

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

NOORANI JONATHAN (PLN240046)

RESOLUTION NO. ----

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions set forth in CEQA Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Administrative Permit and Design Approval to allow the construction of a 2,734 square-foot single-family dwelling and 767 square foot detached three-car garage with associated site improvements, including the removal of three Oak trees; and
 - b. Use Permit for development on slopes in excess of 25%.

[PLN240046, NOORANI JONATHAN, 26141 RINCONADA DR., CARMEL VALLEY, CA 93924, TORO AREA PLAN (APN: 416-051-026-000)]

The NOORANI JONATHAN application (PLN240046) came for a public hearing before the County of Monterey Zoning Administrator on April 30th, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
 - 2010 Monterey County General Plan;
 - Toro Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of construction of a 2,734 square foot single-family dwelling, 767 square foot detached three-car garage, and a 400 square foot detached accessory dwelling unit with development on slopes over 25%. Three Coast live oak trees in the footprint of the residence will be removed. A new septic system with a leach field is proposed to support the development and the property will receive potable water from California American Water Company.
- c) Allowed Use. The property is located at 26141 Rinconada Drive, Carmel Valley, (Assessor's Parcel Number 416-051-026-000), Toro Area Plan. The parcel is split-zoned as Rural Density Residential with a maximum gross density of 5.1 acres/unit and Visual Sensitivity zoning overlay district, as well as Rural Density Residential with Building Site-8 and Visual Sensitivity zoning overlay districts, or "RDR/5.1-VS| RDR/B-8-VS", which allows the first single-family dwelling per lot, non-habitable accessory structures, and an accessory dwelling units as principally allowed uses according to Title 21 sections 21.16.030.A, 21.16.030.E, and 21.16.030.S. The proposed project includes construction of a 2,734 square foot single-family dwelling with an attached 767 square-foot three-car garage, development on slopes in excess of 25%, and associated site improvements. Associated site improvements include a new septic system, landscape improvements, and grading of approximately 170 cubic yards of cut and 270 cubic yards of fill. Additionally, the project includes the removal of three Oak trees. Pursuant to Title 21 Chapter 21.46, all development located within the Visual Sensitivity Zoning District is subject to either a Use Permit or Administrative Permit, depending on visibility, and a Design Approval. As demonstrated in subsequent Finding 1 Evidence "f" and Finding 3, an Administrative Permit and Design Approval are required in this case due to the project not being visible from Laureles Grade, or any other common public viewing area. Therefore, the project is an allowed land use for this site.

The site plans included in this project illustrate an approximately 400 square foot Accessory Dwelling Unit (ADU). Pursuant to Title 21 section 21.64.030 and Government Code section 65852.2, construction of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the construction of an ADU is not a part of this discretionary application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans.

- d) Lot Legality. The property is shown in its present size and configuration as adjusted Parcel D (PLN030398) in a Record of Survey entitled, "Showing the Lot Line Adjustment Between Parcel C and Parcel D as shown on the map filed [...] on file in the Recorder's Office of Monterey County, California" (Volume 23, Surveys, Page 14), recorded March 23rd, 2024. Therefore, the County recognizes it as a legal lot of record.

- e) Development Standards. The property is subject to the site development standards for the RDR zoning district, which are identified in Title 21 section 21.16.060. Pursuant to Title 21 section 21.16.060.C, development within this district shall meet the required setbacks unless combined with a “B” district. Title 21 section 21.42.030 outlines more restrictive setbacks due to the Building Site or “B” overlay. Required setbacks for main structures and structurally attached accessory structures are 30 feet (front), 10 percent of average lot width in feet (side), and 20 feet (rear). As proposed, the single-family dwelling complies with these requirements. The residence and garage have an approximately 325-foot front setback, an approximately 515-foot rear setback, a 25-foot side setback to the south, and an approximately 200-foot side setback on the farthest northern side, and a 515-foot rear setback. The maximum allowable height for main structures is 30 feet, while the project proposes a height of 25 feet from average natural grade. The property is 249,690 square feet (5.74 acres), and the maximum allowable building site coverage is 25% (62,423 square feet). The proposed coverage is 6.6% (16,476 square feet), which is well under the allowable maximum. Therefore, the proposed project meets the required site development standards for the LDR and Building Site 8 zoning district.

The B-8 overlay was established within the Toro Area Plan due to known water supply constraints and intended to restrict development or land use intensification that would adversely affect the water supply. Pursuant Title 21 section 21.42.030.H.1, the construction of the first single-family dwelling and accessory structures are exempt from these restrictions. As noted above, the property will be served by the Cal-Am, which indicated that there is an adequate water supply to serve the proposed development. Therefore, the proposed project meets the required site development standards for the RDR and Building Site 8 zoning district.

- f) Visual Resources. The proposed project includes development within a Visually Sensitive zoning district. As demonstrated in Finding No. 3 and supporting evidence, the findings required for development within a Visual Sensitivity zoning district but will not be visible from any common public viewing areas are made in this case.
- g) Design. Consistent with Title 21 Chapter 21.44, a Design Approval Application was submitted. Colors and materials consist of smooth beige cement plaster walls with brown eaves; dark bronze doorway; Class “A” concrete tile roofing in a Valencia brown color. The proposed design is consistent with TAP Policy T-3.1 and the design review of structures is appropriate to assure protection of the public viewshed, neighborhood character, and to assure the visual integrity of certain developments without imposing undue restrictions on private property. Prior to issuance of building permit(s), the landscape plan and exterior lighting shall be approved by HCD Planning pursuant to Title 21 Section 21.16.060 and will be controlled by use of the County’s standard condition (Condition No. 7 and Condition No. 8). Exterior lighting shall be consistent with the Design Guidelines for Exterior

Lighting adopted by the Board of Supervisors pursuant to Title 21 Section 21.63.020. Therefore, as proposed and conditioned, the project is not in conflict with the surrounding environment or with the surrounding residential neighborhood character and assures protection of the public viewshed and visual integrity.

- h) Development on Slope Exceeding 25%. The proposed project includes approximately 4,798 square feet of development on slopes in excess of 25%. As demonstrated in Finding No. 4 and supporting evidence, the necessary finding to approve a Use Permit for development on slopes of 25% are made in this case.
- i) Tree Removal. The project proposes the removal of three protected Coast live oak trees. As demonstrated in Finding No. 5 and supporting evidence, the findings required for tree removal are made in this case.
- j) Cultural Resources. According to Monterey County Geographic Information System (GIS) records, the subject parcel has a moderate archaeological sensitivity and is not within 250 feet of a known archaeological resource. Additionally, the project qualifies for a Categorical exemption from CEQA (see Finding No. 8 and supporting evidence). Therefore, no archaeological assessment was prepared for the project pursuant to Title 21 Section 21.66.050.C. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- k) Land Use Advisory Committee (LUAC) Review. The project was referred to the Toro Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on June 23, 2025. The LUAC voted 3-0 to support the project with the recommendation to replant additional trees to replace the three proposed for removal.
- l) The project planner conducted a site inspection on May 9, 2025, to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240046.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to trees, biology, and soil/slope stability. The following reports have been prepared:

- “Arborist Report” (LIB250073) prepared by Frank Ono, Pacific Grove, California, January 7, 2025.
- “Biological and Spring Survey” (LIB250074) prepared by Ed Mercurio, Salinas, California, March 31, 2026.
- “Geotechnical Investigation” (LIB250075) prepared by Greg Bloom, Salinas, California, November 18, 2024.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on May 9, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240046.

3. FINDING: VISUAL RESOURCES – The proposed project will not have significant impacts on visual resources.

- EVIDENCE:**
- a) Pursuant to Title 21 Chapter 21.46, the project site and surrounding area are designated as a Visual Sensitivity Zoning District (“VS zoning overlay), which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area.
 - b) Toro Area Plan (TAP) Policy T-3.3 indicates that new development within areas designated as “visually sensitive”, as illustrated on the Toro Area Scenic Highway Corridors and Visual Sensitivity Map (Figure 16), may be permitted if the development is located and designed (building design, exterior lighting, and siting) in such a manner that will enhance the scenic value of the area. Architectural design consistent with the rural nature of the Plan area shall be encouraged. According to Figure 16, the subject property is not designated as being visually “sensitive” or “highly sensitive”; however, the subject property does have a VS overlay but is not visible from a common public viewing area. Title 21 section 21.46 outlines regulations for subject properties with a VS overlay, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area.
 - c) The siting of proposed development is shielded by topography and existing vegetation. The residence is approximately 940 feet east and downhill from Laureles Grade in a densely vegetated area. The trees along Laureles Grade are taller than the proposed residence and it will not be silhouetted against the sky.
 - d) Staff conducted a site inspection on May 9, 2025, and confirmed that the staking and flagging was not visible from Highway 68, Laureles Grade, or any other common public viewing area without aided vision due to distance, topography, and existing mature vegetation. The trees along Laureles Grade are taller than the proposed residence, therefore the development will not silhouette against the sky. The proposed residence sits approximately 510 feet away and downhill from Laureles Grade street level.

- e) Therefore, in accordance with Title 21 Section 21.46.030.D.2, an Administrative Permit is required for all other development in a “VS” District that does not meet the criteria for the requirement of a Use Permit.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240046.

4. **FINDING:** **DEVELOPMENT ON SLOPES EXCEEDING 25%** – Policy OS-3.5 prohibits development on slopes in excess of 25% unless one or both of the following findings can be made, based on substantial evidence:

- 1) There is no feasible alternative which would allow development to occur on slopes of less than 25%; or
- 2) the project better achieves the resource protection objectives and policies contained in the County of Monterey General Plan, accompanying Area Plans, and all applicable master plans.

- EVIDENCE:**
- a) Monterey County GIS identifies the subject property containing slopes in excess of 25%. The proposed project includes approximately 4,798 square feet of development on slopes in excess of 25% that is within the footprint of the main dwelling, garage, and parking areas.
 - b) Based on the findings that must be made within General Plan Policy OS-3.5, implemented by Title 21 section 21.64.230.E, the proposed development is most suitable in this location considering the topography and existing vegetation. The project includes approximately 4,798 square feet of development on slopes in excess of 25% to construct the detached garage and driveway courtyard. The courtyard is proposed to be constructed in a manner to comply with the Monterey County Fire regulations to ensure clearance for a turnaround area. Should the proposed single-family dwelling, detached garage and driveway courtyard be located towards the front half of the property (towards Rinconada drive), the development may require the removal of more Coast Live Oak trees and potentially be seen from Laureles Grade as the existing vegetation that currently screens the property would potentially be removed.
 - c) The location of the proposed development better achieves the goals, policies and objectives of County policies as alternative locations on the property for this proposed development would result in more tree removal with the potential to be visible from Laureles Grade. There is no feasible alternative location for the siting of the single-family dwelling and garage without removing additional trees or additional development on slopes. Additionally, the 5.11-acre property contains a scenic easement north of the proposed development and a dedicated septic envelope. The property is located on a hill with slopes descending to the east. The development is located within the flattest portion of the property in an open area less densely populated by trees. As proposed, the project site will have the least impact to slopes and protected trees and will allow installation of the septic system outside of slopes in excess of 25%. Therefore, as proposed, the project meets the required findings to grant a Use Permit as identified in the 2010 General Plan and Title 21 section 21.64.230, and better achieves the goals, policies, and
 - d)

objectives of the County of Monterey General Plan and applicable land use plan than other development alternatives.

The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240046.

- 5. FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.
- EVIDENCE:**
- a) The applicant submitted an Arborist Report (LIB250073, Finding No. 2, Evidence “b”) which provided tree assessments detailing the overall general health, vigor, and condition of protected trees and habitat. Protected trees were assessed within the proposed area of development and the property as a whole. The arborist approximates there are 70 trees/acre which amounts to an estimate of 350 trees on the approximately 5-acre parcel. No landmark trees will be removed. As proposed, three trees will be removed with the implementation of this project, all Oak trees.
 - b) The project includes the removal of three protected trees. Of the three oaks proposed for removal, two are within the building footprint. One, 18-inches diameter at breast height (DBH), exhibits bark bleeding and branch breakage and is rated fair. The other, 14-inches and 18-inches dual-stem DBH, has poor architecture and is rated fair-to-poor. The third tree, 18-inches DBH, is outside the building footprint and likely to be impacted by grading. It is recommended for removal due to its poor condition and expected deterioration from grading impacts.
 - c) In this case, the removal is the minimum under the circumstances of this case. The lot is heavily forested and thus, avoiding tree removal entirely is unfeasible for any reasonable development consistent with the neighborhood. The single-family dwelling is consistent in size with other single-family dwellings within the surrounding neighborhood. As demonstrated in Evidence “b” above, two trees are within the footprint of the main residence, and one is in poor condition and would likely deteriorate further by expected impacts from grading, thereby requiring their removal. The subject parcel is downward sloped to the east and the flattest portion with an area of open tree canopy is proposed for development. The parcel is populated with approximately 350 oak trees. The current siting of the home is the most feasible location for development that minimizes impacts to existing trees and slopes in excess of 25%. Moving the home in any direction would result in additional tree removal, and/or would not meet the side setback to the southern property line.
 - d) The subject property has an existing conservation and scenic easement, which further limits the developable area. The development is on the flattest and clearest portion of the property. Should the development be further sited back towards the rear of the property, it would result in additional development on slopes greater than 25%. The remaining site that is heavily forested would further be protected through the implementation of Condition No. 5. In addition to being impacted by grading activities, the removal of these trees within close proximity to

the development also helps to reduce fuel loads near the proposed residential development, consistent with State fuel management guidelines. Given the circumstances of this case, the project has been appropriately sited and designed to minimize tree removal, and the removals will not involve adverse environmental impacts.

- e) Existing trees within the vicinity of the project site that are to remain will be protected throughout construction activities. Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots (Condition No. 5). Protective fencing will be installed around the driplines of the protected trees to ensure no development occurs within the critical root zone through implementation of Condition No. 5 as incorporated. Condition No. 6 has been incorporated stating that tree removal shall not occur until a construction permit has been issued. Additionally, the County's tree replacement condition has been applied to the project as Condition No. 10, indicating a replacement ratio of one-to-one as recommended by the arborist report.
- f) Short-term effects are confined to the construction area and immediate surroundings where two trees will be removed. No significant long-term effects on the forest ecosystem are anticipated, and the project is unlikely to significantly reduce the availability of wildlife habitat over the long term. The project as proposed will not significantly reduce the availability of wildlife over the long term. Condition No. 11 requires a raptor/bird nesting survey be performed by a qualified biologist if tree removal is to be conducted between February 22 and August 1.
- g) The project planner conducted a site inspection on May 9, 2025, to verify that the project on the subject parcel conforms to the tree removal regulations detailed above.
- h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240046.

6. FINDING: **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) This project proposes a septic system and leach field to service the proposed single-family dwelling. The EHB has reviewed preliminary onsite wastewater treatment system (OWTS) plans and found them appropriate. Applicant included a service verification letter from

California American Water dated January 11, 2023, indicating their ability to provide potable water service to the property, in the application.

- c) The project is located on Laureles Grade, which is a frequently traveled road with curves. To minimize the overall construction impact to the neighborhood, a Construction Management Plan is required (Condition No. 14).
- d) Staff conducted a site inspection on May 9, 2025, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240046.

7. FINDING: **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 9, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN240046.

8. FINDING: **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) As detailed in Finding 1, evidence “b”, the applicants propose a single-family dwelling and an ADU. However, under Title 21 section 21.64.030 and Government Code section 65852.2, the ADU is being processed ministerially. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Zoning Administrator’s discretionary authority is limited to consideration of the proposed residence and garage, however the proposed residence, garage, and ADU are subject to CEQA. The project involves the construction of the first single-family dwelling with an attached garage, development on slopes greater than 25%, and associated site improvements on a residentially zoned property.
 - b) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempts new construction, inclusive of single-family dwellings and accessory structures.

- c) The proposed project includes construction of a 2,734 square foot single-family dwelling with an attached 767 square foot three-car garage, development on slopes greater than 25%, and associated site improvements on undeveloped residentially zoned property, fitting with the intent of this exemption.
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. Only three trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. There will be no impact to archaeological or historical resources with implementation of the project. Construction of the proposed residential development will neither create nor significantly contribute to geologic instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact. The proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240046.

9. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Planning Commission.

EVIDENCE: Pursuant to Title 21 Section 21.80.040.A, the project is subject to appeal to the Planning Commission because it requires the Zoning Administrator to make a discretionary decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
2. Approve the Combined Development Permit consisting of: a) Administrative Permit and Design Approval to allow the construction of a 2,734 square foot single-family dwelling and 767 square foot detached three-car garage, with associated site improvements including removal of three oak trees, and b) Use Permit for development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 30th day of April 2026.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240046

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit (PLN240046) consisting of: 1) Administrative Permit and Design Approval to allow construction of 2,734 square foot single family dwelling, 767 square foot detached garage, and associated site improvements, including the removal of three Oak trees; and 2) Use Permit for development on slopes exceeding 25%. The property is located at 26141 Rinconada Drive, Carmel Valley (Assessor's Parcel Number 416-051-026-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Combined Development Permit (Resolution Number _____) was approved by County of Monterey Zoning Administrator for Assessor's Parcel Number 416-051-026-000 on April 30, 2026. The permit was granted subject to 14 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

7. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, an electronic copy of the final landscaping plan shall be submitted to HCD - Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD- Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit final landscape plans and contractor's estimate to HCD- Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of Building Permits, the Owner/Applicant/Agent/Contractor shall submit to HCD- Planning approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

8. PD014(B) - LIGHTING - EXTERIOR LIGHTING PLAN (VISUAL SENSITIVITY DISTRICT)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated, and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the HCD Chief of Planning prior to the issuance of building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plan to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an ongoing basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

9. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"An Arborist Report (LIB250073) prepared by Frank Ono on January 7, 2025, and a Biological Survey (LIB250074) prepared by Ed Mercurio on January 22, 2025, are on file in County of Monterey HCD - Planning. All development shall be in accordance with these reports."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with these reports to the HCD - Planning.

10. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Due upon final inspection, the applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement ratio: 1:1
Replacement tree(s) shall be located within the same general location as the tree being removed.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

11. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

12. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

13. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

14. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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NEW RESIDENCE / GARAGE & ADU FOR NOORANI BOZORG PROPERTY

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA 93924



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450



NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
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SCOPE OF WORK
CODES
ASSESSORS MAP
VICINITY MAP
NOTES

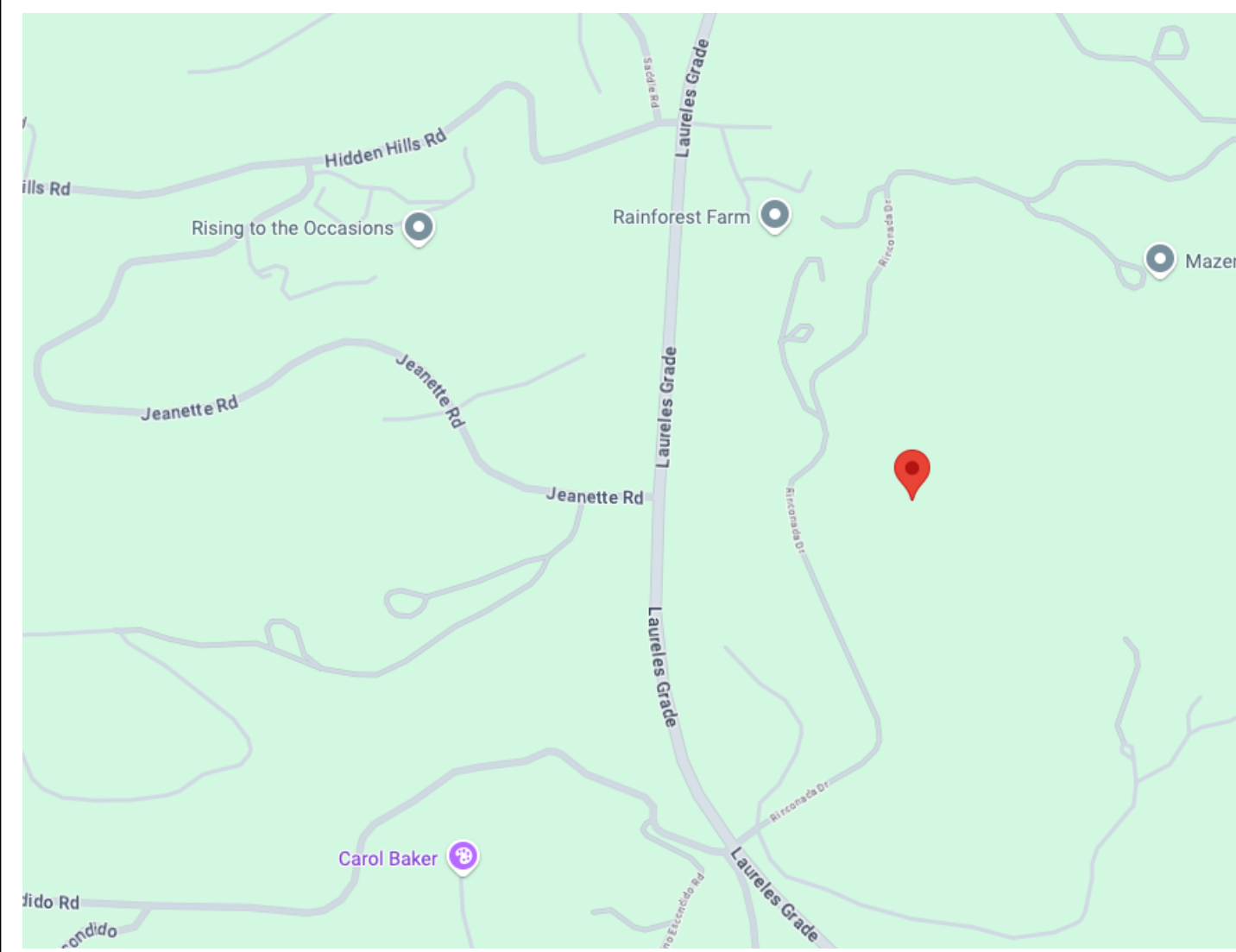
DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
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April 14, 2025 (Plann. Comments)

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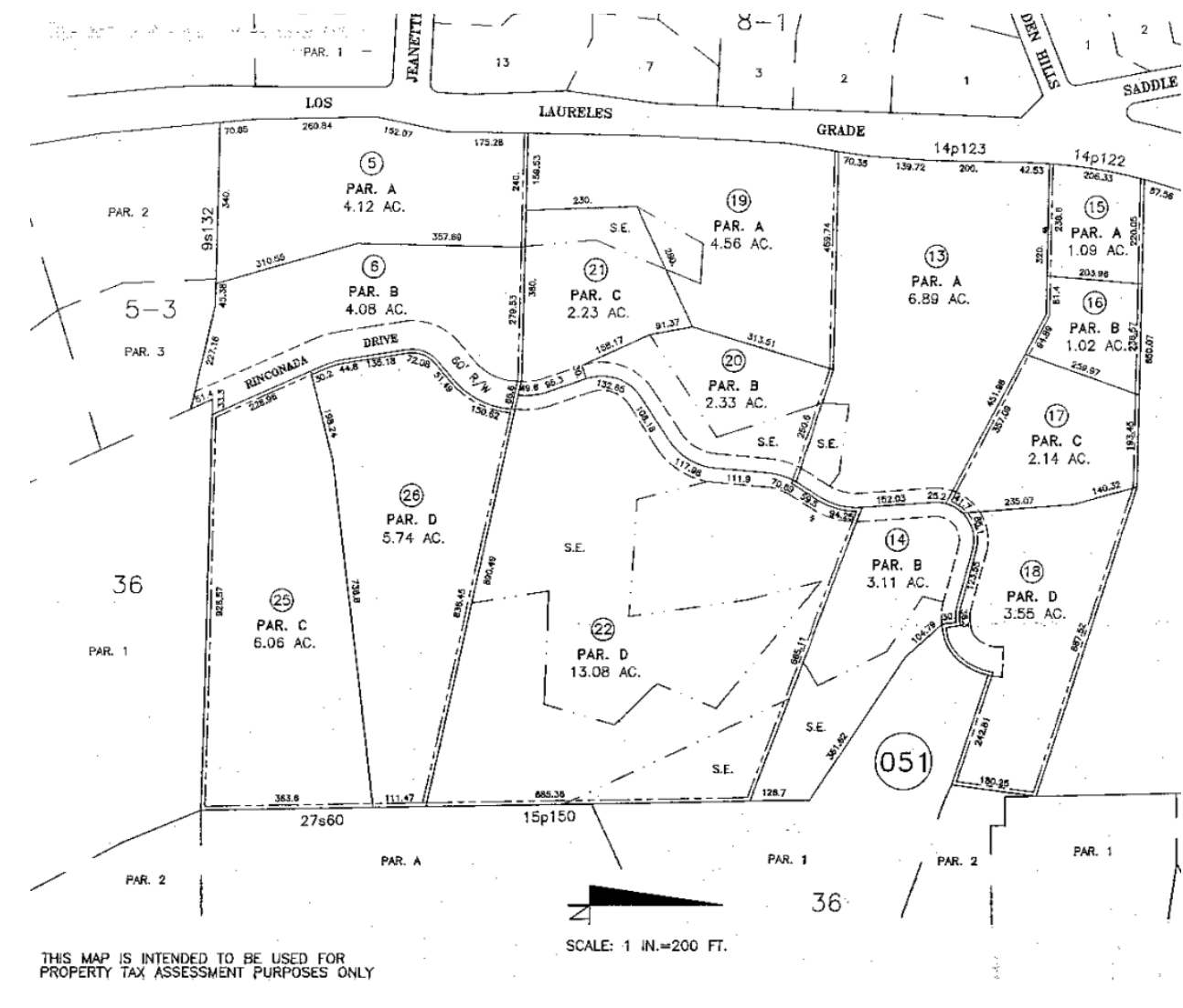
SHEET

A1.0

VICINITY MAP



ASSESSORS MAP



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PROJECT DATA

PROJECT ADDRESS	26141 RINCONADA DRIVE CARMEL VALLEY, CALIFORNIA 93924
PARCEL NUMBER:	416-051-026
MONTEREY COUNTY ZONING:	RDR / 5.1-VS
SITE AREA:	5.74 ACRES (249,690 S.F.)
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	R-3
STORIES:	ONE STORY
SEWER SYSTEM:	NEW SEPTIC SYSTEM
SQUARE FOOTAGE:	
(N) RESIDENCE:	2,734 S.F.
(N) DETACHED 3-CAR GARAGE:	767 S.F.
(N) ACCESSORY DWELLING UNIT (ADU):	400 S.F.
TOTAL:	3,901 S.F.
SITE COVERAGE:	
(N) RESIDENCE:	2,734 S.F.
(N) DETACHED 3-CAR GARAGE:	767 S.F.
(N) ACCESSORY DWELLING UNIT (ADU):	400 S.F.
(N) DECK:	743 S.F.
(N) WALKWAYS & DRIVEWAY:	11,832 S.F.
TOTAL SITE COVERAGE:	16,476 S.F. (6.60% SITE COVERAGE)
TREES TO BE REMOVED:	(3) OAK TREES TO BE REMOVED
FIRE SPRINKLER REQUIREMENT:	REQUIRED
MAXIMUM HEIGHT ALLOWED:	30 FEET MAX.
GRADING:	
CUT =	167.00 CUBIC YARDS
FILL =	268.00 CUBIC YARDS

GENERAL NOTES

TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2022 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.

SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.

CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.

DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.

GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.

MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.

GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION. **ALL KITCHEN RECEPTACLES TO BE GFCI.**

SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2022 RESIDENTIAL CODE FOR SMOKE DETECTORS).

NAILING TO BE IN COMPLIANCE WITH 2022 CALIFORNIA RESIDENTIAL CODE TABLE.

ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).

NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.

ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.

ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.

CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2022 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).

FIRE DEPARTMENT NOTES

FIRE007 - DRIVEWAYS
DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT, WHERE THE GRADE EXCEEDS 8 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.

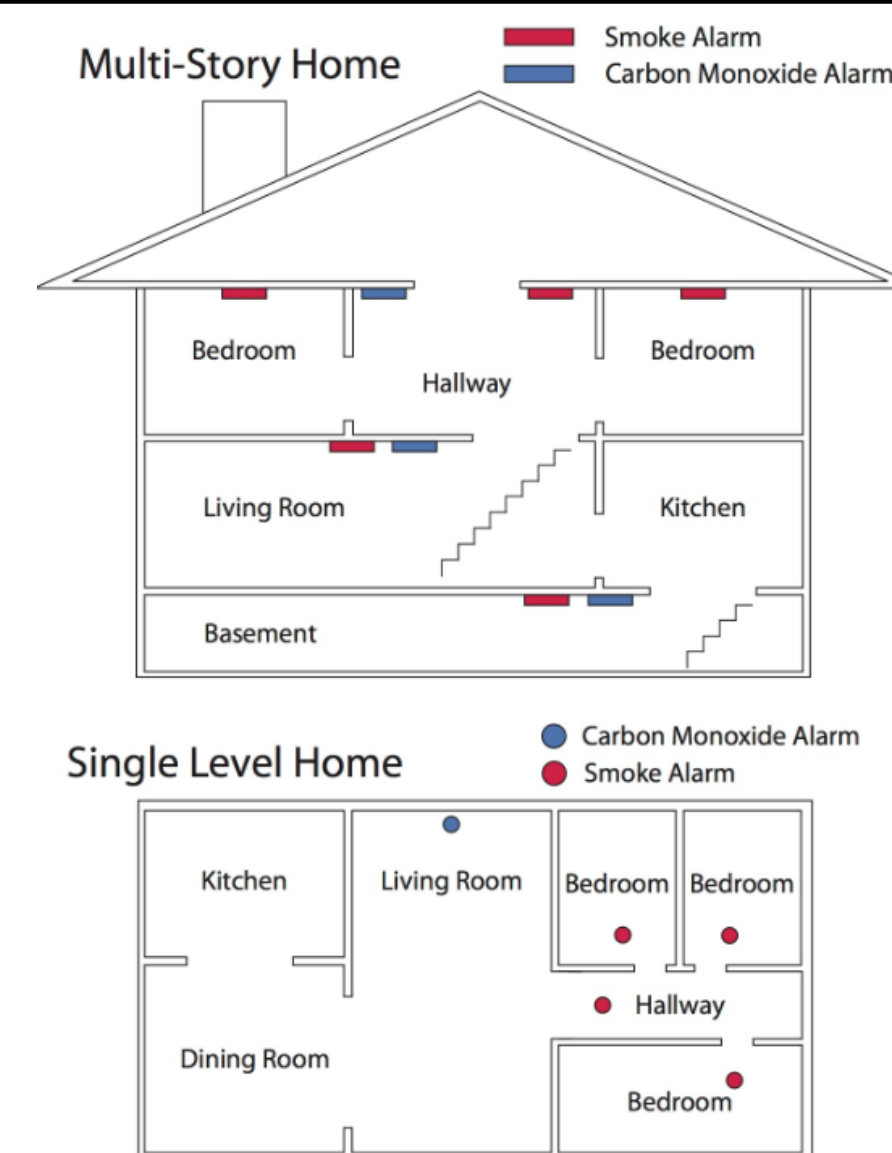
FIRE011 - ADDRESSES FOR BUILDINGS
ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)
MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (HAZARDOUS CONDITIONS)
THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.

FIRE029 - ROOF CONSTRUCTION
ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.

