

# Exhibit B

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# CARMEL RIVER INN

## COTTAGE UNIT #17 REMODEL/ADDITION

Project / Owner:

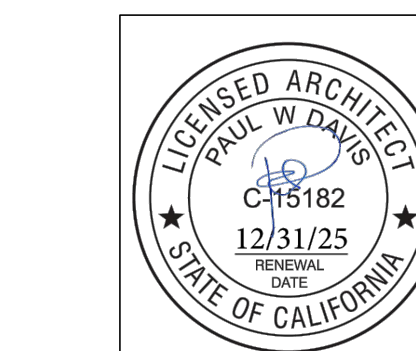
### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

### COTTAGE REMODEL #17/43 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



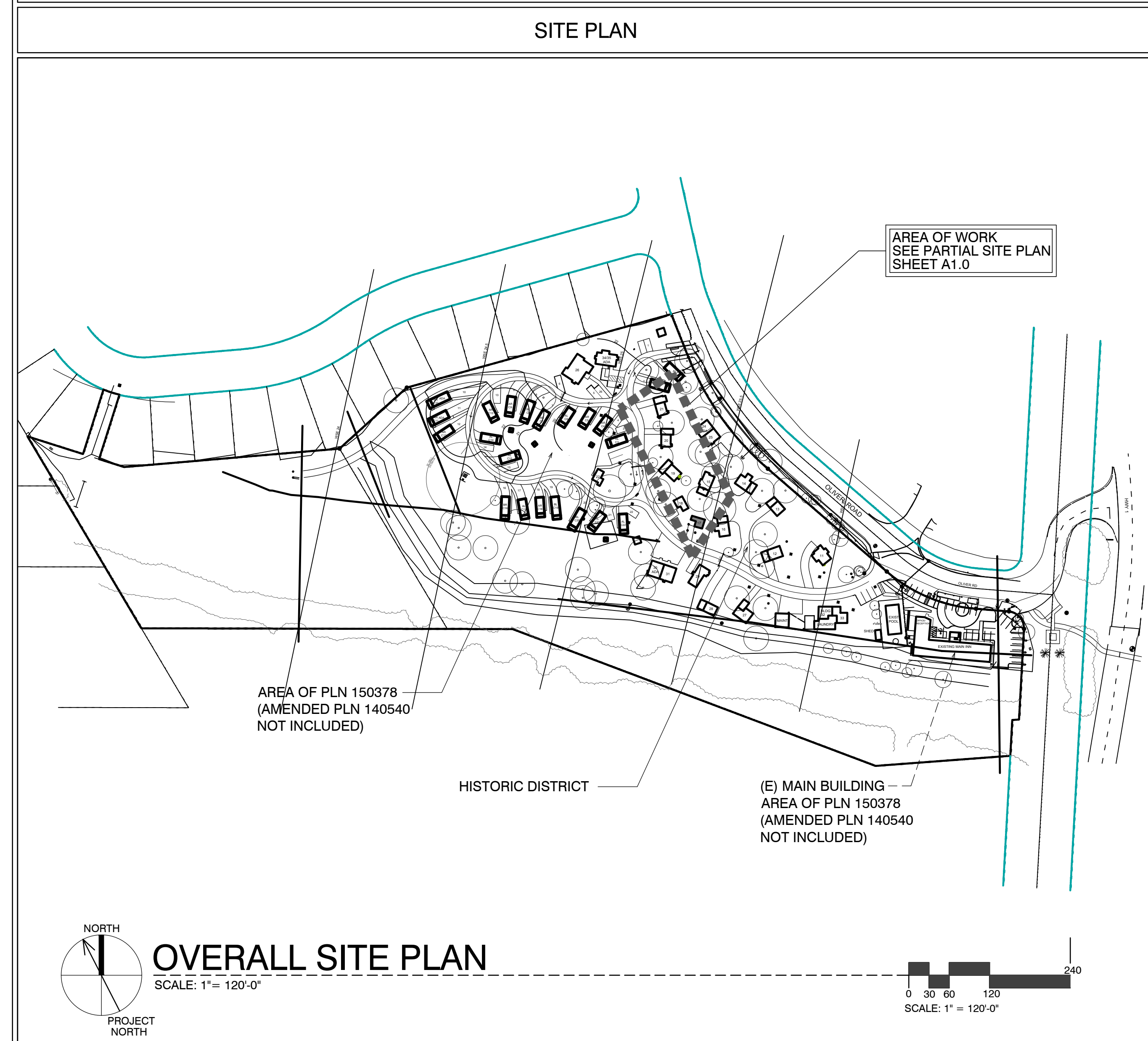
Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:

Sheet Title:  
**COVER SHEET PROJECT INFO**

Sheet Number:

# A0.1



SCOPE OF WORK	
•	REMODEL EXISTING / ORIGINAL COTTAGE 17
•	ADD NEW INSULATION IN WALLS @ EXTERIOR
•	ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEET A2.1

SHEET INDEX	
ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #17 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS	
A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17-#21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

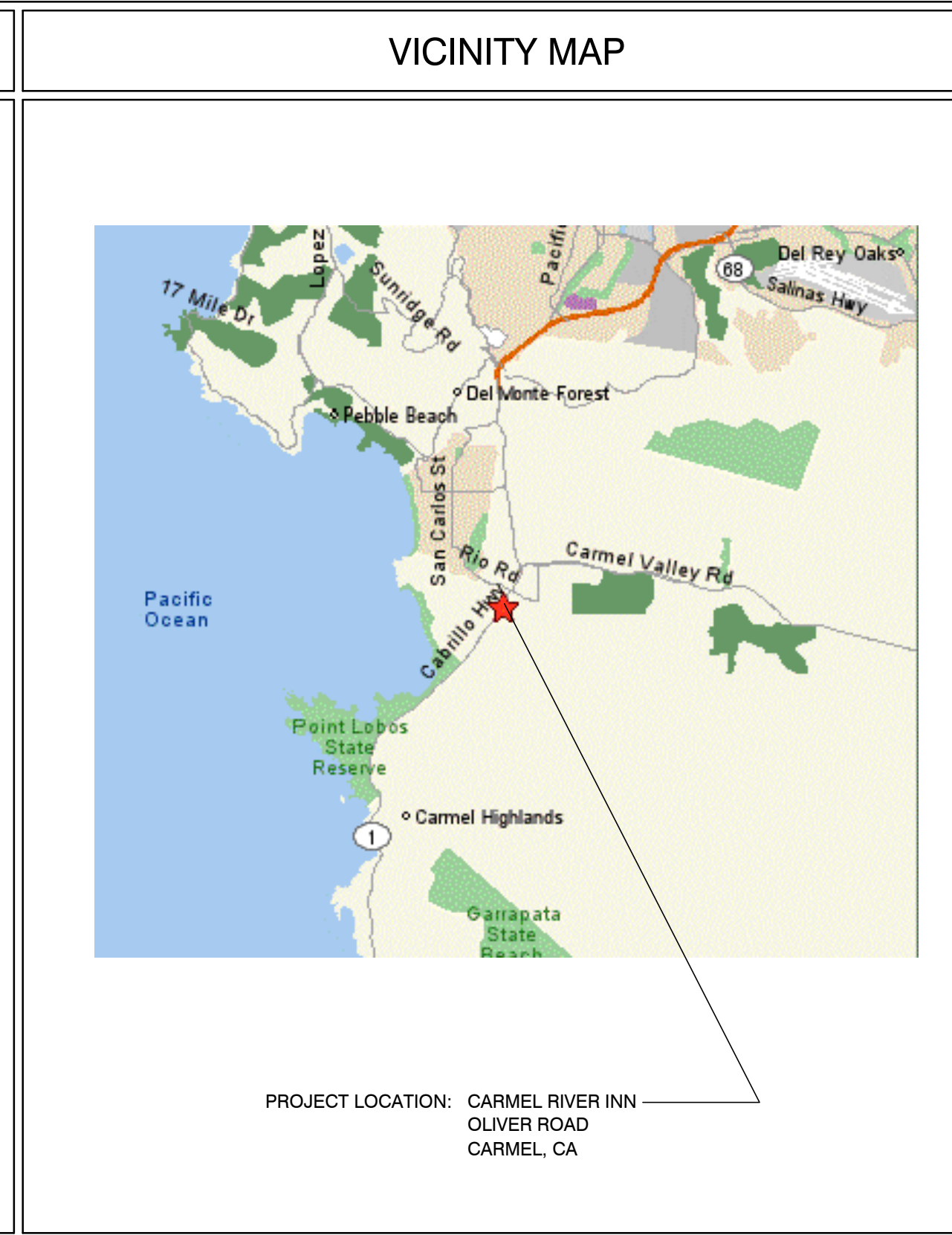
  

**25CP02377**

Monterey County  
Building Services  
**Approved**  
Adan Carlos on Aug 18, 2025

ABBREVIATIONS			
A	AND	DBL	DOUBLE
L	ANGLE	DEPT.	DEPARTMENT
AT	AT	DET.	DETAIL
CL	CENTERLINE	D.F.	DOUGLAS FIR
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG
Ø	DIAMETER	DIAG.	DIAGONAL
⊥	PERPENDICULAR	DIA.	DIAMETER
	PARALLEL	DIMEN.	DIMENSION
#	POUND OR NUMBER	DISP.	DISPENSER
(E)	EXISTING	DN	DOWN
A.B.	ANCHOR BOLT	DRWG.	DRAWING
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT
A.C.	ASPHALTIC CONCRETE	DWR.	DRAWER
AC	AIR CONDITIONING	E	EAST
ACOUS.	ACOUSTICAL	EA	EACH
ADJ.	ADJUSTABLE; ADJACENT	ELEV.	ELEVATION; ELEVATOR
AGGR.	AGGREGATE	ELEC.	ELECTRIC (AL)
ALUM.	ALUMINUM	EMER.	EMERGENCY
ANOD.	ANODIZED	ENCL.	ENCLOSURE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EQUIP.	EQUIPMENT
APPROX.	APPROXIMATE	EXIST. (E)	EXISTING
ARCH.	ARCHITECT (URAL)	EXH.	EXHAUST
BD.	BOARD	EXP.	EXPOSED EXPANSION
BIT.	BITUMINOUS	EXT.	EXTERIOR
BLDG.	BUILDING	F.A.	FIRE ALARM
BLK.	BLOCK	FAST.	FASTEN; FASTENER
BLKG.	BLOCKING	F.B.	FLAT BAR
B.M.	BENCH MARK	F.D.	FLOOR DRAIN
BM.	BEAM	FDN.	FOUNDATION
BOT.	BOTTOM	F.F.	FIRE EXTINGUISHER
BRG.	BEARING	FIBERGL.	FIBERGLASS
BTRN.	BETWEEN	FIN.	FINISH (ED)
B.W.	BOTHWAYS	F.H.M.S.	FLAT HEAD MACHINE SCREW
CAB.	CABINET	F.H.W.S.	FLAT HEAD WOOD SCREW
C.B.	CATCH BASIN	FLASH.	FLASHING
CEM.	CEMENT	FLR.	FLOOR (ING)
CERAM.	CERAMIC	FLUR.	FLUORESCENT
C.F.	CUBIC FOOT	F.O.	FACE OF
CLG.	CALLING	F.O.C.	FACE OF CONCRETE
CL.	CAST IRON	F.F.	FACE OF FINISH
CLGK.	CALLING	F.O.M.	FACE OF MASONRY
CL.	CEILING	F.P.	FIRERACE
CL.	CLOSE	F.S.	FULL SIZE
CL.	CLOSE	FT.	FOOT OR FEET
CL.	CLOSE	FTG.	FOOTING
COL.	COLUMN	FURR.	FURRED (ING)
COMP.	COMPOSITION	GA.	GAUGE
CONC.	CONCRETE	GALV.	GALVANIZED
CONN.	CONNECT (ION)	G.B.	GRAB BAR
CONSTR.	CONSTRUCT (ION)	G.I.	GALVANIZED IRON
CONTR.	CONTINUOUS	G.L.	GLASS; GLAZING
CORR.	CORRUGATED	GR.	GRADE; GRADING
CSMT.	CASEMENT	G.W.B.	GYPSUM WALLBOARD
CSWK.	CASEWORK	N	NORTH
C.T.	CERAMIC TILE	NAT.	NATURAL
CTR.	COUNTER	N.I.C.	NOT IN CONTRACT
CTSK.	COUNTERSINK	NOM.	NOMINAL
C.Y.	CUBIC YARD	N.S.	NOT TO SCALE
		O.V.	OVER
		OB.	OBS.
		OC.	ON CENTER
		OD.	OUTSIDE DIAMETER
		OFF.	OFFICE
		O.H.M.S.	OVALHEAD MACHINE SCREW
		O.H.W.S.	OVALHEAD WOOD SCREW
		OPNG.	OPENING
		OPP.	OPPOSITE
		O.S.B.	ORIENTED STRAND BOARD
		P.A.F.	POWDER ACTUATED FASTENER
		P.B.	PART. BD
		P.G.	PAINT GRADE
		P.F.	PERFORATED
		P.L.F.	POUNDS PER LINEAL FOOT
		P.L.	PROPERTY LINE
		P.L.	PLASTER
		P.L.	PLASTIC LAMINATE
		PLAS.	PLASTER
		PLY.	PLYWOOD
		PR.	PAIR
		P.S.F.	POUNDS PER SQUARE FOOT
		P.S.I.	POUNDS PER SQUARE INCH
		P.T.	PRESSURE TREATED
		PART.	PARTITION
		P.T.D.	PAPER TOWEL DISPENSER
		P.V.C.	POLYVINYL CHLORIDE
		R.	RISER (S)
		R.	RETURN AIR
		R.A.	RADIANT
		RAD.	RADIUS
		R.D.	ROUND DRAIN
		R.O.	ROUGH OPENING
		REF.	REFRIGERATOR
		REIN.	REINFORCED; REINFORCING
		REQD.	REQUIRED
		REOMT.	REQUIREMENT
		RESL.	RESILIENT
		R.H.M.S.	ROUND HEAD METAL SCREW
		R.H.W.S.	ROUND HEAD WOOD SCREW
		RM.	ROOM
		RUB.	RUBBER
		R.W.D.	REDWOOD
		R.W.L.	RAIN WATER LEADER
		S.	SOUTH
		S.B.	SOLID BLOCKING
		S.C.	SOLID CORE
		SCHED.	SCHEDULE
		S.D.	STORM DRAIN
		SECT.	SECTION
		SERV.	SERVICE
		S.F.	SQUARE FEET (FOOT)
		S.G.	STAIN GRADE
		SH.	SHELF; SHELVING
		SHWR.	SHOWER
		SHT.	SHEET
		SHTG.	SHEATHING
		SIM.	SIMILAR
		S.S.	STAINLESS STEEL
		S.M.	SHEET METAL
		S.M.S.	SHEET METAL SCREW
		SPECS.	SPECIFICATIONS
		SQ.	SQUARE
		STL.	STEEL
		STD.	STANDARD
		STAG.	STAGGERED
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		SYMM.	SYMMETRICAL
		SYS.	SYSTEM
		T.	TREAD (S)
		T.B.	TOWEL BAR
		T.C.	TOP OF CURB
		TEL.	TELEPHONE
		TEMP.	TEMPERED
		T.E.N.	TYPICAL EDGE MILING
		T & G	TONGUE AND GROOVE
		T.G.R.	TOP OF GRATE
		T.H.	THICK (NESS)
		THRESH.	THRESHOLD
		T.O.	TOP OF
		T.P.	TOP OF PAVEMENT
		T.P.H.	TOILET PAPER HOLDER
		TV	TELEVISION
		T.W.	TOP OF WALL
		TYP.	TYPICAL
		U.B.C.	UNIFORM BUILDING CODE
		U.L.	UNDERWRITERS LABORATORIES
		U.O.N.	UNLESS OTHERWISE NOTED
		UR.	URINAL
		V.B.	VAPOR BARRIER
		VAR.	VARIABLE
		V.G.	VERTICAL
		V.G.	VERTICAL GRAIN
		V.T.	VINYL TILE
		W.	WEST
		W.P.	WATERPROOF
		W.W.	WATER CLOSET
		W.	WITH
		W.C.	WOOD SCREW
		WD.	WOOD
		W.D.W.	WINDOW
		W.H.	WATER HEATER
		W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
		W.P.	WATERPROOF
		W.R.	WATER RESISTANT
		W.S.	WOOD SCREW
		W.SCT.	WARRANTY
		WT.	WEIGHT
		W.W.M.	WELDED WIRE MESH

SYMBOLS	
	DETAIL KEY DETAIL NUMBER SHEET NUMBER
	SECTION KEY SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE ROOM NAME ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION



PROJECT INFORMATION			
<b>OCCUPANCY CLASSIFICATION:</b>		<b>OCCUPANCY LOADS:</b>	
Occupancy Group and Div.	R1	Building Area	UNIT #17
		Factor	300
		Load	2
<b>OCCUPANCY SEPARATIONS:</b>		NONE	
<b>TYPE OF USE:</b>		MOTEL	
<b>TYPE OF CONSTRUCTION:</b>		V-B	
<b>SPRINKLERS REQUIRED:</b>		YES, NFPA 13-D	
<b>APPLICABLE CODES:</b>			
2022 California Building Code (CBC)			
2022 California Residential Code (CRC)			
2022 California Electrical Code (CEC)			
2022 California Mechanical Code (CMC)			
2022 California Plumbing Code (CPC)			
2022 California Energy Code (CEnC)			
Title 24			
PROJECT DIRECTORY			
<b>PROJECT OWNER</b>		<b>PROJECT ARCHITECT</b>	
CARMEL INN VENTURES		THE PAUL DAVIS PARTNERSHIP	
P.O. BOX 1796		286 ELDERADO STREET	
CARMEL VALLEY, CA 93924		MONTEREY, CA. 93940	
CONTACT: JOY BERRY / JAMES FLAGG		PHONE: (831) 373-2784	
PHONE: (949) 500-7069		FAX: (831) 373-7459	
		info@pauldavispartnership.com	
		CONTACT: PAUL E. DAVIS	

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# CARMEL RIVER INN

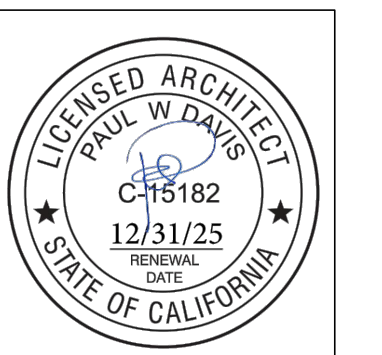
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# COTTAGE REMODEL #17/43 revised

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS



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Monterey, CA 93940  
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Drawn By: ML

Drawing Date: 07/15/2025

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Revisions:

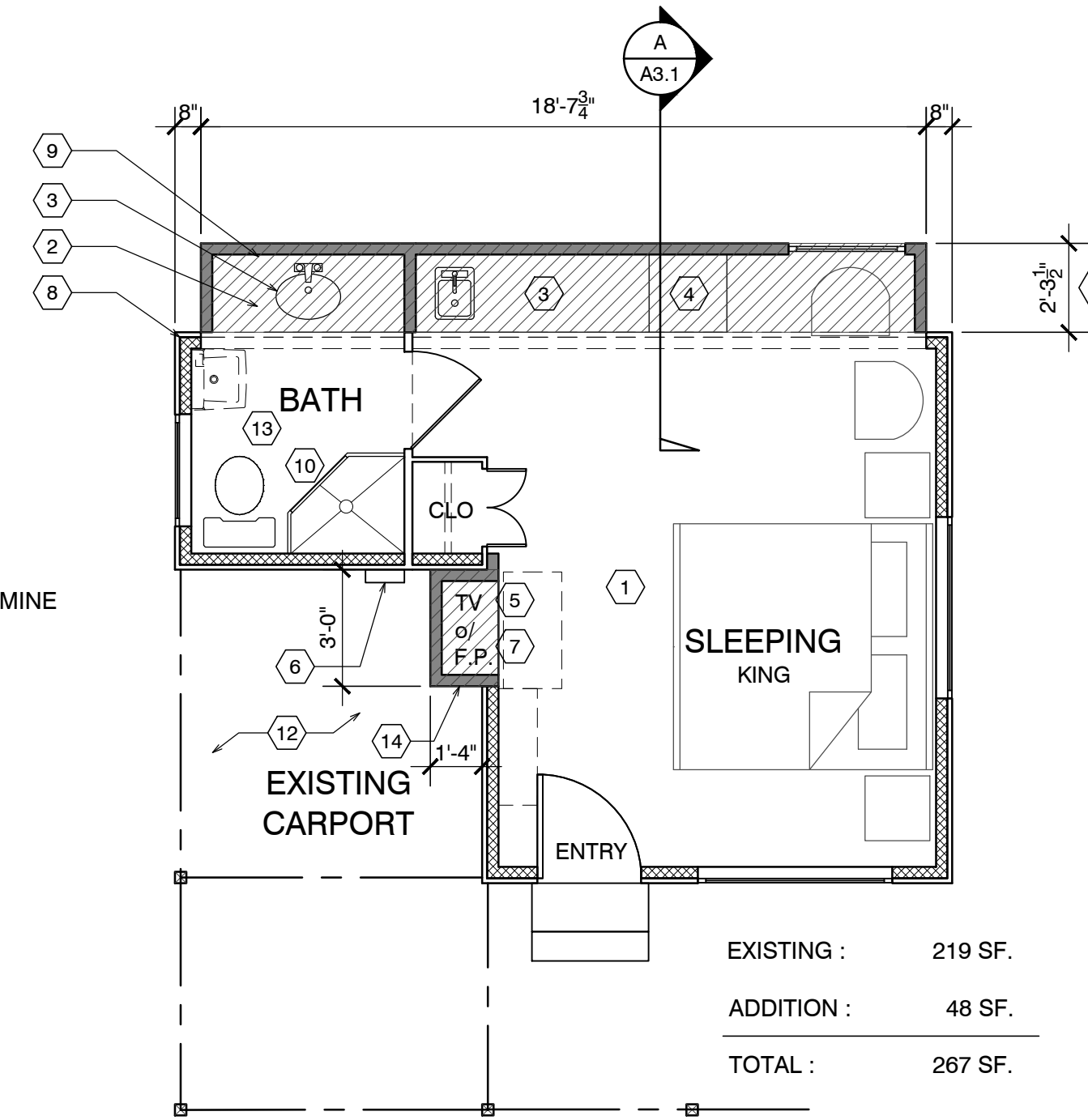
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## UNIT #17 FLOOR PLAN

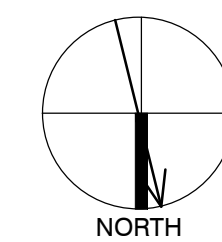
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### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. WR13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF

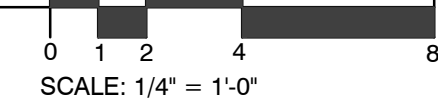


NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23



### FLOOR PLAN UNIT 17

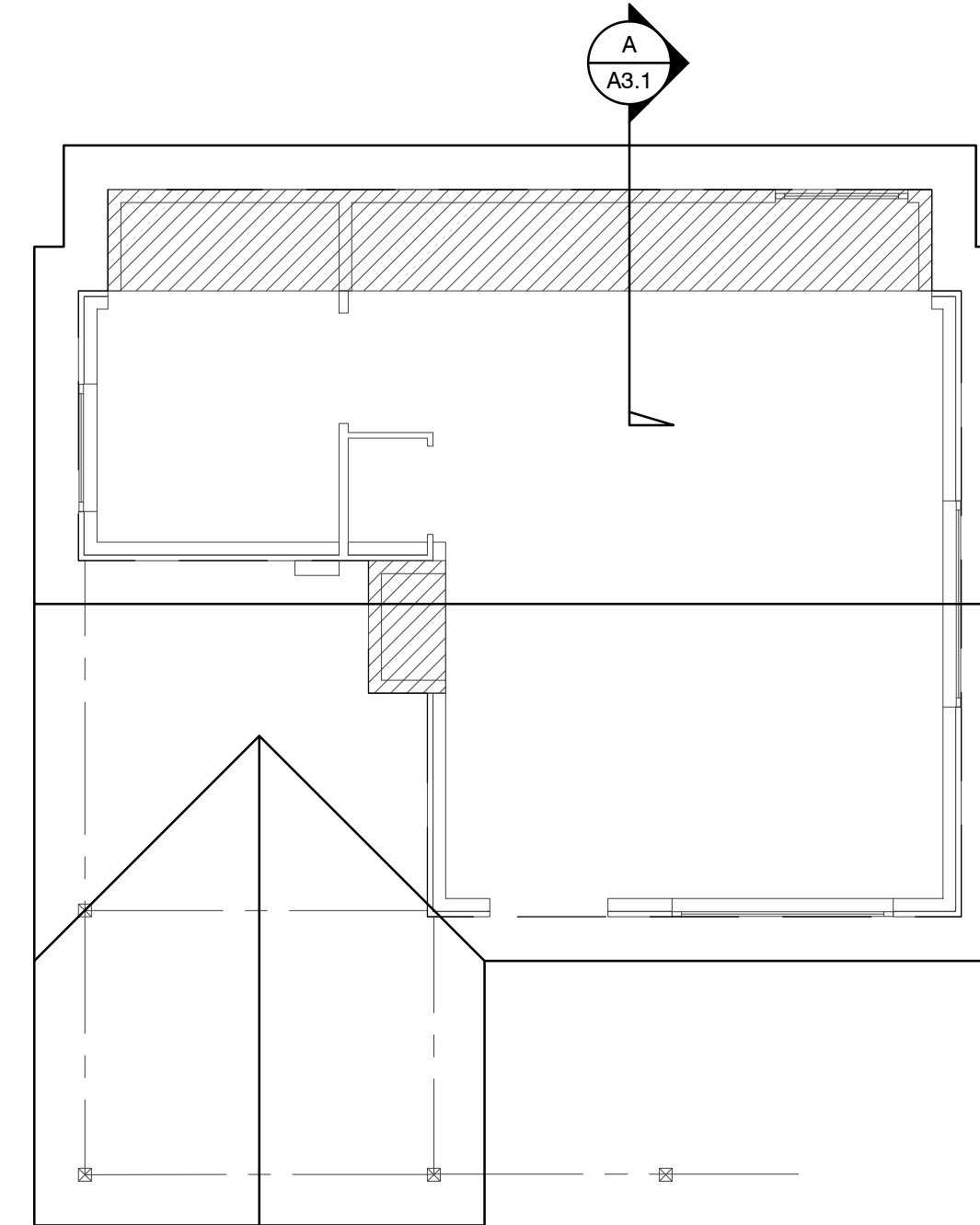
SCALE: 1/4" = 1'-0"



### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

#### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.

ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED



### ELECTRICAL LEGEND

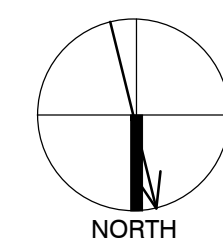
- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

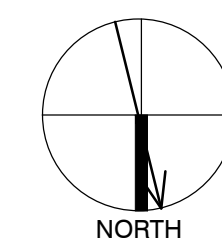
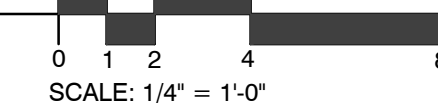
- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above floor line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad-non glue-down.

