

Attachment A

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DRAFT RESOLUTION

Before the Monterey County Airport Land Use Commission, State of California

Resolution No. 25-

Finding that the proposed conversion of a portion of an existing office building into event space and vehicle storage is consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.
REF250035, 2555 Garden Road, Monterey, (APN: 013-321-003-000).

WHEREAS, on September 2, 2025, the City of Monterey (City) submitted an ALUC application (ALUC File No. REF250035) to ALUC staff requesting a consistency determination of the proposed conversion of portion of an existing office building into an event space and vehicle storage on the property located at 2555 Garden Road, Monterey; and

WHEREAS, the ALUC is responsible for the review of local land use regulations affecting land uses within the Airport Influence Area for Monterey Regional Airport, as identified in the Monterey Regional Airport Land Use Compatibility Plan (ALUCP), incorporated herein by reference, for consistency with the ALUCP; and

WHEREAS, the proposed project includes converting a portion of an existing 28,000 square foot office building at 2555 Garden Road from office space into an event space and vehicle storage area. The square feet to be converted is 5,340 for the event space and 2,780 for the vehicle storage area. The remaining 19,880 square feet would remain for office uses. The proposed project does not include any exterior physical changes to the existing development on site.

WHEREAS, pursuant to ALUCP Exhibit 4B, Noise Compatibility Criteria and Long Range Noise Exposure Contours, the subject property is located outside of the 65-, 70-, or 75- Community Noise Equivalent Levels (CNELs), and therefore, the proposed development is a compatible use; and

WHEREAS, the project site is entirely located within the 14 Code of Federal Regulations (CFR) Part 77 horizontal surface, which has an elevation of 406.6 feet above mean sea level (AMSL). The proposed development does not include increasing the height of any structure beyond what is currently existing on site and therefore will not encroach on Part 77 Surfaces and is an allowed use with respect to airspace protection criteria (ALUCP Policy 4.2.3); and

WHEREAS, the majority (approximately 22,000 square feet) of the office building's footprint is located on the southern half of the site, within Safety Zone 7 (Airport Influence Area). The remainder of the property is within Safety Zone 5 (Sideline Safety Zone). Given that the property is divided by multiple compatibility zone

boundaries, ALUCP Policy 4.1.7 requires that the more restrictive safety zone criteria apply for the purpose of this safety compatibility analysis. Safety Zone 5 limits non-residential development to an intensity of 100 persons per acre. Accordingly, the subject three-acre site could support approximately 300 individuals. The applicant has confirmed that there would be no more than approximately 100 people inside the building at any single point in time. As proposed, the project would result in a non-residential intensity of no more than 50 persons per acre. The proposed occupancy falls within the allowable intensity standards for Safety Zone 5 per ALUCP Table 4B (Safety Compatibility Criteria); and

WHEREAS, as conditioned, the proposed conversion is an allowed use within Safety Zones 5 and 7, will not introduce a substantial number of vulnerable occupants into an area subject to higher aircraft-related risk, and is therefore a compatible use under ALUCP Table 4B; and

WHEREAS, in accordance with Table 4B, Condition No. ALUC-7 requires the recordation of the airport disclosure notice; and

WHEREAS, on September 24, 2025, ALUC staff forwarded project information to Monterey Airport District (District) staff for review. The District had no concerns but requested two conditions, ALUC-5 and ALUC-6, which have been applied; and

WHEREAS, on October 27, 2025, the ALUC conducted a duly noticed public meeting to consider the proposed project located at 2555 Garden Road, Monterey, (APN: 013-321-003-000); and

NOW, THEREFORE, BE IT RESOLVED, the Monterey County Airport Land Use Commission does hereby find that the proposed conversion of a portion of an existing office building at 2555 Garden Road, Monterey, into an event space and vehicle storage is consistent with the 2019 ALUCP for Monterey Regional Airport, subject to the conditions of approval incorporated here by reference.

PASSED AND ADOPTED on this 27th day of October 2025, upon motion of Commissioner _____ and seconded by Commissioner _____, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST

Craig Spencer, Secretary to the ALUC

By: _____
Fionna Jensen, Designee of Secretary to the ALUC
October 27, 2025



ALUC CONDITIONS

The following standard and/or non-standard conditions may be applied to an application being considered before the ALUC. If the box next to the condition is marked, that indicates the condition is to be applied to the project as part of the ALUC recommendation.

PROJECT NAME: 2555 Garden Road City of Monterey - MHT Holdings LLC
ALUC FILE NO.: REF250035

☒	ALUC-7	NON-STANDARD: REAL ESTATE DISCLOSURE NOTICE Prior to issuance of construction permits, the applicant/owner shall record a California Real Estate Disclosure Notice pursuant to California Business and Professions Code, Section 11010(b)(13), that states "This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you." If such Notice has already been recorded on title, evidence must be provided to City of Monterey staff.
☒	ALUC-6	EXTERIOR LIGHTING If exterior lighting is modified or proposed, prior to the issuance of a construction permit for a new source of outdoor lighting, an Exterior Lighting Plan shall be reviewed and approved by the applicable airport manager prior to the issuance of any construction permits. All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled.
☒	ALUC-5	OBJECTS AFFECTING NAVIGABLE AIRSPACE The project shall conform to FAR, Part 77 – Objects Affecting Navigable Airspace.

PROJECT REVIEWED BY THE ALUC ON: 10/27/25.

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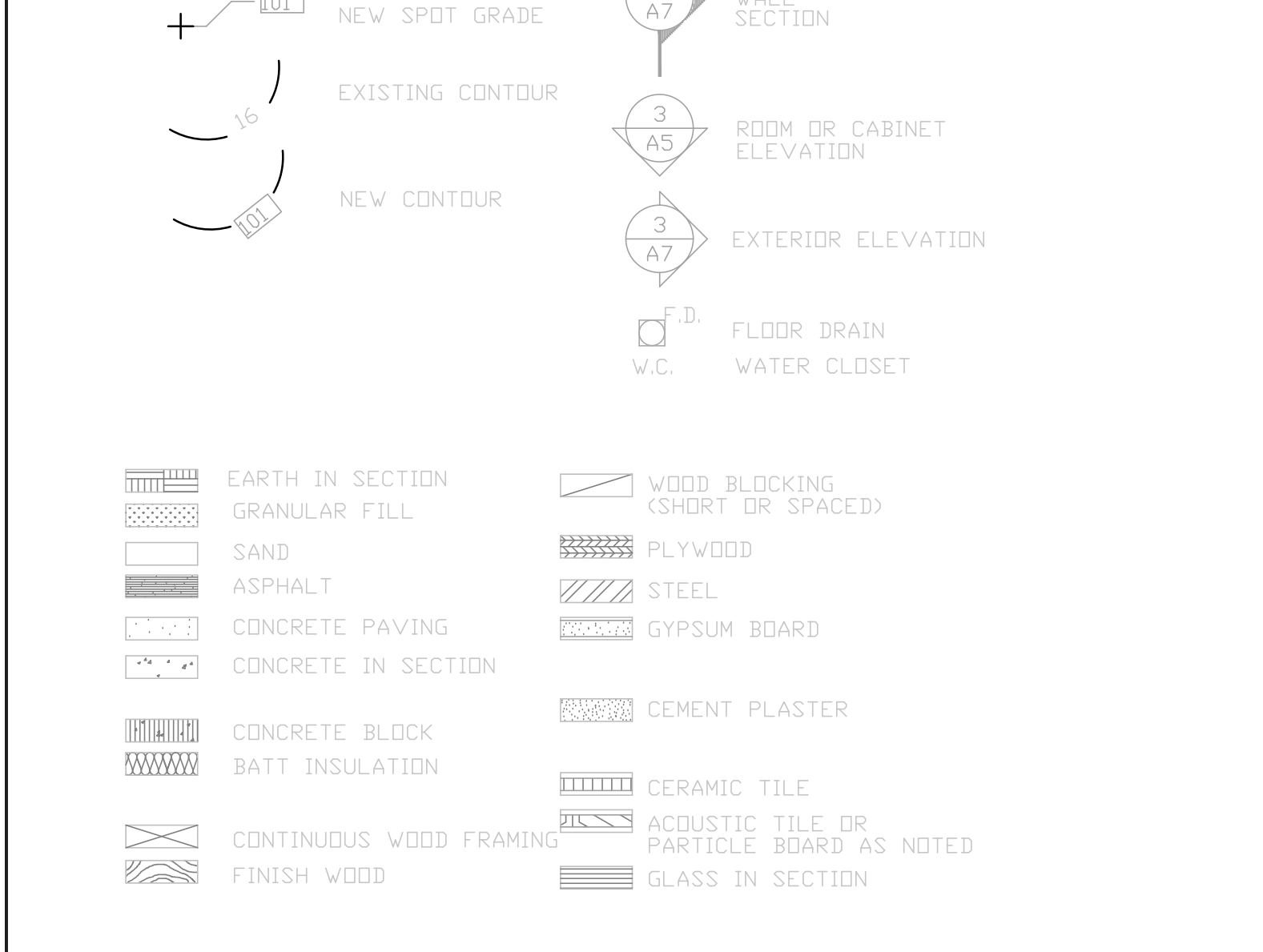
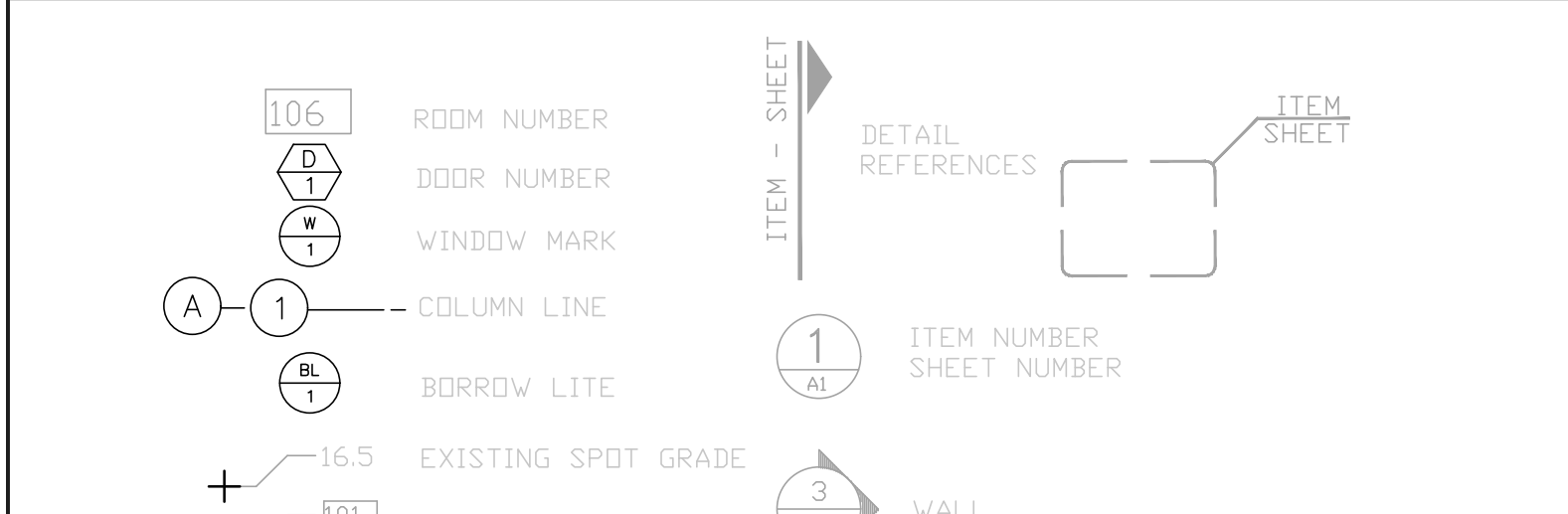
SHEET INDEX

Sheet number	description
1	Title sheet, Site Plan
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2	Existing Floor Plan
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3.1	Proposed Floor Plan
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6	Fire Rated Corridor Details
7	Hood Notes
8	General Notes

ABBREVIATIONS

& AND @ ANGLE @ AT @ CENTERLINE @ DIA OR ROUND @ L PERPENDICULAR # POUND OR NO.	FOF FDS FPRF FTG FURR FUT	FACE OF FIN FACE OF STUDS FIREPROOF FOOTING FURRING FUTURE	R RAD REINF REQ RESIL RO RWD	RISER RADIUS REINFORCED REQUIRED RESIST ROUGH OPENING REDWOOD
ACDS ADJ AFF AL APX ARCH	GA GALV GENL GL GYP	GAUGE GALVANIZED GENERAL GLASS GRADE GYPSUM	SC SCD SD SHT SHM SND SPEC (S) STL SSK STD SUSP SURF SM SW SWBD SYM	SOLID CORE SEED COVER DISP. SOAP DISPENSER SHEET SIMILAR SANITARY NAPKIN DISP. SPECIFICATION STAINLESS STEEL SERVICE SINK STANDARD SUSPENDED SURFACE SURFACE MOUNTED SWITCH SWITCH BOARD SYMMETRICAL
BD BOT CAB CPT CEM CER CI CLG CLKG CKT CLR CNC CO CONST CNT CNTR CTR	BOARD BOTTOM HBD HWD HDW HOR HGT ID INSUL INT JT LAM LAV L LAMINATE LAVATORY LIGHT MCWD MECH MEMB MC MTL MIR MNT MTD	HC HBD HWD HDW HOR HGT ID INSUL INT JT LAM LAV L LAMINATE LAVATORY LIGHT MCWD MECH MEMB MC MTL MIR MNT MTD	T TB TC TEL T&G THK THK TPD TV TYP UNF UN VERT VERT W/ W/ W/ W/D WP WR WGT	TREAD TOWEL BAR TERMINAL CAN TELEPHONE THICK THICK TOILET PAPER DISP. TELEVISION TYPICAL UNFINISHED UNLESS OTHERWISE NOTED URINAL VERTICAL WINDOW WITH WITH WATER CLOSET WOOD WATER HEATER WITHOUT WATERPROOF WATER RESISTANT WEIGHT
DET DIA DIM DISC DR DBL DWN DWG	DETAIL DIAMETER DIMENSION DISCONNECT DOR DOUBLE DWN DRAWING	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE
EA EL ELEC EMER ENCL EQ EQPT (E) EXPD EXP EXT FDN FIN FIX FL FLASH FLOUR FOC	EACH ELEVATION ELECTRICAL EMERGENCY ENCLOSURE EQUAL EQUIPMENT EXISTING EXPOSED EXPANSION EXTERIOR FOUNDATION FINISH FIXTURE FLOOR FLASHING FLOURESCENT FACE OF CONCRETE	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE	OBS OBS OD OPNG OPP PREST PL P PLAS PLWYD PR PNT PAPER TOWEL DISP. PTN QUARRY TILE

SYMBOLS



PERTINENT DATA

Zoning: Commercial
Type of Construction: V-B
Occupancy: A-3
EXISTING LOT SIZE: 128706 Square Feet
Existing Building - 28000 SF
Sprinklers: No
Existing lot coverage - $28000/128706 = 21.75\%$

SCOPE OF WORK:

Repair fire damage, legalize new uses including new event center A-3 occupancy and new vehicle storage.

General Notes

GENERAL NOTES

-Do not scale these drawings. Use the written dimensions and verify all dimensions prior to construction.

-The drawings are the property of the architect and are not to be used in part or in whole for any work other than the location shown herein.

-The contractor shall have control and be responsible for any change of or change in construction means, methods, techniques, sequences, or procedures or for any safety precautions or programs in connection with the work.

-Verify all utility data and locations prior to any work. Onsite utilities shall be coordinated with the appropriate agency or utility company.

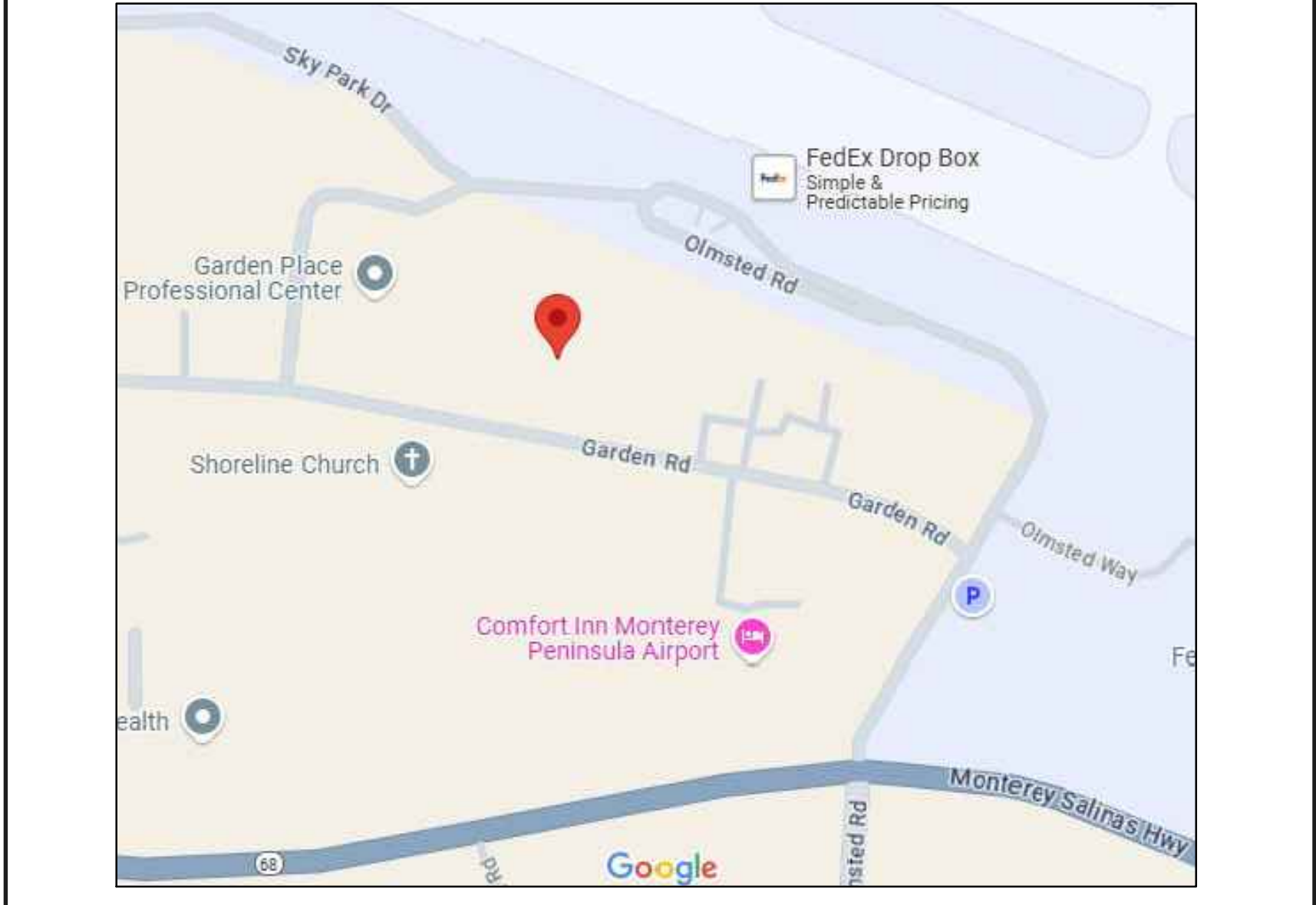
-The contractor shall schedule and coordinate all inspections and at the end of the work provide the owner with all the original signed documents from the inspecting authority.

- Annular spaces around pipe, electric cable, conduits and other openings in plates at exterior walls shall be protected against passage of rodents.
- Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste.
- Use materials with not less than 10% recycled content value.
- Reduce construction waste by not less than 65%. Documentation shall be submitted to the enforcing agency demonstrating compliance.
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
- Paint stains and other coatings shall be compliant with VOC limits.
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for RDC and other toxic compounds.
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
- Carpet and carpet systems shall be compliant with VOC limits.
- Vapor retarder and capillary break is installed at slab-on-grade Foundations.
- Moisture content of building materials used in wall and floor framing shall not exceed 19% and shall be check before enclosure

Ordinances and Regulations

2022 California Fire Code
2022 California Building Code
2022 California Plumbing Code
2022 California Mechanical Code
2022 California CalGreen Code
2022 California Energy Standards
2022 California Residential Code
City of Monterey standards and state regulatory requirements.

VICINITY MAP



All colors and materials to match existing
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REVISION DATE	KEY
	
	
	
	

DRAWING DATE: 1-4-25

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**JAMES "JIM" VOCELKA
ARCHITECT**

19020 KAREN DR.
SALINAS, CALIFORNIA 93907
PHONE: 831-663-6644
FAX: 831-663-6640
LICENSE NUMBER: C-19956

Ability
NEW STORES INC.

SHEET TITLE
Site plan Vicinity Map Sheet Index Pertinent Data

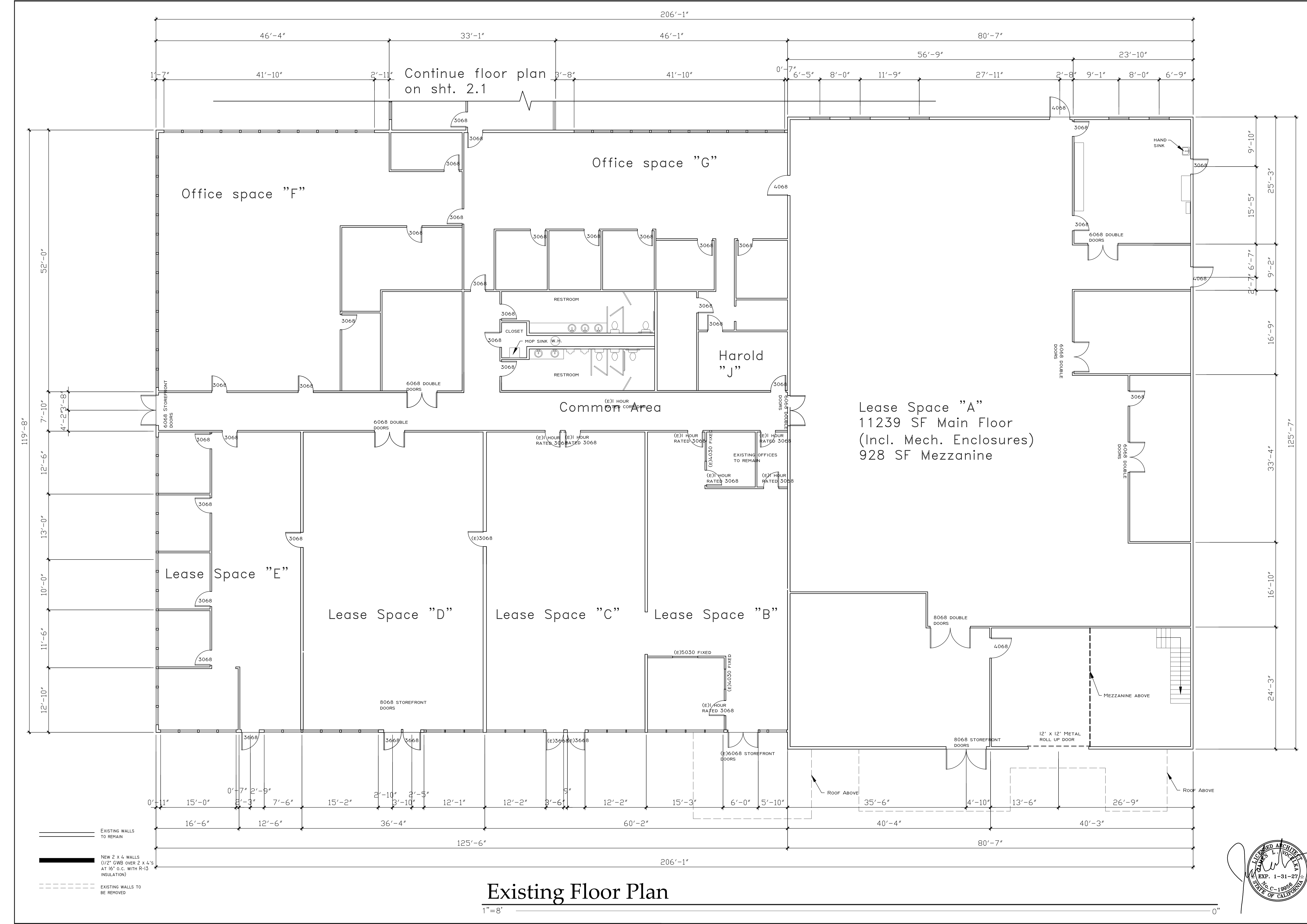
PROJECT
Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218

SCALE AS NOTED

DRAWN CADD
JOB —

SHEET 1

OF 11 SHEETS



REVISION		KEY
DATE		▲
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JAMES "JIM" VOGELKA
ARCHITECT
11239 GARDEN ROAD, SUITE 200
MONTEREY, CALIFORNIA 93940
PHONE: 831-663-6644
FAX: 831-663-6640
LICENSE NUMBER: C-19956

Ability
ENVIRONMENTAL RESOURCES INC.

PROJECT
Fire Damage for:
Employnet
2555 Garden Road
Monterey, CA 93940
A.P. # 013-321-003 PHONE: (408)-857-5218

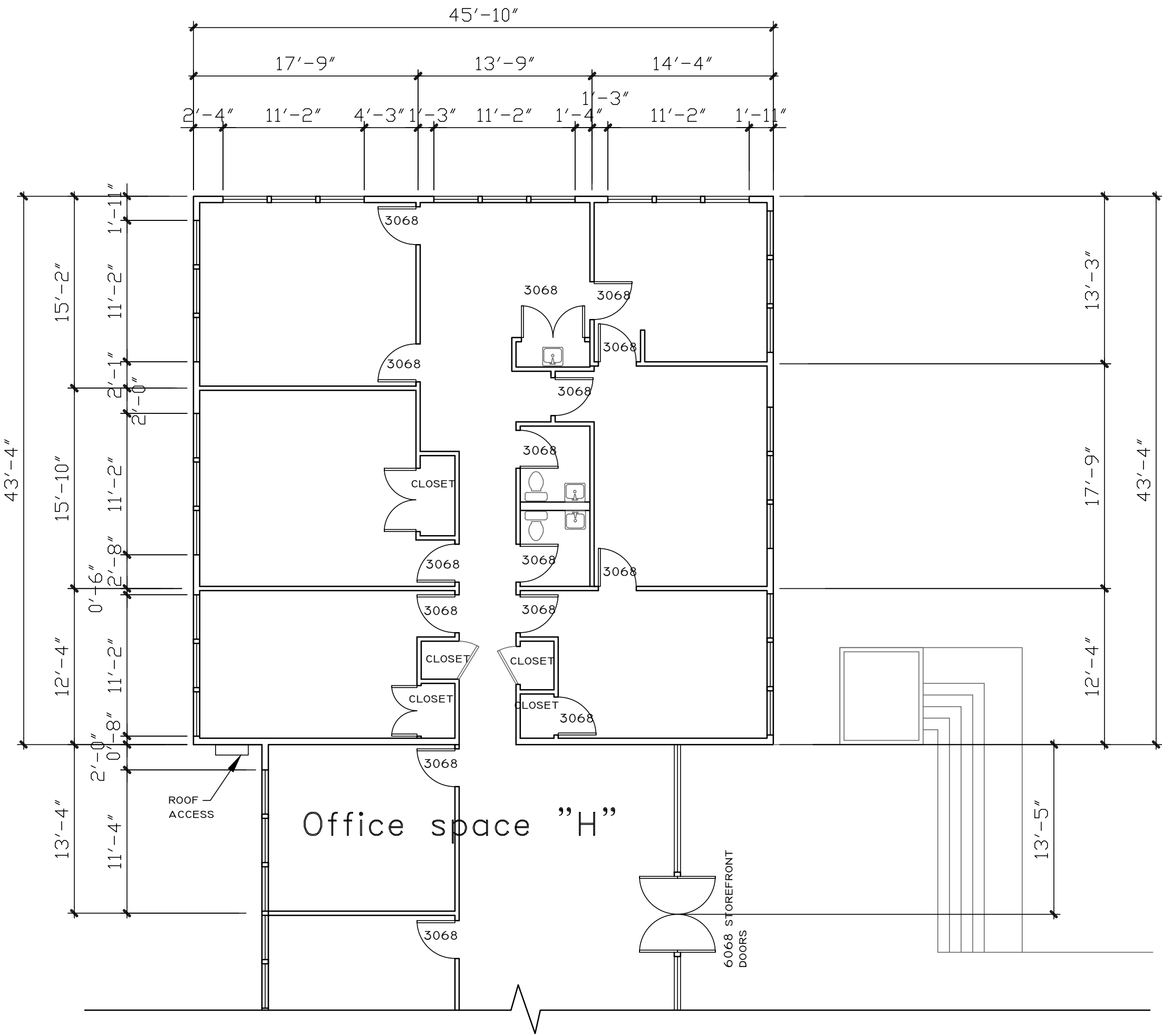
SHEET TITLE
Existing Floor Plan

SCALE
AS NOTED

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SHEET
2
OF 11 SHEETS

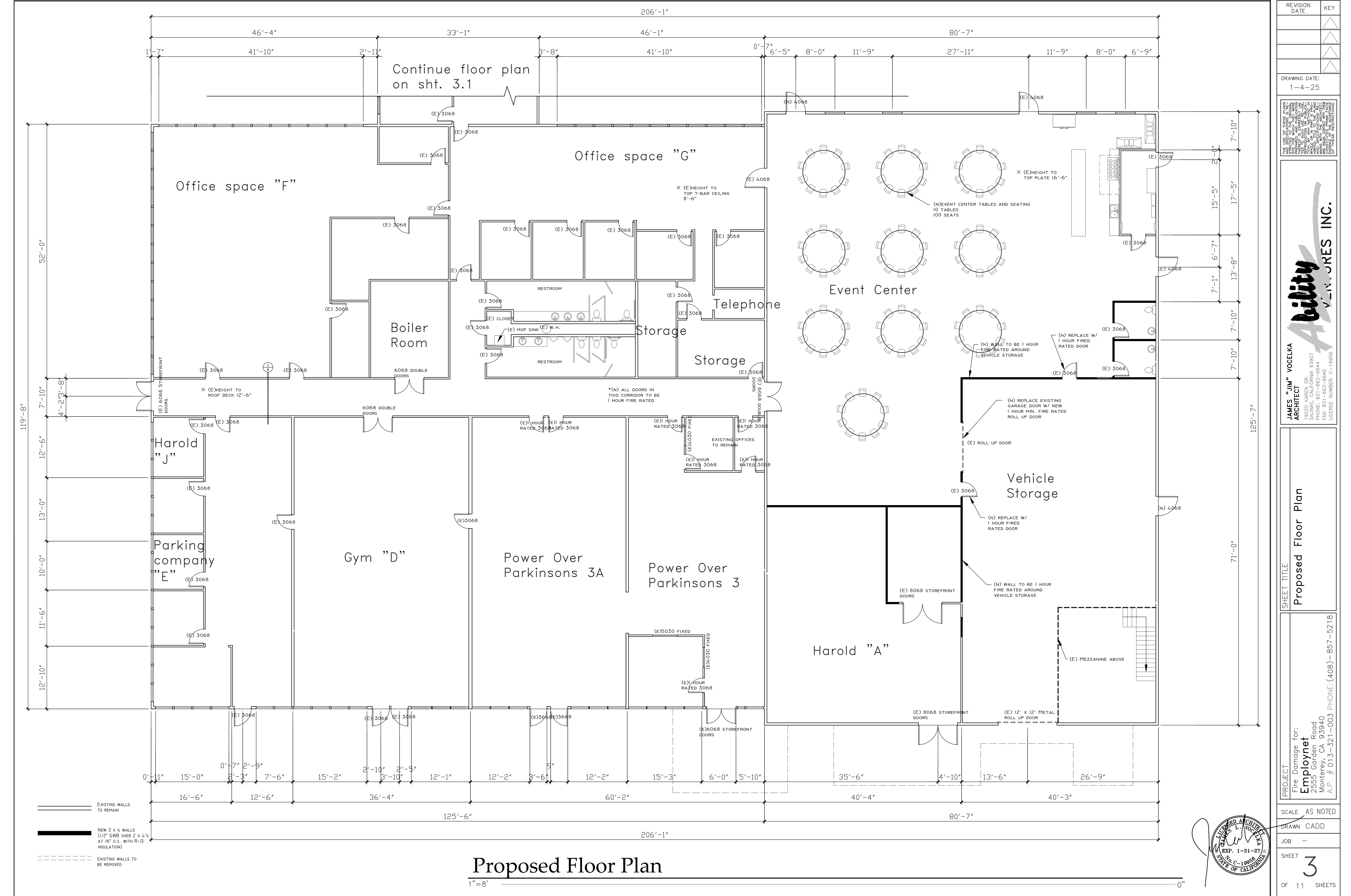


Continue floor plan
on sht. 2

Existing Floor Plan



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JAMES "JIM" VOCELKA ARCHITECT 1000 MARLIN DR. SAN JOSE, CALIFORNIA 95128 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956		
SHEET TITLE Existing Floor Plan		
PROJECT Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218		
SCALE AS NOTED		
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SHEET 2.1		
OF 11 SHEETS		



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ARCHITECT
18000 MARLIN DR.
SAN JUAN, CALIFORNIA 93907
PHONE: 831-663-6644
FAX: 831-663-6640
LICENSE NUMBER: C-19956

Ability
SOLUTIONS INC.

Proposed Floor Plan

PROJECT
Fire Damage for:
Employnet
2555 Garden Road
Monterey, CA 93940
A.P. # 013-321-003 PHONE: (408)-857-5218

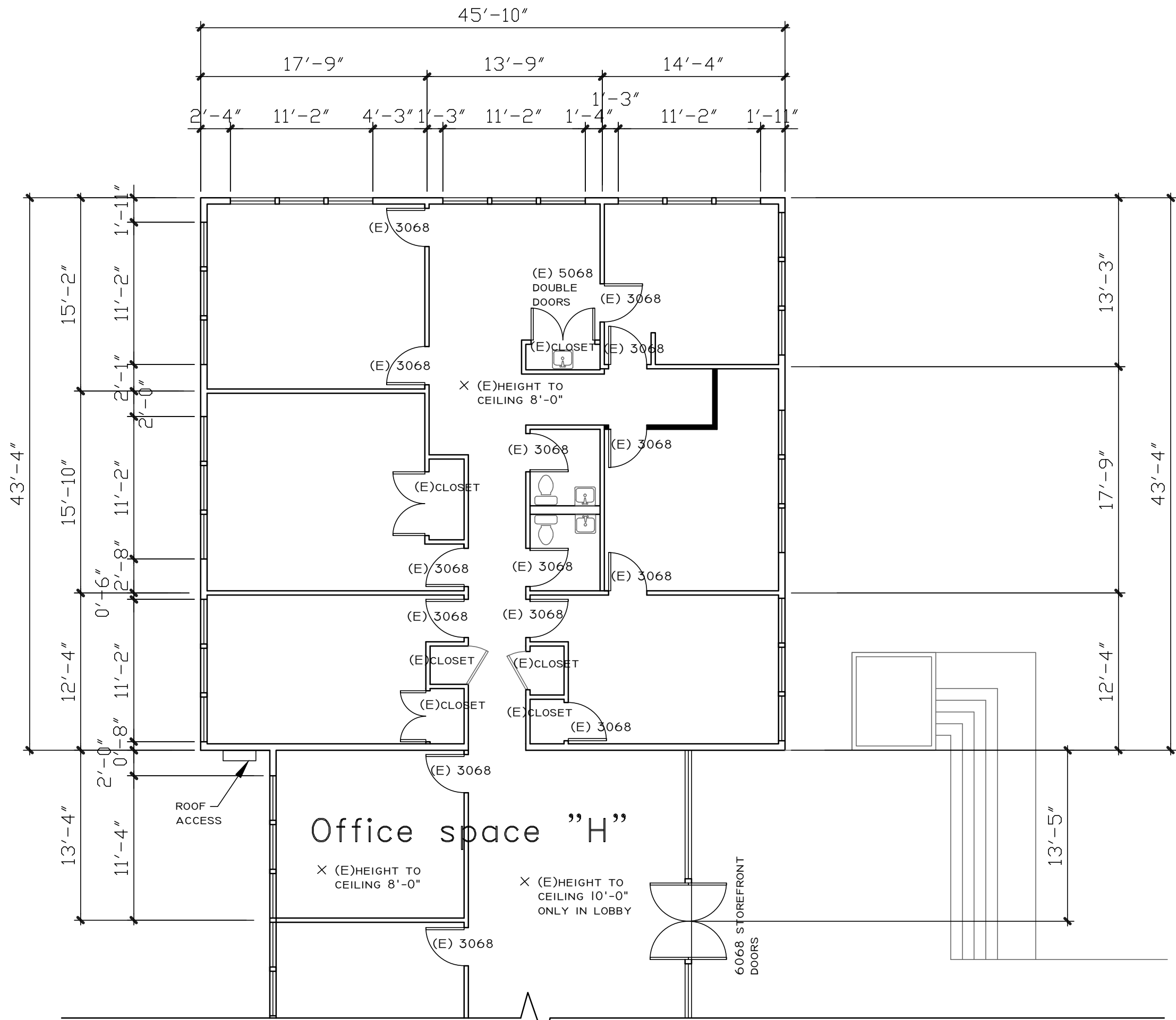
SCALE AS NOTED

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JOB -

SHEET
3
OF 11 SHEETS

- EXISTING WALLS
TO REMAIN
- NEW 2 X 4 WALLS
(1/2" GWB OVER 2 X 4'S
AT 16" O.C. WITH R-13
INSULATION)
- EXISTING WALLS TO
BE REMOVED



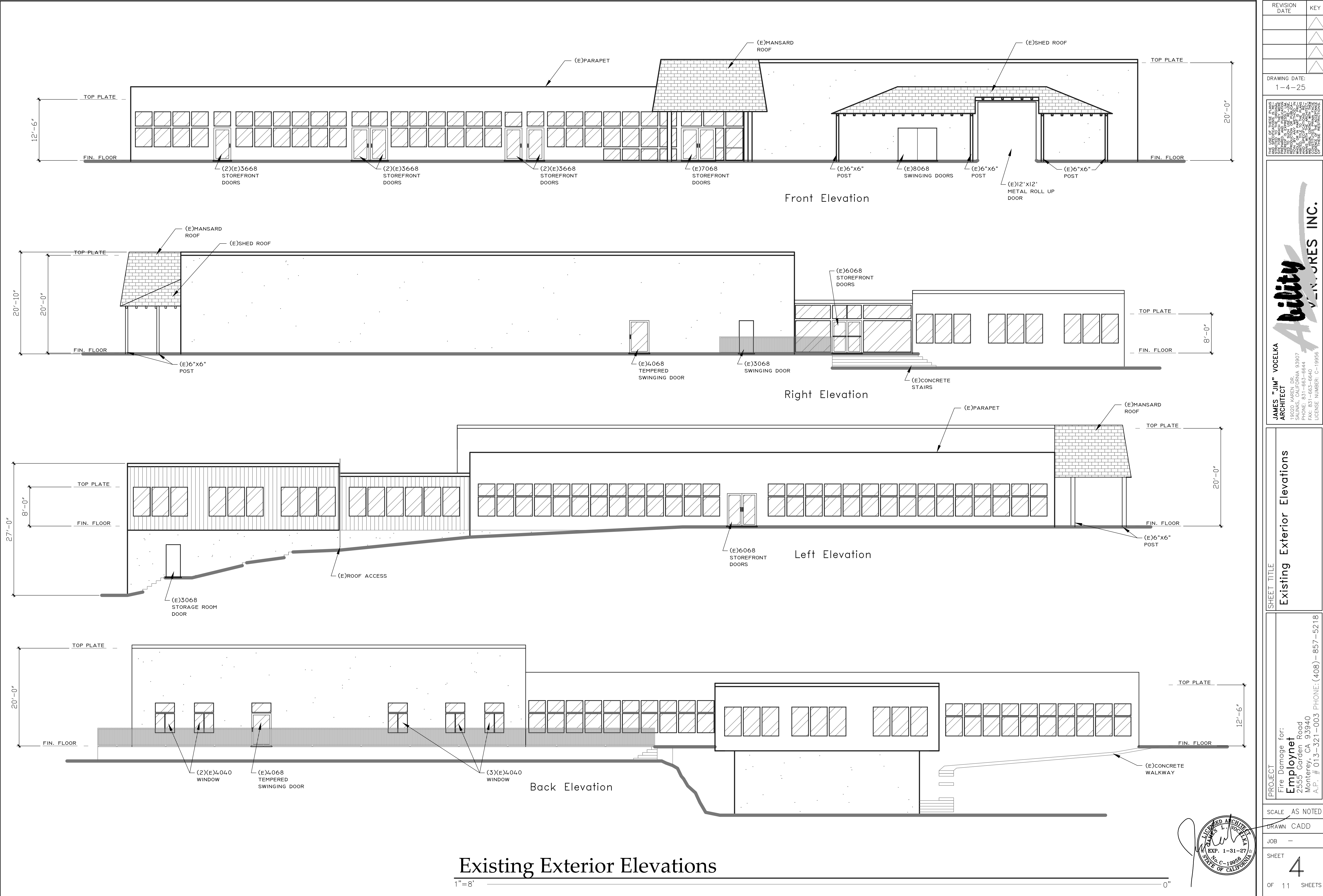
Continue floor plan
on sht. 3

Proposed Floor Plan

1"=8' 0"



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PROJECT Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218		
SHEET TITLE Proposed Floor Plan		
SCALE AS NOTED		
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JOB -		
SHEET 3.1		
OF 11 SHEETS		



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1-4-25

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JAMES "JIM" VOCELKA
ARCHITECT
1000 MARLIN DR.
SANTA MONICA, CALIFORNIA 90407
PHONE: 831-663-6644
FAX: 831-663-6640
LICENSE NUMBER: C-19956

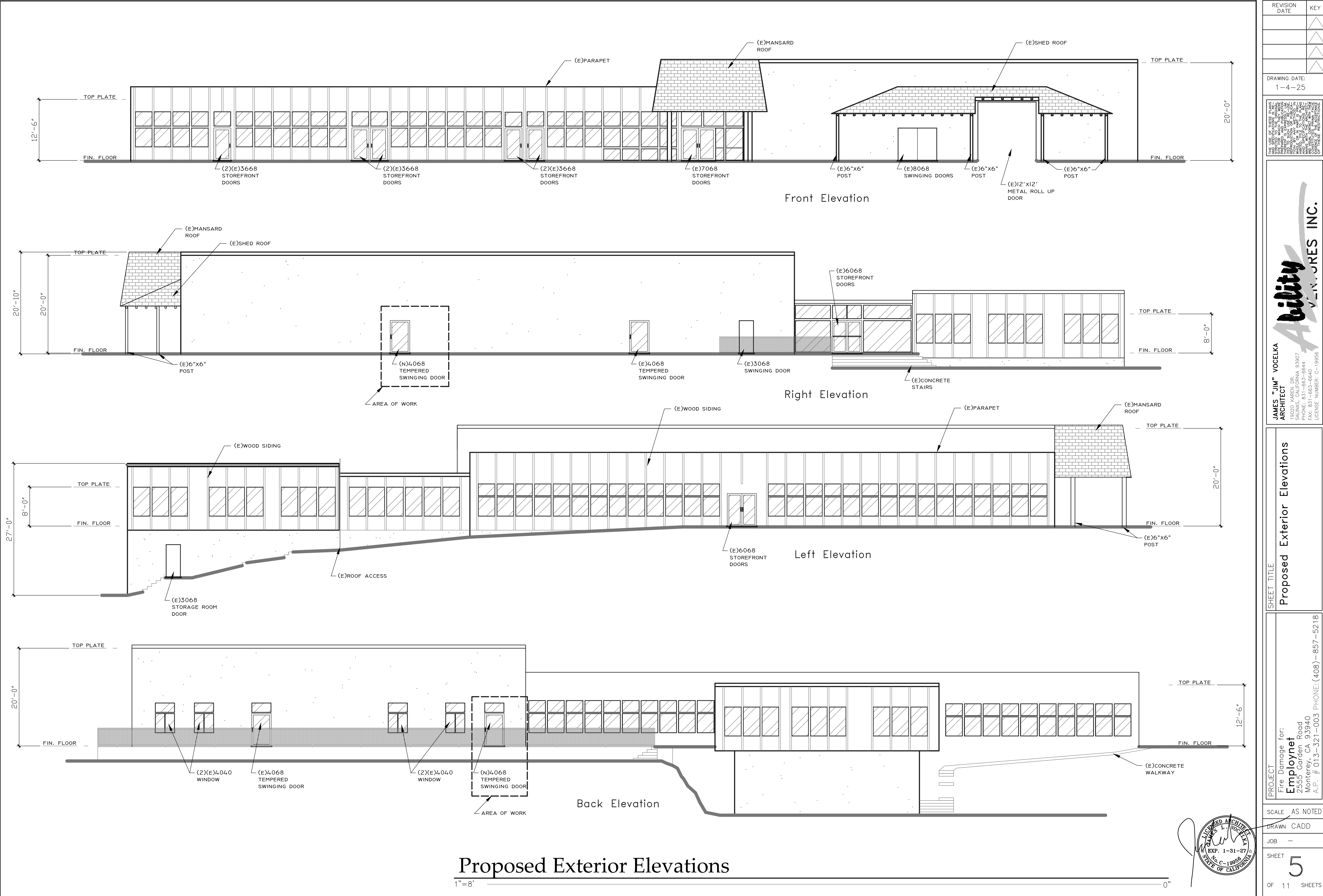
Ability
ENVIRONMENTAL RESOURCES INC.

PROJECT
Fire Damage for:
Employnet
2555 Garden Road
Monterey, CA 93940
A.P. # 013-321-003 PHONE: (408)-857-5218

SHEET TITLE
Existing Exterior Elevations

SCALE: AS NOTED
DRAWN: CADD
JOB: -
SHEET: 4
OF 11 SHEETS

PROFESSIONAL SEAL: JAMES L. VOCELKA, ARCHITECT, No. C-19956, STATE OF CALIFORNIA



Proposed Exterior Elevations

1"=8'



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DATE		
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Ability CONSTRUCTORS INC.		
JAMES "JIM" VOGELKA ARCHITECT 1000 MARLIN DR. SANTA MONICA, CALIFORNIA 90407 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956		
SHEET TITLE Proposed Exterior Elevations		
PROJECT Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218		
SCALE AS NOTED		
DRAWN CADD		
JOB -		
SHEET 5		
OF 11 SHEETS		



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Ability V E N T U R E S JAMES "JIM" VOCELKA ARCHITECT 3089 STEWART COURT MARINA, CALIFORNIA 93933 PHONE: 415-435-1222 FAX: 415-384-3121 LICENSE NUMBER: 0-19956	
SHEET TITLE	
Details	
PROJECT	Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218
SCALE	AS NOTED
DRAWN	CADD
JOB	-
SHEET	6
OF 11 SHEETS	

GENERAL NOTES

All construction unless otherwise indicated shall conform to U.B.C. latest edition, 1994.
All plumbing shall conform to Uniform Plumbing Code latest edition.
All electrical shall conform to Uniform Electrical Code latest edition.
All mechanical shall conform to the Uniform Mechanical Code latest edition.
Do not scale these drawings. Use the written dimensions and verify all dimensions prior to construction.
These drawings are the property of the architect and are not to be used in part or in whole for any work other than the location shown herein.
All users of these drawings agree by using these drawings to hold the architect harmless for any and all work that does not conform to requirements and minimum standards of the U.B.C., local ordinances, and acceptable standards.
The architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures or for any safety precautions or programs in connection with the work.
The architect assumes no responsibility for the performance of products or materials not specified in these drawings.
Nailing as per U.B.C 25-Q
Wood in contact with concrete shall be pressure treated douglas fir conforming to AWPB LP-2 standard.
Exhaust and make-up air systems shall be connected by an interlocking electrical switch.
Provide recepticle within 25'-0" of exhaust and make-up air units.
Contractor to submit Ansul System plans to Fire Dept. prior to installation.
All electrical, plumbing, and mechanical equipment is required to be listed and labeled by an approved testing agency that is acceptable to the City of Salinas Building Inspection Division.
At time of permit issuance, contractor shall provide evidence of current worker's compensation insurance.

