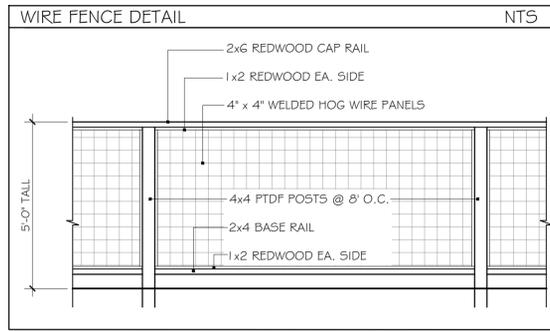




PROPOSED RESIDENCE



PHOTO OF EXISTING CONDITION OF PARCEL



DRAWING INDEX	
SHEET A1	COVER SHEET: SITE PLAN, PROJECT DATA
SHEET A1.1	GRADING & DRAINAGE PLAN
SHEET A1.2	EROSION CONTROL PLAN
SHEET A1.3	CONSTRUCTION MANAGEMENT PLAN
SHEET A1.4	FUEL MANAGEMENT PLAN
SHEET A2	1ST FLOOR PLAN
SHEET A3	2ND FLOOR PLAN
SHEET A4	ELEVATIONS
SHEET A5	ELEVATIONS
SHEET A6	SECTIONS
SHEET L1	LANDSCAPE PLAN
SHEET I	TOPOGRAPHIC SURVEY

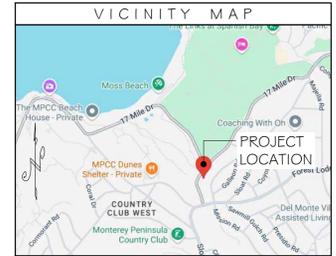
PROJECT DATA	
PROJECT DESCRIPTION: - PROPOSED NEW 2-STORY HOUSE + ADU - REMOVE 4 TREES	
PROJECT ADDRESS: 2897 17 MILE DR, PEBBLE BEACH (DEL MONTE FOREST HOA)	
PROJECT OWNERS: FANG FANG & JIARUI LIU	
APN: 007-201-007	
ZONING: MDR/B-6-D-RES	
LAND USE DESIGNATION: RESIDENTIAL 4U/AC LOT#: 6	
FEMA FLOOD ZONE: X	
LOT SLOPE IS < 25%	
GROSS & NET LOT SIZE: 10,779 SQ.FT. ≈ 0.2474 ACRE	
TYPE OF CONSTRUCTION: V-B, SPRINKLERED	
BUILDING OCCUPANCY: R-3 / U	
ALLOWABLE FLOOR AREA: 3,773 SQ.FT.	
EXISTING SQ.FT. = 0 (EMPTY LOT)	
MAX HEIGHT OF STRUCTURE = 25'-9"	
PROPOSED FLOOR AREA	
1ST FLOOR	2,178.5
2ND FLOOR	1,154.5
GARAGE	439.2
TOTAL FLOOR AREA	3,768.2 ≈ 34.9%
ADU	
1ST FLOOR	381.3
2ND FLOOR	417.5
TOTAL	798.8
COVERED PORCH	26.8
LOT COVERAGE:	
EXISTING LOT COVERAGE:	0
ALLOWABLE LOT COVERAGE	3,773
PROPOSED LOT COVERAGE:	
HOUSE FOOTPRINT	2,613.7
COVERED PORCH	182
TOTAL LOT COVERAGE	2,795.7 ≈ 25.9%
IMPERVIOUS AREA	
EXISTING IMPERVIOUS AREA	0
ALLOWABLE IMPERVIOUS AREA	9,000
PROPOSED IMPERVIOUS AREA	
HOUSE	2,614
ADU	381
PORCHES	209
PATIO'S, WALKS	796
DRIVEWAY	1,170
TOTAL IMPERVIOUS AREA	5,170
LANDSCAPED AREA 5,609	
GRADING QUANTITIES - SEE SHEET A1.1	
PARKING: 2 COVERED SPACES + SPACE FOR 4 TANDM SPACES IN THE DRIVEWAY FOR GUESTS (2 SPACES REQUIRED)	
WATER SERVICE PROVIDER: CAL-AM WATER (NO WELLS PROPOSED)	
SEWER SERVICE PROVIDER: PEBBLE BEACH COMMUNITY SERVICES DISTRICT	
AVERAGE GRADE 66.25'	
MAX BUILDING HEIGHT TO AVERAGE GRADE 25'-9"	

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G-1 & 25 ARD comments	

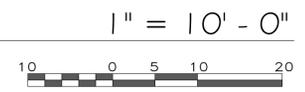
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DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
2897 17 MILE DR
PEBBLE BEACH CALIFORNIA



TREE TABLE			
TREE #	SPECIES	Ø (INCHES)	NOTE
1	PINE	20	TO REMAIN
2	PINE	14	TO REMAIN
3	PINE	13	TO REMAIN
4	PINE	29	TO REMAIN
5	OAK	6	TO REMAIN
6	OAK	17	TO REMAIN
7	OAK	18	TO REMAIN
8	OAK	11	TO BE REMOVED
9	OAK	13	TO BE REMOVED
10	OAK	8	TO BE REMOVED
11	OAK	11	TO BE REMOVED
12	OAK	13	NEIGHBOR'S

SITE PLAN
DRAWN ON SURVEY BY LANDSET ENGINEERS, INC., JOB# 2812-01, DATED AUGUST 06, 2024



DATE: 2-12-25
SCALE: AS NOTED
DRAWN: CS/DB
JOB: FANG PEBBLE BEACH
SHEET
A1
OF 7 SHEETS

REVISIONS	BY
G-18-25 ARB comments	

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CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
2897 17 MILE DR
PEBBLE BEACH - CALIFORNIA

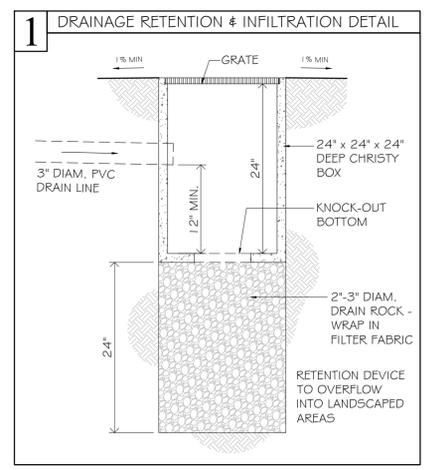
DATE:	2-12-25
SCALE:	AS NOTED
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JOB:	FANG PEBBLE BEACH
SHEET	

GRADING NOTES

- ALL GRADING, DRAINAGE, & FOUNDATION WORK TO CONFORM TO RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY GRICE ENGINEERING, INC., PROJECT FILE NO. G167-13.07, DATED SEPTEMBER 2013 AND UPDATED FILE NO. 7945-24.111, DATED DECEMBER, 2024. NOTIFY SOIL ENGINEER ONE WEEK PRIOR TO COMMENCING ANY SOIL-DISTURBING ACTIVITIES TO ARRANGE FOR REQUIRED OBSERVATION OF WORK.
- GRADING IS LIMITED TO FOUNDATION AND CRAWLSPACE EXCAVATIONS, AND FINISH SHAPING FOR DRAINAGE.