FOUNDATION VENT CALCULATION:  
41 SF / 150 = .27 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF



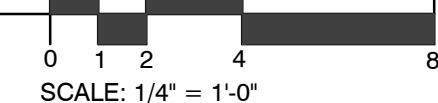
### FND. PLAN UNIT 17

SCALE: 1/4" = 1'-0"



### ROOF PLAN UNIT 17

SCALE: 1/4" = 1'-0"



### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 68'-3 1/2"  
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 18'-4 7/8"  
TOTAL DEMO = 26.5%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

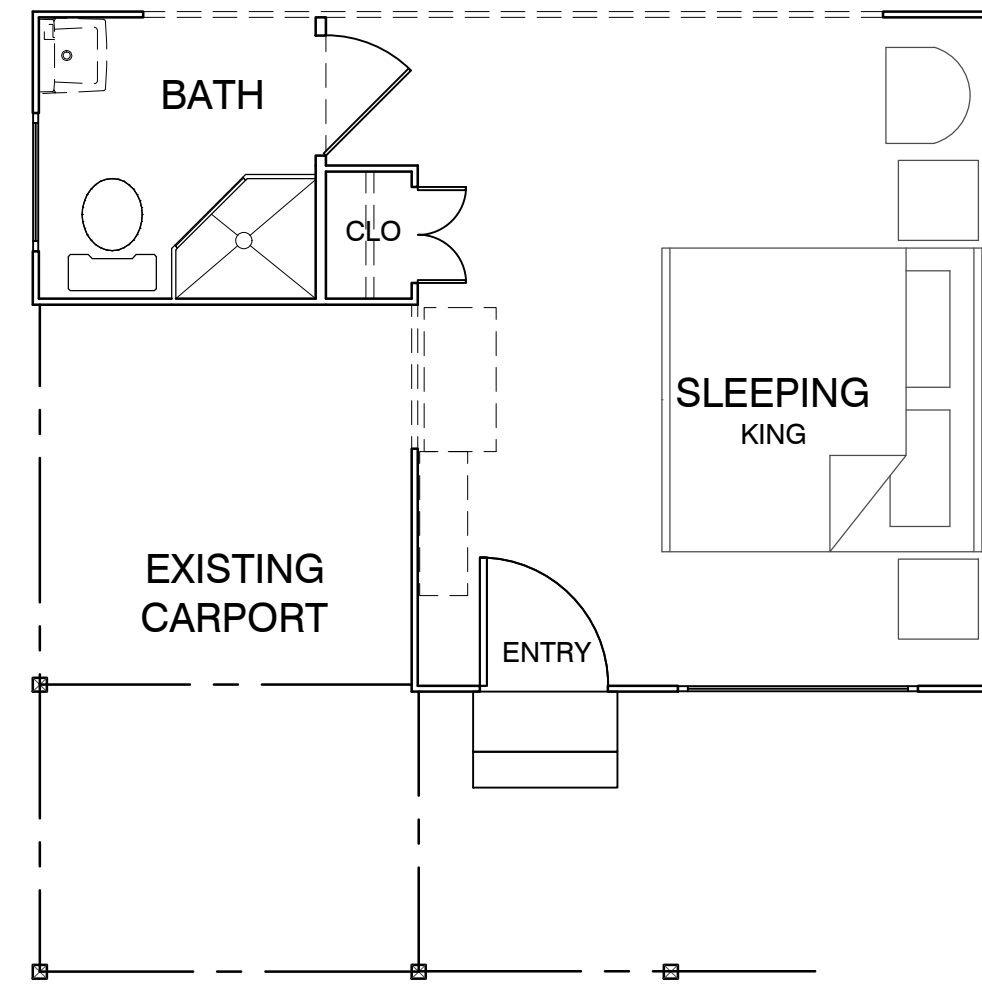
Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP.25,000 BTU 100 CFM. HEATILATOR GC1990

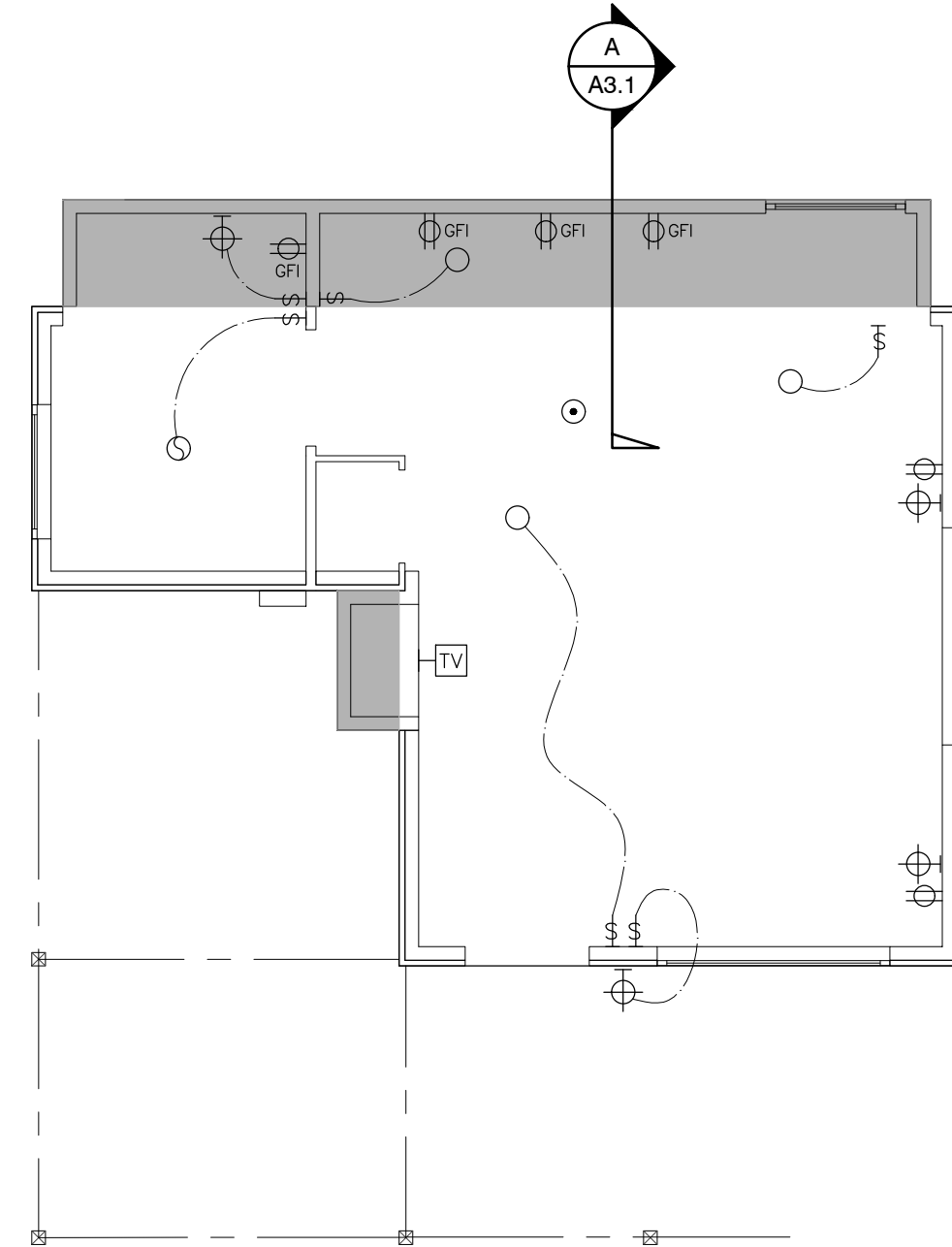
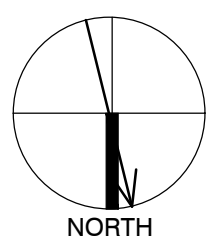
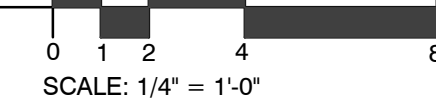
### RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWARE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE



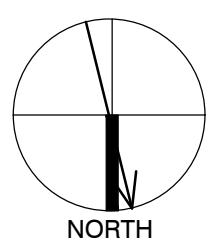
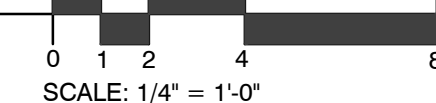
### DEMO PLAN UNIT 17

SCALE: 1/4" = 1'-0"



### ELECTRICAL PLAN UNIT 17

SCALE: 1/4" = 1'-0"



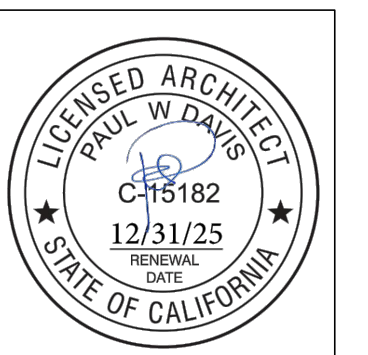
# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

## COTTAGE REMODEL #17/43 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



#### ELEVATION SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS  
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.

#### SECTION SHEET NOTES

1. (E) FLOOR FRAMING TO REMAIN (EXCEPT WHERE REPAIRS ARE NEEDED, AS DETERMINED IN THE FIELD) - ALL NEW FLOOR FRAMING TO BE PRESS-TREATED
2. (E) FOUNDATION TO REMAIN, TYP. REPLACE WHERE DETERMINED
3. NEW WALLS- 1X12 BOARDS O/ONE LAYER #30 FELT, O/2X4 FRAMING @ 16" O.C., TYP. ALL WALL FRAMING TO BE DFPT. ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS
4. R-13 BATT INSULATION @ ALL NEW WALLS, TYP. ADD 3/8" P.S. AT INTERIOR OF NEW WALLS
5. R-19 BATT INSULATION @ ALL NEW ROOF AREAS, TYP.
6. NEW 6x8 & BTR D.F. HEADER
7. EXTEND EXISTING OVERHANG @ FRONT DOOR OVER ADDITION W/ 2x 6'-0" LONG WALL TO EXISTING W/ 10'-18d
8. REUSE EXISTING WINDOW MATCH EXISTING TRIM
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



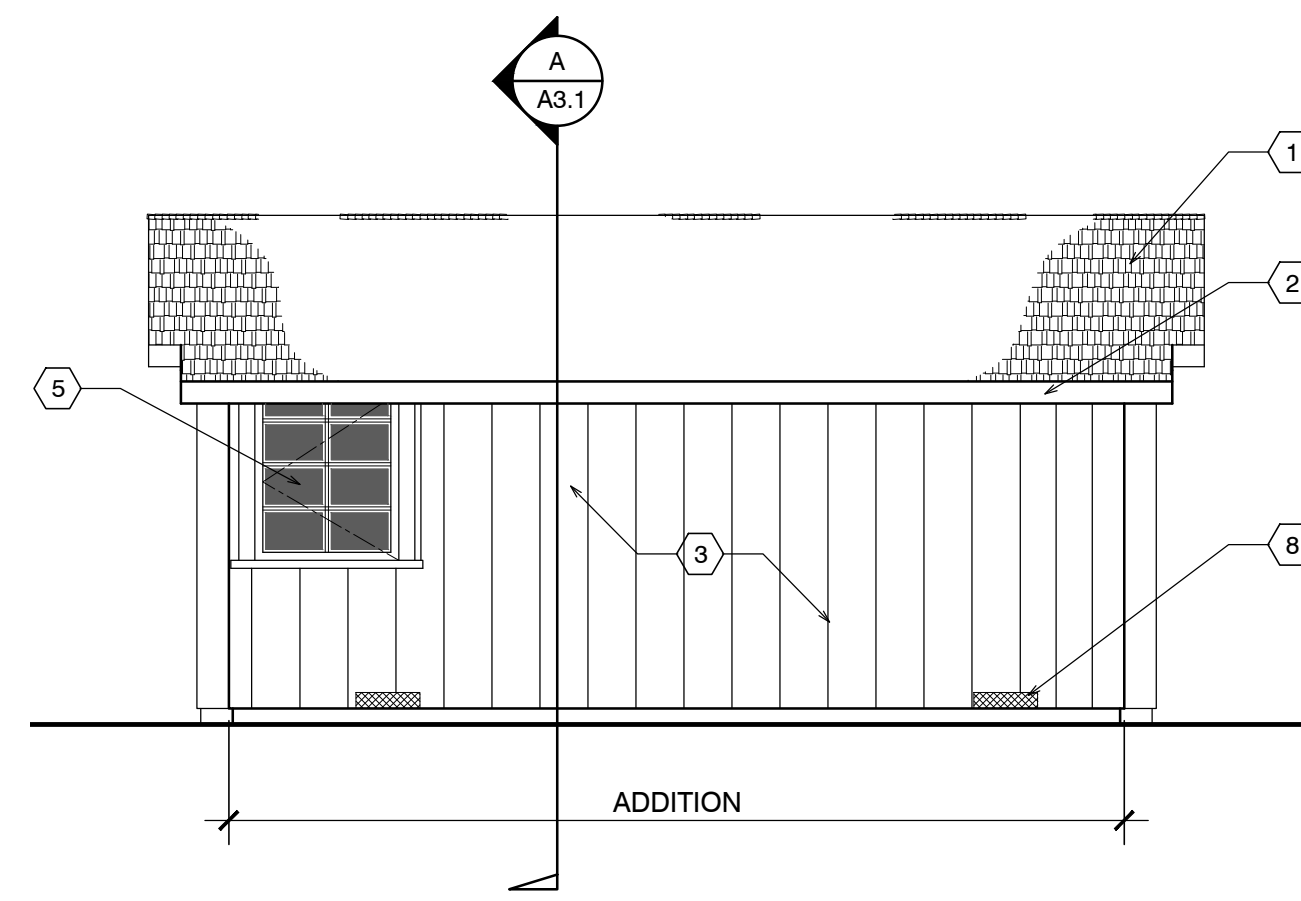
FRONT ELEVATION



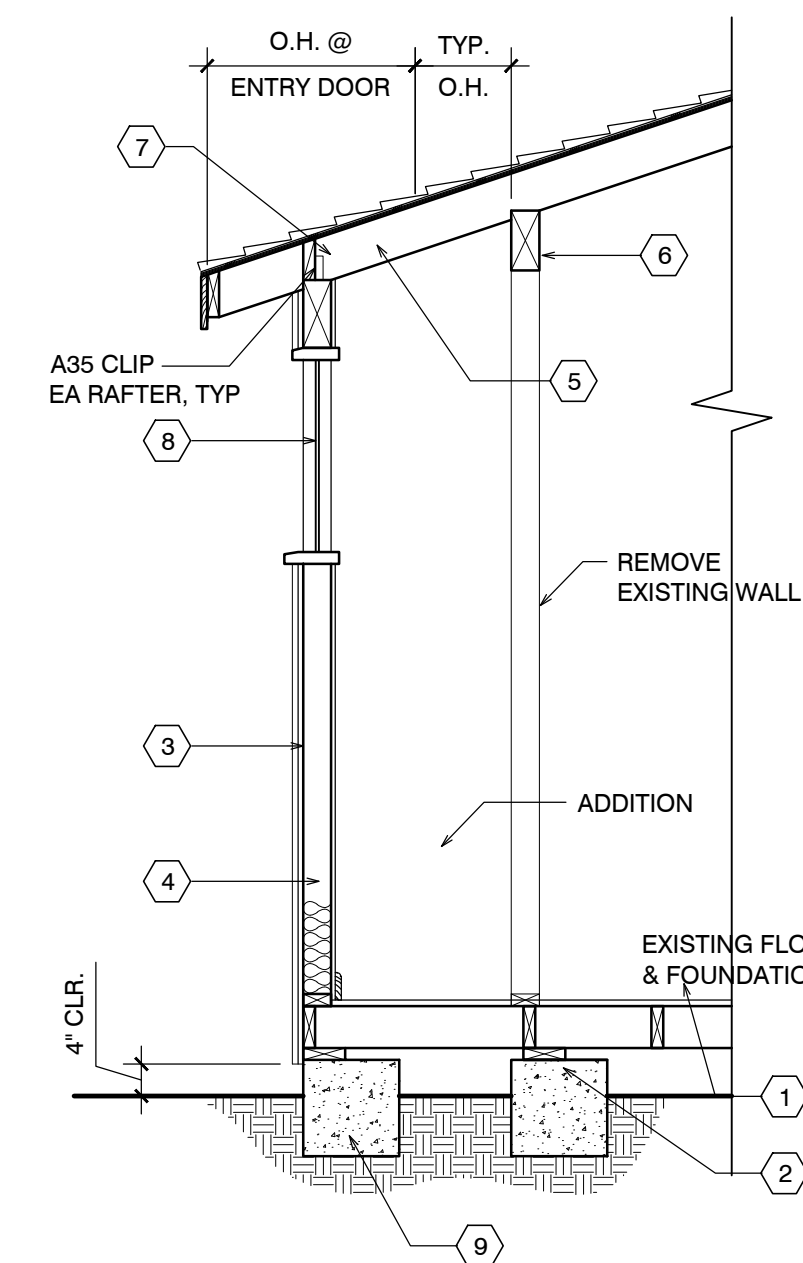
SIDE ELEVATION



SIDE ELEVATION



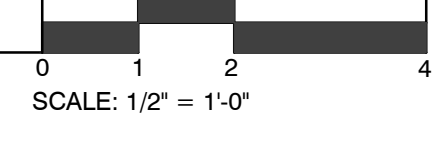
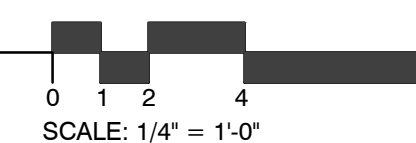
BACK ELEVATION



A UNIT #17 SECTION

### EXTERIOR ELEVATIONS UNIT #17

SCALE: 1/4" = 1'-0"



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:



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Sheet Title:  
**UNIT #17  
ELEVATIONS**

Sheet Number:

# CARMEL RIVER INN

## COTTAGE UNIT #18 REMODEL/ADDITION

Project / Owner:

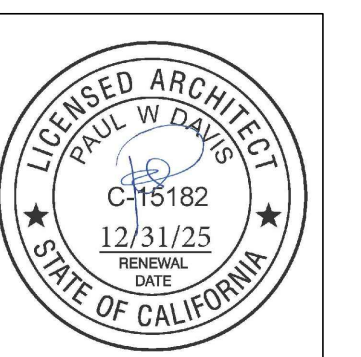
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### COTTAGE REMODEL #18/46 revised

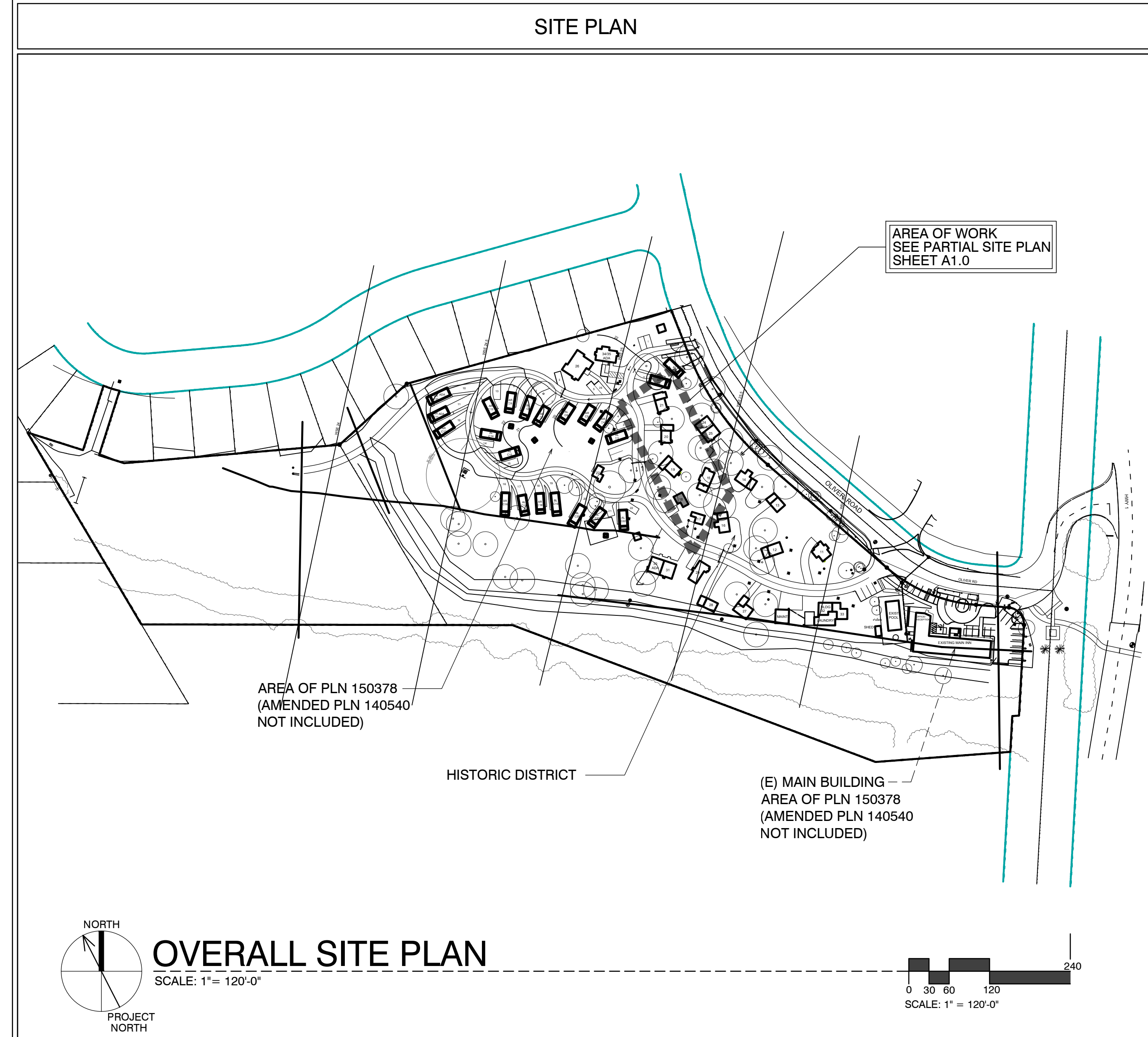
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Monterey, CA 93940  
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EMAIL: info@pauldavispartnership.com



**25CP02473**

Monterey County  
Building Services  
**Approved**  
Adan Carlos on Aug 18, 2025



SCOPE OF WORK	
•	REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 18
•	ADD NEW INSULATION IN WALLS @ EXTERIOR
•	ADDITION TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1
SHEET INDEX	
ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	COTTAGE #18 - DEMO, FLOOR, RCP, & ROOF PLAN
A3.1	ELEVATIONS & SECTION
DEVELOPMENT ANALYSIS	
A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

ABBREVIATIONS	
& L	AND ANGLE
@	AT
⊖	CENTERLINE
∅	DIAMETER OR ROUND
⊥	PERPENDICULAR
∥	PARALLEL
⊘	ROUND OR NUMBER EXISTING
(E)	EXISTING
A.B.	ANCHOR BOLT
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE
A.C.	ASPHALTIC CONCRETE
A.C.	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ADJ.	ADJUSTABLE, ADJACENT
AGGR.	AGGREGATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
A.P.A.	AMERICAN PLYWOOD ASSOCIATION
APPROX.	APPROXIMATE
ARCH.	ARCHITECT (URAL)
BD.	BOARD
BIT.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.M.	BENCH MARK
BM.	BEAM
BT.	BOTTOM
BRS.	BEARING
BTRN.	BETWEEN
B.W.	BOTH WAYS
CAB.	CABINET
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
C.F.	CUBIC FOOT
C.I.	CAST IRON
CLGK.	CALLING
CLG.	CEILING
CL.	CLOSE
CLR.	CLEAR (ANCE)
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECT (ION)
CONSTR.	CONSTRUCT (ION)
CONT.	CONTINUOUS
CORR.	CORRUGATED
CSMT.	CASEMENT
CSWK.	CASEWORK
C.T.	CERAMIC TILE
CTR.	COUNTER
CTSK.	COUNTERSINK
C.Y.	CUBIC YARD
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DOUGLAS FIR
D.H.	DOUBLE HUNG
DIAG.	DIAGONAL
DIA.	DIAMETER
DIMEN.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
DRWG.	DRAWING
D.S.	DOWNSPOUT
DWR.	DRAWER
E	EAST
EA.	EACH
ELEV.	ELEVATION, ELEVATOR
ELEC.	ELECTRIC (AL)
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXH.	EXHAUST
EXP.	EXPANDED EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
FAST.	FASTEN, FASTENER
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.F.	FIRE EXTINGUISHER
FIBERGL.	FIBERGLASS
FIN.	FINISH (ED)
F.H.M.S.	FLAT HEAD MACHINE SCREW
F.H.W.S.	FLAT HEAD WOOD SCREW
FLASH.	FLASHING
FLR.	FLOOR (ING)
FLUR.	FLOOR/RESIDENT
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.P.	FIREPLACE
F.S.	FULL SIZE
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRED (ING)
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.I.	GALVANIZED IRON
GL.	GLASS, GLAZING
GR.	GRADE, GRADING
G.W.B.	GYPSUM WALLBOARD
H.B.	HOSE BIB
HBD.	HARDBOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARDWOOD
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HOT.	HEIGHT
HTG.	HEATING
H.W.	HOT WATER
HVAC.	HEATING, VENTILATING, AND AIR CONDITIONING
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
I.D.	INSIDE DIAMETER
INCL.	INCLUDED, INCLUDING
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
J.H.	JOIST HANGER
JOINT.	JOINT
KIT.	KITCHEN
L.	LONG LENGTH
LAM.	LAMINATE, LAMINATED
LAV.	LAVATORY
L.B.	LAG BOLT
LOC.	LOCATE, LOCATION
L.W.	LIGHT WEIGHT
MAS.	MASONRY
MAT.	MATERIAL (S)
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.C.	MEDICINE CABINET
M.H.	MAN HOLE
M.ECH.	MECHANICAL
MEMB.	MEMBRANE
MEZZ.	MEZZANINE
MFG.	MANUFACTURE (ER)
MN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.L.D.G.	MOULDING
M.L.W.	MALLEABLE IRON WASHER
M.O.	MASONRY OPENING
MTL.	METAL
MULL.	MULLION
N.	NORTH
NAT.	NATURAL
N.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.	OVER
OBS.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OFFICE
O.H.M.S.	OVALHEAD MACHINE SCREW
O.H.W.S.	OVALHEAD WOOD SCREW
OPNG.	OPENING
OPP.	OPPOSITE
O.S.B.	ORIENTED STRAND BOARD
P.A.F.	POWDER ACTUATED FASTENER
P.B.	PART. BOARD
P.G.	PAINT GRADE
P.F.	PERFORATED
P.L.F.	POUNDS PER LINEAL FOOT
P.L.	PROPERTY LINE
P.L. LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLY.	PLYWOOD
P.P.	PAIR
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PART.	PARTITION
P.T.D.	PAPER TOWEL DISPENSER
P.V.C.	POLYVINYL CHLORIDE
R.	RISER (S)
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
REG.	REGISTER
REF.	REFRIGERATOR
REIN.	REINFORCED, REINFORCING
REQD.	REQUIRED
REMT.	REQUIREMENT
RESL.	RESILIENT
R.H.M.S.	ROUND HEAD METAL SCREW
R.H.W.S.	ROUND HEAD WOOD SCREW
RM.	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
R.S.	RESAWN
RUB.	RUBBER
R.W.D.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.B.	SOLID BLOCKING
S.C.	SOLID CORE
SCHED.	SCHEDULE
S.D.	STORM DRAIN
SECT.	SECTION
SERV.	SERVICE
S.F.	SQUARE FEET (FOOT)
S.G.	STAIN GRADE
SH.	SHELF, SHELVING
SHWR.	SHOWER
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.S.	STAINLESS STEEL
S.M.	SHEET METAL
S.M.S.	SHEET METAL SCREW
SPECS.	SPECIFICATIONS
SQ.	SQUARE
STL.	STEEL
STD.	STANDARD
STAG.	STAGGERED
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYMM.	SYMMETRICAL
SYM.	SYSTEM
T.	TREAD (S)
T.B.	TOWEL BAR
T.C.	TOP OF CURB
TEL.	TELEPHONE
TEMP.	TEMPERED
T.E.N.	TYPICAL EDGE MILING
T & G	TONGUE AND GROOVE
T.G.R.	TOP OF GRATE
T.H.	THICK (NESS)
THRESH.	THRESHOLD
T.O.	TOP OF
T.P.	TOP OF PAVEMENT
T.P.H.	TOILET PAPER HOLDER
T.V.	TELEVISION
T.W.	TOP OF WALL
TYP.	TYPICAL
U.B.C.	UNIFORM BUILDING CODE
U.L.	UNDERWRITER'S LABORATORIES
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
V.B.	VAPOR BARRIER
VAR.	VARIABLE
V.G.	VERTICAL
V.G.T.	VERTICAL GRAIN
V.T.	VINYL TILE
W.	WEST
W.W.	WIDE WIDTH
W.P.	WATERPROOF
W.D.	WOOD
W.H.	WINDOW
W.W.	WATER HEATER
W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
W/O.	WITHOUT
W.P.	WATERPROOF
W.R.	WATER RESISTANT
W.S.	WOOD SCREW
W.SCT.	WHANSLOT
WT.	WEIGHT
W.W.M.	WELDED WIRE MESH

SYMBOLS	
	DETAIL KEY SHEET NUMBER SHEET NUMBER
	SECTION KEY SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE ROOM NAME ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION

VICINITY MAP	
	PROJECT LOCATION: CARMEL RIVER INN OLIVER ROAD CARMEL, CA

PROJECT INFORMATION	
OCCUPANCY CLASSIFICATION:	OCCUPANCY LOADS:
Building UNIT #18	Occupancy Group and Div. R1
Building Area UNIT #18	Factor 300
	Load 2
OCCUPANCY SEPARATIONS:	NONE
TYPE OF USE:	MOTEL
TYPE OF CONSTRUCTION:	V-B
SPRINKLERS REQUIRED:	YES, NFPA 13-D
APPLICABLE CODES:	2022 California Building Code (CBC) 2022 California Residential Code (CRC) 2022 California Electrical Code (CEC) 2022 California Mechanical Code (CMC) 2022 California Plumbing Code (CPC) 2022 California Energy Code (CEnc) Title 24

