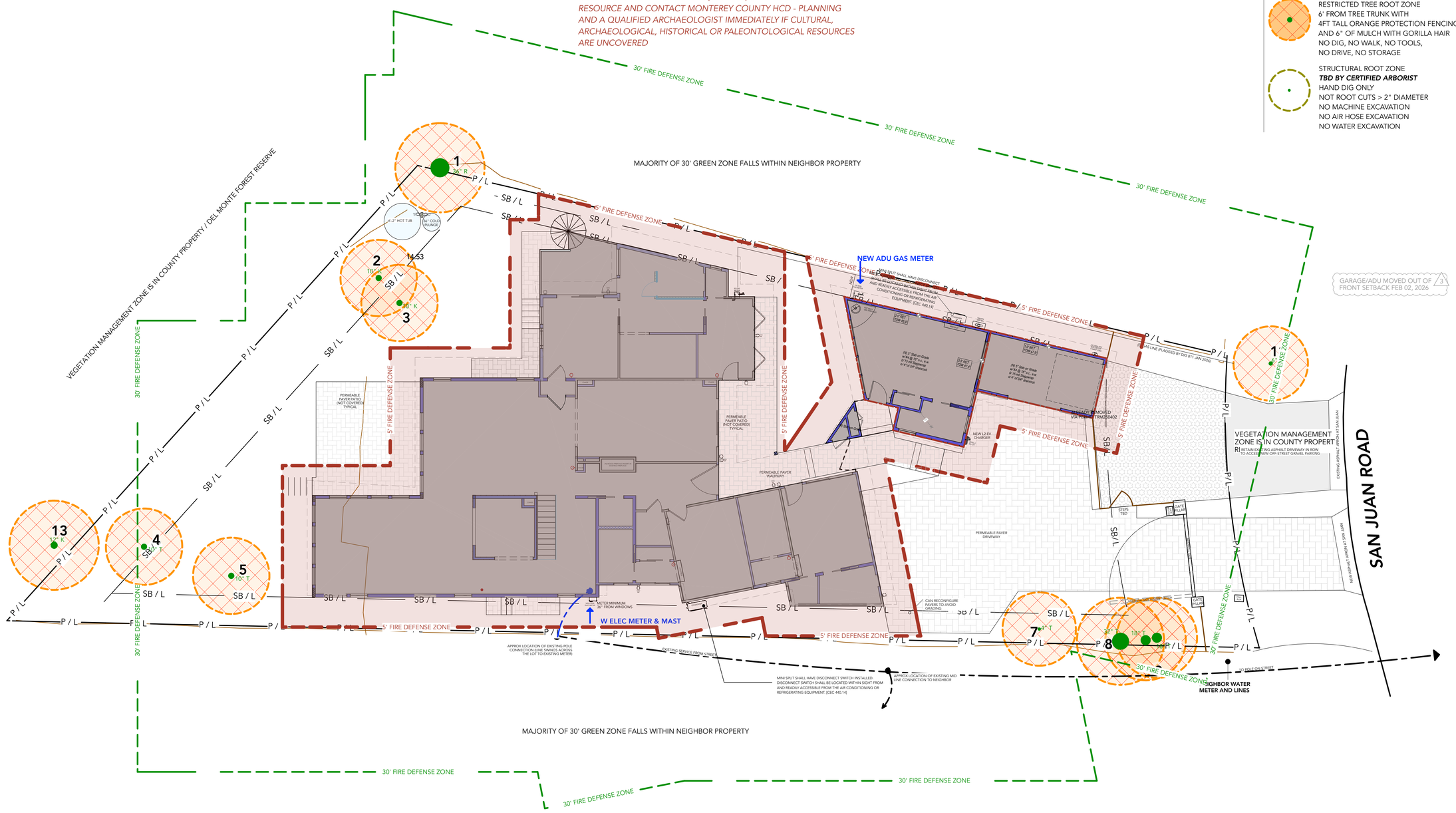
FMP2) GRAVEL OR HARDSCAPE, MINIMUM OF 5' FROM ALL EXTERIOR WALLS AND STRUCTURES IN EMBER RESISTANT ZONE

FMP3) NATIVE, LOW FIRE RISK VEGITATION IN GREEN ZONE 5' TO 30' FROM STRUCTURES

FMP4) MAJORITY OF 30'+ MAINTENANCE ZONE FALLS IN COUNTY OR NEIGHBOR PROPERTY

FMP5) ALL TREES HAVE BEEN PROFESSIONALLY PRUNED BY TOPES TREE SERVICE, NOVEMBER 2025. SEE SURVEY AND DEMO SITE PLAN.

*STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED*




## FUEL MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"

0 5 10 20 50

**SITE LEGEND**

- EXISTING ITEMS TO REMAIN
- EXISTING HOUSE
- DEMO ITEMS
- DEMO ROOF TO GRADE
- NEW ITEMS
- AREAS OF ADDITION
- NEW PERMEABLE HARDSCAPE
- NEW RETAINING WALL OR LANDSCAPE WALL
- NEW 6' WOOD FENCE
- RESTRICTED TREE ROOT ZONE 6' FROM TREE TRUNK WITH 4FT TALL ORANGE PROTECTION FENCING AND 6" OF MULCH WITH GORILLA HAIR NO DIG, NO WALK, NO TOOLS, NO DRIVE, NO STORAGE
- STRUCTURAL ROOT ZONE ***TBD BY CERTIFIED ARBORIST*** HAND DIG ONLY NOT ROOT CUTS > 2" DIAMETER NO MACHINE EXCAVATION NO AIR HOSE EXCAVATION NO WATER EXCAVATION

# A-1.4

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

FUEL MANAGEMENT PLAN

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

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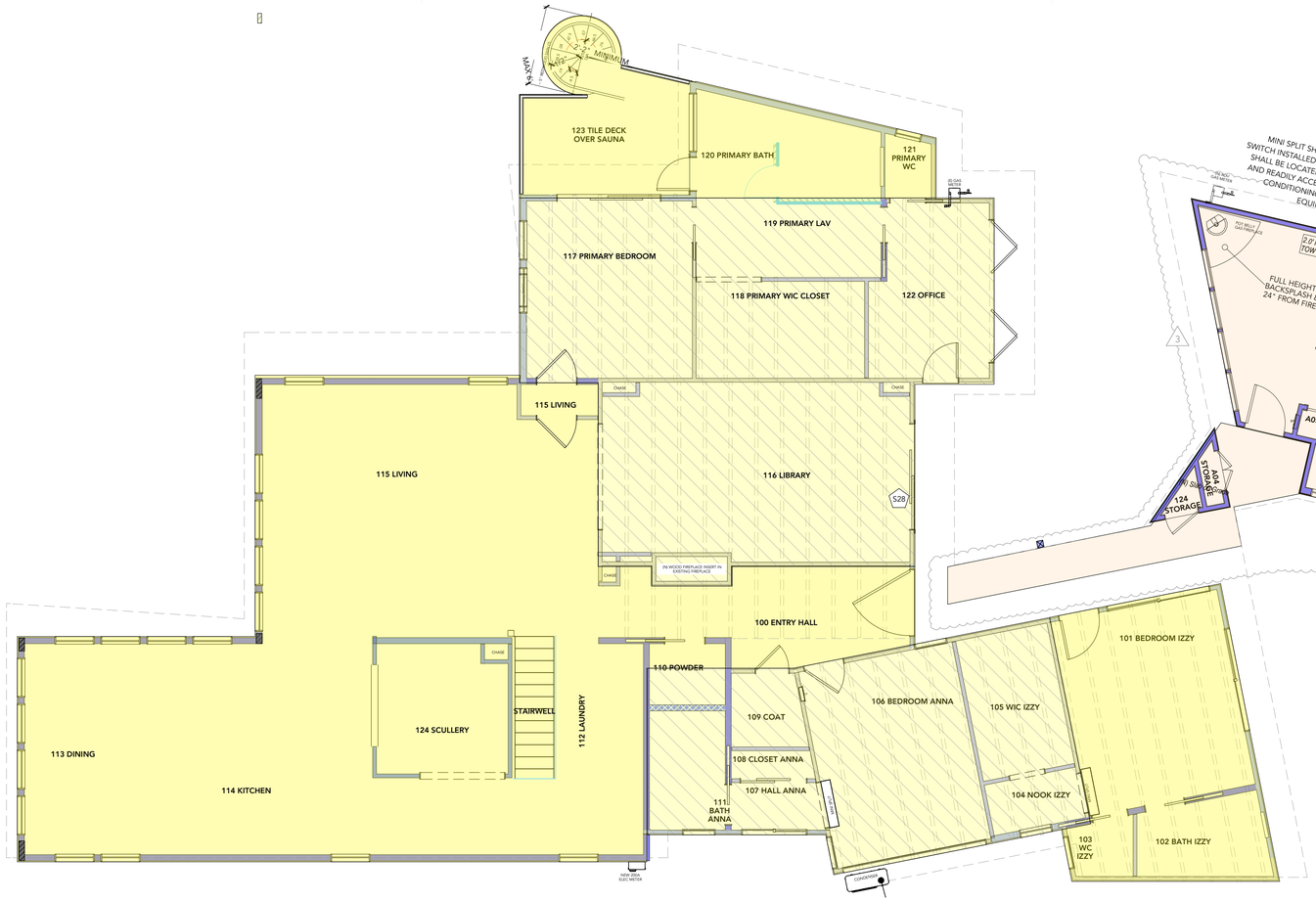


