

Exhibit B

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

S T C RENEWALS AND SERVICES LTD (PLN240024)

RESOLUTION NO. 26-

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, the permitting of existing facilities, and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow the after-the-fact installation of a 5,000-gallon water tank for the purpose of providing emergency service to fire protection district; and
 - b. Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area.

[PLN240024, S T C RENEWALS AND SERVICES LTD, as adjacent to 37013 Palo Colorado Road, Carmel, Big Sur Coast Land Use Plan, Coastal Zone (APN: 418-031-019-000)]

The S T C RENEWALS AND SERVICES LTD application (PLN240024) came on for public hearing before the Monterey County Zoning Administrator on January 29, 2026, and February 26, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan (General Plan);
 - Big Sur Coast Land Use Plan (BSC LUP);
 - Monterey County Coastal Implementation Plan, Part 3 (CIP);
 - and
 - Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located next to 37013 Palo Colorado Road, Big Sur (Assessor's Parcel Number 418-031-019-000), Big Sur Coast Land Use Plan. The parcel is zoned RDR/40-D (CZ) [Rural Density Residential, 40 acres per unit, Design Control Overlay (Coastal Zone)]. Title 20 section 20.16.040.J allows for small water systems, which include water storage tanks as a principal use allowed subject to the granting of a Coastal Administrative Permit. The proposed after-the-fact water storage tank is installed in an enclosure on a concrete slab upon which a former shed was located on a vacant parcel. The water storage tank was installed when the local fire agency, the Mid Coast Fire Brigade, made it a condition prior to final inspection of a new single-family dwelling on a neighboring parcel under the same ownership. The subject parcel was chosen for siting the water tank because the existing enclosure with concrete slab made for a suitable installation platform that precluded further development impacts. Therefore, the project is an allowed land use for this site.
- c) Development Standards. The development standards for the Rural Density Residential (RDR) zoning district are identified in Monterey County Code (MCC) Section 20.16.060. Required setbacks in the RDR district for main structures are 30 feet (front), and 20 feet (rear and side). The proposed water storage tank is 34 feet from the front property line adjacent to Palo Colorado Canyon Road; approximately 39 feet from the eastern side property line; approximately 100 feet from the western side property line; and several hundred feet from the rear northern property line. Maximum allowed height is 30 feet. The proposed height of the water tank is approximately 13 feet. The allowed site coverage maximum in the RDR district is 25%. The property is approximately 1.48 acres (64,468.8 square feet), which would allow a maximum site coverage of approximately 16,117.2 square feet. The concrete foundation is approximately 114 square feet, or 0.18% site coverage. Therefore, as proposed, the project meets all required development standards.
- d) Design. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The 13-foot-high tank will be forest green to blend in with the surrounding forested area. The tank does not create any new visible structures within the Critical Viewshed (BSC LUP Policy 3.2.2). Distance, topography, and vegetation effectively screen the proposed development from Highway 1. The project, as designed and sited, assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) Public Access: No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey

County Coastal Implementation Plan (Part 3) can be demonstrated. The project site features coastal or shoreline frontage. Furthermore, the proposed project does not interfere with any form of historic public use or trust rights. Therefore, the project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code). See Finding 9 below.

- f) Cultural Resources. County records identify that the project site is within an area of high sensitivity for cultural resources. The Big Sur Coast Land Use Plan requires that impacts to archaeological resources be avoided or minimized to the extent feasible. Consistent with BSC LUP Key Policy 3.11.1, the scope of the project is minimized to avoid ground disturbance. No ground disturbance, grading, or imported fill was needed to install the water storage tank in the existing enclosure with concrete slab.
- g) Environmentally Sensitive Habitat Areas (ESHA): The project site is located in lower Palo Colorado Canyon, an area characterized by a narrow, steep canyon with intermittent redwood forestation. Palo Colorado Creek courses through the bottom of Palo Colorado Canyon and is adjacent to the project parcel. This area is specifically identified as a plant habitat within the Big Sur Coast Environmentally Sensitive Habitat Resource Map. The development is within 100 feet of this area and therefore requires a Coastal Development Permit pursuant to Section 20.16.030.E. BSC LUP Policy 3.3.2.2 states that field surveys by qualified individuals shall be conducted to determine locations of sensitive habitats and recommend measures to ensure its protection. In accordance with CIP section 20.145.040.A.1.b, a biological report was prepared for the project (Nedeff LIB250351). The report described a mix of plant species characterized by mostly non-native garden plants and occasional native species. No special status species were found on or near the project area. The report notes that as the site was previously disturbed by the presence of the shed, the installation of the water tank had no impact to significant vegetation or native soil, consistent with BSC LUP General Policy 3.3.2.4 which limits disturbances of vegetation and land to only what is necessary for structural improvements themselves. CIP section 20.145.040.B.4 requires development proposals to reduce impacts to habitat by modifying siting, location, bulk, size, and other methods, to ensure habitat's long-term maintenance. No excavation, grading, or site alteration occurred, and no biological impacts were associated with the tank installation. Therefore, the project proposal is consistent BSC LUP and CIP Part 3.
- h) Stream Setback: Monterey County Coastal Implementation Plan, Part 3, Big Sur Coast, Section 20.145.040.C.1.d requires all development set 150 feet back from stream banks unless a biological survey indicates a reduced setback is sufficient to protect against impacts from development. The development is for an after-the-fact 5,000-gallon water tank installation in an existing enclosure on a concrete slab that has been previously disturbed. The project site is approximately 45 feet from the center line of Palo Colorado Creek. The report notes that as the tank installation occurred within the stonewall enclosure on an existing

concrete pad, there were no subsequent impacts from development. The proposed project does not cause further encroachment within the stream setback and does not propose or cause any alterations to the stream bank or stream course.

- i) **LUAC:** The project was referred to the Big Sur Coast Land Use Advisory Committee (LUAC) for review. This application did warrant referral to the LUAC because it involves development requiring CEQA review and a Design Review subject to review by the Planning Commission. The LUAC, at a duly-noticed public meeting on February 10, 2026, voted unanimously, 5 – 0, to approve the project with the recommendation to attach a sign designating the tank for “fire suppression only.”
- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD - Planning Department, Mid-Coast Volunteer Fire Brigade, HCD - Public Works Department, Environmental Services, the Monterey County Environmental Health Bureau, and the California Coastal Commission.
 - b) Staff identified potential impacts to biological resources, and water supply reliability / safety considerations. The following report has been prepared:

- Biological Assessment. Prepared by Nicole Nedeff, Consulting Ecologist, July 29, 2025. (LIB250351)

The report indicates that the site is suitable for the proposed residential use. County staff has independently reviewed this report and concurs with their conclusions.

- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

3. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the HCD-Planning Department, Mid-Coast Volunteer Fire Brigade, HCD-Public Works Department, HCD-Environmental Services, and the Environmental Health Bureau in addition to the California Coastal Commission. The respective agencies had recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare

of persons either residing or working in the neighborhood. Those recommendations were integrated into the project.

- b) The project includes the after-the-fact installation of a 5,000-gallon water storage tank. It will be used exclusively for fire suppression. The tank does not propose any additional connections.
- c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.

4. FINDING: **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD - Planning Department and Building Services Department records and is not aware of any violations existing on the subject property.
 - b) The project planner conducted a site inspection on January 10, 2026 to verify that the project on the subject parcel conforms to the plans and ordinances listed above. No violations were observed during the site inspection.
 - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.

5. FINDING: **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) The proposed project involves installation of a 5,000-gallon water tank.
 - b) Pursuant to Section 20.44, Title 20 (Coastal Zoning Ordinance) of the Monterey County Code (MCC), the proposed project site and surrounding area are designated as a Design Control District (D District), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) The proposed exterior colors and materials are compatible with the rural-density residential setting and other similar structures in the general vicinity. The color of the water tank is matte forest green. The size of the water tank is comparable with the scale of similar structures found in Palo Colorado Canyon.
 - d) Based on the evidence described above, the proposed structure and uses are consistent with the surrounding character (i.e., structural design features, colors, materials, and finishes) and scale of development in the vicinity. As proposed, the project is consistent with and sustains the character found in a residential community
 - f) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.