ABBREVIATIONS	
& L	AND ANGLE
@	AT
⊖	CENTERLINE
∅	DIAMETER OR ROUND
⊥	PERPENDICULAR
∥	PARALLEL
⊘	ROUND OR NUMBER EXISTING
(E)	EXISTING
A.B.	ANCHOR BOLT
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE
A.C.	ASPHALTIC CONCRETE
A.C.	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ADJ.	ADJUSTABLE, ADJACENT
AGGR.	AGGREGATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
A.P.A.	AMERICAN PLYWOOD ASSOCIATION
APPROX.	APPROXIMATE
ARCH.	ARCHITECT (URAL)
BD.	BOARD
BIT.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.M.	BENCH MARK
BM.	BEAM
BT.	BOTTOM
BRS.	BEARING
BTRN.	BETWEEN
B.W.	BOTH WAYS
CAB.	CABINET
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
C.F.	CUBIC FOOT
C.I.	CAST IRON
CLGK.	CALLING
CLG.	CEILING
CL.	CLOSE
CLR.	CLEAR (ANCE)
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECT (ION)
CONSTR.	CONSTRUCT (ION)
CONT.	CONTINUOUS
CORR.	CORRUGATED
CSMT.	CASEMENT
CSWK.	CASEWORK
C.T.	CERAMIC TILE
CTR.	COUNTER
CTSK.	COUNTERSINK
C.Y.	CUBIC YARD
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DOUGLAS FIR
D.H.	DOUBLE HUNG
DIAG.	DIAGONAL
DIA.	DIAMETER
DIMEN.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
DRWG.	DRAWING
D.S.	DOWNSPOUT
DWR.	DRAWER
E	EAST
EA.	EACH
ELEV.	ELEVATION, ELEVATOR
ELEC.	ELECTRIC (AL)
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXH.	EXHAUST
EXP.	EXPANDED EXPANSION
EXT.	EXTERIOR
F.A.	FIRE ALARM
FAST.	FASTEN, FASTENER
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.F.	FIRE EXTINGUISHER
FIBERGL.	FIBERGLASS
FIN.	FINISH (ED)
F.H.M.S.	FLAT HEAD MACHINE SCREW
F.H.W.S.	FLAT HEAD WOOD SCREW
FLASH.	FLASHING
FLR.	FLOOR (ING)
FLUR.	FLOOR/RESIDENT
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.P.	FIREPLACE
F.S.	FULL SIZE
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRED (ING)
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.I.	GALVANIZED IRON
GL.	GLASS, GLAZING
GR.	GRADE, GRADING
G.W.B.	GYPSUM WALLBOARD
H.B.	HOSE BIB
HBD.	HARDBOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARDWOOD
HDWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HOT.	HEIGHT
HTG.	HEATING
H.W.	HOT WATER
HVAC.	HEATING, VENTILATING, AND AIR CONDITIONING
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
I.D.	INSIDE DIAMETER
INCL.	INCLUDED, INCLUDING
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
J.H.	JOIST HANGER
JOINT.	JOINT
KIT.	KITCHEN
L.	LONG LENGTH
LAM.	LAMINATE, LAMINATED
LAV.	LAVATORY
L.B.	LAG BOLT
LOC.	LOCATE, LOCATION
L.W.	LIGHT WEIGHT
MAS.	MASONRY
MAT.	MATERIAL (S)
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.C.	MEDICINE CABINET
M.H.	MAN HOLE
M.ECH.	MECHANICAL
MEMB.	MEMBRANE
MEZZ.	MEZZANINE
MFG.	MAN

# CARMEL RIVER INN

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APN: 009-563-005

# COTTAGE REMODEL #18/46 revised

## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

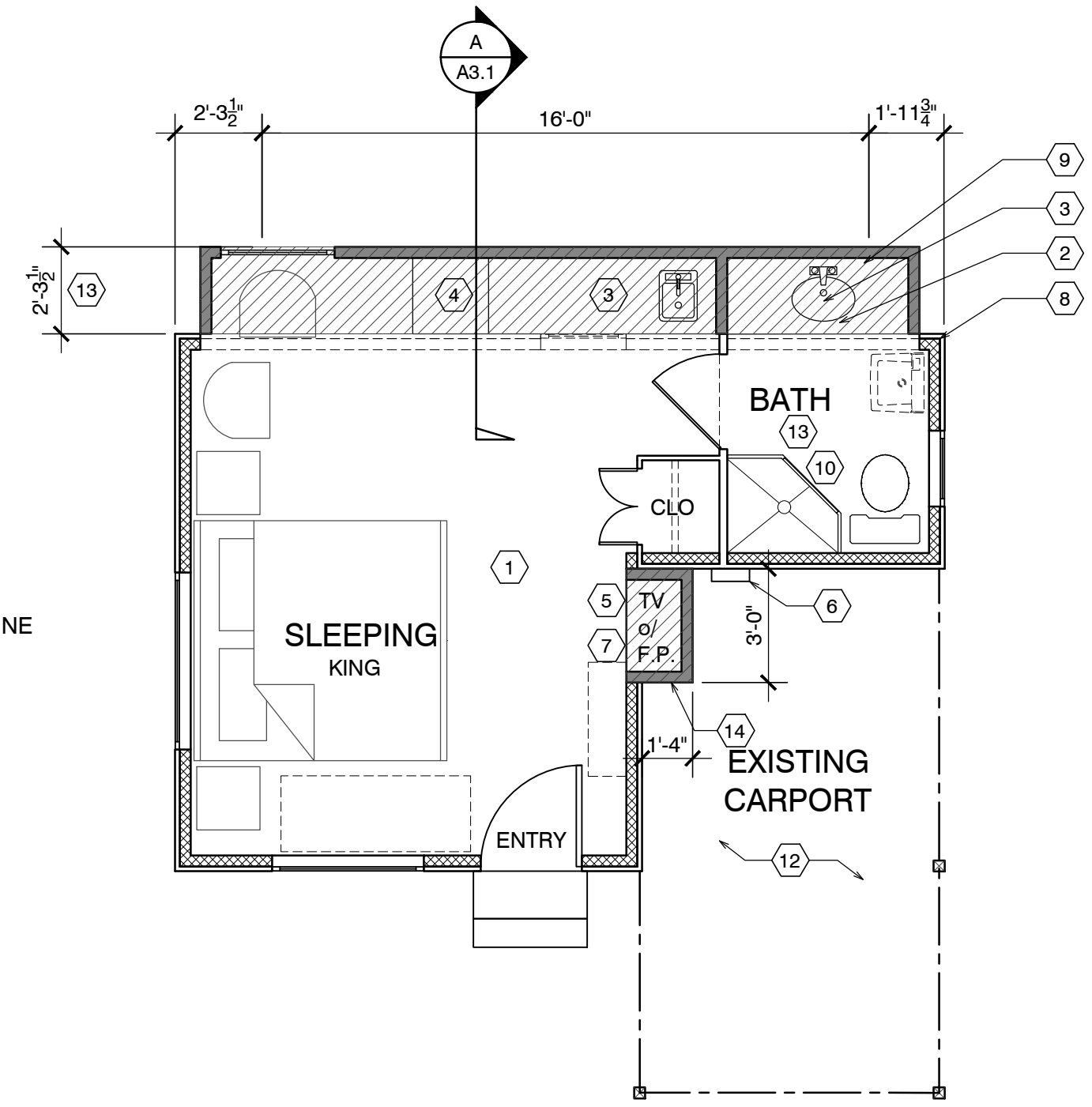
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Sheet Title:  
**UNIT #18 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. WR13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
- NEW ADDITION UNDER EXISTING ROOF



EXISTING :	224 SF.
ADDITION :	48 SF.
TOTAL :	272 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23



### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/8" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1" HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD. TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.  
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED



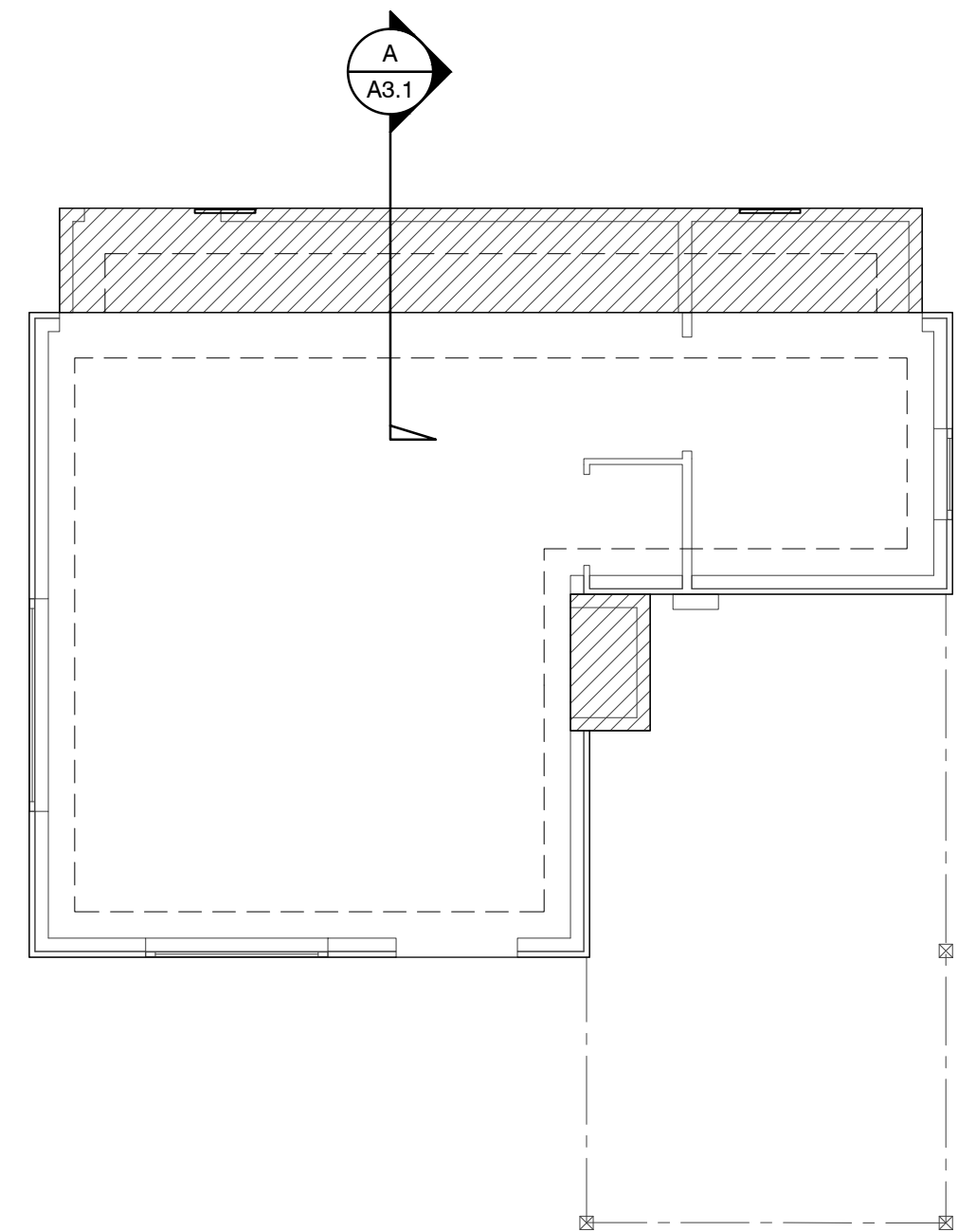
### ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ DEDICATED CIRCUIT (20 amps)
- ⊕ 220 VOLT OUTLET
- ⊕ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ GFI OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- ⊕ TELEPHONE JACK
- ⊕ HIGH SPEED DATA LINE
- ⊕ THERMOSTAT CONTROL
- ⊕ TELEVISION CABLE
- ⊕ GAS OUTLET
- ⊕ KEY VALVE
- ⊕ HOSE BIBB VALVE
- ⊕ WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



FOUNDATION VENT CALCULATION:  
41 SF / 150 = .27 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF



### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE	=	68'-11"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED	=	18'-3 1/4"
TOTAL DEMO	=	26.7%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- ≡ ≡ ≡ EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

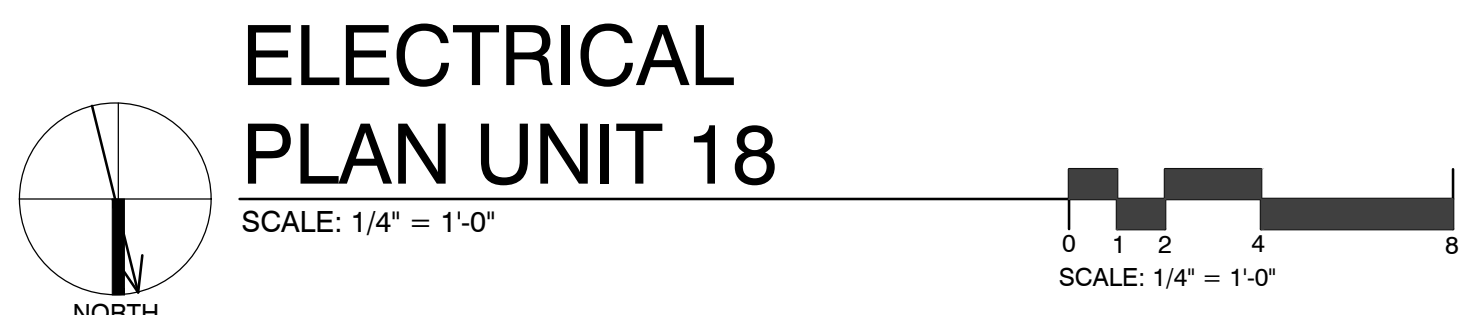
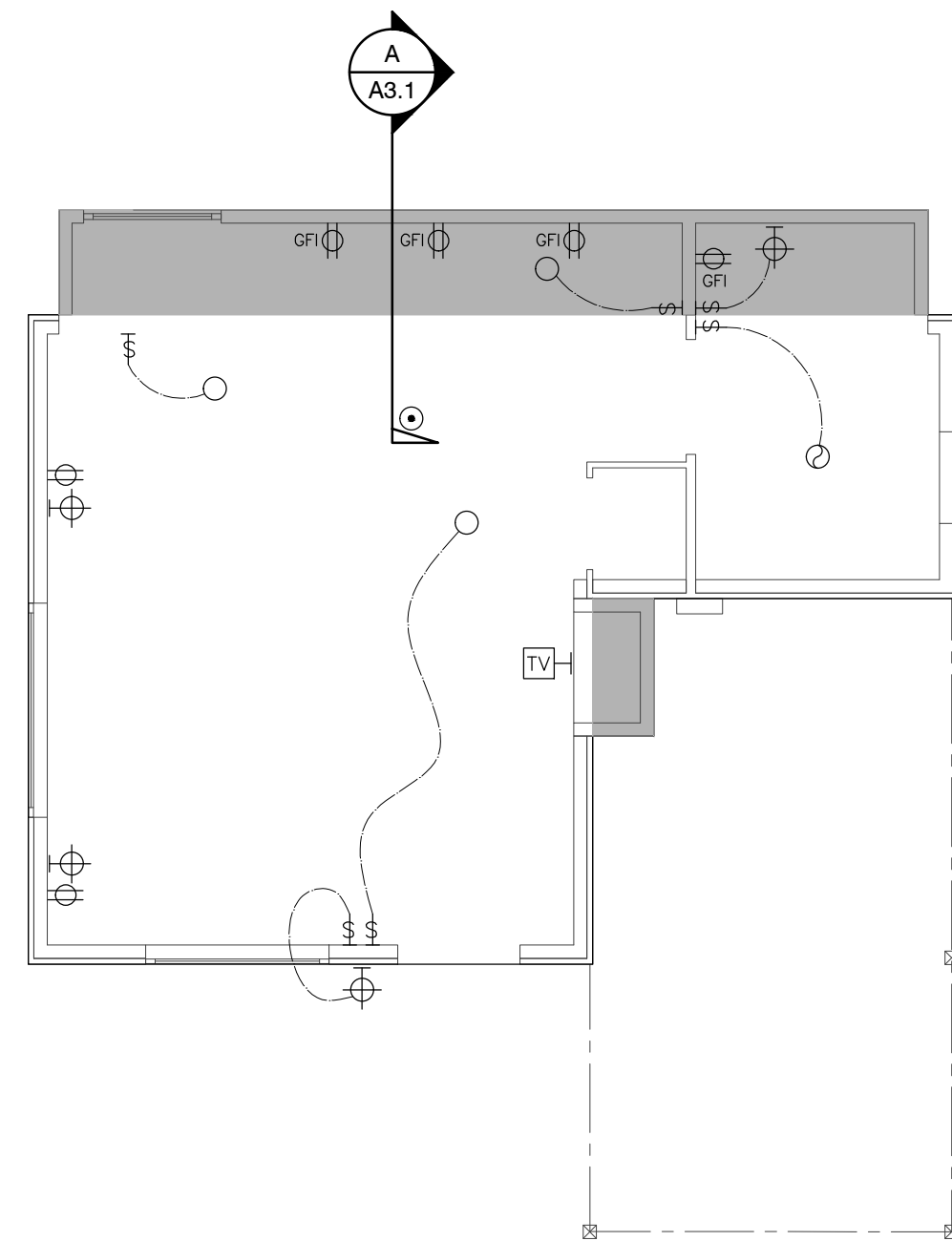
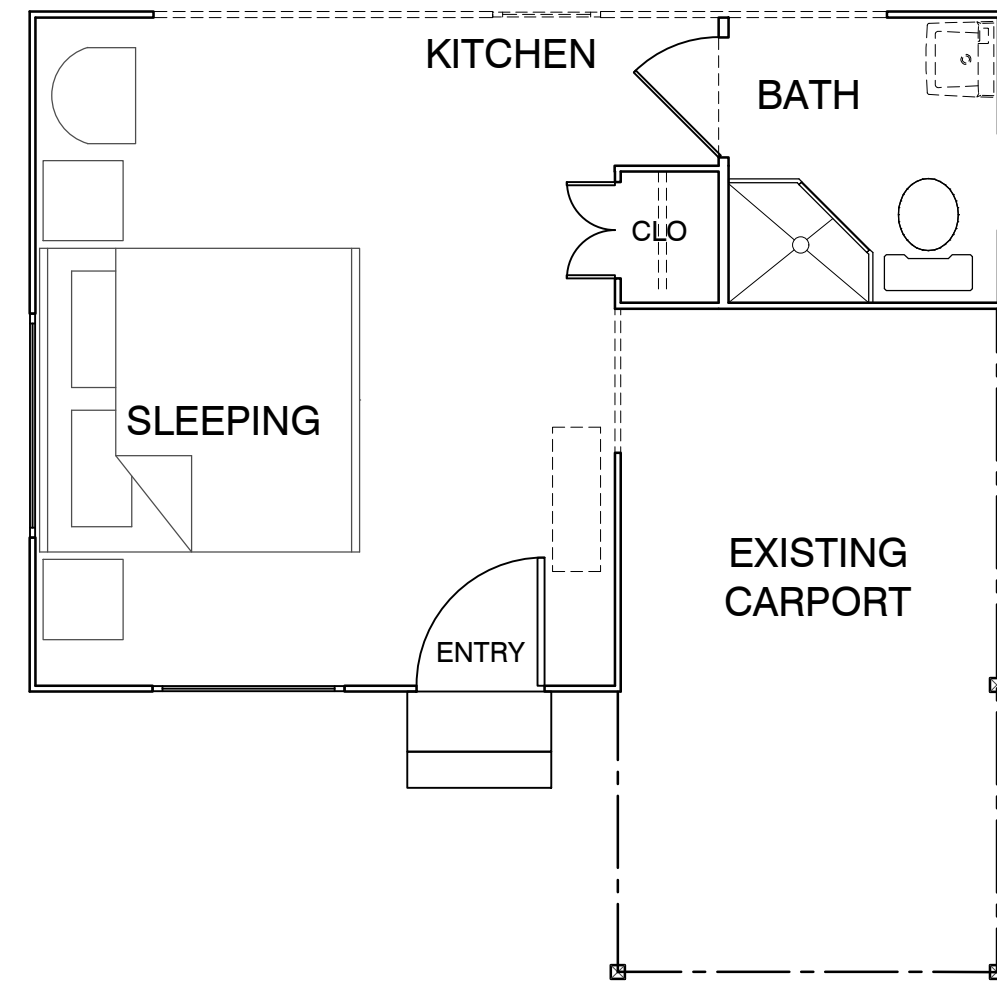
Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere of branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPECCD BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED WALL WASHER
- ⊕ SURFACE MOUNTED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ COMBINATION LIGHT & EXHAUST FAN FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE



# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

## COTTAGE REMODEL #18/46 revised

### SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS  
1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



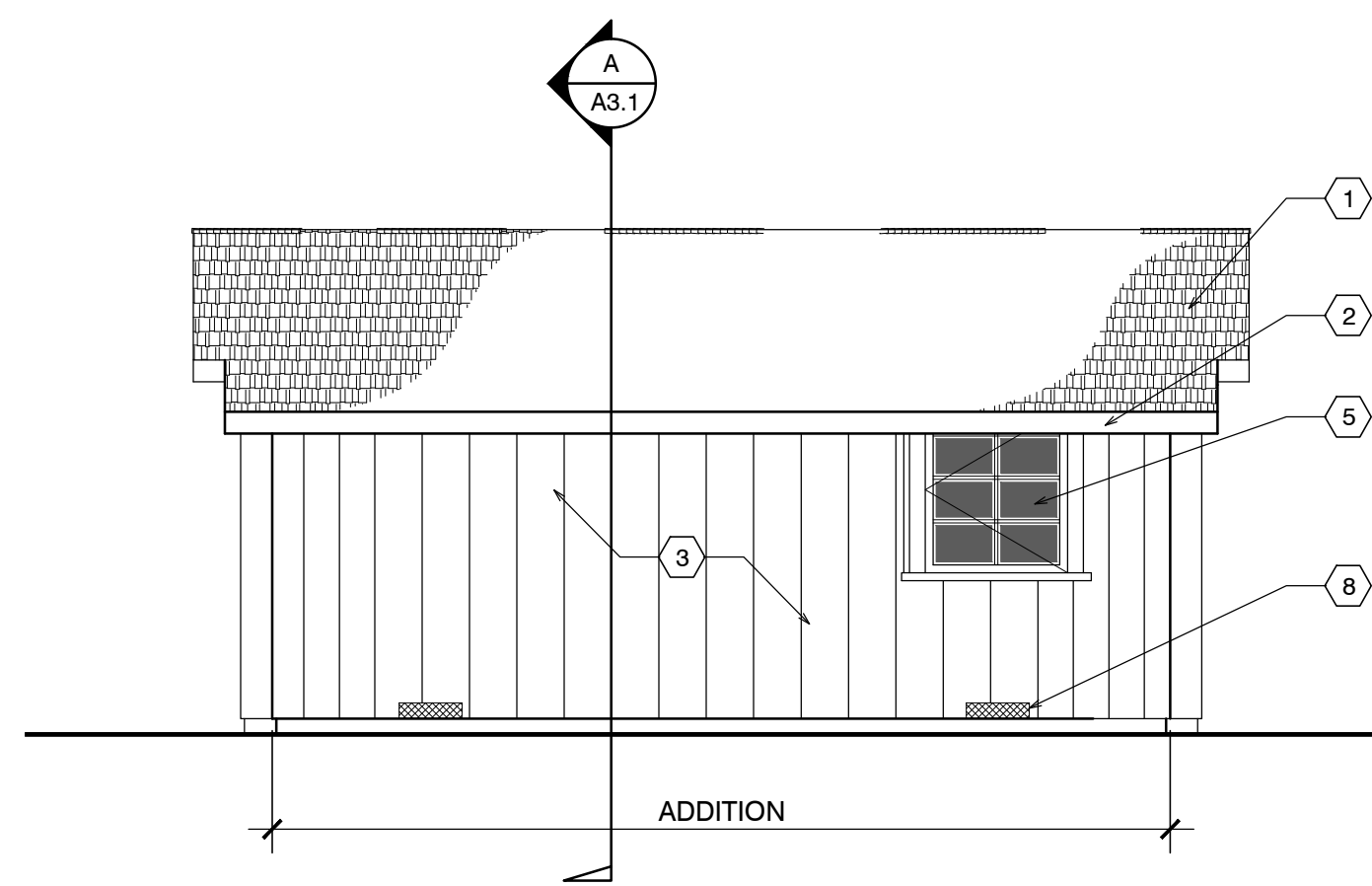
FRONT ELEVATION



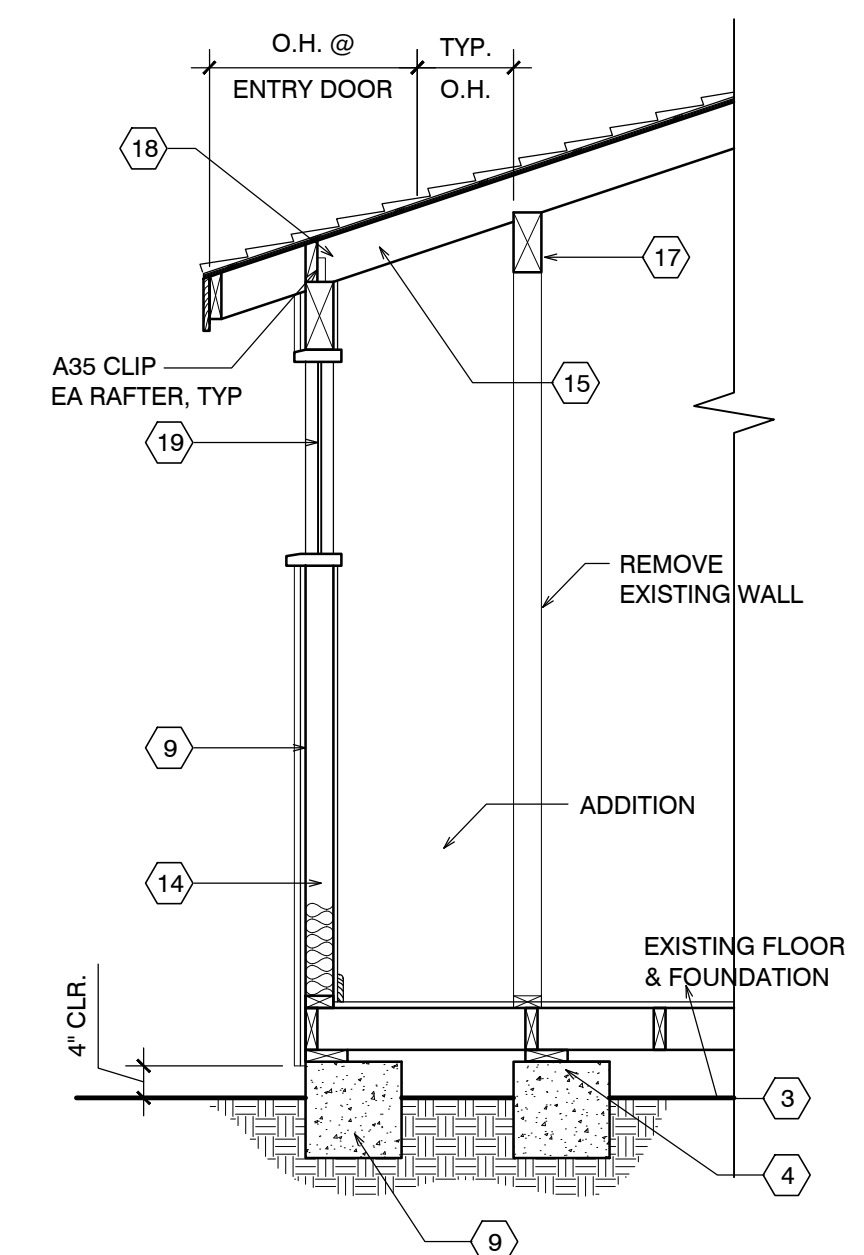
SIDE ELEVATION



SIDE ELEVATION



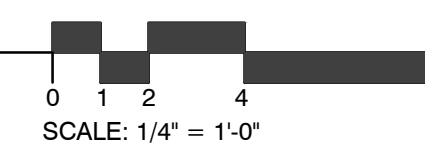
BACK ELEVATION



UNIT #18 SECTION

### EXTERIOR ELEVATIONS UNIT #18

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:

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Sheet Title:  
**UNIT #18  
ELEVATIONS**

Sheet Number:

# CARMEL RIVER INN

## COTTAGE UNIT #19 (now 47) REMODEL/ADDITION

Project / Owner:

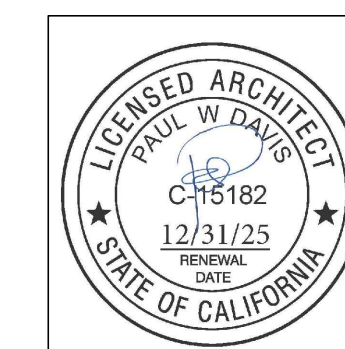
### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-03