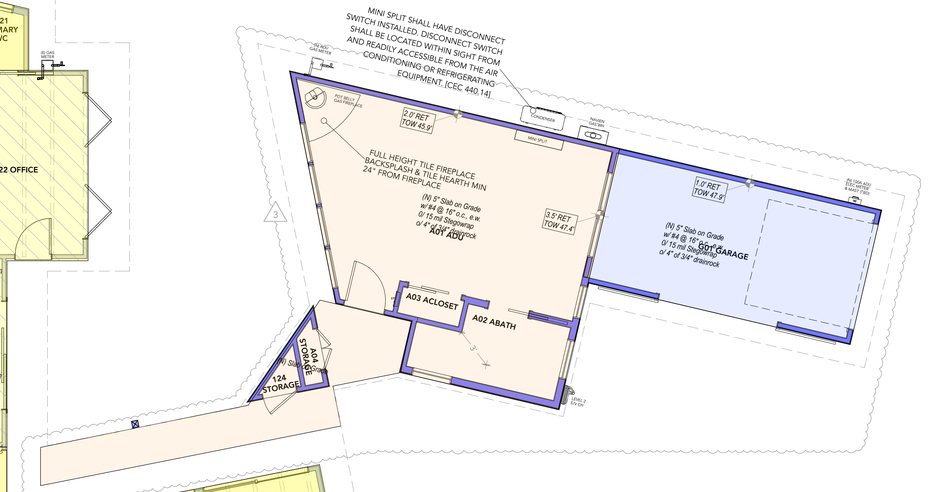


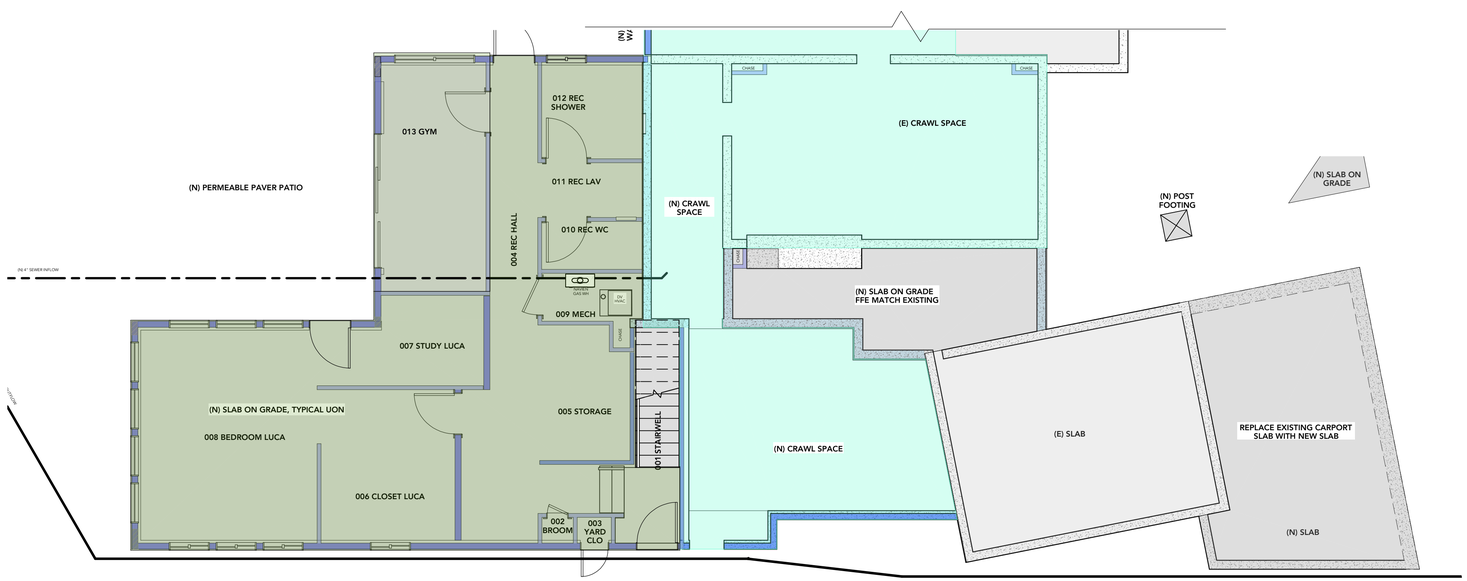


GARAGE/ADU MOVED OUT OF FRONT SETBACK FEB 02, 2026 3

| BSC: BUILDING SITE COVERAGE | Existing | Additions | Proposed | |
|---|---|---|---|---|
| House | 867 | 0 | 867 | 867 |
| Guest Apt | 508 | -32 | 476 | 1,343 |
| Carport Conversion | 300 | 0 | 300 | 1,643 |
| Great Room + Hall | 0 | 1,500 | 1,500 | 3,143 |
| Pbath Wedge (incl Deck & Stairs) | 0 | 269 | 269 | 3,412 3,4 |
| ADU | 0 | 396 | 396 | 3,808 |
| ADU covered entry & storage | 0 | 116 | 116 | 3,924 51 |
| Garage | 0 | 207 | 207 | 4,131 20 |
| | **1675** | **2,456** | **4,131** | **BLDG SITE CVG** |

| FAR: FLOOR AREA RATIO | Exist | Additions | Proposed | |
|---|---|---|---|---|
| Walk Out Basement (FAR only) | 0 | 919 | 919 | 5,050 |
| Gym (FAR Only) | 0 | 149 | 149 | 5,199 1,0 |
| | **0** | **1,068** | **5,199** | **FLOOR AREA RATIO** |

**CALCULATIONS**

| lot size | *45% far* | *35% bsc* | FOOTAGES | |
|---|---|---|---|---|
| 11,394 | *5,127.3* | *3,987.9* | *3,412* | house |
| +150 SF for JADU egress | *150.0* | *150.0* | *512* | ADU + entry eave |
| | ***5,277.3*** | ***4,137.9*** | *207* | garage |
| | | | **4,131** | **BSC total** |
| | | | -6.9 | ***BSC balance*** |
| | | | **5,199** | **FAR total** |
| | | | -78.3 | ***FAR balance*** |

# BUILDING SITE COVERAGE [BSC] & FAR STUDY

SCALE: 3/16" = 1'-0"

0 1 3 5 10 20

N

# A-1.5

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

BUILDING SITE COVERAGE [BSC] & FAR STUDY

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

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|---|---|
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| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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808.217.7623

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 2

## WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF REMODEL
- AREA OF DEMO
- AREA OF ADDITION

## WALL SCHEDULE

| 2D SYMBOL | WALL TYPE |
|---|---|
| | 8" CONCRETE RETAINING WALL |
| | 8" CONCRETE STEM WALL_EXIST |
| | FOUNDATION WALL- 2X6, VERT CEDAR, NEW |
| | CONCRETE FIREPLACE PAD |
| | DECK RAILING/FENCE |
| | INTERIOR RAILING |
| | EXTERIOR WALL- 2X4 CONVERT TO INT DRYWALL |
| | EXTERIOR WALL- 2X4, DEMO SIDING REP W SHUGI |
| | EXTERIOR WALL- 2X4, EXIST BRICK |
| | EXTERIOR WALL- 2X4, SIDING, NEW |
| | EXTERIORWALL- 2X6, SHOSUGI, NEW |
| | FOUNDATION WALL+ 2X6, DRYWALL |
| | INTERIOR 2X4 HALF WALL NEW |
| | EXTERIORWALL- 2X6, VERT CEDAR, NEW |
| | 8" CONCRETE WALL VERT CEDAR, NEW |
| | GLASS SHOWER |
| | INTERIOR WALL- 2X6, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X4, 1/2 DRYWALL, NEW |
| | INTERIOR WALL- 2X4, 1/2" DRYWALL, EXISTING |
| | INTERIOR WALL- 2X4, 1HR X DRYWALL, NEW |
| | INTERIOR WALL- 2X4, BRICK XGYP, NEW |
| | INTERIOR WALL- 2X4, RED BRICK BOTH SIDES |
| | INTERIOR WALL- 2X4, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X6, 1/2" DRYWALL, NEW |
| | INTERIOR WALL- 2X6, REINFORCED 1/2" DRYWALL, NEW |
| | SLAB FOOTING WALL_EXIST |
| | 8" CONCRETE STEM WALL_REPLACE EXIST |

