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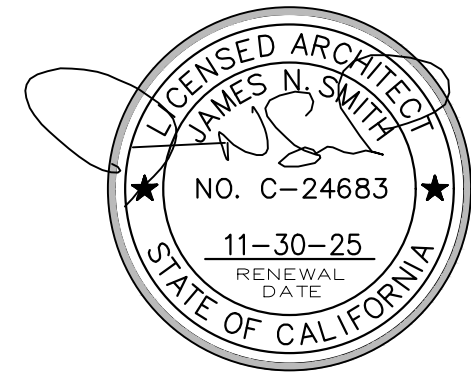
1458 RIATA RD, PEBBLE BEACH, CA.

JAMES
NEWHALL
SMITH
ARCHITECT, INC.

27880 DORRIS DR. #200
CARMEL VALLEY, CA.
93923

831-915-9518
JAMES@JNSARCH.COM

STAMP



PROJECT/CLIENT

SALADINO FAMILY
INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

COVER
SHEET

ISSUE REVISIONS

① 02-12-25
PLANNING SUBMITTAL

② 06-12-25
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DATE

PROJECT NUMBER

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PROGRESS SET - NOT FOR CONSTRUCTION

<div>SALADINO FAMILY INVESTMENTS, LLC</div> <div>1458 RIATA RD, PEBBLE BEACH, CA.</div>										<div>JAMES NEWHALL SMITH</div> <div>ARCHITECT, Inc.</div>																																																	
<div>27880 DORRIS DR. #200</div> <div>CARMEL VALLEY, CA. 93923</div>																																																											
<div>GENERAL NOTES</div>										<div>ABBREVIATIONS</div>																																																	
<div>1. EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.</div> <div>2. CONTRACTOR SHALL PROVIDE THE ARCHITECT, JAMES N. SMITH, AND OWNERS, SALADINO FAMILY TRUST INVESTMENTS, LLC, WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.</div> <div>3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS INSPECTIONS, CERTIFICATES, AND FEES. HE SHALL ALSO BE RESPONSIBLE FOR FILING OF APPLICATION FOR PERMIT AND PLAN CHECK APPROVAL AS NECESSARY. (THIS SECTION SUBJECT TO OWNER'S REVIEW AND APPROVAL.)</div> <div>4. CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.</div> <div>5. MATERIALS THAT ARE SPECIFIED BY THEIR BRAND NAMES ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL. ALL NON-SPECIFIED PRODUCTS SHALL CONFORM TO REQUIREMENTS SET FORTH BY CODE COMPLIANCE OR INDUSTRY STANDARDS AND CONTRACTOR SHALL SUBMIT A LIST OF PRODUCTS AND MANUFACTURERS BEING USED FOR REVIEW BY THE ARCHITECT PRIOR TO PURCHASE OR INSTALLATION.</div> <div>6. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY MONTEREY COUNTY. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.</div> <div>7. DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF PLY SHEATHING, TYP, OR AS OTHERWISE NOTED TO BE FACE OF FINISH (F.O.F.), FACE OF COLUMN (F.O.C.), OR CENTER LINE OF OPENING, MULLION, PARTITION, OR COLUMN, ETC. SEE ALSO CORNER DETAIL ON A8 SHEETS</div> <div>8. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR AND/OR SUBCONTRACTORS SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.</div> <div>9. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK THAT IS CONTINUED, COVERED UP OR COMPLETED WITHOUT SAID CLARIFICATION SHALL BE AT GENERAL CONTRACTOR'S RISK OF REPAIR, REPLACEMENT OR REWORKING AT HIS OWN EXPENSE.</div> <div>10. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED AND BE A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.</div> <div>11. THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.</div> <div>12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.</div> <div>13. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER IN WHICH THEY WERE DRAWN.</div> <div>14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.</div> <div>15. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.</div> <div>16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCES. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</div> <div>17. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR AND INCLUDED IN HIS BID.</div> <div>18. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.</div> <div>19. CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.</div> <div>20. TREES ADJACENT TO STRUCTURES AND OVER DRIVEWAYS SHALL BE TRIMMED TO CLEAR STRUCTURES AND PROVIDE 15' CLEARANCE OVER DRIVES. PROTECT OTHER TREES DURING CONSTRUCTION (SEE ARBORIST REPORT). TREES TO BE REMOVED SHALL INCLUDE REMOVAL OF ALL ROOT STRUCTURES AND CONTRACTOR SHALL COORDINATE WITH OWNER FOR POSSIBLE STACKING OF CUT WOOD FOR FUTURE FIREPLACE WOOD.</div>										<div>ABBREVIATIONS</div> <div>& AND</div> <div>L ANGLE</div> <div>⊙ AT</div> <div>⊕ CENTERLINE</div> <div>EXIST'G OR (E) EXISTING</div> <div>A.B. ANCHOR BOLT</div> <div>ACOUS. ACOUSTICAL</div> <div>A.D. AREA DRAIN</div> <div>ALUM. ALUMINUM</div> <div>APPROX. APPROXIMATE</div> <div>ARCH. ARCHITECTURAL</div> <div>BD. BOARD</div> <div>BITUM. BITUMINUS</div> <div>BLK. BLOCK</div> <div>BM. BEAM</div> <div>BT. BOTTOM</div> <div>CAB. CABINET</div> <div>CEM. CEMENT</div> <div>CER. CERAMIC</div> <div>CLG. CEILING</div> <div>CLKG. CAULKING</div> <div>CLR. CLEAR</div> <div>COL. COLUMN</div> <div>CONC. CONCRETE</div> <div>CONT. CONTINUOUS</div> <div>DBL. DOUBLE</div> <div>D.F. DRINKING FOUNTAIN</div> <div>DET. DETAIL</div> <div>DIA. DIAMETER</div> <div>DM. DIMENSION</div> <div>DN. DOWN</div> <div>DR. DOOR</div> <div>DWR. DRAWER</div> <div>D.S. DOWNSPOUT</div> <div>DWG. DRAWING</div> <div>EA. EACH</div> <div>EL. ELEVATION</div> <div>ELEC. ELECTRICAL</div> <div>ELEV. ELEVATOR</div> <div>FLASH. FLASHING</div> <div>F.O.C. FACE OF CONCRETE</div> <div>F.O.S. FACE OF STUDS</div> <div>FTG. FOOTING</div> <div>FURR. FURRING</div> <div>GA. GAUGE</div> <div>GALV. GALVANIZED</div> <div>G.I. GALVANIZED IRON</div> <div>GR. GRADE</div> <div>GYP. GYPSUM</div> <div>GYP. BD. GYPSUM WALLBOARD</div> <div>H.C. HOLLOW CORE</div> <div>HORIZ. HORIZONTAL</div> <div>HR. HOUR</div> <div>I.D. INSIDE DIAMETER</div> <div>INSUL. INSULATION</div> <div>INT. INTERIOR</div> <div>JT. JOINT</div> <div>KIT. KITCHEN</div> <div>LAM. LAMINATE</div> <div>L.T. LIGHT</div> <div>MAX. MAXIMUM</div> <div>M.C. MEDICINE CABINET</div> <div>MEMB. MEMBRANE</div> <div>MIN. MINIMUM</div> <div>MISC. MISCELLANEOUS</div> <div>M.O. MASONRY OPENING</div> <div>MTL. MATERIAL</div> <div>N. NORTH</div> <div>N.I.C. NOT IN CONTRACT</div> <div>NO. OR # NUMBER</div>										<div>PROJECT DIRECTORY</div> <div>■ PROPERTY OWNERS:</div> <div>SALADINO FAMILY INVESTMENTS, LLC 7058 N. WEST AVE. #139 FRESNO, CA. 93711 CONTACT: CRAIG SALADINO TEL: (559) 903-5600 EMAIL: CSALADINO78@OUTLOOK.COM</div> <div>■ ARCHITECT:</div> <div>JAMES N. SMITH, ARCHITECT, INC. 27880 DORRIS DR. #200 CARMEL, CA. 93923 CONTACT PERSON : JAMES SMITH TEL. (831) 915-9518 EMAIL: JAMES@JNSARCH.COM</div> <div>■ CONTRACTOR:</div> <div>MARK CRISTOFALO & COMPANY 1714 CONTRA COSTA ST. SAND CITY, CA. 93955 CONTACT PERSON: MARK CRISTOFALO TEL. (831) 241-4214 MARK@MARKCRISTOFALO.COM</div> <div>■ INTERIOR DESIGNER:</div> <div>J. BANKS DESIGN 35 N. MAIN ST. HILTON HEAD ISLAND, SC. 29926 CONTACT PERSON:DORIS GILCH TEL. (843) 681-5122 EXT. 1741 DORIS.GILCH@JBANKS.COM</div> <div>■ STRUCTURAL ENGINEER:</div> <div>ZFA STRUCTURAL ENGINEERS 1303 JEFFERSON ST., SUITE 400A NAPA, CA. 94559 CONTACT PERSON : AARON LUCAS TEL. (707) 492-3452 X501 EMAIL: AARONL@ZFA.COM</div> <div>■ CIVIL ENGINEER / SURVEYOR:</div> <div>WHITSON ENGINEERS 6 HARRIS COURT MONTEREY, CA. 93940 CONTACT PERSON: RICH WEBER TEL. (831) 649-5225 RWEBER@WHITSONENGINEERS.COM</div> <div>■ SOILS ENGINEER</div> <div>GRICE ENGINEERING 561A BRUNKEN AVE. SALINAS, CA. 93901 CONTACT PERSON: SAM GRICE TEL. (831) 422-9619 FAX (831) 422-1896 SAM'S CELL. (831) 594-7699 SAM'S EMAIL: SARGE@SBCGLOBAL.NET JEFF OLMS (831) 594-4664 (FIELD TECH)</div> <div>■ TITLE 24 / MECHANICAL ENGINEER</div> <div>MONTEREY ENERGY GROUP 227 FOREST AVENUE, SUITE #5 PACIFIC GROVE, CA. 93950 CONTACT PERSON: DAVID KNIGHT TEL. (831) 372-8328 FAX (831)372-4613 EMAIL: DAVE@MEG4.COM</div> <div>■ LANDSCAPE DESIGN</div> <div>FLORAVISTA 982 PHEONIX AVE. VENTURA, CA. 93004 CONTACT PESON: DINAH IRIÑO CELL (831) 261-4840 EMAIL: FLORA.VISTA@SBCGLOBAL.NET</div> <div>■ ARBORIST</div> <div>ALBERT WEISFUSS MONTEREY BAY TREEWORKS P.O. BOX 223374 CARMEL, CA. 93922 TEL. (831) 869-2767 EMAIL: ALBERTWEISFUSS@GMAIL.COM</div>										<div>DRAWING INDEX</div> <div>SHEET NO. DESCRIPTION</div> <div>■ ARCHITECTURAL</div> <div>A0.0 COVER SHEET</div> <div>A0.1 PROJECT DATA AND NOTES</div> <div>■ STRUCTURAL</div> <div>A1.0 SITE PLAN</div> <div>A1.0L SITE PLAN-LIGHTING</div> <div>A2.0 FLOOR PLAN – MAIN LEVEL</div> <div>A2.1 FLOOR PLAN – LOWER LEVEL</div> <div>A3.0 DIM PLAN – MAIN LEVEL</div> <div>A3.1 DIM PLAN – LOWER LEVEL</div> <div>A4.0 REFL. CEIL'G PLAN-MAIN LEVEL</div> <div>A4.1 REFL. CEIL'G PLAN-LOWER LEVEL</div> <div>A5.0 ROOF PLAN</div> <div>A6.0 EXTERIOR ELEVATIONS</div> <div>A6.1 EXTERIOR ELEVATIONS</div> <div>A7.0 BUILDING SECTIONS</div> <div>A7.1 BUILDING SECTIONS</div> <div>A7.2 SITE ELEVATIONS</div> <div>A8.0 MECH DETAILS/NOTES</div> <div>A8.1 ELEC DETAILS/NOTES</div> <div>A8.2 PLUMB'G DETAILS/NOTES</div> <div>A8.3 EAVE DETAILS</div> <div>A8.4 WINDOW DETAILS</div> <div>A8.5 DOOR DETAILS</div> <div>A8.6 DOOR DETAILS</div> <div>A8.7 DOOR DETAILS</div> <div>A9.0 DOOR SCHEDULE</div> <div>A9.1 WINDOW SCHEDULE</div> <div>■ MECHANICAL</div> <div>■ PLUMBING</div> <div>■ SOLAR</div> <div>■ LANDSCAPE</div> <div>L 1.1 LANDSCAPE PLAN</div> <div>L 1.2 IRRIGATION PLAN</div>										<div>PROJECT INFORMATION</div> <div>■ PROJECT DESCRIPTION:</div> <div>BUILD NEW TWO STORY RESIDENCE ON VACANT LOT WITH COVERED LIVING/DINING TERRACE AND LOWER LEVEL THAT INCLUDES AN ATTACHED THREE CAR GARAGE, FULLY SUBGRADE LIVING AREA AND AN ADU. PROJECT INCLUDES PERIMETER FENCE AND VEHICLE GATES.</div> <div>PLANNING INFORMATION</div> <div>■ A.P.N. 008-332-019</div> <div>■ COUNTY OF MONTEREY ZONING: LDR/1.5-D(CZ)</div> <div>■ TITLE 20 (COASTAL ZONE) FOR MONTEREY COUNTY FILE# PLN21-0096</div> <div>■ MAX. ALLOWABLE MAIN BUILDING HEIGHT: 30'</div> <div>■ MAX. ALLOWABLE ACCESSORY BUILDING HEIGHT: 15'</div> <div>■ TREE REMOVAL: YES-SEE ARBORIST REPORT</div> <div>■ 30% SLOPES: YES 119 S.F. ON 30% SLOPES PROPOSED AREAS TO BE BUILT ON 30% SLOPES ARE MINIMAL AND UNAVOIDABLE. 30% SLOPES WERE MAN-MADE FROM PREVIOUS HOUSE PAD GRADING.</div> <div>■ APPROX. GRADING: 225 CY CUT, 825 CY FILL (SEE CIVIL SHEETS)</div> <div>■ PESCADERO WATERSHED: YES- 9,000 BLDG/SITE COVERAGE</div> <div>■ PARKING REQUIRED COVERED: 2 UNCOVERED: 2</div> <div>PARKING PROVIDED COVERED: 3 UNCOVERED: 4</div> <div>BUILDING INFORMATION</div> <div>■ PROJECT CODE COMPLIANCE-CODE EDITIONS USED:</div> <div>2022 CAL. BUILDING CODE-CBC 2022 CAL. RESIDENTIAL CODE-CRC</div> <div>2022 CAL. ELEC. CODE-CEC 2022 CAL. MECH. CODE-CMC</div> <div>2022 CAL. PLUMB. CODE-CPC 2022 CAL. ENERGY CODE-CEC</div> <div>2022 CAL. GREEN BLDG STANDS-CGBCS</div> <div>2022 CAL. FIRE CODE-CFC</div> <div>■ CONSTRUCTION TYPE: VB</div> <div>■ BUILDING OCCUPANCY: R-3 / U</div> <div>■ FIRE DEPARTMENT:</div> <div>FIRE DISTRICT: P.B.C.S.D.</div> <div>AUTOMATIC SPRINKLERS EXISTING: NO</div> <div>AUTOMATIC SPRINKLERS REQUIRED: YES NFPA 13D PER 903.3.1.3</div> <div>WILDLAND URBAN INTERFACE CODES REQ'D: YES</div> <div>W.U.I. ZONE: S.R.A</div> <div>■ UTILITY PROVIDERS</div> <div>SEWER: P.B.C.S.D</div> <div>WATER: CAL AM</div> <div>ELEC / GAS: PG&E (UNDERGROUND SERVICE)</div>										<div>PROJECT SQUARE FOOTAGE INFORMATION</div> <div>■ TOTAL SITE AREA: =31,519 S.F. (.73 Ac.)</div> <div>■ BUILDING COVERAGE</div> <div>(N) BUILDING FOOTPRINT = 3,664 S.F.</div> <div>(N) REAR TERRACE = 636 S.F.</div> <div>(N) REAR STAIR = 162 S.F.</div> <div>(N) FRONT COVERED TERRACE = 158 S.F.</div> <div>(N) MSTR. BEDROOM TERRACE = 90 S.F.</div> <div>(N) ROOF EAVES OVER 30" = 0 S.F.</div> <div>WOOD FRAMED DECKS = 0 S.F. (LESS THAN 24" ABOVE GRADE)</div> <div>PROPOSED SITE COVERAGE = 4,710 S.F. (14.9%)</div> <div>MAX. ALLOWED BLDG. SITE COVER = 4,728 S.F. (15%)</div> <div>MAX. ALLOWED BLDG./SITE COVER = 9,000 S.F. (PESCADERO DOES NOT APPLY)</div> <div>■ FLOOR AREA RATIO</div> <div>PROPOSED FLOOR AREA</div> <div>MAIN LEVEL = 3,664 S.F.</div> <div>LOWER LEVEL = 386 S.F. (NOT FULLY SUB-GRADE)</div> <div>LOWER LEVEL-ADU = 0 S.F. (769 S.F.)</div> <div>LOWER LEVEL-SUB GRADE = 0 S.F. (1,458 FULLY SUB-GRADE)</div> <div>TOTAL (E) LIVABLE AREA = 4,050 S.F.</div> <div>GARAGE-3 CAR = 1,130 S.F.</div> <div>PROPOSED FLOOR AREA TOTAL = 5,180 S.F. (16.4%)</div> <div>MAX. ALLOW FLOOR AREA RATIO = 5,516 S.F. (17.5%)</div> <div>■ PERMEABLE/PERVIOUS SITE COVERAGE</div> <div>UPPER ENTRY DRIVEWAY = 1,243 S.F. (E) WAS 2,200 S.F.</div> <div>LOWER DRIVEWAY = 1,623 S.F. (E) WAS 745 S.F.</div> <div>ENTRY TERRACE = 236 S.F. (E) DEMO'D IS 150 S.F.</div> <div>REAR LOWER TERRACE = 312 S.F. (E) DEMO'D IS 350 S.F.</div> <div>REAR LOWER WALK = 154 S.F. (E) DEMO'D IS 150 S.F.</div> <div>(N) RETAINING WALL W-1 = 1' HIGH 46 LIN. FT.</div> <div>(N) RETAINING WALL W-1A = 6" HIGH 11 LIN. FT.</div> <div>(N) RETAINING WALL W-2 = 2' HIGH 48 LIN. FT.</div> <div>(N) RETAINING WALL W-3 = 5' HIGH 32 LIN. FT.</div> <div>(N) RETAINING WALL W-4 = 3' HIGH 44 LIN. FT.</div> <div>(N) RETAINING WALL W-4A = AT GRADE 27 LIN. FT.</div> <div>(N) RETAINING WALL W-5 = 5' HIGH 8 LIN. FT.</div> <div>(N) RETAINING WALL W-6 = AT GRADE 12 LIN. FT.</div> <div>(N) RETAINING WALL W-7 = 8' HIGH 8 LIN. FT.</div> <div>(N) RETAINING WALL W-8 = 4' HIGH 60 LIN. FT.</div>									
<div>BUILDING DEPT. NOTES</div>										<div>MATERIALS LEGEND</div> <div> EARTH</div> <div> SAND, MORTAR, PLASTER</div> <div> ROCK FILL</div> <div> CONCRETE</div> <div> BRICK</div> <div> CONCRETE BLOCK (C.M.U.)</div> <div> STONE</div> <div> METAL</div> <div> METAL LATH</div> <div> WOOD, FINISH</div> <div> WOOD, FRAMING (THRU MEMBER)</div> <div> WOOD FRAMING (INTERRUPTED MEMBER)</div> <div> PLYWOOD*</div> <div> GLASS</div> <div> ACOUSTIC TILE</div> <div> GYPSUM BOARD</div> <div> INSULATION, BATT</div> <div> INSULATION, RIGID</div> <div>* PLYWOOD IS SHOWN DIAGRAMMATICALLY. THE NUMBER OF DIVIDING LINES AND SLASHES DO NOT INDICATE STRENGTH OR NUMBER OF PILES. S.S.D. FOR THIS INFORMATION</div>										<div>SYMBOLS</div> <div>⊕ GRID LINE NUMBERS VERTICAL LETTERS HORIZONTAL</div> <div>Ⓜ DOOR SYMBOL-NUMBERS</div> <div>Ⓜ WINDOW SYMBOL-NUMBERS</div> <div>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</div> <div>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</div> <div>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</div> <div>ROOM IDENTIFICATION ROOM NAME NUMBER</div> <div>REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL</div> <div>MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED</div> <div>WORK POINT/CONTROL/DATUM</div> <div>GRADE NEW OR FINISHED GRADE AT EXTERIOR FINISH FLOOR ELEVATION AT INTERIOR (EXISTING GRADE)</div> <div>--- PROPERTY LINE</div> <div>--- CENTER LINE</div> <div>FLOOR ELEVATION FIN. FLR. SUB. FLR. TOP OF SLAB</div>																																							
<div>VICINITY MAP</div>										<div>N.T.S.</div>																																																	

PROGRESS SET - NOT FOR CONSTRUCTION

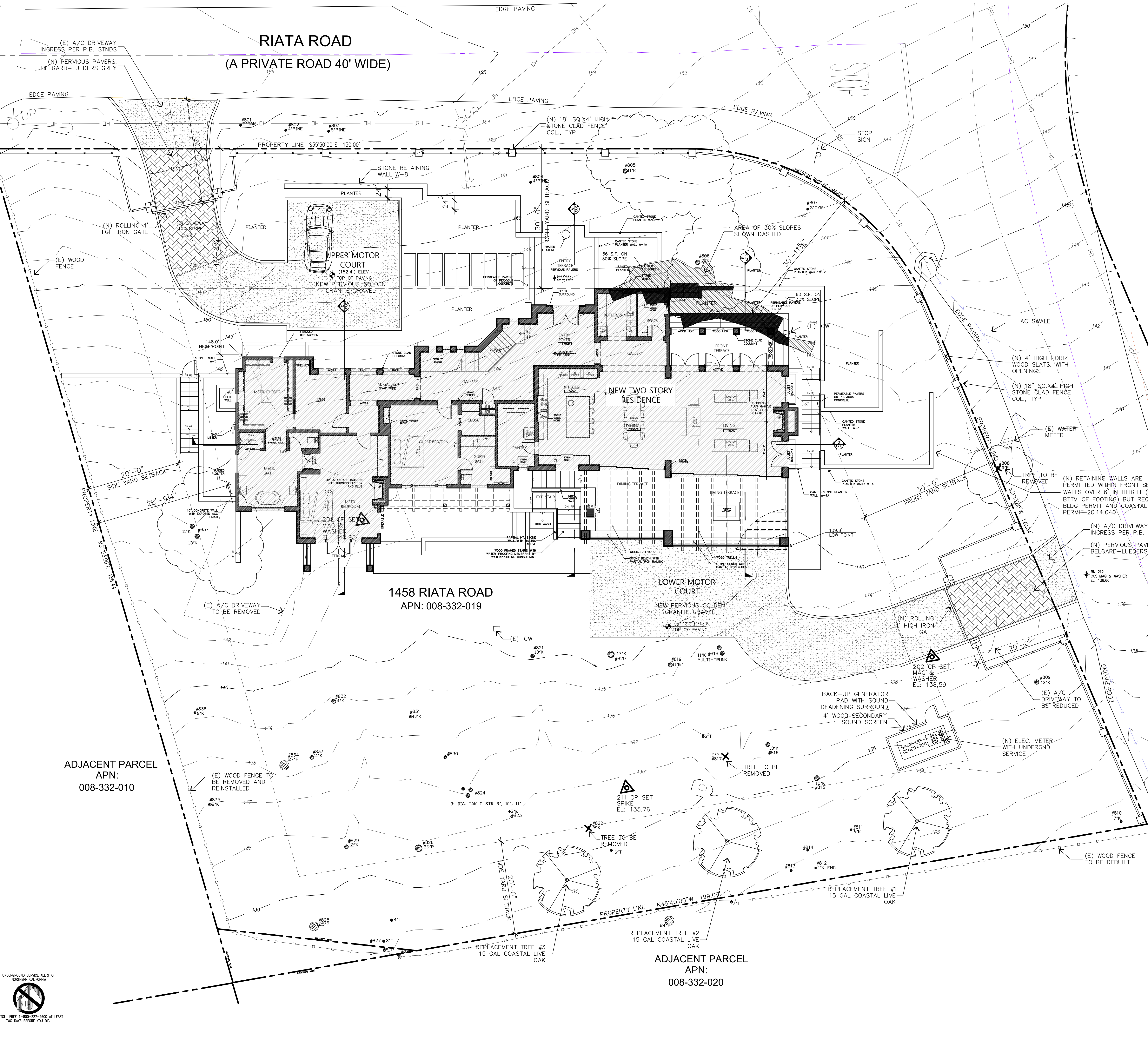
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UNPUBLISHED WORK

UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA

CALL TOLL FREE 1-800-227-2800 AT LEAST TWO DAYS BEFORE YOU DIG



SITE PLAN NOTES

- CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES, CITY OR COUNTY AND BUILDING DEPARTMENT.
- CONTRACTOR TO VERIFY ADEQUACY OF ALL (E) UTILITIES. ALL SUBSTANDARD SERVICES SHALL BE REPLACED/UPGRADED AS NECESSARY TO COMPLY WITH CURRENT CODES AND ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PROPERTY CORNERS AND HOUSE LAYOUT RELATIVE TO SETBACKS. BY LICENSED SURVEYOR PRIOR TO BUILDING FORMWORK OR POURING CONCRETE. CONTRACTOR SHALL COORDINATE WITH CITY/COUNTY/PUBLIC BEACH.
- THE LOCATION, TYPE AND SIZE OF ALL ANTENNAS, SATELLITE DISHES OR TOWERS, AND SIMILAR APPURTENANCES SHALL BE APPROVED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR/OWNER SHALL PROVIDE THE LOCATION OF A STATE OF CALIFORNIA LICENSED SURVEYOR'S OR CIVIL ENGINEER'S REFERENCE DATUM (INSTALLED PRIOR TO ANY GRADING) THAT SHALL BE USED TO ESTABLISH INDICATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNDISTURBED THROUGHOUT THE ENTIRETY OF CONSTRUCTION WORK ON THIS PERMIT.
- TOPOGRAPHICAL (EXISTING) AND OTHER SURVEY INFORMATION REPRESENTED HEREIN IS AS PROVIDED BY UNITSON ENGINEERS, 01-13-25, JOB #4703.
- REFER TO GEOTECHNICAL REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL INSPECT GRADING AND TRENCHING FOR FOOTINGS PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE. SOIL REPORT BY (GRICE ENGINEERING, JAN 16, 2025, JOB #700-24-05).
- ARBORIST AND FUEL MANAGEMENT PLAN (FMP) FOR THIS PROJECT WAS PREPARED BY (ALBERT WEISFUS, 12-16-24, JOB #).
- ARCHAEOLOGICAL REPORT FOR THIS PROJECT WAS PREPARED BY (HISTORIC RESOURCE ASSOCIATES, FEB 2, 2025).

GRADING / DRAINAGE NOTES

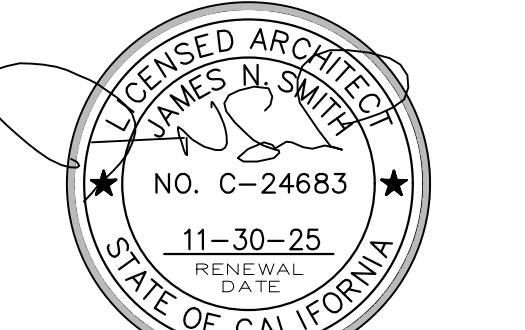
- REFER TO GRADING, DRAINAGE AND EROSION CONTROL PLAN PREPARED BY (LANSET ENGINEERS, JOB #2466-02, JAN 2025) FOR SITE DRAINAGE RECOMMENDATIONS.
- ALL GRADING AND DRAINAGE SHALL CONFORM TO MONTEREY COUNTY ORDINANCES, INCLUDING: CHAPTER 16.08 GRADING, CHAPTER 16.12 EROSION CONTROL, CHAPTER 16.14 STORMWATER DISCHARGE.
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADDED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FT. OF EXISTING LOT LINE.
- ON GRADED SITES THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2% ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL. PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT LOCATIONS ON THE SITE.
- SCAPE ALL HANDSCAPE SURFACES ADJACENT TO STRUCTURES, INCLUDING LANDINGS, TO DRAIN AWAY FROM STRUCTURES MIN. 2% NO EXCEPTIONS.
- LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROJECT, IE, AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
- SEE ROOF PLAN SHEET A5.0 FOR DOWNSPOUT LOCATIONS. ROOF RUN-OFF SHALL BE COLLECTED BY GUTTERS AND DOWNSPOUTS. DOWNSPOUTS SHALL BE CONVEYED TO SYSTEM PER CITY/COUNTY STANDARDS.
- ALL GROUND CONNECTIONS SHALL BE CONSTRUCTED AT ALL PIPING ANGLES AND CHANGES IN DIRECTION PER CIVIL PLAN AND BEST PRACTICES.
- IF RAINFALL IS IN THE FORECAST, ALL EXPOSED SOIL SHOULD BE IMMEDIATELY PROTECTED WITH EROSION NETTING, AND STOCKPILES COVERED WITH PLASTIC SHEETING. THESE ITEMS SHOULD BE KEPT ON HAND AT ALL TIMES DURING CONSTRUCTION.
- CUT AND FILL MATERIALS SHOULD NOT BE STOCKPILED WHERE THEY MAY WASH ONTO ADJACENT PROPERTIES, ROADWAYS, DRAINAGE FACILITIES OR WATERWAYS. ANY IMPORTED OR NATIVE MATERIALS REMAINING AFTER COMPLETION OF THE JOB SHOULD BE HAULLED OFFSITE.
- RE-VEGETATE AND PROTECT ALL DISTURBED SOIL PRIOR TO OCTOBER 15. THE APPROPRIATE PLANTING SCHEDULE, JUNE AND/OR EROSION NETTING, AND STRAW MULCH SHOULD BE USED FOR TEMPORARY COVER. PERMANENT VEGETATION SHOULD INCLUDE NATIVE AND DROUGHT RESISTANT PLANTS.
- ALL DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- ALL RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR BATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADING/EROSION ORD. 2506-16.12.000)

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PROJECT/CLIENT

SALADINO FAMILY
INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

SITE PLAN

ISSUE REVISIONS

1 02-12-25
PLANNING SUBMITTAL

2 06-12-25
DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A1.0

PROGRESS SET - NOT FOR CONSTRUCTION

SITE PLAN

SCALE: 1/8" = 1'-0"

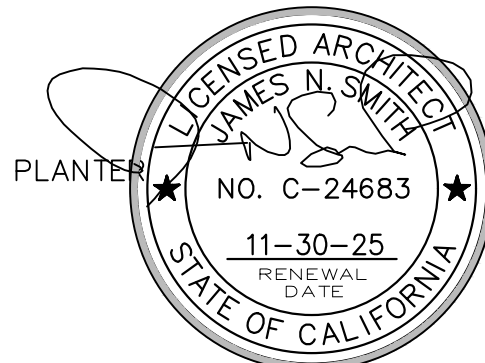
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PERMEABLE PAVERS
OR PERVIOUS
CONCRETE

SALADINO FAMILY
INVESTMENTS, LLC

CANTED STONE
PLANTER WALL: W-3

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

PLANTER

CANTED STONE
PLANTER WALL: W-4

CANTED STONE PLANTER
WALL: W-4A

SHEET TITLE

FLOOR PLAN
MAIN LEVEL

ISSUE REVISIONS

1 02-12-25
PLANNING SUBMITTAL

2 06-12-25
DRIVEWAY REVISIONS

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DATE

PROJECT NUMBER

SHEET NUMBER

A2.0

PROGRESS SET - NOT FOR CONSTRUCTION

ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT (GFI)
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- RECESSED FLOOR MOUNTED TELEPHONE JACK, BRASS
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- GAS KEY VALVE, VERIFY MOUNT LOCATION WITH OWNER
- HOSE BIB VALVE (WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. (CPC 603.4.7, TYP.)
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER
- ELECTRICAL MAIN PANEL-SEE PLAN FOR LOCATION/SIZE
- ELECTRICAL SUB-PANEL-SEE PLAN FOR LOCATION(S) AND SIZE(S)

ELECTRICAL LEGEND NOTES

- NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
- POLESWITCH AND SWITCHPLATE STYLE, COLOUR AND EXACT LOCATION AND ORIENTATION TO BE DETERMINED/VERIFIED BY OWNER.
- FOR JACUZZI-TYPE TUBS SEE DETAIL SHEETS FOR ADDITIONAL REQUIREMENTS AND CODE RESTRICTIONS.
- PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOM(S) SERVED BY THE CIRCUIT.
- SEE FLOOR PLAN NOTES SHEET A2.N FOR MORE INFORMATION
- SEE A4.0 FOR LIGHTING NOTES

WALL LEGEND

- NEW 2X WOOD STUD FRAMED WALL
SEE PLAN FOR WALL THICKNESS. EXTERIOR WALLS TO HAVE SHEAR PLY, HOUSE WRAP AND INSULATION PER TITLE 24 DOCS, INTERIOR WALLS TO HAVE SOUND BATT INSULATION, TYP.
- NEW NON-STRUCTURAL STONE VENEER, 3" MAX. THICKNESS
- NEW CMU/CONCRETE WALL

FLOOR PLAN NOTES

ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO CENTER OF OPENING, UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.

ATTIC ACCESS SHALL BE A MINIMUM SIZE OF 22"X30", LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS. (CPC R807.1) ADD LIGHT FIXTURE WITH SWITCH IN VICINITY OF OPENING.