### COTTAGE REMODEL #19/47 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



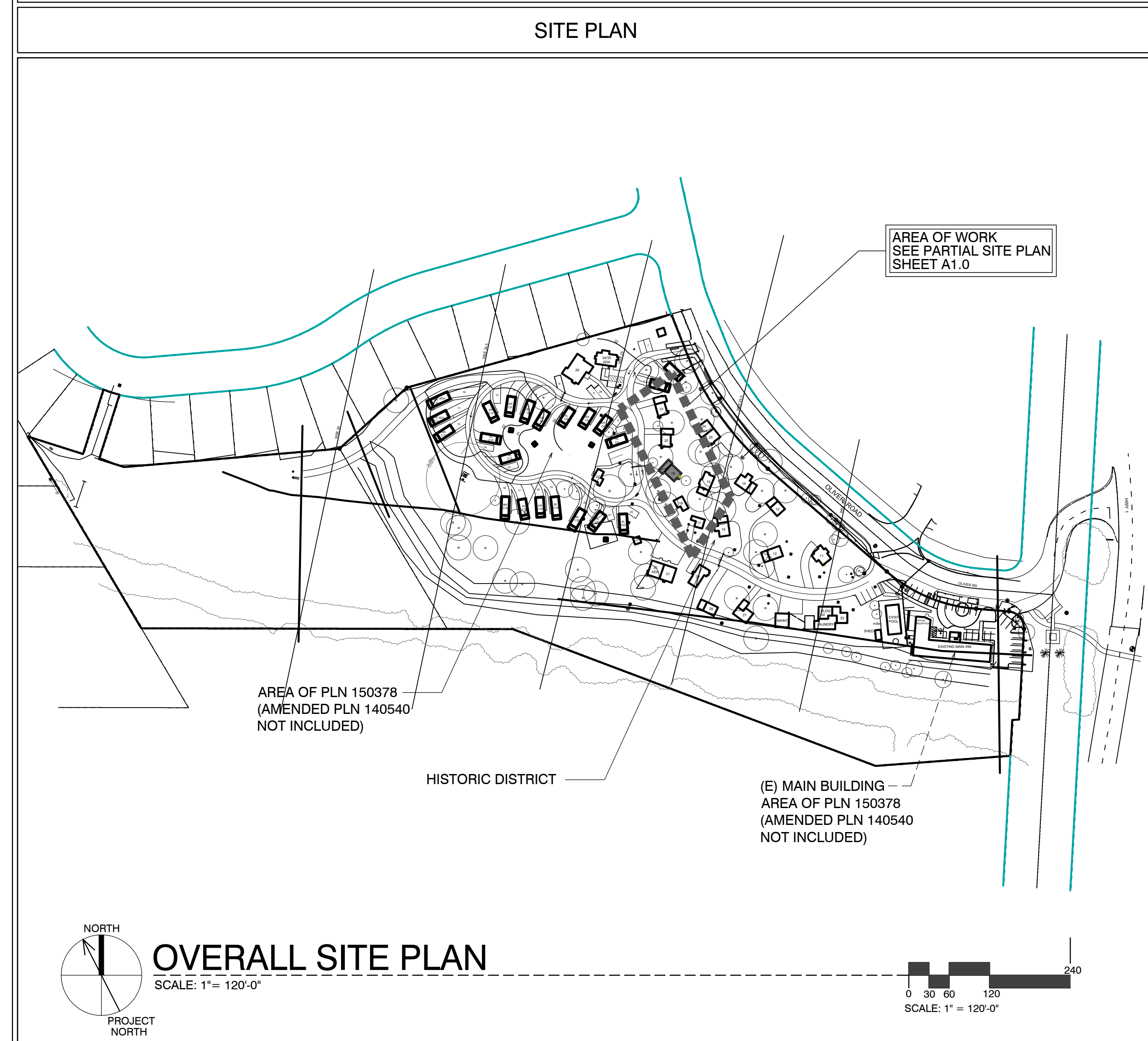
Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:

### COVER SHEET PROJECT INFO

Sheet Number:

# A0.1



SCOPE OF WORK	
•	REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 19
•	ADD NEW INSULATION IN WALL @ EXTERIOR
•	ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, & A3.1

SHEET INDEX	
ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #19 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

DEVELOPMENT ANALYSIS	
A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

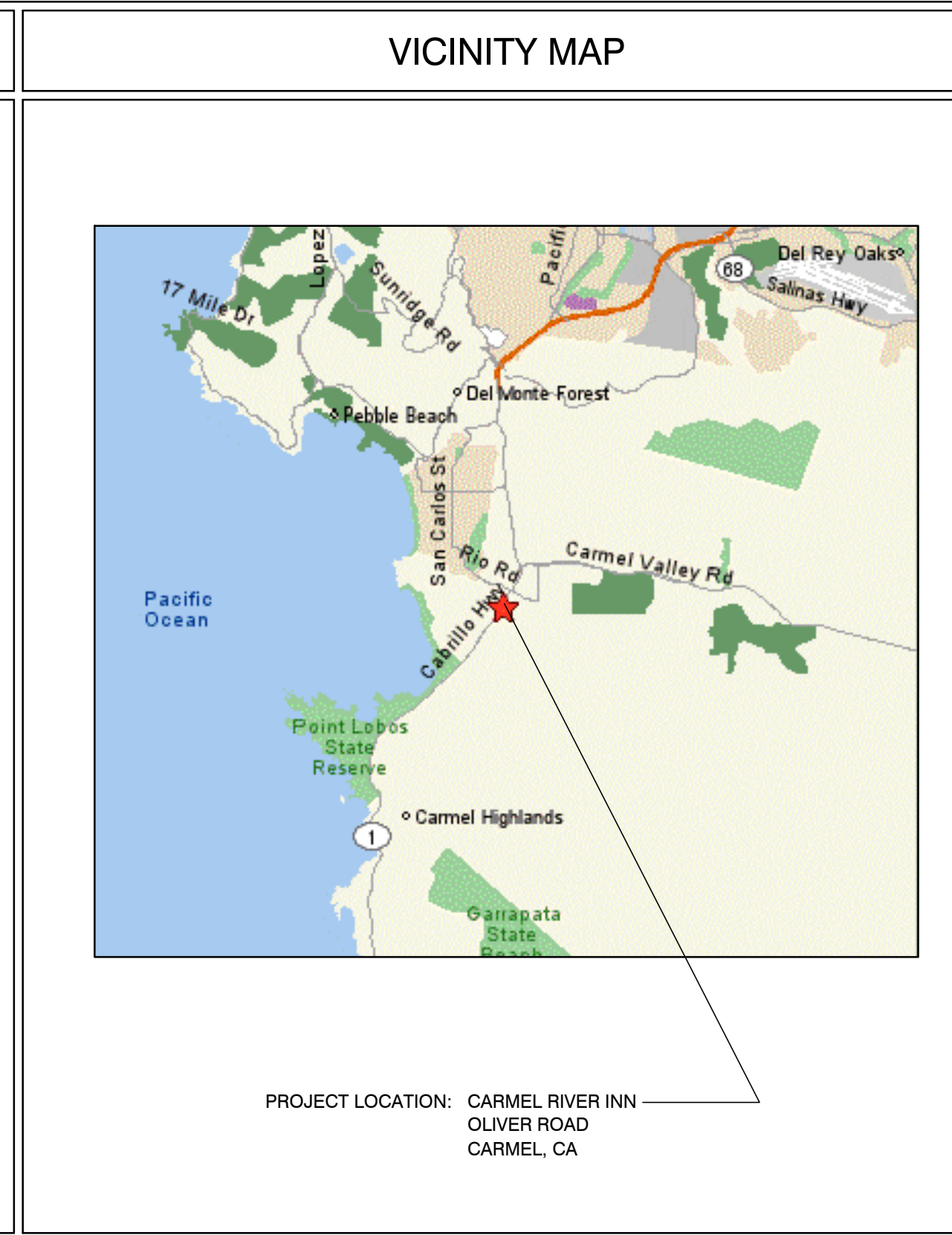
  

**25CP02472**

Monterey County  
Building Services  
Approved  
Adan Carlos on Aug 18, 2025

ABBREVIATIONS			
A	AND	DBL	DOUBLE
L	ANGLE	DEPT.	DEPARTMENT
AT	AT	DET.	DETAIL
CL	CENTERLINE	D.F.	DOUGLAS FIR
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG
Ø	DIAMETER OR ROUND	DAG.	DIAGONAL
∟	PERPENDICULAR	DIA.	DIAMETER
∥	PARALLEL	DIMEN.	DIMENSION
#	POUND OR NUMBER	DISP.	DISPENSER
(E)	EXISTING	DN.	DOWN
A.B.	ANCHOR BOLT	DRWG.	DRAWING
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT
A.C.	ASPHALTIC CONCRETE	DWR.	DRAWER
AC	AIR CONDITIONING	E	EAST
ACOUS.	ACOUSTICAL	EA	EACH
ADJ.	ADJUSTABLE, ADJACENT	ELEV.	ELEVATION, ELEVATOR
AGGR.	AGGREGATE	ELEC.	ELECTRIC (AL)
ALUM.	ALUMINUM	EMER.	EMERGENCY
ANOD.	ANODIZED	ENCL.	ENCLOSURE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EQUIP.	EQUIPMENT
APPROX.	APPROXIMATE	EXIST. (E)	EXISTING
ARCH.	ARCHITECT (URAL)	EXH.	EXHAUST
BD.	BOARD	EXP.	EXPOSED EXPANSION
BIT.	BITUMINOUS	EXT.	EXTERIOR
BLDG.	BUILDING	F.A.	FIRE ALARM
BLK.	BLOCK	FAST.	FASTEN, FASTENER
BLKG.	BLOCKING	F.B.	FLAT BAR
B.M.	BENCH MARK	F.D.	FLOOR DRAIN
BM.	BEAM	FDN.	FOUNDATION
BOT.	BOTTOM	F.E.	FIRE EXTINGUISHER
BRG.	BEARING	FIBERGL.	FIBERGLASS
BTRN.	BETWEEN	FIN.	FINISH (ED)
B.W.	BOTHWAYS	F.H.M.S.	FLAT HEAD MACHINE SCREW
CAB.	CABINET	F.H.W.S.	FLAT HEAD WOOD SCREW
C.B.	CATCH BASIN	FLASH.	FLASHING
CEM.	CEMENT	FLR.	FLOOR (ING)
CERAM.	CERAMIC	FLUR.	FLUORESCENT
C.F.	CUBIC FOOT	F.O.	FACE OF
CHG.	CHALKING	F.O.C.	FACE OF CONCRETE
CL.	CAST IRON	F.F.	FACE OF FINISH
CLG.	CEILING	F.M.	FACE OF MASONRY
CL.	CLOSE	F.P.	FIRE PROOF
CLR.	CLEAR (ANCE)	FTG.	FOOTING
COL.	COLUMN	FT.	FOOT OR FEET
COMP.	COMPOSITION	FURR.	FURRED (ING)
CONN.	CONNECT (ION)	GA.	GAUGE
CONSTR.	CONSTRUCT (ION)	GALV.	GALVANIZED
CONTR.	CONTINUOUS	G.B.	GRAB BAR
CORR.	CORRUGATED	G.I.	GALVANIZED IRON
CSMT.	CASEMENT	G.L.	GLASS, GLAZING
CSWK.	CASEWORK	GR.	GRADE, GRADING
C.T.	CERAMIC TILE	G.W.B.	GYPSUM WALLBOARD
CTR.	COUNTER	N.	NORTH
CTSK.	COUNTERSINK	NAT.	NATURAL
C.Y.	CUBIC YARD	N.I.C.	NOT IN CONTRACT
		NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
		O.V.	OVER
		Ø	OUTSIDE DIAMETER
		OFF.	OFFICE
		O.H.M.S.	OVALHEAD MACHINE SCREW
		O.H.W.S.	OVALHEAD WOOD SCREW
		OPNG.	OPENING
		OPP.	OPPOSITE
		O.S.B.	ORIENTED STRAND BOARD
		P.A.F.	POWDER ACTUATED FASTENER
		P.A.	PART. BOARD
		P.G.	PART. GRADE
		PERF.	PERFORATED
		P.L.F.	POUNDS PER LINEAL FOOT
		P.L.	PROPERTY LINE
		P.L. LAM.	PLASTIC LAMINATE
		PLAS.	PLASTER
		PLY.	PLYWOOD
		PR.	PAIR
		P.S.F.	POUNDS PER SQUARE FOOT
		P.S.I.	POUNDS PER SQUARE INCH
		P.T.	PRESSURE TREATED
		PART.	PARTITION
		P.T.D.	PAPER TOWEL DISPENSER
		P.V.C.	POLYVINYL CHLORIDE
		R.	RISER (S)
		R.A.	RETURN AIR
		RAD.	RADIUS
		R.D.	ROUND DRAIN
		R.O.	ROUGH OPENING
		REF.	REFRIGERATOR
		REIN.	REINFORCED, REINFORCING
		REQD.	REQUIRED
		REOMT.	REQUIREMENT
		RESIL.	RESILIENT
		R.H.M.S.	ROUND HEAD METAL SCREW
		R.H.W.S.	ROUND HEAD WOOD SCREW
		RM.	ROOM
		RUB.	RUBBER
		R.W.D.	REDWOOD
		R.W.L.	RAIN WATER LEADER
		S.	SOUTH
		S.B.	SOLID BLOCKING
		S.C.	SOLID CORE
		SCHED.	SCHEDULE
		S.D.	STORM DRAIN
		SECT.	SECTION
		SERV.	SERVICE
		S.F.	SQUARE FEET (FOOT)
		S.G.	STAIN GRADE
		SH.	SHELF, SHELVING
		SHWR.	SHOWER
		SHT.	SHEET
		SHTG.	SHEATHING
		SIM.	SIMILAR
		S.S.	STAINLESS STEEL
		S.M.	SHEET METAL
		S.M.S.	SHEET METAL SCREW
		SPECS.	SPECIFICATIONS
		SQ.	SQUARE
		STL.	STEEL
		STD.	STANDARD
		STAG.	STAGGERED
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
		SYS.	SYSTEM
		T.	TREAD (S)
		T.B.	TOWEL BAR
		T.C.	TOP OF CURB
		TEL.	TELEPHONE
		TEMP.	TEMPERED
		T.E.N.	TYPICAL EDGE MILING
		T & G	TONGUE AND GROOVE
		T.G.R.	TOP OF GRATE
		T.H.	THICK (NESS)
		THRESH.	THRESHOLD
		T.O.	TOP OF
		T.P.	TOP OF PAVEMENT
		T.P.H.	TOILET PAPER HOLDER
		TV	TELEVISION
		T.W.	TOP OF WALL
		TYP.	TYPICAL
		U.B.C.	UNIFORM BUILDING CODE
		U.O.N.	UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED
		UR.	URINAL
		V.B.	VAPOR BARRIER
		VAR.	VARIABLES
		V.G.	VERTICAL
		V.G.R.	VERTICAL GRAIN
		V.T.	VINYL TILE
		W.	WEST
		W.P.	WATER PROOF
		W.W.	WATER CLOSET
		W.	WITH
		W.C.	WOOD SCREW
		WD.	WOOD
		W.D.W.	WINDOW
		W.H.	WATER HEATER
		W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
		W.P.	WATERPROOF
		W.R.	WATER RESISTANT
		W.S.	WOOD SCREW
		W.SCT.	WARRANTY
		WT.	WEIGHT
		W.W.M.	WELDED WIRE MESH

SYMBOLS	
	DETAIL KEY DETAIL NUMBER SHEET NUMBER
	SECTION KEY SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE ROOM NAME ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION



PROJECT INFORMATION				
OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #19	R1	UNIT #19	300	2'
OCCUPANCY SEPARATIONS:		NONE		
TYPE OF USE:		MOTEL		
TYPE OF CONSTRUCTION:		V-B		
SPRINKLERS REQUIRED:		YES, NFPA 13-D		
APPLICABLE CODES:				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Energy Code (CEnC)				
Title 24				
PROJECT DIRECTORY				
PROJECT OWNER		PROJECT ARCHITECT		
CARMEL INN VENTURES		THE PAUL DAVIS PARTNERSHIP		
P.O. BOX 1796		286 ELDERADO STREET		
CARMEL VALLEY, CA 93924		MONTEREY, CA. 93940		
CONTACT: JOY BERRY / JAMES FLAGG		PHONE: (831) 373-2784		
PHONE: (949) 500-7069		FAX: (831) 373-7459		
		info@pauldavispartnership.com		
		CONTACT: PAUL E. DAVIS		

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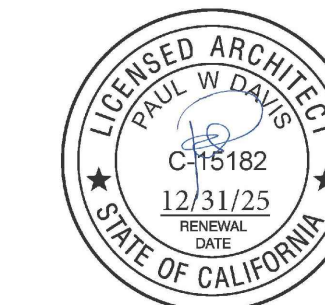
# CARMEL RIVER INN

U.S. HIGHWAY 1  
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P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-03

# COTTAGE REMODEL #19/47 revised

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502  
Revisions:

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Sheet Title:  
**UNIT #19 FLOOR PLAN**

Sheet Number:

### FLOOR NOTES

- (E) FLOOR AREA TO REMAIN
- NEW ADDITION SHOWN SHADED
- (N) SINK & COUNTER
- (N) UNDER-COUNTER REFRIGERATOR
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
- (N) WALL MOUNTED TANK-LESS WATER HEATER.
- FLAT PANEL TV MOUNTED ABOVE FIREPLACE
- ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
- ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/8" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
- (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
- NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
- NOT USED
- ALL BATH & KITCHENETTE OUTLETS TO BE GFCCI RATED
- NEW ADDITION UNDER EXISTING ROOF

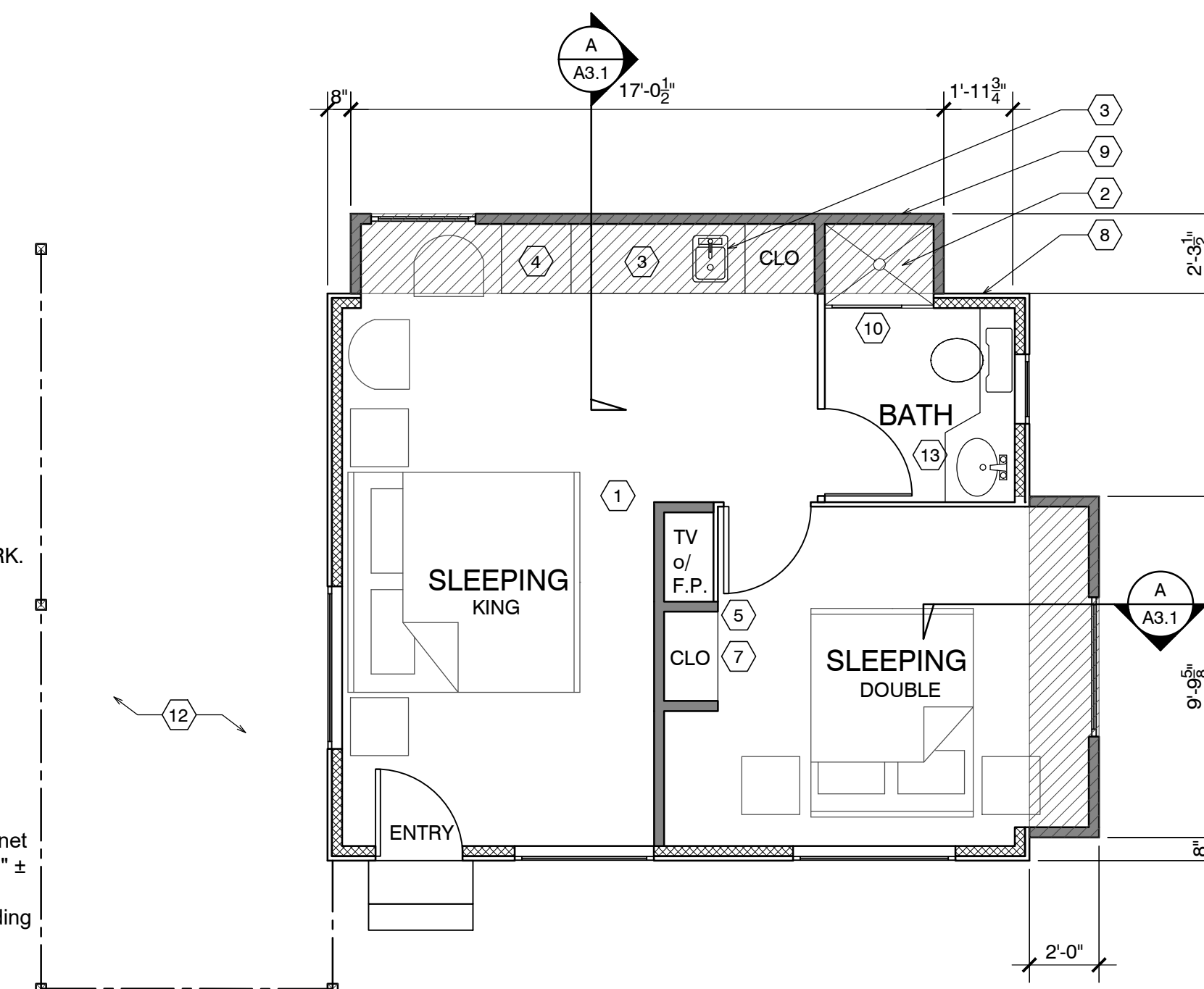
### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/16" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1"Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 6" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.  
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
- (N) ROOF OVER ADDITION
- FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
- BEAM
- OUTLINE OF ROOF, TYP.
- 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
- NOT USED
- NOT USED
- NOT USED



EXISTING :	329 SF.
ADDITION :	59 SF.
TOTAL :	388 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23



### ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ HALF SWITCHED OUTLET
- ⊕ DEDICATED CIRCUIT (20 amps)
- ⊕ 220 VOLT OUTLET
- ⊕ GFI OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ GFI OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- ⊕ TELEPHONE JACK
- ⊕ HIGH SPEED DATA LINE
- ⊕ THERMOSTAT CONTROL
- ⊕ TELEVISION CABLE
- ⊕ GAS OUTLET
- ⊕ KEY VALVE
- ⊕ HOSE BIBB VALVE
- ⊕ WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

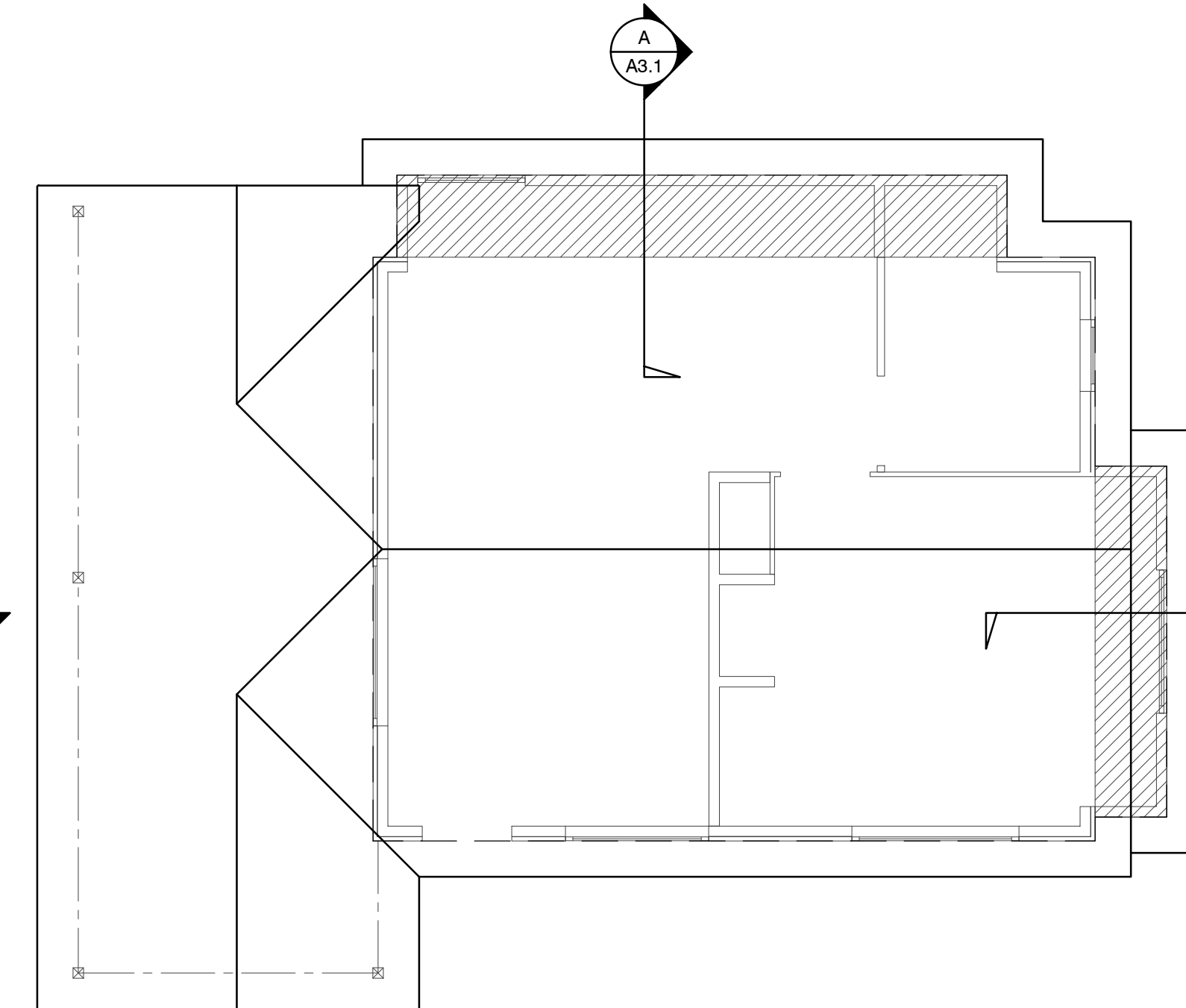
### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above floor line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- - - EXISTING WALL TO BE REMOVED



FOUNDATION VENT CALCULATION:  
57 SF / 150 = .38 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

### DEMO NOTES

- WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
- ROOF PREVIOUSLY REMOVED.
- REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE	=	72'-11 1/4"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED	=	16'-5"
TOTAL DEMO	=	22.5%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- ≡≡≡ EXISTING WINDOW TO BE REMOVED

### ELECTRICAL NOTE:

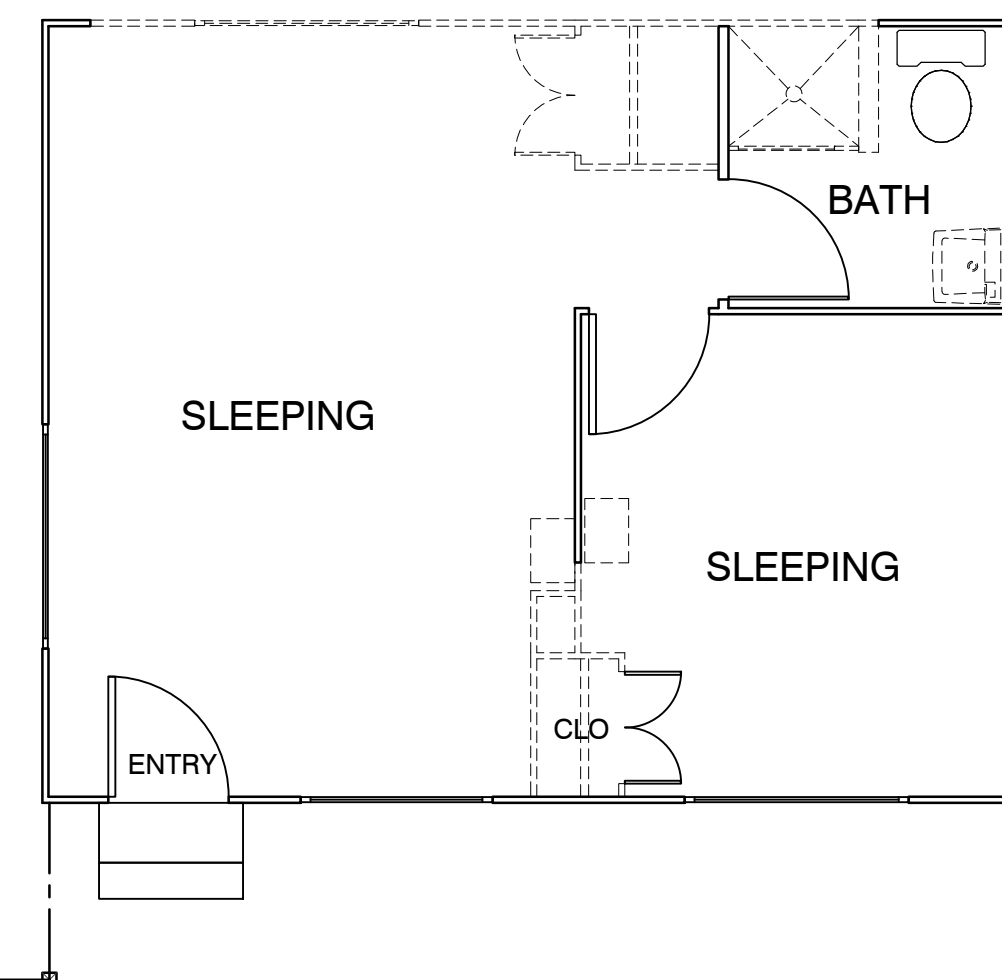
Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere of branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
- SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