GRADING NOTES

- EXISTING DRAINAGE PATTERN TO REMAIN - LOT SLOPES TOWARDS THE STREET
- DOWNSPOUT FLOW AT REAR OF HOUSE TO BE COLLECTED IN 3" SCHEDULE 40 PVC TIGHT LINES AND DRAINED TO THE INFILTRATION DEVICE AS SHOWN ON THE PLAN
- DOWNSPOUT FLOW AT REMAINDER OF HOUSE TO DISCHARGE ACROSS PAVEMENTS OR ACROSS SPLASHBLOCKS AND INTO LANDSCAPED AREAS.
- SHAPE DRAINAGE SWALES (2% MIN. LONGITUDINAL SLOPE) TO DRAIN SURFACE FLOW FROM BACK OF STRUCTURE AROUND THROUGH THE SIDE YARDS TO LANDSCAPED AREAS IN FRONT YARD
- FINISH GRADES TO SLOPE 5% (FOR 1'0" OR INTO SWALE), 2% FOR PAVEMENTS, AWAY FROM STRUCTURE
- WATER SHALL NOT BE ALLOWED TO POND ADJACENT TO STRUCTURE

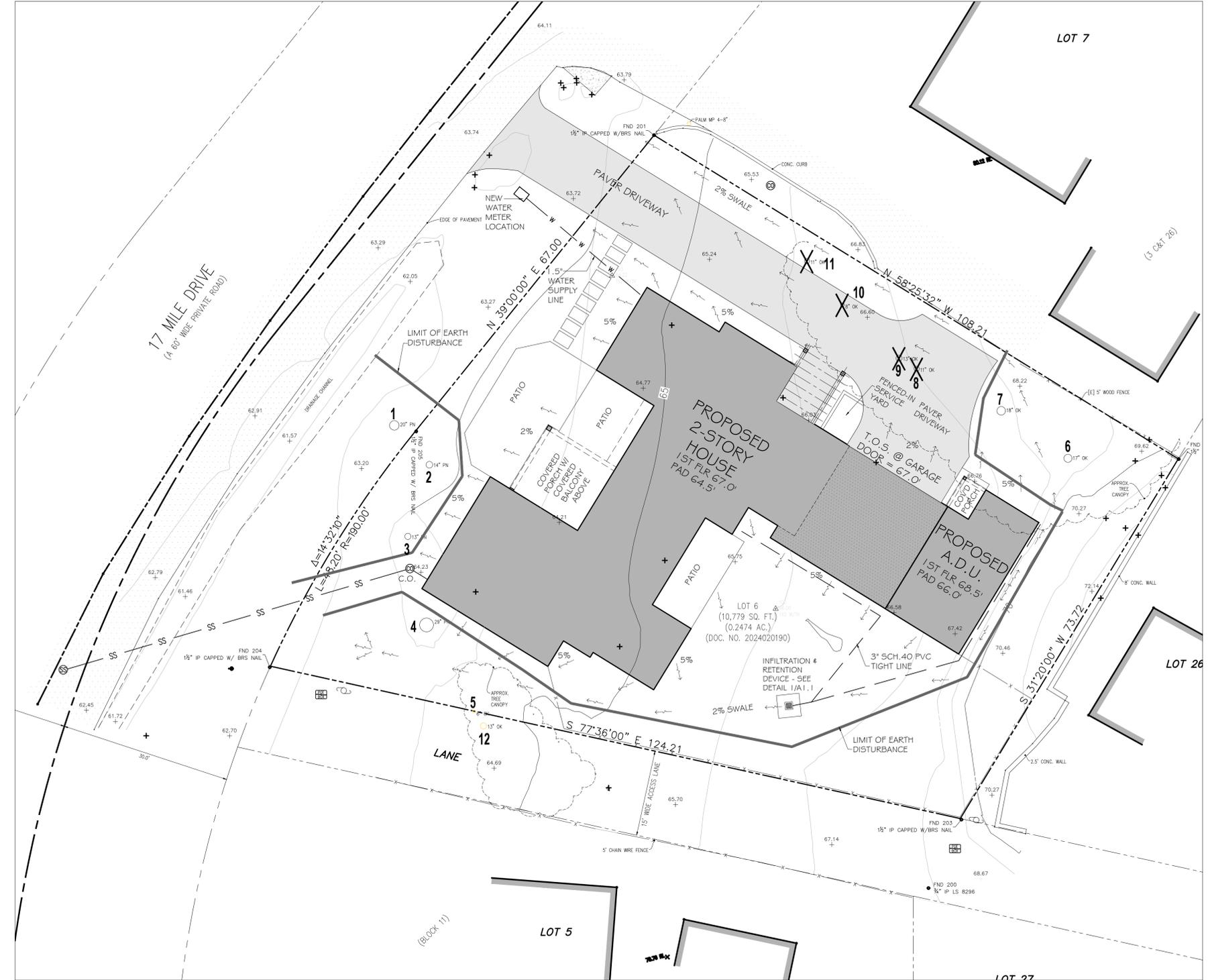


GRADING QUANTITIES

LOCATION	CUT (cu.yds)	FILL (cu.yds)	TOTAL
HOUSE PAD PREPARATION	144	8	152
DRIVEWAY	6	4	10
SITE WORK	10	22	32
TOTAL	160	34	194

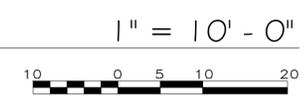
THE TOTAL CUT & FILL OUTSIDE THE BUILDING PERIMETER IS 42 CU.YDS. EXPORT ALL EXCESS SPOILS

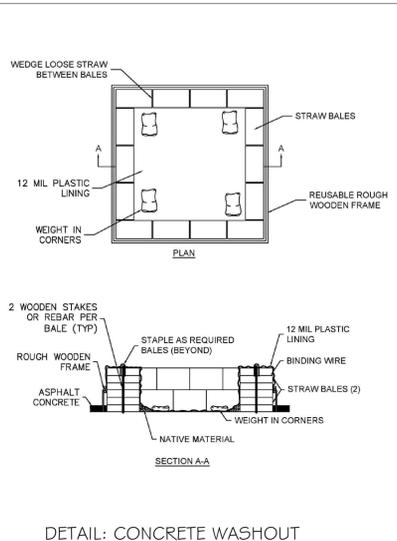
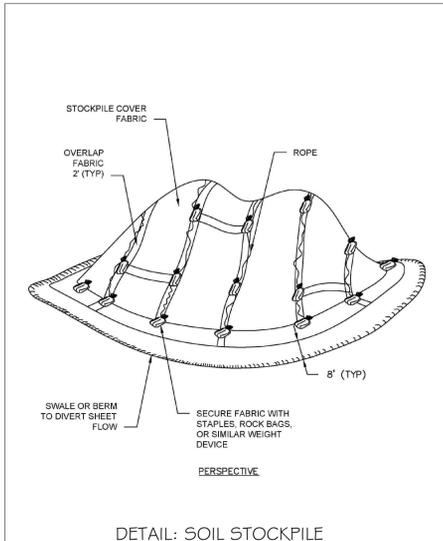
SEE SHEET A1.2 FOR CONSTRUCTION-PHASE STORMWATER AND EROSION CONTROL



PRELIMINARY GRADING & DRAINAGE PLAN

DRAWN ON SURVEY BY LANDSET ENGINEERS, INC., JOB# 2812-01, DATED AUGUST 06, 2024





CONSTRUCTION PHASE STORMWATER MANAGEMENT NOTES

Contractor shall follow and implement the Best Management Practices and applicable erosion control measures shown this sheet.

Contractor shall be responsible that no mud or muddy water leaves the property.

All erosion control measure shall be onsite and readily accessible prior to construction.

Sweep or scrape up soils tracked onto the road at the end of each day. Do not hose into street, gutter, or storm drain.

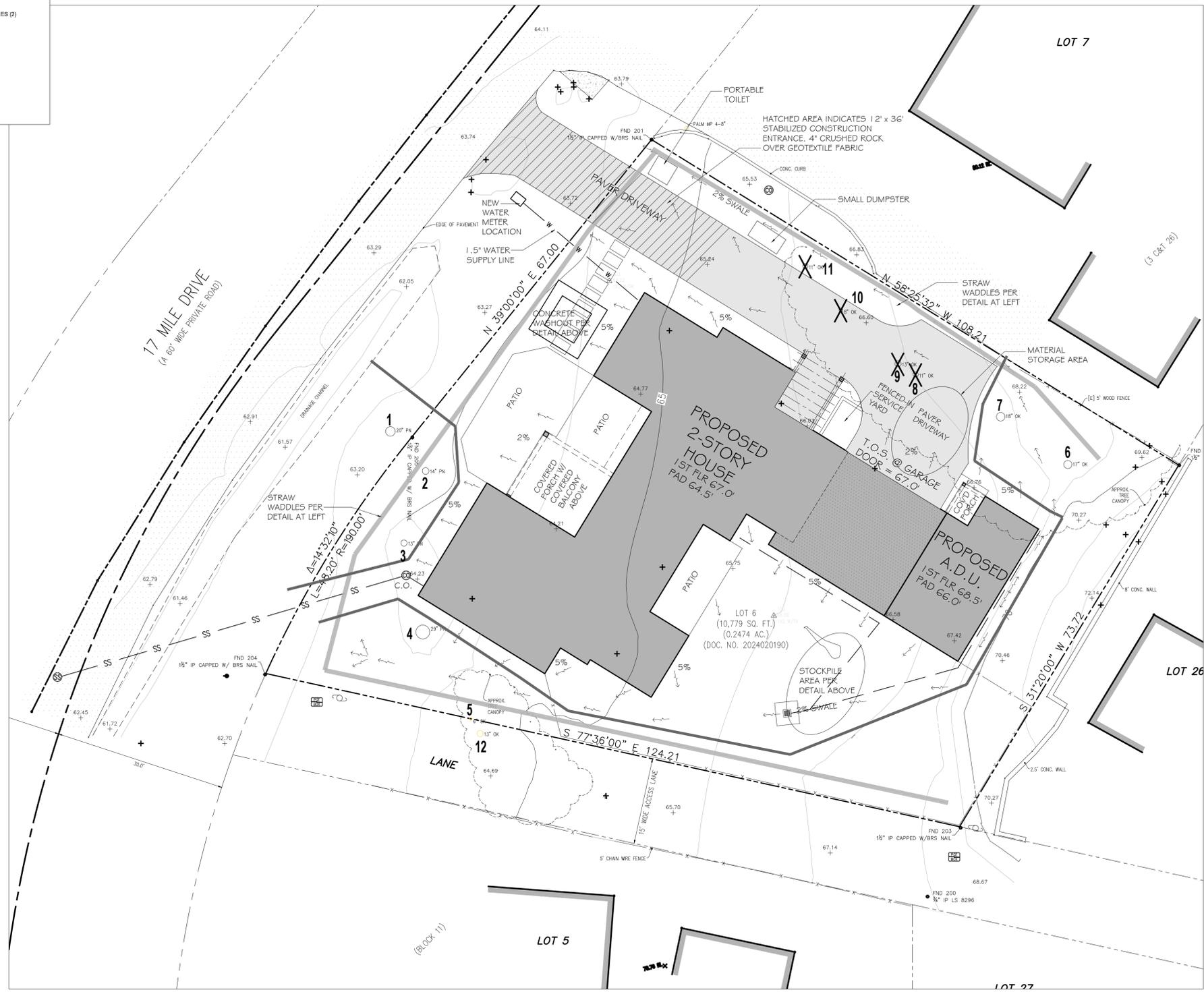
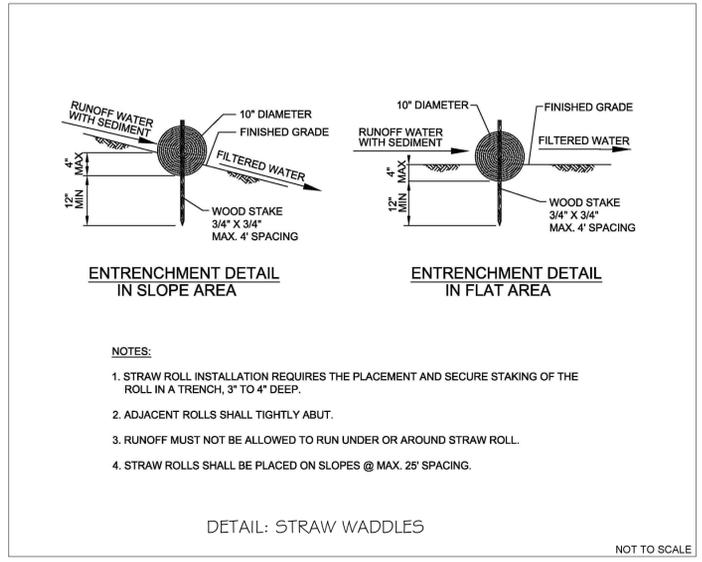
The site shall be monitored by the contractor/owner after rain event to verify erosion control measure are functioning.

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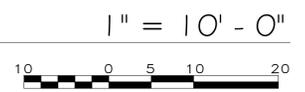
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G-1 8-25 ARB comments	

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DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	



- EROSION CONTROL NOTES**
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER REGULATIONS.
 - STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
 - APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
 - DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

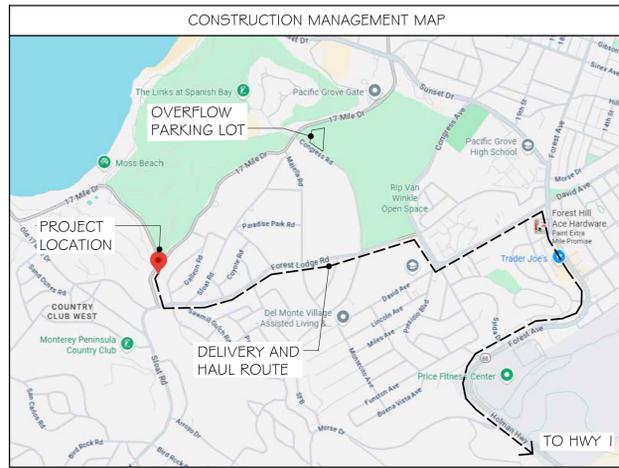
EROSION CONTROL PLAN
DRAWN ON SURVEY BY LANDSET ENGINEERS, INC., JOB# 2812-01, DATED AUGUST 06, 2024



PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
2897 17 MILE DR
PEBBLE BEACH - CALIFORNIA

DATE: 2-12-25
SCALE: AS NOTED
DRAWN: CS/DB
JOB: FANG PEBBLE BEACH
SHEET

A1.2
OF 7 SHEETS



WORK HOURS AND PARKING NOTES

A. Work Hours: Construction, deliveries, and or servicing of any item on site shall be prohibited BEFORE 8:00 am and AFTER 5:00 pm WEEKDAYS, 9:00 am to 5:00 pm Saturday, no work or deliveries allowed on Sunday and Holidays.

B. All construction vehicles must park On-Site. If more vehicles are required, contractor shall park overflow vehicles at the parking lot at Congress Road and 17 Mile Drive, a shuttle the workers to the site.

SITE MANAGEMENT NOTES

A. CONSTRUCTION SITE SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.

B. NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE RIGHT-OF-WAY OF 17 MILE DRIVE.

C. A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED, AND PLACED IN CONTAINER.

D. ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.

SITE MANAGEMENT NARRATIVE

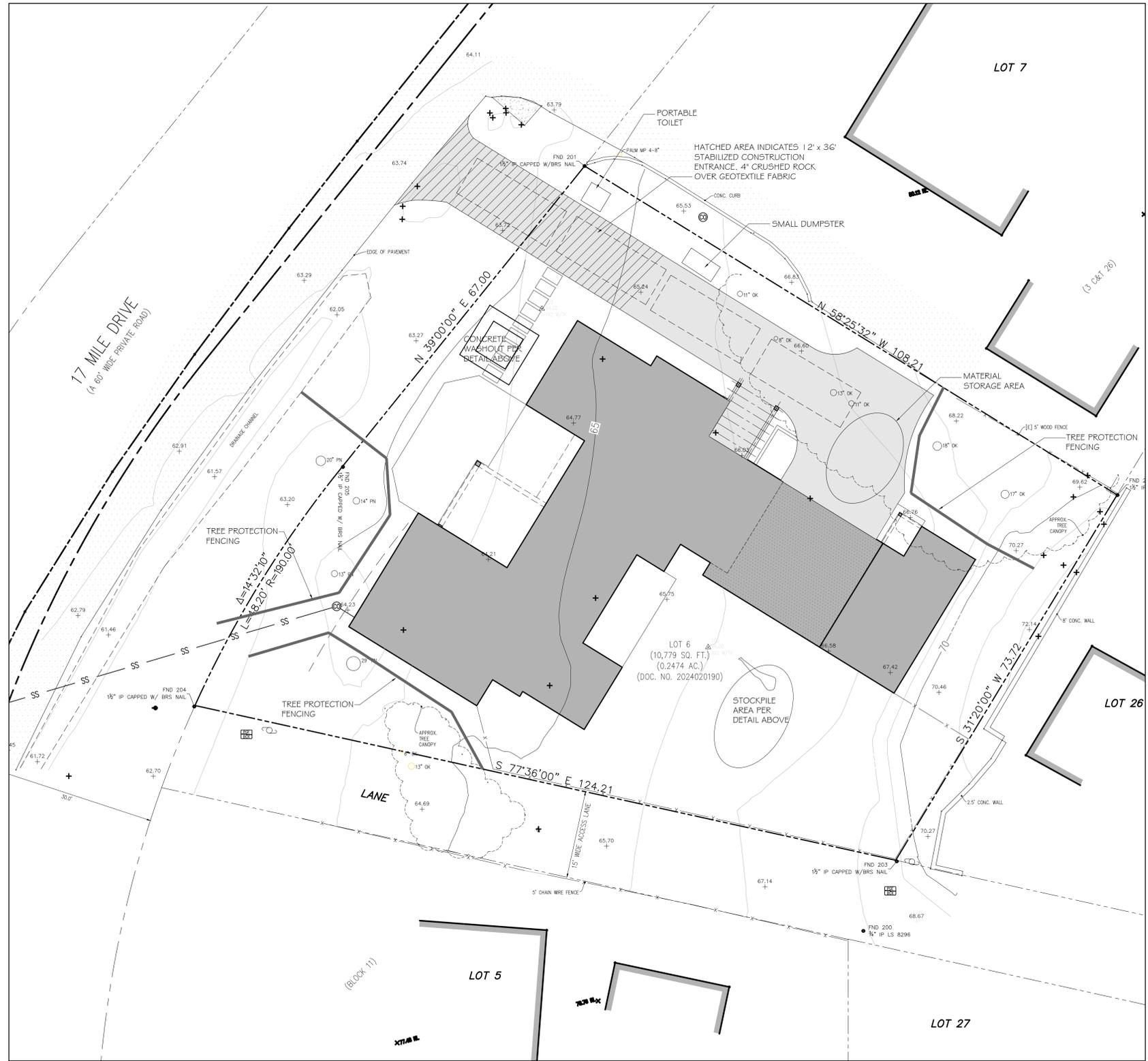
THIS PROJECT REQUIRES A MINIMAL AMOUNT OF MATERIAL OFF-HAUL. THE PRIMARY SITE MANAGEMENT ISSUES ARE WORKER PARKING AND DELIVERIES, INCLUDING CONCRETE TRUCKS.

- CONTRACTOR WILL BE RESPONSIBLE THAT ALL WORKERS PARK OFF OF THE ROADWAY AND OVERFLOW VEHICLES WILL PARK AT THE OVERFLOW PARKING LOT
- CONTRACTOR SHALL BE RESPONSIBLE THAT ALL DELIVERIES AND PORTABLE TOILET SERVICING BE DONE ON-SITE, WITH THE ONLY TRAFFIC DISRUPTION TO BE BACKING VEHICLES ONTO THE SITE

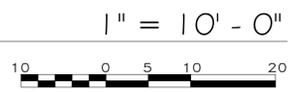
NOTE: CONTRACTOR HAS NOT BEEN SELECTED YET

TREE PROTECTION NOTES

INSTALL 6' TALL CHAIN LINK FENCING MOUNTED ON 2" STEEL POSTS DRIVEN INTO THE GROUND AT 8' ON CENTER - LOCATE AS SHOWN ON THE PLAN. FENCING TO STAY IN PLACE THROUGHOUT CONSTRUCTION



CONSTRUCTION MANAGEMENT PLAN
 DRAWN ON SURVEY BY LANDSET ENGINEERS, INC., JOB# 2812-01, DATED AUGUST 06, 2024



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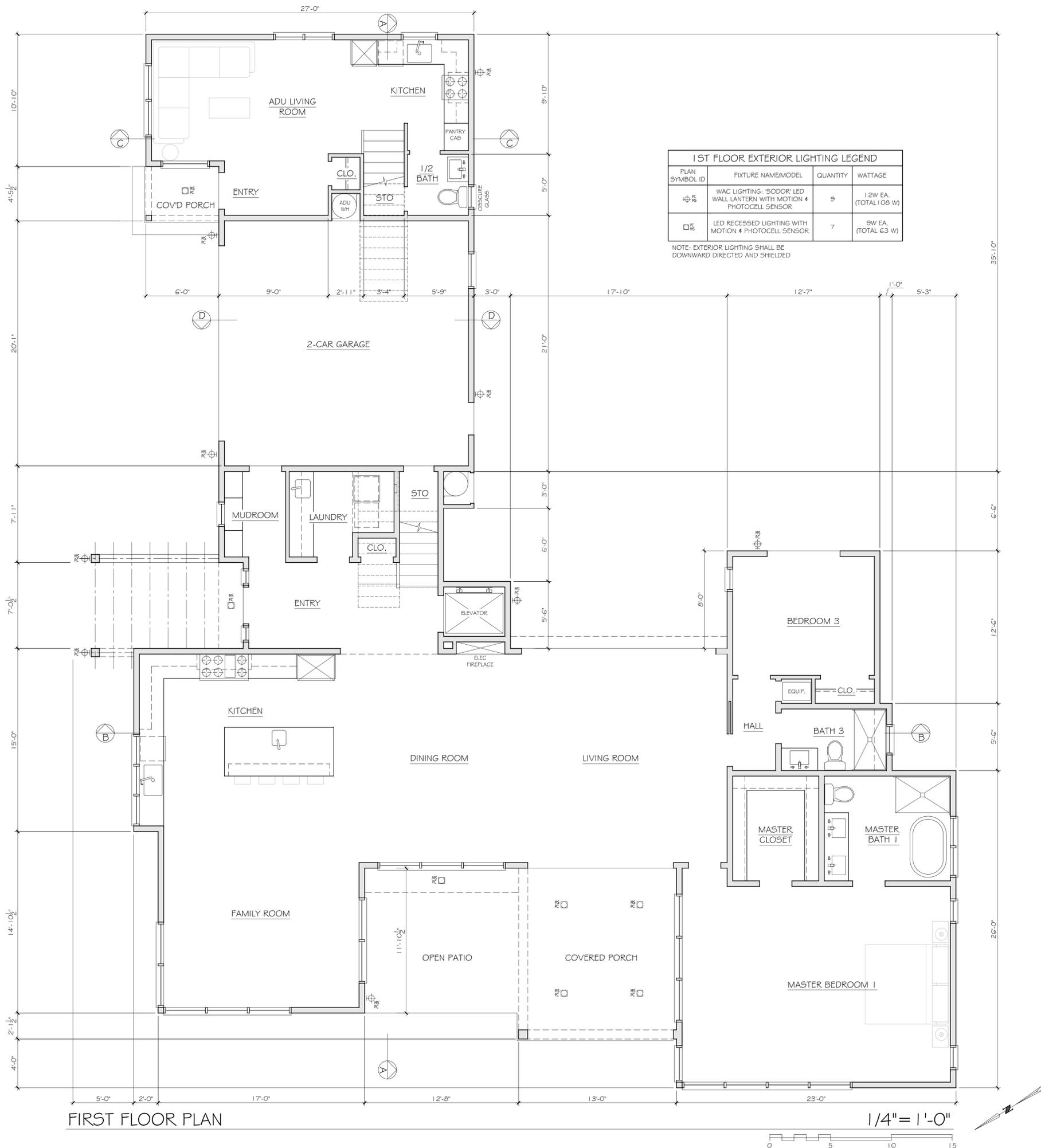
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PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
 2897 17 MILE DR
 PEBBLE BEACH CALIFORNIA

DATE:	2-12-25
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DRAWN:	CS/DB
JOB:	FANG PEBBLE BEACH
SHEET	

A1.3
 OF 7 SHEETS



1 ST FLOOR EXTERIOR LIGHTING LEGEND			
PLAN SYMBOL ID	FIXTURE NAME/MODEL	QUANTITY	WATTAGE
⊕	WAC LIGHTING: "SODOR" LED WALL LANTERN WITH MOTION & PHOTOCELL SENSOR	9	12W EA. (TOTAL 108 W)
□	LED RECESSED LIGHTING WITH MOTION & PHOTOCELL SENSOR	7	9W EA. (TOTAL 63 W)

NOTE: EXTERIOR LIGHTING SHALL BE DOWNWARD DIRECTED AND SHIELDED

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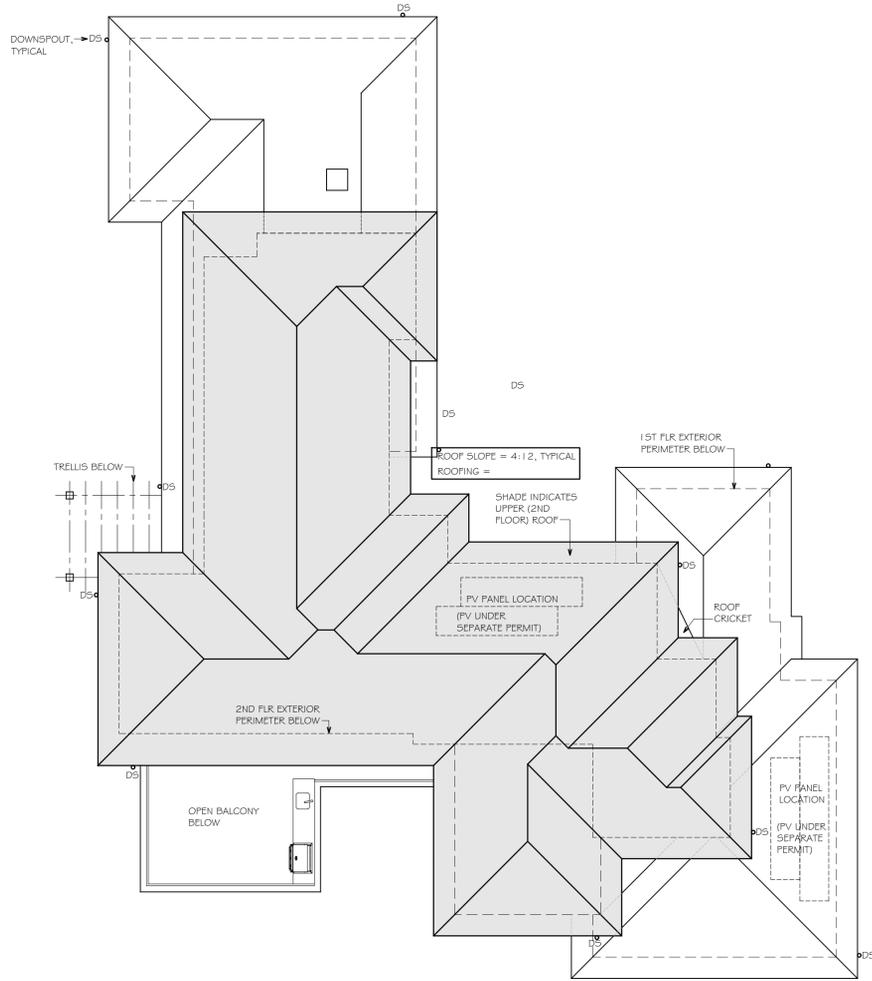
DATE:	2-12-25
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JOB:	FANG PEBBLE BEACH
SHEET	

FIRST FLOOR PLAN

1/4" = 1'-0"

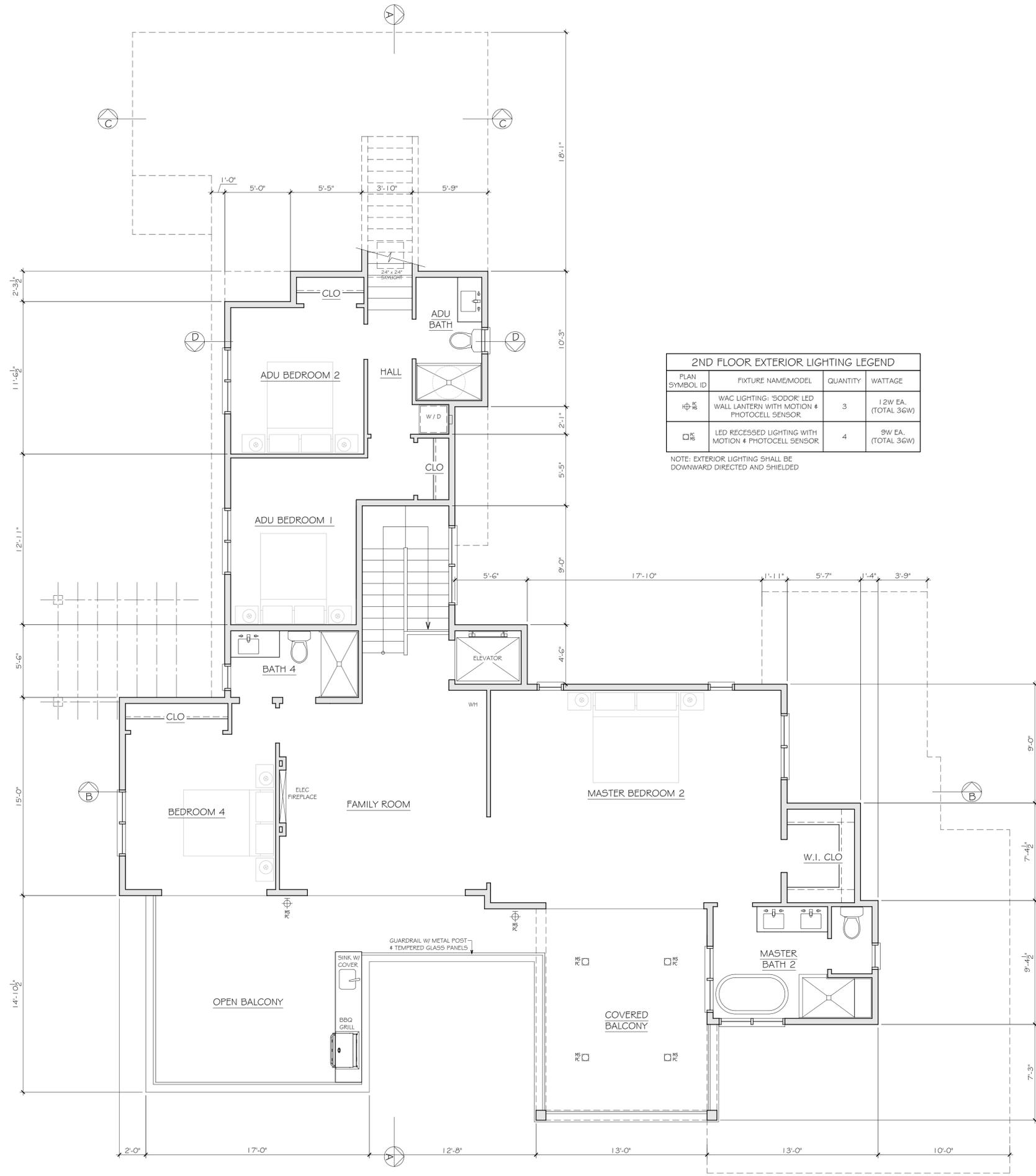


A2
 OF 7 SHEETS



ROOF PLAN

1/8" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"