6. **FINDING:** **CEQA** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the permitting of existing facilities.
 - b) The proposed project qualifies for a Class 1 exemption because the project involves an existing water storage tank that was installed prior to acquiring a permit for use by the fire service.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development located near or within view of a scenic highway, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. The subject property is located within 100 feet of environmentally sensitive habitat and is in a high archeological sensitivity area; however, due to the siting of the storage tank within an existing stonewall enclosure and upon an existing concrete slab, there will be no ground disturbance or vegetation removal: the project would not result in significant impacts to resources (see Finding No.1, Evidences “f,” “g,” and “h.”).
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN240024.
7. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan (Part 3) can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - c) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD - Planning Department for the proposed development found in Project File PLN240024.
8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. Section 20.86.080.A.1, A.2, and A3 of the Monterey County Zoning Ordinance (Title 20). The project is subject to

appeal by/to the California Coastal Commission because it involves development within 100 feet of environmentally sensitive habitat.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project exempt from CEQA pursuant to CEQA Guidelines Section 15301, existing structures, and there are no exceptions pursuant to Section 15300.2; and
2. Approve Combined Development Permit consisting of:
 - a. Coastal Administrative Permit and Design Approval to allow after-the-fact installation of a 5,000-gallon water tank for the purpose of providing emergency service to fire protection district; and
 - b. Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area.

Said decision is to be in substantial conformance with the attached plan and subject to the attached conditions which are incorporated herein by reference.

PASSED AND ADOPTED this 26th day of February 2026.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services offices in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240024

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development permit (PLN240024) consists of: 1) a Coastal Administrative Permit and Design Approval to allow installation of a 5,000 gallon water tank for the purpose of providing emergency service to fire protection district; and 2) a Coastal Development Permit to allow development within 100 feet of an environmentally sensitive habitat area. The property is located next to the parcel at 37013 Palo Colorado Road, Carmel (Assessor's Parcel Number 418-031-019-000), Big Sur Coast Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

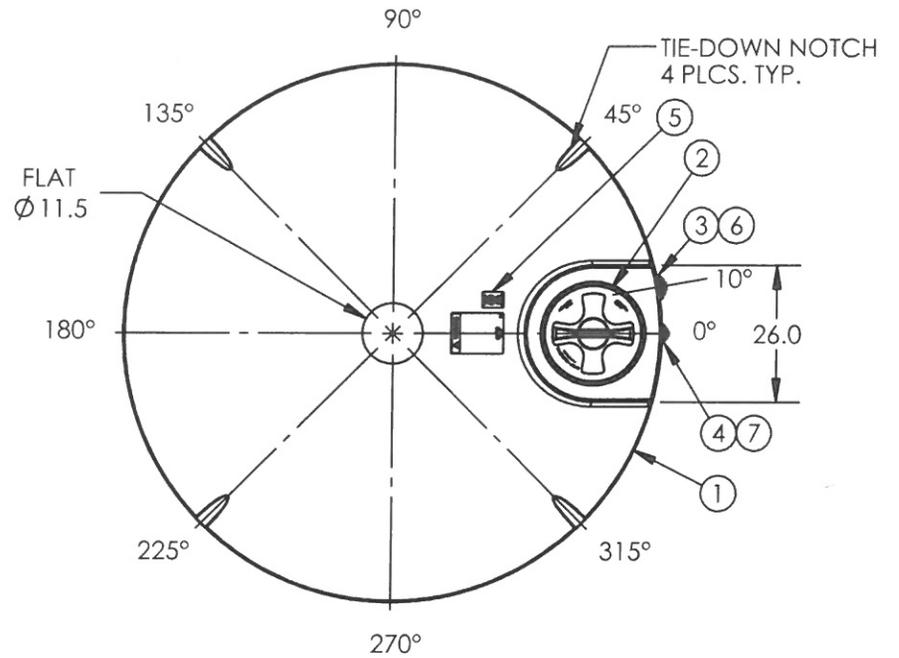
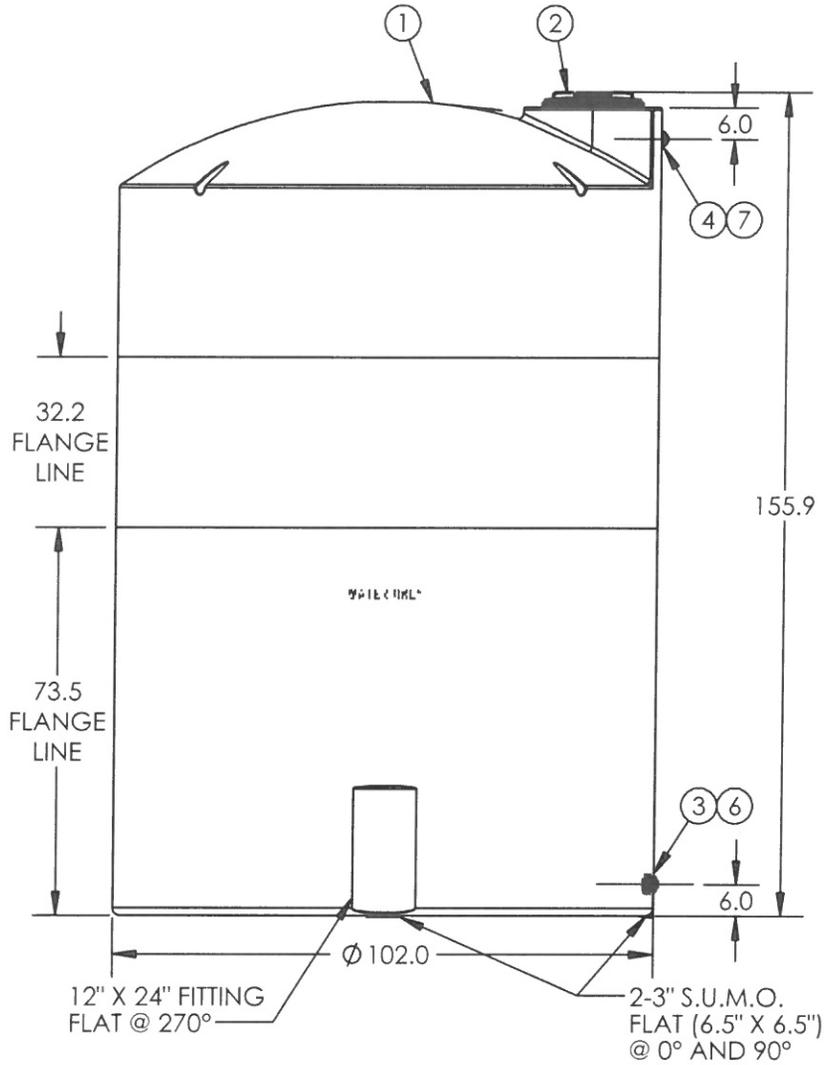
Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 418-031-019-000 on February 26, 2026. The permit was granted subject to 2 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:



7	1	64149	1-1/2" NPT PLUG
6	1	60021	2" NPT PLUG
5	1	99700231	DECAL NSF MARK - WATER TKS
4	1	63931	FTG PP 1-1/2IN ECO-BH EPDM TXT
3	1	60405	FTG PP 2IN BH EPDM TXT
2	1	34700087	ASM MANWAY 18IN PE W/4IN VENT W/TIE SII
1	1	1002000W__02	ASM TK 5000VDT X 102 WATER NH NOMW

ITEM NO.	QTY.	PART NUMBER	DESCRIPTION
DO NOT SCALE		DRAWN BY	REVISION
STATUS: Released		IGG	A
© SNYDER INDUSTRIES INC., 2016			SHEET 1 OF 1
ALL DIMENSIONS, DESIGNS, AND INFORMATION ON THIS PRINT MUST BE CONSIDERED PROPRIETARY TO SNYDER INDUSTRIES, INC. AND MAY NOT BE USED, COPIED, OR DISTRIBUTED WITHOUT WRITTEN PERMISSION OF AN OFFICER (OR HIS AGENT) OF THE FIRM.			TITLE: ASM TK 5000VDT X 102 WATER PART NO. 1002000W__03 ENG. ID. D006282
(402) 467-5221 www.snydernet.com			

*ALL EXTERNAL PIPING MUST BE INDEPENDENTLY SUPPORTED.
 *ONLY BASE FITTINGS TO BE LEFT INSTALLED AT TIME OF SHIPMENT PER SII PROCEDURE.
 ALL DIMENSIONS ARE IN INCHES, NOMINAL, & SUBJECT TO CHANGE WITHOUT NOTICE.
 ALL DIMENSIONS ON ROTATIONAL MOLDED PARTS ARE SUBJECT TO A ± 3% TOLERANCE.