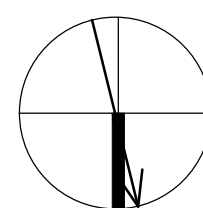
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- ⊕ RECESSED WALL WASHER
- ⊕ SURFACE MOUNTED FIXTURE
- ⊕ PENDANT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ COMBINATION LIGHT & EXHAUST FAN FIXTURE
- ⊕ WALL MOUNTED FIXTURE
- ⊕ SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- ⊕ UNDERCABINET MOUNTED FIXTURE
- ⊕ FLUORESCENT TUBE



### DEMO PLAN UNIT 19

SCALE: 1/4" = 1'-0"

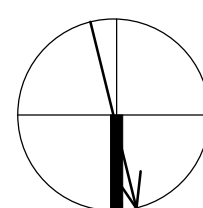
NORTH



### FND. PLAN UNIT 19

SCALE: 1/4" = 1'-0"

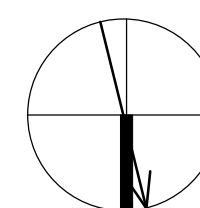
NORTH



### ROOF PLAN UNIT 19

SCALE: 1/4" = 1'-0"

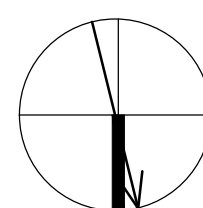
NORTH



### ELECTRICAL PLAN UNIT 19

SCALE: 1/4" = 1'-0"

NORTH



# CARMEL RIVER INN

U.S. HIGHWAY 1  
 @ CARMEL RIVER BRIDGE  
 P.O. BOX 221609  
 CARMEL, CA 93922  
 APN: 009-563-03

## COTTAGE REMODEL #19/47 revised

### SHEET NOTES

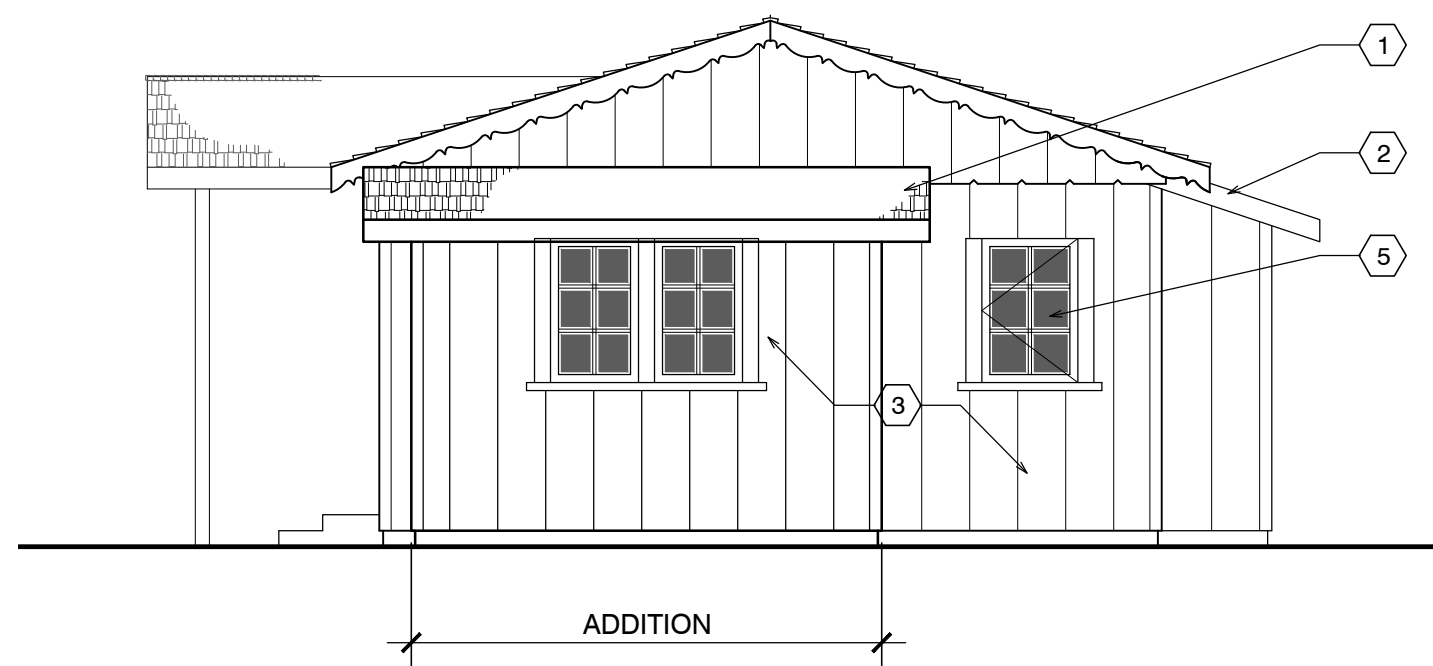
1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. Not Used
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NOT USED
7. NOT USED
8. COPPER SCREENED FOUNDATION VENTS  
 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
9. NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



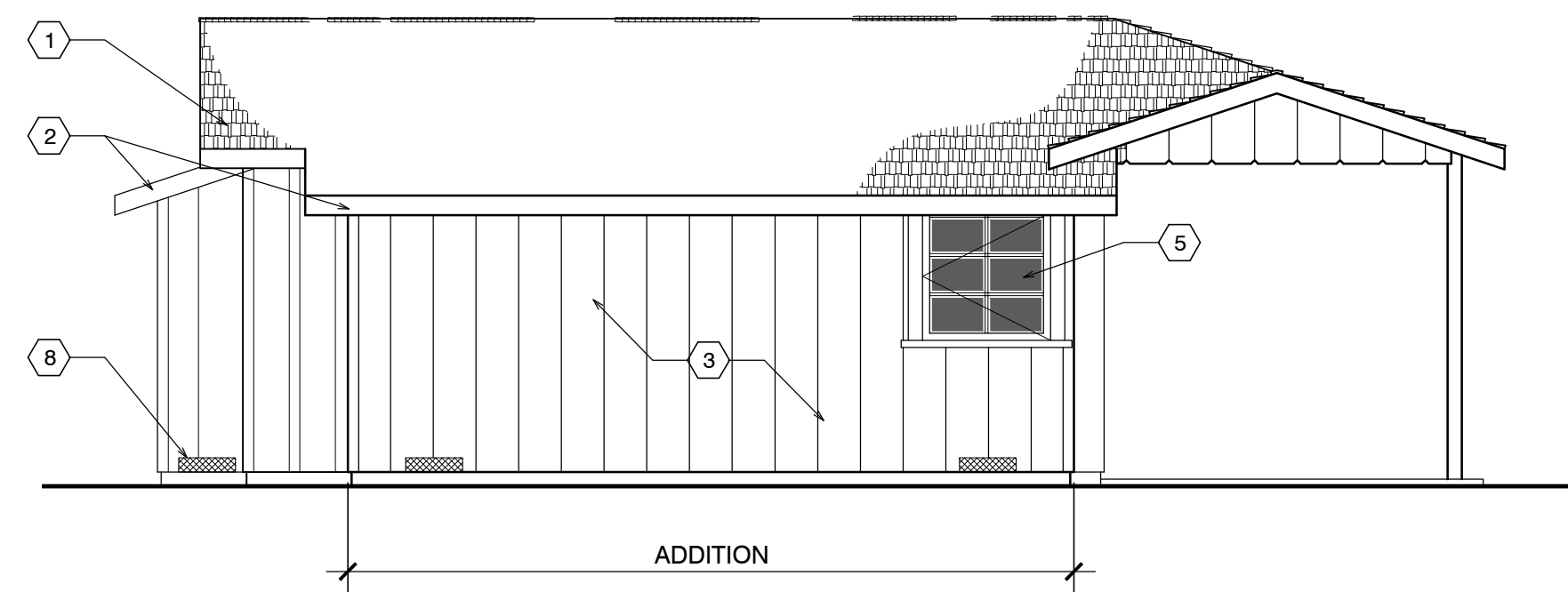
FRONT ELEVATION



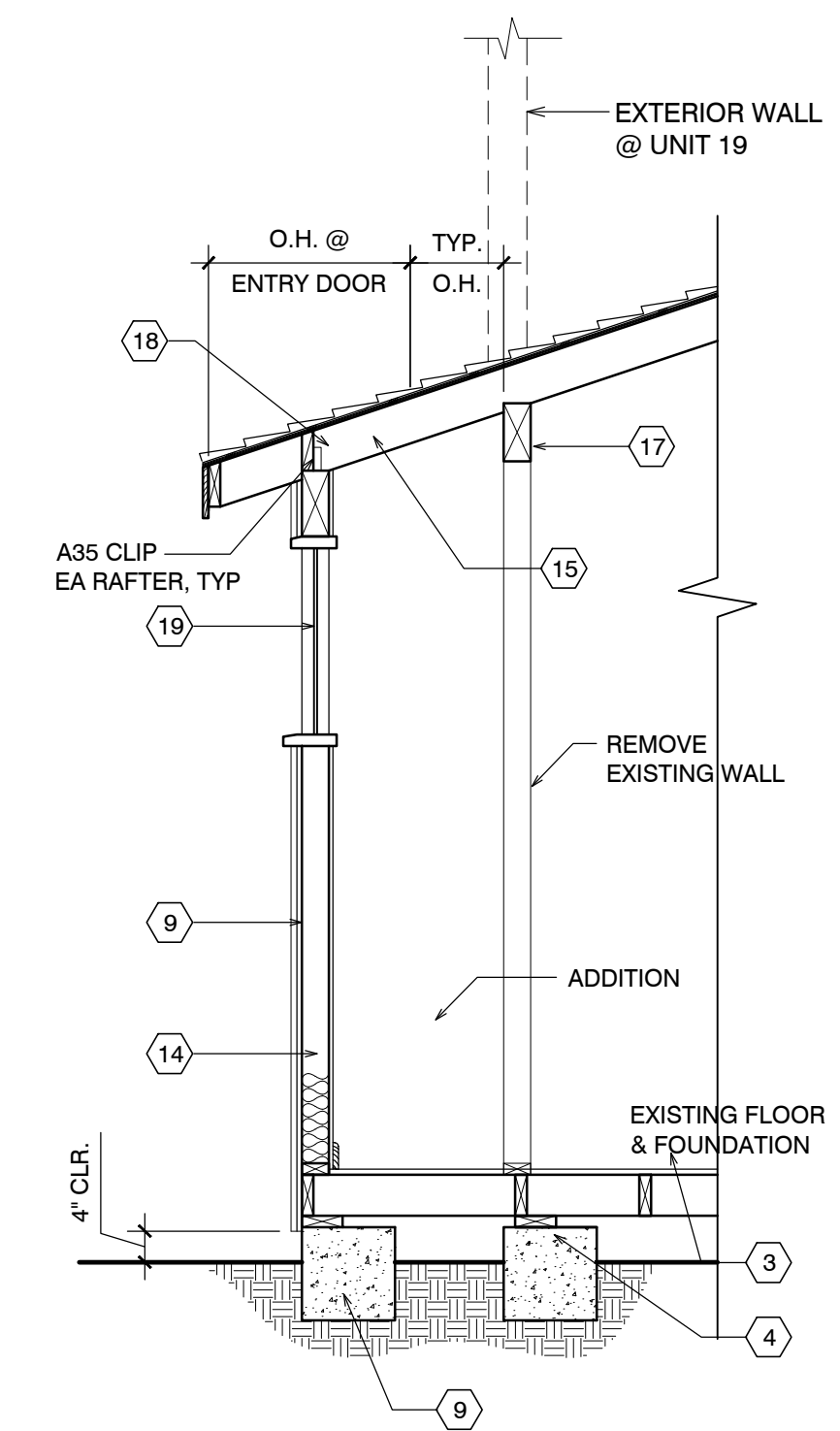
SIDE ELEVATION



SIDE ELEVATION



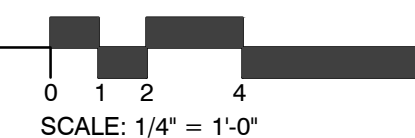
BACK ELEVATION



A UNIT #19 SECTION

### EXTERIOR ELEVATIONS UNIT #19

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



Drawn By: ML  
 Drawing Date: 07/15/2025  
 Project Number: 2502

Revisions:

The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Sheet Title:  
**UNIT #19  
 ELEVATIONS**

Sheet Number:

# CARMEL RIVER INN

## COTTAGE UNIT #20 (now 49) REMODEL/ADDITION

Project / Owner:

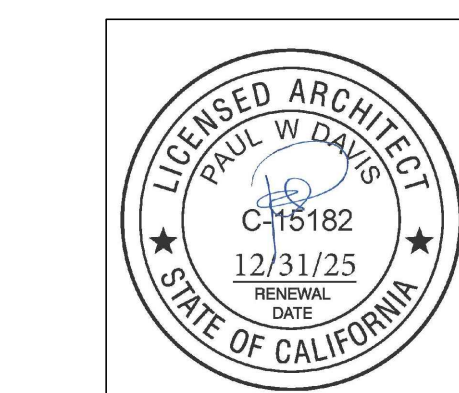
### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

### COTTAGE REMODEL #20/49 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

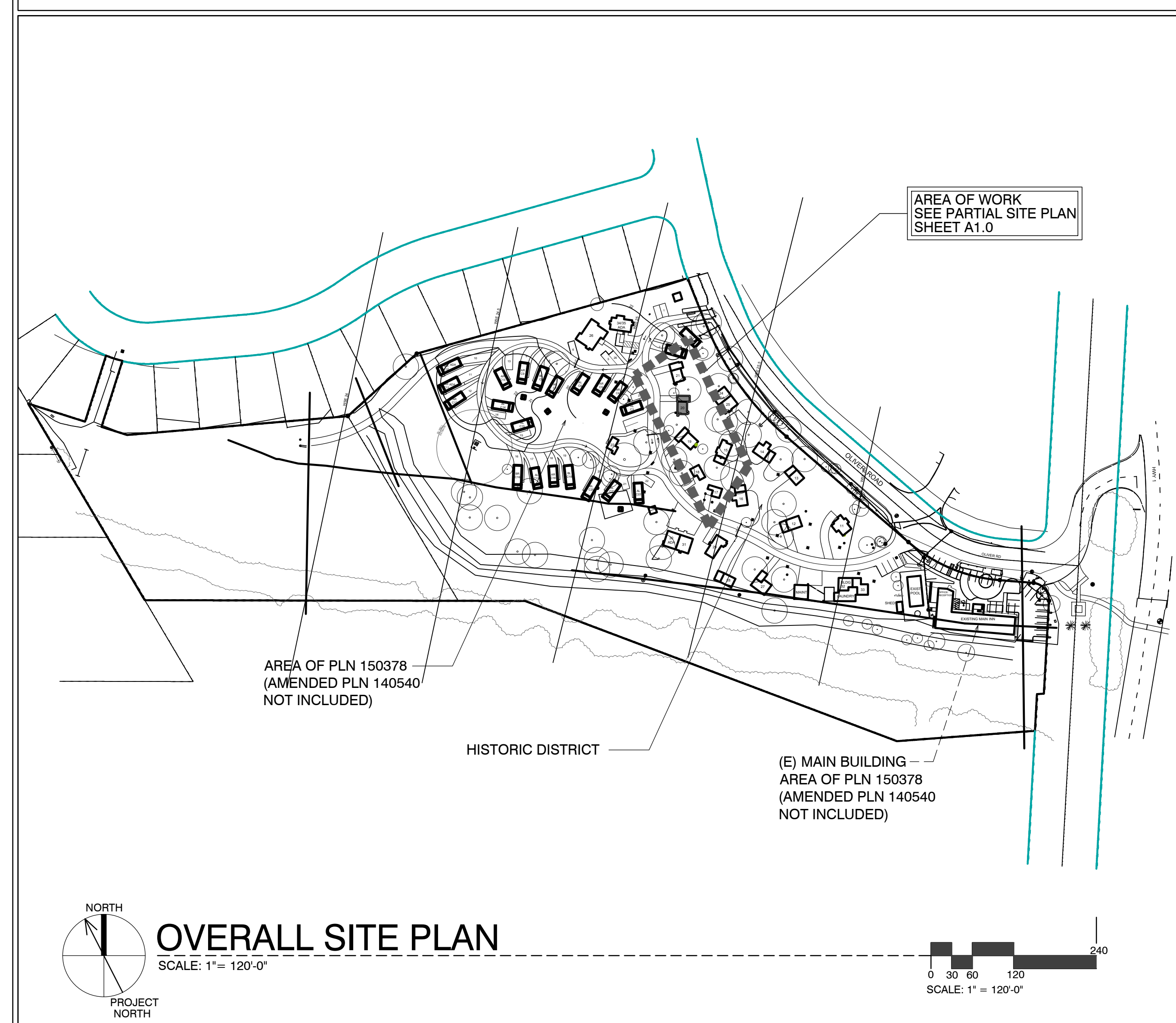
Revisions: 08-29-2025

Sheet Title:  
**COVER SHEET PROJECT INFO**

Sheet Number:

# A0.1

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 20
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1, A3.1

#### SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #20 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

#### DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

AREA OF PLN 150378 (AMENDED PLN 140540 NOT INCLUDED)

HISTORIC DISTRICT

(E) MAIN BUILDING AREA OF PLN 150378 (AMENDED PLN 140540 NOT INCLUDED)

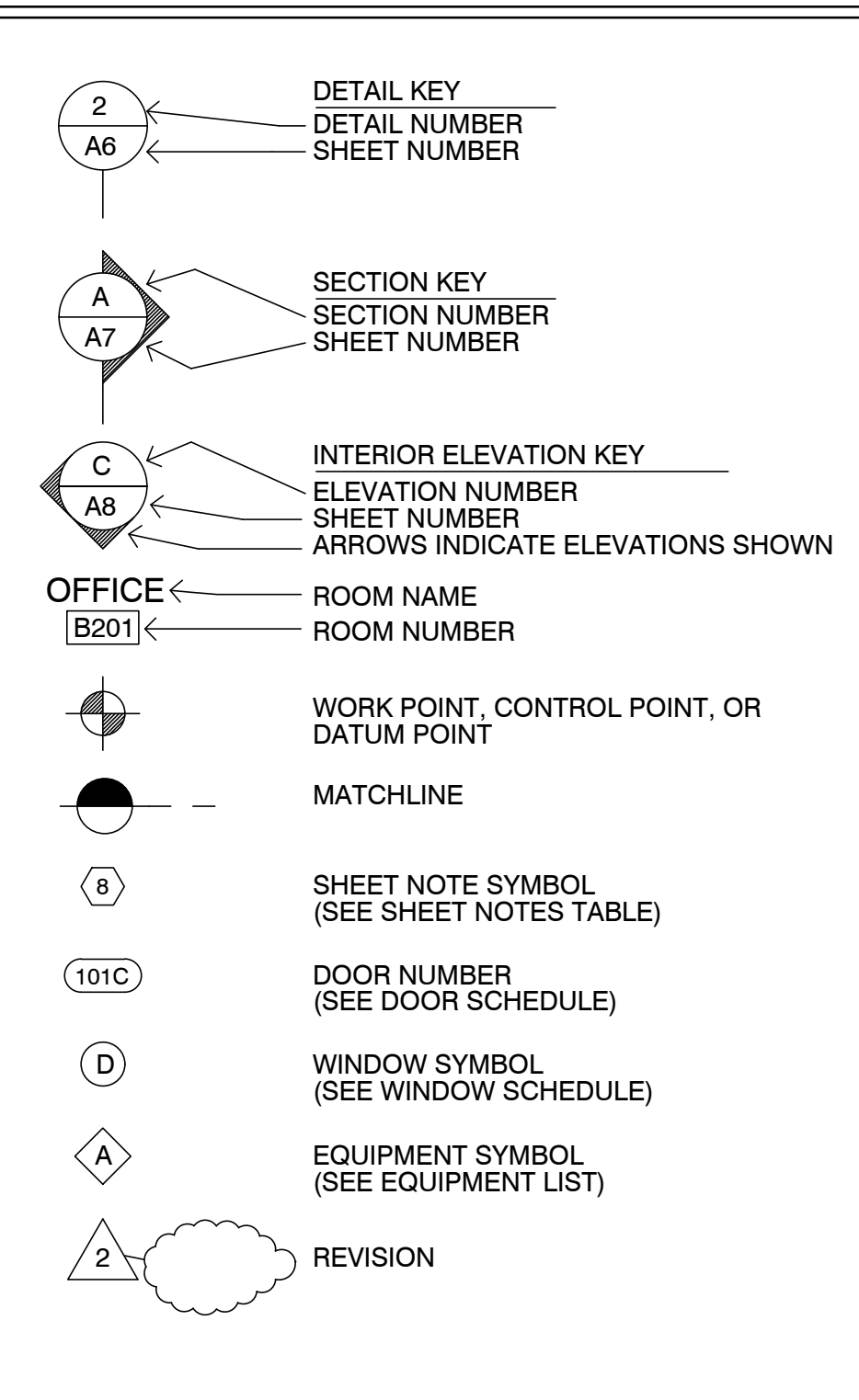
#### OVERALL SITE PLAN

#### SITE PLAN

#### ABBREVIATIONS

A	AND	DBL	DOUBLE	H.B.	HOSE BIB	O	OVER	S.M.	SIMILAR
L	ANGLE	DEPT.	DEPARTMENT	HBD	HARDBOARD	OBS.	OBSURE	S.S.	STAINLESS STEEL
AT	AT	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
CL	CENTERLINE	D.F.	DOUGLAS FIR	HDR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
Ø	DIAMETER OR ROUND	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	O.F.	OFFICE	S.P.E.C.S.	SPECIFICATIONS
∠	PERPENDICULAR	DIAG.	DIAGONAL	HWDR.	HARDWARE	O.H.W.S.	OVALHEAD WOOD SCREW	SQ.	SQUARE
∥	PARALLEL	DIA.	DIAMETER	H.M.	HOLLOW METAL	O.P.N.G.	OPENING	STD.	STEEL
#	POUND OR NUMBER	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
(E)	EXISTING	DISP.	DISPENSER	HOT	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
A.B.	ANCHOR BOLT	DRWG.	DRAWING	HTG.	HEATING	O.S.B.	ORIENTED STRAND BOARD	STOR.	STORAGE
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	D.S.	DOWNSPOUT	H.W.	HOT WATER	P.A.F.	POWDER ACTUATED FASTENER	STRUC.	STRUCTURAL
A.C.	ASPHALTIC CONCRETE	DWR.	DRAWER	H.V.A.C.	HEATING, VENTILATING, AND AIR CONDITIONING	P.A.R.T. BD	PARTICLE BOARD	SUSP.	SUSPENDED
ACUS.	AIR CONDITIONING	E	EAST	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.F.	PERFORATED	SYS.	SYSTEM
ADJ.	ADJUSTABLE; ADJACENT	EA	EACH	I.D.	INSIDE DIAMETER	P.L.	PROPERTY LINE	T.	TREAD (S)
AGGR.	AGGREGATE	ELEV.	ELEVATION; ELEVATOR	INCL.	INCLUDED; INCLUDING	P.L.	PLASTER	T.B.	TOWEL BAR
ALUM.	ALUMINUM	ELEC.	ELECTRIC (AL)	INSUL.	INSULATION	P.L. LAM.	PLASTIC LAMINATE	T.C.	TOP OF CURB
AND.	AND/ODD	EMER.	EMERGENCY	INT.	INTERIOR	PLAS.	PLASTER	TEL.	TELEPHONE
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	ENCL.	ENCLOSURE	INV.	INVERT	PLY.	PLYWOOD	TEMP.	TEMPERED
APPROX.	APPROXIMATE	EQUIP.	EQUIPMENT	JAN.	JANITOR	PR.	PAIR	T.E.N.	TYPICAL EDGE MILING
ARCH.	ARCHITECT (URAL)	EXH.	EXHAUST	J.H.	JOIST HANGER	P.S.F.	POUNDS PER SQUARE FOOT	T & G	TONGUE AND GROOVE
BD.	BOARD	EXP.	EXPOSED EXPANSION	J.T.	JOINT	P.S.I.	POUNDS PER SQUARE INCH	T.G.R.	TOP OF GRATE
BIT.	BITUMINOUS	EXT.	EXTERIOR	KIT.	KITCHEN	P.T.	PRESSURE TREATED	T.H.	THICK (NESS)
BLDG.	BUILDING	F.A.	FIRE ALARM	L.	LONG LENGTH	P.T.D.	PAPER TOWEL DISPENSER	THRESH.	THRESHOLD
BLK.	BLOCK	FAST.	FASTEN; FASTENER	L.A.M.	LAMINATE; LAMINATED	P.V.C.	POLYVINYL CHLORIDE	T.O.	TOP OF
BLKG.	BLOCKING	F.B.	FLAT BAR	LAV.	LAVATORY	R.	RISER (S)	T.P.	TOP OF PAVEMENT
B.M.	BENCH MARK	F.D.	FLOOR DRAIN	L.V.	LAVATORY	R.A.	RETURN AIR	T.P.H.	TOILET PAPER HOLDER
BM.	BENCH MARK	FDN.	FOUNDATION	L.B.	LAG BOLT	RAD.	RADIUS	T.V.	TELEVISION
BOT.	BOTTOM	F.F.	FIRE EXTINGUISHER	L.C.	LOCATE; LOCATION	R.D.	ROOF DRAIN	T.W.	TOP OF WALL
BRS.	BEARING	FIBERGL.	FIBERGLASS	L.W.	LAG WEIGHT	REF.	REFRIGERATOR	TYP.	TYPICAL
BTRN.	BETWEEN	FIN.	FINISH (ED)	M.A.S.	MASONRY	REIN.	REINFORCED; REINFORCING	U.B.C.	UNIFORM BUILDING CODE
B.W.	BOTHWAYS	F.H.W.S.	FLAT HEAD WOOD SCREW	M.A.T.	MATERIAL (S)	REIN.	REINFORCED; REINFORCING	U.L.	UNDERWRITER'S LABORATORIES
CAB.	CABINET	F.H.W.S.	FLAT HEAD WOOD SCREW	MAX.	MAXIMUM	REIN.	REINFORCED; REINFORCING	U.O.N.	UNLESS OTHERWISE NOTED
C.B.	CATCH BASIN	FLR.	FLOOR (ING)	M.B.	MACHINE BOLT	REOMT.	REQUIREMENT	UR.	URINAL
CEM.	CEMENT	FLUR.	FLUORESCENT	M.C.	MEDICINE CABINET	RESL.	RESILIENT	V.B.	VAPOR BARRIER
CF.	CUBIC FOOT	F.O.C.	FACE OF CONCRETE	M.H.	MAN HOLE	R.H.W.S.	ROUND HEAD WOOD SCREW	V.A.R.	VARIABLES
CHK.	CHECKING	F.F.	FACE OF FINISH	M.I.W.	MALLEABLE IRON WASHER	R.M.	ROOM	V.G.	VERTICAL GRAIN
CL.	CAST IRON	F.O.S.	FACE OF STUDS	M.C.	MACHINE CEMENT	R.O.W.	RIGHT OF WAY	V.T.	VINYL TILE
CLG.	CEILING	F.R.	FIRERACE	MEZ.	MEZZANINE	RUB.	RUBBER	W.	WEST
CL.	CLOSE	F.S.	FULL SIZE	M.F.	MANUFACTURE (ER)	RUB.	RUBBER	W.	WIDTH
CL.	CLOSE	FT.	FOOT OR FEET	M.N.	MINIMUM	R.W.	REDWOOD	W.C.	WATER CLOSET
CL.	CLOSE	FTG.	FOOTING	MIR.	MIRROR	R.W.L.	RAIN WATER LEADER	W.D.	WOOD
COL.	COLUMN	FURR.	FURRED (ING)	M.L.D.G.	MOULDING	S.	SOUTH	W.D.W.	WINDOW
COMP.	COMPOSITION	GA.	GAUGE	M.L.W.	MALLEABLE IRON WASHER	S.B.	SOLID BLOCKING	W.H.	WATER HEATER
CONC.	CONCRETE	GALV.	GALVANIZED	M.O.	MASONRY OPENING	S.C.	SOLID CORE	W.P.	WATERPROOF
CONSTR.	CONSTRUCT (ION)	G.B.	GRAB BAR	M.TL.	METAL	SCHED.	SCHEDULE	W.R.	WATER RESISTANT
CONSTR.	CONSTRUCT (ION)	G.L.	GLASS, GLAZING	M.LL.	MULLION	S.D.	STORM DRAIN	W.S.	WOOD SCREW
CONSTR.	CONSTRUCT (ION)	G.W.B.	GYPSSUM WALLBOARD	N.	NORTH	S.E.C.T.	SECTION	W.SCT.	WARRANTY
CSMT.	CASEMENT	N.	NORTH	N.	NORTH	SERV.	SERVICE	W.R.	WATER RESISTANT
CSWK.	CASEWORK	N.A.T.	NATURAL	N.C.	NOT IN CONTRACT	S.F.	SQUARE FEET (FOOT)	W.S.	WOOD SCREW
C.T.	CERAMIC TILE	N.A.T.	NATURAL	N.I.C.	NOT IN CONTRACT	S.H.	SHELF; SHELVING	W.T.	WEIGHT
CTR.	COUNTER	N.A.T.	NATURAL	N.I.C.	NOT IN CONTRACT	SHWR.	SHOWER	W.T.	WEIGHT
CTSK.	COUNTERSINK	N.A.T.	NATURAL	N.I.C.	NOT IN CONTRACT	SHT.	SHEET	W.W.M.	WELDED WIRE MESH
C.Y.	CUBIC YARD	N.A.T.	NATURAL	N.I.C.	NOT IN CONTRACT	SHTG.	SHEATHING		