EXCEPTION: ATTICS WITH LESS THAN 30" MAX. HEIGHT NEED NOT PROVIDE ACCESS.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

ALL PROJECTS WITH WATERPROOF ROOF DECKS WILL REQUIRE PERIODIC MAINTENANCE. OWNER SHALL BE RESPONSIBLE TO SEAL, CAULK, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.

FLOOR PLAN - MAIN LEVEL

SCALE : 1/4" = 1'-0"

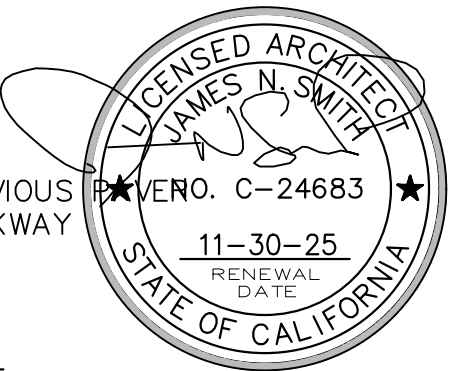
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PROJECT/CLIENT

SALADINO FAMILY
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1435 RIATA RD.
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SHEET TITLE

FLOOR PLAN
LOWER LEVEL

ISSUE REVISIONS

02-12-25
PLANNING SUBMITTAL

06-12-25
DRIVEWAY REVISIONS

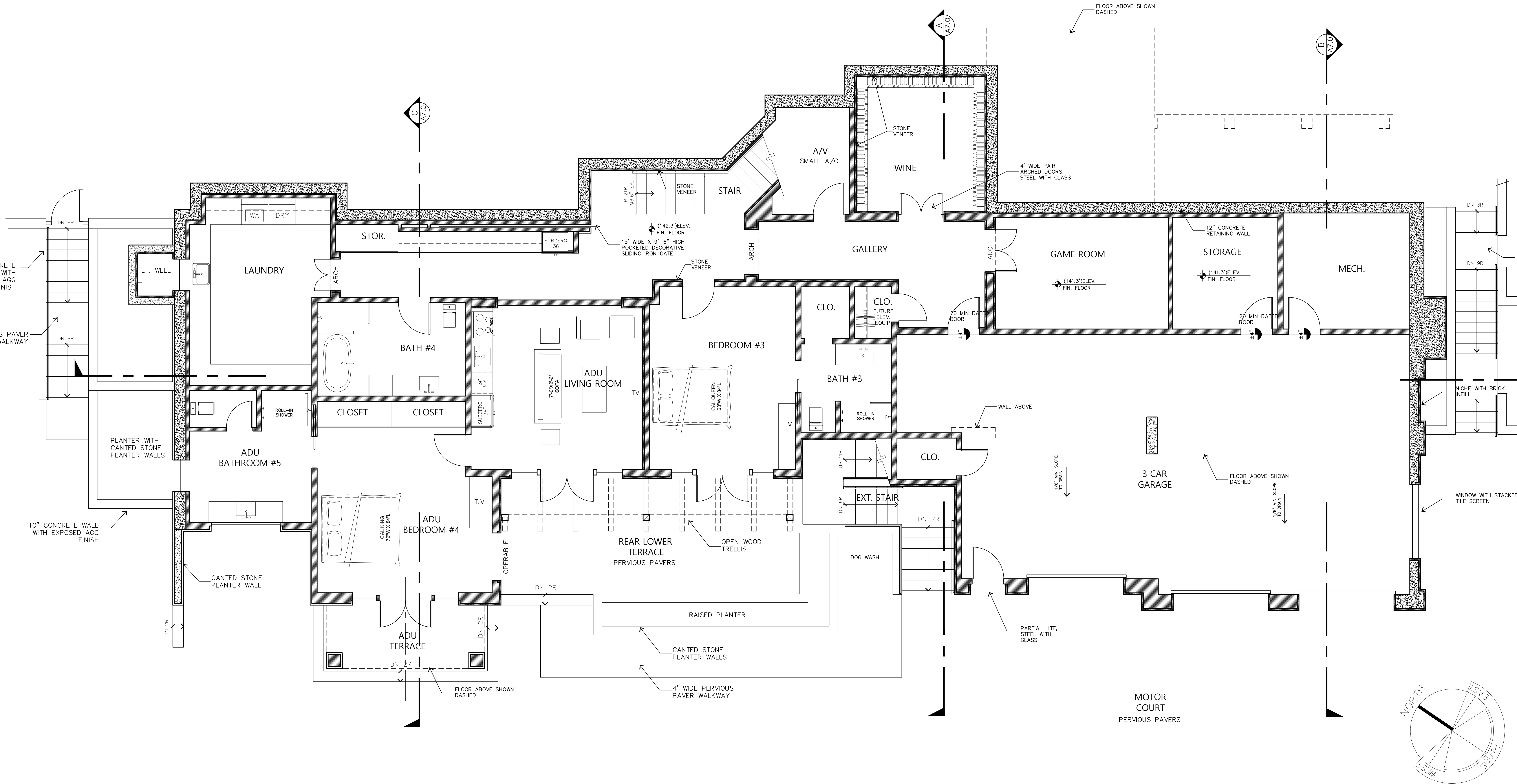
DATE

PROJECT NUMBER

SHEET NUMBER

A2.1

PROGRESS SET - NOT FOR CONSTRUCTION



ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- DUPLEX OUTLET RECESSED INTO WALL
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220V VOLT OUTLET
- 4 PLEX OUTLET
- GROUND FAULT INTERRUPT (GFI)
- WATERPROOF OUTLET (EXTERIOR)
- RECESSED FLOOR MOUNTED OUTLET
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- HIGH SPEED DATA LINE
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- SEE FLOOR PLAN NOTES SHEET A2.N FOR MORE INFORMATION
- SEE A4.0 FOR LIGHTING NOTES

WALL LEGEND

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- NEW NON-STRUCTURAL STONE VENEER, 3" MAX. THICKNESS
- NEW CMU/CONCRETE WALL

FLOOR PLAN NOTES

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FLOOR PLAN - LOWER LEVEL

SCALE : 1/4" = 1'-0"

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DIMENSION PLAN - MAIN LEVEL

DIMENSION PLAN NOTES

1. CONTRACTOR TO VERIFY EXISTING (IF APPLICABLE) AND NEW DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
2. CONTRACTOR, AND SUB-CONTRACTORS, SHALL NEVER SCALE PLANS. ERRORS MADE DUE TO SCALED ASSUMPTIONS WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
3. DIMENSIONS ARE TAKEN FROM FACE OF PLYWOOD SHEATHING AT EXTERIOR WALLS OR INTERIOR SHEAR WALLS. WALLS ARE TYPICALLY DRAWN AS 4" OR 6" WIDE. THIS THICKNESS ALLOWS FOR ONE FINISHED WALL SIDE WITH 1/2" GYP. BD. BOTH SIDE WALL FINISHES ARE NOT TYPICALLY ACCOUNTED FOR, UNLESS NOTED. SEE ALSO DETAIL OF WALL FRAMING AT CORNER CONDITION WITH DIMENSION STRING.
4. SEE SHEETS A9.0 AND A9.1 FOR DOOR AND WINDOW SCHEDULES.

WALL LEGEND

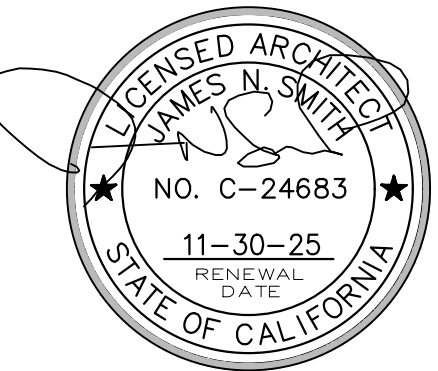
- NEW 2X WOOD STUD FRAMED WALL
SEE PLAN FOR WALL THICKNESS
- NEW NON-STRUCTURAL STONE VENEER, 2"
MAX. THICKNESS
- NEW CMU/CONCRETE WALL

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PROJECT/CLIENT

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PEBBLE BEACH, CA. 93955

SHEET TITLE

DIMENSION
PLAN
MAIN LEVEL

ISSUE REVISIONS

- | | |
|---|--------------------------------|
| 1 | 02-12-25
PLANNING SUBMITTAL |
| 2 | 06-12-25
DRIVEWAY REVISIONS |

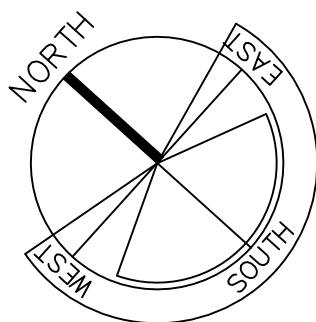
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PROJECT NUMBER

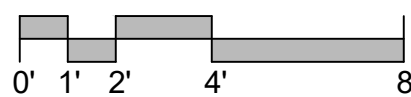
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A3.0

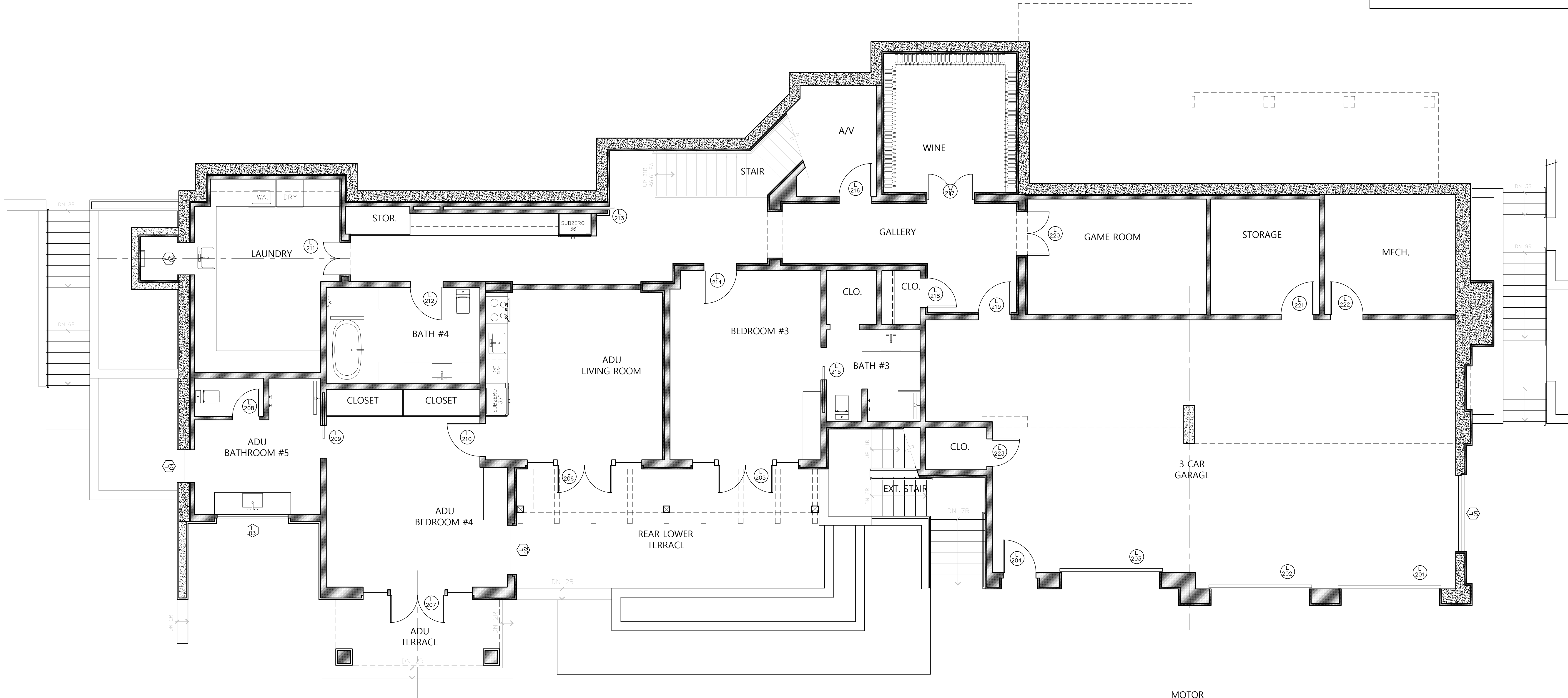
PROGRESS SET - NOT FOR CONSTRUCTION



SCALE : 1/4" = 1'-0"



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DIMENSION PLAN NOTES

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4. SEE SHEETS A9.0 AND A9.1 FOR DOOR AND WINDOW SCHEDULES

WALL LEGEND

NEW 2X WOOD STUD FRAMED WALL
SEE PLAN FOR WALL THICKNESS

NEW NON-STRUCTURAL STONE VENEER, 2" MAX. THICKNESS

NEW CMU/CONCRETE WALL

JAMES NEWHALL SMITH

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LICENSED ARCHITECT
JAMES N. SMITH
NO. C-24663
RENEWAL DATE
11-30-26
STATE OF CALIFORNIA

PROJECT/CLIENT

SALADINO FAMILY INVESTMENTS, LLC

1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

DIMENSION PLAN
LOWER LEVEL

ISSUE

REVISIONS

02-12-25
PLANNING SUBMITTAL

06-12-25
DRIVEWAY REVISIONS

DATE

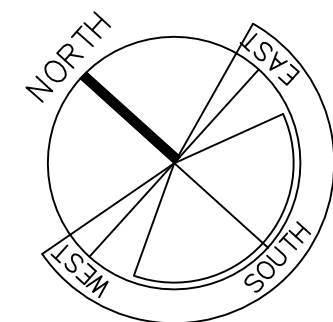
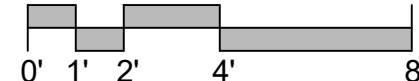
PROJECT NUMBER

SHEET NUMBER

A3.1

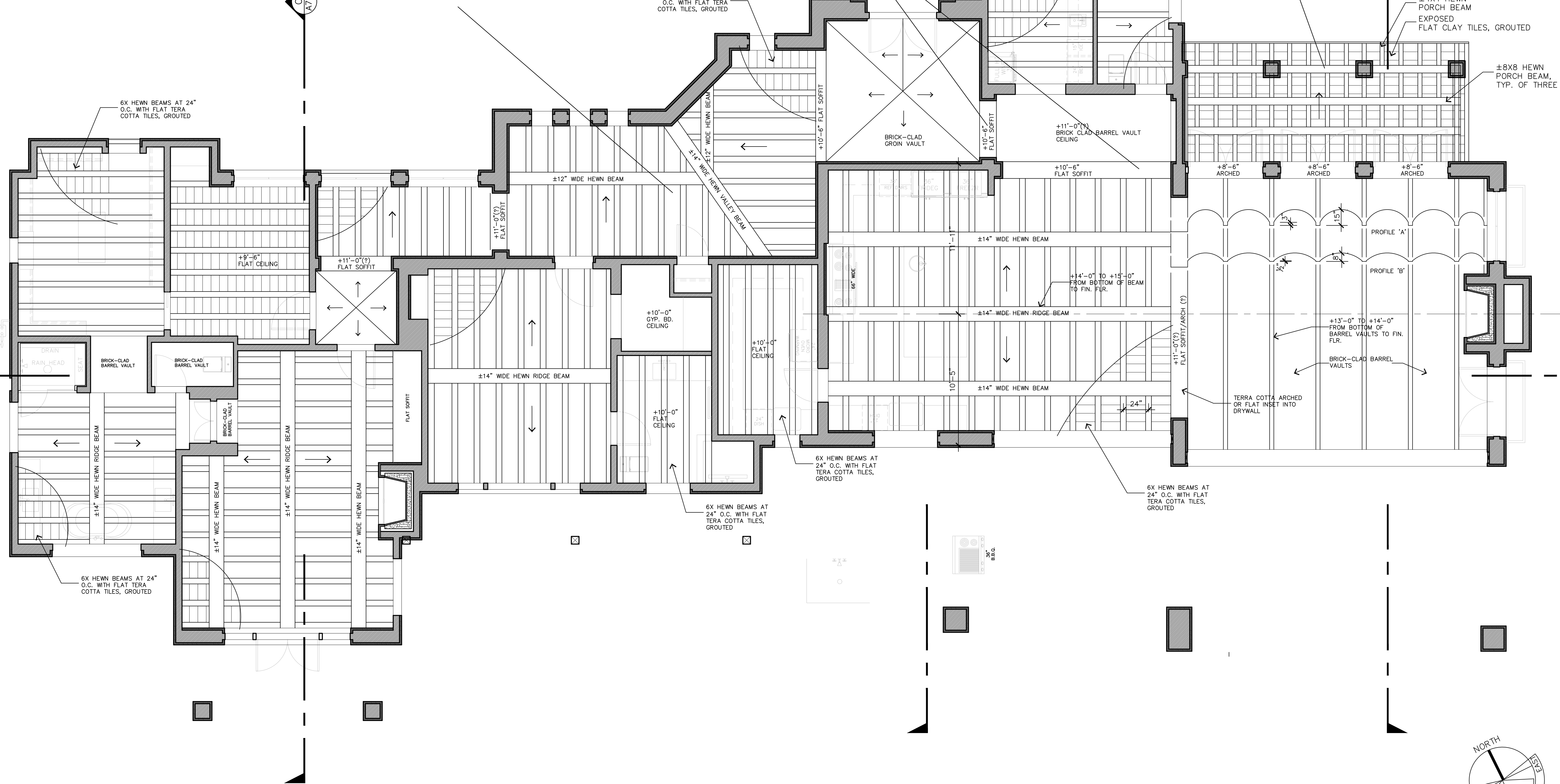
DIMENSION PLAN - LOWER LEVEL

SCALE : 1/4" = 1'-0"



PROGRESS SET - NOT FOR CONSTRUCTION

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REFLECTED CEILING NOTES

1. LIGHT LOCATIONS AS SHOWN, AND ASSOCIATED SWITCHING, SHALL BE REVIEWED, IN DETAIL, BY THE OWNER(S) IN THE FIELD, PRIOR TO FULL INSTALLATION.
2. VERIFY BEAMS SIZES, FINISHES AND EXACT LOCATIONS/SPACING IN THE FIELD.
3. COORDINATE WITH FIRE SPRINKLER SUB-CONTRACTOR RE SPACING AND DEPTH OF BEAMS AND HOW THAT AFFECTS/DETERMINES SPRINKLER HEAD LOCATIONS. VERIFY BEAM DESIGN(S) WITH OWNERS BASED ON THIS REVIEW TO MIMIC NATURAL LIGHT.
4. LED FIXTURES RECOMMENDED TO BE 2,700 KELVIN COLOR TEMPERATURE DUE TO YELLOWING AND BRITTLINESS OVER TIME
5. PLASTIC TRIM-OUT RINGS OR ASSEMBLIES ARE STRONGLY DISCOURAGED

LIGHTING LEGEND

- § SINGLE POLE SWITCH
- §3 THREE WAY SWITCH
- §4 FOUR WAY SWITCH
- §5 DIMMER SWITCH
- 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- 2" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- ◀▶ GIMBAL MOUNTED 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUAL. OWNER TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS. SEE ALSO NOTE #4 BELOW.
- SURFACE MOUNTED LED FIXTURE
- ⬆ PENDANT FIXTURE
- ⬆ WALL MOUNTED FIXTURE
- ⬆ FLOOD / SECURITY LIGHTING. MA=MOTION SENSOR. OWNER TO DETERMINE SWITCHING OF LIGHTING
- ⬆ RECESSED EXHAUST FAN WITH QUIET MOTOR TECHNOLOGY BY PANASONIC, OR EQUAL. SEE NOTES BELOW
- ⬆ COMBINATION FLUORESCENT LIGHT & EXHAUST FAN FIXTURE
- ⬆ JUNCTION BOX
- ⬆ COMBINATION GARAGE OPENER & LIGHT WITH ADJACENT DUPLEX OUTLET AND DATA CONNECTION, AS REQUIRED
- ⬆ CEILING FAN
- ⬆ SMOKE DETECTOR. SHALL BE 110V, HARDWIRED w/ BATTERY BACK-UP (C.R.C. SEC. 314), AND INTERCONNECTED WITH ALL OTHER SMOKE ALARMS PER R 314.5 (SEE ALSO NOTES BELOW)
- ⬆ CARBON MONOXIDE ALARM
- ⬆ DA = DOOR ACTIVATED LIGHT FIXTURE
- ⬆ MA = MOTION ACTIVATED LIGHT FIXTURE
- ⬆ WP = WATER PROOF FIXTURE. UL LISTED AS SUITABLE FOR WET LOCATIONS
- ⬆ FL = FLUORESCENT FIXTURE (MIN 40 LUMENS PER WATT)
- ⬆ LV = LOW-VOLTAGE LIGHTING
- ⬆ DED = DEDICATED CIRCUIT
- 4" LED 4" LED SURFACE MOUNTED FIXTURE w/ ACRYLIC DIFFUSER, BY HALO, OR EQUAL.
- ⬆ TRACK LIGHTING
- ⬆ LED STRIP LIGHT FOR UNDER CABINET LIGHTING. VERIFY W/ OWNER IF INDIVIDUALLY SWITCHED OR GANGED TOGETHER AT POLE SWITCH(ES)

LIGHTING LEGEND NOTES

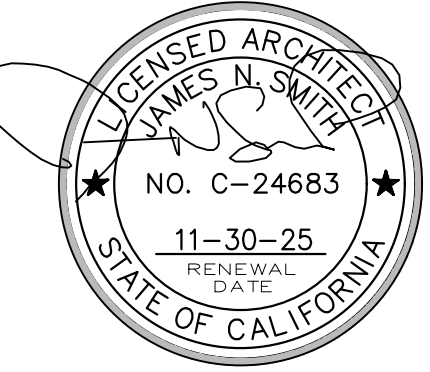
- NOT ALL OF THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS PROJECT.
- THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR RECEPTABLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC.
- ALL HABITABLE SPACES SHALL BE HIGH EFFICACY LIGHTING, MANUAL-ON OCCUPANT SENSOR OR DIMMER SWITCHES.
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- LIGHT FIXTURES WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF TUB RIM OR IN SHOWER ENCLOSURE THRESHOLD SHALL BE UL LISTED LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" (CEC ARTICLE 410-400) (CEC 410-10)
- LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE I.C. RATED BY UL OR OTHER APPROVED AGENCY. (TITLE 24 ARTICLE 150(K)(4)) ALL FIXTURES SHALL HAVE AIR TIGHT (AT) RATING AND HAVE JAB COMPLIANT BULBS
- BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE 2016 C.M.C.
- EXTERIOR LIGHTING: HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR.
- SMOKE DETECTORS PER CRC R314.3, SHALL BE LOCATED:
- ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH ADDITIONAL STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LOWER LEVEL, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
 - IN ENCLOSED COMMON STAIRWELLS OF APARTMENT COMPLEXES AND OTHER MULTIPLE-DWELLING COMPLEXES.
- PER NFPA 72-29.8.3.4(4) SMOKE DETECTORS REQUIRED NEAR A FIXED COOKING APPLIANCE CAN BE PHOTO-ELECTRIC, TO WITHIN 6' OF COOKING APPLIANCE.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN AREAS LEADING INTO ROOMS USED FOR SLEEPING PURPOSES AND ON EVERY LEVEL OF THE DWELLING, INCLUDING THE BASEMENTS. CRC R315.3.
- EVERY BATHROOM SHALL BE MECHANICALLY VENTILATED. EXHAUST FANS IN BATHROOMS SHALL HAVE BACKDRAFT PROTECTION AND SHALL BE ENERGY STAR COMPLIANT AND CONTROLLED BY A HUMIDISTAT PER CALGREEN 2016 AND SHALL BE SWITCHED SEPARATELY FROM LIGHTS
- ALL UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING
- LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH CEC 410-8.

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SHEET TITLE

REFLECTED
CEILING PLAN
MAIN LEVEL

ISSUE REVISIONS

1 02-12-25
PLANNING SUBMITTAL

2 06-12-25
DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

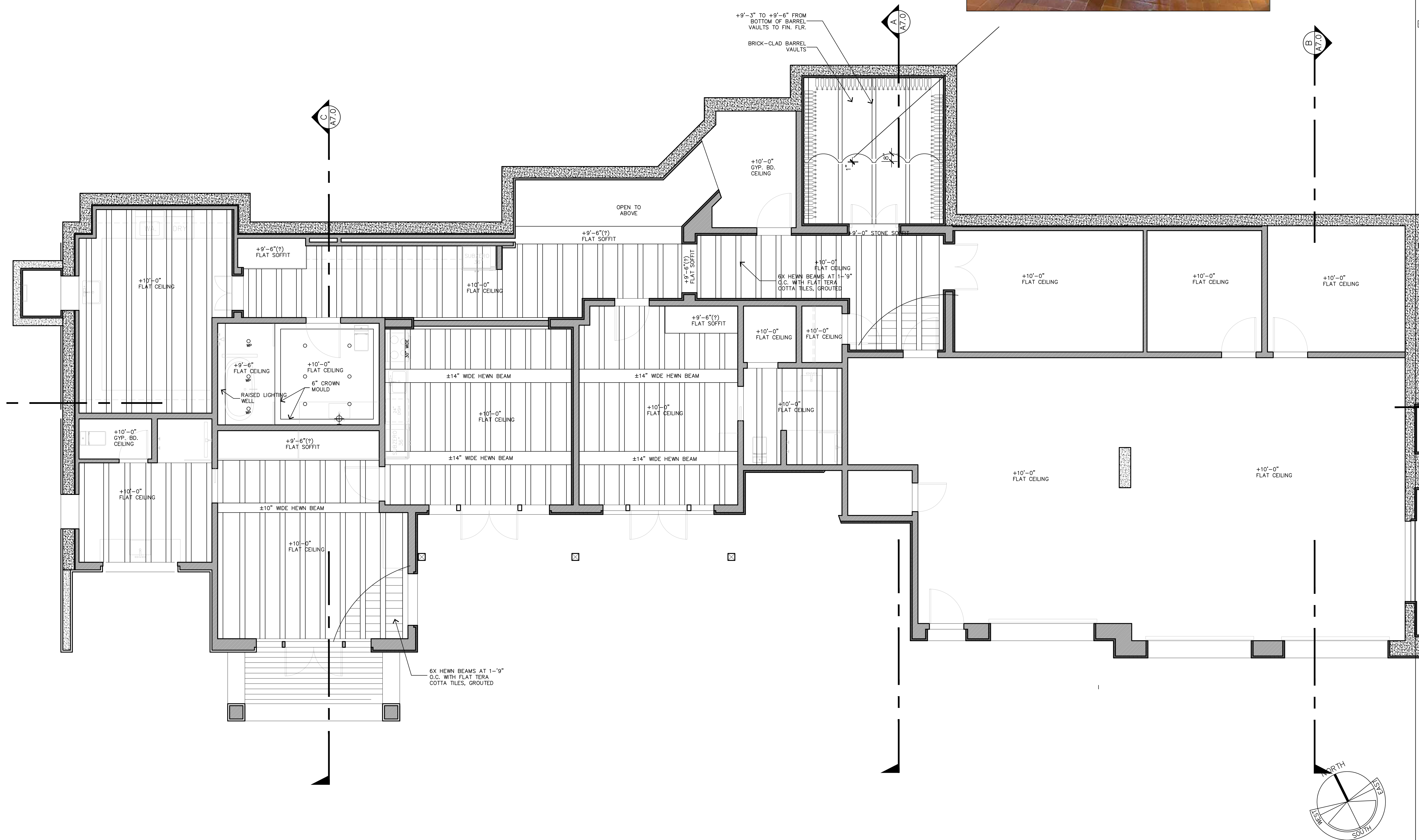
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PROGRESS SET - NOT FOR CONSTRUCTION

REFLECTED CEILING PLAN - MAIN LEVEL

SCALE : 1/4" = 1'-0"

REFLECTED CEILING PLAN - LOWER LEVEL



SCALE : $1/4" = 1'-0"$

REFLECTED CEILING NOTES

1. LIGHT LOCATIONS AS SHOWN, AND ASSOCIATED SWITCHING, SHALL BE REVIEWED, IN DETAIL, BY THE OWNER(S) IN THE FIELD, PRIOR TO FULL INSTALLATION.
2. VERIFY BEAM SIZES, FINISHES AND EXACT LOCATIONS/SPACING IN THE FIELD
3. COORDINATE WITH FIRE SPRINKLER SUB-CONTRACTOR RE SPACING AND DEPTH OF BEAMS AND HOW THAT AFFECTS/DETERMINES SPRINKLER HEAD LOCATIONS. VERIFY BEAM DESIGN(S) WITH OWNERS BASED ON THIS REVIEW
4. LED FIXTURES RECOMMENDED TO BE 2,700 KELVIN COLOR TEMPERATURE TO MIMIC NATURAL LIGHT.
5. PLASTIC TRIM-OUT RINGS OR ASSEMBLIES ARE STRONGLY DISCOURAGED DUE TO YELLOWING AND BRITTLENESS OVER TIME

LIGHTING LEGEND

- 1 SINGLE POLE SWITCH
 2 THREE WAY SWITCH
 3 FOUR WAY SWITCH
 4 DIMMER SWITCH
 5 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUIVALENT TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS: SEE ALSO NOTE #4 BELOW.
 6 2" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUIVALENT TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS: SEE ALSO NOTE #4 BELOW.
 7 GIMBAL MOUNTED 4" LED RECESSED IC RATED LIGHTING FIXTURE BY HALO, OR EQUIVALENT TO SELECT TRIM RING, BULB MOUNT, COLOUR AND DIRECTIONAL OPTIONS: SEE ALSO NOTE #4 BELOW.
 8 SURFACE MOUNTED LED FIXTURE
 9 PENDANT FIXTURE
 10 WALL MOUNTED FIXTURE
 11 FLOOD / SECURITY LIGHTING - MACHINATION SENSOR. OWNER TO DETERMINE SWITCHING
 12 RECESSED EXHAUST FAN WITH QUIET MOTOR TECHNOLOGY BY FRANKSON, OR EQUAL, SEE NOTES BELOW
 13 COMBINATION FLUORESCENT LIGHT & EXHAUST FAN FIXTURE
 14 JUNCTION BOX
 15 COMBINATION GARAGE OPENER & LIGHT WITH ADJUNCT DUPLEX OUTLET AND DATA CONNECTION, AS REQUIRED
 16 CEILING FAN
 17 SMOKE DETECTOR. SHALL BE 110V, HARDWIRED W/ BATTERY BACK-UP (SEE SEC. 314), AND INTERCONNECTED WITH ALL OTHER SMOKE ALARMS (SEE SEC. 314). (SEE ALSO NOTES BELOW)
 18 CARBON MONOXIDE ALARM
 19 DOOR ACTIVATED LIGHT FIXTURE
 20 MOTION ACTIVATED LIGHT FIXTURE
 21 WATER PROOF FIXTURE, LISTED AS SUITABLE FOR MET LOCATIONS
 22 FLUORESCENT FIXTURE (MIN 40 LUMENS PER WATT)
 23 LOW-VOLTAGE LIGHTING
 24 DEDICATED CIRCUIT
 25 4" LED SURFACE MOUNTED FIXTURE W/ AERATED DIFFUSER, BY HALO, OR EQUAL
 TRACK LIGHTING
 LED STRIP LIGHT UNDER CABINET LIGHTING
 VERIFY W/ OWNER IF INDIVIDUALLY SWITCHED OR GANGED TOGETHER AT POLE SWITCHES

LIGHTING LEGEND NOTES

NOT ALL OF THE ABOVE SPECIFICATIONS ARE NECESSARILY USED FOR THIS PROJECT.

THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK THROUGH WITH THE HOMEOWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES ETC.

ALL HABITABLE SPACES SHALL BE HIGH EFFICIENCY LIGHTING, MANUAL-ON/OCCUPANT SENSOR OR DIMMER SWITCHES.

BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A TYPICAL SENSOR.

FIXTURES WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF TURBID ROOM ENCLOSURE THRESHOLD SHALL BE UL LISTED LABELLED FOR THE SAME LOCATION OR "SUITABLE FOR CAMP LOCATIONS" (C-410-400) (C-410-10).

ALL FIXTURES RECESSED INTO INSULATED CEILING SHALL BE I.C. TYPE. ALL OTHER APPLIANCES SHALL BE 120V/240V TYPE. 1500VA+ FIXTURES SHALL HAVE AIR TIGHT (AT) RATING AND HAVE JAR PLANT BULBS.

BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPA'S, AND SMALLER BATH FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE EXTERIOR LIGHTING: HIGH EFFICIENCY OR MOTION SENSOR/PHOTO SENSOR.

SMOKE DETECTORS PER CIRC R313.4.1, SHALL BE LOCATED:

ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.

IN EACH ROOM USED FOR SLEEPING PURPOSES.

IN EACH ADDITIONAL STORY WITHIN A DWELLING UNIT, INCLUDING BUT NOT LIMITED TO: ATTIC, LOFT, BASEMENTS AND UNINHABITED ATTICS IN DWELLINGS OR DWELLING UNITS ON THE UPPER LEVELS SHALL BE THE INTERIOR OF THE ATTIC OR LOFT OR AN ADVANCED LOW LEVEL, A SMOKE ALARM INSTALLED WITH THE SPLIT LEVEL, SHALL BE LOCATED IN THE ATTIC OR LOFT OR AN ADVANCED LOW LEVEL. THE LOW LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

IN ENCLOSED COMMON STAIRWELLS OF APARTMENT COMPLEXES AND COMMON AREAS OF MULTIFAMILY HOUSING.

PER NPA 72--29.83.4(4) SMOKE DETECTORS REQUIRED NEAR A FIXED COOKING APPLANCE CAN BE PHOTO-ELECTRIC, TO WITHIN 6' OF COOKING CARBON.

FOR MONITORING ALARMS SHALL BE INSTALLED IN AREAS LEADING INTO OR OUT OF SLEEPING PURPOSES, INCLUDING BUT NOT LIMITED TO THE DWELLING, INCLUDING THE BASEMENTS. CIRC R315.3.

