

SALIB RESIDENCE

NEW SINGLE FAMILY RESIDENCE

25575 CHIQUITO PLACE CARMEL, CA 93923

PLUMBING AND ELECTRICAL NOTES

FOR ALL NEW PLUMBING AND ELECTRICAL ITEMS:

- ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.8 G.P.M. @ 80 psi.
- ALL LAVATORY FAUCETS SHALL HAVE A MAX FLOW RATE OF 1.2 G.P.M. @ 60 psi, AND MIN. 0.8 G.P.M. @ 20 psi.
- KITCHEN SINKS SHALL HAVE A MAX FLOW RATE OF 1.8 G.P.M. @ 60 psi.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GAL.
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IN ACCORDANCE WITH CEC ART. 210.12(A).
- HOMERUN ALL NEW CIRCUITS TO ELECTRICAL PANEL.
- ALL KITCHEN AND BATHROOM ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION.
- ALL ELECTRICAL ITEMS SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- PROVIDE SMOKE DETECTORS WITH BATTERY BACKUP IN EACH BEDROOM, HALLWAY & WHERE INDICATED.
- BACKING MATERIAL BEHIND NEW TILE, SHOWER AND SINKS TO COMPLY WITH CRCR702.4.2
- LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS SHALL COMPLY WITH CENC 150(K)(1)(C).
- CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT PER CRC R315.2.6.
- CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT PER CRC R315.1.3, R315.2.5.

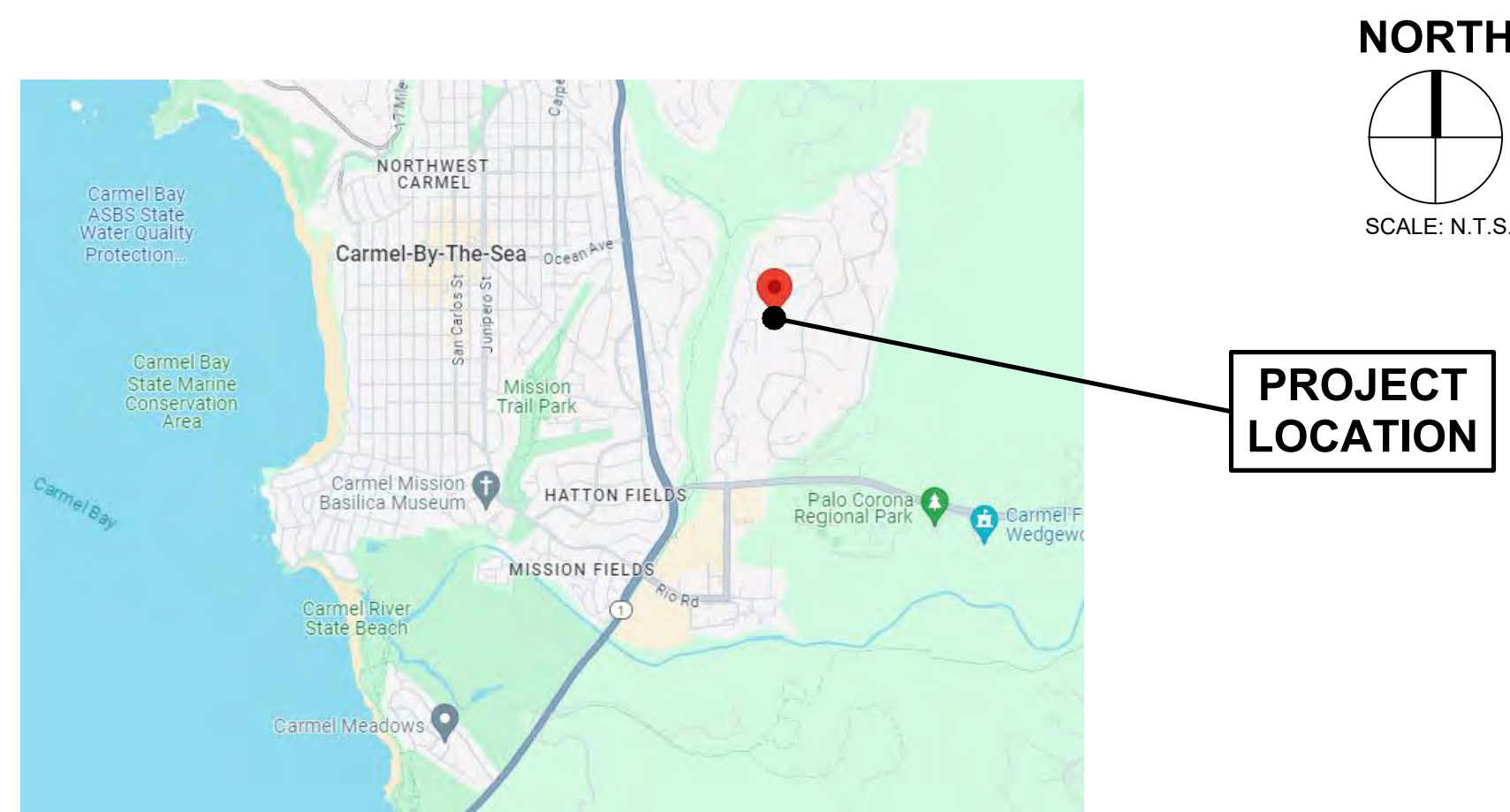
FIRE SAFETY REQUIREMENTS

- FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - THE BUILDING AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD.**
- DEFENSIBLE SPACE REQUIREMENTS - MANAGE COMBUSTIBLE VEGETATION WITHIN A MIN. OF 100 FEET OF STRUCTURES (OR THE PROPERTY LINE), LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS.
- SMOKE ALARMS - (SINGLE FAMILY DWELLING) - WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE CBC - THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.
- ROOF CONSTRUCTION - ICBO CLASS A ROOF CONSTRUCTION.

PROJECT NOTES

- BUILDING CODES: ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2022 EDITION OF THE CALIFORNIA RESIDENTIAL BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, ENERGY AND GREEN BUILDING STANDARDS CODES AND ANY AMENDMENTS OF THE PRESIDING CITY OR COUNTY.
- PROTECT ALL TREES DURING CONSTRUCTION.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 2,500 PSI.
- ALL REINFORCING STEEL SHALL CONFORM TO THE A.S.T.M. A-615 GRADE 60 UNLESS OTHERWISE NOTED ON PLANS. DEFORMATIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. A-305. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-185.
- LUMBER SPECIES AND GRADES SHALL CONFORM TO THE FOLLOWING U.O.N.: MAXIMUM MOISTURE CONTENT OF LUMBER SHALL BE 19%. ALL DOUGLAS FIR LUMBER WHICH IS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. ALL GRADING SHALL CONFORM TO THE RULES AND REGULATIONS OF THE W.W.P., R.A. & A.P.A. PLYWOOD SHALL BE D.F. CONFORMING TO THE U.S. PRODUCT STANDARDS PS 1-74 WITH EXTERIOR GLUE. GRADE STAMPED A.P.A. SEE FRAMING PLANS FOR ADDITIONAL REQUIREMENTS.
- WALL CONSTRUCTION SHALL COMPLY WITH CRC SECTION 602 (FOR CONVENTIONAL CONSTRUCTION).
- NAILING TO BE IN COMPLIANCE WITH CRC TABLE R602.3(1).
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CGBS 4.504.2.1
- ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. THE ACTIVE TICKET SHALL BE MAINTAINED ON SITE AND MADE AVAILABLE UPON REQUEST OF THE INSPECTOR.
- A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF INSPECTION.
- THE BUILDER/CONTRACTOR TO PROVIDE OWNER AND ENFORCING AGENCY WITH A COPY OF THE CF-6R INSTILLATION CERTIFICATE AT THE TIME OF FINAL INSPECTION.
- AT THE TIME OF A FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGBS 4.410.

VICINITY MAP



PROJECT DATA

APN:	015-052-026
ZONING:	LDR/1-D-S-RAZ
TREE INFORMATION:	1 TREE TO BE REMOVED - 18" PINE (SEE A1.1)
RESIDENCE OCCUPANCY:	LDR
OCCUPANCY GROUP: CONSTRUCTION TYPE:	R-3/U V-B
SPRINKLED:	YES - PROPOSED
SITE AREA:	43,749.04 SQ. FT. (1,004 ACRES)
ALLOWABLE BUILDING COVERAGE:	25% = 10,937.26 SQ. FT. COVERAGE (43,749.04 x .25) 10,937.26 SQ. FT. ALLOWED BUILDING COVERAGE
BUILDING SETBACK:	FRONT YARD - 50'-0" SIDE YARD - 10% AVG. WIDTH TO 20'-0" MAX. = 16.22' (49.99' + 274.48' = 324.47') (324.47' / 2 = 162.24') (162.24' * .10 = 16.22') REAR YARD - 20'-0" HEIGHT - 30'-0"
PROPOSED FLOOR AREA:	
LOWER FLOOR:	1,299.57
MAIN FLOOR:	2,117.41
GARAGE (ATTACHED):	517.00
TOTAL:	3,933.98
F.A.R.: (3,933.98 / 43,749.04): (TOTAL FLOOR AREA)	8.99%
PROPOSED COVERAGE:	
MAIN HOUSE (w/ GARAGE):	2,735.43
DECK:	734.10
TOTAL:	3,369.53
COVERAGE: (3,369.53 / 43,749.04): (TOTAL COVERAGE)	7.93%

OWNER:
RENEE & ANTHONY SALIB
571 W. SUNSHINE PLACE
CHANDLER, AZ 85248

SITE ADDRESS:
25575 CHIQUITO PLACE
CARMEL, CA 93923

DESIGNER/BUILDER:
CARMEL BUILDING & DESIGN
P.O. BOX 2201
CARMEL, CA 93921
P. 831.626.8606

STRUCTURAL:
T.B.D.

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SALINAS, CA 93923
P. 831.757.2172

CIVIL ENGINEER:
LANDSET ENGINEERS, INC.
520-B CRAZY HORSE CANYON RD.
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LANDSCAPE DESIGNER:
CARMEL POINT LANDSCAPES
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PROJECT DESCRIPTION

- CONSTRUCTION OF A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE. FINISHES TO INCLUDE:
- STANDING SEAM METAL ROOF
 - GALVANIZED ALUMINUM GUTTERS AND DOWNSPOUTS
 - PAINTED WOOD TRIM
 - STAINED WOOD EAVES
 - PAINTED CEMENT STUCCO SIDING
 - STAINED HORIZONTAL WOOD SIDING
 - METAL WINDOWS AND DOORS
 - CUSTOM STAINED WOOD ENTRY AND GARAGE DOORS
 - WOOD AND GLASS RAILING SYSTEM
 - 24"x24" DECK TILE
 - CEMENT STUCCO PRIVACY AND GARDEN WALLS
 - 1 - 18" PINE TREE AND 1 - 24" STUMP PROPOSED TO BE REMOVED PER EXISTING SITE PLAN ON A1.1.

GENERAL NOTES

- CONTRACTOR LICENSE: THE CONTRACTOR(S) PERFORMING THE WORK DESCRIBED BY THESE PLANS AND SPECIFICATIONS SHALL BE PROPERLY AND CURRENTLY LICENSED DURING THE EXECUTION OF THE PROJECT AND SHALL NOT PERFORM WORK OUTSIDE THE LEGAL SCOPE OF ANY LICENSE.
- SCOPE: THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND MACHINERY, TRANSPORTATION, WATER, HEAT, ELECTRICAL, TELEPHONE AND ANY OTHER RELATED ITEMS NECESSARY FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- QUALITY CONTROL: IT IS THE EXPRESS INTENTION OF THESE PLANS AND SPECIFICATIONS TO REQUIRE REASONABLE CARE AND COMPETENCE IN THE EXECUTION OF THE CONSTRUCTION PROCESS AND PRODUCT. IF, IN THE OPINION OF THE CONTRACTOR, ANY PORTION OF THE DOCUMENTATION HEREIN IS INCONSISTENT WITH THIS, THE DESIGNERS SHALL BE NOTIFIED PRIOR TO EXECUTING THE WORK AND ALLOWED REVISION TIME IF FELT NECESSARY.
- WARRANTY: THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT, FURNISHED UNDER THIS CONTRACT, WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- PERMITS: UNLESS OTHERWISE INSTRUCTED, THE OWNER SHALL PAY ALL PERMIT FEES INCLUDING UTILITIES. THE CONTRACTOR SHALL SECURE THE BUILDING PERMIT AND ANY OTHER PERMITS PRIOR TO STARTING THE WORK AND COMPLY WITH ALL INSPECTION REQUIREMENTS THROUGH FINAL SIGN-OFF.
- LEGAL/NOTICE/CODE COMPLIANCE: THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, BUILDING CODES, RULES, REGULATIONS AND OTHER LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE DESIGNERS IN WRITING IF THE DRAWINGS AND/OR SPECIFICATIONS ARE AT VARIANCE WITH ANY SUCH REQUIREMENTS (2007 C.B.C.)
- RESPONSIBILITY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SELECTED TO EXECUTE THE WORK. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK WITHIN THE SCOPE OF THE CONTRACT.
- SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND PROPERLY SUPERVISING ADEQUATE INDUSTRY STANDARD SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK AND SHALL ADHERE TO ALL FEDERAL, STATE, LOCAL & O.S.H.A. SAFETY REGULATIONS.
- INSURANCE: LIABILITY INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR TO PROTECT AGAINST ALL CLAIMS UNDER THE WORKMAN'S COMPENSATION ACTS, DAMAGES DUE TO BODILY INJURY INCLUDING DEATH, AND FOR ANY PROPERTY DAMAGES ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT. THIS INSURANCE SHALL BE FOR LIABILITY LIMITS SATISFACTORY TO THE OWNER. THE OWNER HAS THE RIGHT TO REQUIRE CONTRACTUAL LIABILITY INSURANCE APPLICABLE TO THE CONTRACTOR'S OBLIGATIONS. CERTIFICATES OF SUCH INSURANCE SHALL BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- INDEMNIFICATION: THE CONTRACTOR WHO AGREES TO PERFORM THIS WORK ALSO AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGNERS FROM AND AGAINST ALL CONSEQUENTIAL CLAIMS/DAMAGES/LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES AND LITIGATION COSTS, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- CLEANING UP: THE CONTRACTOR SHALL KEEP THE PREMISES AND SITE FREE FROM ACCUMULATION OF WASTE MATERIALS DURING CONSTRUCTION BY PERIODIC CLEAN UP AND OFF-SITE DEBRIS REMOVAL. FINAL CLEANUP AND DEBRIS DISPOSITION SHALL BE TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY WORK AND NOTIFY THE DESIGNERS OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS AFFECTING THE WORK OR NATURE OF SPECIFIED MATERIALS AND/OR SCOPE OF DESIGN.
- ALL NOTES, DIMENSIONS, ETC. INDICATE NEW MATERIALS OR CONSTRUCTION UNLESS OTHERWISE NOTED.
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE PROPERTY BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- SHOP DRAWINGS: PRIOR TO FABRICATION, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR APPROVAL SHOP DRAWINGS FOR ALL STRUCTURAL STEEL, REINFORCING STEEL, GLUE LAMINATED BEAMS AND PREFABRICATED TRUSSES, WINDOWS & DOORS. FINISH CARPENTRY, SHOP DRAWINGS ARE NOT CHANGE ORDERS, BUT RATHER SERVE TO DEMONSTRATE TO THE ENGINEER AND/OR DESIGNER THAT THE CONTRACTOR UNDERSTANDS THE REQUIREMENTS & DESIGN CONCEPTS OF THE PLAN, DETAILS & SPECIFICATIONS.
- CHANGE ORDERS: NO VERBAL CHANGE ORDERS SHALL BECOME LEGAL AND BINDING.
- CONSTRUCTION, BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- SIMILAR CONDITIONS: CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION.
- DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- TECHNICAL SPECIFICATIONS: ALL TECHNICAL SPECIFICATIONS REFERRED TO IN THESE DRAWINGS ARE BY THIS REFERENCE PART OF THE CONSTRUCTION DOCUMENTS.

DEFERRED SUBMITTALS

- GAS LINE DIAGRAM

SHEET INDEX

DESIGN

- A0.1 COVER SHEET, PROJECT DATA
- A1.1 EXISTING SITE PLAN
- A1.2 PROPOSED SITE PLAN
- A2.1 PROPOSED LOWER FLOOR PLAN
- A2.2 PROPOSED MAIN FLOOR PLAN
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A4.1 PROPOSED SECTIONS
- A4.2 PROPOSED SECTIONS
- A4.3 PROPOSED SECTIONS
- A5.1 DOOR AND WINDOW SCHEDULE
- L-1 LOWER FLOOR EXTERIOR LIGHTING PLAN
- L-2 MAIN FLOOR EXTERIOR LIGHTING PLAN
- SW.1 SEPTIC PLAN

CIVIL

- C1 COVER SHEET
- C2 TOPO MA/EXISTING CONDITIONS
- C3 GRADING, DRAINAGE & UTILITY PLAN
- C4 GRADING SECTIONS
- C5 STANDARD PLANS & CONSTRUCTION DETAILS
- C6 EROSION & SEDIMENT CONTROL PLAN
- C7 CONSTRUCTION MANAGEMENT PLAN

LANDSCAPE

- LA-1.01 PLANTING PLAN
- LA-1.02 PLANTING NOTES & LEGEND
- LA-1.03 PRELIMINARY IRRIGATION PLAN

OWNER NOTES

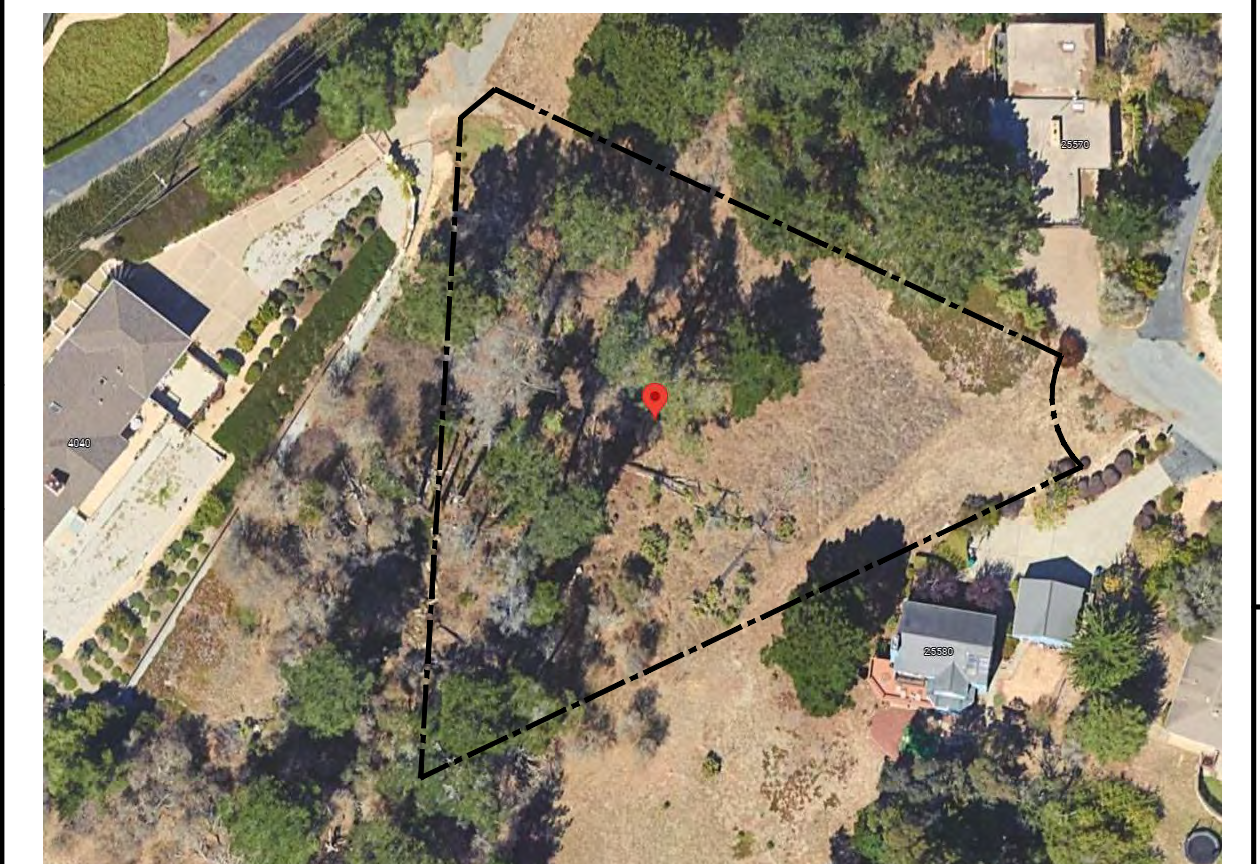
OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY CARMEL BUILDINGS AND DESIGN. HEREINAFTER REFERRED TO AS "DESIGNERS", WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE DESIGNERS HEREBY STATE THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IF THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE DESIGNERS DISCLAIM ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS, THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNERS, FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

SPECIAL CONDITIONS

NONE NOTED

SUBJECT PROPERTY



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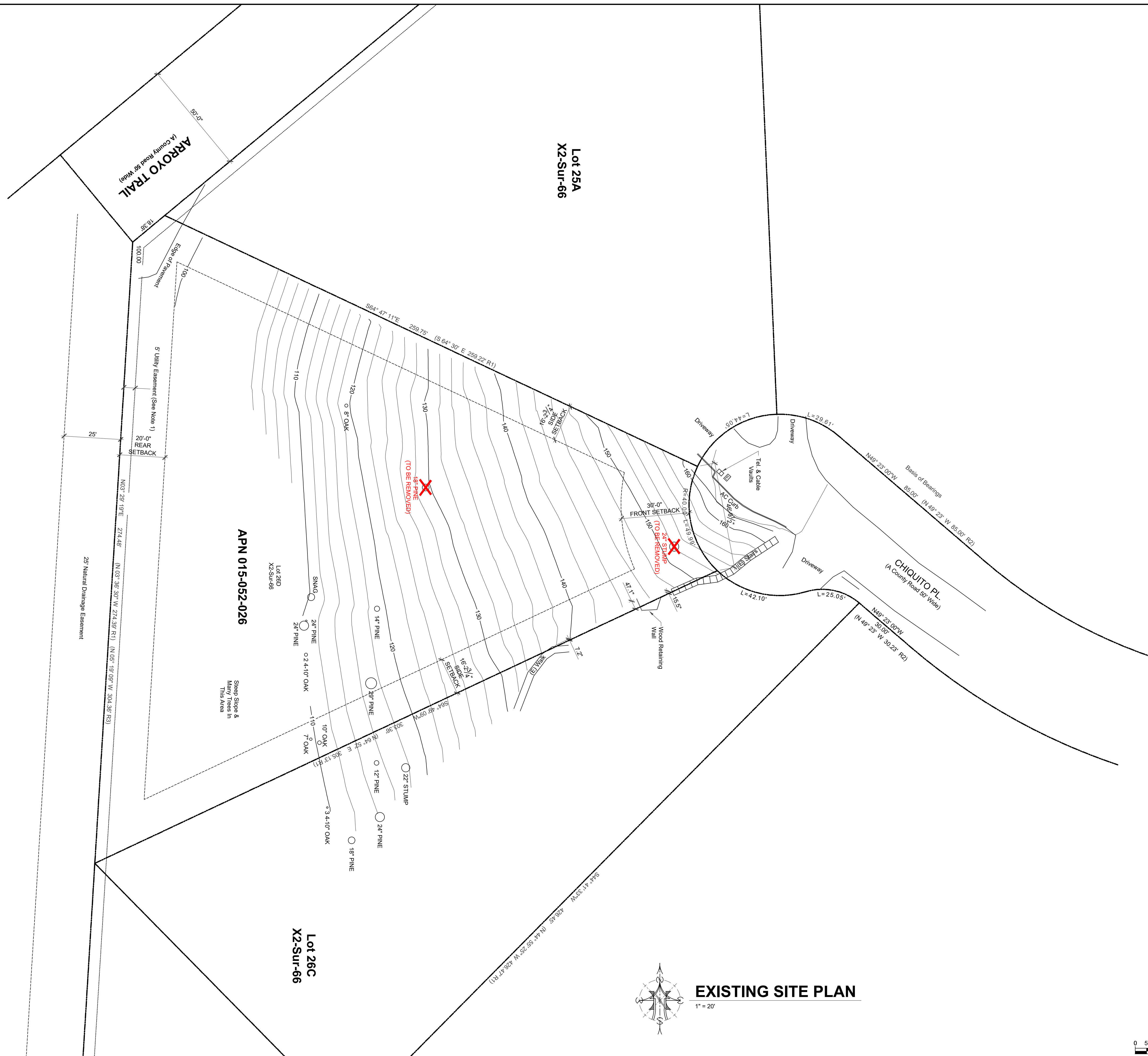
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REVISION:	08-24-24

COVER SHEET
SALIB RESIDENCE
25575 CHIQUITO PLACE
CARMEL, CA 93923
APN: 015-052-026

PAGE:

A0.1

Matt Hanner



Lot 25A
X2-Sur-66

APN 015-052-026

Lot 26C
X2-Sur-66



EXISTING SITE PLAN

1" = 20'



DATE:	09-24-24
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EXISTING SITE PLAN
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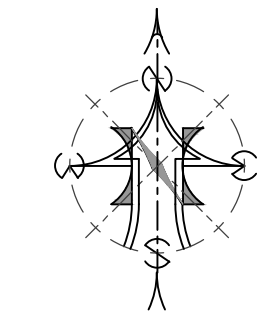
KEY NOTES: [X]

1. SLOPE DOWN AT 4":12" PITCH.
2. SLOPE UP AT 1 1/2":12" PITCH.



Exhibit A: Fuel Management Zone map.
The 0-30 foot Landscape Zone around the proposed home is approximate and is identified in green, and the approximate 30-100+ ft area identified in red is the Fuel Management Zone, or also commonly referred to as the Reduced Fuel Zone and Defensible Space Zone.

FUEL MANAGEMENT PLAN
Scale: NTS



PROPOSED SITE PLAN
1" = 20'



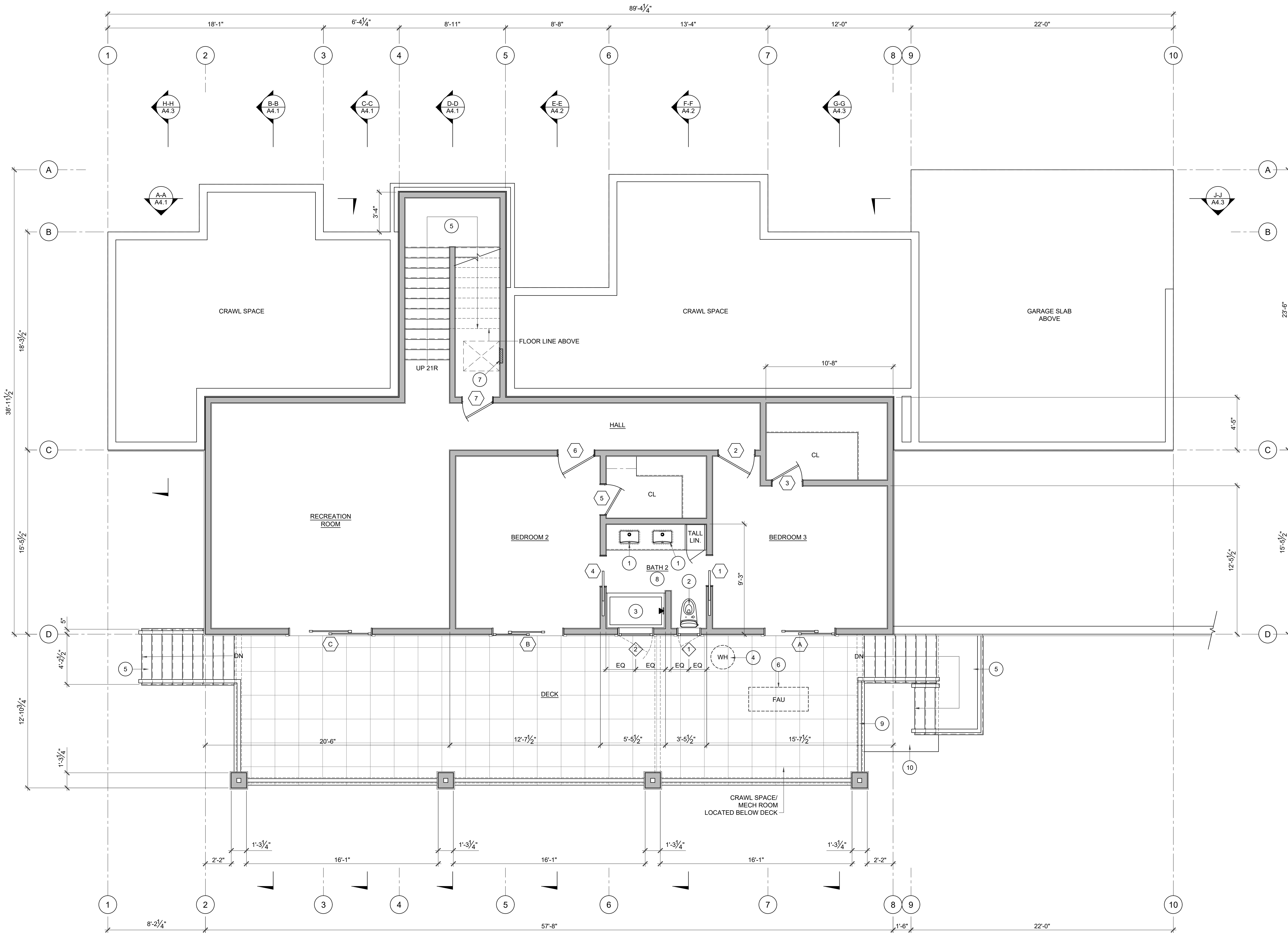
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PROPOSED SITE PLAN
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PAGE:
A1.2
Matt Hanner



LEGEND:

(N) 2x4 FRAMING

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (XX)

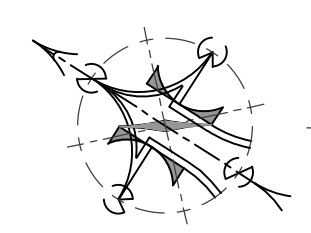
1. LAVATORY; SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
2. TOILET; SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
3. TUB/SHOWER w/ TILE SURROUND. SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS AND REQUIREMENTS.
4. WATER HEATER. LOCATE IN CRAWL SPACE/MECH ROOM; COORDINATE LOCATION WITH MECHANICAL AND TRADES. SEE SECTION 6 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
5. STAIRS; SEE SECTION 7 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
6. UNDER FLOOR FURNACE; SEE SECTION 9 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
7. ELECTRICAL SUB-PANEL; SEE ELECTRICAL PLANS.
8. BATHROOM; SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
9. 30"x24" MIN. CRAWL SPACE ACCESS. ACCESS PANEL SHALL BE SOLID WOOD DOOR OR SOLID HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK OR 20 MIN. FIRE RATED PER CRC R302.5.1.
10. CONCRETE SLAB ON GRADE.

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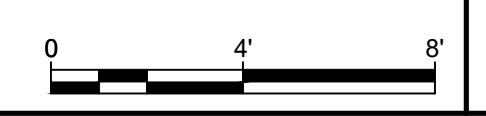
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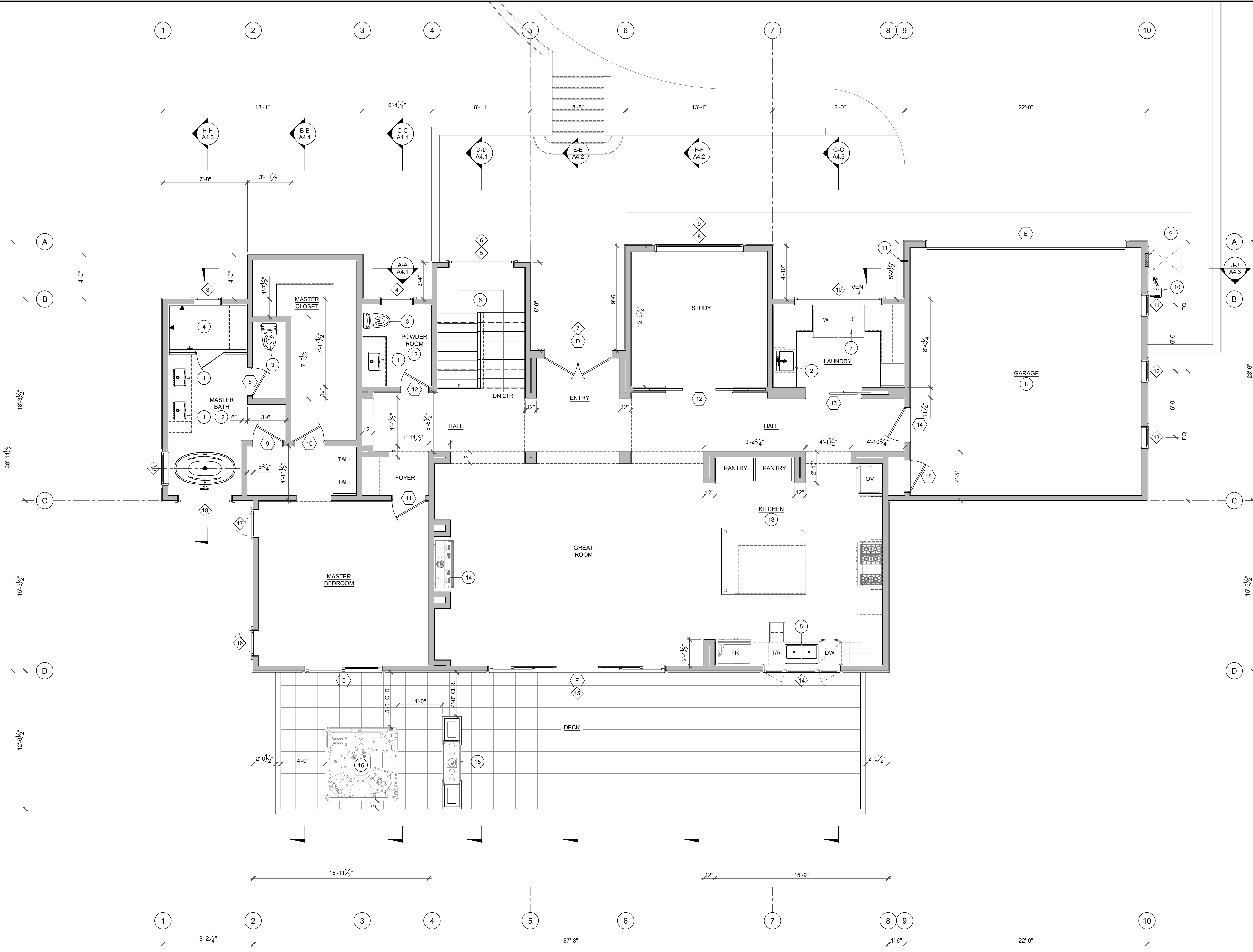
PROPOSED LOWER FLOOR PLAN
 SALIB RESIDENCE
 25575 CHIQUITO PLACE
 CARMEL, CA 93923
 APN: 015-052-026



PROPOSED LOWER FLOOR PLAN

1/4" = 1'-0"





LEGEND:

(N) 2x4 FRAMING

NOTE:

- GRID LINES ARE TO FACE OF FRAMING, U.O.N.
- DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.
- FIELD VERIFY ALL FRAMING DIMENSIONS PRIOR TO CONSTRUCTION.

KEY NOTES: (xx)

1. LAVATORY; SEE SECTION 1.4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
2. LAUNDRY SINK; SEE SECTION 1.5 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
3. TOILET; SEE SECTION 1.1 & SECTION 4 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS & REQUIREMENTS.
4. SHOWER w/ TILE SURROUND; SEE SECTIONS 1.2, 1.3 & SECTION 3 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS AND REQUIREMENTS.
5. KITCHEN SINK; SEE SECTION 1.6 IN "CODE COMPLIANCE" ON A2.0 FOR FLOW RESTRICTIONS.
6. STAIRS; SEE SECTION 7 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
7. CLOTHES DRYER; SEE SECTION 2 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
8. GARAGE; SEE SECTION 5 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
9. LOCATION OF PG&E ELECTRICAL MAIN AND PANEL; SEE ELECTRICAL PLANS.
10. LOCATION OF PG&E GAS METER.
11. WATER SHUT-OFF VALVE LOCATION.
12. BATHROOM; SEE SECTION 10 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
13. KITCHEN; SEE SECTIONS 11 IN "CODE COMPLIANCE" ON A2.0 FOR REQUIREMENTS.
14. DIRECT VENT GAS FIREPLACE; VENT THROUGH ROOF.
15. DIRECT VENT EXTERIOR GAS SEE-THROUGH FIREPLACE.
16. HOT TUB; PROVIDE 220 AMP CIRCUIT; SEE ELECTRICAL PLANS.

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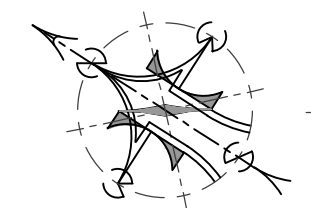
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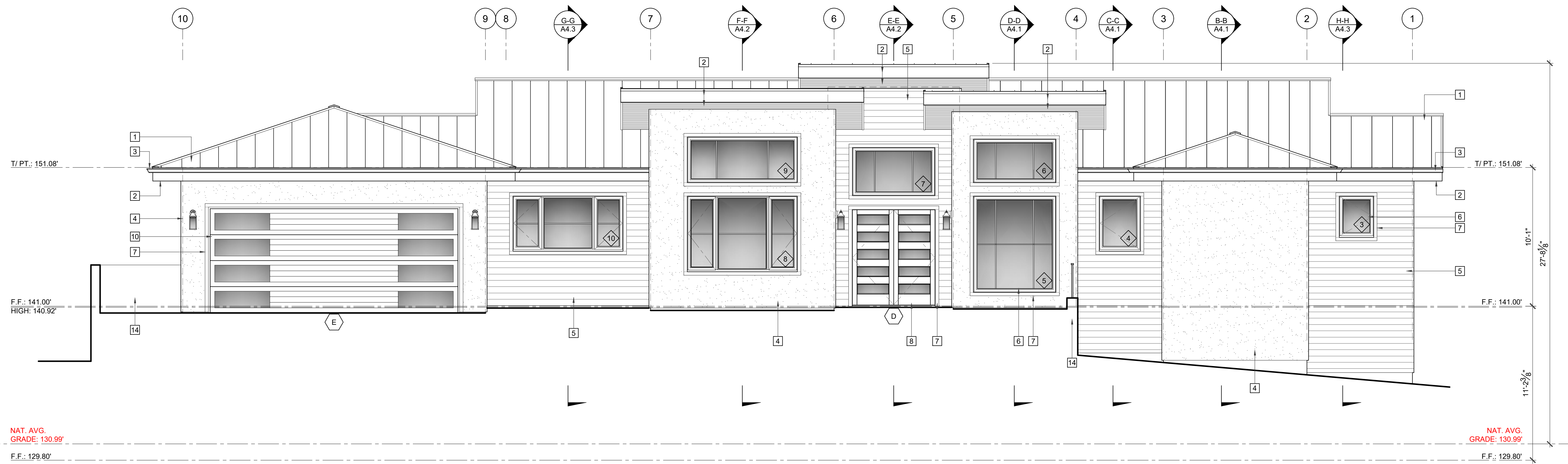
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Matt Hanmer



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

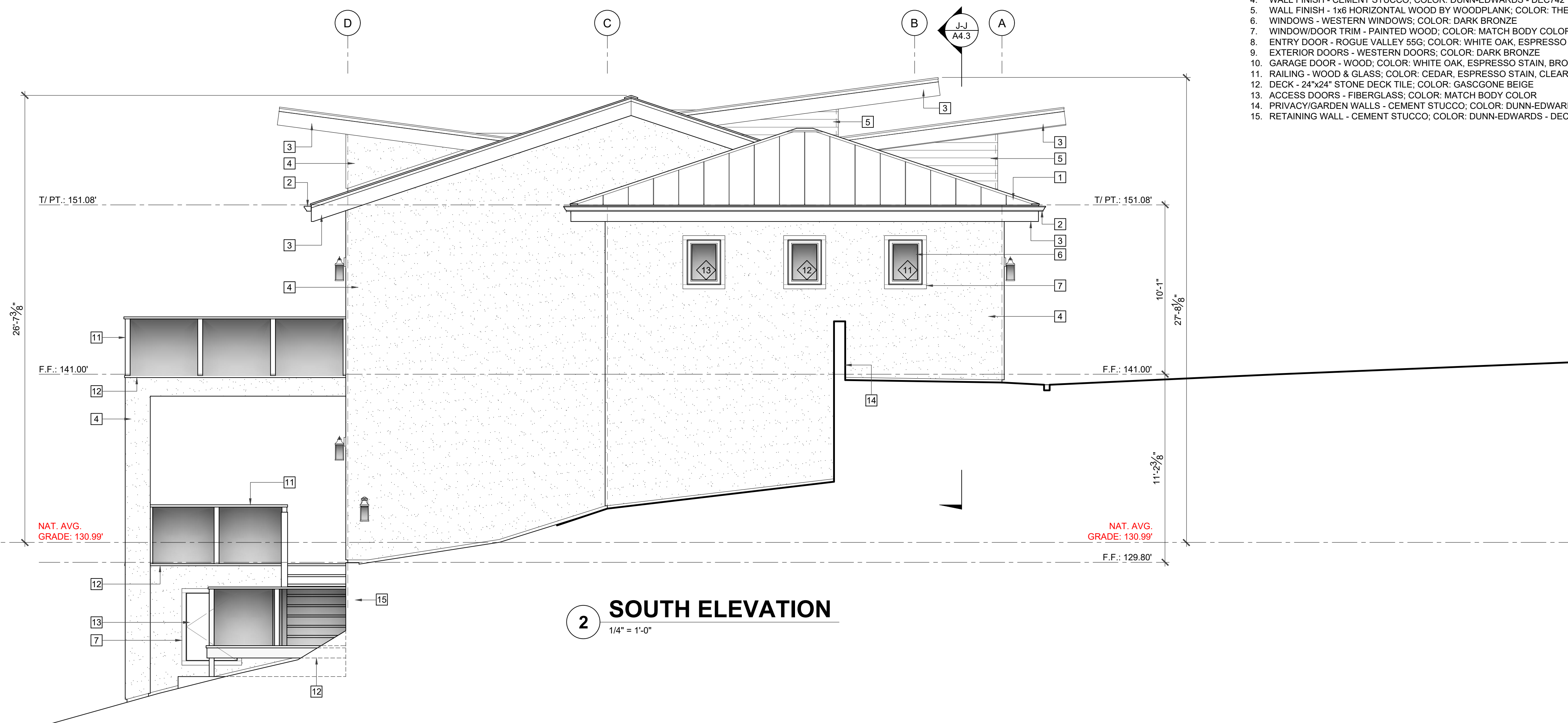




1 EAST ELEVATION
1/4" = 1'-0"

MAJOR MATERIALS

1. ROOF - STANDING SEAM METAL; COLOR: SHEFFIELD METALS - DARK BRONZE
2. EAVE & EAVE ITEMS - 1x6 HORIZONTAL WOOD BY WOODPLANK; COLOR: THERMO-POPLAR
3. GUTTERS & DOWNSPOUTS - GALVANIZED ALUMINUM; COLOR: MATCH BODY COLOR
4. WALL FINISH - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"
5. WALL FINISH - 1x6 HORIZONTAL WOOD BY WOODPLANK; COLOR: THERMO-POPLAR
6. WINDOWS - WESTERN WINDOWS; COLOR: DARK BRONZE
7. WINDOW/DOOR TRIM - PAINTED WOOD; COLOR: MATCH BODY COLOR
8. ENTRY DOOR - ROGUE VALLEY 55G; COLOR: WHITE OAK, ESPRESSO STAIN AND BRONZE GLASS
9. EXTERIOR DOORS - WESTERN DOORS; COLOR: DARK BRONZE
10. GARAGE DOOR - WOOD; COLOR: WHITE OAK, ESPRESSO STAIN, BRONZE GLASS
11. RAILING - WOOD & GLASS; COLOR: CEDAR, ESPRESSO STAIN, CLEAR GLASS
12. DECK - 24"x24" STONE DECK TILE; COLOR: GASGONE BEIGE
13. ACCESS DOORS - FIBERGLASS; COLOR: MATCH BODY COLOR
14. PRIVACY/GARDEN WALLS - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"
15. RETAINING WALL - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"



2 SOUTH ELEVATION
1/4" = 1'-0"

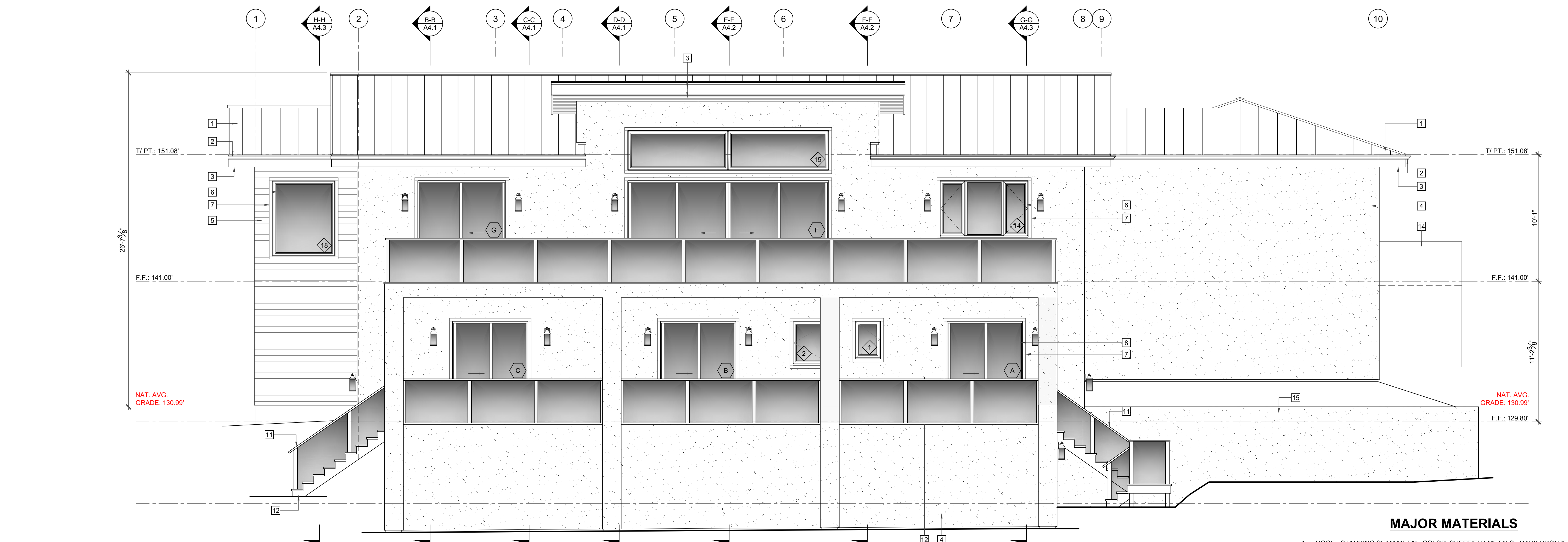
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DATE:	09-24-24
SCALE:	1/4" = 1'-0"
DRAWN BY:	STAFF
REVISION:	09-24-24

EXTERIOR ELEVATIONS
SALIB RESIDENCE
25575 CHIQUITO PLACE
CARMEL, CA 93923
APN: 015-052-026

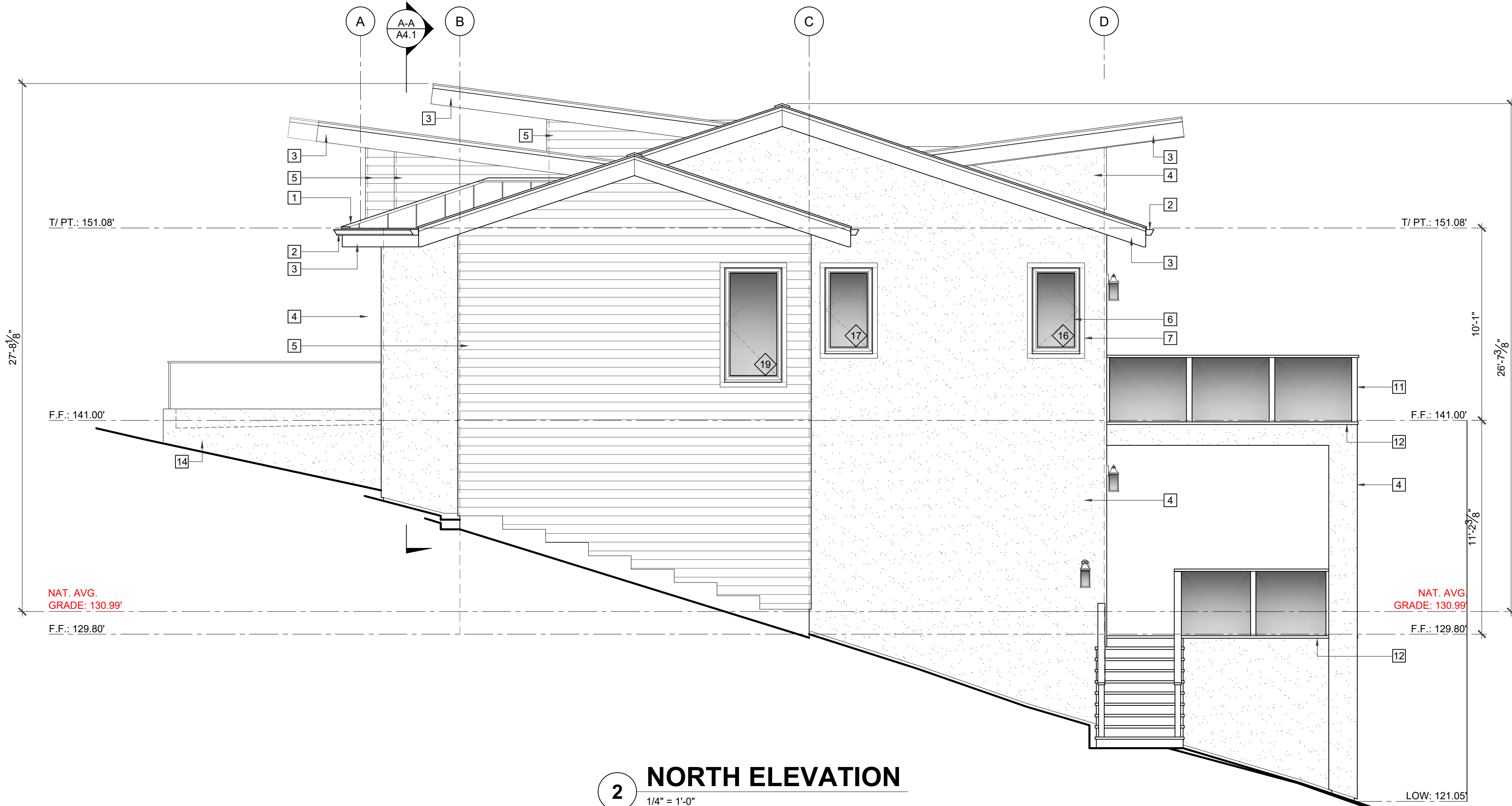




1 WEST ELEVATION
1/4" = 1'-0"

MAJOR MATERIALS

1. ROOF - STANDING SEAM METAL; COLOR: SHEFFIELD METALS - DARK BRONZE
2. EAVE & EAVE ITEMS - 1x6 HORIZONTAL WOOD BY WOODPLANK; COLOR: THERMO-POPLAR
3. GUTTERS & DOWNSPOUTS- GALVANIZED ALUMINUM; COLOR: MATCH BODY COLOR
4. WALL FINISH - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"
5. WALL FINISH - 1x6 HORIZONTAL WOOD BY WOODPLANK; COLOR: THERMO-POPLAR
6. WINDOWS - WESTERN WINDOWS; COLOR: DARK BRONZE
7. WINDOW/DOOR TRIM - PAINTED WOOD; COLOR: MATCH BODY COLOR
8. ENTRY DOOR - ROGUE VALLEY 55G; COLOR: WHITE OAK, ESPRESSO STAIN AND BRONZE GLASS
9. EXTERIOR DOORS - WESTERN DOORS; COLOR: DARK BRONZE
10. GARAGE DOOR - WOOD; COLOR: WHITE OAK, ESPRESSO STAIN, BRONZE GLASS
11. RAILING - WOOD & GLASS; COLOR: CEDAR, ESPRESSO STAIN, CLEAR GLASS
12. DECK - 24"x24" STONE DECK TILE; COLOR: GASCOINE BEIGE
13. ACCESS DOORS - FIBERGLASS; COLOR: MATCH BODY COLOR
14. PRIVACY/GARDEN WALLS - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"
15. RETAINING WALL - CEMENT STUCCO; COLOR: DUNN-EDWARDS - DEC742 "CAMEO"



2 NORTH ELEVATION
1/4" = 1'-0"

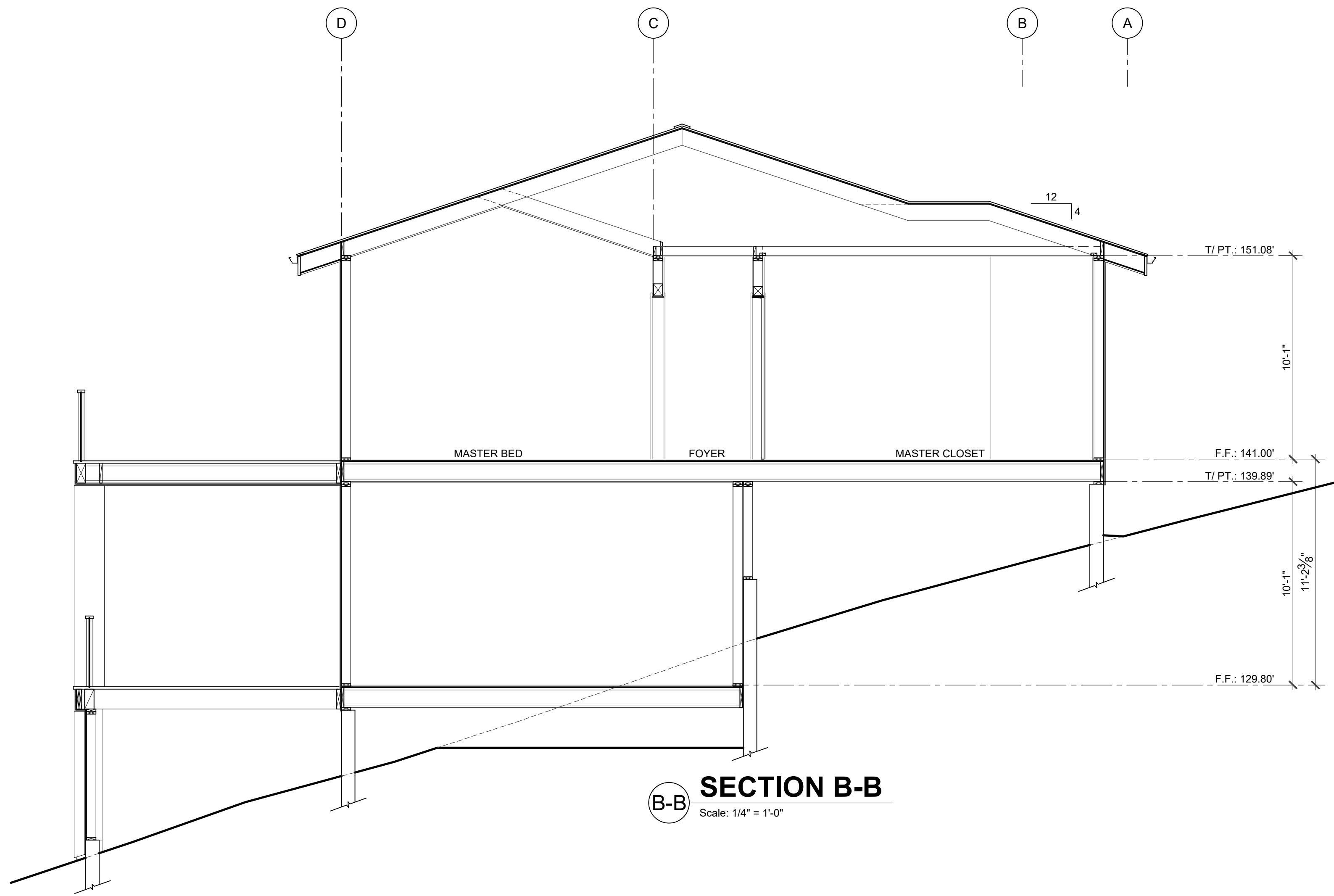


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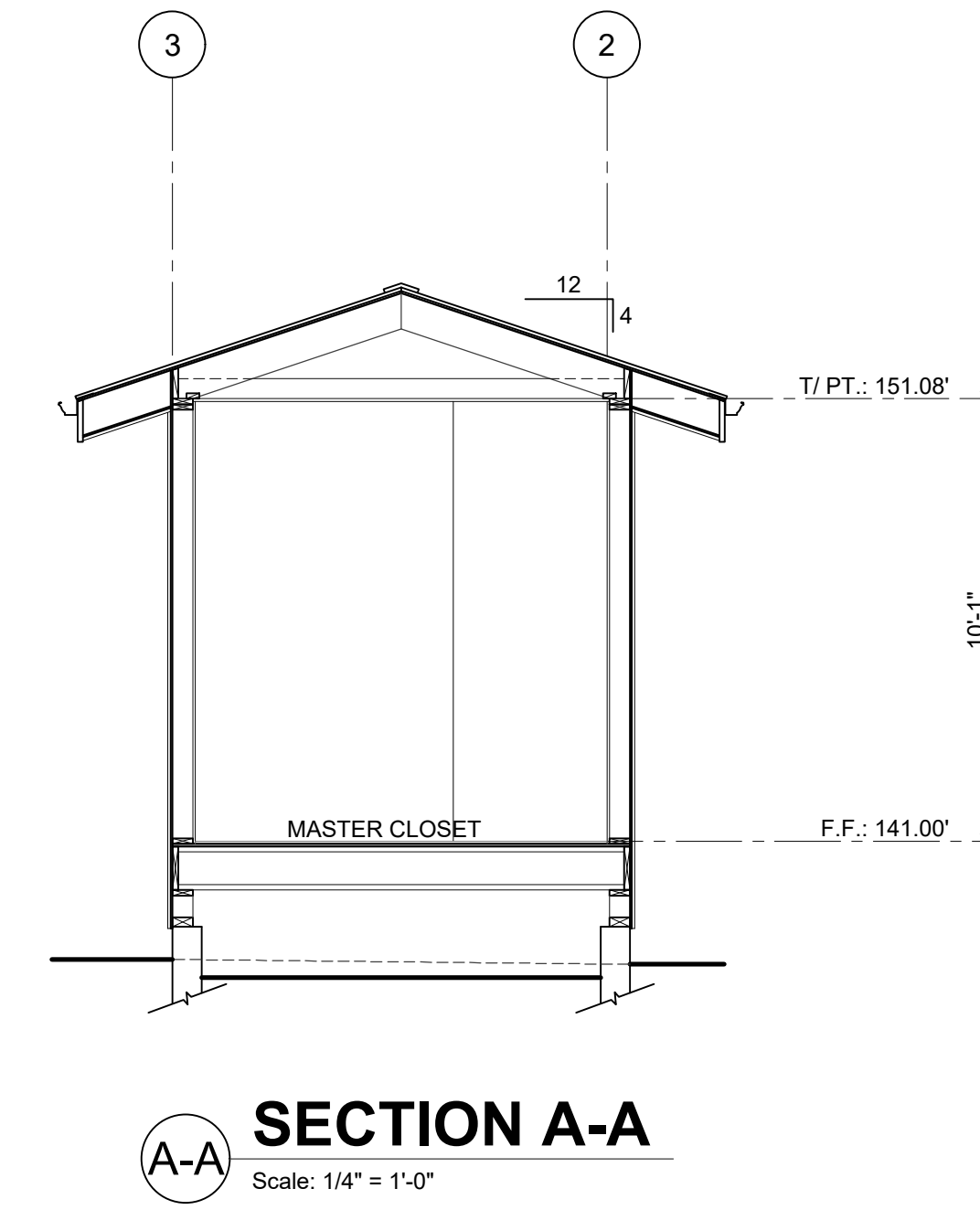
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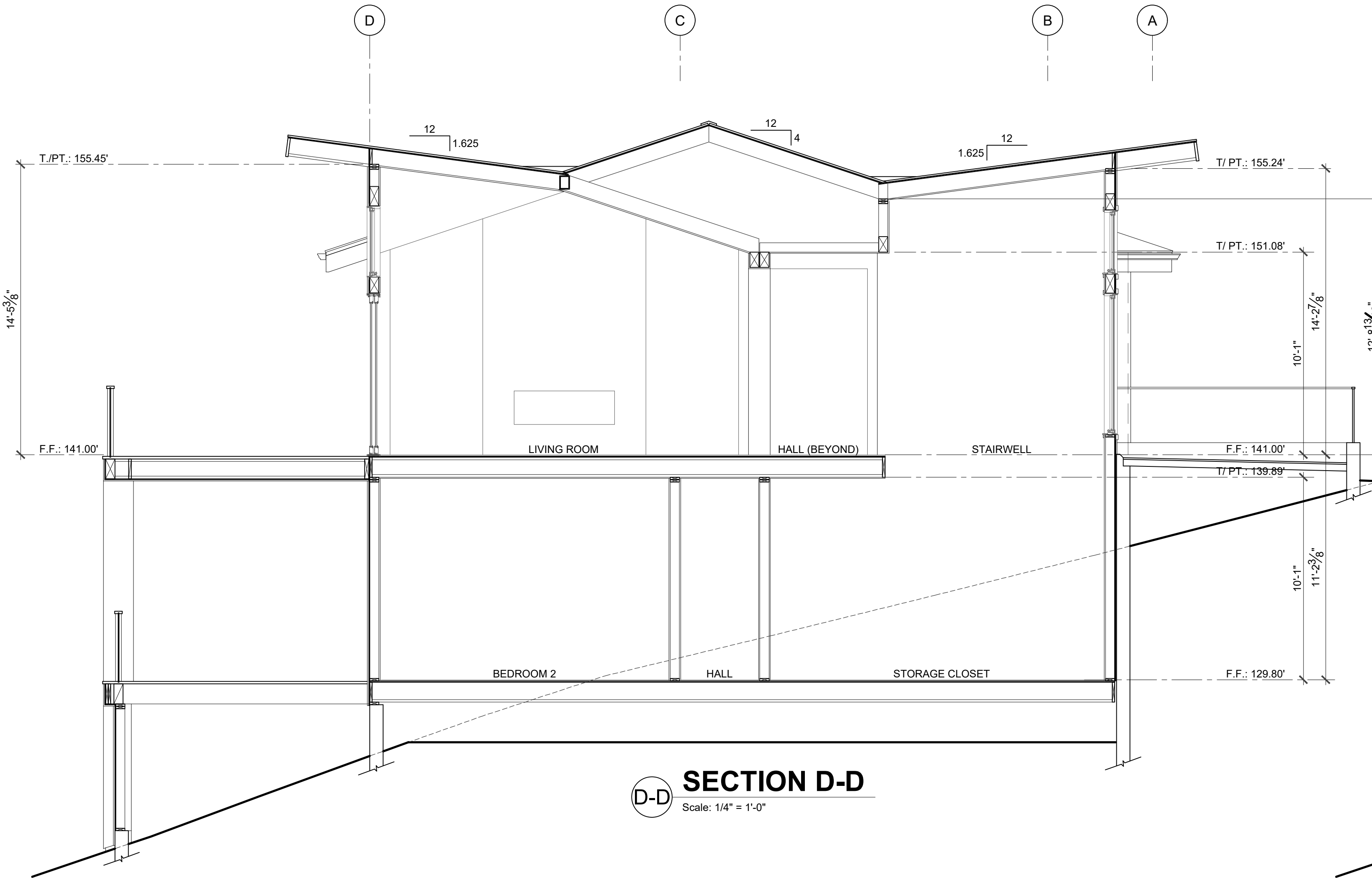
EXTERIOR ELEVATIONS
SALIB RESIDENCE
25575 CHIQUITO PLACE
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APN: 015-052-026



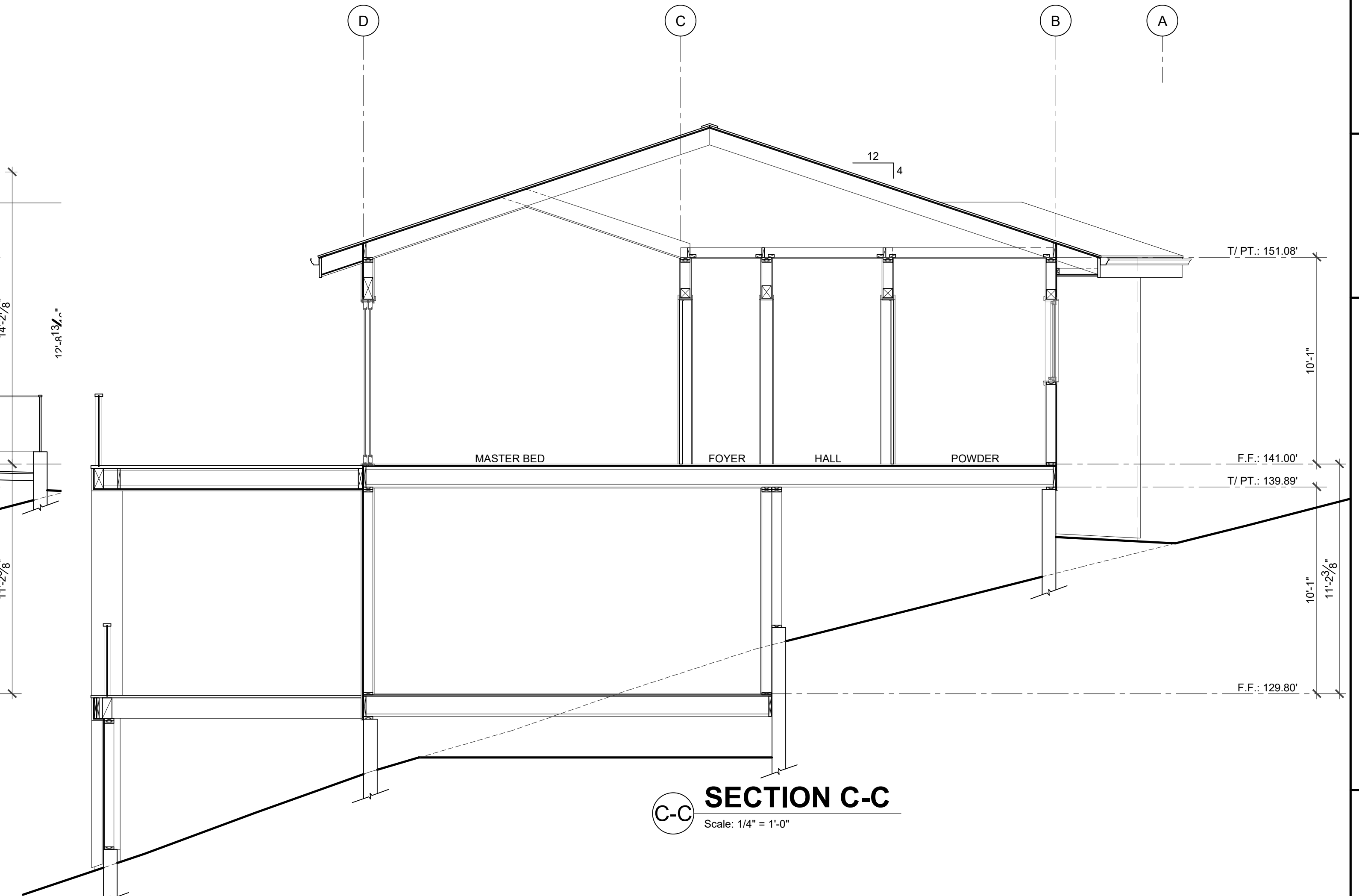
B-B
SECTION B-B
Scale: 1/4" = 1'-0"



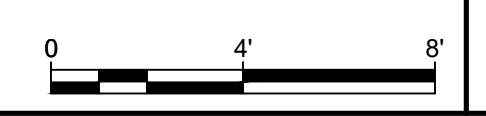
A-A
SECTION A-A
Scale: 1/4" = 1'-0"



D-D
SECTION D-D
Scale: 1/4" = 1'-0"



C-C
SECTION C-C
Scale: 1/4" = 1'-0"

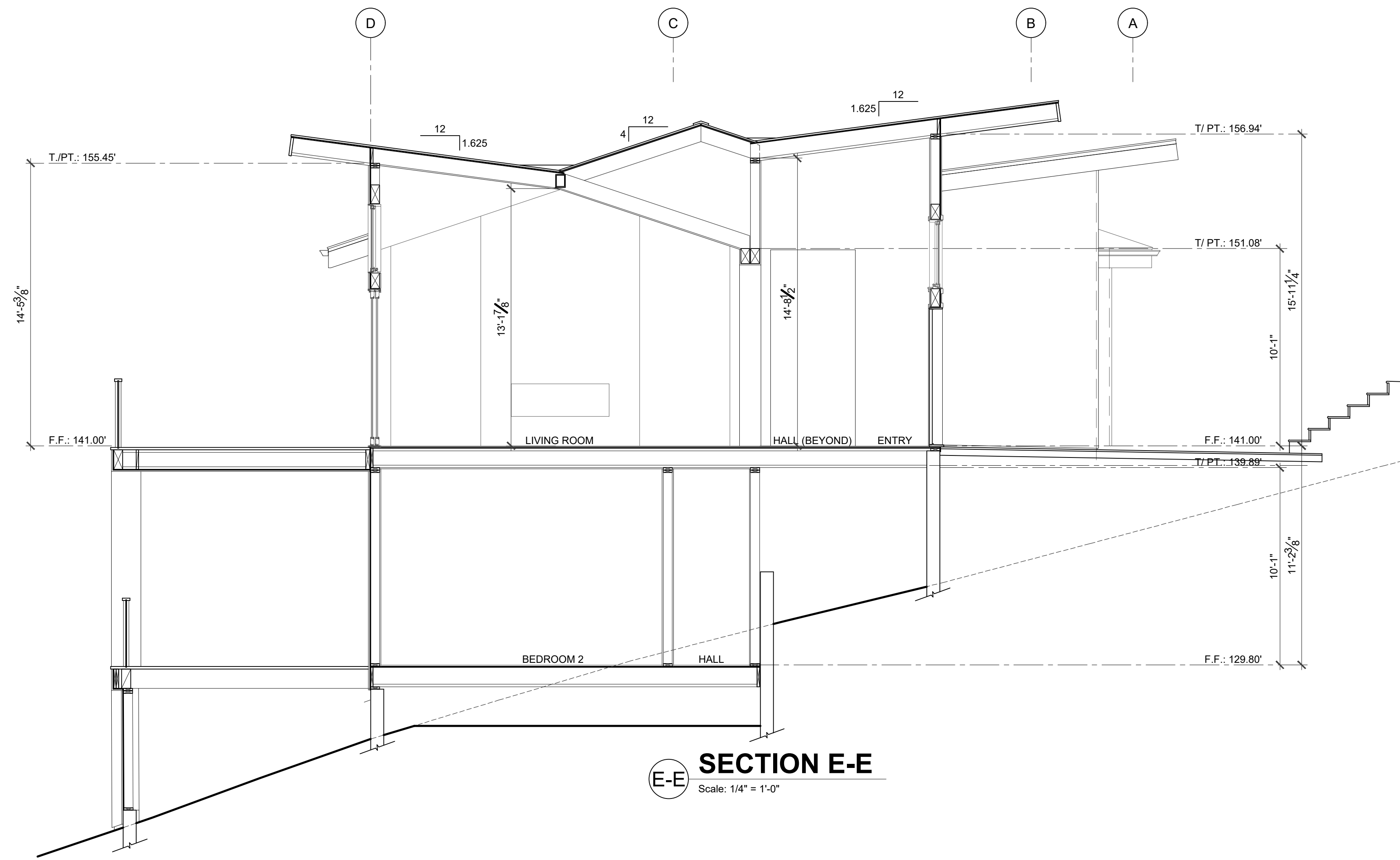


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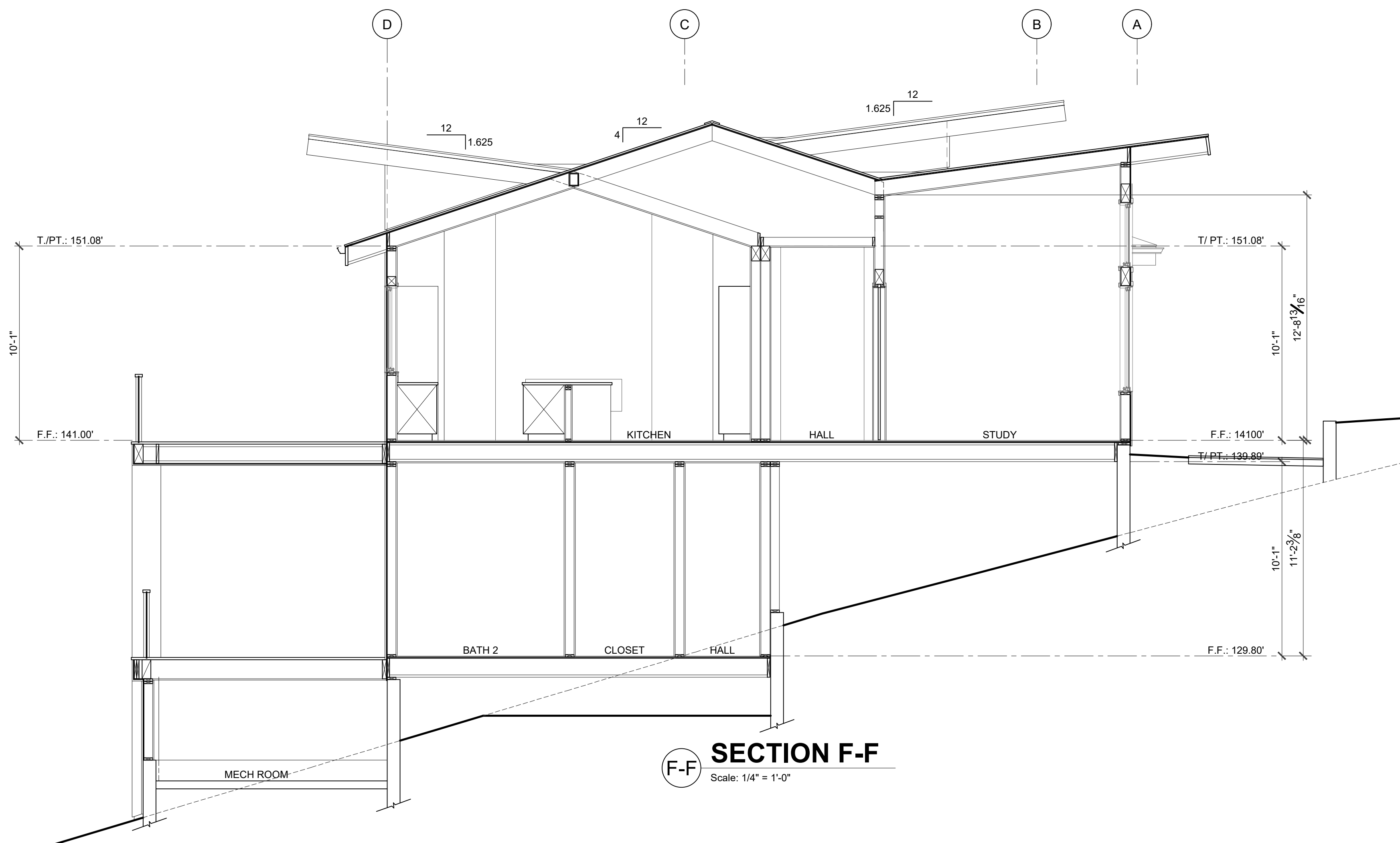
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BUILDING SECTIONS
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SECTION E-E
Scale: 1/4" = 1'-0"



SECTION F-F
Scale: 1/4" = 1'-0"



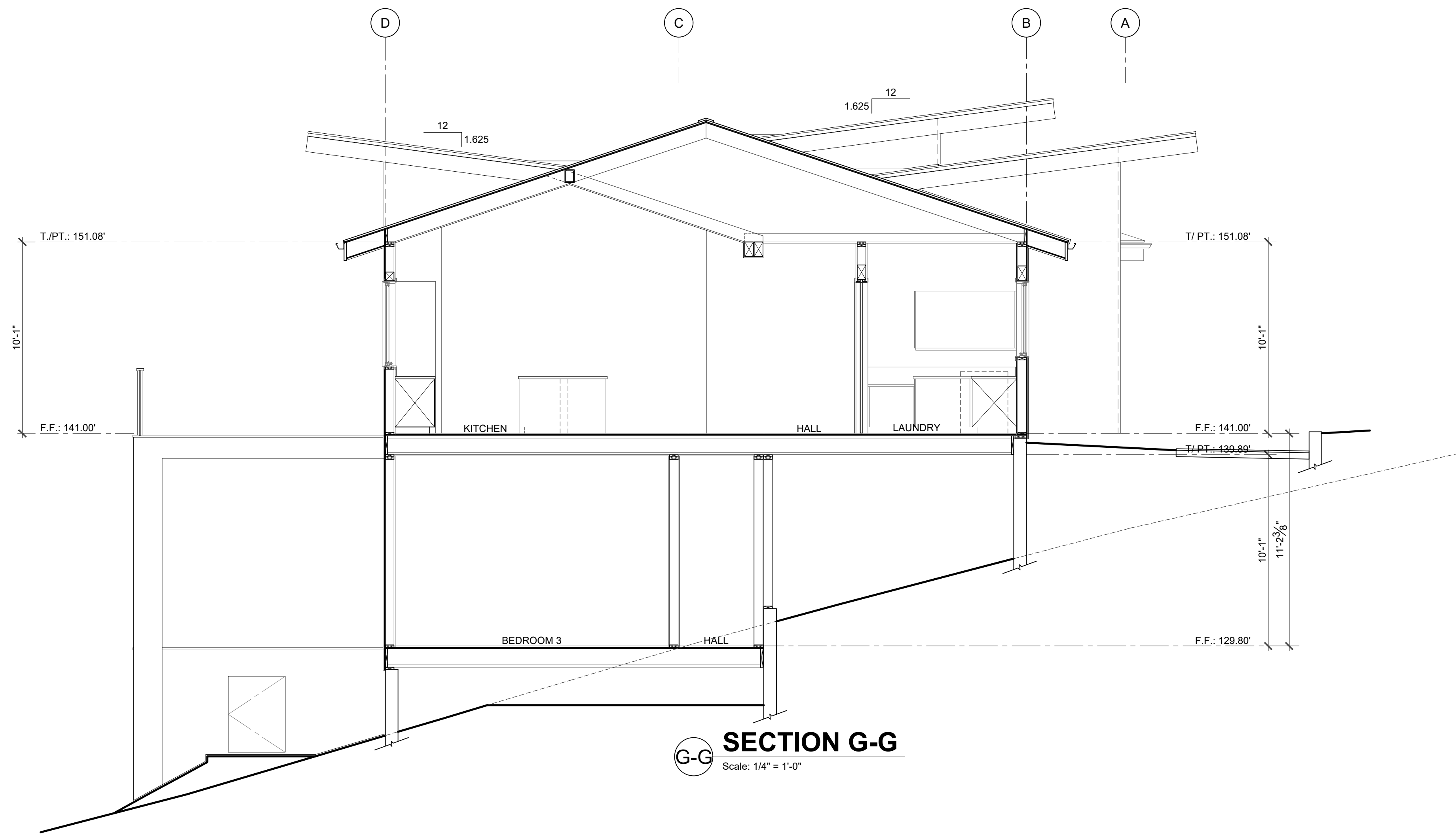
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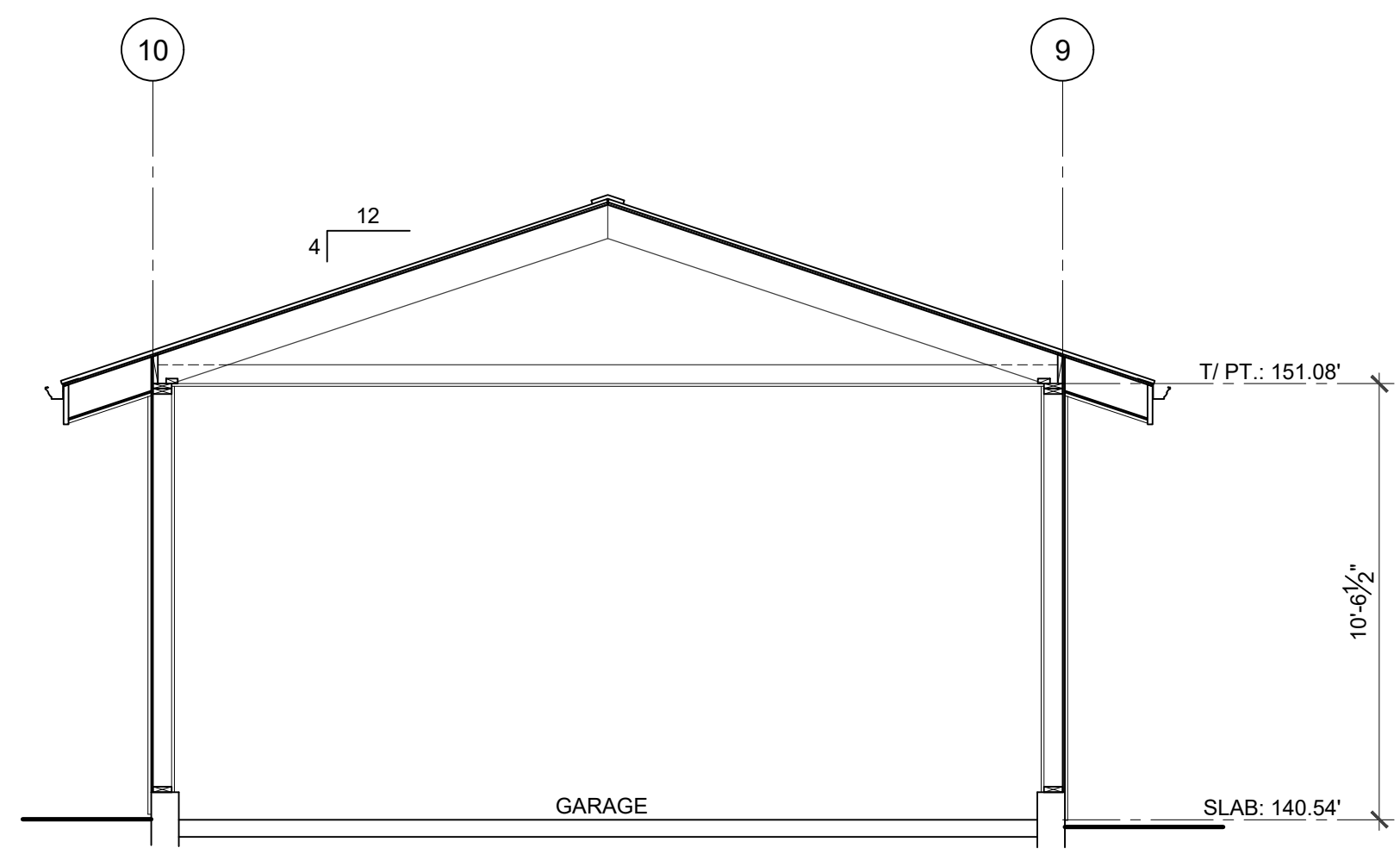
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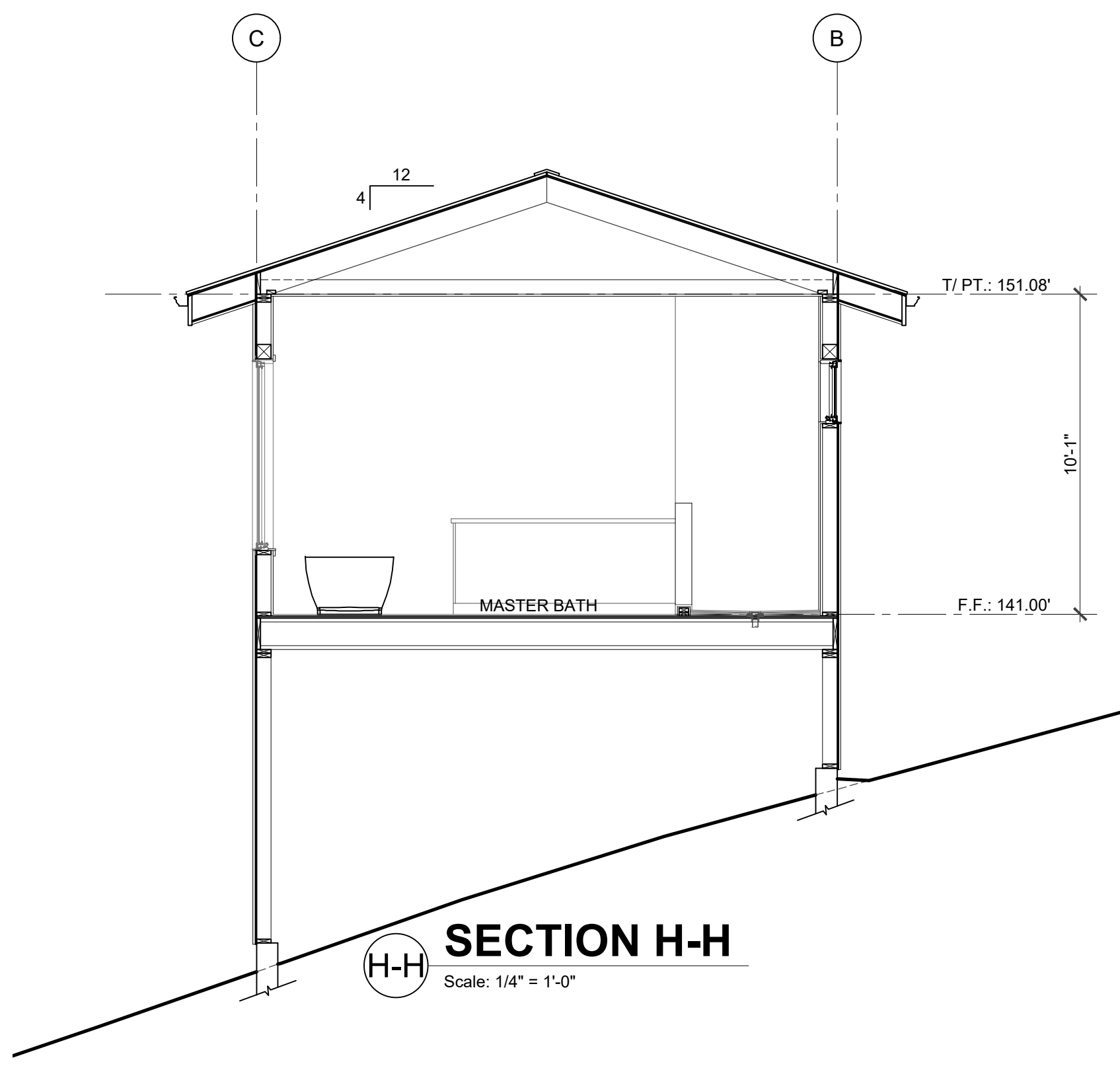
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A4.2
Matt Hanner



G-G
Scale: 1/4" = 1'-0"



J-J
Scale: 1/4" = 1'-0"



H-H
Scale: 1/4" = 1'-0"



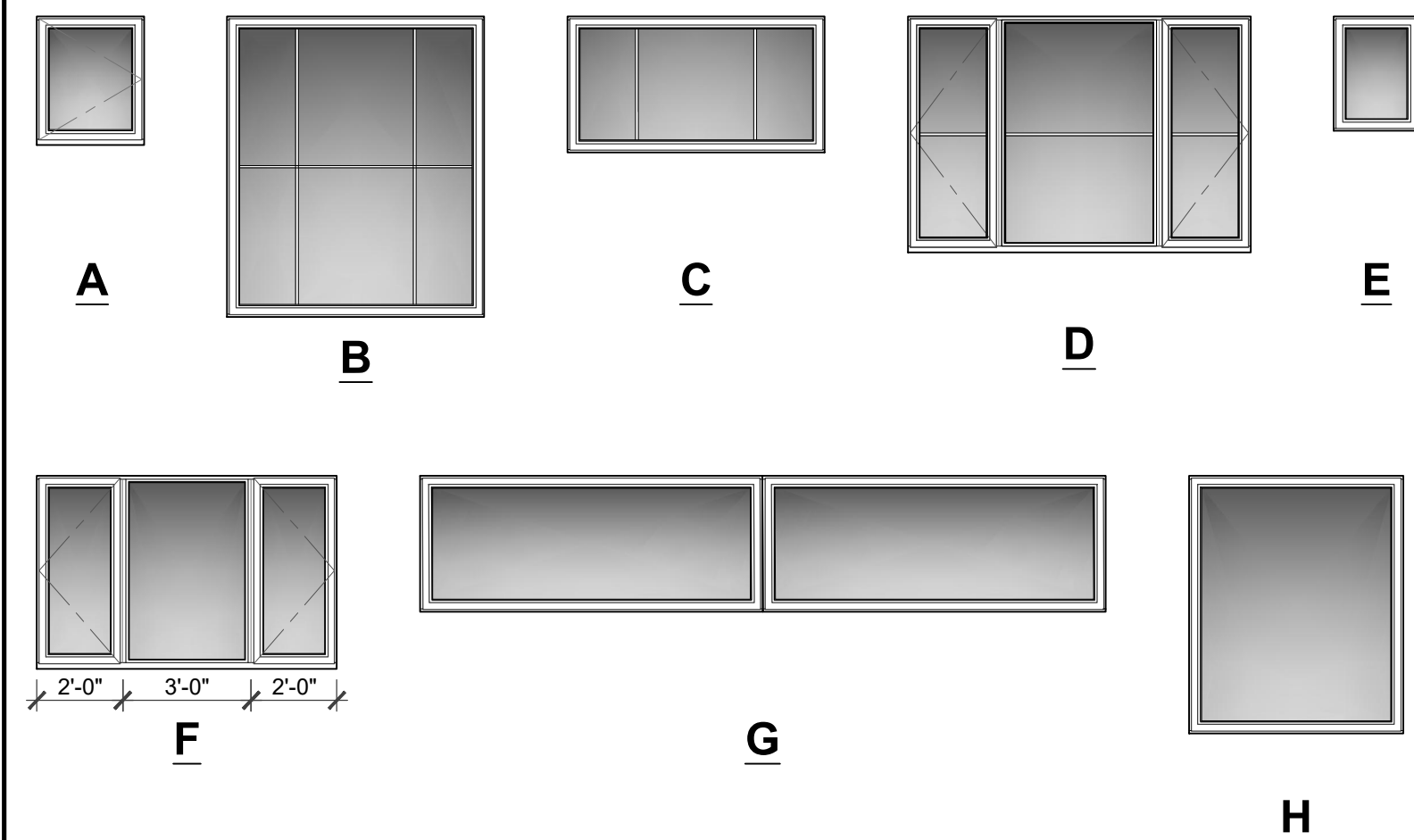
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BUILDING SECTIONS
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WINDOW TYPES



WINDOW SCHEDULE

Table with columns: MARK, TYPE, SIZE (WIDTH, HEIGHT), LOCATION, HEAD HEIGHT, ROUGH OPENING (W X H), FRAME, INT FINISH, GLASS TYPE, GRILLES, MFR. / MODEL #, REMARKS. Includes sub-sections for LOWER FLOOR and MAIN FLOOR.

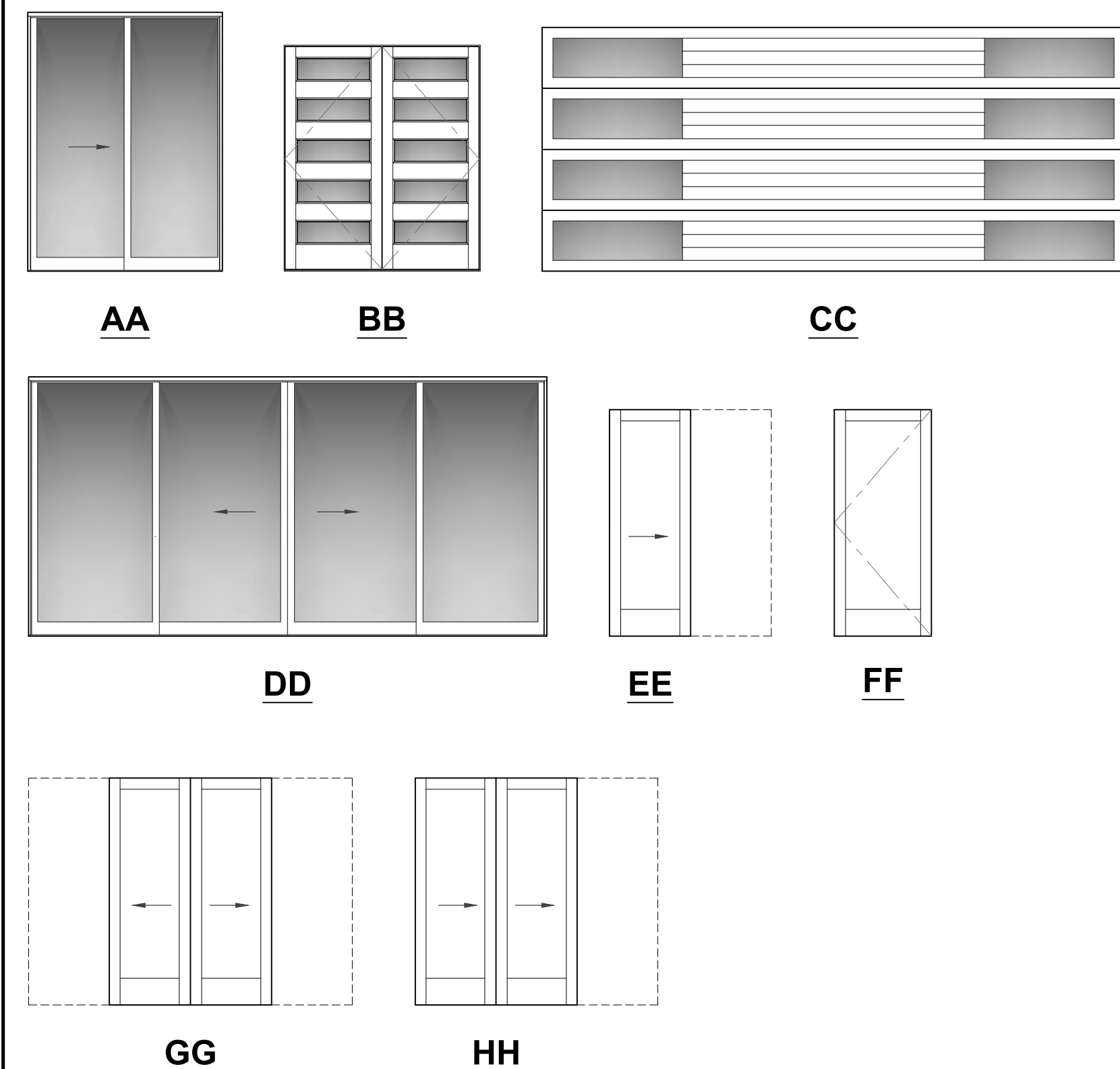
WINDOW NOTES

- 1. ALL CASEMENT WINDOWS SHALL PIVOT TO FACILITATE CLEANING THE EXTERIOR FROM THE INTERIOR.
2. AT DOUBLE PANE WINDOWS WITH OBSCURE GLASS INTERIOR GLAZING CAN BE CLEAR TEMPERED WITH THE EXTERIOR BEING UN-TEMPERED OBSCURE.
3. SEE FLOOR PLANS FOR WINDOW LOCATIONS.
4. SEE EXTERIOR ELEVATIONS FOR WINDOW MUNTINS, MULLIONS, OPERATION, ETC.
5. ALL DIVIDERS TO BE TRU DIVIDERS.
6. WINDOW SIZES INDICATED ARE APPROXIMATE AND MAY BE ALTERED SLIGHTLY TO MEET MANUFACTURED STANDARD DIMENSIONS.
7. ALL BEDROOMS SHALL HAVE AT LEAST ONE WINDOW THAT MEETS EMERGENCY EGRESS REQUIREMENTS, I.E.: A MINIMUM CLEAR OPENING OF 5.7 S.F., A NEW OPENING WIDTH OF 1'-8", A HEIGHT OF 2'-0" AND A MAXIMUM SILL HEIGHT OF 3'-8" ABOVE FINISH FLOOR.
8. SEE SPECIFICATIONS FOR TECHNICAL DATA, FINISHES, HARDWARE, WEATHERSTRIPPING, ETC.
9. WALL WIDTHS MAY VARY - VERIFY WALL DIMENSIONS PRIOR TO MANUFACTURING WINDOWS.

GLAZING NOTES

- 1. VERIFY ROUGH OPENINGS WITH WINDOW MFR. PRIOR TO FRAMING WINDOW OPENINGS.
2. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. LABELS MAY BE OMITTED FROM OTHER THAN SAFETY GLAZING MATERIALS UNLESS SPECIFICALLY REQUIRED BY THE BUILDING OFFICIAL. TO QUALIFY AS GLASS WITH SPECIAL PERFORMANCE CHARACTERISTICS, EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
3. ALL WINDOWS DOUBLE INSULATED CLEAR "LOW-E II", ARGON FILLED.
4. INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CONSUMER PRODUCTS SAFETY COMMISSION 16-CFR OR BY COMPARATIVE AND SHALL BE PROVEN TO PRODUCE AT LEAST EQUIVALENT PERFORMANCES. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS:
A. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS.
B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
C. GLAZING IN ALL UNFRAMED SWINGING DOORS.
D. GLAZING IN DOORS AND TUB ENCLOSURES. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING A SHOWER OR TUB COMPARTMENT WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE DRAIN OUTLET.
E. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
F. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT HAS AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 sq. ft., THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
5. VERIFY SWING HAND OF OPERABLE WINDOWS, SEE BUILDING ELEVATIONS.
6. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
7. PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESS AS SHOWN.

DOOR TYPES



EXTERIOR DOOR SCHEDULE

Table with columns: MARK, TYPE, PANEL SIZE (WIDTH, HEIGHT), THICKNESS, LOCATION, HEAD HEIGHT, ROUGH OPENING (W X H), FRAME, INT FINISH, GLASS TYPE, MFR. / MODEL #, REMARKS. Includes sub-sections for LOWER FLOOR and MAIN FLOOR.

INTERIOR DOOR SCHEDULE

Table with columns: MARK, TYPE, PANEL SIZE (WIDTH, HEIGHT), THICKNESS, LOCATION, HEAD HEIGHT, ROUGH OPENING (W X H), FRAME, INT FINISH, GLASS TYPE, MFR. / MODEL #, REMARKS. Includes sub-sections for LOWER FLOOR and MAIN FLOOR.

DOOR NOTES

HARDWARE NOTES:

- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, U.O.N.:
1. ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.
2. SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
3. THRESHOLD SHALL HAVE A MAXIMUM HEIGHT OF 1/2" ABOVE FINISH FLOOR.
4. PROVIDE 4" X 4" BUTTS ON ALL DOORS.
5. ALL HARDWARE TO HAVE FINISH PER OWNER.

DOOR NOTES:

- 1. SEE EXTERIOR ELEVATIONS FOR DOOR OPERATION.
2. ALL DOOR GLAZING TO BE TEMPERED:
S.G. = STAIN GRADE
P.G. = PAINT GRADE
MFR. = MANUFACTURER
3. TEMPERED GL - A PERMANENT LABEL PER CBC SECTION 2406.2 SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
4. VERIFY ROUGH OPENINGS WITH DOOR MFR. PRIOR TO FRAMING DOOR OPENINGS.
5. PROVIDE JAMB EXTENSIONS TO MATCH WALL THICKNESSES AS SHOWN.

EGRESS NOTES (CRC SEC. R311.2):

- 1. AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.
2. EGRESS DOORS SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD).
3. THE MINIMUM CLEAR HEIGHT OF THE EGRESS DOOR OPENING SHALL NOT BE LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.
4. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
5. EXTERIOR LANDINGS SHALL BE A MAXIMUM 7-3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IF THE DOOR SWINGS OUTWARD (OVER THE LANDING), THE CHANGE IN ELEVATION IS LIMITED TO 1-1/2" MAXIMUM. CRC R311.3.1 OR CBC 1010.1.5, EXCEPTION 3

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Table with columns: DATE, SCALE, DRAWN BY, REVISION. Includes values: 09-24-24, NOTED, STAFF, 09-24-24.

DOOR & WINDOW SCHEDULE

SALIB RESIDENCE
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APN: 015-052-026

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A5.1

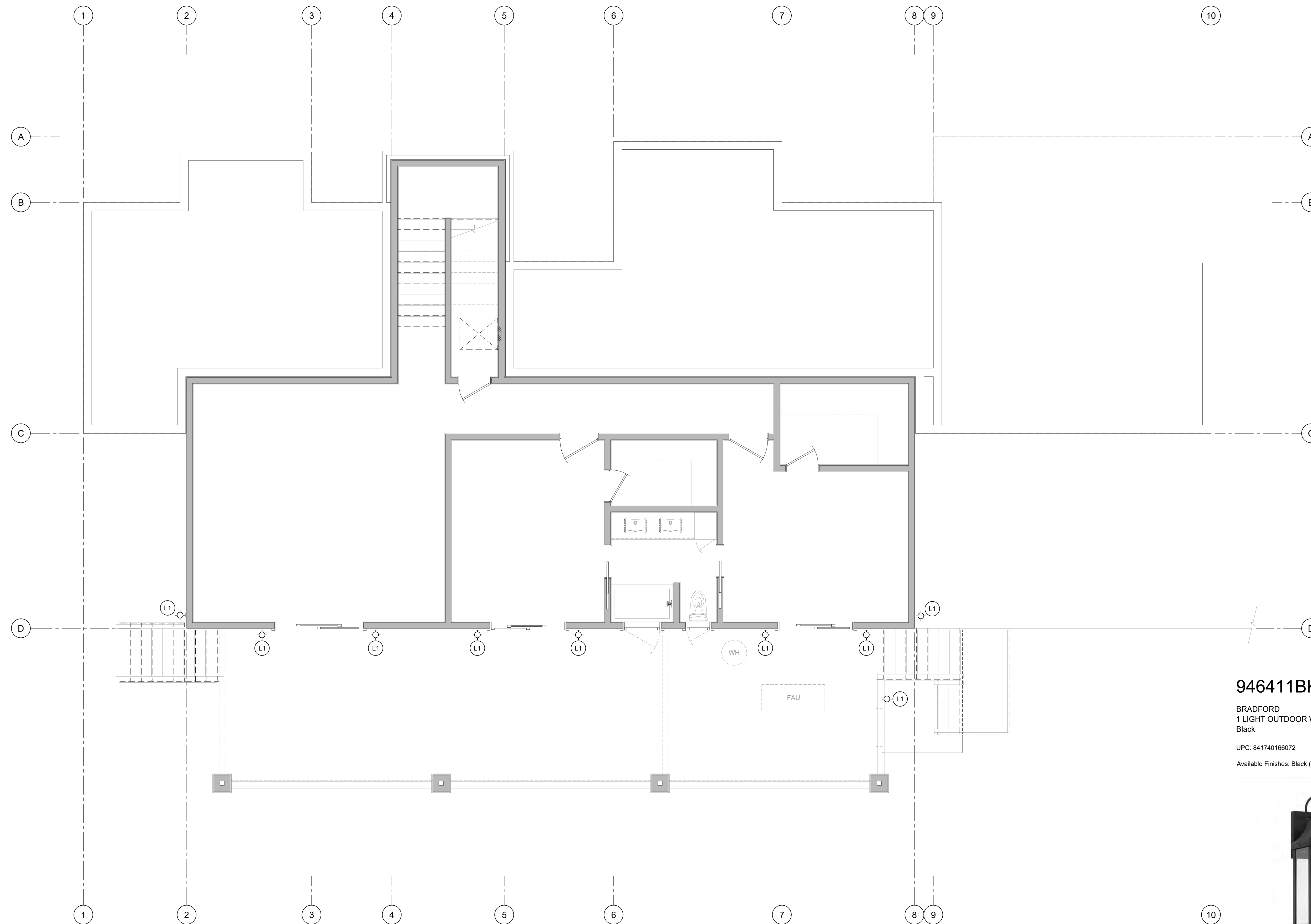
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EXTERIOR LIGHTING NOTES:

- EXTERIOR LIGHTING FIXTURES SHALL BE INSTALLED SO AS NOT TO EXCEED A 25W MAX. BULB WATTAGE.

LIGHTING LEGEND

⊙ L1 WALL MOUNTED LIGHT FIXTURE



946411BK-GL

BRADFORD
1 LIGHT OUTDOOR WALL LANTERN
Black

UPC: 841740166072

Available Finishes: Black (BK), Oiled Bronze (OZ)

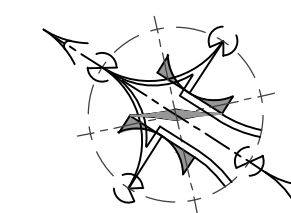


DIMENSIONS
Dimensions: 6"W x 17.25"H x 7.50"E
Product Weight: 4.5 lbs.
Max. Hanging Height: 17.25"
Min. Hanging Height: 17.25"
Backplate: 4.75"W x 6.25"H x 0.75"E
Junction: Ctr/Top: 4.75"; Ctr/Btm: 12.50"

LAMPING INFORMATION
Lamping: 1 - 7 Watt GU10 Twist Lock
No. of Sockets: 1
Max. Wattage Per Bulb: 7
Dimmable: Yes
Bulb(s) Included: No
Recommended Bulb(s): GU10
UL Rating: UL listed. Rated for Wet locations.

SHIPPING INFORMATION
Carton Dimensions: 8.75"W x 20.75"H x 10.25"L
Carton Weight: 6 lbs.
Shipping Method: Standard Ground

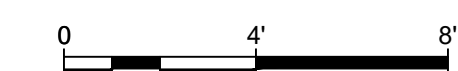
GLASS DESCRIPTION
Clear Glass
Glass Dimensions: 4.75"W X 10.25"H



LOWER FLOOR EXTERIOR LIGHTING PLAN

1/4" = 1'-0"

L1 EXTERIOR LIGHTING SPEC



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EXTERIOR LIGHTING PLAN - LOWER

SALIB RESIDENCE
25575 CHIQUITO PLACE
CARMEL, CA 93923
APN: 015-052-026

PAGE:

L-1

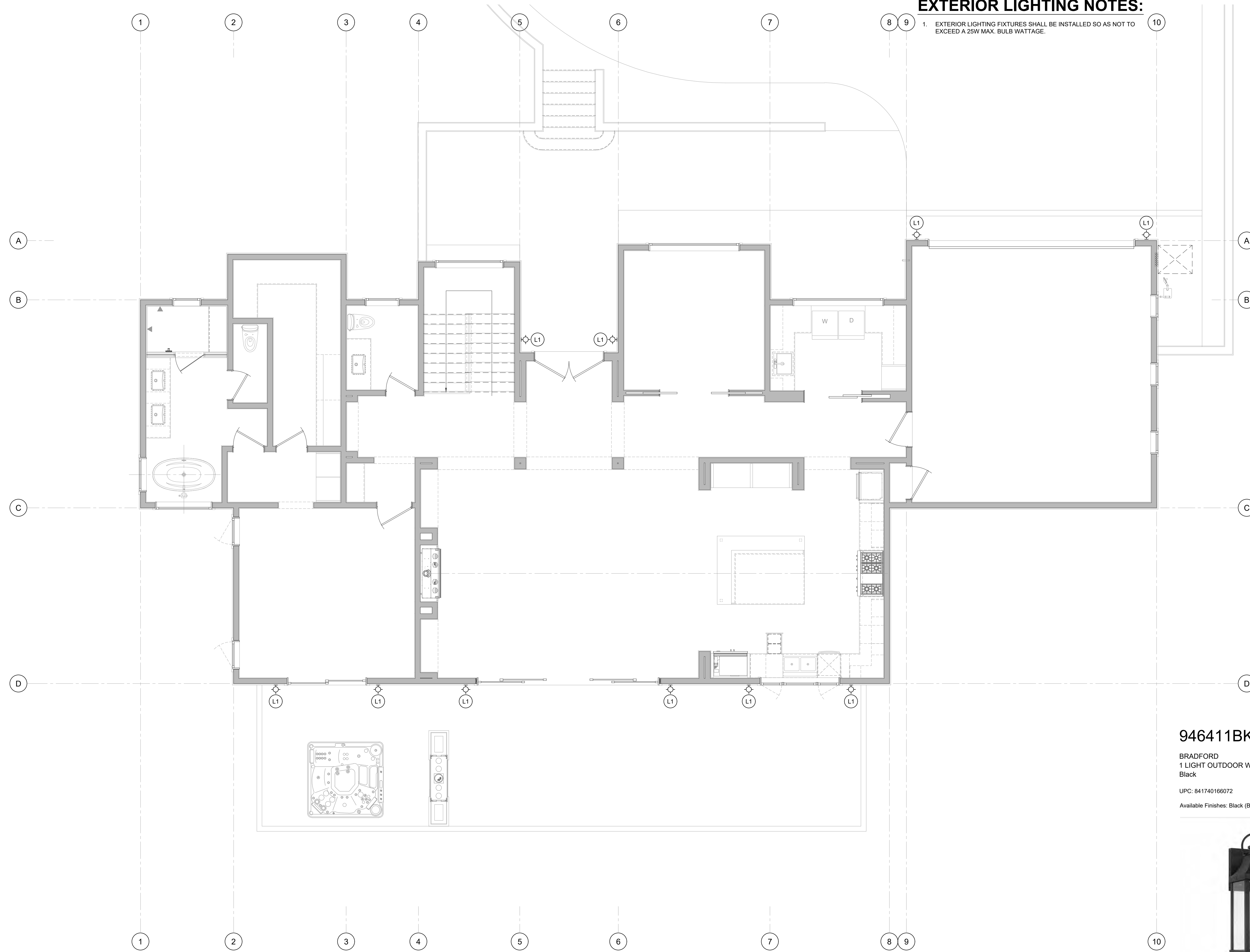
Matt Hanner

EXTERIOR LIGHTING NOTES:

1. EXTERIOR LIGHTING FIXTURES SHALL BE INSTALLED SO AS NOT TO EXCEED A 25W MAX. BULB WATTAGE.

LIGHTING LEGEND

⊕ WALL MOUNTED LIGHT FIXTURE



946411BK-GL

BRADFORD
1 LIGHT OUTDOOR WALL LANTERN
Black

UPC: 841740166072

Available Finishes: Black (BK), Oiled Bronze (OZ)



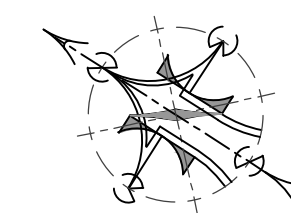
DIMENSIONS
Dimensions: 6"W x 17.25"H x 7.50"E
Product Weight: 4.5 lbs.
Max. Hanging Height: 17.25"
Min. Hanging Height: 17.25"
Backplate: 4.75"W x 6.25"H x 0.75"E
Junction: Ctr/Top: 4.75"; Ctr/Btm: 12.50"

LAMPING INFORMATION
Lamping: 1 - 7 Watt GU10 Twist Lock
No. of Sockets: 1
Max. Wattage Per Bulb: 7
Dimmable: Yes
Bulb(s) Included: No
Recommended Bulb(s): GU10
UL Rating: UL listed. Rated for Wet locations.

SHIPPING INFORMATION
Carton Dimensions: 8.75"W x 20.75"H x 10.25"L
Carton Weight: 6 lbs.
Shipping Method: Standard Ground

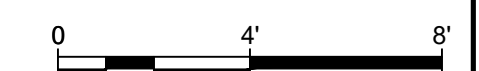
GLASS DESCRIPTION
Clear Glass
Glass Dimensions: 4.75"W x 10.25"H

L1 EXTERIOR LIGHTING SPEC



MAIN FLOOR EXTERIOR LIGHTING PLAN

1/4" = 1'-0"



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EXTERIOR LIGHTING PLAN - MAIN

SALIB RESIDENCE
25575 CHIQUITO PLACE
CARMEL, CA 93923
APN: 015-052-026

PAGE:

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Matt Hanner

A
66

PROJECT INFORMATION

PROPERTY OWNER: RENEE AND ANTHONY SALIB
571 WEST SUNSHINE PLACE
CHANDLER, ARIZONA 85248

JURISDICTION: COUNTY OF MONTEREY
ASSESSORS PARCEL NO: 015-052-026-000
DESCRIPTION: 28875 CHIQUITO PLACE, CARMEL, CALIFORNIA 93923

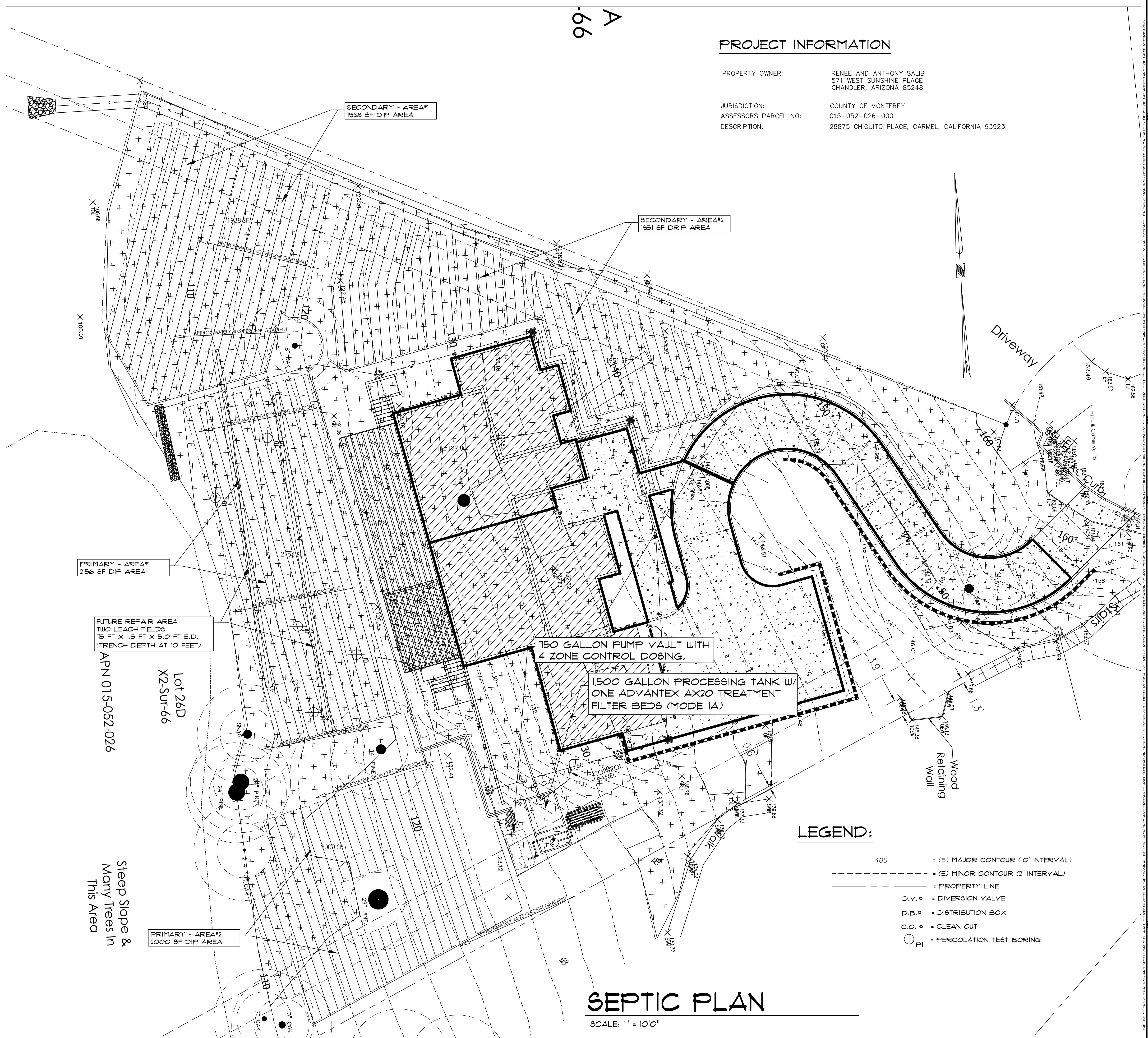
REVISIONS
01.26.26 BT

BASIS OF SEPTIC DESIGN:

1. THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY SEPTIC ORDINANCE. THE PARCEL IS NOT LOCATED IN A GROUNDWATER RECHARGE AREA. THE LOT AREA IS 1.0164 ACRES THAT ALLOWS A MAXIMUM OF 40,656 TOTAL GRAM OF NITROGEN DAILY. THE PROPOSED DEVELOPMENT IS 50 GRAMS OF NITROGEN. A REDUCTION OF 18.68 PERCENT IS REQUIRED TO MEET THE NITROGEN LOADING REQUIREMENTS.
2. THE ADVANCED OWTs SYSTEM IS SIZED FOR A 4 BEDROOM RESIDENCE. THE ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS PER DAY FOR THE PROPOSED RESIDENCE.
3. PER THE SITE PERCOLATION INVESTIGATION REPORT BY SOIL SURVEYS GROUP, INC., DATED JULY 31, 2018, JOB #7180, THE PERCOLATION RATES ARE AS FOLLOWS:

BORING	DEPTH (FT)	PERC RATE (MPI)
B-2	9.0	50.00
B-3	5.0	125.0
B-4	5.0	35.71
B-5	3.0	83.33
- PER TABLE 5-4, SOIL APPLICATION RATES AS DETERMINED FROM STABILIZED PERCOLATION RATES. THE MAXIMUM SOIL APPLICATION RATES FOR TWO DIFFERENT TYPES OF DISPERSAL AREAS ARE DESCRIBED BELOW:

FOR A DRIP SYSTEM DISPERSAL AREA:	FOR A CONVENTIONAL TRENCH DISPERSAL AREA
450 / 0.12 = 3750 SF	450 / 0.3 = 1500 SF
PRIMARY DISPERSAL - TWO - 2000 SQUARE FOOT DRIP AREAS	PRIMARY DISPERSAL: TWO 75' X 18" X 2' E.D. WITH TRENCH DEPTH AT 10 FEET
SECONDARY DISPERSAL; TWO - 2000 SQUARE FOOT DRIP AREAS	
6. THE CONVENTIONAL TRENCH DISPERSAL IS PROPOSED AS THE TERTIARY BACKUP SYSTEM. THE INSTALLATION WOULD BE UNDER A PORTION OF THE PRIMARY DRIP SYSTEM AREA. THE DRIP SYSTEM INSTALLED AT 12 TO 18 INCHES BELOW THE GROUND SURFACE. IF A PORTION OF THE DRIP SYSTEM FAILS, THE TRENCHES WOULD BE INSTALLED AT 10 FEET BELOW GROUND SURFACE AND WOULD FUNCTION AT A DEPTH THAT WOULD NOT BE INFLUENCED THE THE DRIP SYSTEM AT GRADE.
7. THE VERTICAL CLEARANCE TO GROUND WATER IS ESTIMATED TO BE 8.6 FEET (18.6 FT - 10 DISPERSAL DEPTH) WHICH IS GREATER THAN THE MINIMUM VERTICAL SEPARATION OF 3 FEET PER TABLE 12 OF THE LAMP.
8. TO FACILITATE FUTURE INSPECTION OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS SHALL BE INSTALLED AT THE END OF EACH TRENCH.
9. THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.



TALUBAN ENGINEERING, INC.
103 CHURCH STREET
SALINAS, CALIFORNIA 93901
P.O. BOX 292, SALINAS, CALIFORNIA, 93902
taluban@bcgjobal.net



CONCEPTUAL SEPTIC SYSTEM
PROPOSED RESIDENCE
28875 CHIQUITO PLACE
CARMEL, CALIFORNIA 93923

DATE: 11/19/24
SCALE: AS SHOWN
DRAWN: BT
JOB: 24-066
APN: 015-052-026-000
SHEET: SW.1
OF SHEETS: 6

SEPTIC PLAN

SCALE: 1" = 10'0"

LEGEND:

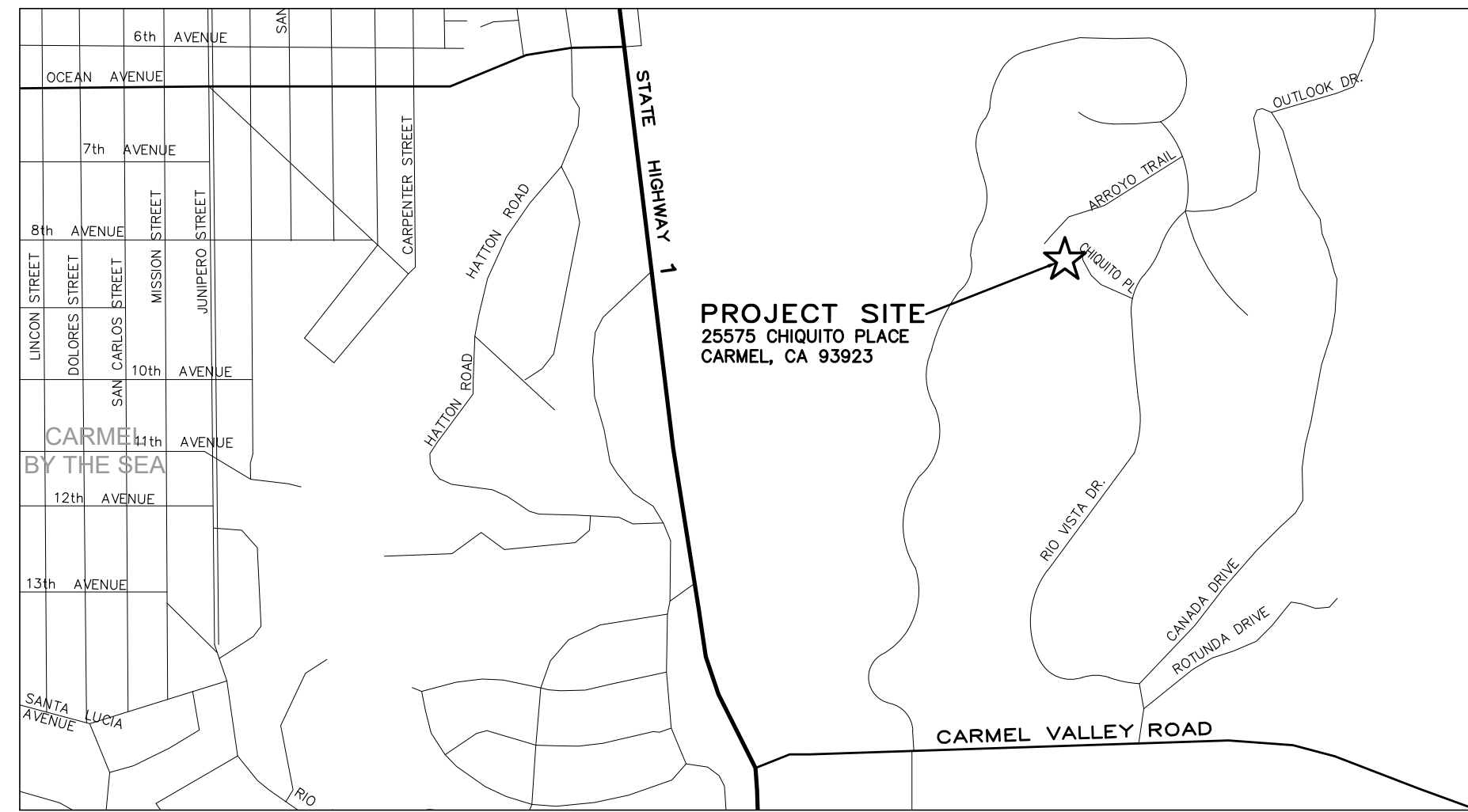
- 400 --- (E) MAJOR CONTOUR (10' INTERVAL)
- 100 --- (E) MINOR CONTOUR (2' INTERVAL)
- --- PROPERTY LINE
- D.V. • DIVERSION VALVE
- D.B. • DISTRIBUTION BOX
- C.O. • CLEAN OUT
- ⊕ P.I. • PERCOLATION TEST BORING

Steep Slope & Many Trees in This Area

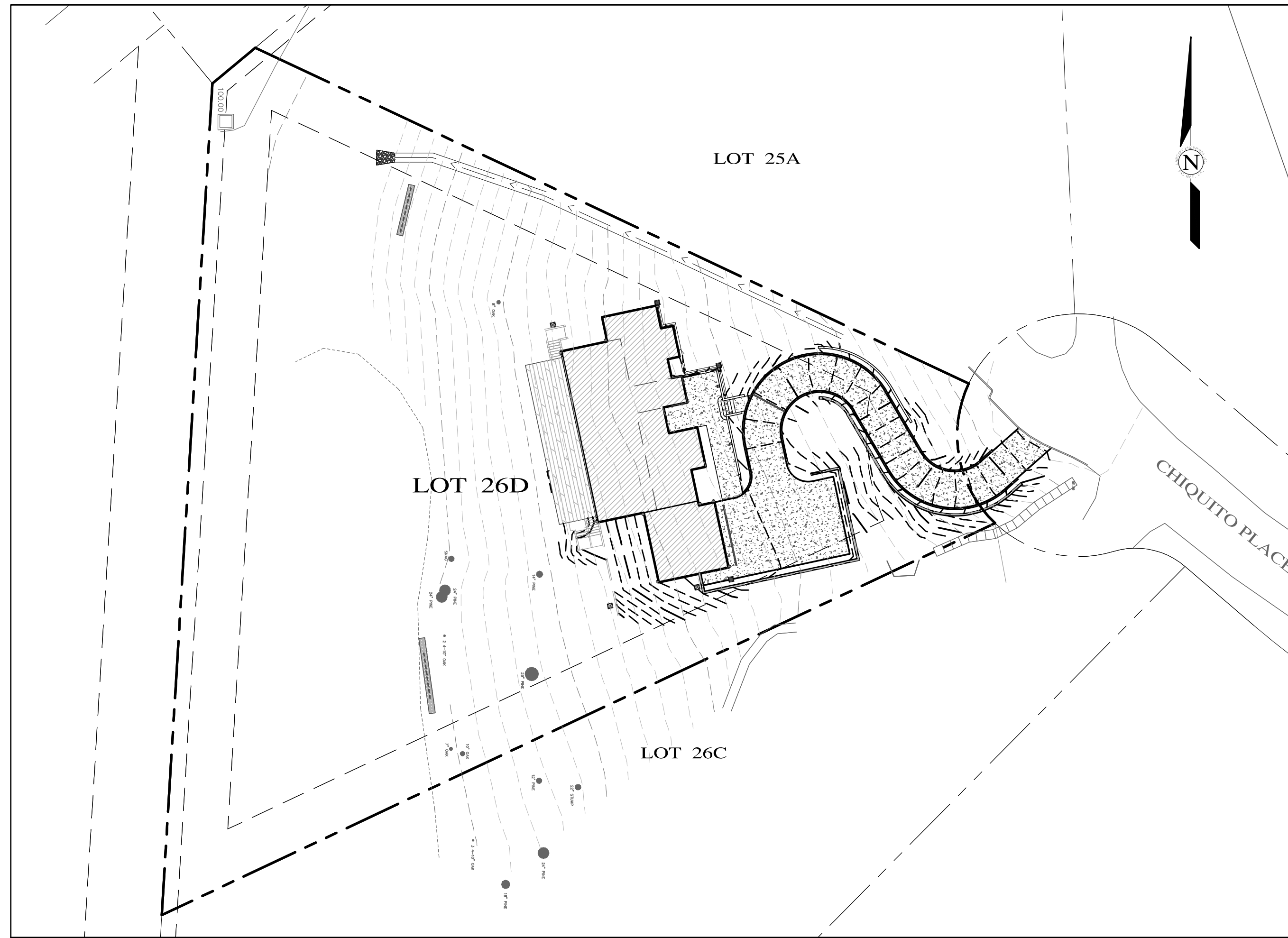
Lot 26D
X2-Sur-66
APN 015-052-026

GRADING, DRAINAGE & EROSION CONTROL PLAN

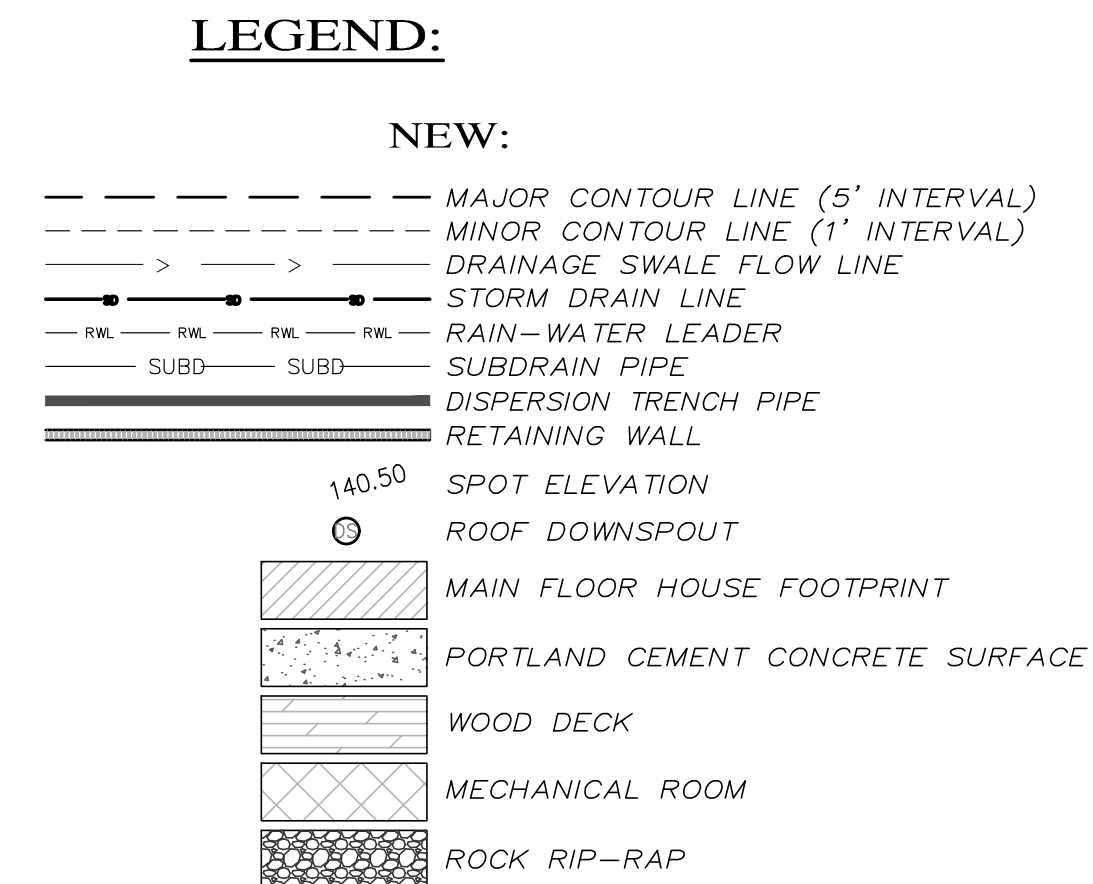
OF
SALIB RESIDENCE
APN: 015-052-026
CARMEL, MONTEREY COUNTY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=30'



NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Baseroack subgrade compaction	Soil's Engineer	Prior to pavement installation		

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE SALIB RESIDENCE A1.2 PREPARED BY CARMEL BUILDING & DESIGN, DATED 04/15/24, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 225 C.Y. OF CUT AND 510 C.Y. OF FILL WITH AN IMPORT OF 285 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASINS AND DISCHARGED TO AN ENERGY DISSIPATOR/DISPERSION TRENCH. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LANE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF AREA DRAINS, TRENCH DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS AND JUNCTION BOXES SHALL BE "CHRISTY" PRODUCTS V12 WITH CAST IRON GRATE OR SOLID LID OR APPROVED EQUAL. TRENCH DRAINS AND AREA DRAINS SHALL BE "NDS" PRODUCTS DURA-SLOPE AND ROUND SPEE-D OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, RESOLUTION No. R3-2013-0032, ATTACHMENT 1.
- THIS PROJECT WILL CREATE AND/OR REPLACE 6,240 SQ.FT. OF IMPERVIOUS SURFACES COLLECTIVELY OVER THE ENTIRE PROJECT).
- PER POST-CONSTRUCTION REQUIREMENTS RESOLUTION R3-2013-0032, CHAPTER B, THIS PROJECT IS A REGULATED PROJECT PERFORMANCE REQUIREMENT No. 1 - SITE DESIGN AND RUNOFF REDUCTION.
- SEE SHEET C5 FOR MO.CO. H.C.D. SITE DESIGN & RUNOFF REDUCTION CHECK LIST.

TOTAL LOT AREA = 43,749 SQ.FT.
TOTAL IMPERVIOUS AREA = 6,240 SQ.FT.
TOTAL AREA OF DISTURBANCE = 8,805 SQ.FT.

GRADING QUANTITIES:
CUT = 225 C.Y.
FILL = 510 C.Y.
NET = 285 C.Y. IMPORT

DEVELOPMENT AREAS WITH SLOPE EQUAL TO OR GREATER THAN 25% = 4,206 S.F.

ABBREVIATIONS:

AB	AGGREGATE BASE	MIN	MINIMUM
AC	ASPHALT CONCRETE	(N)	NEW
BULD	BUILDING	NO.	NUMBER
BRDY	BOUNDARY	NTS	NOT TO SCALE
BOT	BOTTOM	D.C.	ON CENTER
CB	CATCH BASIN	P/L	PROPERTY LINE
CL C/L	CENTERLINE	PUE	PUBLIC UTILITIES EASEMENT
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R RAD	RADIUS
DW	DRIVEWAY	R/W	RIGHT OF WAY
ELEV	ELEVATION	R.C.	RELATIVE COMPACTION
EX (E)	EDGE OF PAVEMENT	RCF	REINFORCED CONCRETE PIPE
EP	EDGE OF CURB	REL	RELATIVE
FD	FACE OF DIKE	RET WALL	RETAINING WALL
FF	FINISHED FLOOR	S	SLOPE
FG	FINISHED GRADE	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SS	SHOULDER
FI	FIRE HYDRANT	SS LAT	SANITARY SEWER
FL F/L	FACE OF CURB	SSM	SANITARY SEWER LATERAL
FL F/L	FLOW LINE	SSM H	SANITARY SEWER MANHOLE
FP	FINISHED PAD	S/W	STATION
FW	FACE OF WALL	TC 1/C	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GR	GRATE	TW	TOP OF WALL
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HP	HIGH POINT	UP	UTILITY POLE
LF	LINEAR FEET	W	WATER
LP	LOW POINT	WS	WATER SERVICE
MAX	MAXIMUM		

INDEX TO SHEETS

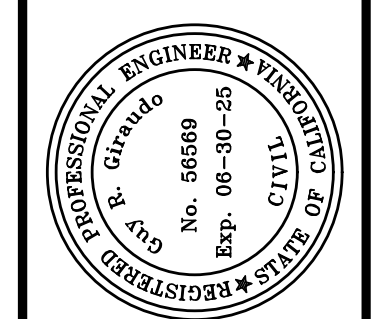
SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS
SHEET C5	STANDARD PLANS & CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN
SHEET C7	CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
RENEE & ANTHONY SALIB
571 W. SUNSHINE PLACE
CHANDLER, AZ 85248

SECONDARY: DESIGNER
CARMEL BUILDING & DESIGN
ATTN: MR. MATT HANNER
PO BOX 2201
CARMEL, CA 93921
PH (831)626-8606

SITE LOCATION:
25575 CHIQUITO PLACE
CARMEL, CA 93923



APPROVED BY:
GUY R. GIRARDI
Professional Engineer



GRADING, DRAINAGE & EROSION CONTROL PLAN

SALIB RESIDENCE
OF
GRADING, DRAINAGE & EROSION CONTROL PLAN
A.P.N.: 015-052-026
FOR
CARMEL, MONTEREY COUNTY, CALIFORNIA
RENEE & ANTHONY SALIB

SCALE: AS SHOWN
DATE: MAY 2024
JOB NO. 2787-01

No.	DATE	BY	REVISION
12/20/24	AMS		DISPERSION TRENCHES RELOCATION
09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

SHEET **C1**
OF 7 SHEETS

4-PM-80

25' Natural Drainage Easement

X1-Sur-124

ARROYO TRAIL
(A County Road 50' Wide)

APN 015-052-026

Lot 26D
X2-Sur-66

Steep Slope
& Many
Trees in This
Area

Lot 26C
X2-Sur-66

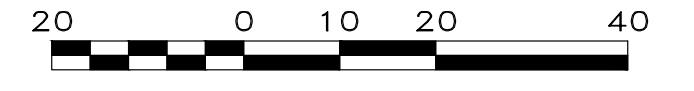
Lot 25A
X2-Sur-66

AREA WITH SLOPE EQUAL TO
OR GREATER THAN 25%

CHIQUITO PL.
(A County Road 50'
Wide)

Basis of
Bearings

NOTE: SEE TOPOGRAPHIC MAP PREPARED BY OTHERS
FOR MORE EXISTING CONDITIONS



" TOPOGRAPHIC MAP/EXISTING CONDITIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

SALIB RESIDENCE
A.P.N.: 015-052-026
FOR
CARMEL, MONTEREY COUNTY, CALIFORNIA
RENEE & ANTHONY SALIBX

SCALE: 1"=20'
DATE: MAY 2024
JOB NO. 2787-01

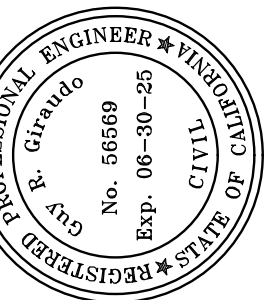
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09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

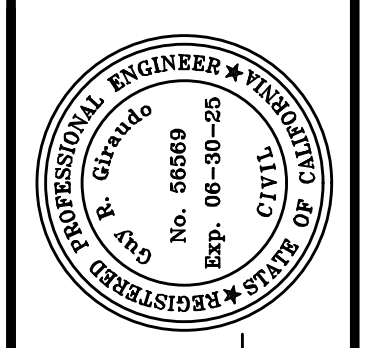
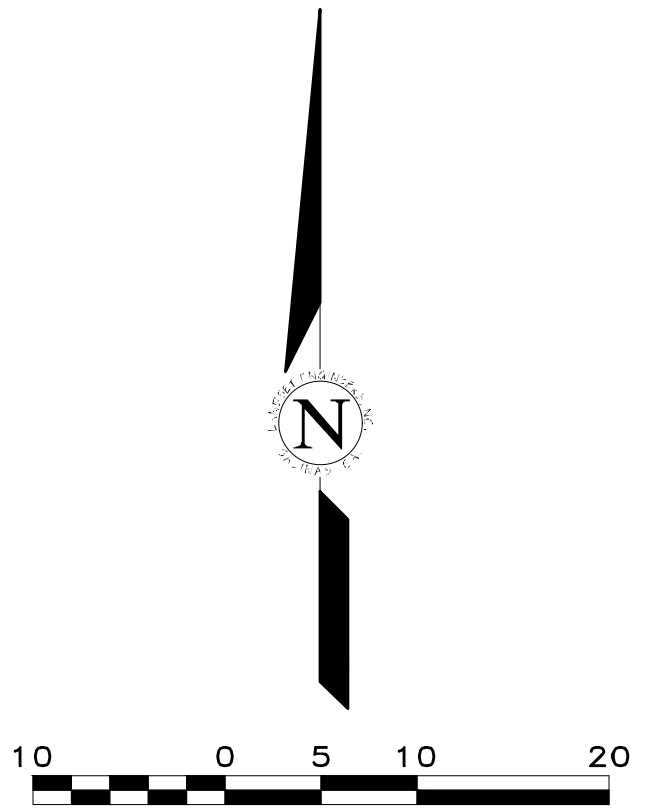
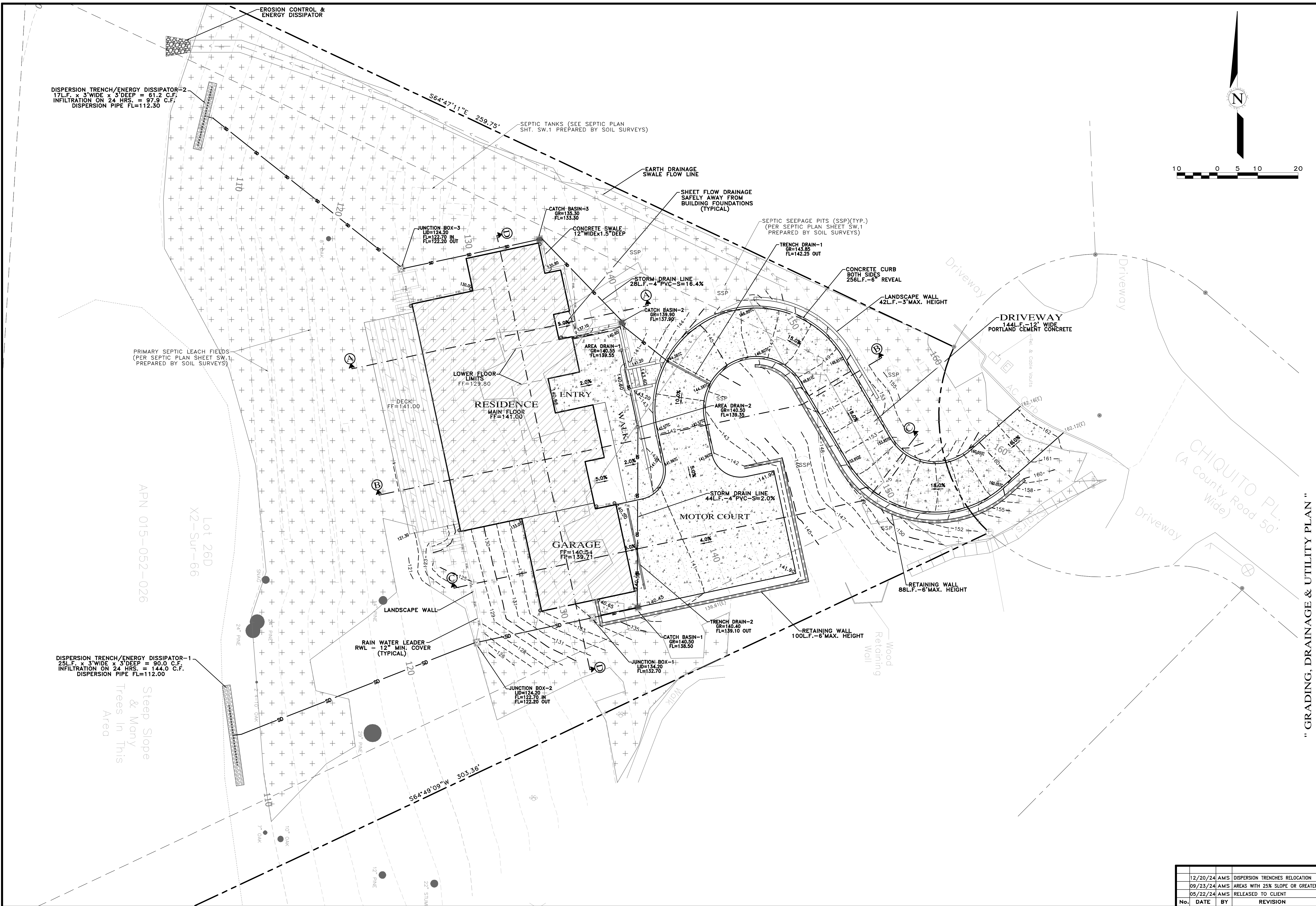
SHEET **C2**
OF 7 SHEETS



APPROVED BY:

GUY R. GIRAUUDO





APPROVED BY:

 GUY R. GIRARDO



" GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

SALIB RESIDENCE

A.P.N.: 015-052-026

FOR

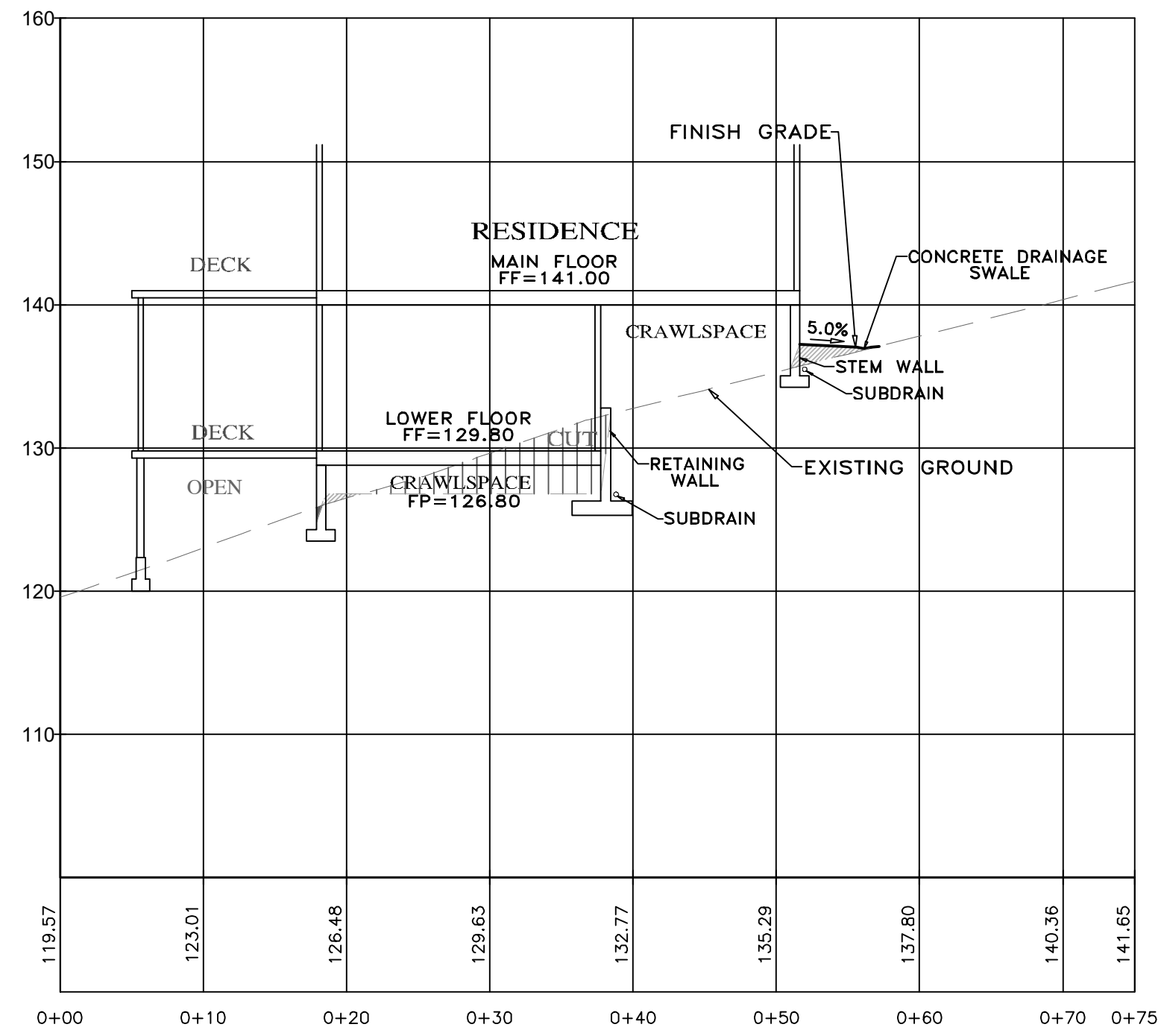
CARMEL, MONTEREY COUNTY, CALIFORNIA

RENEE & ANTHONY SALIBX

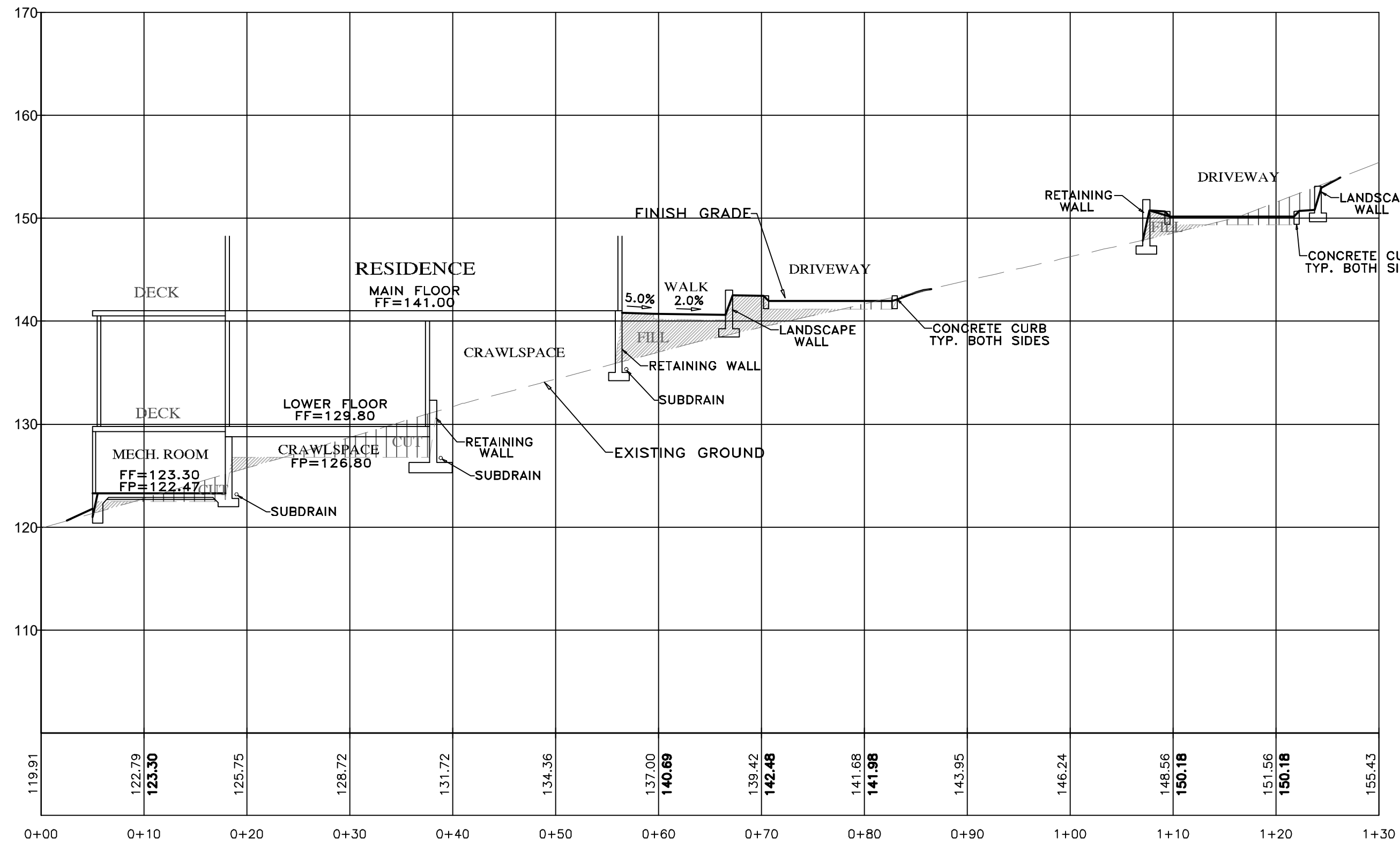
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DATE: MAY 2024			
JOB NO. 2787-01			
No.	DATE	BY	REVISION
12/20/24	AMS		DISPERSION TRENCHES RELOCATION
09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

SHEET **C3**

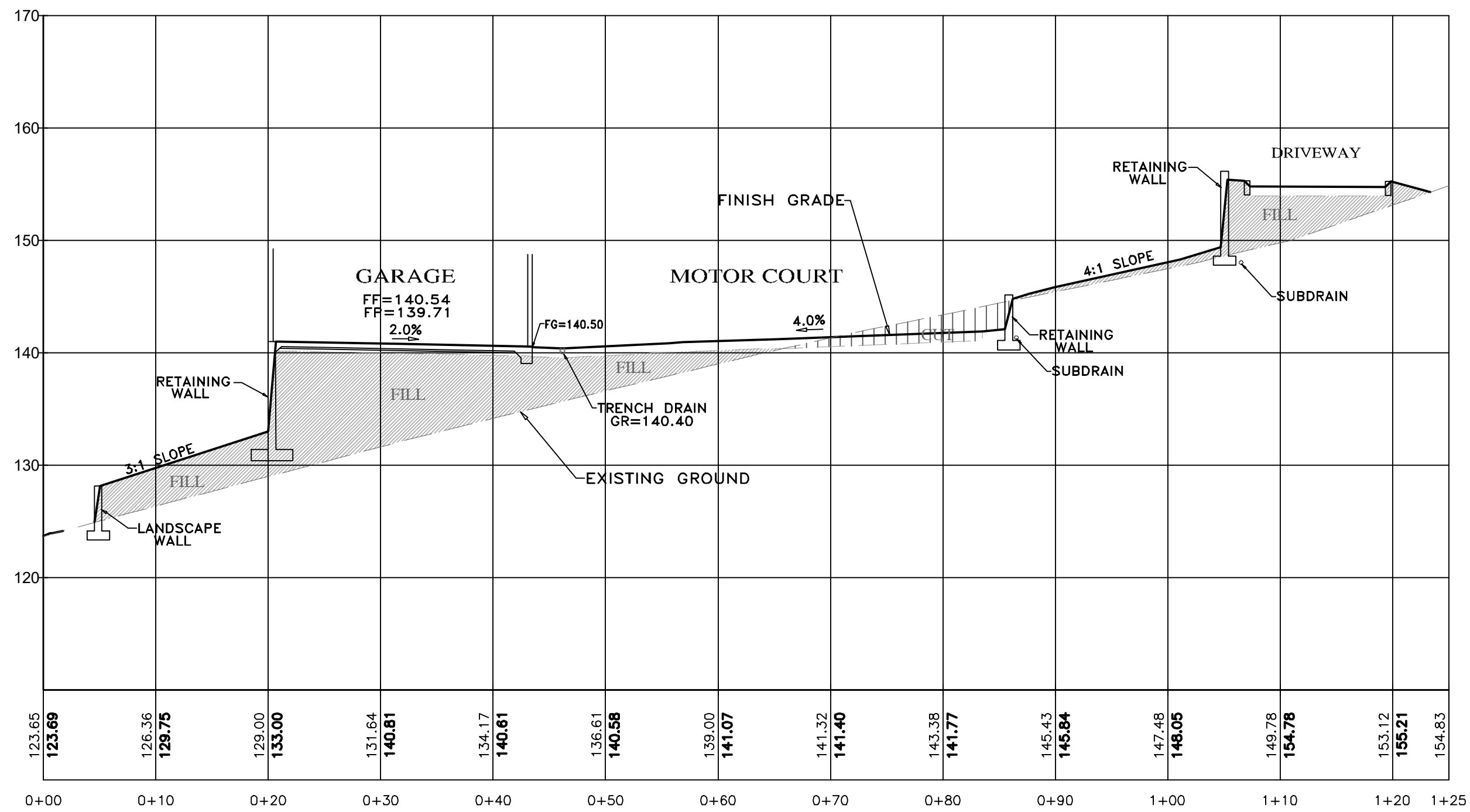
OF 7 SHEETS



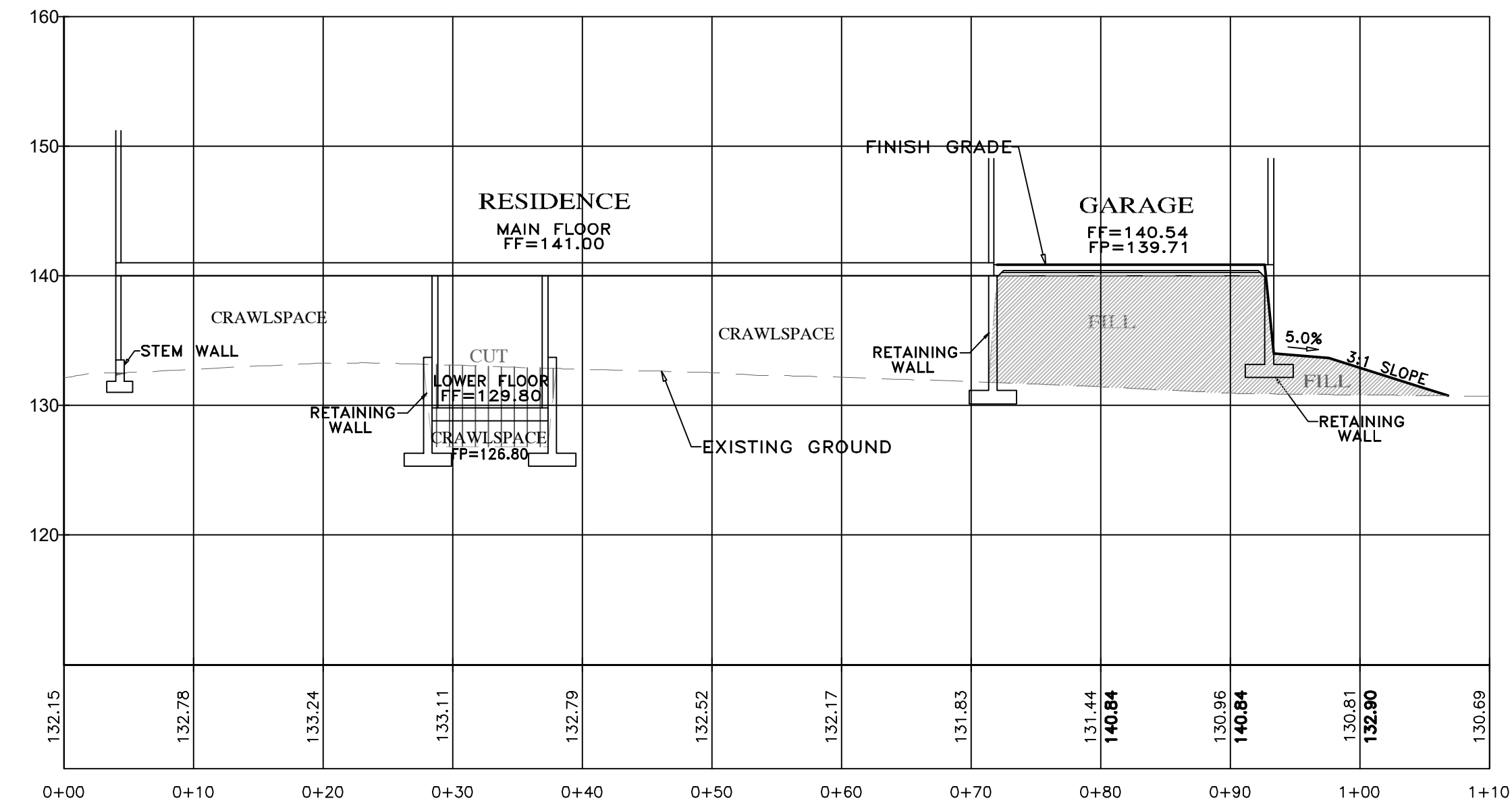
SECTION A-A
SCALE: 1"=10' H&V



SECTION B-B
SCALE: 1"=10' H&V

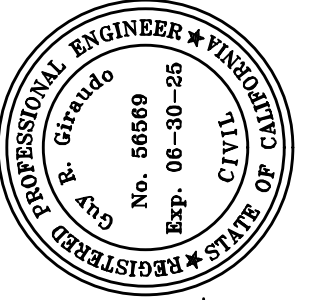


SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

- NOTES:**
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - REMOVE UNDOCUMENTED FILL AREAS PER SOILS ENGINEERING INVESTIGATION REPORT.
 - FOR SECTION LOCATIONS, SEE SHEET CS "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:
GUY R. GIRARDO



" GRADING SECTIONS "
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SALIB RESIDENCE
A.P.N.: 015-052-026
FOR
CARMEL, MONTEREY COUNTY, CALIFORNIA
RENEE & ANTHONY SALIBX

SCALE: 1"=10' H&V
DATE: MAY 2024
JOB NO. 2787-01

No.	DATE	BY	REVISION
12/20/24	AMS		DISPERSION TRENCHES RELOCATION
09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

SHEET **C4**
OF 7 SHEETS



Site Design and Runoff Reduction Checklist

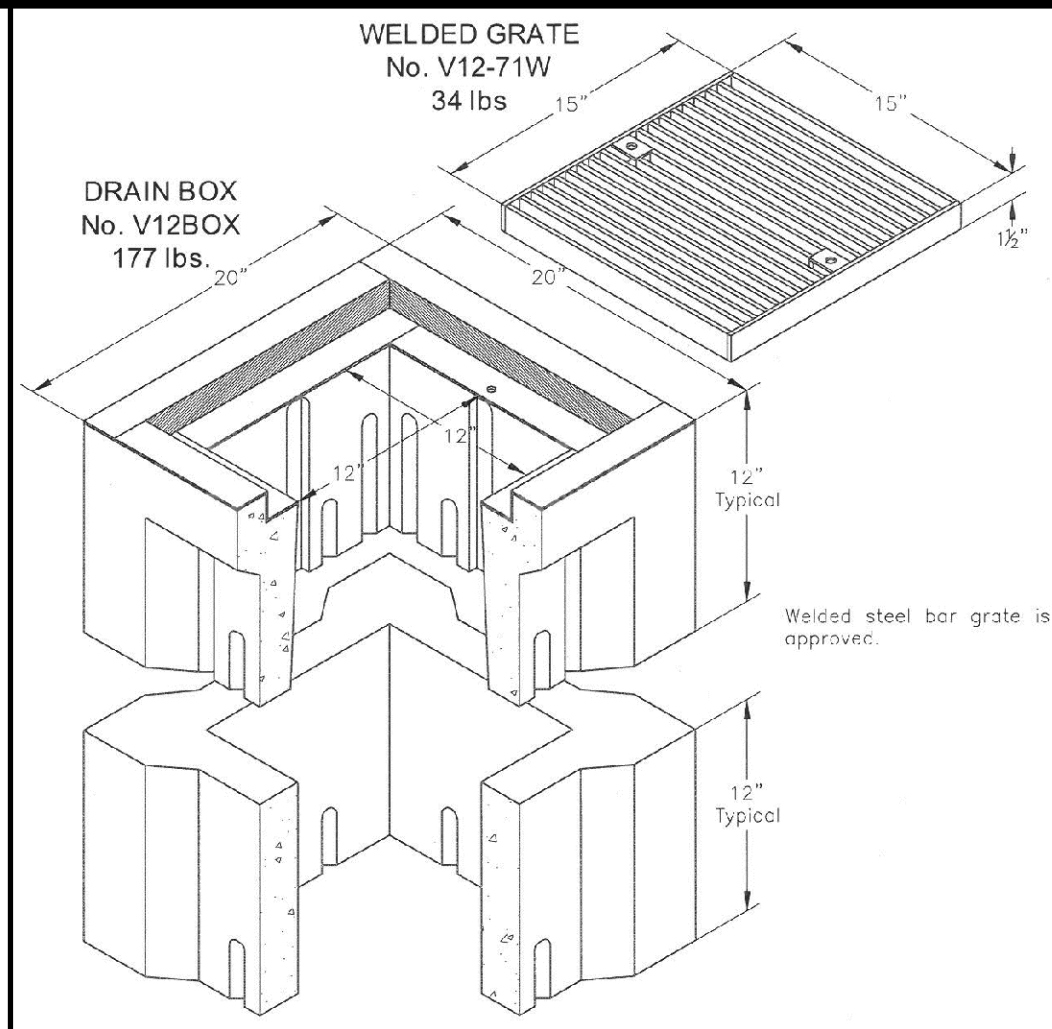
Site Design and Runoff Reduction
Projects that create and/or replace > 2,500 square feet of impervious surface, collectively over the entire project site, including detached single-family home projects, shall implement all of the following design strategies in the design of the project:

- Implemented Limited disturbance of creeks and natural drainage features
- Minimized compaction of highly permeable soils
- Limited clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
- Minimized impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state

And must minimize stormwater runoff by implementing one or more of the following site design measures:

- Implemented Directed roof runoff into cisterns or rain barrels for reuse
- Directed roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Directed runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Directed runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
- Constructed bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces

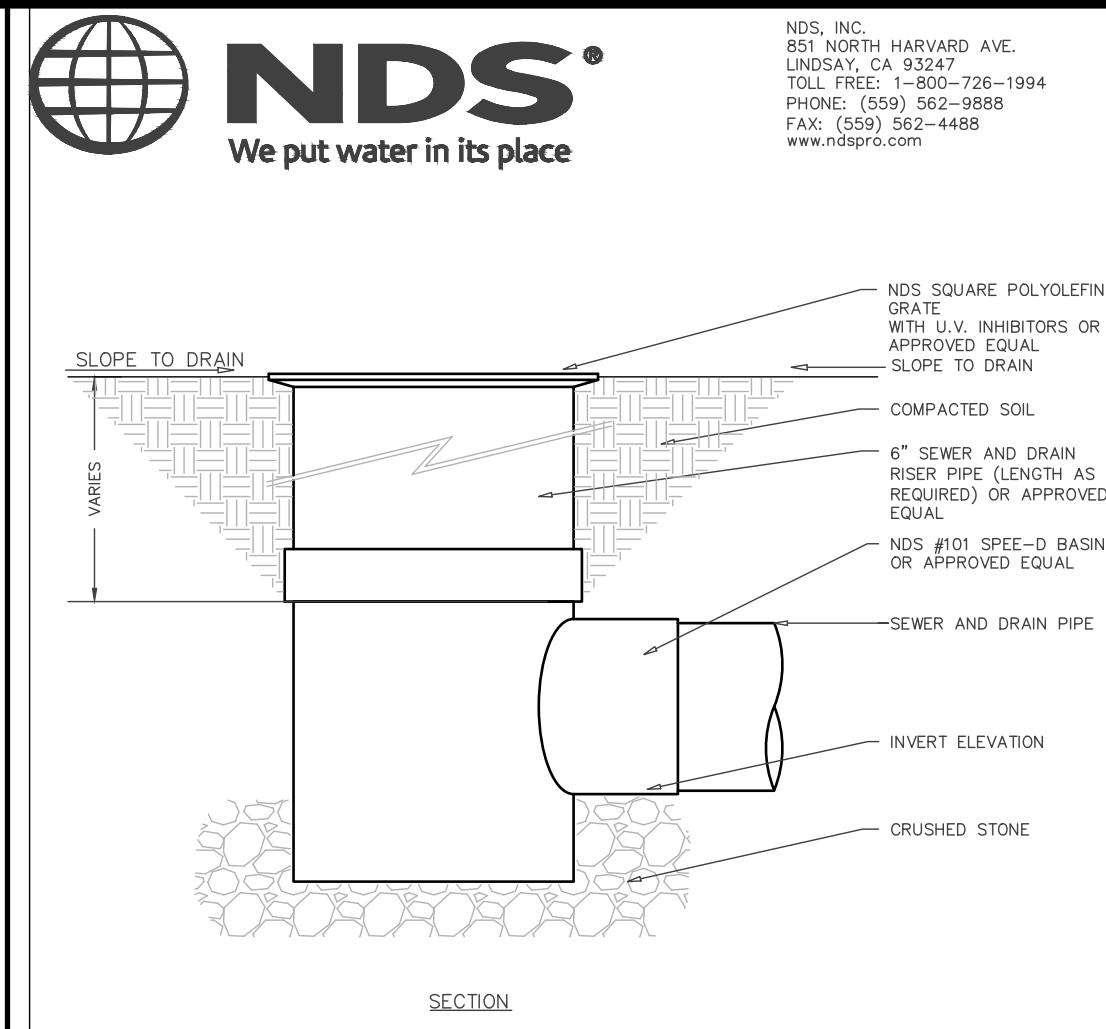
Property Owner/Agent Name: MR. ANTHONY SALIB Date Prepared: 06/06/24
Property Owner/Agent Signature: _____ Permit File Number: _____



Ordering Code	Item	Approx. Sizing Weight	Description
V12BOX	BCX	177	V12 Drain Box (12 x 12) H/20 Loading, bolt down interlocking with the R1000 #12 2 Box - 2 25" 60" net
V12-71W	GRAT	34	Welded, steel cross bars 1/2" loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete - 12 per pallet

Oldcastle Precast®
Enclosure Solutions
16000 PINEY CREEK DRIVE
PHOENIX, AZ 85044
Phone: (800) 486-2200 Fax: (602) 490-9804
www.oldcastleprecast.com

V12 DRAIN BOX 12" x 12"
V12 DRAIN BOX 12" x 12"
Christy



NDS
We put water in its place

851 NORTH HARVARD AVE.
LINDSAY, CA 95327
TOLL FREE: 1-800-726-1994
PHONE: (530) 952-9888
FAX: (530) 562-4488
www.ndspro.com

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

ROUND SPEE-D BASIN
SQUARE GRATE WITH SPEE-D BASIN

NDS
Dura Slope
TRENCH DRAIN SYSTEMS

Dura Slope
Quick Start Guide

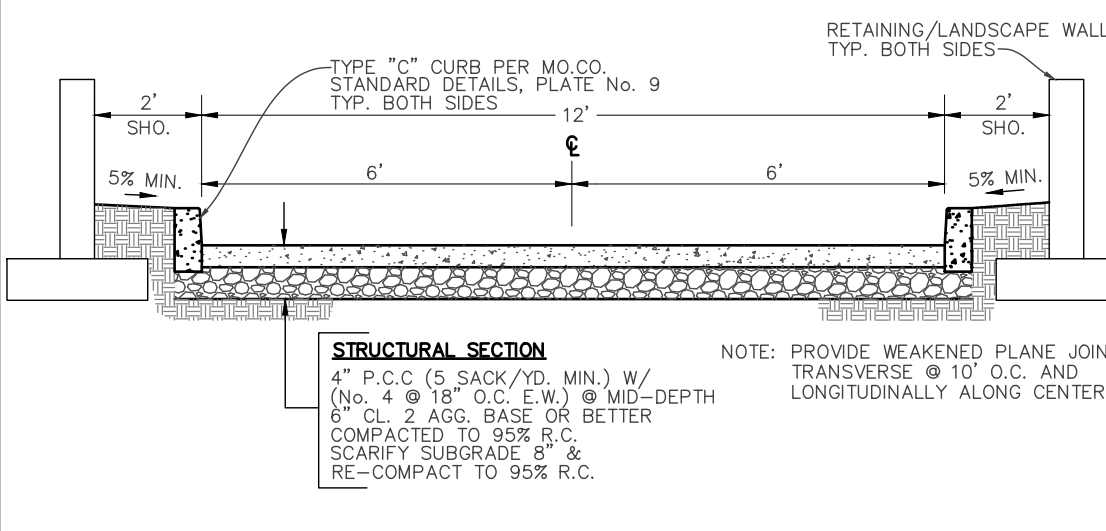
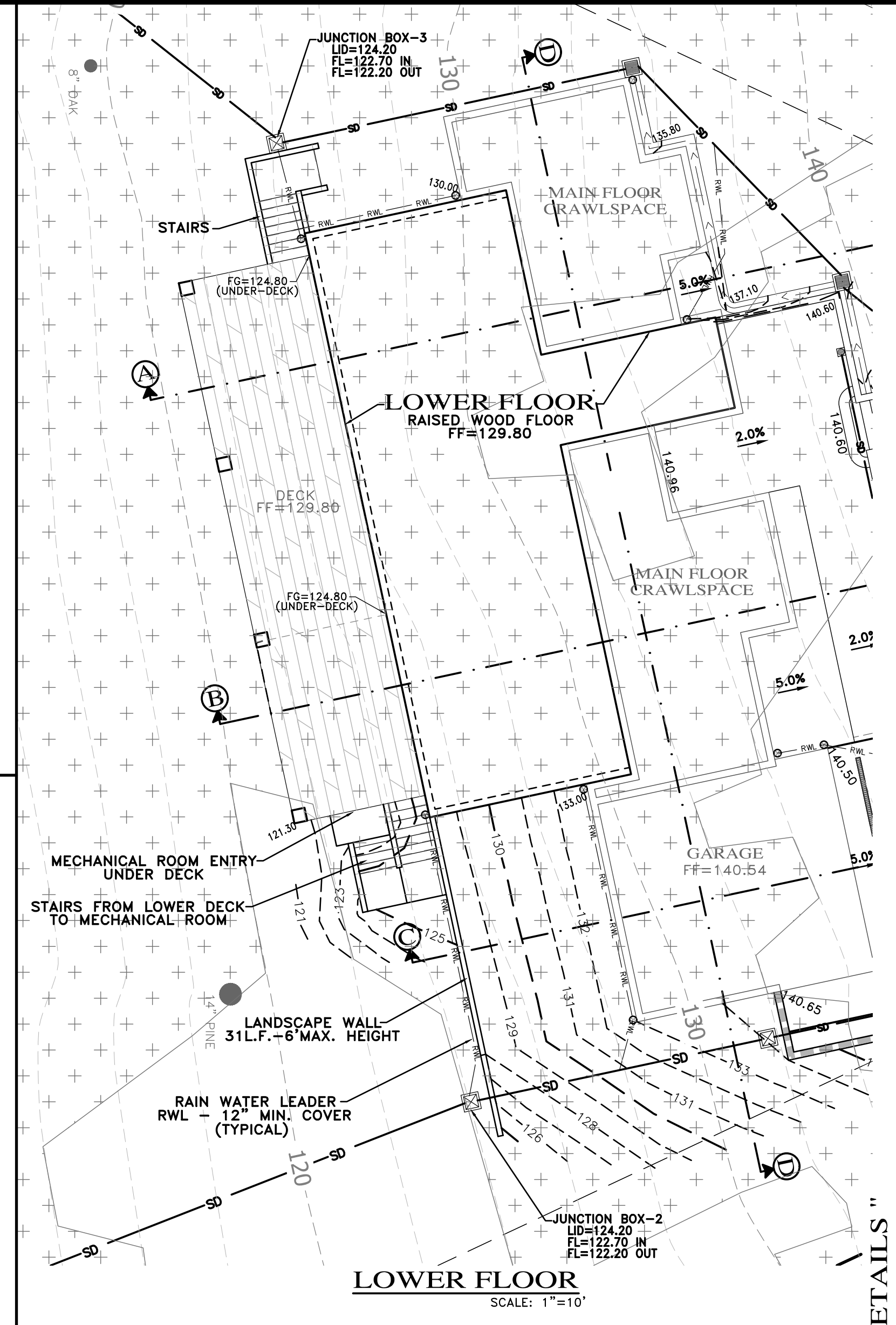
Blank Grate
Expansion Joint
Concrete Form
Fleebor
Profile
Concrete
Concrete Cradle
Expansion Joint
Channel
Channel cross-section for pour

End Cap DS-214
End Outlet DS-227
Channel Bottom Adapter DS-198
Catch Basin DS-340
Bottom Outlet Adapter BS-198
Drain outlets
Finished installation

Load Class	Traffic	Each side	Depth below
Class A	Pedestrian traffic	4"	4"
Class B	Light traffic	4"	4"
Class C	Heavy duty traffic	6"	6"
Class D	Heavy duty traffic	6"	6"

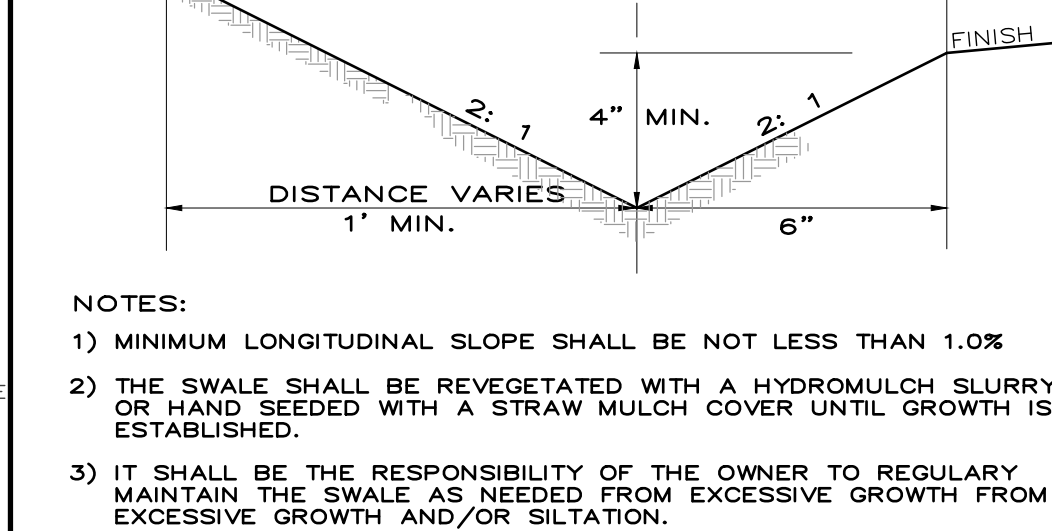
Need help?
Contact NDS Technical Services: 888.825.4716
TechService@ndspro.com
www.ndspro.com

NDS
851 N. Harvard Ave. Lindsay, CA 95327
REV 1007 Part No. 1939



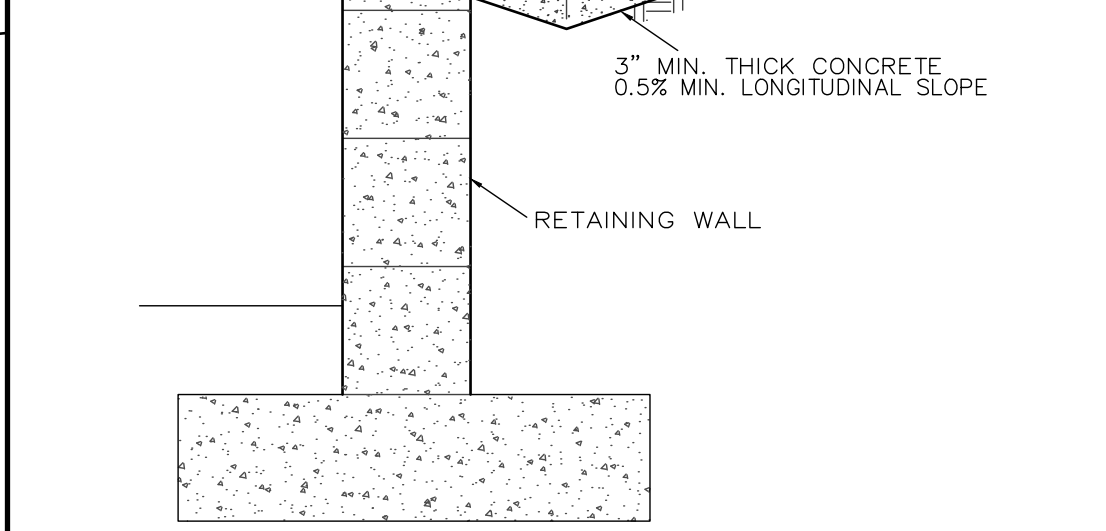
PAVEMENT TYPICAL SECTION
NOT TO SCALE

NOTE: PROVIDE WEAKENED PLANE JOINTS, TRANSVERSE @ 10' O.C. AND LONGITUDINALLY ALONG CENTERLINE

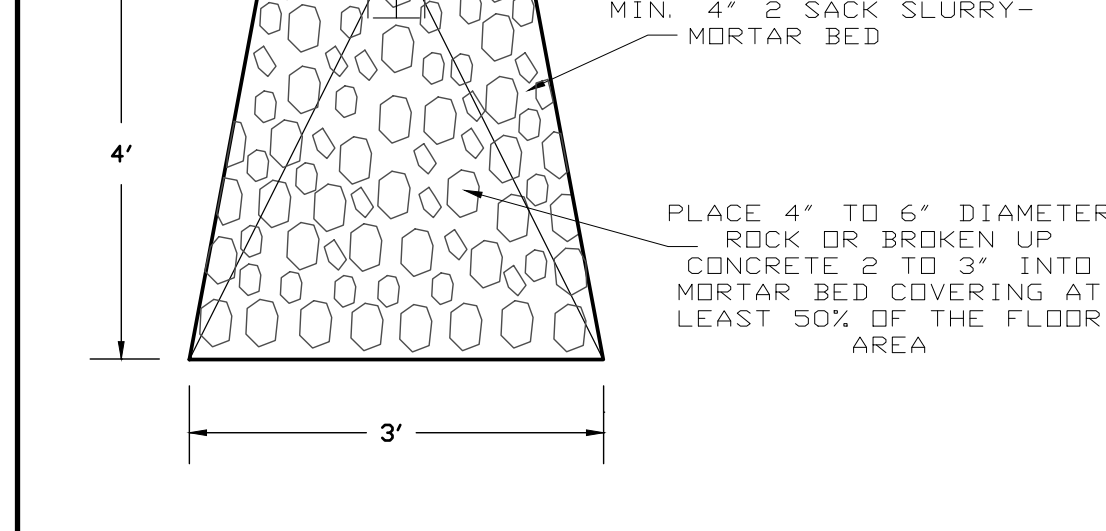


EARTH DRAINAGE SWALE
NOT TO SCALE

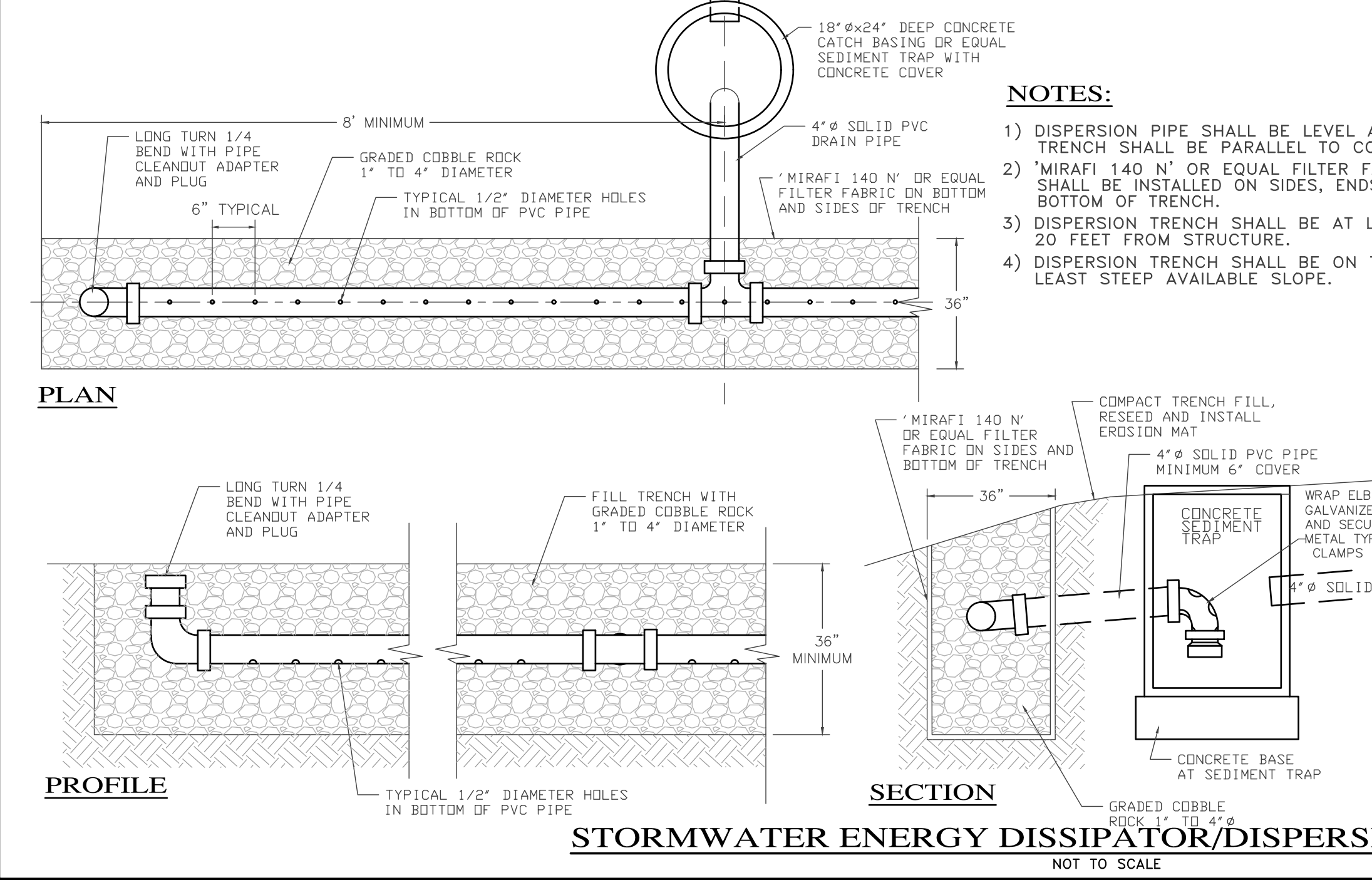
NOTES:
1) MINIMUM LONGITUDINAL SLOPE SHALL BE NOT LESS THAN 1.0%
2) THE SWALE SHALL BE REVEGETATED WITH A HYDOMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER UNTIL GROWTH IS ESTABLISHED.
3) IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REGULARLY MAINTAIN THE SWALE AS NEEDED FROM EXCESSIVE GROWTH OR SILTATION.



CONCRETE SWALE
NOT TO SCALE



EROSION CONTROL & ENERGY DISSIPATOR
NOT TO SCALE



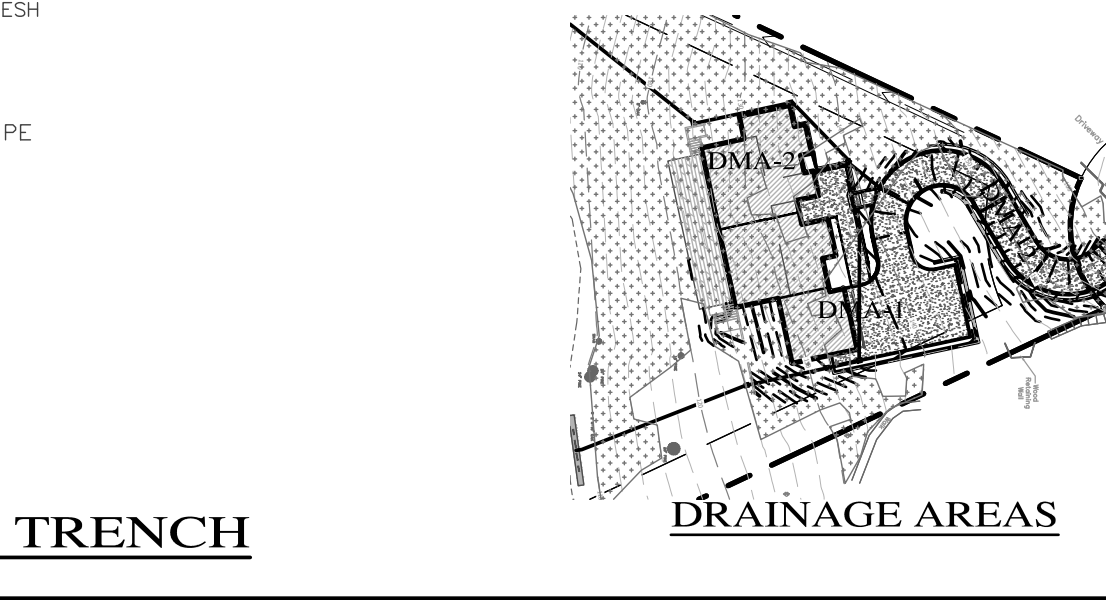
STORMWATER ENERGY DISSIPATOR/DISPERSION TRENCH
NOT TO SCALE

NOTES:
1) DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO CONTOURS.
2) 'MIRAFI 140 N' OR EQUAL FILTER FABRIC SHALL BE INSTALLED ON SIDES, ENDS, AND BOTTOM OF TRENCH.
3) DISPERSION TRENCH SHALL BE AT LEAST 20 FEET FROM STRUCTURE.
4) DISPERSION TRENCH SHALL BE ON THE LEAST STEEP AVAILABLE SLOPE.

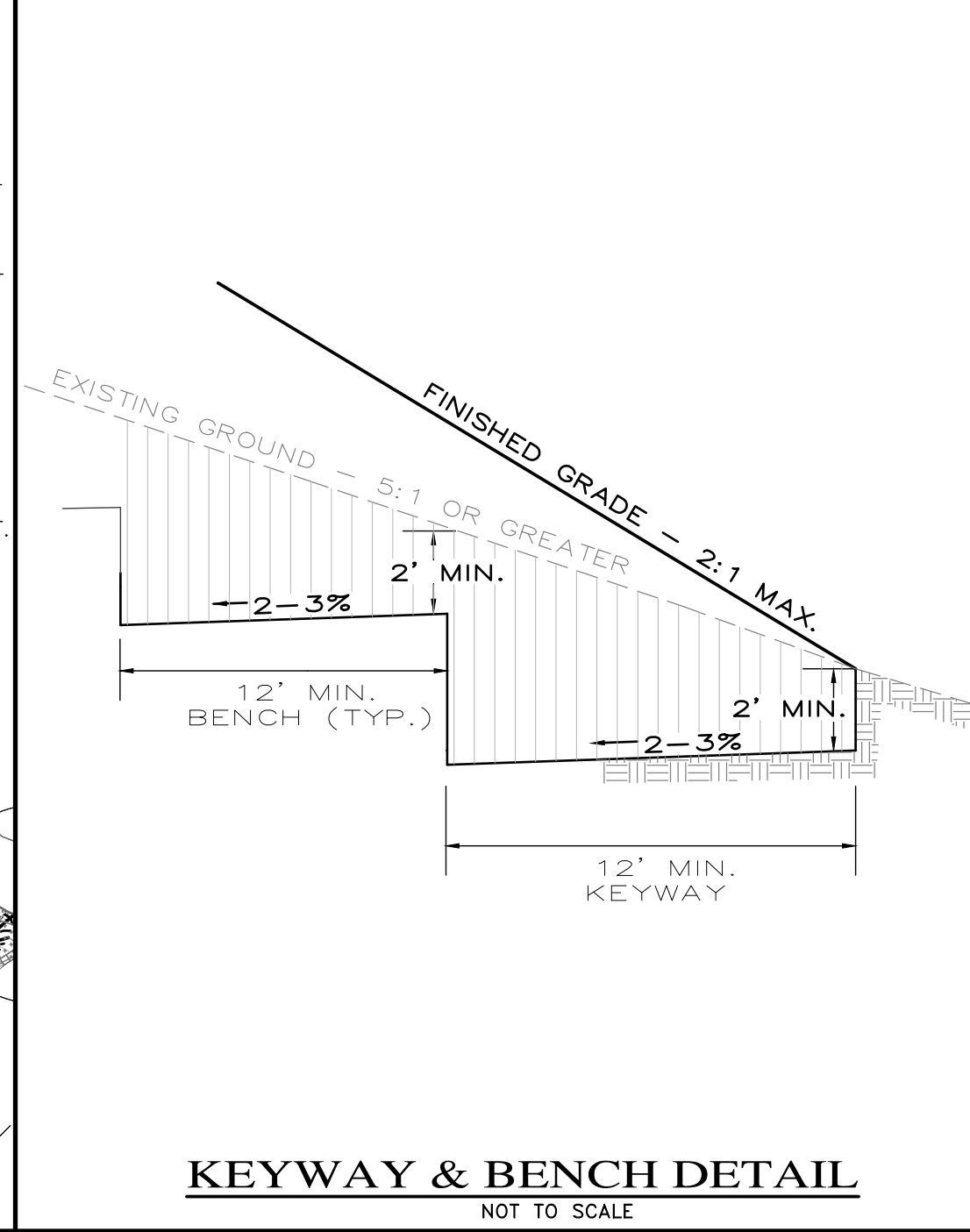
TRENCH SIZE 1:
SQUARE FOOTAGE OF NEW IMPERVIOUS:
TOTAL AREA = 3,500 SF
COEFFICIENT 'C'
C=1.0
INTENSITY
85TH PERCENTILE = 0.8 IN = 0.067 FT
VOLUME REQUIRED:
Q=CIA
Q=(1.0)(0.067FT)(3,500 SF) = 234.5 CF
TRENCH VOLUME PROVIDED:
VOID RATIO = 0.40
3' WIDE x 3' DEEP x 25L.F.
V=((3')(3')(25'))x(0.40) = 90.0 CF
INFILTRATION RATE: 1.0 IN/HR
AREA TO INFILTRATE: 75 SQ.FT.
V=75x(0.08/HR)=6.0 C.F/HR
VOL. INFILTRATED ON 24 HRS.=144.0 C.F.
TOTAL VOLUME = 234.0 C.F.

TRENCH SIZE 2:
SQUARE FOOTAGE OF NEW IMPERVIOUS:
TOTAL AREA = 2,364 SF
COEFFICIENT 'C'
C=1.0
INTENSITY
85TH PERCENTILE = 0.8 IN = 0.067 FT
VOLUME REQUIRED:
Q=CIA
Q=(1.0)(0.067FT)(2,364 SF) = 158.4 CF
TRENCH VOLUME PROVIDED:
VOID RATIO = 0.40
3' WIDE x 3' DEEP x 17L.F.
V=((3')(3')(17'))x(0.40) = 61.2 CF
INFILTRATION RATE: 1.0 IN/HR
AREA TO INFILTRATE: 51 SQ.FT.
V=51x(0.08/HR)=4.1 C.F/HR
VOL. INFILTRATED ON 24 HRS.=97.9 C.F.
TOTAL VOLUME = 159.1 C.F.

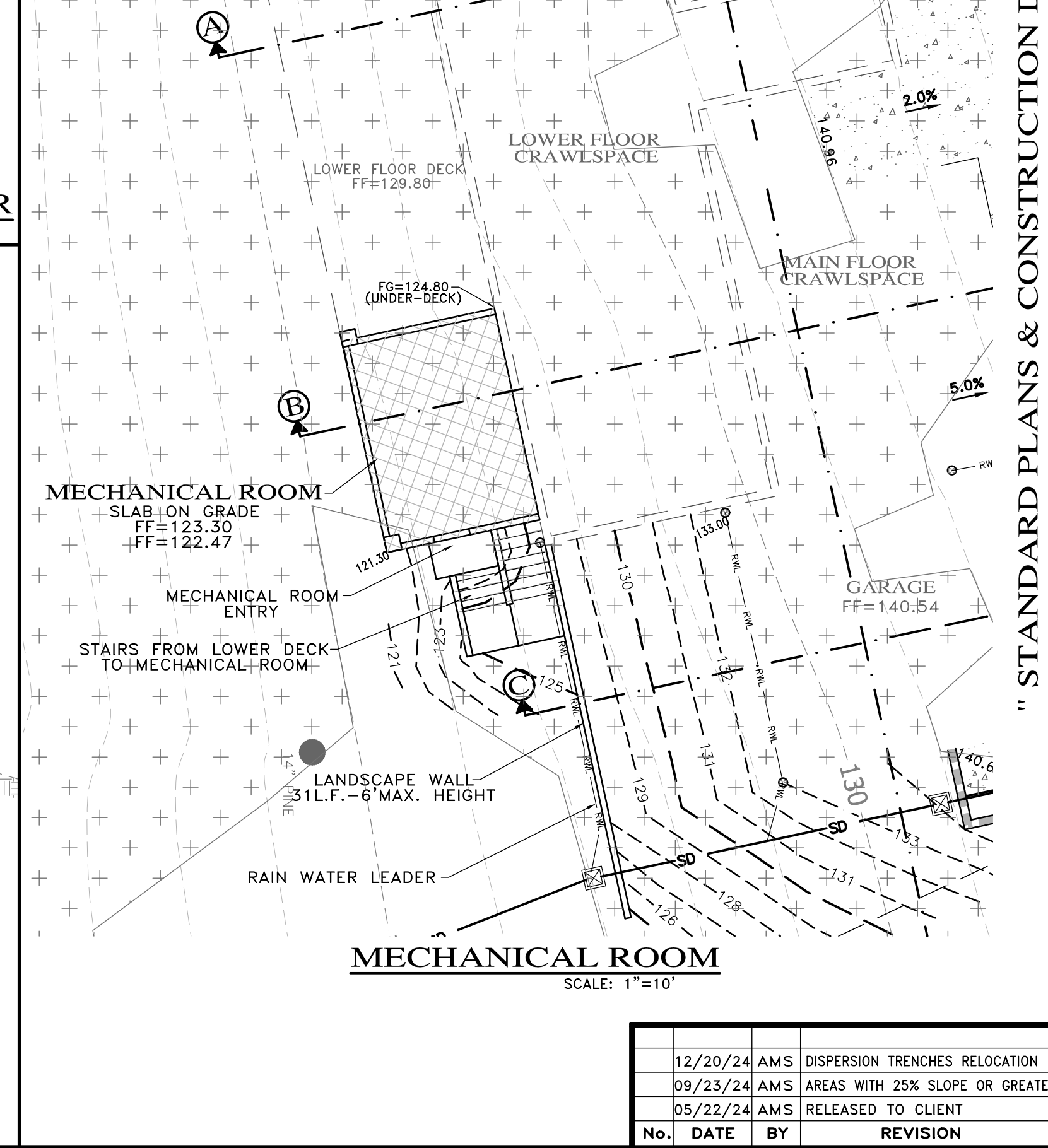
CALCULATIONS



DRAINAGE AREAS



KEYWAY & BENCH DETAIL
NOT TO SCALE



MECHANICAL ROOM
SCALE: 1"=10'

APPROVED BY:
GLY R. GIRARDO

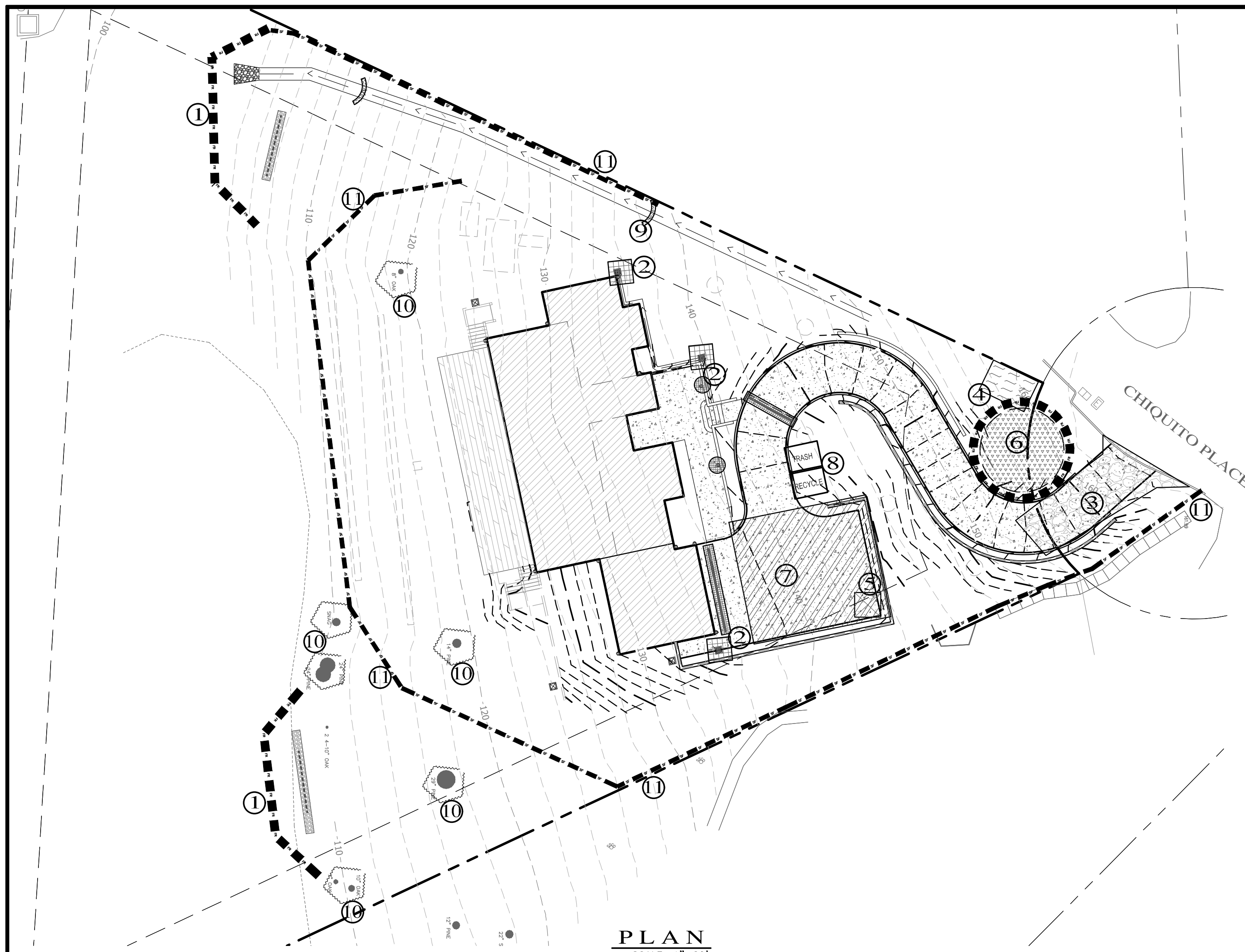
LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 95007
Office: (831) 443-6970 Fax: (831) 443-3601
www.landseteng.com

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
SALIB RESIDENCE
A.P.N.: 015-052-026
CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
RENEE & ANTHONY SALIB

SCALE: AS SHOWN
DATE: MAY 2024
JOB NO. 2787-01

No.	DATE	BY	REVISION
12/20/24	AMS		DISPERSION TRENCHES RELOCATION
09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

SHEET **C5**
OF 7 SHEETS



PLAN
SCALE: 1"=20'

LEGEND:

- 1 FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 2 DI DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- 3 SC STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- 4 CW CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- 5 SW SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- 6 SM STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- 7 SA CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- 8 TRASH RECYCLE WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ON-SITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- 9 GC GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK, TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- 10 TP TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
- 11 SF SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYOS* (NUTTALL'S FESCUE), *ELYMUS LAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRUMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

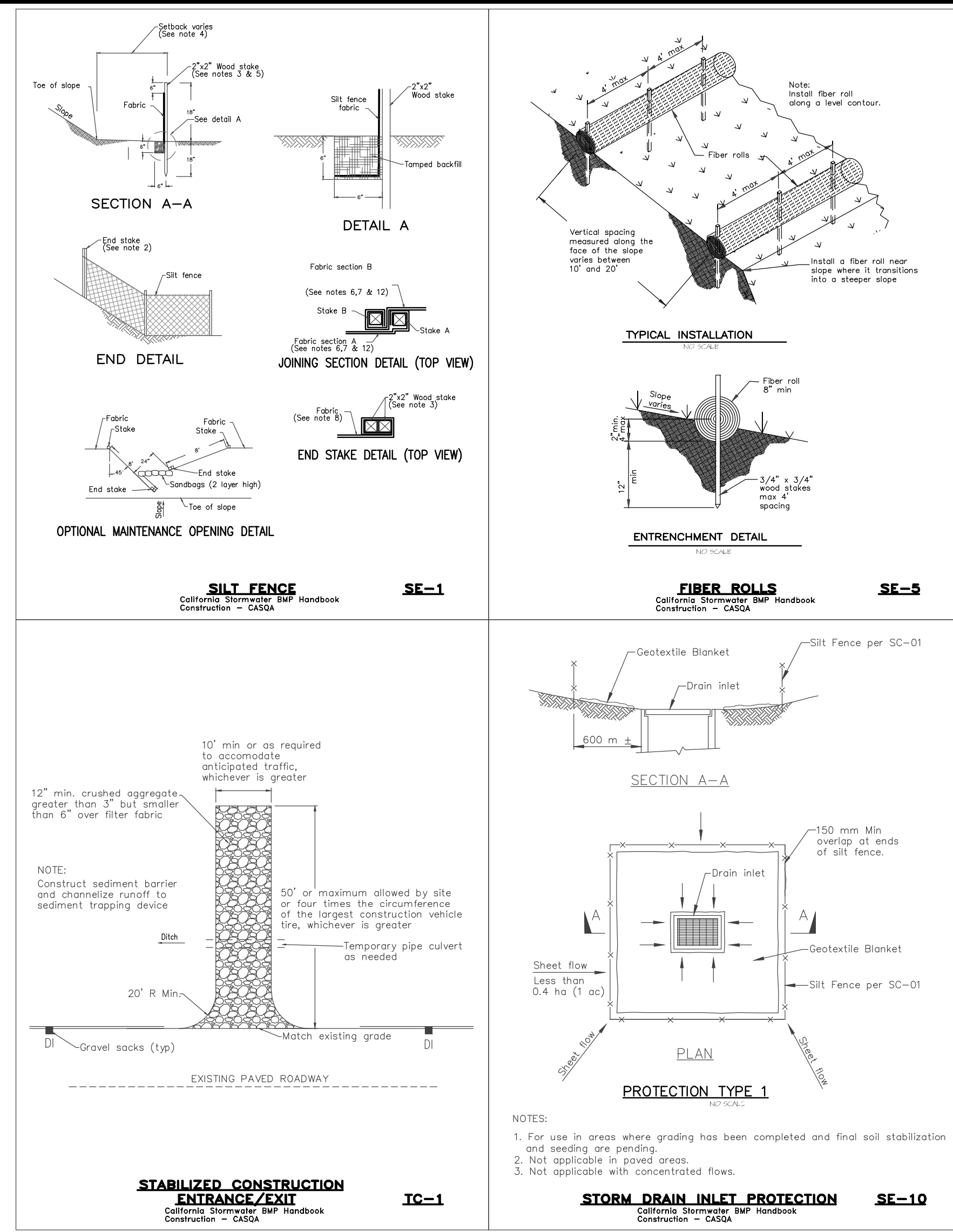


TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

Material Delivery and Storage WM-1

Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Stockpile Management WM-3

Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub-base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Solid Waste Management WM-5

Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Hazardous Waste Management WM-6

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Sanitary/Septic Waste Management WM-9

Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

Preservation Of Existing Vegetation EC-2

Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories

- EC Erosion Control
- SE Sediment Control
- TC Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Management and Materials Pollution Control

Legend:

- Primary Objective
- Secondary Objective

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

- None

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

"EROSION & SEDIMENT CONTROL PLAN"

OF
GRADING, DRAINAGE & EROSION CONTROL PLAN

FOR
SALIB RESIDENCE
A.P.N.: 015-052-026
CARMEL, MONTEREY COUNTY, CALIFORNIA

RENEE & ANTHONY SALIBX

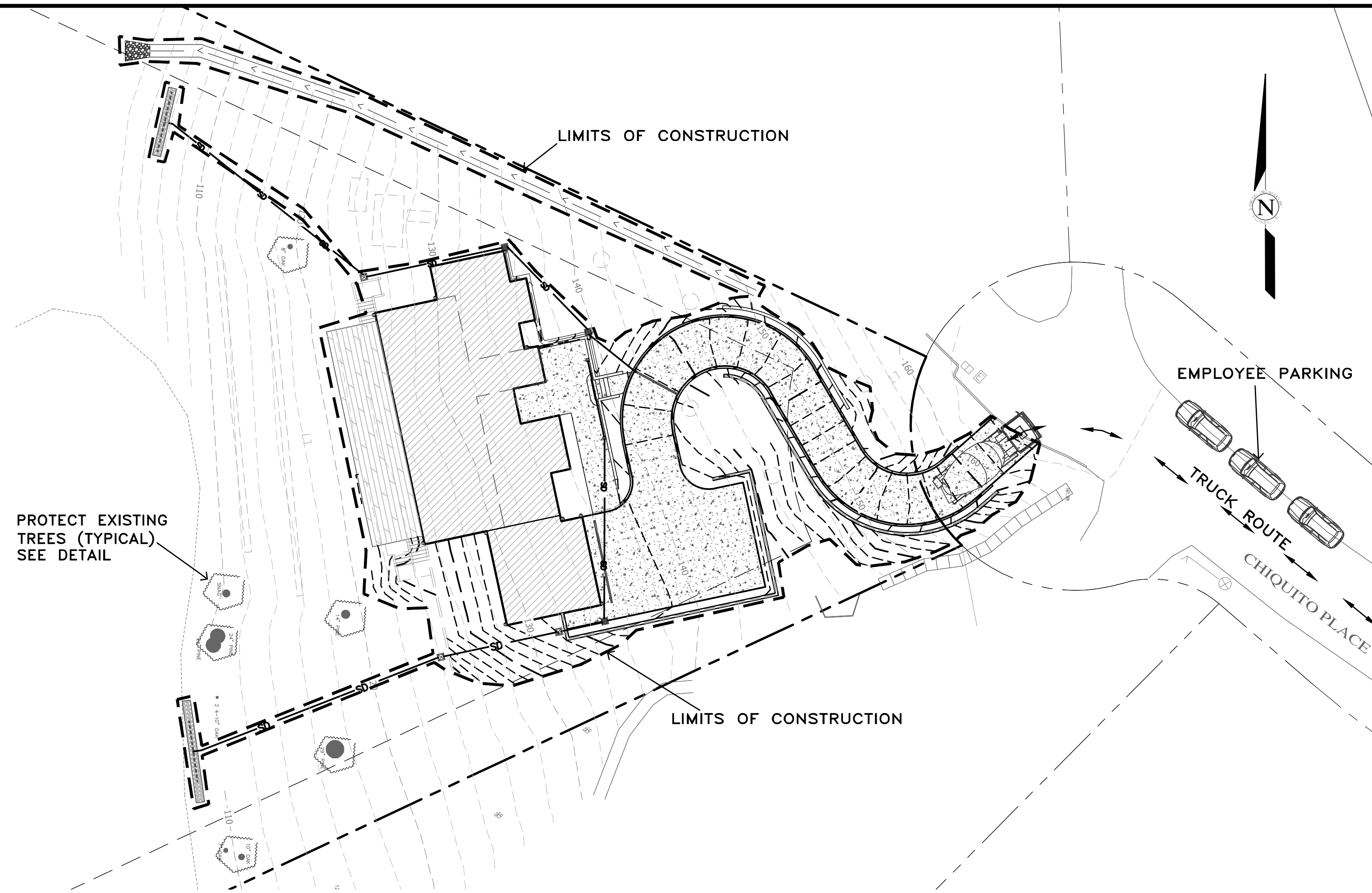
APPROVED BY:

GUY R. GIRARDINO

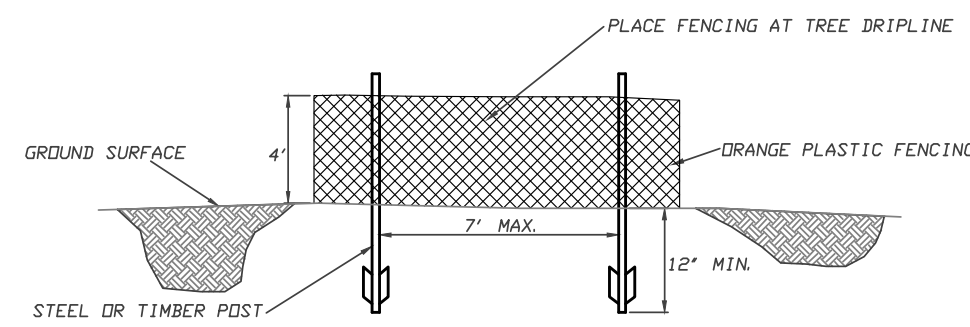
SCALE: AS SHOWN
DATE: MAY 2024
JOB NO. 2787-01

SHEET **C6** OF 7 SHEETS

No.	DATE	BY	REVISION
1	12/20/24	AMS	DISPERSION TRENCHES RELOCATION
2	09/23/24	AMS	AREAS WITH 25% SLOPE OR GREATER
3	05/22/24	AMS	RELEASED TO CLIENT



PLAN
SCALE: 1"=20'



EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
225 CY CUT
510 CY FILL

CONSTRUCTION STAGING:

- A. MOBILIZE, CLEAR & GRAB.
 - B. SITE GRADING.
 - C. UTILITY INSTALLATION.
 - D. CONSTRUCT STRUCTURE.
 - E. INSTALL LANDSCAPING.
 - F. SITE CLEANING, PUNCH LIST.
- SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON THE CHIQUITO PLACE AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
HAUL TRUCKS ENTER THE SITE FROM HIGHWAY 1 TO CARMEL VALLEY ROAD TO RIO VISTA DRIVE TO CHIQUITO PLACE. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE ON THE CHIQUITO PLACE. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B, C AND D, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREET ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG THE CHIQUITO PLACE, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

(A) CONSTRUCTION STAGING PLAN

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
CLEARING	2	1
GRADING & SOIL REMOVAL (EXPORT)	1	1
ENGINEERING MATERIALS (IMPORT)	14	3
TOTALS	17	5

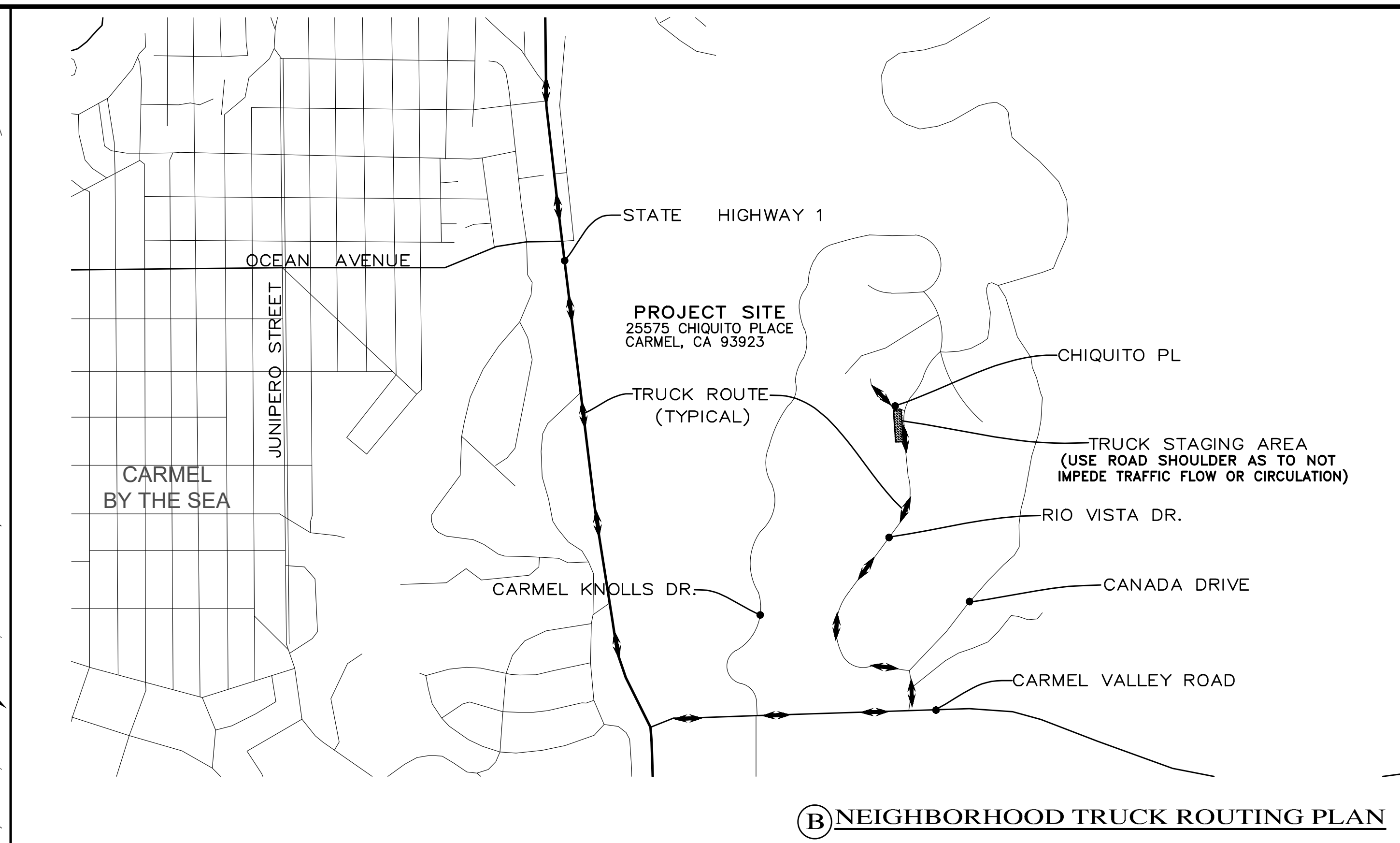
TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE 285 C.Y. OF SOIL MATERIAL THAT WILL BE IMPORTED IN THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 5 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 24 JUNE 2024, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



(B) NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

No.	DATE	BY	REVISION
12/20/24	AMS		DISPERSION TRENCHES RELOCATION
09/23/24	AMS		AREAS WITH 25% SLOPE OR GREATER
05/22/24	AMS		RELEASED TO CLIENT

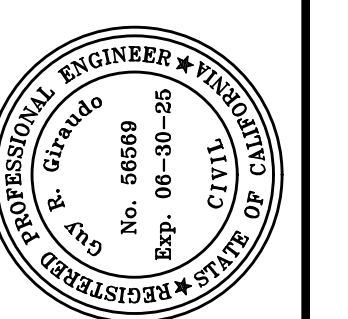
SHEET **C7**
OF 7 SHEETS

CONSTRUCTION MANAGEMENT PLAN "A"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SALIB RESIDENCE
A.P.N.: 015-052-026
CARMEL, MONTEREY COUNTY, CALIFORNIA
RENEE & ANTHONY SALIBX

SCALE: AS SHOWN
DATE: MAY 2024
JOB NO. 2787-01



APPROVED BY:
GUY R. GIRALDINO





**CARMEl POINT
LANDSCAPES**

LIC # 106873
P.O. BOX 4195,
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carmelpointlandscapes.com

PROJECT:
**PLANTING +
IRRIGATION PLANS**

OWNER/ CLIENT:
**SALIB RESIDENCE
CARMEl BUILDING**

SCOPE:

PROGRESS ISSUE:

NAME: _____

PROGRESS SUBMIT: _____

DATE: _____

NOTES FOR CONSTRUCTION:

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SHEET TITLE:

PLANTING

JULY 16 2024

SHEET NUMBER:

LA - 1.01



(E) Trees, to remain. Typ.

0'-30' Landscape Zone, see Fuel Management Plan

Native Seed Mix (3,516 SF)

APN 015-052-026

Lot 26D
X2-Sur-66

Steep Slope &
Many Trees In
This Area

- Arctostaphylos 'Pacific Mist'
- Pittosporum crassifolium
- Arctostaphylos 'Wayside'
- Calamagrostis 'Karl Foerster'

- Cercis occidentalis
- Salvia 'Poza Blue'
- Olea 'Swan Hill', multi trunk
- Arctostaphylos 'Wayside'

Euphorbia characias

Calamagrostis 'Karl Foerster'

Arctostaphylos 'Wayside'

Cistus purpurea

Cercis occidentalis

Lavendula angustifolia 'Hidcote' (216 SF)

Cercis occidentalis

Cistus purpurea

Salvia 'Poza Blue'

Arctostaphylos 'Wayside'

Olea europea 'Montra'

Olea 'Swan Hill', multi trunk

Arctostaphylos 'Wayside'

Pittosporum crassifolium

Arctostaphylos 'Pacific Mist'

Calamagrostis 'Karl Foerster'

Quercus agrifolia

GENERAL PLANTING NOTES

1. PLANTING SHALL CONFORM TO THE STANDARDS SET IN THE COUNTY OF MONTEREY PLANNING DIVISION STANDARDS + REQUIREMENTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
3. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST IN PLANTING AREAS.. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
5. CONTRACTOR SHALL SUBMIT A RANDOM SOIL SAMPLES FROM THE SITE TO A QUALIFIED SOIL TESTING LAB FOR A HORTICULTURAL SUITABILITY TEST AND AMENDMENT RECOMMENDATIONS. AFTER AMENDING TOPSOIL TO A DEPTH OF 6" (AND IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS), GRADE ALL AREAS SMOOTH WITH NO LOCALIZED DEPRESSIONS OR HUMPS EXCEEDING 1". INSUFFICIENT OR UNSUITABLE EXISTING SOIL SHALL BE AUGMENTED OR REPLACED WITH TOPSOIL AS APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR TO COMPLETE ALL SOIL AMENDING, FINISH GRADING AND REMOVAL OF ANY AND ALL CONSTRUCTION DEBRIS FROM THE PLANTING AREAS BEFORE THE LAYING OUT OF APPROVED PLANT MATERIAL.
8. CONTRACTOR SHALL LAYOUT ALL PLANTS IN THEIR CONTAINERS AS PER THIS PLAN AND RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER + LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
10. ANY PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL PLANTS SHALL BE HEALTHY, PEST AND DISEASE FREE, FREE OF GIRDLING ROOTS AND WELL ESTABLISHED IN THE CONTAINER.
12. MYCORRHIZAL INOCULATE ORGANIC FERTILIZER SHALL BE APPLIED DURING PLANTING AS PER MANUFACTURERS RECOMMENDATIONS. USE "GREEN DIAMOND MYKOS START PRO" (4-2-2 ORGANIC FERTILIZER) OR APPROVED EQUAL.
13. TREES SHALL BE LOCATED A MINIMUM OF 4 FT. FROM WALLS, OVERHEADS, WALKS, HEADERS AND OTHER TREES WITHIN THE PROJECT, UNLESS SHOWN OTHERWISE.
14. NO PLANT SHALL BE PLANTED WITH ROOTBALLS OR PLANTING PITS IN A DRY CONDITION. ALL PLANTS TO BE HAND WATERED IN IMMEDIATELY AFTER PLANTING, NO WATER JETTING OF ROOT-BALLS
15. CONTRACTOR IS RESPONSIBLE TO APPLY SUFFICIENT BUT NOT EXCESS IRRIGATION TO ALL NEW PLANTINGS TO ENSURE HEALTHY PLANT ESTABLISHMENT.
16. BACKFILL MIX SHALL CONSIST OF 1/3 IMPORTED ORGANIC COMPOST AND 2/3 AMENDED SITE SOIL. AMENDED SOIL TO INCORPORATE COMPOST AT A MINIMUM OF FOUR (4) CUBIC YARDS PER 1,000 SF.
17. IMMEDIATELY AFTER EXCAVATION OF PLANT PITS, TEST DRAINAGE OF PITS BY FILLING WITH WATER. GIVE WRITTEN NOTIFICATION OF CONDITIONS PERMITTING THE RETENTION OF WATER IN PITS FOR MORE THAT (3) HOURS. CONTRACTOR SHALL SUBMIT TO OWNER AND LANDSCAPE ARCHITECT FOR ACCEPTANCE A WRITTEN PROPOSAL AND COST ESTIMATE FOR THE CORRECTION OF POOR DRAINAGE CONDITIONS BEFORE PROCEEDING WITH PLANTING.
18. ALL NEWLY PLANTED CONTAINER PLANTS AND TREES SHALL RECEIVE WATERING BASINS 3 TIMES THE SIZE OF THE ROOT BALL UPON PLANTING, UNLESS OTHERWISE SHOWN ON DRAWINGS.
19. PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MULCH, UNLESS NOTED OTHERWISE. VERIFY SPECIFICATION WITH LANDSCAPE ARCHITECT.
20. MULCH SHALL BE KEPT AT A MAXIMUM DEPTH OF 2" DEEP NEAR THE PLANT CROWNS AND TRUNKS, AND NOT EXTEND HIGHER THAN 1/8" ONTO THE CROWN OR TRUNK OF ANY NEWLY PLANTED PLANT OR TREE.
21. ALL PLANT MATERIAL SHOWN ON THE PLANTING PLAN IS SUBJECT TO THE ADVERSE EFFECTS OF NATURE INCLUDING, BUT NOT LIMITED TO, FIRE, EARTHQUAKE, FLOODING, FREEZE, DROUGHT, EROSION AND FORAGING PREDATORS. THE LANDSCAPE ARCHITECT CANNOT, AND DOES NOT, GUARANTEE OR IMPLY WARRANTY THAT SPECIFIED PLANTS WILL SURVIVE THESE ACTS OF NATURE. ALL PLANTS SPECIFIED SATISFY THE GENERAL CLIMATIC CONDITIONS SET FORTH BY THE U.S. DEPARTMENT OF AGRICULTURE AND THE SUNSET WESTERN GARDEN BOOK.

PLANTING FLAVOR IMAGES



* PLANTING IMAGES ARE INTENDED TO SHOW THE GENERAL FEEL OF THE PROPOSED GARDEN SPACES. WHILE SOME OF THE PLANTS SHOWN ARE ON THE PROPOSED PLANTING LEGEND, NOT ALL IMAGES ARE EXACT REPRESENTATIONS OF THE PROPOSED PLANTINGS.

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Spacing
TREES					
	16	Cercis occidentalis	Western Redbud	15 gal	
	1	Ficus carica	Black Mission Fig	15 gal	
	10	Olea europaea 'Swan Hill'	Swan Hill Fruitless Olive	24" box	as shown
	1	Quercus agrifolia	Coast Live Oak	24" box	as shown
SHRUBS					
	21	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	5 gal	as shown
	20	Arctostaphylos hookeri 'Wayside'	Wayside Manzanita	5 gal	as shown
	26	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	5 gal	as shown
	7	Cistus x purpureus	Purple Rock Rose	5 gal	as shown
	17	Euphorbia characias	Mediterranean Spurge	5 gal	as shown
	161	Geranium 'Rozanne'	Hardy Cranesbill	1 gal	15" o.c.
	216	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	5 gal	18" o.c.
	18	Olea europea 'Montra'	Little Ollie Dwarf Olive	5 gal	as shown
	16	Pittosporum crassifolium	New Zealand Karo	5 gal	as shown
	12	Salvia clevelandii 'Pozo Blue'	Pozo Blue Sage	5 gal	as shown
NATIVE SEED MIX - 3,516 SF					
	25%	Bromus carinatus	California Brome	seed	
	216	Elymus glaucus	Blue Wild Rye	seed	
	25%	Stipa pulchra	Purple Needle Grass	seed	
	25%	Wild Flower Blend	Wild Flower Blend	seed	



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PROJECT:
PLANTING + IRRIGATION PLANS

OWNER/ CLIENT:
SALIB RESIDENCE CARMEL BUILDING

SCOPE:

PROGRESS ISSUE:

NAME: _____ PROGRESS SUBMIT: _____ DATE: _____

NOTES FOR CONSTRUCTION:

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SHEET TITLE:
PLANTING CONTEXT

SHEET NUMBER:
JULY 16 2024

LA - 1.02



**CARMEL POINT
LANDSCAPES**

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OWNER/ CLIENT:
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CARMEL BUILDING**

SCOPE:

PROGRESS ISSUE:

NAME: _____ PROGRESS SUBMIT: _____ DATE: _____

NOTES FOR CONSTRUCTION:

HYDROZONE INFORMATION TABLE

Symbol	Water Use	Zone Description	Irrigation Method	Area (sq ft)
	Very Low 1. Very Low water use: bubblers, subsurface dripline or drip emitters, sprays for Seeded Areas (temp. until established)		Bubblers, Drip, MP Rotators	4,582
	Low 1. Low water use: bubblers, subsurface dripline or drip emitters		Bubblers, Drip	2,944
	Mod 3. Moderate water use: bubblers, subsurface dripline or drip emitters		Bubblers, Drip	658
	High 4. High water use (includes Water Features)		N/A	0
	SLA 5. Special Landscape Area (edible plants)		N/A	0
Total Planting Area				8,184



APN 015-052-026

Lot 26D
X2-Sur-66

Steep Slope &
Many Trees In
This Area

25575 Chiquito Place, Carmel CA 93923

Regular Landscape Area	8,184	SF
Special Landscape Area	0	SF
Total Landscape Area	8184	SF
Eto (CIMIS)	49.7	
Eppt (@ 25% Annual Rainfall)	5.28	

Maximum Applied Water Allowance							
(Eto - Eppt)	X	Gal./SF	X	[(0.55 x LA) + (0.45 x SLA)]	MAWA	ACRE-FT.	
44.43		0.62		4,501	0	123,979	0.38

Estimated Total Water Use					
Plant Water Use	(Eto)(0.62)	X	(PF x HA)	ETWU	ACRE-FT.
Very Low	30.8		IE 283	8,715	
Low	30.8		727	22,399	
Mod.	30.8		406	12,516	
High	30.8		0	0	
ETWU				43,630	0.13

Plant Type	Average PF	Planting SF	Gallons	% of Landscape
Very Low	0.05	4,582	8,715	56.0%
Low	0.2	2,944	22,399	36.0%
Mod.	0.5	658	12,516	8.0%
High	0.85	0	0	0.0%
				100%

ETWU complies with MAWA

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SHEET TITLE:
IRRIGATION PLAN

SHEET NUMBER:
JULY 16 2024

LA - 1.03