#### SYMBOLS



#### VICINITY MAP



#### PROJECT INFORMATION

<b>OCCUPANCY CLASSIFICATION:</b>		<b>OCCUPANCY LOADS:</b>		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #20	R1	UNIT #20	300	2'
<b>OCCUPANCY SEPARATIONS:</b>		NONE		
<b>TYPE OF USE:</b>		MOTEL		
<b>TYPE OF CONSTRUCTION:</b>		V-B		
<b>SPRINKLERS REQUIRED:</b>		YES, NFPA 13-D		
<b>APPLICABLE CODES:</b>				
2022 California Building Code (CBC)				
2022 California Residential Code (CRC)				
2022 California Electrical Code (CEC)				
2022 California Mechanical Code (CMC)				
2022 California Plumbing Code (CPC)				
2022 California Fire Code (CFC)				
Title 24				

#### PROJECT DIRECTORY

<b>PROJECT OWNER</b> CARMEL INN VENTURES P.O. BOX 1796 CARMEL VALLEY, CA 93924 CONTACT: JOY BERRY / JAMES FLAGG PHONE: (949) 500-7069	<b>PROJECT ARCHITECT</b> THE PAUL DAVIS PARTNERSHIP 286 ELDORADO STREET MONTEREY, CA. 93940 PHONE: (831) 373-2784 FAX: (831) 373-7459 info@pauldavispartnership.com CONTACT: PAUL E. DAVIS
--	---

PROJECT LOCATION: CARMEL RIVER INN OLIVER ROAD CARMEL, CA





# CARMEL RIVER INN

## COTTAGE UNIT #21 (now 52) REMODEL/ADDITION

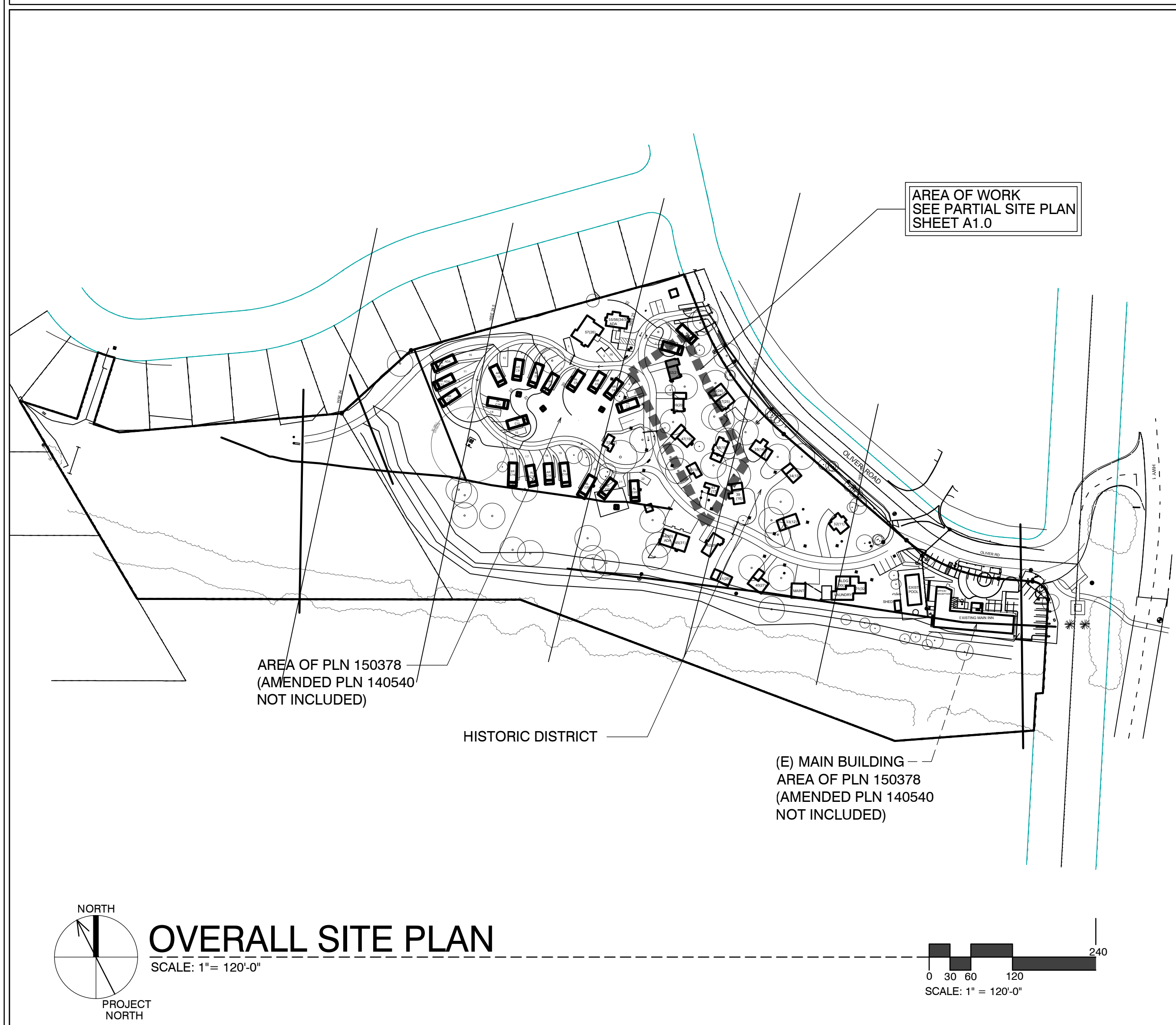
Project / Owner:

### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

### COTTAGE REMODEL #21/now #52

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- REMODEL & ADDITION TO EXISTING / ORIGINAL COTTAGE 21
- ADD NEW INSULATION IN WALLS @ EXTERIOR
- ADDITIONS TO EXISTING COTTAGES. FOR MORE SPECIFIC SCOPE, SEE SHEETS A2.1 & A3.1

#### SHEET INDEX

ARCHITECTURAL	
A0.1	TITLE SHEET, SYMBOLS, PROJECT INFO
A2.1	UNIT #21 - DEMO, FLOOR, RCP & ROOF PLAN
A3.1	ELEVATIONS & SECTION

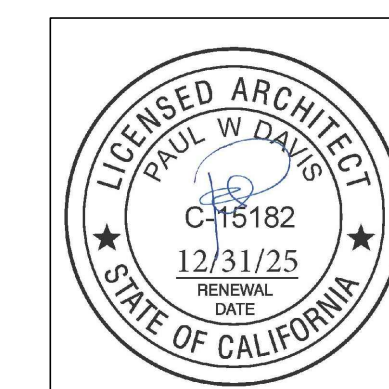
#### DEVELOPMENT ANALYSIS

A.P.N.	009-563-005
ZONING:	DEVELOPED AREA: VSC-D(CZ) UNDEVELOPED AREA: RC-D(CZ) NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION
FLOOD PLAIN:	COTTAGES UNITS #17 - #21 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)
GRADING CALCS:	NONE
TREE REMOVAL:	NONE
SEWER:	CARMEL AREA WASTE WATER DISTRICT
WATER:	(E) CAL-AM WATER SERVICE TO REMAIN

### THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:

#### ABBREVIATIONS

& L	AND ANGLE	DBL	DOUBLE DEPARTMENT	H.B.	HOSE BIB	O/	OVER OBS.	SIM.	SIMILAR
@	AT	DEPT.	DEPARTMENT	HBD.	HARDBOARD	OB.	OBSCURE	S.S.	STAINLESS STEEL
⊕	CENTERLINE	DET.	DETAIL	H.C.	HOLLOW CORE	O.C.	ON CENTER	S.M.	SHEET METAL
⊖	DIAMETER OR ROUND	D.F.	DOUGLAS FIR	HOR.	HEADER	O.D.	OUTSIDE DIAMETER	S.M.S.	SHEET METAL SCREW
⊘	PERPENDICULAR	D.H.	DOUBLE HUNG	HDWD.	HARDWOOD	O.F.	OFFICE	SPCS.	SPECIFICATIONS
∕	PARALLEL	DIAG.	DIAGONAL	HDWR.	HARDWARE	O.H.M.S.	OVALHEAD MACHINE SCREW	SQ.	SQUARE
#	POUND OR NUMBER	DIA.	DIAMETER	H.M.	HOLLOW METAL	O.H.W.S.	OVALHEAD WOOD SCREW	STL.	STEEL
(E)	EXISTING	DIMEN.	DIMENSION	HORIZ.	HORIZONTAL	OPNG.	OPENING	STD.	STANDARD
A.B.	ANCHOR BOLT	DISP.	DISPENSER	HOT.	HEIGHT	OPP.	OPPOSITE	STAG.	STAGGERED
A.B.S.	ACRYLONITRILE BUTADIENE STYRENE	DN.	DOWN	HTG.	HEATING	ORF.	ORIENTED STRAND BOARD	STOR.	STORAGE
A.C.	ASPHALTIC CONCRETE	DRWG.	DRAWING	H.W.	HOT WATER	P.A.F.	POWDER ACTUATED FASTENER	STRUCT.	STRUCTURAL
ACOUS.	AIR CONDITIONING	D.S.	DOWNSPOUT	H.V.A.C.	HEATING, VENTILATING, AND AIR CONDITIONING	PART. BD.	PARTICLE BOARD	SUSP.	SUSPENDED
ADJ.	ADJUSTABLE, ADJACENT	DWR.	DRAWER	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.G.	PAINT GRADE	SYM.	SYMMETRICAL
AGGR.	AGGREGATE	E	EAST	I.D.	INSIDE DIAMETER	P.F.	PERFORATED	SYM.	SYMMETRICAL
ALUM.	ALUMINUM	EA.	EACH	INSUL.	INSULATION	P.L.	PLASTER	SYST.	SYSTEM
ANOD.	ANODIZED	ELEV.	ELEVATION, ELEVATOR	INT.	INTERIOR	P.L. LAM.	PLASTIC LAMINATE	T.	TREAD (S)
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	EMER.	EMERGENCY	INCL.	INCLUDING, INCLUDING	PLAS.	PLASTER	T.B.	TOWEL BAR
APPROX.	APPROXIMATE	ENCL.	ENCLOSURE	INSUL.	INSULATION	PLY.	PLYWOOD	T.C.	TOP OF CURB
ARCH.	ARCHITECT (URAL)	EQUIP.	EQUIPMENT	INT.	INTERIOR	P.P.	POUNDS PER SQUARE FOOT	TEL.	TELEPHONE
BD.	BOARD	EXH.	EXHAUST	INV.	INVERT	P.P.S.	POUNDS PER SQUARE FOOT	TEMP.	TEMPERED
BIT.	BITUMINOUS	EXP.	EXPOSED EXPANSION	JAN.	JANITOR	P.S.I.	POUNDS PER SQUARE INCH	T.E.N.	TYPICAL EDGE MILING
BLDG.	BUILDING	EXT.	EXTERIOR	J.H.	JOIST HANGER	P.T.	PRESSURE TREATED	T.G.R.	TOP OF GRATE
BLK.	BLOCK	F.A.	FIRE ALARM	JT.	JOINT	P.T.D.	PAPER TOWEL DISPENSER	T.H.	THICK (NESS)
BLKG.	BLOCKING	FAST.	FASTEN, FASTENER	KIT.	KITCHEN	P.V.C.	POLYVINYL CHLORIDE	THRESH.	THRESHOLD
B.M.	BENCH MARK	F.B.	FLAT BAR	L.	LONG LENGTH	R.	RISER (S)	T.O.	TOP OF
BM.	BENCH MARK	F.D.	FLOOR DRAIN	L.A.M.	LAMINATE, LAMINATED	R.A.	RETURN AIR	T.P.	TOP OF PAVEMENT
BSM.	BOTTOM	FDN.	FOUNDATION	LAV.	LAVATORY	RAD.	RADIUS	T.P.H.	TOILET PAPER HOLDER
BTR.	BEARING	F.E.	FACE OF FINISH	L.B.	LAG BOLT	R.D.	ROOF DRAIN	TV.	TELEVISION
BTRN.	BETWEEN	F.F.	FACE OF FINISH	L.C.	LOCATE, LOCATION	R.O.	ROUGH OPENING	T.W.	TOP OF WALL
B.W.	BOTHWAYS	F.F.	FACE OF FINISH	L.W.	LAG WEIGHT	REF.	REFRIGERATOR	TYP.	TYPICAL
CAB.	CABINET	F.H.M.S.	FLAT HEAD MACHINE SCREW	M.A.S.	MASONRY	REIN.	REINFORCED, REINFORCING	U.B.C.	UNIFORM BUILDING CODE
C.B.	CATCH BASIN	F.H.W.S.	FLAT HEAD WOOD SCREW	M.A.T.	MATERIAL (S)	REIN.	REINFORCED, REINFORCING	U.O.N.	UNDERWRITER'S LABORATORIES UNLESS OTHERWISE NOTED
CEM.	CEMENT	FLASH.	FLASHING	MAX.	MAXIMUM	REMT.	REQUIREMENT	UR.	URINAL
CER.	CERAMIC	FLR.	FLOOR (ING)	M.B.	MACHINE BOLT	RESL.	RESILIENT	V.B.	VAPOR BARRIER
C.F.	CUBIC FOOT	FLUR.	FLUORESCENT	M.C.	MEDICINE CABINET	R.H.W.S.	ROUND HEAD WOOD SCREW	VAR.	VARIABLE
CL.	CAST IRON	F.O.C.	FACE OF CONCRETE	M.H.	MAN HOLE	R.M.	ROOM	V.G.	VERTICAL GRAIN
CLGK.	CALLING	F.F.	FACE OF FINISH	M.E.	MECHANICAL	R.O.	ROUGH OPENING	V.T.	VINYL TILE
CLG.	CEILING	F.O.M.	FACE OF MASONRY	M.E.M.B.	MEMBRANE	R.O.W.	RIGHT OF WAY	W.	WEST
CL.	CLOSE	F.O.S.	FACE OF STUDS	MEZZ.	MEZZANINE	R.S.	RESAWN	W.	WIDTH
CLR.	CLEAR (ANCE)	F.P.	FIREPLACE	MFR.	MANUFACTURE (ER)	RUB.	RUBBER	W.P.	WATERPROOF
COL.	COLUMN	F.S.	FULL SIZE	MN.	MINIMUM	R.W.	REDWOOD	WR.	WATER RESISTANT
COMP.	COMPOSITION	FT.	FOOT OR FEET	MIR.	MIRROR	R.W.L.	RAIN WATER LEADER	W.C.	WATER CLOSET
CONC.	CONCRETE	FTG.	FOOTING	MISC.	MISCELLANEOUS	S.	SOUTH	WD.	WOOD
CONN.	CONNECT (ION)	FURR.	FURRED (ING)	M.L.D.G.	MOULDING	S.B.	SOLID BLOCKING	W.D.	WOODWORK INSTITUTE OF CALIFORNIA
CONSTR.	CONSTRUCT (ION)	GA.	GAUGE	M.I.W.	MALLEABLE IRON WASHER	S.C.	SOLID CORE	W.H.	WATER HEATER
CONT.	CONTINUOUS	GALV.	GALVANIZED	M.O.	MASONRY OPENING	S.C.	SCHEDULE	W.P.	WATERPROOF
CORR.	CORRUGATED	G.B.	GRAB BAR	M.TL.	METAL	S.D.	STORM DRAIN	W.R.	WATER RESISTANT
CSMT.	CASEMENT	G.I.	GALVANIZED IRON	MULL.	MULLION	S.E.	SQUARE FEET (SQ.)	W.S.	WOOD SCREW
CSWK.	CASEWORK	GL.	GLASS, GLAZING	N.	NORTH	S.F.	SQUARE FEET (SQ.)	W.SCT.	WARRANTY
C.T.	CERAMIC TILE	GR.	GRADE, GRADING	N.A.T.	NATURAL	S.H.	SH. SHELVING	WT.	WEIGHT
CTR.	COUNTER	G.W.B.	GYPSUM WALLBOARD	N.A.C.	NOT IN CONTRACT	SHWR.	SHOWER	W.W.M.	WELDED WIRE MESH
CTSK.	COUNTERSINK			NAT.	NATURAL	SHT.	SHEET		
C.Y.	CUBIC YARD			N.C.	NOT TO SCALE	SHTG.	SHEATHING		

#### SYMBOLS

	DETAIL KEY DETAIL NUMBER SHEET NUMBER
	SECTION KEY SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION KEY ELEVATION NUMBER SHEET NUMBER ARROWS INDICATE ELEVATIONS SHOWN
	OFFICE ROOM NAME ROOM NUMBER
	WORK POINT, CONTROL POINT, OR DATUM POINT
	MATCHLINE
	SHEET NOTE SYMBOL (SEE SHEET NOTES TABLE)
	DOOR NUMBER (SEE DOOR SCHEDULE)
	WINDOW SYMBOL (SEE WINDOW SCHEDULE)
	EQUIPMENT SYMBOL (SEE EQUIPMENT LIST)
	REVISION

#### VICINITY MAP



#### PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:		OCCUPANCY LOADS:		
Building	Occupancy Group and Div.	Building Area	Factor	Load
UNIT #21	R1	UNIT #21	300	2'

OCCUPANCY SEPARATIONS: NONE  
TYPE OF USE: MOTEL  
TYPE OF CONSTRUCTION: V-B  
SPRINKLERS REQUIRED: YES, NFPA 13-D

APPLICABLE CODES:  
2022 California Building Code (CBC)  
2022 California Residential Code (CRC)  
2022 California Electrical Code (CEC)  
2022 California Mechanical Code (CMC)  
2022 California Plumbing Code (CPC)  
2022 California Fire Code (CFC)  
2022 California Fire Code (CFC)  
Title 24

#### PROJECT DIRECTORY

PROJECT OWNER  
CARMEL INN VENTURES  
P.O. BOX 1796  
CARMEL VALLEY, CA 93924  
CONTACT: JOY BERRY / JAMES FLAGG  
PHONE: (949) 500-7069

PROJECT ARCHITECT  
THE PAUL DAVIS PARTNERSHIP  
286 ELDORADO STREET  
MONTEREY, CA. 93940  
PHONE: (831) 373-2784  
FAX: (831) 373-7459  
info@pauldavispartnership.com  
CONTACT: PAUL E. DAVIS

Sheet Title:  
**COVER SHEET**  
**PROJECT INFO**

Sheet Number:

**A0.1**

# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

# COTTAGE REMODEL #21/now #52

## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

### DEMO NOTES

1. WALLS, WINDOWS, DOORS, BATHROOM, WATER HEATER & CLOSET SHOWN PREVIOUSLY REMOVED.
2. ROOF PREVIOUSLY REMOVED.
3. REMOVE SUBFLOOR THAT IS WATER DAMAGED FROM PREVIOUS FIRE.

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE = 75'-1 3/8"  
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED = 29'-11/16"  
TOTAL DEMO = 28.04%

NOTE: FIRE SPRINKLERS NOT REQUIRED

### DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

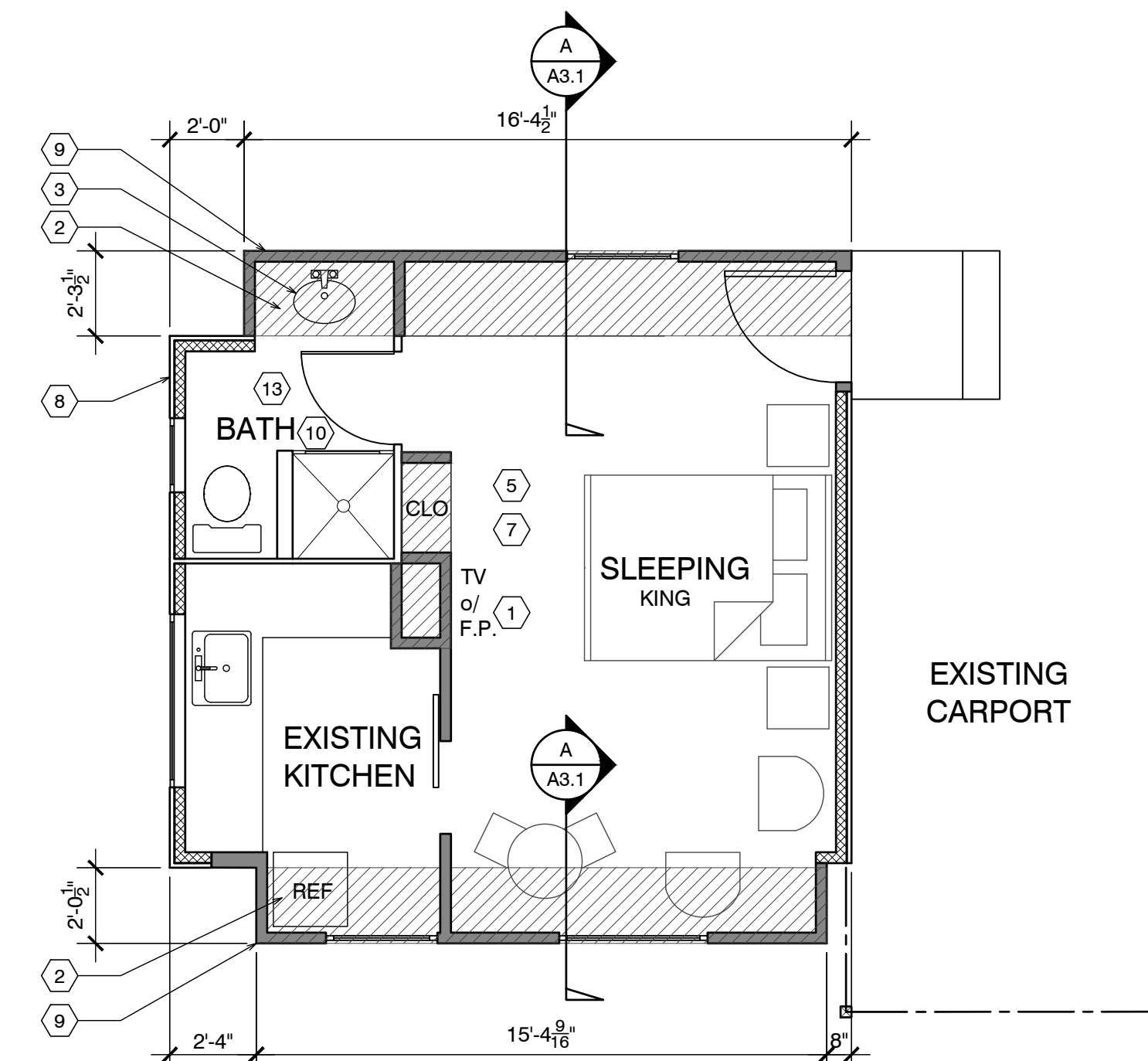
### ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
1. NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  2. ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  3. PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

1. Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
2. The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above flood line pressure-treated lumber with vent holes at top and bottom of stud spaces.
3. The exterior siding and trim will be redwood, which is rot resistant.
4. The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
5. Mold resistant paint will be used exterior and interior.
6. Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.



EXISTING : 261 SF.  
ADDITION : 71 SF.  
TOTAL : 332 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### FLOOR NOTES

1. (E) FLOOR AREA TO REMAIN
2. NEW ADDITION SHOWN SHADED
3. (N) SINK & COUNTER
4. (N) UNDER-COUNTER REFRIGERATOR
5. SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990
6. (N) WALL MOUNTED TANK-LESS WATER HEATER.
7. FLAT PANEL TV MOUNTED ABOVE FIREPLACE
8. ALL (E) EXTERIOR WALLS TO REMAIN, SHALL REMAIN AS SINGLE WALL CONSTRUCTION. ADD NEW 2x4 @ 16" O.C. W/R13 INSULATION
9. ALL NEW WALLS TO BE FULL 2X STUD CONSTRUCTION (SEE SECTION & DETAILS SHT. A3.1). ADD 3/4" P.S. ON INTERIOR OF EXTERIOR WALLS AS NOTED BELOW.
10. (N) 3' x 3' SHOWER TEMPERED GLASS DOOR & ENCLOSURE
11. NEW (FULL HGHT. TILE) SHOWER SEE DETAIL 5/A4.1 (OWNER SHALL PROVIDE TILE SPEC)
12. NOT USED
13. ALL BATH & KITCHENETTE OUTLETS TO BE GFCI RATED
14. NEW ADDITION UNDER EXISTING ROOF
15. 2x6 P.T. FLOOR JOIST @ 16" O.C



### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]



### FLOOR PLAN UNIT 21

SCALE: 1/4" = 1'-0"

### WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED

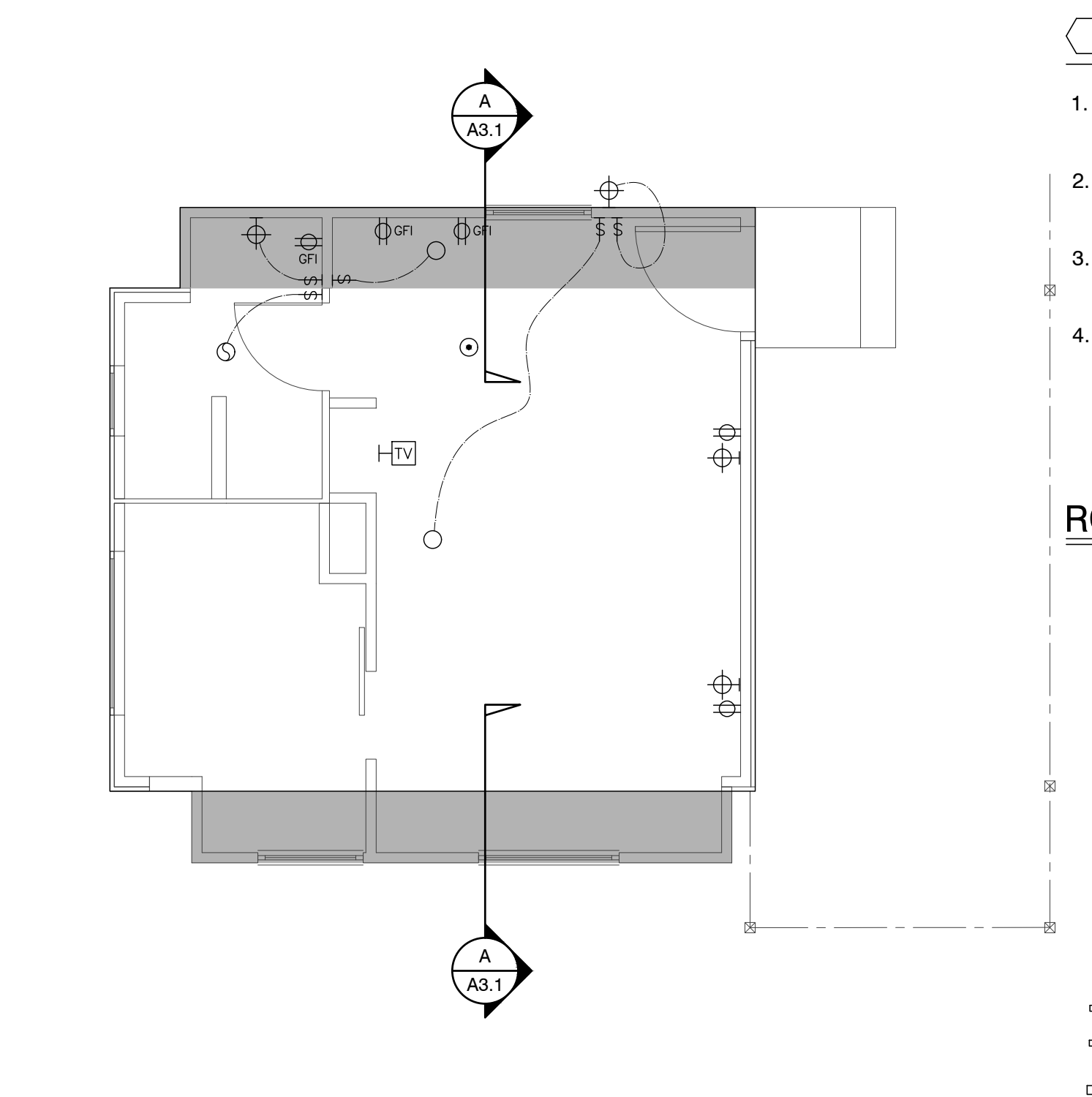
### ADD/REMODEL AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 2 X 4 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. w/ 3x3x3/16" SQ. WASHER. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 4 HEADERS U.O.N. OVER OPENINGS. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1" Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 5/8" ROUGH SAWN EXT. GRADE PLYWOOD w/ 10d @ 8" o.c. @ EDGE & 10d @ 12" o.c. @ FIELD, TYP. w/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND.  
ROOF SYSTEM: 2 X 6 @ 16" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