SMOKE & CARBON MONOXIDE LOCATIONS



SCOPE OF WORK

- NEW SINGLE FAMILY DWELLING CONSISTING OF MAIN LEVEL (2,734 S.F.), NEW DETACHED 3-CAR GARAGE (767 S.F.), NEW DETACHED ADU (400 S.F.), EXTERIOR WOOD DECK (743 S.F.)
- MATERIALS:**
 - LIGHTWEIGHT CONCRETE TILE ROOFING (COLOR: VALENCIA)
 - CEMENT PLASTER SIDING (FIRE RESISTIVE) (COLOR: AGED WHITE)
 - MILGARD EXTERIOR WINDOWS AND DOORS (COLOR: BLACK)

ARCHAEOLOGICAL RESOURCES NOTE:

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAELOGIST (i.e. AN ARCHAELOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAELOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAELOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 TITLE 24 ENERGY COMPLIANCE



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

NOORANI
BOZORG
RESIDENCE

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
2022 CALGREEN CHECKLIST

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
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SHEET

A1.1

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL
301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code.
301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.
SECTION 302 MIXED OCCUPANCY BUILDINGS
302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
DIVISION 4.1 PLANNING AND DESIGN
ABBREVIATION DEFINITIONS:
HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
OSHDP Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New
CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
SECTION 4.102 DEFINITIONS
4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)
FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.
WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.
4.106 SITE DEVELOPMENT
4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction.
4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water from the site to keep water from entering buildings.
4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers.
4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit.

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2.
4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.
4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section.
4.106.4.2.3 EV charging stations (EVCS). Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements.
4.106.4.2.3.1 Location. EVCS shall comply with at least one of the following options:
1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.
4.106.4.2.3.2 Electric vehicle charging stations (EVCS) dimensions. The charging spaces shall be designed to comply with the following:
1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).
3. One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
4. A surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.
4.106.4.2.3.3 Accessibility EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B, EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section 1109A.
4.106.4.2.3.4 EV space requirements. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the location or the proposed location of the EV space. Construction documents shall identify the raceway termination point, receptacle or charger location, as applicable. The service panel and/or subpanel shall have a 40-ampere minimum branch circuit, including branch circuit overcurrent protective device installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the location or the proposed location of the EV space, at the time of original construction in accordance with the California Electrical Code.

4.106.4.2.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
4.106.4.2.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).
4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE.
4.201 GENERAL
4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.
DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
4.303 INDOOR WATER USE
4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.
4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
4.303.1.3 Showerheads.
4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.
4.303.1.4 Faucets.
4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.
4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.
4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.
4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff.
FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).
TABLE H-2
STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019
PRODUCT CLASS [spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm)
Product Class 1 (<= 5.0 ozf) 1.00
Product Class 2 (> 5.0 ozf and <= 8.0 ozf) 1.20
Product Class 3 (> 8.0 ozf) 1.28
4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.
4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.
NOTE: THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.
TABLE - MAXIMUM FIXTURE WATER USE
FITTURE TYPE FLOW RATE
SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS 0.5 GPM @ 60 PSI
KITCHEN FAUCETS 1.8 GPM @ 60 PSI
METERING FAUCETS 0.2 GAL/CYCLE
WATER CLOSET 1.28 GAL/FLUSH
URINALS 0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
NOTES:
1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/
DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.
Exceptions:
1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.
1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste material will be sorted on-site (source separated) or bulk mixed (single source separated).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.
Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4.
NOTES:
1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).
4.410 BUILDING MAINTENANCE AND OPERATION
4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:
1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
b. Roof and yard drainage, including gutters and downspouts.
c. Space conditioning systems, including condensers and air filters.
d. Landscape irrigation systems.
e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.
11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures.
12. Information and/or drawings identifying the location of grab bar reinforcements.
4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
DIVISION 4.5 ENVIRONMENTAL QUALITY
SECTION 4.501 GENERAL
4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.
SECTION 4.502 DEFINITIONS
5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 (and are included here for reference)
AGRIFFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.
COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.
DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the Base Reactive Organic Gas (ROG) Mixture per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).

Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 **GENERAL.** Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 **COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 **FINISH MATERIAL POLLUTANT CONTROL.** Finish materials shall comply with this section.

4.504.2.1 **Adhesives, Sealants and Caulks.** Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAGMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 **Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 **Aerosol Paints and Coatings.** Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 **Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ₁	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD:	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS.

All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEH/EAQ/Pages/VOC.aspx>.

4.504.3.1 **Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEH/EAQ/Pages/VOC.aspx>.

4.504.3.2 **Carpet adhesive.** All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 **RESILIENT FLOORING SYSTEMS.** Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.
<https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEH/EAQ/Pages/VOC.aspx>.

4.504.5 **COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 **Documentation.** Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 **General.** Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 **CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 **Capillary break.** A capillary break shall be installed in compliance with at least one of the following:

- A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
- Other equivalent methods approved by the enforcing agency.
- A slab design specified by a licensed design professional.

4.505.3 **MOISTURE CONTENT OF BUILDING MATERIALS.** Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 **Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

- For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
- Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 **HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 **INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- Public utility training programs.
- Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- Programs sponsored by manufacturing organizations.
- Other programs acceptable to the enforcing agency.

702.2 **SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- Certification by a national or regional green building program or standard publisher.
- Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- Successful completion of a third party apprentice training program in the appropriate trade.
- Other programs acceptable to the enforcing agency.

Notes:

- Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
- HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 **DOCUMENTATION.** Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

NEW RESIDENCE & ADU FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
2022 CALGREEN CHECKLIST

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
April 14, 2025 (Plann. Comments)

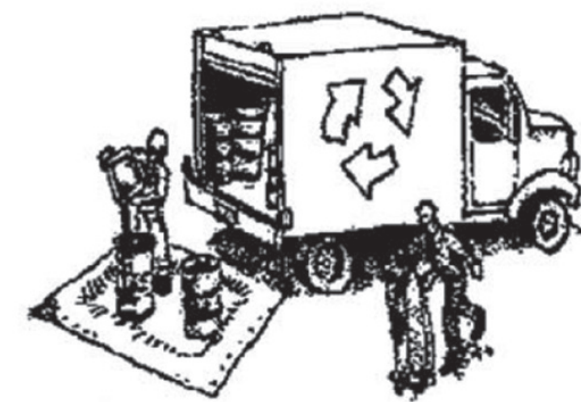
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SHEET

A1.2

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



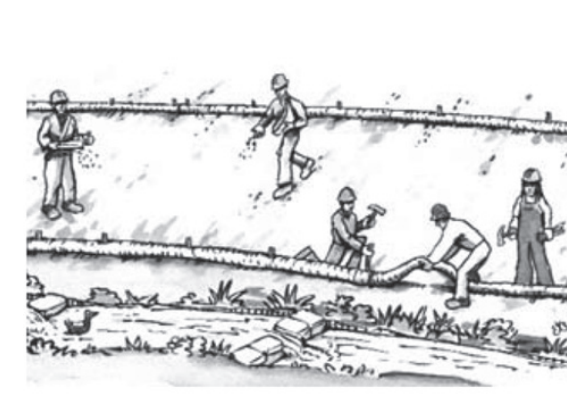
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



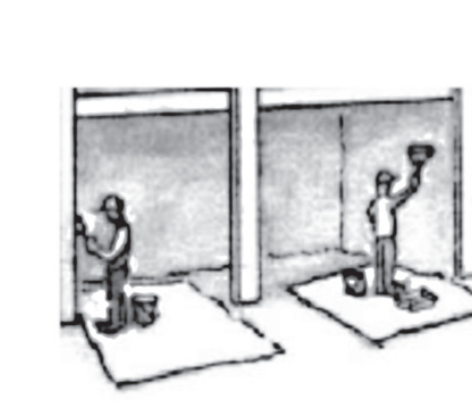
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



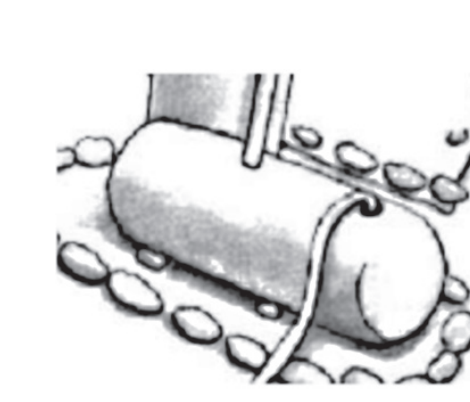
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



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AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
BEST MANAGEMENT PRACTICES
BMP'S

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
April 14, 2025 (Plann. Comments)

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SHEET

A1.3

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

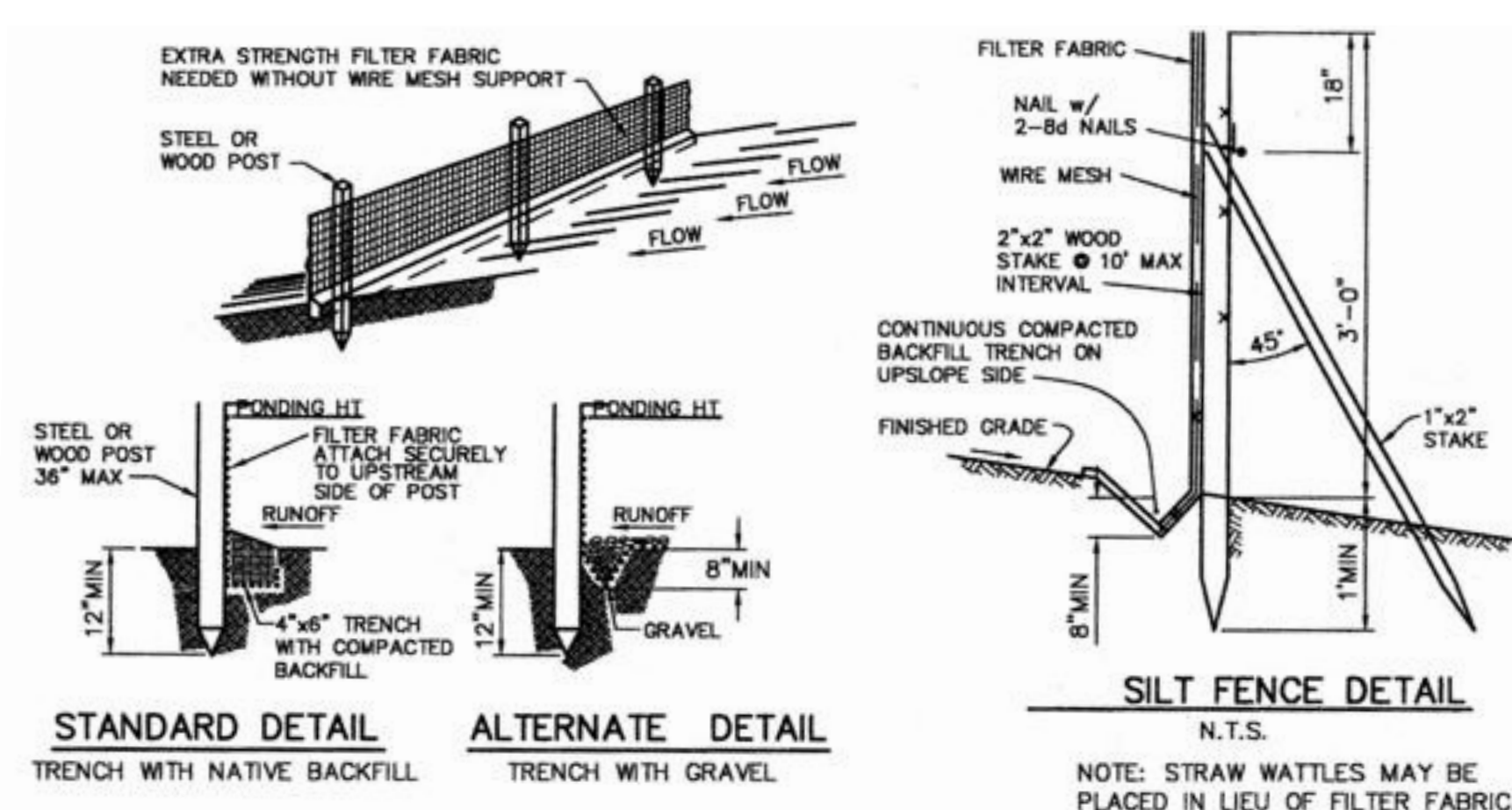
STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

2022 CALGREEN BUILDING REQUIREMENTS:

- ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
- PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3

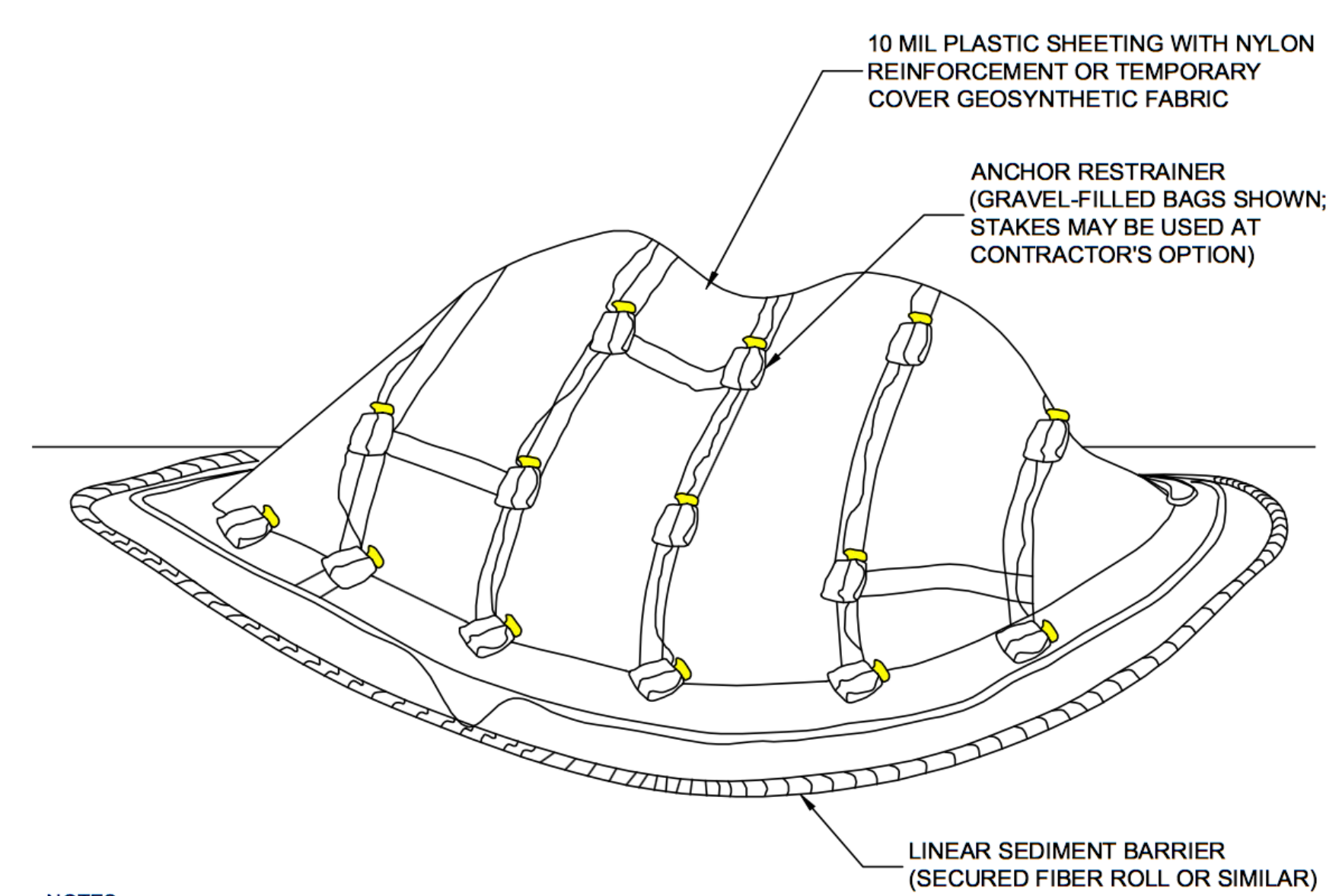
WATER CLOSETS	=	1.28 GPF
SHOWERHEADS	=	MAX. 1.8 GPM @ 80 PSI
MULTIPLE SHOWERHEADS	=	2.0 GPM @ 80 PSI COMBINED
LAVATORIES FAUCETS	=	MAX. 1.2 GPM @ 60 PSI
KITCHEN FAUCETS	=	MAX. 1.8 GPM @ 60 PSI
- IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
- MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.
- AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
- INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
- DUCTS AND OTHER RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
- FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.

CARPET ADHESIVE = 50 (VOC LIMIT)
CARPET PAD ADHESIVE = 50 (VOC LIMIT)
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)
DRYWALL ADHESIVE = 50 (VOC LIMIT)
- MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
- BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:**
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.
- DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- PAINT, STAINS AND OTHER COATINGS SHALL BE IN COMPLIANT WITH VOC LIMITS (4.504.2.2).
- AEROSOL PAINTS AND COATINGS SHALL BE IN COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS (4.504.5).
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).



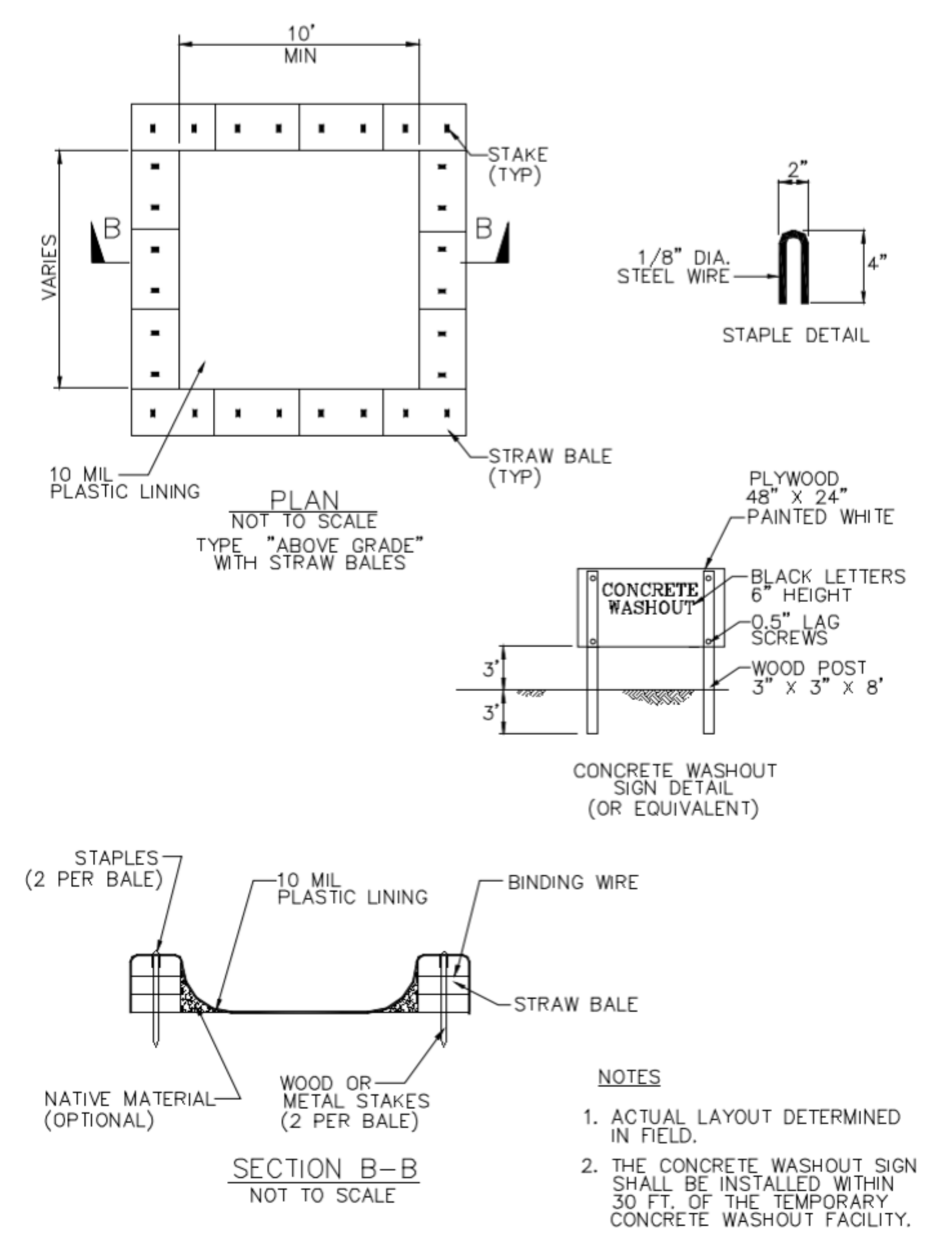
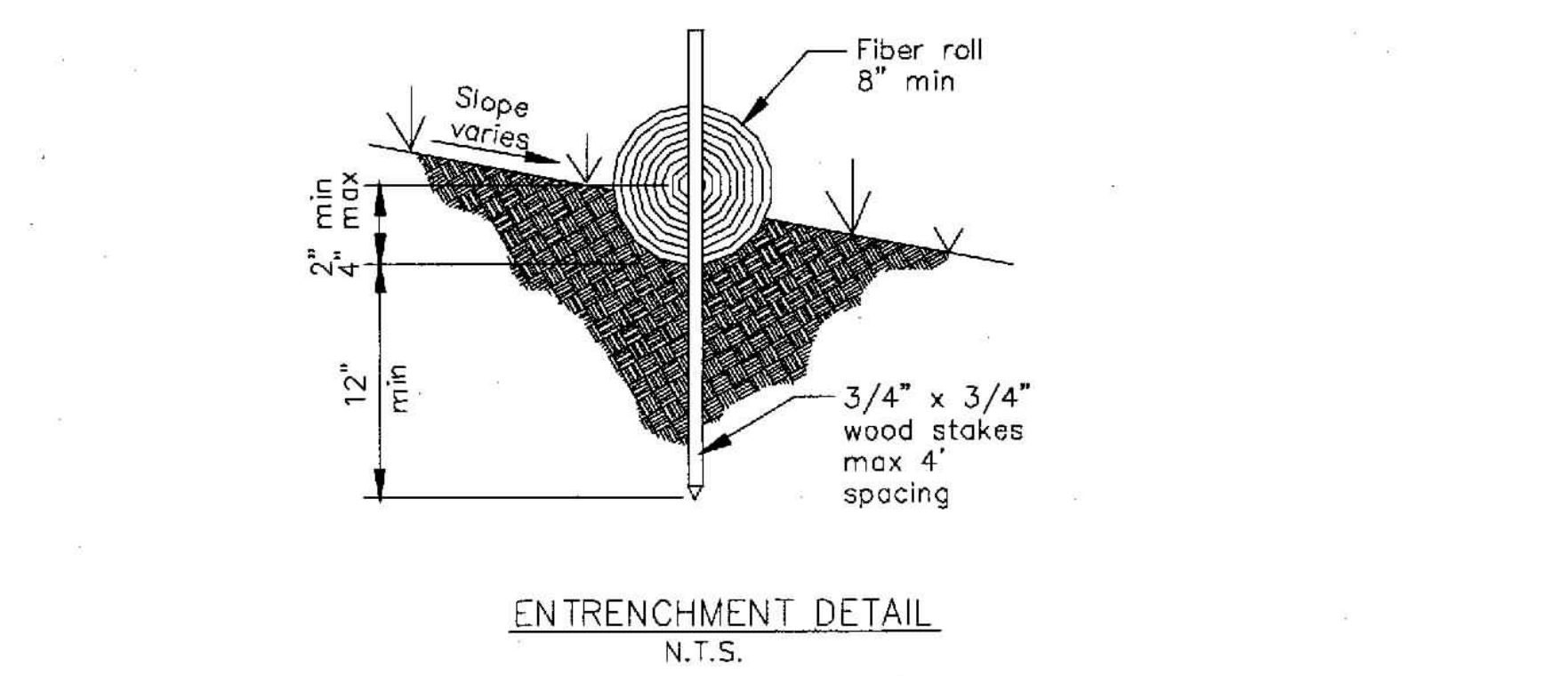
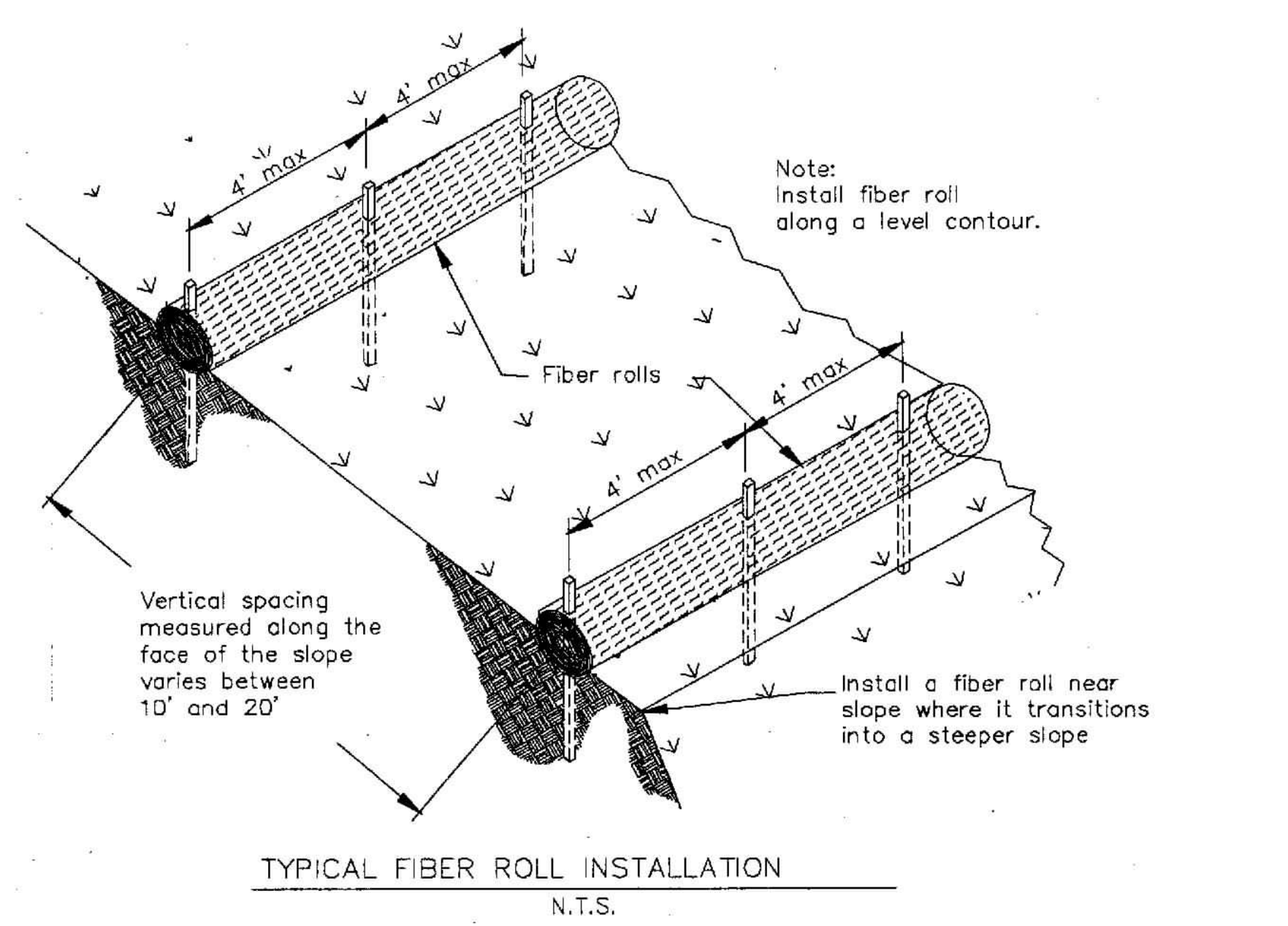
MAINTENANCE

- SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED DURING AND IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE DURING THE TIME THE FENCE OR BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEED.
- SILT BUILDUPS MUST BE REMOVED WHEN BULGES DEVELOP IN THE FENCE REGARDLESS OF DEPTH OF DEPOSITION.

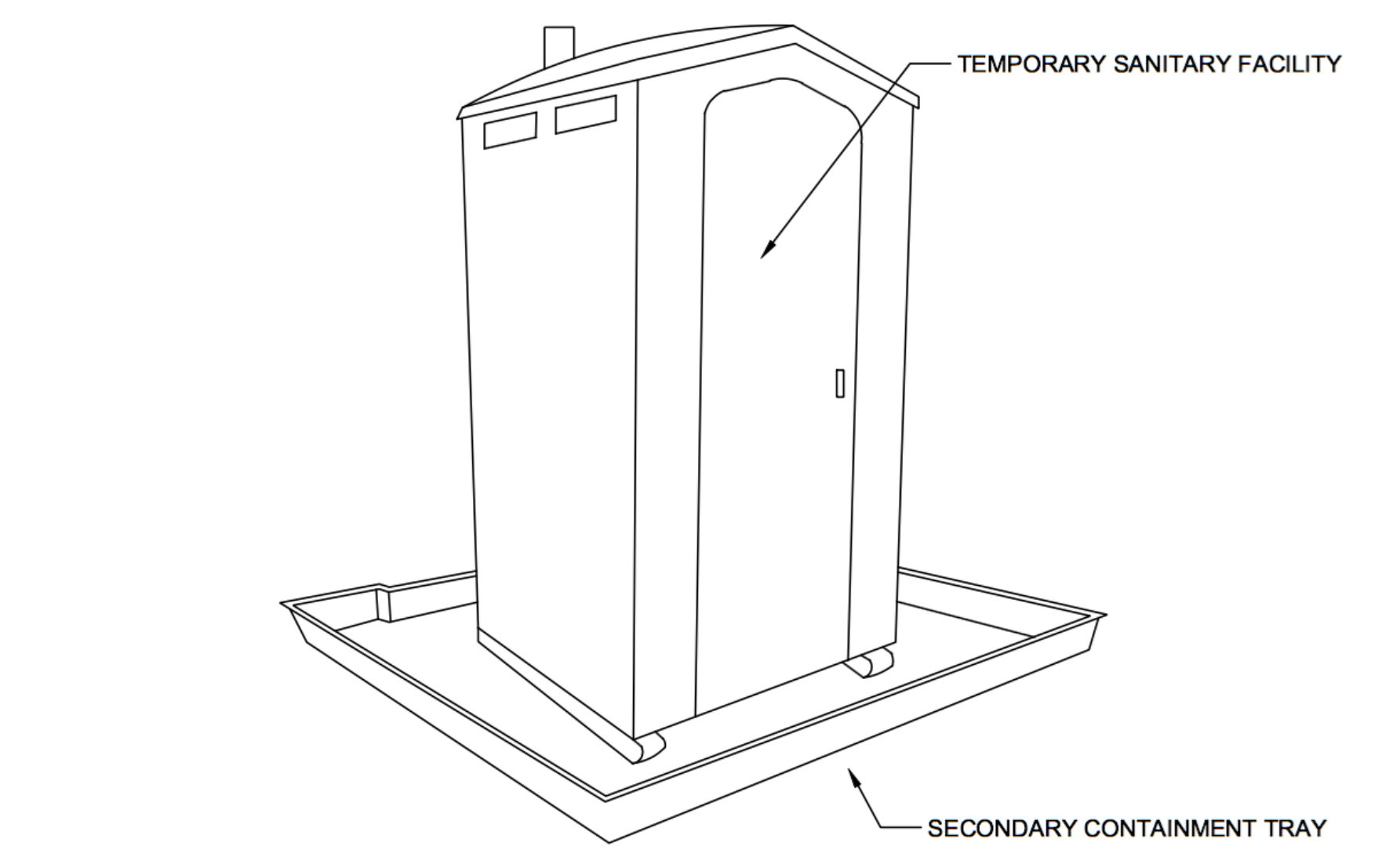


- NOTES:
- ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 - STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 - NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 - PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 - DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

STOCKPILE MANAGEMENT DETAIL



CONCRETE WASTE MANAGEMENT DETAIL



STORAGE AND DISPOSAL PROCEDURES

- TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
- WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
- TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
- ARRANGE FOR REGULAR WASTE COLLECTION, DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.