2ND FLOOR EXTERIOR LIGHTING LEGEND			
PLAN SYMBOL ID	FIXTURE NAME/MODEL	QUANTITY	WATTAGE
⊕	WAC LIGHTING: 'SODOR' LED WALL LANTERN WITH MOTION & PHOTOCELL SENSOR	3	12W EA. (TOTAL 36W)
⊞	LED RECESSED LIGHTING WITH MOTION & PHOTOCELL SENSOR	4	9W EA. (TOTAL 36W)

NOTE: EXTERIOR LIGHTING SHALL BE DOWNWARD DIRECTED AND SHIELDED

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SHEET

A3
OF 7 SHEETS

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FRONT (WEST) ELEVATION

1/4" = 1'-0"



ADU REAR (EAST) ELEVATION

1/4" = 1'-0"



REAR (EAST) ELEVATION / GARAGE SECTION D-D

1/4" = 1'-0"



PROPOSED NEW 2-STORY HOME FOR
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SHEET	

A4

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REVISIONS

NO.	DATE	BY	DESCRIPTION
6-18-25		ARB	comments

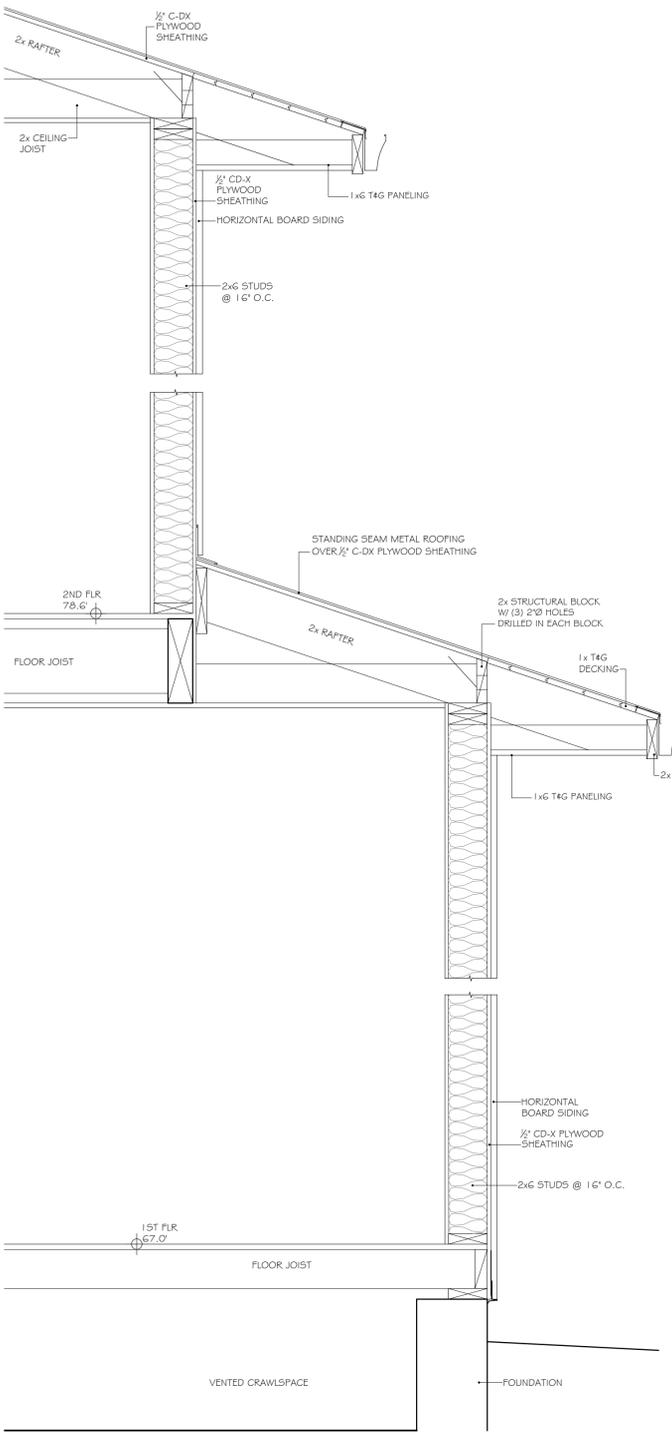
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PROPOSED NEW 2-STORY HOME FOR
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 SHEET

A5
 OF 7 SHEETS



TYPICAL WALL SECTION 1" = 1'-0"



RIGHT SIDE (SOUTH) ELEVATION

1/4" = 1'-0"
 0 5 10 15



LEFT SIDE (NORTH) ELEVATION

1/4" = 1'-0"
 0 5 10 15

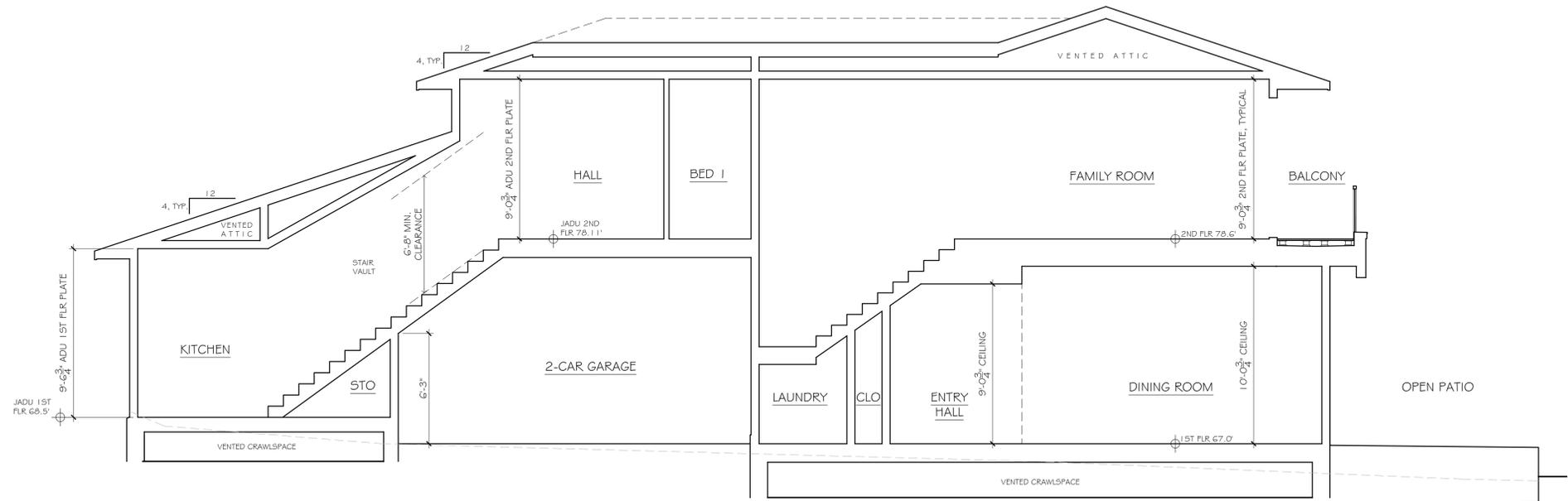
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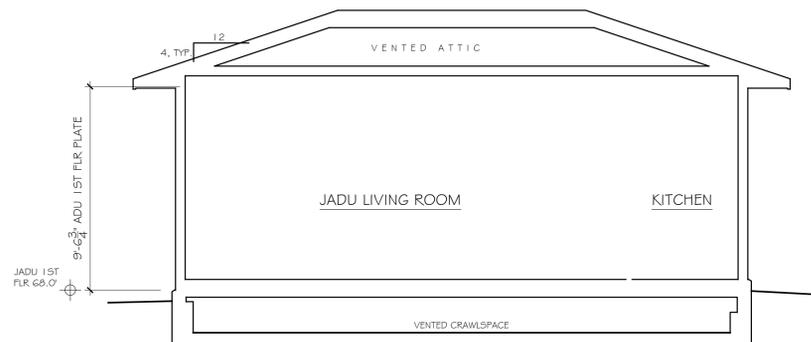
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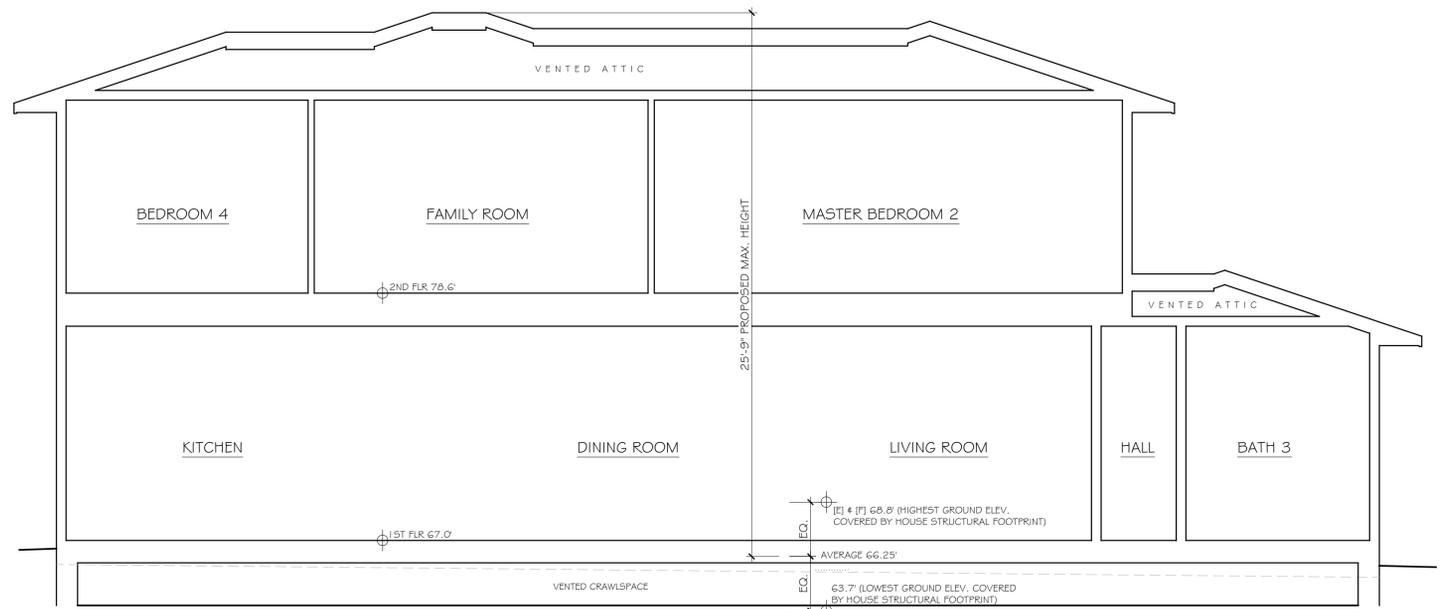
SECTION A-A

1/4" = 1'-0"



SECTION C-C

1/4" = 1'-0"



SECTION B-B

1/4" = 1'-0"



PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
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PEBBLE BEACH CALIFORNIA

DATE:	2-12-25
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SHEET	

A6

OF 7 SHEETS

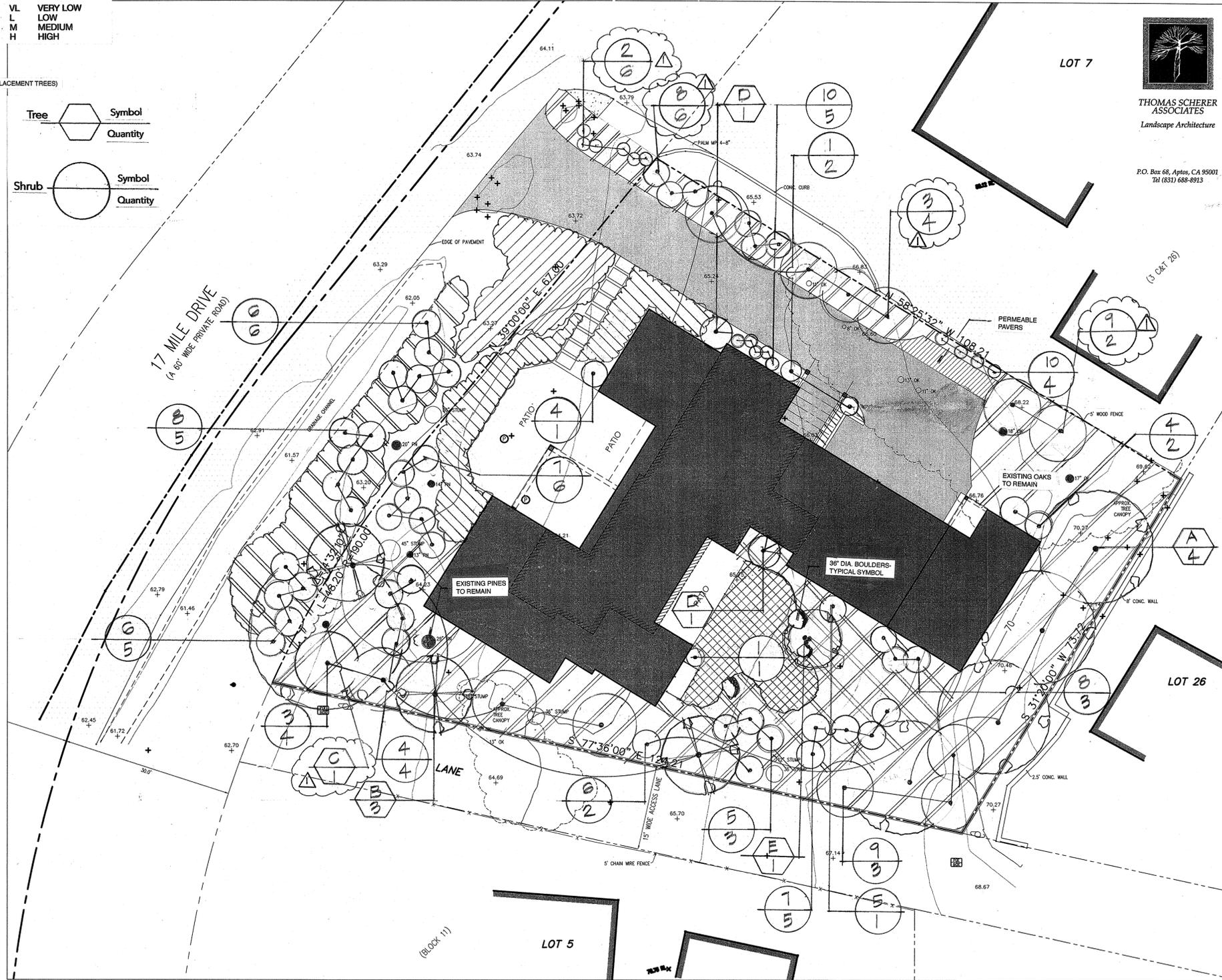
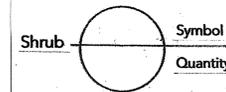
PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	H2O #	MATURE SIZE
TREES:					
A	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VL 4	50' H X 35' W
B	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	VL 3	15' H X 15' W
C	PINUS RADIATA	MONTEREY PINE	24" BOX	L 1	80' H X 30' W
D	ACER DISSECTUM	DWARF JAPANESE MAPLE	24" BOX	M 2	8' H X 5' W
E	PINUS THUNBERGII 'KOTO BUKI'	JAPANESE BLACK PINE	24" BOX	M 1	15' H X 15' W
SHRUBS:					
1	AGAVE 'BLUE FLAME'	AGAVE	5 G.C.	L 3	3' H X 4' W
2	CAREX DIVULSA	BERKELEY SEDGE	1 G.C.	L 6	2' H X 2' W
3	CEANOTHUS 'DARK STAR'	WILD LILAC	5 G.C.	L 8	6' H X 12' W
4	LOROPETALUM 'RAZZLEBERRY'	FRINGE FLOWER	5 G.C.	L 7	5' H X 5' W
5	GALVEZIA SPECIOSA	ISLAND BUSH SNAPDRAGON	5 G.C.	L 4	3' H X 5' W
6	ARCTOSTAPHYLOS D. 'H MCMINN'	MANZANITA	5 G.C.	VL 13	4' H X 6' W
7	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 G.C.	L 11	3' H X 5' W
8	CISTUS PURPUREA	ORCHID ROCKROSE	5 G.C.	L 14	4' H X 5' W
9	FRANCOA CALIFORNICA	COFFEEBERRY	5 G.C.	L 5	10' H X 10' W
10	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 G.C.	L 9	2' H X 2' W