1. (N) ROOF FRAMING TO MATCH (E) HISTORIC COTTAGES. 2x6 @ 24" w/ 5/8" PLYWOOD.
2. (N) ROOF OVER ADDITION
3. FRAME/FINISH GABLE ROOF TO MATCH ORIGINAL, TYP.
4. BEAM
5. OUTLINE OF ROOF, TYP.
6. 4X4 POST ON PIERS w/ POST BASE AND CAP, TYP.
7. NOT USED
8. NOT USED
9. NOT USED

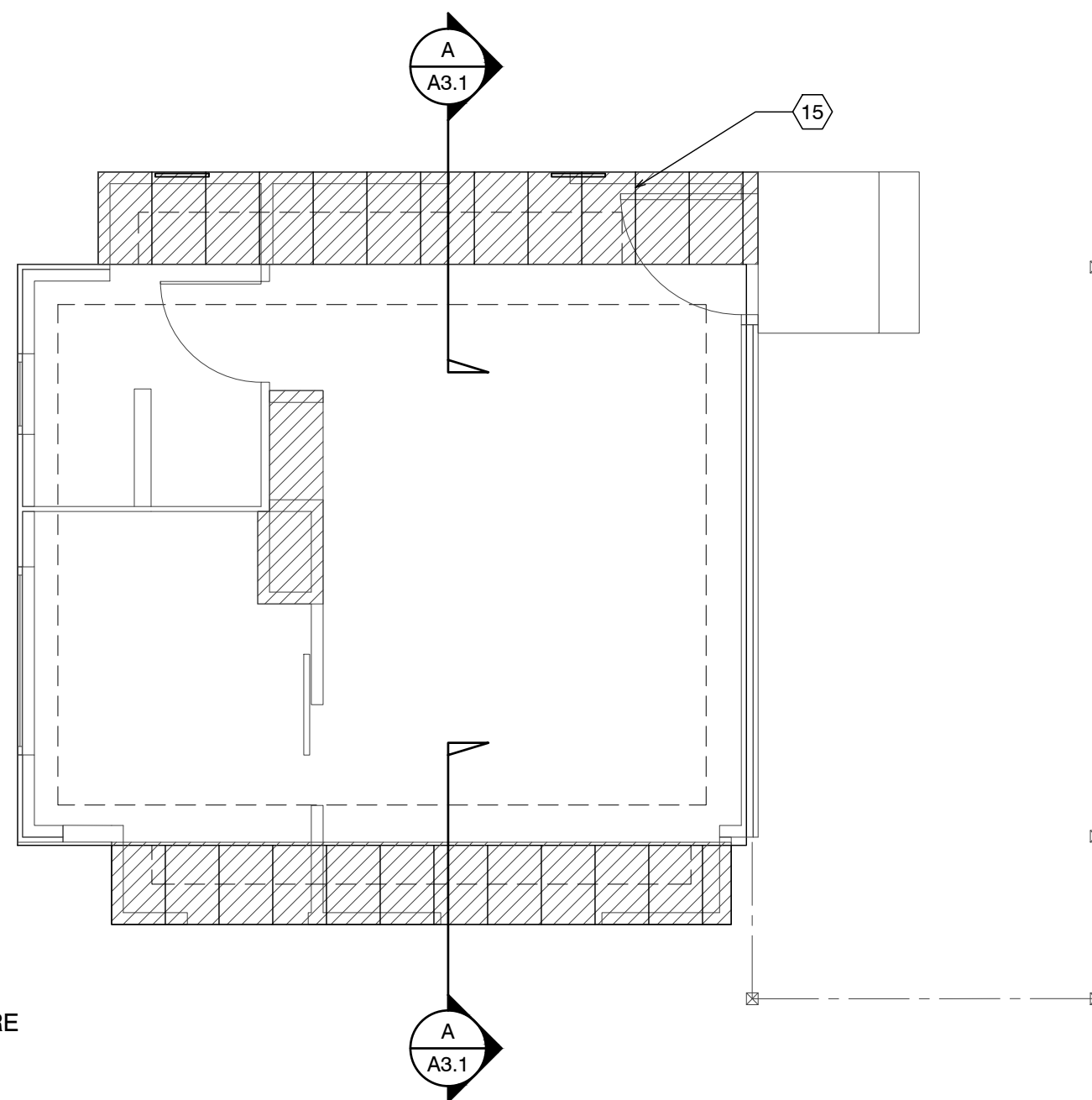


### RCP NOTES

1. (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
2. REPLACE EXISTING 50 AMP PANEL WITH (N) 50 AMP PANEL
3. ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER
4. SEALED GAS UL LISTED FREE STANDING FIREPLACE w/ SURROUND AND HEARTH, PER MANUFACTURER CONTROL BY THERMOSTAT, TYP. 25,000 BTU 100 CFM. HEATILATOR GC1990

### RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V- HARDWIRE w/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDERCABINET MOUNTED FIXTURE
- FLUORESCENT TUBE



FOUNDATION VENT CALCULATION:  
32 SF / 150 = .21 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF



### RCP PLAN UNIT 21

SCALE: 1/4" = 1'-0"



### FND. PLAN UNIT 21

SCALE: 1/4" = 1'-0"



### ROOF PLAN UNIT 21

SCALE: 1/4" = 1'-0"

Drawing By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

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Sheet Title:  
**UNIT #21 FLOOR PLAN**

Sheet Number:

# CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

## COTTAGE REMODEL #21/now #52

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
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Revisions:

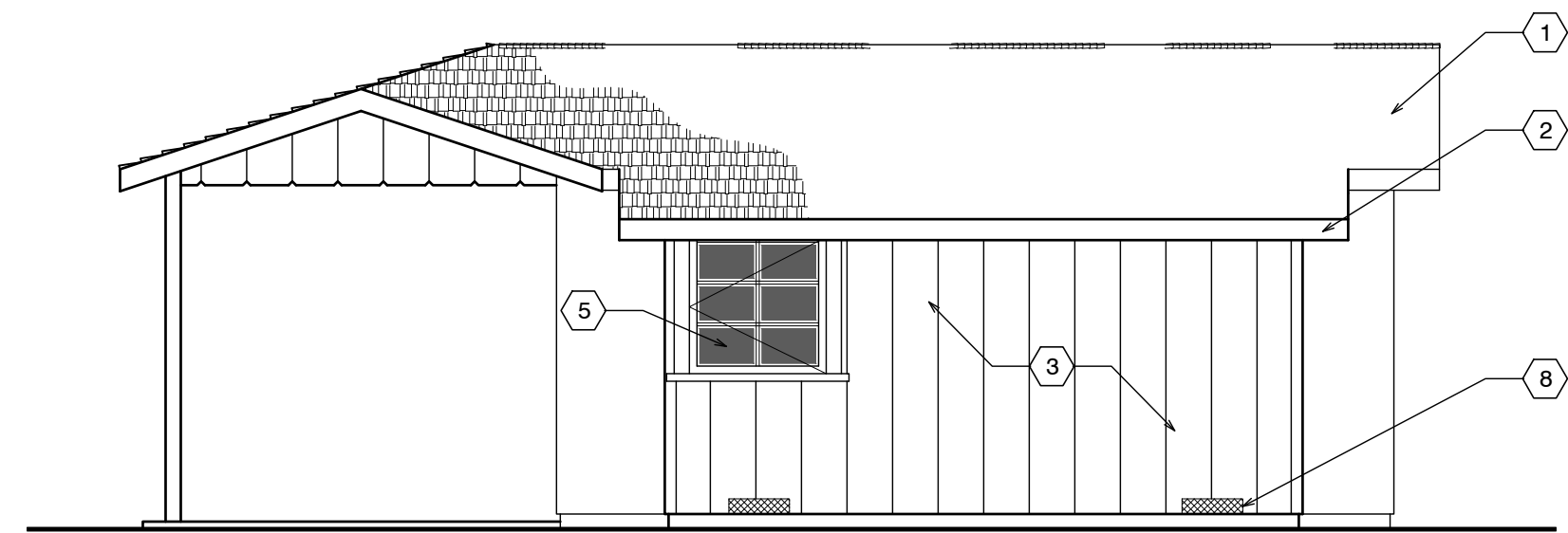
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Sheet Title:  
**UNIT #21 ELEVATIONS**

Sheet Number:

### SHEET NOTES

- NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
- PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
- PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
- Not Used
- NEW WOOD WINDOWS PAINTED TO MATCH (E)
- NOT USED
- NOT USED
- COPPER SCREENED FOUNDATION VENTS 1 SQ. IN. CLEAR OPENING PER 1 SQ. FT. OF FLOOR AREA = 340 SQ. IN. USE 6 - 6"x14" VENTS @ 75% OPEN = 378 SQ. IN.
- NEW 12"x12" CONC. FTG. W/ #4 REBAR TOP & BOT. TIE NEW TO EXISTING W/ 6" DOWEL @ TOP & BOT.



FRONT ELEVATION



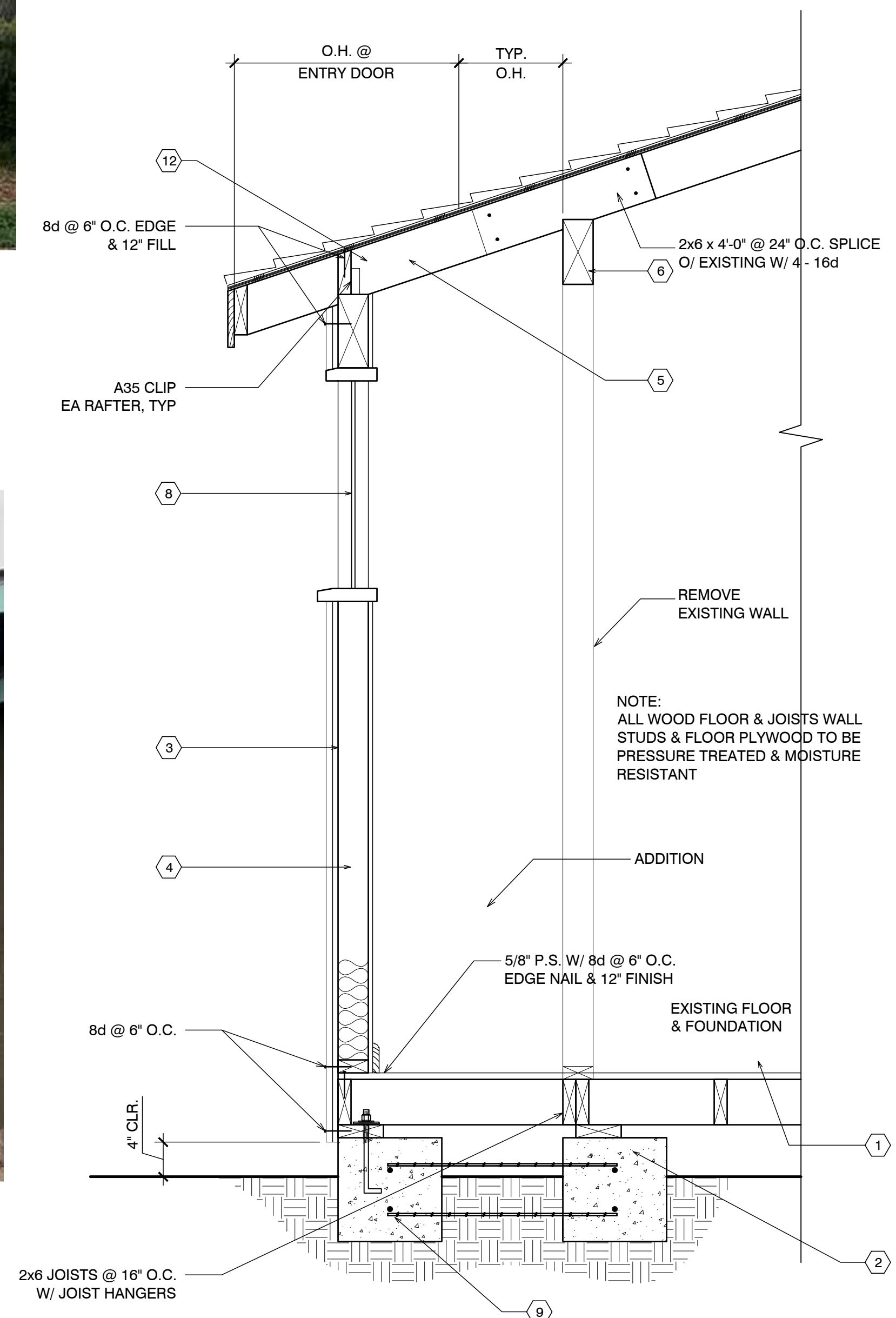
SIDE ELEVATION



SIDE ELEVATION



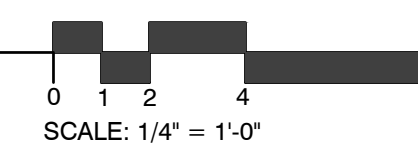
BACK ELEVATION



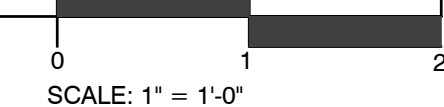
**UNIT #21 SECTION**

## EXTERIOR ELEVATIONS UNIT #21

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1" = 1'-0"

# CARMEL RIVER INN

## COTTAGE UNIT 32/33 LAUNDRY REMODEL/ADDITION

Project / Owner:

### CARMEL RIVER INN

U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

ADDITION TO  
EXISTING LAUNDRY

#32-33/  
#30-31 revised

### THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML

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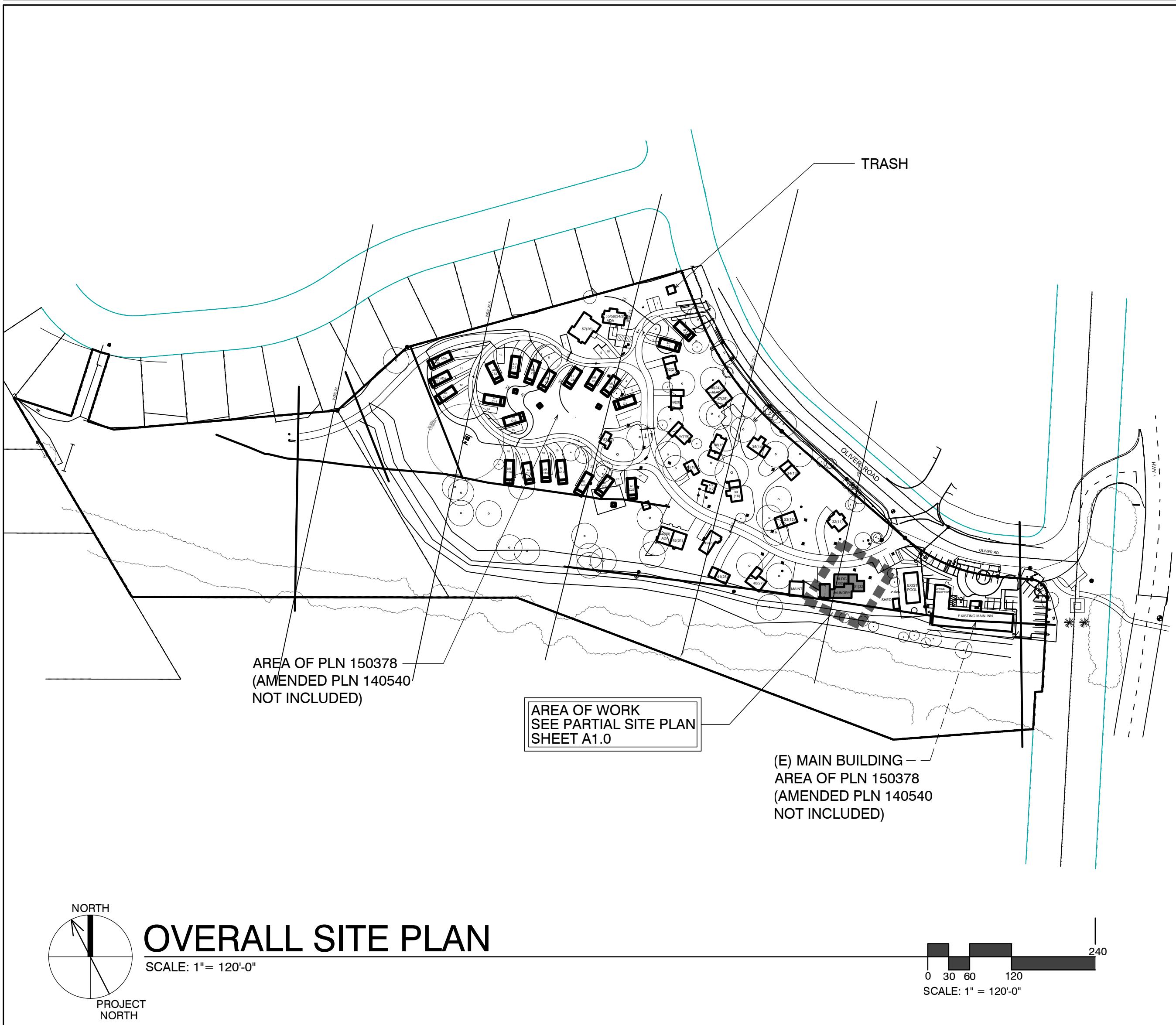
Revisions:

Sheet Title:  
**COVER SHEET**  
**PROJECT INFO**

Sheet Number:

**A0.1**

#### SITE PLAN



#### SHEET INDEX



#### SCOPE OF WORK

- DEMOLISH EXISTING NON HISTORIC, UNPERMITTED BUILDING
- ADDITION TO EXISTING LAUNDRY/HOUSEKEEPING
- RELOCATE EXISTING LAUNDRY EQUIPMENT TO NEW ADDITION

#### SHEET INDEX

##### ARCHITECTURAL

- A0.1 TITLE SHEET, SYMBOLS, PROJECT INFO
- A2.1 UNIT #32 & #33 - DEMO, FLOOR, RCP & ROOF PLAN
- A3.1 ELEVATIONS & SECTION

#### PROJECT INFORMATION

A.P.N. 009-563-005  
ZONING: DEVELOPED AREA: VSC-D(CZ)  
UNDEVELOPED AREA: RC-D(CZ)  
NOTE: SEE MASTER SITE PLAN FOR ZONING CLARIFICATION  
FLOOD PLAIN: COTTAGE UNITS #32/33 LIE BELOW THE 100 YEAR FLOOD PLAIN LINE (SEE PROJECT DESCRIPTION BELOW FOR LIMITS ON REMODEL)

EXISTING: 1,126 SF  
ADD TO LAUNDRY 280 SF  
TOTAL 1,406 SF

GRADING CALCS: NONE

TREE REMOVAL: NONE

SEWER: CARMEL AREA WASTE WATER DISTRICT

WATER: (E) CAL-AM WATER SERVICE TO REMAIN

OCCUPANCY: R1

OCCUPANCY SEPARATIONS: NONE

TYPE OF USE: MOTEL

TYPE OF CONSTRUCTION: V-B

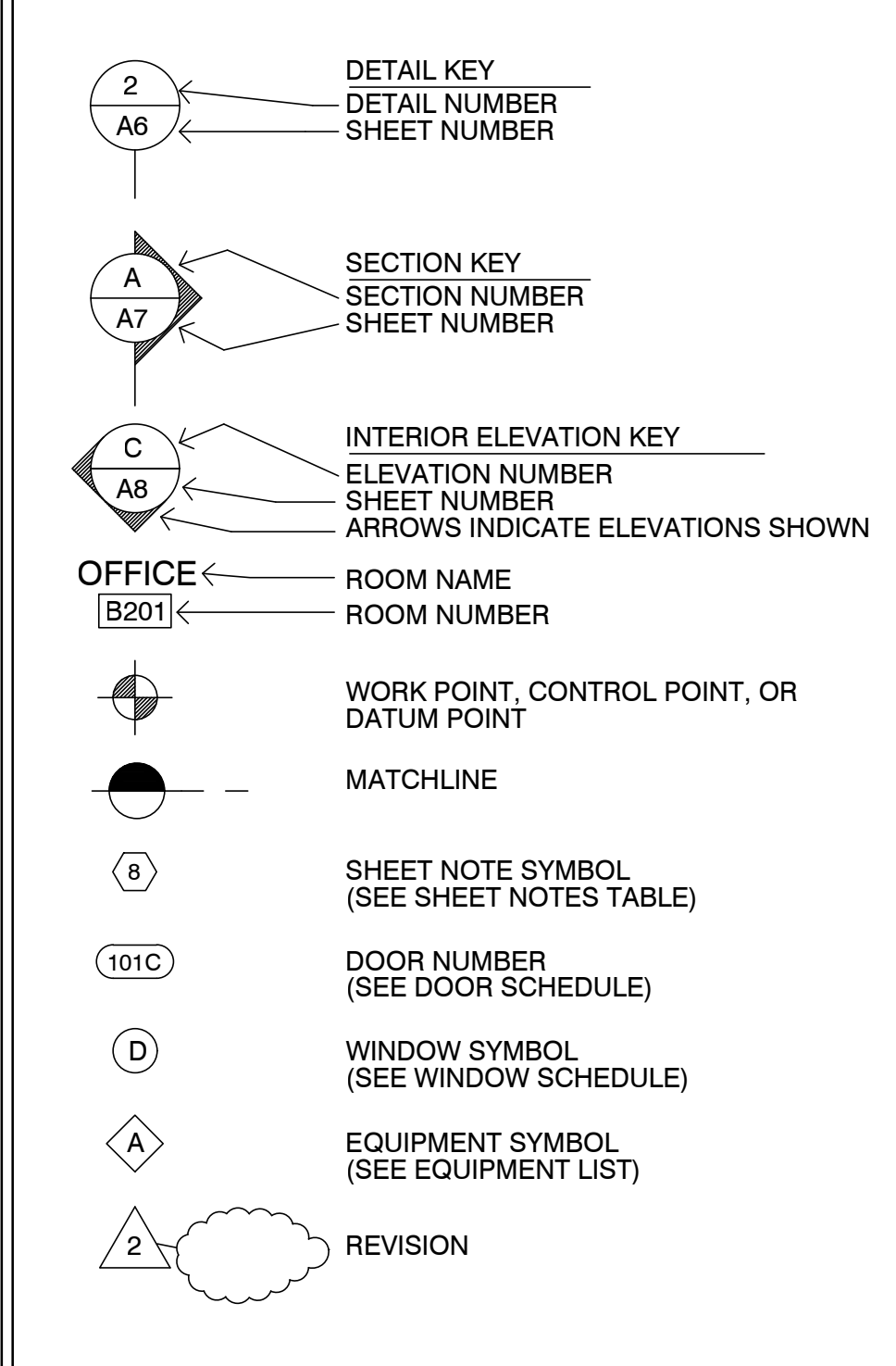
SPRINKLERS REQUIRED: YES, NFPA 13-D

APPLICABLE CODES:  
2022 California Building Code (CBC)  
2022 California Residential Code (CRC)  
2022 California Electrical Code (CEC)  
2022 California Mechanical Code (CMC)  
2022 California Plumbing Code (CPC)  
2022 California Energy Code (CEC)  
Title 24

#### ABBREVIATIONS

& AND	DBL. DOUBLE	H.B. HOSE BIB	O. OVER	S.M. SIMILAR
L. ANGLE	DEPT. DEPARTMENT	HBD. HARDBOARD	OB. OBS.	S.S. STAINLESS STEEL
AT. AT	DET. DETAIL	H.C. HOLLOW CORE	H.C. HOLLOW CORE	S.M. SHEET METAL
CL. CENTERLINE	D.F. DOUGLAS FIR	HOR. HEADER	O.D. OUTSIDE DIAMETER	S.M.S. SHEET METAL SCREW
Ø. DIAMETER OR ROUND	D.H. DOUBLE HUNG	HDWD. HARDWOOD	OFF. OFFICE	S.P.E.C.S. SPECIFICATIONS
⊥. PERPENDICULAR	DIAG. DIAGONAL	HDWR. HARDWARE	O.H.W.S. OVALHEAD WOOD SCREW	SQ. SQUARE
∥. PARALLEL	DIMEN. DIMENSION	H.M. HOLLOW METAL	OPNG. OPENING	STL. STEEL
#. POUND OR NUMBER	DISP. DISPENSER	HORIZ. HORIZONTAL	OPP. OPPOSITE	STD. STANDARD
(E). EXISTING	DN. DOWN	HTG. HEATING	O.S.B. ORIENTED STRAND BOARD	STAG. STAGGERED
A.B. ANCHOR BOLT	DRWG. DRAWING	H.W. HOT WATER	P.A.F. POWDER ACTUATED FASTENER	STOR. STORAGE
A.B.S. ACRYLONITRILE BUTADIENE STYRENE	D.S. DOWNSPOUT	H.V.A.C. HEATING, VENTILATING, AND AIR CONDITIONING	P.A.R.T. B.D. PARTICLE BOARD	STRUC.T. STRUCTURAL
A.C. ASPHALTIC CONCRETE	E. EAST	I.C.B.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	P.G. PAINT GRADE	SUSP. SUSPENDED
A.C.U.S. AIR CONDITIONING	E.A. EACH	I.D. INSIDE DIAMETER	P.F. PERFORATED	SYS. SYSTEM
ACOUSTICAL	ELEV. ELEVATION, ELEVATOR	I.N.C.L. INCLUDED, INCLUDING	P.L. PLYWOOD	T. TREAD (S)
ADJ. ADJUSTABLE, ADJACENT	ELEC. ELECTRIC (AL)	INSUL. INSULATION	P.L. LAM. PLYWOOD LAMINATE	T.B. TOWEL BAR
AGGR. AGGREGATE	EMER. EMERGENCY	INT. INTERIOR	PLAS. PLASTER	T.C. TOP OF CURB
ALUM. ALUMINUM	ENCL. ENCLOSURE	INV. INVERT	P.P. PAIR	TEL. TELEPHONE
ANOD. ANODIZED	EQUIP. EQUIPMENT	JAN. JANITOR	P.P.F. POUNDS PER SQUARE FOOT	T.E.M. TEMPERED
A.P.A. AMERICAN PLYWOOD ASSOCIATION	EXH. EXHAUST	J.H. JOIST HANGER	P.S.I. POUNDS PER SQUARE INCH	T.G. TONGUE AND GROOVE
APPROX. APPROXIMATE	EXP. EXPOSED EXPANSION	J.T. JOINT	P.T. PRESSURE TREATED	T.G.R. TOP OF GRATE
ARCH. ARCHITECT (URAL)	EXT. EXTERIOR	KIT. KITCHEN	P.T.D. PAPER TOWEL DISPENSER	TH. THICK (NESS)
B.D. BOARD	F.A. FIRE ALARM	L. LONG LENGTH	P.V.C. POLYVINYL CHLORIDE	THRESH. THRESHOLD
BIT. BITUMINOUS	FAST. FASTEN, FASTENER	L.A.M. LAMINATE, LAMINATED	R. RISER (S)	T.P. TOP OF PAVEMENT
BLD. BUILDING	F.B. FLAT BAR	L.A.V. LAVATORY	R.A. RETURN AIR	T.P.H. TOILET PAPER HOLDER
BLK. BLOCK	F.D. FLOOR DRAIN	L.A.W. LAMINATE WOOD	RAD. RADIUS	T.V. TELEVISION
BLKG. BLOCKING	FDN. FOUNDATION	L.B. LAG BOLT	R.D. ROOF DRAIN	T.W. TOP OF WALL
B.M. BENCH MARK	F.E. FIRE EXTINGUISHER	L.C. LOCATE, LOCATION	REF. REFRIGERATOR	TYP. TYPICAL
BM. BEAM	FIBERGL. FIBERGLASS	L.W. LIGHT WEIGHT	REIN. REINFORCED, REINFORCING	U.B.C. UNIFORM BUILDING CODE
BDT. BOTTOM	FIN. FINISH (ED)	M.A.S. MASONRY	REIN. REINFORCED, REINFORCING	U.L. UNDERWRITER'S LABORATORIES
BRG. BEARING	F.H.M.S. FLAT HEAD MACHINE SCREW	M.A.X. MAXIMUM	REIN. REINFORCED, REINFORCING	U.O.N. UNLESS OTHERWISE NOTED
BTRN. BETWEEN	F.H.W.S. FLAT HEAD WOOD SCREW	M.B. MACHINE BOLT	REIN. REQUIREMENT	UR. URINAL
B.W. BOTH WAYS	FLASH. FLASHING	M.C. MEDICINE CABINET	RESL. RESILIENT	V.B. VAPOR BARRIER
CAB. CABINET	FLR. FLOOR (ING)	M.O. MASONRY OPENING	RESL. RESILIENT	VAR. VARIATION
C.B. CATCH BASIN	FLOOR DR. FLOOR DRAIN	M.C. MEDICINE CABINET	R.H.W.S. ROUND HEAD WOOD SCREW	V.G. VERTICAL
CEM. CEMENT	F.O. FACE OF	M.H. MAN HOLE	RM. ROOM	V.G.T. VERTICAL GRAIN
CER. CERAMIC	F.O.C. FACE OF CONCRETE	M.E. MECHANICAL	R.O.W. RIGHT OF WAY	V.T. VINYL TILE
C.F. CUBIC FOOT	F.O.F. FACE OF FINISH	MEZ. MEZZANINE	R.S. RESAWN	W. WEST
C.I. CAST IRON	F.O.S. FACE OF STUDS	MFR. MANUFACTURE (ER)	RUB. RUBBER	W.W. WIDTH
CLKG. CALKING	F.P. FIRE RESISTANCE	MIR. MIRROR	R.W.D. REDWOOD	W.W. WITH
CL.G. CEILING	FT. FOOT OR FEET	MIS. MISCELLANEOUS	R.W.L. RAIN WATER LEADER	W.C. WATER CLOSET
CL. CLOSET	FTG. FOOTING	M.L.D.G. MOLDING	S. SOUTH	W.D. WINDOW
CLAR. CLEAR (ANCE)	FURR. FURRED (ING)	M.L.W. MALLEABLE IRON WASHER	M.L.W. MALLEABLE IRON WASHER	W.D.H. WINDOW HEATER
COL. COLUMN	GA. GAUGE	M.T.D. MOUNTED	M.O. MASONRY OPENING	W.I.C. WOODWORK INSTITUTE OF CALIFORNIA
COMP. COMPOSITION	GALV. GALVANIZED	M.T.L. METAL	MULL. MULLION	W.W. WITHOUT
CONC. CONCRETE	G.B. GRAB BAR	M.T.L. METAL	MULL. MULLION	W.P. WATERPROOF
CONN. CONNECT (ION)	G.I. GALVANIZED IRON	M.T.L. METAL	MULL. MULLION	W.R. WATER RESISTANT
CONSTR. CONSTRUCT (ION)	GL. GLASS, GLAZING	N. NORTH	N. NORTH	W.S. WOOD SCREW
CONT. CONTINUOUS	GR. GRADE, GRADING	NAT. NATURAL	N.C. NOT IN CONTRACT	W.S.C. WOOD SCREW
CORR. CORRUGATED	G.W.B. GYPSUM WALLBOARD	NAT. NATURAL	N.C. NOT IN CONTRACT	W.S.C. WOOD SCREW
CSMT. CASEMENT		NAT. NATURAL	N.C. NOT IN CONTRACT	W.T. WEIGHT
CSWK. CASEWORK		NAT. NATURAL	N.C. NOT IN CONTRACT	W.W.M. WELDED WIRE MESH
C.T. CERAMIC TILE		NAT. NATURAL	N.C. NOT IN CONTRACT	
CTR. COUNTER		NAT. NATURAL	N.C. NOT IN CONTRACT	
CTSK. COUNTERSINK		NAT. NATURAL	N.C. NOT IN CONTRACT	
C.Y. CUBIC YARD		NAT. NATURAL	N.C. NOT IN CONTRACT	