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AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU FOR:

NOORANI BOZORG RESIDENCE

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
BEST MANAGEMENT PRACTICES BMP'S

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
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SHEET



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AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

NOORANI BOZORG RESIDENCE

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
ENTIRE SITE PLAN

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
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SHEET

A1.5



NORTH

Entire Site Plan
1" = 40'-0"

SOIL PERCOLATION TEST RESULT MEASUREMENTS									
OWNER/APPLICANT: Jonathan Noorani									
LOCATION: 26141 Rinconada Dr. Carmel Valley, CA									
TEST CONDUCTED BY: CHRIS DAY, R.E.H.S. APN 416-051-026-000									
PHONE: 650-293-1045 DATE: 11/17/2024									
HOLE #1	DEPTH: 5 ft	(Bottom of Hole on Ruler = 3 1/4")							
START	FINISH	START	FINISH	Δ MIN	Δ INCH	MPI			
12:52	12:57	11 3/4	12 1/4	1 1/2	1 1/2	0.4			
STOPWATCH READINGS (MIN:SEC)									
0:00	1:47	11 3/4	12 1/4	1 1/2	1 1/2	0.4			
0:00	2:22	12	12 3/4	1 3/4	1 3/4	0.4			
0:00	2:12	12 1/2	13 1/2	1 1/2	1 1/2	0.4			
0:00	2:03	11 3/4	12 3/4	1 1/2	1 1/2	0.4			
0:00	2:30	12 1/4	13 1/4	1 1/4	1 1/4	0.4			
0:00	2:35	12 1/4	13 1/4	1 1/4	1 1/4	0.4			
0:00	2:34	12 1/4	13 1/4	1 1/4	1 1/4	0.4			
0:00	2:38	12 1/4	13 1/4	1 1/4	1 1/4	0.4			
Stabilized Percolation Rate = 0.4 MPI									
HOLE #2	DEPTH: 4.5 ft	(Bottom of Hole on Ruler = 3 1/4")							
START	FINISH	START	FINISH	Δ MIN	Δ INCH	MPI			
1:05	1:07	8 5/8	8 5/8	0	0	0.8			
1:07	1:09	8 5/8	8 5/8	0	0	0.8			
1:10	1:12	8 5/8	8 5/8	0	0	0.8			
1:12	1:14	8 5/8	8 5/8	0	0	0.9			
1:14	1:16	8 5/8	8 5/8	0	0	0.9			
1:16	1:18	8 5/8	8 5/8	0	0	0.9			
1:19	1:21	8 5/8	8 5/8	0	0	0.9			
1:22	1:24	8 5/8	8 5/8	0	0	0.9			
Stabilized Percolation Rate = 1 MPI									
HOLE #3	DEPTH: 4.5 ft	(Bottom of Hole on Ruler = 3 1/4")							
START	FINISH	START	FINISH	Δ MIN	Δ INCH	MPI			
1:02	1:06	12 1/4	11 1/8	4	1 1/8	3.6			
3:18	3:28	14 1/4	11	10	3 1/4	3.1			
3:29	3:39	15 1/4	11 1/4	10	4	2.5			
3:39	3:49	14 1/4	11 3/8	10	2 7/8	3.5			
3:50	4:00	14 1/2	11 1/2	10	3	3.3			
4:01	4:11	14 3/8	11 1/4	10	3 1/8	3.2			
4:12	4:22	14 3/8	11 3/8	10	3	3.3			
Stabilized Percolation Rate = 3.3 MPI									

LOG OF EXPLORATORY BORING										
Project No.: 22-224-M										
Project: 26141 Rinconada Drive										
Boring: B3 through B11										
Location: See Figure B-2										
Elevation: 1048.5										
Date: October 1, 2024										
Method of Drilling: 6 inch diameter solid stem auger										
Logged By: GB										
Depth (ft)	Soil Type	Soil Description	Moisture Content (%)	Specific Gravity (G _s)	Void Ratio (e)	Shrinkage Limit (%)	Plasticity Index (PI)	Liquid Limit (LL)	Plastic Limit (PL)	Atterberg Limits
0-1	ML	Gravelly brown Silty loess, dry, highly plastic.								
1-2	ML	Gravelly brown Silty loess, dry, highly plastic.								
2-3	ML	Gravelly brown Silty loess, dry, highly plastic.								
3-4	ML	Gravelly brown Silty loess, dry, highly plastic.								
4-5	ML	Gravelly brown Silty loess, dry, highly plastic.								
5-6	ML	Gravelly brown Silty loess, dry, highly plastic.								
6-7	ML	Gravelly brown Silty loess, dry, highly plastic.								
7-8	ML	Gravelly brown Silty loess, dry, highly plastic.								
8-9	ML	Gravelly brown Silty loess, dry, highly plastic.								
9-10	ML	Gravelly brown Silty loess, dry, highly plastic.								
10-11	ML	Gravelly brown Silty loess, dry, highly plastic.								
11-12	ML	Gravelly brown Silty loess, dry, highly plastic.								
12-13	ML	Gravelly brown Silty loess, dry, highly plastic.								
13-14	ML	Gravelly brown Silty loess, dry, highly plastic.								
14-15	ML	Gravelly brown Silty loess, dry, highly plastic.								
15-16	ML	Gravelly brown Silty loess, dry, highly plastic.								
16-17	ML	Gravelly brown Silty loess, dry, highly plastic.								
17-18	ML	Gravelly brown Silty loess, dry, highly plastic.								
18-19	ML	Gravelly brown Silty loess, dry, highly plastic.								
19-20	ML	Gravelly brown Silty loess, dry, highly plastic.								
20-21	ML	Gravelly brown Silty loess, dry, highly plastic.								
21-22	ML	Gravelly brown Silty loess, dry, highly plastic.								
22-23	ML	Gravelly brown Silty loess, dry, highly plastic.								
23-24	ML	Gravelly brown Silty loess, dry, highly plastic.								
24-25	ML	Gravelly brown Silty loess, dry, highly plastic.								
25-26	ML	Gravelly brown Silty loess, dry, highly plastic.								
26-27	ML	Gravelly brown Silty loess, dry, highly plastic.								
27-28	ML	Gravelly brown Silty loess, dry, highly plastic.								
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31-32	ML	Gravelly brown Silty loess, dry, highly plastic.								
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40-41	ML	Gravelly brown Silty loess, dry, highly plastic.								
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80-81	ML	Gravelly brown Silty loess, dry, highly plastic.								
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86-87	ML	Gravelly brown Silty loess, dry, highly plastic.								
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90-91	ML	Gravelly brown Silty loess, dry, highly plastic.								
91-92	ML	Gravelly brown Silty loess, dry, highly plastic.								
92-93	ML	Gravelly brown Silty loess, dry, highly plastic.								
93-94	ML	Gravelly brown Silty loess, dry, highly plastic.								
94-95	ML	Gravelly brown Silty loess, dry, highly plastic.								
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96-97	ML	Gravelly brown Silty loess, dry, highly plastic.								
97-98	ML	Gravelly brown Silty loess, dry, highly plastic.								
98-99	ML	Gravelly brown Silty loess, dry, highly plastic.								
99-100	ML	Gravelly brown Silty loess, dry, highly plastic.								

LOG OF EXPLORATORY BORING										
Project No.: 22-224-M										
Project: 26141 Rinconada Drive										
Boring: B3										
Location: See Figure B-2										
Elevation: 1048.5										
Date: October 1, 2024										
Method of Drilling: 6 inch diameter solid stem auger										
Logged By: GB										
Depth (ft)	Soil Type	Soil Description	Moisture Content (%)	Specific Gravity (G _s)	Void Ratio (e)	Shrinkage Limit (%)	Plasticity Index (PI)	Liquid Limit (LL)	Plastic Limit (PL)	Atterberg Limits
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3-4	ML	Gravelly brown Silty loess, dry, highly plastic.								
4-5	ML	Gravelly brown Silty loess, dry, highly plastic.								



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AST
AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

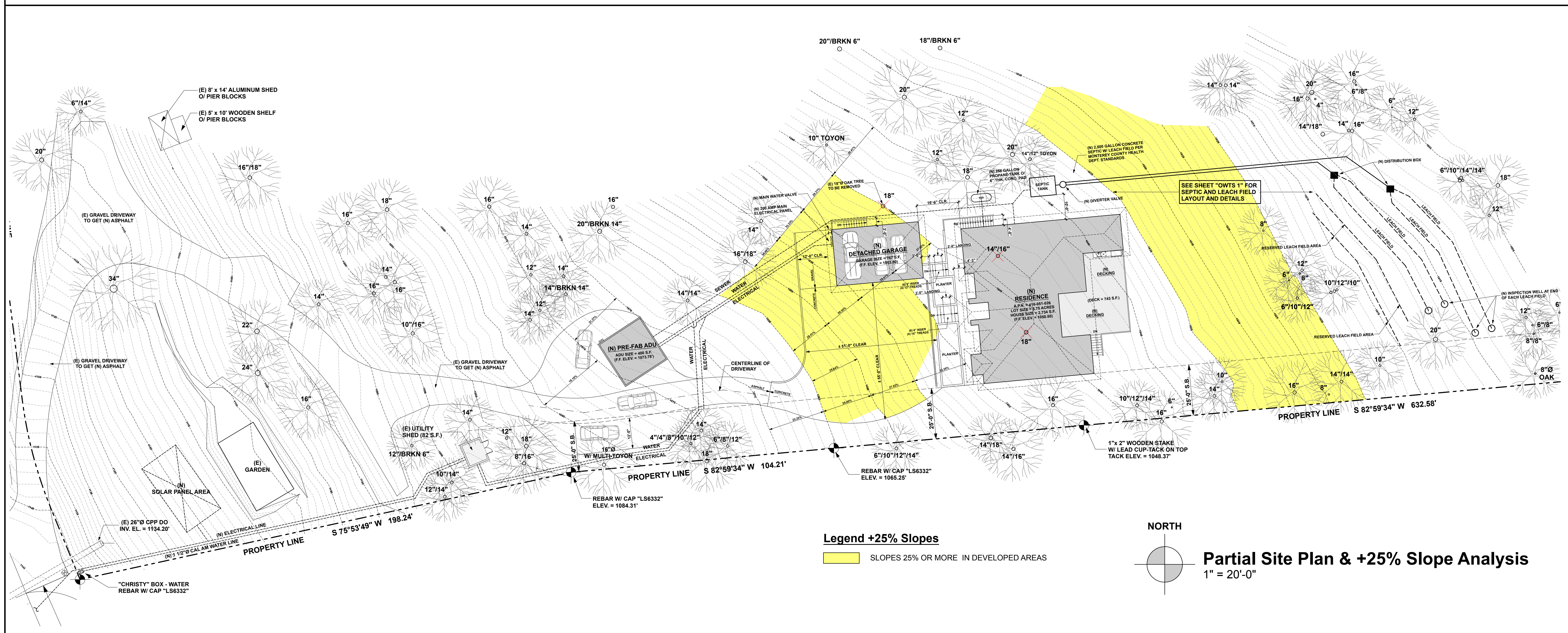
DRAWINGS:
PARTIAL SITE PLAN
+25% SLOPE ANALYSIS

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
April 14, 2025 (Plann. Comments)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

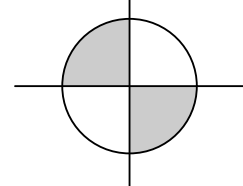
SHEET

A1.6



Legend +25% Slopes
 SLOPES 25% OR MORE IN DEVELOPED AREAS

NORTH



Partial Site Plan & +25% Slope Analysis
1" = 20'-0"

GENERAL

- 1. ALL GRADING SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC) CHAPTERS 17, 18, & APPENDIX-J AS STATED IN MONTEREY COUNTY ORDINANCE 16.08.
2. NOT USED
3. ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW-APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
4. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION PREPARED BY SOIL EXPLORATION COMPANY DATED 8-21-2020.
5. COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.8. PROJECTS WITHOUT A PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTIONS 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO DAYS BEFORE DIGGING AT 1-800-422-4133.
8. PRIOR TO GRADING, A MEETING SHALL BE SCHEDULED WITH A RIVERSIDE COUNTY ENVIRONMENTAL COMPLIANCE INSPECTOR PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CUT/FILL

- 9. MAXIMUM CUT AND FILL SLOPE = 2:1 (HORIZONTAL TO VERTICAL).
10. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS SHOULD BE PLACED IN THIN LIFTS (8-INCH MAX OR AS RECOMMENDED IN THE SOILS REPORT). COMPACTED AND TESTED THROUGHOUT THE GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5 TO 1 (HORIZONTAL TO VERTICAL) AND A HEIGHT GREATER THAN 5 FEET SHALL BE KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE 10 FEET WIDE MINIMUM.
11. THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30 FEET IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5.
12. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN 10 FEET TO THE FINISHED GRADE.

DRAINAGE, EROSION / DUST CONTROL

- 13. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
14. PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN 40 FEET TOWARDS THE CUT SLOPE.
15. PROVIDE 5' WIDE BY 1' HIGH BERM ALONG THE TOP OF ALL FILL SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL).
16. THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
17. NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
18. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPS) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
19. DUST CONTROL SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
20. FUGITIVE DUST CONTROL: CONSTRUCTION SITES SUBJECT TO PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
21. ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
22. FOR ALL SLOPES STEEPER THAN 4 TO 1 (H/V), ALL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANT GROUND COVER AT A MINIMUM SPACING OF 12' ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT-TOLERANT SHRUBS SPACED AT NO MORE THAN 10' ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED SHRUBS NOT TO EXCEED 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACK FLOW DEVICE PER C.P.C. CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADE INSPECTION.

COMPLETION OF WORK

- ROUGH GRADE
23. A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING REPORT AND IT SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY FOR REVIEW AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FOUNDATION DESIGN PARAMETERS (ALLOWABLE SOIL PRESSURES, ETC.), EXPANSION INDEX (AND DESIGN ALTERNATIVES IF E1 > 20), WATER SOLUBLE SULFATE CONTENT, CORROSIONITY AND REMEDIAL MEASURES IF NECESSARY.
24. EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL LOT GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED ON TABLE 1705.6 OF 2019 CBC.
25. THE COUNTY REQUIRES A LICENSED PROFESSIONAL ENGINEER TO SUBMIT A WET SIGNED AND STAMPED ROUGH GRADING CERTIFICATION WHICH INCLUDES PAD ELEVATIONS PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT.
26. ROUGH GRADE ONLY PERMITS: IN ADDITION TO OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS, ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100 PERCENT) OR OTHER MEANS OF SITE STABILIZATION APPROVED BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL.

PRECISE GRADE

- 27. A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN FINAL CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO THE REQUEST OF PRECISE GRADING INSPECTION.

DECLARATION OF ENGINEER OF RECORD

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBILITY CHARGE FOR SUCH DESIGN.
I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE COUNTY OF MONTEREY IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THE PLANS COMPLY WITH COUNTY PROCEDURES, APPLICABLE POLICIES AND ORDINANCES. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS ENGINEER OF RECORD (EOR), I AGREE TO INDEMNIFY AND HOLD THE COUNTY OF MONTEREY, ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD. I HAVE READ AND INFORMED THE PROJECT APPLICANT/DEVELOPER THAT APPROVAL OF THESE PLANS DO NOT RELIEVE THEM OF THE REQUIREMENTS OF THE CONDITIONS OF APPROVAL.

I ALSO HEREBY DECLARE THAT I HAVE DECLARED THESE PLANS WITH ALL APPLICABLE ADA TITLE II AND TITLE 24 REQUIREMENTS FOR DISABILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THOSE REQUIREMENTS.

SIGNATURE [Signature] DATE 2-18-2025

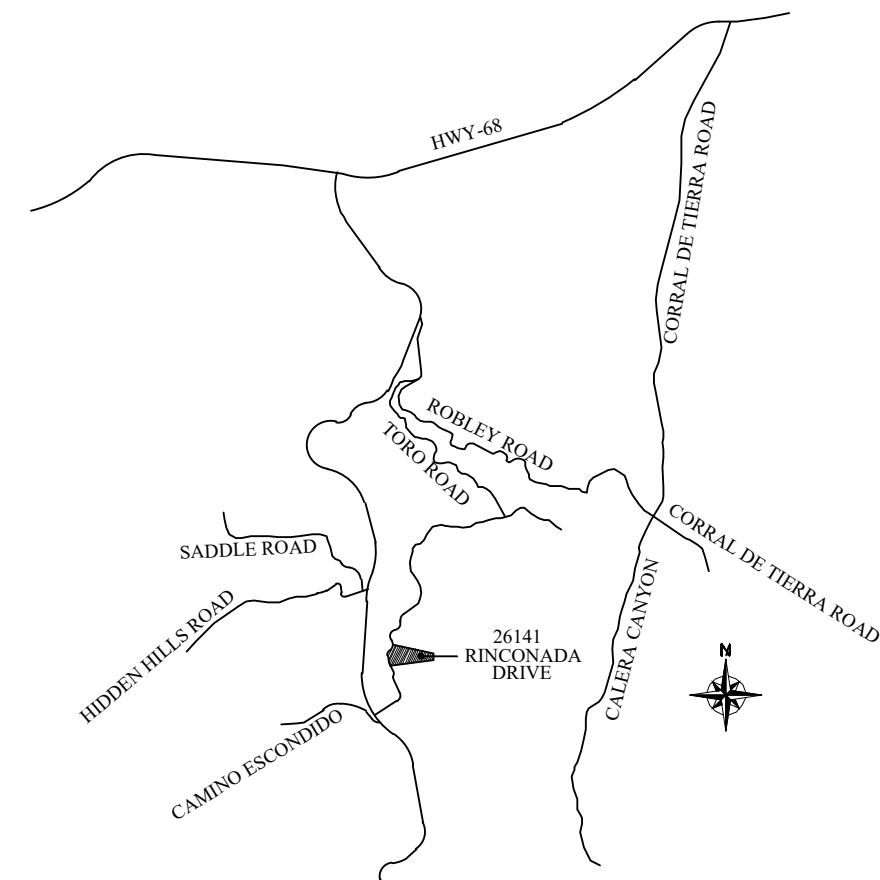
LICENSE No. 26900 03/31/2027 EXP.

ENGINEER'S NOTES TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT THE CONTRACTOR IS REQUIRED TO TAKE DUE CAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER UTILITY LINES NOT SHOWN OR A PART OF THESE PLANS. THE CONTRACTOR SHALL POSSESS THE CLASS (OR CLASSES) OF LICENSE AS SPECIFIED IN THE "NOTICE INVITING BIDS" OF THE BID DOCUMENTS.



CARMEL VALLEY
MONTEREY COUNTY, CALIFORNIA
PRECISE GRADING PLANS
SINGLE FAMILY RESIDENCE
26141 RINCONADA DRIVE
APN 416-051-026
PROJECT # 2024-932



INDEX OF DRAWINGS

Table listing drawing titles and sheet numbers: COVER SHEET G-1, EXISTING CONDITIONS G-2, GRADING/DRAINAGE PLAN G-3, GRADING/DRAINAGE PLAN LARGE VIEW G-4, GRADING DETAILS AND SECTIONS G-5, EROSION CONTROL DETAILS G-6, EROSION CONTROL PLANS G-7

LEGEND:

Legend table with symbols for CENTERLINE, PROPERTY LINE (R/W), EXIST. CHAIN LINK FENCE, EXIST. WOOD FENCE, BLOCK WALL, EXIST. CONTOUR LINE, EXIST. SPOT ELEVATION, EXIST. FIRE HYDRANT, EXIST. POWER POLE, EXIST. SEWER MANHOLE, EXIST. STORM DRAIN MANHOLE, EXIST. WATER METER, EXIST. WATER VALVE, CONCRETE AREA, LAND AREA, AC. PAVEMENT, EDGE OF GUTTER, EDGE OF PAVEMENT, FINISHED FLOOR, FINISHED GROUND, FLOW LINE, FINISHED SURFACE, GRADE BREAK, HIGH POINT, INVERT ELEVATION, PAD ELEVATION, RETAINING WALL, TOP OF CURB, TOP OF GRATE

PRIMARY DESIGN STANDARDS

- 1. COUNTY OF MONTEREY - STANDARD DETAILS & GUIDELINES
2. 2018 GREENBOOK: STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (18TH EDITION)
3. 2018 STANDARD SPECIFICATIONS BY CALIFORNIA DEPARTMENT OF TRANSPORTATION

GRADING TOLERANCE NOTE:

GRADING SHALL BE DONE WITHIN A TOLERANCE OF 0.05' OF THE GRADES. IN NO WAY DO THE ABOVE TOLERANCES RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF PROVIDING A FINISHED GRADE SURFACE THAT DOES NOT POND OR PRODUCE PONDING.

EARTHWORK QUANTITIES

Table with columns: DESCRIPTION, CUT, FILL. Rows include EARTHWORK OVER-EXCAVATION, RECOMPACTION, SHRINKAGE, MISC, IMPORT, EXPORT, TOTAL.

NOTE: SHRINKAGE IS ASSUMED AT A FACTOR OF 10%
**NOTE: INCLUDES SEPTIC AND LEECH FOR CUT LOCATIONS

SITE ADDRESS

26141 RINCONADA DRIVE
CARMEL VALLEY, CA 92924

ASSESSOR PARCEL NO.

416-051-026

ZONING/LAND USE

RESIDENTIAL - RDR/5.1-VS

UTILITY PURVEYORS

WATER - COUNTY PH: (835) 755-4500
SEWER - PRIVATE
GAS - PROPANE
ELEC - PGE PH: (800) 542-8818

LOT ACREAGE

APN 416-051-026 5.74 ACRES

TOTAL AREA DISTURBED
20,682 SQ. FT. OR .47 ACRES

SCOPE OF WORK

NEW SINGLE FAMILY RESIDENCE.
INCLUDES UTILITIES, GRADING, LANDSCAPE, NEW GATES AND FENCING, AND DRIVEWAYS.

NEAREST HYDRANT:

253' FROM HYDRANT NEAR DRIVE ENTRANCE.

LEGAL DESCRIPTION

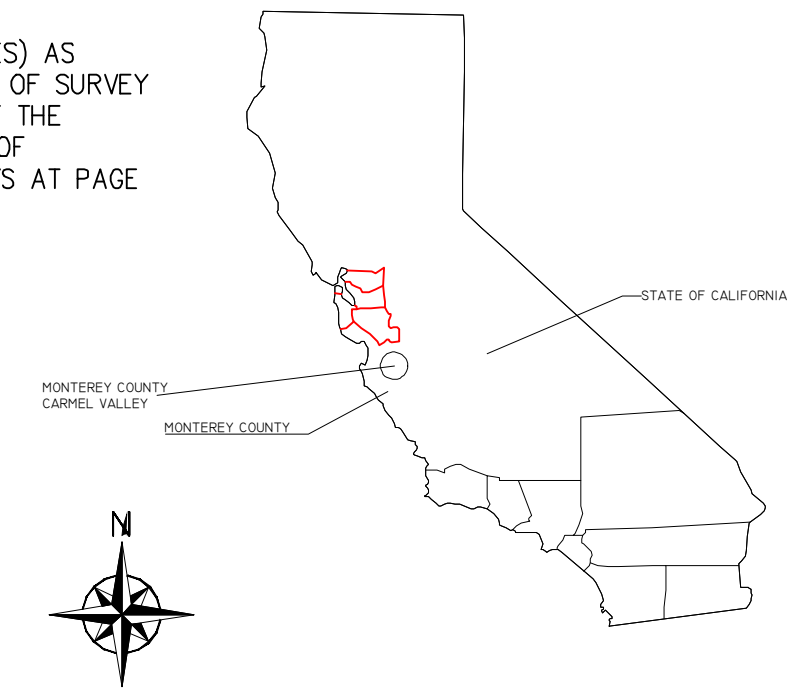
A PORTION OF PARCEL D (5.74 ACRES) AS SHOWN UPON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY IN VOLUME 27 OF SURVEYS AT PAGE 60 ON MARCH 23, 2004

CODES/ORDINANCES

ALL WORK SHALL BE IN COMPLIANCE WITH THE COUNTY OF MONTEREY ORDINANCES, REQUIREMENTS AND COUNTY MUNICIPAL CODES.

ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL CALIFORNIA BUILDING CODE REQUIREMENTS (CBC) 2022. CHP 18 APP. J.

STATE MAP



FIRE DEPARTMENT NOTES

100' AROUND ALL STRUCTURES, VEGETATION SHALL BE MAINTAINED PER MONTEREY COUNTY ORDINANCE.

DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING A VEHICLE 75,000 LBS, OVER TWO AXLES.

DRIVEWAY SLOPES APPROVED BY COUNTY FIRE PERSONNEL SITE REVIEW

TOTAL LENGTH OF DRIVEWAY

508 FEET FROM REAR OF HOUSE TO DRIVE ENTRY ON RINCONADA

GRADING & GEOTECHNICAL SPECIFICATIONS:

ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEO-TECHNICAL INVESTIGATION REPORT(S) ENTITLED: REPORT OF PRELIMINARY GEO-TECHNICAL INVESTIGATION FOR PROPOSED NEW RESIDENCE PREPARED BY:SOILS EXPLORATION COMPANY, PREPARED ON 5-18-2021.

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

- 1. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
2. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF RIVERSIDE GUIDELINES FOR GEO-TECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEO-TECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.
3. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEO-TECHNICAL CONSULTANT(S) OF RECORD. IF THE GEO-TECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEO-TECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF RIVERSIDE GUIDELINES FOR GEO-TECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
4. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEO-TECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

CIVIL ENGINEER'S NAME - JOANNE SINGER
DRP ENTERPRISES LLC
PO BOX 4428 PALM SPRINGS, CA 92263
760-625-7426
CA RCE 26900 EXP 3/31/2027



GEOLOGIST NAME - GREG BLUME
COMPANY NAME - BUTANO GEOTECHNICAL ENGINEERING INC.
COMPANY ADDRESS - 404 WESTRIDGE DRIVE, WATSONVILLE, CA, CALIFORNIA 95019 PHONE: 831.724.2612 WWW.BUTANOGEOTECH.COM
LICENSE C.E. 58819
*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

GEO-TECHNICAL REPORT INFORMATION:

FOR SITE SPECIFIC DRAINAGE AND PERCOLATION REQUIREMENTS, SOILS AND SOILS TYPES, PLEASE REFERENCE GEO REPORT PROJECT NO. 24-224-M PREPARED BY BUTANO GEOTECHNICAL ENGINEERING INCORPORATED DATED NOVEMBER 2024.

SURVEY INFORMATION - BENCHMARK:

- 1. DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF. CONTOUR INTERVAL = 1'
2. HORIZONTAL COORDINATES BASED ON NAD83 CALIFORNIA STATE PLANE, ZONE 4.
3. ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

SURVEYOR:

SEE SHEET 2

BENCHMARK:

ELEVATIONS SHOWN HEREON ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

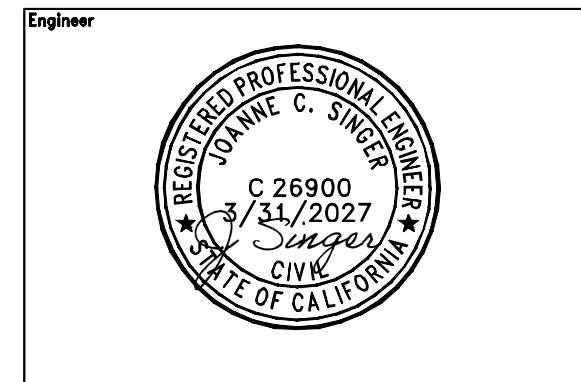
PLOT DATE: 2-18-2025

COVER SHEET

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
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Table with columns: No., Revision / Issue, Drawn by, Checked by, Date. Row 1: 1, NEW, DRP, JS, 2-18-25



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CARMEL VALLEY, CA
916-768-1878
jonathannoorani@gmail.com

Project Name & Address
CARMEL VALLEY
RINCONADA DRIVE
NEW SINGLE FAMILY RESIDENCE
Noorani Residence
26141 Rinconada Drive
Carmel Valley, CA 92924

SCALE

NOTED

Project Number & Sheet Number

G-1

Sheet 1 OF 7

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

EXISTING CONDITIONS

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No.	Revision / Issue	Drawn by	Checked by	Date
1	NEW	DRP	JS	2-15-23



Topographic Site Survey

OF A PORTION OF PARCEL D (5.74 ACRES) AS SHOWN UPON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY IN VOLUME 27 OF SURVEYS AT PAGE 60 ON MARCH 23, 2004

CARMEL VALLEY
 COUNTY OF MONTEREY
 STATE OF CALIFORNIA

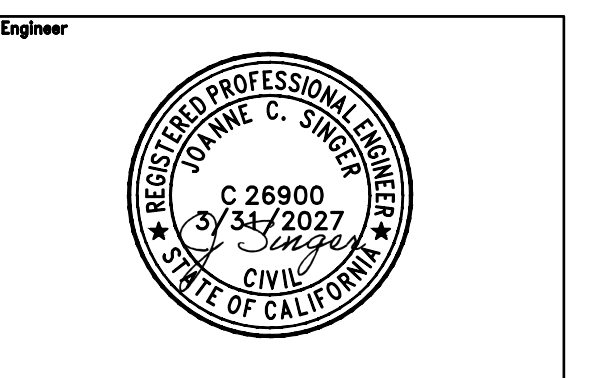
APN: 419-051-026-000

PREPARED FOR
JONATHAN NOORANI & HANNA BOZORG
 16222 EAST GARRISON BLVD
 MARINA, CA. 93933

PREPARED BY:
SCOTT HAWTHORNE
 SALINAS, CALIFORNIA 93908
 PH.: (831) 578-7887
 E-MAIL: SPH_Corp@yahoo.com

SURVEYED IN JULY & AUGUST OF 2024
 PLOT DATE: AUGUST 5, 2024

SCALE: 1"=20'
 SHEET ONE OF ONE



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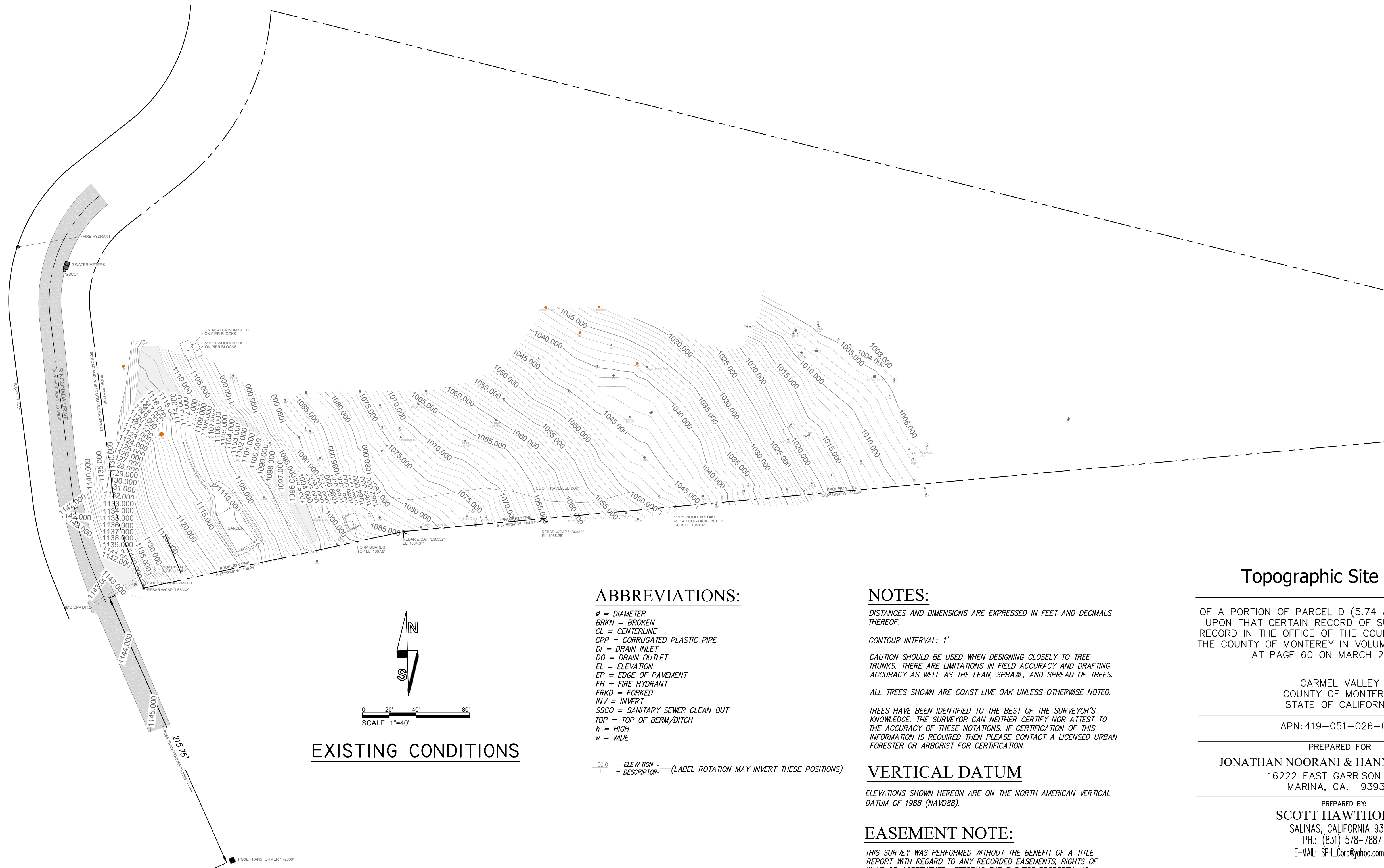
Project Name & Address
CARMEL VALLEY RINCONADA DRIVE NEW SINGLE FAMILY RESIDENCE
 Noorani Residence
 26141 Rinconada Drive
 Carmel Valley, CA 92924

SCALE

1" = 40'

G-2

Sheet 2 OF 7



ABBREVIATIONS:

- # = DIAMETER
- BRKN = BROKEN
- CL = CENTERLINE
- CPP = CORRUGATED PLASTIC PIPE
- DI = DRAIN INLET
- DO = DRAIN OUTLET
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- FH = FIRE HYDRANT
- FRKD = FORKED
- INV = INVERT
- SSCO = SANITARY SEWER CLEAN OUT
- TOP = TOP OF BERM/DITCH
- h = HIGH
- w = WIDE

SD = ELEVATION
 RL = DESCRIPTOR (LABEL ROTATION MAY INVERT THESE POSITIONS)

NOTES:

DISTANCES AND DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

CONTOUR INTERVAL: 1'

CAUTION SHOULD BE USED WHEN DESIGNING CLOSELY TO TREE TRUNKS. THERE ARE LIMITATIONS IN FIELD ACCURACY AND DRAFTING ACCURACY AS WELL AS THE LEAN, SPRAWL, AND SPREAD OF TREES.

ALL TREES SHOWN ARE COAST LIVE OAK UNLESS OTHERWISE NOTED.

TREES HAVE BEEN IDENTIFIED TO THE BEST OF THE SURVEYOR'S KNOWLEDGE. THE SURVEYOR CAN NEITHER CERTIFY NOR ATTEST TO THE ACCURACY OF THESE NOTATIONS. IF CERTIFICATION OF THIS INFORMATION IS REQUIRED THEN PLEASE CONTACT A LICENSED URBAN FORESTER OR ARBORIST FOR CERTIFICATION.

VERTICAL DATUM

ELEVATIONS SHOWN HEREON ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

EASEMENT NOTE:

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS OF WAYS OR AGREEMENTS AFFECTING THE SUBJECT PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.

EXISTING CONDITIONS

GRADING TOLERANCE NOTE:

GRADING SHALL BE DONE WITHIN A TOLERANCE OF 0.1' OF THE GRADES AND ELEVATIONS SHOWN ON THESE PLANS. ALL SLOPES SHALL BE CONSTRUCTED WITH 0.5' OF THE LOCATION SHOWN ON THESE PLANS. IN NO WAY DO THE ABOVE TOLERANCES RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF PROVIDING A FINISHED GRADE SURFACE THAT DOES NOT POND OR PRODUCE PONDING.

GEO-TECHNICAL REPORT INFORMATION:

FOR SITE SPECIFIC DRAINAGE AND PERCOLATION REQUIREMENTS, SOILS AND SOIL TYPES. PLEASE REFERENCE GEO REPORT PROJECT NO. 24-224-M PREPARED BY BUTANO INCORPORATED DATED NOVEMBER 2024.

SOILS NOTES:

SOILS MUST BE EXCAVATED A MIN. OF 24" UNDER THE LOWEST POINT OF THE CUT LOCATION TO MAINTAIN PROPER COMPACTION FOR FOUNDATIONS AND FOOTING DESIGN.

SOILS PREPARATION NOTE:

GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL (APPENDIX SECTION J107.2)

EXCAVATION NOTE:

ALL GRADING AND BACKFILLS SHOULD BE PERFORMED IN ACCORDANCE WITH COUNTY OF RIVERSIDE GRADING ORDINANCE AND THE ATTACHED GENERAL EARTHWORK AND GRADING SPECIFICATIONS (APPENDIX F), EXCEPT AS MODIFIED IN THE TEXT OF THIS REPORT.

PRIVATE ROAD STANDARDS

ALL PRIVATE ROAD CONSTRUCTION INVOLVING GRADING SHALL BE DONE UNDER PERMIT PURSUANT TO THE PROVISIONS OF CHAPTER 16.08. THE BUILDING OFFICIAL MAY MODIFY THESE REQUIREMENTS FOR EMERGENCY ACCESS OR TEMPORARY ROADS. ALL PRIVATE DRIVEWAYS LESS THAN FIFTY (50) FEET IN TOTAL LENGTH SHALL BE EXEMPT FROM THE REQUIREMENTS OF SUBSECTION 16.08.350B.

PRIVATE ROAD CONSTRUCTION REQUIRING A GRADING PERMIT SHALL BE SUBJECT TO THE FOLLOWING REQUIREMENTS:

WIDTH OF ROADBED SHALL BE TEN (10) FEET STANDARDS REQUIRE 12 FEET MINIMUM
 MINIMUM CENTERLINE RADIUS SHALL BE THIRTY (30) FEET
 IN NO SITUATION WILL ROAD GRADIENTS BE ALLOWED GRATER THAN TWENTY-FIVE (25) PERCENT
 THE STRUCTURAL SECTION SHALL CONSIST OF A MINIMUM OF FOUR INCHES OF CLASS II AGGREGATE BASE, EXCEPT WHERE NATIVE MATERIALS PROVIDE SUFFICIENT BEARING CAPACITY FOR ALL WEATHER USE. ADDITIONALLY, ONE AND ONE-HALF INCHES OF ASPHALT CONCRETE SURFACING SHALL BE PROVIDED WHERE ROAD GRADIENTS EXCEED FIFTEEN (15) PERCENT
 ASPHALT BERMS ARE REQUIRED WHERE NECESSARY TO CONTROL DRAINAGE. DISCHARGE SHALL BE AT POINTS OF NATURAL WATERWAYS WITH ENERGY DISSIPATORS INSTALLED WHERE NECESSARY TO CONTROL EROSION.
 TURNOUTS SHALL BE PROVIDED AT LEAST EVERY FIVE HUNDRED (500) FEET IF THE TRAVELED WAY WIDTH OF THE ROADBED IS LESS THAN SIXTEEN (16) FEET

OAK TREE NOTE:

CONTRACTOR TO PROTECT ALL OAK TREES AND OTHER RELATED TREES ON SITE AS DEPICTED IN THE PLAN AND NOTED ON THE PLANS.

GRADING NOTE FOR ARCHEOLOGIST.

FOR SITE SPECIFIC DRAINAGE AND PERCOLATION REQUIREMENTS, SOILS AND SOIL TYPES. PLEASE REFERENCE GEO REPORT PROJECT NO. 24-224-M PREPARED BY BUTANO GEOTECHNICAL ENGINEERING INCORPORATED DATED NOVEMBER 2024.

PERVIOUS - IMPERVIOUS AREA CALCULATIONS		
EXISTING LOT	BEFORE	AFTER
PARCEL AREA -041	250,094 SF	250,094 SF
BUILDINGS MAIN FLR.	0	3,569 SF
LOT COVERAGE (BLDG)	0	1.4%
D/W, WALKS	0	5,270 SF
TOTAL IMPERVIOUS %	0	3.5%
TOTAL PERVIOUS %	100%	96.5%

EARTHWORK QUANTITIES

DESCRIPTION	CUT	FILL
EARTHWORK OVER-EXCAVATION	167 CY	268 CY
RECOMPACTION	---	392 CY
SHRINKAGE	---	27 CY
MISC IMPORT	---	128 CY
EXPORT	---	---
TOTAL	167 CY	268 CY

NOTE: SHRINKAGE IS ASSUMED AT A FACTOR OF 10%
 *NOTE: INCLUDES SEPTIC AND LEECH FOR CUT LOCATIONS

TOTAL AREA DISTURBED
 20,682 SQ. FT. OR .47 ACRES

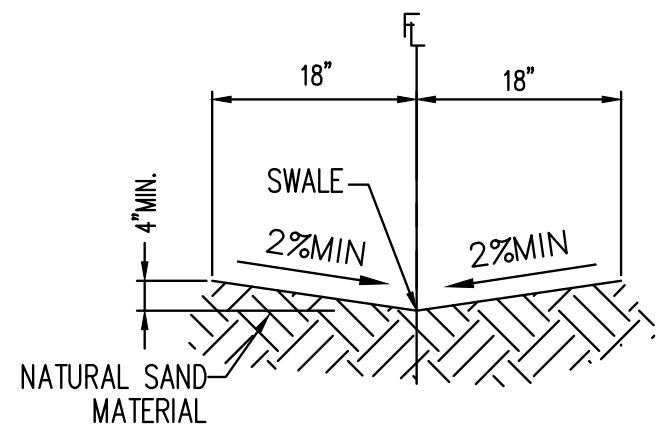
NEAREST HYDRANT:

253' FROM HYDRANT NEAR DRIVE ENTRANCE.

TOTAL LENGTH OF DRIVEWAY

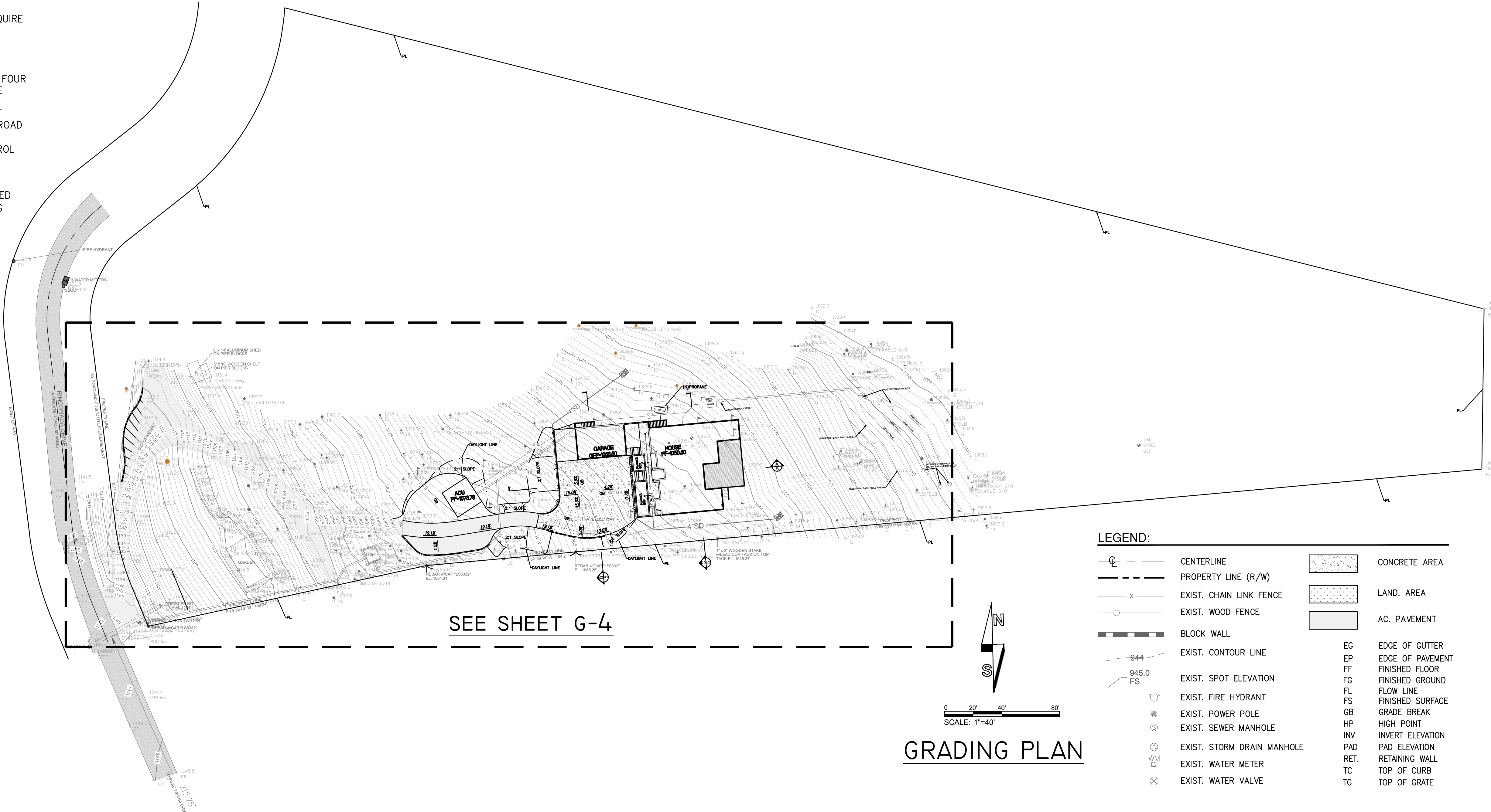
508 FEET FROM REAR OF HOUSE TO DRIVE ENTRY ON RINCONADA

	CONSTRUCTION NOTES	QTY. EST.
1	INSTALL NEW PCC CONCRETE FOR DRIVE, WALKWAY 5 INCHES THK MIN. SEE G4 FOR DETAILS	3365 SF
2	CONSTRUCT NEW 4"AC PAVING OVER 6 INCH AB FOR DRIVEWAY AREA AS SHOWN ON PLANS.	1905 SF
3	INSTALL 4 INCH STORM DRAIN SDR-35 PVC	234 LF
4	INSTALL NDS PROPOSED AREA DRAIN FOR PLANTER PER DET. G5	2 EA
4A	INSTALL NDS PROPOSED PATIO DRAIN PER DET. G5	3 EA
5	INSTALL TRENCH DRAIN PER DETAILS ON SHEET G5.	1 EA
6	INSTALL GRAVEL DISSIPATOR PER DETAILS AND INFO ON G5	2 EA
7	CONSTRUCT RETAINING WALL AS SHOWN ON PLANS. SEPARATE PERMIT. ALL WALL TO HAVE MIN 4 INCH PERF PIPE FOR DRAINAGE.	192 LF
8	INSTALL DEEP JENSEN PRECAST CATCH BASIN PER DETAILS ON SHEET G5.	1 EA
9	CONSTRUCT MONOLITHIC 6 INCH CURB WITH PCC SLAB FOR DRAINAGE CONVEYANCE.	65 LF
10	INSTALL AND GRADE DRAINAGE SWALE PER DETAILS ON G3 FOR SECTION.	62 LF
11	INSTALL WATER SERVICE BY OTHERS - SEP. PERMIT - PER CITY REQ.	
12	INSTALL SEWER SERVICE, LATERAL, SEPTIC TANK AND LEACH FIELD PER SEPARATE PERMIT AND PER SOILS REPORT AND HEALTH DEPT.	
13	INSTALL ELECTRICAL SERVICE FROM ADU AND RESIDENCE TO POC- PER 2022 CEC AND SEP-BUILD PERMIT	



TYP. EARTH SWALE SEC.
 NOT TO SCALE

NOTE:
 CONTRACTOR SHALL FOLLOW CA DEPT. OF HEALTH SERVICES CRITERIA FOR SEPARATION OF WATER AND SEWER FACILITIES.
 CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO STREETS AND SIDEWALKS DURING CONST. AND AGREES TO REPAIR AND REPLACE ALL EXIS. IMPROVEMENTS DURING THE COURSE OF CONST.
 CONTRACTOR TO POTHOLE AND VERIFY ALL UTILITY CONNECTION POINTS AND CROSSINGS PRIOR TO CONSTRUCTION.



SEE SHEET G-4

GRADING PLAN

LEGEND:

	CENTERLINE		CONCRETE AREA
	PROPERTY LINE (R/W)		LAND. AREA
	EXIST. CHAIN LINK FENCE		AC. PAVEMENT
	EXIST. WOOD FENCE		EG EDGE OF GUTTER
	BLOCK WALL		FF FINISHED FLOOR
	EXIST. CONTOUR LINE		FG FINISHED GROUND
	EXIST. SPOT ELEVATION		FL FLOW LINE
	EXIST. FIRE HYDRANT		FS FINISHED SURFACE
	EXIST. POWER POLE		GB GRADE BREAK
	EXIST. SEWER MANHOLE		HP HIGH POINT
	EXIST. STORM DRAIN MANHOLE		INV INVERT ELEVATION
	EXIST. WATER METER		PAD PAD ELEVATION
	EXIST. WATER VALVE		RET. RETAINING WALL
			TC TOP OF CURB
			TG TOP OF GRATE

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

GRADING AND DRAINAGE PLANS

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No.	Revision / Issue	Drawn by	Checked by	Date
1	NEW	DRP	JS	2-15-23
2				
3				



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 Noorani Residence
 26141 Rinconada Drive
 Carmel Valley, CA 92924

SCALE
 1" = 40'

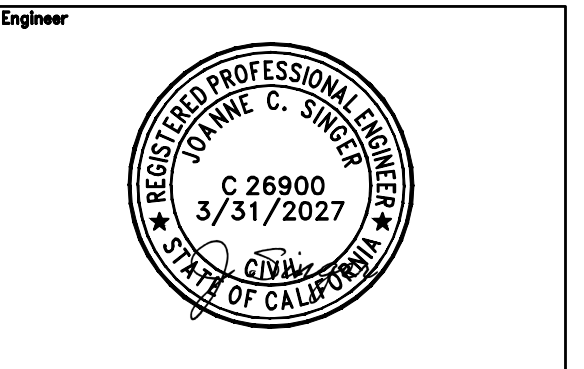
Project Number & Sheet Number
G-3
 Sheet 3 OF 7

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

GRADING AND DRAINAGE PLAN 20 SCALE

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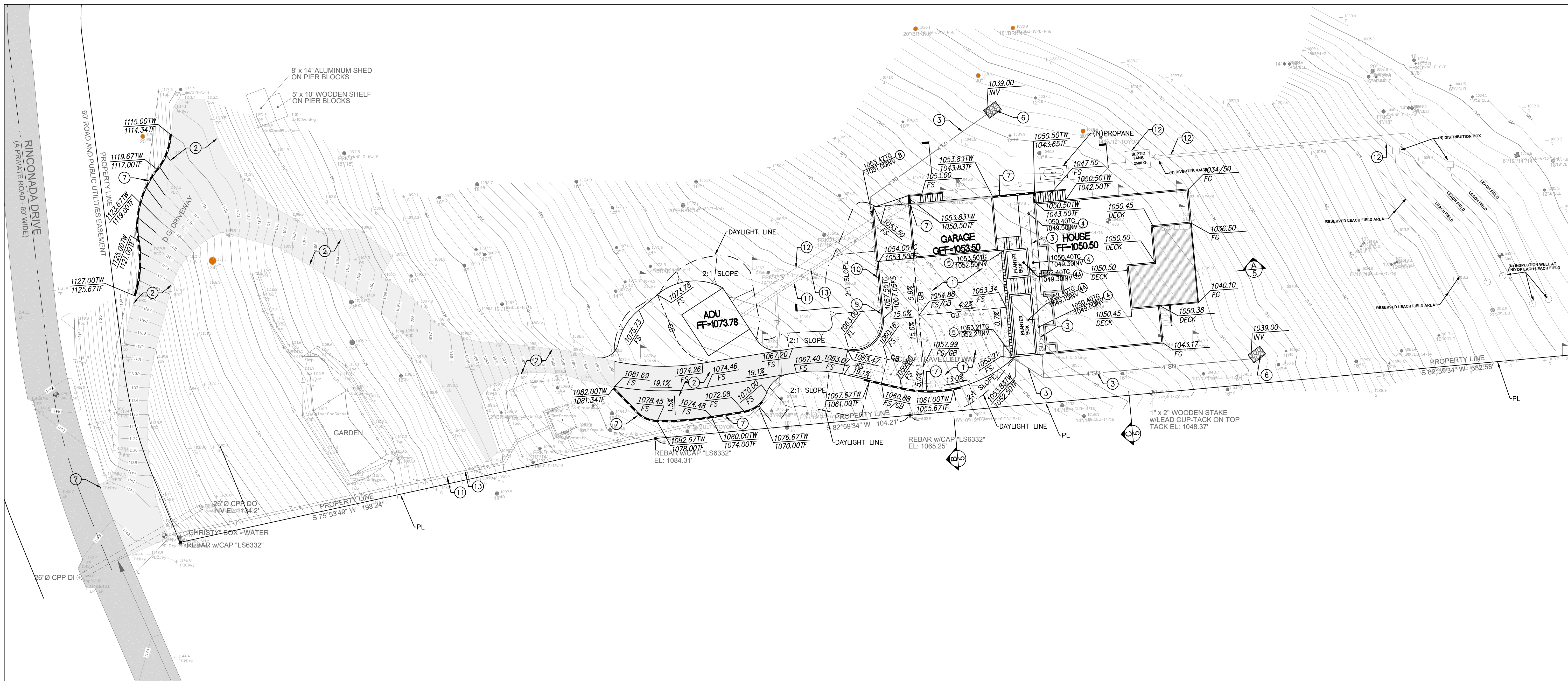


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 Noorani Residence
 26141 Rinconada Drive
 Carmel Valley, CA 92924

SCALE
 1" = 20'

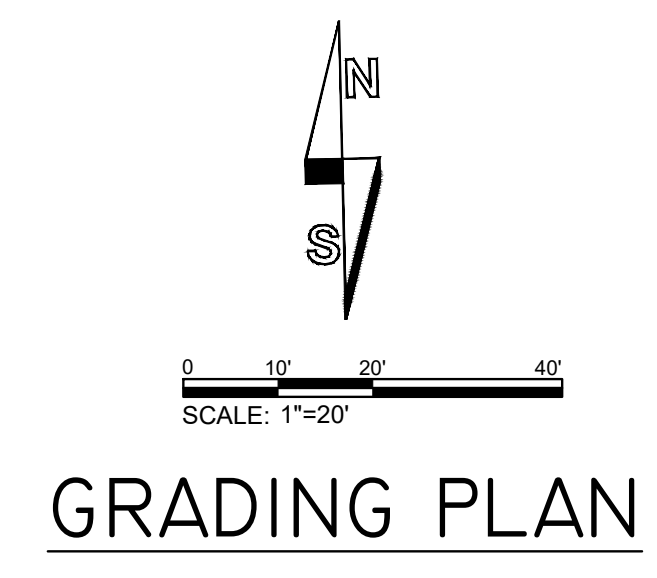
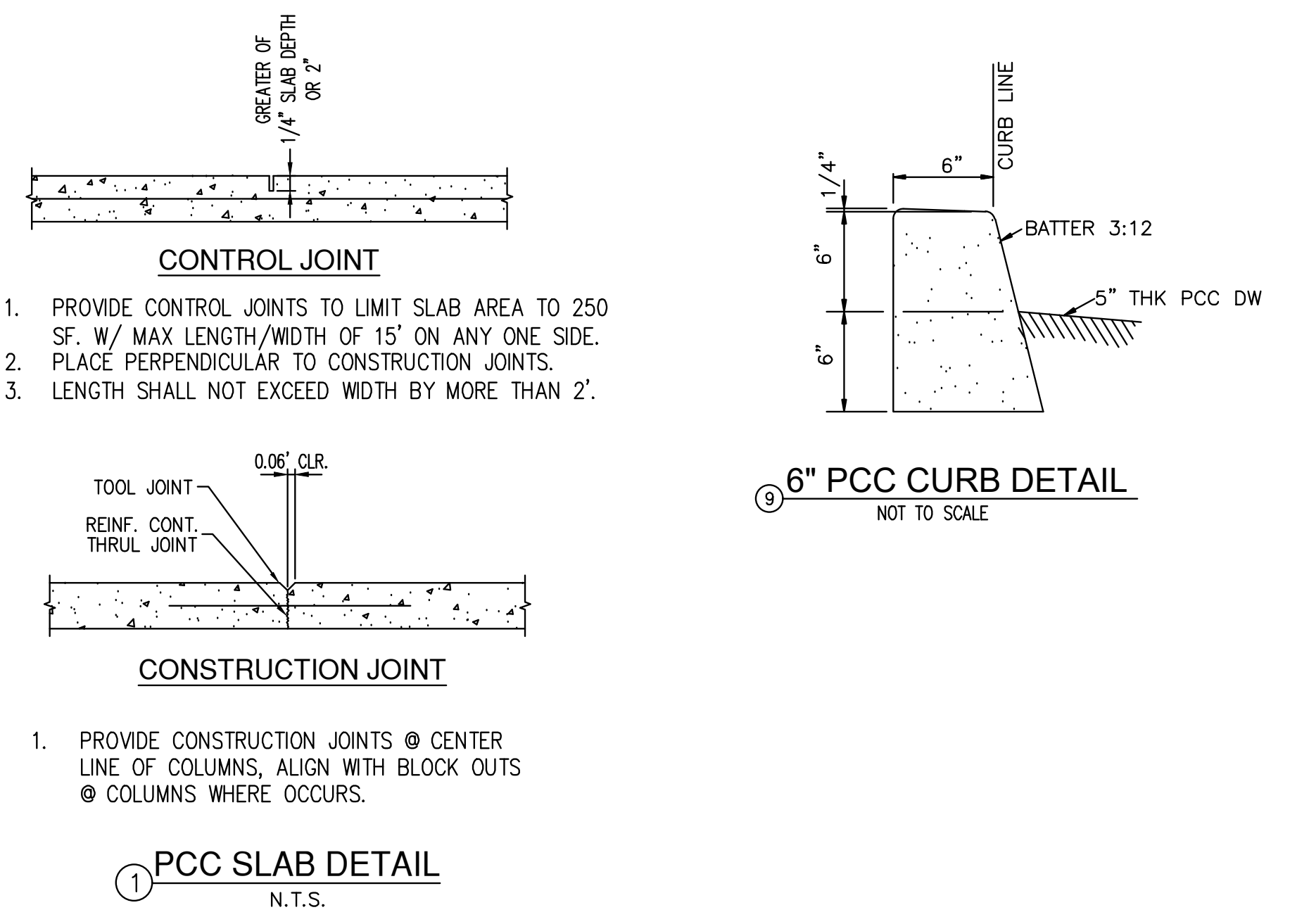
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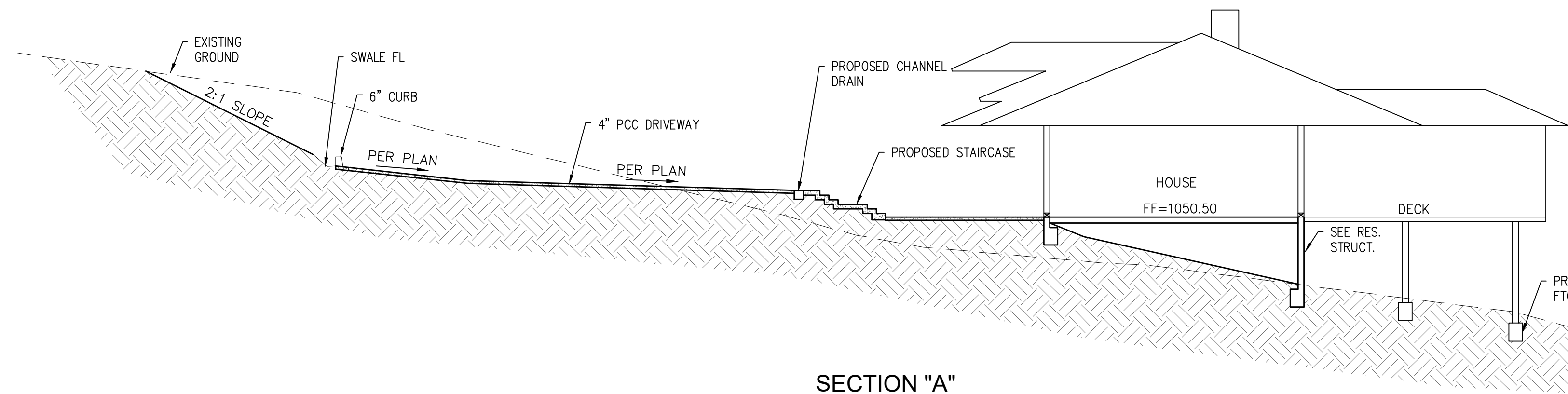


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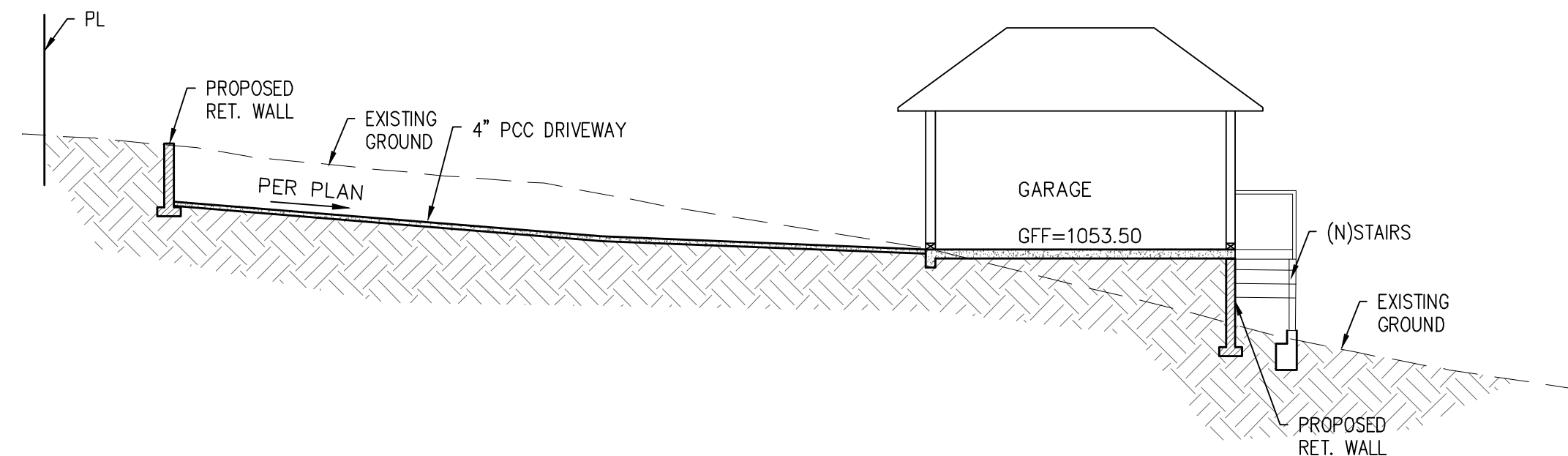
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	PROPERTY LINE (R/W)		LAND AREA
	EXIST. CHAIN LINK FENCE		AC. PAVEMENT
	EXIST. WOOD FENCE		EG EDGE OF GUTTER
	BLOCK WALL		EP EDGE OF PAVEMENT
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	EXIST. WATER VALVE		PAD PAD ELEVATION
			RET. RETAINING WALL
			TC TOP OF CURB
			TG TOP OF GRATE

CONSTRUCTION NOTES	QTY. EST.
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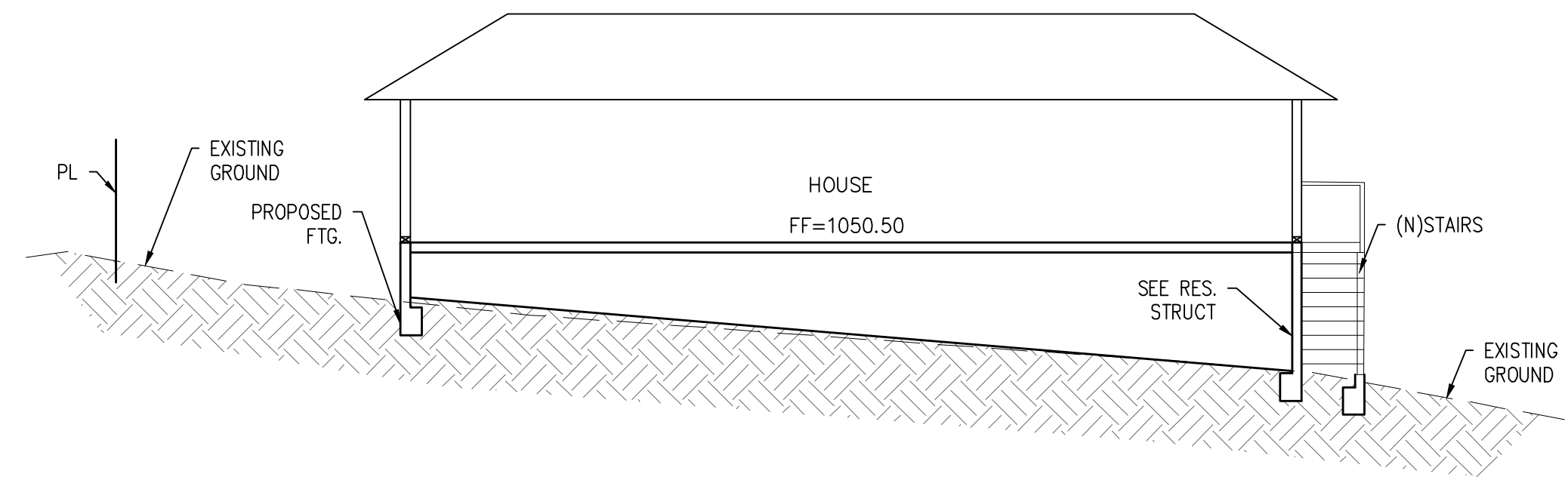




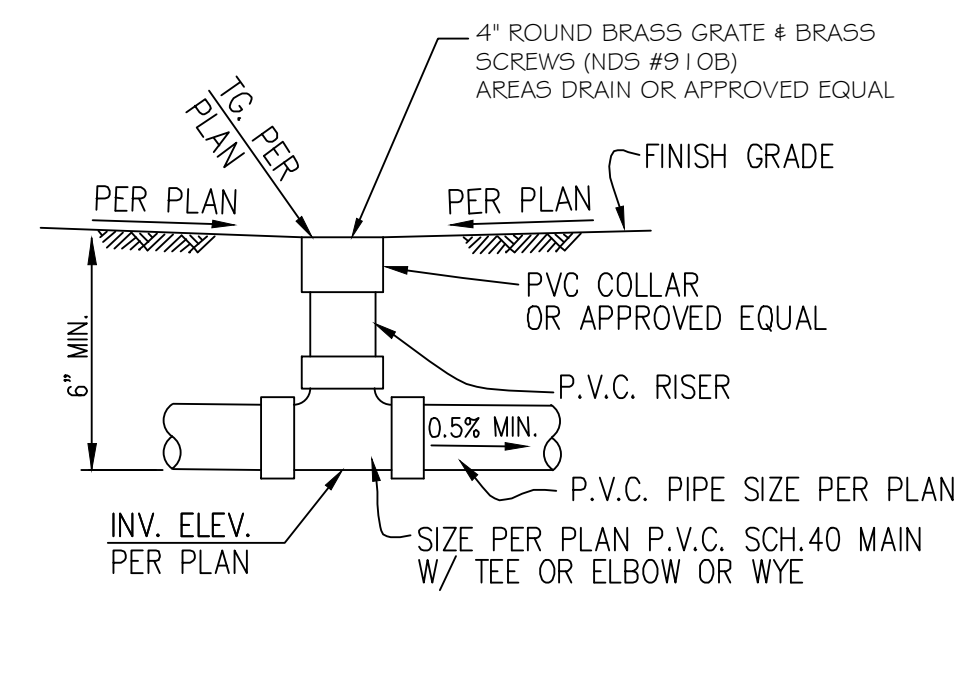
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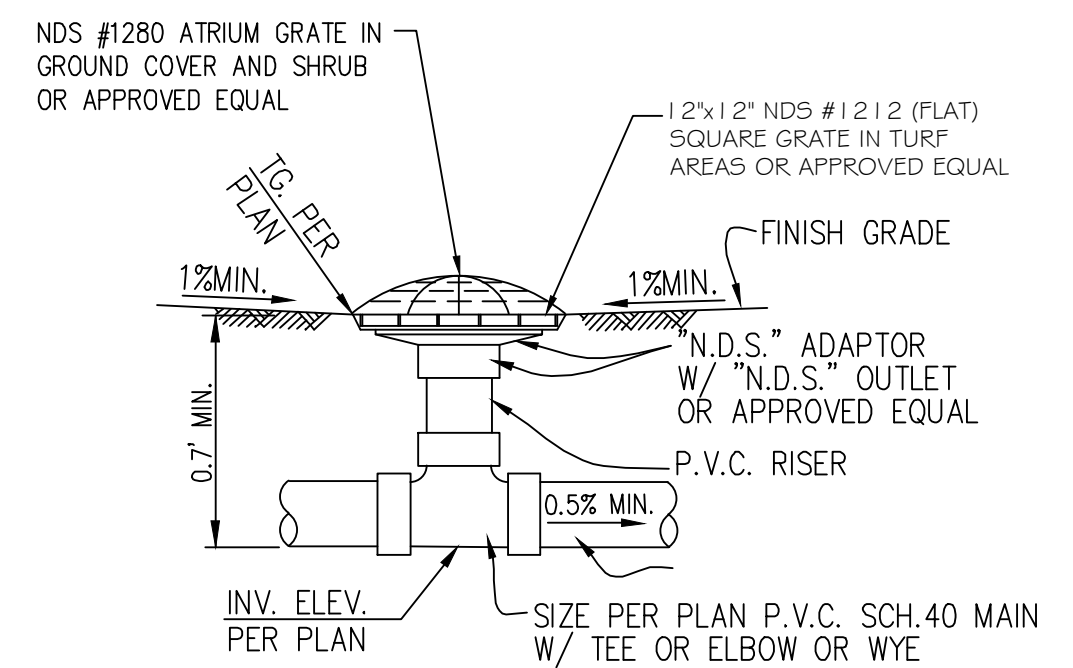
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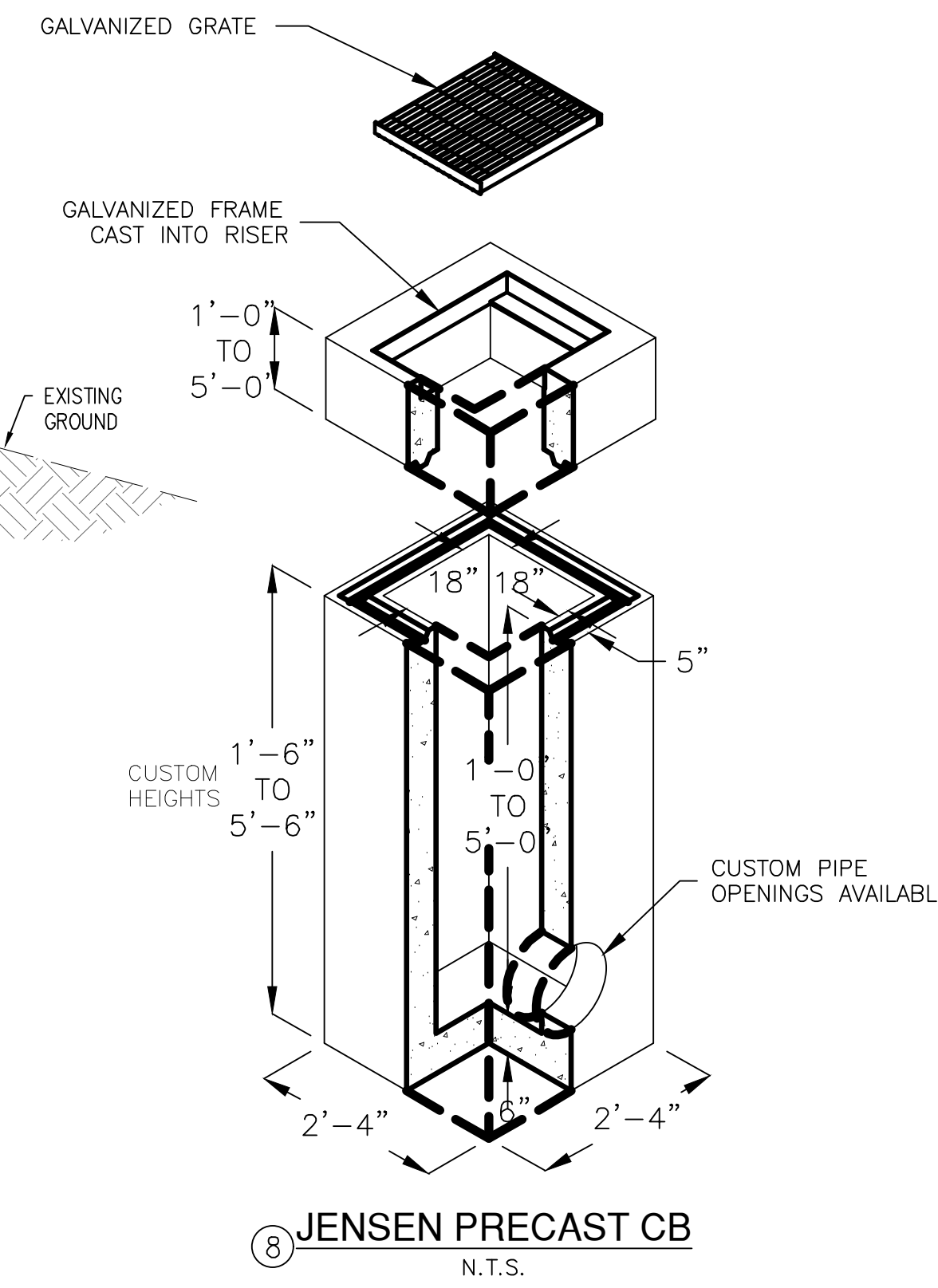
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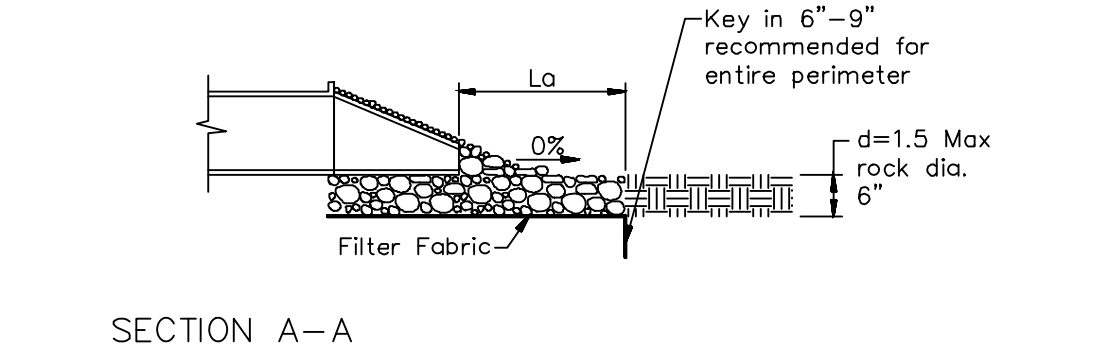
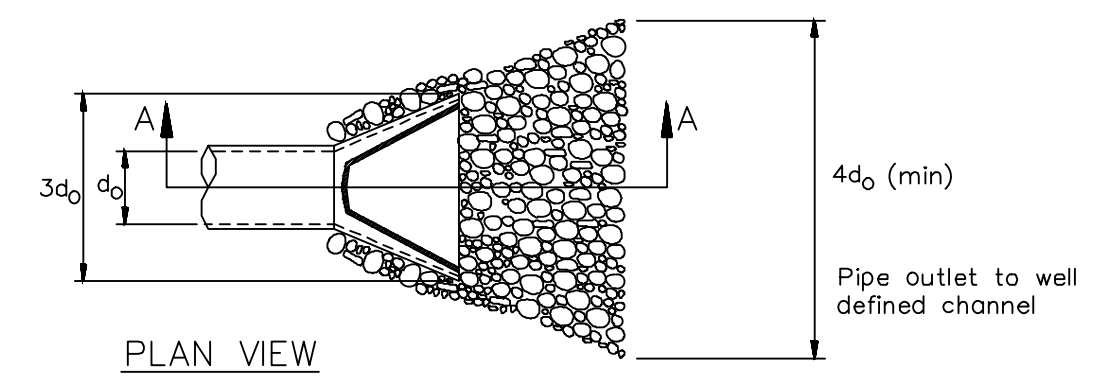
4 PATIO AREA DRAIN DETAIL
NOT TO SCALE



4A PLANTER AREA DRAIN DETAIL
NOT TO SCALE



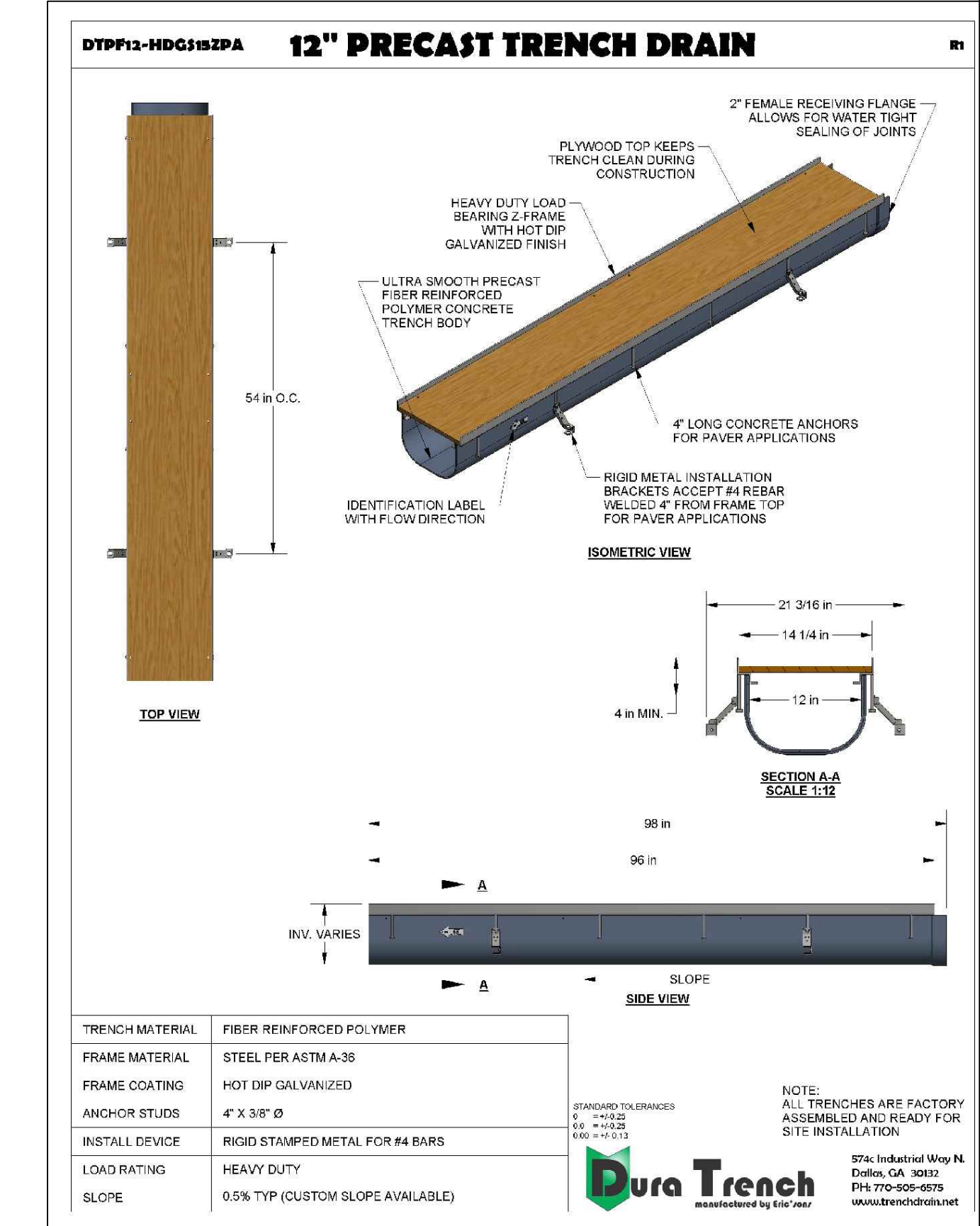
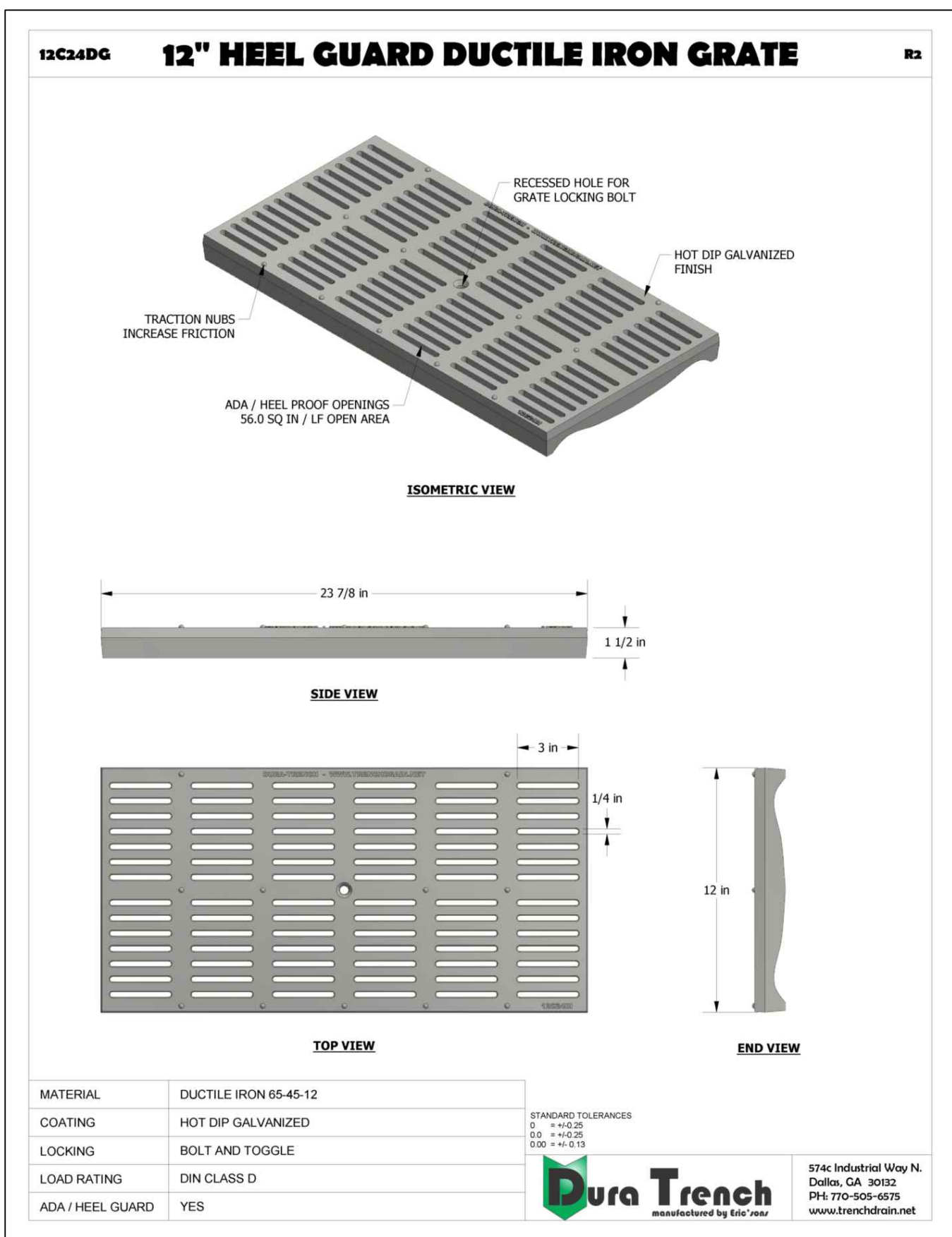
Velocity Dissipation Devices EC-10



Pipe Diameter inches	Discharge ft ³ /s	Apron Length, La ft	Rip Rap D ₅₀ Diameter Min inches
12	5	10	4
	10	13	6
18	10	10	6
	20	16	8
	30	26	16
24	30	16	8
	40	26	8
	50	26	12
	60	30	16

For larger or higher flows consult a Registered Civil Engineer
Source: USDA - SCS
January 2011 California Stormwater BMP Handbook Construction www.casqa.org 5 of 5

6 RIP RAP DETAILS
N.T.S.



5 TRENCH DRAIN DETAILS
NOT TO SCALE

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

GRADING SECTIONS DETAILS

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SCALE
NOTED

Project Number & Sheet Number
G-5
Sheet 5 OF 7

EROSION AND SEDIMENT CONTROL PLAN (ESCP) GENERAL NOTES:

- IN CASE OF EMERGENCY, CALL J. NOORANI AT (916)-768-1878.
- TOTAL DISTURBED AREA: RISK LEVEL 1, 2, 3 (CIRCLE ONE AS DETERMINED BY STATE GENERAL PERMIT FOR SITES GREATER THAN 1 ACRE)
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ENGINEER/QSD OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.

CIVIL ENGINEER/QSD SIGNATURE _____ DATE _____

OWNER OR AUTHORIZED REPRESENTATIVE (PERMITTEE) _____ DATE _____

- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.
- THE FOLLOWING BMPs FROM THE 2009 CONSTRUCTION BMP HANDBOOK/PORTAL MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATIVE, DETAILS FROM CALTRANS STORMWATER QUALITY HANDBOOKS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.

EQUIPMENT TRACKING CONTROL

- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT

- NS1 - WATER CONSERVATION PRACTICES
- NS2 - DEWATERING OPERATIONS
- NS3 - PAVING AND GRINDING OPERATIONS
- NS4 - TEMPORARY STREAM CROSSING
- NS5 - CLEAR WATER DIVERSION
- NS6 - ILLICIT CONNECTION/DISCHARGE
- NS7 - POTABLE WATER/IRRIGATION
- NS8 - VEHICLE AND EQUIPMENT CLEANING
- NS9 - VEHICLE AND EQUIPMENT FUELING
- NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 - PILE DRIVING OPERATIONS
- NS12 - CONCRETE CURING
- NS13 - CONCRETE FINISHING
- NS14 - MATERIAL AND EQUIPMENT USE
- NS15 - DEMOLITION ADJACENT TO WATER
- NS16 - TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 - MATERIAL DELIVERY AND STORAGE
- WM2 - MATERIAL USE
- WM3 - STOCKPILE MANAGEMENT
- WM4 - SPILL PREVENTION AND CONTROL
- WM5 - SOLID WASTE MANAGEMENT
- WM6 - HAZARDOUS WASTE MANAGEMENT
- WM7 - CONTAMINATION/ SOIL MANAGEMENT
- WM8 - CONCRETE WASTE MANAGEMENT
- WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 - LIQUID WASTE MANAGEMENT

TEMPORARY SEDIMENT CONTROL

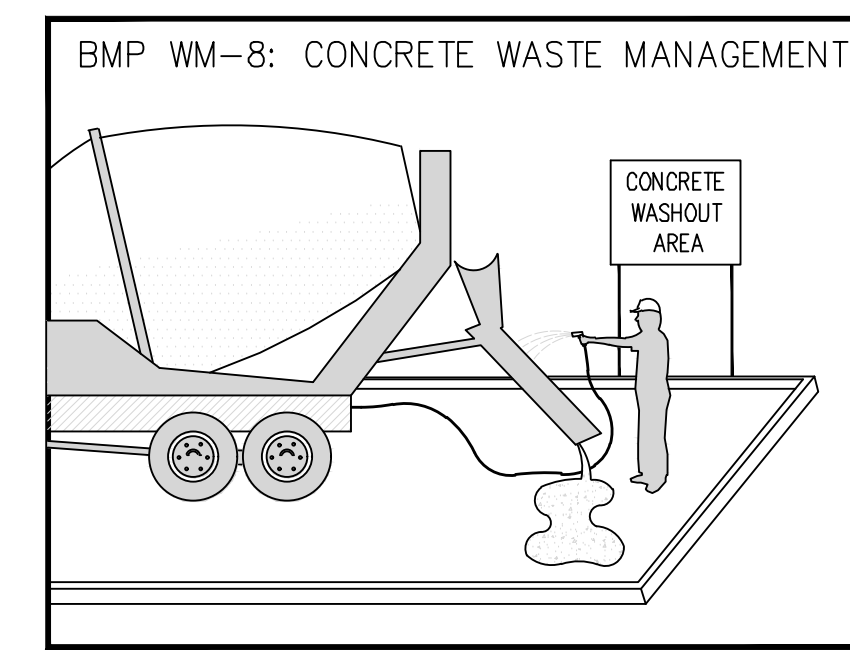
- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - SANDBAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION
- SE11 - ACTIVE TREATMENT SYSTEMS
- SE12 - TEMPORARY SILT DIKE
- SE13 - COMPOST SOCKS & BERMS
- SE14 - BIOFILTER BAGS

WIND EROSION CONTROL

- WE1 - WIND EROSION CONTROL

EROSION CONTROL

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXISTING VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES & MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - RESERVED
- EC14 - COMPOST BLANKETS
- EC15 - SOIL PREPARATION/ROUGHENING
- EC16 - NON-VEGETATED STABILIZATION

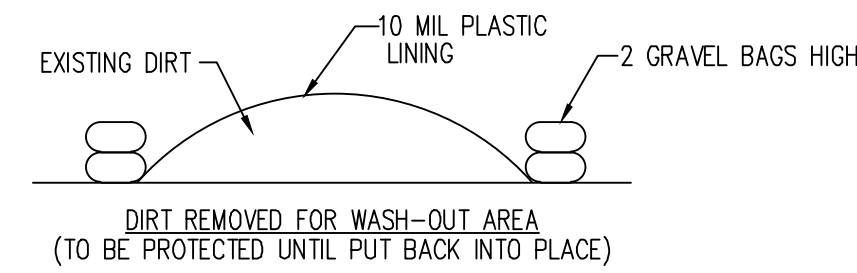


DESCRIPTION AND PURPOSE

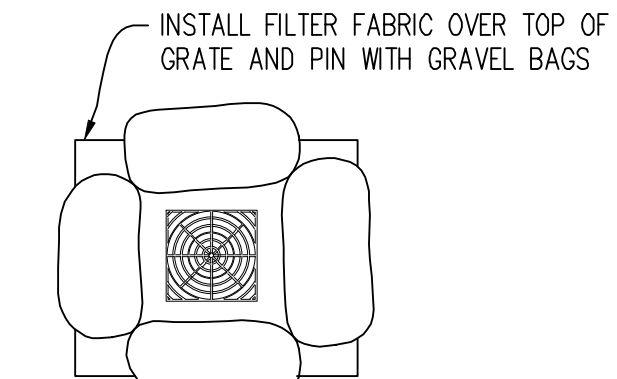
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFFSITE, PERFORMING ONSITE WASH-OUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEE AND SUBCONTRACTORS.

SUITABLE APPLICATIONS

- CONCRETE IS USED AS A CONSTRUCTION MATERIAL OR WHERE CONCRETE DUST AND DEBRIS RESULT FROM DEMOLITION ACTIVITIES.
- SLURRIES CONTAINING PORTLAND CEMENT CONCRETE (PCC) OR ASPHALT CONCRETE (AC) ARE GENERATED, SUCH AS FROM SAW CUTTING, CORING, GRINDING, GROOVING, AND HYDRO-CONCRETE DEMOLITION.
- CONCRETE TRUCKS AND OTHER CONCRETE-COATED EQUIPMENT ARE WASHED ONSITE.
- MORTAR-MIXING STATIONS EXIST.



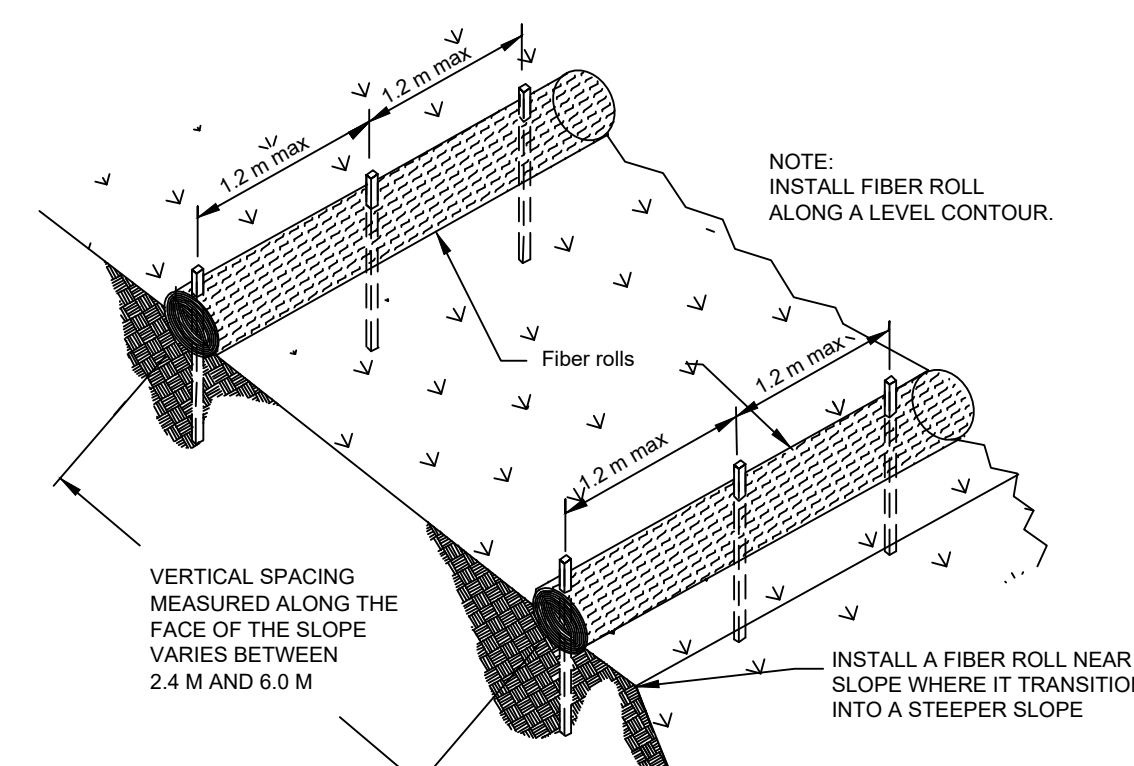
- ALLOW CONCRETE TO SET, BREAKUP AND DISPOSE OF PROPERLY.
- EXISTING DIRT TO BE PLACED ON SITE NEAR WASHOUT AREA (SEE DETAIL).
- UPON COMPLETION OF CONSTRUCTION WASHOUT DITCH TO BE FILLED WITH ORIGINAL DIRT STORED ON SITE PER DETAIL HEREON.
- REFILLING MUST BE COMPLETED PER GEOTECHNICAL RECOMMENDATIONS.
- SEE CONCRETE WASTE MANAGEMENT BMP WM-8 FOR ADDITIONAL INFORMATION.



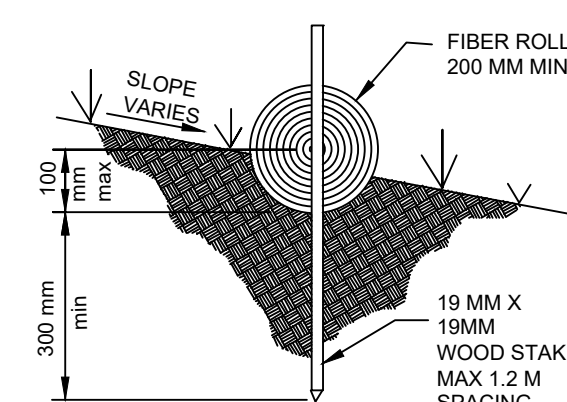
ALL INLET SHALL HAVE GRAVEL BAGS 1 BAG HIGH DURING BLDG CONSTRUCTION PER BMP# SE-10

EROSION CONTROL INLET GRAVEL BAG DETAIL

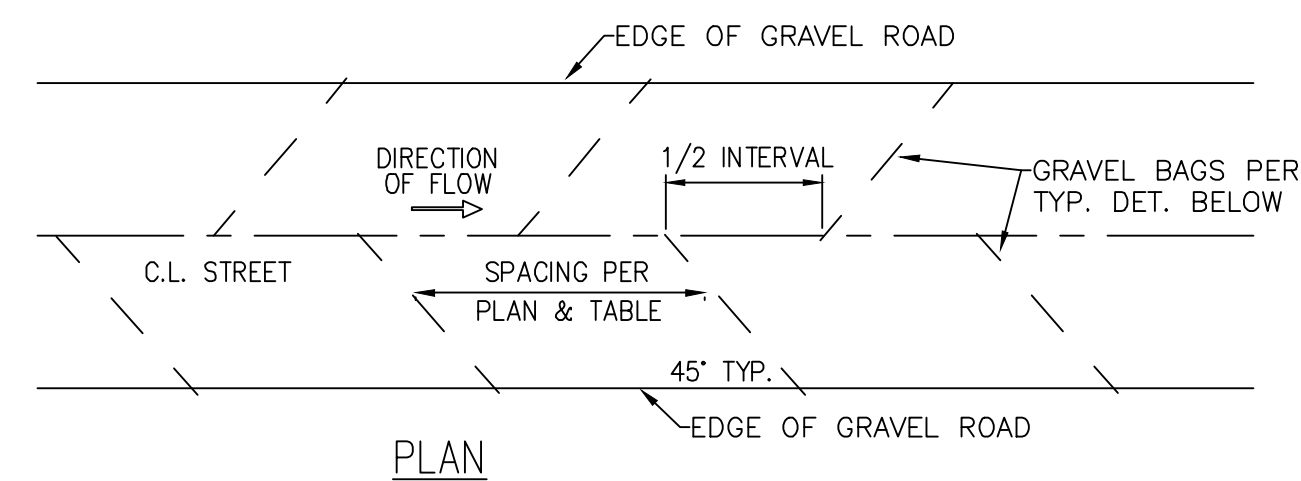
CONCRETE WASHOUT AREA (BMP WM-8)



TYPICAL FIBER ROLL INSTALLATION



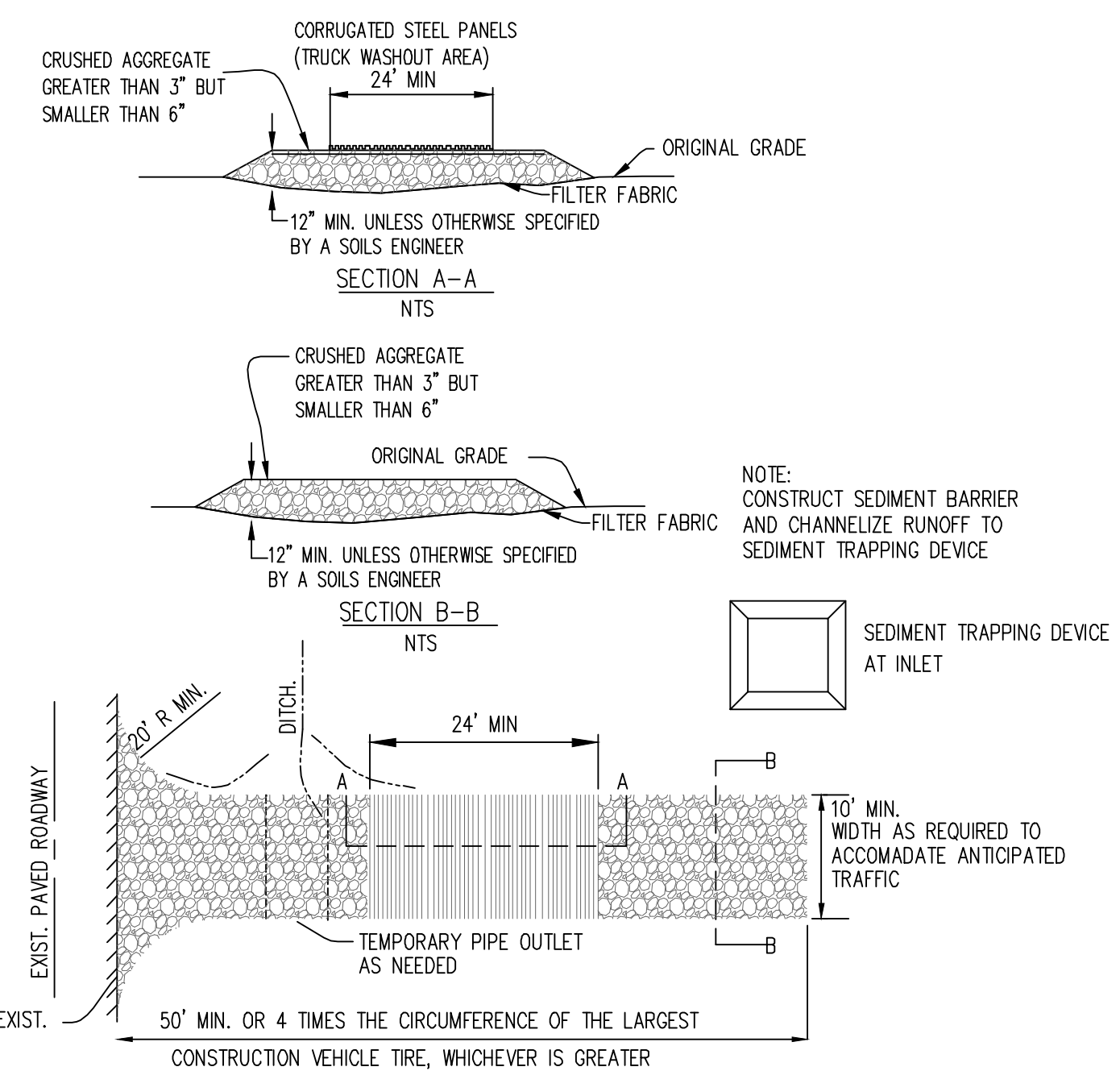
ENTRENCHMENT DETAIL



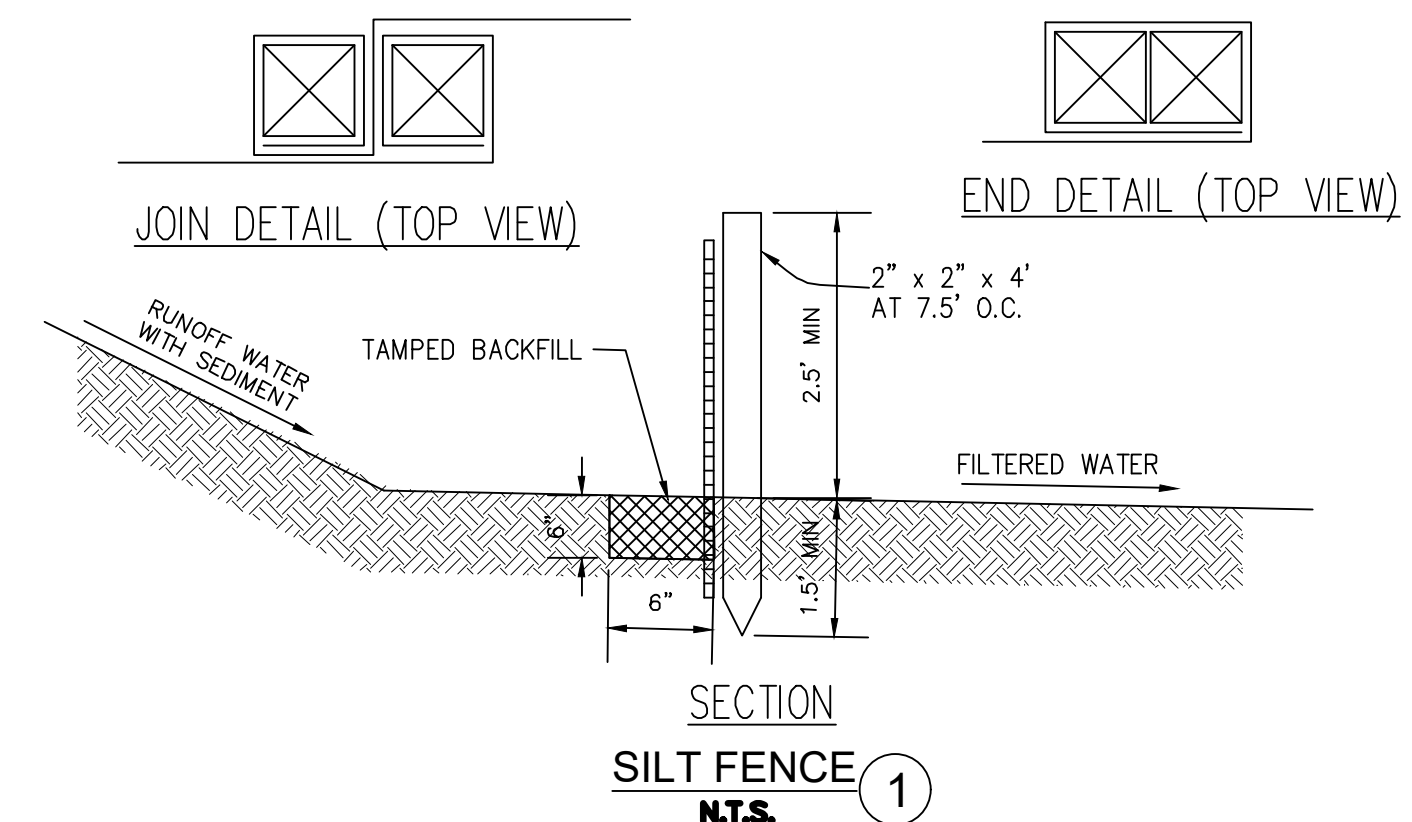
STREET GRADE	LENGTH
LESS THAN 5%	100' O.C.
5% TO 10%	50' O.C.
GREATER THAN 10%	25' O.C.

TYPICAL ELEVATION

TYPICAL STREET GRAVELBAG VELOCITY DETAIL



STABILIZED CONST. ENTRANCE/EXIT DETAIL (BMP TC1)



SECTION SILT FENCE

GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

EROSION CONTROL DETAILS

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1	NEW	DRP	JS	2-15-23
2				
3				



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SCALE

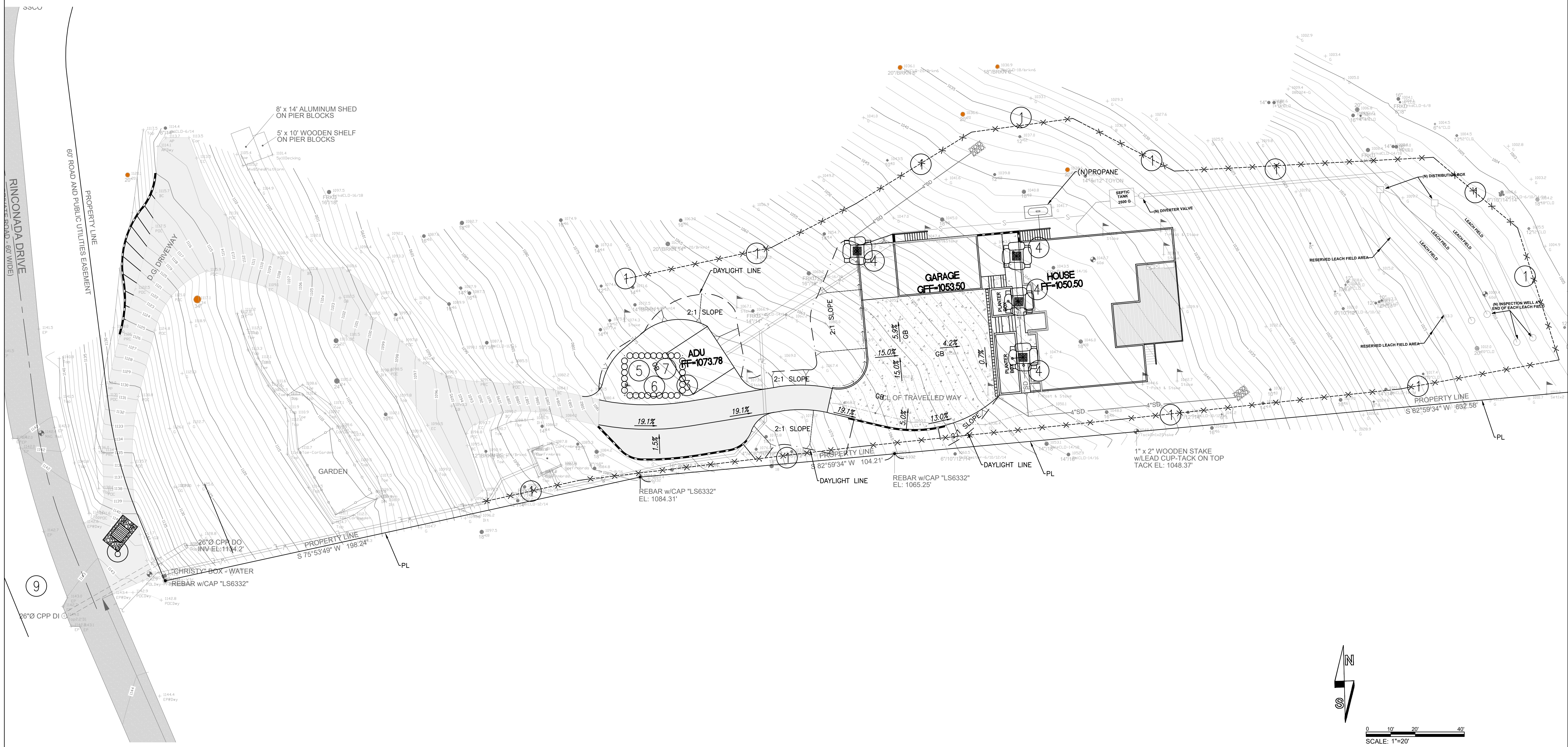
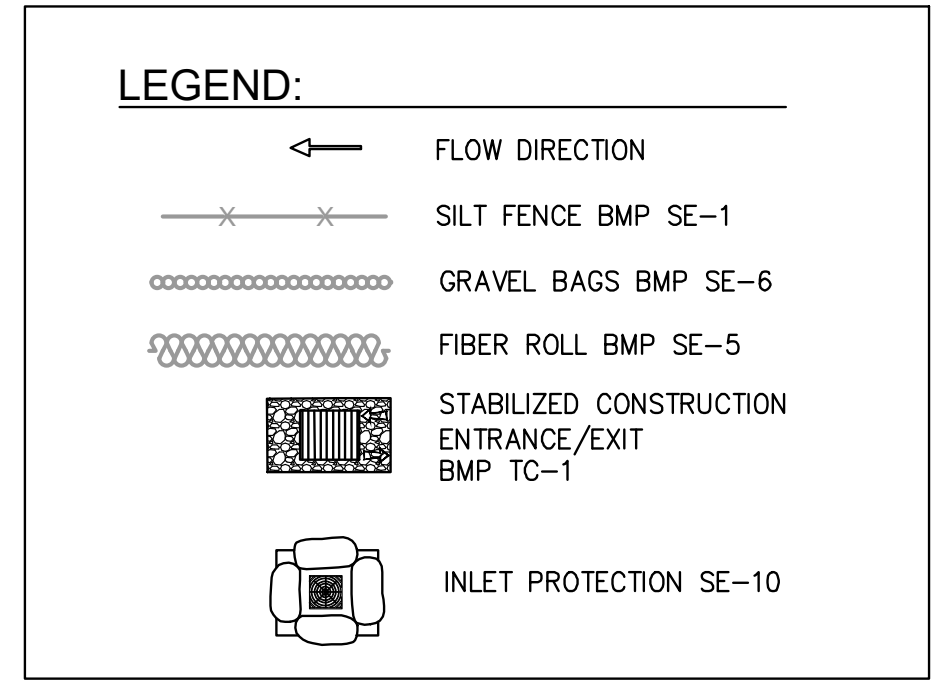
NOTED

Project Number & Sheet Number

G-6

Sheet 6 OF 7

EROSION CONTROL CONSTRUCTION NOTES	QTY	UNIT
① INSTALL SILT FENCE PER CASQA SE-1	600	LF
② INSTALL FIBER ROLL PER CASQA SE-5	NA	LF
③ INSTALL GRAVEL BAG (2 BAGS) VELOCITY REDUCER PER CASQA SE-6 AND DETAIL SHEET 6.	200	BAGS
④ INSTALL INLET PROTECTION (1 BAG) PER CASQA SE-10 AND DETAIL HEREON	4	BAGS
⑤ INSTALL SOLID WASTE MANAGEMENT PER CASQA WM-5 LOCATION SHALL BE DETERMINED DURING CONSTRUCTION	1	EA
⑥ INSTALL WATERPROOFED CONCRETE WASHOUT AREA PER CASQA WM-8 AND DETAIL SHEET 6, LOCATION SHALL BE DETERMINED DURING CONSTRUCTION	1	EA
⑦ INSTALL SANITARY/SEPTIC WASTE MANAGEMENT PER CASQA WM-9 LOCATION SHALL BE DETERMINED DURING CONSTRUCTION	1	EA
⑧ INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT PER CASQA TC-1 AND DETAIL SHEET 6, LOCATION SHALL BE DETERMINED DURING CONSTRUCTION	1	EA
⑨ STREET SWEEPING PER BMP SE-7	YES	LS

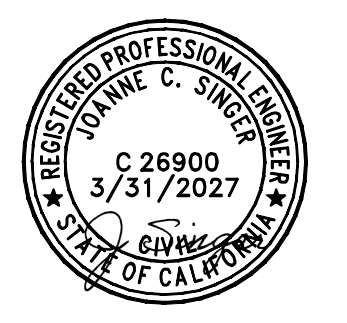


GRADING AND DRAINAGE PLANS FOR NEW SINGLE FAMILY RESIDENCE

EROSION CONTROL PLANS

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 Noorani Residence
 26141 Rinconada Drive
 Carmel Valley, CA 92924

SCALE
 1"=20'

EROSION CONTROL PLAN

G-7
 Sheet 7 OF 7

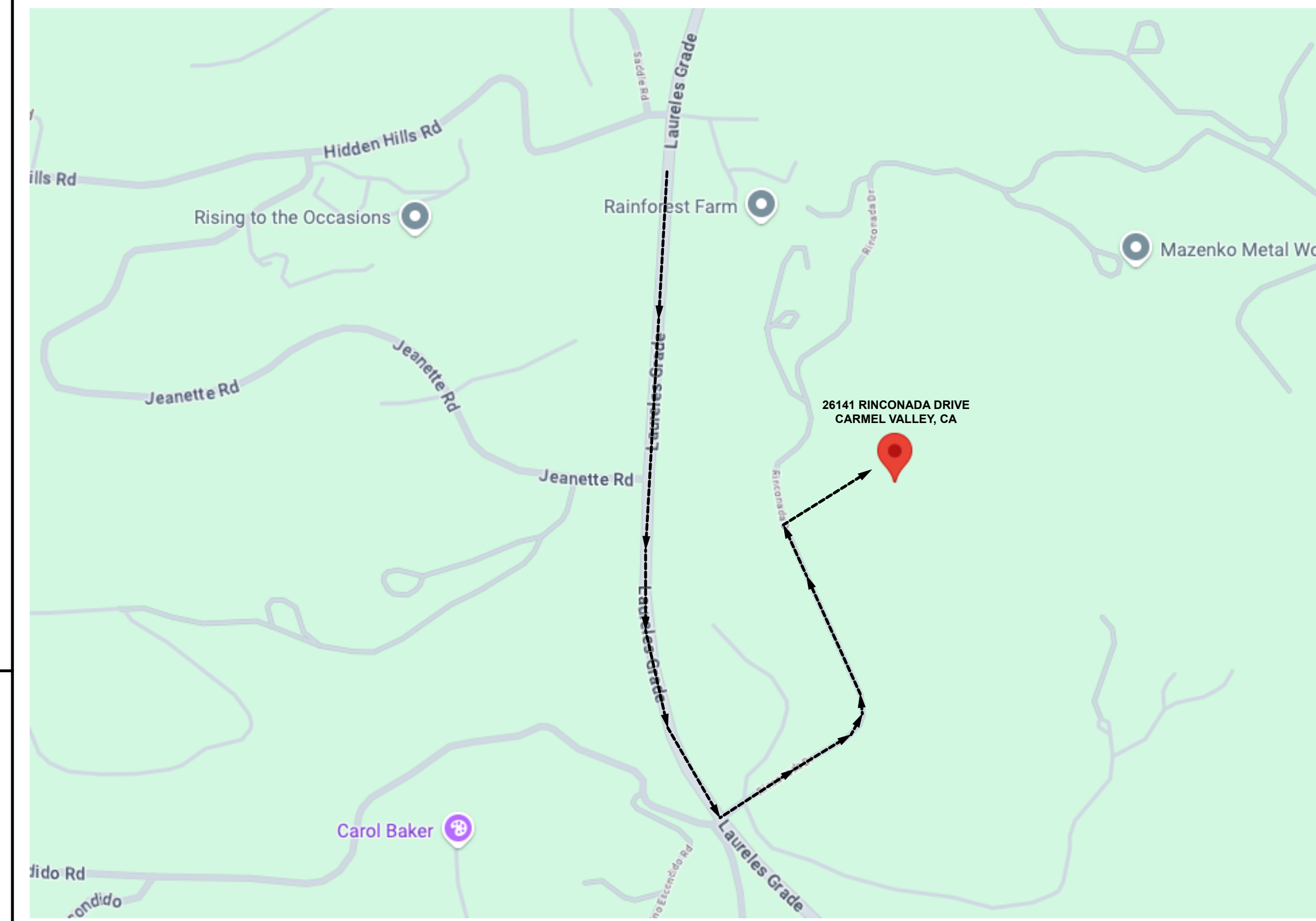
"HIGH" FIRE HAZARD SEVERITY ZONE NOTES:

1. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN GUTTERS. [R327.5.4]
2. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH OPENINGS A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH. [R327.6.2]
3. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, UNLESS THE VENTS ARE APPROVED WITH CBC SECTION 903.3.1.1, OR IF THE EXTERIOR WALL AND UNDERSIDE OF THE EAVE ARE OF IGNITION RESISTANT MATERIALS AND THE VENTS ARE LOCATED MORE THAN 12 FEET FROM THE GROUND OR WALKING SURFACE. [R327.6.3]
4. EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE APPROVED NON-COMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, LOG WALL CONSTRUCTION, OR SHALL MEET THE PERFORMANCE CRITERIA OF STANDARD SFM 12-7A-1 FOR 10 MINUTE DIRECT FLAME CONTACT EXPOSURE TEST. [R327.7.3] SEE EXCEPTIONS TO THIS SECTION FOR OTHER ALTERNATIVES.
5. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AND EAVES AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. [R327.7.3.1]
6. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF ENCLOSED EAVES SHALL BE APPROVED NON-COMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD, OR EXTERIOR PORTION OF AN APPROVED ONE-HOUR WALL ASSEMBLY. [R327.7.4] SEE EXCEPTIONS TO THESE SECTIONS FOR OTHER ALTERNATIVES.
7. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7A-2. [R327.8.2.1]
8. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, SOLID CORE WOOD HAVING STILES AND RAILS NOT LEES THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCHES THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM-7A-1. [R327.8.3]

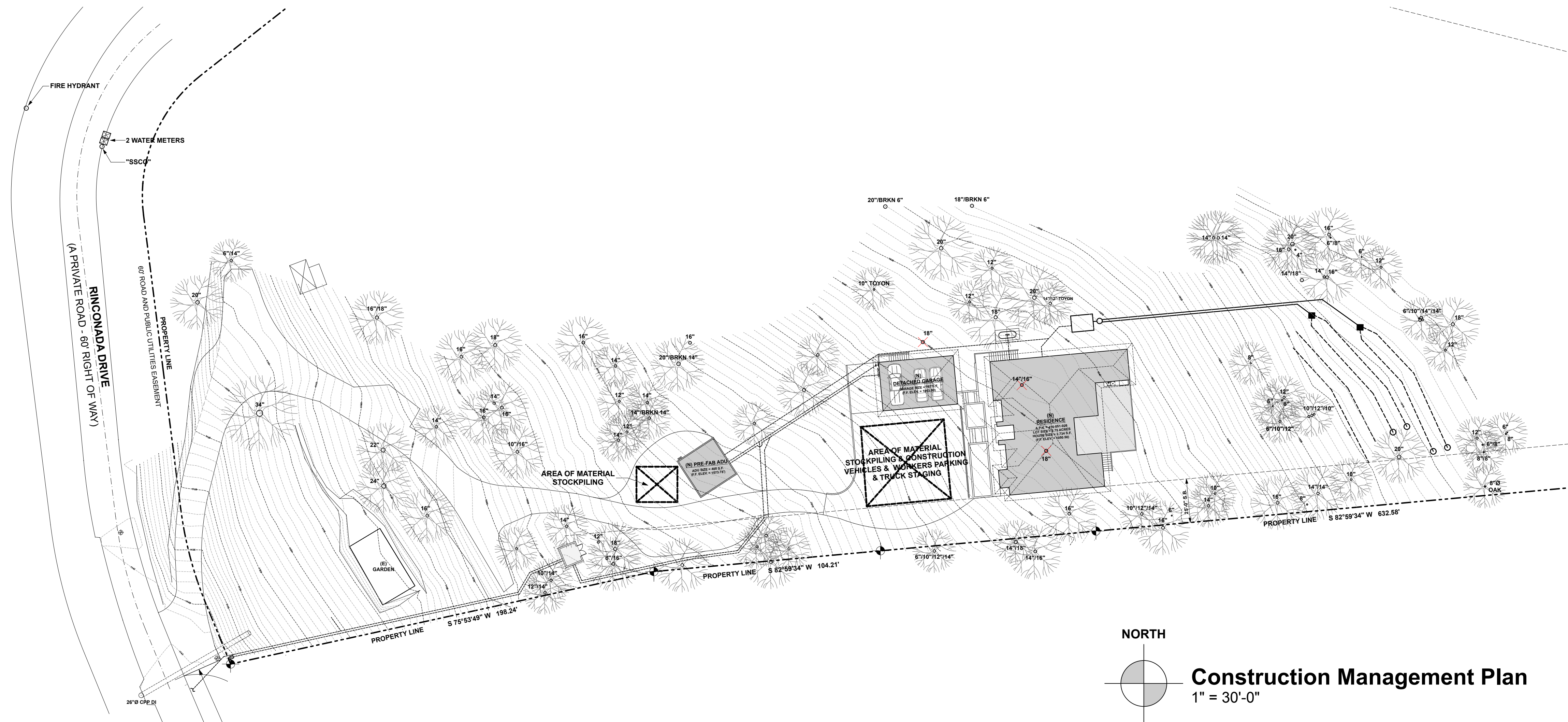
SUMMARY TABLE

TYPES OF CONSTRUCTION VEHICLES:	1. TRACTORS FOR GRADING 2. CONCRETE TRUCKS 3. LUMBER TRUCKS 4. MISC. TRADE VEHICLES (MID-SIZE VEHICLES)
VEHICLE TRIPS PER DAY:	2 - 4 VEHICLES PER DAY
CONSTRUCTIONS WORKERS PER DAY:	4-7 WORKERS PER DAY
AMOUNT OF GRADING PER DAY:	PROPOSED GRADING WILL OCCUR FIRST 3 - 4 WEEKS OF CONSTRUCTION (ONLY GRADING IS FOR FOUNDATION TRENCHES)
HOURS OF OPERATION:	7:00AM - 4:00PM
PROJECT SCHEDULING:	START OF PROJECT: SEPTEMBER 2025 END OF PROJECT: SEPTEMBER 2025
NAMES & CONTACT INFO. RESPONSIBLE FOR PROJECT DURING CONSTRUCTION:	
MR. & MRS. JONATHAN NOORANI (OWNERS) (916) 768-1878	
(CONTRACTOR) TO BE DETERMINED	
AARON TOLLEFSON (DESIGNER) (831) 578-3450	