EVERY BATHROOM SHALL BE MECHANICALLY VENTILATED. EXHAUST FANS SHALL BE INSTALLED WITH EXHAUST OUTSIDE. VENTILATION SHALL BE ELECTRO SWITCH CONTROLLED AND CONTROLLED BY A HUMIDISTAT PER CGR02EN 2016 AND SHALL BE SWITCHED SEPARATELY FROM LIGHTS

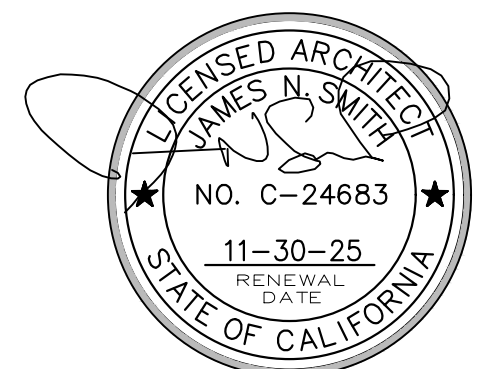
ALL UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING

LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH CIRC 801-8

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SHEET TITLE

REFLECTED
CEILING PLAN
LOWER LEVEL

○ ISSUE △ REVISIONS

① 02-12-25
PLANNING SUBMITTAL

② 06-12-25
DRIVEWAY REVISIONS

DATE _____

PROJECT NUMBER

SHEET NUMBER

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PROGRESS SET - NOT FOR CONSTRUCTION

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ROOF PLAN

SCALE : 1/4" = 1'-0"

ROOF NOTES

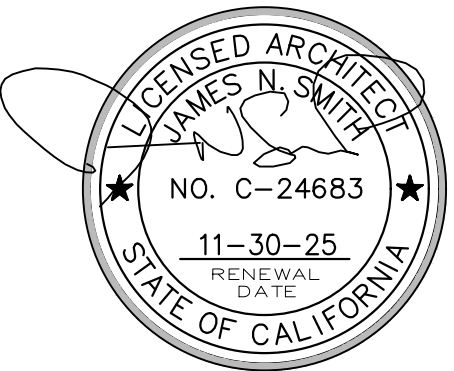
1. ROOF MATERIAL TO BE CLASS 'A' CAP AND PAN CERAMIC TILE ROOFING
2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
3. ROOF SLOPE = 3 IN 12 UNLESS OTHERWISE NOTED
4. EAVE OVERHANG = 1'-8" UNLESS OTHERWISE NOTED
5. RAKE/BARGE OVERHANG = 1'-8" UNLESS OTHERWISE NOTED
6. COPPER GUTTERS WITH ROUND DOWNSPOUTS
7. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
8. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
9. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
10. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND AT THE ROOF WITH (2) 1-1/2" S.S. METAL STRAPS LOOPED AROUND THE CHIMNEY AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST OR RAFTER PER UBC 3102.6 TO PREVENT LATERAL DISPLACEMENT
11. EACH BUNDLE OF ROOFING SHALL BEAR LABELS FROM AN ICCO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES E-1017 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 CRC)
12. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2
13. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES
14. ROOF DOWN SPOUTS TO BE COLLECTED IN A TIGHT-LINE AND DISPERSED PER CITY/COUNTY STANDARDS

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SHEET TITLE

ROOF PLAN

ISSUE REVISIONS

02-12-25
PLANNING SUBMITTAL

06-12-25
DRIVEWAY REVISIONS

DATE

PROJECT NUMBER

SHEET NUMBER

A5.0

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NORTHEAST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDED RIDGES. CLASS "A" RATED
COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT $\frac{3}{8}$ " TO $\frac{1}{2}$ ". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL-UNSEALED $\frac{1}{2}$ "-ROUND COPPER GUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT-HOUSINGS-AND-FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT: BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND $\frac{1}{8}$ " NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME-AND-EMBER-INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED-STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

NORTHWEST ELEVATION

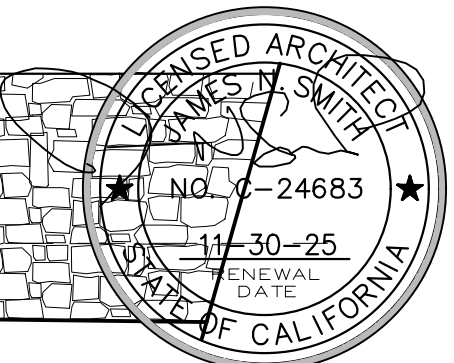
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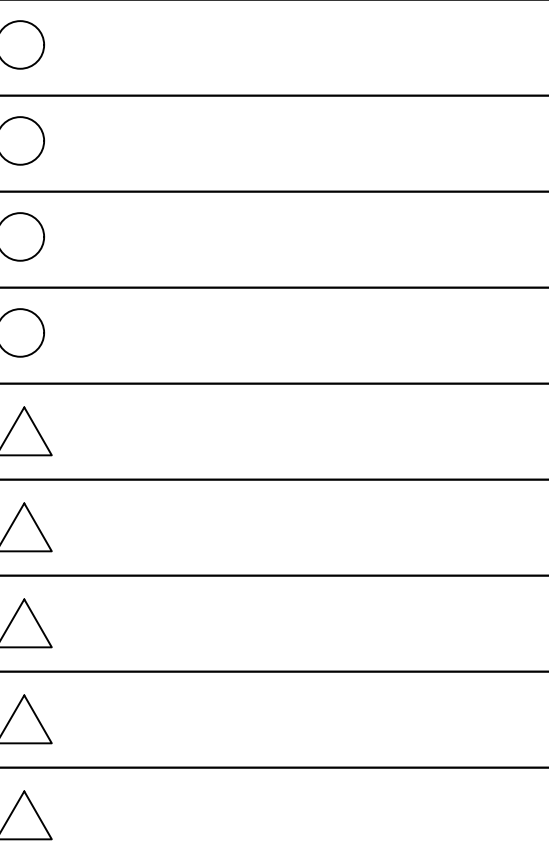
1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

EXTERIOR
ELEVATIONS

ISSUE REVISIONS

- 1 02-12-25
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- 2 06-12-25
DRIVEWAY REVISIONS



DATE

PROJECT NUMBER

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SIOUTHWEST ELEVATION

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDED RIDGES. CLASS "A" RATED
COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT 3/8" TO 1/2". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL UNSEALED 1/4" ROUND COPPER CUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT: BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND 1/8" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

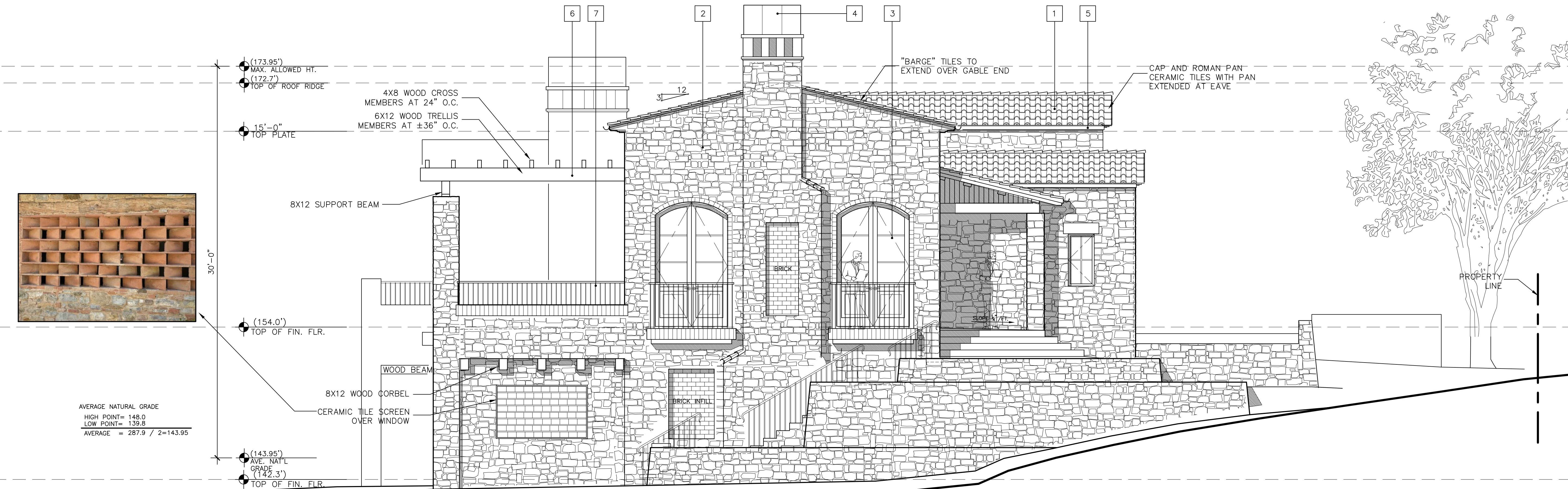
WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12



SOUTHEAST ELEVATION

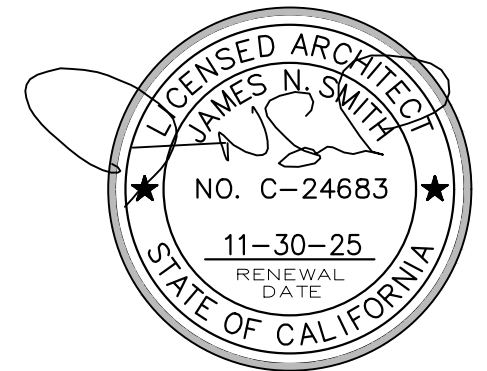
SCALE : 1/4" = 1'-0"

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PROJECT/CLIENT

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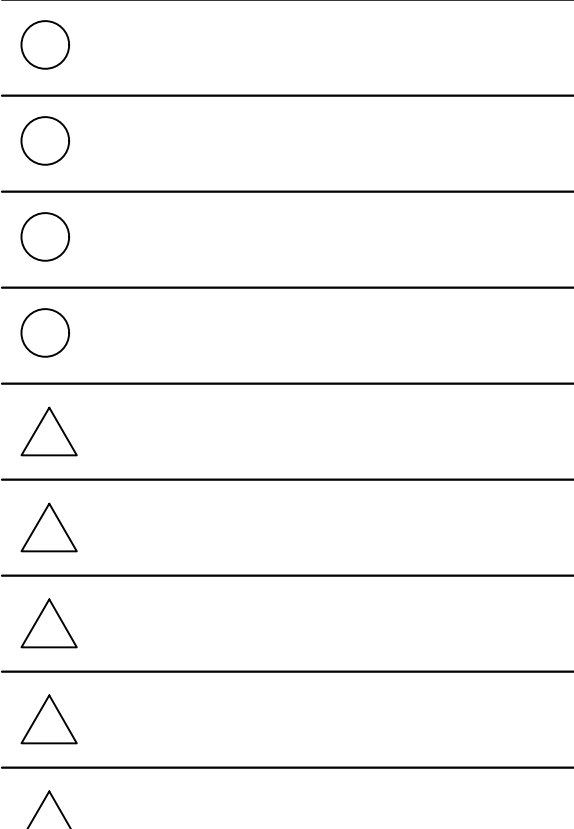
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SHEET TITLE

EXTERIOR
ELEVATIONS

ISSUE REVISIONS

- 02-12-25
PLANNING SUBMITTAL
- 06-12-25
DRIVEWAY REVISIONS



DATE

PROJECT NUMBER

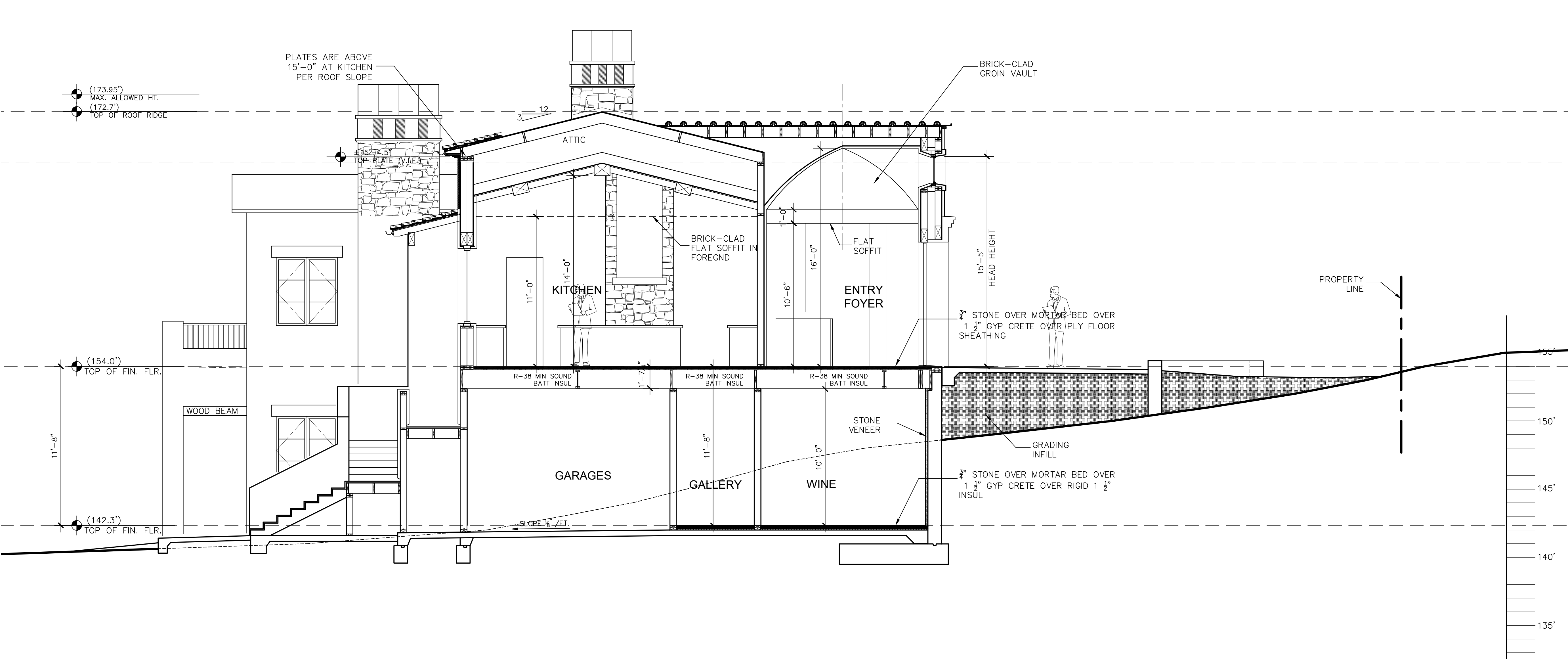
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SECTION 'A'

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDED RIDGES. CLASS "A" RATED COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT 3/8" TO 1/2". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL UNSEALED 3/4" ROUND COPPER GUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT. BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

ROOF GUTTERS, IF ANY, SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL BE PROTECTED BY LOUVERS AND NON-COMBUSTIBLE CORROSION-RESISTANT MESH UNLESS VENTS ARE APPROVED FOR RESISTING FLAME AND EMBER INTRUSION.

PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT, UNLESS APPROVED FOR SUCH USE.

WALL SIDING SHALL COMPLY WITH CRC R703, AND ATTACHMENT REQUIREMENTS PER TABLE R703.3(1)

FLASHING INSTALLATIONS AND LOCATIONS FOR WALLS AND ROOFS SHALL COMPLY WITH CRC R703.4

WOOD SIDING INSTALLATION SHALL COMPLY WITH CRC R703.5

EXTERIOR PLASTER INSTALLATION SHALL COMPLY WITH CRC R703.7 AND WEEP SCREEDS SHALL BE INSTALLED IN ACCORDANCE WITH R703.7.2.1

ANCHORED STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH CRC R703.8 AND R703.12

SECTION NOTES

1. CONDITIONED BUILDING ENVELOPE IS CREATED AT UNDERSIDE OF ROOF PLY SHEATHING BY CLOSED CELL FOAM. ATTIC VENTS ARE THEREFORE NOT REQUIRED. CLOSED CELL FOAM OF REQUIRED DEPTH PER ENERGY CALCS OF 3" MINIMUM BUILD-UP FOR R-14 VALUE WITH R-19 FIBERGLASS BATT INSUL APPLIED TO UNDERSIDE OF FOAM FOR MIN. R-30 VALUE

NO VAPOR BARRIER TO BE USED. FOAM TO BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING PER CRC R806.4

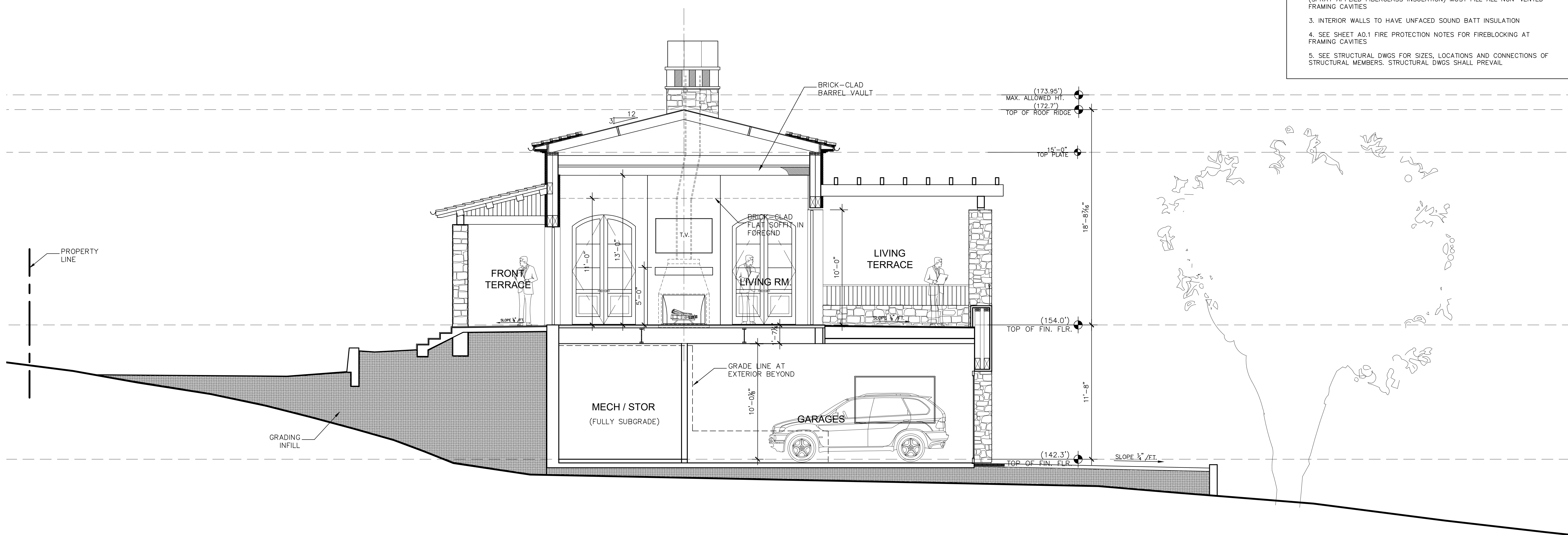
USE BASF SPRAYTITE CLOSED CELL, SPRAY-APPLIED POLYURETHANE FOAM, OR EQUAL. R VALUE IS 6.0 PER INCH. (R-30 = 5" MIN. DEPTH) LISTING NUMBER ICC-ES #ESR-2842

2. EXTERIOR WALLS WITH R-21 VALUE BY FIBERGLASS BATTS OR SPIDER (SPRAY APPLIED FIBERGLASS INSULATION) MUST FILL ALL NON-VENTED FRAMING CAVITIES

3. INTERIOR WALLS TO HAVE UNFACED SOUND BATT INSULATION

4. SEE SHEET A0.1 FIRE PROTECTION NOTES FOR FIREBLOCKING AT FRAMING CAVITIES

5. SEE STRUCTURAL DWGS FOR SIZES, LOCATIONS AND CONNECTIONS OF STRUCTURAL MEMBERS. STRUCTURAL DWGS SHALL PREVAIL



SECTION 'B'

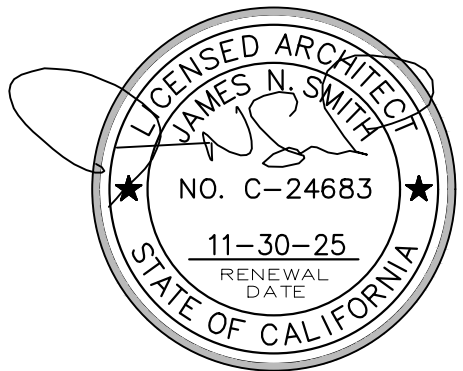
SCALE : 1/4" = 1'-0"

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SHEET TITLE

SECTIONS

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02-12-25
PLANNING SUBMITTAL

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01-12-25
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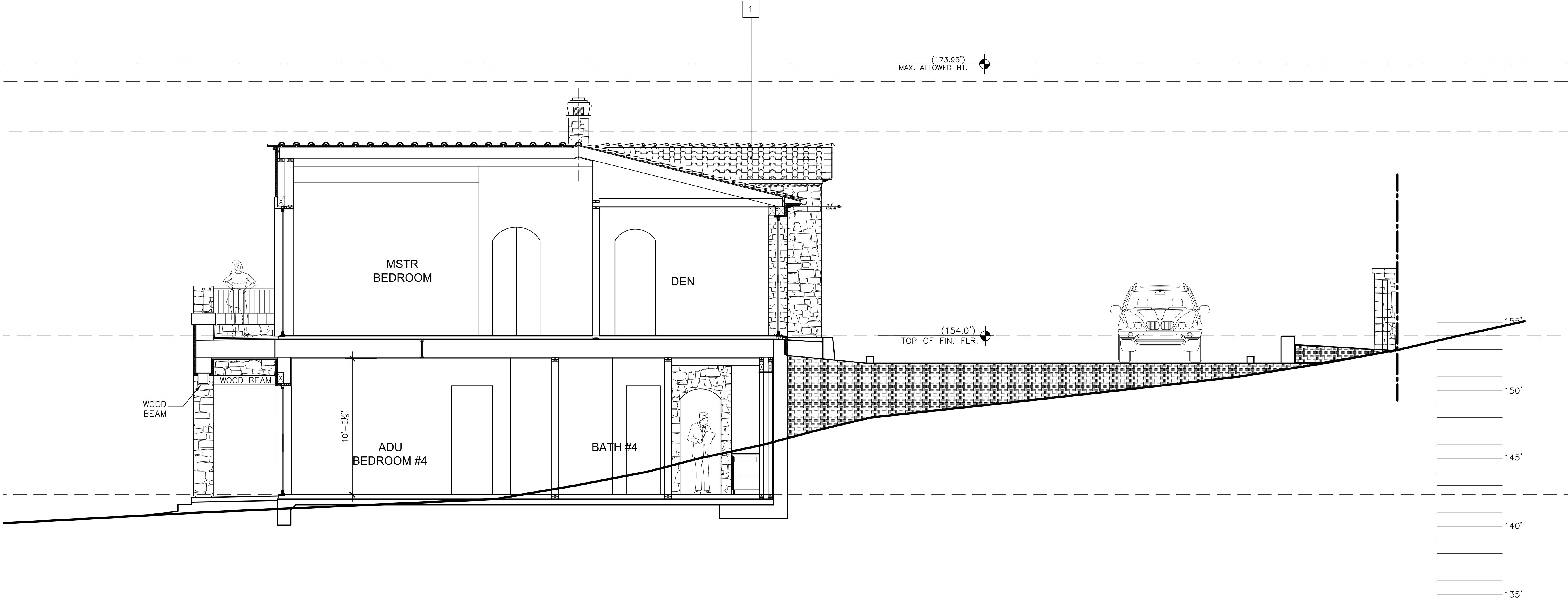
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A7.0

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SECTION 'C'

SCALE : 1/4" = 1'-0"



SECTION 'D'

SCALE : 1/4" = 1'-0"

ELEVATION MATERIALS LEGEND

- 1 RED CLAY TILE - TWO PEICE CAP AND PAN "ROMAN STYLE" TILES WITH MUDDIED RIDGES. CLASS "A" RATED COLOR: US TILE - MADERA BLEND #3107
- 2 EXTERIOR VERTICAL STONE-2" THIN VENEER, BY BEUCHEL. LAY IS TRADITIONAL WITH RANDOM SIZES. GROUT JOINTS AT 3/8" TO 1/2". COLOR OF GROUT IS "DARK GREY". COLOR: ANTIQUE BRONZE COUNTRY CASTLE ROCK. BRICK ACCENTS AT PILASTERS AND CHIMNEY TOPS-WHITWASHED AND TUMBLED USED BRICK, STANDARD SIZE
- 3 ALUMINUM DUAL GLAZED EXTERIOR DOORS AND WINDOWS BY ARCADIA. COLOR: DARK BRONZE ANODIZED
- 4 MORTARED AND STACKED TILE CHIMNEY SHROUDS
- 5 NATURAL UNSEALED 1/2" ROUND COPPER GUTTERS, RECTANGULAR DOWNSPOUTS, LEADER BOXES, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHINGS
- 6 CEDAR TRELLIS AND SECTIONAL GARAGE DOORS STAINED WITH CABOT SEMI TRANSPARENT. BARK MULCH
- 7 WROUGHT IRON RAILING, GALVANIZED AND PAINTED DARK BRONZE

ELEVATION NOTES

THIS PROJECT IS LOCATED WITHIN WILDLAND URBAN INTERFACE, REFER TO WALL SECTION DETAIL 1 / A0.1 FIRE NOTES SHEET FOR COMPLIANCE REQUIREMENTS