#### SYMBOLS



#### VICINITY MAP



#### PROJECT DIRECTORY

PROJECT OWNER  
CARMEL INN VENTURES  
P.O. BOX 1796  
CARMEL VALLEY, CA 93924  
CONTACT: JOY BERRY / JAMES FLAGG  
PHONE: (949) 500-7069

PROJECT ARCHITECT  
THE PAUL DAVIS PARTNERSHIP  
286 ELDORADO STREET  
MONTEREY, CA. 93940  
PHONE: (831) 373-2784  
FAX: (831) 373-7459  
info@pauldavispartnership.com  
CONTACT: PAUL E. DAVIS

Sheet Number:

# CARMEL RIVER INN

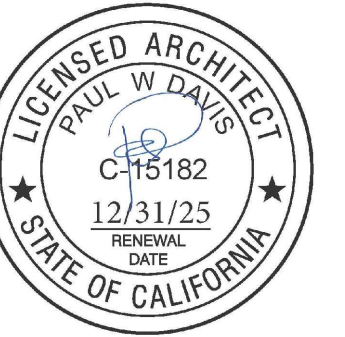
U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

## ADDITION TO EXISTING LAUNDRY

#32-33/  
#30-31 revised

### THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML

Drawing Date: 07/15/2025

Project Number: 2502

Revisions:

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Sheet Title:  
**UNIT #32 FLOOR PLAN**

Sheet Number:

### ELECTRICAL LEGEND

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- THERMOSTAT CONTROL
- TELEVISION CABLE
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED GAS HEATER

- NOTES:
- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
  - ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
  - PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

### FIRE SPRINKLER SYSTEM NOTES

FIRE O21 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) RESIDENTIAL OFF DOMESTIC WATER

Section 102.1 Subsection 5 Monterey Fire Code Amendments of the 2013 California Fire Code:

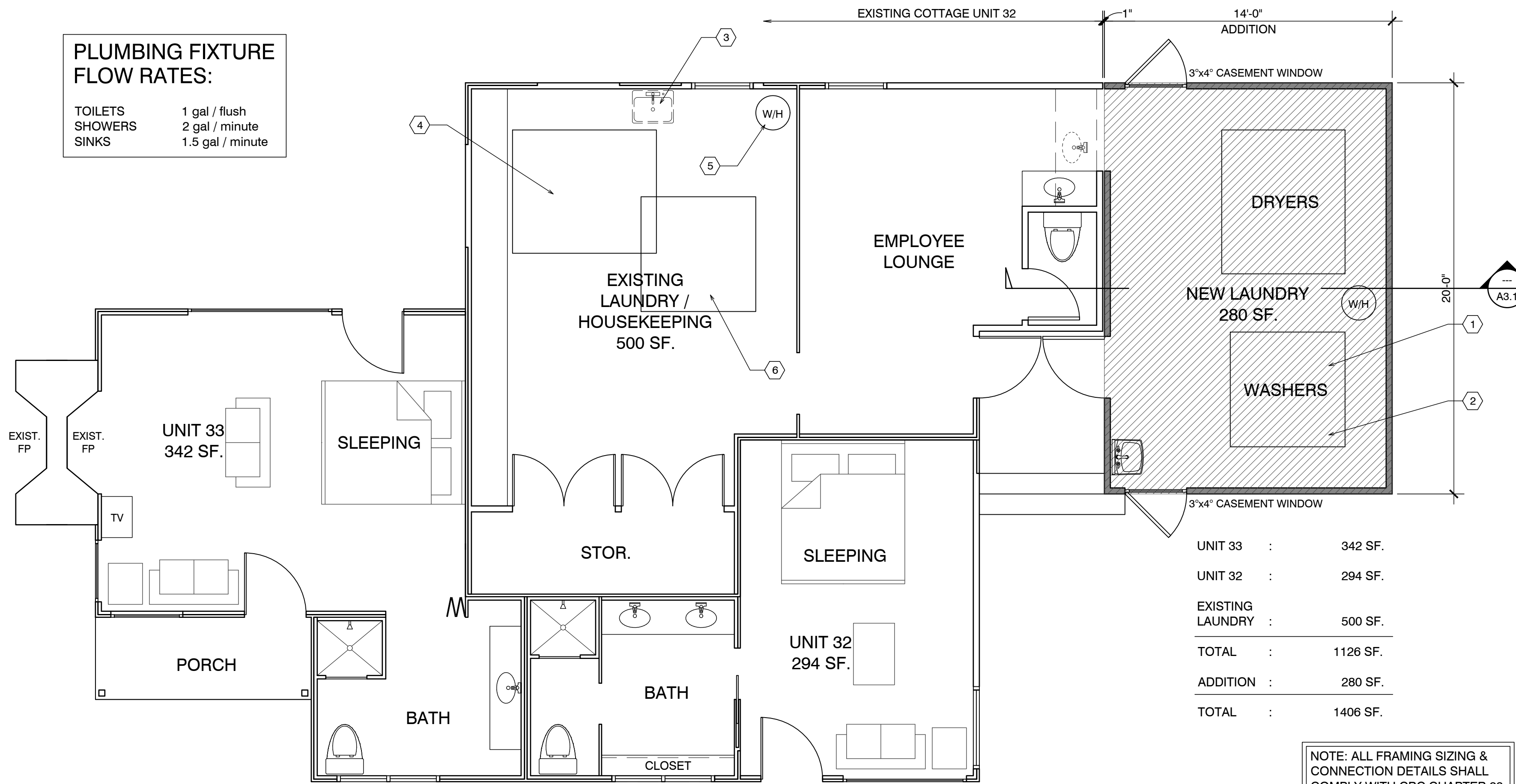
Existing structures Alterations and repairs. All work performed in alterations and/or repairs to existing structures shall comply with the current provisions of this Chapter. When alterations and/or repairs result in the removal, alteration, modification, replacement of fifty percent or more of the external walls of a building, or result in the removal, modification, replacement and/or repair of fifty percent or more of the existing internal structure and/or non-structural framework, independently or in combination thereof, within a five year period, the entire building shall be made to conform to the current provisions of this Chapter. The determination under this section of the requirement for upgrading any existing structure to full conformance with current provisions of this Chapter shall be at the sole discretion of the Fire Code Official. (NFPA 13-D)

### WET-FLOOD PROOFING AND UNDER FLOOR VENTING REQUIREMENTS

- Foundation Walls - Provide foundation vents around perimeter of 1 sq. in. net opening/ 1 SF of enclosed area. Note: The space below the floor is only 12" ±
- The floor framing will be pressure-treated wood. Future buildings (not including Building 13 & 16) will have all wood framing below 1 foot above floor line pressure-treated lumber with vent holes at top and bottom of stud spaces.
- The exterior siding and trim will be redwood, which is rot resistant.
- The inside wall finish will be paperless gypsum board mold and moisture resistant, which has a three-month in place exposure warranty.
- Mold resistant paint will be used exterior and interior.
- Flooring will be tile in bathrooms and carpet in living/sleeping area over pad - non glue-down.

### PLUMBING FIXTURE FLOW RATES:

TOILETS	1 gal / flush
SHOWERS	2 gal / minute
SINKS	1.5 gal / minute



UNIT 33	: 342 SF.
UNIT 32	: 294 SF.
EXISTING LAUNDRY	: 500 SF.
TOTAL	: 1126 SF.
ADDITION	: 280 SF.
TOTAL	: 1406 SF.

NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### FIRE SPRINKLER CALCS

(E) TOTAL LINEAL FOOTAGE	= 168'-6"
TOTAL LINEAL FOOTAGE DEMOLISHED, ADDED OR REPLACED	= 71'-0"
TOTAL DEMO	= 42%

NOTE: PER CALCS ABOVE FIRE SPRINKLERS ARE NOT REQUIRED

### ELECTRICAL NOTE:

Arc-fault circuit-interrupter protection - All 120-volt 15 & 20 ampere or branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or area shall be protected by a listed arc-fault circuit interrupter combination-type. Guestrooms (210-18) & guest suites that are provided with permanent provisions for cooking shall have AFCI. [210-12 (B)]

### RCP NOTES

- (E) CEILING & LIGHTING TO REMAIN IN THIS ROOM
- (N) 50 AMP PANEL
- ALL NEW CEILINGS TO HAVE 1/2" GYP. BD. W/ FINISH SPEC'D BY OWNER

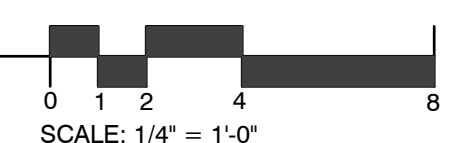
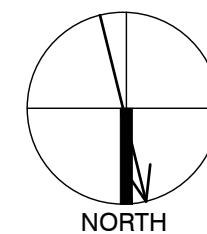
### RCP LEGEND

- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- RECESSED LIGHT FIXTURE
- RECESSED WALL WASHER
- SURFACE MOUNTED FIXTURE
- PENDANT FIXTURE
- EXHAUST FAN
- COMBINATION LIGHT & EXHAUST FAN FIXTURE
- WALL MOUNTED FIXTURE
- SMOKE DETECTOR- 110V. HARDWIRE W/ BATTERY BACK-UP- TYP U.O.N.
- COVE OR INDIRECT LIGHT FIXTURE
- UNDER CABINET MOUNTED FIXTURE
- FLUORESCENT TUBE

FOUNDATION VENT CALCULATION:  
41 SF / 150 = .27 SF REQUIRED  
PROVIDE (2) 15.5"x4.5" VENTS @ .156 SF EA. = 3.12 SF

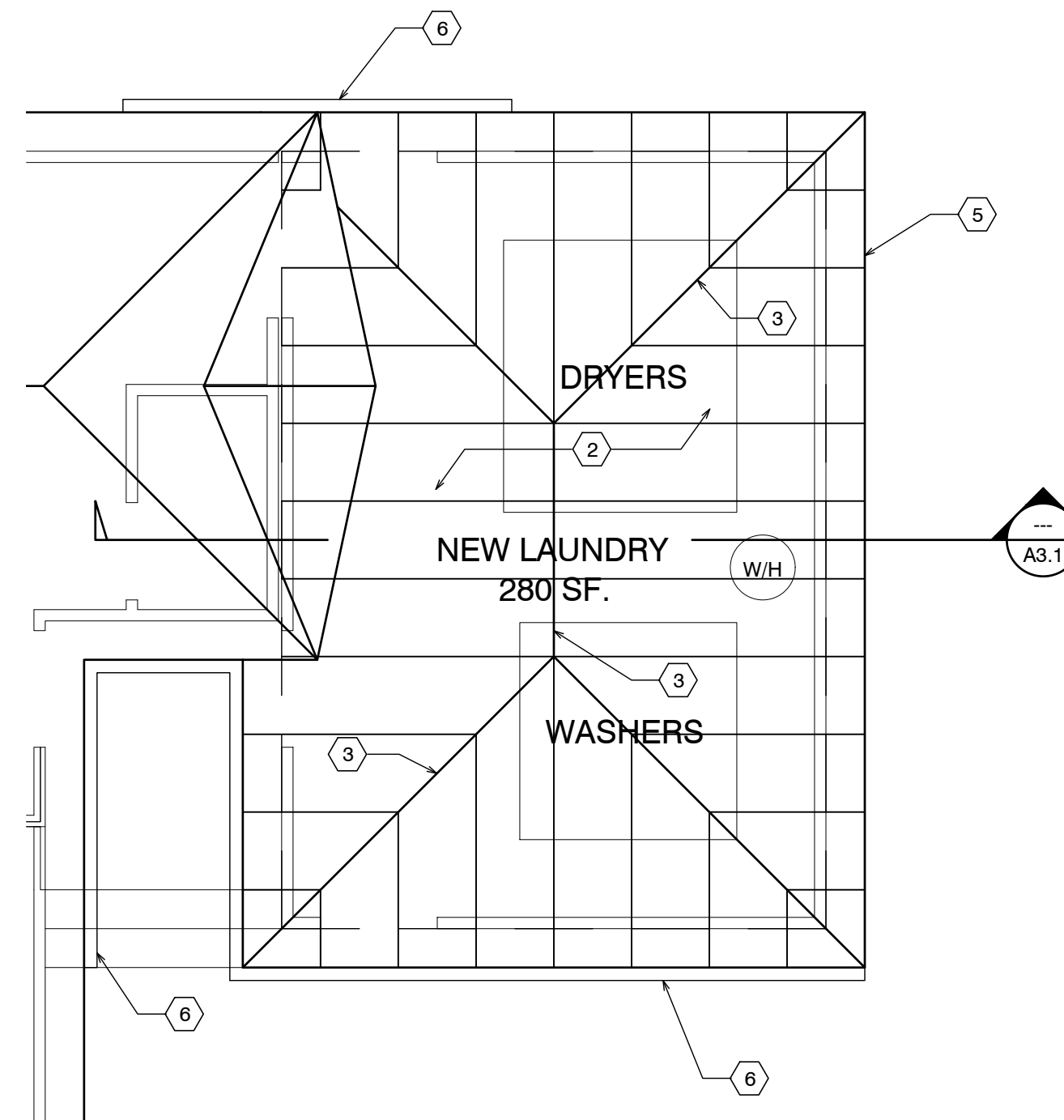
### NEW LAUNDRY FLOOR PLAN

SCALE: 1/4" = 1'-0"



### WALL LEGEND

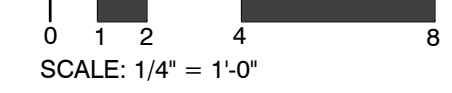
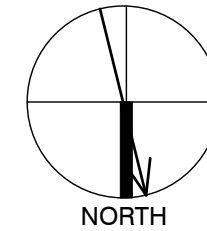
- EXISTING WALL TO REMAIN
- NEW FRAMED WALL
- EXISTING WALL TO BE REMOVED



NOTE: ALL FRAMING SIZING & CONNECTION DETAILS SHALL COMPLY WITH CBC CHAPTER 23

### NEW LAUNDRY ROOF PLAN

SCALE: 1/4" = 1'-0"



### FLOOR NOTES

- REPLACE & RELOCATE EXISTING 2 DRYERS, 2 WASHERS, WATER HEATER WITH CONTROLLERS, ELECTRICAL PANELS & UTILITIES.
- RECYCLING EQUIPMENT
- MOVE EXISTING SINK
- 2 EXISTING DRYERS
- EXISTING WATER HEATER
- 2 RELOCATED EXISTING WASHERS

### REBUILD AS REQUIRED BY EXISTING CONDITIONS

FLOOR SYSTEM: 3 X 6 FOOT MUDSILL WITH 5/8" X 10" AB @ 12" FROM ENDS AND 48" O.C. IN FIELD. 2 X 6 DF PT FLOOR JOISTS @ 16" O.C. MAX. SPAN 7'-6" OVER 4 X 6 DF PT CENTER BEAM AT POSTS AND PIERS. FLOOR INSULATION R-19 WITH 3/4" ADVANTEC WATERPROOF PLYWOOD OVER JOISTS.

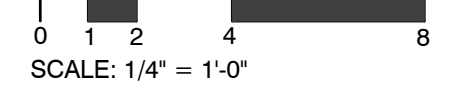
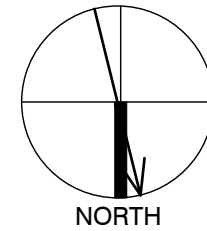
WALL FRAMING: 2 X 4 DF @ 16" O.C. WITH 4 X 8 HEADERS OVER OPENINGS BEHIND EXISTING SINGLE WALL CONSTRUCTION. WALL FRAMING @ UNIT 14 TO BE PRESSURE TREATED DRILL 1" Ø HOLES THRU BOT. PLATE & TOP PLATE @ EACH STUD SPACE ADD 3/8" P.S. ON INSIDE OF EXTERIOR WALLS W/ 6d@6"12" O.C. W/ HORIZ. METAL STRAPPING ACROSS OPENINGS AT LEAST 2 STUDS EA. SIDE BEYOND. ROOF SYSTEM: 2 X 6 @ 24" O.C. WITH H-1 TIES 2 X 8 RIDGE AND 2 X 6 COLLAR TIES UP 32" FROM TOP PLATE. 5/8" OSB ROOF SHEATHING WITH H CLIPS WITH 1 X 8 X T&G AT OVERHANG AND CARPORT. CARPORT BEAMS 4 X 10 OVER 4 X 4 POST WITH POST CAP. W/ RAFTER TIES @ 4'-0" O.C. - SIM. TO HOUSE ROOF BRACE CORNERS WITH DIAGONAL MEMBER @ CORNER FASTENERS 2'-0" FROM CORNERS OF BOTH BEAMS

### ROOF NOTES

- NOT USED
- (N) ROOF OVER ADDITION
- 2x8 HIP & RIDGE
- NOT USED
- OUTLINE OF ROOF, TYP.
- GUTTER
- NOT USED
- NOT USED
- NOT USED

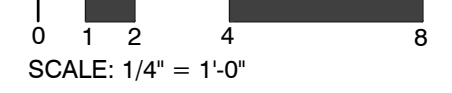
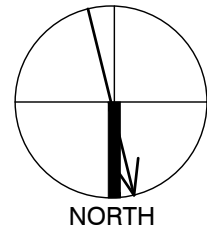
### NEW LAUNDRY RCP PLAN

SCALE: 1/4" = 1'-0"



### NEW LAUNDRY FND. PLAN

SCALE: 1/4" = 1'-0"



Sheet Number:

# CARMEL RIVER INN

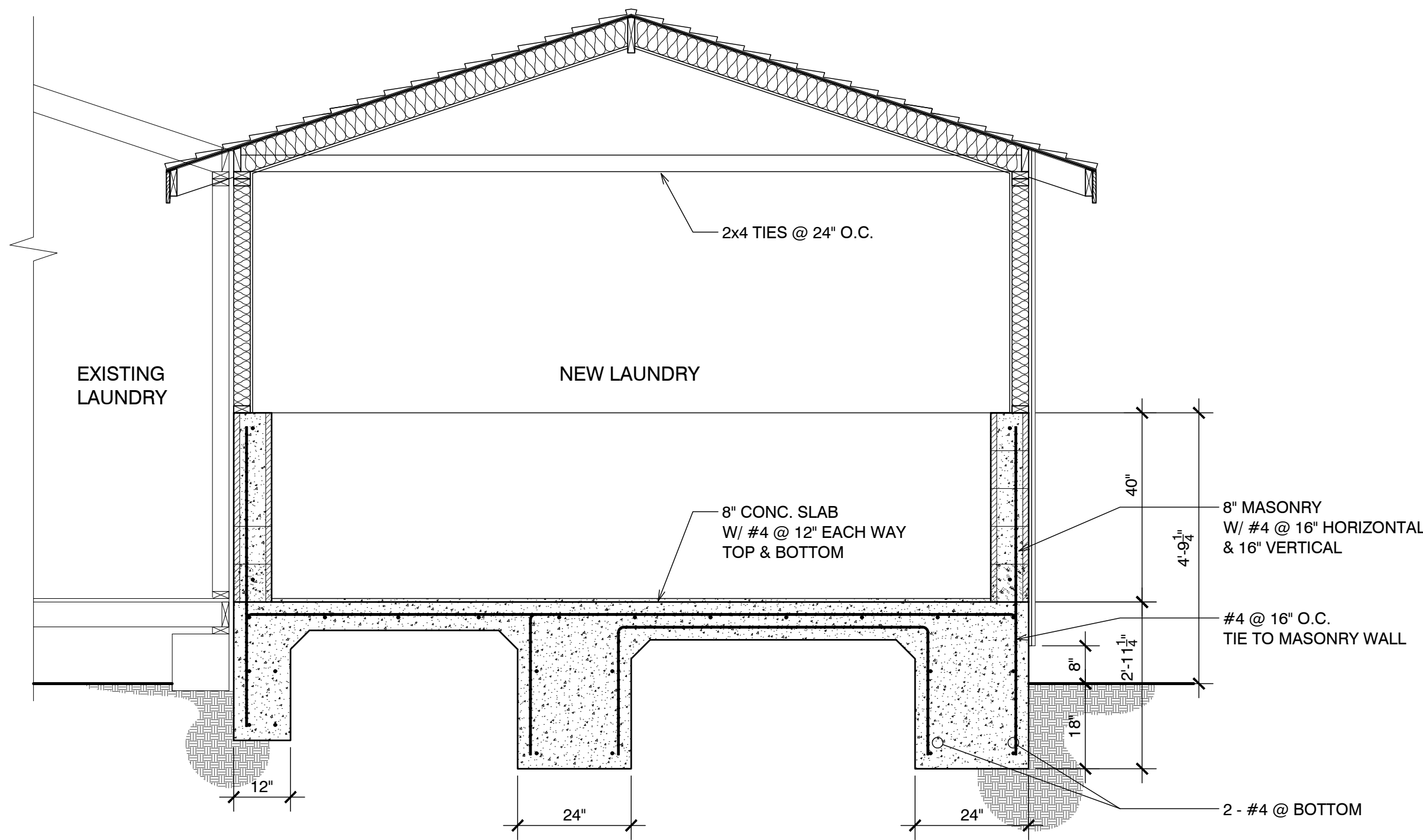
U.S. HIGHWAY 1  
@ CARMEL RIVER BRIDGE  
P.O. BOX 221609  
CARMEL, CA 93922  
APN: 009-563-005

ADDITION TO  
EXISTING LAUNDRY

## #32-33/ #30-31 revised

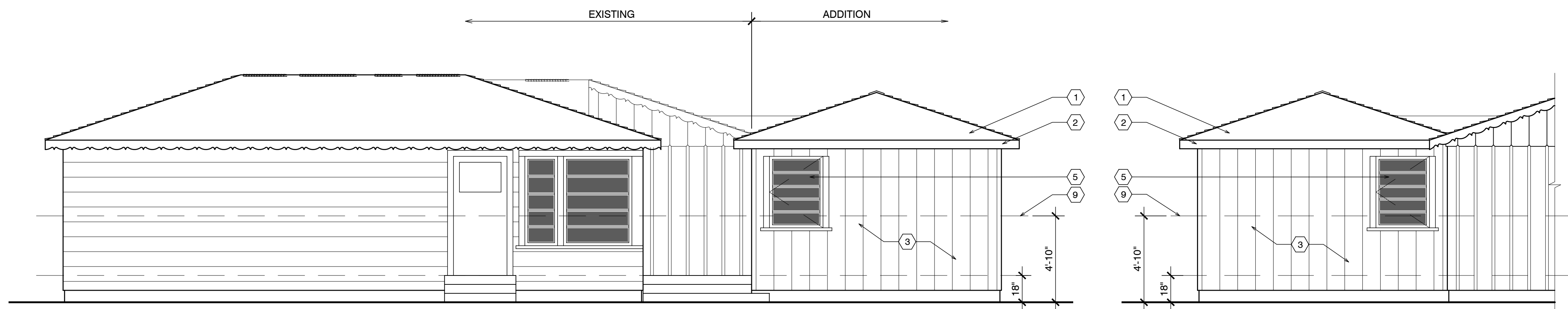
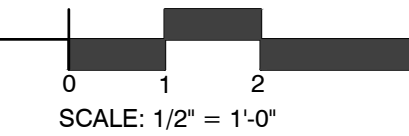
### SHEET NOTES

1. NEW ASPHALT COMP ROOFING TO MATCH UNIT #15
2. PAINTED 1X6 REDWOOD FASCIA (WITH STRAIGHT EDGE THAT DOESN'T MATCH (E))
3. PAINTED ROUGH SAWN 12" BOARD ON BOARD SIDING (THIS WILL DIFFERENTIATE THE NEW FROM THE OLD)
4. NOT USED
5. NEW WOOD WINDOWS PAINTED TO MATCH (E)
6. NEW SLAB-ON-GRADE TERRACE
7. NEW REDWOOD FENCE AROUND TERRACE (SHOWN DASHED)
8. NOT USED
9. MASONRY WALL ABOVE FLOOD PLAIN



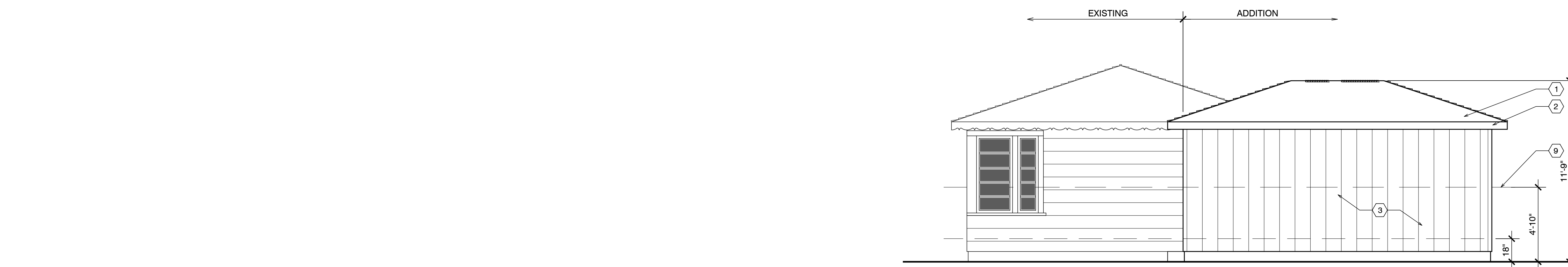
## SECTION UNIT #32 & #33

SCALE: 1/2" = 1'-0"



### FRONT ELEVATION

### SIDE ELEVATION

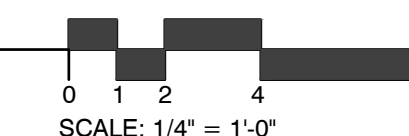


### SIDE ELEVATION

### BACK ELEVATION

## EXTERIOR ELEVATIONS UNIT #32 & #33

SCALE: 1/4" = 1'-0"

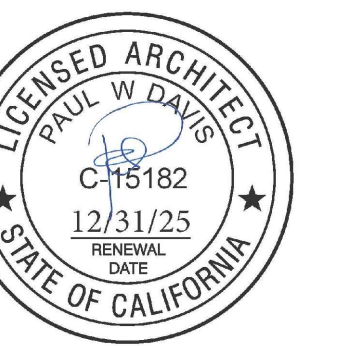


## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS



The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



Drawn By: ML  
Drawing Date: 07/15/2025  
Project Number: 2502

Revisions:

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Sheet Title:  
**UNIT #32 & #33  
ELEVATIONS**

Sheet Number: