

Exhibit B

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

CASTROVILLE SELF STORAGE LLC (PLN220122)

RESOLUTION NO. ----

Resolution by the County of Monterey Planning Commission:

- 1) Adopting a Mitigated Negative Declaration (State Clearinghouse No. 2024100983) pursuant to Section 15074 of the California Environmental Quality Act (CEQA) Guidelines; and
- 2) Approving a Use Permit and Design Approval to allow construction of a 54,409 square foot mini-warehouse storage facility (9 single-story buildings) and a two-story mixed-use building consisting of a 1,294 square foot office on the first floor, a 1,294 square foot residential unit on the second floor, and associated site improvements. Colors and materials include light and dark gray and light green concrete and metal. Project requires up to 16,000 cubic yards of grading/imported fill; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

[PLN220122, Castroville Self Storage LLC, 10520 Tembladera Street, Castroville, Castroville Community Plan (Accessor's Parcel Number: 030-156-004-000)]

The CASTROVILLE SELF STORAGE LLC application (PLN220122) came on for a public hearing before the County of Monterey Planning Commission on December 11, 2024. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;

- North County Area Plan;
- Castroville Community Plan (CCP); and
- Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. Some communications were received during the course of review of the project indicating minor inconsistencies with the text, policies, and regulations in these documents. These potential inconsistencies are discussed in Finding 1.

- b) The project involves the construction of a 54,409 square foot mini-warehouse storage facility in the form of 9 single story buildings with a two-story mixed-use building consisting of a 1,294 square foot office on the first floor and a 1,294 square foot residential unit on the second floor. The project requires associated drainage improvements, driveway, landscaping and fencing improvements. Grading consists of approximately 16,000 cubic yards of imported fill.
- c) Allowed Use. The property is located at 10520 Tembladera Street, Castroville, Castroville Community Plan, North County Area Plan (Accessor's Parcel Number: 030-156-004-000). Within the CCP, a land use classification designation system is used to identify appropriate land uses rather than referring to Zoning Districts. The site encompasses designations for "Mixed-Use and Resource Conservation" in the CCP. The parcel is predominately classified as Mixed-Use-Castroville or "MU-C" which allows mini-warehouse storage facilities and residential units not to exceed 15-30 dwelling units per acre. Along the southern property line and adjacent to the Tembladero Slough, the land is classified as Resource Conservation or "RC" which allows for very low intensity uses and open space amenities for the entire community. This portion of the property will be put into a conservation and agricultural buffer easement. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject vacant parcel (3.03 acres) is shown in its current configuration as Lots 1, 2, and 3, in Block 4 as shown in the Records of Survey Map filed March 4, 1935 (Book 3 of Surveys, at Page 152) in the County of Monterey Records Office. The lots were subsequently combined by deeds transferring the land. Therefore, the County recognizes the parcel as a legal lot of record.
- e) Design/Neighborhood and Community Character. Pursuant to Appendix A, Design Guidelines of the CCP, the project includes a Design Approval to allow for the proposed development. As demonstrated in Finding No. 4 and supporting evidence, the new mini-warehouse storage facility and two-story mixed-use building consisting of an office on the first floor and a residential unit on the second floor are consistent with the purpose and regulations of Appendix A, Design Guidelines.
- f) Development Standards. The development standards for MU-C district are identified in the CCP Appendix B under Table B-6. Required setbacks are zero feet from the front, side, and rear property lines with a 10 foot minimum distance between structures. The maximum allowed height is 42 feet. As proposed, the mini-warehouse storage facility and two-story mixed-use building will be 9 feet 10 inches (front), 3 to 16 feet (sides), and 32 feet 5 inches (rear) with a minimum 10 foot distance between structures. Height of the proposed two-story building will be 21

feet and one inch which is below the maximum allowed. The project has complied with all development standards, setbacks, and height requirements pursuant to the CCP Appendix B.

- g) Site Coverage. Pursuant to the CCP development standards in Appendix B under Table B-6, the maximum building site coverage is 50 percent on lots that allow Mixed-Use (MU) development. The property is 3.03 acres or 132,029 square feet, which allows site coverage of 66,014 square feet. The proposed project results in site coverage of 55,703 square feet which equals 42 percent. Therefore, as proposed, the project meets the required coverage limitations.
- h) Parking. Pursuant to the CCP guidelines for MU and Commercial parking, guideline 7.2 encourages on-site parking to be located to minimize visibility from the sidewalk and placed behind buildings, if possible, accessed from the rear of the property on parcels with alleys, so that it does not interrupt the storefront continuity along the sidewalk. Due to the site constraints of the subject parcel, an alley and rear parking is not possible. The project parking is consistent with guideline 7.2 in that off-street parking is located to minimize conflicts with pedestrians and to minimize the physical and visual impact to the traditional streetscape appearance, designed with security in mind, and the parking area is not between sidewalk and the front of the building, but rather it is beside the building in front of the gate and behind the gate. Bike parking is discussed in guideline 7.2, but bike parking is not offered as part of this project given the nature of the use. The project complies with Title 21 parking regulations listed in Section 21.58.040. Residential units are required to have 2 parking spaces and mini-storage facilities to provide 2 spaces for the manager plus 2 customer spaces. As proposed, the project would include one covered and one uncovered parking space for employees, one Americans with Disabilities Act (ADA) parking space with a side aisle, and two parking spaces for customers. Therefore, the project does not strongly conflict with CCP parking guidelines for the MU-C district and meets the parking requirements of Title 21.
- i) Biological Resources. The project is located along the Tembladero Slough which has a potential for wetland habitat and sensitive biological resources. Pursuant to Title 21 Section 21.66.020, a Biological Report was prepared by qualified biologist Ed Mercurio (HCD-Planning Document No. LIB230194). On May 10, 2023, and June 23, 2023, Mercurio surveyed the site for sensitive biological resources. The report concluded that no sensitive habitat, or sensitive plant and animal species were observed on the property during the two biological surveys. However, the possibility that wetland environmental conditions existed on the subject property was a concern. In the May 2023 report, Mercurio concluded that the presence of patches of willow weed (*Persicaria lapathifolia*) may give the false appearance that some wetland vegetation is present on parts of the project area. The “Persicarias” are familiar plants that commonly occur in wetlands and some species are obligate wetland plants, which means that they can only grow in wetlands. Mercurio clarified that willow weed, although it looks superficially like some of the obligate wetland Persicarias, grows

in both wetlands and non-wetland environments. Mercurio stated that some willow weed is present, but no wetland is on the project area of the Castroville Self Storage Property. Furthermore, Mercurio determined that no special status plant or wildlife species had been found to occur on or very close to the property from current California Department of Fish and Wildlife Natural Diversity Data Base (“CNDDDB”) records for the Prunedale and Moss Landing Quadrangles and surrounding areas. Suitable terrestrial upland habitat for California red-legged frog (*Rana draytonii*) usually contain burrows of rodents such as California ground squirrel (*Spermophilus beecheyi*) and sometimes valley pocket gophers (*Thomomys bottae*). Very few rodent burrows were observed on the subject parcel and the few observed by Mercurio were too small and shallow to be the right type of burrow and “probably from mice or voles.” Mercurio found no evidence of the presence of these or other adult amphibians during parcel surveys. Mercurio also found that the project site consists primarily of highly disturbed non-native grassland. For the protection and reduced impacts to habitat and biological resources, the biologist recommended pre-construction surveys and the installation of exclusionary/protective fencing to be implemented prior to construction. The report recommended that any potential impacts to the degraded habitat on the slough by the construction of the project could be mitigated by restoration of native habitat along the slough (Condition No. 7). Mercurio also noted that some nesting birds may be disturbed by construction activity and therefore recommended a bird nest survey be conducted by a qualified biologist within 14 days of the start of construction if construction is started between March 1 and August 31 (Condition No. 26). These Mitigation Measures (BIO-1 through BIO-3) and conditions were found acceptable by the applicant and are incorporated into the project. See also Finding No. 6, Evidence “j”.

- j) Cultural Resources. County records identify the project site is within an area of high sensitivity for archaeological resources. Pursuant to Title 21 Section 21.66.050, a Phase I Archaeological Report (HCD-Planning Document No. LIB230193) was prepared by Ruben G. Mendoza and Jennifer A. Lucido with Archives and Archaeology dated May 8, 2022. The report concluded no evidence that cultural resources were found on the project site. However, on May 14, 2024, the Ohlone/Costanoan-Esselen Nation (OCEN) held a consultation meeting with HCD-Planning pursuant to California Assembly Bill 52. During the consultation, OCEN requested tribal monitoring during construction activities. Although the Phase I Archaeological Report was negative for cultural resources during a pedestrian survey, HCD-Planning found the request reasonable because the project location is within the floodplain fringe where resources could have been covered by flood-borne materials during a 100-year flood. To minimize potential impacts to archaeological and tribal cultural resources, the project has been mitigated to include tribal monitoring (Mitigation Measure TCR-1) during ground-disturbing activities and conditioned to include a note on the project plans to stop work immediately in the event a cultural,

- archaeological, historical, or paleontological resource is uncovered during construction (Condition No. 3). See Finding No. 6, Evidence “k.”
- k) Floodplain Fringe. The project site is located north of the Tembladero Slough which is within the 100-year Federal Emergency Management Agency (FEMA) Flood Zone AE. Pursuant to Title 16 Section 16.16.050, new construction in the AE Zone is required to be one foot above the base flood elevation. Additionally, setbacks from the top bank of a watercourse are 50 feet. As proposed, the project will include approximately 16,000 cubic yards of fill to achieve the one foot above base flood elevation requirement and maintain a minimum setback of 50 feet from the Tembladero Slough. HCD-Environmental Services staff assessed the available data and reporting and found the fill would not negatively affect flood patterns in the area, while protecting the development from harm. No FEMA map update is required, either. Therefore, the project is compliant with the Title 16 provisions for flood hazard reduction and can proceed as proposed. See Finding No. 3, Evidence “c.”
- l) Landscaping. The project includes a landscape plan since the zoning regulations for Mixed Use and Commercial uses require the site to be landscaped with a minimum of 10% of the parcel size (3.03 acres). The project proposes approximately 9,985 square feet of irrigated landscaping. Landscaping would be located along the perimeter of the proposed development and consist of 7 trees, 116 shrubs, and ground cover consisting of rock mulch and erosion control blanket. To ensure the landscaping added within 200 feet of the neighboring Unique and Prime farmland does not negatively impact the farming operations, the project would utilize species approved by the Monterey County Agricultural Commission’s office. Additionally, the species selected will be water-efficient and California natives. Irrigation for landscaping will be “smart controlled” to reduce water use and metered separately from the rest of the project site (Condition Nos. 7 and 8).
- m) Agricultural Buffer Easement. The 2010 General Plan *Policy AG-1.2* requires new non-agricultural development located adjacent to agricultural land uses to have a minimum 200 foot buffer. The area within the established buffer is also required to be placed within an agricultural easement. Furthermore, Title 21 Section 21.66.030, provides regulations for establishing an agricultural buffer easement. The Tembladero Slough passes between the commercial site and the adjacent agricultural land which functions as an approximate 40 foot wide natural barrier between the adjacent parcels. The proposed 32 foot agricultural buffer easement within the mini-storage parcel would further increase the buffer distance to 72 feet. The proposed office and residential unit will be at a greater distance (over 200 feet) from the adjacent agricultural fields. This distance, combined with appropriate perimeter landscaping on the side of the project closest to the slough, was found by the Agricultural Commissioner’s Office and HCD-Planning to meet the buffer requirements of Title 21 Section 21.66.030. Due to the proximity to agricultural lands, the project would be required to comply with an HCD-Planning/Agricultural Commissioner’s Office pair of conditions for a Landscape Plan with Biologist review and

appropriate perimeter landscaping next to agriculture (Condition Nos. 7 and 8). These conditions would ensure that development, and more specifically landscaping, would not negatively impact surrounding agricultural crops. The Agricultural Advisory Committee (AAC) of Monterey County reviewed the proposed landscape plan with this agricultural buffer as the focus of their review on January 25, 2024. The AAC found the proposed landscaping to serve the needs of required buffering. Therefore, the project meets the 2010 General Plan policy, and the regulations outlined in Title 21.

- n) Sign. Consistent with the CCP Mixed Use and Commercial sign guidelines, 7.6.1 sign type, the project proposes a recommended type of sign, a wall signs are flush-mounted and attached to the building façade, as shown in the 3D rendering within the project plan set. The project site is located within the CCP which is designated as a Design Control or “D” District. Pursuant to Title 21 Section 21.60.110, commercial projects located within a “D” District shall be allowed an aggregate 35 square feet of signage. The one proposed project sign is 32 square feet surface area flush-mounted on the top wall of the façade of the two story building consisting of 17-inch letters in LED-illuminated light green. Therefore, the project meets the regulations for signage established in Title 21.
- o) Land Use and Planning. The Project application was reviewed by all required groups within the Housing and Community Development Department, the North County Fire Protection District, the Environmental Health Bureau, and the Agricultural Commissioner’s Office for consistency with local, State and Federal regulations. These offices found that the project overall is generally designed in accordance with all applicable development standards and 2010 General Plan (GP) Policies. Public Services *Policy PS-2.3* requires new development to connect to existing water service providers with a “will serve” letter submitted from the Castroville Community Services District. Consistent with 2010 GP Land Use *Policy LU-1.11*, this development is consistent with the GP Land Use Map designation of the subject property and the policies of the 2010 GP, pursuant to Figure LU8, North County. 2010 GP Land Use *Policy LU-2.20* requires that the preferred location and priority for development in the County shall be in Community Areas such as Castroville, and that a mix of uses in Community Areas shall be supported. As a mixed-use project in MU-C zoned district (within the CCP area), this project is consistent. As a commercial business with office and one residential unit, the project is also consistent with 2010 GP *Policy LU-2.22* – Community Areas shall be designed to achieve a sustainable, balanced, and integrated community offering opportunities for workers to live near jobs. GP Policy AG- 1.2, discussed above in Evidence “n,” creates a conflict with a CCP vision for a linear park along the Tembladero Slough with picnic areas and a developed trail. Agricultural buffers such as the perimeter of landscaping would not allow these developments. Furthermore, Merritt Street Opportunity Area Goal 5 is to “continue to protect and enhance the community’s important natural and manmade resources,” and Policy 5.1 expands on this to require slough habitat improvement and

protection. As designed and conditioned, the project is generally consistent with CCP Merritt Street Opportunity Area Goals 1 through 5, while there remains a conflict between Goals (pathways and picnic areas vs. habitat improvement and agricultural buffering) for the edge of the slough. Conflicts exist between the adopted CCP vision for a linear park along the slough and the 2010 GP Agricultural Element prescribed treatment of lands between agricultural operations and non-agricultural zoning districts. Overall, the project conforms with land use and planning anticipated for the Merritt Street Opportunity Area.

2010 GP Public Services Policy PS-2.3 requires new development to connect to existing water service providers with a “will serve” letter submitted from the Castroville Community Services District. This project is low-water use by design. The only fixtures are in the two-bedroom unit (0.146 acre-feet per year, or AFY) and the office bathroom (0.090 AFY), for an anticipated total water usage of 0.236 AFY. This parcel is within the County Water Resource Agency’s Zone 2C water service area and therefore the specific project does not have to prove long-term sustainable water supply (2010 GP Policy PS-3.1). There are no conflicts with the 2010 GP including the North County Area Plan, or the policies and regulations of Title 15, Title 16, or Title 21 which relate to development of this type and at this location.

- p) Agricultural Advisory Committee (AAC) Review. The project was referred to the AAC pursuant to 2010 General Plan Policy AG-1.2 because the neighboring parcels across the Tembladero Slough are in the Farmland zoning district. The project was agendaized at the January 25, 2024 meeting. The committee members unanimously recommended continuing the project to a date uncertain to allow time for the circulation of the Initial Study by a vote of 9 ayes to 0 noes with 3 members absent.

On October 24, 2024, the project returned to the AAC for their recommendation. Concerns were raised regarding potential flooding from the Tembladero Slough and the CCP plan for a linear park including a pedestrian trail along the slough in the RC zoned side of the subject parcel. Staff and the applicant addressed these concerns by highlighting hydrology analysis of the site and the proposed installation of a stormwater drainage system to reduce flooding issues. Staff also stated that trail facilities are not allowable within the required agricultural buffer easement for this project. The AAC voted 6 ayes to 2 noes with 4 members absent to recommend approval of the project with a comment to the Planning Commission that if a trail is to be considered in the future, said trail shall be on the urban side of the slough. The Agricultural Commissioner later clarified to HCD staff that a pedestrian trail is not feasible due to food safety and Title 21 regulations. The meeting minutes from October 24th will not be approved until the next AAC meeting in January 2025. Therefore, staff has summarized the actions made in this report to reflect the AAC recommendation.

- q) Castroville Land Use Advisory Committee (LUAC) Review. The project was referred to the Castroville Land Use Advisory Committee pursuant to the Board of Supervisors adopted LUAC Guidelines on November 7, 2023. The committee reviewed the project and had no

objections to the design, or the concept of a community mural painted on the side of the building. The project was unanimously recommended for approval by a vote of 3 ayes to 0 noes with 2 members absent.

- r) The project planner conducted site inspections on August 8, 2023, and October 17, 2023, to verify that the project on the subject parcel conforms to the plans listed above.
- s) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220122.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, North County Fire Protection District (FPD), and the Agricultural Commissioner’s Office. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to archaeological resources, biological resources, soil resources, and traffic. The following reports have been prepared:

- “Biological Report” (HCD-Planning Library Document No. LIB230194) prepared by Ed Mercurio, Salinas, California, June 26, 2023; Revised January 31, 2024.
- “Geotechnical Report” (HCD-Planning Library Document No. LIB230195) prepared by Belinda A. Taluban with Soil Surveys Group Inc., Salinas, California, January 5, 2023.
- “Phase I Inventory of Archaeological Resources Report” (HCD-Planning Library Document No. LIB230193) prepared by Ruben G. Mendoza and Jennifer A. Lucido with Archives and Archaeology, Salinas, California, May 8, 2022.
- “Traffic Impact Analysis Report” (HCD-Planning Library Document No. LIB230196) prepared by Keith B. Higgins, Gilroy, California, October 11, 2023; Revised April 4, 2024.

County staff independently reviewed these reports and concurs with their conclusions. An Initial Study prepared for the project concluded that there are no physical or environmental constraints caused by this project individually or cumulatively that the recommended conditions of approval and mitigations cannot effectively reduce to a *less-than-significant* level. The property has been found to be suitable for the use proposed.

- c) Staff conducted site inspections on August 8, 2023, and October 17, 2023, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220122.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, North County FPD, and the Agricultural Commissioner’s Office. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided to serve the proposed development. Water and sewer connections are provided by the Castroville Community Services District (CCSD). The Environmental Health Bureau received a *Can and Will Serve* letter from CCSD dated October 10, 2022, which indicated available water and sewer connections to the project site.
 - c) The project is located within the 100-year FEMA Floodway of the Tembladero Slough. HCD-Environmental Services reviewed the Geotechnical Report (HCD-Planning Document No. LIB230195) submitted for the proposed project. The natural drainage of the subject parcel is sheet flow over the land surface into the Slough. Site improvements would include the installation of a stormwater drainage system that would include five infiltration chambers, subdrains, area drains, drop inlets with media filters, and downspouts. Stormwater collected by these features would be transported through subsurface stormwater pipes before being captured in an isolator row. Overflow of stormwater would be released to the Slough through a subsurface pipe in the southwest corner of the site. The project would be required to comply with an Operation and Maintenance Agreement (Condition No. 13) as well as an Operation and Maintenance Plan (Condition No. 14) which would ensure stormwater control measures are adequately functioning and being maintained during operation. Additionally, the project does not propose to construct vertical development in the floodplain of the Tembladero Slough.
 - d) Staff conducted site inspections on August 8, 2023, and October 17, 2023, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220122.

4. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

- EVIDENCE:**
- a) Design standards for the MU-C district are identified in CCP, Appendix A which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - b) Neighborhood Character. The 446-unit mini-warehouse storage facility including 9 single-story buildings and two-story mixed-use building would have a comparatively similar layout to other mixed-use facilities in the vicinity. The proposed development fills a vacant lot which is adjacent to a roofing supply warehouse to the northwest and a boat and trailer storage facility to the southeast. There is an auto repair shop across the street. As proposed, the visible structure will remain comparable to the character of other development in the surrounding neighborhood.
 - c) Form, Mass and Scale. The proposed architecture conforms with the CCP Mixed Use and Commercial architectural design guideline 7.3.1 for form, mass and scale by proposing a simple rectangular form accented with a strong roofline. The upper floor windows are divided into units instead of a continuous stream of glass, and there is a clear visual division between the street level and upper floor incorporated through the change of materials, colors, and a short canopy (consistent with guidelines 7.3.1 and 7.3.4, window treatments). Consistent with guidelines 7.3.2 for façade treatment and 7.3.3 for mixed use storefronts, traditional patterns are delineated both vertically and horizontally, and the light gray colored perimeter walls have columns of dark gray incorporated. Consistent with guideline 7.3.5 for building entrances as well as direction given in guideline 7.1.3 for site access, the primary entrance is clearly identified, conveys a sense of human scale and is oriented toward the street. Pursuant to this guideline, the entrance is welcoming because it is a narrow beige articulated overhang above the entrance and creating a separation between the first and second floor of the mixed use building façade (see Plans elevations on sheet A2.1). Consistent with guideline 7.3.6 for awnings, the awning is not the predominate feature of the façade but an accent. As discussed in Finding 1, Evidence “o,” in relation to Merritt Street Opportunity Area goals, and in relation to the Mixed Use and Commercial design guidelines, the project conforms with the existing bulk, mass and types of use in the immediate vicinity and therefore assures visual integrity.
 - d) Material and Color Finishes. The proposed exterior colors and materials are consistent with the area’s setting and surrounding buildings. The project is consistent with CCP Mixed Use and Commercial architectural design guideline 7.3.8 for building materials, colors and finishes in that the materials are similar to those used by the adjacent and neighborhood warehouses, contrasting colors accent architectural details and the finishes are matte (not shiny paint and windows are not mirrored). The mini-warehouse storage facility will be constructed with materials that include gray steel siding, light and dark gray concrete masonry units (CMU) block walls, gray standing seam metal roof, and light green sectional metal roll-up doors with beige steel headers. The two-story mixed-use building would include an office on the first floor with one restroom, and a two bedroom, two bath residential unit on the second

floor. Similar in architectural design, the office and residential unit will be constructed using gray and beige stucco, dark gray metal door and window frames, and dark gray metal garage door. The project has been conditioned to include an exterior lighting plan as part of the construction plan set to ensure the project complies with CCP Mixed Use and Commercial architectural design guideline 7.4 for lighting and the Monterey County lighting ordinance (Condition No. 6). The applicant submitted a preliminary lighting plan which includes down-lit, shielded lighting fixtures which are compatible with and complement the building's design and architectural style. The proposed exterior lighting is consistent with other commercial buildings in the neighborhood and the overall design is compatible with the neighborhood.

- e) Visual Resources. This property is not located within a visually sensitive area. However, the CCP does specify design guidelines to help maintain visual integrity of the Merritt Street Opportunity Area (Figure 6 of the CCP). Merritt Street Opportunity Area Goal 5 is to “continue to protect and enhance the community’s important natural and manmade resources,” and Policy 5.1 expands that “new private and public development shall work with local and regional organizations to enhance the sloughs in the vicinity of Castroville as part of the ongoing regional slough enhancement efforts to improve habitat, provide open space and create attractive amenities for the entire community.” As discussed in Finding 1, Evidence “i,” habitat improvement is proposed through restoration and preservation of the subject parcel in RC zoning. Also, CCP Mixed Use and Commercial architectural design 7.4 for zoning landscaping encourages landscaping to be used to soften the impact of large expanses of blank wall or fencing. Therefore, although the project is not proposed with a zero front setback, the use of landscaping in the small front setback (9 feet, 10 inches) both enlivens the sidewalk level, provides some green space and softens the impact of the long wall of Building H (201 feet long on the front property line). The proposed project site is located approximately 0.25 miles north of State Route 1 (SR 1), which is a State designated eligible scenic highway, and 0.55 miles north of SR 156 which is a County and State designated scenic highway. However, views of the project site would be limited from SR 1 and SR 156 due to topography, vegetation, and existing development in the vicinity of the project. The proposed development also does not have a significant impact on a public viewshed because of distance and topography, as well as the existing two-story development on three sides of the parcel. As proposed and conditioned, the project assures slough enhancement efforts to improve habitat, is consistent with neighborhood character, and assures visual integrity.
- f) The project planner conducted site inspections on August 8, 2023, and October 17, 2023, to verify that the project on the subject parcel conforms to the plans listed above. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character and the CCP (i.e., structural design features, colors, and material finishes).

- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County HCD-Planning for the proposed development can be found in Project File PLN220122.

- 5. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted site inspections on August 8, 2023, and October 17, 2023, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN220122.
- 6. FINDING:** **CEQA (Mitigated Negative Declaration)** – On the basis of the whole record before the County of Monterey Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, would have a significant effect on the environment. The Mitigated Negative Declaration (MND) reflects the independent judgment and analysis of the County.
- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines Sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study to determine if the project may have a significant effect on the environment, and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) The County prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of HCD-Planning and is hereby incorporated by reference (HCD-Planning File No. PLN220122).
 - c) There is no substantial evidence, based upon the whole record, that the project may have a significant effect on the environment. The Initial Study identified a few potentially significant effects. Based upon the analysis of the Initial Study, HCD-Planning prepared a draft MND. The applicant has agreed to the proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.
 - d) The Initial Study and draft MND for HCD-Planning File No. PLN220122 was prepared in accordance with the CEQA Guidelines; filed with the County Clerk on October 22, 2024; and circulated for public review from October 22 through November 21, 2024 (State Clearinghouse No. 2024100983).
 - e) Pursuant to Public Resources Code Section 21080.3.1, HCD-Planning staff initiated consultation notification on May 10, 2024 with the Ohlone/Costanoan-Esselen Nation (OCEN). On May 14, 2024, OCEN requested consultation for the proposed project. Potential tribal cultural

resources were identified through the consultation. The tribal representative requested mitigation related to these resources are required (see subsequent Evidence “k”).

- f) Resource areas that were analyzed in the Initial Study/draft MND included: aesthetics, agriculture and forest resources, air quality, biological resources, cultural resources, energy, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, mineral resources, noise, population and housing, public services, recreation, transportation and traffic, tribal cultural resources, utilities and service systems, and wildfire.
- g) Evidence that has been received and considered includes the application, technical studies/reports, staff reports that reflect the County’s independent judgment, and information and testimony presented during tribal cultural consultation, public meetings and public comments letters.
- h) The County identified no impacts to mineral resources, population and housing, public services, and wildfire.
- i) The County identified less than significant impacts to aesthetics, agricultural and forest resources, air quality, cultural resources, energy, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, recreation, transportation, utilities and service systems. Mitigation measures will not be required for these resource areas because the regulatory environment for the project brings any potential impacts to a level of *less-than-significant*.
- j) The County identified potentially significant impacts to biological resources. The Initial Study and draft MND recommended three Mitigation Measures that would reduce the identified impacts to a level of *less-than-significant*. Mitigation Measures BIO-1 through BIO-3 (Condition Nos. 21 through 23) would reduce the potentially significant impacts to sensitive animal and plant species including the California red-legged frog, California tiger salamander, the Santa Cruz long-toed salamander, Congdon’s tarplant, Monterey spineflower, Seaside Bird’s Beak, and the Saline clover through implementation of a pre-construction survey and protective fencing by a qualified biologist. The measures include regular reporting to the HCD-Planning department, as well as reporting to the U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife if any protected animal species are encountered during construction. Mitigation for potential disturbance to the freshwater marsh habitat through the installation of protective fencing will ensure construction workers and vehicles do not impact the habitat area during construction. A biological monitor shall supervise the installation of protective fencing and check it weekly during the construction phase. Mitigation is also in the form of restoration of the vegetative community near the slough and preservation through the establishment of a resource conservation easement over the freshwater marsh habitat of the Tembladero Slough (Condition Nos. 7 and 20). The mitigation measures and conditions of

approval will reduce the impacts to biological resources to a *less-than-significant* level.

- k) The County identified potentially significant impacts to tribal cultural resources. Due to the nature of the potential impacts, staff consulted with the tribal cultural representative of OCEN prior to the preparation of the Initial Study. A Phase I Archaeological Report was prepared and reviewed by the County and the tribal cultural representative for OCEN. OCEN found the location along the slough increased the likelihood that tribal cultural resources could be disturbed in the construction phase of the project. As a result, the Initial Study and draft MND recommended one Mitigation Measure for potential impacts to tribal cultural resources which reduces the identified impact to a *less-than-significant* level. Mitigation Measure TCR-1 (Condition No. 24) addresses the potentially significant impact to unknown tribal cultural resources disturbed during construction by requiring monitoring by a contracted Tribal Cultural Monitor.
- l) The County received comments on the Initial Study and draft MND during the public review period from Caltrans District 5 and the Monterey Bay Air Resources District (Exhibit F of the December 11, 2024, Planning Commission staff report). Proposed edits to the Transportation section of the IS/MND were requested by Caltrans. During public review of the IS/MND, the County received comments from Caltrans District 5 and the Monterey Bay Air Resources District (MBARD) (Exhibit F). The comment letter from Caltrans shared that the Castroville Improvement Project will be under construction near the proposed project and that if any future work is completed in the State's right-of-way it will require an encroachment permit from Caltrans. Also, the engineer requested underlying collision data in a Traffic Report which was a source for the Transportation section of the IS/MND to be updated. Collision data was slightly inaccurate but was mentioned as an in the discussion section after more central arguments pertaining to VMT. A change to the collision data would not alter the conclusion of the MND, and the information is not central to the analysis of VMT. As a responsive edit, the sentence containing information about collision data is shown struck out. The comment letter from MBARD recommended the project adhere with dust controls which are standard requirements for grading and construction permits from HCD-Building Services. County staff reviewed the comments received based on the specific circumstances of this project and determined that they do not alter the conclusions in the IS.
- m) Recirculation of the IS/MND was not warranted pursuant to CEQA Guidelines Section 15073.5.a and b. One sentence on page 67 is shown struck out in the redline version of the IS/MND to address public comment through clarification. It is this version of the IS/MND that the Planning Commission adopts.
- n) Analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the CDFW regulations. The project is subject to a State filing fee plus the County recording fee. The Initial Study was sent to the CDFW CEQA office for review and comment and no written

comments were received. The applicant will pay the State fee but only the processing fee payable to the County of Monterey Clerk/Recorder for posting the Notice of Determination (Condition No. 25).

- o) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and Reporting Plan has been prepared in accordance with the County of Monterey regulations which is designed to ensure compliance during project implementation and is hereby incorporated herein by reference. The applicant shall enter into an “Agreement to Implement a Mitigation and Monitoring and Reporting Plan” as a condition of project approval (Condition No. 4).
- p) The County of Monterey Planning Commission considered the MND, along with the Use Permit and Design Approval, at a duly noticed public hearing held on December 11, 2024.
- q) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the MND is based.

7. FINDING: APPEALABILITY – The decision on this project may be appealed to the County of Monterey Board of Supervisors.

- EVIDENCE:**
- a) Pursuant to Title 21 Section 21.80.040.D, the Board of Supervisors is the appeal authority to consider appeals from the discretionary decisions of the Planning Commission.
 - b) Pursuant to CEQA Guidelines Section 15074(f), when a non-elected decision-making body within a local lead agency adopts an MND, that adoption may be appealed to the agency’s elected decision-making body.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission of the County of Monterey does hereby:

1. Adopt a Mitigated Negative Declaration (State Clearinghouse No. 2024100983) pursuant to Section 15074 of the California Environmental Quality Act (CEQA) Guidelines;
2. Approve a Use Permit and Design Approval to allow construction of a 54,409 square foot mini-warehouse storage facility (9 single-story buildings) and a two-story mixed-use building consisting of a 1,294 square foot office on the first floor, a 1,294 square foot residential unit on the second floor, and associated site improvements. Colors and materials include light and dark gray and light green concrete and metal. Project requires up to 16,000 cubic yards of grading/ imported fill; and
3. Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

All of which are in general conformance with the attached sketch and subject to the attached conditions and mitigation measures, all being attached hereto and incorporated herein by reference.

PASSED and ADOPTED upon motion of Commissioner _____, seconded by Commissioner _____, and carried this day of December 11, 2024, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN220122

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Use Permit and Design Approval (PLN220122) allows construction of a 54,409 square foot mini-warehouse storage facility (9 single-story buildings) and a two-story mixed-use building consisting of a 1,294 square foot office on the first floor, a 1,294 square foot residential unit on the second floor, and associated site improvements. Grading of approximately 16,000 cubic yards of imported fill. The property is located at 10520 Tembladera Street, Castroville, (Assessor's Parcel Number 030-156-004-000), Castroville Community Plan Area. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit and Design Approval (Resolution Number _____) was approved by the County of Monterey Planning Commission for Assessor's Parcel Number 030-156-004-000 on December 11, 2024. The permit was granted subject to 26 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

5. PD016 - NOTICE OF REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

- "Biological Report" (LIB230194) prepared by Ed Mercurio, Salinas, California, June 26, 2023; Revised January 31, 2024.
- "Geotechnical Report" (LIB230195) prepared by Belinda A. Taluban with Soil Surveys Group Inc., Salinas, California, January 5, 2023.
- "Phase I Inventory of Archaeological Resources Report" (LIB230193) prepared by Ruben G. Mendoza and Jennifer A. Lucido with Archives and Archaeology, Salinas, California, May 8, 2022.
- "Traffic Impact Analysis Report" (LIB230196) prepared by Keith B. Higgins, Gilroy, California, October 11, 2023; Revised April 4, 2024; and are on file in Monterey County HCD - Planning. All development shall be in accordance with these reports."
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to HCD - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the HCD - Planning.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD012(H) - LANDSCAPING PLAN (NO. COUNTY NATIVE)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. The landscape palette shall use native species consistent with the project-specific Biological Survey by Ed Mercurio dated June 26, 2023 (HCD-Planning Library Document LIB230194) such that resulting vegetation is at least 60 percent native plants of local origin after heavy growths of naturalized, non-native plants are removed. The Biological Survey includes a list of suggested plant species. A list of appropriate native plant species are also identified in Attachments #2 and #3 of the North County Implementation Plan Development Regulations is available in brochure form (Suggested Native Species Landscaping List - North County Coastal Zone) from HCD - Planning. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning and the Agricultural Commissioner's Office for review and approval. Landscaping plans shall include the recommendations from the Biological Survey by Ed Mercurio dated June 26, 2023 (HCD-Planning Library Document LIB230194) and the Agricultural Commissioner (pursuant to Condition No. 8) as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

8. APPROPRIATE PERIMETER LANDSCAPING NEXT TO AGRICULTURE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: PRIOR TO CONSIDERATION OF THE FINAL LANDSCAPING PLAN FOR THE PROJECT BY HCD-PLANNING, CONSULT WITH THE COUNTY OF MONTEREY COUNTY AGRICULTURAL COMMISSIONER'S OFFICE ON THE APPROPRIATE PERIMETER LANDSCAPING THAT WOULD NOT NEGATIVELY IMPACT SURROUNDING AGRICULTURAL CROPS. THE RECOMMENDATION OF THE APPROPRIATE PERIMETER LANDSCAPING BY THE MONTEREY COUNTY AGRICULTURAL COMMISSIONER SHALL BE INCORPORATED IN THE LANDSCAPING PLANS.

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the HCD - Planning and the Agricultural Commissioner's Office for review and approval. Landscaping plans shall include the recommendations from the Biological Survey by Ed Mercurio dated June 26, 2023 (HCD-Planning Library Document LIB230194) and the Agricultural Commissioner. No landscaping plants that are known to negatively impact agricultural crops shall be included in the final landscape plan.

9. REGULATIONS FOR FLOODPLAINS IN MONTEREY COUNTY

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: Promote the public health, safety, and general welfare, and minimize public and private losses due to flood conditions in specific areas by implementing provisions, methods designed to reduce flood losses in order to accomplish its purpose.

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit required documentation complying with Regulations For Floodplains In Monterey County.

10. STORMWATER CONTROL PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Control Plan and Stormwater Control Report prepared by a registered professional engineer, to HCD-Environmental Services for review and approval. The plan and report shall address the Post-Construction Stormwater Management Requirements (PCRs) for Development Projects in the Central Coast Region. The plan shall include retention/detention facilities designed to limit post-development runoff rates to pre-development rates for the 2, 5, 10, 25, 50, and 100-year 24-hour design storms. The plan shall include the location of the drainage facilities, construction details and construction inspection schedule that identifies when the inspections will be completed, who will conduct the inspection (i.e., PG, PE, and/or Special Inspector), a description of the required inspection, inspector name, and the completion date.

Prior to issuance of any grading or building permits, the applicant shall submit certification from a licensed practitioner that they have reviewed and approved the Stormwater Control Plan for conformance with their geotechnical recommendations.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Stormwater Control Report and a Stormwater Control Plan to HCD-Environmental Services for review and approval.

11. CALIFORNIA CONSTRUCTION GENERAL PERMIT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) including the Waste Discharger Identification (WDID) number, to HCD-Environmental Services. In lieu of a SWPPP, a letter of exemption or erosivity waiver from the Central Coast Regional Water Quality Control Board may be provided.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a SWPPP including the WDID number certifying the project is covered under the California Construction General Permit or a letter of exemption from the Central Coast Regional Water Quality Control Board.

12. GEOTECHNICAL REPORT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit a project specific geotechnical report that includes data regarding the nature, distribution, and strength of existing soils, as well as a description of the site geology and any applicable geologic hazards. The geotechnical report shall analyze the suitability of the subsurface materials for stormwater retention/detention including any potential impacts to the building foundations, driveway, parking areas. The geotechnical report shall include project specific recommendations and conclusions regarding design criteria and grading procedures.

Compliance or Monitoring Action to be Performed: Prior to issuance of any grading or construction permits, the applicant shall submit a Geotechnical Report to HCD-Environmental Services for review and approval.

13. OPERATION AND MAINTENANCE AGREEMENT

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall enter into a Maintenance Agreement (Agreement) that clearly identifies the responsible party for ongoing maintenance of structural Stormwater Control Measures. The Agreement shall contain provisions for an annual drainage system report, prepared by a registered Professional Engineer, that includes the status of all structural stormwater control measures and maintenance recommendations. The annual report shall be submitted to HCD-Environmental Services, for review and approval, no later than August 15th. All recommended maintenance shall be completed by October 15th of the same year. If maintenance is required, certification shall be provided that all recommended maintenance has been completed before the start of the rainy season.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the signed and notarized Agreement to HCD-Environmental Services for review and approval. The approved Agreement shall be recorded, and a copy of the recorded document shall be provided to HCD-Environmental Services.

14. OPERATION AND MAINTENANCE PLAN

Responsible Department: Environmental Services

Condition/Mitigation Monitoring Measure: The applicant shall submit an Operation and Maintenance Plan prepared by a registered Professional Engineer that includes, at a minimum, the following:

- A site map identifying all structural Stormwater Control Measures requiring O&M practices to function as designed.
- O&M procedures for each structural Stormwater Control Measure including, but not limited to, LID facilities, retention/detention basins, and proprietary devices.

The O&M Plan shall include short- and long-term maintenance requirements, recommended frequency of maintenance, and estimated cost for maintenance.

Compliance or Monitoring Action to be Performed: Prior to final inspection, the owner/applicant shall submit the O&M Plan to HCD-Environmental Services for review and approval.

15. CC01 INDEMNIFICATION AGREEMENT

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law .

Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

Owner/Applicant shall execute and cause to be notarized an agreement to this effect concurrent with the issuance of building permits, use of the property, filing of the final map, recordation of the certificates of compliance, or demand of the County Counsel's office, whichever occurs first and as applicable. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to Housing and Community Development – Planning for the County's review and signatures. (County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits , the Owner/Applicant shall submit such signed and notarized Indemnification Agreement to Housing and Community Development – Planning for the County's review and signatures.

Owner/Applicant shall execute and cause to be notarized an agreement to this effect concurrent with the issuance of building permits, use of the property, filing of the final map, recordation of the certificates of compliance, or demand of the County Counsel's office, whichever occurs first and as applicable.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the HCD and Office of County Counsel-Risk Management.

16. PW0008 – DEDICATION (STREET AND RIGHT-OF-WAY)

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Dedicate to the County of Monterey a right-of-way along the frontage of Tembladera Street for road right-of-way purposes.

Compliance or Monitoring Action to be Performed: Prior to Building/Grading Permits Issuance, the Applicant's surveyor shall prepare the description of area to be dedicated and submit to the County for review, approval, and acceptance.

17. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

18. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

19. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

20. PD044 - RESOURCE CONSERVATION EASEMENT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A resource conservation easement shall be conveyed to the County over those portions of the property where environmentally sensitive habitats or known archaeological sites exist. The easement shall also serve to buffer neighboring agricultural fields pursuant to the 2010 General Plan Agricultural Element Policy AG-1.2 which calls for an Agricultural Buffer between agricultural and non-agricultural uses. A proposed easement deed shall be submitted to, and approved by, the Director of HCD - Planning and the Agricultural Commissioner's Office and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to the issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit the appropriate conservation easement deed to the HCD and the Agricultural Commissioner's Office for review and approval..

Prior to final inspection the Owner/Applicant shall record the deed and map showing the approved easement. Submit a copy of the recorded deed and map to HCD – Planning.

21. MITIGATION MEASURE BIO-1 - AMPHIBIAN PRE-CONSTRUCTION SURVEY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure BIO-1. Although results of the project biologist's site surveys in 2023 were negative for California red-legged frog (*Rana draytonii*), which is federally listed as threatened and is a state species of special concern, California tiger salamander (*Ambystoma californiense*), which is federally listed as threatened and state listed as threatened, or the Santa Cruz long-toed salamander (*Ambystoma macrodactylum croceum*), due to the proximity of the Tembladero lough, there is potential for individuals of these protected species to enter the site during the construction phase and be harmed. The aim of this measure is to avoid harm by avoiding construction in any areas with sensitive animal species present. Therefore, the owner/applicant shall cause a qualified biologist to conduct a wildlife preconstruction survey of permanent and temporary impact areas for special wildlife that could occur on the property within 14 days prior to the start of vegetation removal or grading. The report shall be provided to the Chief of Planning prior to construction permit issuance. If any individuals are found within the construction impact area or would otherwise be at risk during construction, work activities shall be delayed in that particular area and the animal allowed to leave the work zone on its own volition. Individuals can be relocated outside of the work area if authorization is provided by CDFW, or USFWS for federally listed species. If the individuals do not leave the area by their own volition and the biologist is not authorized to move them, the biologist shall continue the stop work, employ BMPs to protect the individuals from harm and consult with the appropriate regulating agencies. If it is necessary to pursue appropriate permits from these agencies, the owner/applicant shall ensure this is done. The biologist shall monitor the area to determine when individuals of special status species have left, and work can commence. The biologist shall submit a report detailing the methods and results of the wildlife preconstruction survey to the County. The report should detail any sensitive species found during the survey and measures taken for their avoidance. Observations of special status species shall be submitted to the CNDDDB.

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action BIO-1.a: Prior to the issuance of any construction permit, the Applicant shall submit the results of the preconstruction survey done by a qualified biologist no more than 14 days prior to vegetation removal or grading to HCD – Planning for review and approval.

Mitigation Monitoring Action BIO-1.b: A qualified biologist shall monitor the construction area during all grading, fill and building activities. If any special status species are discovered, the biologist shall create the temporary no-work zone barrier and determine when individuals of special status species have left, and work can commence.

Mitigation Monitoring Action BIO-1.c: After temporary no-work zone barrier is constructed, if individuals of special status species have not left of their own volition after what the biologist deems a reasonable time, a qualified biologist may relocate the individuals outside of the work area if and when authorization is provided by CDFW, or USFWS for federally listed species.

Mitigation Monitoring Action BIO-1.d: On a monthly basis starting at the first day of ground disturbing activity, the biologist responsible for monitoring shall provide to the Chief of Planning a detailed report on any sensitive species found during the month and measures taken for their avoidance. The Chief of Planning may require additional information and evidence pertaining to monitoring activities and results prior to approving the report(s). All observations of special status species shall be submitted to the CNDDB.

22. MITIGATION MEASURE BIO-2 PRE-CONSTRUCTION PLANT SURVEY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure BIO-2. Although the results of the project biologist's site surveys in 2023 were negative for sensitive plant species, there remains the potential for four sensitive plant species to be impacted by the grading and construction phase of the Project. These plants are Congdon's tarplant (*Centromadia parryi* ssp. *congdonii*), Monterey spineflower (*Chorizanthe pungens* var. *pungens*), Seaside Bird's Beak (*Cordylanthus rigidus* ssp. *littoralis*), and Saline clover (*Trifolium hydrophilum*). Therefore, the owner/applicant shall cause a qualified biologist to conduct a plant preconstruction survey and avoid construction in any areas with sensitive plant species. Within 14 days prior to the start of vegetation removal or grading, a qualified biologist shall survey permanent and temporary impact areas for special plant species that could occur on the property. If special status plants are not identified, no additional mitigation is required. If special plant species are identified and can be avoided by project design, they shall be fenced or flagged for avoidance prior to ground -disturbing activities. A biological monitor shall supervise the installation of protective fencing and shall monitor the site at least once per week until construction is complete to ensure that protective fencing remains intact. If avoidance of all individuals is not possible, a Revegetation Plan shall be prepared by a qualified biologist prior to construction and shall be implemented following construction. The plan shall include the species and number of individual special-status plants that are expected to be impacted by development and a detailed description of revegetation areas, plant source material , planting specifications, and a monitoring program that describes annual monitoring efforts which incorporate success criteria and contingency plans if success criteria are not met. If special status plant species that require take authorization from the Service and/or CDFW are identified during surveys and cannot be avoided by the project, the project proponent shall comply with the ESA and/or CESA and obtain necessary authorizations prior to construction.

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action BIO-2a: Prior to the issuance of any construction permit, the owner/applicant shall submit the results of the preconstruction survey to HCD – Planning for review and approval.

If required, Mitigation Monitoring Action BIO-2b: Prior to the issuance of any construction permit, the owner/applicant shall submit a proposed project redesign that accommodates the retention of special plant species. The Chief of Planning shall determine whether the redesign requires a project amendment hearing, or if the project's construction level plans are in general conformance with the proposed project . If the owner/applicant, in consultation with the project biologist, finds that redesign to accommodate the special status plants is not feasible, then they shall cause a Revegetation Plan as described in MM BIO-2 to be prepared by a qualified biologist prior to construction and it shall be implemented following construction. In that case , the owner/applicant shall submit the Revegetation Plan to the Chief of Planning for review and approval. If special status plant species that require take authorization from the Service and/or CDFW are identified during surveys and cannot be avoided by the project, the project proponent shall comply with the ESA and/or CESA and obtain necessary authorizations prior to construction. In that case, the Revegetation Plan shall adhere with the regulatory agency(ies)' recommendations.

23. MITIGATION MEASURE BIO-3 - PROTECTIVE FENCING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measure BIO-3. The project biological reports identified potential impacts during the construction phase in the form of accidental degradation of the breeding habitat of rare, threatened and endangered birds and protected amphibian breeding habitat. Therefore, the project is required to include protective measures to avoid impacts to these biological resources. No fill, soil dislodged through construction activities, or any other debris shall enter areas of freshwater marsh habitat. Plastic sheet barrier fencing (silt/exclusion fencing) shall be erected before the start of construction between the area of construction and the freshwater marsh habitat. The area between the development and the freshwater marsh habitat of Tembladero Slough shall be protected and will not be used as access, storage, or staging areas for construction. Protective fencing (i.e., silt/exclusion fencing) shall be installed by a qualified biologist and checked weekly during construction.

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action BIO-3: Prior to the issuance of any construction permit, the owner/applicant shall submit the final Site Plans that illustrate the location of protective fencing, identify the location of staging within the development site, and illustrate the design of curbs onsite consistent with the recommendations found in the project biologist, Ed Mercurio's Revised Biological Assessment dated January 31, 2024.

Prior to construction permit issuance, photographic evidence that protective fencing has been installed shall be collected and provided to the Chief of Planning for review and approval. The owner/applicant shall maintain records of protective measures throughout the duration of construction and operation and shall provide copies to the Chief of Planning upon request.

24. MITIGATION MEASURE TCR-1 - TRIBAL MONITORING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Mitigation Measures TCR-1: To minimize potential impacts to previously unknown or subsurface Tribal Cultural Resources (TCR), culturally affiliated Native American tribes shall be notified prior to ground-disturbing activities. Prior to the issuance of any permit for ground-disturbing activities, the owner/applicant shall submit evidence (i.e., a contract) to the Chief of Planning demonstrating that the owner/applicant has retained a Tribal Cultural Monitor (TCM) to monitor initial ground-disturbing activities. The TCM shall be responsible for preparing daily monitoring reports and shall prepare a final report following the completion of ground-disturbing activities. The final report, along with the daily monitoring reports, shall be submitted to the Chief of Planning for review within 60 days following the completion of ground-disturbing activities. All work shall stop if a TCR is discovered during construction. In accordance with Condition No. 3, Cultural Resources Negative Archaeological Report, an archaeologist will be contacted at the time of the finding to evaluate the resource to determine whether the finding is significant. The archaeologist shall be required to consult with the TCM as part of the evaluation. If the finding is a historical resource or unique TCR, avoidance measures or appropriate mitigation shall be implemented. Work will cease in the immediate vicinity of the find until mitigation can be implemented (in accordance with Condition No. 3, Cultural Resources Negative Archaeological Report). In accordance with CEQA Guidelines Section 15064.5(f), work may continue in other parts of the project site during the implementation of potential resource mitigation (if necessary). The TCM and archaeologist shall provide a mitigation plan for review and approval by the Chief of Planning prior to the resumption of ground-disturbing activities. All tribal resources shall be returned to the affected Native American tribe or reburied onsite following the recommendations of the mitigation plan.

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action TCR-1.a: Prior to the issuance of any construction permit, the owner/applicant shall submit evidence (i.e., contract) to the Chief of Planning for review and approval demonstrating that the owner/applicant has retained a Tribal Cultural Monitor (TCM) to monitor ground-disturbing activities and that the TCM has been informed of the construction calendar. The TCM shall prepare daily monitoring reports that shall be available upon request by the Chief of Planning. A final report , including all of the daily monitoring reports, shall be submitted to the Chief of Planning for review and approval within 60 days of completion of ground-disturbing activities.

Mitigation Monitoring Action TCR-1.b: In the event that TCR is discovered during construction, work will be stopped pursuant to Condition No. 3, Cultural Resources Negative Archaeological Report. The TCM shall consult with an archaeologist who will be contacted at the time of the finding to evaluate the resource to determine whether the finding is significant. If the finding is a historical resource or unique TCR, avoidance measures or appropriate mitigation shall be implemented. The TCM and archaeologist shall provide a mitigation plan for review and approval by the Chief of Planning prior to the resumption of ground-disturbing activities. All tribal resources shall be returned to the affected Native American tribe or reburied onsite following the recommendations of the mitigation plan.

25. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

26. PDSP001: BIRD NEST SURVEY

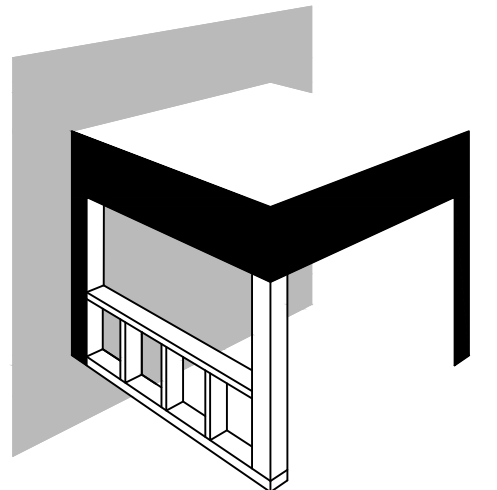
Responsible Department: Planning


Condition/Mitigation Monitoring Measure: A preconstruction survey, primarily for the presence of sensitive species of amphibians, is required for this project pursuant to the biologist Ed Mercurio's Revised Biological Assessment dated January 31, 2024 (LIB230194). The biologist also recommended a pre-construction survey be required to assess possible impacts to breeding birds if construction is to start between March 1 and August 31. The bird nest survey will be conducted by a qualified biologist within 14 days of the start of construction (for ground-nesting and other nesting birds within 150 feet of the construction site). If nests are found, the biologist shall develop measures such as buffering with fencing or adjustments to construction schedule which the biologist finds adequate to protect nesting birds. The specific measures shall be included in a report to the owner/applicant within one week of the preconstruction survey and the applicant shall cause the measures to be followed. A copy of the bird nest survey report shall be made available to HCD-Planning. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to construction permits, the owner/applicant shall provide a scope of work for a biologist for review and approval by HCD-Planning which includes the text of this condition.

A note shall be included in the construction plans which includes the text of this condition.

Within one month of the start of construction, the owner/applicant shall cause the results of the preconstruction survey and a brief report on any measures that were executed to comply with the biologist's recommendations to HCD-Planning for review and approval.



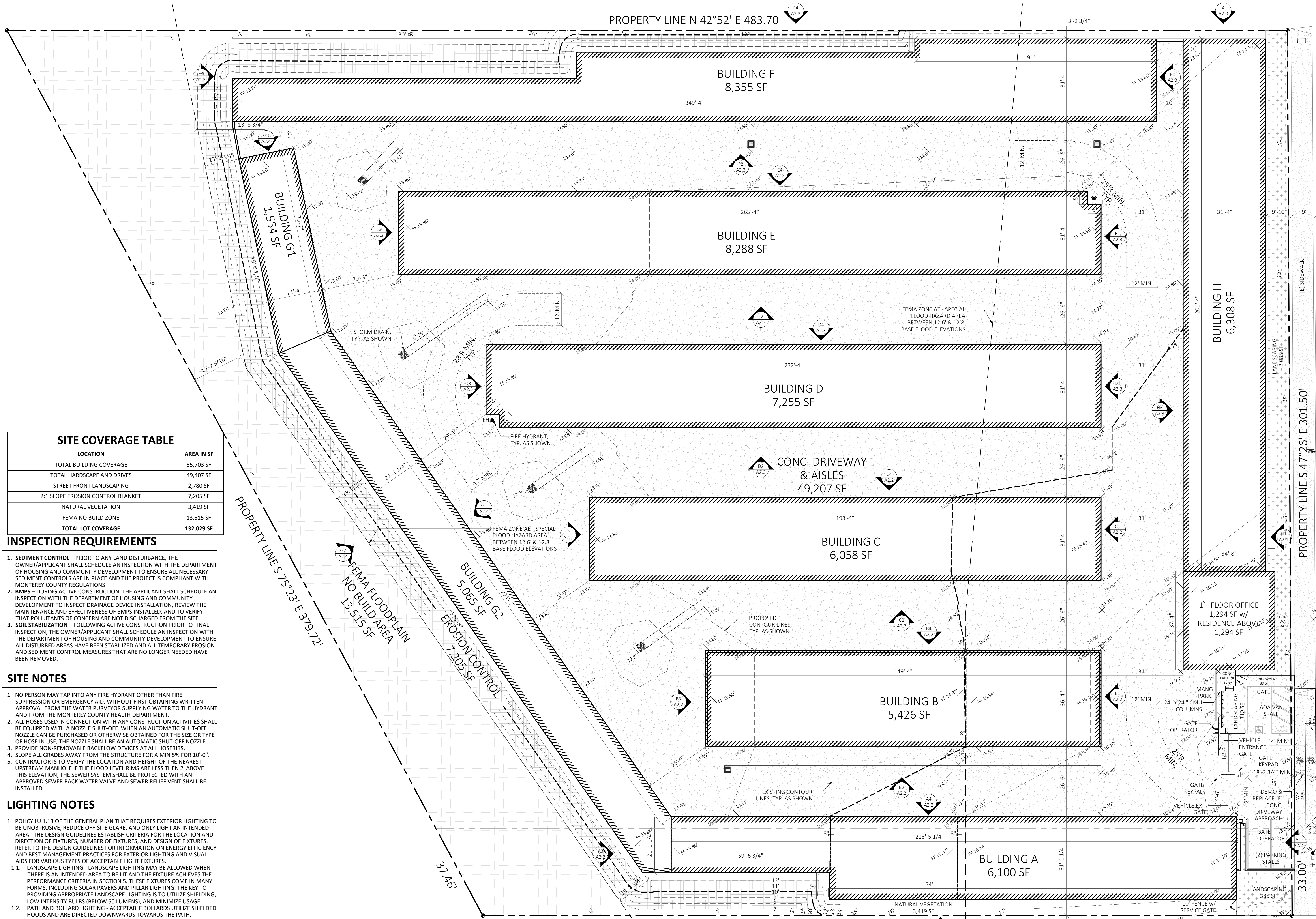
DESIGNER'S SIGNATURE:

 09/26/24

**MEHRINGER
CONSTRUCTION
& DESIGN**

ADDRESS 481 WATSON ST #6
MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
 EMAIL MehringerDesign@gmail.com

**CASTROVILLE SELF
STORAGE, LLC**

ADDRESS 10520 TEMBLADERA STREET
CASTROVILLE, CA 95012
 APN 030-156-004
 OWNER CASTROVILLE SELF STORAGE, LLC
 CONTACT PRESIDENT BARBARA FRENCH
 PHONE 858-353-3344
 EMAIL bchurnum@gmail.com



SITE COVERAGE TABLE	
LOCATION	AREA IN SF
TOTAL BUILDING COVERAGE	55,703 SF
TOTAL HARDSCAPE AND DRIVES	49,407 SF
STREET FRONT LANDSCAPING	2,780 SF
2:1 SLOPE EROSION CONTROL BLANKET	7,205 SF
NATURAL VEGETATION	3,419 SF
FEMA NO BUILD ZONE	13,515 SF
TOTAL LOT COVERAGE	132,029 SF

INSPECTION REQUIREMENTS

- SEDIMENT CONTROL** - PRIOR TO ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
- BMPS** - DURING ACTIVE CONSTRUCTION, THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- SOIL STABILIZATION** - FOLLOWING ACTIVE CONSTRUCTION PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

SITE NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
- SLOPE ALL GRADES AWAY FROM THE STRUCTURE FOR A MIN 5% FOR 10'-0".
- CONTRACTOR IS TO VERIFY THE LOCATION AND HEIGHT OF THE NEAREST UPSTREAM MANHOLE IF THE FLOOD LEVEL RIMS ARE LESS THEN 2' ABOVE THIS ELEVATION, THE SEWER SYSTEM SHALL BE PROTECTED WITH AN APPROVED SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED.

LIGHTING NOTES

- POLICY LU 1.13 OF THE GENERAL PLAN THAT REQUIRES EXTERIOR LIGHTING TO BE UNOBTUSIVE, REDUCE OFF-SITE GLARE, AND ONLY LIGHT AN INTENDED AREA. THE DESIGN GUIDELINES ESTABLISH CRITERIA FOR THE LOCATION AND DIRECTION OF FIXTURES, NUMBER OF FIXTURES, AND DESIGN OF FIXTURES. REFER TO THE DESIGN GUIDELINES FOR INFORMATION ON ENERGY EFFICIENCY AND BEST MANAGEMENT PRACTICES FOR EXTERIOR LIGHTING AND VISUAL AIDS FOR VARIOUS TYPES OF ACCEPTABLE LIGHT FIXTURES.
 - LANDSCAPE LIGHTING - LANDSCAPE LIGHTING MAY BE ALLOWED WHEN THERE IS AN INTENDED AREA TO BE LIT AND THE FIXTURE ACHIEVES THE PERFORMANCE CRITERIA IN SECTION 5. THESE FIXTURES COME IN MANY FORMS, INCLUDING SOLAR PAVERS AND PILLAR LIGHTING. THE KEY TO PROVIDING APPROPRIATE LANDSCAPE LIGHTING IS TO UTILIZE SHIELDING, LOW INTENSITY BULBS (BELOW 50 LUMENS), AND MINIMIZE USAGE.
 - PATH AND BOLLARD LIGHTING - ACCEPTABLE BOLLARDS UTILIZE SHIELDED HOODS AND ARE DIRECTED DOWNWARDS TOWARDS THE PATH.
 - SAFETY LIGHTS - TYPICAL LIGHTS USED FOR SAFETY ARE FLOODLIGHTS AND BARN LIGHTS. FLOODLIGHTS REQUIRE SHIELD HOODS AND SHOULD BE DIRECTED DOWNWARD. IF NECESSARY, APPROPRIATELY SHIELDED LIGHTS SHOULD BE INSTALLED AT INTERVALS TO COVER THE PROPERTY'S SAFETY NEEDS.
- LED SAFETY LIGHTING APPROPRIATELY PLACED ON BUILDINGS FACING AISLES & DRIVEWAYS AT ROOF LINE (BENEATH GUTTERS) APPROXIMATELY 8.5' FROM FINISHED FLOORS) TO COVER ALL DRIVEWAYS AND AISLES

SITE PLAN

SCALE: 3/16" = 1'-0"

SITE PLAN		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

SHEET NUMBER:

C1.0

WALL SCHEDULE			
SYMBOL	BUILDING	WALL TYPE	CONSTRUCTION DESCRIPTION
A	OFFICE	EXTERIOR	2x6 WOOD STUDS @ 16" O.C. R-21 BATT INSULATION, 5/8" GYP BOARD INTERIOR AND 15/32" STRUCT 1 PLY WITH PBD VERTICAL METAL SIDING EXTERIOR
B	OFFICE	EXTERIOR	2x6 WOOD STUDS @ 16" O.C. R-21 BATT INSULATION, 5/8" GYP BOARD INTERIOR AND 15/32" STRUCT 1 PLY WITH THREE COAT STUCCO FINISH EXTERIOR
C	OFFICE	INTERIOR	2x4 BEARING WOOD STUDS @ 16" O.C. 15/32" STRUCT 1 PLY ONES SIDE WITH 5/8" GYP BOARD EACH SIDE
D	OFFICE	INTERIOR	2x6 BEARING WOOD STUDS @ 16" O.C. 15/32" STRUCT 1 PLY ONES SIDE WITH 5/8" GYP BOARD EACH SIDE
E	OFFICE	INTERIOR	2x4 NON-BEARING WOOD STUDS @ 16" O.C. 5/8" GYP BOARD EACH SIDE
F	OFFICE	INTERIOR	2x6 NON-BEARING WOOD STUDS @ 16" O.C. 5/8" GYP BOARD EACH SIDE
G	OFFICE	INTERIOR	2x4 NON-BEARING WOOD STUDS @ 16" O.C. 5/8" GYP BOARD ONE SIDE PREPPED FOR TILE ON THE OTHER SIDE

CONSTRUCTION NOTES

- TOILETS MUST HAVE A MINIMUM CLEAR WIDTH OF 30" (15" EA. SIDE FROM CENTER) AND 24" CLEAR FROM THE FRONT PER [CPC 402.5]
- THE WALLS OF THE TUB OR SHOWER HAVE NON-ABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET. [CRC 307.2]
- SHOWER ENCLOSURE IS MADE TEMPERED GLASS AND THE DOORS PROVIDE A MINIMUM 22" CLEAR SPACE WITH THE DOOR IN THE OPEN POSITION.
- THE SHOWER MUST HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ. IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. [CPC 408.6]
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES BEFORE STEPPING INTO THE SHOWER SPRAY. [CPC 408.9]
- SHOWER CONTROL VALVES - SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. [CPC 408.3]
- GANG SHOWERS, WHERE SUPPLIED WITH A SINGLE TEMPERATURE-CONTROLLED WATER SUPPLY PIPE, SHALL BE CONTROLLED BY A MIXING VALVE THAT COMPLIES WITH ASSE 1069. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER THE MANUFACTURER'S INSTRUCTIONS TO DELIVER MAXIMUM MIXED WATER SETTING OF 120°F
- CEILINGS AND ADJOINING WALLS IN GARAGE MUST HAVE A MIN. 5/8" TYPE 'X' DRYWALL. [CRC R302.6]
- WALLS IN GARAGE MUST HAVE A MIN. 1/2" DRYWALL FOR ALL WALLS ADJACENT TO DWELLING. [CRC R302.6]
- DRYER EXHAUST VENT TO BE A MAXIMUM OF 14' EQUIPPED WITH A BACK DRAFT DAMPER INCLUDING (2) 90-DEGREE ELBOWS AND A MINIMUM DIAMETER OF 4". THE VENT DISCHARGE LOCATION SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING PER [CMC 504.3.1]

WINDOW SCHEDULE

ID	WIDTH	HEIGHT	HEADER	TYPE	NOTES
1	2'-6"	4'-6"	8'-0"	FIXED PANEL	1, 2, 3
2	2'-6"	4'-6"	8'-0"	FIXED PANEL	1, 2, 3
3	2'-6"	4'-6"	8'-0"	FIXED PANEL	1, 2, 3
4	2'-6"	4'-6"	8'-0"	FIXED PANEL	1, 2, 3
5	2'-6"	7'-0"	8'-0"	FIXED PANEL	1, 2, 3, 4
6	2'-6"	7'-0"	8'-0"	FIXED PANEL	1, 2, 3, 4
7	2'-6"	7'-0"	8'-0"	FIXED PANEL	1, 2, 3, 4
8	2'-6"	7'-0"	8'-0"	FIXED PANEL	1, 2, 3, 4
9	5'-0"	4'-6"	8'-0"	SLIDER	1, 2, 3
10	5'-0"	4'-6"	8'-0"	SLIDER	1, 2, 3
11	2'-6"	3'-6"	6'-8"	FIXED PANEL	1, 3
12	2'-6"	3'-6"	6'-8"	FIXED PANEL	1, 3
13	2'-6"	3'-6"	6'-8"	FIXED PANEL	1, 3
14	2'-6"	3'-6"	6'-8"	FIXED PANEL	1, 3
15	2'-6"	4'-6"	6'-8"	FIXED PANEL	1, 3
16	2'-6"	4'-6"	6'-8"	FIXED PANEL	1, 3
17	2'-6"	4'-6"	6'-8"	FIXED PANEL	1, 3
18	2'-6"	4'-6"	6'-8"	FIXED PANEL	1, 3
19	2'-6"	4'-6"	6'-8"	CASEMENT	1, 3
20	2'-6"	4'-6"	6'-8"	CASEMENT	1, 3
21	2'-6"	3'-6"	6'-8"	CASEMENT	1, 3, 6
22	2'-6"	4'-6"	6'-8"	CASEMENT	1, 3, 5
23	2'-6"	4'-6"	6'-8"	CASEMENT	1, 3, 5
24	5'-0"	4'-6"	6'-8"	FIXED	1, 3
25	2'-6"	3'-6"	6'-8"	CASEMENT	1, 3, 6
26	2'-6"	4'-6"	6'-8"	CASEMENT	1, 3, 5
27	6'-0"	4'-6"	6'-8"	FIXED	1, 3
28	2'-6"	3'-6"	6'-8"	CASEMENT	1, 3
29	2'-6"	3'-6"	6'-8"	CASEMENT	1, 3
30	2'-6"	3'-6"	6'-8"	CASEMENT	1, 3

- NOTES**
- All windows to be dual glaze with dark bronze frame.
 - First floor windows to be laminated
 - Window dimensions are proposed finished openings sizes. General contractor to verify all window sizes, shapes, colors, glazing, etc. and must be approved by owner prior to ordering
 - All glazing subject to human impact shall be tempered glass.
 - For windows that serve as egress from sleeping areas:
 - minimum net clear open dimension of 24" in height
 - minimum net clear open dimension of 20" in width
 - minimum net clear open dimension of 5.7 square feet in area
 - sill heights of such openings shall not exceed 44" above floor
 - Bathroom window to be tempered if it is less than 60" horizontal and or vertical from the standing surface of the tub.

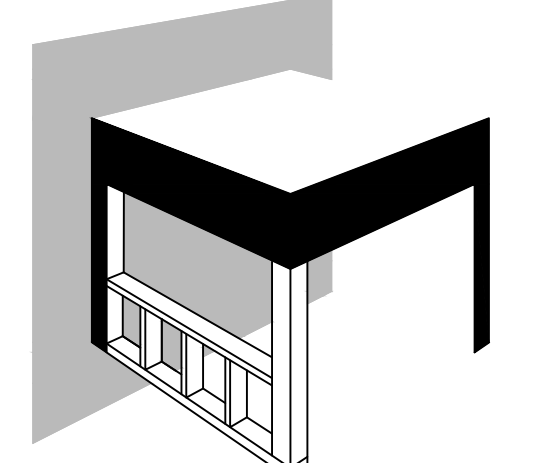
DOOR SCHEDULE

ID	WIDTH	HEIGHT	TYPE	NOTES
101A	3'-0"	8'-0"	EXTERIOR DUAL GLAZED	1, 3, 6
101B	3'-0"	8'-0"	INTERIOR SOLID CORE	1, 2
101C	3'-0"	8'-0"	INTERIOR SOLID CORE	1, 6
104A	3'-0"	7'-6"	EXTERIOR FIBERGLASS	1
104B	7'-0"	7'-6"	SECTIONED ROLL UP DOOR	1
104C	2'-10"	7'-6"	INTERIOR SOLID CORE	1
105A	9'-0"	8'-0"	SECTIONED ROLL UP DOOR	1
105B	3'-0"	7'-6"	INTERIOR SOLID CORE	1, 2
105C	3'-0"	7'-6"	INTERIOR SOLID CORE	1
106A	3'-0"	7'-6"	EXTERIOR FIBERGLASS	1
205A	2'-2"	6'-8"	LOUVERED CABINET DOOR	1
205A	2'-8"	6'-8"	INTERIOR SOLID CORE	1
205B	2'-2"	6'-8"	INTERIOR, BI-FOLD LOUVER	1, 5
206A	2'-8"	6'-8"	INTERIOR SOLID CORE	1
206B	6'-0"	6'-8"	LOUVERED BI-FOLD	1
208A	2'-8"	6'-8"	INTERIOR SOLID CORE	1
208B	4'-6"	6'-8"	LOUVERED CABINET DOOR	1
209A	2'-8"	6'-8"	INTERIOR SOLID CORE	1
210A	2'-8"	6'-8"	INTERIOR SOLID CORE	1

- NOTES**
- Door dimensions are proposed finished openings sizes. General contractor to verify all door sizes, shapes, colors, glazing, etc. and must be approved by owner prior to ordering
 - Door from garage to living space must be 20 minute fire rated, 1-3/8", tight fitting, self closing and self latched. [CRC R302.5]
 - Doors with glazing must be tempered glass rated for impact
 - Mini storage steel roll up doors to be Janus 650 series
 - Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches for makeup air shall be provided in the door or by other approved means.
 - ADA accessible door

WALL KEY

- NEW 2x6 WALLS
- NEW 2x4 WALLS
- 8" CMU BLOCK WALL

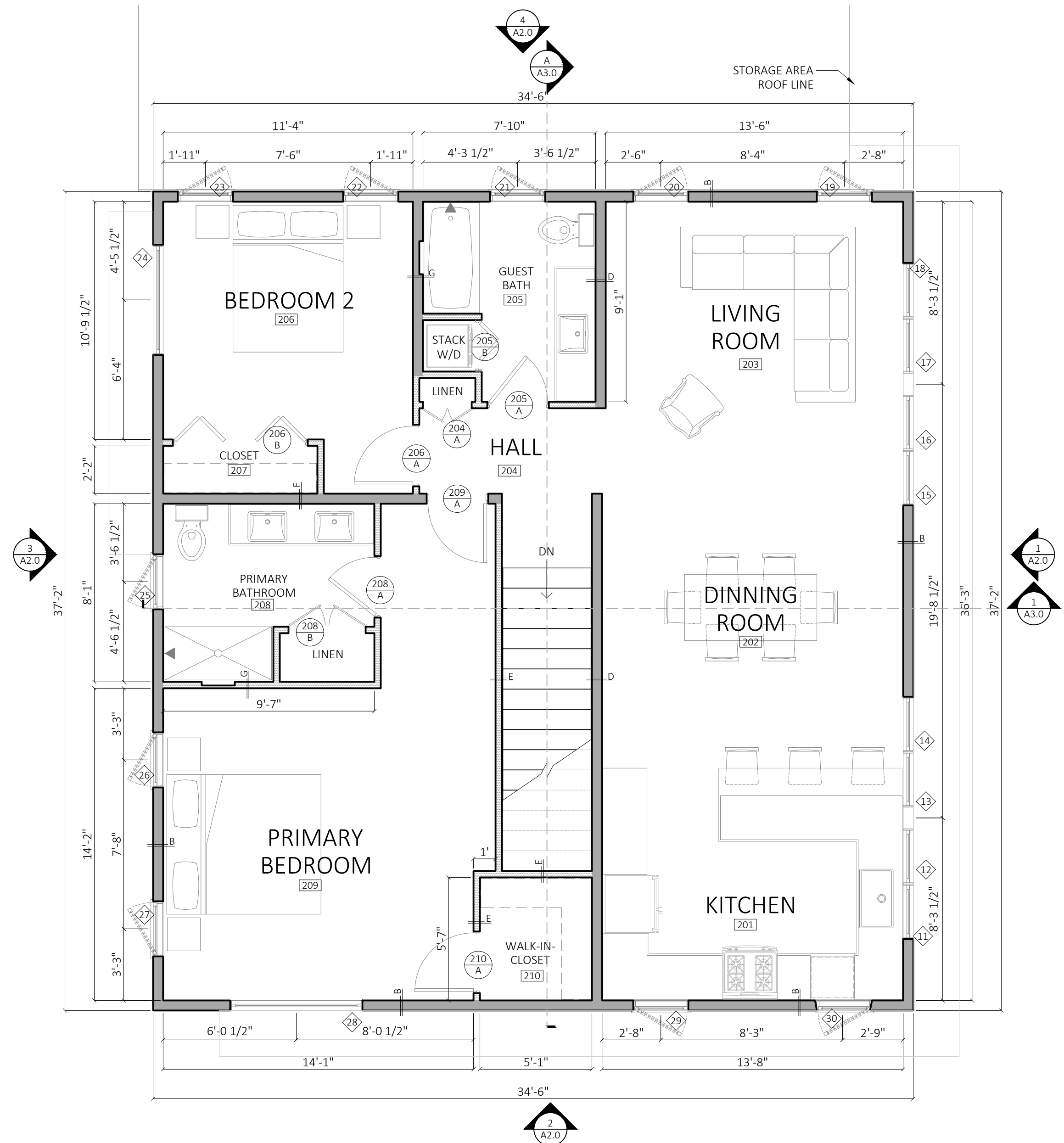


DESIGNER'S SIGNATURE:

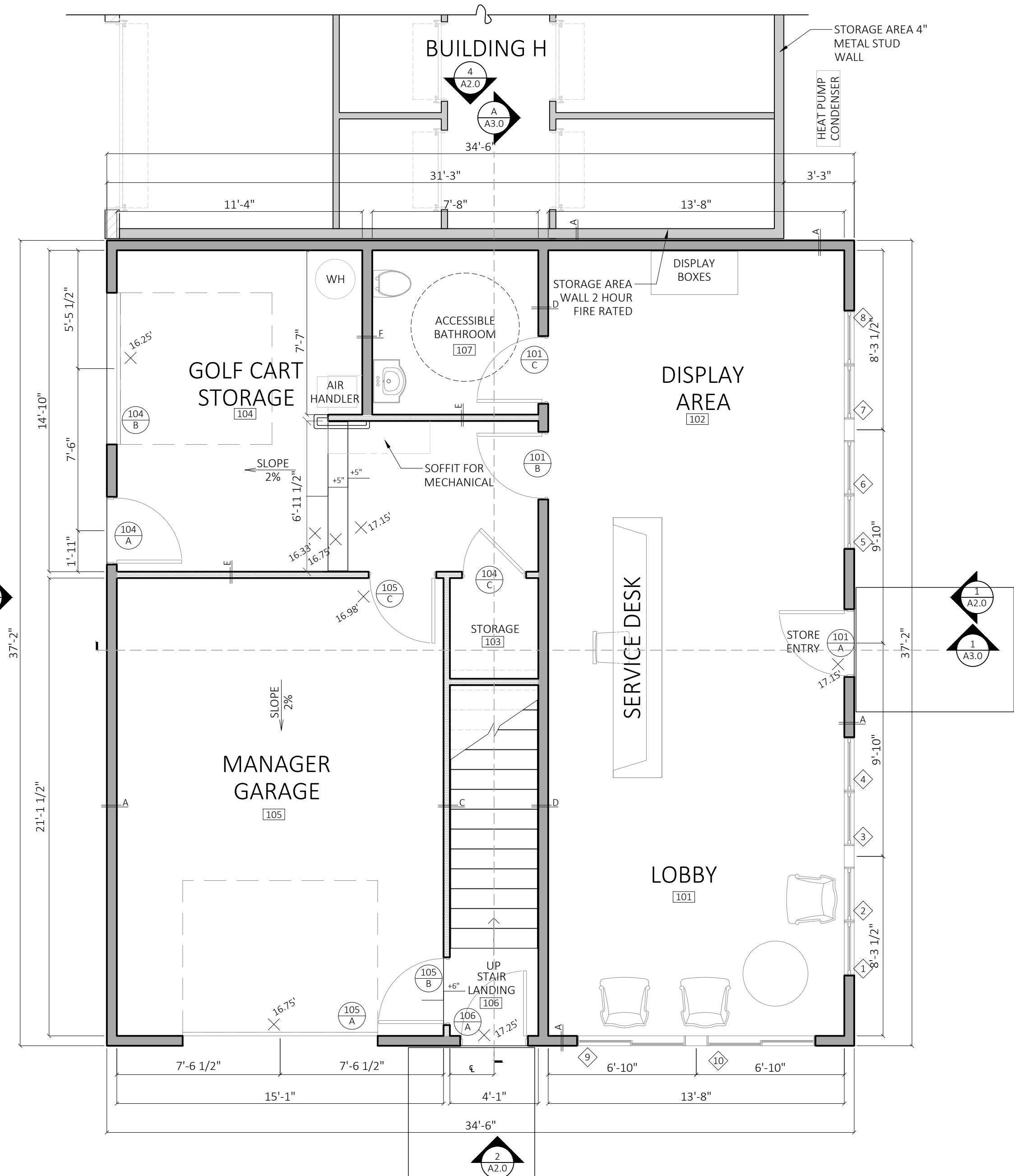
 09/26/24

MEHRINGER CONSTRUCTION & DESIGN
 ADDRESS 481 WATSON ST #6 MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
 EMAIL MehringerDesign@gmail.com

CASTROVILLE SELF STORAGE, LLC
 ADDRESS 10520 TEMBLADERA STREET CASTROVILLE, CA 95012
 APN 030-156-004
 OWNER CASTROVILLE SELF STORAGE, LLC
 CONTACT PRESIDENT BARBARA FRENCH
 PHONE 858-353-3344
 EMAIL bchernusm@gmail.com



UPPER FLOOR PLAN
 SCALE: 3/4" = 1'-0"



MAIN FLOOR PLAN
 SCALE: 3/4" = 1'-0"

COUNTY APPROVAL STAMP:

SHEET TITLE: FLOOR PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

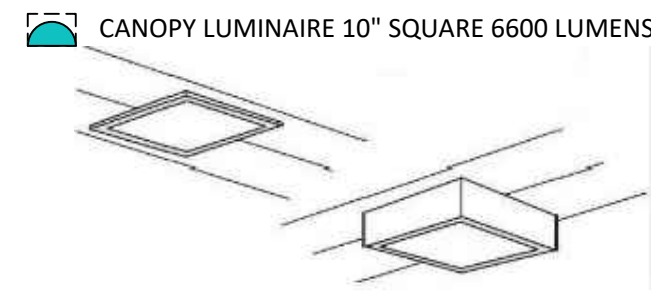
SHEET NUMBER:

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LIGHTING NOTES

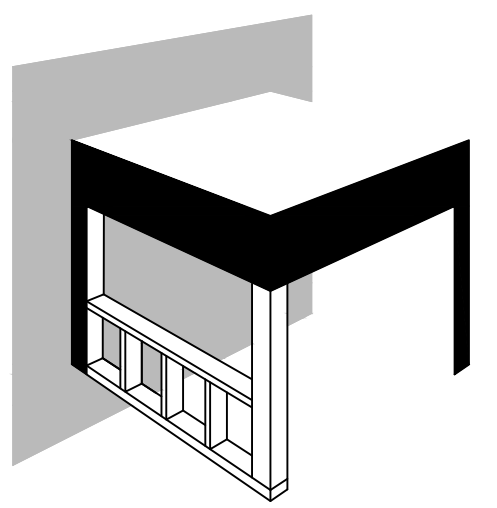
- POLICY LU 1.13 OF THE GENERAL PLAN THAT REQUIRES EXTERIOR LIGHTING TO BE UNOBTUSIVE, REDUCE OFF-SITE GLARE, AND ONLY LIGHT AN INTENDED AREA. THE DESIGN GUIDELINES ESTABLISH CRITERIA FOR THE LOCATION AND DIRECTION OF FIXTURES, NUMBER OF FIXTURES, AND DESIGN OF FIXTURES. REFER TO THE DESIGN GUIDELINES FOR INFORMATION ON ENERGY EFFICIENCY AND BEST MANAGEMENT PRACTICES FOR EXTERIOR LIGHTING AND VISUAL AIDS FOR VARIOUS TYPES OF ACCEPTABLE LIGHT FIXTURES.
 - LANDSCAPE LIGHTING - LANDSCAPE LIGHTING MAY BE ALLOWED WHEN THERE IS AN INTENDED AREA TO BE LIT AND THE FIXTURE ACHIEVES THE PERFORMANCE CRITERIA IN SECTION 5. THESE FIXTURES COME IN MANY FORMS, INCLUDING SOLAR PAVERS AND PILLAR LIGHTING. THE KEY TO PROVIDING APPROPRIATE LANDSCAPE LIGHTING IS TO UTILIZE SHIELDING, LOW INTENSITY BULBS (BELOW 50 LUMENS), AND MINIMIZE USAGE.
 - PATH AND BOLLARD LIGHTING - ACCEPTABLE BOLLARDS UTILIZE SHIELDED HOODS AND ARE DIRECTED DOWNWARDS TOWARDS THE PATH.
 - SAFETY LIGHTS - TYPICAL LIGHTS USED FOR SAFETY ARE FLOODLIGHTS AND BARN LIGHTS. FLOODLIGHTS REQUIRE SHIELD HOODS AND SHOULD BE DIRECTED DOWNWARD. IF NECESSARY, APPROPRIATELY SHIELDED LIGHTS SHOULD BE INSTALLED AT INTERVALS TO COVER THE PROPERTY'S SAFETY NEEDS.
 - CANOPY LIGHTING - CANOPY LIGHTING IS UTILIZED UNDER AWNINGS AND CANOPIES IN BOTH RESIDENTIAL AND COMMERCIAL AREAS. COMMERCIAL EXAMPLES ARE FOR BANK ATM'S AND COVERED WALKWAYS, AND RESIDENTIAL CANOPIES ARE USED ON DECKS AND OUTDOOR PATIOS. IN EITHER CASE, THE LIGHT FIXTURE SHOULD BE RECESSED INTO THE CEILING OR HAVE SHIELDED SIDES IF MOUNTED ONTO THE CEILING.
- LED SAFETY LIGHTING APPROPRIATELY PLACED ON BUILDINGS FACING AISLES & DRIVEWAYS AT ROOF LINE (BENEATH GUTTERS) APPROXIMATELY 8.5' FROM FINISHED FLOORS) TO COVER ALL DRIVEWAYS AND AISLES

LIGHTING KEY



ELEVATION NOTES

- OFFICE BUILDING
 - ROOF - EPDM THERMOSET FLAT ROOF 1/4" / FT. MIN. SLOPE
 - PBB VERTICAL SEAM METAL SIDING - CHARCOAL GRAY
 - EYEBROW OVERHANGS - STUCCO - COLOR LIGHT STONE (TAN)
 - UPPER FLOOR STUCCO SIDING - COLOR ASH GRAY
 - ROOF PARAPET - STUCCO - COLOR CHARCOAL GRAY
 - EXTERIOR DOORS - METAL FRAME - COLOR DARK BRONZE
 - WINDOWS - DUAL GLAZE - COLOR DARK BRONZE, FIRST FLOOR WINDOWS TO BE LAMINATED
 - 12" METAL CLADDING STRIP BETWEEN WINDOWS - COLOR DARK BRONZE
 - SECTIONED ROLL-UP GARAGE DOORS - COLOR DARK BRONZE
 - LED LIT STORE FRONT SIGNAGE - 17" LETTERS, 32 SF SIGN - COLOR WASABI (LIGHT GREEN)
- STORAGE BUILDINGS
 - ROOF STANDING SEAM METAL ROOF - COLOR LIGHT STONE (TAN)
 - INTEGRATED GUTTERS TO MATCH ROOF
 - PRECISION CMU BLOCK WALLS - COLOR STOCK GRAY
 - SPLITFACE BLOCK ACCENT CORNERS & COLUMNS - CHARCOAL GRAY
 - PBR VERTICAL SEAM METAL - COLOR ASH GRAY
 - ROLL UP DOORS JANUS 650 SERIES - COLOR WASABI (LIGHT GREEN)
 - GATE AND FENCES - COLOR DARK BRONZE



DESIGNER'S SIGNATURE:

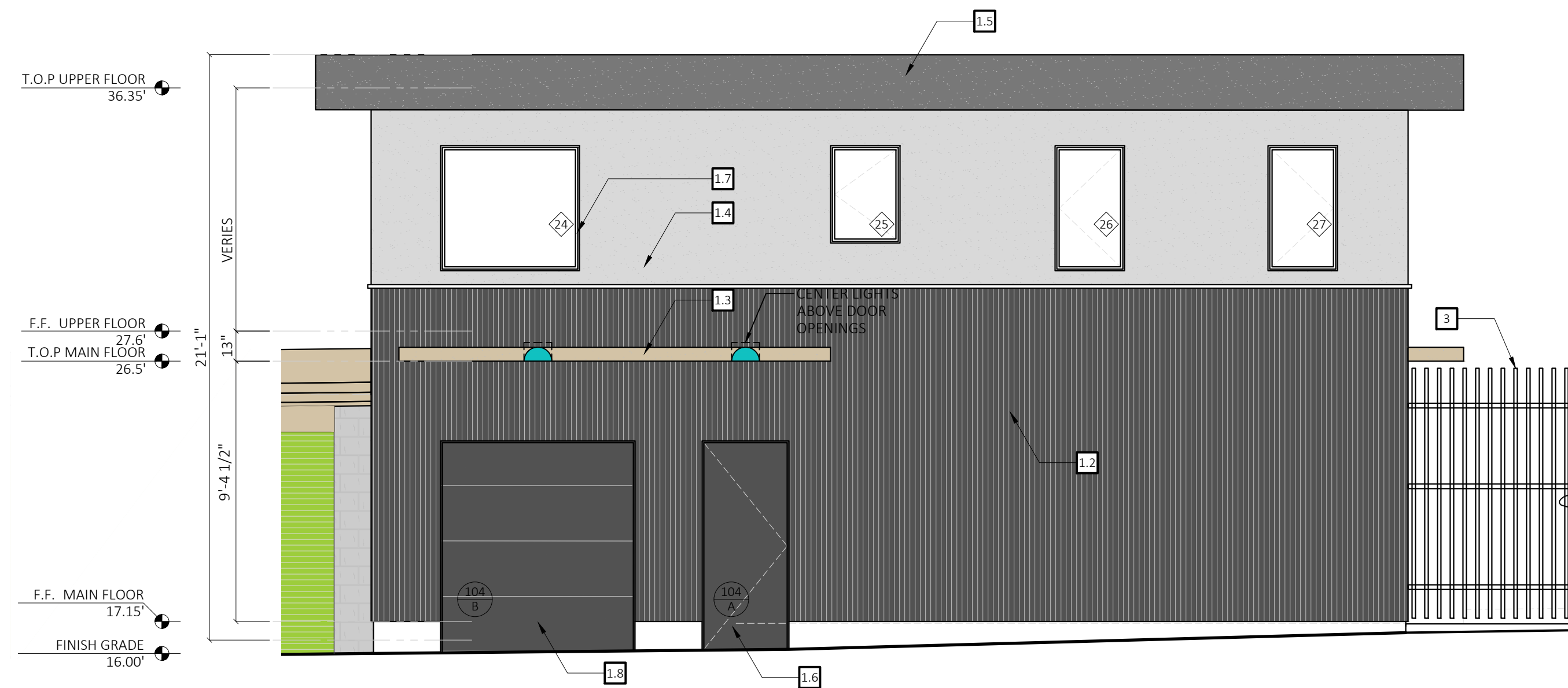
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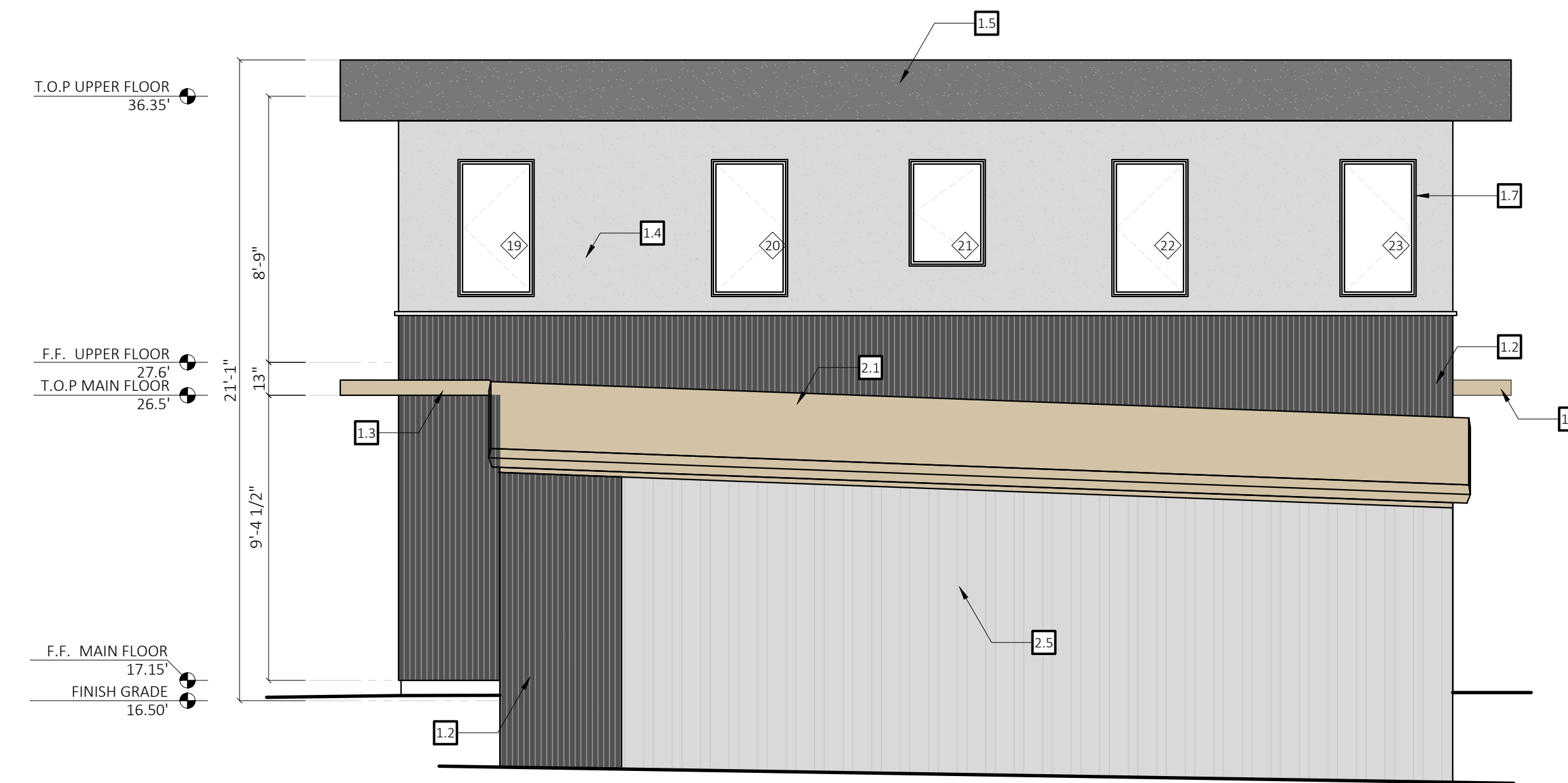
ADDRESS 481 WATSON ST #6
 MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
 EMAIL MehringerDesign@gmail.com

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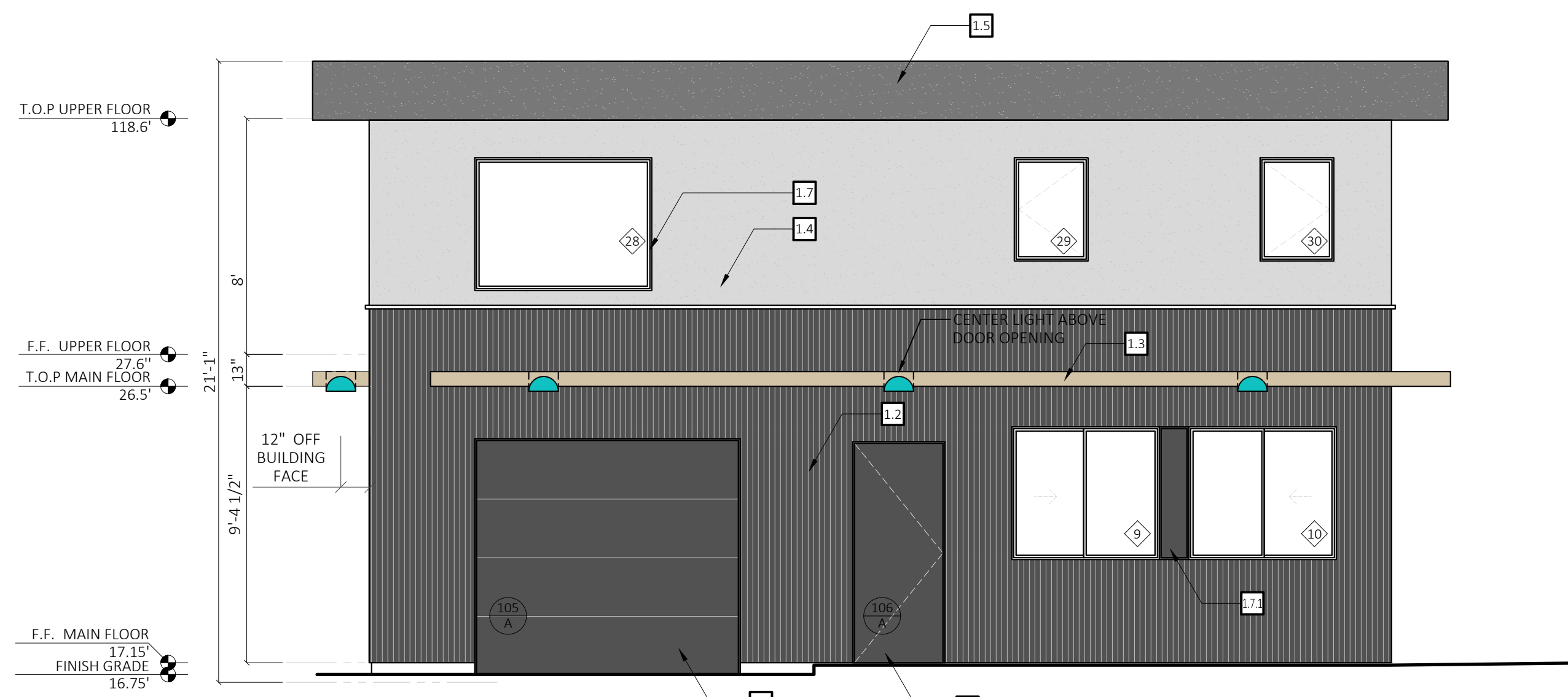
ADDRESS 10520 TEMBLADERA STREET
 CASTROVILLE, CA 95012
 APN 030-156-004
 OWNER CASTROVILLE SELF STORAGE, LLC
 CONTACT PRESIDENT BARBARA FRENCH
 PHONE 858-353-3344
 EMAIL bchernusm@gmail.com



3 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



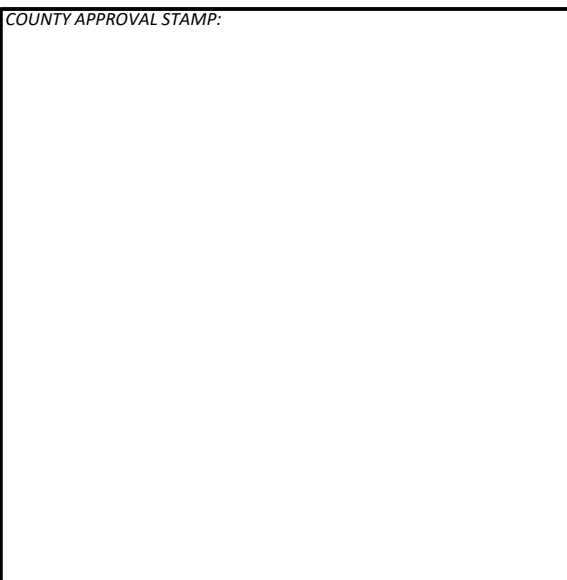
4 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

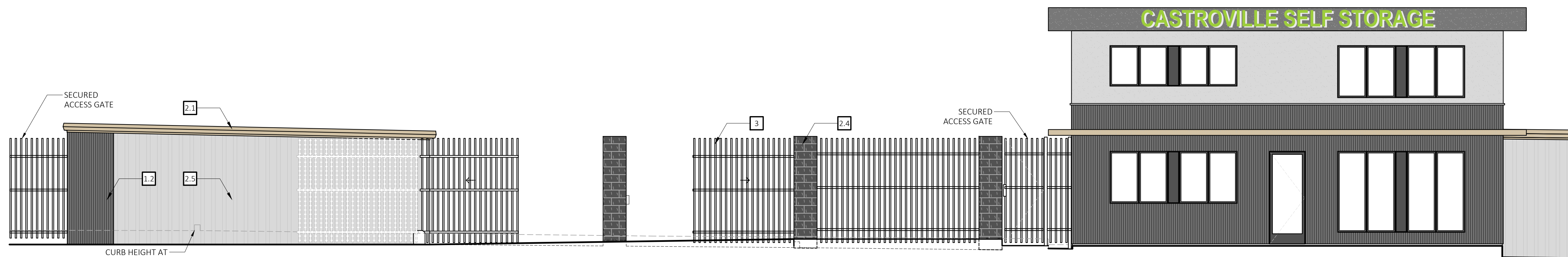


1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

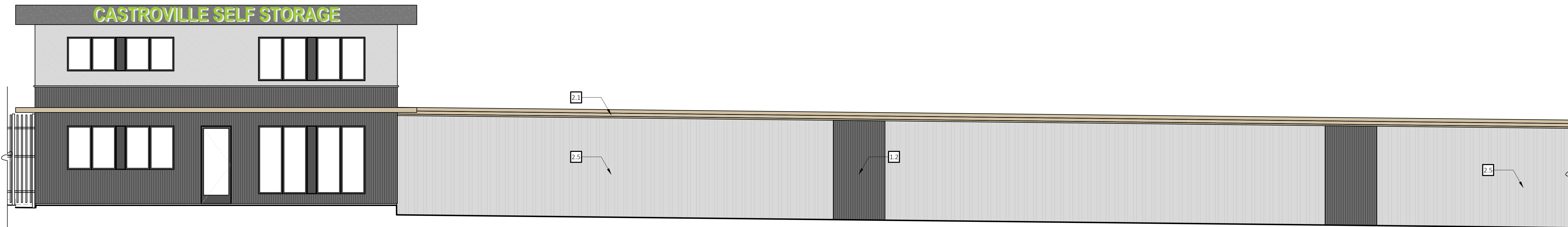


OFFICE ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

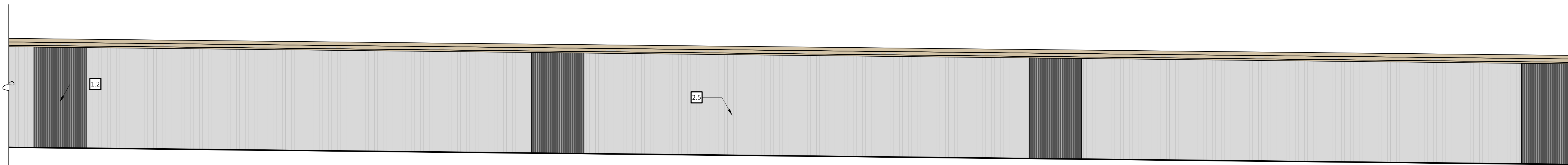
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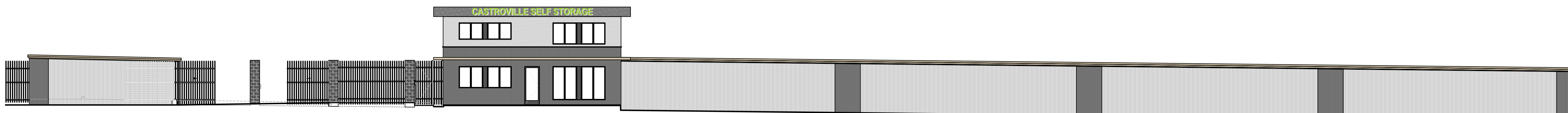
H1 PROPOSED STREET ELEVATION
SCALE: 3/16" = 1'-0"



H1 PROPOSED STREET ELEVATION
SCALE: 3/16" = 1'-0"



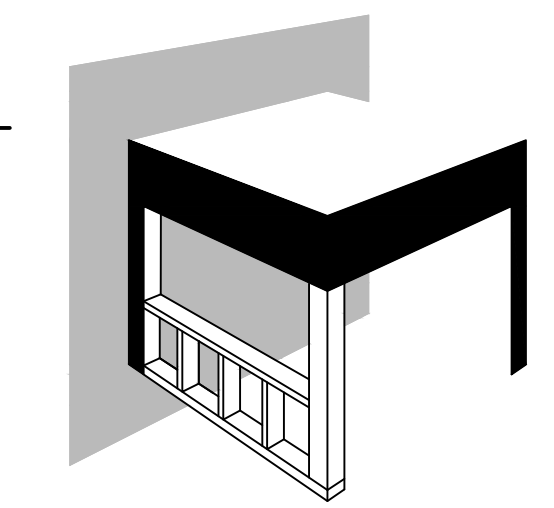
H1 PROPOSED STREET ELEVATION
SCALE: 3/16" = 1'-0"



H1 PROPOSED STREET ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION NOTES

1. OFFICE BUILDING
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 - 1.4. UPPER FLOOR STUCCO SIDING - COLOR ASH GRAY
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 - 2.6. ROLL UP DOORS JANUS 650 SERIES - COLOR WASABI (LIGHT GREEN)
3. GATE AND FENCES - COLOR DARK BRONZE



DESIGNER'S SIGNATURE:
[Signature]
09/26/24

MEHRINGER CONSTRUCTION & DESIGN

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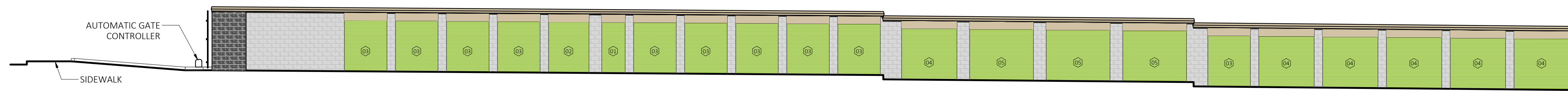
CASTROVILLE SELF STORAGE, LLC

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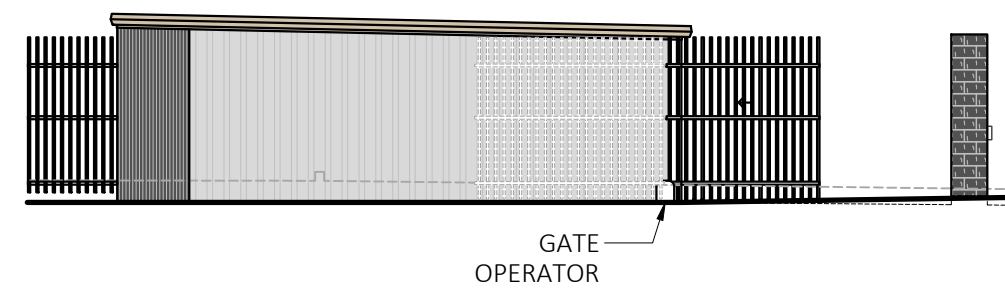
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DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

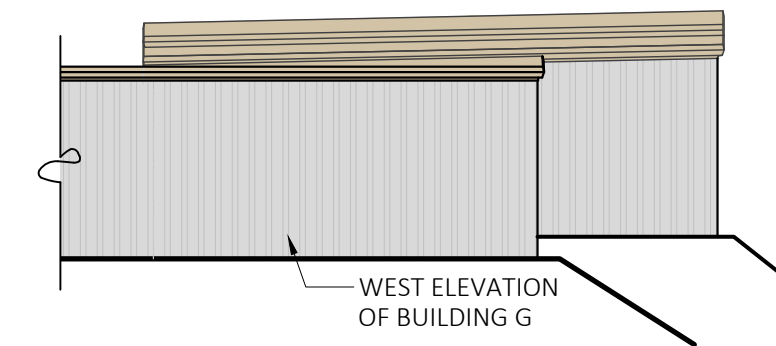
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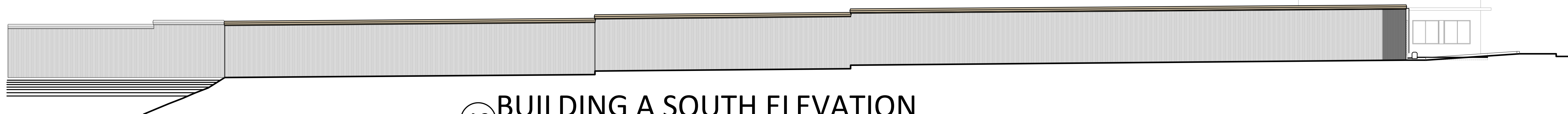
A4 BUILDING A NORTH ELEVATION
SCALE: 3/32" = 1'-0"



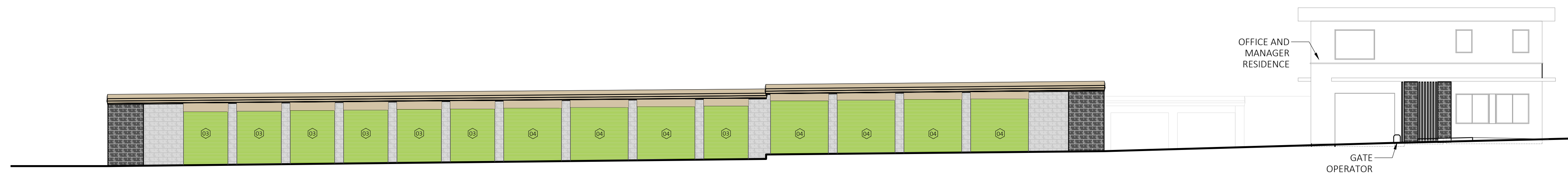
A1 BUILDING A EAST ELEVATION
SCALE: 3/32" = 1'-0"



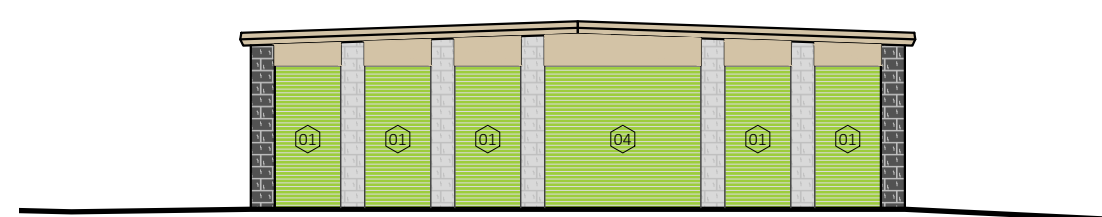
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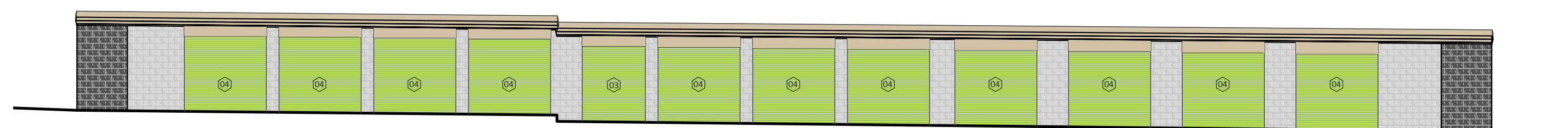
A2 BUILDING A SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



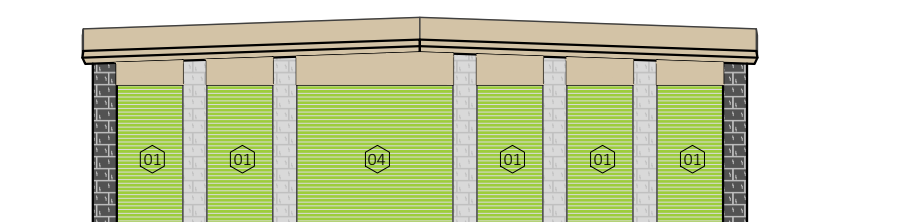
B2 BUILDING B SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



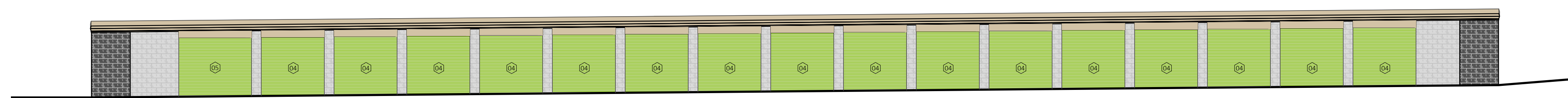
B1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



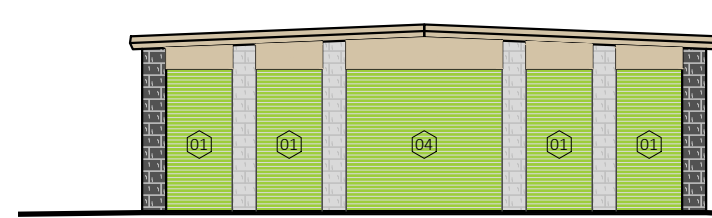
B4 BUILDING B NORTH ELEVATION
SCALE: 3/32" = 1'-0"



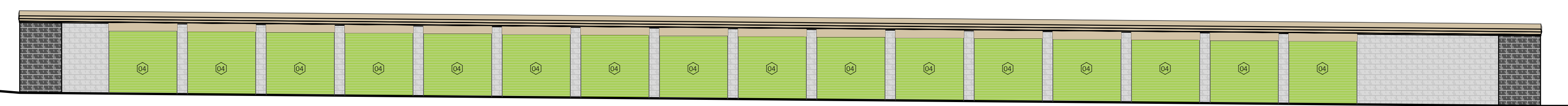
B3 WEST ELEVATION
SCALE: 3/32" = 1'-0"



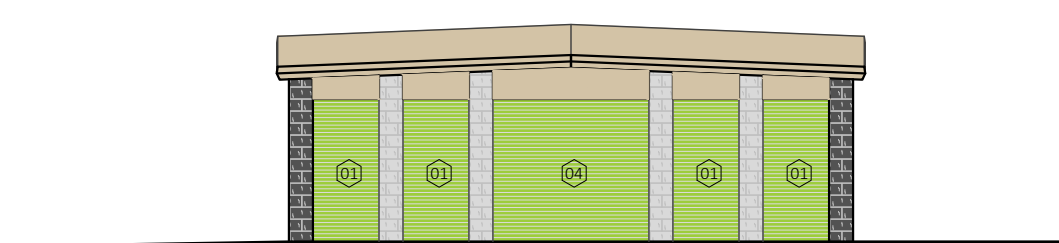
C2 BUILDING C SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



C1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



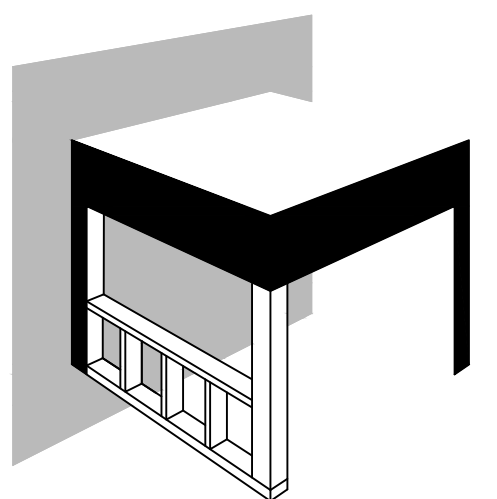
C4 BUILDING C NORTH ELEVATION
SCALE: 3/32" = 1'-0"



C3 WEST ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION NOTES

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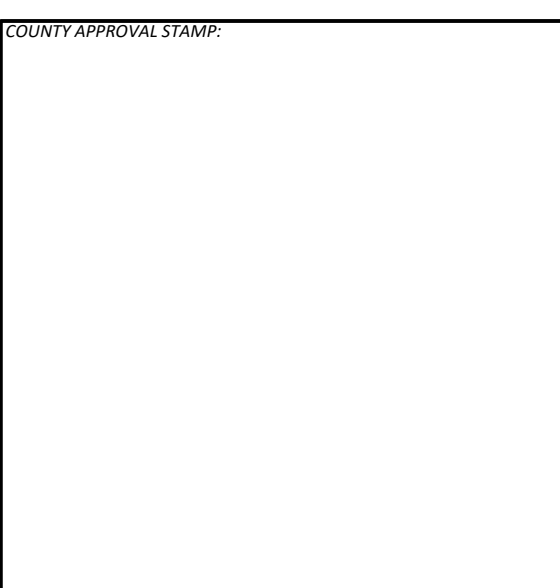
DESIGNER'S SIGNATURE:
[Signature]
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MEHRINGER CONSTRUCTION & DESIGN

ADDRESS 481 WATSON ST #6
MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehringerDesign@gmail.com

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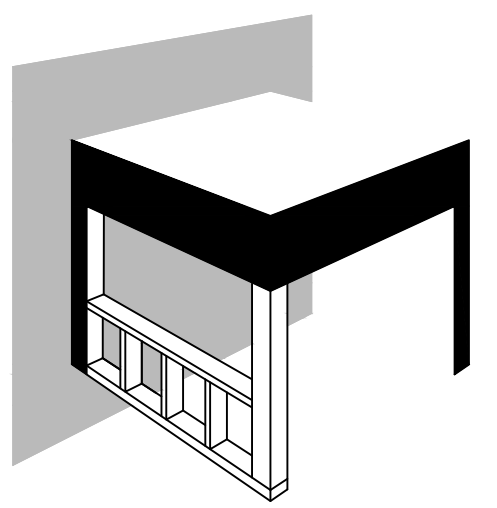


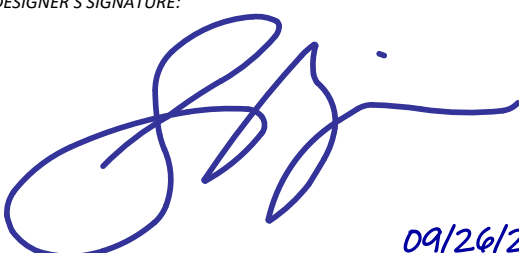
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STORAGE ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

SHEET NUMBER:
A2.2

ELEVATION NOTES

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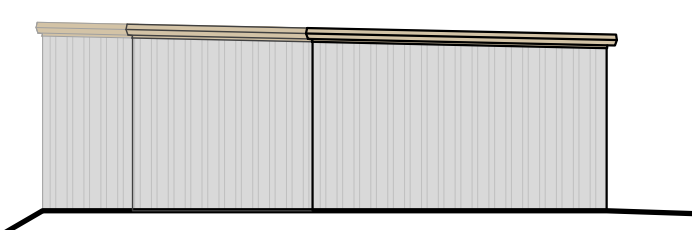
DESIGNER'S SIGNATURE:

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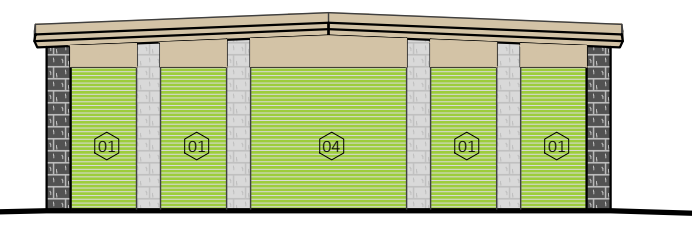
ADDRESS 481 WATSON ST #6
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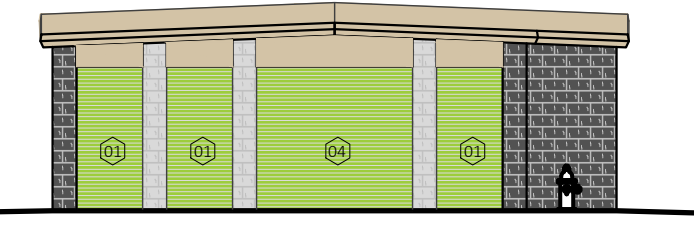
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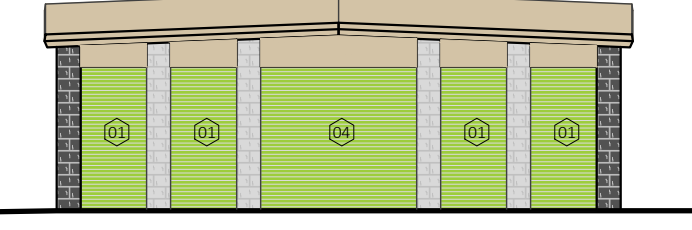
F3 BUILDING F
 SCALE: 3/32" = 1'-0"



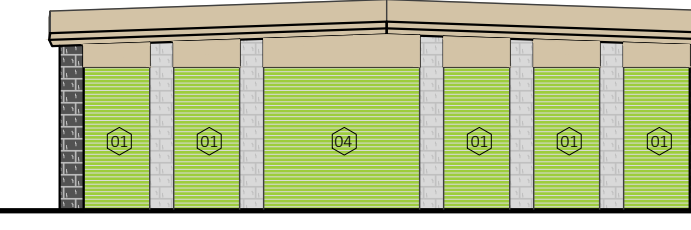
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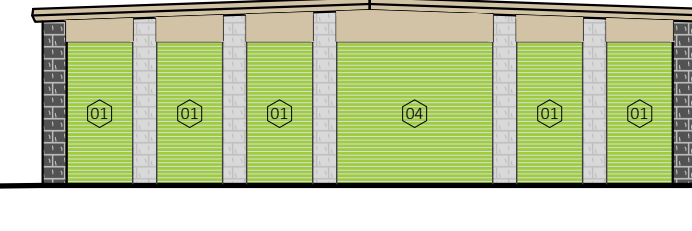
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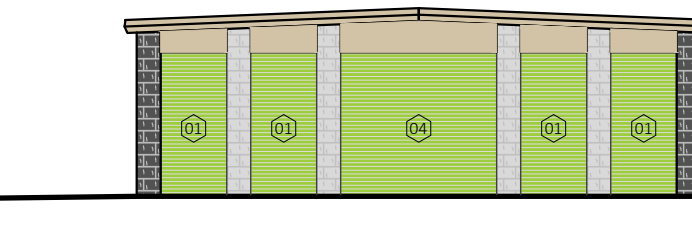
C3 BUILDING C
 SCALE: 3/32" = 1'-0"



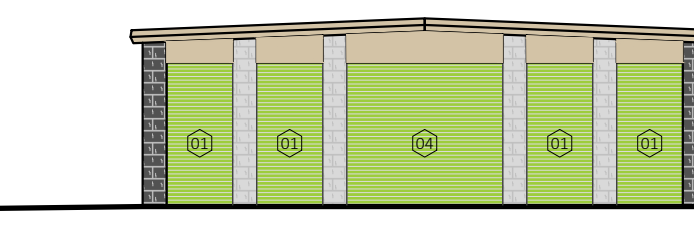
B3 BUILDING B
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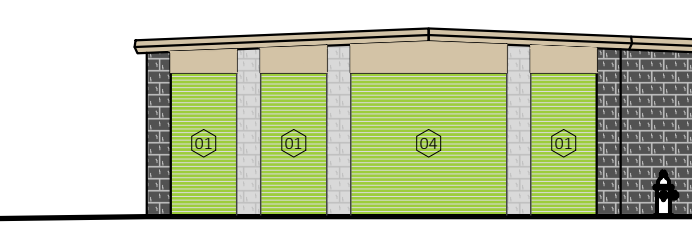
B1 BUILDING B
 SCALE: 3/32" = 1'-0"



C1 BUILDING C
 SCALE: 3/32" = 1'-0"



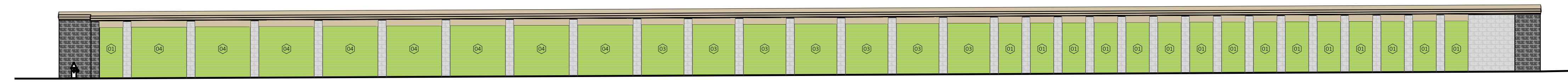
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 SCALE: 3/32" = 1'-0"



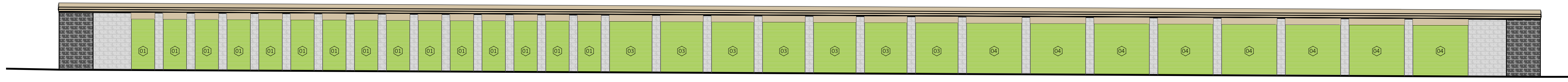
E1 BUILDING E
 SCALE: 3/32" = 1'-0"



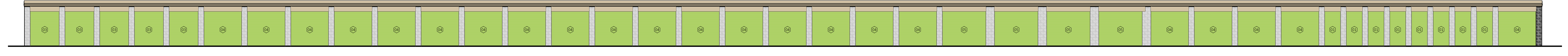
F1 BUILDING F
 SCALE: 3/32" = 1'-0"



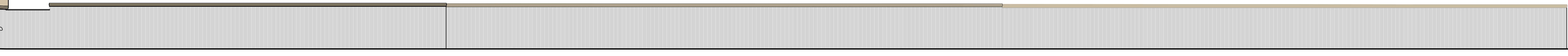
D2 BUILDING D SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



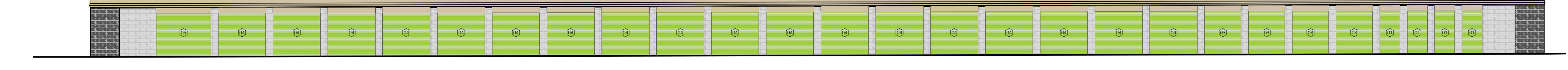
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 SCALE: 3/32" = 1'-0"



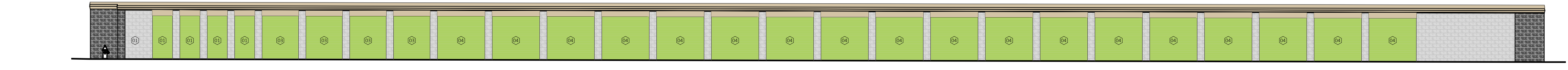
F2 BUILDING F SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



F4 BUILDING F NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



E2 BUILDING E SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



E4 BUILDING E NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

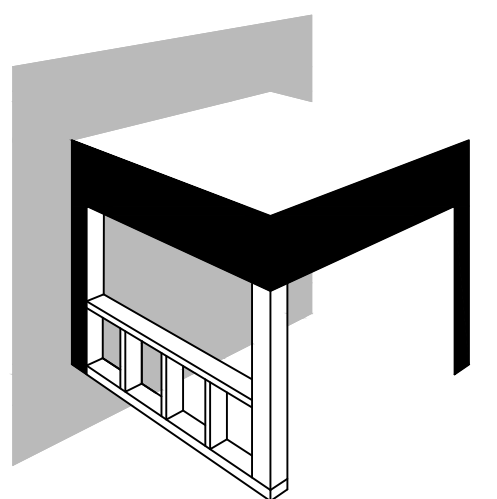
COUNTY APPROVAL STAMP:


SHEET TITLE STORAGE ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

SHEET NUMBER:
A2.3

ELEVATION NOTES

1. OFFICE BUILDING
 - 1.1. ROOF - EPDM THERMOSET FLAT ROOF 1/4" / FT. MIN. SLOPE
 - 1.2. PBD VERTICAL SEAM METAL SIDING - CHARCOAL GRAY
 - 1.3. EYEBROW OVERHANGS - STUCCO - COLOR LIGHT STONE (TAN)
 - 1.4. UPPER FLOOR STUCCO SIDING - COLOR ASH GRAY
 - 1.5. ROOF PARAPET - STUCCO - COLOR CHARCOAL GRAY
 - 1.6. EXTERIOR DOORS - METAL FRAME - COLOR DARK BRONZE
 - 1.7. WINDOWS - DUAL GLAZE - COLOR DARK BRONZE, FIRST FLOOR WINDOWS TO BE LAMINATED
 - 1.7.1. 12" METAL CLADDING STRIP BETWEEN WINDOWS - COLOR DARK BRONZE
 - 1.8. SECTIONED ROLL-UP GARAGE DOORS - COLOR DARK BRONZE
 - 1.9. LED LIT STORE FRONT SIGNAGE - 17" LETTERS, 32 SF SIGN - COLOR WASABI (LIGHT GREEN)
2. STORAGE BUILDINGS
 - 2.1. ROOF STANDING SEAM METAL ROOF - COLOR LIGHT STONE (TAN)
 - 2.2. INTEGRATED GUTTERS TO MATCH ROOF
 - 2.3. PRECISION CMU BLOCK WALLS - COLOR STOCK GRAY
 - 2.4. SPLITFACE BLOCK ACCENT CORNERS & COLUMNS - CHARCOAL GRAY
 - 2.5. PBR VERTICAL SEAM METAL - COLOR ASH GRAY
 - 2.6. ROLL UP DOORS JANUS 650 SERIES - COLOR WASABI (LIGHT GREEN)
3. GATE AND FENCES - COLOR DARK BRONZE



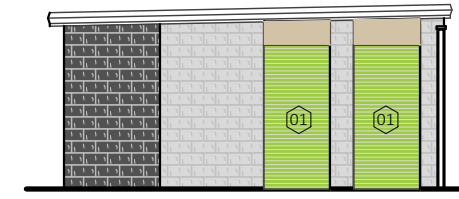
DESIGNER'S SIGNATURE:

 09/26/24

MEHRINGER CONSTRUCTION & DESIGN

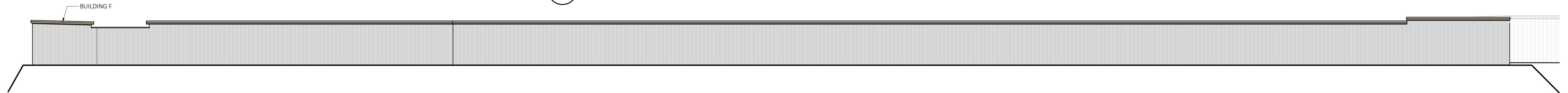
ADDRESS 481 WATSON ST #6
 MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
 EMAIL MehringerDesign@gmail.com

CASTROVILLE SELF STORAGE, LLC

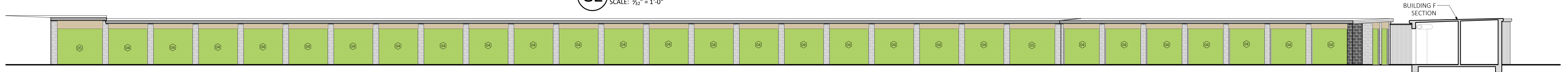
ADDRESS 10520 TEMBLADERA STREET
 CASTROVILLE, CA 95012
 APN 030-156-004
 OWNER CASTROVILLE SELF STORAGE, LLC
 CONTACT PRESIDENT BARBARA FRENCH
 PHONE 858-353-3344
 EMAIL bchernusm@gmail.com



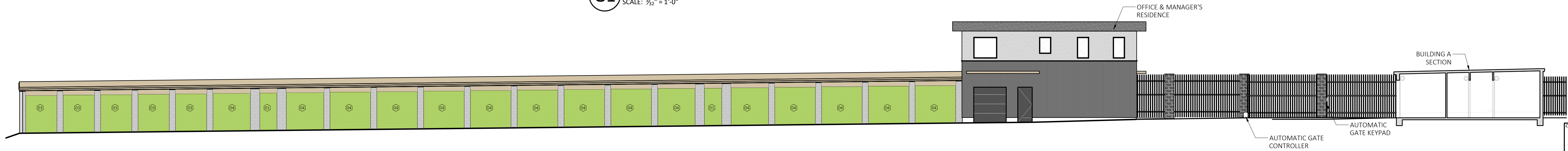
G3 BUILDING G WEST ELEVATION
 SCALE: 3/32" = 1'-0"



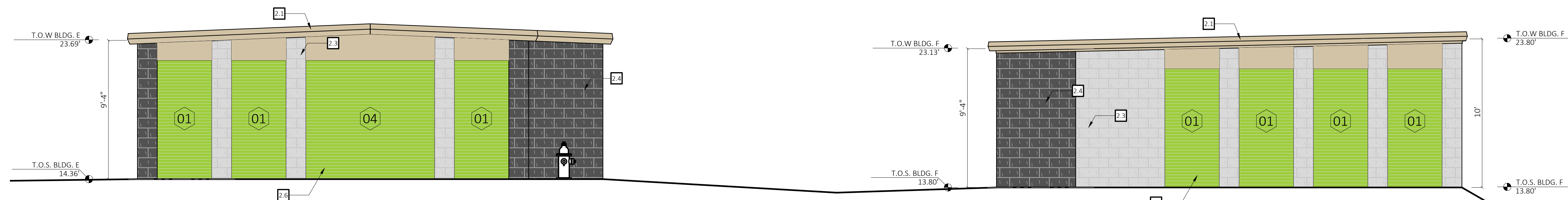
G2 BUILDING G SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



G1 BUILDING G NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



H3 BUILDING H NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



TYPICAL STORAGE BUILDING FINISHES
 SCALE: 3/4" = 1'-0"

COUNTY APPROVAL STAMP:

SHEET TITLE		
STORAGE ELEVATIONS		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

SHEET NUMBER:
A2.4



CASTROVILLE SELF STORAGE

OFFICE



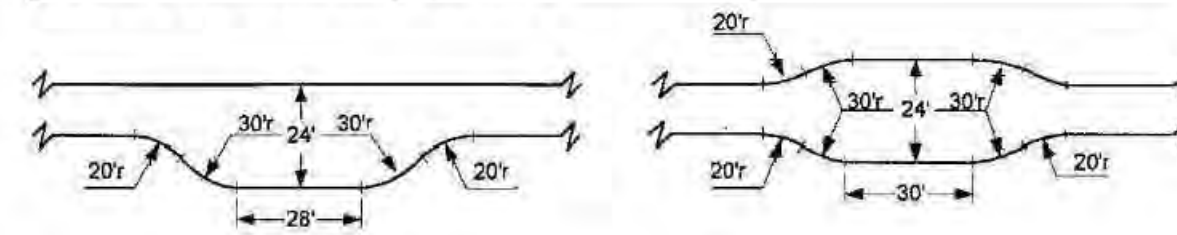
CASTROVILLE SELF STORAGE

OFFICE

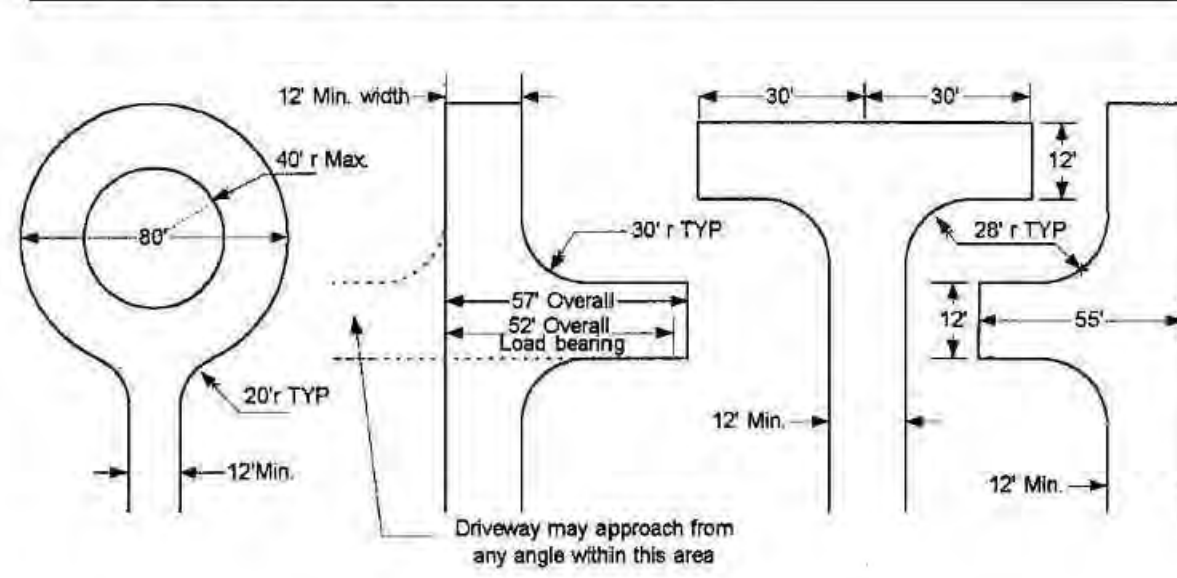


MONTEREY COUNTY REGIONAL FIRE DISTRICT PREVENTION DIVISION

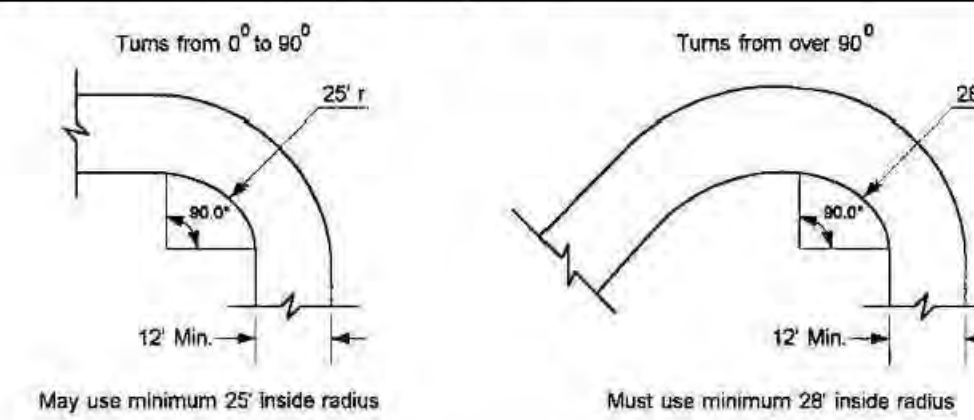
EXAMPLE A Driveway Turnouts



EXAMPLE B Driveway / Road Turnaround



EXAMPLE C Driveway Turning Radii

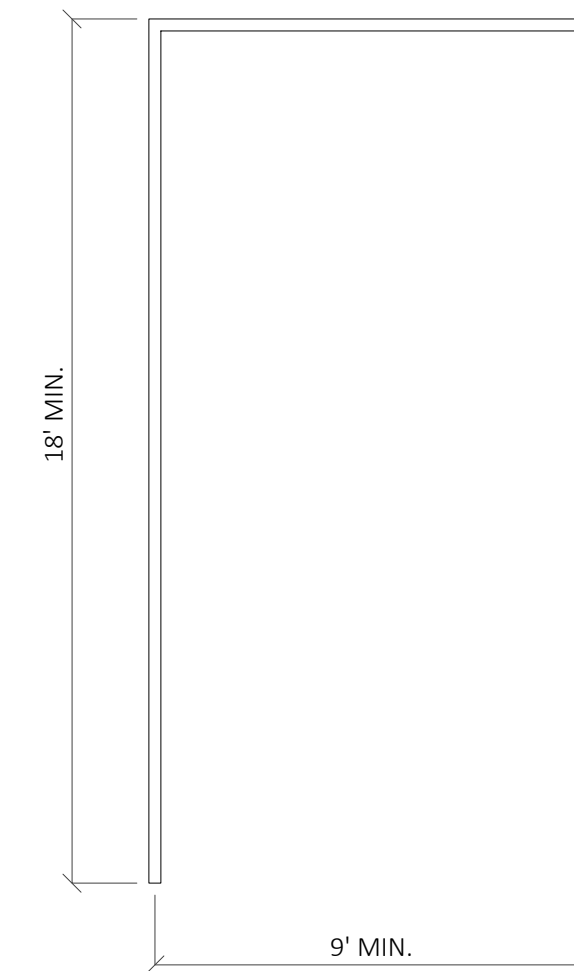


The local fire jurisdiction will consider designs other than those shown above.

Revised 08/07/2020

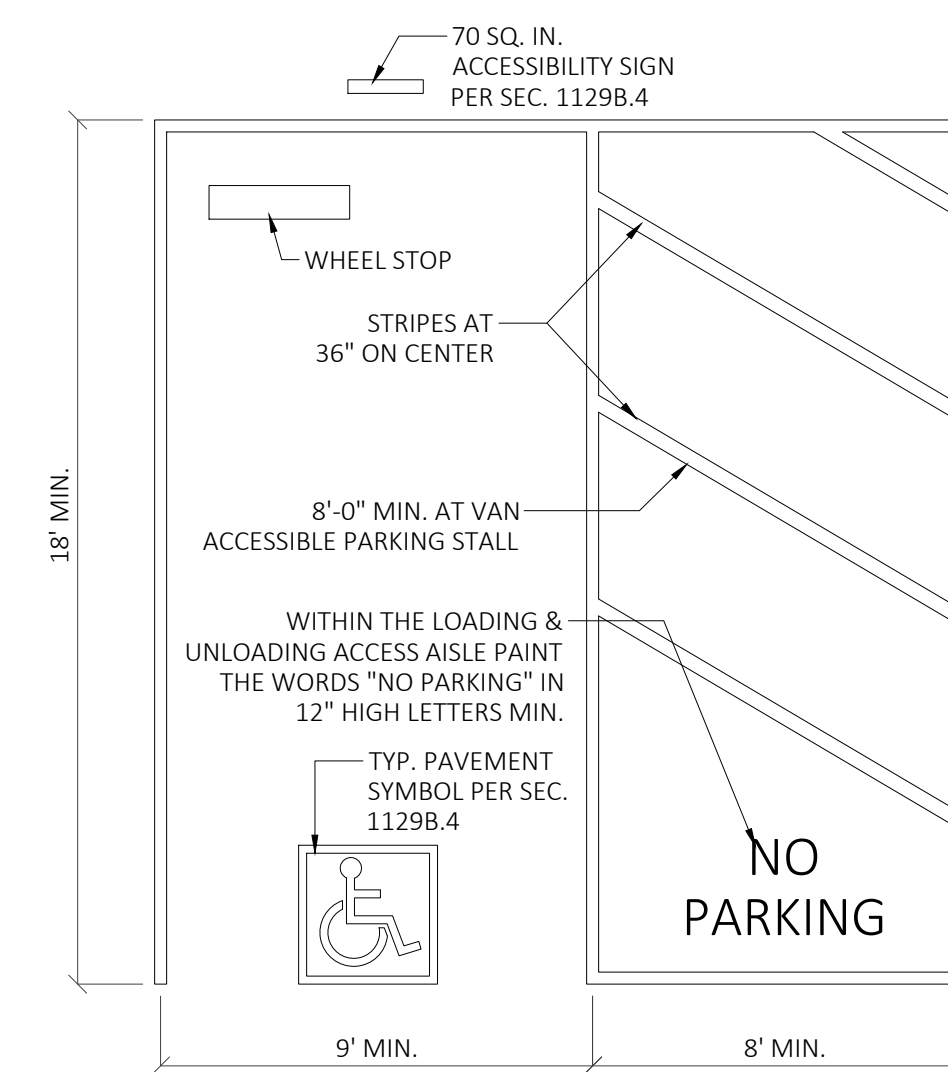
STANDARD PARKING STALL

SCALE: 1/4" = 1'-0"



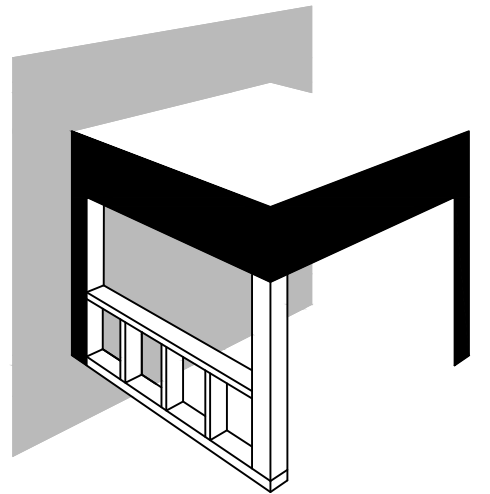
ADA VAN STALL

SCALE: 3/8" = 1'-0"



FIRE NOTES

- P103.1 DRIVEWAYS. (FIRE 007). DRIVEWAY IDENTIFIED IN THIS SECTION IS DEFINED AS A VEHICLE ACCESS THAT SERVES UP TO TWO (2) PARCELS WITH NO MORE THAN TWO (2) RESIDENTIAL UNITS AND ANY NUMBER ON NON-COMMERCIAL OR INDUSTRIAL BUILDINGS ON EACH PARCEL. DRIVEWAYS SHALL NOT BE LESS THAN TWELVE (12) FEET WIDE TRAFFIC LANE AND MINIMUM FOURTEEN (14) FEET WIDE UNOBSTRUCTED CLEARANCE, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN FIFTEEN (15) FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED FIFTEEN PERCENT (15%) WITH A MAXIMUM SIDE SLOPE OF FIVE PERCENT (5%). WHERE DRIVEWAY GRADES ARE EIGHT PERCENT (8%) OR LESS, AN ALL-WEATHER SURFACE SUCH AS AN AGGREGATE BASE SHALL MEET MINIMUM FIRE REQUIREMENTS. OTHER TYPES OF MATERIAL FOR DRIVEWAYS MAY BE REQUIRED BY MONTEREY COUNTY CODE. WHERE THE GRADE EXCEEDS EIGHT PERCENT (8%), A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS FORTY THOUSAND (40,000) POUNDS, AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS NINETY (90) DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE TWENTY-FIVE (25) FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN NINETY (90) DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE TWENTY-EIGHT (28) FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF FOUR (4) FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING ONE HUNDRED FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS EIGHT HUNDRED (800) FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN FOUR HUNDRED (400)-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF TWELVE (12) FEET WIDE AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE THIRTY (30) FEET LONG WITH A MINIMUM TWENTY-FIVE (25) FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF ONE HUNDRED FIFTY (150) FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE FORTY (40) FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF SIXTY (60) FEET IN LENGTH.
- P103.2 GATES. (FIRE 008). ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST THIRTY (30) FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST TWO (2) FEET WIDER THAN THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE BE LESS THAN FOURTEEN (14) FEET WIDE UNOBSTRUCTED AND UNOBSTRUCTED VERTICAL CLEARANCE OF FIFTEEN (15) FEET. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A FORTY (40) FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
- P104.2 ADDRESSES FOR BUILDINGS. (FIRE 011). ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS. EACH OCCUPANCY, INCLUDING DETACHED ACCESSORY DWELLING UNITS (ADU), EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF FOUR-INCH (4") HEIGHT, 1/2- INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- P109.1 STANDARD DEFENSIBLE SPACE REQUIREMENTS. (FIRE 019). REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF ONE HUNDRED (100) FEET OR TO THE PROPERTY LINE FROM STRUCTURES, WHICHEVER IS CLOSER. VEGETATION SHALL BE NO TALLER THAN FOUR INCHES (4") HIGH. LIMB TREES SIX FEET UP FROM GROUND. REMOVE LIMBS WITHIN TEN (10) FEET OF CHIMNEYS. ADDITIONAL OR ALTERNATE FIRE PROTECTION APPROVED BY THE FIRE CODE OFFICIAL MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY THE FIRE CODE OFFICIAL AND OTHER JURISDICTIONAL AUTHORITIES.
- P110.1 RESIDENTIAL FIRE SPRINKLER SYSTEMS (STANDARD). (FIRE 021). THE BUILDING(S) AND ATTACHED STRUCTURE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR AND COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION.



DESIGNER'S SIGNATURE:

09/26/24

MEHRINGER & DESIGN

ADDRESS 481 WATSON ST #6
MONTEREY CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehringerDesign@gmail.com

CASTROVILLE SELF STORAGE, LLC

ADDRESS 10520 TEMBLADERA STREET
CASTROVILLE, CA 95012
APN 030-156-004
OWNER CASTROVILLE SELF STORAGE, LLC
CONTACT PRESIDENT BARBARA FRENCH
PHONE 858-353-3344
EMAIL bchurnum@gmail.com

COUNTY APPROVAL STAMP:

GENERAL NOTES

DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

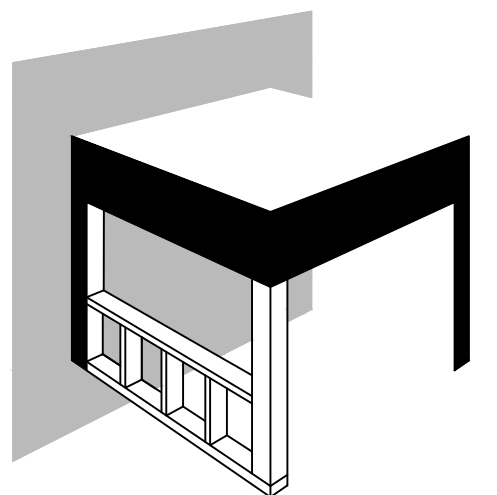
SHEET NUMBER:

GO.1



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



DESIGNER'S SIGNATURE:

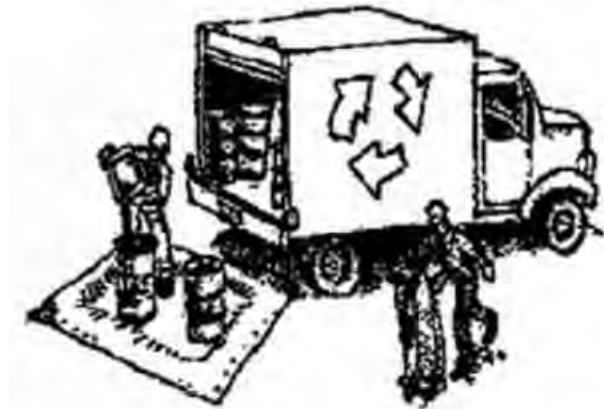
 09/26/24

MEHRINGER CONSTRUCTION & DESIGN

ADDRESS 481 WATSON ST #6
 MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
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 EMAIL bchernusm@gmail.com



MATERIALS & WASTE MANAGEMENT

- Non-Hazardous Materials**
- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
 - Use (but don't overuse) reclaimed water for dust control.

- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

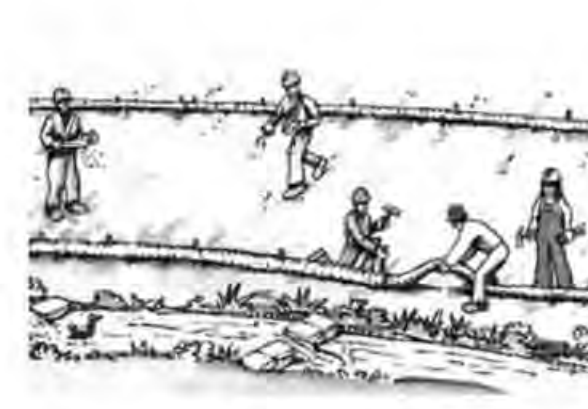
- Waste Management**
- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
 - Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



EQUIPMENT MANAGEMENT & SPILL CONTROL

- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
 - Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

- Spill Prevention and Control**
- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

- Erosion Control**
- Schedule grading and excavation work for dry weather only.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Sediment Control**
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
 - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
 - Keep excavated soil on the site where it will not collect into the street.
 - Transfer excavated materials to dump trucks on the site, not in the street.
 - If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
 - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt or concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
 - If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT REMOVAL

- Painting cleanup**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
 - For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.
- Paint Removal**
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

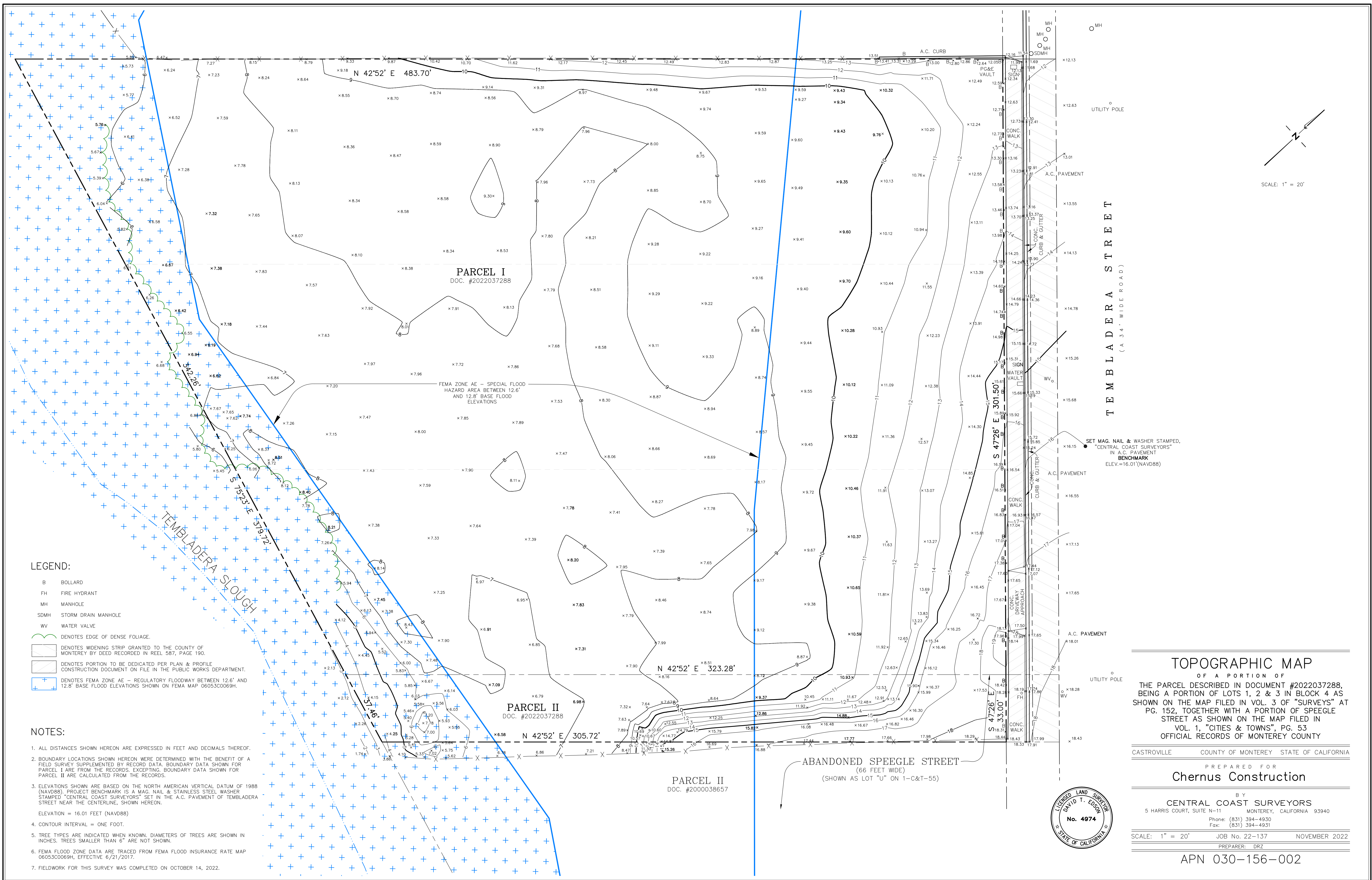
* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program.

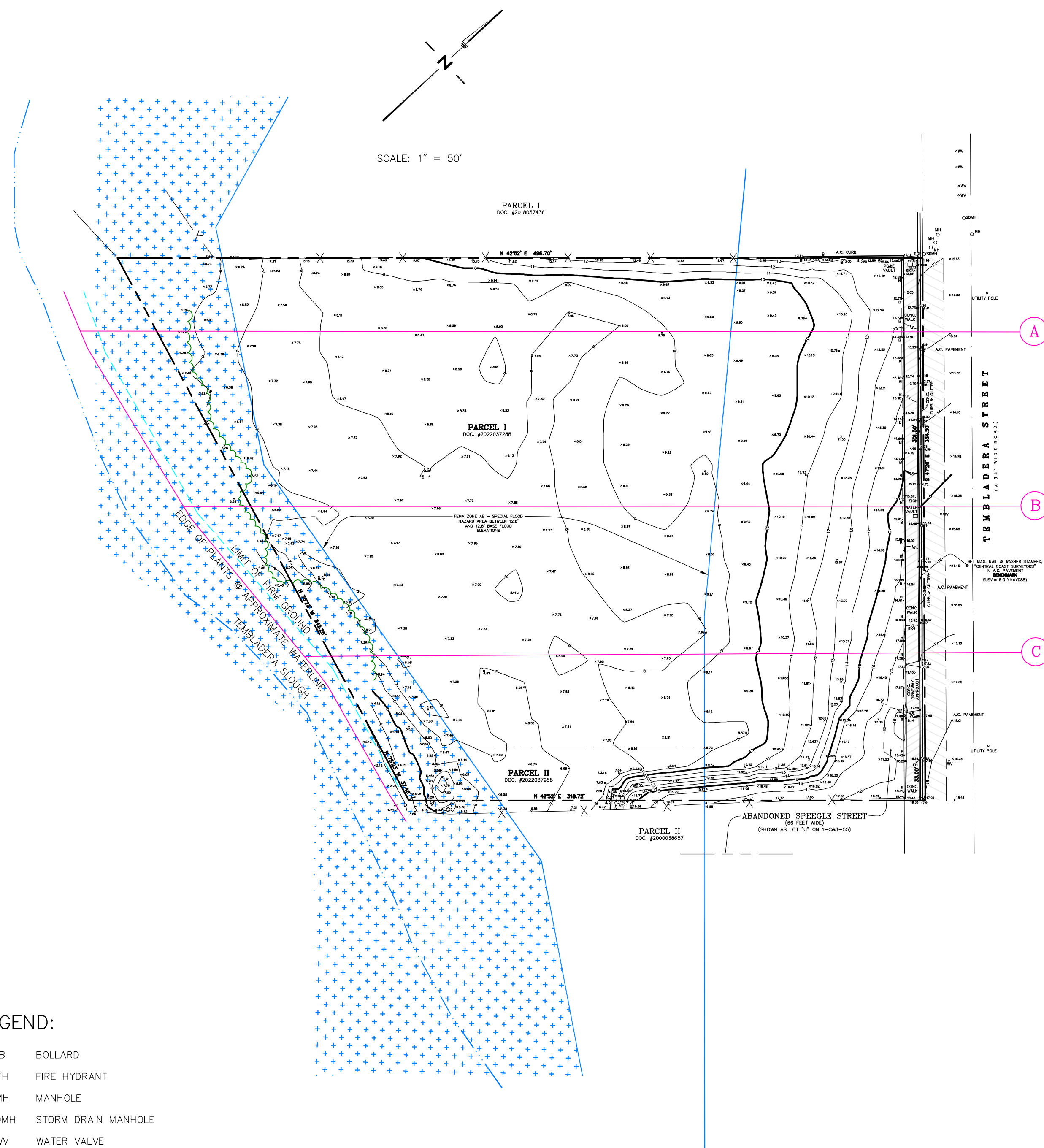
STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

COUNTY APPROVAL STAMP:

SHEET TITLE: BMP SHEET		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

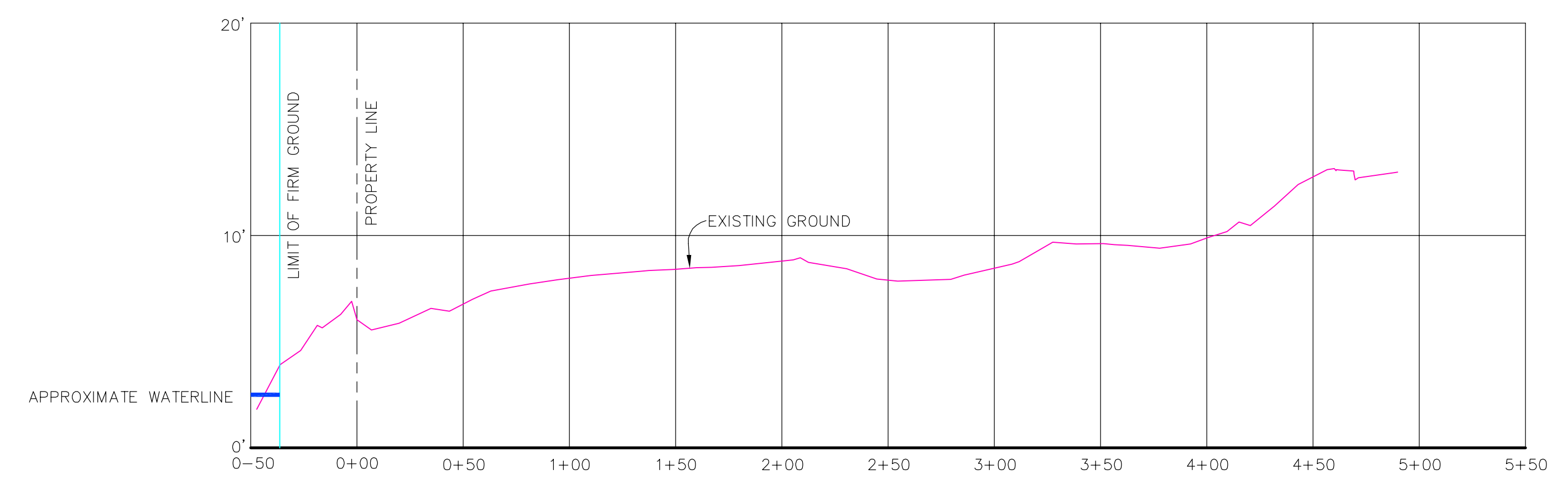
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G0.2



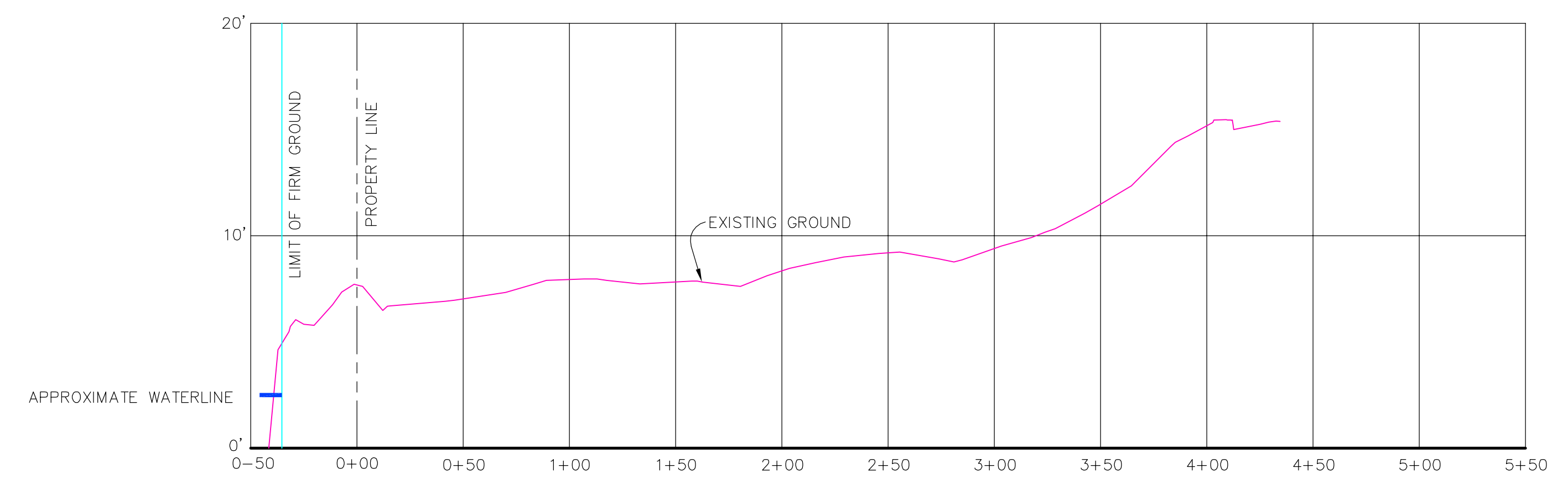


- LEGEND:**
- B BOLLARD
 - FH FIRE HYDRANT
 - MH MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - WV WATER VALVE
 - DENOTES EDGE OF DENSE FOLIAGE.
 - DENOTES WIDENING STRIP GRANTED TO THE COUNTY OF MONTEREY BY DEED RECORDED IN REEL 587, PAGE 190.
 - DENOTES PORTION TO BE DEDICATED PER PLAN & PROFILE CONSTRUCTION DOCUMENT ON FILE IN THE PUBLIC WORKS DEPARTMENT.
 - DENOTES FEMA ZONE AE - REGULATORY FLOODWAY BETWEEN 12.6' AND 12.8' BASE FLOOD ELEVATIONS SHOWN ON FEMA MAP 060530069H.

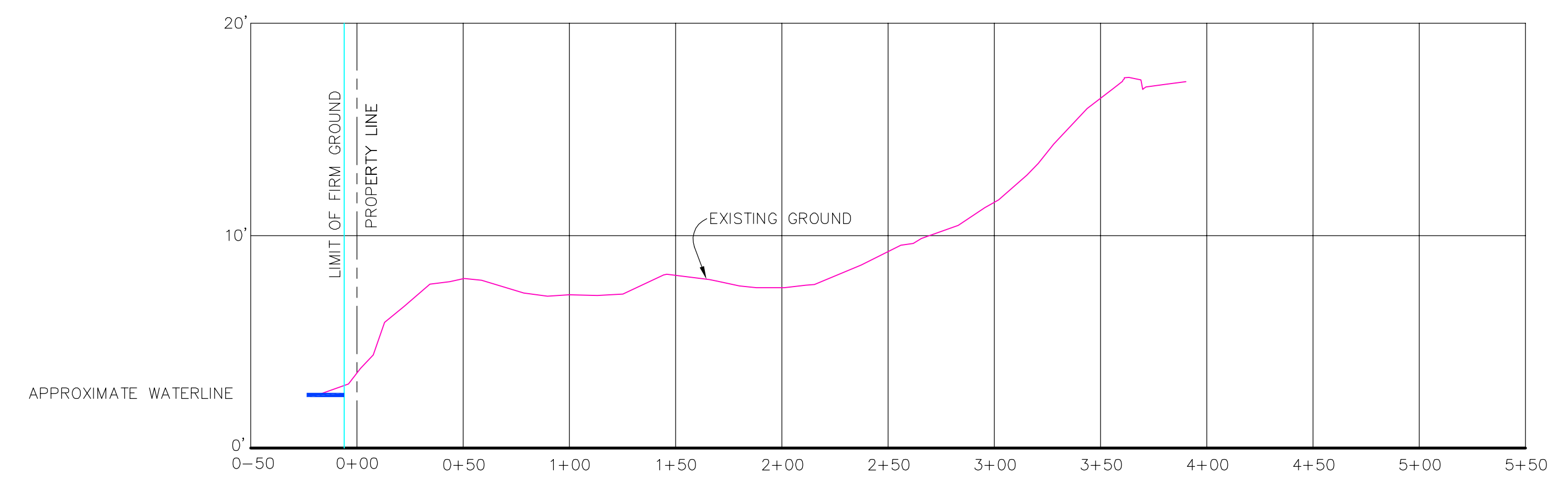
THE FIELDWORK FOR THIS SURVEY WAS COMPLETED ON OCTOBER 14, 2022.



SECTION A - LOOKING NORTH
 HORIZONTAL SCALE 1" = 50'
 VERTICAL SCALE 1" = 5'



SECTION B - LOOKING NORTH
 HORIZONTAL SCALE 1" = 50'
 VERTICAL SCALE 1" = 5'



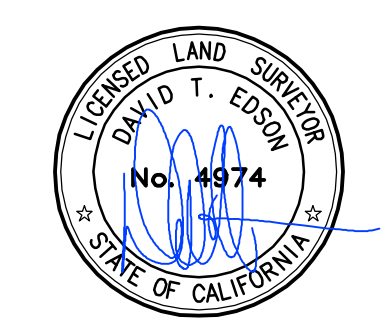
SECTION C - LOOKING NORTH
 HORIZONTAL SCALE 1" = 50'
 VERTICAL SCALE 1" = 5'

CROSS-SECTIONS

ACROSS THE PARCEL DESCRIBED IN DOCUMENT #2022037288, BEING A PORTION OF LOTS 1, 2 & 3 IN BLOCK 4 AS SHOWN ON THE MAP FILED IN VOL. 3 OF "SURVEYS" AT PG. 152, TOGETHER WITH A PORTION OF SPEEGLE STREET AS SHOWN ON THE MAP FILED IN VOL. 1, "CITIES & TOWNS", PG. 53 OFFICIAL RECORDS OF MONTEREY COUNTY

CASTROVILLE COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
Chernus Construction



BY
CENTRAL COAST SURVEYORS
 5 HARRIS COURT, SUITE N-11 MONTEREY, CALIFORNIA 93940
 Phone: (831) 394-4930
 Fax: (831) 394-4931

SCALE: 1" = 50' JOB No. 22-137 NOVEMBER 2022
 PREPARER: DRZ

APN 030-156-002

SECTION LINES UPDATED 5/31/23

GENERAL NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ACCOMPANYING SPECIFICATIONS, IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING:
- LATEST REVISION OF THE COUNTY OF MONTEREY OF DESIGN STANDARDS AND SPECIFICATIONS
- THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)
- THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

SANITARY SEWER

- 1. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
2. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE, FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.
3. PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE CITY.

BENCHMARK

ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PROJECT BENCHMARK IS A MAG. NAIL & STAINLESS STEEL WASHER STAMPED "CENTRAL COAST SURVEYORS" SET IN THE A.C. PAVEMENT OF TEMPLADERA STREET NEAR THE CENTERLINE.
ELEVATION = 16.01 FEET (NAVD88)

GRADING & DRAINAGE

- 1. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.
2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.
11. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.
12. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION.

- 13. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.
14. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.
15. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.
16. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15TH AND APRIL 15TH) THE FOLLOWING MEASURES MUST BE TAKEN:
A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

UNDERGROUND UTILITIES

- 1. CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.
2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.
3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

STORM DRAIN

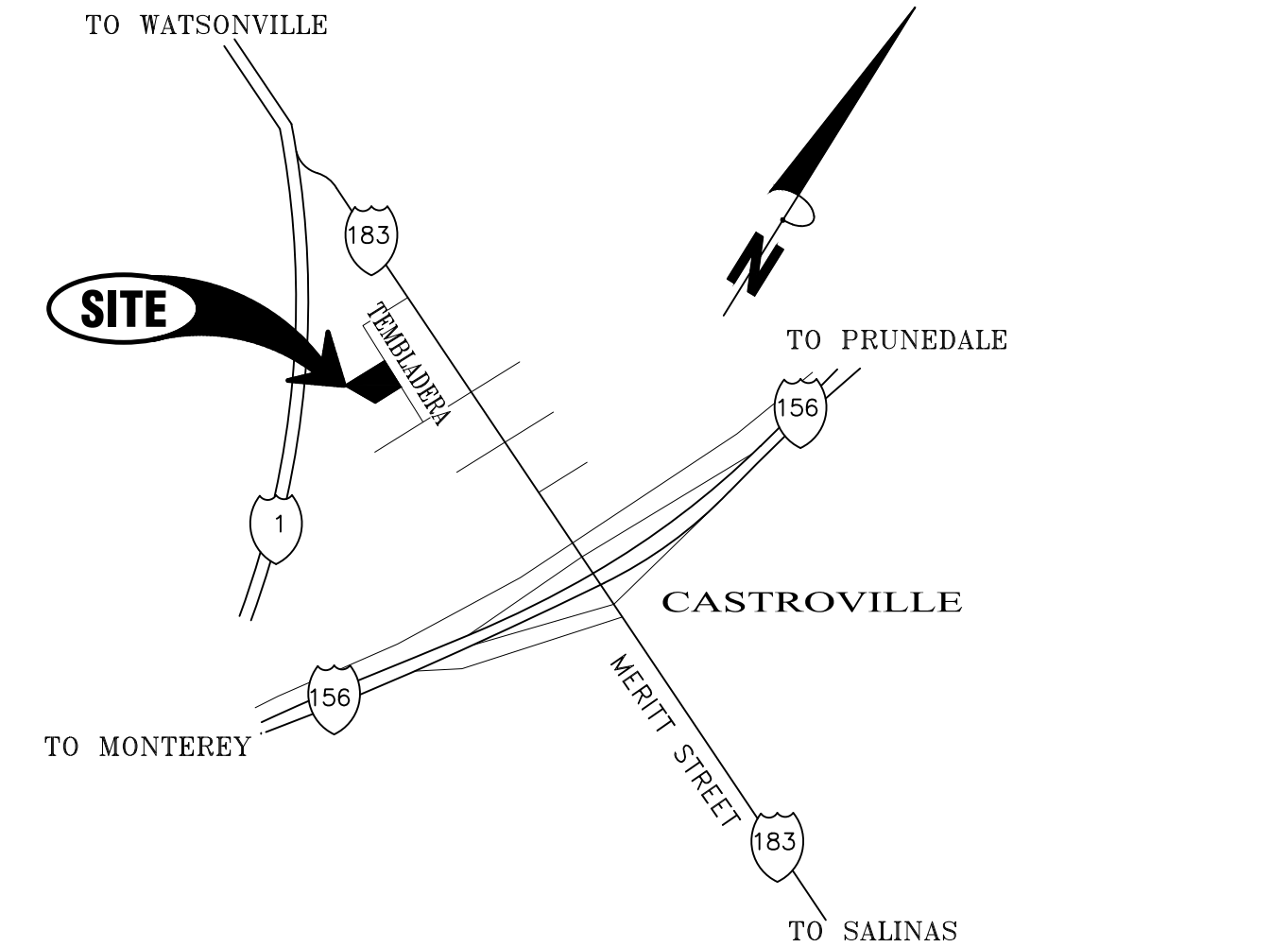
- 1. ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.
2. STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
3. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

TREE PROTECTION NOTES

- THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASQ CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C4.
3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

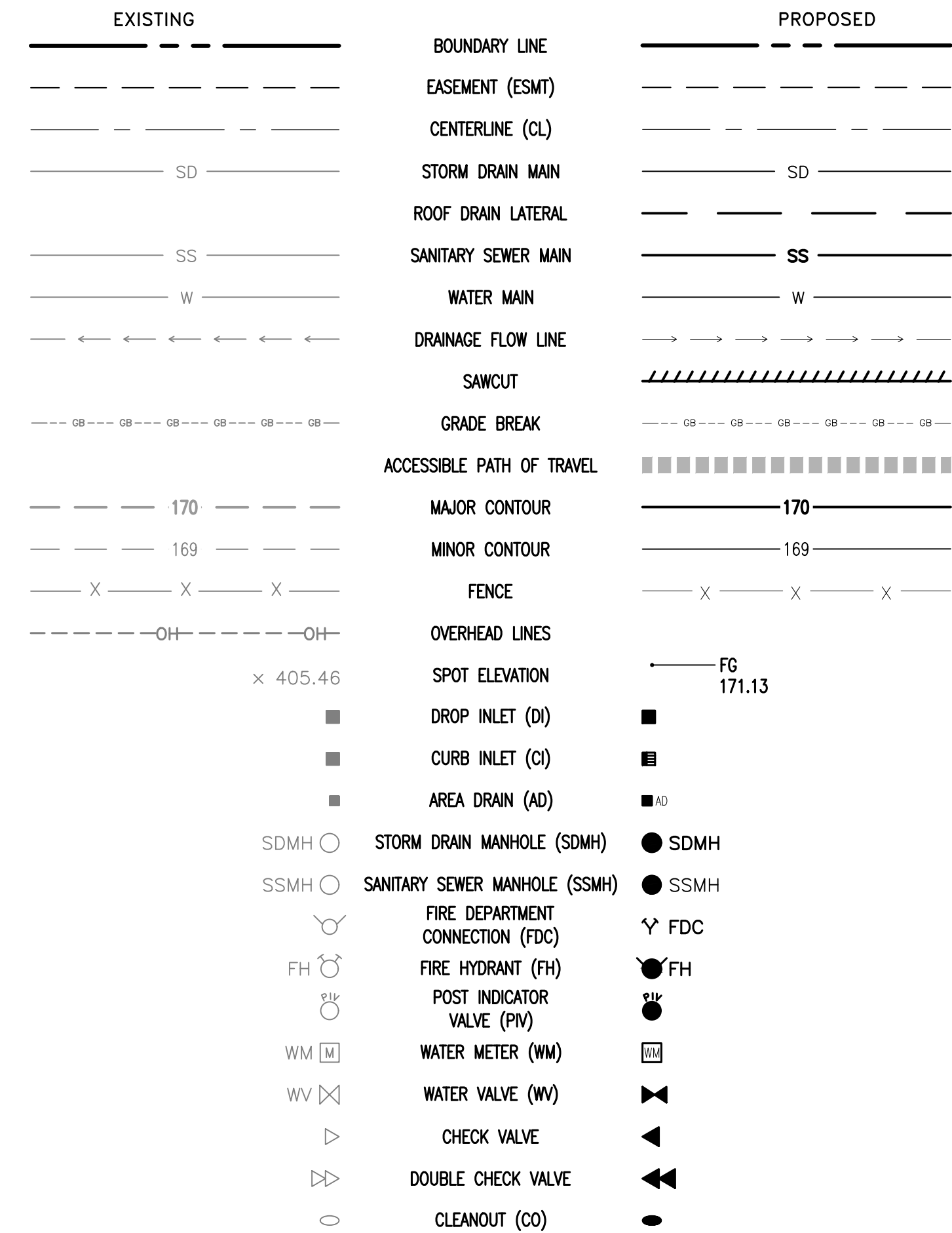
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

- 1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE CITY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.
2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.
3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.
4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE CITY FORESTER ON BARK PROTECTION REQUIREMENTS.



VICINITY MAP

LEGEND



SHEET INDEX

- C1 COVER & GENERAL NOTES
C2 OVERALL SITE PLAN
C3 GRADING & DRAINAGE PLAN
C4 UTILITY PLAN
C5 SECTIONS & DETAILS
C6 ADS DETAILS
C7 EROSION AND SEDIMENT CONTROL PLAN
C8 EROSION AND SEDIMENT CONTROL DETAILS



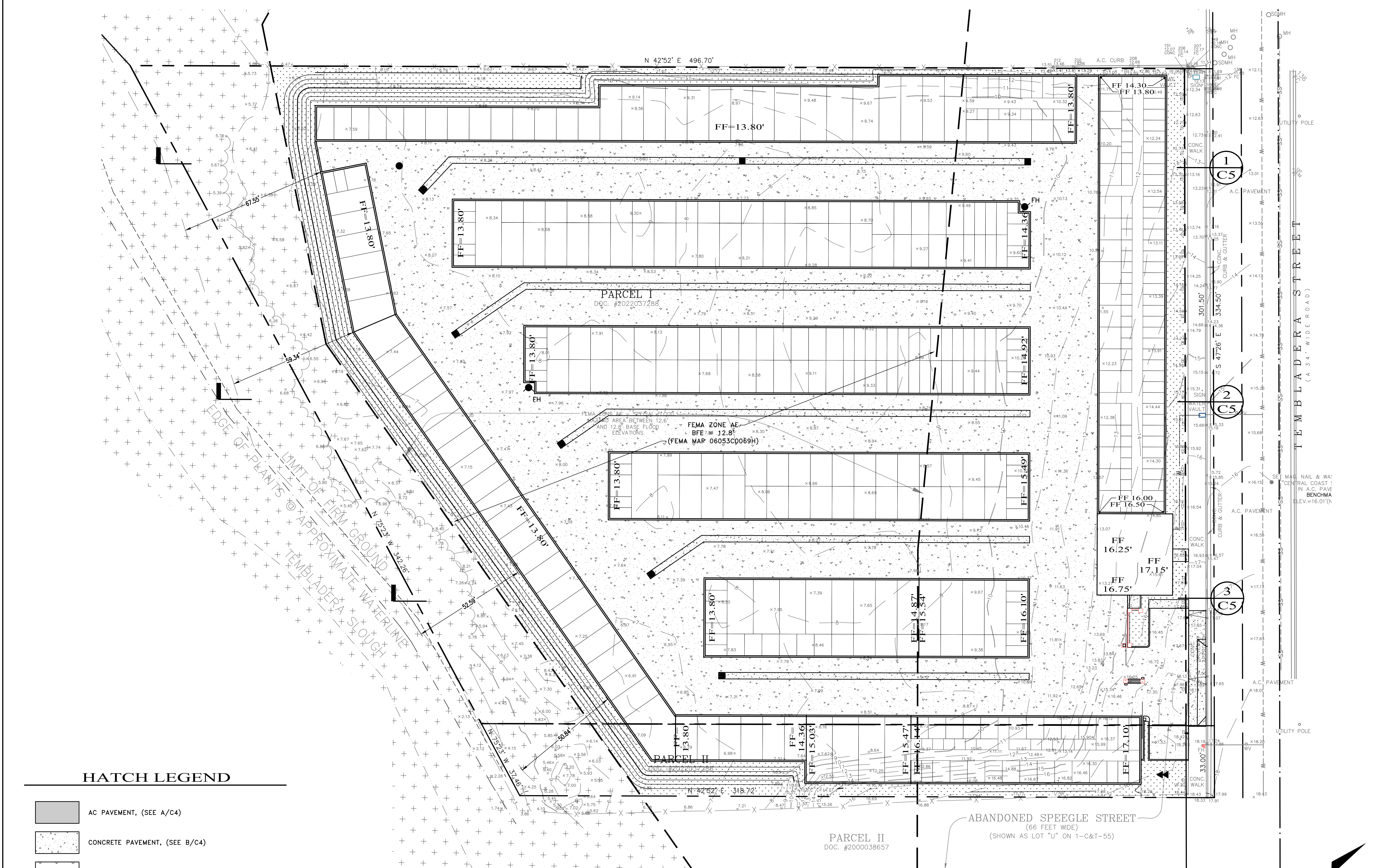
GEOTECHNICAL INSPECTION SCHEDULE

Table with 5 columns: WHEN THE INSPECTION IS TO BE COMPLETED, WHO WILL CONDUCT THE INSPECTION, INSPECTION ITEM, INSPECTION COMPLETED BY, DATE COMPLETED. Contains 10 rows of inspection details.

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INSPECTIONS HAVE BEEN COMPLETED.

Cover Sheet & General Notes section containing project title 'CASTROVILLE MINI STORAGE APN# 030-156-004-000', project location '10520 TEMPLADERA ST., CASTROVILLE, CA 95012', and sheet information 'C1 OF 8 SHEETS PROJECT# 122171'.

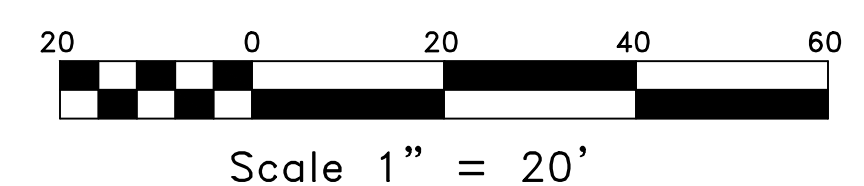
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 Plotted: Sep 03, 2024 - 1:35pm
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OVERALL SITE PLAN
1" = 20'

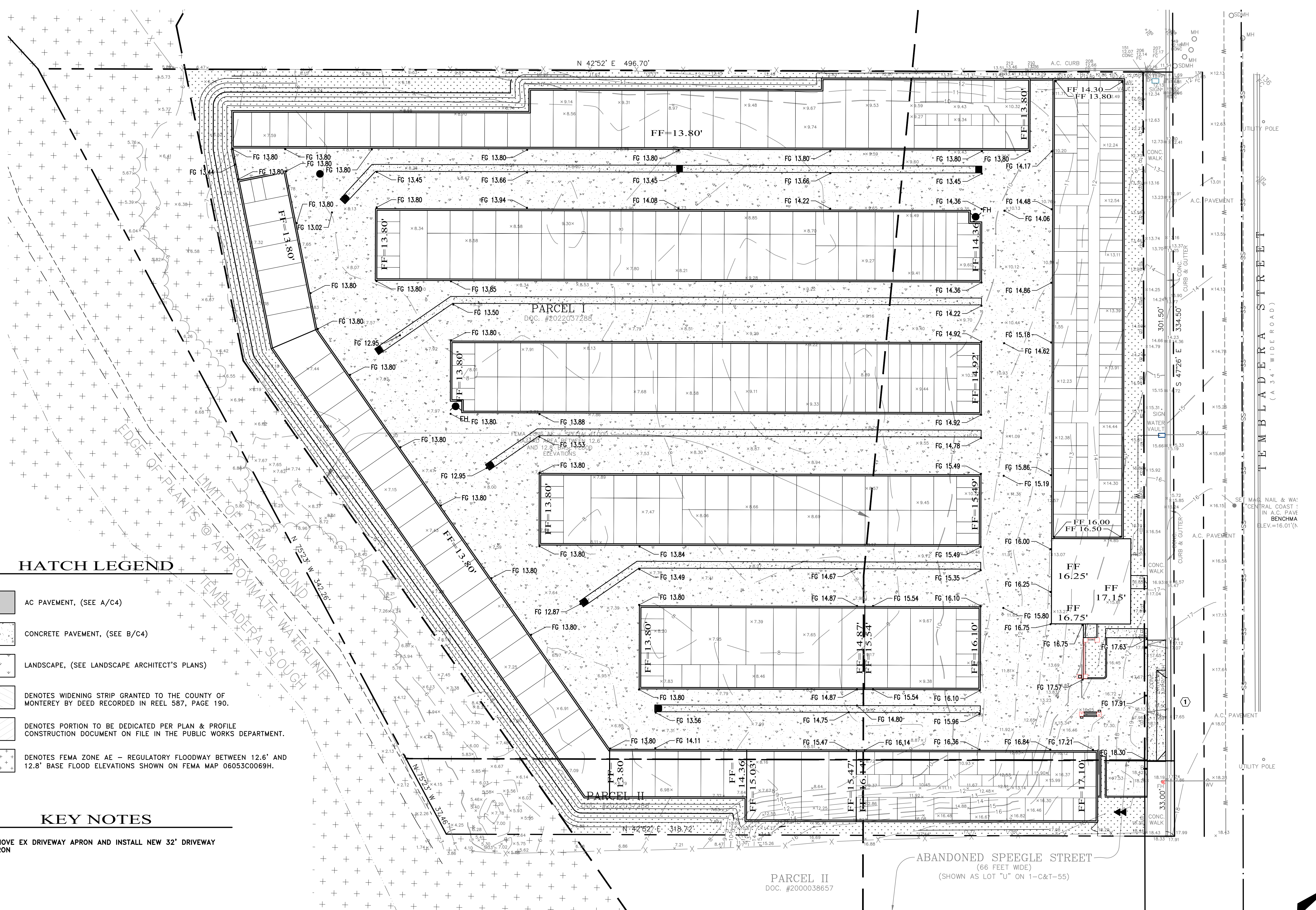
HATCH LEGEND

- AC PAVEMENT, (SEE A/C4)
- CONCRETE PAVEMENT, (SEE B/C4)
- LANDSCAPE, (SEE LANDSCAPE ARCHITECT'S PLANS)
- FEMA REGULATORY FLOODWAY (NO CONSTRUCTION)
- FEMA REGULATORY FLOODWAY BOUNDARY (APPROXIMATE)
- THEORETICAL TOP OF BANK



OVERALL SITE PLAN	
CASTROVILLE MINI STORAGE APN# 030-156-004-000 Project Location: 10520 TEMPLADERA ST., CASTROVILLE, CA 95012 PREPARED FOR: CHERMUS	
C3 ENGINEERING INCORPORATED Civil Engineering, Land Development Stormwater Management 126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (931) 647-1192 Fax (931) 647-1194 mail@C3Engineering.net	REG. PROFESSIONAL ENGINEER STATE OF CALIFORNIA No. 61390 Exp. 06/30/25 CIVIL J. CAMPO
SCALE: 1" = 20" DATE: 02/14/2023 DESIGN BY: FJC DRAWN BY: ECH CHECKED BY: FJC SHEET NUMBER:	OF 8 SHEETS PROJECT# 122171
MADE IN THE USA	

Drawing file: Z:\Projects\122171_Chemus - Self Storage\DWG\122171_A8base.dwg
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HATCH LEGEND

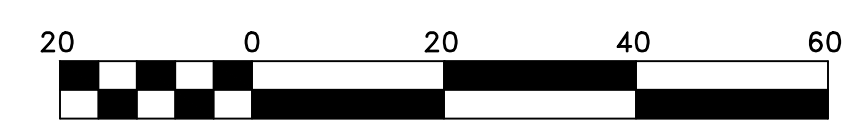
- AC PAVEMENT, (SEE A/C4)
- CONCRETE PAVEMENT, (SEE B/C4)
- LANDSCAPE, (SEE LANDSCAPE ARCHITECT'S PLANS)
- DENOTES WIDENING STRIP GRANTED TO THE COUNTY OF MONTEREY BY DEED RECORDED IN REEL 587, PAGE 190.
- DENOTES PORTION TO BE DEDICATED PER PLAN & PROFILE CONSTRUCTION DOCUMENT ON FILE IN THE PUBLIC WORKS DEPARTMENT.
- DENOTES FEMA ZONE AE - REGULATORY FLOODWAY BETWEEN 12.6' AND 12.8' BASE FLOOD ELEVATIONS SHOWN ON FEMA MAP 06053C0069H.

KEY NOTES

- ① REMOVE EX DRIVEWAY APRON AND INSTALL NEW 32' DRIVEWAY APRON

GRADING PLAN

1" = 20'

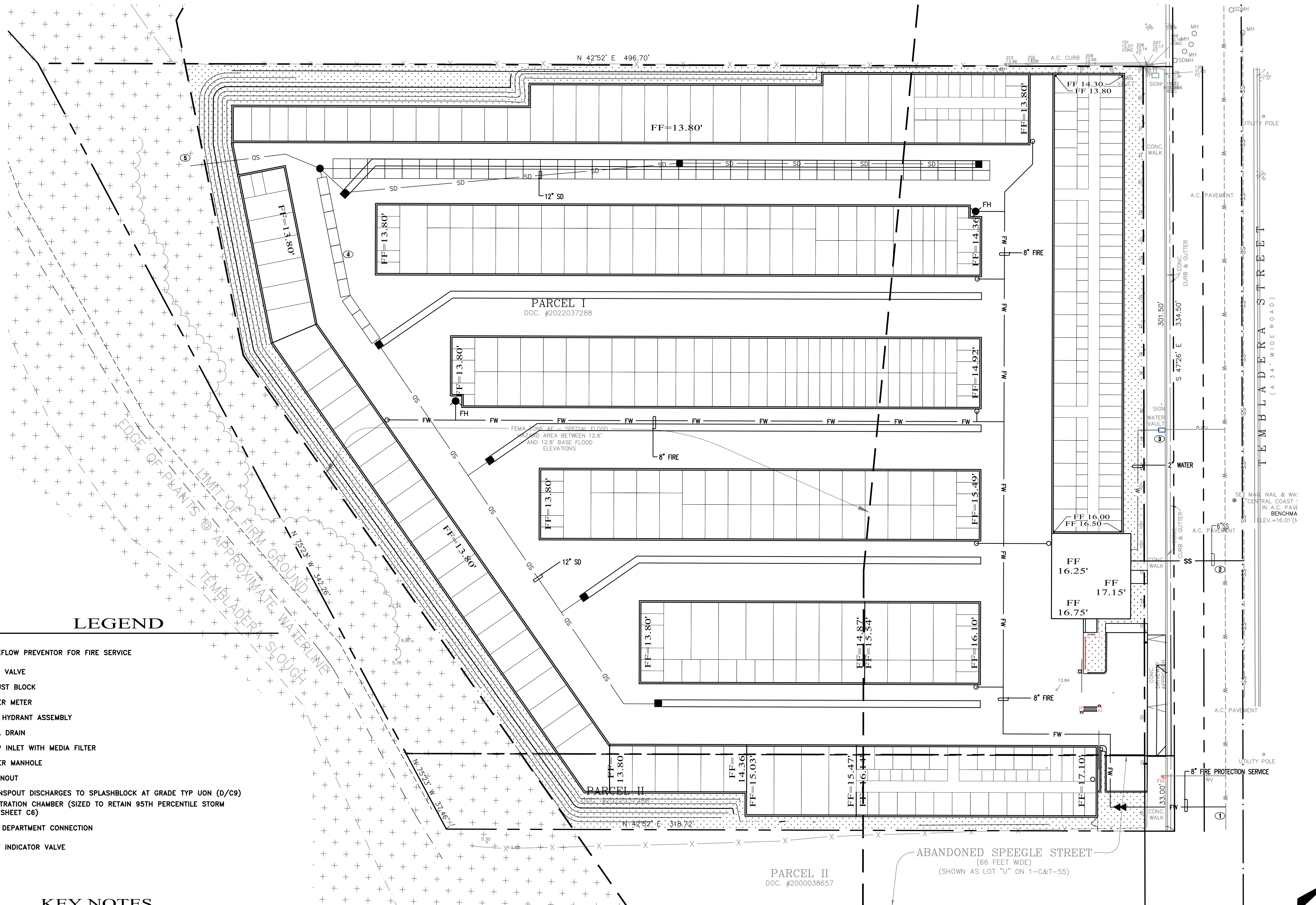


Scale 1" = 20'

C3 ENGINEERING INCORPORATED Civil Engineering, Land Development, Stormwater Management							
126 Bonifacio Place, Suite C, Monterey, CA 93940 Phone: (931) 647-1192 Fax (931) 647-1194 mail@C3Engineering.net							
REGISTERED PROFESSIONAL ENGINEER J. CAMPO No. 61390 Exp. 06/30/25 CIVIL STATE OF CALIFORNIA							
GRADING & DRAINAGE CASTROVILLE MINI STORAGE APN# 030-156-004-000 Project Location: 10520 TEMBLADERA ST., CASTROVILLE, CA 95012 PREPARED FOR: CHERNUS							
SCALE: 1"=20' DATE: 02/14/2023 DESIGN BY: FJC DRAWN BY: ECH CHECKED BY: FJC SHEET NUMBER:							
C3 OF 8 SHEETS PROJECT# 122171							

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LEGEND

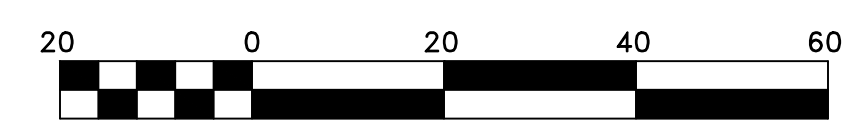
- ▶ BACKFLOW PREVENTOR FOR FIRE SERVICE
- ✕ GATE VALVE
- ▲ THRUST BLOCK
- WM WATER METER
- ⦿ FIRE HYDRANT ASSEMBLY
- AREA DRAIN
- DROP INLET WITH MEDIA FILTER
- SEWER MANHOLE
- CLEANOUT
- OS DOWNSPOUT DISCHARGES TO SPLASHBLOCK AT GRADE TYP UON (D/C9)
- INFILTRATION CHAMBER (SIZED TO RETAIN 95TH PERCENTILE STORM SEE SHEET C6)
- ↕ FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE

KEY NOTES

- ① CONNECT TO EXISTING WATER MAIN
- ② CONNECT TO EXISTING SEWER MAIN
- ③ CONNECT TO EXISTING WATER METER
- ④ ISOLATOR ROW
- ⑤ OVERFLOW

UTILITY PLAN

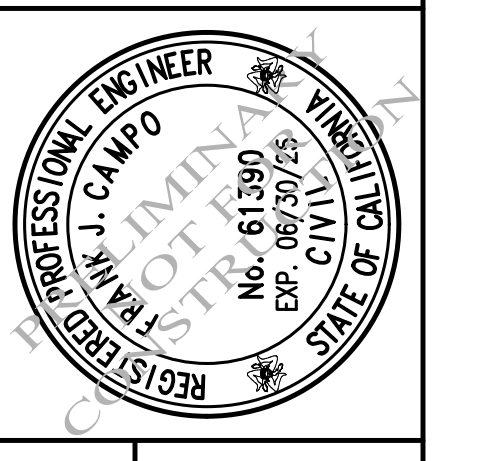
1" = 20'



Scale 1" = 20'

REV.	DATE	DESCRIPTION
1	12-04-23	Planning Comments (11-15-2023)

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 Civil Engineering, Land Development, Stormwater Management
 126 Bonifacio Place, Suite C, Monterey, CA 93940
 Phone: (931) 647-1192 Fax (931) 647-1194
 mail@C3Engineering.net



UTILITY PLAN
 CASTROVILLE
 MINI STORAGE
 APN# 030-156-004-000
 Project Location: 10520 TEMPLADERA ST., CASTROVILLE, CA 95012
 PREPARED FOR: CHERMUS

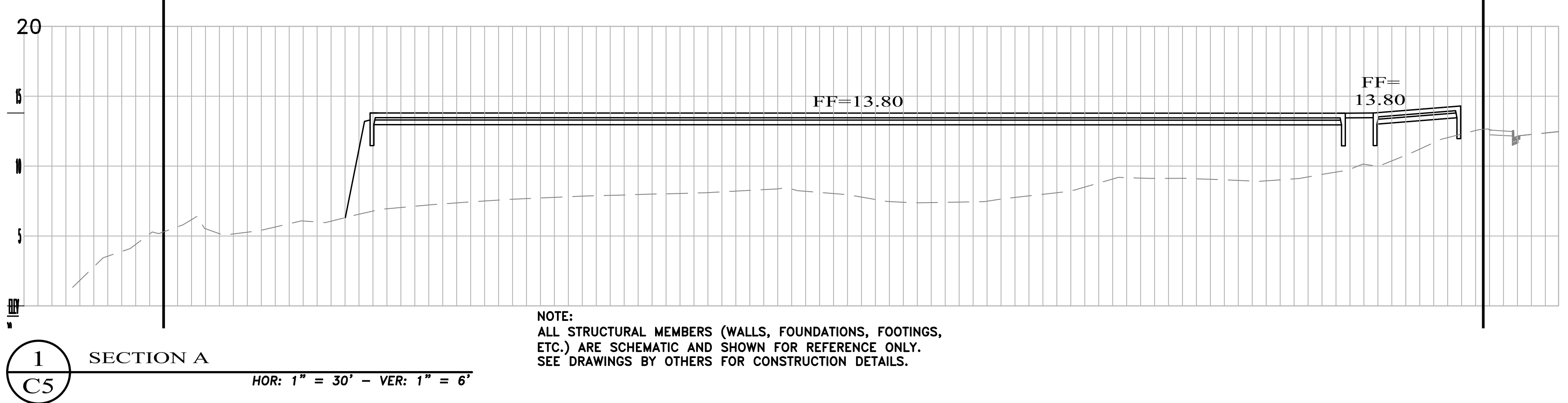
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DATE:	02/14/2023
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

C4
 OF 8 SHEETS
 PROJECT# 122171

MADE IN THE USA

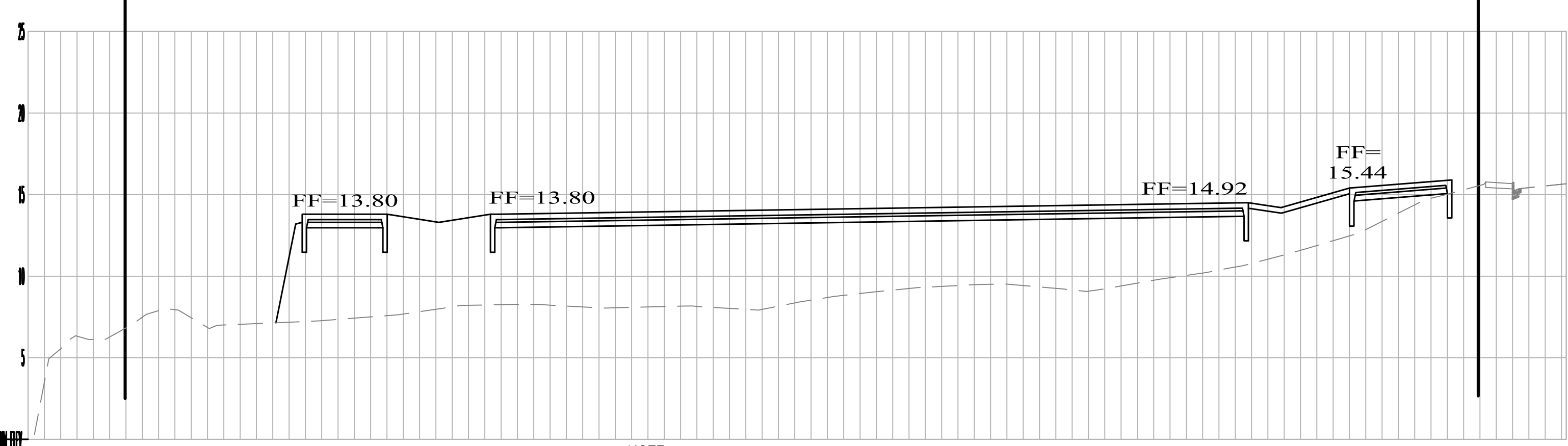
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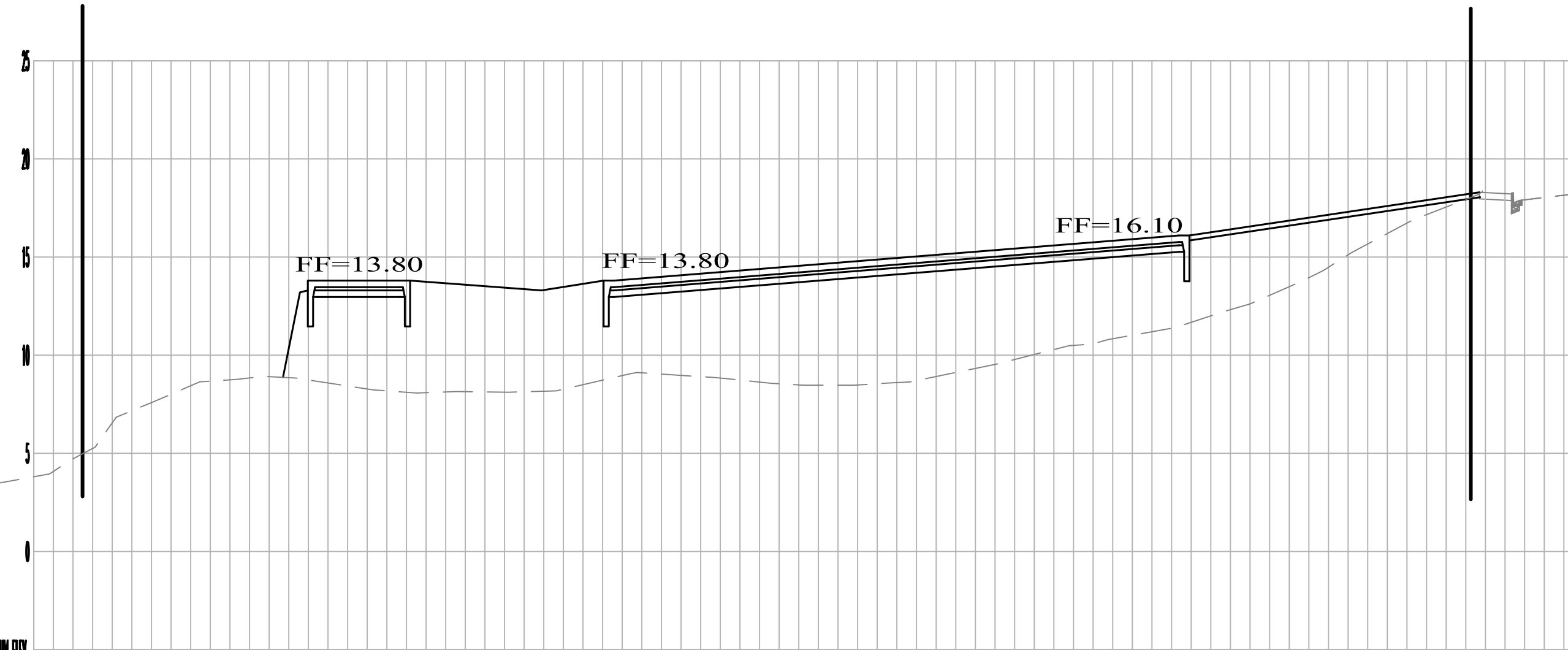
1 SECTION A
C5 HOR: 1" = 30' - VER: 1" = 6'

NOTE:
 ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.



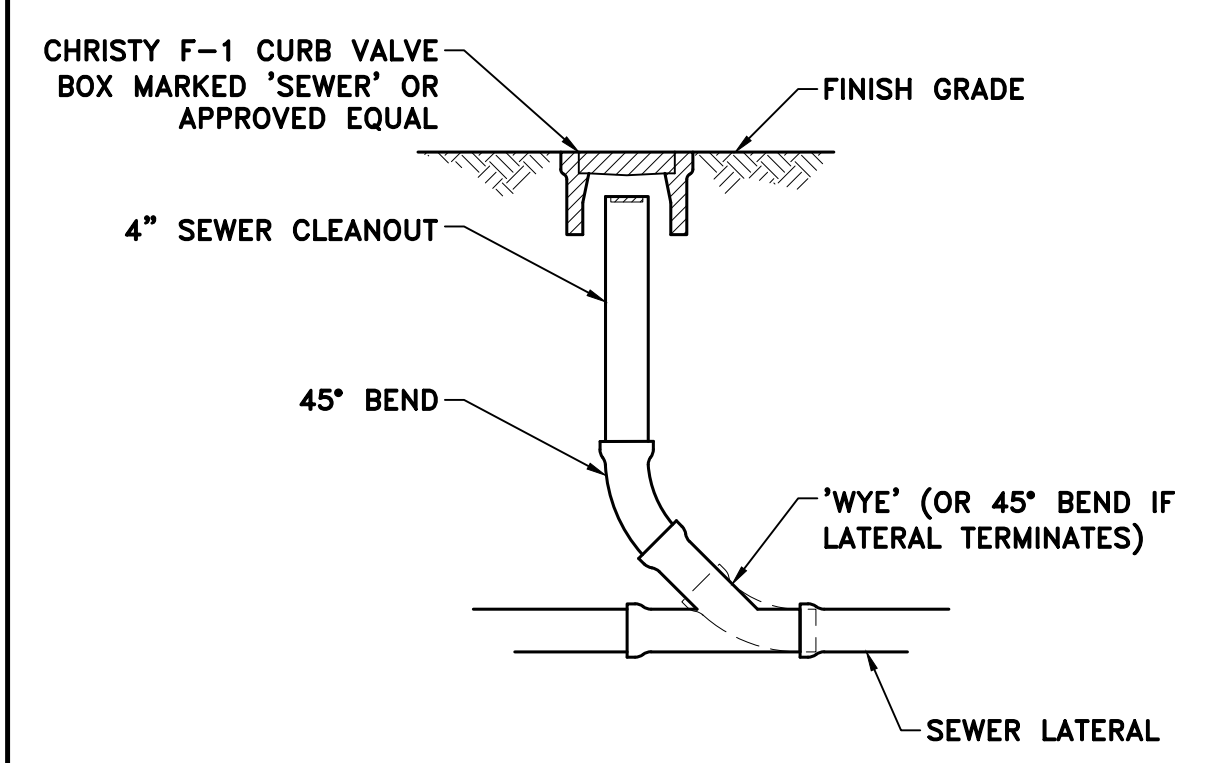
2 SECTION B
C5 HOR: 1" = 30' - VER: 1" = 6'

NOTE:
 ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.

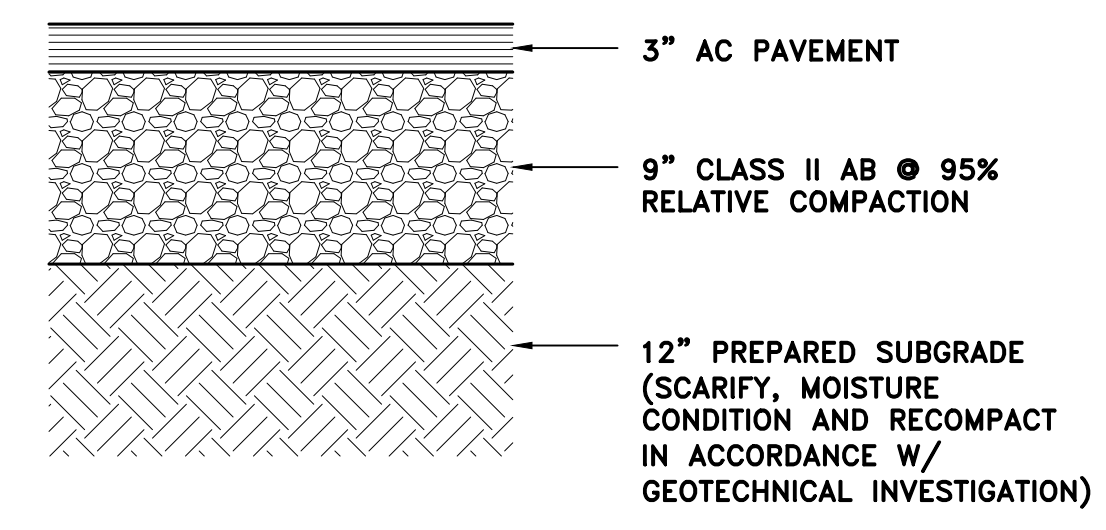


3 SECTION C
C5 HOR: 1" = 30' - VER: 1" = 6'

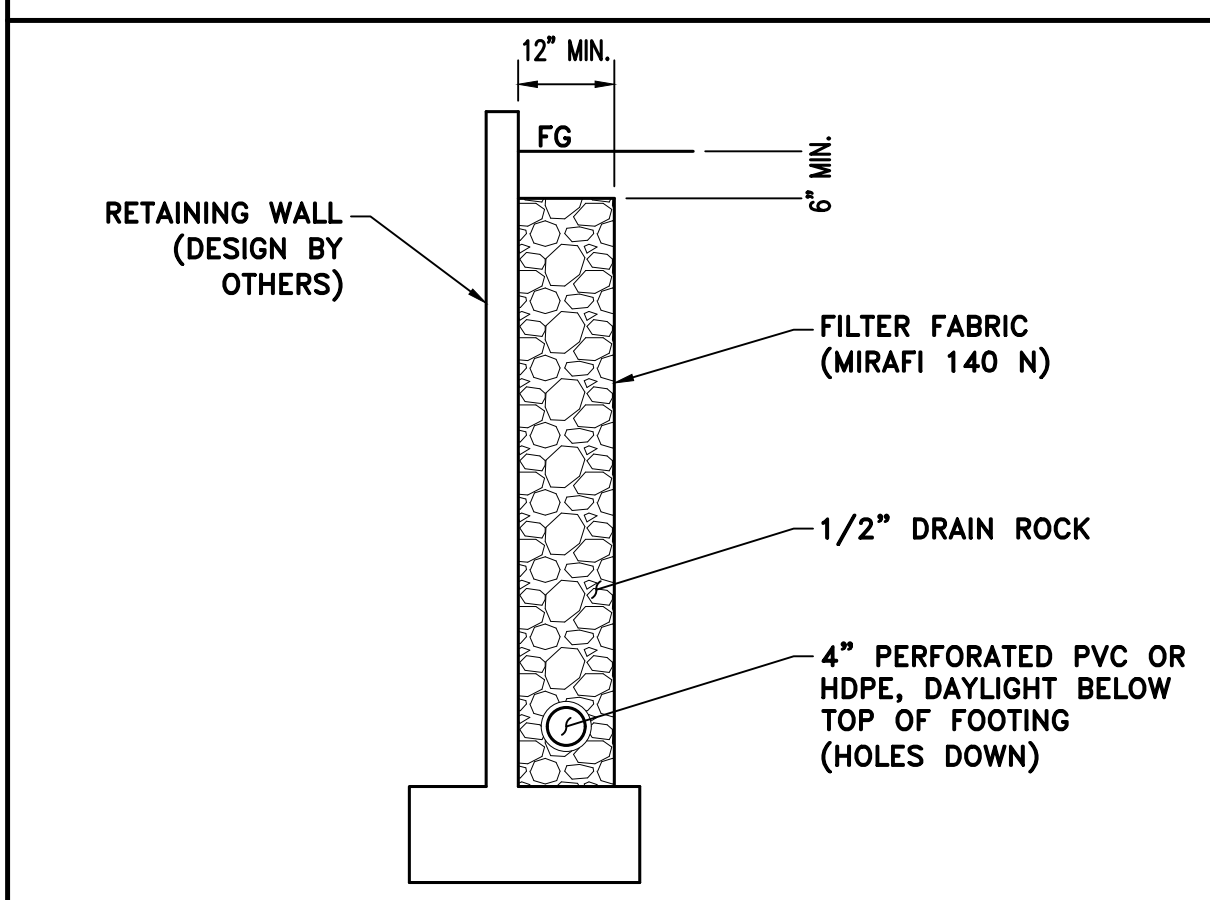
NOTE:
 ALL STRUCTURAL MEMBERS (WALLS, FOUNDATIONS, FOOTINGS, ETC.) ARE SCHEMATIC AND SHOWN FOR REFERENCE ONLY. SEE DRAWINGS BY OTHERS FOR CONSTRUCTION DETAILS.



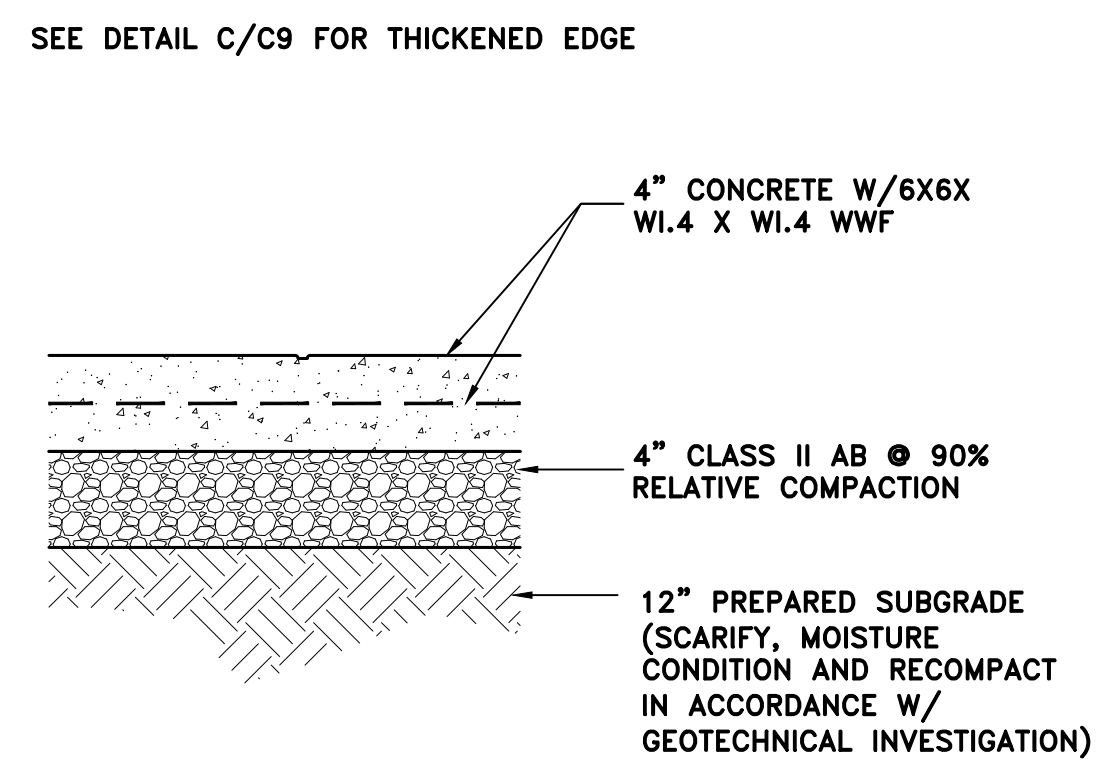
E CLEAN-OUT @ GRADE
C9 NTS



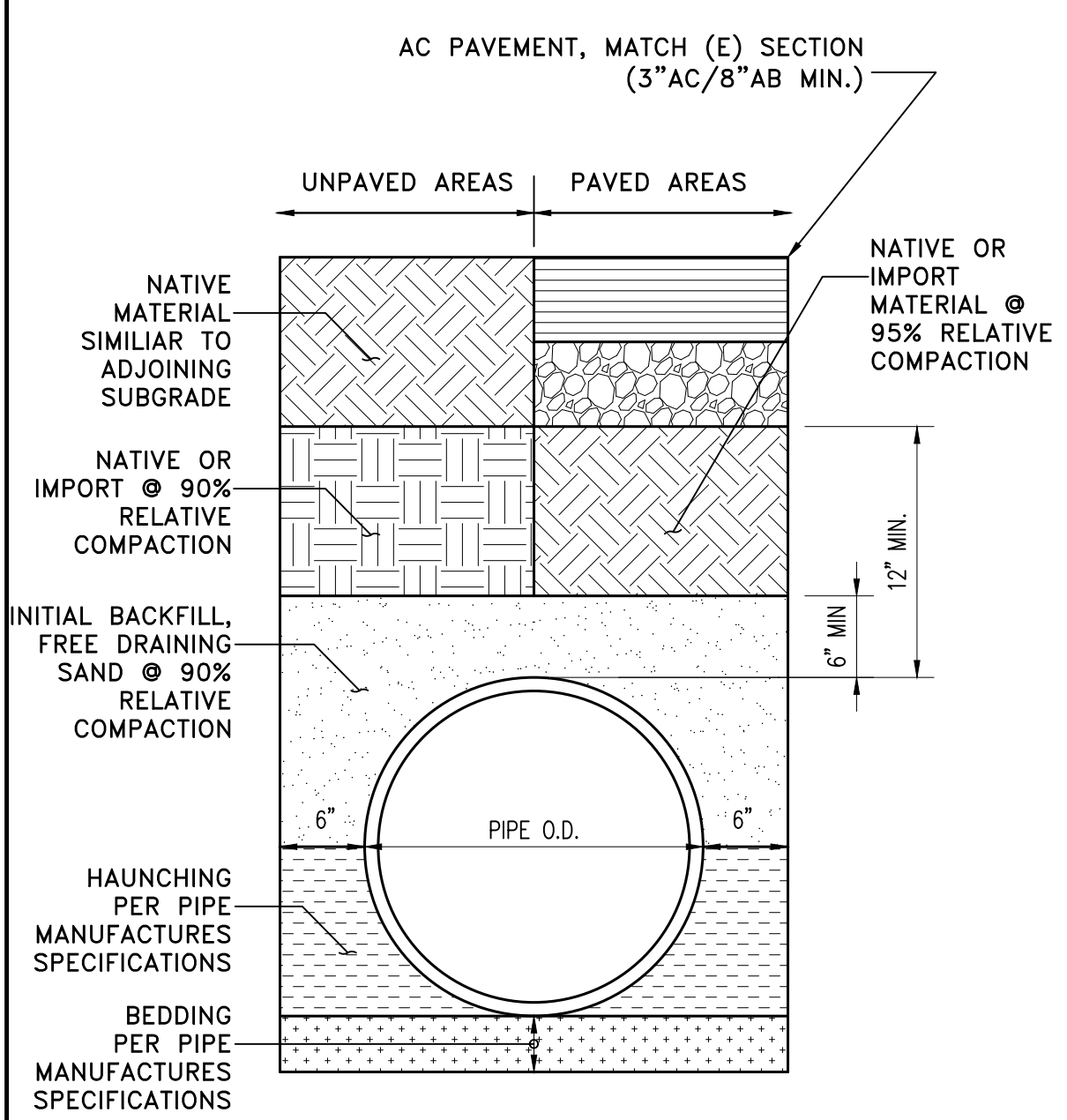
A A.C. PAVEMENT SECT.
C9 NTS



F RET. WALL SUBDRAIN
C9 NTS

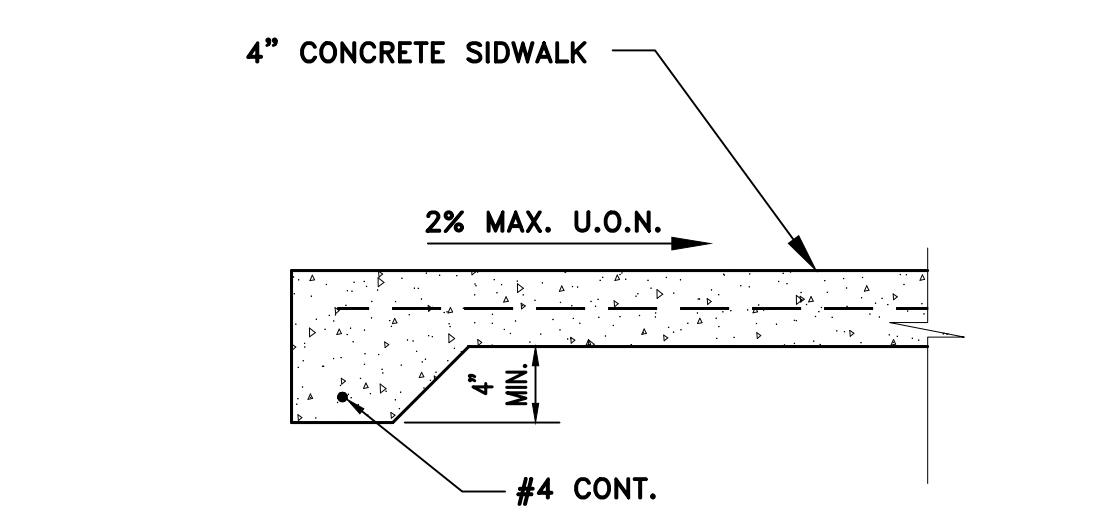


B CONCRETE PAVEMENT
C9 NTS

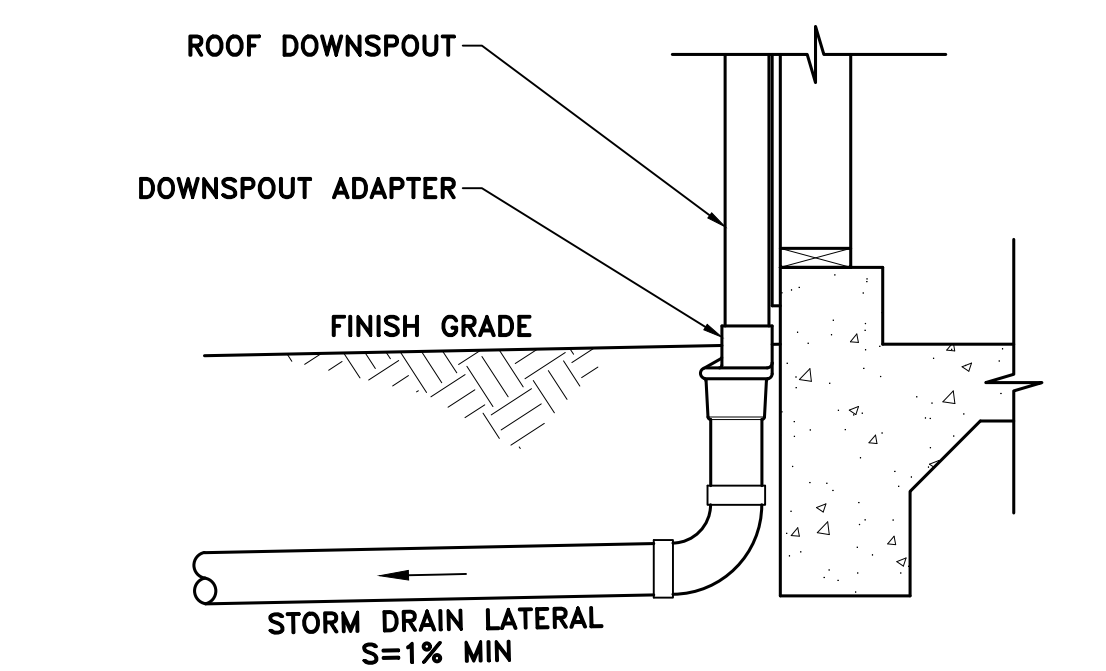


G TRENCH BACKFILL
C9 NTS

NOTES:
 1. BACKFILL MATERIAL TO BE PLACED IN 6" LIFTS MAX.
 2. COMPACTION SHALL BE ACHIEVED BY MECHANICAL MEANS OR HAND TAMPING. NO JETTING OR FLOODING



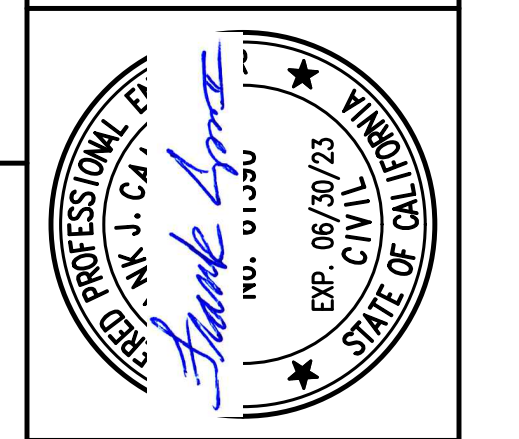
C THICKENED EDGE
C9 NTS



D ROOF DRAIN CONNECTION
C9 NTS

REV.	DATE	DESCRIPTION
C3		BY

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 INCORPORATED
 Civil Engineering, Land Development,
 Stormwater Management
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 Phone: (931) 647-1192 Fax (931) 647-1194
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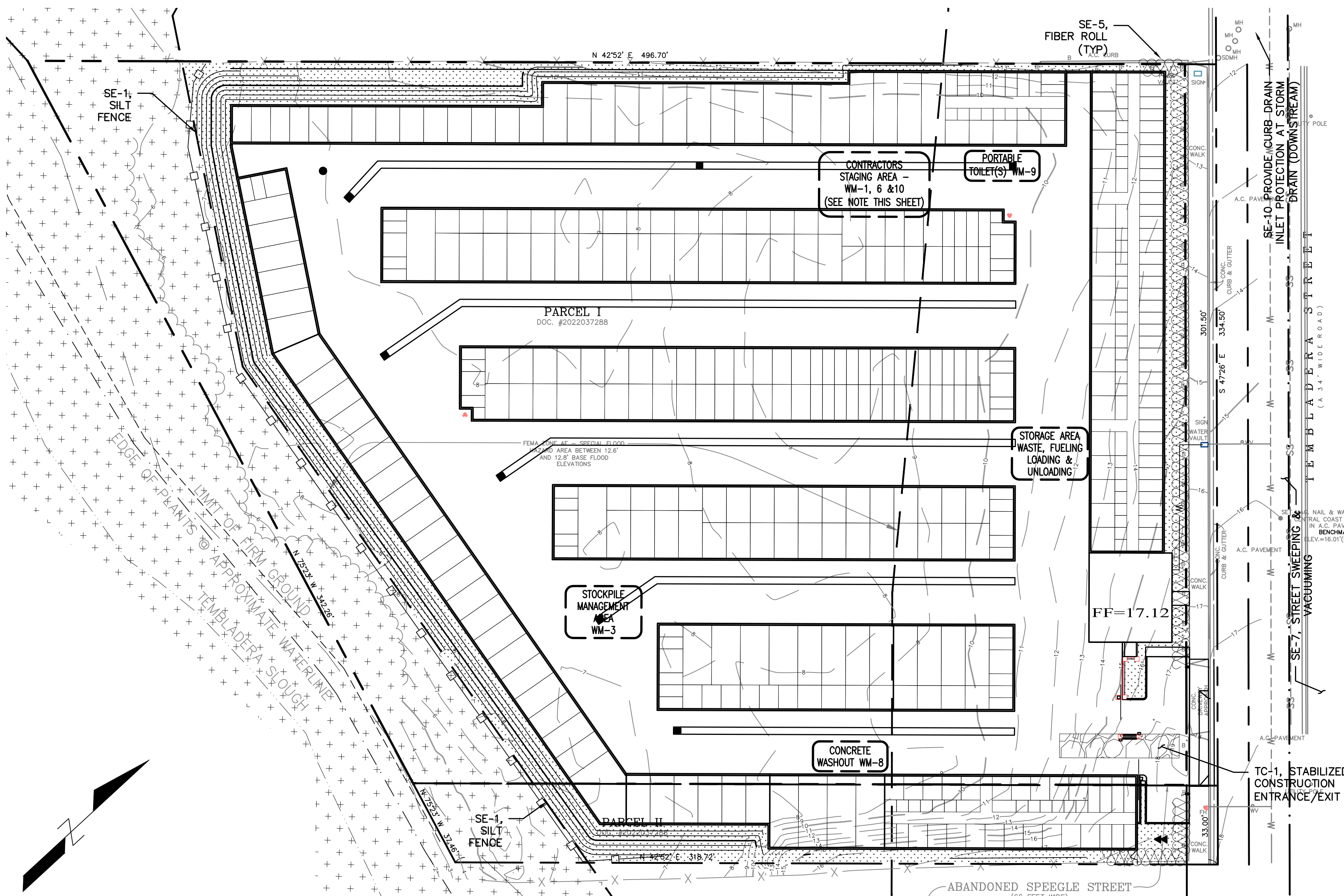


SECTIONS & DETAILS

**CASTROVILLE
 MINI STORAGE**
 APN# 030-156-002-000
 Project Location: 10520 TEMBLADERA ST., CASTROVILLE, CA 95012
 PREPARED FOR: CHERNUS

SCALE: AS NOTED
 DATE: 02/14/2023
 DESIGN BY: FJC
 DRAWN BY: ECH
 CHECKED BY: FJC
 SHEET NUMBER: C5
 OF 11 SHEETS
 PROJECT# 122171

Drawing file: Z:\Projects\122171_Cernus - Self Storage\DWG\122171_08base.dwg
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EROSION CONTROL PLAN
 1" = 30'
 Scale 1" = 30'

INSPECTIONS

PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.

 DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

 PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

 PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (RMA-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.

BMP'S

- | | |
|---|--|
| EROSION CONTROL:
EC-1 SCHEDULING
EC-2 PRESERVATION OF EXISTING VEGETATION
EC-3 HYDRAULIC MULCH
EC-4 HYDROSEEDING
EC-8 WOOD MULCHING
EC-16 NON-VEGETATIVE STABILIZATION

SEDIMENT CONTROL:
SE-1 SILT FENCE
SE-2 SEDIMENT BASINS
SE-3 SEDIMENT TRAP
SE-5 FIBER ROLL
SE-6 GRAVEL BAG BERM
SE-7 STREET SWEEPING AND VACUUMING
SE-8 GRAVEL BAG BARRIER
SE-9 STRAW BALE BARRIER
SE-10 STORM DRAIN INLET PROTECTION
SE-13 COMPOST SOCKS AND BERMS
SE-14 BIOFILTER BAGS

TRACKING CONTROL:
TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC-3 ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL:
WE-1 WIND EROSION CONTROL | NON-STORM WATER MANAGEMENT:
NS-1 WATER CONSERVATION PRACTICES
NS-2 DENATURING OPERATIONS
NS-3 PAVING AND GRINDING OPERATIONS
NS-8 ILLUOT CONNECTION/DISCHARGE
NS-7 POTABLE WATER/IRRIGATION
NS-8 VEHICLE AND EQUIPMENT CLEANING
NS-9 VEHICLE AND EQUIPMENT FUELING
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
NS-12 CONCRETE CURING
NS-13 CONCRETE FINISHING
NS-14 MATERIAL AND EQUIPMENT USE

WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL:
WM-1 MATERIAL DELIVERY AND STORAGE
WM-2 MATERIAL USED
WM-3 STOCKPILE MANAGEMENT
WM-4 SPILL PREVENTION AND CONTROL
WM-5 SOLID WASTE MANAGEMENT
WM-6 HAZARDOUS WASTE MANAGEMENT
WM-7 CONTAMINATED SOIL MANAGEMENT
WM-8 CONCRETE WASTE MANAGEMENT
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
WM-10 LIQUID WASTE MANAGEMENT

REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS. SWPPP W01/3 27C388665 |
|---|--|

LEGEND

- | | |
|---|--|
| INLET PROTECTION, (SEE D/C11)

PROPOSED DRAINAGE FLOW

FIBER ROLL (SEE A/C11)

SILT FENCE (SEE F/C11) | |
|---|--|

EROSION CONTROL NOTES

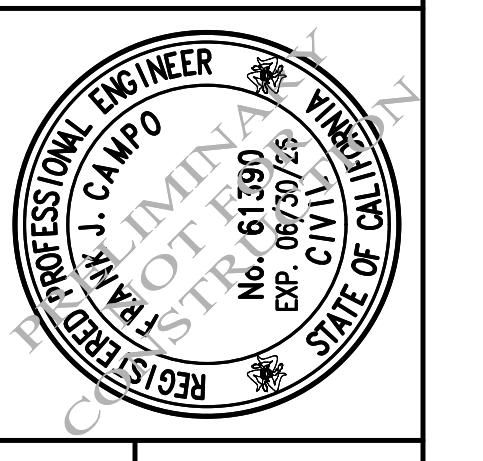
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
 THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDING OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15TH AND APRIL 15TH), THE FOLLOWING MEASURES MUST BE TAKEN:
 - VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
 - THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
- IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF OPERATION, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
- SOIL COMPACTION FOR AREAS THAT WILL REMAIN PEROUS OR ARE TO BE USED FOR STORMWATER CONTROL MEASURES (SCM) SHALL BE MINIMIZED.
- ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND OR COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS SHALL BE PROTECTED WITH EFFECTIVE SOIL COVER.
- SOIL STOCKPILES AREAS SHALL BE PROTECTED AGAINST EROSION.

EROSION CONTROL NOTES

- ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL BE CONTROLLED.
 - ALL NON-STORM WATER DISCHARGES SHALL BE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED.
 - SITE BMPs SHALL BE IMPLEMENTED TO REDUCE OR ELIMINATE POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
 - BEST MANAGEMENT PRACTICES (BMPs) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPs SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.
 - DETAILED, SITE-SPECIFIC LISTING OF POTENTIAL SOURCES OF STORMWATER POLLUTION IS PROVIDED IN THE STORMWATER CONTROL PLAN AND OR THE SWPPP.
 - ACCESS ROADS SHALL BE CLEANED (SWEEPED) DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
 - DUMPSTERS SHALL BE COVERED NIGHTLY AND PROTECTED FROM RAIN AND SHALL HAVE SECONDARY CONTAINMENT.
- THE FOLLOWING STANDARD BMPs SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:
- PAINTING:**
- MINIMIZE USE OF OIL-BASED PAINTS
 - STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED CONTAINER.
 - SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE.
 - NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.
- PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE:**
- STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND.
 - CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
 - IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE.
 - ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.
- READY-MIXED CONCRETE:**
- HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY-MIX TRUCK.
 - IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE DEPRESSION.
 - PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION.
 - ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR TREATMENT/RECYCLING.
 - BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.
- EARTH MOVING/GRADING:**
- REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.
 - PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN
 - PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA HANDBOOK.
 - USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS.
 - COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
 - SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

NO.	DATE	DESCRIPTION
1	12-04-23	Planning Comments (11-15-2023)

C3 ENGINEERING INCORPORATED
 Civil Engineering Land Development
 Stormwater Management
 126 Bonifacio Place, Suite C, Monterey, CA 93940
 Phone: (831) 647-1192 Fax (831) 647-1194
 mail@C3Engineering.net



EROSION AND SEDIMENT CONTROL PLAN
CASTROVILLE MINI STORAGE
 APN# 030-156-004-000
 Project Location: 10520 TEMPLADERA ST., CASTROVILLE, CA 95012
 PREPARED FOR: CERNUS

RESPONSIBLE PARTY CONTACT INFO

CONTRACTOR:	CONTRACTOR
QSD:	FRANK CAMPO, C3 ENGINEERING, INC 831-647-1192
QSP:	
LRP:	LRP
WDD:	

SCALE:	AS NOTED
DATE:	02/14/2023
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	
OF 8 SHEETS	
PROJECT#	122171

MADE IN THE USA

CONSTRUCTION MANAGEMENT PLAN

CONTACT(S):
OWNER - CASTROVILLE SELF STORAGE, LLC
CONTRACTOR - TO BE DETERMINED

CONSTRUCTION VEHICLES:
ANTICIPATED CONSTRUCTION VEHICLES FOR PROJECTS SIMILAR IN NATURE WILL CONSIST OF DUMP TRUCKS, BACKHOES, FORKLIFT, CONCRETE TRUCKS, PICK-UP TRUCKS AND CARS DURING GENERAL CONSTRUCTION.

PROJECT SCHEDULING & GRADING ACTIVITY:
THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS. FOR THE FIRST 30 DAYS, DURING GRADING ACTIVITIES, THERE MAY BE OVER 12 TRUCKLOADS PER DAY AND OVER 200 YARDS OF EARTHWORK PER DAY.

HOURS OF OPERATION:
THE HOURS OF OPERATION FOR OUTDOOR CONSTRUCTION WILL BE FROM 8:00 AM TO 5:00 PM; MONDAY THROUGH FRIDAY AND FROM 9:00 AM TO 5:00 PM ON SATURDAY. NO CONSTRUCTION WILL TAKE PLACE ON SUNDAYS.

PROJECT SCHEDULING:
THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS.

PRESERVATION OF EXISTING VEGETATION:
MINIMIZING LIMITS OF DISTURBANCE AND PRESERVING EXISTING TREES AND VEGETATION IS A PRIORITY. DISTURBED AREAS WILL BE RECLAIMED AS SOON AS PRACTICAL WITH THE SAME SOILS AND VEGETATION AS EXISTED PRIOR TO THE DISTURBANCE. IT IS IN EVERYONE'S INTEREST THAT THE PROPERTY BE AS ATTRACTIVE AS POSSIBLE AND THAT DISTURBED AREAS BE RECLAIMED TO NATURAL CONDITIONS AS SOON AS POSSIBLE.

MATERIAL AND EQUIPMENT STAGING AND STORAGE:
CONSTRUCTION IS EXPECTED TO USE JUST-IN-TIME MATERIALS DELIVERIES, MINIMIZING INVENTORY AND RE-HANDLING COSTS. EQUIPMENT AND MATERIAL STORAGE WILL BE EITHER 1) DIRECTLY WITHIN THE HOME OR 2) IN CLOSE PROXIMITY TO THE HOME. PLEASE ALSO SEE THE EROSION CONTROL PLAN SHEET C6 ON THE CIVIL PLANS.

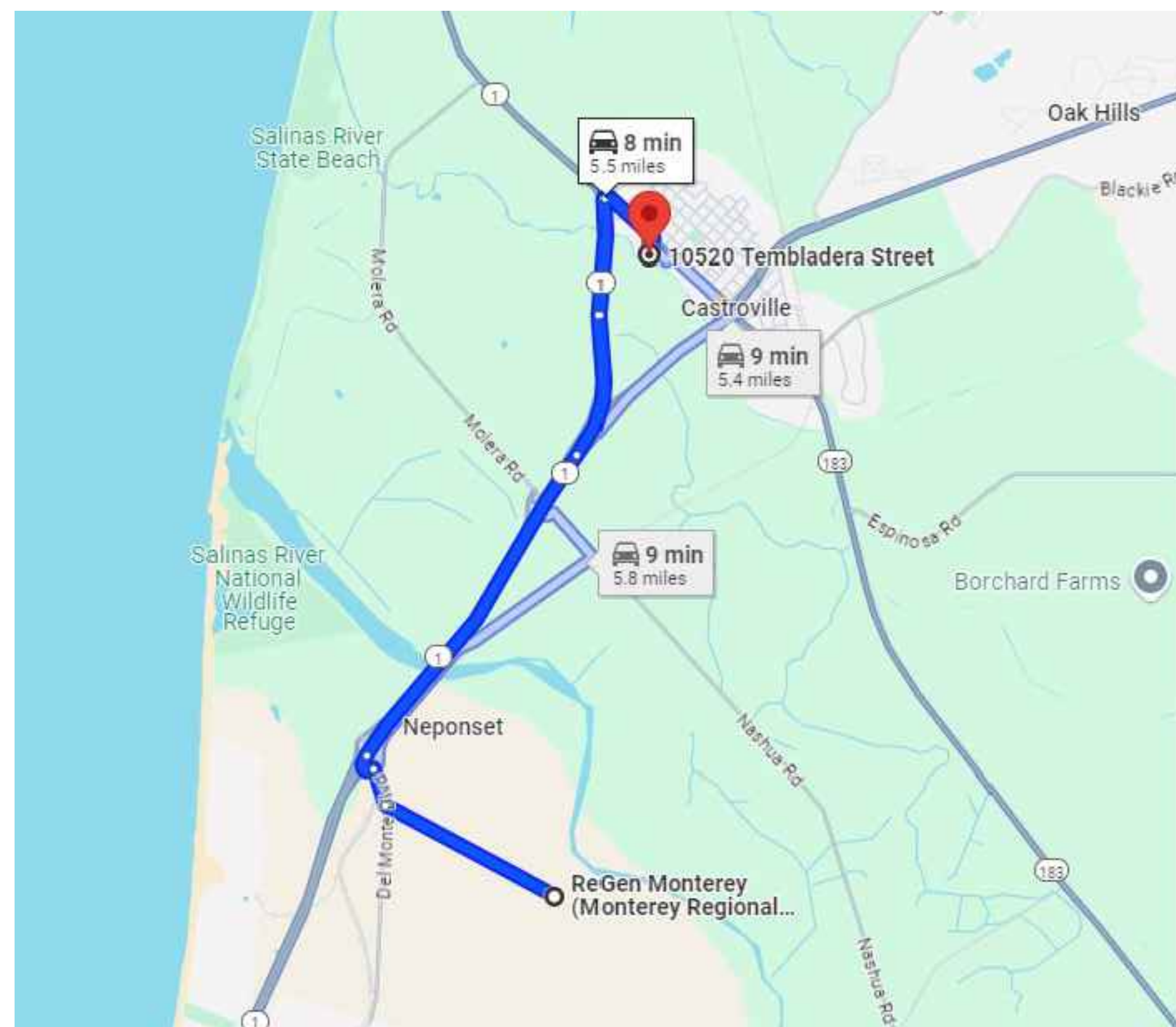
CONSTRUCTION TRAFFIC:
CONSTRUCTION ACTIVITY WILL BE CONTROLLED THROUGH ONE ACCESS POINT TO THE PROPERTY. CONSTRUCTION WORKERS AND MATERIALS WILL COME BY WAY OF HIGHWAY 68 (FROM MONTEREY AND/OR SALINAS) TO THE INTERSECTION OF CANYON DEL REY BOULEVARD (218) AND MONTERA ROAD. TAKE MONTERA ROAD. TRAVEL APPROXIMATELY 0.5 MILE VEERING TO THE RIGHT TO MONTERA RANCH ROAD. TRAVEL APPROXIMATELY 0.5 MILE TO PASO VISTA. MAKE A RIGHT ON PASO VISTA AND TRAVEL APPROXIMATELY 0.05 MILE TO PASO VISTA PLACE. MAKE A RIGHT ON PASO VISTA PLACE APPROXIMATELY 0.1 MILE TO THE PROJECT SITE. PROJECT SITE IS ON THE LEFT. LEAVE THE SITE BY WAY OF ENTERING THE PROJECT SITE. IN ORDER TO PREVENT MUD OR DEBRIS TRACKING ON PUBLIC & PRIVATE ROADS, CLEAN GRAVEL OR RUMPLE PLATES WILL BE PLACED AT THE ACCESS POINTS TO THE PROPERTY. SEE EROSION CONTROL PLAN SHEET C6 FOR DETAILS. SIGNS WILL BE PLACED TO THE NORTH AND SOUTH OF THE ENTRANCES ADVISING OF CONSTRUCTION TRAFFIC, SPEED LIMITS AND APPROPRIATE CAUTIONS AND WARNINGS. SEE VICINITY MAP FOR TRAFFIC ROUTE.

GRADING AND EROSION CONTROL:
AN APPROVED GRADING AND EROSION CONTROL PLAN WILL BE IMPLEMENTED PRIOR TO BEGINNING EXCAVATION. MEASURES WILL BE REVIEWED ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL EVENTS.

PARKING:
PRINCIPLE EMPLOYEES AND SUBCONTRACTOR PARKING WILL BE LOCATED ONSITE AT THE DESIGNATED PARKING AREAS.

ON-SITE FACILITIES:
CONSTRUCTION TOILETS/PORTA-POTTIES WILL BE PLACED AROUND THE CONSTRUCTION SITE TO PROVIDE ACCESS TO ALL WORKERS. FACILITIES WILL BE RELOCATED AS NEEDED TO PROVIDE REASONABLE ACCESS.

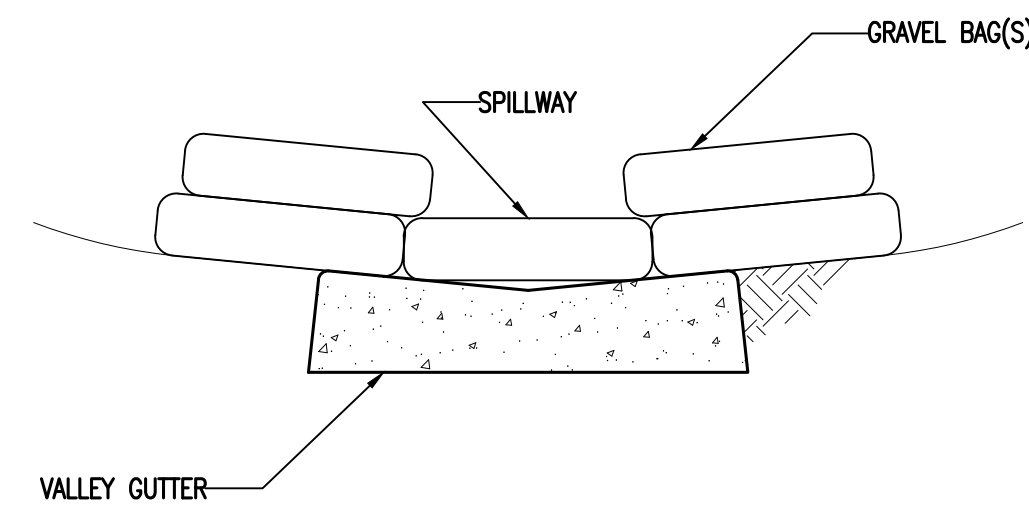
SIGNAGE:
ALONG WITH THE HOURS OF OPERATION AND CONSTRUCTION TRAFFIC SIGNAGE, NAME AND PHONE NUMBERS FOR THE ON-SITE PERSON RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION MANAGEMENT PLAN WILL BE DISPLAYED ON JOBSITE SIGNS ALONG WITH NOTICES AND JOBSITE RULES.



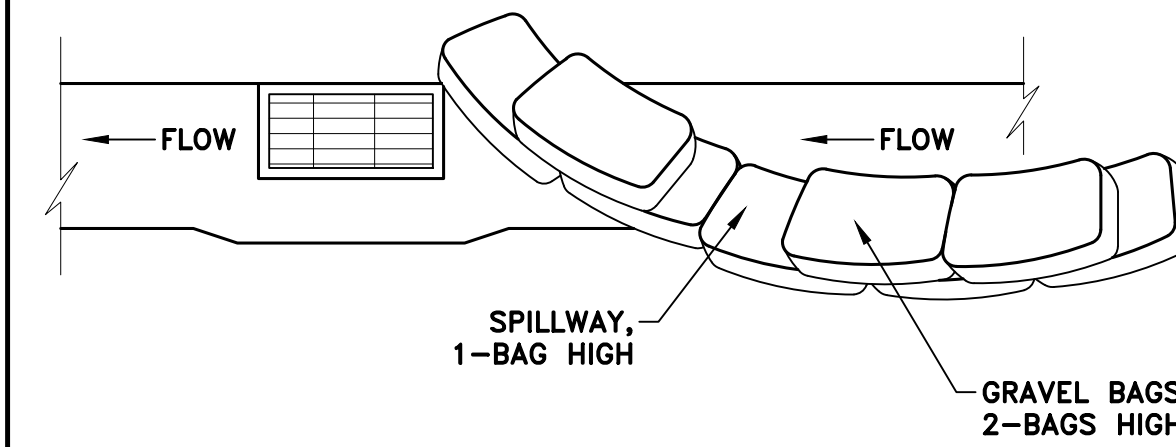
HAUL ROUTE

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H
C11 **GRAVEL BAG CHECK DAM**
NTS

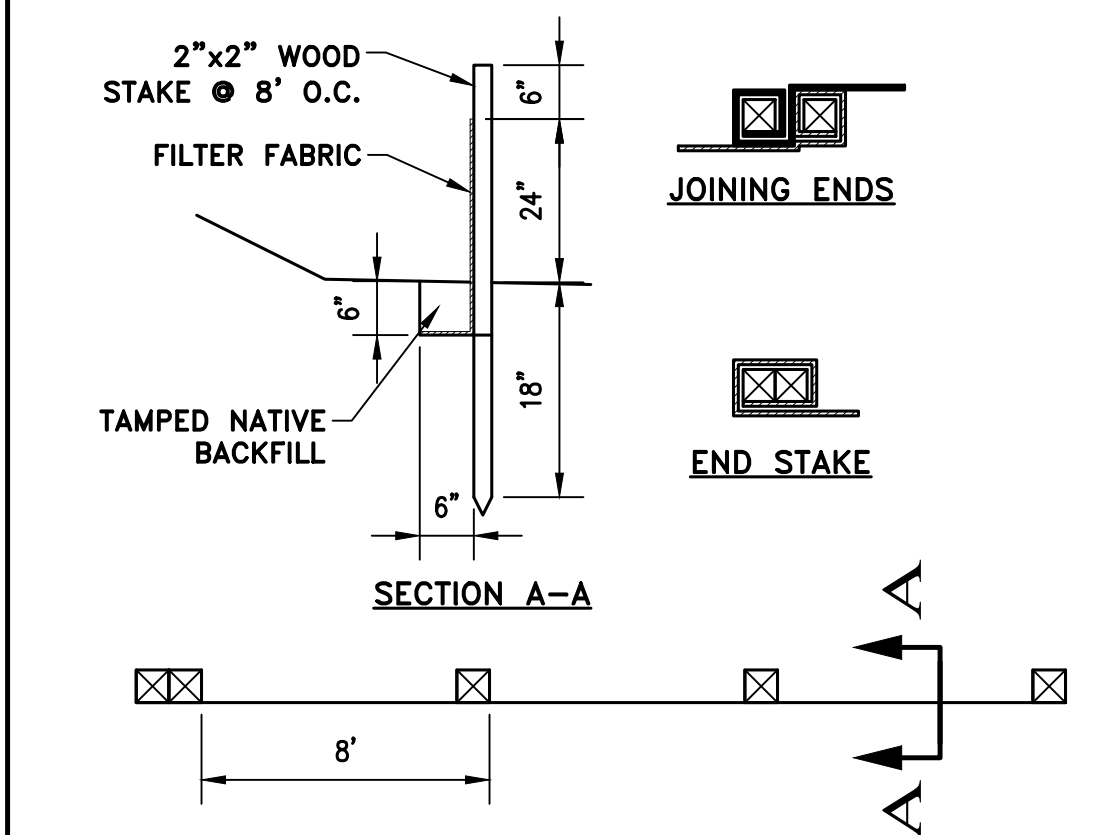


D
C11 **DROP INLET PROTECTION**
NTS

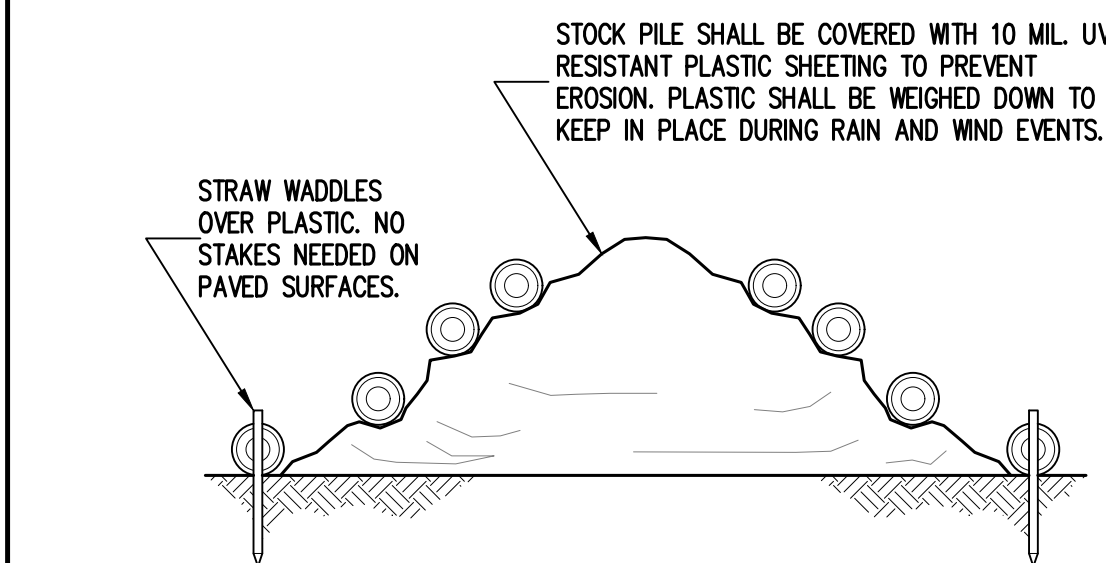


NOTES:
1. INTENDED FOR SHORT-TERM USE.
2. USE TO INHIBIT NON-STORM WATER FLOW.
3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETE.
5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

E
C11 **CURB INLET PROTECTION**
NTS

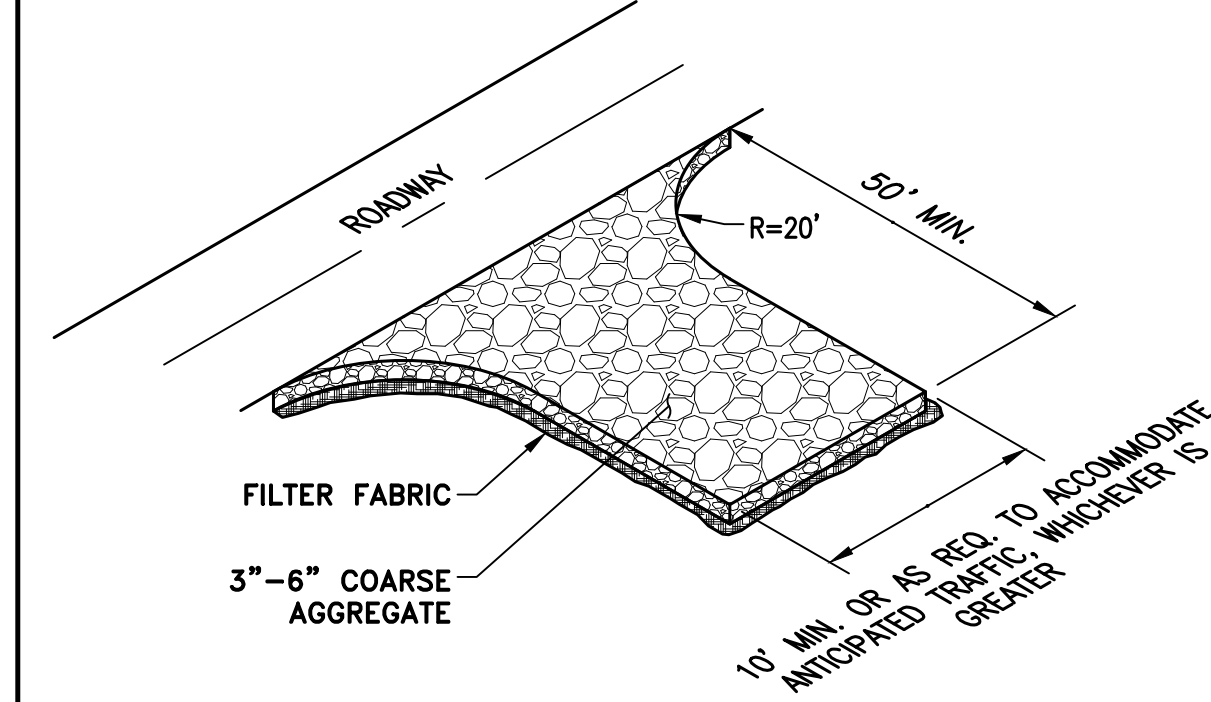


F
C11 **SILT FENCE**
NTS

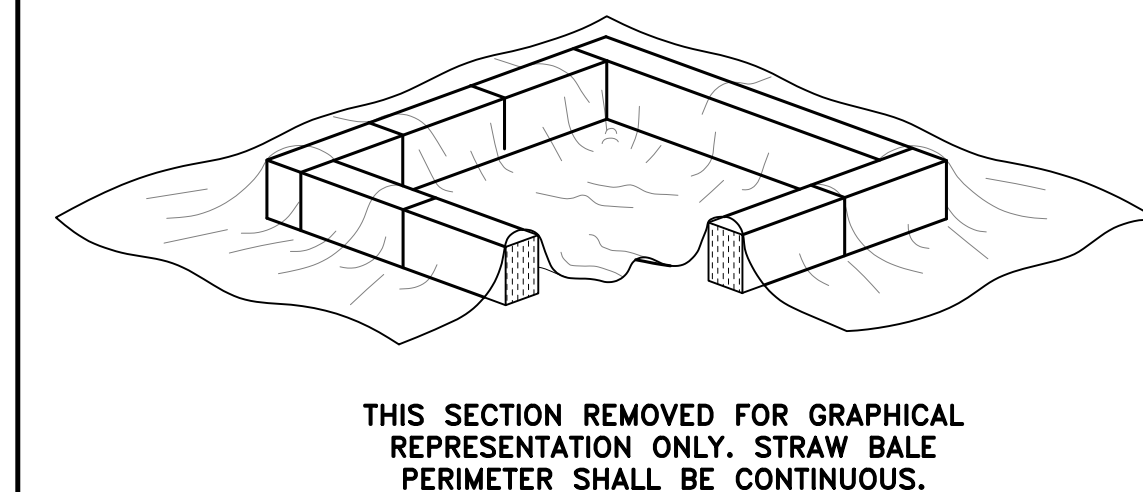
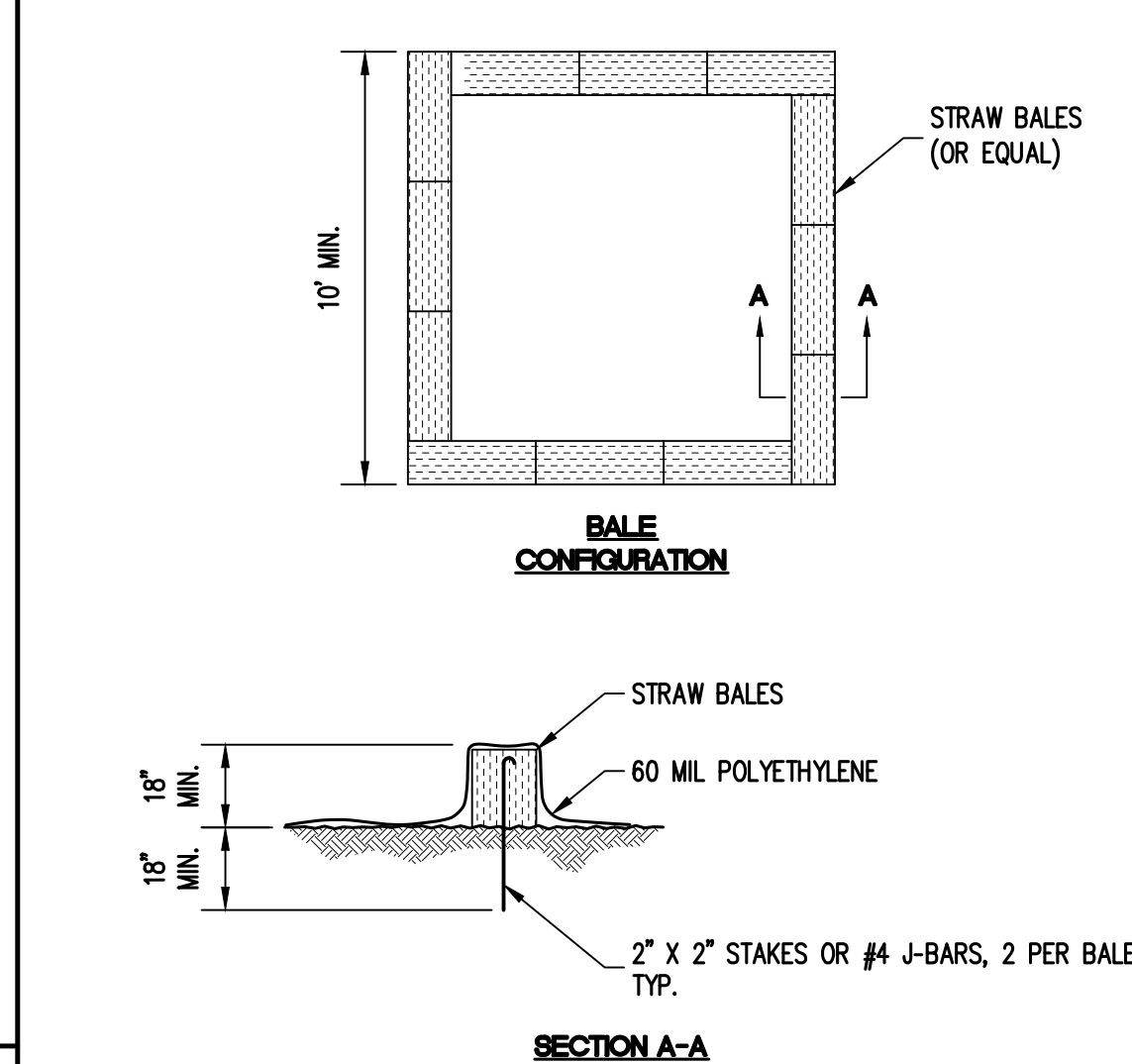


G
C11 **STOCK PILE COVERING**
NTS

A
C11 **FIBER ROLL**
NTS



B
C11 **STABILIZE ENTRANCE**
NTS



NOTES:
1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES

C
C11 **CONCRETE WASHOUT**
NTS

C3 ENGINEERING INCORPORATED
Civil Engineering, Land Development, Stormwater Management
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mailto:C3Engineering.net

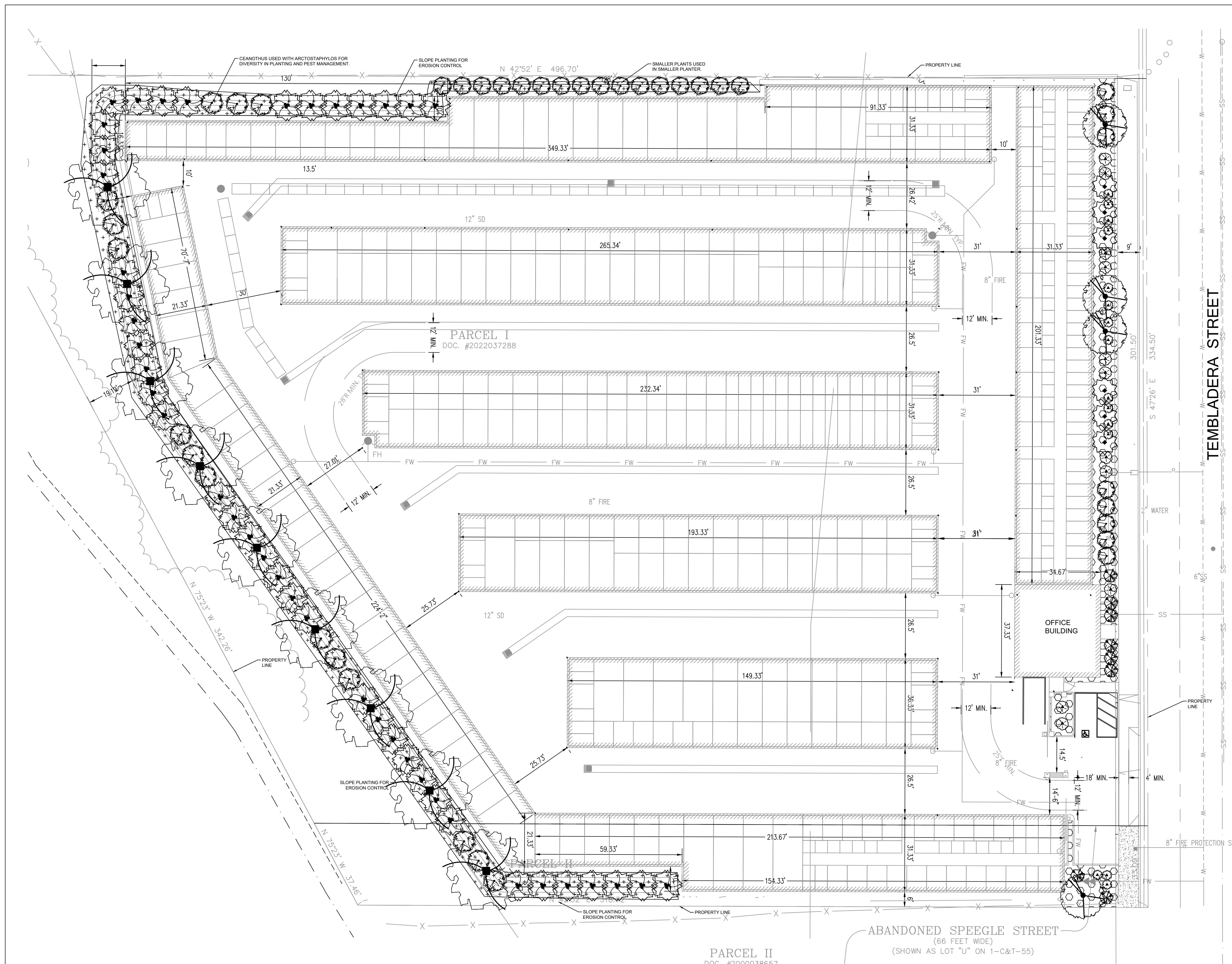
REGISTERED PROFESSIONAL ENGINEER
J. CAMPO
No. 61390
Exp. 06/30/25
STATE OF CALIFORNIA
CIVIL

EROSION AND SEDIMENT CONTROL PLAN DETAILS
CASTROVILLE MINI STORAGE
APN# 030-156-004-000
Project Location: 10520 TEMBLADERA ST., CASTROVILLE, CA 95012
PREPARED FOR: CHERNIUS

SCALE:	AS NOTED
DATE:	02/14/2023
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

C8
OF 8 SHEETS
PROJECT# 122171

MADE IN THE USA



PLANT KEY

TREES

TOTAL TREES: 19

	Acer rubrum 'Franksred' Red Sunset Maple Deciduous, mod. water fast growth to 35'h x 35'w, cut leaves with 3-5 lobes green turn brilliant orange-red early fall. Tolerates acidic, clay & wet soil, fire wise.	QTY: 9 15 GAL.
	Cercis occidentalis Western Redbud Deciduous, low water, sun to part shade, multi-trunked to 10-18'h x 18'w, handsome blue-green leaves turns yellow or red in fall, magenta spring flowers. Drought tolerant.	QTY: 4 15 GAL.
	Prunus caroliniana 'Bright & Tight' Bright N' Tight Carolina Laurel Evergreen tree or large shrub, mod. water, partial to full sun, compact, densely branched to 10'h x 8'w, shiny deep green leaves, showy clusters of white flowers in spring. Low maint. screen.	QTY: 6 15 GAL.

SHRUBS

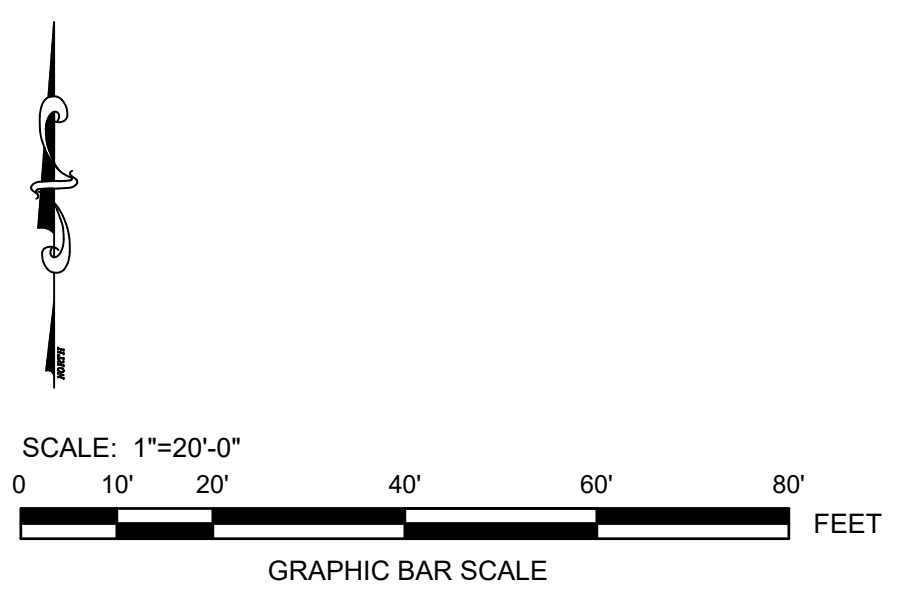
TOTAL SHRUBS: 115

	Arctostaphylos hookeri 'Monterey Carpet' Monterey Carpet Manzanita Evergreen, low water, sun to part shade, spreading mounding growth to 1'h x 12'w, small glossy green leaves turn bronze in winter, abundant white to pinkish flowers winter, with glossy red fruit. Drought tolerant, Calif. native, coastal conditions, tolerates wet & poor soil, deer resistant.	QTY: 42 5 Gallon
	Arctostaphylos Uva Ursi 'Massachusetts' Massachusetts Kinnikinnick Evergreen, low water, full sun-part shade, prostrate compact growth to .5-1'h x 3-6'w, small medium-dark green leaves turn bronze in winter, abundant white to pinkish flowers late spring-summer, red fruit in winter. Tolerates drought coastal conditions, wet & poor soil, native.	QTY: 15 5 Gallon
	Ceanothus griseus 'horizontalis' 'Yankee Point' Yankee Point Ceanothus Evergreen, low water, stiff upright growth to 2-3'h x 8-10'w, glossy green leaves, abundant blue flowers, spring. Drought tolerant, deer resistant.	QTY: 39 5 Gallon
	Grevillea longifera 'Coastal Gem' Coastal Gem Grevillea Evergreen, low water, spreading compact growth to 1-2'h x 4-5'w, soft texture green leaves, pink and white flowers throughout the year. Full sun, drought tolerant coastal conditions attracts hummingbirds.	QTY: 8 5 Gallon
	Pieris japonica 'Fire N Ice' Fire N Ice Lily of the Valley Evergreen, mod. water, acid soil, part shade, slow compact growth to 5'h x 5'w, new growth scarlet and green foliage edged in white in summer, showy white flowers in spring. Low maintenance, specimen, needs good drainage, to -10'.	QTY: 11 5 Gallon

GROUNDCOVER

	DECOMPOSED GRANITE: 3" LAYER, TAN, MECHANICALLY COMPACTED AND STABILIZED. NO WEED BARRIER FABRIC	2,780 SQ. FT.
	SLOPE EROSION CONTROL BLANKET: NORTH AMERICAN GREEN S-150. INSTALL PER MANUFACTURER INSTRUCTIONS.	7,205 SQ. FT.

TOTAL LANDSCAPE AREA (SQ. FT.): 9,985



LANDSCAPE MAINTENANCE SCHEDULE

A REGULAR SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL INCLUDE THE FOLLOWING:

- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT, RESETTING THE AUTOMATIC CONTROLLER, REPLENISHING MULCH, FERTILIZING, PRUNING AND WEEDING IN ALL LANDSCAPE AREAS.
- WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS

PLANTING PLAN NOTES

- PLANTING DESIGN INTENT: THE DESIGN INTENT WAS TO USE DROUGHT TOLERANT PLANTS THAT HAVE PROVEN TO BE SUCCESSFUL IN THIS CLIMATE. A COMBINATION OF DECIDUOUS AND EVERGREEN PLANTS HAVE BEEN USED ALONG WITH PLANTS THAT PROVIDE SEASONAL COLOR WITH THEIR FLOWERS AND FOLIAGE. MULCH WAS USED AS A GROUNDCOVER TO HELP THE SOIL RETAIN IT'S MOISTURE AND PROVIDE A CLEAN LOOK WHICH IS LOW IN WATER USE AND EASY TO MAINTAIN. LOW WATER USE NATIVE PLANTS WERE USED TO STABILIZE THE SLOPE.
- FINAL ADJUSTMENTS WILL BE MADE ON THE SITE AT THE TIME OF INSTALLATION. THEY WILL BE MADE TO CARRY OUT THE INTENT OF THE DESIGN AND TO AVOID ANY CONFLICTS NOT SHOWN ON THIS PLAN.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION.
- SEE SHEET L.1.0 FOR LANDSCAPE GENERAL NOTES AND LANDSCAPE AREA.
- SEE SHEET L.1.1 FOR WATER USE CALCULATION.
- SEE SHEET L.4.1 FOR DETAILS AND ADDITIONAL NOTES.

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MONTEREY COUNTY

LANDSCAPE ARCHITECT:

 917
 LANDSCAPE ARCHITECT CA #4223, OR #683
 16340 LOWER HARBOR ROAD
 SUITE 1 #337
 BROOKINGS, OR 97415
 MOBILE: (661) 256-4261
 EMAIL: sue.mathis.landscape@gmail.com



REVISIONS

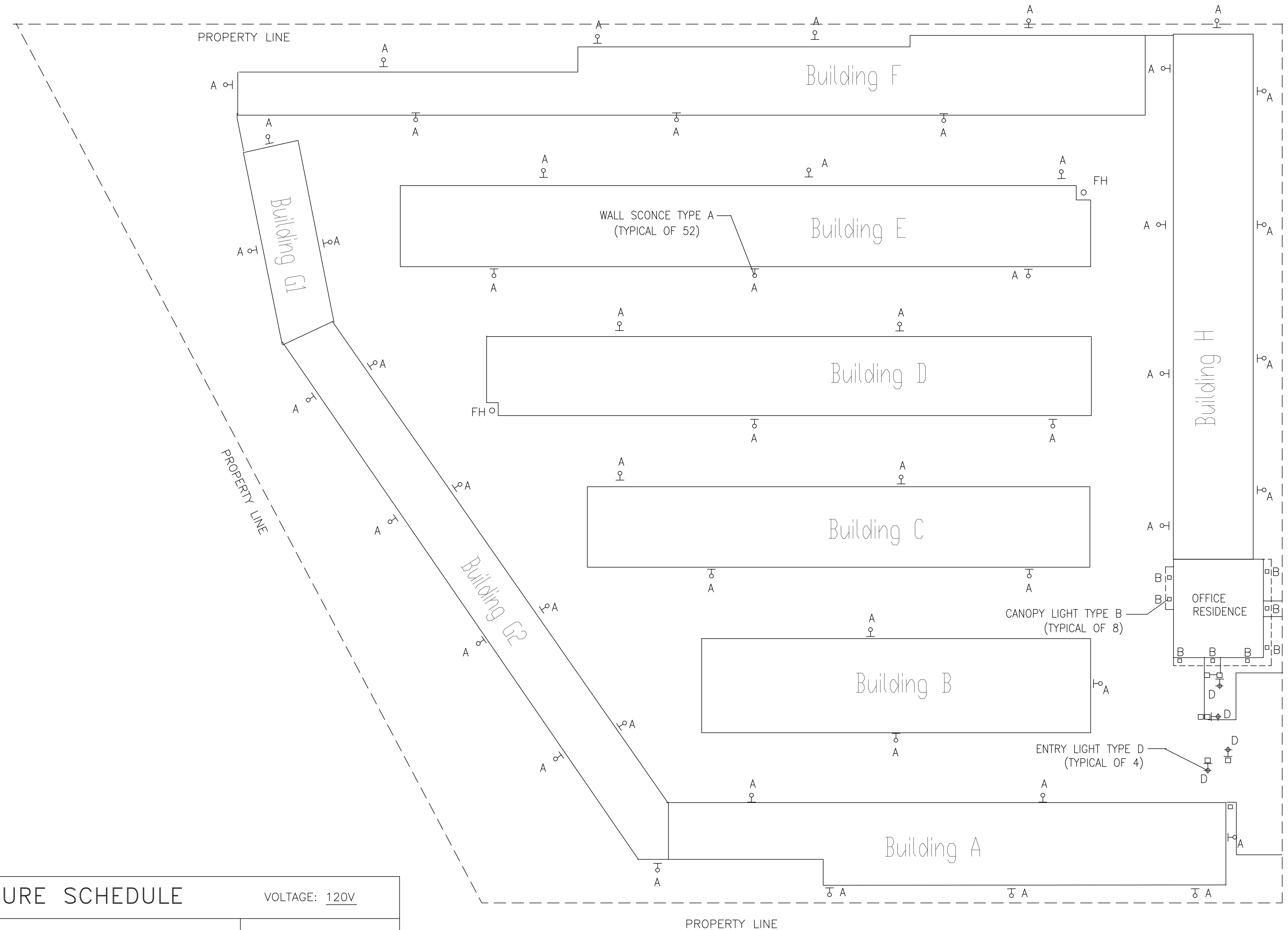
OWNER/DEVELOPER:
 BARBARA CHERNUS FRENCH
 Phone: (858) 353-3344
 EMAIL: bchernusm@gmail.com

PROJECT:
**CASTROVILLE
 MINI STORAGE**
 10520 TEMBLADERA STREET
 CASTROVILLE, CA 95012

APN: 030-156-000

SHEET TITLE:
**PLANTING
 PLAN**

Project No.: 917
 Date: 10-1-2024
 Checked: SMM
 Drawn: SMM
 CAD File:
 917-Castroville Mini Storage
SHEET
L-2.1
 3 OF 5 SHEETS

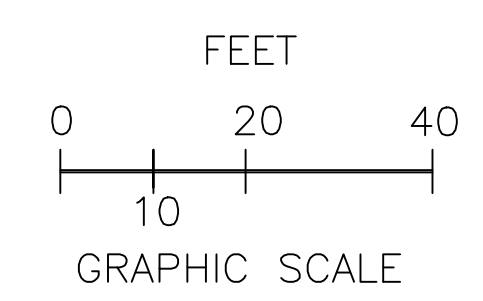


LIGHT FIXTURE SCHEDULE

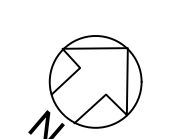
VOLTAGE: 120V

TYPE	SYM	VIEW	INPUT WATTS	LAMP TYPE	VENDOR	DESCRIPTION	REMARKS
A	⊕		47	LED	LITHONIA OR EQUAL	WALL SCONCE, 9"H X 12"W X 2"D, MOTION AMBIENT SENSOR, BRONZE, AT +9 FT. AFG	CAT. WDGE2 LED P4 40K 80CRI TFTM DDBXD
B	□		52	LED	LITHONIA OR EQUAL	CANOPY LUMINAIRE, LED, FROSTED LENS, 10" SQUARE 6600 LUMENS, WET LABEL, BRONZE, CEILING MOUNTED	CAT. CNY LED P2 50K MVOLT DDB
C						DELETED	
D	⊕		13	LED	LITHONIA OR EQUAL	ENTRY LIGHT, LED, POST MOUNTED AT GATE KEYPAD 6"H X 6"W X 2"D, BRONZE, PHOTOCELL CONTROLLED	CAT. WPX0 3000K 850L ALO MVOLT

SITE LIGHTING PLAN



SCALE: 1"=20'



E. MICHAEL LOUDEN, P.E.
CONSULTING ELECTRICAL ENGINEER
2309 21ST STREET, BAKERSFIELD, CA. 93301
PH 661-304-3324; EMAIL: MLOUDEN@BAK-RR.COM

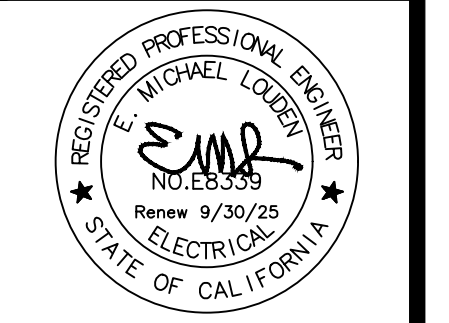
CASTROVILLE SELF STORAGE, LLC
10520 TEMPLADERA STREET
CASTROVILLE, CA. 95012

SITE LIGHTING PLAN

DATE	REVISION
11/22/23	REVIEW SUBMITTAL
11/28/23	REVIEW CHANGES
01/26/24	LIGHT CHANGES

DATE	MARK	ISSUED

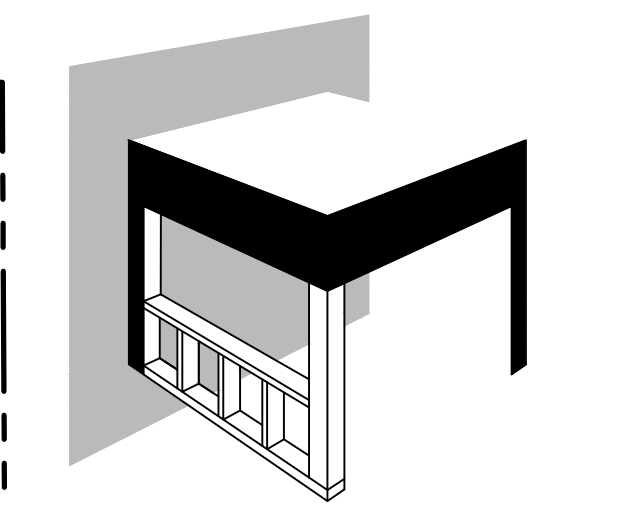
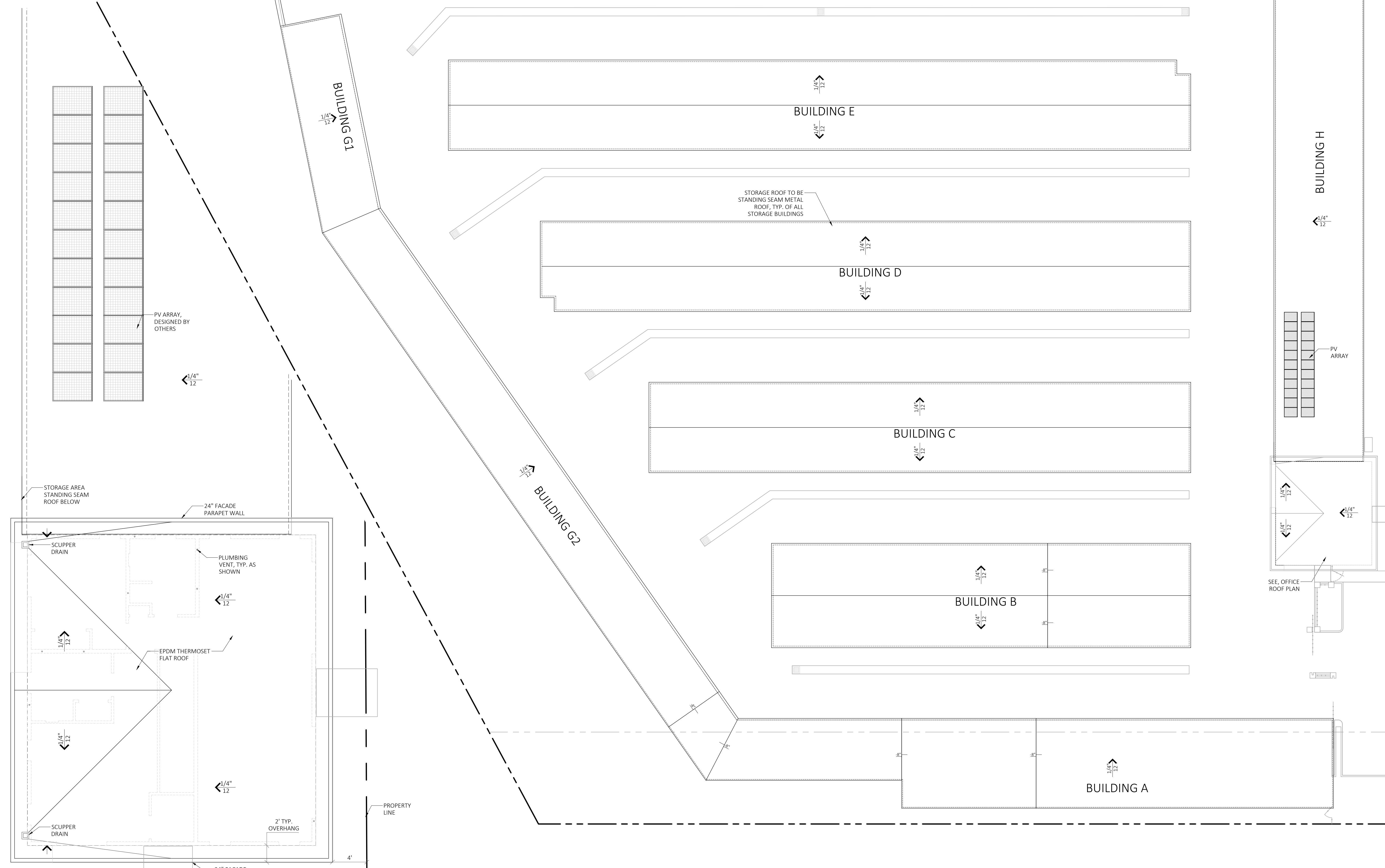
DWG. BY	EML
CHK'D BY	MC/BF
DATE	11-08-23
JOB NO.	2311-02
FILE NO.	




SHEET
E-1
OF 1 SHEET

ROOF NOTES

1. OFFICE ROOF
 - 1.1. ROOF MATERIAL - CLASS 'A' EPDM THEROSET FLAT ROOF
 - 1.2. ROOF SLOPE: 1/4" PER FOOT UNLESS OTHERWISE NOTED
 - 1.3. OVERHANGS: 24" TYPICAL
 - 1.4. GUTTERS: ALUMINUM GUTTERS AND DOWNSPOUTS
 - 1.5. PLUMBING AND MECHANICAL VENTING: GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN THE LEAST VISIBLE LOCATIONS WHERE POSSIBLE
 - 1.6. ROOF ATTIC VENTING: NOT REQUIRED W/ CLOSED CELL SPRAY FOAM INSULATION
2. STORAGE ROOF
 - 2.1. ROOF MATERIAL - CLASS 'A' STANDING SEAM - COLOR LIGHT STONE
 - 2.2. SOLAR ARRAY: SOLAR PANELS TBD, DESIGN PROVIDED BY OTHERS



DESIGNER'S SIGNATURE:

 09/26/24

MEHRINGER CONSTRUCTION & DESIGN
 ADDRESS 481 WATSON ST #6 MONTEREY CA 93940
 LICENSE 893553
 PHONE 831-760-0275
 EMAIL MehringerDesign@gmail.com

CASTROVILLE SELF STORAGE, LLC
 ADDRESS 10520 TEMPLADERA STREET CASTROVILLE, CA 95012
 APN 030-156-004
 OWNER CASTROVILLE SELF STORAGE, LLC
 CONTACT PRESIDENT BARBARA FRENCH
 PHONE 858-353-3344
 EMAIL bchernusm@gmail.com

COUNTY APPROVAL STAMP:

SHEET TITLE: ROOF PLAN		
DRAWN BY: JASON MEHRINGER		
MARK	PHASE	DATE
	DESIGN APPROVAL	10-16-23
	BP SUBMITTAL	09-26-24

SHEET NUMBER:
A1.0

OFFICE ROOF PLAN
 SCALE: 3/16" = 1'-0"

STORAGE AREA ROOF PLAN
 SCALE: 3/16" = 1'-0"

LANDSCAPE AND IRRIGATION GENERAL NOTES

GENERAL IRRIGATION NOTES

NOTE: THESE NOTES ARE GENERAL AND NOT ALL ITEMS LISTED BELOW APPLY TO THE SITE. THEY ARE THERE FOR REFERENCE IF CHANGES OCCUR.

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, DRAWINGS, AND/OR CODE, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- IF THE SITE VARIES FROM THIS PLAN, NOTIFY THE OWNER'S AGENT IMMEDIATELY BEFORE PROCEEDING.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THE MAINLINE AND SLEEVING ARE DIAGRAMMATIC. ALL IRRIGATION LINES ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN LIMIT OF WORK BOUNDARIES. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, UTILITIES, PLANTING AND ARCHITECTURAL FEATURES.
- THE IRRIGATION EQUIPMENT AS SHOWN IS DIAGRAMMATIC. INSTALL ALL THE IRRIGATION EQUIPMENT IN SHRUB PLANTING AREAS WHEN FEASIBLE OR AS APPROVED BY OWNER'S REPRESENTATIVE.
- DO NOT FULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLAN WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD REVISIONS DEEMED NECESSARY BY THE OWNER.
- IT IS THE INTENT OF THIS DRAWING TO BE A COMPLETE IRRIGATION SYSTEM WITH NO ADDITIONAL EXPENSE TO THE OWNER. THIS INCLUDES ANY REQUIRED WATER AUDIT.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION. ACTUAL LOCATION FOR THE INSTALLATION OF ANCILLARY EQUIPMENT INCLUDING, BUT NOT LIMITED TO, THE BACKFLOW PREVENTER, PUMP STATION (IF APPLICABLE) AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL PIPE UNDER PAVED AREAS, HARDSCAPE, OR AS DIRECTED BY OWNER'S REPRESENTATIVE TO BE INSTALLED IN SLEEVES, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. ALL 4" OR SMALLER SLEEVES SHALL BE PVC 1220 SCHED. 40 PVC, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-1785-4. ALL 6" AND LARGER SLEEVES SHALL BE PVC 1220 CLASS 200 SDR21, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-2241. SLEEVES TO EXTEND AT LEAST 12" PAST EDGE OF PAVING.
- MAINLINE PIPE TO BE SCHEDULE 40 PVC PIPE BURIED A MINIMUM OF 18". LATERAL PIPE TO BE CLASS 200 PVC BURIED A MINIMUM OF 12". USE SCHEDULE 40 PVC UNDER ALL PAVING. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF PAVEMENT.
- PRESSURIZE ALL MAINLINE PIPE FOR 4 HOURS AT 150 PSI TO INSPECT FOR LEAKS.
- BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DEPRESSIONS, HIGH OR LOW SPOTS, OR OTHER IRREGULARITIES.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE AND INSTALLED PER INSTALLATION DETAIL. INSTALL QUICK COUPLERS WITHIN 18" OF HARDSCAPE OR AS NOTED ON THE PLAN.
- THE IRRIGATION CONTRACTOR SHALL ADJUST THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THAT THE SPRINKLER HEAD FARTHEST AND HIGHEST IN ELEVATION FROM ITS RESPECTIVE CONTROL VALVE OPERATES WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LEGEND. NOT TO EXCEED FIVE (5) PSI ABOVE THE GIVEN OPERATING PRESSURE FROM THE SPECIFIED PRESSURE LOCATED ON THE IRRIGATION LEGEND.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE BY DIRECT FIELD MEASUREMENT PRIOR TO CONSTRUCTION. A PRESSURE REGULATOR SHALL BE INSTALLED WHERE THE WATER PRESSURE AT THE POC IS GREATER THAN 80 PSI. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION PRINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ANY REVISIONS.
- SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE AND CAST IRON PIPE.
- ELECTRICAL POWER SOURCE FOR THE IRRIGATION CONTROLLER AND/OR BOOSTER PUMP (IF APPLICABLE) SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER AND/OR BOOSTER PUMP.

- THE LANDSCAPE CONTRACTOR SHALL PROVIDE CLIENT WITH "AS-BUILT" IRRIGATION ZONE PLAN CONTAINING ALL IRRIGATION ZONES, VALVE BOXES, MAIN LINES, HOSE BIBBS, CONTROLLER AND MASTER VALVE ASSEMBLY.
- THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE UNDER ANY CIRCUMSTANCES FOR THE QUALITY OR TIMELINESS OF PERFORMANCE OF THE WORK INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF THE BACKFLOW PREVENTION.
- USE RAINBIRD PCT EMITTERS / BUBBLERS (25 GPM) ON ALL SHRUBS IN PLANTING AREAS. INSTALL 2" ABOVE GRADE ON SWING JOINT ASSEMBLIES. ON SLOPES, PLACE ON UPHILL SIDE OF THE PLANT. TREE BUBBLERS ARE TO BE ON A SEPARATE VALVE AND INSTALLED IN DEEP ROOT WATERING TUBES TO PROMOTE DEEP ROOTS. USE 2 BUBBLERS PER TREE. TREES AND SHRUBS ARE TO BE ON SEPARATE IRRIGATION VALVES.
- IF LAWN OR GROUND COVER SPRAY HEADS ARE USED, FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO MINIMIZE OVER SPRAY ON WALKS AND WALLS. SELECT THE BEST DEGREE OF ARC FOR THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE COVERAGE OF THE SITE, ADJUST FLOW CONTROL FOR OPTIMUM OPERATING PRESSURE. FOR EACH CIRCUIT.
- ALL VALVES SHALL BE INSTALLED BELOW GROUND IN LOCKING BOXES WITH STAINLESS STEEL BOLTS. ONE VALVE PER BOX. VALVE BOXES ARE TO HAVE A MINIMUM OF 3 CU. FT. OF PEA GRAVEL INSIDE.
- AN ET CONTROLLER SHALL BE INSTALLED AS LOCATED ON THE PLAN UNLESS OTHERWISE NOTED. VERIFY LOCATION. THE CONTROLLER WILL BE CONNECTED TO AN ON SITE WEATHER STATION BY THE SAME MANUFACTURER TO MAKE DAILY WATERING ADJUSTMENTS. EXPOSED RUNS TO BE IN A GALVANIZED STEEL CONDUIT. A 120V ELECTRICAL OUTLET SHALL BE SUPPLIED BY OTHERS.
- USE 14G. WIRE BETWEEN CONTROLLER AND SOLENOID VALVES. LEAVE AN EXCESS OF APPROXIMATELY 18" OF WIRE AT EACH VALVE. ALL WIRE TO BE CONTINUOUS WITH NO SPLICES EXCEPT AT CONNECTIONS. TAPE WIRES EVERY 10' TO BOTTOM OF MAINLINE WHEN INSTALLED WITH MAINLINE PIPE. USE WIRE CONNECTORS AT CONNECTIONS.
- BACK FLOW PREVENTION DEVICE TO BE SUPPLIED BY THE IRRIGATION CONTRACTOR, VERIFY LOCATION. DEVICE MUST BE INSPECTED BY AN APPROVED LA COUNTY INSPECTOR, INSULATE BACK FLOW DEVICE TO A MINIMUM OF R-11 PROTECTION AND ENCLOSE IN LOCKING SOLID SIDE LEMUR STEEL ENCLOSURE OR EQUAL MOUNTED ON A CONCRETE PAD.
- WINTERIZE AND WRAP ALL EXPOSED PIPING WITH APPROVED R-11 INSULATION.
- THE SPRINKLER SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. MANUFACTURER WARRANTIES SHALL NOT REPLACE THIS GUARANTEE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS AND REPLACEMENT OF FAILED MATERIAL.
- ALL WORK SHALL CONFORM TO THE CITY SPECIFICATIONS AND REQUIREMENTS. CONSULT CITY FOR A CURRENT COPY OF THE SPECIFICATIONS AND REQUIREMENTS. rev 9.5.24

GENERAL PLANTING NOTES

NOTE: THESE NOTES ARE GENERAL AND NOT ALL ITEMS LISTED BELOW APPLY TO THIS SITE. THEY ARE THERE FOR REFERENCE IF CHANGES OCCUR.

- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- IF THE SITE VARIES FROM THIS PLAN, NOTIFY THE OWNER'S AGENT BEFORE PROCEEDING.
- THE PLANT LIST IS FOR REFERENCE ONLY. ALL QUANTITIES SHALL BE VERIFIED BY PLAN CHECK.
- THE PLANT PITS ARE TO BE TWO TIMES THE WIDTH AND DEPTH OF THE ROOT BALL.
- ONCE THE FINISH GRADE HAS BEEN COMPLETED, THE CONTRACTOR SHALL OBTAIN A SOILS AGRONOMY REPORT FROM A & L WESTERN LABORATORY (209) 529-4736 OR OTHER APPROVED SOILS LABORATORY. SOIL PREPARATION SHALL BE AS STATED BELOW UNLESS THE SOIL AGRONOMY REPORT SPECIFIES OTHERWISE.
 - 4 CU. YDS. NITROGEN STABILIZED REDWOOD, M FIR OR CEDAR SHAVINGS
 - 25 LBS. SOIL SULFUR
 - 150 LBS. 5-3-1 GRO-POWER FERTILIZER
 - 25 LBS./CU. YD. AGRICULTURAL GYPSUM
- THE ABOVE SOIL AMENDMENTS MAY BE CHANGED BASED ON THE RESULTS OF AN AGRICULTURAL ANALYSIS PERFORMED BY A SOILS TESTING FACILITY.
- BACKFILL MIX FOR CONTAINER PLANTS SHALL BE BLENDED UNIFORMLY. MIX ONE PART KELLOGG'S GROMULCH OR EQUAL WITH THREE PARTS NATIVE SOIL. USE 1/2 CUP KELLOGG'S ACIDALL OR EQUAL FOR EACH GALLON CONTAINER SIZE. WATER IN ALL BACKFILL.
- USE 20-10-15 AGRIFORM OR EQUAL TWO YEAR TIMED RELEASE FERTILIZER TABLETS AFTER PLANTING. (1/2 GAL: 1/2 GAL; 3/4 GAL: 3/4 GAL; 1 GAL: 1 GAL)

- PLANT WATERING WELL SHALL BE INSTALLED AND MAINTAINED PER DETAILS TO ENSURE WATER COLLECTS AROUND THE ROOT BALL FOR PROPER WATERING. SOIL SHALL NOT COVER THE ROOT CROWN TO MAINTAIN PLANT HEALTH.
- TREAT ALL AREAS TO BE PLANTED WITH A PRE-EMERGENT HERBICIDE PER MANUFACTURERS INSTRUCTIONS.
- BEFORE PLANTING, ALL BEDS SHALL BE GRADED TO A SMOOTH EVEN SURFACE, AND DEBRIS REMOVED. POSITIVE DRAINAGE SHALL BE MAINTAINED, AND NO LOW SPOTS WHERE WATER CAN COLLECT WILL BE ACCEPTED.
- TREES PLANTED LESS THAN 5' FROM WALKS, CURBS OR WALL SHALL HAVE ROOT BARRIERS INSTALLED AS PER MANUFACTURERS INSTRUCTIONS. STAKE ALL TREES WITH TWO LODGE POLE STAKES OR GREEN METAL TEE POST STAKES. PLACE STAKES PERPENDICULAR TO THE WIND UNLESS OTHERWISE NOTED. DO NOT PIERCE THE ROOT BALL WITH THE STAKE. TIE WITH TREE TIES, OR OTHER APPROVED METHOD, TO PROTECT THE TRUNK. USE TWO TIES PER STAKE.
- STREET TREES PLANTED IN THE CITY RIGHT OF WAY SHALL HAVE A ROOT BARRIER AND TWO 2-3' FOOT SECTIONS OF 4" PERCOLATION PIPE INSTALLED TO PROVIDE DEEP ROOT WATERING.
- SHRUBS SHALL BE PLANTED AT LEAST 24-30" FROM SIDEWALKS AND DRIVEWAYS TO ALLOW FOR PLANT GROWTH AND NOT TO OVER GROW ONTO THE PAVED SURFACE.
- BARK MULCH SHALL BE INSTALLED IN A 3" UNIFORM LAYER AFTER SOIL HAS BEEN FINISH GRADED AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO WEED BARRIER FABRIC SHALL BE USED WITH BARK MULCH.
- DECOMPOSED GRANITE (DG) SHALL BE INSTALLED IN TWO LIFTS OF 1.5" AND COMPACTED AFTER EACH LIFT FOR A FINISHED DEPTH OF 3". DO NOT USE WEED BARRIER FABRIC UNDER DG BECAUSE IT WILL NOT PROPERLY COMPACT. DO NOT INSTALL OR COMPACT DG IN PLANT WELLS.
- ROCK MULCH SHALL BE INSTALLED IN A 3" UNIFORM LAYER AFTER SOIL HAS BEEN FINISH GRADED AND TREATED WITH A PRE-EMERGENT HERBICIDE. USE WEED BARRIER FABRIC UNDER ALL ROCK MULCH.
- THE PLANTING SHALL BE MAINTAINED IN A HEALTHY CONDITION FOR 30 DAYS AFTER ACCEPTANCE BY OWNER. ANY PLANTED AREAS WILL BE WEED FREE AND WELL WATERED.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 90 DAYS (1 YEAR FOR TREES) AFTER ACCEPTANCE BY OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THIS TIME WILL BE REPLACED A NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL WORK SHALL CONFORM TO THE CITY SPECIFICATIONS AND REQUIREMENTS. CONSULT CITY FOR A CURRENT COPY OF THEIR SPECIFICATIONS AND REQUIREMENTS. rev 9.5.24

4 CU. YDS. NITROGEN STABILIZED REDWOOD, M FIR OR CEDAR SHAVINGS
25 LBS. SOIL SULFUR
150 LBS. 5-3-1 GRO-POWER FERTILIZER
25 LBS./CU. YD. AGRICULTURAL GYPSUM

IRRIGATION REQUIRED STATEMENTS AND CERTIFICATION

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

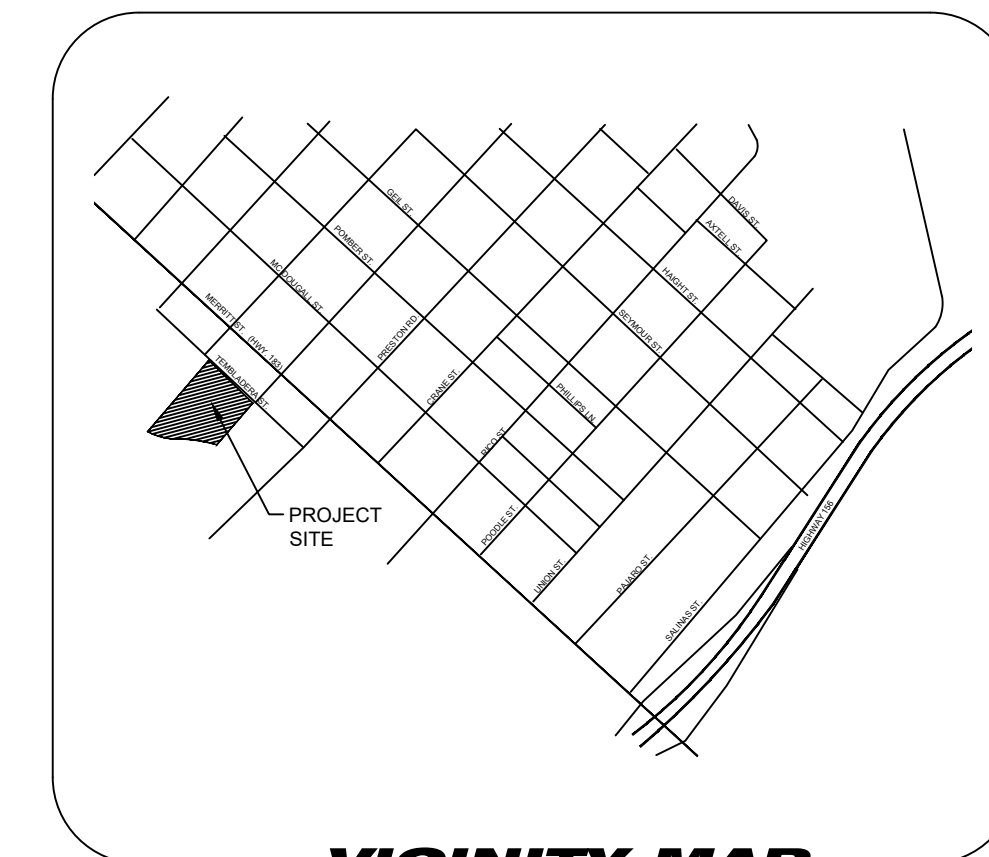
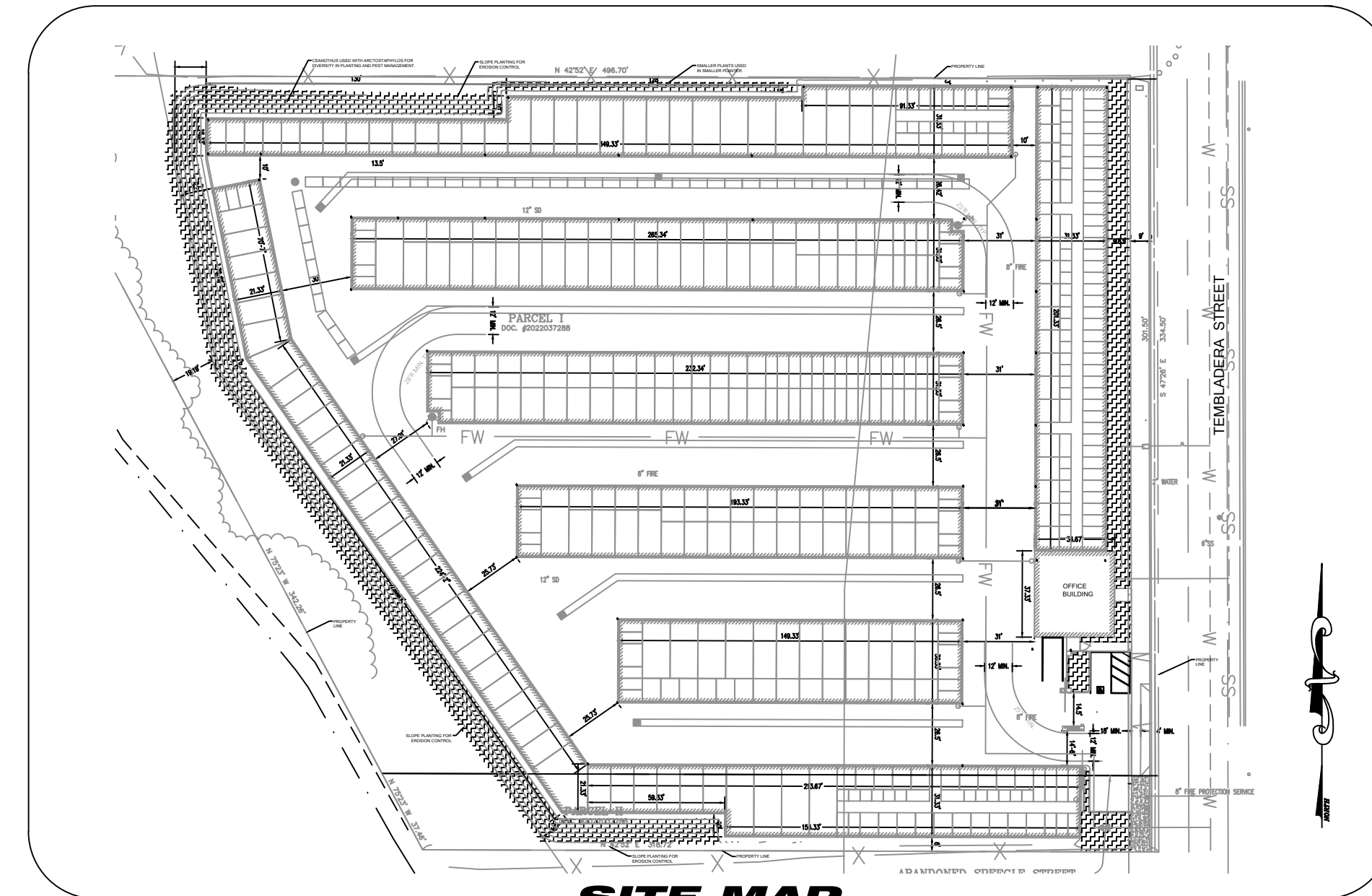
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE.

Susan M. Mathis 10-1-2024
SIGNED DATE

 UNDERGROUND SERVICE ALERT call: TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG	AGENCIES UTILITY COMPANIES: CASTROVILLE COMMUNITY SERVICES DISTRICT 11499 GEIL STREET CASTROVILLE, CA 95012 866-803-2456
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CASTROVILLE MINI STORAGE

10520 TEMBLADERA STREET
CASTROVILLE, CA 95012



INDEX

#	SHEET	SHEET TITLE
1	L1.0	COVER
2	L1.1	LANDSCAPE NOTES
3	L2.1	PLANTING PLAN
4	L3.1	IRRIGATION PLAN
5	L4.1	LANDSCAPE DETAILS

TOTAL LANDSCAPE AREA (SQ. FT.): 9,985

MONTEREY COUNTY

LANDSCAPE ARCHITECT:

**SUE MATHIS
LANDSCAPE
DESIGN**

917
LANDSCAPE ARCHITECT CA #4223, OR #683

16340 LOWER HARBOR ROAD
SUITE 1 #337
BROOKINGS, OR 97415
MOBILE: (661) 256-4261
EMAIL: sue.mathis.landscape@gmail.com



REVISIONS

OWNER/DEVELOPER:

BARBARA CHERNUS FRENCH
Phone: (858) 353-3344
EMAIL: bchernusm@gmail.com

PROJECT:

**CASTROVILLE
MINI STORAGE**

10520 TEMBLADERA STREET
CASTROVILLE, CA 95012

APN: 030-156-000

SHEET TITLE:

COVER

Project No.: 917

Date: 10-1-2024

Checked: SMM

Drawn: SMM

CAD File: 917-Castroville Mini Storage

SHEET

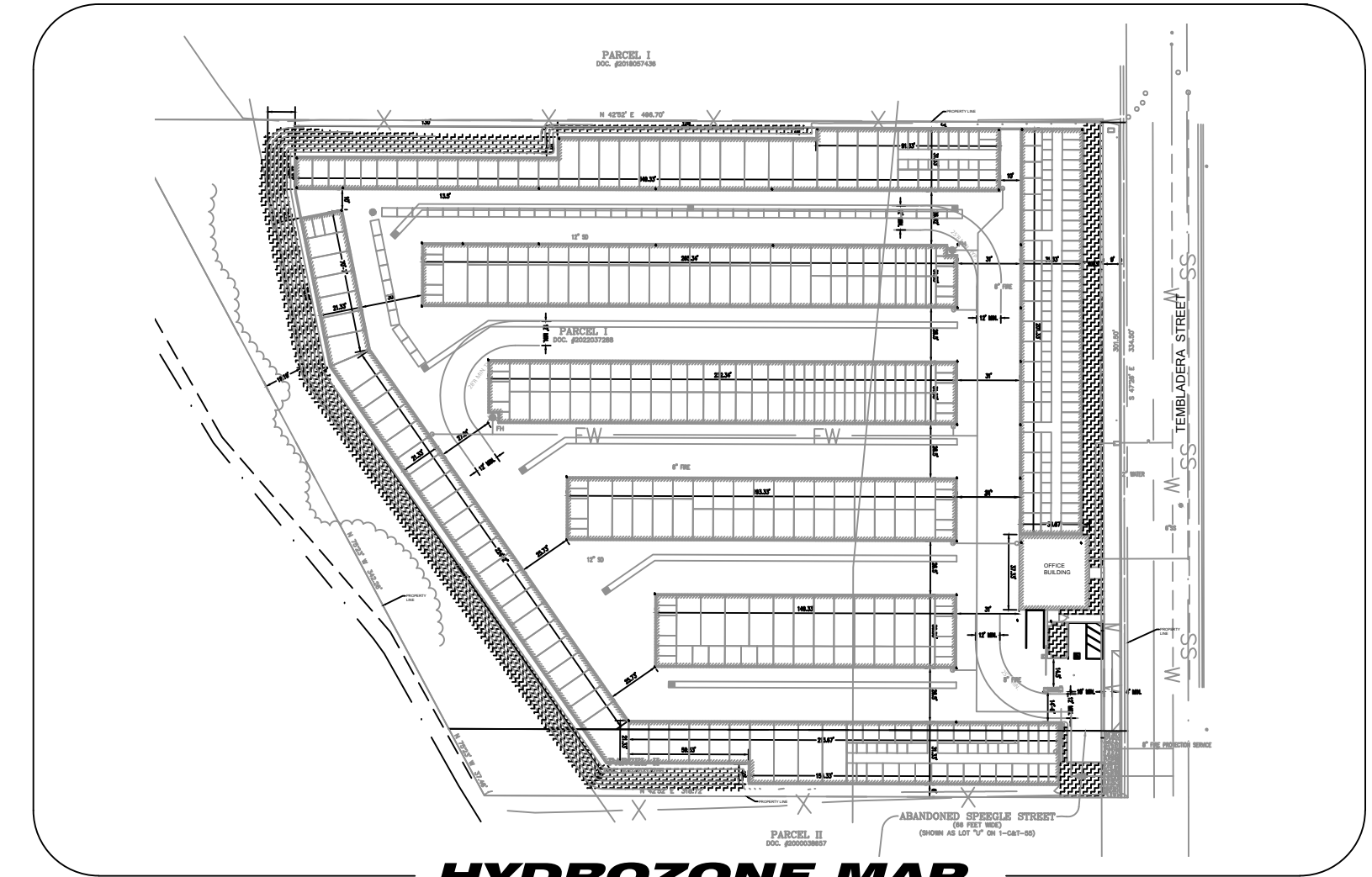
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1 OF 5 SHEETS

LANDSCAPE MAINTENANCE SCHEDULE

1. Shrubbery
 - Prune on an as-needed basis only in order to maintain the plant's natural appearance.
 - Allow shrubs to mature and fill planting areas as designed.
 - Maintain mulch at a 2" minimum thickness (see #6 below).
 - Shearing back of shrub stems and branches is discouraged.
 - Prune to shape and allow hedges to grow together.
 - Remove any obstruction to irrigation emission devices.
2. Groundcover
 - Keep free of weeds and grass, and lightly pruned (if needed) to maintain natural appearance. (see #7 below)
 - Allow groundcover to fill intended planting areas.
 - Remove any obstruction to irrigation emission devices.
3. Flower beds / Perennial planting areas
 - Weed, perform seasonal pruning and dead-heading as necessary to maintain a neat appearance and encourage flowering. (see #7 below)
 - Maintain mulch at a 2" minimum (see #6 below).
 - Remove any obstruction to emission devices.
4. Trees
 - Remove weeds and suckers from trunk bases as needed. (see #7 below)
 - Prune only for safety, health, line-of-site or structural clearance.
 - DO NOT top trees for any reason.
 - Maintain mulch at a 2" minimum thickness (see # 6 below). Keep mulch away from trunks.
 - Remove any obstruction to emission devices.
 - Once trees are established, "break down" the surrounding berm.
 - If trees have been staked, check on a regular basis to ensure that ties and stakes are not damaging them. For more information about tree care and when to remove stakes, please refer to the International Society of Arboriculture at www.treesaregood.org
5. Mulch
 - For rock mulch, maintain a 2-3" layer and replenish as needed. Blow leaves and debris as needed.
 - For bark mulch, maintain organic, shredded/walk-on bark mulch or bark chips at a minimum of 2" thick and replenish as needed.
 - Keep mulch away from plant stems and tree trunks.
 - Although not required, leaves falling on mulched areas can be left in place to help eliminate weeds and improve soil quality. "Leaf drop" adds to the natural mulching of the site.
6. Weed Management
 - Identify weeds to determine the most effective, least toxic method of control.
 - Control methods include cultural and mechanical methods as the first choice including monitoring planting areas to identify and remove weeds.
 - Weed removal can be performed by cutting, pulling, and scraping using hand-operated equipment whenever possible.
7. Fertilization
 - Turf grass: Please refer to <http://www.ipm.ucdavis.edu/TOOLS/TURF/ MAINTAIN/ferthow.html>
 - Trees & Shrubbery: Please refer to <http://www.ipm.ucdavis.edu/QT/landscapeplantscard.html>
 - Minimize the use of pesticides that pollute our waterways. Use non-chemical alternatives or less-toxic pesticide products whenever possible. Read product labels carefully and follow instructions on proper use, storage, and disposal.
8. Integrated Pest Management
 - Minimize the use of pesticides that pollute our waterways. Use non-chemical alternatives or less-toxic pesticide products whenever possible. Read product labels carefully and follow instructions on proper use, storage, and disposal.
 - Follow California laws and guidelines for all applications.

LS MN MAINTENANCE NOTE



HYDROZONE MAP
SCALE: NTS

HYDROZONES

MEDIUM & LOW WATER USE PLANTS

SECTION D2: HYDROZONE TABLE

Controller #A					
Controller #	Valve Circuit #	Plant Type *	Irrigation Method	Area (Sq. Ft.)	% of Landscape Area
A	1.4	TREES	BUBBLERS	NA	
A	2.3	MW/LW	BUBBLERS	2,780	28%
TOTAL LA AREA:				9,985	

*PLANT TYPE	(PLANT FACTOR)	** IRRIGATION METHOD
CST = COOL SEASON TURF	(0.8)	MS = MICROSPRAY
WST = WARM SEASON TURF	(0.6)	S = SPRAY
HW = HIGH WATER USE PLANTS	(0.8)	R = ROTOR
MW = MEDIUM WATER USE PLANTS	(0.5)	B = BUBBLER
LW = LOW WATER USE PLANTS	(0.2)	D = DRIP EMITTER
VLW = LOW WATER USE PLANTS	(0.1)	SI = SUBSURFACE IRRIG.

SECTION D3: HYDROZONE CALCULATION SUMMARY

HYDROZONE	TOTAL SQUARE FEET	% OF TOTAL LANDSCAPE AREA
Cool season Turf	-	0%
Warm Season Turf	-	0%
High water use plants	-	0%
Moderate Water use Plants	-	0%
Low Water Use Plants	7,205	72%
High & Medium Water Mix	-	0%
Medium & Low Water Mix	2,780	28%
Non-Irrigated area:	-	0%
Total Landscape Area:	9,985	

IRRIGATION PRESSURE LOSS INFORMATION

POINT OF CONNECTION DESIGNATION: POC
 NAME OF WATER PURVEYOR: Castroville Community Services District
 CONTACT NAME: PHONE: (896) 803-2456
 SIZE OF WATER METER: 1"
 SIZE OF SERVICE LINE: 1"
 STATIC WATER PRESSURE (PSI): 62
 DESIGNED WATER PRESSURE (PSI): 25
 DESIGNED HIGHEST GPM/GPH FLOW: 10.00 GPM. (BUBBLERS/EMITTERS)
 *Denotes assumed PSI

PSI AT POC:	62	METER ELEV:	12.50
WORST CASE PRESSURE LOSS CHART:	52.82	POC ELEV:	13.00
CONTROLLER STATION:	1	HIGHEST HEAD ELEV:	13.00
SYSTEM HIGHEST GPM:	10.50		
AVAILABLE PSI AT FARTHEST HEAD	9.2		

	SIZE	LIN. FT.	PSI LOSS
WATER METER	1"		1.00 PSI
BACKFLOW PREVENTER	1"		10.00 PSI
MASTER VALVE (line size)	1"		3.00 PSI
FLOW SENSOR (line size)	1"		0.50 PSI
2.00" PVC SCH-40 MAINLINE (@10 gpm)		0	0.00 PSI
1.50" PVC SCH-40 MAINLINE (@10 gpm)		652	2.09 PSI
1.25" PVC SCH-40 MAINLINE (@10 gpm)		0	0.00 PSI
1.00" PVC SCH-40 MAINLINE (@10 gpm)		0	0.00 PSI
FITTINGS (20% MAINLINE LOSS)			0.42 PSI
REMOTE CONTROL VALVE	1"		5.60 PSI
LATERAL LINE LOSS (FIXED)			5.00 PSI
ELEVATION CHANGE FROM POC TO HIGHEST OUTLET (+/- _ FT) (-.433 x elev change)	0.433	0.50	0.22 PSI
SPRINKLER DESIGN OPERATING PRESSURE:			25.00 PSI
(1) TOTAL SYSTEM LOSSES:			52.82 PSI

SUMMARY:
 (2) AVAILABLE STATIC PRESSURE AT POC: 62.00 PSI
 (3) REQUIRED SYSTEM MINIMUM PRESSURE: (1) 52.82 PSI
 (4) RESIDUAL PRESSURE: (2) - (3) 9.18 PSI

LANDSCAPE AREA

RIVER ROCK	2,780 SQ. FT.	1" RIVER ROCK
SLOPE EROSION CONTROL	7,205 SQ. FT.	NORTH AMERICAN GREEN S-150.
TOTAL LANDSCAPE AREA:	9,985 SQ. FT.	

WATER USE CALCULATIONS

TOTAL SQUARE FOOTAGE TO BE IRRIGATED: 9,985 sq. ft.
 TOTAL SQUARE FOOTAGE OF NON-IRRIGATED: 0 sq. ft.
 TOTAL SQUARE FOOTAGE OF LANDSCAPING: 9,985 sq. ft.

HYDROZONES:

Hydrozone	Area	Hydrozone	Area
#1 Cool Season Turf	0	#5 Low Water use Plants	7,205
#2 Warm Season Turf	0	#6 High & Medium Water Mix	0
#3 High water use plants	0	#7 Medium & Low Water Mix	2,780
#4 Moderate Water Use Plants	0	Non-irrigated Landscape Area	0

IRRIGATION CALCULATIONS:

MAXIMUM WATER ALLOWANCE (GALLONS PER YEAR)

(Eto*) x (MAWA**) x (TOTAL SQ. FT.) x (.62) = MWA
 39.90 0.45 9,985 0.62 = 108,647 GAL /YR.
 Castroville, CA Eto*39.0 ** (MAWA) 55 residential, .45 for non-residential areas

ESTIMATED WATER USE (GALLONS PER YEAR):

(Eto*) x (PLANT FACTOR) x (HYDROZONE SQ. FT.) x (.62)
 IRRIGATION EFFICIENCY***

Eto stands for Reference Evapotranspiration
 ** Maximum Applied Water allowance using plant factor
 *** Irrigation Efficiency for type of irrigation used

HYDROZONE #	(MW/LW) BUBBLERS	2,780 SQ. FT.		
39.90	0.25	2,780	0.62	= 19,087 GAL /YR.
0.81				

TOTAL ESTIMATED WATER USE: 19,087 GAL / YR.

CALIFORNIA REQUIREMENTS REV. 12-1-2015 0.058 ACRE FT. / YR.

MONTEREY COUNTY

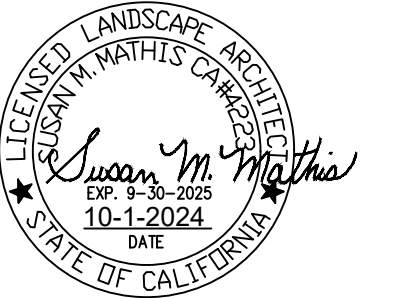
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2 OF 5 SHEETS

LANDSCAPE ARCHITECT:

SUE MATHIS LANDSCAPE DESIGN

917 LANDSCAPE ARCHITECT CA #4223, OR #683

16340 LOWER HARBOR ROAD
 SUITE 1 #337
 BROOKINGS, OR 97415
 MOBILE: (661) 256-4261
 EMAIL: sue.mathis.landscape@gmail.com



REVISIONS

OWNER/DEVELOPER:

BARBARA CHERNUS FRENCH
 Phone: (858) 353-3344
 EMAIL: bchernusm@gmail.com

PROJECT:

CASTROVILLE MINI STORAGE

10520 TEMBLADERA STREET
 CASTROVILLE, CA 95012

APN: 030-156-000

SHEET TITLE:

LANDSCAPE NOTES

Project No.: 917

Date: 10-1-2024

Checked: SMM

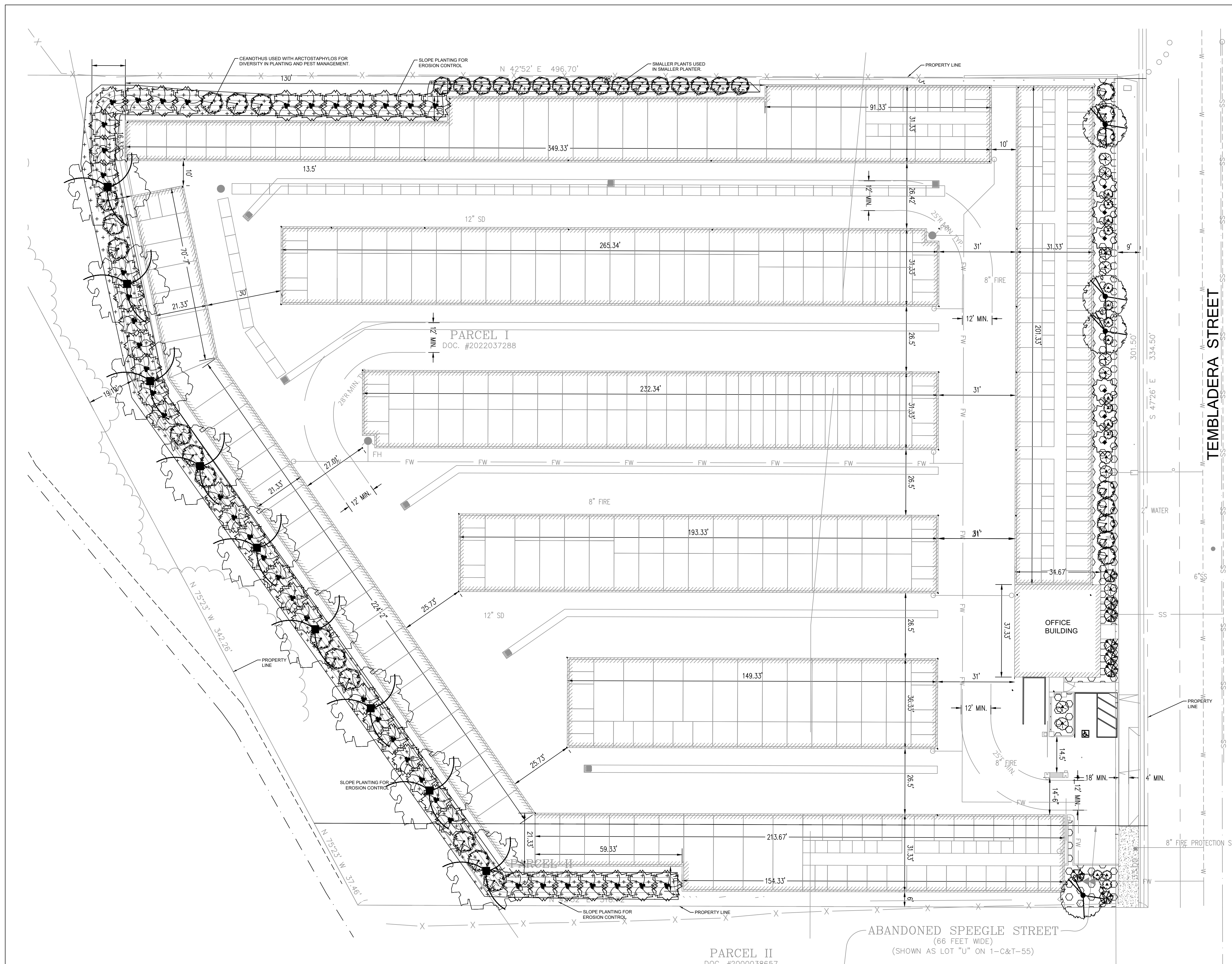
Drawn: SMM

CAD File: 917-Castroville Mini Storage

SHEET

L-1.1

2 OF 5 SHEETS



PLANT KEY

TREES

TOTAL TREES: 19

	Acer rubrum 'Franksred' Red Sunset Maple Deciduous, mod. water fast growth to 35'h x 35'w, cut leaves with 3-5 lobes green turn brilliant orange-red early fall. Tolerates acidic, clay & wet soil, fire wise.	QTY: 9 15 GAL.
	Cercis occidentalis Western Redbud Deciduous, low water, sun to part shade, multi-trunked to 10-18'h x 18'w, handsome blue-green leaves turns yellow or red in fall, magenta spring flowers. Drought tolerant.	QTY: 4 15 GAL.
	Prunus caroliniana 'Bright & Tight' Bright N' Tight Carolina Laurel Evergreen tree or large shrub, mod. water, partial to full sun, compact, densely branched to 10'h x 8'w, shiny deep green leaves, showy clusters of white flowers in spring. Low maint. screen.	QTY: 6 15 GAL.

SHRUBS

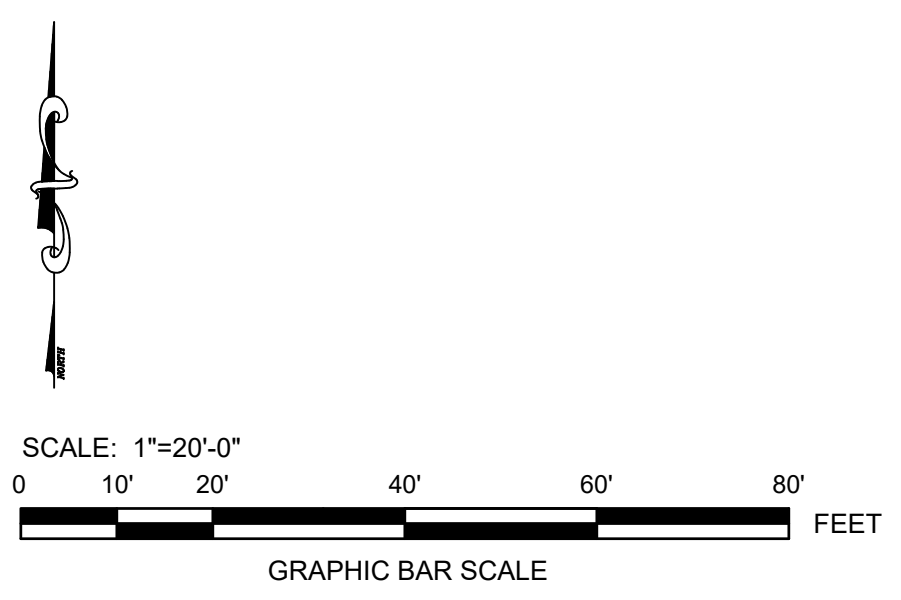
TOTAL SHRUBS: 115

	Arctostaphylos hookeri 'Monterey Carpet' Monterey Carpet Manzanita Evergreen, low water, sun to part shade, spreading mounding growth to 1'h x 12'w, small glossy green leaves turn bronze in winter, abundant white to pinkish flowers winter, with glossy red fruit. Drought tolerant, Calif. native, coastal conditions, tolerates wet & poor soil, deer resistant.	QTY: 42 5 Gallon
	Arctostaphylos Uva Ursi 'Massachusetts' Massachusetts Kinnikinnick Evergreen, low water, full sun-part shade, prostrate compact growth to .5-1'h x 3-6'w, small medium-dark green leaves turn bronze in winter, abundant white to pinkish flowers late spring-summer, red fruit in winter. Tolerates drought coastal conditions, wet & poor soil, native.	QTY: 15 5 Gallon
	Ceanothus griseus 'horizontalis' 'Yankee Point' Yankee Point Ceanothus Evergreen, low water, stiff upright growth to 2-3'h x 8-10'w, glossy green leaves, abundant blue flowers, spring. Drought tolerant, deer resistant.	QTY: 39 5 Gallon
	Grevillea longifera 'Coastal Gem' Coastal Gem Grevillea Evergreen, low water, spreading compact growth to 1-2'h x 4-5'w, soft texture green leaves, pink and white flowers throughout the year. Full sun, drought tolerant coastal conditions attracts hummingbirds.	QTY: 8 5 Gallon
	Pieris japonica 'Fire N Ice' Fire N Ice Lily of the Valley Evergreen, mod. water, acid soil, part shade, slow compact growth to 5'h x 5'w, new growth scarlet and green foliage edged in white in summer, showy white flowers in spring. Low maintenance, specimen, needs good drainage, to -10'.	QTY: 11 5 Gallon

GROUNDCOVER

	DECOMPOSED GRANITE: 3" LAYER, TAN, MECHANICALLY COMPACTED AND STABILIZED. NO WEED BARRIER FABRIC	2,780 SQ. FT.
	SLOPE EROSION CONTROL BLANKET: NORTH AMERICAN GREEN S-150. INSTALL PER MANUFACTURER INSTRUCTIONS.	7,205 SQ. FT.

TOTAL LANDSCAPE AREA (SQ. FT.): 9,985



LANDSCAPE MAINTENANCE SCHEDULE

A REGULAR SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL INCLUDE THE FOLLOWING:

- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT, RESETTING THE AUTOMATIC CONTROLLER, REPLENISHING MULCH, FERTILIZING, PRUNING AND WEEDING IN ALL LANDSCAPE AREAS.
- WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS

- ### PLANTING PLAN NOTES
- PLANTING DESIGN INTENT: THE DESIGN INTENT WAS TO USE DROUGHT TOLERANT PLANTS THAT HAVE PROVEN TO BE SUCCESSFUL IN THIS CLIMATE. A COMBINATION OF DECIDUOUS AND EVERGREEN PLANTS HAVE BEEN USED ALONG WITH PLANTS THAT PROVIDE SEASONAL COLOR WITH THEIR FLOWERS AND FOLIAGE. MULCH WAS USED AS A GROUNDCOVER TO HELP THE SOIL RETAIN IT'S MOISTURE AND PROVIDE A CLEAN LOOK WHICH IS LOW IN WATER USE AND EASY TO MAINTAIN. LOW WATER USE NATIVE PLANTS WERE USED TO STABILIZE THE SLOPE.
 - FINAL ADJUSTMENTS WILL BE MADE ON THE SITE AT THE TIME OF INSTALLATION. THEY WILL BE MADE TO CARRY OUT THE INTENT OF THE DESIGN AND TO AVOID ANY CONFLICTS NOT SHOWN ON THIS PLAN.
 - THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS OR METHODS OF CONSTRUCTION.
 - SEE SHEET L.1.0 FOR LANDSCAPE GENERAL NOTES AND LANDSCAPE AREA.
 - SEE SHEET L.1.1 FOR WATER USE CALCULATION.
 - SEE SHEET L.4.1 FOR DETAILS AND ADDITIONAL NOTES.

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MONTEREY COUNTY

LANDSCAPE ARCHITECT:

 917
 LANDSCAPE ARCHITECT CA #4223, OR #683
 16340 LOWER HARBOR ROAD
 SUITE 1 #337
 BROOKINGS, OR 97415
 MOBILE: (661) 256-4261
 EMAIL: sue.mathis.landscape@gmail.com



REVISIONS

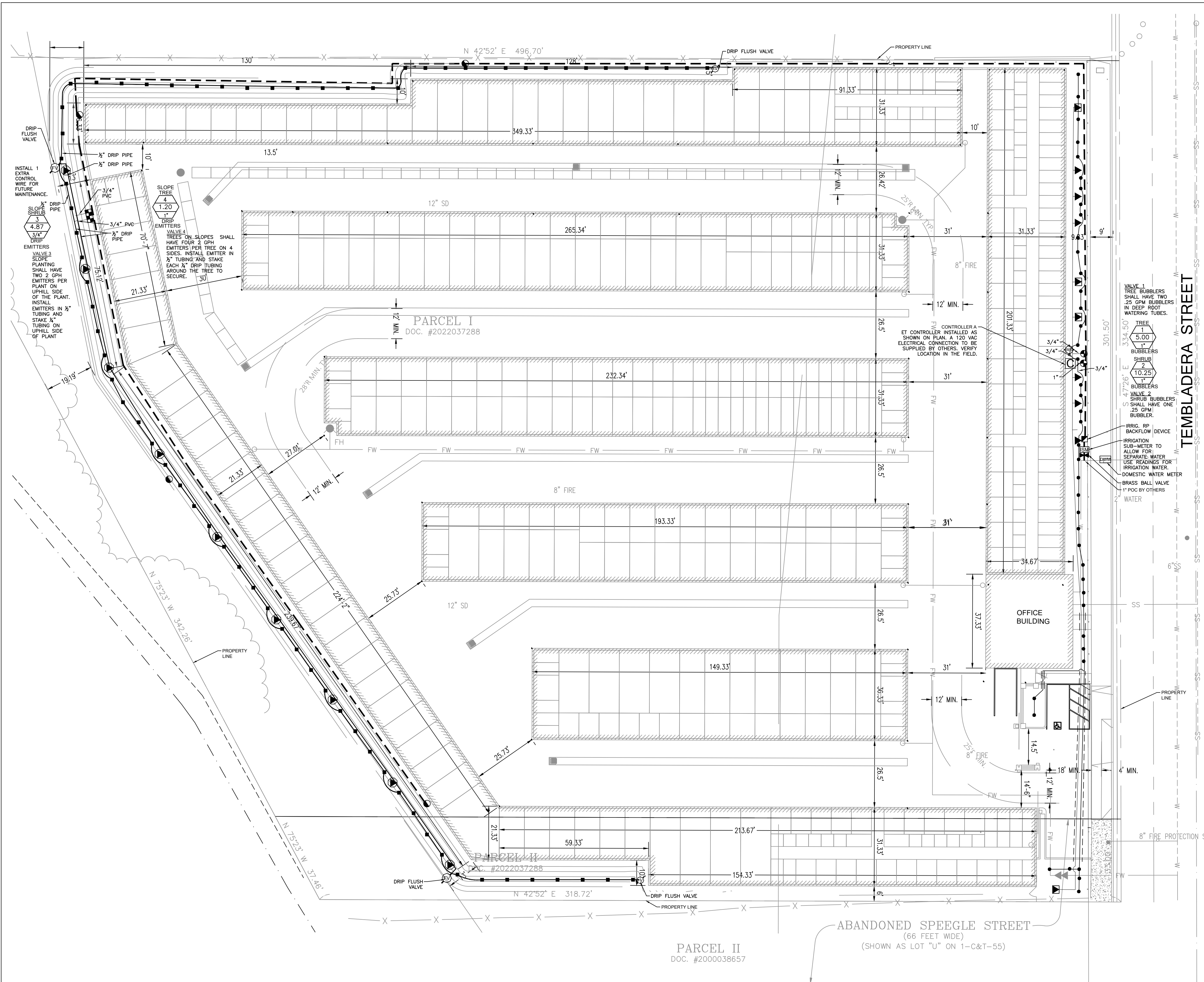
OWNER/DEVELOPER:
 BARBARA CHERNUS FRENCH
 Phone: (858) 353-3344
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**CASTROVILLE
 MINI STORAGE**
 10520 TEMBLADERA STREET
 CASTROVILLE, CA 95012

APN: 030-156-000

SHEET TITLE:
**PLANTING
 PLAN**

Project No.: 917
 Date: 10-1-2024
 Checked: SMM
 Drawn: SMM
 CAD File:
 917-Castroville Mini Storage
SHEET
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LEGEND

- (W/M)** WATER METER
THE IRRIGATION SYSTEM WAS DESIGNED WITH AN ASSUMED STATIC OR WORKING WATER PRESSURE. SEE WATER PRESSURE LOSS CALC. VERIFY AVAILABLE WATER PRESSURE IN THE FIELD AT ALL POC'S PRIOR TO CONSTRUCTION. MAKE ANY NECESSARY ADJUSTMENTS IN THE FIELD FOR PROPER OPERATION OF THE IRRIGATION SYSTEM.
PRESSURE REGULATION NOTE: IF THE WATER PRESSURE IS FOUND TO BE 80 PSI OR GREATER, A PRESSURE REGULATOR SHALL BE INSTALLED LINE SIZE.
MODEL: NIBCO OR EQUAL
- (P/C)** POINT OF CONNECTION: VERIFY WITH OWNER'S AGENT.
- (B/V)** BALL VALVE: SAME SIZE AS LINE SIZE. INSTALL AFTER POC.
MODEL: NIBCO T-560-BR
DETAIL: IR-141
- (I/S/M)** IRRIGATION SUB-METER:
INSTALL AFTER POC AND BALL VALVE AND 3' PRIOR TO THE BACKFLOW DEVICE. THIS WILL MINIMIZE ANY TURBULANCE AND PROVIDE ACCURATE READINGS. VERIFY LOCATION IN THE FIELD.
MODEL: 1" SUBMETER=DLJ-100 AVAILABLE DIRECTLY FROM THE MANUFACTURER AT WWW.WATERMETERS.COM (800) 654-3733 OR APPROVED EQUAL.
DETAIL: IR-138
- (R/P/B)** REDUCED PRESSURE BACKFLOW DEVICE: INSTALL SAME SIZE AS POC AS SHOWN ON PLAN UNLESS OTHERWISE NOTED. ENCLOSE IN SOLID SIDE LE MEUR ENCLOSURE, COLD ROLLED STEEL, PAINTED FOREST GREEN.
MODEL: FEBCO 825y
DETAIL: IR-130
- (C)** CONTROLLER: HUNTER PRO-C
MINIMUM STATIONS REQUIRED:
VERIFY LOCATION IN THE FIELD.
ELECTRICAL CONNECTION TO BE SUPPLIED BY OTHERS.
AN ET CONTROLLER MUST BE INSTALLED PER CITY REQUIREMENTS.
MODEL: HUNTER PRO-C
PURCHASE ADDITIONAL MODULES AS NEEDED.
INSTALL WITH HUNTER SOLAR SYNC ET UPGRADE.
DETAIL: IR-110H
- (H/S)** HUNTER SOLAR-SYNC KIT PER MANUFACTURER'S SPECIFICATIONS.
MODEL: SOLAR-SYNC-SEN OR WSS-SEN (PER WATERSENSE EPA WEBSITE)
DETAIL: IR-116H
- (R/C/V)** REMOTE CONTROL VALVE: SEE VALVE SCHEDULE FOR SIZES.
MODEL: RAINBIRD PGA OR APPROVED EQUAL
DETAIL: IR-160
- (R/C/Z)** REMOTE CONTROL ZONE KIT: USED FOR GALLON PER HOUR EMITTERS
MODEL: RAINBIRD XCZ-075 (USE RAINBIRD XCZ-LF-075 FOR CIRCUITS WITH LESS THAN 3 GPM FLOW RATES.)
DETAIL: IR-161
- (C/W)** CONTROL WIRES: ALL CONTROL WIRES SHALL CONFORM TO CITY OF LANCASTER STANDARDS.
DETAIL: COL-105
- (Q/C/V)** QUICK COUPLING VALVE: SAME SIZE AS LINE SIZE.
MODEL: RAINBIRD 33DRC
DETAIL: IR-145
- (D/F/V)** DRIP FLUSH VALVE: 1/2" COMPRESSION BALL VALVE.
INSTALL AT THE END OF EACH DRIP LINE TO FLUSH LINES.
DETAIL: IR-220
- (C/N)** CIRCUIT NUMBER
FLOW RATE (G.P.M.)
VALVE SIZE
- (M/P)** MAINLINE PIPE, SCHED 40 PVC, SEE PLAN FOR SIZES.
PIPE SIZED 2" OR LARGER SHALL BE CLASS 315 AND
PIPE 1.5" OR LESS SHALL BE SCHEDULE 40
- (L/P)** LATERAL PIPE TO BE SCHEDULE 40, SEE PLAN FOR SIZES.
- (P/S)** PVC SLEEVING: SCHED. 40 SIZED 2 TIMES THE SIZE OF THE PIPE UNLESS OTHERWISE NOTED. SEE PLAN FOR LOCATIONS.

SPRINKLERS

SYMBOL	MAKE & MODEL	PSI	RAD	GPM	GPH	PRECIP. IN/HR	DESCRIPTION
▶	RAINBIRD 1401 LOW FLOW BUBBLER DETAIL: IR-180	30	3'	.25	15.0	SEE CHART	PRESSURE COMPENSATING 2 GPH EMITTER USE 2 PER SHRUB
●	RAINBIRD 1401 LOW FLOW BUBBLER DETAIL: IR-181	30	3'	.25	15.0	SEE CHART	PRESSURE COMPENSATING LOW FLOW BUBBLER USE 2 PER TREE
▶	RAINBIRD PC20 PC EMITTER DETAIL: IR-225	30	3'	2.0	SEE CHART	SEE CHART	BARBED PRESSURE COMPENSATING LOW FLOW EMITTER USE 4 PER TREE
■	RAINBIRD PC20 PC EMITTER DETAIL: IR-225	30	3'	2.0	SEE CHART	SEE CHART	BARBED PRESSURE COMPENSATING LOW FLOW EMITTER USE 2 PER SHRUB

NOTES:

- VALVE 1 AND 2 ALL BUBBLERS TO BE PRESSURE COMPENSATING. INSTALL NEXT TO THE ROOT BALL ON THE UPHILL SIDE, 2" ABOVE GRADE ON SCHEDULE 80 RISERS; MAKE FINAL ADJUSTMENTS IN THE FIELD AS REQUIRED TO MEET THE WATER NEEDS OF THE PLANTS.
- TREES TO BE ON A SEPARATE VALVE AND TO HAVE TWO PRESSURE COMPENSATING BUBBLERS/EMITTERS PER TREE. INSTALL IN A DEEP ROOT WATERING TUBE.
- VALVE 3 FOR SLOPE PLANTING TO BE 1/2" DRIP PIPE WITH TWO 2 GPH EMITTERS PER PLANT ON UPHILL SIDE OF THE PLANT. STAKE EACH 1/4" TUBING TO BASE OF ROOT BALL TO SECURE IN PLACE.

VALVE SCHEDULE

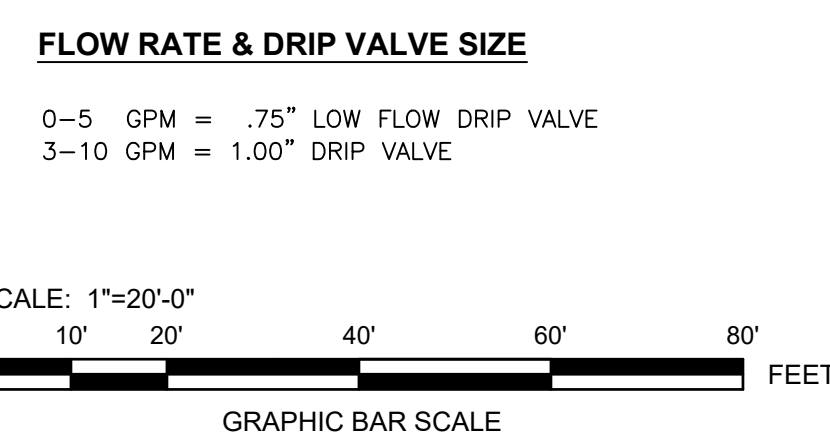
#	GPM	SIZE	DESCRIPTION	WATER USE	FLOW RATE
1	5.00	1"	TREE BUBBLER	LOW & MOD.	25 GPM BUBBLER PER TREE
2	10.25	1"	SHRUB BUBBLER	LOW & MOD.	25 GPM BUBBLER PER SHRUB
3	4.87	3/4"	SLOPE DRIP	LOW	2 GPH EMITTERS PER SLOPE SHRUB
4	1.20	3/4"	SLOPE DRIP	MODERATE	2 GPH EMITTERS PER SLOPE TREE

MONTEREY COUNTY

Project No.: 917
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Drawn: SMM
CAD File: 917-Castroville Mini Storage
SHEET
L-3.1
4 OF 5 SHEETS

IRRIGATION REQUIRED STATEMENTS AND CERTIFICATION

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.



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16340 LOWER HARBOR ROAD
SUITE 1 #337
BROOKINGS, OR 97415
MOBILE: (661) 256-4261
EMAIL: sue.mathis.landscape@gmail.com



REVISIONS

OWNER/DEVELOPER:
BARBARA CHERNUS FRENCH
Phone: (858) 353-3344
EMAIL: bchernus@gmail.com

PROJECT:
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10520 TEMBLADERA STREET
CASTROVILLE, CA 95012

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IRRIGATION PLAN



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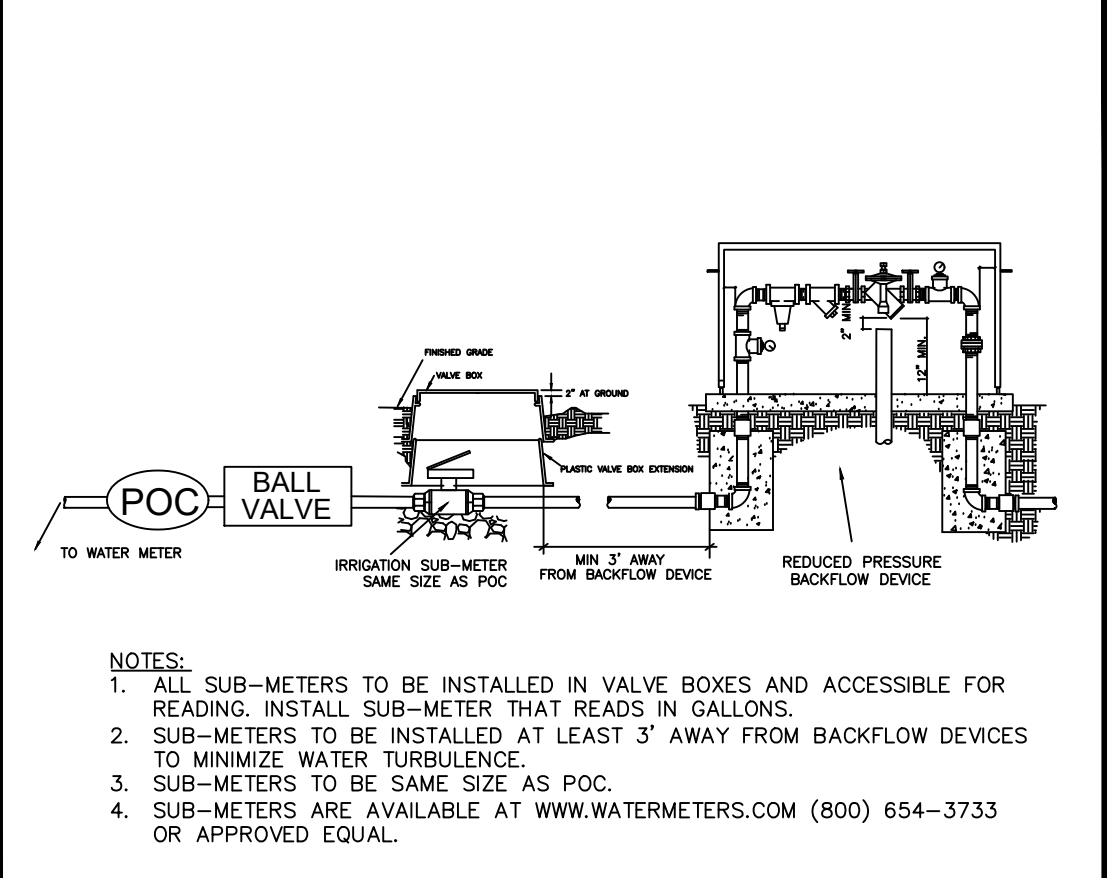
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DETAILS

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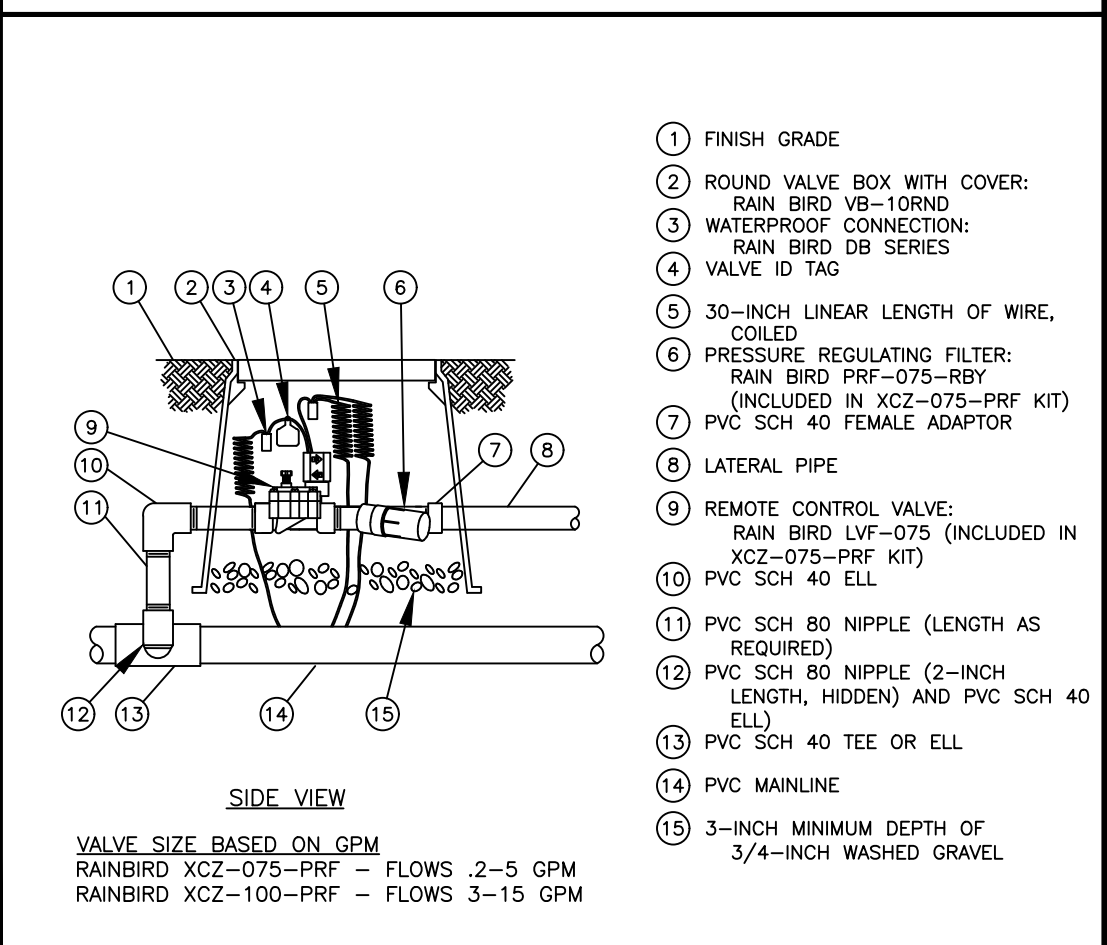
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 917-Castroville Mini Storage

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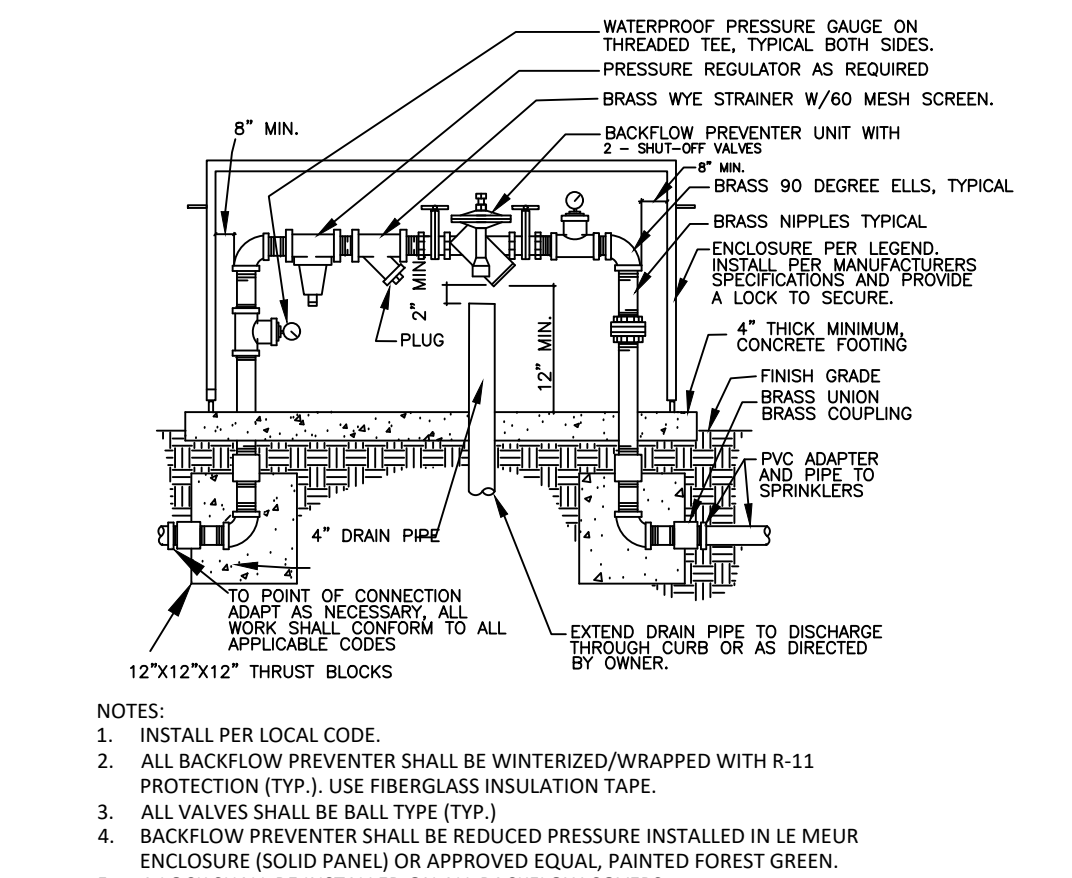
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 5 OF 5 SHEETS



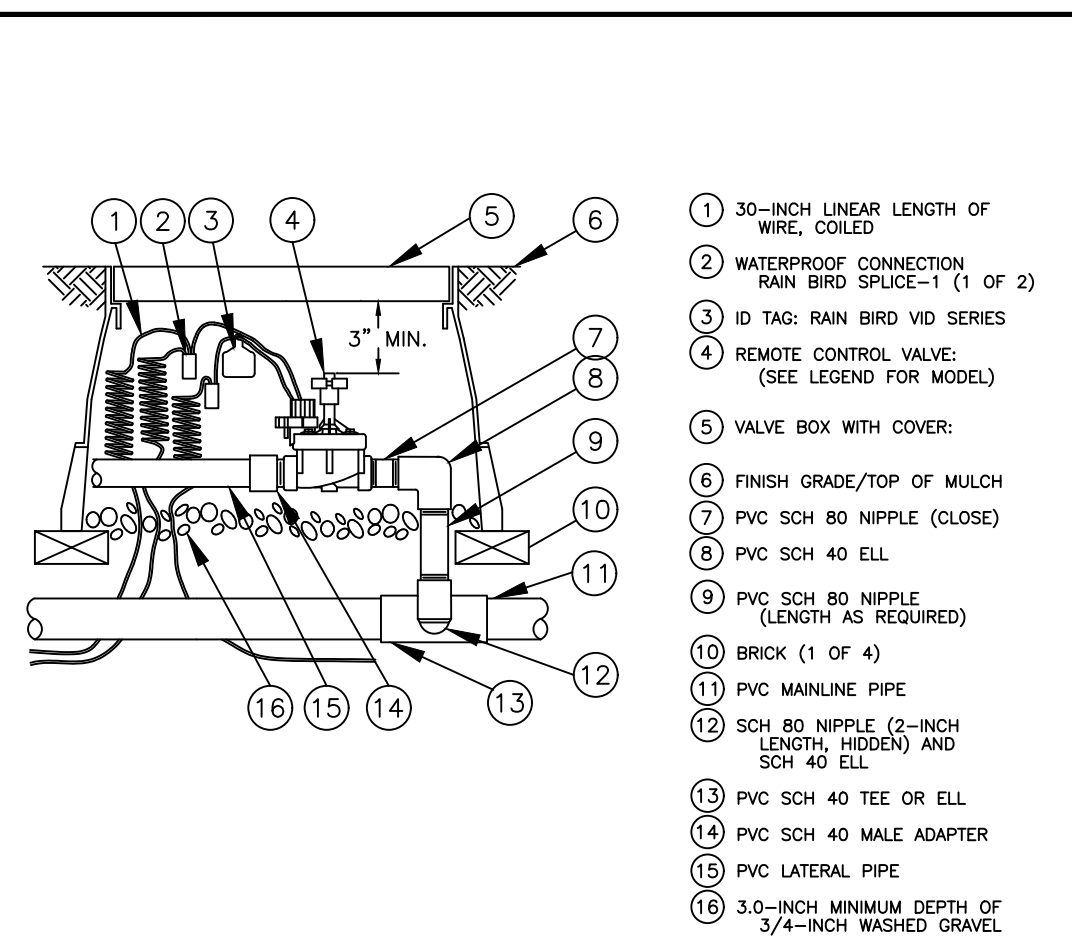
IR 130 REDUCED PRESSURE BACKFLOW DEVICE



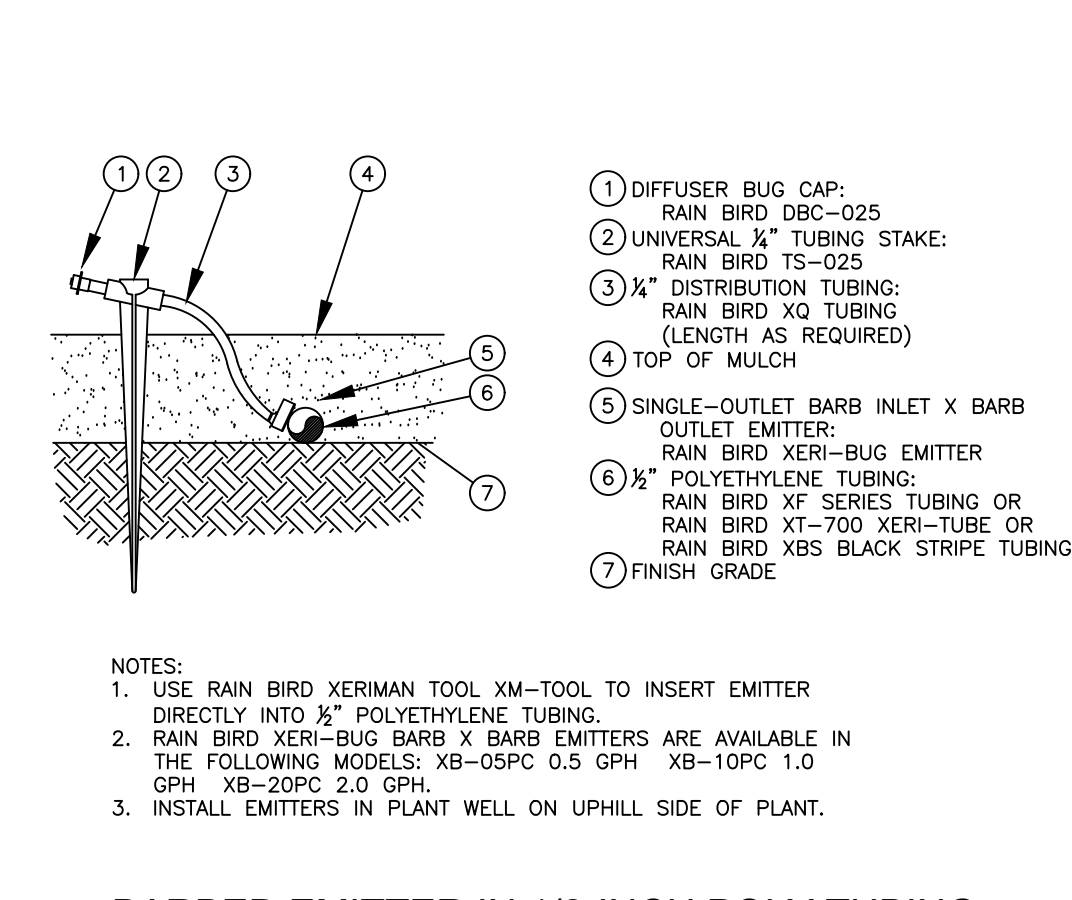
IR 138 IRRIGATION SUB-METER



IR 130 REDUCED PRESSURE BACKFLOW DEVICE



IR 160 REMOTE CONTROL VALVE



IR 225 BARBED EMITTER IN 1/2-INCH POLY TUBING WITH 1/4" TUBING, STAKE AND BUG CAP

ET CONTROLLER SET-UP INFORMATION:

THIS ET CONTROLLER INITIAL SET UP USES A SERIES OF STEPS TO INPUT VALUABLE INFORMATION SO THE CONTROLLER CAN IRRIGATE THE PLANTS APPROPRIATELY BASED ON THE PLANTS USED AND THE IRRIGATION DESIGN.

BELOW ARE CHARTS FOR GPM BUBBLERS AND GPM EMITTERS. THE RUN TIMES ARE SET BASED ON THE CANOPY SIZE AND WATER NEEDS FOR THOSE PLANTS. IT IS IMPORTANT TO EVALUATE THE PLANT SIZE EVERY 6 MONTHS AND UPDATE THE AVERAGE CANOPY SIZE. THIS WILL ADJUST THE WATERING TIMES BASED ON THE NEEDS OF THE PLANT.

THE LOCAL OR ON-SITE WEATHER STATION UPDATES DAILY TO ADJUST WATERING BASED ON THE WEATHER CONDITIONS.

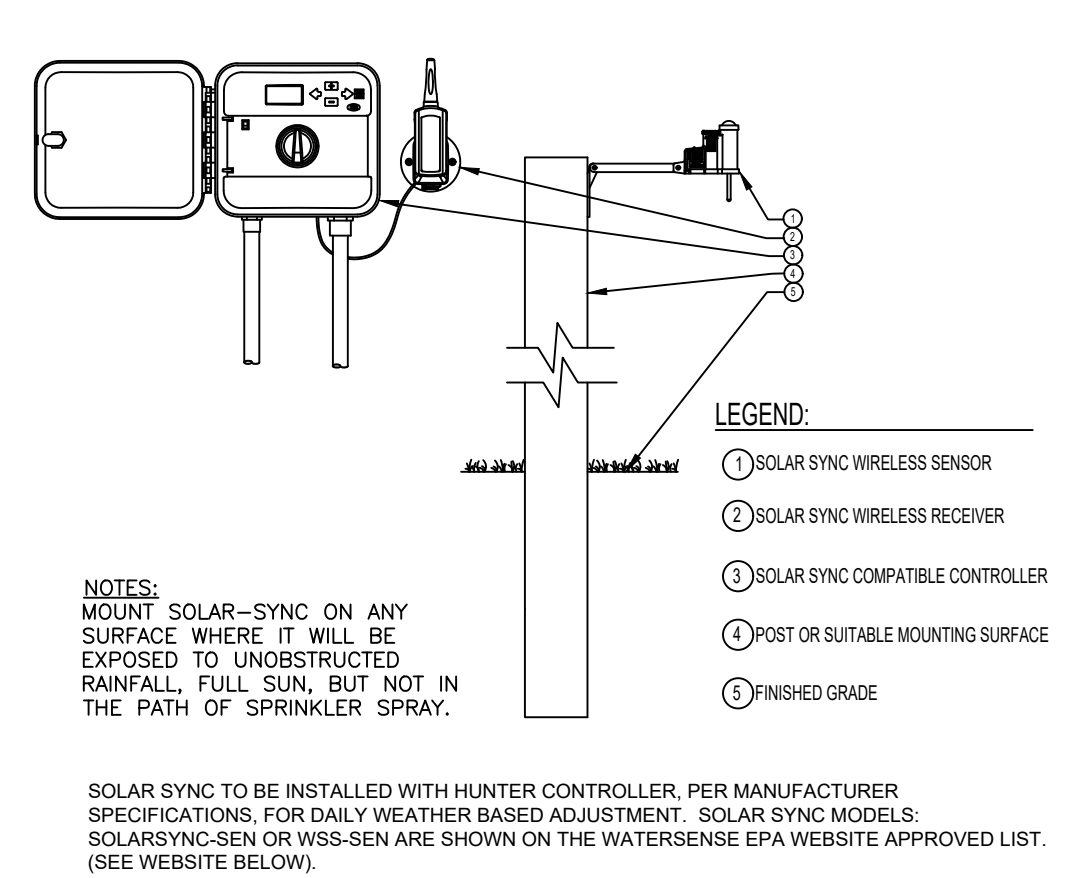
TREE BUBBLERS 25GPM X 2		SHRUB EMITTERS 2 GPH		SHRUB EMITTERS 7 GPH	
TREE DIAM	PRECIP RATE	SHRUB DIAM	PRECIP RATE	SHRUB DIAM	PRECIP RATE
4"	3.85 IN/HR	3"	1.02 IN/HR	2"	3.15 IN/HR
6"	1.70 IN/HR	4"	0.45 IN/HR	4"	0.80 IN/HR
8"	0.96 IN/HR	6"	0.11 IN/HR	6"	0.40 IN/HR
10"	0.61 IN/HR	8"	0.06 IN/HR	8"	0.22 IN/HR
12"	0.47 IN/HR	10"	0.03 IN/HR	10"	0.14 IN/HR
15"	0.27 IN/HR	12"	0.02 IN/HR	12"	0.10 IN/HR
20"	0.15 IN/HR	15"	0.01 IN/HR	15"	0.06 IN/HR
25"	0.10 IN/HR	18"	0.01 IN/HR	18"	0.04 IN/HR
30"	0.07 IN/HR	20"	0.01 IN/HR	20"	0.03 IN/HR

BASED ON 2 X 25 GPM X 2
 BASED ON 2 GPH EMITTERS
 BASED ON 7 GPH EMITTERS

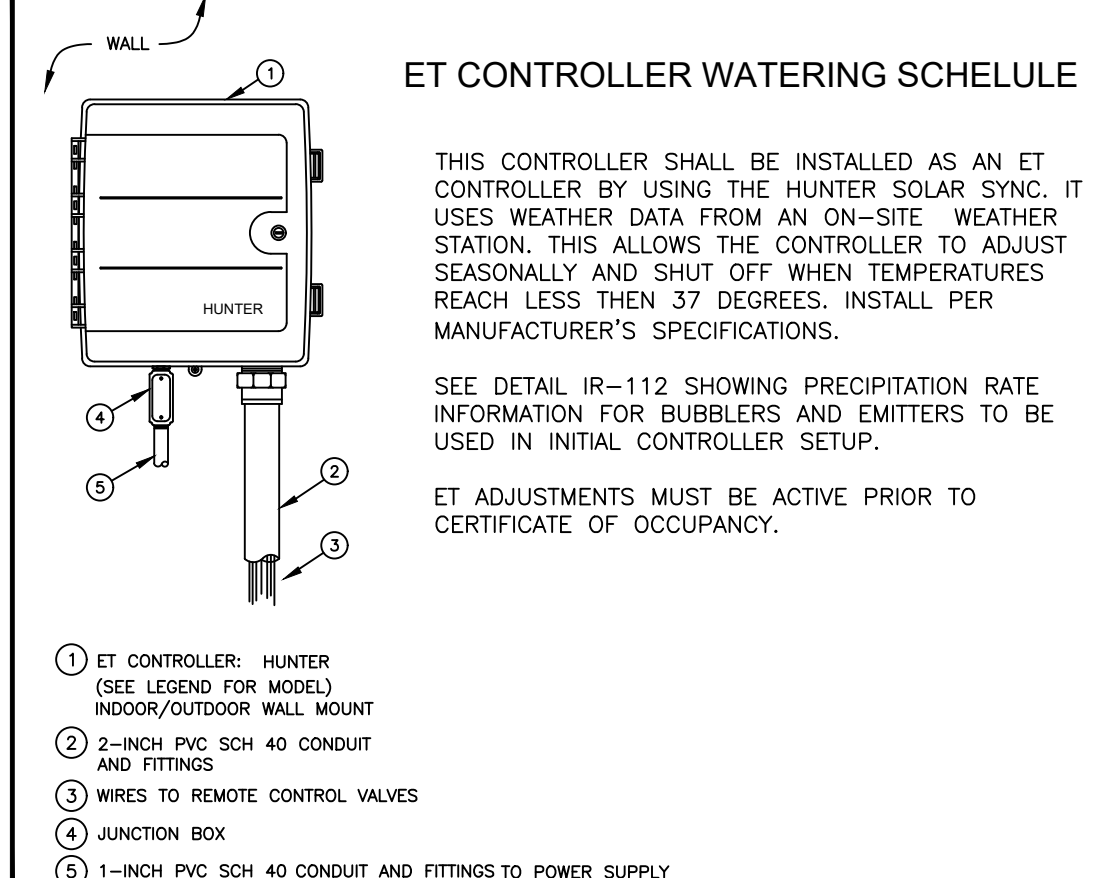
SHRUB BUBBLERS 25 GPM		SHRUB EMITTERS 5 GPH		SHRUB EMITTERS 10 GPH	
SHRUB DIAM	PRECIP RATE	SHRUB DIAM	PRECIP RATE	SHRUB DIAM	PRECIP RATE
2"	7.67 IN/HR	2"	1.14 IN/HR	2"	3.11 IN/HR
3"	3.41 IN/HR	4"	0.54 IN/HR	4"	1.38 IN/HR
4"	1.92 IN/HR	6"	0.28 IN/HR	6"	0.57 IN/HR
6"	0.85 IN/HR	8"	0.16 IN/HR	8"	0.32 IN/HR
8"	0.48 IN/HR	10"	0.10 IN/HR	10"	0.20 IN/HR
10"	0.31 IN/HR	12"	0.07 IN/HR	12"	0.14 IN/HR
12"	0.21 IN/HR	15"	0.05 IN/HR	15"	0.10 IN/HR

BASED ON 25 GPM BUBBLERS
 BASED ON 5 GPH EMITTERS
 BASED ON 10 GPH EMITTERS

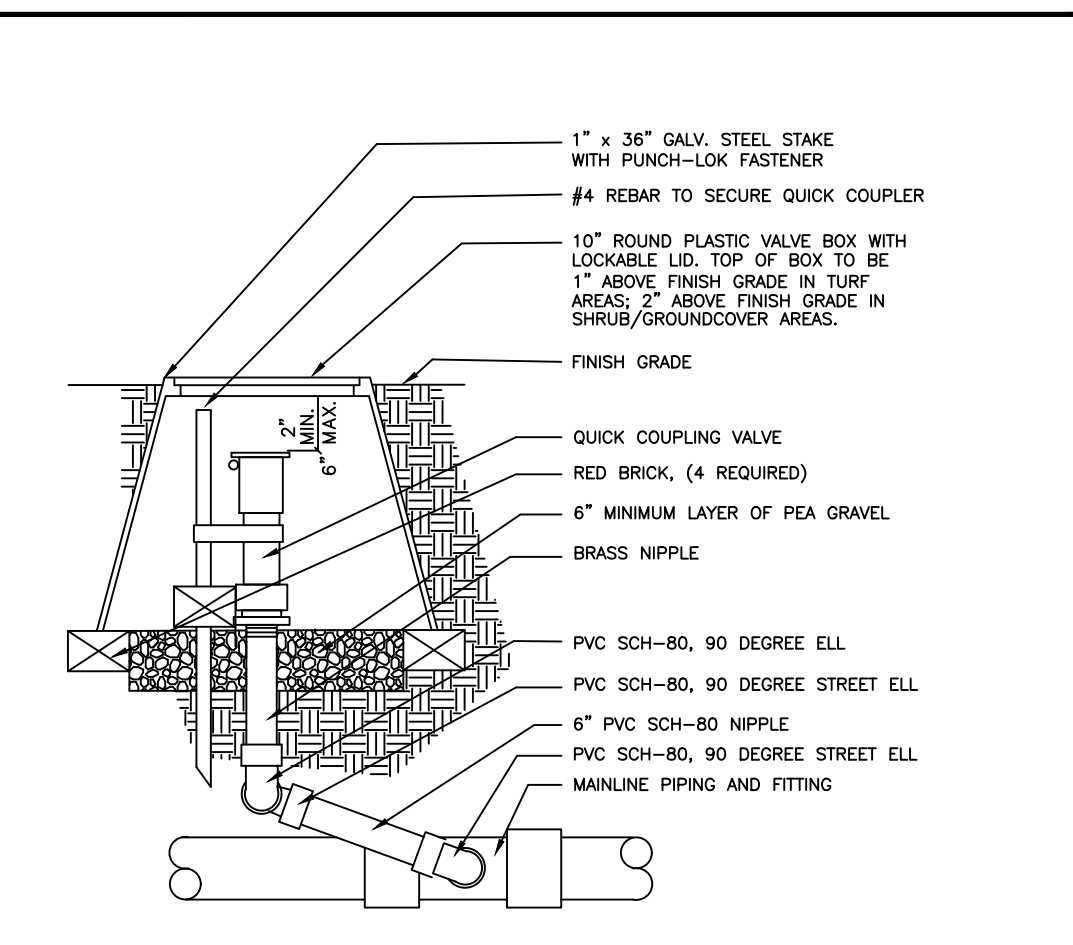
IR 112 ET CONTROLLER WATERING SCHEDULE & SETUP INFORMATION



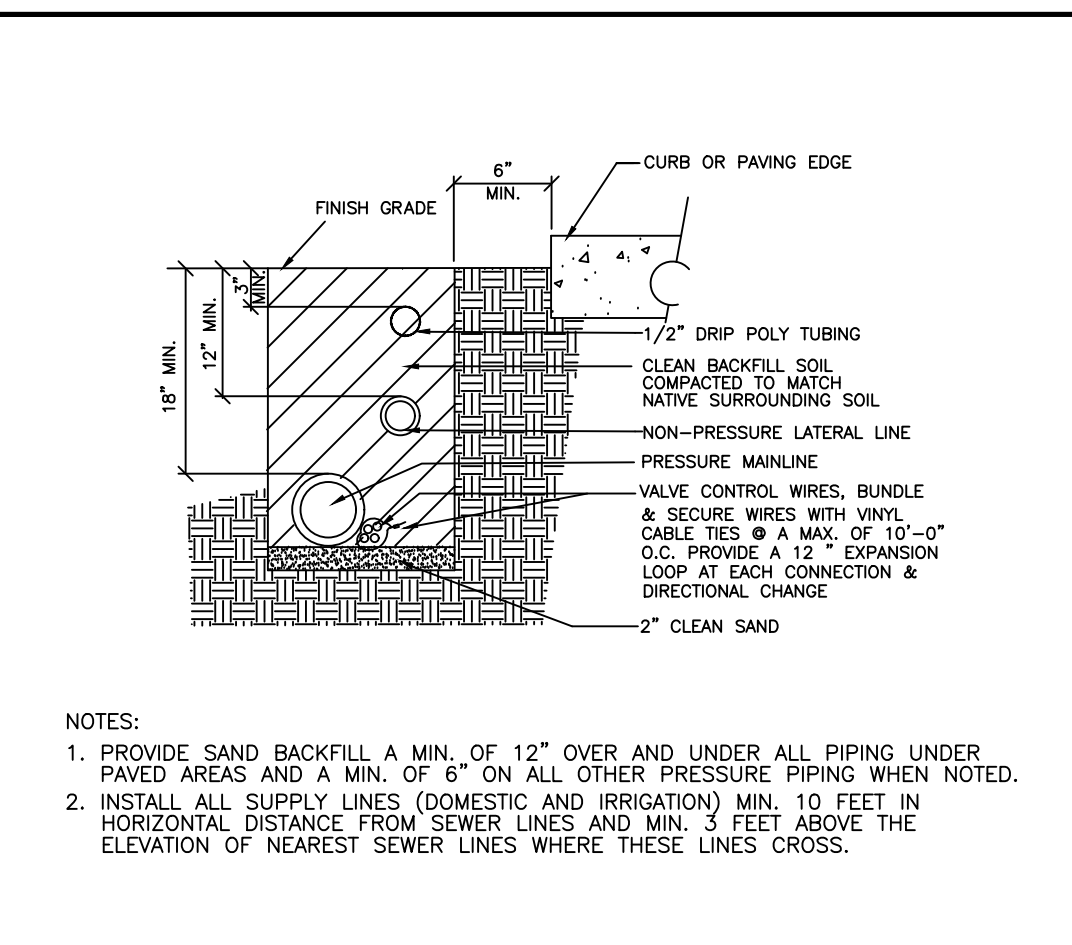
IR 116H HUNTER SOLAR-SYNC WIRELESS SENSOR



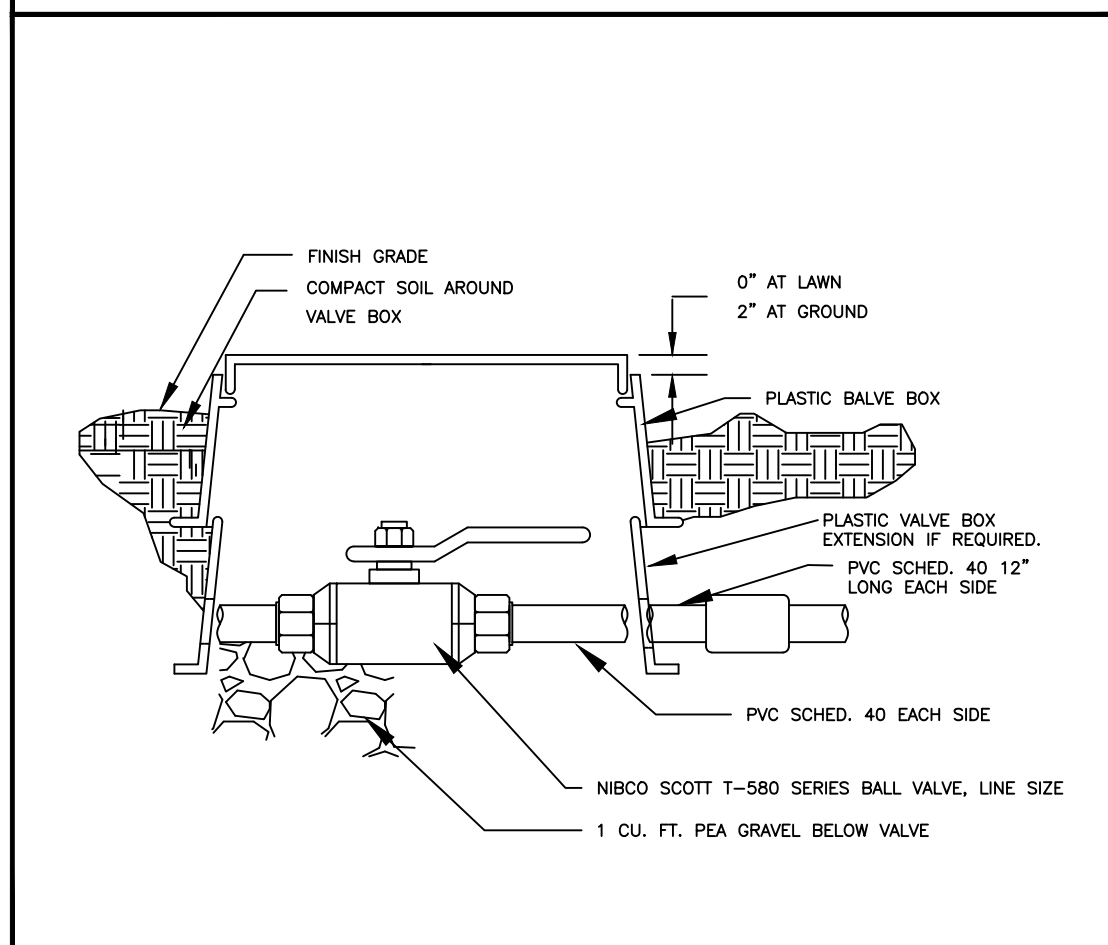
IR 110H ET CONTROLLER & WATERING SCHEDULE



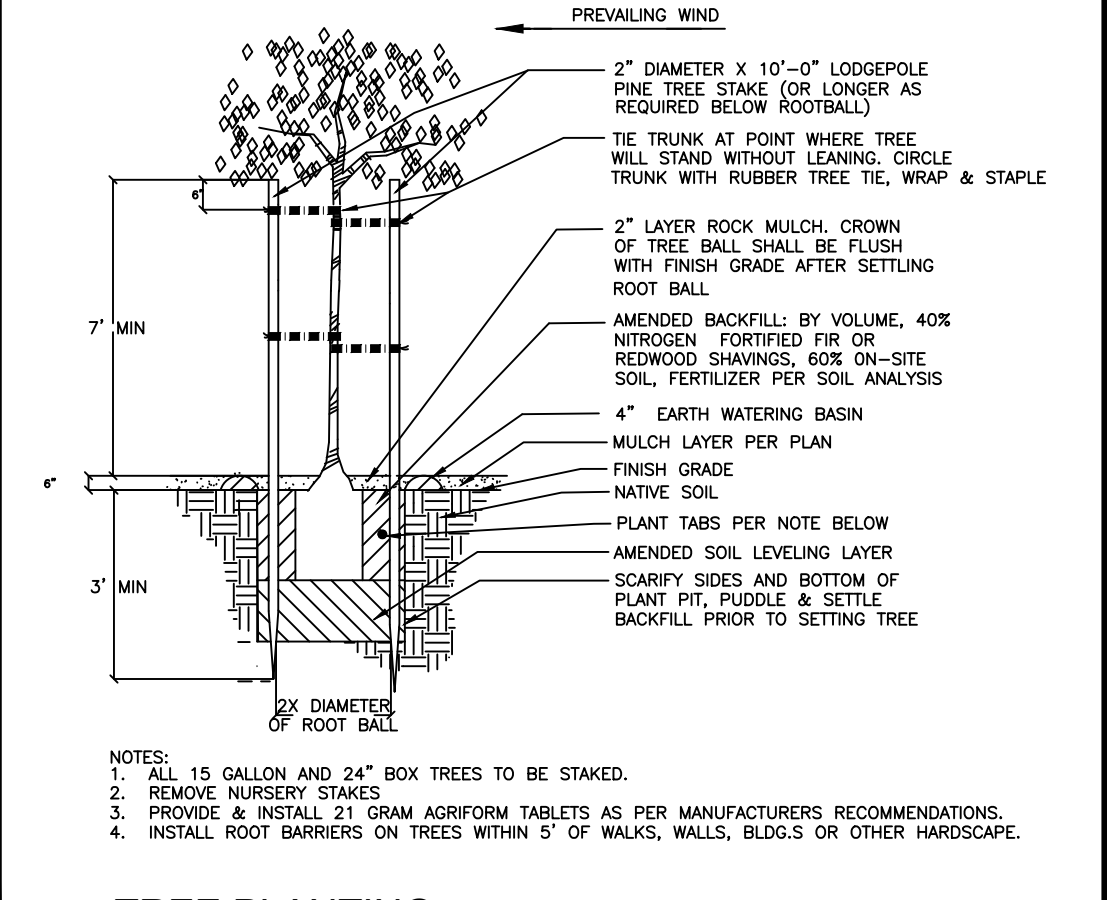
IR 145 QUICK COUPLING VALVE



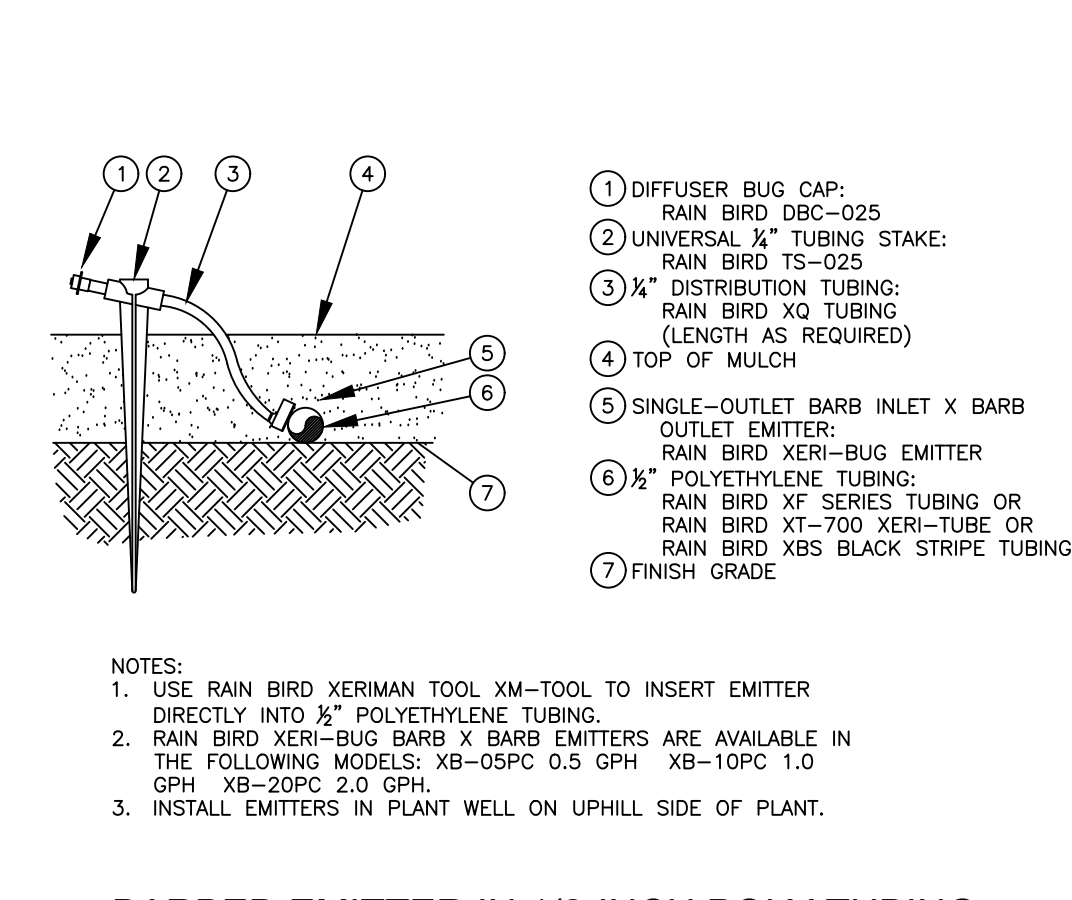
IR 148 TRENCHING



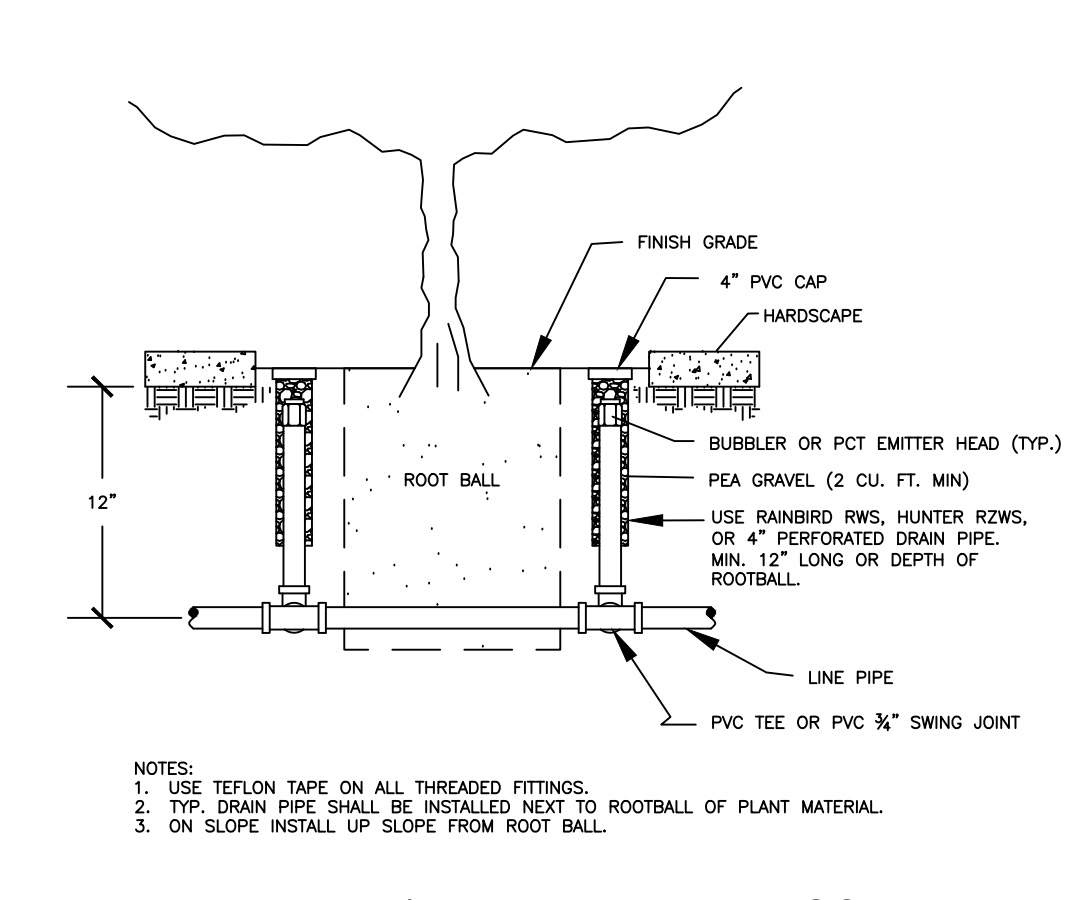
IR 141 BALL VALVE (BRASS)



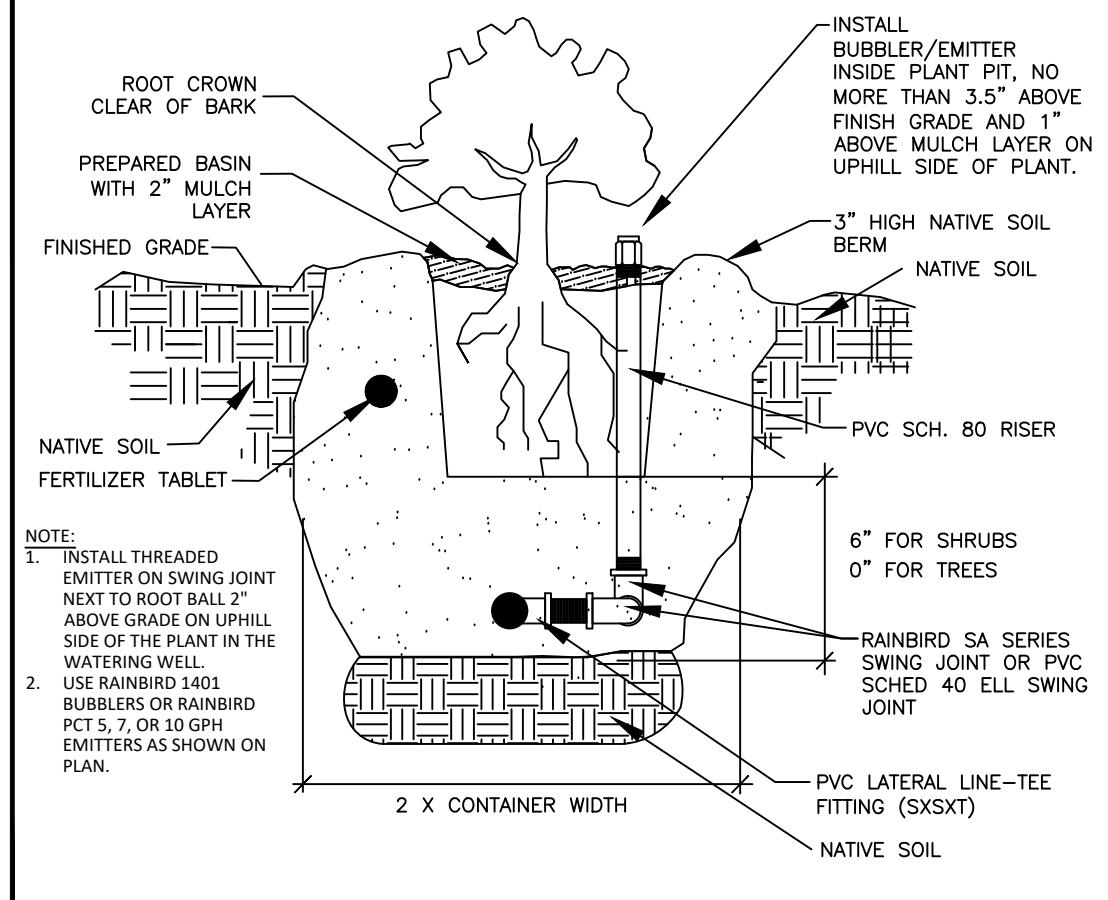
PL 305 TREE PLANTING



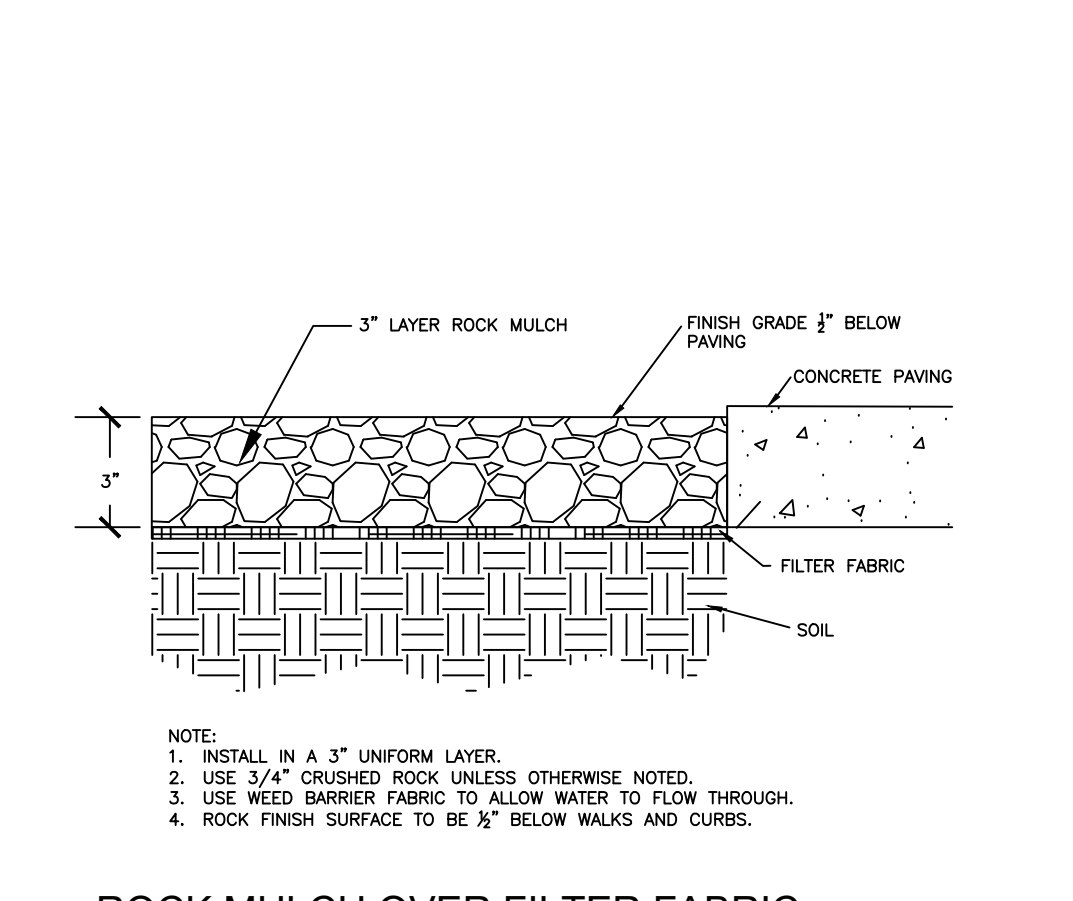
IR 220 XFS SUB-SURFACE DRIPLINE FLUSH POINT WITH EASY FIT COMPRESSION FITTINGS



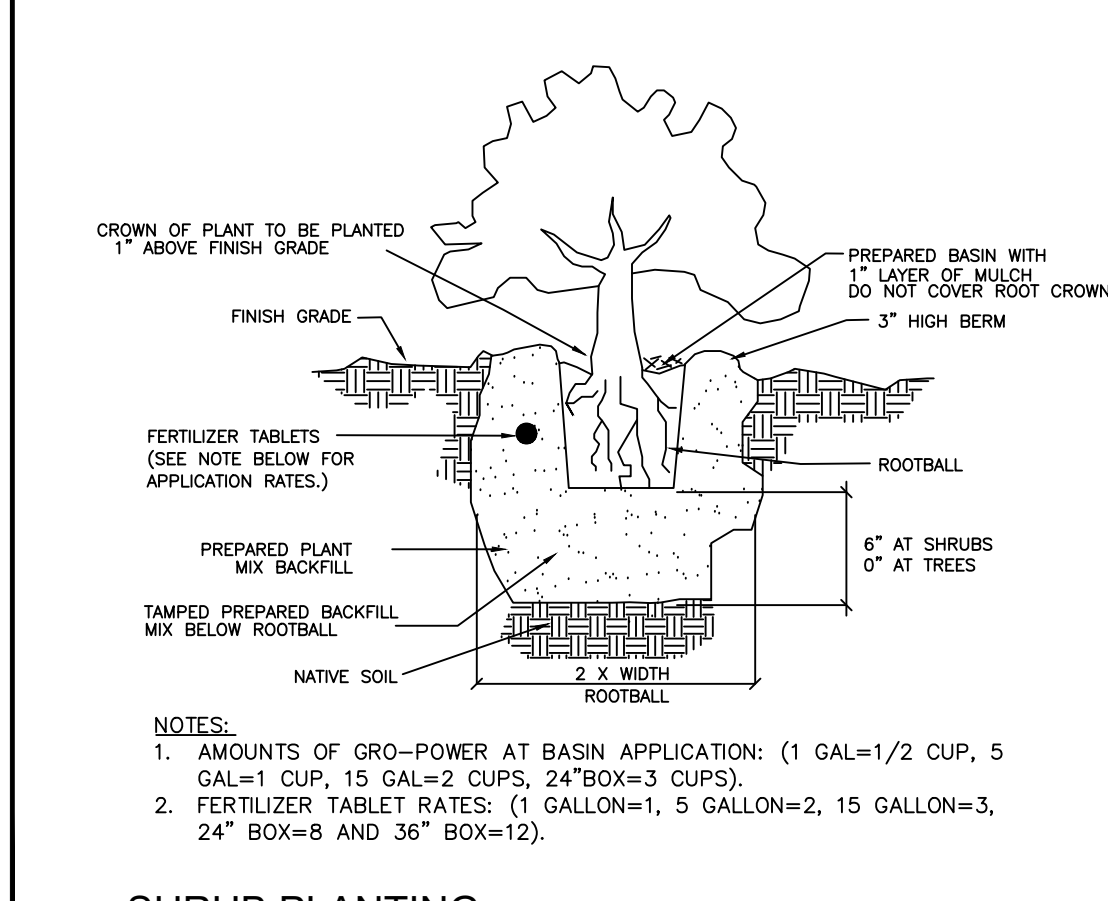
IR 181 TREE BUBBLER/EMITTER IN DEEP ROOT WATERING TUBE



IR 180 SHRUB BUBBLER / EMITTER IN PLANT WELL



PL 360 ROCK MULCH OVER FILTER FABRIC



PL 320 SHRUB PLANTING