ROOF COVERINGS AND FLASHINGS AND WALL COVERINGS SHALL COMPLY WITH ALL REQUIRED W.U.I. SPECIFICATIONS

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SECTION NOTES

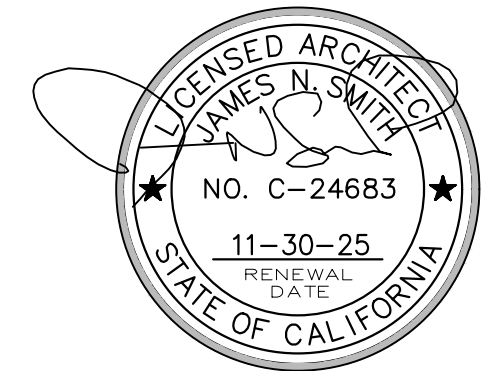
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- NO VAPOR BARRIER TO BE USED. FOAM TO BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE ROOF SHEATHING PER CRC R806.4
- USE BASF SPRAYTITE CLOSED CELL, SPRAY-APPLIED POLYURETHANE FOAM, OR EQUAL. R VALUE IS 6.0 PER INCH. (R-30 = 5" MIN. DEPTH) LISTING NUMBER ICC-ES #ESR-2842
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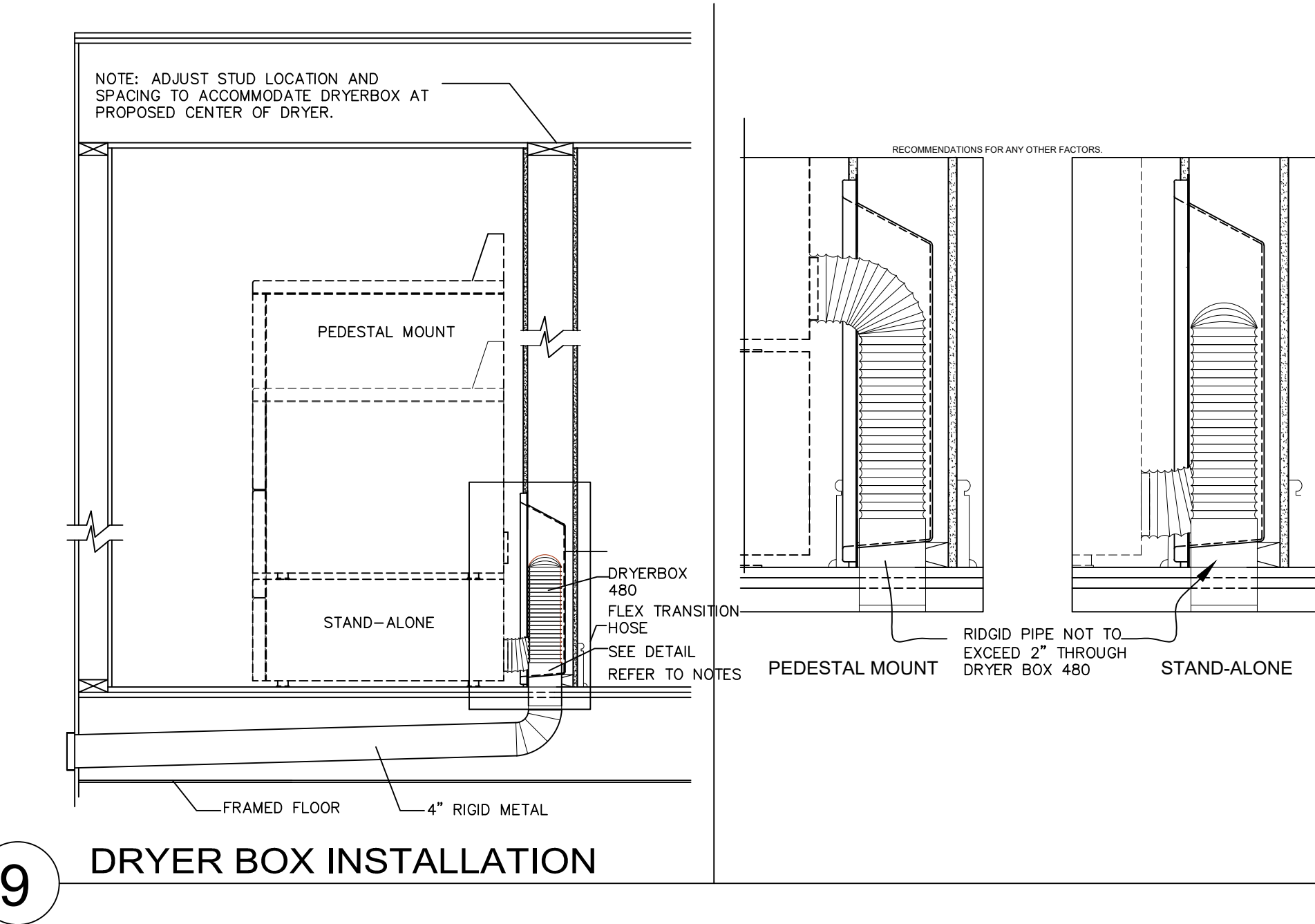
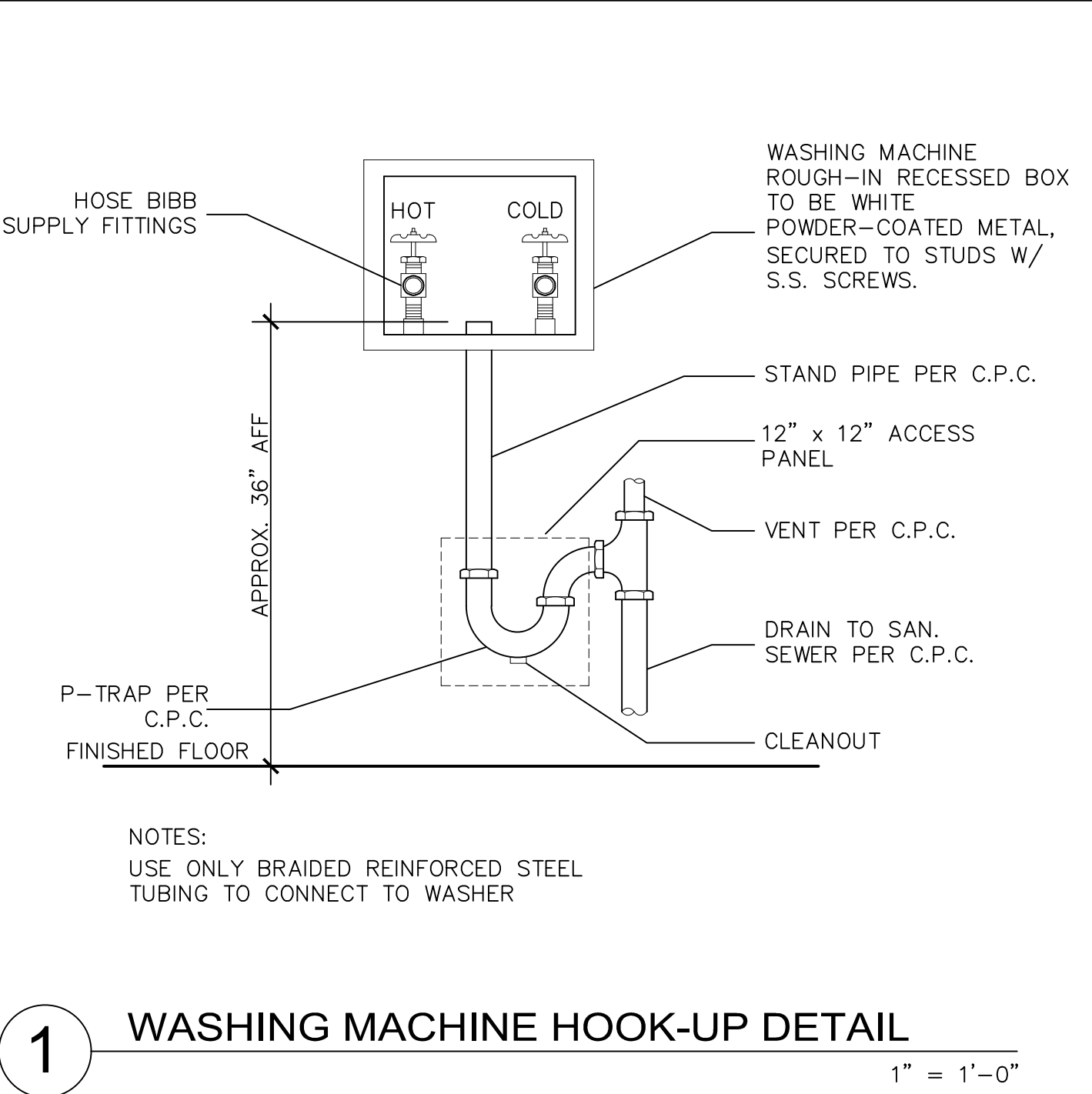
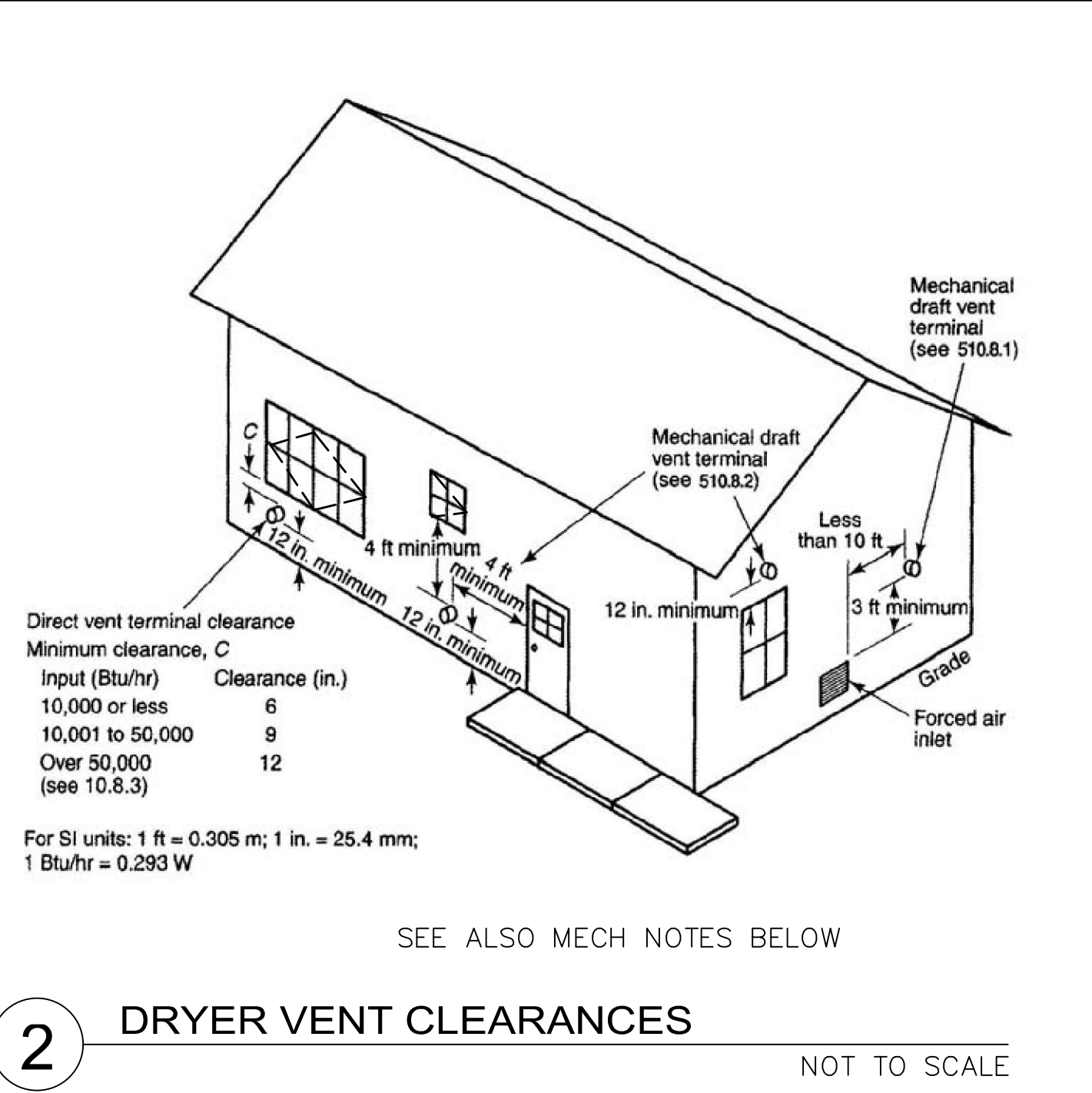
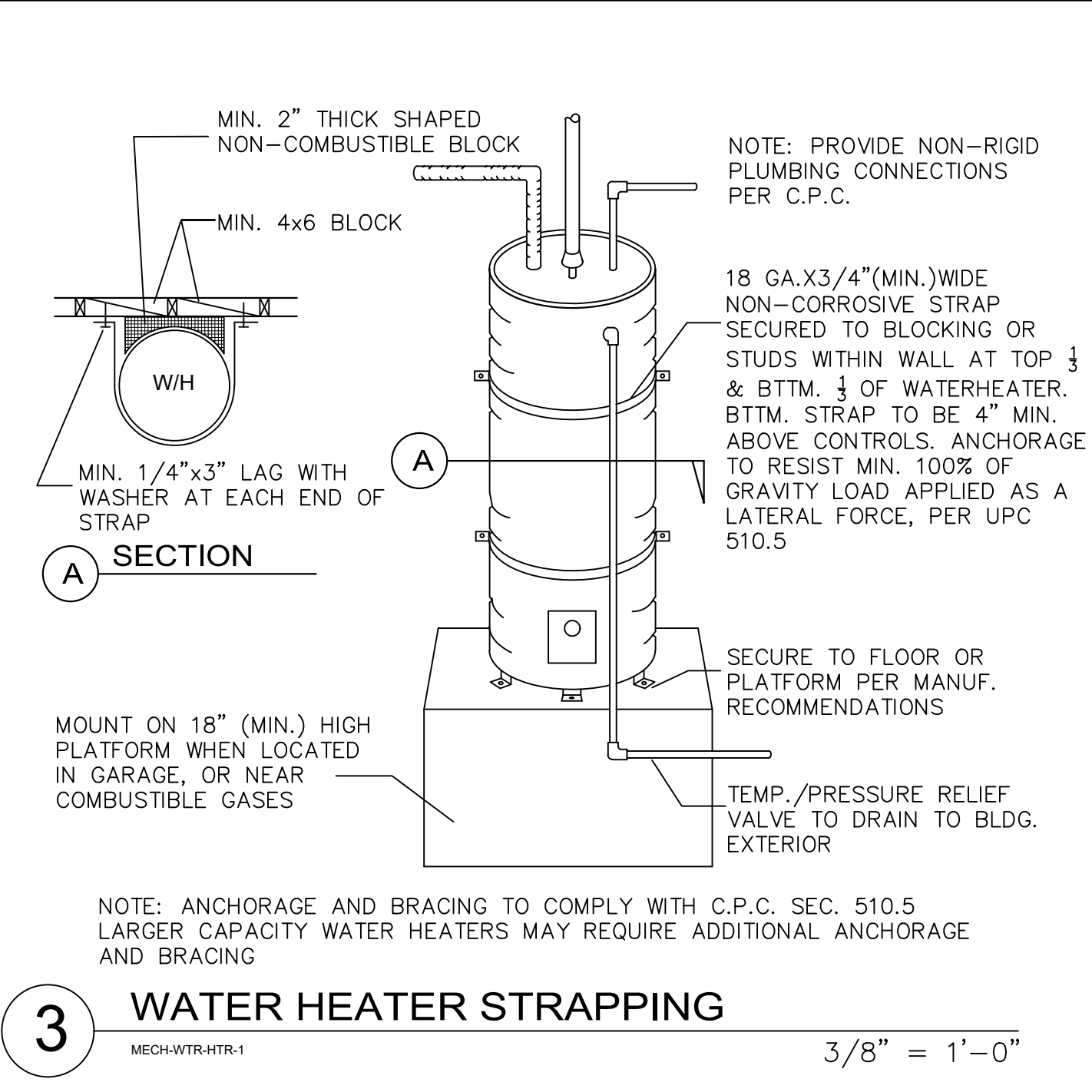
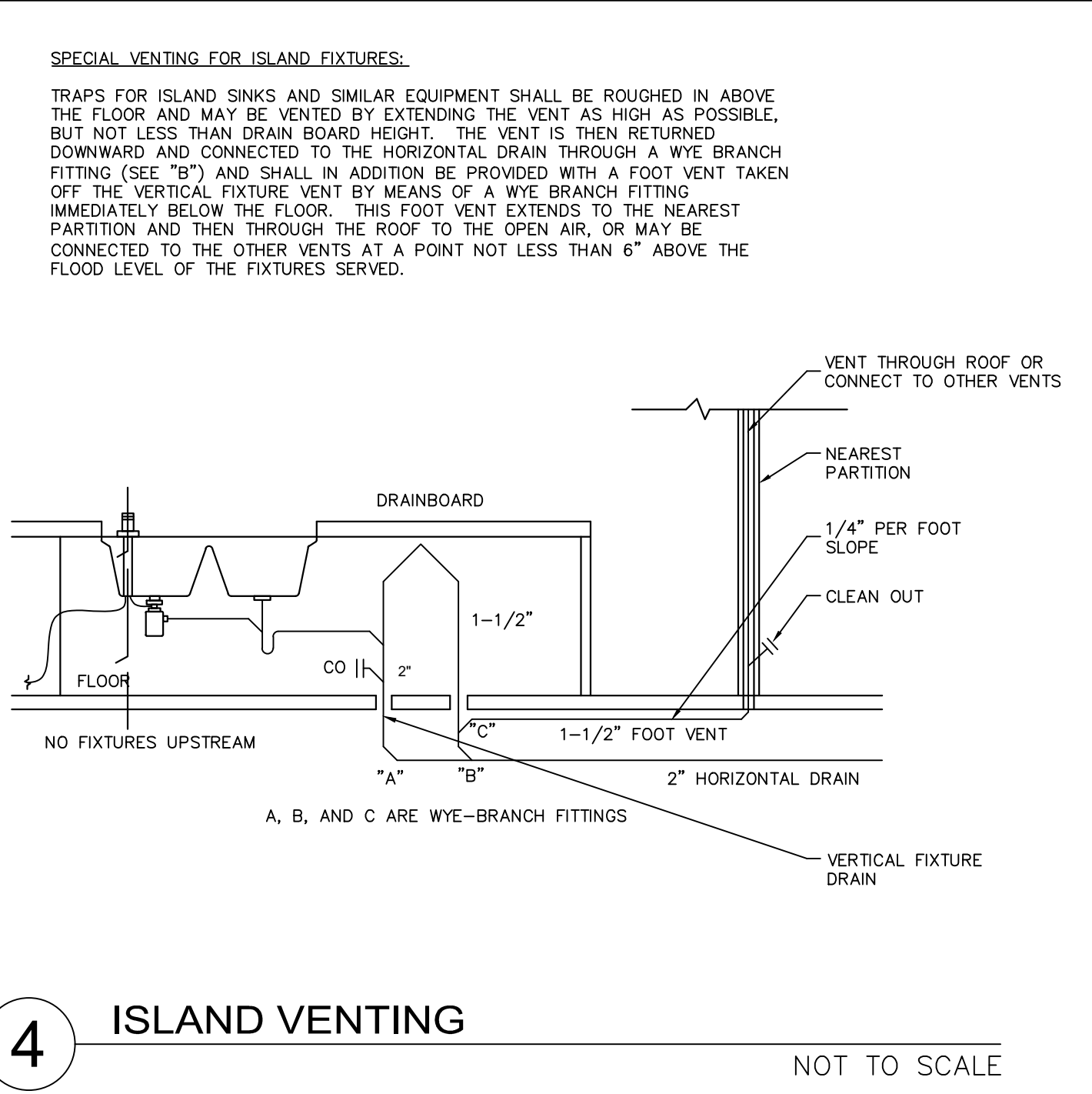
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DRYER VENTING: MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RUNNING ALL DUCTWORK FOR THE DRYER EXHAUST SYSTEM. ALL CONCEALED DRYER DUCTING MUST BE RIGID METAL (GALVANIZED OR ALUMINUM) MINIMUM OF 4" IN DIAMETER, SMOOTH 30 GA. CLEAN, UNOBSTRUCTED, FRICTIONLESS DUCTS (NO FLEXIBLE DUCT ALLOWED IN CONCEALED AREAS). SEAL ALL JOINTS WITH FOIL-BACKED PRESSURE SENSITIVE DUCT TAPE MEETING THE REQUIREMENTS OF UL 181. DUCT JOINTS SHALL BE INSTALLED SO THAT THE MALE END OF THE DUCT POINTS IN THE DIRECTION OF THE AIRFLOW. DO NOT USE RIVETS OR SCREWS IN THE JOINTS OR ANYWHERE ELSE IN THE DUCT AS THESE WILL ENCOURAGE LINT COLLECTION.

DRYERBOX® RECEPTACLE (WWW.DRYERBOX.COM) SHALL BE METAL AND BE INSTALLED AS LOW AS POSSIBLE AS TO PERMIT THE PROPER AND SAFE COLLECTION OF THE DRYER TRANSITION HOSE. DRYERBOX SHOULD BE RESTING ON THE BOTTOM PLATE AND BE LOCATED AT OR NEAR THE CENTERLINE OF THE PROPOSED DRYER APPLIANCE. (NOTE: CENTERLINE MARK EMBOSSED IN WIDER MODELS (480, 30 AND 480)). RIGID DUCT SHOULD PENETRATE DRYERBOX PORT 2 INCHES TO PROVIDE FOR FUTURE CONNECTION AND STORAGE OF TRANSITION HOSE. BASEBOARD SHALL BE "BUTTED" UP TO THE FIXED EXTENSION RIM AND SLIGHTLY BACK-CUT. DRYERBOX SHOULD BE CAULKED AND THEN PAINTED WITH THE TRIM PAINT.

LENGTH OF CONCEALED RIGID METAL DUCTING SHALL NOT EXCEED 35 FEET. DEDUCT 5 FEET FROM THE ALLOWABLE LENGTH FOR EVERY 3.5° RADIUS 90 DEGREE ELBOW AND TWO AND A HALF FEET FOR EVERY 45 DEGREE FITTING. DRYER VENTING SHALL BE INDEPENDENT OF ANY OTHER SYSTEMS (CHIMNEYS OR EXHAUST VENTS). TERMINATION OF DRYER VENTING MUST BE TO THE EXTERIOR WITH A PROPER HOOD OR ROOF JACK EQUIPPED WITH A BACK-DRAFT DAMPER. SMALL ORIFICE METAL SCREENING SHOULD NOT BE PART OF THE HOOD OR ROOF JACK AS THIS WILL ACCELERATE LINT ACCUMULATION AND BLOCKAGE. THE HOOD OPENING SHOULD POINT DOWN AND EXHIBIT 12 INCHES OF CLEARANCE BETWEEN THE BOTTOM OF THE HOOD AND THE GROUND OR OTHER OBSTRUCTION. VERIFY APPLIANCE MANUFACTURER'S

MECHANICAL NOTES:

HEATING AND COOLING SYSTEM(S) ARE PER MECHANICAL SHEETS

DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019" SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (CEC SEC 406.1.4(2)).

PER ENERGY REQUIREMENTS (CEC SECTION 150-(E)-1-B). CLOSABLE METAL OR TEMPERED GLASS DOORS SHALL COVER THE ENTIRE OPENING OF THE FIRE BOX. PROVIDE OUTSIDE COMBUSTION AIR INTAKE DIRECTLY INTO THE FIREBOX A MINIMUM OF 6 SQUARE INCHES IN AREA AND EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER. (NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE OVER SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN EXTERIOR WALL).

CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14' WITH TWO ELBOWS. THIS MAX. RUN SHALL BE REDUCED 2' FOR EVERY ELBOW IN EXCESS OF TWO.

A PERMANENTLY AFFIXED SIGN SHALL BE INSTALLED IN THE MECHANICAL ROOM WHICH STATES THE FOLLOWING: "ALL GUTTERS, DOWNSPOUTS AND CATCH BASINS SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS BEFORE EACH WINTER AND AFTER EACH SIGNIFICANT STORM EVENT"

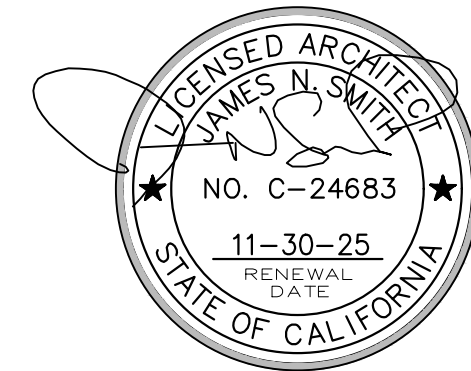
MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS, EXCEPT AS OTHERWISE SPECIFIED IN THIS CODE. TOILET ROOMS, BATHROOMS AND KITCHENS SHALL NOT BE CONSIDERED HAZARDOUS OR NOXIOUS (R303.5.1)

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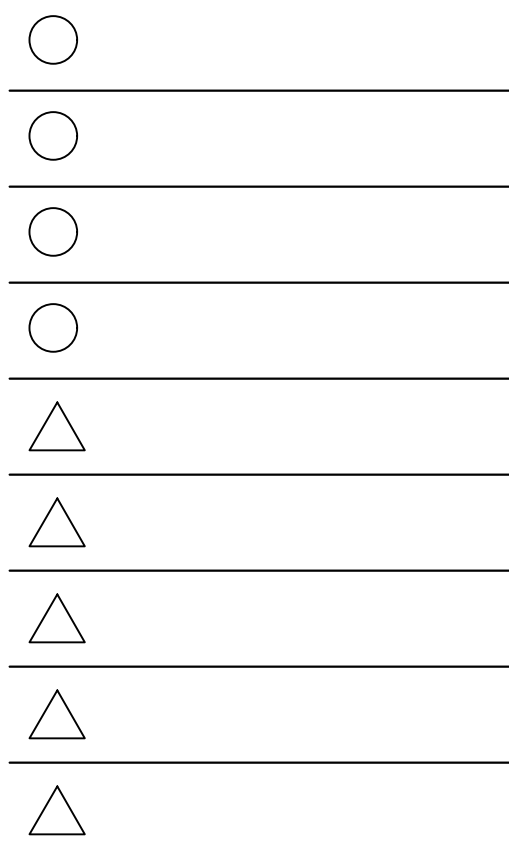
SHEET TITLE

DETAILS MECHANICAL

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2 06-12-25
DRIVEWAY REVISIONS



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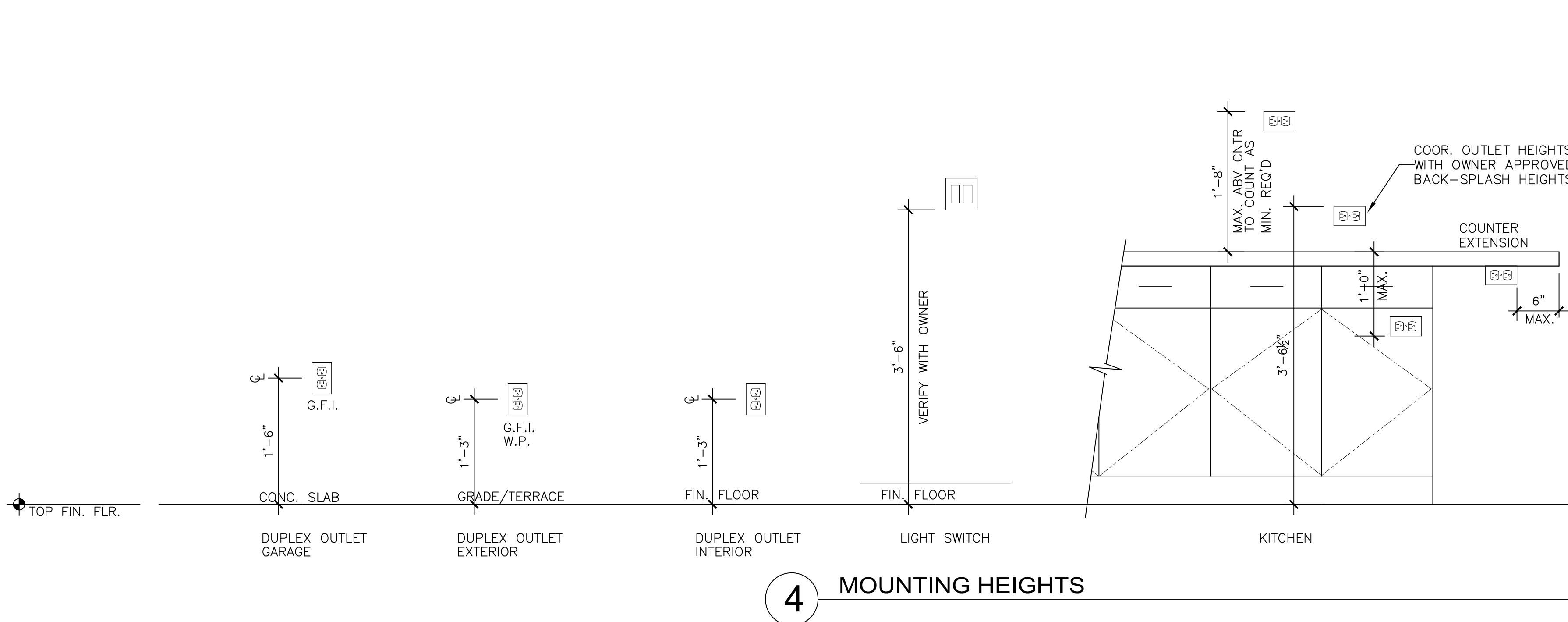
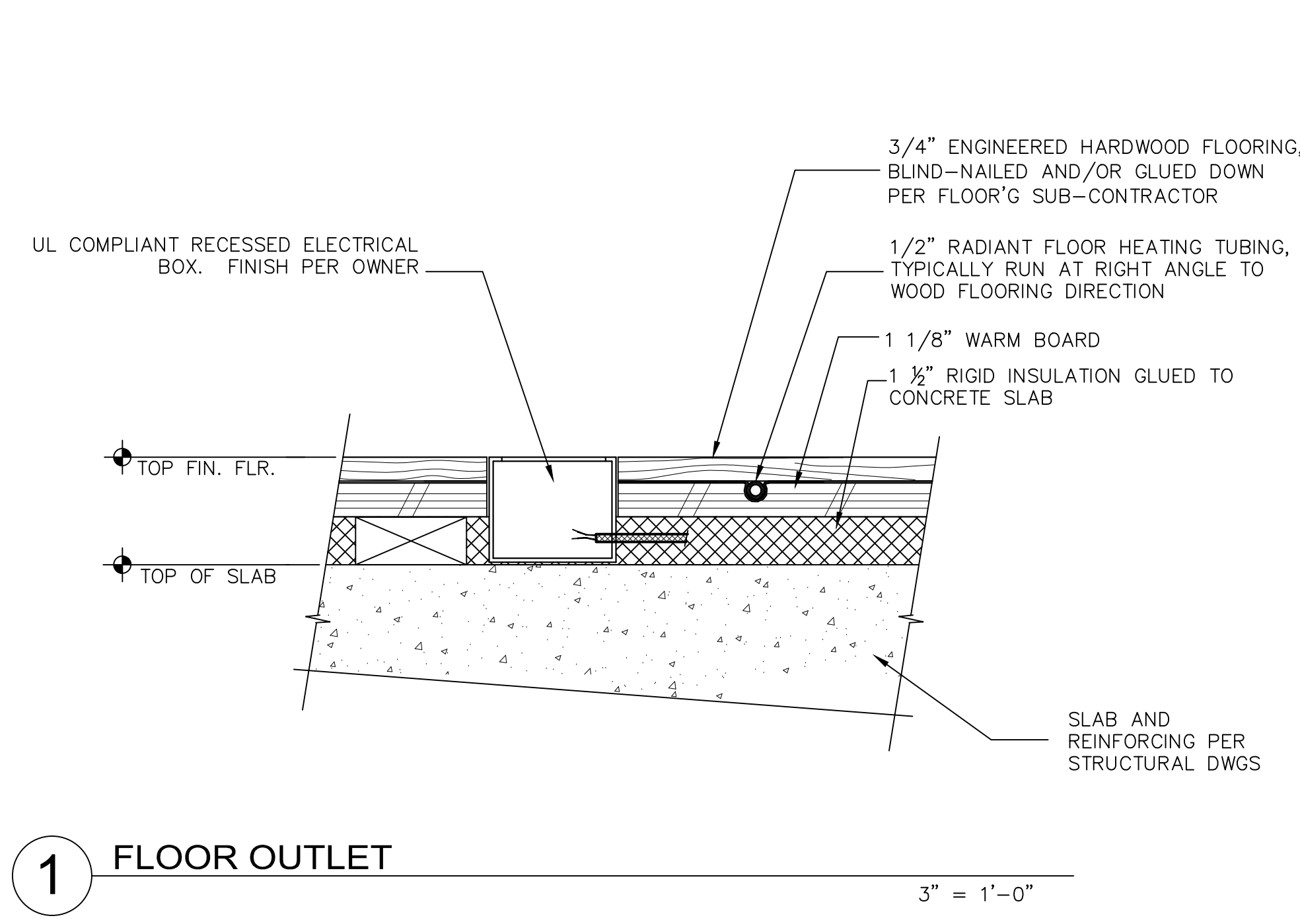
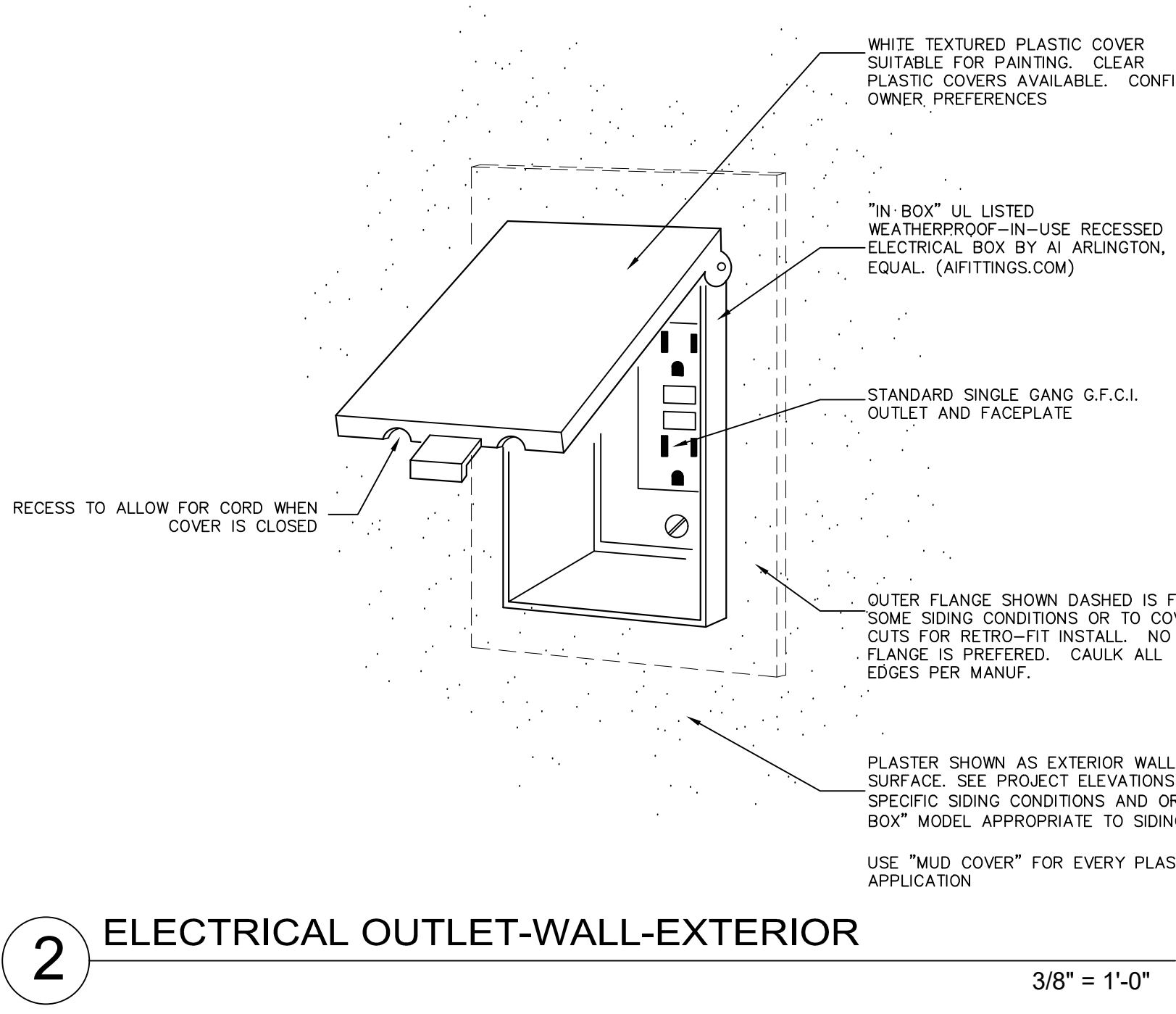
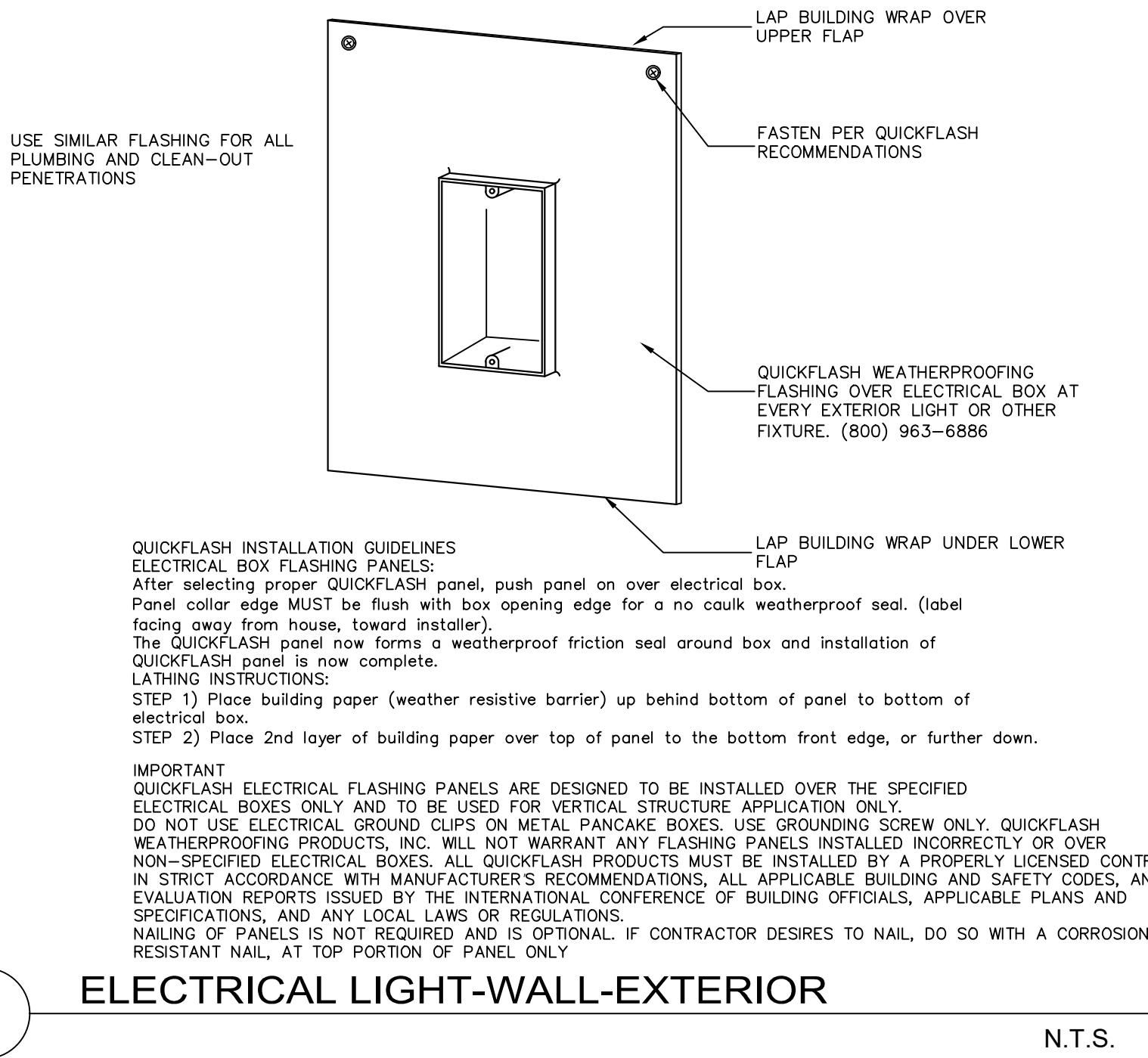
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ELECTRICAL NOTES:

GENERAL

SEE ELECTRICAL SYMBOL LEGEND NOTES FOR ADDITIONAL INFORMATION.

ALL NEW ELECTRICAL WORK SHALL MEET 2019 CALIFORNIA ELECTRICAL CODE

ELECTRICIAN TO CONDUCT AN ON-SITE WALK THRU WITH THE OWNERS AND ARCHITECT TO DETERMINE FINAL LOCATIONS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, AUDIO/VISUAL, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN. OBTAIN OWNER APPROVAL AS PER STYLE AND COLOR OF SWITCHES AND OUTLETS.

MAIN ELECTRICAL SERVICE PANELS: SIZE PER PLAN, GROUNDING METHOD PER ELECTRICIAN, INCLUDING UFER GROUNDING, OR CONCRETE-ENCASED-ELECTRODE PER CEC 250-81(C).

ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.

EACH MULTIWIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.

IN REMODELS, ALL NEW ELECTRICAL WORK SHALL MEET CURRENT CALIFORNIA CODES.

SEE A4.0 SHEETS FOR LIGHTING INFORMATION AND LAYOUT

LIVING AREAS / HALLWAYS

RECEPTACLE OUTLETS IN EVERY MAIN HABITABLE ROOM SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE OF THE WALL IS MORE THAN 6' HORIZONTALLY FROM AN ELECTRICAL OUTLET PER CEC 210-52. ANY SPACE 2' OR MORE IN WIDTH INCLUDING SPACE MEASURED AROUND CORNERS AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. FLOOR RECEPTACLE SHALL NOT BE COUNTED AS A PART OF THE REQUIRED RECEPTACLES UNLESS WITHIN 18" OF WALL.

RECEPTACLE OUTLETS AT HALLWAYS 10' OR LONGER SHALL HAVE AT LEAST ONE OUTLET PER CEC 210-52(H).

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHOULD BE INSTALLED (CEC 210-70): IN EVERY HABITABLE ROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND OUTDOOR ENTRANCES.

ALL 120-VOLT 15 AND 20 AMP OR BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, KITCHENS, LAUNDRY AREAS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE. GUESTROOMS (210-18) AND GUEST SUITES THAT ARE PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI (CEC 210.12(B)).

ALL RECEPTACLE CIRCUITS SHALL NOT BE COMBINED WITH LIGHTING LOADS AT LIVING OR EXITING AREAS.

KITCHEN

ALL KITCHEN CIRCUITS, INCLUDING FOR DISHWASHERS AND GARBAGE DISPOSALS, SHALL BE AFCI/GFCI PROTECTED.

KITCHEN: ALL ELECTRICAL OUTLETS THAT SERVE THE COUNTER TOPS IN THE KITCHEN SHALL HAVE GFCI (GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER CEC 210-8(A)(6)).

THERE SHALL BE A MINIMUM OF TWO SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN, LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY (CEC ARTICLE 210-52(b)).

ALL KITCHEN COUNTERTOPS WIDER THAN 12" SHALL BE SERVED BY AN ELECTRICAL OUTLET PER CEC 210-52(C). MIN. OF (2) 20 AMP CIRCUITS SERVING COUNTERTOPS SHALL BE DUAL AFCI/GFCI PROTECTED RECEPTACLES ONLY.

KITCHEN AT ISLANDS AND PENINSULAR COUNTERTOPS SHALL HAVE AT LEAST ONE ELECTRICAL OUTLET THAT SERVES THE COUNTERTOP PER CEC 210-52(C). OUTLETS SHALL BE MOUNTED NOT MORE THAN 12" BELOW COUNTERTOP. RECEPTACLES MAY NOT BE MOUNTED UNDER ANY OVERHANG GREATER THAN 6".

A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, OR OTHER SIMILAR AREAS. (CEC 210.11(C)(1)).

ELECTRICAL OUTLETS FOR THE KITCHEN COUNTERS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2' FROM AN ELECTRICAL OUTLET (4' O.C. MAX.) AND WITHIN 24" OF EDGE AND/OR BREAK IN THE COUNTERTOP PER CEC 210-52(C). REFRIGERATORS ARE REQUIRED TO BE DUAL AFCI/GFCI PROTECTED AND MAY BE ON ONE OF THE CIRCUITS SERVING COUNTERS.

FIXED APPLIANCES AND MICROWAVE SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED CIRCUITS.

KITCHEN SINK SHALL HAVE AN ELECTRICAL OUTLET WITHIN 24" OF BOTH SIDES OF THE SINK, MEASURED FROM THE EDGE OF THE SINK

BATHROOM

BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION PER NEC 210-8(A)(1). A GFCI PROTECTED OUTLET SHALL BE INSTALLED NEXT TO EACH BATHROOM BASIN PER CEC 210-52(D).

BATHROOM ELECTRICAL OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. THE CIRCUIT(S) SHALL HAVE NO OTHER ELECTRICAL OUTLETS PER CEC 210.11(C)(3)

AT LEAST ONE GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN (SINK) (CEC 210.52(D)).

LAUNDRY / GARAGE / ACCESSORY BLDGS / EXTERIOR

ALL LAUNDRY ROOM RECEPTACLES, INCLUDING WASHING MACHINE (BUT NOT DRYER) SHALL BE AFCI PROTECTED PER CEC 210.12(A)

ONE ADDITIONAL 20 AMP BRANCH ELECTRICAL CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLETS REQ'D PER CEC 210.52(F). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2))

ELECTRICAL CLOTHES DRYERS AND ELECTRIC KITCHEN RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER CEC 250-59.

ELECTRICAL PANELS IN GARAGE WALL SHALL BE SURFACE MOUNTED OR HAVE FULL 5/8" TYPE "X" GYPSUM BOARD LINING BEHIND THE PANEL. MONTEREY COUNTY REQUIREMENT.

GARAGE, ACCESSORY BLDGS, AND BASEMENT RECEPTACLES SHALL HAVE GFCI PROTECTION PER CEC 210-8(A).

125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP INSERTED PER CEC 406.9 (B) (1)

EXTERIOR OUTLETS SHALL HAVE A WEATHERPROOF ENCLOSURE & GFCI PER NEC 410-57(A). GFCI OUTLET SHALL BE INSTALLED AT THE FRONT AND REAR OF THE HOUSE PER CEC 210-52(E).

LAUNDRY, UTILITY AND WET BARS SHALL HAVE GFCI OUTLETS WHEN RECEPTACLE IS WITHIN 6' OF THE OUTSIDE EDGE OF THE SINK.

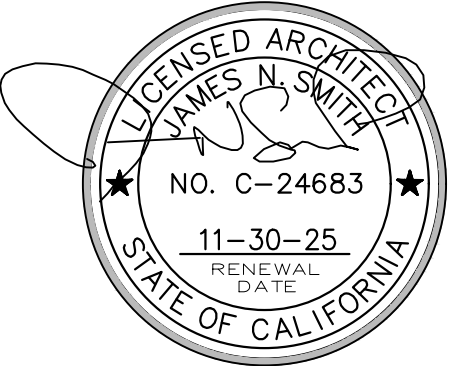
PROVIDE LISTED RACEWAY TO ACCOMMODATE A DEDICATED 200v v BRANCH CIRCUIT FOR FUTURE ELECTRIC VEHICLE CHARGING

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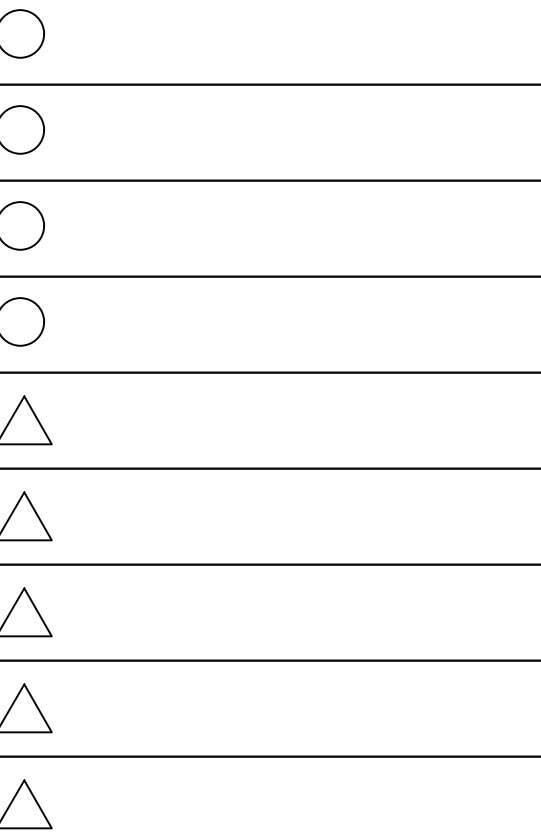
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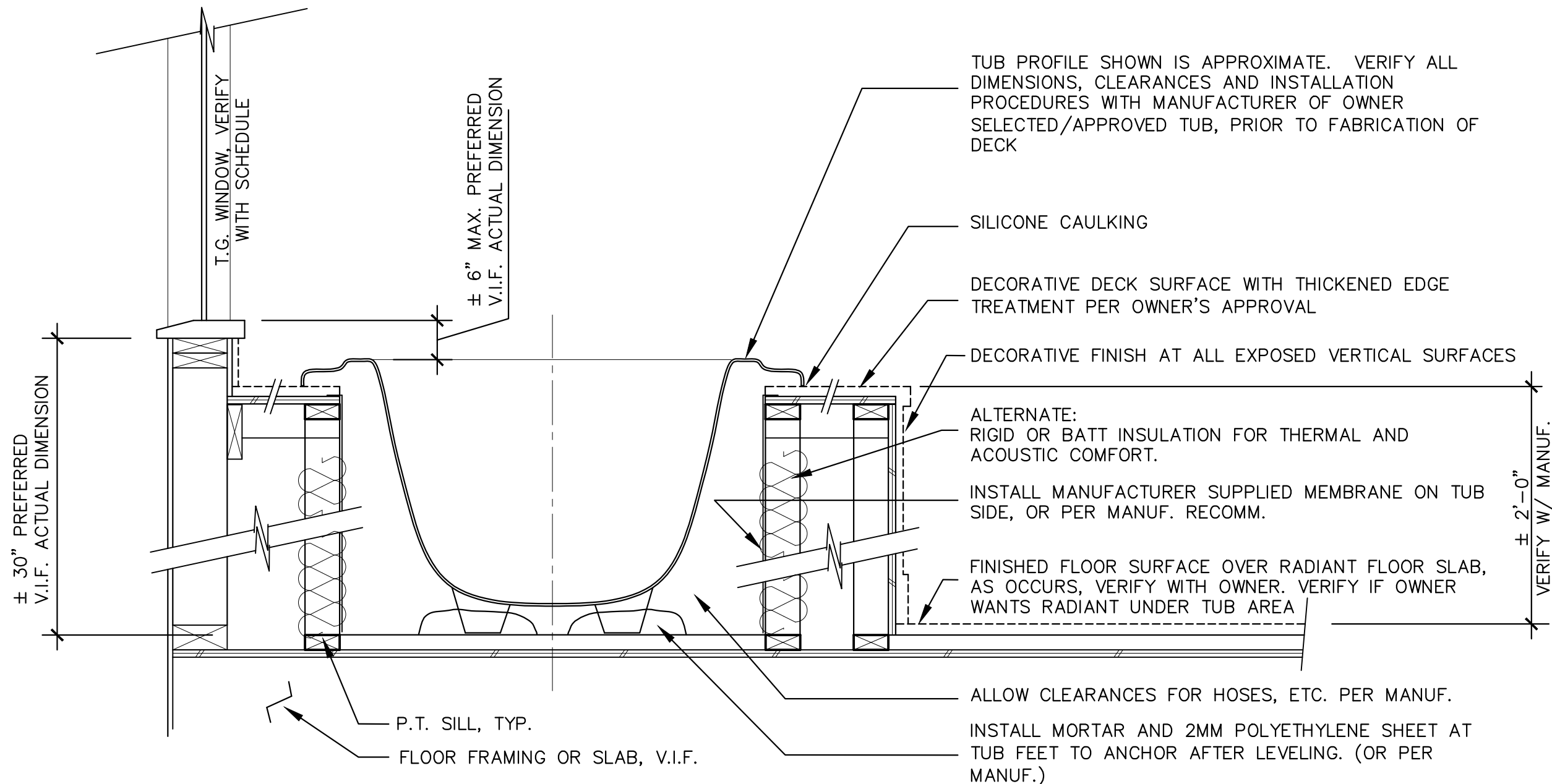
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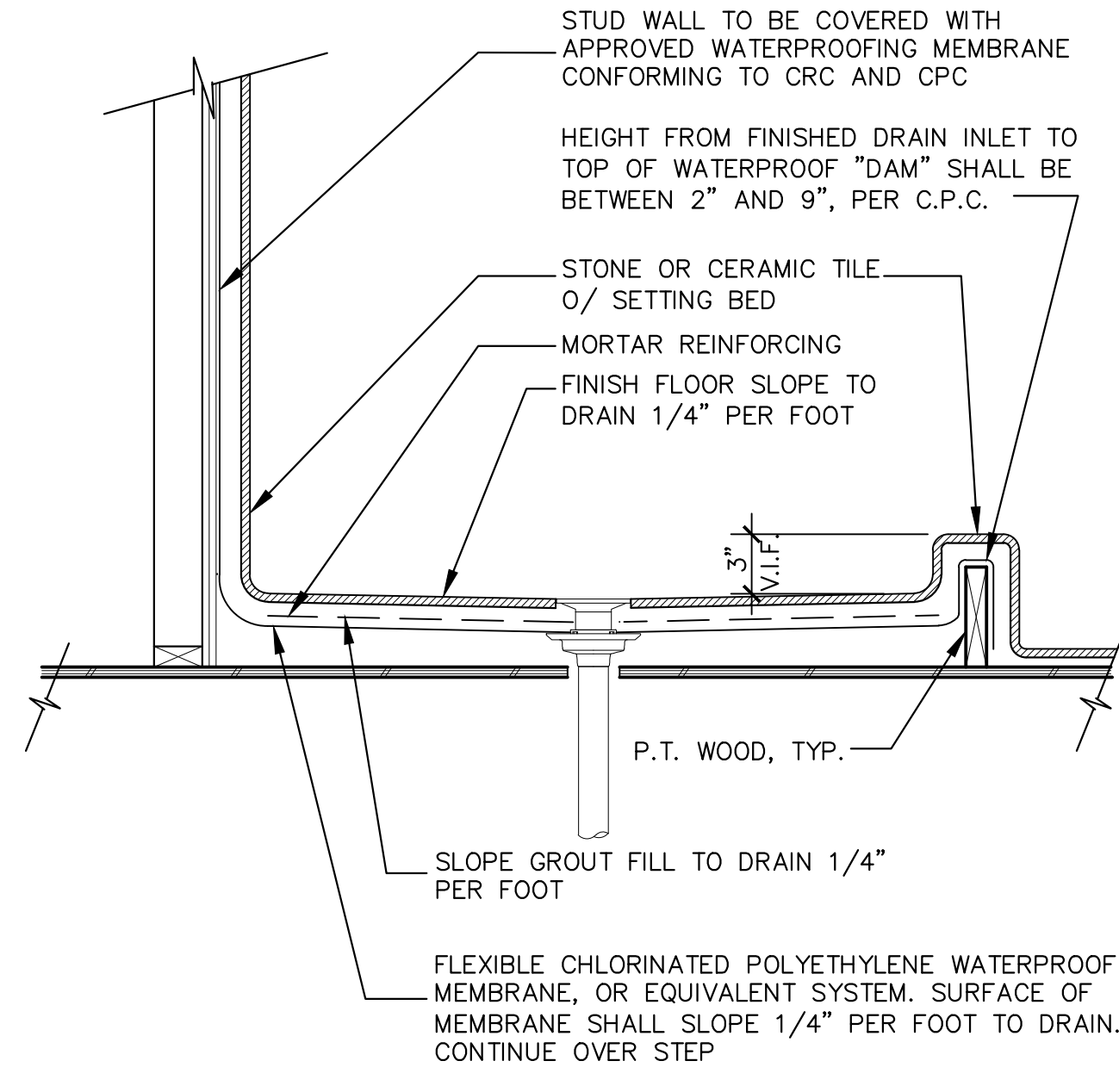
A8.1 ELEC

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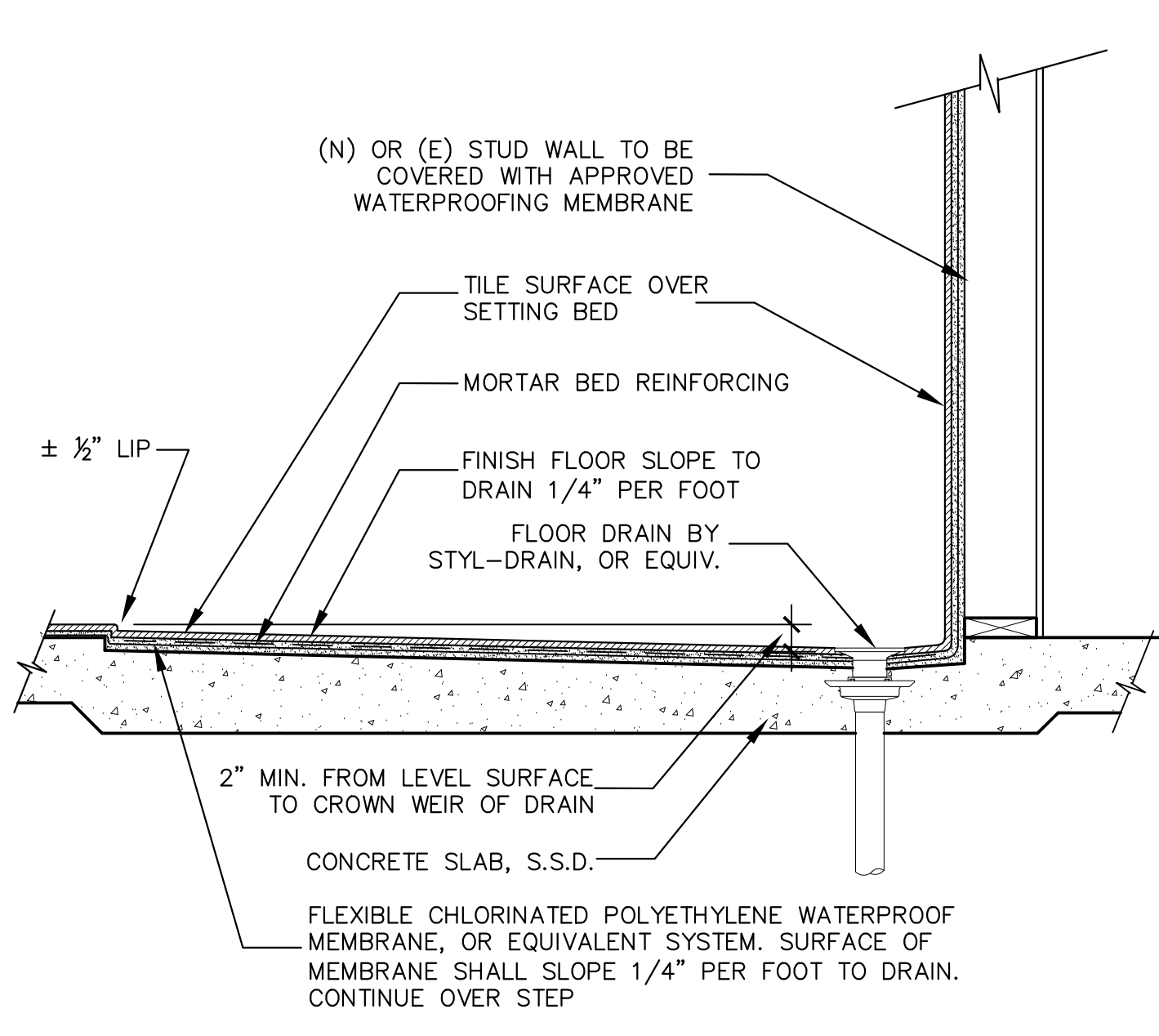
6 BATHTUB DECK - DROP-IN STYLE TUB

1" = 1'-0"



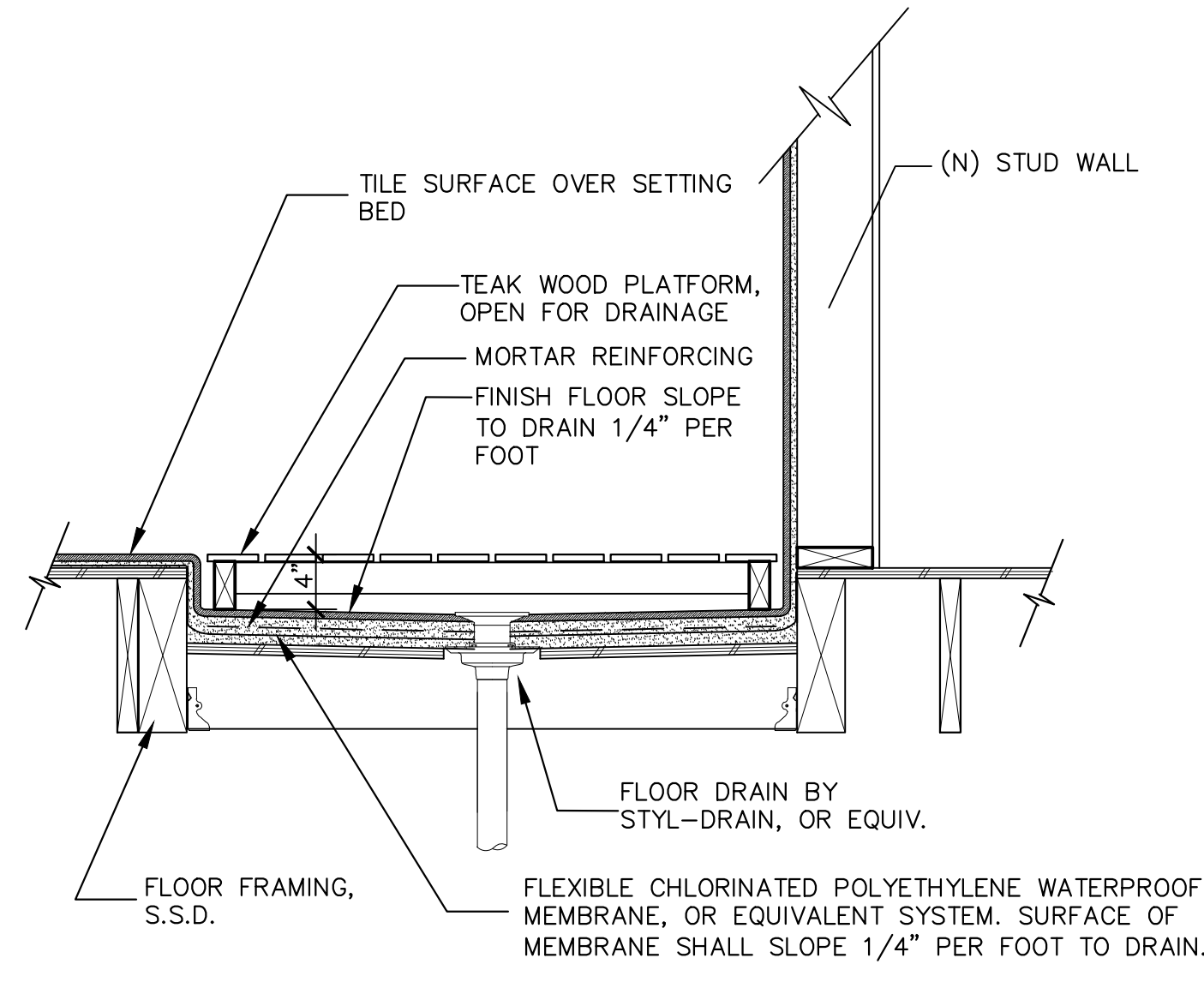
3 CURB SHOWER PAN

NOT TO SCALE



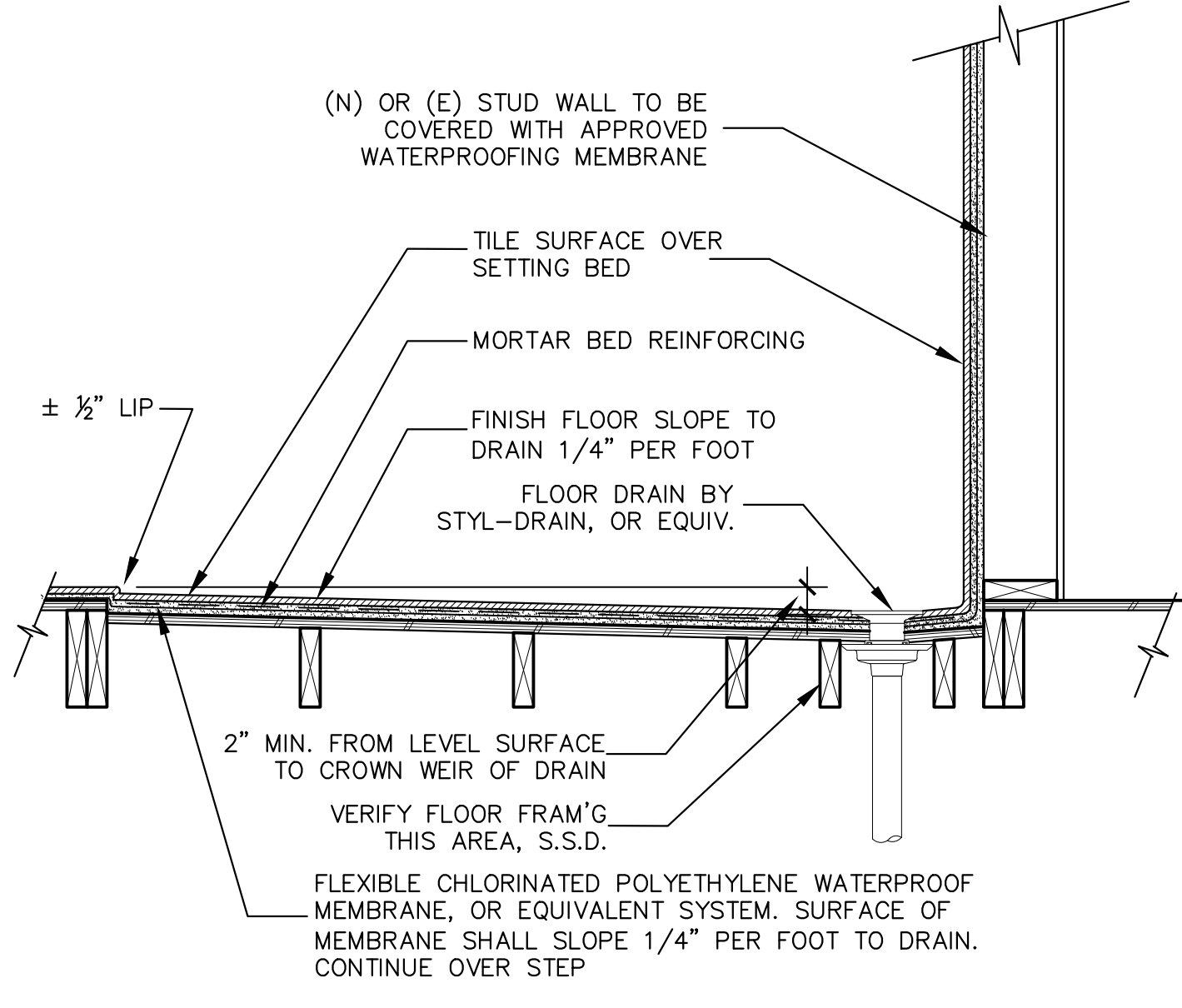
1 ROLL-IN SHOWER PAN - CONCRETE

1" = 1'-0"



4 RECESSED SHOWER PAN - WOOD FLOOR

1" = 1'-0"



2 ROLL-IN SHOWER PAN - WOOD FLOOR

1" = 1'-0"

PLUMBING NOTES:

GENERAL

PLUMBING PLAN (INCLUDING GAS LINE LAYOUT AND SIZING) SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.

WATER PRESSURE IN THE BUILDING SHALL BE LIMITED TO 50 TO 60 P.S.I. OR LESS. INSTALL/UPGRADE PRESSURE REGULATOR AS REQUIRED.

PROVIDE PRESSURE ABSORBING DEVICES, EITHER AN AIR CHAMBER OR APPROVED MECHANICAL DEVICE THAT WILL ABSORB HIGH PRESSURE RESULTING FROM THE QUICK CLOSING OF QUICK-ACTING VALVES. (CPC 609.10).

PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

CONTRACTOR TO PROVIDE ACCESS PANEL (MIN 12"x12") OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP-JOINT CONNECTIONS. (CPC 318.5)

PLUMBING LINES UTILIZED AS GROUNDS ARE PROHIBITED.

ALL HOT WATER FIXTURES THAT HAVE MORE THAN 10' OF PIPE FROM THE FIXTURE TO THE HOT WATER HEATER SERVING THE FIXTURE SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.

THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120° FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC SECTION 414.5)

PER GREEN BUILDING CODE, THE FLOW RATES OF WATER FIXTURES THAT ARE NOT UNDERGOING ALTERATION

NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE (0.25% LEAD) IN PLUMBING SYSTEMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E. PIPING, FITTINGS AND FIXTURES TO/AT KITCHEN AND BATHROOM SINKS).

CONTRACTOR OR PLUMBING SUB-CONTRACTOR SHALL PROVIDE THE TESTING AND LISTING DOCUMENTATION TO THE BUILDING DEPARTMENT INSPECTION STAFF FOR ALL PLUMBING PRODUCTS CONVEYING POTABLE WATER SHOWING THAT EACH MEETS THE LEAD FREE TESTING REQUIREMENTS OF NSF/ANSI 61 ANNEX G.

KITCHEN

KITCHEN SINK, UTILITY SINK AND BAR SINK FAUCETS SHALL EMIT A MAXIMUM OF 1.8 G.P.M. AT 60 P.S.I. FAUCETS MAY INCREASE TO 2.2 G.P.M. FOR TEMPORARY POT FILLING BUT MUST DEFAULT BACK TO 1.8 G.P.M. (MPWMD ORD 170)

BATHROOM

LAVATORY SINK FAUCETS IN BATHROOMS SHALL EMIT A MAXIMUM OF 1.2 G.P.M. AT 60 P.S.I. (MPWMD ORD. 170)

TOILETS, EITHER FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE SHALL BE 1.28 GALLONS MAX. PER FLUSH (U.O.N.). TOILET ENCLOSURE (IF ANY) SHALL HAVE A MINIMUM CLEAR WIDTH OF 30", AND THERE SHALL BE 24" CLEAR AREA IN FRONT OF TOILET STOOL.

SHOWERS

PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, AT ALL SHOWER LOCATIONS.

ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM CLEAR THRESHOLD OPENING OF 22" AND THE INTERIOR FLOOR AREA MUST BE A MINIMUM OF 1,024 SQ. IN., AND ALSO CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE OF CLEAR AREA.

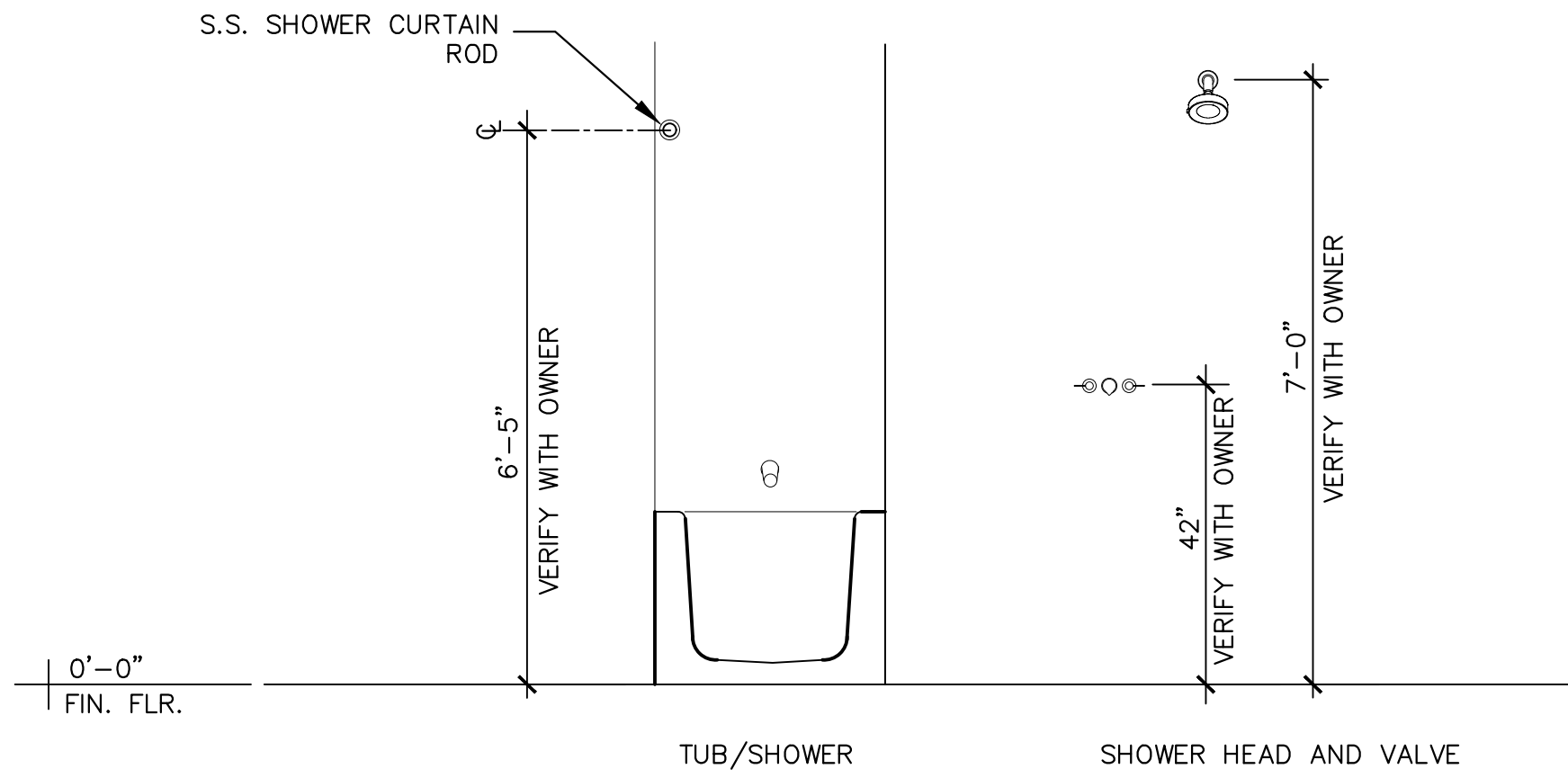
SHOWER/BATH DOOR, IF USED, SHALL BE TEMPERED GLASS AND SHALL OPEN OUTWARD AND BE A MINIMUM CLEAR OPENING WIDTH OF 22". OPENING SHALL ALSO BE A MINIMUM OF 22" PER CPC 408.5.