## DEMOLITION SCOPE OF WORK

D1) DEMO CHICKEN COOP
D2) FULL DEMO OF SOUTHWEST APARTMENT ADDITION (STEPPED DOWN AREA). ROOF TO GRADE. DEMO STEM WALLS ~~IF NOT VIABLE FOR RE-USE~~
D3) DEMO WEST STEM WALL OF SOUTHWEST APARTMENT ~~IF NOT VIABLE TO UNDERPIN WITH NEW STAIRWELL WALL~~
D4) DEMO ALL ROOFING TO TOP OF RAFTERS (ROOF MATERIAL, DECKING)
D5) REMOVE ALL SIDING & KEEP FOR REFINISH & RE-USE * MAY REQUIRE ZIP OR SHEAR PLY DURING REMOVAL - TBD PRIOR TO DEMOLITION
D6) TRIM EXPOSED EXTERIOR RAFTER TAILS ON SOUTH WALL OF LIVING ROOM. DEMO TO EXTERIOR EDGE OF TOP PLATE. DO NOT REMOVE INTERIOR CONTINUATION OF THE RAFTERS.
D7) DEMO EAST PORCH RAFTERS, SAVE FOR RE-USE.
D8) DEMO WEST PORCH RAFTERS, SAVE FOR RE-USE.
D9) TRIM EXPOSED EXTERIOR RAFTER TAILS ON NORTH WALL OF BATHROOM & KITCHEN AS SHOWN. DEMO TO EXTERIOR EDGE OF TOP PLATE. DO NOT REMOVE INTERIOR CONTINUATION OF THE RAFTERS.
D10) TRIM EXPOSED EXTERIOR RAFTER TAILS ON NORTH WALL OF APARTMENT AS SHOWN. DEMO TO EXTERIOR EDGE OF TOP PLATE OR EXTERIOR EDGE OF PROPOSED ADDITION WALL. DO NOT REMOVE INTERIOR CONTINUATION OF THE RAFTERS.
D11) TRIM RAFTER TAILS ON NORTH EAVE OF CARPORT AS SHOWN. DEMO TO EXTERIOR EDGE OF PROPOSED ADDITION WALL'S TOP PLATE. DO NOT REMOVE RAFTERS THAT ARE IN THE CARPORT.
D12) TBD - REDUCE DEPTH OF EXISTING EAVES TO ALLOW LIGHT AND/OR REMOVE DAMAGED ENDS OF EXISTING EXPOSED RAFTER TAILS @ FASCIA
D13) REMOVE TILE FLOORING ON SLAB
D14) REMOVE ALL WINDOWS & KEEP FOR RE-SALE
D15) REMOVE INTERIOR DUTCH DOORS & KEEP FOR REFINISH & RE-USE
D16) REMOVE INTERIOR DOORS FOR REFINISH & RE-USE
D17) DEMO ALL FIXTURES
D18) REMOVE ALL APPLIANCES FOR DONATION
D19) MECHANICALS, DUCTING, PLUMBING. AND ELECTRICAL DEMO TBD
D20) REMOVE AND SAVE KITCHEN CABINETS FOR REINSTALLATION
D21) DEMO BUILT IN WEST (RIGHT) OF FIREPLACE. DO NOT REMOVE BUILT IN ON EAST (LEFT) SIDE
D22) REMOVE FIREPLACE INSERT AND CARMEL STONE FACING
D23) DEMO ALL EXTERIOR HARDSCAPE, ~~SAVE FLAGSTONE FOR RE-USE IF FINANCIALLY VIABLE~~
~~D24) RELOCATE RAISED GARDEN BED IF FINANCIALLY VIABLE~~

# A-2.1

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

DEMO FLOOR PLAN

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
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| PLN RFI#1 & CO#3 | 02.02.2026 |
| PLN RFI#2 | 03.07.2026 |
| BLDG RFI#1 & CO#1 | 04.01.2026 |
| PLN RFI#3 | 04.17.2026 |

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PO BOX 222399
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808.217.7623


## DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

**A-2.2**

*FOR PERMITTING ONLY*

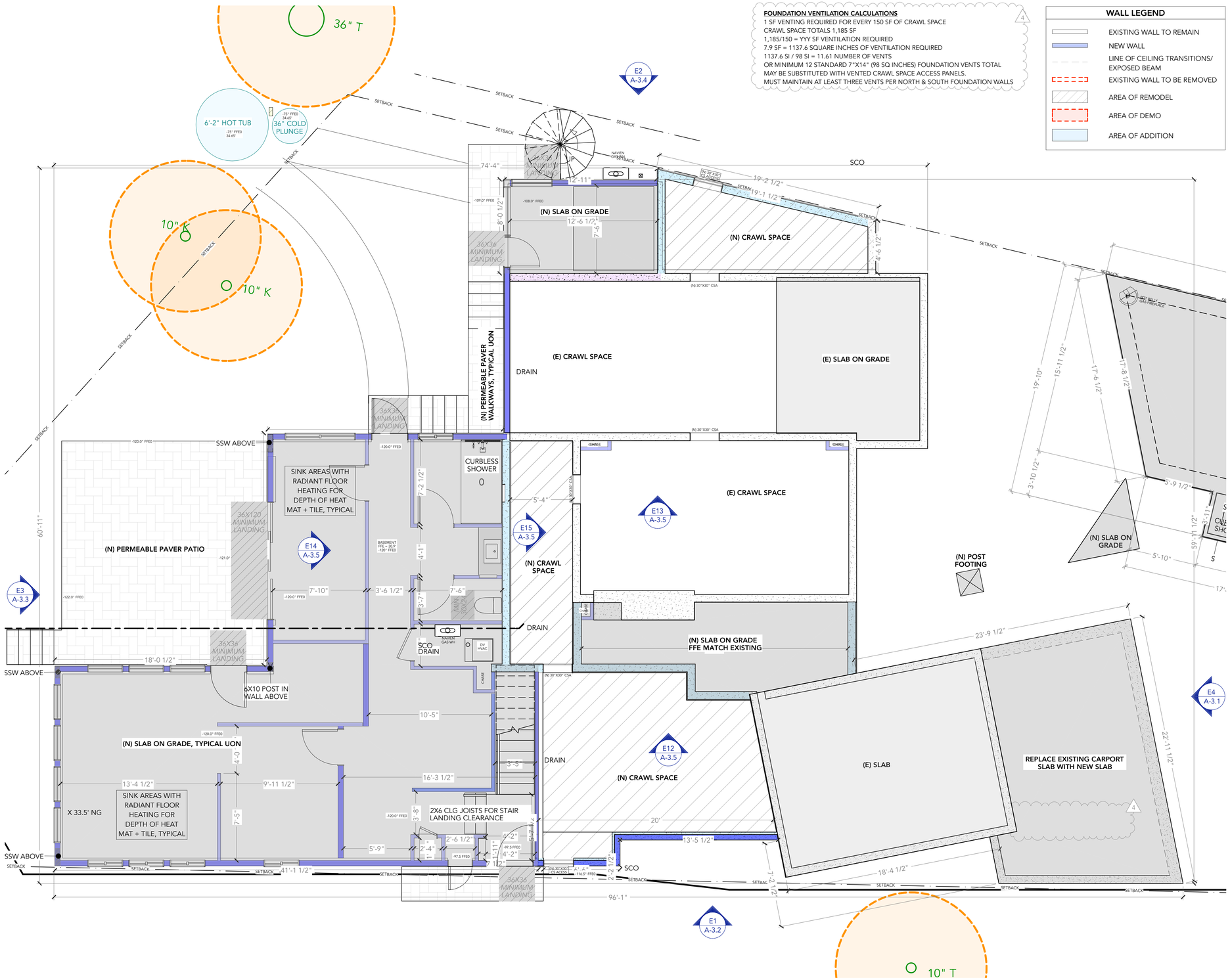
| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

**FOUNDATION VENTILATION CALCULATIONS** (4)

1 SF VENTING REQUIRED FOR EVERY 150 SF OF CRAWL SPACE
CRAWL SPACE TOTALS 1,185 SF
1,185/150 = YYY SF VENTILATION REQUIRED
7.9 SF = 1137.6 SQUARE INCHES OF VENTILATION REQUIRED
1137.6 SI / 98 SI = 11.61 NUMBER OF VENTS
OR MINIMUM 12 STANDARD 7"X14" (98 SQ INCHES) FOUNDATION VENTS TOTAL MAY BE SUBSTITUTED WITH VENTED CRAWL SPACE ACCESS PANELS.
MUST MAINTAIN AT LEAST THREE VENTS PER NORTH & SOUTH FOUNDATION WALLS

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF REMODEL
- AREA OF DEMO
- AREA OF ADDITION




## PROPOSED HOUSE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

**WALL SCHEDULE**

| 2D SYMBOL | WALL TYPE |
|---|---|
| | 8" CONCRETE RETAINING WALL |
| | 8" CONCRETE STEM WALL_EXIST |
| | FOUNDATION WALL- 2X6, VERT CEDAR, NEW |
| | CONCRETE FIREPLACE PAD |
| | DECK RAILING/FENCE |
| | INTERIOR RAILING |
| | EXTERIOR WALL- 2X4 CONVERT TO INT DRYWALL |
| | EXTERIOR WALL- 2X4, DEMO SIDING REP W SHUGI |
| | EXTERIOR WALL- 2X4, EXIST BRICK |
| | EXTERIOR WALL- 2X4, SIDING, NEW |
| | EXTERIORWALL- 2X6, SHOSUGI, NEW |
| | FOUNDATION WALL+ 2X6, DRYWALL |
| | INTERIOR 2X4 HALF WALL NEW |
| | EXTERIORWALL- 2X6, VERT CEDAR, NEW |
| | 8" CONCRETE WALL VERT CEDAR, NEW |
| | GLASS SHOWER |
| | INTERIOR WALL- 2X6, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X4, 1/2 DRYWALL, NEW |
| | INTERIOR WALL- 2X4, 1/2" DRYWALL, EXISTING |
| | INTERIOR WALL- 2X4, 1HR X DRYWALL, NEW |
| | INTERIOR WALL- 2X4, BRICK XGYP, NEW |
| | INTERIOR WALL- 2X4, RED BRICK BOTH SIDES |
| | INTERIOR WALL- 2X4, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X6, 1/2" DRYWALL, NEW |
| | INTERIOR WALL- 2X6, REINFORCED 1/2" DRYWALL, NEW |
| | SLAB FOOTING WALL_EXIST (4) |
| | 8" CONCRETE STEM WALL_REPLACE EXIST |