VICINITY MAP



Proposed Route for Hauling Material



Construction Management Plan
1" = 30'-0"



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

Aaron S. Tollefson
AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
CONSTRUCTION MANAGEMENT PLAN

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
April 14, 2025 (Plann. Comments)

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SHEET

CM1.0



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AST
AARON S. TOLLEFSON, DESIGNER

Estimated Total Water Use (E.T.W.U.):

The projects Estimated Total Water Use shall be calculated using this equation:

$$ETWU = (ETo) (0.62) (PF \times HA / IE + SLA)$$

Where:

ETWU = Estimated Total Water Use (gallons per year)

ETo = Evapotranspiration (inches per year)
Annual ETo
16.0

PF = Plant Factor from WUCOLS

HA = Hydrozone Area [high, medium, and low water use areas] (square feet)

0.62 = Conversion factor (to gallons per square foot)

SLA = Special Landscape Area (square feet)

IE = Irrigation Efficiency (minimum 0.71)

Calculations:

$$(ETo) (0.62) (PF \times HA / IE + SLA) = ETWU$$

$$16.0 \times 0.62 \times (0.3 \times 2220 / 0.71 + 0) =$$

$$16.0 \times 0.62 \times 650 = 6,448$$

Estimated Total Water Use = 6,448 Gallons per year

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

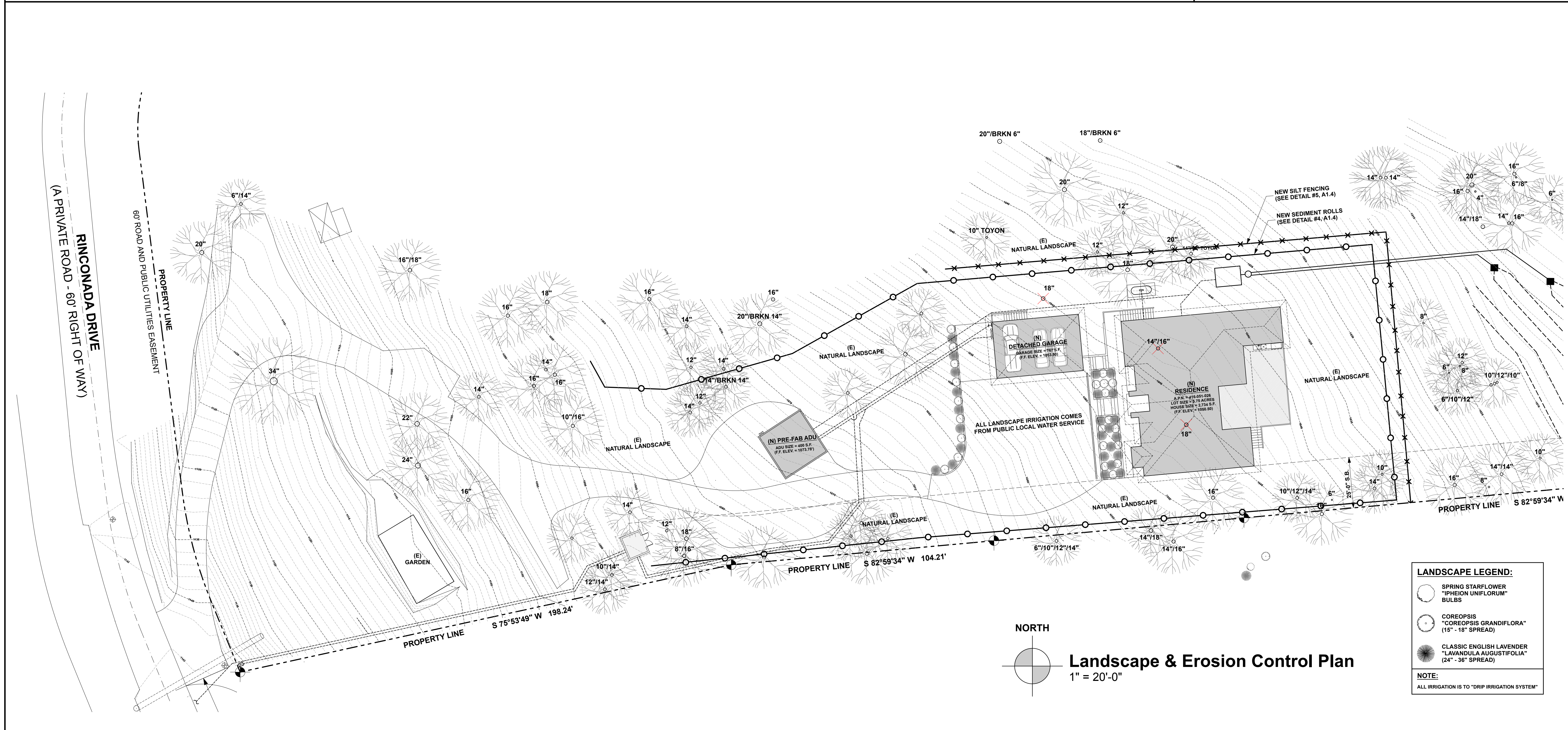
DRAWINGS:
LANDSCAPE PLAN
EROSION CONTROL PLAN
WATER USE CALCULATION

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
April 14, 2025 (Plann. Comments)

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SHEET

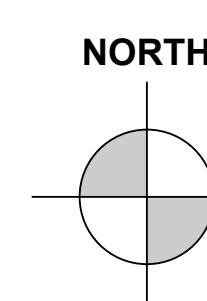
L1.0



LANDSCAPE LEGEND:

	SPRING STARFLOWER "IPHEION UNIFLORUM" BULBS
	COREOPSIS "COREOPSIS GRANDIFLORA" (15' - 18" SPREAD)
	CLASSIC ENGLISH LAVENDER "LAVANDULA AUGUSTIFOLIA" (24" - 36" SPREAD)

NOTE:
ALL IRRIGATION IS TO "DRIP IRRIGATION SYSTEM"



Landscape & Erosion Control Plan



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AST
AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

NOORANI BOZORG RESIDENCE

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

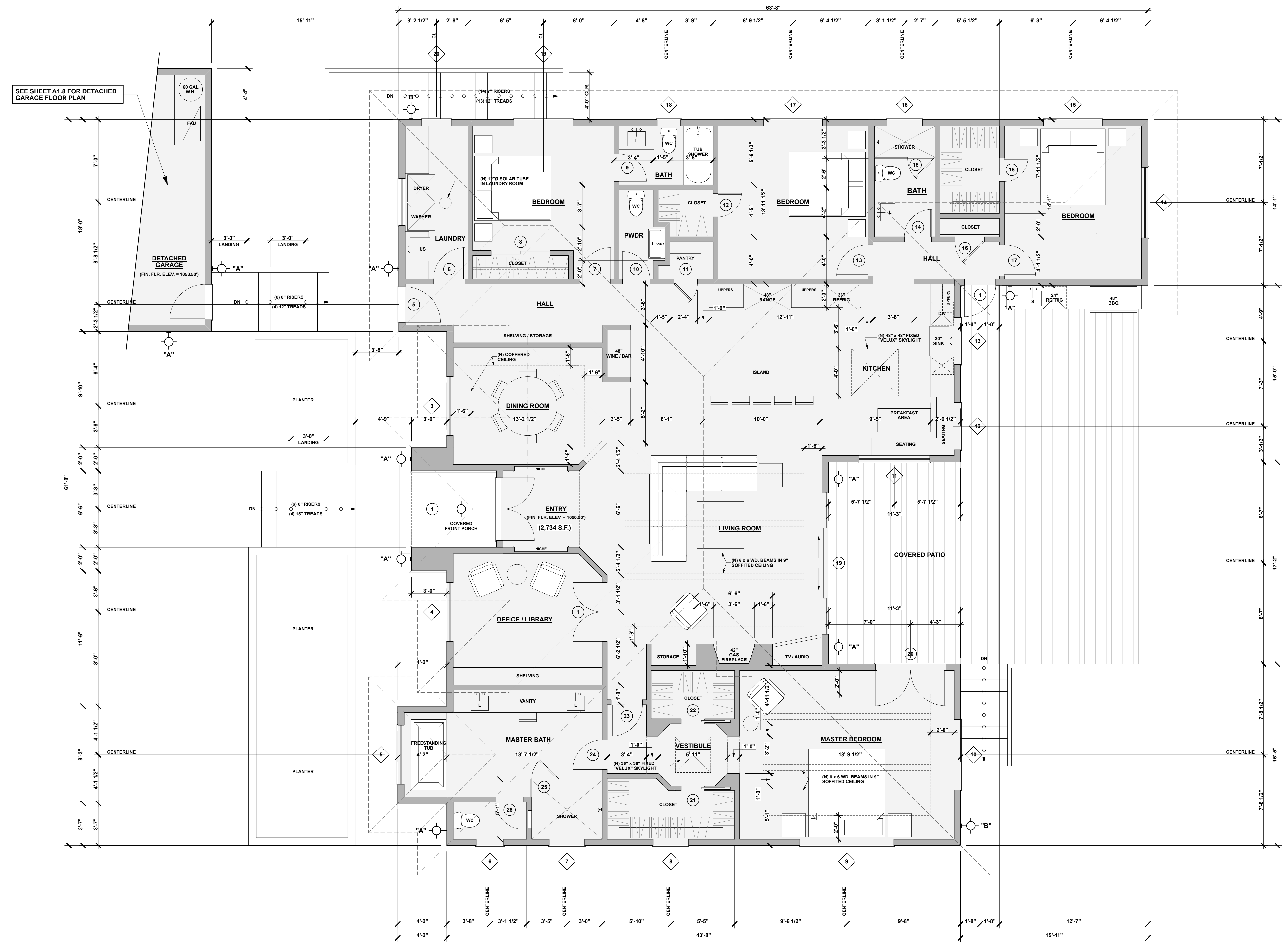
DRAWINGS:
NEW FLOOR PLAN

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
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SHEET

A1.7



New Floor Plan
1/4" = 1'-0"

NOTES:

1. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
2. BATHROOM FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
3. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, SHALL BE SAFETY GLAZING MATERIAL, SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
4. DRYER TO BE VENTED TO EXTERIOR WITH 4"Ø DUCT LINE. (14'-0" MAXIMUM RUN)
5. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HOSE-BIBS.
6. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:
MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 S.F. IN AREA
MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH
OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR
7. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CBC 1205.2)
8. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
9. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
10. SMOKE DETECTORS ARE TO SOUND AND ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
11. SMOKE DETECTORS SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
12. INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).
13. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
14. THE MASTER BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
15. OUTDOOR OUTLETS (WPI/GFCI) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
16. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
17. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
18. CLOTHES DRYER AND ELECTRIC RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
19. PROVIDE WEEP SCREEDS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE EARTH AND 2" CLEAR ABOVE PAVED AREAS.
20. PROVIDE BACKWATER VALVE, APPROVED FRESH AIR INLET AND A "Y" BRANCH OR COMBINATION FITTING INSTALLED IN SEQUENCE IN THE LINE OF FLOW FROM THE BUILDING.

GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3

WATER CLOSETS	=	MAX 1.28 GPF
SHOWERHEADS	=	MAX. 2.0 GPM @ 80 PSI
MULTIPLE SHOWERHEADS	=	MAX 1.8 GPM @ 80 PSI
LAVATORIES FAUCETS	=	MAX. 1.2 GPM @ 60 PSI
KITCHEN FAUCETS	=	MAX. 1.8 GPM @ 60 PSI
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IS MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL.
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTHER RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.
 CARPET ADHESIVE = 80 (VOC LIMIT)
 CARPET PAD ADHESIVE = 80 (VOC LIMIT)
 WOOD FLOORING ADHESIVE = 80 (VOC LIMIT)
 SUBFLOOR ADHESIVE = 80 (VOC LIMIT)
 DRYWALL ADHESIVE = 80 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. **BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:**
 ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.
11. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
12. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHRE OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
13. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
14. PAINT, STAINS AND OTHER COATINGS SHALL BE IN COMPLIANT WITH VOC LIMITS (4.504.2.2).
15. AEROSOL PAINTS AND COATINGS SHALL BE IN COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
16. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
17. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS (4.504.5).
18. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).



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AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
 FOR:

**NOORANI
 BOZORG
 RESIDENCE**

26141 RINCONADA DRIVE
 CARMEL VALLEY, CALIFORNIA
 A.P.N.: 416-051-026

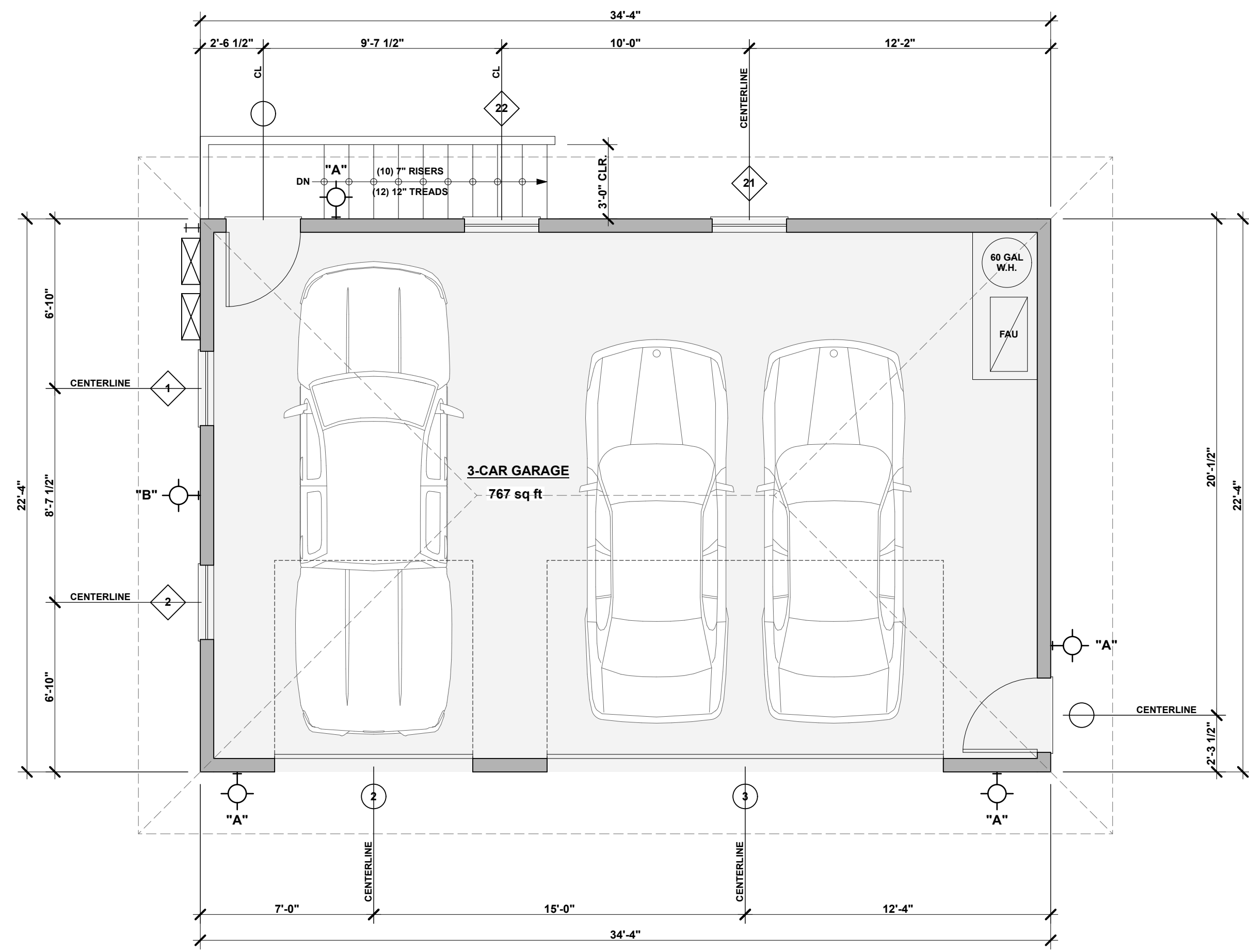
DRAWINGS:
 NEW GARAGE FLOOR PLAN

DRAWN BY: AST
 DRAWING DATE: Feb. 28, 2025
 REVISION DATES:
 April 14, 2025 (Plann. Comments)

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SHEET

A1.8



New Garage Floor Plan
 1/4" = 1'-0"



526 Valencia
Profile: Capistrano Weight: Lightweight

Residence Roofing Material:
Class "A" Lightweight Concrete Tile
(Color: Valencia)



Residence Exterior Patio Door:
4-Panel Clad Slider Exterior Door w/ Grids
(Color: Dark Bronze)

40W LED Security Lights Motion Sensor Light Outdoor, 180 Degree, 4000 LM, 5000 K, ETL Water Resistant, Clear 2 Head Motion Detector Flood Light for Garage, Yard (Bronze)



Residence Exterior Light Fixture "B"
(Color: Dark Bronze)



Residence Entry Door:
Arched Metal Door (Dark Bronze)

Outdoor Wall Light Fixtures, Exterior Waterproof Lanterns, Porch Scones Wall Mounted Lighting with E26 Sockets & Glass Shades, Modern Matte Black Wall Lamps for Patio Front Door Entryway, 2-Pack

Amazon's Choice
3K+ bought in past month

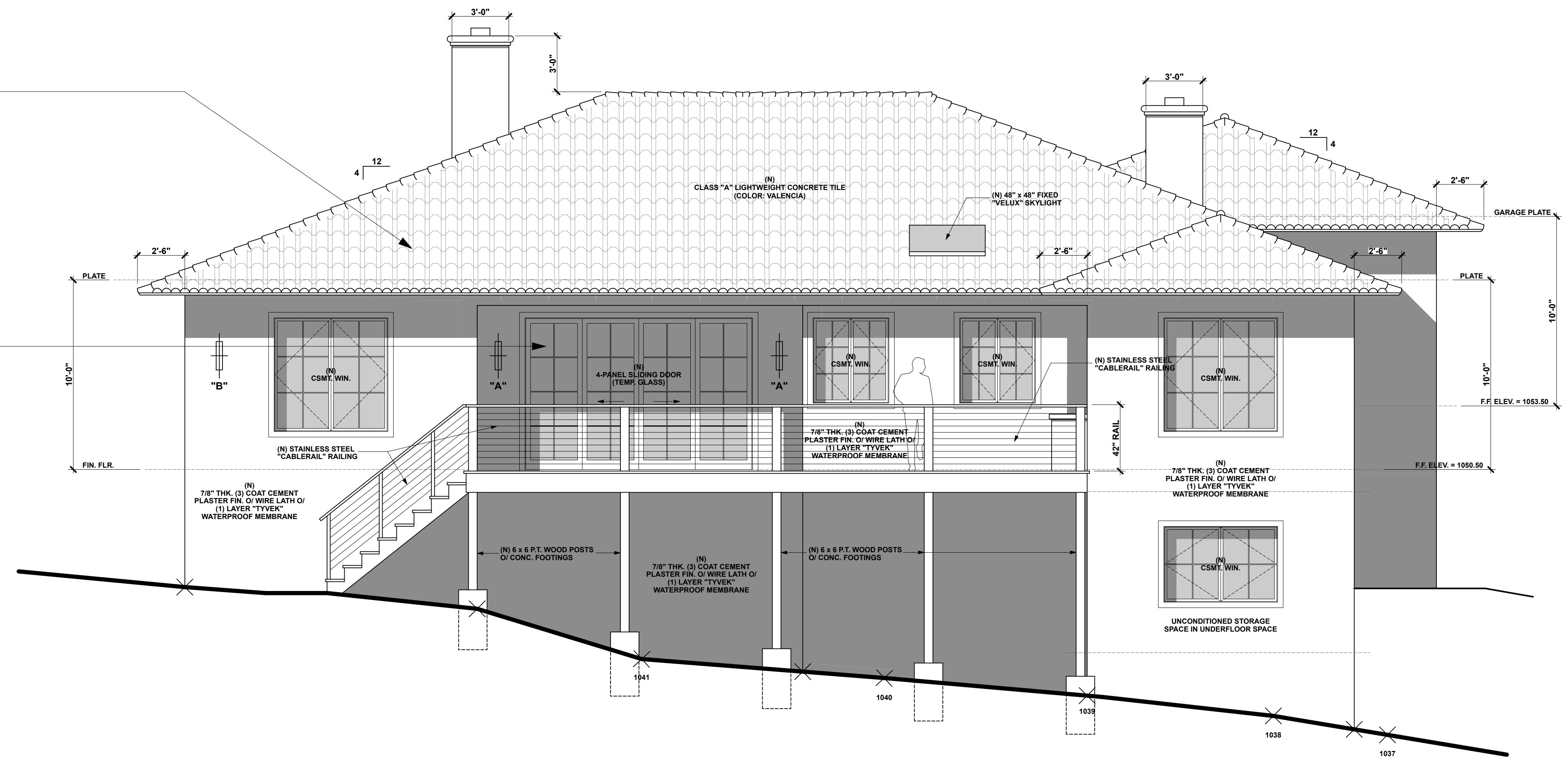


Residence Exterior Light Fixture "A"
(Color: Dark Bronze)

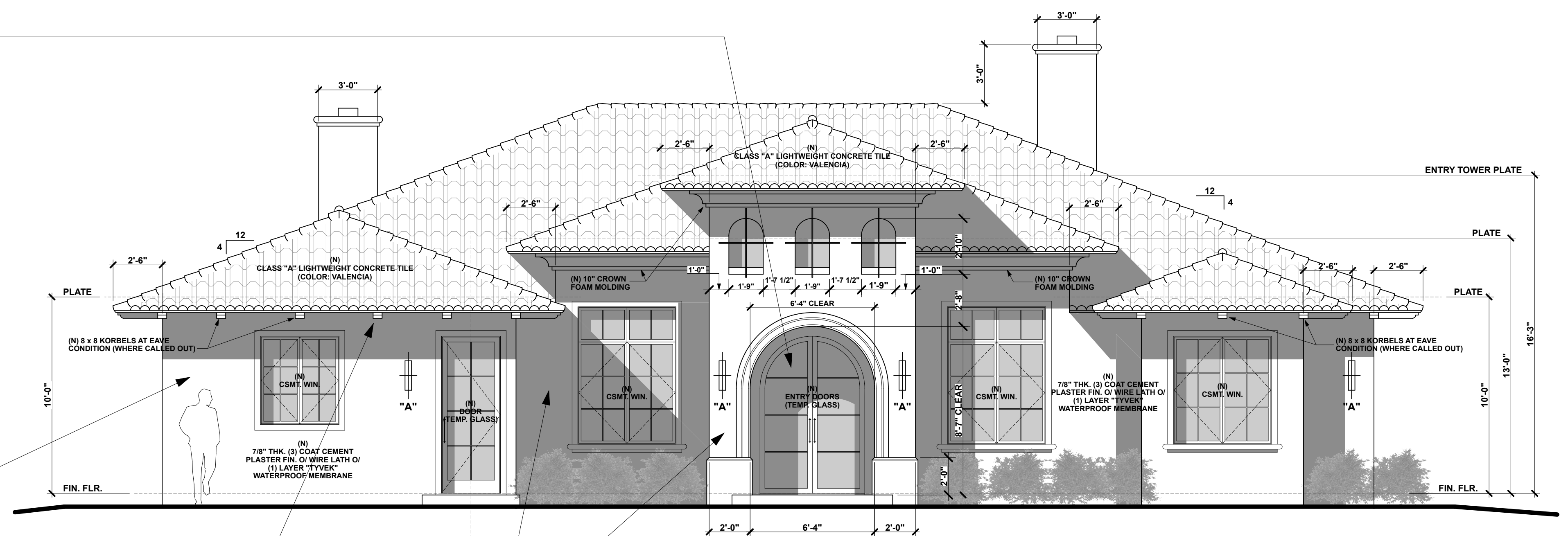


Residence Cement Plaster Finish:
Smooth Cement Plaster Finish

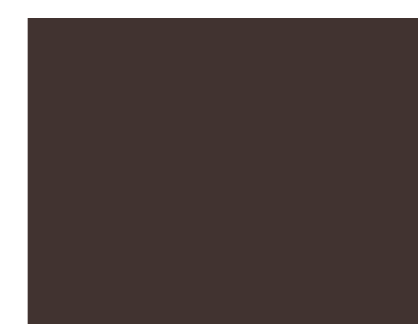
Residence & Garage Exterior Finishes



East Exterior Elevation
1/4" = 1'-0"



West Exterior Elevation
1/4" = 1'-0"



Residence Eave Color:
Sherwin Williams
(SW 6006 - Black Bean)



Residence Body Color:
Sherwin Williams
(SW 9180 - Aged White)



957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450



AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
EXTERIOR ELEVATIONS
FINISHES & COLORS

DRAWN BY: AST
DRAWING DATE: Feb. 28, 2025
REVISION DATES:
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SHEET

A1.9



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DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AS
AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

**NOORANI
BOZORG
RESIDENCE**

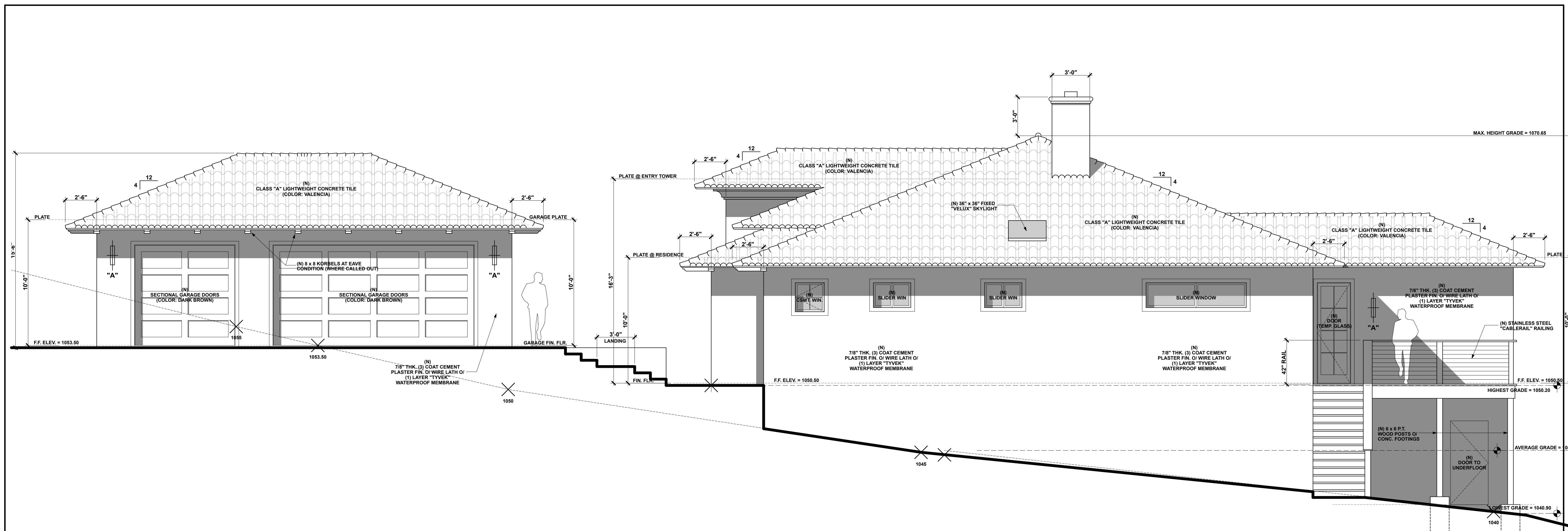
26141 RINCONADA DRIVE
CARMEL VALLEY, CALIFORNIA
A.P.N.: 416-051-026

DRAWINGS:
EXTERIOR ELEVATIONS

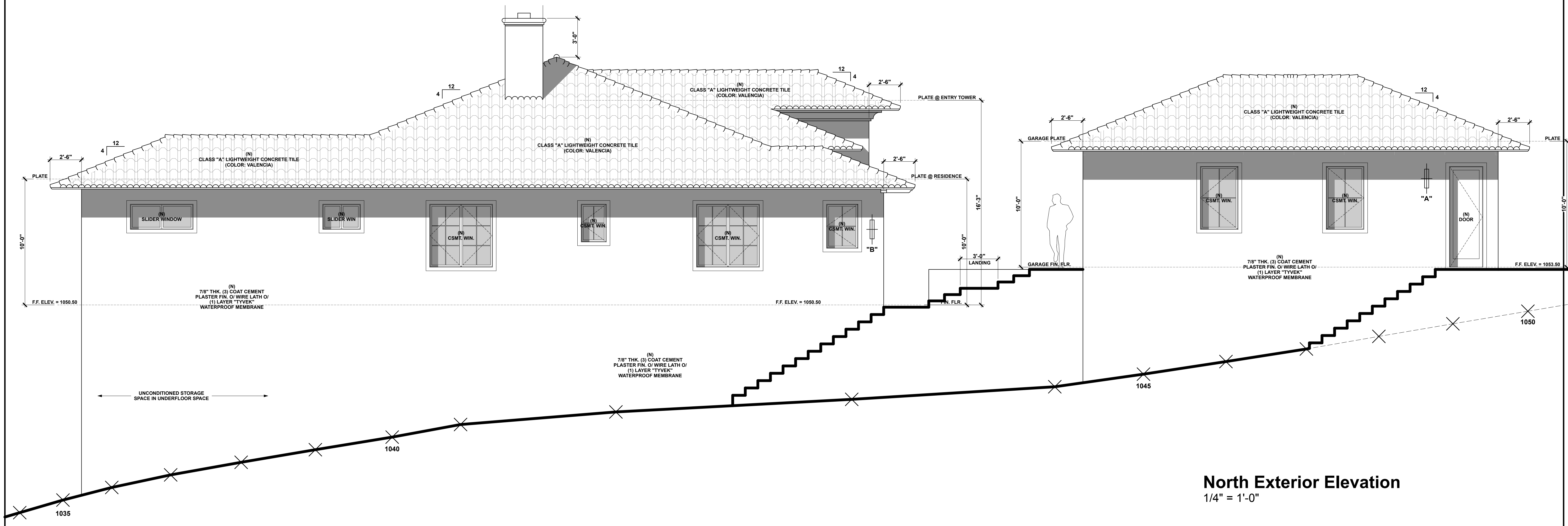
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SHEET
A2.0



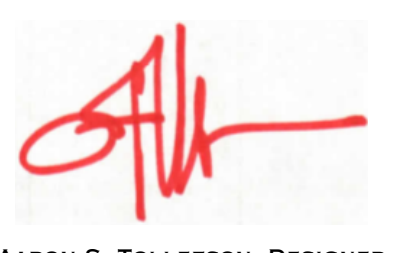
South Exterior Elevation
1/4" = 1'-0"



North Exterior Elevation
1/4" = 1'-0"



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PHONE: (831) 578-3450



AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE & ADU
FOR:

NOORANI BOZORG RESIDENCE

26141 RINCONADA DRIVE
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A.P.N.: 416-051-026

DRAWINGS:
EXTERIOR ELEVATIONS
FINISHES & COLORS

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SHEET
A2.1



526 Valencia
Profile: Capistrano Weight: Lightweight

Residence Roofing Material:
Class "A" Lightweight Concrete Tile
(Color: Valencia)



Detached Garage Cement Plaster Finish:
Smooth Cement Plaster Finish

40W LED Security Lights Motion Sensor Light Outdoor, 180 Degree, 4000 LM, 5000 K, ETL Water Resistant, Clear 2 Head Motion Detector Flood Light for Garage, Yard (Bronze)