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72". (CRC SECTION R307.2)

LOCATION OF VALVES AND HEADS: CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. CPC 411.10

SHOWER HEADS, RAIN BARS OR BODY SPRAY NOZZLES MUST BE DESIGNED AND MANUFACTURED TO EMIT A MAXIMUM OF 1.8 GALLONS PER MINUTE OF WATER. ALL SHOWER FIXTURES SHOULD BE INSTALLED WITH A SCALD PROTECTION VALVE RATED AT 1.8 G.P.M. (CGBSC SEC 4.303.1)

VERIFY ALL DETAILS, TILE SIZES, EDGE CONDITIONS, FINISHES,COLORS AND SEALERS WITH OWNERS PRIOR TO ORDERING OR INSTALLING ALL TILE/STONE.



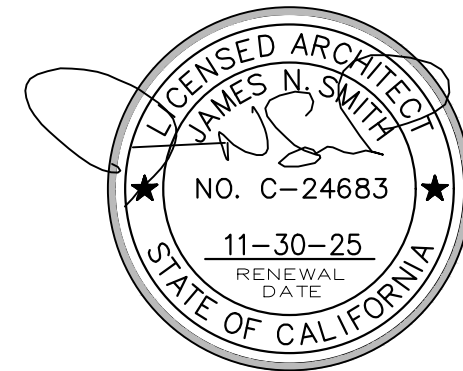
MOUNTING HEIGHTS

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PROJECT/CLIENT

SALADINO FAMILY
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1458 RIATA RD.
PEBBLE BEACH, CA. 93955

SHEET TITLE

DETAILS
PLUMBING

ISSUE REVISIONS

1 02-12-25
PLANNING SUBMITTAL

2 06-12-25
DRIVEWAY REVISIONS

Revision table with 12 rows and 2 columns (Issue, Revisions). The first two rows are filled with the revision information from the table above. The remaining rows are empty for future revisions.

DATE

PROJECT NUMBER

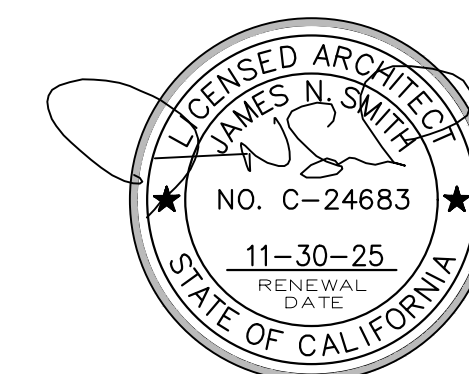
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A8.2 PLUMB

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



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SHEET TITLE

DETAILS

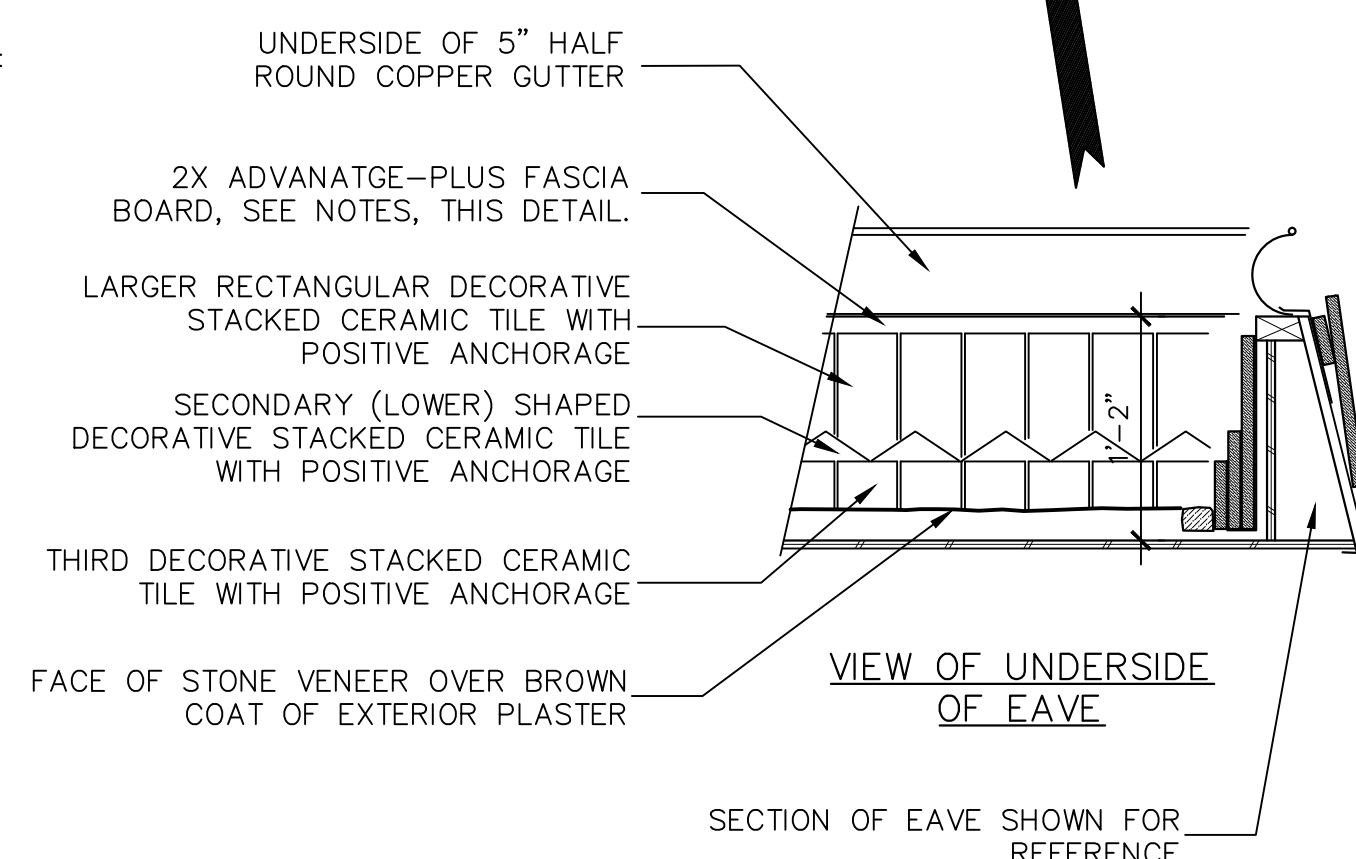
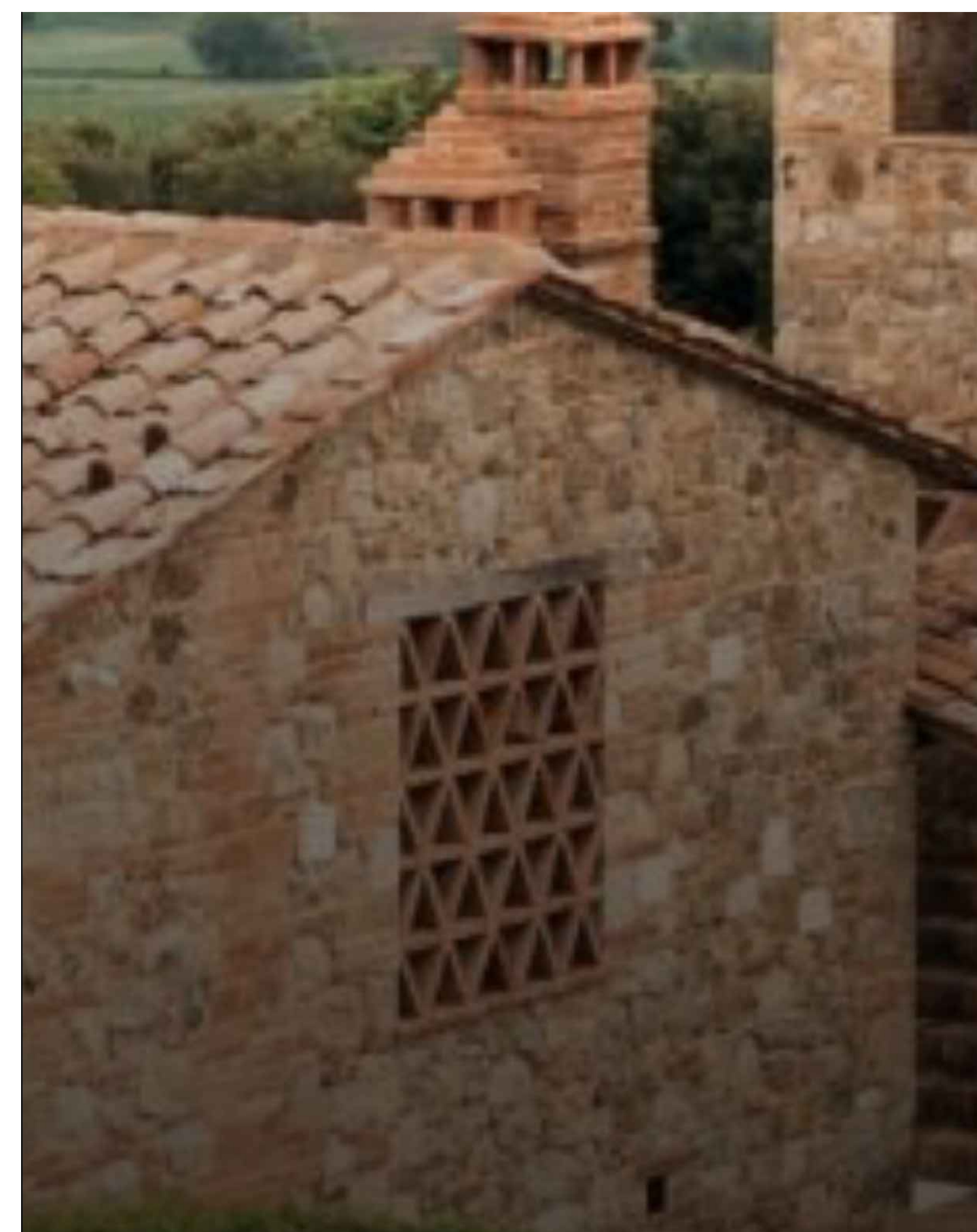
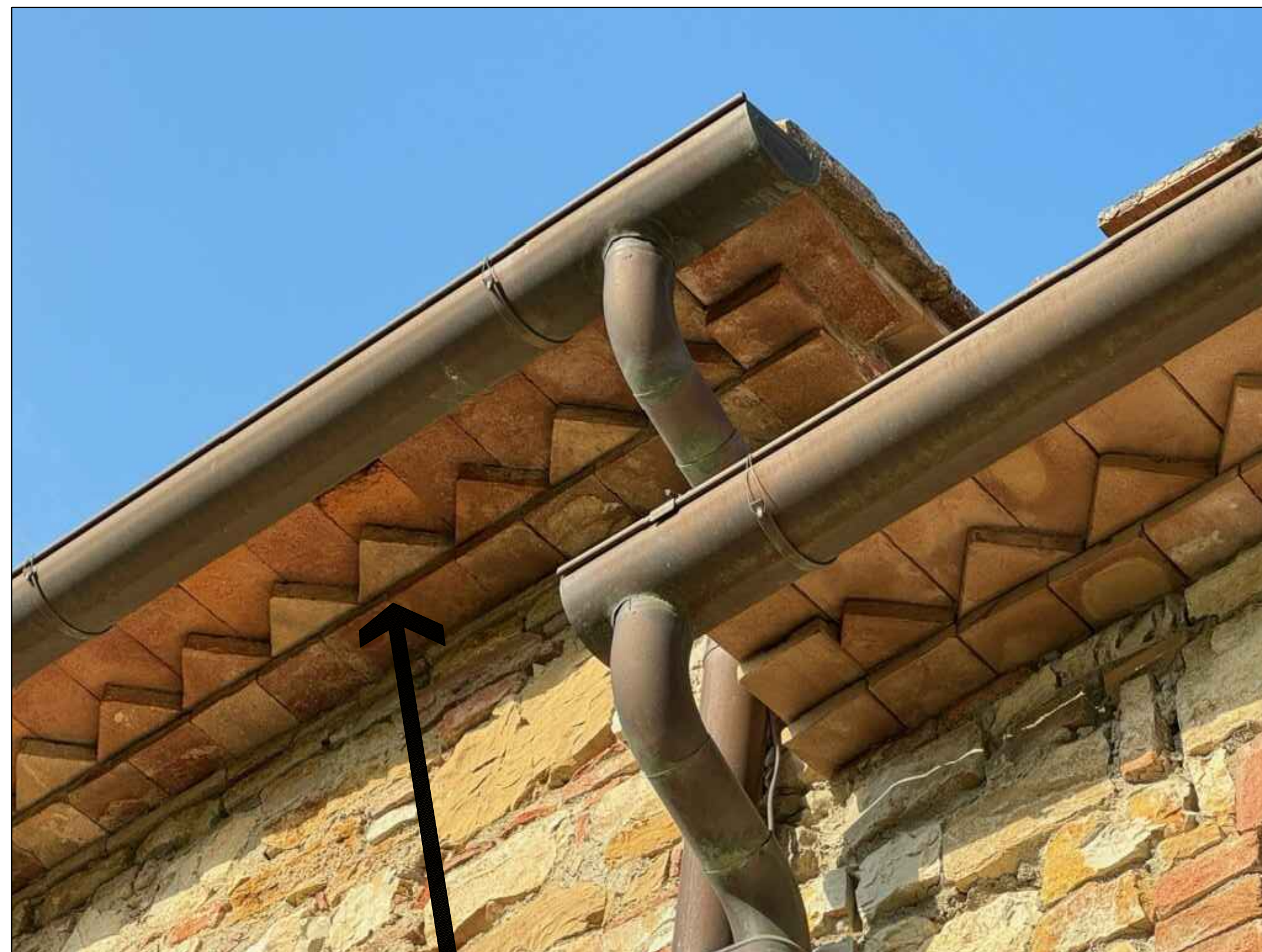
 ISSUE	 REVISIONS
 02-12-25 PLANNING SUBMITTAL	
 06-12-25 DRIVEWAY REVISIONS	
	
	
	
	
	
	
	
	
	
	

DATE _____

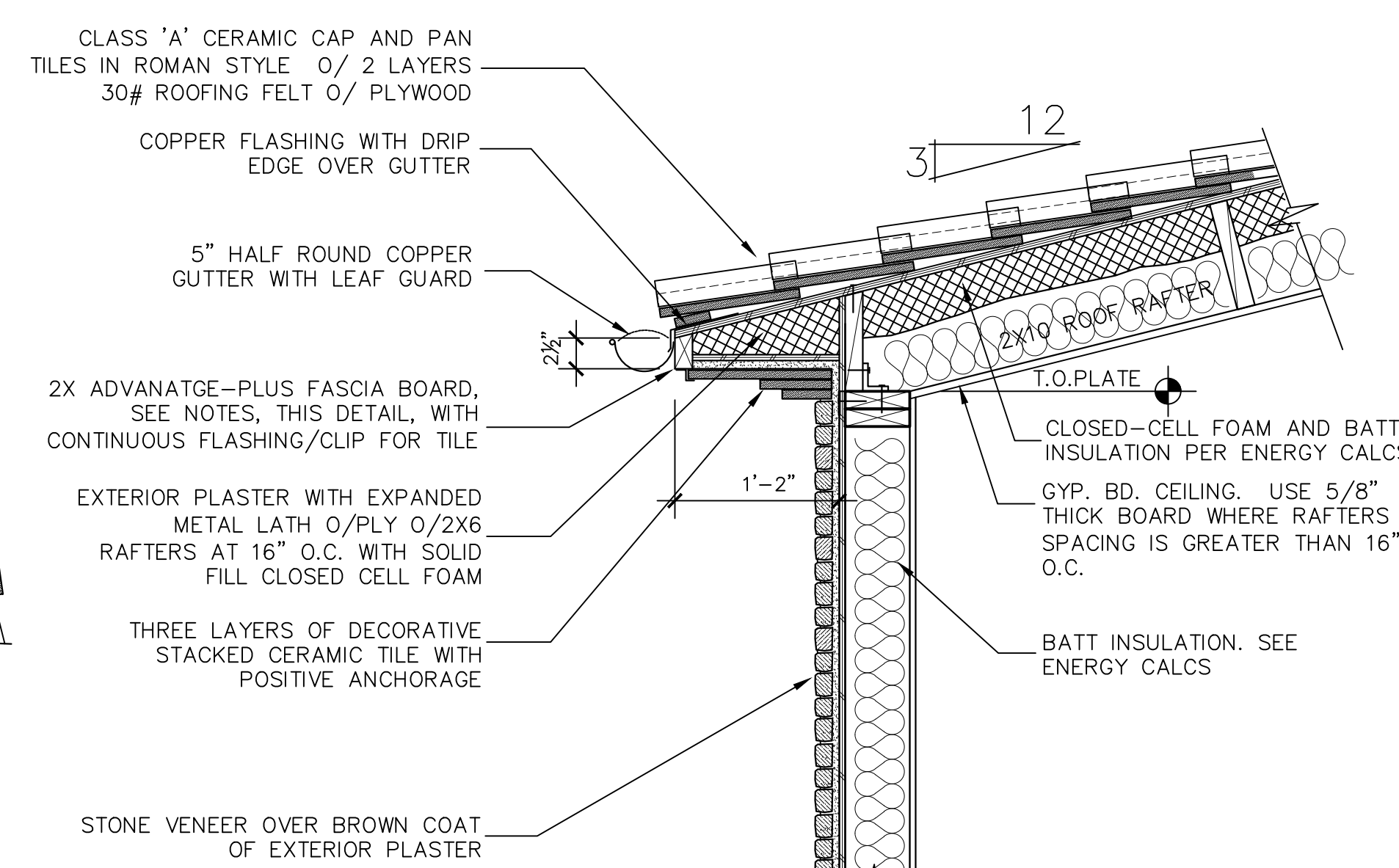
PROJECT NUMBER

SHEET NUMBER

A8.3



2 RAKE DETAIL 1" = 1'-0"



1 ROOF EAVE 1" = 1' 0"

FASCIA NOTES

FASCIA BOARD TO BE PRE-PRIMED PINE, LOSP TREATED, "ADVANTAGE PLUS" BY KELLEHER. FASCIA IS S3S WITH RESAWN TEXTURE AT EXPOSED FACE

USE H.D. GALVY OR S.S. NAILS. PRE-DRILL NAIL HOLES AT ALL MITER AND SCARF JOINTS AND NEAR ENDS

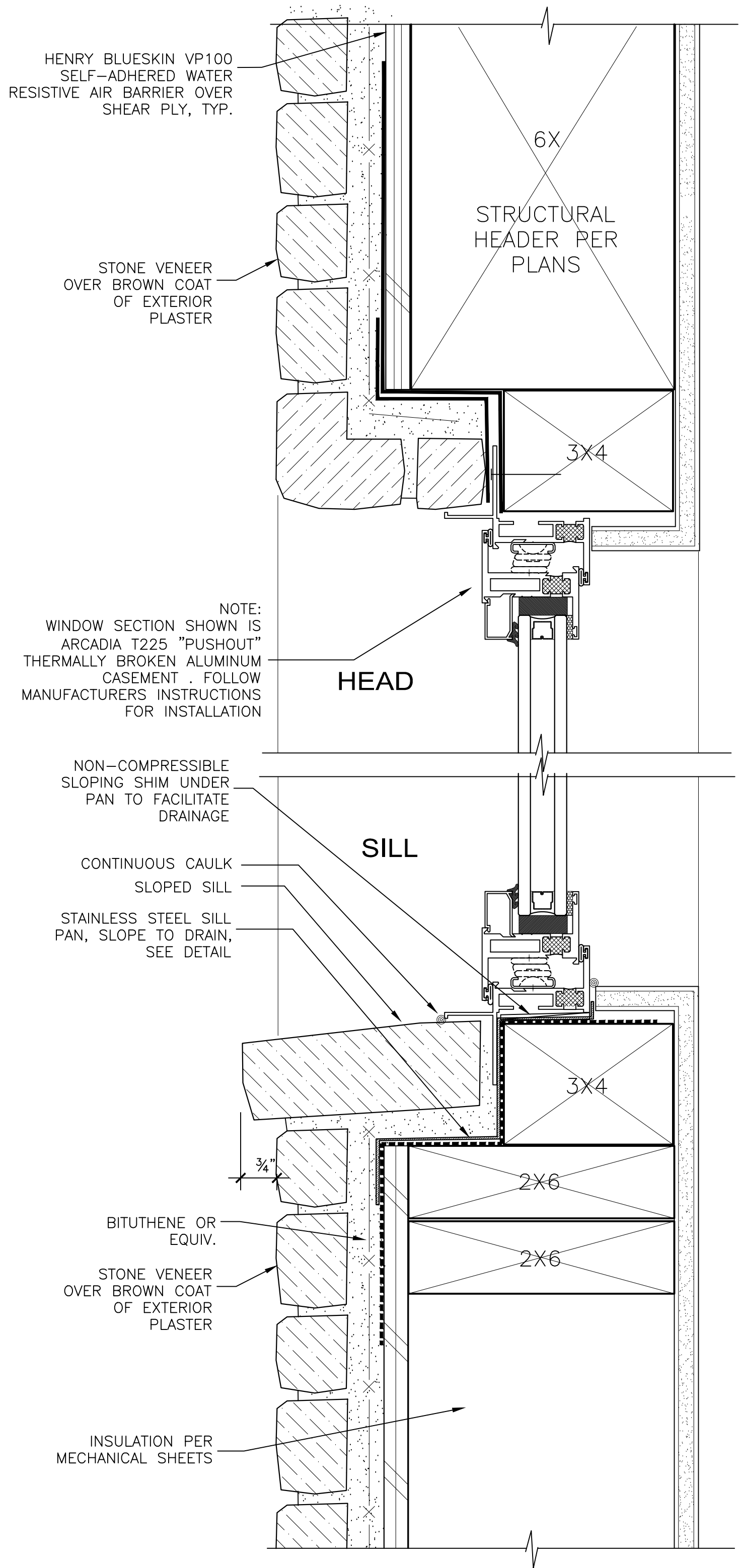
APPLY OIL-BASED, STAIN-BLOCKING SPOT PRIMER
FOR ALL ENDS, CUTS, AND NAIL HOLES PER MANUF

AFTER INSTALLATION, APPLY 2 COATS
HIGH-QUALITY ACRYLIC PAINT PRIOR TO EXPOSURE
TO HEAVY RAINS

MANUF. RECOMMENDS LIGHTER FINISH COLORS TO REFLECT HEAT AND CONTRIBUTE TO A LONGER LASTING FINISHED PRODUCT. DARK COLORS ABSORB HEAT WHICH MIGHT DRY AND WARP WOOD.

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1 "PUSHOUT" CASEMENT T225
THERMAL ALUM WINDOW - STONE VENEER

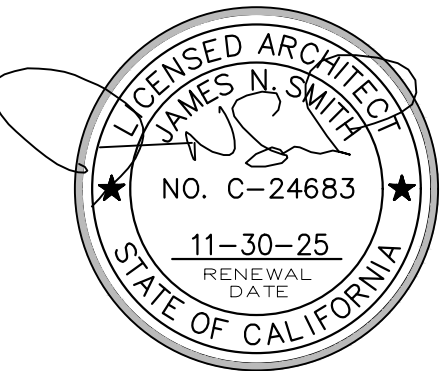
6" = 1'-0"

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1 02-12-25
PLANNING SUBMITTAL

2 06-12-25
DRIVEWAY REVISIONS

3

4

5

6

7

8

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10

11

12

DATE

PROJECT NUMBER

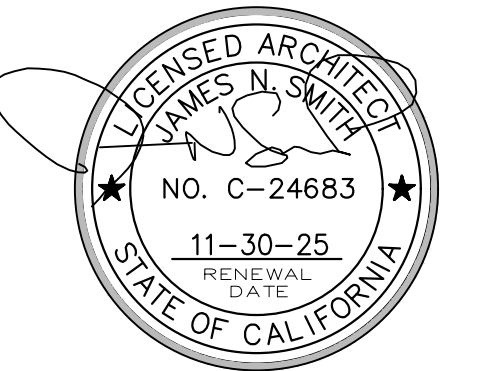
SHEET NUMBER

A8.4

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1) 02-12-25
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2) 06-12-25
DRIVEWAY REVISIONS

DATE _____

PROJECT NUMBER

SHEET NUMBER

A8.5

HENRY BLUESKIN VP100
 SELF-ADHERED WATER
 RESISTIVE AIR BARRIER OVER
 SHEAR PLY, TYP.

STONE VENEER
 OVER BROWN COAT
 OF EXTERIOR
 PLASTER

BITUTHENE OVER BLDG. PAPER OVER
 BITUTHENE. USE "CCW AWP" PRIMER,
 OR AS APPROVED BY BITUTHENE
 MANUF.

SEALANT

ARCADIA THERMAL ALUMINUM T225
 OUT-SWING DOOR. INSTALL PER
 MANUF. RECOMMENDATIONS

6X
 STRUCTURAL
 HEADER PER
 PLANS

3X4

25/6"

HEAD

DISCONTINUOUS SEALANT BETWEEN
 SILL AND SILL PAN TO ALLOW
 DRAINAGE

COLORED SEALANT BETWEEN
 TERRACE FINISH AND PAN

STAINLESS STEEL DOOR PAN OVER
 BITUTHENE, SLOPE TO DRAIN.
 EXTEND VERTICAL LIP UP BEHIND
 THOLD, SOLDER JOINT AT OVERLAP
 AND INCLUDE RETURN LEG UP AT
 SIDEWALLS' MIN. 8" AND 6" BELOW
 SLAB, MIN.

TERRACE FINISH PER PLANS.
 VERIFY WITH OWNER
 SLOPE 1/4" / FT. MIN.

1-1/2" MAX.

CEMENTITIOUS FLOAT BED WITH
 SCHLUTER-DITRA UNCOUPLING
 MEMBRANE. ALL FLOOR /WALL
 TRANSITIONS MUST BE SEALED
 WITH KERDI-BAND

CONTINUOUS SEALANT UNDER
 SILL PAN

NON-COMPRESSIBLE,
 IMPERVIOUS SILL BLOCK

PATIO SUB-SLAB PER STRUCTURAL
 DWGS

1/2" MIN. ASPHALT-IMPREGNATED
 EXPANSION FELT, TYP.

STRUCTURAL SLAB PER
 STRUCTURAL ENGINEER DWGS

CONTINUOUS SEALANT UNDER
 SILL PAN

3/4" THICK TILE/STONE OVER
 MIN. 1/2" MORTAR BED

SCHLUTER-DITRA UNCOUPLING
 MEMBRANE. ALL FLOOR /WALL
 TRANSITIONS MUST BE SEALED
 WITH KERDI-BAND

ALT: NOBLESEAL TS
 COMPOSITE SHEET MEMBRANE

CONTINUOUS SEALANT
 CONTINUOUS

HENRY BLUESKIN
 SELF-ADHERED
 BARRIER OVER

STONE VENEER
 OF EXTERIOR

(EL. ---)
 TOP FIN. FLR.

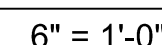
1/2"

1"

(---) EL
 TOP OF SLAB

1 ARCADIA T225
OUTSWING DOOR -THERMAL ALUMINUM-THRESHOLD AT SLAB TERRACE 6" = 1'-0"

JAMB DETAIL



6" = 1'-0"



A8.6

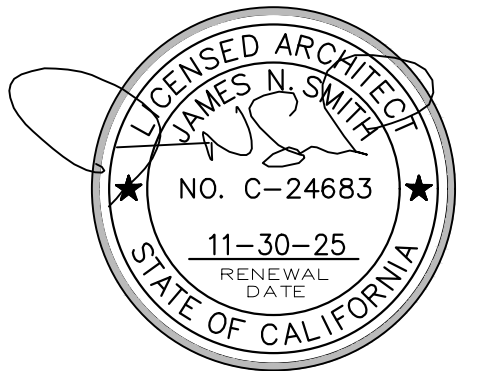
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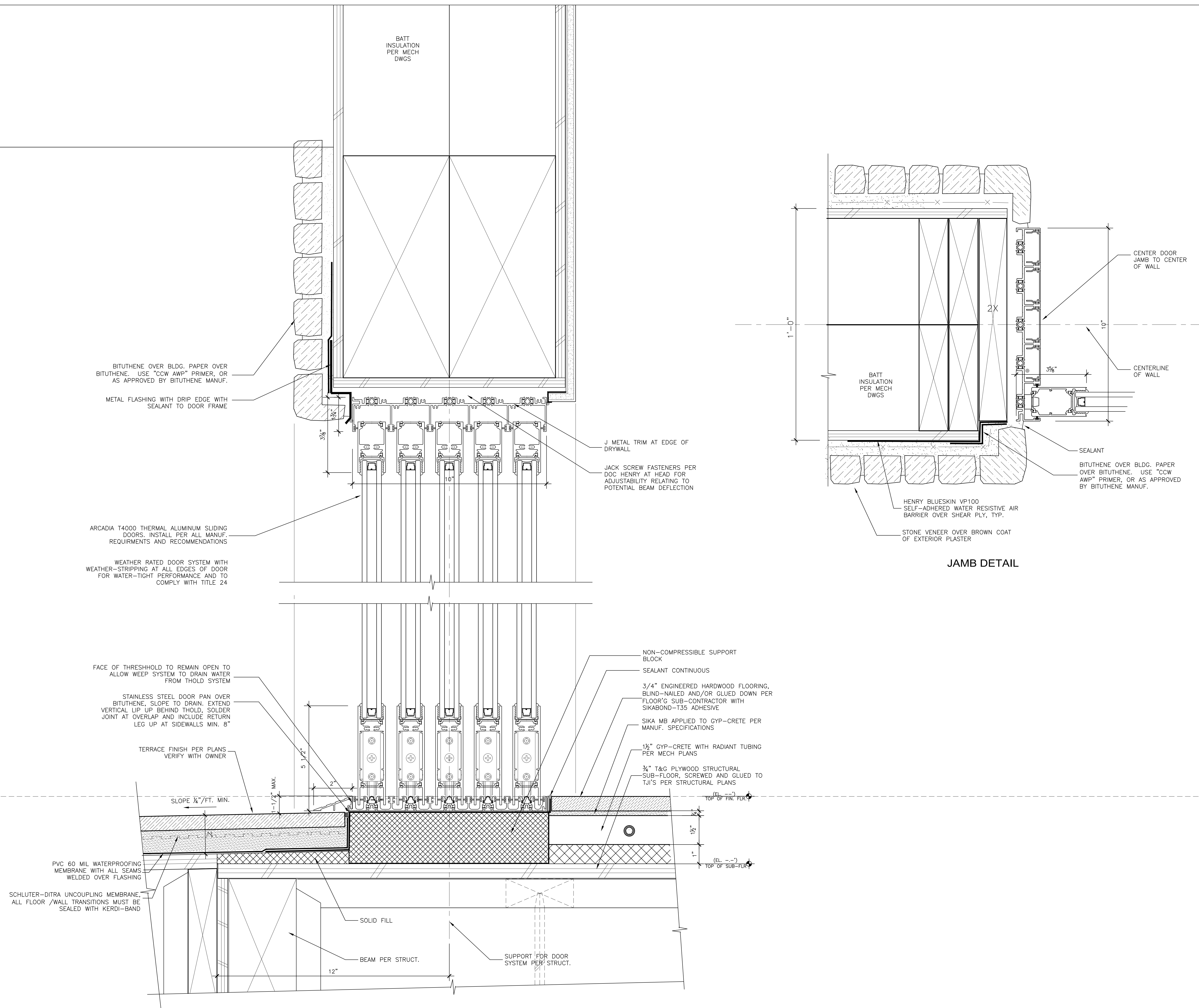
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A8.7

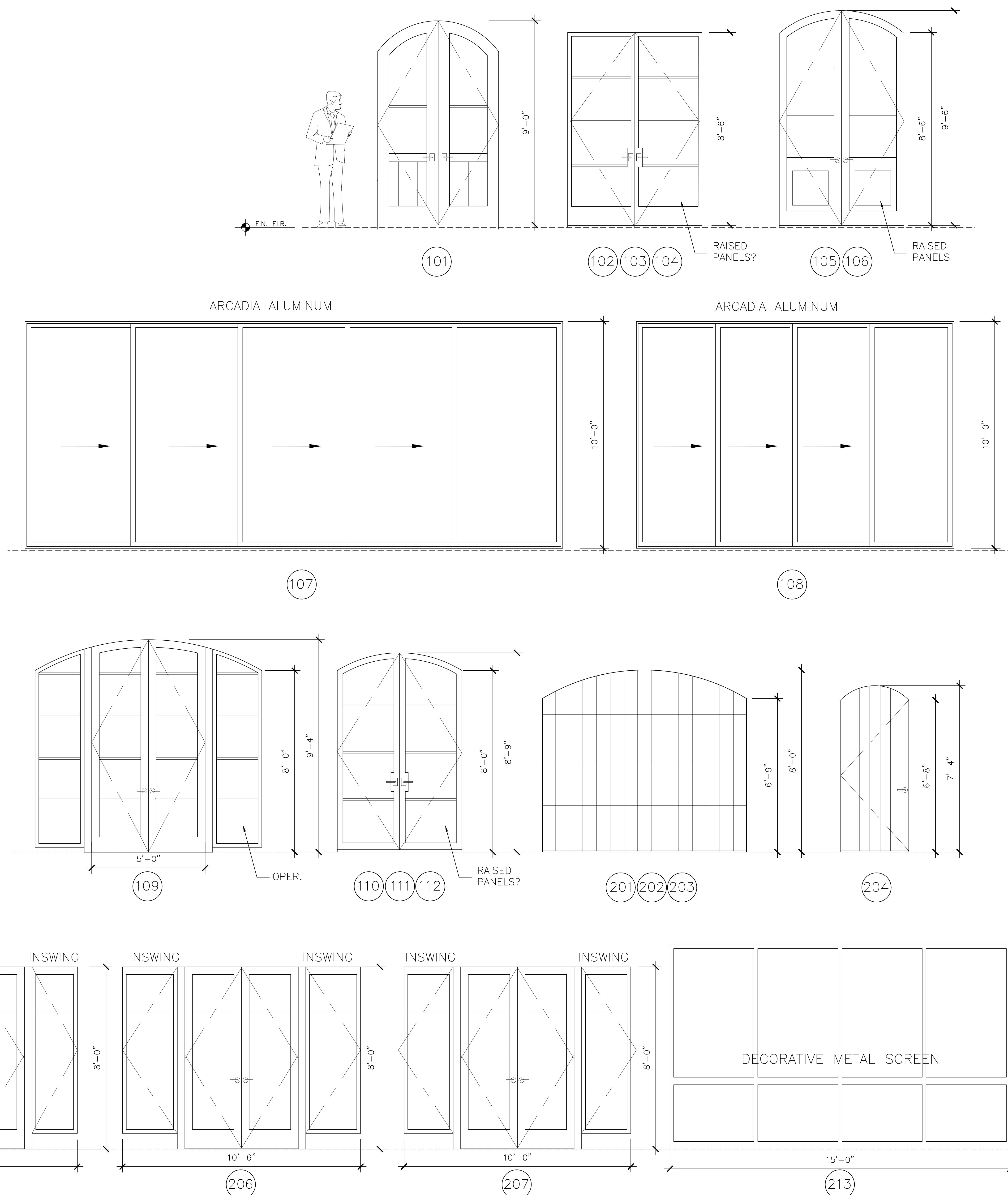
PROGRESS SET - NOT FOR CONSTRUCTION



ARCADIA T4000
SLIDING DOORS -THERMAL ALUMINUM-THRESHOLD AT FRAMED TERRACE

$$6'' = 1'-0''$$

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DOOR ELEVATIONS

SCALE : 1/2" = 1'-0"