GROUNDCOVERS:	
	ARCTOSTAPHYLOS 'EMERALD CARPET' DWARF MANZANITA PLANT 1 G.C. @ 60" O.C. L
	SEDUM RUBROTINCTUM PORK & BEANS PLANT FLATS @ 12" O.C. L
	BACCHARIS P. 'TWIN PEAKS' DWARF COYOTE BRUSH PLANT 1 G.C. @ 60" O.C. L
	CISTUS SALVIFOLIUS SAGE LEAF ROCKROSE PLANT 1 G.C. @ 48" O.C. L
	WOOD MULCH: PREMIUM ARBOR MULCH INSTALL 3" DEPTH LAYER
	DECORATIVE PEBBLES 'LIN CREEK COBBLES'-1/2" SIZE INSTALL 2" DEPTH LAYER

WULCOLS WATER USE:

VL	VERY LOW
L	LOW
M	MEDIUM
H	HIGH

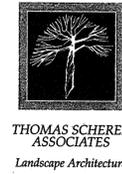
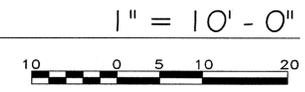


PLANTING NOTES

- Circles shown indicate approximate mature size of plant material.
 - Contractor shall be responsible for adequate erosion control measures during construction. See engineer's erosion control plan.
 - FINISH GRADING:** Till all planter areas to an 8 inch depth. Break up or remove all compacted lumps of soil, rocks larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum). Slope areas greater than 3:1 need not be tilled.
 - No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational.
 - PLANTING OF TREES, SHRUBS & VINES:** Unless otherwise noted, All trees shall be planted per detail: 1
All shrubs shall be planted per detail: 2
- All planter pits shall receive the following back fill mix:
- 50% soil of the site
 - 30% nitrogen stabilized redwood shavings
 - 20% Nitrohumus or Gro-power or equal, applied per manufacturer's recommendations.
 - Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
 - Include PUMICE into the soil amendments for all succulent plantings
- Contractor shall guarantee all trees 24" Box size or larger to live and grow in an acceptable condition for the period of one (1) year from the date of acceptance by the owner. Likewise, all shrubs, vines and groundcovers shall be guaranteed to live and grow in an acceptable condition for a period of ninety (90) days from the date of acceptance by the owner.
 - Upon completion of planting operations, contractor shall apply a min. 3 inch layer of approved mulch shall be installed over the finish grade of all planter areas.
 - MAINTENANCE PERIOD:** Contractor shall maintain the site for a period of 90 calendar days after acceptance by owner. Maintenance shall include weeding of all shrub and ground cover areas, removal of all trash and debris from planter areas and hardscape areas; pruning and trimming of all plant materials required; replacement of all dead or dying plant material & two (2) applications of fertilizer.
 - ONGOING MAINTENANCE:** Owner shall maintain the proposed landscape by the continuation of weeding, pruning, trimming of all plant material to live and grown in an acceptable condition. All dead plant material shall be replaced with the original species specified. Monitoring the irrigation system for any line damage or obstructions preventing proper application of water shall be a part of the ongoing maintenance period.
 - Contractor shall comply with all aspects of the County of Monterey Water Efficient Landscape Ordinance.

CONCEPTUAL LANDSCAPE PLAN

DRAWN ON SURVEY BY LANDSET ENGINEERS, INC., JOB# 2812-01, DATED AUGUST 06, 2024



P.O. Box 66, Aptos, CA 95001
Tel (831) 688-8913

DRAWINGS PREPARED BY
CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 94710
(510) 527-5997 FAX (510) 527-5999

REVISIONS	BY
5-5-25	TS
8-11-2025	PLANT REV. TS

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

PROPOSED NEW 2-STORY HOME FOR
FANG & LIU RESIDENCE
2897 17 MILE DR
PEBBLE BEACH - CALIFORNIA

DATE:	MAY 8, 2025
SCALE:	AS NOTED
DRAWN:	TS
JOB:	FANG PEBBLE BEACH
SHEET	

L1

LEGEND:

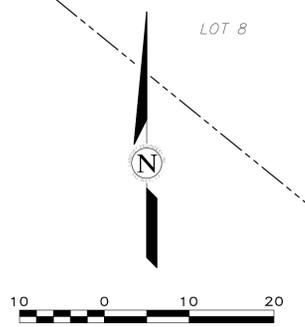
--- PROPERTY BOUNDARY	▣ BUILDING	⊙ CLEANOUT
- - - ADJACENT PROPERTY BOUNDARY	▣ ASPHALT CONCRETE	• GUY WIRE
- - - ORIGINAL PROPERTY BOUNDARY	▣ CONCRETE	⊠ PG&E BOX
- - - EASEMENT (TYPE AS SHOWN)	▣ NATURAL GROUND SURFACE/ LANDSCAPED AREA	— PIPE
— ROADWAY CENTERLINE		⊙ SANITARY SEWER MANHOLE
— MAJOR CONTOUR LINE (5' INTERVAL)		⊙ UTILITY POLE
— MINOR CONTOUR LINE (1' INTERVAL)		⊙ FOUND MONUMENT (TYPE NOTED)
— FENCE		⊙ SURVEY CONTROL POINT
		100.00 ⊕ SPOT ELEVATION
		100.00 RL RIDGELINE
		⊙ TREE (TYPE/SIZE AS MARKED) SYMBOL CENTER IS APPROX CENTER OF TREE

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&M CONTROL POINT #102, A MAGNETIC NAIL LOCATED 13' SOUTHERLY AND 50' WESTERLY FROM THE MOST WESTERLY PROPERTY CORNER, ELEVATION = 64.07' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (07/26/24) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION. UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.

ABBREVIATIONS:

AC	=	ASPHALT CONCRETE
BRS	=	BRASS
CB	=	CATCH BASIN
CL	=	CENTERLINE
CONC	=	CONCRETE
CTL	=	CONTROL
CYP	=	CYPRESS
EP	=	EDGE OF PAVEMENT
ESMT	=	EASEMENT
FND	=	FOUND
MON	=	MONUMENT
OK	=	OAK
PN	=	PINE
RL	=	RIDGE LINE
RWD	=	REDWOOD
TH	=	THRESHOLD
TR	=	TREE
TYP	=	TYPICAL
WD	=	WOOD



APPROVED BY: *[Signature]*
 GUY R. GIRARDO
 P.L.S. No. 8703



APN: 007-201-007

TOPOGRAPHIC MAP
 OF
THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2024020190
OFFICIAL RECORDS OF MONTEREY COUNTY
PEBBLE BEACH, CALIFORNIA
 FOR
FANG FANG

CONTACT INFORMATION:
 CLIENT:
 FANG FANG
 2897 17 MILE DRIVE
 PEBBLE BEACH, CA 93953
 SITE LOCATION:
 2897 17 MILE DRIVE
 PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION

SCALE: 1" = 10'
 DATE: AUG 2024
 JOB NO. 2812-01
 SHEET **1**
 OF 1 SHEETS