Residence Exterior Light Fixture "B"
(Color: Dark Bronze)

Outdoor Wall Light Fixtures, Exterior Waterproof Lanterns, Porch Scones Wall Mounted Lighting with E26 Sockets & Glass Shades, Modern Matte Black Wall Lamps for Patio Front Door Entryway, 2-Pack
Amazon's Choice

3K+ bought in past month



Residence Exterior Light Fixture "A"
(Color: Dark Bronze)

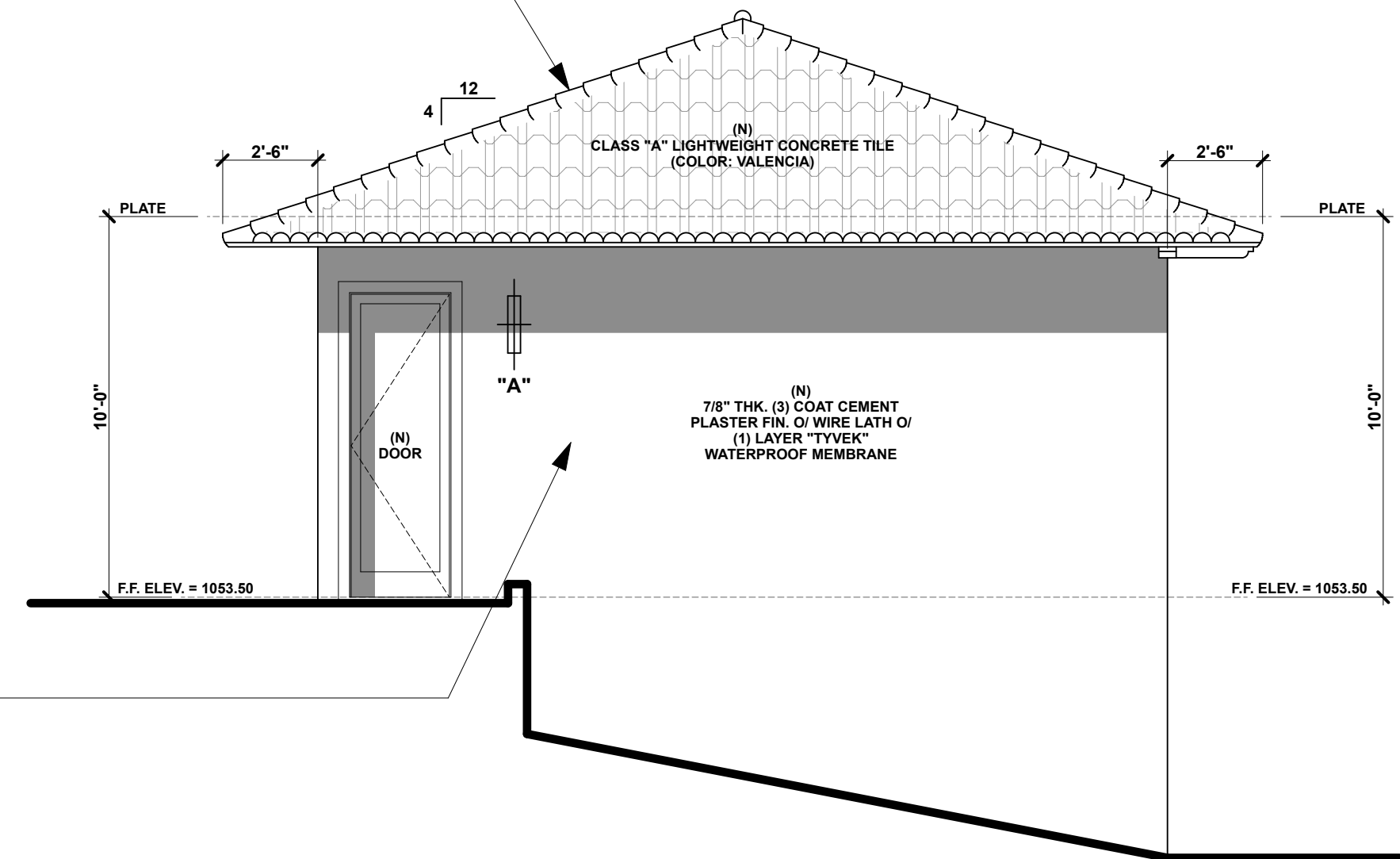


Residence Eave Color:
Sherwin Williams
(SW 6006 - Black Bean)

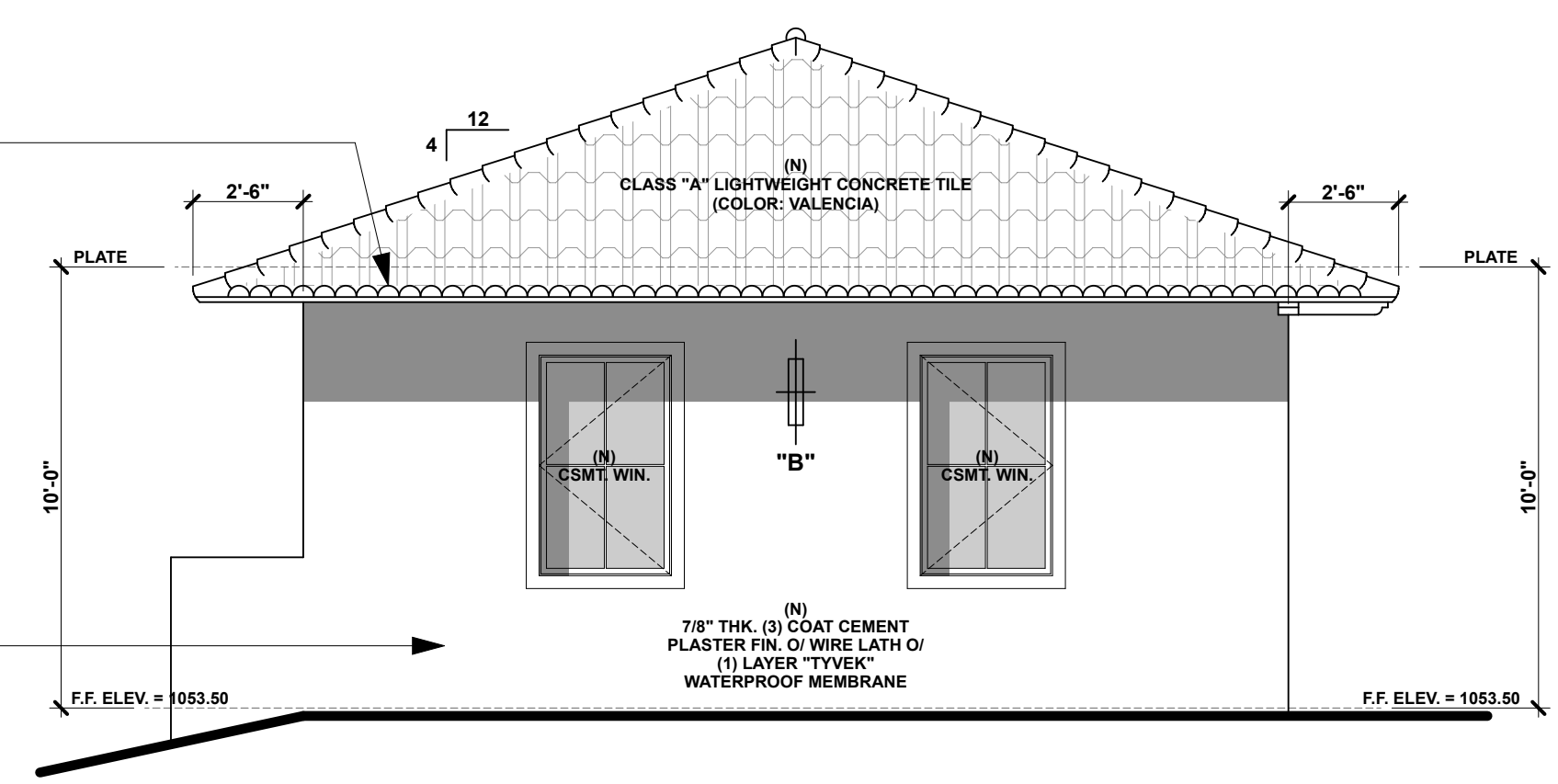


Residence Body Color:
Sherwin Williams
(SW 9180 - Aged White)

Residence & Garage Exterior Finishes



East Exterior Elevation (Detached Garage)
1/4" = 1'-0"



West Exterior Elevation (Detached Garage)
1/4" = 1'-0"



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FOR:

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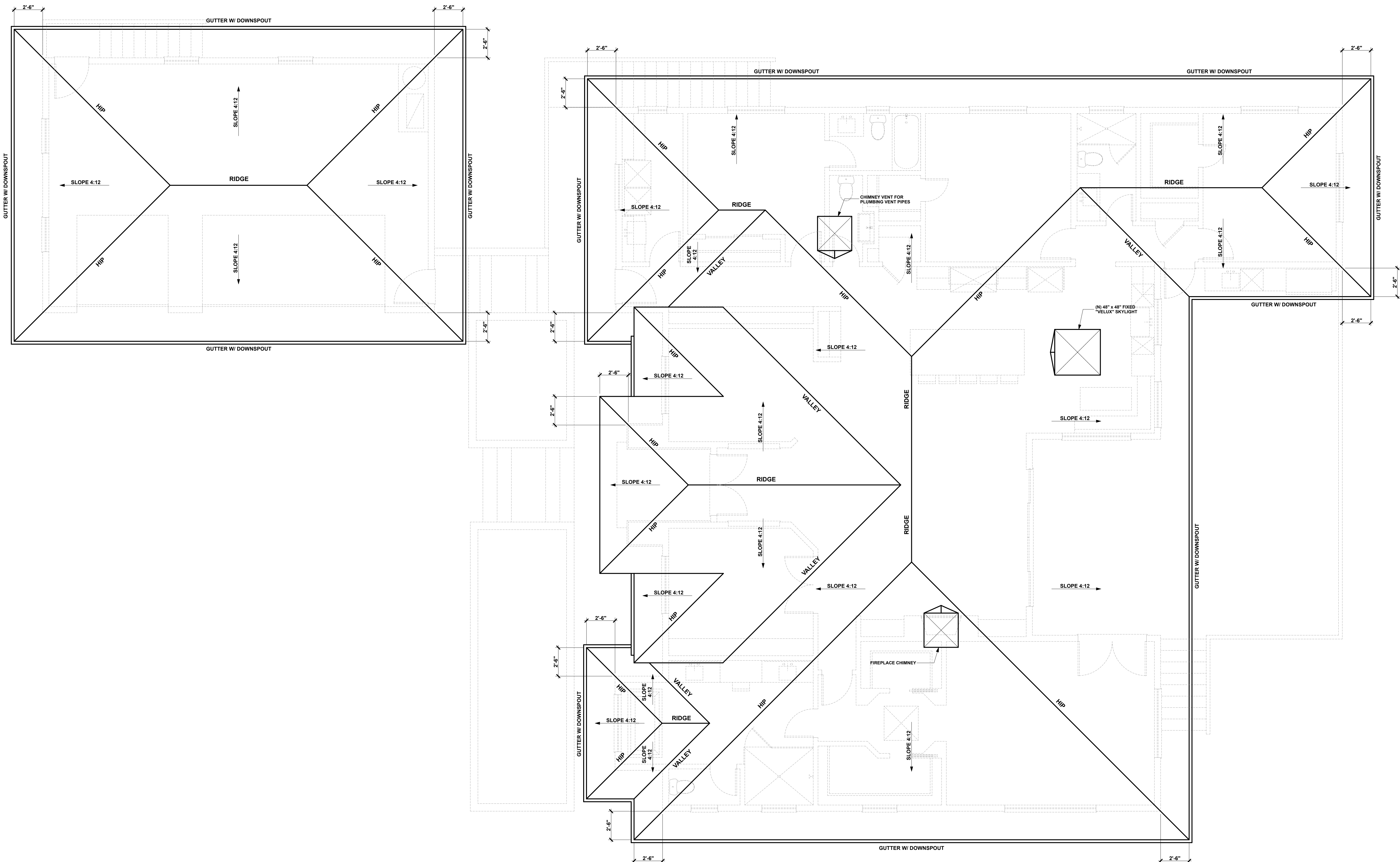
DRAWINGS:
NEW ROOF PLAN

DRAWN BY: AST
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SHEET

A2.2



New Roof Plan
1/4" = 1'-0"



957 ANGELUS WAY
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AST
AARON S. TOLLEFSON, DESIGNER



PRE-MANUFACTURED ACCESSORY DWELLING UNIT (ADU)

MANUFACTURER: MOBE - EXPANDABLE HOUSE
MODEL: MO2L, (1) BEDROOM, (1) BATH
COLOR: BLACK & GREY

NEW RESIDENCE & ADU
FOR:

NOORANI BOZORG RESIDENCE

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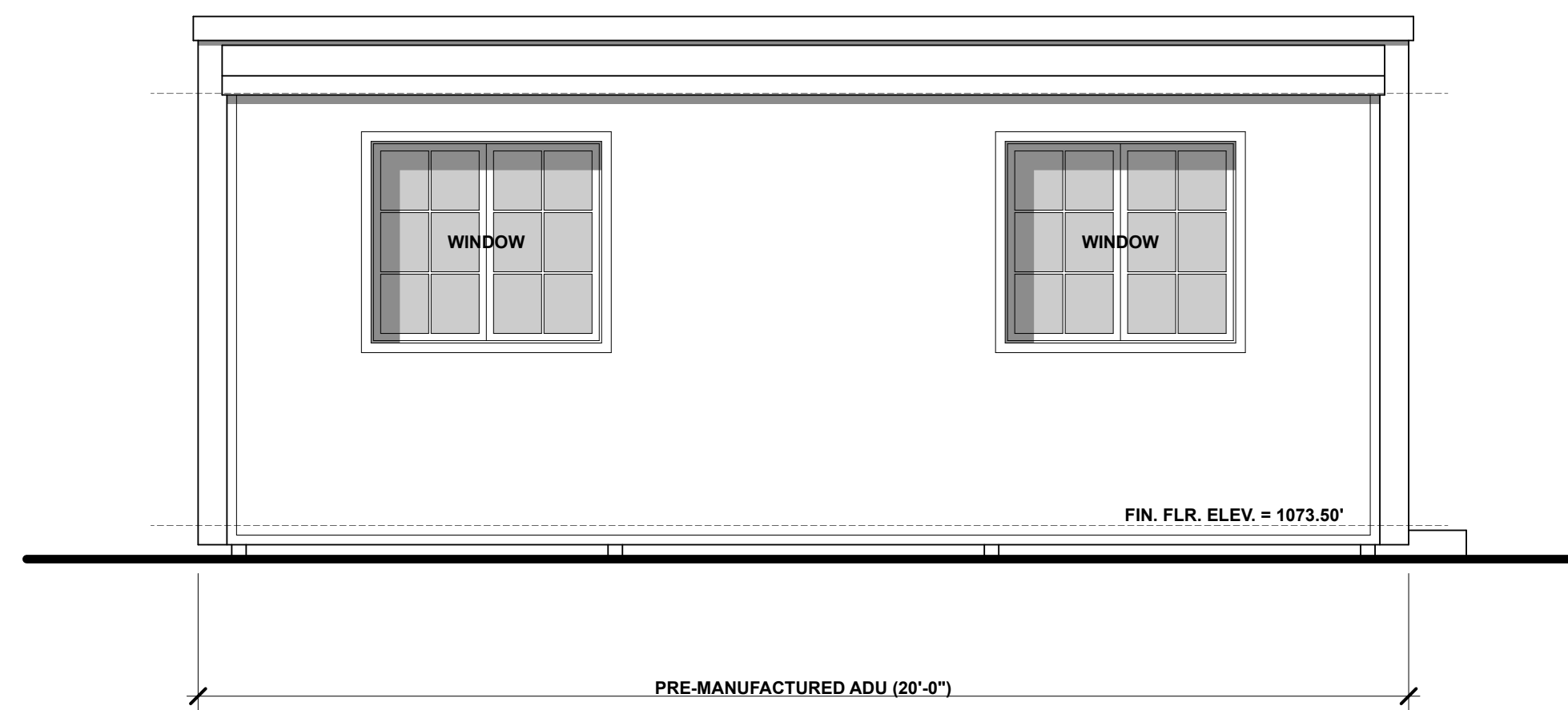
DRAWINGS:
ADU FLOOR PLAN
ADU EXTERIOR ELEVATIONS
ADU FINISHES & COLORS

DRAWN BY: AST
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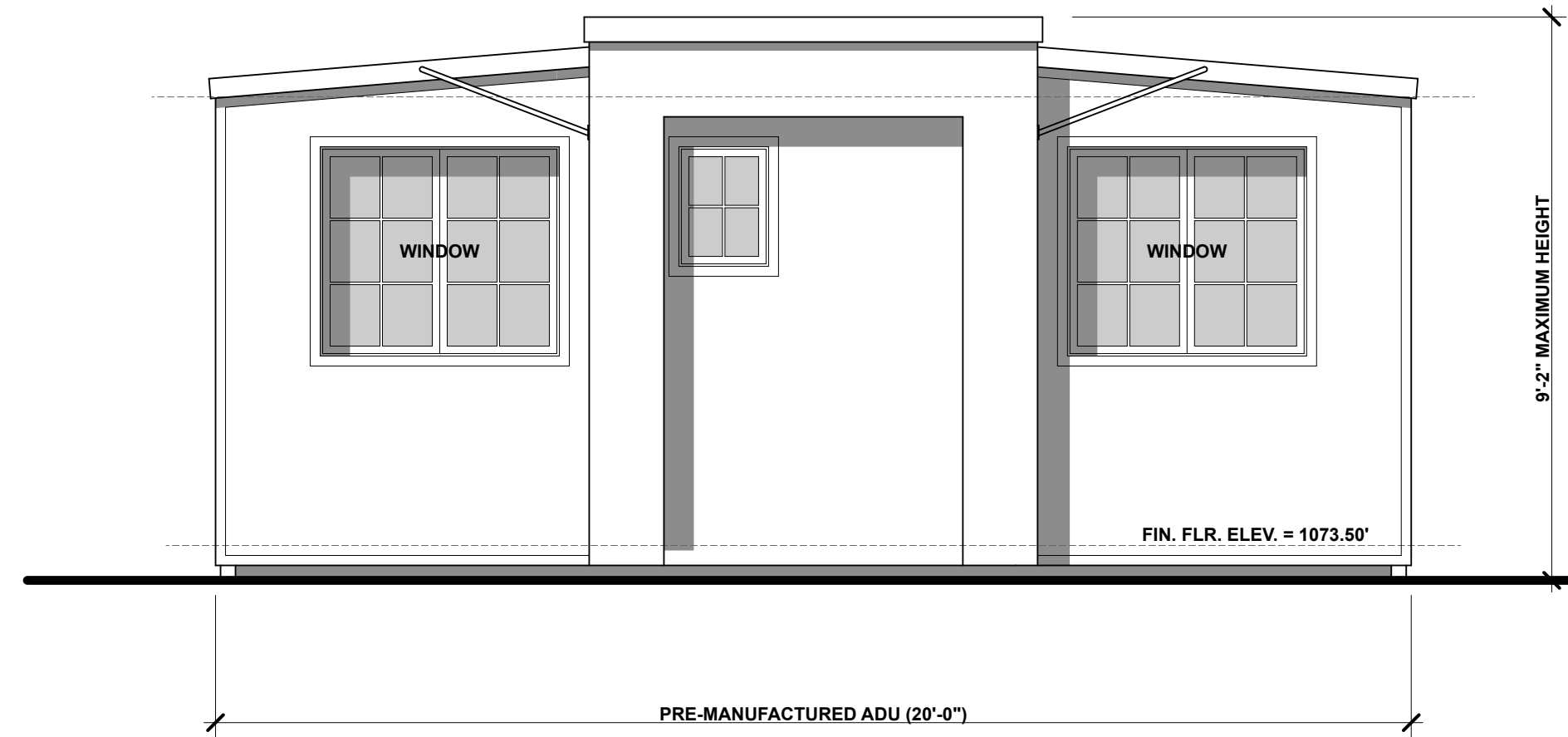
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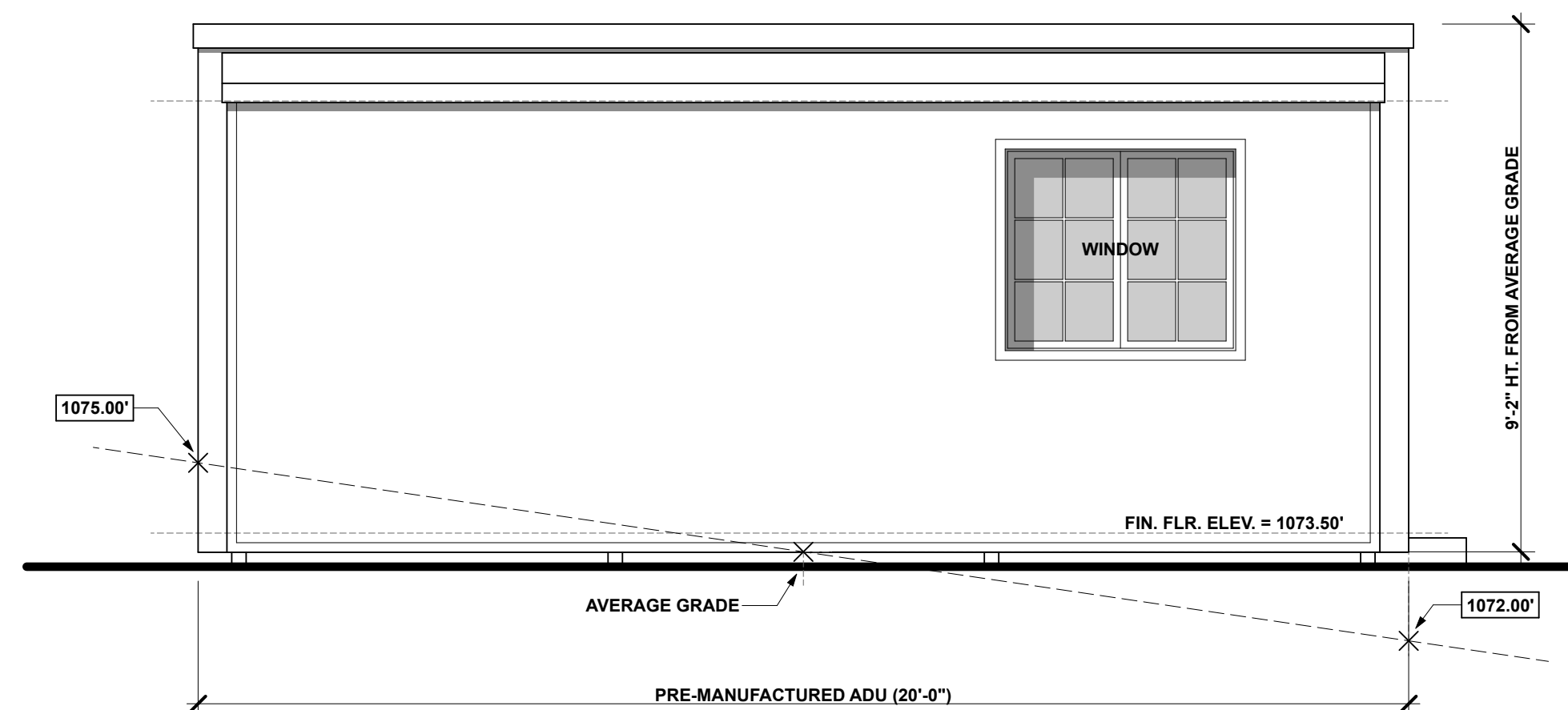
A2.3



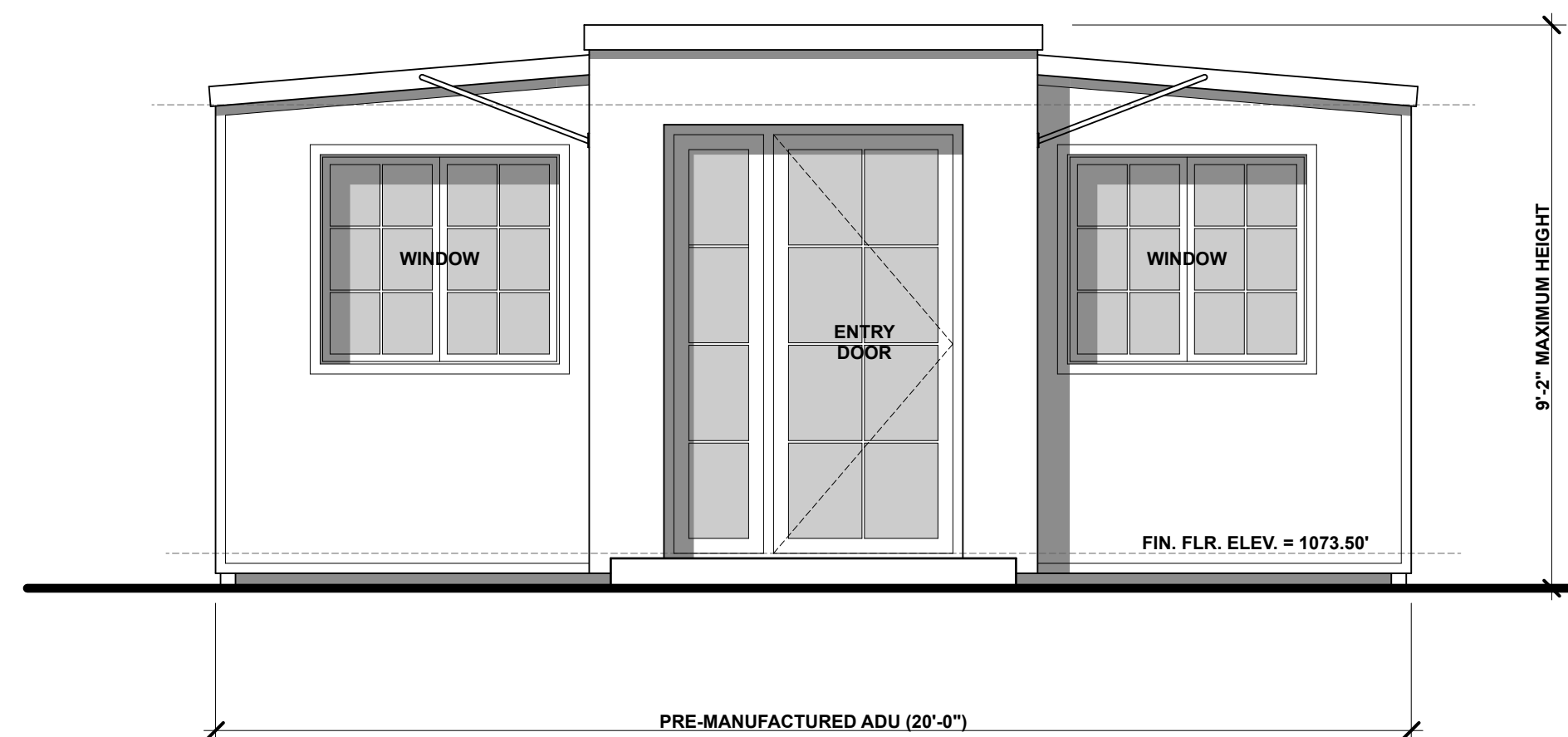
ADU West Exterior Elevation
3/8" = 1'-0"



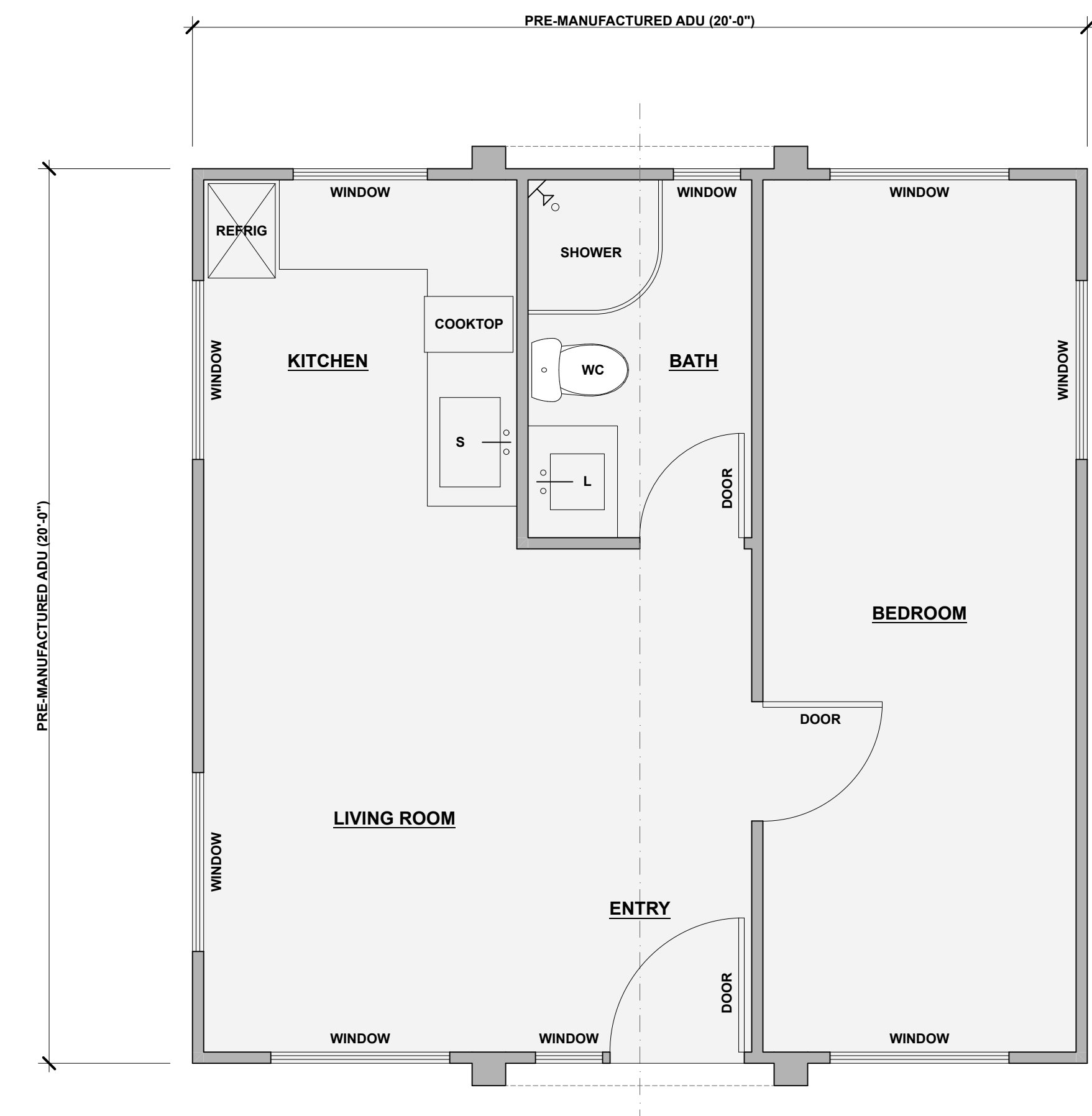
ADU North Exterior Elevation
3/8" = 1'-0"



ADU East Exterior Elevation
3/8" = 1'-0"



ADU South Exterior Elevation
3/8" = 1'-0"



ADU Floor Plan
3/8" = 1'-0"