DOOR SCHEDULE

MARK	DOOR SIZE			FINISH MAT'L	CORE	FINISH	ACTION	REMARKS
	WIDTH	HEIGHT	THICK.					
EXTERIOR—MAIN LEVEL								
101	5'-4"	9'-0"	1-3/4"	WD/GLS	WOOD	STAINED	SWNG	PAIR, ENTRY DOOR SYSTEM — SEE ELEVLS., T.G.
102	5'-11"	8'-6"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA.
103	5'-11"	8'-6"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA.
104	5'-11"	8'-6"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA.
105	5'-6"	8'-6"	—	—	WOOD	PAINT	IN-SWNG	PAIR, T.G., 4 LITES EA, ARCHED
106	5'-6"	8'-6"	—	—	WOOD	PAINT	IN-SWNG	PAIR, T.G., 4 LITES EA, ARCHED
107	±23'-9"	10'-0"	—	—	ALUM	ANOD	SLIDING	5 EQUAL PANELS, T.G.,
108	±14'-0"	10'-0"	—	—	ALUM	ANOD	SLIDING	4 EQUAL PANELS, T.G.,
109	5'-0"	±9'-4"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA, SIDELITES, ARCHED
110	5'-6"	±8'-9"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA, ARCHED
111	5'-6"	±8'-9"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA, ARCHED
112	5'-6"	±8'-9"	—	—	WOOD	PAINT	SWNG	PAIR, T.G., 4 LITES EA, ARCHED
INTERIOR—MAIN LEVEL								
113	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
114	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
115	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
116	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
117	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
118	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
119	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
120	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
121	3'-2"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	PAIR
122	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
EXTERIOR—LOWER LEVEL								
201	9'-0"	8'-0"	—	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
202	9'-0"	8'-0"	—	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
203	9'-0"	8'-0"	—	WD	SC	STAIN	ROLL-UP	SECTIONAL GARAGE DOOR ARCHED
204	3'-0"	7'-4"	—	WD	SC	PAINT	SWNG	ARCHED
205	5'-0"	8'-0"	—	WD	SC	PAINT	SWNG	PAIR, T.G., 4 LITES EA, OPER. INSWNG SIDELITES
206	5'-0"	8'-0"	—	WD	SC	PAINT	SWNG	PAIR, T.G., 4 LITES EA, OPER. INSWNG SIDELITES
207	5'-0"	8'-0"	—	WD	SC	PAINT	SWNG	PAIR, T.G., 4 LITES EA, OPER. INSWNG SIDELITES
INTERIOR—LOWER LEVEL								
208	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
209	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SLIDING	POCKET
210	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
211	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	PAIR, ARCHED
212	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
213	15'-0"	±9'-2"	—	METAL	SC	PAINT	SLIDING	ORNAMENTAL GATE
214	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
215	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SLIDING	POCKET
216	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
217	3'-0"	8'-0"	—	GLASS	—	—	SWNG	10' WIDE TEMP. GLASS WALL SYSTEM
218	2'-8"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
219	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	20 MIN. FIRE-RATED DOOR WITH SELF-CLOSER
220	4'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	PAIR
221	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
222	3'-0"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	
223	2'-6"	8'-0"	1 3/8"	WD	SC	STAIN	SWNG	

DOOR SCHEDULE NOTES

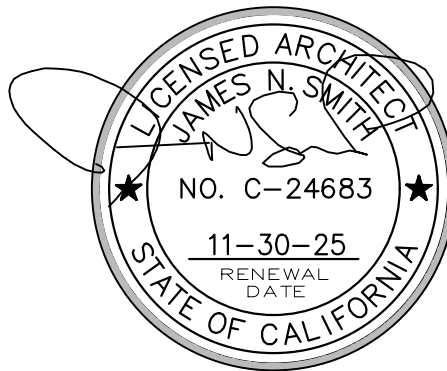
3. DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.
2. CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY THROUGH A REQUEST FOR INFORMATION (R.F.I.)
3. DOOR SIZES SHOWN ARE TO VERIFY DOOR WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/OWNER TO REVIEW AND APPROVE.
4. ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. EXCEPTION IS FOR SMALL DECORATIVE GLASS OR PANEL SANDWICHED BETWEEN TEMPERED LAYERS. INSTALLATION IS PER C.B.C. GLAZING TYPE AND STYLE SHALL MATCH WINDOWS, U.N.O.
5. SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
6. ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, MIN. 20 OZ. & BRONZE, OR OTHER NON-CORROSIVE METAL, HINGES. OUTSWING DOORS SHALL HAVE A 1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR FINISH SURFACE.
7. PER CRC R313.1.1 LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD IF OUT-SWING DOOR, IF IN-SWING, EXCEPTION ALLOWS MAX. 7/8" DROP IN SURFACE
8. ALL EXPOSED EDGES OF DOOR(S) INCLUDING TOP TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING. DOORS ARE TO BE STORED VERTICALLY AT JOB SITE AND OUT OF ALL INCLEMENT WEATHER CONDITIONS AND TO BE HUNG AS QUICKLY AS POSSIBLE, ONCE REACHING THE JOB SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE THE AMOUNT OF TIME FOR ON-SITE STORAGE OF DOORS AND WINDOWS PRIOR TO INSTALL.
9. ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS AND THREE WAY CONNECTING HARDWARE TO MAXIMIZE CONTINUOUS SEAL AGAINST WIND/WEATHER.
10. DOORS REQUIRED TO HAVE 20 MINUTE RATING TO BE MIN. 1 3/8" SOLID WOOD AND SHALL BEAR THE U.L. LABEL NO RAISED PANELS OR OTHER FEATURES MAY REDUCE THIS MINIMUM THICKNESS. SHOULD VENEERS BE APPLIED TO PRE-MANUFACTURED 20 MIN. RATED DOORS, CARE IS TO BE TAKEN NOT TO VIOLATE THE RATING DURING APPLICATION.
11. WEATHER-STRIPING OF EXTERIOR DOORS SHALL BE CONTINUOUS ON ALL SIDES OF EACH DOOR AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE DOOR AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
12. AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR ALL DWELLING UNITS. THE DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WHEN OPEN TO 90 DEGREES. THE MINIMUM CLEAR HEIGHT SHALL BE 78" ASSURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, PER CRC R311.2.
13. AT ALL STATE RESPONSIBILITY AREAS (SRA) EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. (CRC 327 WILDLAND URBAN INTERFACE)

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PROJECT/CLIENT

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SHEET TITLE

DOOR SCHEDULE

○ ISSUE △ REVISIONS

① 02-12-25
PLANNING SUBMITTAL

② 06-12-25
DRIVEWAY REVISIONS

DATE _____

PROJECT NUMBER

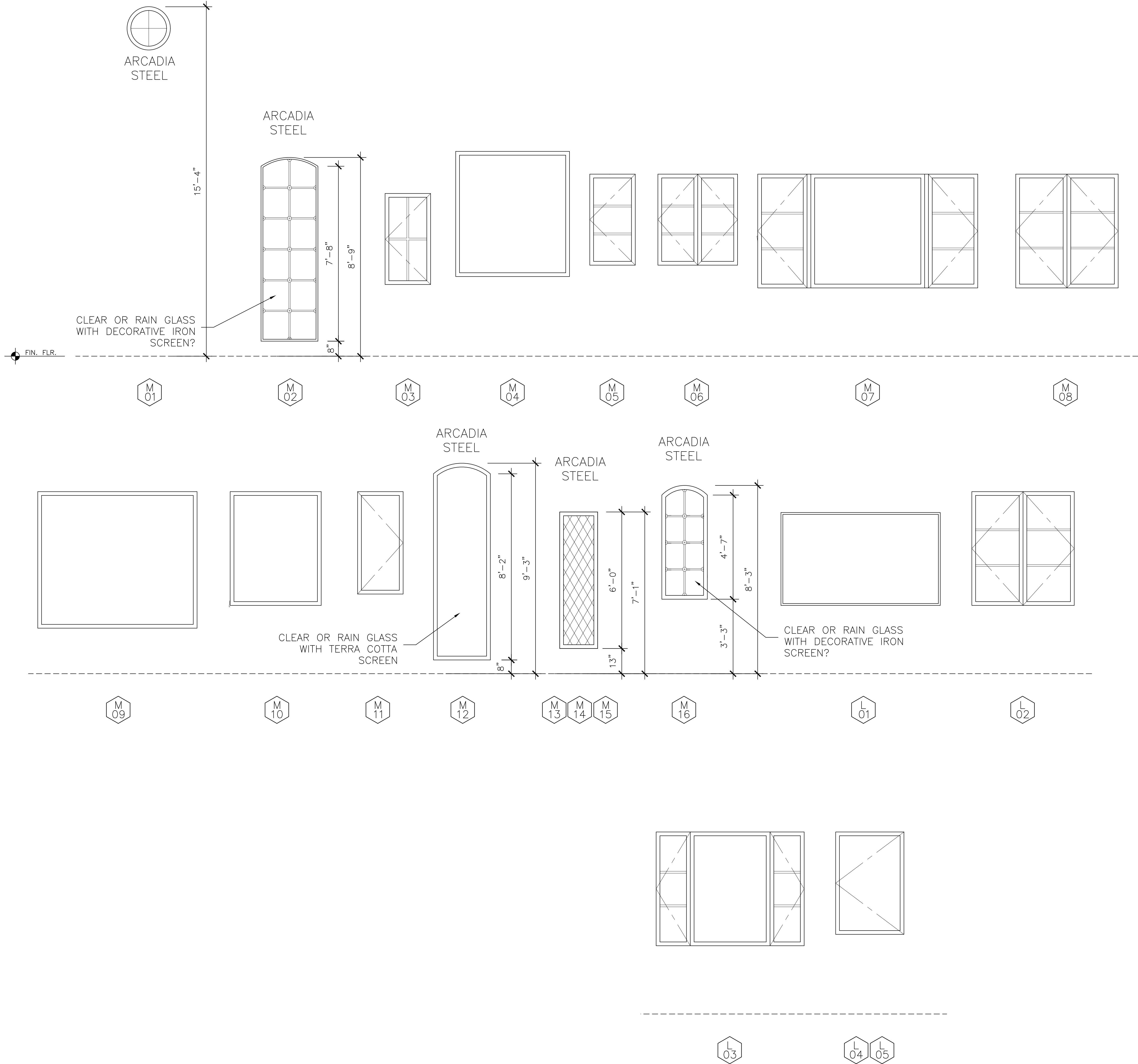
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WINDOW ELEVATIONS

SCALE : 1/2" = 1'-0"



WINDOW SCHEDULE

MARK	UNIT SIZE WIDTH X HEIGHT	HEAD HEIGHT	TYPE OF OPERABILITY	FRAME MATERIAL	REMARKS
WINDOW REP TO VERIFY TYPE OF GLASS AND TINT/FILM WITH OWNER RE ALL WINDOWS, SEE "GENERAL" NOTE #4 BELOW					
M 01	24" DIA.	15'-4"	FIXED	STEEL	4 LITES, ARCADIA STEEL
M 02	3'-0"x7'-8"	8'-9"	FIXED	STEEL	T.G., ARCADIA STEEL
M 03	2'-0"x4'-0"	7'-2"	CASEMENT	WOOD	4 LITES,
M 04	5'-0"x5'-6"	9'-0"	FIXED	WOOD	
M 05	2'-0"x4'-0"	8'-0"	CASEMENT	WOOD	3 LITES
M 06	3'-6"x4'-0"	8'-0"	DBL. CASEMENT	WOOD	3 LITES EA.
M 07	9'-8"x5'-0"	8'-0"	CASE-FIX-CASE	WOOD	3 LITES EA. CASE
M 08	4'-6"x5'-0"	8'-0"	DBL. CASEMENT	WOOD	3 LITES EA. CASE
M 09	7'-0"x6'-0"	8'-0"	FIXED	WOOD	T.G.
M 10	4'-0"x5'-0"	8'-0"	FIXED	WOOD	T.G.
M 11	2'-0"x4'-6"	8'-0"	CASEMENT	WOOD	
M 12	2'-6"x8'-2"	9'-3"	FIXED	STEEL	T.G., ARCADIA STEEL
M 13	1'-8"x6'-0"	7'-1"	FIXED	STEEL	T.G., DECORATIVE GLASS ARCADIA STEEL
M 14	1'-8"x6'-0"	7'-1"	FIXED	STEEL	T.G., DECORATIVE GLASS ARCADIA STEEL
M 15	1'-8"x6'-0"	7'-1"	FIXED	STEEL	T.G., DECORATIVE GLASS ARCADIA STEEL
M 16	2'-0"x4'-7"	8'-3"	FIXED	STEEL	T.G., DECORATIVE GLASS ARCADIA STEEL

LOWER LEVEL					
L 01	7'-0"x4'-0"	7'-0"	FIXED	WOOD	
L 02	4'-6"x5'-0"	8'-0"	DBL. CASEMENT	WOOD	3 LITES EA. CASE
L 03	6'-6"x5'-0"	8'-0"	CASE-FIX-CASE	WOOD	3 LITES EA. CASE
L 04	3'-0"x4'-6"	8'-0"	CASEMENT	WOOD	
L 05	3'-0"x4'-6"	8'-0"	CASEMENT	WOOD	

WINDOW SCHEDULE NOTES

GENERAL

- WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMES FIELD CONDITIONS OF PROJECT AND OWNER CHANGES/PREFERENCES. SPECIALTY WINDOWS MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
- WINDOW DIMENSIONS ARE PROPOSED UNIT SIZES. GENERAL CONTRACTOR IS TO VERIFY ALL PROPOSED WINDOW SIZES WITH SITE CONDITIONS AND FOR MANUFACTURER'S NEAREST STOCK SIZES, WHEN APPLICABLE. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING. CONTRACTOR SHALL PROVIDE ARCHITECT COMPLETE STRUCTURAL WINDOW SHOP DRAWINGS FOR REVIEW.
- ALL WINDOWS ARE TO BE DOUBLE GLAZED UNLESS OTHERWISE NOTED, SEE TITLE 24 CALCS FOR REQUIRED MIN. VALUES
- DUAL GLAZING IS TO BE LOW-E CARDINAL "270" GLAZING. OWNERS TO VERIFY WITH WINDOW REP WHICH, IF ANY, WINDOWS ARE TO BE "366" GLASS OR HAVE TINT WITHIN GLAZING, DUE TO SUN EXPOSURE. FILM IS NOT RECOMMENDED FOR DUAL GLAZED UNITS
- ALL WINDOWS SHALL HAVE A SOLDIERED COPPER PAN, MINIMUM 20 OZ., WITH MOISTSTOP OR EQUIVALENT WATERPROOFING SYSTEM. GALVANIZED IRON IS ACCEPTABLE IN NON-COASTAL ENVIRONMENTS. SEE DETAIL.
- WEATHER-STRIPING OF ALL WINDOWS SHALL BE CONTINUOUS ON ALL SIDES OF EACH WINDOW AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE WINDOW AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- WINDOWS WHICH EXCEED STANDARD SIZES SHALL BE VERIFIED BY WINDOW SUPPLIER FOR ENGINEERING AND WIND LOAD AT GIVEN PROJECT LOCATION AND PLACEMENT OF WINDOW(S) ON RESIDENCE (EXPOSURE)
- REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CRC R303.1).
- REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS SHALL BE AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CRC R303.1).

SAFETY

- BASEMENTS AND EACH SLEEPING ROOM SHALL HAVE MIN. ONE EGRESS WINDOW WITH A NET CLEAR OPENABLE AREA OF 5.7 S.F. WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24" AND THE MIN. NET CLEAR WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE MAX. 44" A.F.F. (CBC 1029.2 & 1029.3). EXCEPTIONS: BASEMENTS WITH A CEILING OF LESS THAN 80" OR LESS THAN 200 S.F. IN FLOOR AREA SHALL NOT BE REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE WINDOWS (CRC R310.1).
- ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
- ALL GLAZING SUBJECT TO HUMAN IMPACT IN HAZARDOUS LOCATIONS AS DEFINED IN CRC R308.4 SHALL MEET MINIMUM REQUIREMENTS OF CRC R308.3.1, INCLUDING GLASS MIRRORS, SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406)
- GLAZING IN AN INDIVIDUAL, FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLASS (CRC 308.4.2)
- ALL OPERABLE WINDOWS ABOVE ADJACENT GRADE BY 6" OR MORE AND LOCATED WITHIN 36" OF THE FINISHED FLOOR, OR OTHERWISE VULNERABLE TO A PERSON FALLING OUT, SHALL HAVE SUITABLE RESTRAINT BAR(S) INSTALLED. THE BUILDING OWNER CAN ELECT NOT TO INSTALL RESTRAINTS AT THEIR SOLE DISCRETION. INSECT SCREENS DO NOT OFFER PROTECTION AGAINST PERSONS FALLING OUT OF A WINDOW.
- WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3; WHERE EXPOSED AREA OF INDIVUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
- GLAZING IN WET AREAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.

W.U.I.

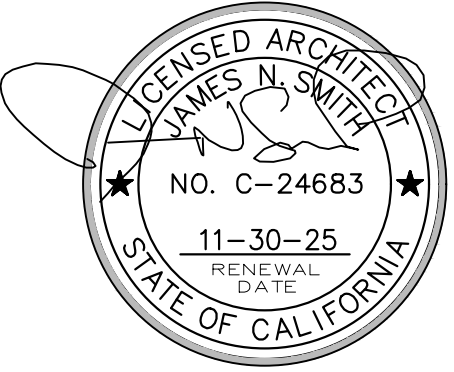
- FOR PROJECTS LOCATED WITHIN WILDLAND URBAN INTERFACE (W.U.I.) ZONES, ADDITIONAL REQUIREMENTS SHALL APPLY SUCH AS THE TEMPERING OF THE OUTER-MOST PANE OF GLASS PER R327.8

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STAMP



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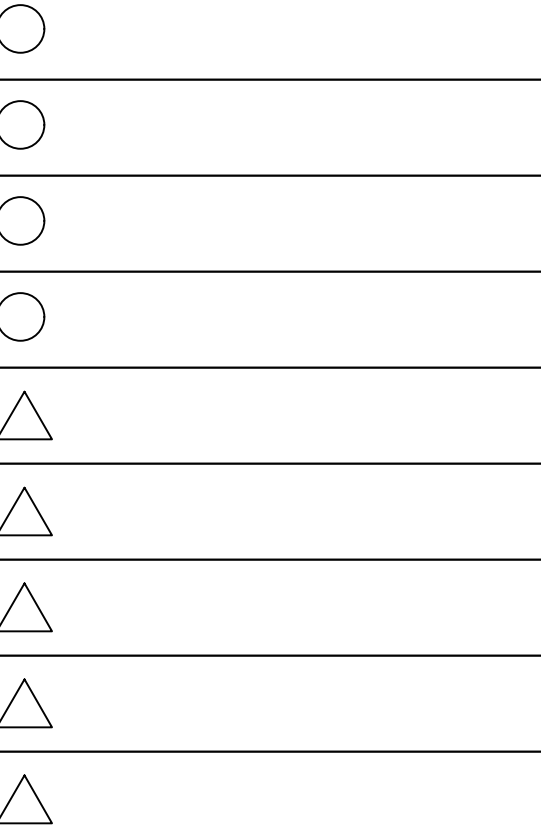
SHEET TITLE

WINDOW
SCHEDULE

○ ISSUE △ REVISIONS

① 02-12-25
PLANNING SUBMITTAL

② 06-12-25
DRIVEWAY REVISIONS



DATE

PROJECT NUMBER

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PROGRESS SET - NOT FOR CONSTRUCTION

INDEX TO SHEETS

SHEET C1 GRADING, DRAINAGE & UTILITY PLAN
SHEET C2 GRADING SECTIONS
SHEET C3 EROSION CONTROL PLAN
SHEET C4 CONSTRUCTION MANAGEMENT PLAN

STORM WATER CONTROL NOTES:

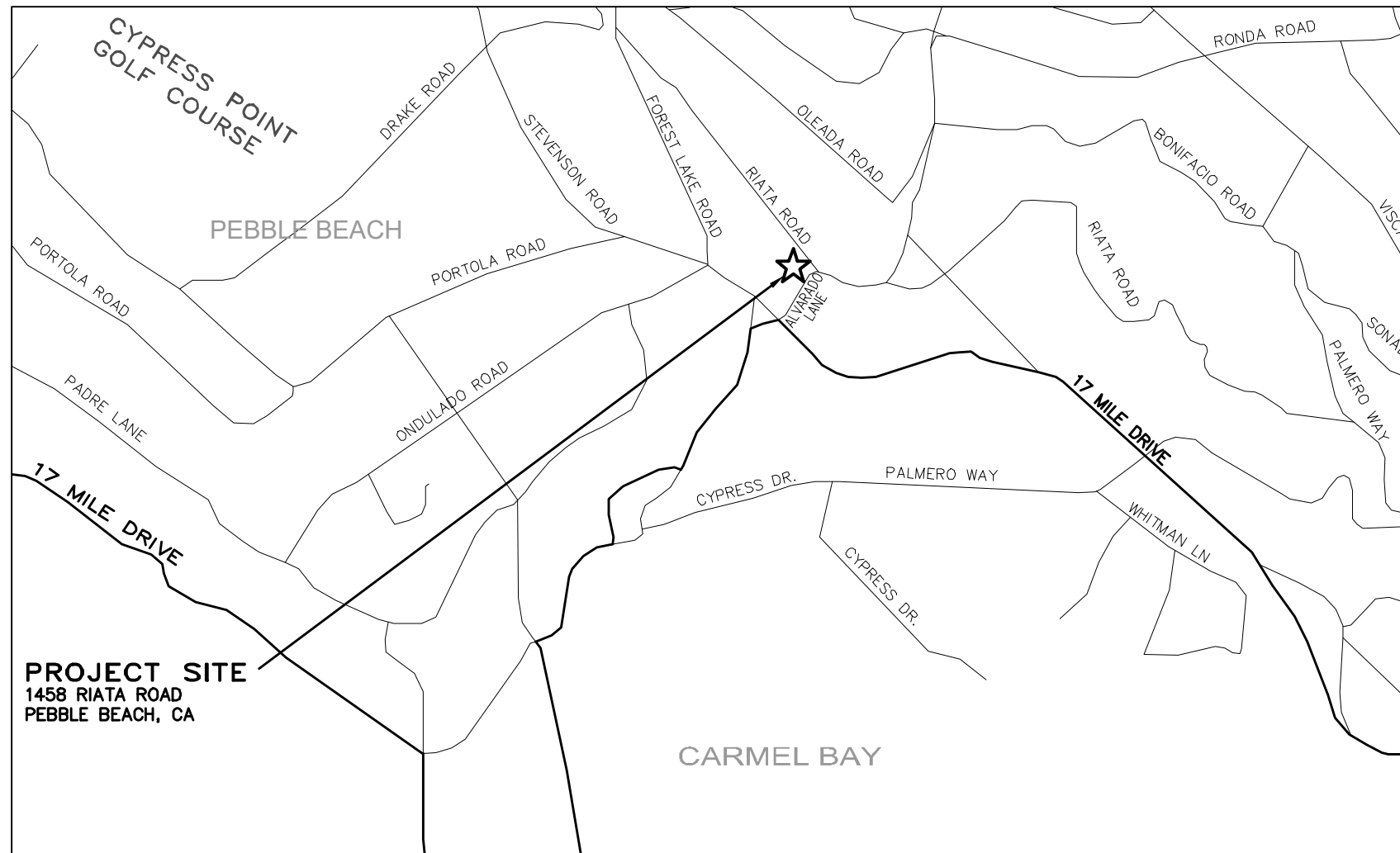
- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

DISPERSION TRENCH/ENERGY DISSIPATOR-1
22L.F. x 3'WIDE x 3'DEEP = 79.2 C.F.

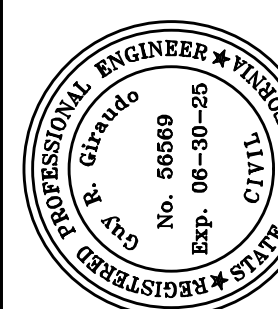
DISPERSION TRENCH/ENERGY DISSIPATOR-2
15L.F. x 2'WIDE x 3'DEEP = 36.0 C.F.

TOTAL LOT AREA = 31,519 SQ.FT.
TOTAL IMPERVIOUS AREA = 5,514 SQ.FT.
TOTAL AREA OF DISTURBANCE = 16,420 SQ.FT.

GRADING QUANTITIES:
CUT = 225 C.Y.
FILL = 825 C.Y.
NET = 600 C.Y. IMPORT



VICINITY MAP
NOT TO SCALE



APPROVED BY:

GUY R. GIRAUDO



CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN "GRADING, DRAINAGE & EROSION CONTROL PLAN OF SALADINO FAMILY INVESTMENTS LLC RESIDENCE"

A.P.N.: 008-332-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR SALADINO FAMILY INVESTMENTS LLC

CONTACT INFORMATION:

PRIMARY: OWNER
SALADINO FAMILY INVESTMENTS, LLC
7038 N. WEST AVE. #139
FRESNO, CA 93711

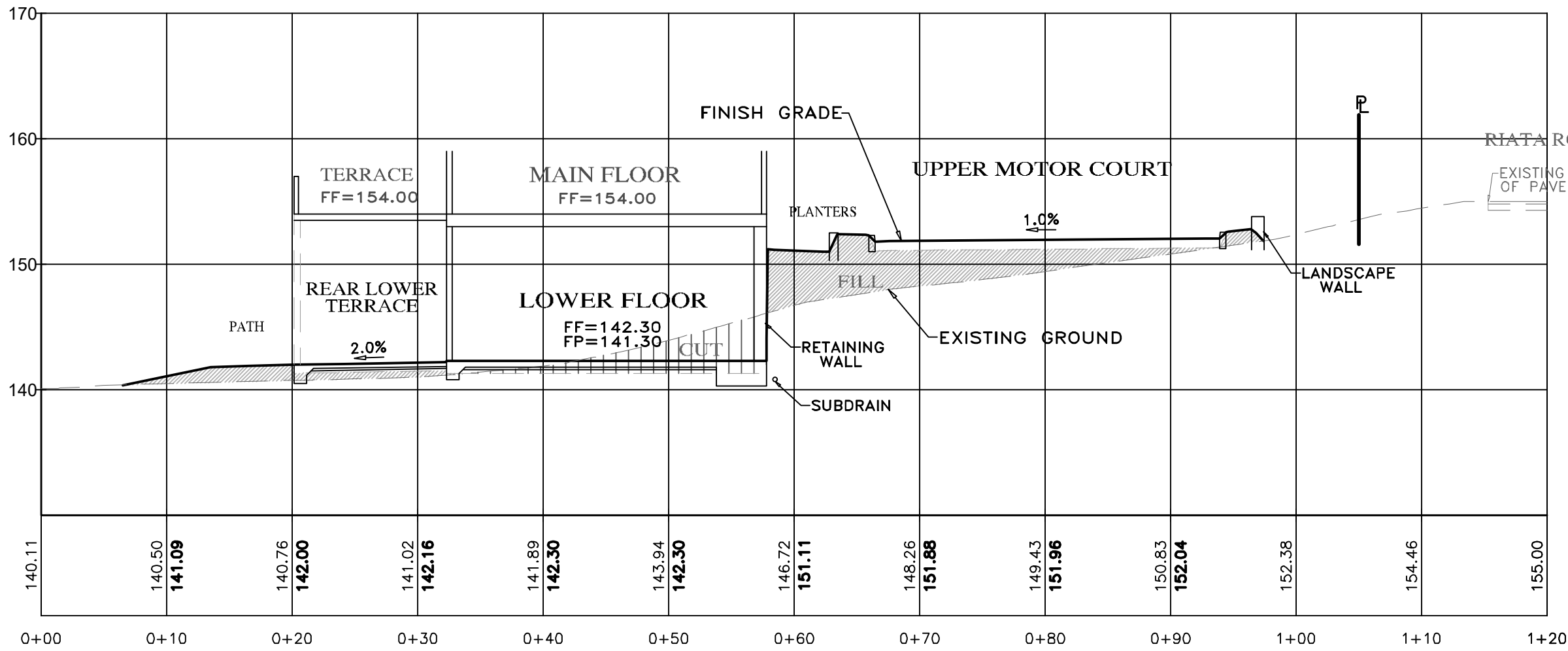
SECONDARY: ARCHITECT
JAMES N. SMITH ARCHITECT, INC.
ATTN: MR. JAMES SMITH
27880 DORRIS DR. #200
CARMEL, CA 93823
PH (831) 915-9518

SITE LOCATION:
1458 RIATA ROAD
PEBBLE BEACH, CA 93955

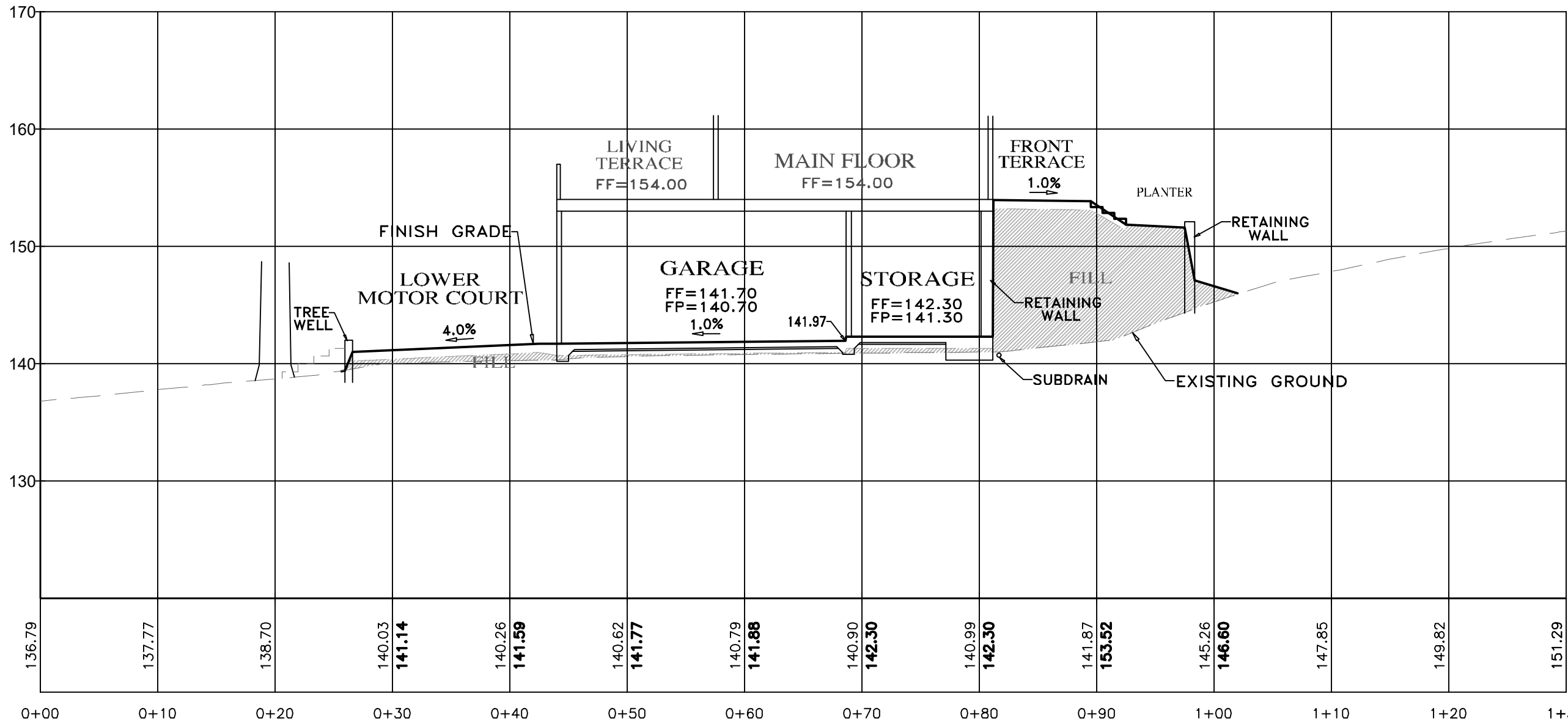
No.	DATE	BY	REVISION
06/02/25	AMS		DRIVEWAY/PARKING REVIEW
04/25/25	AMS		DRIVEWAY/PARKING UPDATE
04/16/25	AMS		RELEASED TO CLIENT