PROPOSED HOUSE FOUNDATION PLAN

# HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

**REVISIONS**

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| | PLN RFI#1 & CO#2 01.26.2026 |
| | PLN RFI#1 & CO#3 02.02.2026 |
| (4) | PLN RFI#2 03.07.2026 |
| | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 2

# A-2.3

*FOR PERMITTING ONLY*

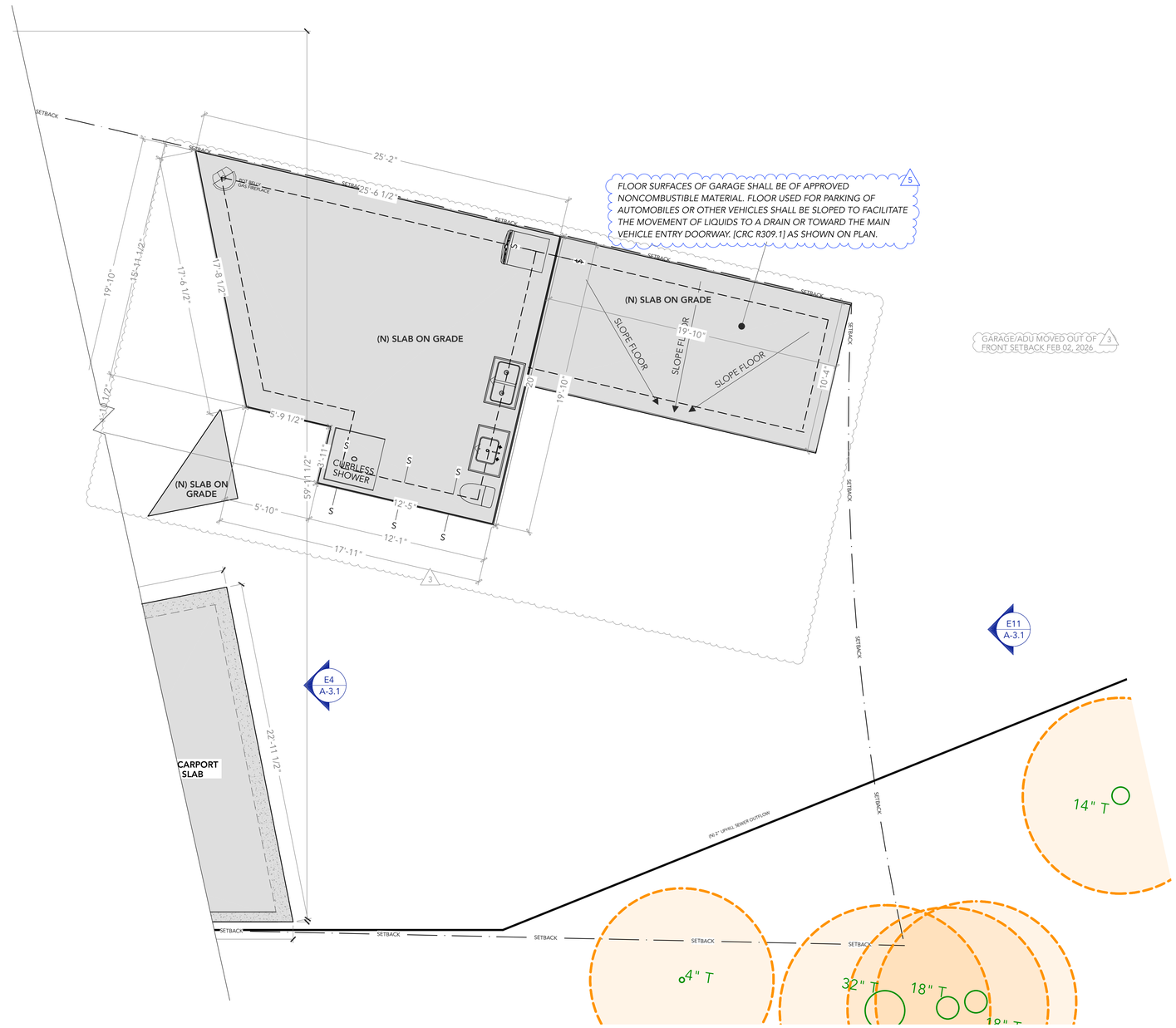
| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

ADU & GARAGE FOUNDATION PLAN

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000




N

ADU & GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
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| 5 | BLDG RFI#1 & CO#1 04.01.2026 |
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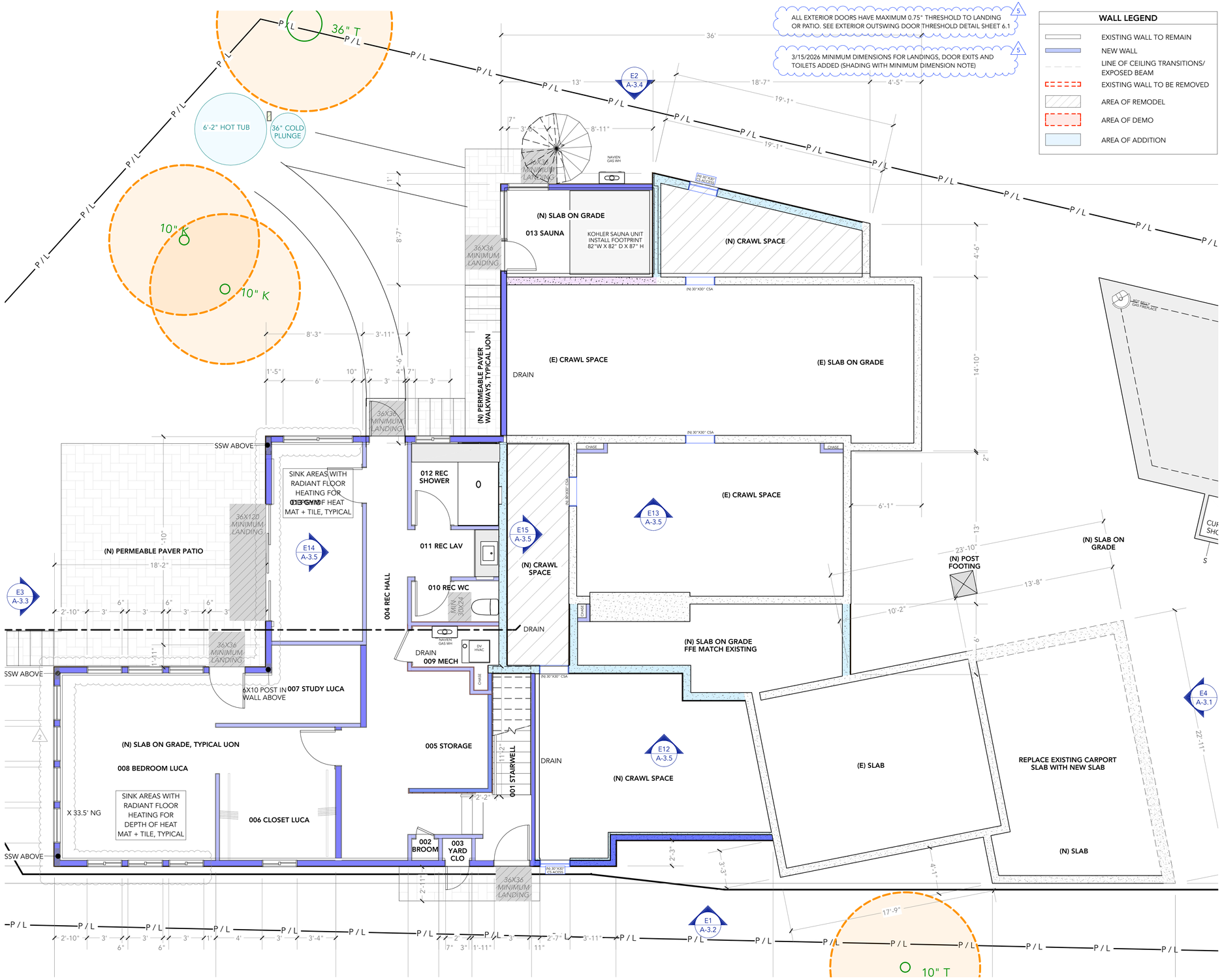
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

ALL EXTERIOR DOORS HAVE MAXIMUM 0.75" THRESHOLD TO LANDING OR PATIO. SEE EXTERIOR OUTSWING DOOR THRESHOLD DETAIL SHEET 6.1 (5)

3/15/2026 MINIMUM DIMENSIONS FOR LANDINGS, DOOR EXITS AND TOILETS ADDED (SHADING WITH MINIMUM DIMENSION NOTE) (5)




## WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF REMODEL
- AREA OF DEMO
- AREA OF ADDITION

## WALL SCHEDULE

| 2D SYMBOL | WALL TYPE |
|---|---|
| | 8" CONCRETE RETAINING WALL |
| | 8" CONCRETE STEM WALL_EXIST |
| | FOUNDATION WALL- 2X6, VERT CEDAR, NEW |
| | CONCRETE FIREPLACE PAD |
| | DECK RAILING/FENCE |
| | INTERIOR RAILING |
| | EXTERIOR WALL- 2X4 CONVERT TO INT DRYWALL |
| | EXTERIOR WALL- 2X4, DEMO SIDING REP W SHUGI |
| | EXTERIOR WALL- 2X4, EXIST BRICK |
| | EXTERIOR WALL- 2X4, SIDING, NEW |
| | EXTERIORWALL- 2X6, SHOSUGI, NEW |
| | FOUNDATION WALL+ 2X6, DRYWALL |
| | INTERIOR 2X4 HALF WALL NEW |
| | EXTERIORWALL- 2X6, VERT CEDAR, NEW |
| | 8" CONCRETE WALL VERT CEDAR, NEW |
| | GLASS SHOWER |
| | INTERIOR WALL- 2X6, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X4, 1/2 DRYWALL, NEW |
| | INTERIOR WALL- 2X4, 1/2" DRYWALL, EXISTING |
| | INTERIOR WALL- 2X4, 1HR X DRYWALL, NEW |
| | INTERIOR WALL- 2X4, BRICK XGYP, NEW |
| | INTERIOR WALL- 2X4, RED BRICK BOTH SIDES |
| | INTERIOR WALL- 2X4, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X6, 1/2" DRYWALL, NEW |
| | INTERIOR WALL- 2X6, REINFORCED 1/2" DRYWALL, NEW |
| | SLAB FOOTING WALL_EXIST |
| | 8" CONCRETE STEM WALL_REPLACE EXIST |

# A-2.4

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

PROPOSED LOWER FLOOR PLAN

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

### REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
| 3 | PLN RFI#1 & CO#3 02.02.2026 |
| | PLN RFI#2 03.07.2026 |
| 5 | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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*FOR PERMITTING ONLY*


***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623


N

## PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

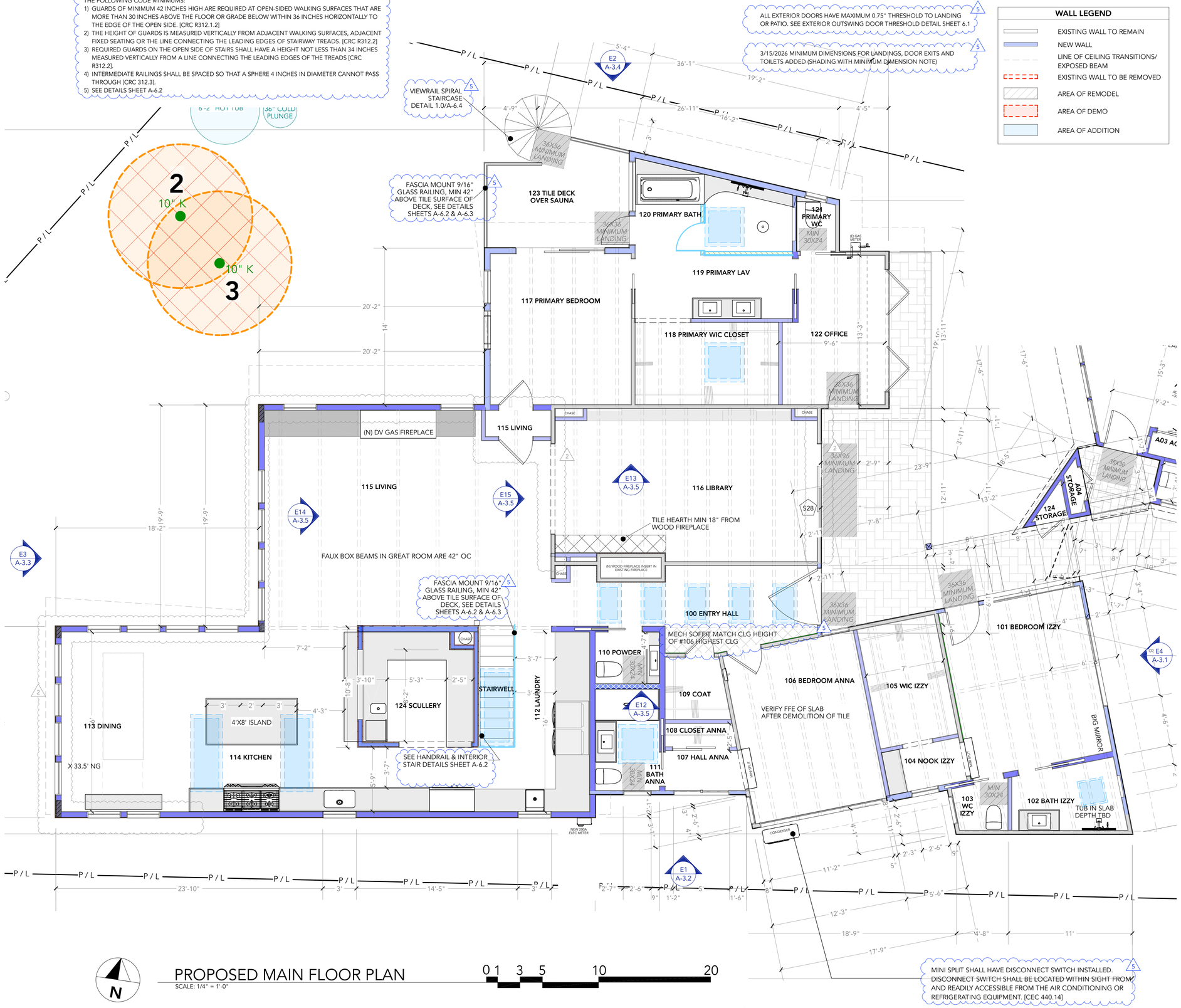
DECK AND STAIR GUARDRAIL NOTES
INSTALLATION AND METHOD OF GUARDRAIL CONSTRUCTION SHALL COMPLY WITH COMPLIANCE WITH THE FOLLOWING CODE MINIMUMS:
1) GUARDS OF MINIMUM 42 INCHES HIGH ARE REQUIRED AT OPEN-SIDED WALKING SURFACES THAT ARE MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. [CRC R312.1.2]
2) THE HEIGHT OF GUARDS IS MEASURED VERTICALLY FROM ADJACENT WALKING SURFACES, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF STAIRWAY TREADS. [CRC R312.2]
3) REQUIRED GUARDS ON THE OPEN SIDE OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS [CRC R312.2].
4) INTERMEDIATE RAILINGS SHALL BE SPACED SO THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH [CRC 312.3].
5) SEE DETAILS SHEET A-6.2

ALL EXTERIOR DOORS HAVE MAXIMUM 0.75" THRESHOLD TO LANDING OR PATIO. SEE EXTERIOR OUTSWING DOOR THRESHOLD DETAIL SHEET 6.1

3/15/2026 MINIMUM DIMENSIONS FOR LANDINGS, DOOR EXITS AND TOILETS ADDED (SHADING WITH MINIMUM DIMENSION NOTE)

VIEWRAIL SPIRAL STAIRCASE DETAIL 1.0/A-6.4

FASCIA MOUNT 9/16" GLASS RAILING, MIN 42" ABOVE TILE SURFACE OF DECK, SEE DETAILS SHEETS A-6.2 & A-6.3




MINI SPLIT SHALL HAVE DISCONNECT SWITCH INSTALLED. DISCONNECT SWITCH SHALL BE LOCATED WITHIN SIGHT FROM AND READILY ACCESSIBLE FROM THE AIR CONDITIONING OR REFRIGERATING EQUIPMENT. [CEC 440.14]

## PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

N

## WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF REMODEL
- AREA OF DEMO
- AREA OF ADDITION

## WALL SCHEDULE

| 2D SYMBOL | WALL TYPE |
|---|---|
| | 8" CONCRETE RETAINING WALL |
| | 8" CONCRETE STEM WALL_EXIST |
| | FOUNDATION WALL- 2X6, VERT CEDAR, NEW |
| | CONCRETE FIREPLACE PAD |
| | DECK RAILING/FENCE |
| | INTERIOR RAILING |
| | EXTERIOR WALL- 2X4 CONVERT TO INT DRYWALL |
| | EXTERIOR WALL- 2X4, DEMO SIDING REP W SHUGI |
| | EXTERIOR WALL- 2X4, EXIST BRICK |
| | EXTERIOR WALL- 2X4, SIDING, NEW |
| | EXTERIORWALL- 2X6, SHOSUGI, NEW |
| | FOUNDATION WALL+ 2X6, DRYWALL |
| | INTERIOR 2X4 HALF WALL NEW |
| | EXTERIORWALL- 2X6, VERT CEDAR, NEW |
| | 8" CONCRETE WALL VERT CEDAR, NEW |
| | GLASS SHOWER |
| | INTERIOR WALL- 2X6, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X4, 1/2 DRYWALL, NEW |
| | INTERIOR WALL- 2X4, 1/2" DRYWALL, EXISTING |
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| | INTERIOR WALL- 2X4, BRICK XGYP, NEW |
| | INTERIOR WALL- 2X4, RED BRICK BOTH SIDES |
| | INTERIOR WALL- 2X4, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X6, 1/2" DRYWALL, NEW |
| | INTERIOR WALL- 2X6, REINFORCED 1/2" DRYWALL, NEW |
| | SLAB FOOTING WALL_EXIST |
| | 8" CONCRETE STEM WALL_REPLACE EXIST |

NEW SHEET 01.25.2026 2

# A-2.5

*FOR PERMITTING ONLY*

PLAN SET: HIMSJ 2.4
ISSUE DATE: 4/17/26
PLANNING APPROVAL

PROPOSED MAIN FLOOR PLAN

# HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

REVISIONS

| | |
|---|---|
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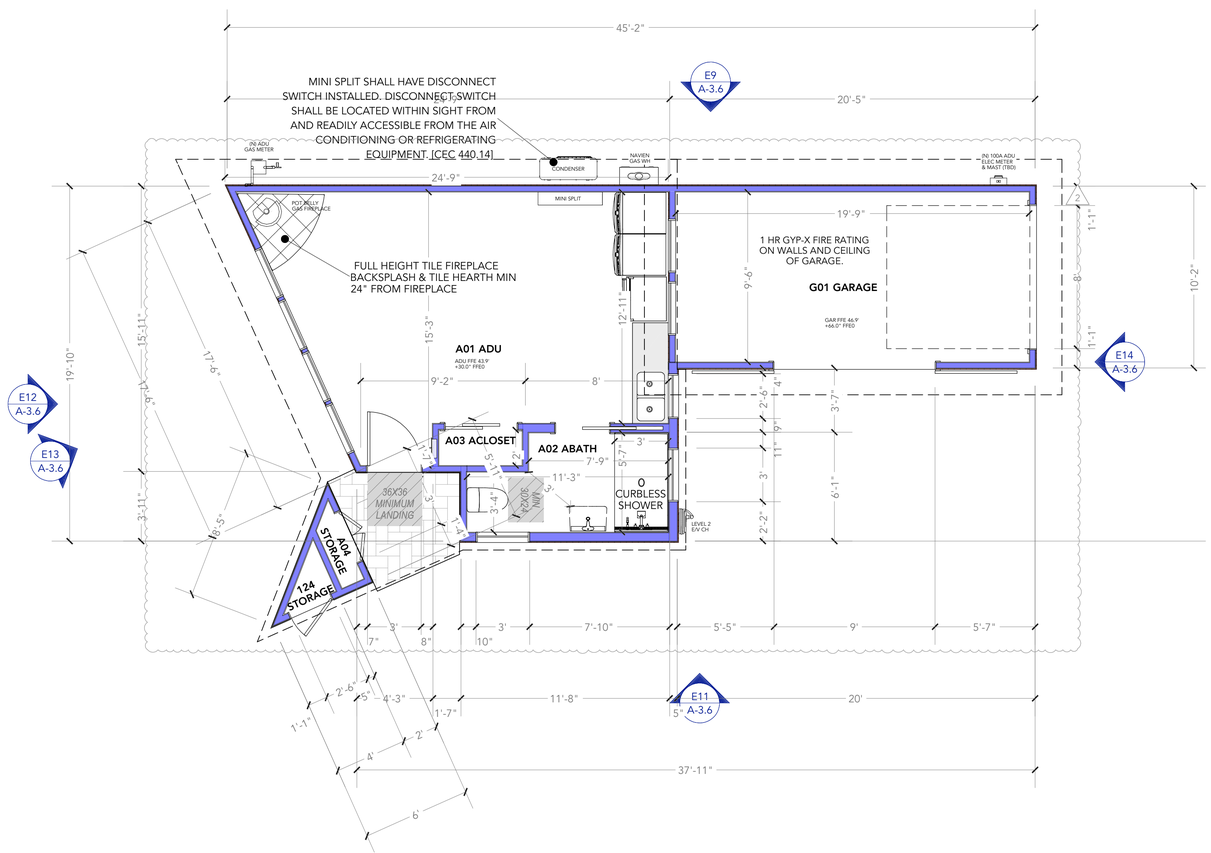
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

ALL EXTERIOR DOORS HAVE MAXIMUM 0.75" THRESHOLD TO LANDING OR PATIO. SEE EXTERIOR OUTSWING DOOR THRESHOLD DETAIL SHEET 6.1 (5)

3/15/2026 MINIMUM DIMENSIONS FOR LANDINGS, DOOR EXITS AND TOILETS ADDED (SHADING WITH MINIMUM DIMENSION NOTE) (5)




## ADU & GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- LINE OF CEILING TRANSITIONS/ EXPOSED BEAM
- EXISTING WALL TO BE REMOVED
- AREA OF REMODEL
- AREA OF DEMO
- AREA OF ADDITION

### WALL SCHEDULE

| 2D SYMBOL | WALL TYPE |
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| | INTERIOR RAILING |
| | EXTERIOR WALL- 2X4 CONVERT TO INT DRYWALL |
| | EXTERIOR WALL- 2X4, DEMO SIDING REP W SHUGI |
| | EXTERIOR WALL- 2X4, EXIST BRICK |
| | EXTERIOR WALL- 2X4, SIDING, NEW |
| | EXTERIORWALL- 2X6, SHOSUGI, NEW |
| | FOUNDATION WALL+ 2X6, DRYWALL |
| | INTERIOR 2X4 HALF WALL NEW |
| | EXTERIORWALL- 2X6, VERT CEDAR, NEW |
| | 8" CONCRETE WALL VERT CEDAR, NEW |
| | GLASS SHOWER |
| | INTERIOR WALL- 2X6, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X4, 1/2 DRYWALL, NEW |
| | INTERIOR WALL- 2X4, 1/2" DRYWALL, EXISTING |
| | INTERIOR WALL- 2X4, 1HR X DRYWALL, NEW |
| | INTERIOR WALL- 2X4, BRICK XGYP, NEW |
| | INTERIOR WALL- 2X4, RED BRICK BOTH SIDES |
| | INTERIOR WALL- 2X4, RED BRICK FIREPLACE, NEW |
| | INTERIOR WALL- 2X6, 1/2" DRYWALL, NEW |
| | INTERIOR WALL- 2X6, REINFORCED 1/2" DRYWALL, NEW |
| | SLAB FOOTING WALL_EXIST |
| | 8" CONCRETE STEM WALL_REPLACE EXIST |

# A-2.6

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

PROPOSED ADU & GARAGE FLOOR PLAN

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

### REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
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| | PLN RFI#2 03.07.2026 |
| 5 | BLDG RFI#1 & CO#1 04.01.2026 |
| | PLN RFI#3 04.17.2026 |

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CARMEL CA 93923
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NEW SHEET 01.25.2026 2

# A-3.1

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

E4: EXISTING EXTERIOR HOUSE ELEVATIONS: EAST (STREET)

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

E4: PROPOSED EAST ELEVATION-HOUSE ONLY

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

E11: PROPOSED EAST ELEVATION FROM STREET LEVEL

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

EXTERIOR HOUSE ELEVATIONS: EAST (STREET)

**HIMMELVO RESIDENCE**

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

| | |
|---|---|
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NEW SHEET 01.25.2026 2

# A-3.2

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

EXTERIOR HOUSE ELEVATIONS: SOUTH (SIDE)

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

E1: EXISTING EXTERIOR HOUSE ELEVATIONS: SOUTH (SIDE)

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

E1: PROPOSED EXTERIOR HOUSE ELEVATIONS: SOUTH (SIDE)

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

REVISIONS

| | |
|---|---|
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| 2 | PLN RFI#1 & CO#2 01.26.2026 |
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NEW SHEET 01.25.2026 2

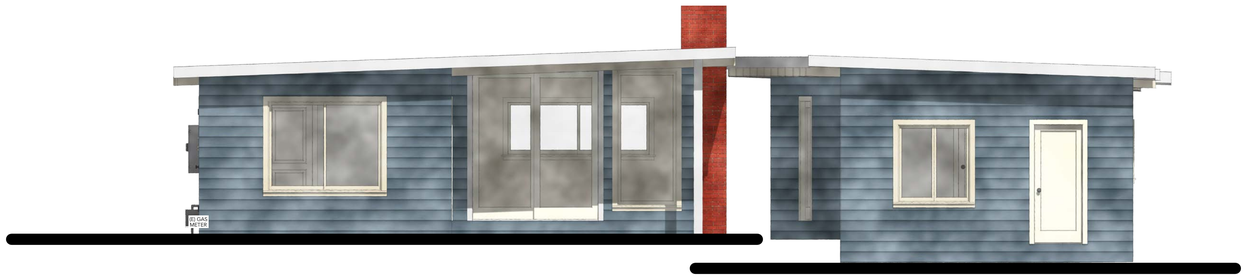
# A-3.3

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

EXTERIOR HOUSE ELEVATIONS: WEST (REAR)

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000




E3: EXISTING EXTERIOR HOUSE ELEVATIONS: WEST (REAR)
SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

E3: PROPOSED EXTERIOR HOUSE ELEVATIONS: WEST (REAR)
SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

REVISIONS

| | |
|---|---|
| | PLN CO#1 12.22.2025 |
| 2 | PLN RFI#1 & CO#2 01.26.2026 |
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***ERIN C. ROSE***
***Principal Designer***
PO BOX 222399
CARMEL CA 93923
808.217.7623

ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 2

# A-3.4

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

EXTERIOR HOUSE ELEVATIONS: NORTH (SIDE)

**HIMMELVO RESIDENCE**
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APN 009-011-006-000

E2: EXISTING EXTERIOR HOUSE ELEVATIONS: NORTH (SIDE)
SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

E2: PROPOSED EXTERIOR HOUSE ELEVATIONS: NORTH (SIDE)
SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

REVISIONS

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|---|---|
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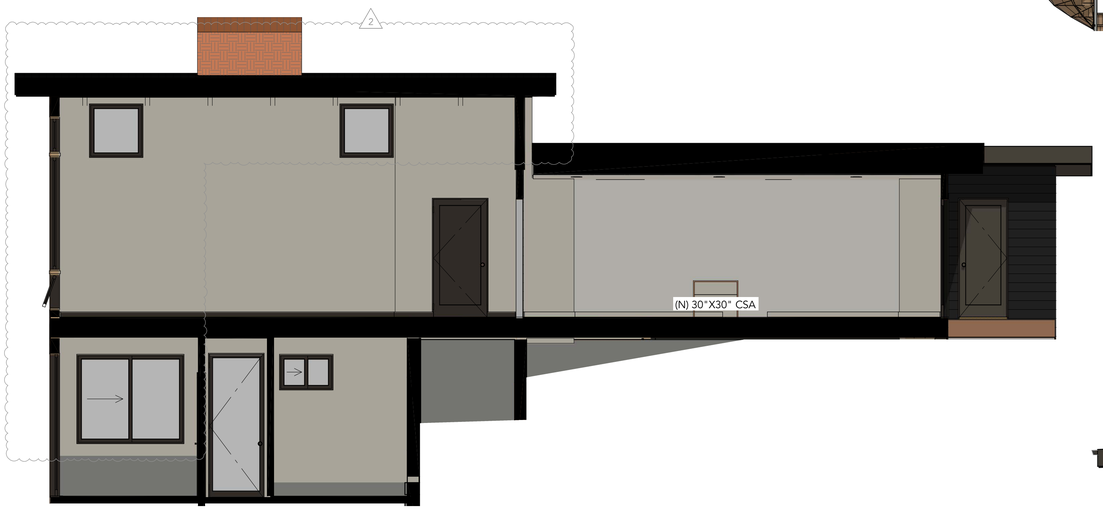
SECTION E12: W<->E THROUGH DINING / KITCHEN / ANNA / IZZY LOOKING NORTH

SCALE: 1/4" = 1'-0"

SECTION E15: N<->S SAUNA / CRAWL/ STAIRS LOOKING EAST

SCALE: 1/4" = 1'-0"




SECTION E13: W<->E THROUGH LIVING / LIBRARY LOOKING NORTH

SCALE: 1/4" = 1'-0"

SECTION E14: N<->S THROUGH LIVING / DINING / LUCA LOOKING EAST

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

NEW SHEET 01.25.2026

SECTIONS ARE FOR REFERENCE ONLY. INFORMATION IN STAMPED CIVIL AND STRUCTURAL SETS TAKE PRECEDENCE OVER ARCHITECTURAL SECTIONS. CONTACT DESIGNER IMMEDIATELY WHEN CONFLICTING INFORMATION IS FOUND, PRIOR TO COMMENCING WORK IN AREAS OF CONFLICT.

# A-3.5

*FOR PERMITTING ONLY*

| | |
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PROPOSED CROSS SECTIONS

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

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NEW SHEET 01.25.2026 2

# A-3.6

*FOR PERMITTING ONLY*

| | |
|---|---|
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EXTERIOR ELEVATIONS ADU & GARAGE

**HIMMELVO RESIDENCE**
24368 SAN JUAN RD, CARMEL, CA, 93923
APN 009-011-006-000

0 1 3 5 10 20

3

E10: GARAGE & ADU EAST (STREET) ELEVATION
SCALE: 1/4" = 1'-0"

E11: ADU & GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

E12: ADU WEST ELEVATION (PARALLEL TO ADU)
SCALE: 1/4" = 1'-0"

E13: ADU WEST ELEVATION
SCALE: 1/4" = 1'-0"

E14: ADU EAST ELEVATION
SCALE: 1/4" = 1'-0"

E9: ADU & GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

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|---|---|
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NEW SHEET 01.25.2026 2

# A-4.1

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |
| PLANNING APPROVAL | |

N

## EXISTING / DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

EXISTING / DEMO ROOF PLAN

# HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

REVISIONS

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NEW SHEET 01.25.2026 2

# A-4.2

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
| ISSUE DATE: | 4/17/26 |

PLANNING APPROVAL

SOLAR PV ARRAY NOTES 5

*R902.4 ROOFTOP-MOUNTED PHOTOVOLTAIC (PV) PANEL SYSTEMS*
ROOFTOP-MOUNTED PHOTOVOLTAIC (PV) PANEL SYSTEMS INSTALLED ON OR ABOVE THE ROOF COVERING SHALL BE TESTED, LISTED AND IDENTIFIED WITH A FIRE CLASSIFICATION IN ACCORDANCE WITH UL 2703. LISTED SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THEIR LISTING. CLASS A, B OR C PHOTOVOLTAIC PANEL SYSTEMS AND MODULES SHALL BE INSTALLED IN JURISDICTIONS DESIGNATED BY LAW AS REQUIRING THEIR USE OR WHERE THE EDGE OF THE ROOF IS LESS THAN 3 FEET (914 MM) FROM A LOT LINE. LOCATION OF SOLAR ARRAY TBD BY SOLAR CONTRACTOR, INSTALLED VIA SEPARATE PERMIT THROUGH SOLAR CONTRACTOR.

ROOF LEGEND

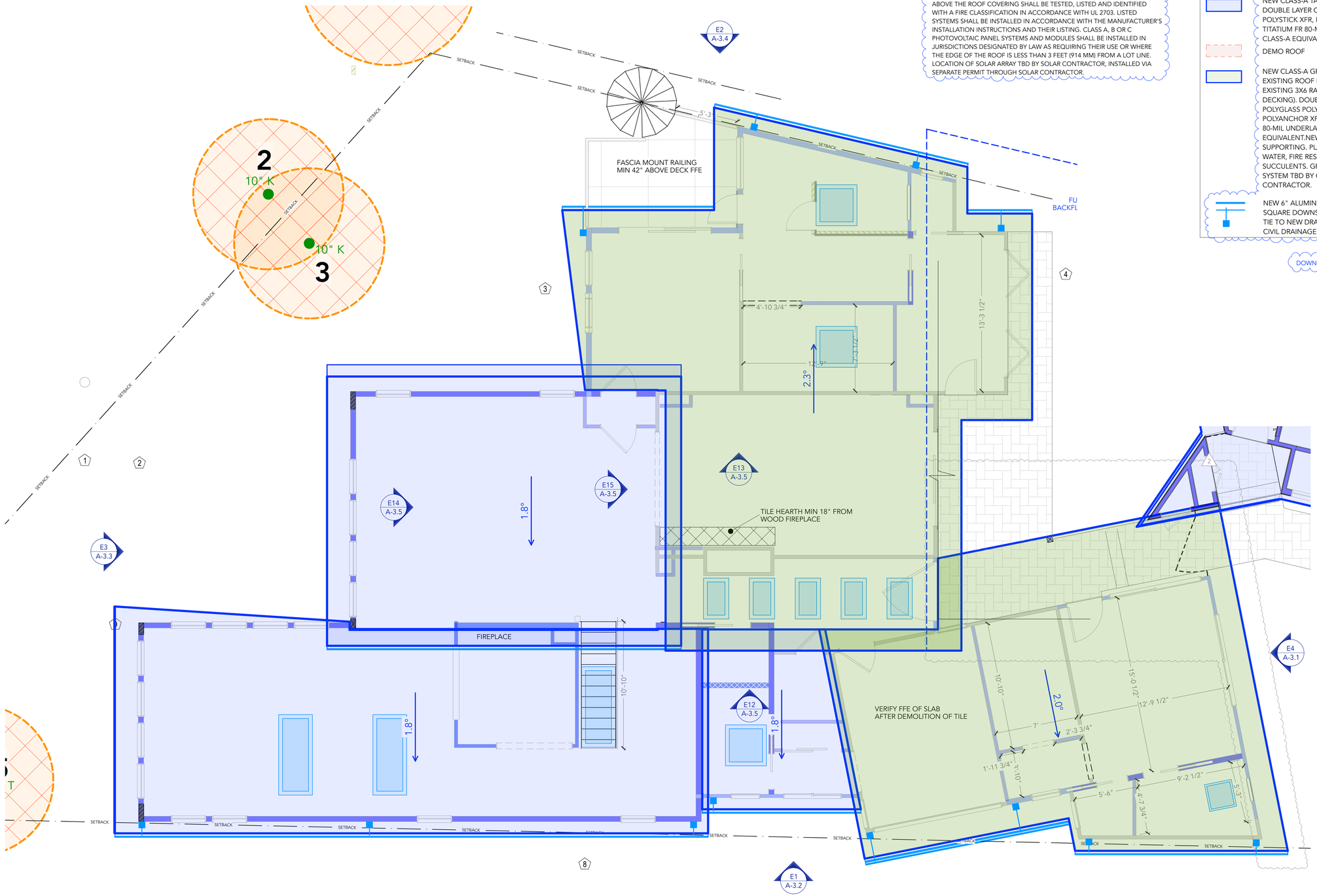
NEW CLASS-A TAR & GRAVEL ROOF. DOUBLE LAYER OF POLYGLASS POLYSTICK XFR, POLYANCHOR XFR, OR TITATIUM FR 80-MIL UNDERLAYMENT OR CLASS-A EQUIVALENT. 5

DEMO ROOF

NEW CLASS-A GREEN ROOF OVER EXISTING ROOF DECKING (RETAIN EXISTING 3X6 RAFTERS UNDER DECKING). DOUBLE LAYER OF POLYGLASS POLYSTICK XFR, POLYANCHOR XFR, OR TITATIUM FR 80-MIL UNDERLAYMENT OR CLASS-A EQUIVALENT.NEW ROOF IS SELF-SUPPORTING. PLANTED W/ ZERO-WATER, FIRE RESISTANT SUCCULENTS. GREEN ROOF SYSTEM TBD BY GREEN ROOF CONTRACTOR.

NEW 6" ALUMINUM GUTTERS AND SQUARE DOWNSPOUTS. DOWNSPOUTS TIE TO NEW DRAINAGE SYSTEM (SEE CIVIL DRAINAGE PLANS).

DOWNSPOUTS ADDED 3.11.2026 5




## PROPOSED ROOF PLAN HOUSE

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

N

PROPOSED ROOF PLAN HOUSE

# HIMMELVO RESIDENCE

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# A-4.3

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| | |
|---|---|
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NEW SHEET 01.25.2026 (2)

ROOF LEGEND

NEW CLASS-A TAR & GRAVEL ROOF. DOUBLE LAYER OF POLYGLASS POLYSTICK XFR, POLYANCHOR XFR, OR TITATIUM FR 80-MIL UNDERLAYMENT OR CLASS-A EQUIVALENT. (5)

DEMO ROOF

NEW CLASS-A GREEN ROOF OVER EXISTING ROOF DECKING (RETAIN EXISTING 3X6 RAFTERS UNDER DECKING). DOUBLE LAYER OF POLYGLASS POLYSTICK XFR, POLYANCHOR XFR, OR TITATIUM FR 80-MIL UNDERLAYMENT OR CLASS-A EQUIVALENT.NEW ROOF IS SELF-SUPPORTING. PLANTED W/ ZERO-WATER, FIRE RESISTANT SUCCULENTS. GREEN ROOF SYSTEM TBD BY GREEN ROOF CONTRACTOR.

NEW 6" ALUMINUM GUTTERS AND SQUARE DOWNSPOUTS. DOWNSPOUTS TIE TO NEW DRAINAGE SYSTEM (SEE CIVIL DRAINAGE PLANS).

DOWNSPOUTS ADDED 3.11.2026 (5)

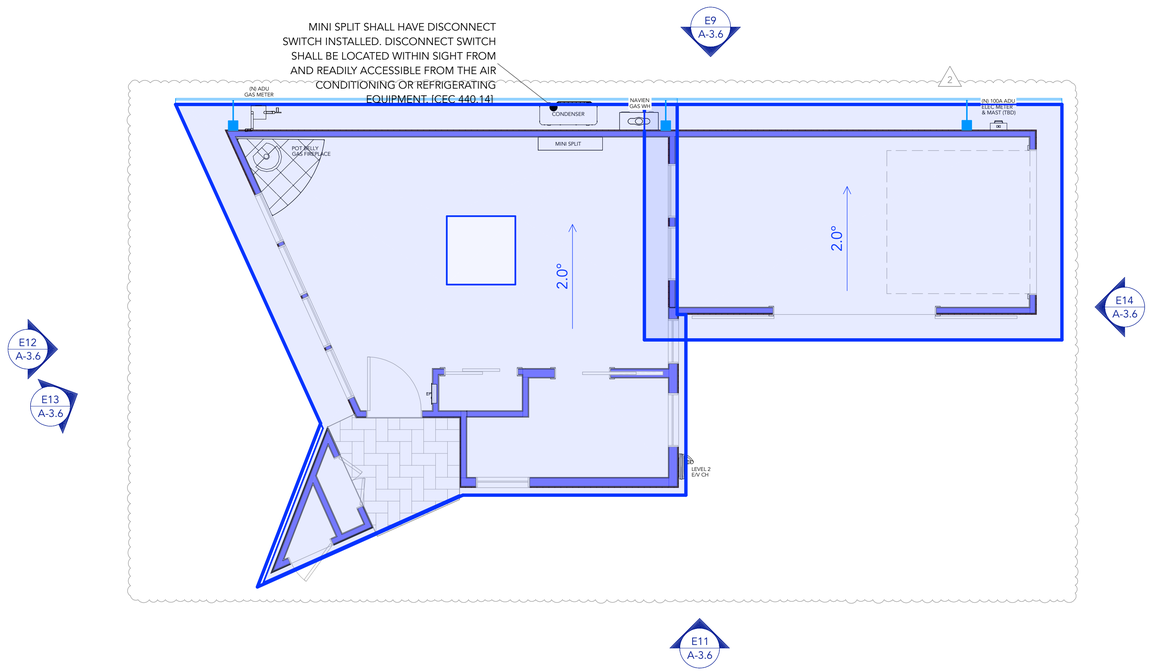
ROOF PLAN ADU & GARAGE

## HIMMELVO RESIDENCE

24368 SAN JUAN RD, CARMEL, CA, 93923

APN 009-011-006-000

MINI SPLIT SHALL HAVE DISCONNECT SWITCH INSTALLED. DISCONNECT SWITCH SHALL BE LOCATED WITHIN SIGHT FROM AND READILY ACCESSIBLE FROM THE AIR CONDITIONING OR REFRIGERATING EQUIPMENT. [CEC 440.14]




N

ROOF PLAN ADU & GARAGE

SCALE: 1/4" = 1'-0"

0 1 3 5 10 20

REVISIONS

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# ALL WORK MUST COMPLY WITH TREE PROTECTION AND ROOT ZONE PROHIBITION SHOWN ON SHEET A-1.1

NEW SHEET 01.25.2026 (2)

GREEN ROOF

EXTERIOR SCONCE

PATH LIGHT

CONCRETE

**EXTERIOR MATERIALS**

| | |
|---|---|
| ROOFING: | CLASS-A TAR & GRAVEL |
| | CLASS-A GREEN LIVING ROOF |
| SIDING: | CLASS-A BLACK HORIZONTAL WOOD |
| | CLASS-A VERTICAL CEDAR |
| GUTTER: | ALUMINUM, MATCH FASCIA |
| DOWNSPOUTS: | ALUMINUM, MATCH SIDING |
| WINDOWS: | SIERRA PACIFIC ALUMINUM CLAD, BLACK 023 |
| | SIERRA PACIFIC ALUMINUM CLAD, ANTIQUE BRONZE 057 |
| SKYLIGHTS: | VELUX W/BLACKOUT SHADES |
| DOORS: | SIERRA PACIFIC ALUMINUM CLAD & GLASS, BLACK 023 |
| | SIERRA PACIFIC ALUMINUM CLAD & GLASS, ANTIQUE BRONZE 057 |
| GARAGE DOOR: | ANTIQUE BRONZE WITH LITES |
| FRONT DOOR: | SIERRA PACIFIC PIVOT ALUMINUM CLAD GLASS, BLACK 023 |
| FOUNDATIONS: | BOARD FORM CONCRETE |
| FOUNDATION VENTS: | VULCAN VENTS |
| ATTIC VENTS: | NONE |
| EXTERIOR TRIM COLOR: | MATCH SIDING |
| EXTERIOR PAINT COLOR: | NONE |
| BOXED EAVES: | TBD, LIGHT OAK WHERE BOXED |
| STONE FACING: | BRICK |
| CHIMNEY SHROUD: | CORTEN STEEL |
| FENCING: | 6' WOOD |
| RETAINING WALLS: | BOARD FORM CONCRETE |
| WALKWAYS: | PERMEBLE PAVERS, COLOR TBD |
| PATIOS: | PERMEBLE PAVERS, COLOR TBD |
| DRIVEWAY: | PERMEBLE PAVERS, COLOR TBD |
| DRIVEWAY GATE: | 6' TALL PERFORATED CORTEN, CUSTOM DESIGN |
| GATE PILLARS: | TBD |
| EXTERIOR LIGHTING: | HUBBARDTON FORGE HENRY |
| PATH LIGHTING: | KICHLER PATH |
| GENERATOR: | NONE |
| SOUND ENCLOSURE: | NONE |
| ROOFTOP SOLAR: | STANDARD ROOF MOUNT PANELS |

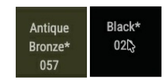
BLACK HORIZONTAL CLASS-A CEDAR SIDING

BOXED EAVE

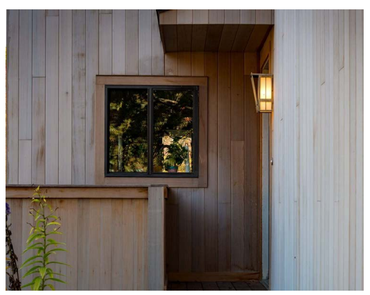
SLIDER

AWNING

CASEMENT




SIERRA PACIFIC EXTERIOR CLADDING



VERTICAL CLASS-A CEDAR SIDING

CORTEN STEEL PANELING

ACCORDION

PIVOT

SWING

MULTI -SLIDE

EXTERIOR BRICK

PERMEABLE PAVERS

# FM-1.1

*FOR PERMITTING ONLY*

| | |
|---|---|
| PLAN SET: | HIMSJ 2.4 |
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| PLANNING APPROVAL | |

FINISH MATERIALS

## HIMMELVO RESIDENCE

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