SCALE: 1"=10'
DATE: JANUARY 2025
JOB NO. 2466-02

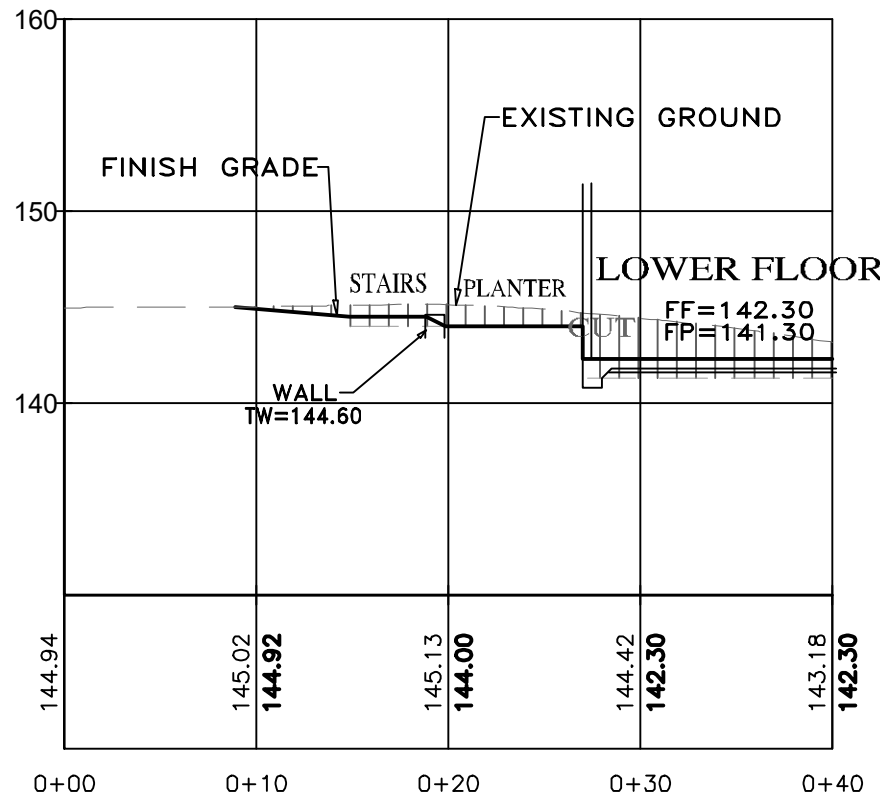
SHEET C1
OF 4 SHEETS



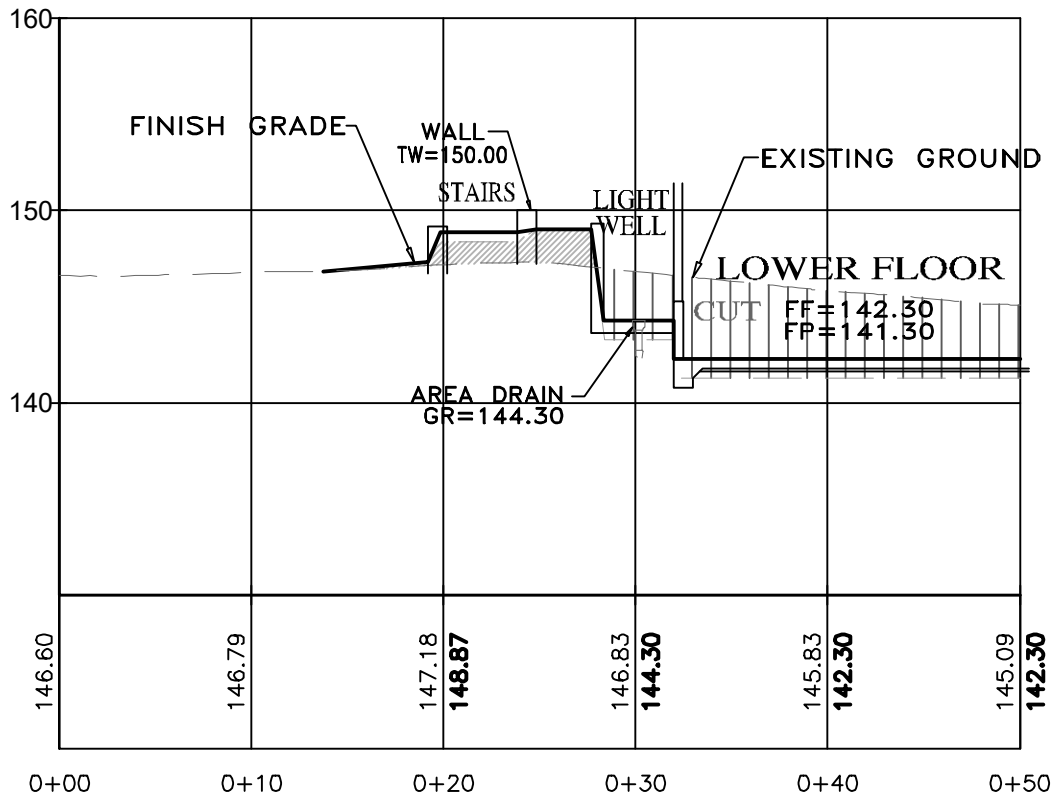
SECTION A-A
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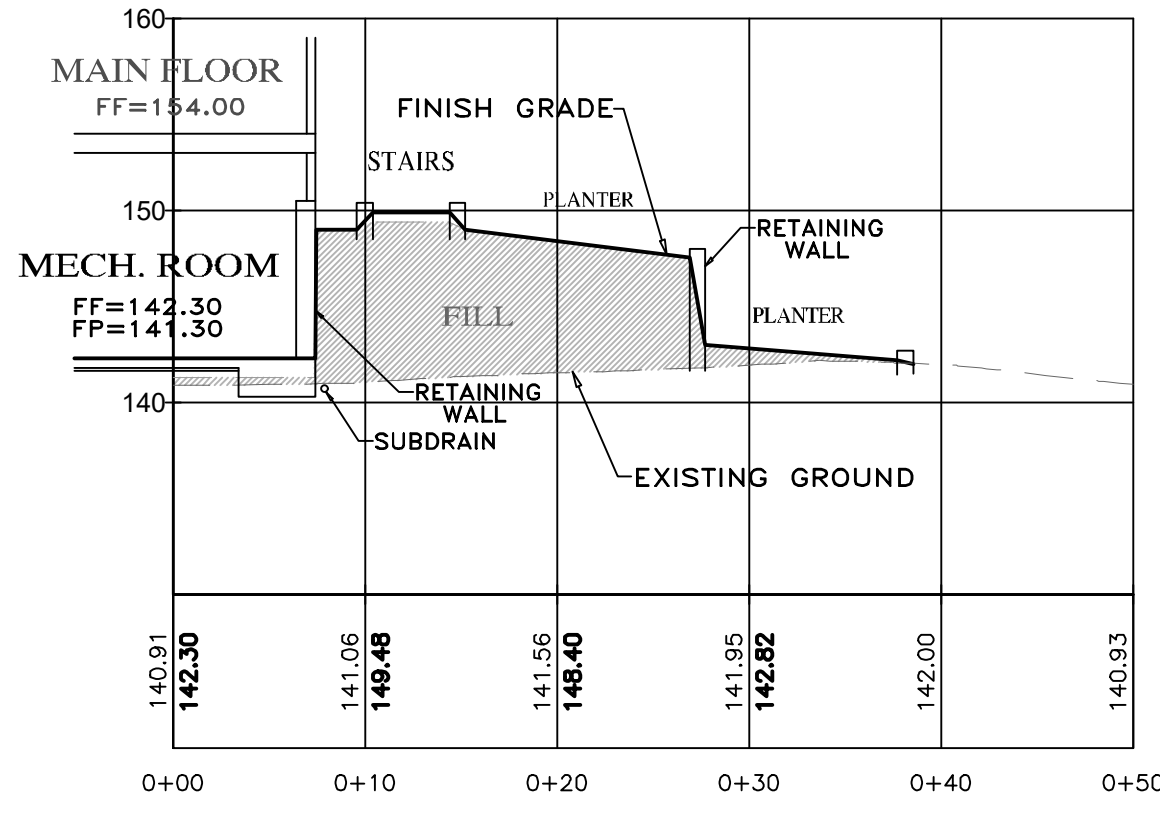
SECTION B-B
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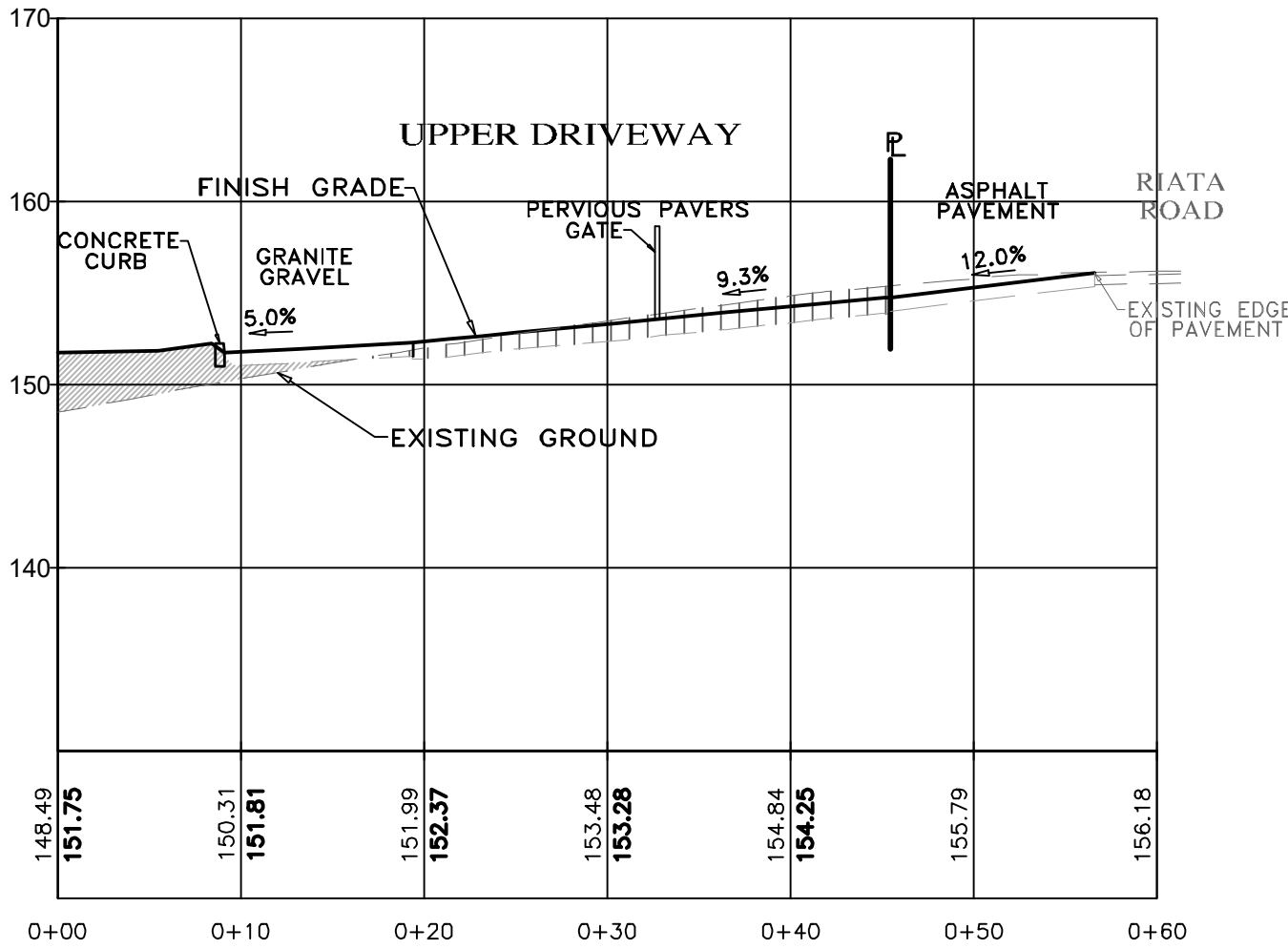
SECTION C-C
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SECTION D-D
SCALE: 1"=10' H&V

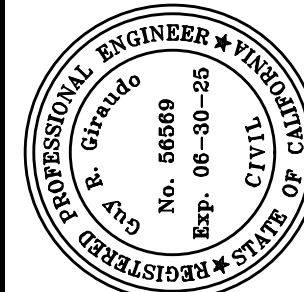


SECTION E-E
SCALE: 1"=10' H&V



UPPER DRIVEWAY PROFILE
SCALE: 1"=10' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:

GUY R. GIRARDO
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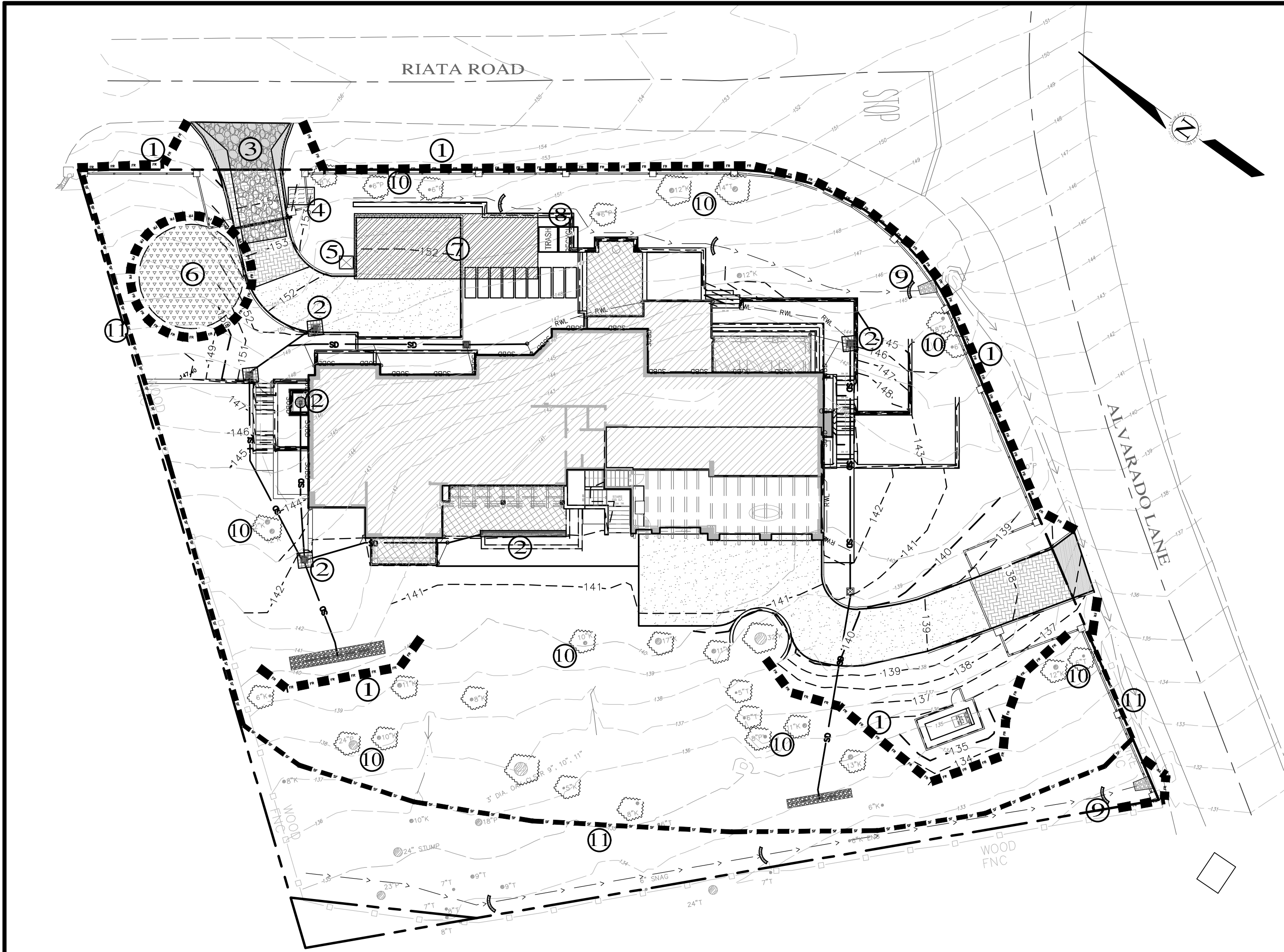
" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
A.P.N.: 008-332-019
FOR
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
SALADINO FAMILY INVESTMENTS LLC

SCALE: 1"=10' H&V
DATE: JANUARY 2025
JOB NO. 2466-02

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04/16/25	AMS		RELEASED TO CLIENT

SHEET C2
OF 4 SHEETS



- LEGEND:**
1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE AREA. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY, BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/4" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS, TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

LSR001/2486-SALADINO/2486-CIVIL.DWG/2486-GEOTECH.DWG/2486-06

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS LAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

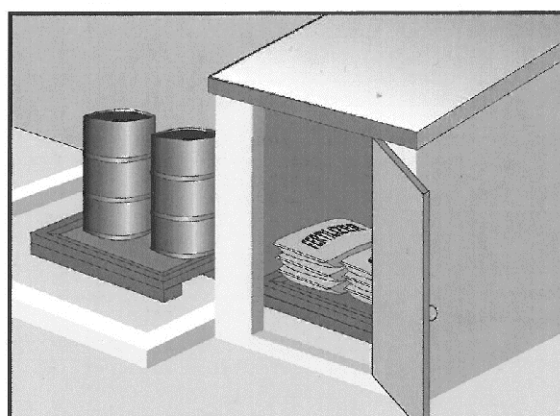
CONSTRUCTION INSPECTION REQUIREMENTS

A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1

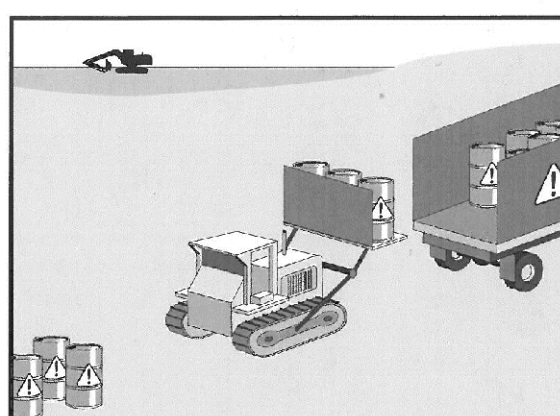


Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMP's in this section.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category
Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

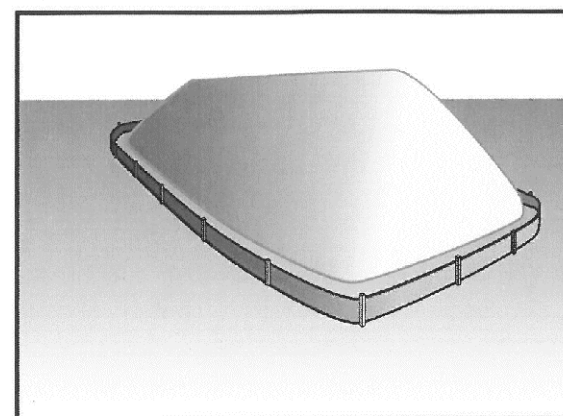
Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Objective
<input checked="" type="checkbox"/> Secondary Objective
Targeted Constituents
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

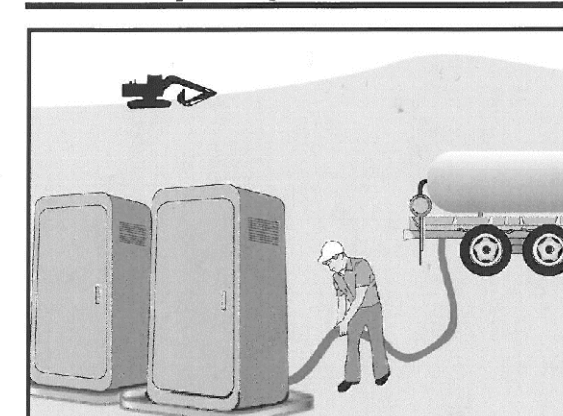
Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category
Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

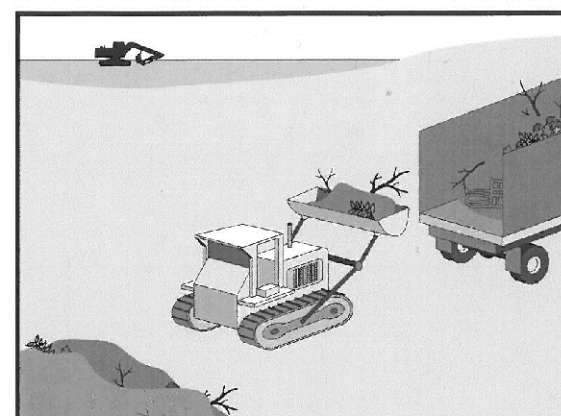
Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Category
<input checked="" type="checkbox"/> Secondary Category
Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

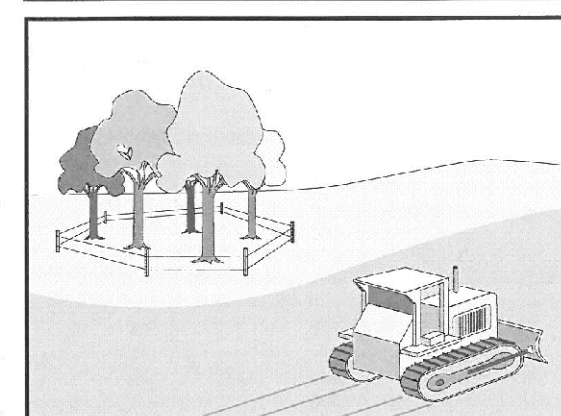
Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Objective
<input checked="" type="checkbox"/> Secondary Objective
Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

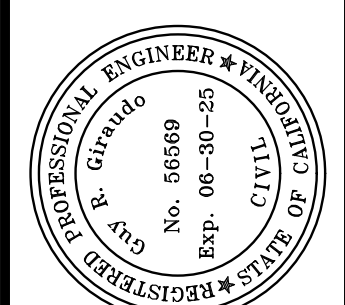
Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control
Legend:
<input checked="" type="checkbox"/> Primary Objective
<input checked="" type="checkbox"/> Secondary Objective
Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics
Potential Alternatives
None

No.	DATE	BY	REVISION
	06/02/25	AMS	DRIVEWAY/PARKING REVIEW
	04/25/25	AMS	DRIVEWAY/PARKING UPDATE
	04/16/25	AMS	RELEASED TO CLIENT



APPROVED BY:
GUY R. GIRARDI



" EROSION & SEDIMENT CONTROL PLAN "

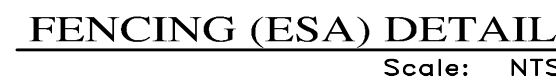
GRADING, DRAINAGE & EROSION CONTROL PLAN OF
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
A.P.N.: 008-332-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR SALADINO FAMILY INVESTMENTS LLC

SCALE: AS SHOWN
DATE: JANUARY 2025
JOB NO. 2466-02

SHEET C3
OF 4 SHEETS



PLAN
SCALE: 1"=10'



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
225 CY CUT
825 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW DECOMPOSED GRANITE DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON RIATA ROAD AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO 17 MILE DRIVE TO SUNRIDGE RD TO RONDA ROAD TO VISCAINO RD TO FOREST LAKE RD TO RIATA ROAD. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON BONIFACIO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN PROPOSED LOWER MOTOR COURT AND/OR IN LEGAL SPACES ALONG RIATA ROAD, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	3	2
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	30	5
TOTALS	34	8

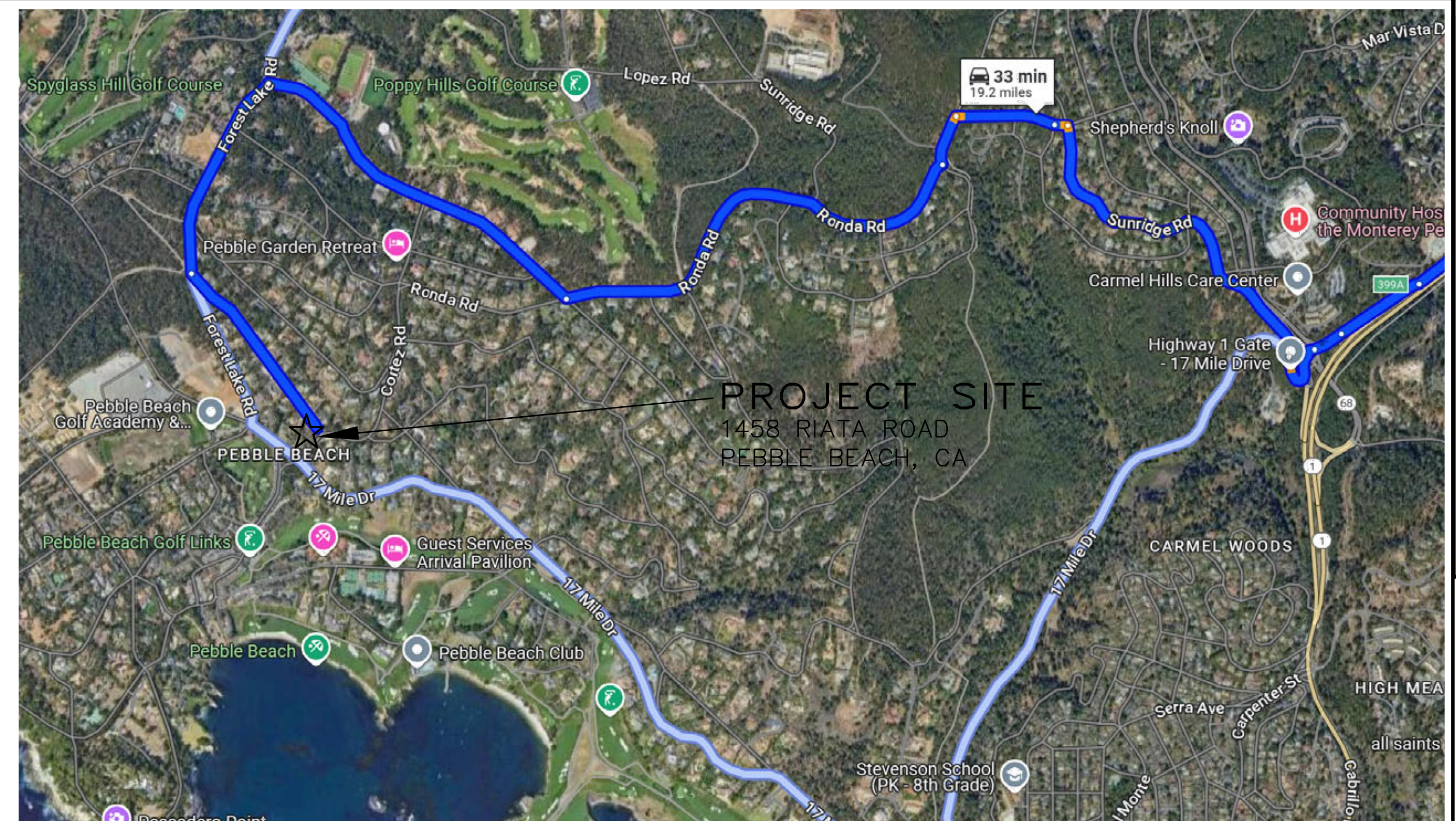
TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 7 TRUCK LOADS PER DAY.
2. THERE ARE 600 C.Y. OF SOIL MATERIAL THAT WILL BE IMPORTED TO THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 8 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 23 JUNE 2025,
8 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M.
- 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



(B) NEIGHBORHOOD TRUCK ROUTING PLAN



STAINAGE & EROSION CONTROL PLAN

GRADING, DRAINAGE & EROSION CONTROL PLAN
or
SALADINO FAMILY INVESTMENTS LLC RESIDENCE
A B N : 008-322-010

A.F.N.: 008-352-019
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

SALE: AS SHOWN
DATE: JANUARY 2025


4 SHEETS

OVERALL TRUCK
ROUTING PLAN
NOT TO SCALE

	06/02/25	AMS	DRIVEWAY/PARKING REVIEW
	04/25/25	AMS	DRIVEWAY/PARKING UPDATE
	04/16/25	AMS	RELEASED TO CLIENT
No.	DATE	BY	REVISION


4 SHEETS

APPROVED BY:



GUY R. GIRAUDO

0024





LANDSET
ENGINEERS, INC.

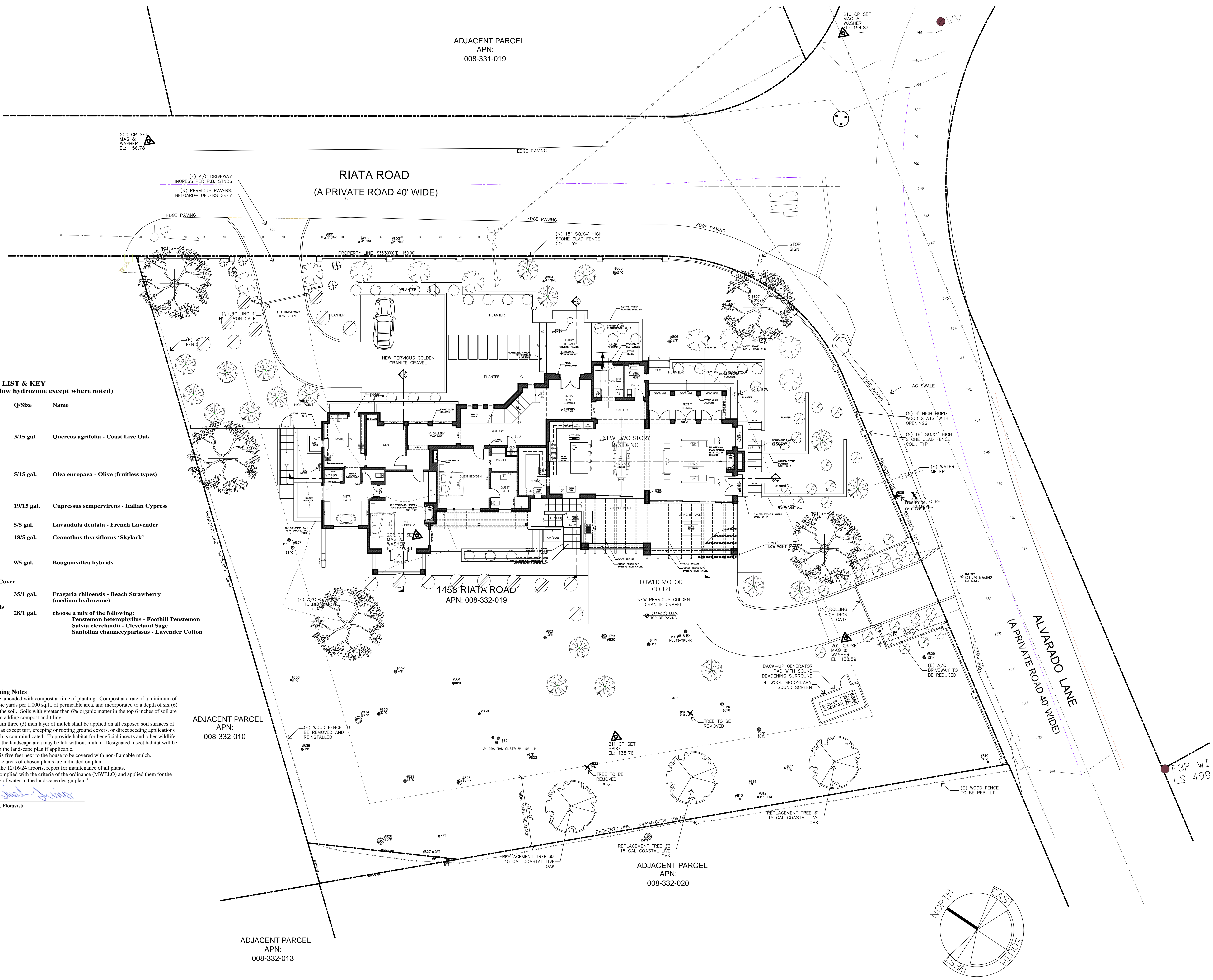
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

PLANT LIST & KEY (all are low hydrozone except where noted)

Symbol	Q/Size	Name
Trees		
[Symbol]	3/15 gal.	Quercus agrifolia - Coast Live Oak
[Symbol]	5/15 gal.	Olea europaea - Olive (fruitless types)
Shrubs		
[Symbol]	19/15 gal.	Cupressus sempervirens - Italian Cypress
[Symbol]	5/5 gal.	Lavandula dentata - French Lavender
[Symbol]	18/5 gal.	Ceanothus thyrsiflorus 'Skylark'
Vines		
[Symbol]	9/5 gal.	Bougainvillea hybrids
Ground Cover		
[Symbol]	35/1 gal.	Fragaria chiloensis - Beach Strawberry (medium hydrozone)
Perennials		
[Symbol]	28/1 gal.	choose a mix of the following: Penstemon heterophyllus - Foothill Penstemon Salvia clevelandii - Cleveland Sage Santolina chamaecyparissus - Lavender Cotton

- Landscaping Notes**
1. Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
 2. A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable.
 3. Soil that is five feet next to the house to be covered with non-flammable mulch.
 4. Hydrozone areas of chosen plants are indicated on plan.
 5. Refer to the 12/16/24 arborist report for maintenance of all plants.
 6. "I have complied with the criteria of the ordinance (MWELO) and applied them for the efficient use of water in the landscape design plan."

Dinah Irino
Dinah Irino, Floravista



Project: SALADINO RESIDENCE
1458 Riata Road
Pebble Beach, CA
APN: 008-332-019
Contact: James N. Smith, architect
831-915-9518

Landscape Plan
Scale: 1" = 10'
Date: 5/29/2025

Floravista
982 Phoebe Avenue
Ventura, CA 93004
831.261.4840
flora.vista@sbglobal.net