NOTE:
CONTRACTOR SHALL HAVE A CURRENT CITY OF MONTEREY BUSINESS LICENSE

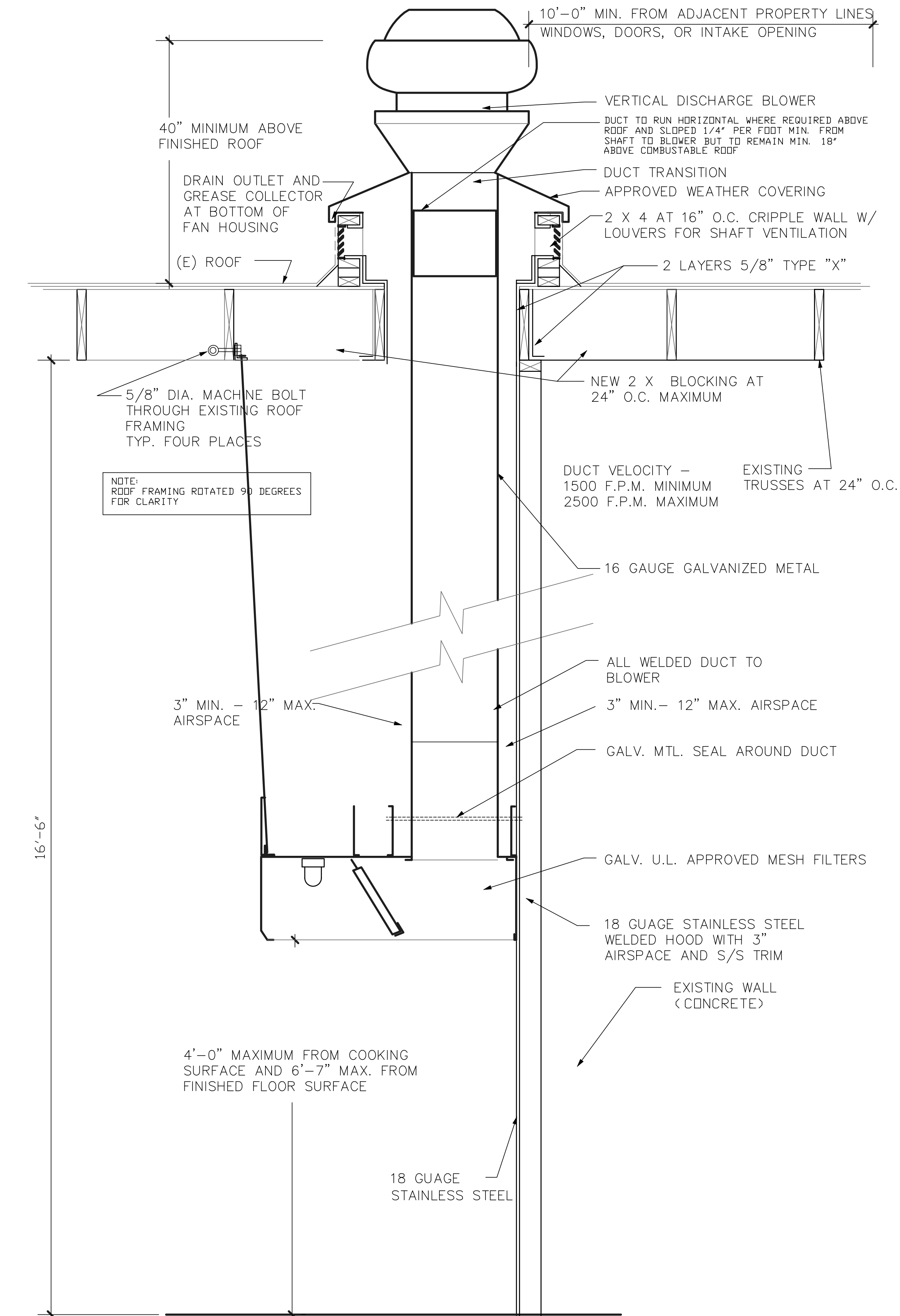
CONTRACTOR SHALL PROVIDE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE TO THE BUILDING DIVISION.

COOKING EQUIPMENT SCHEDULE

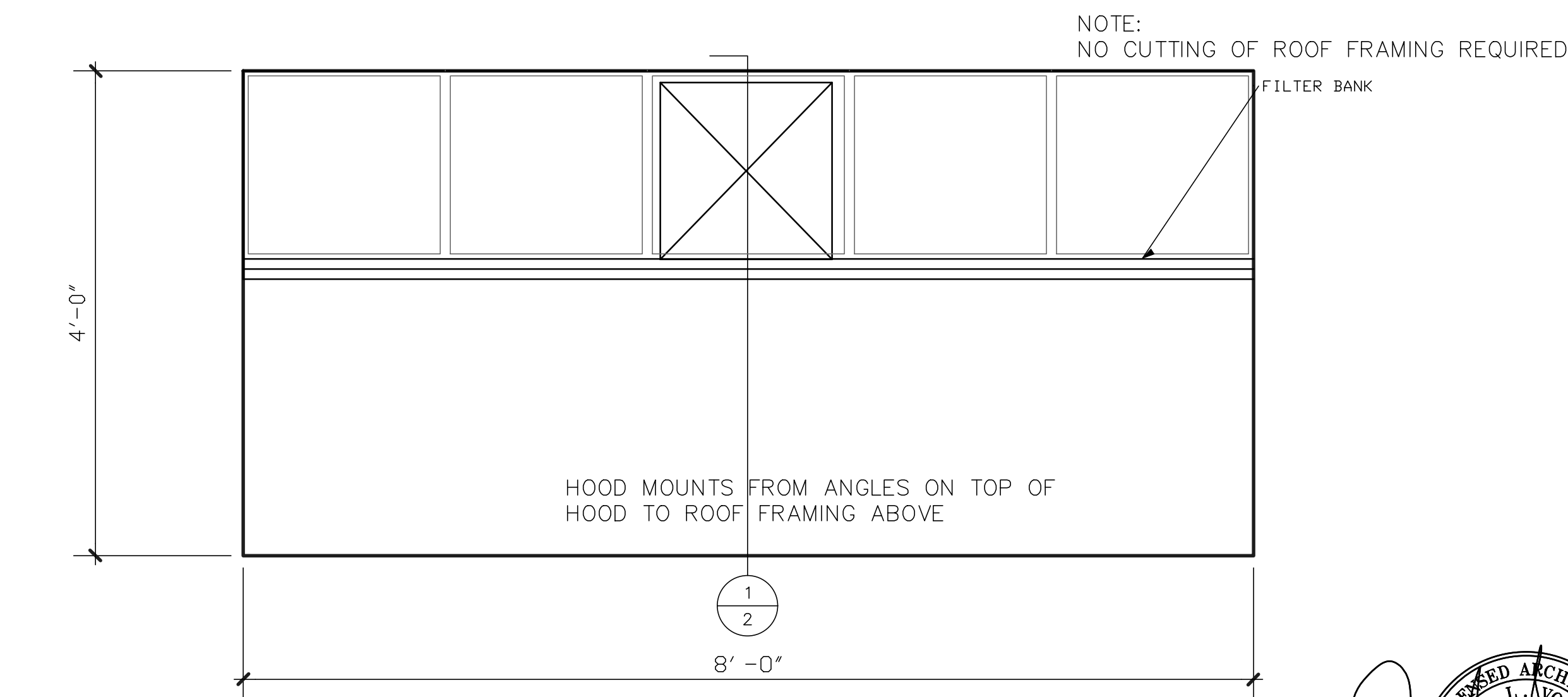
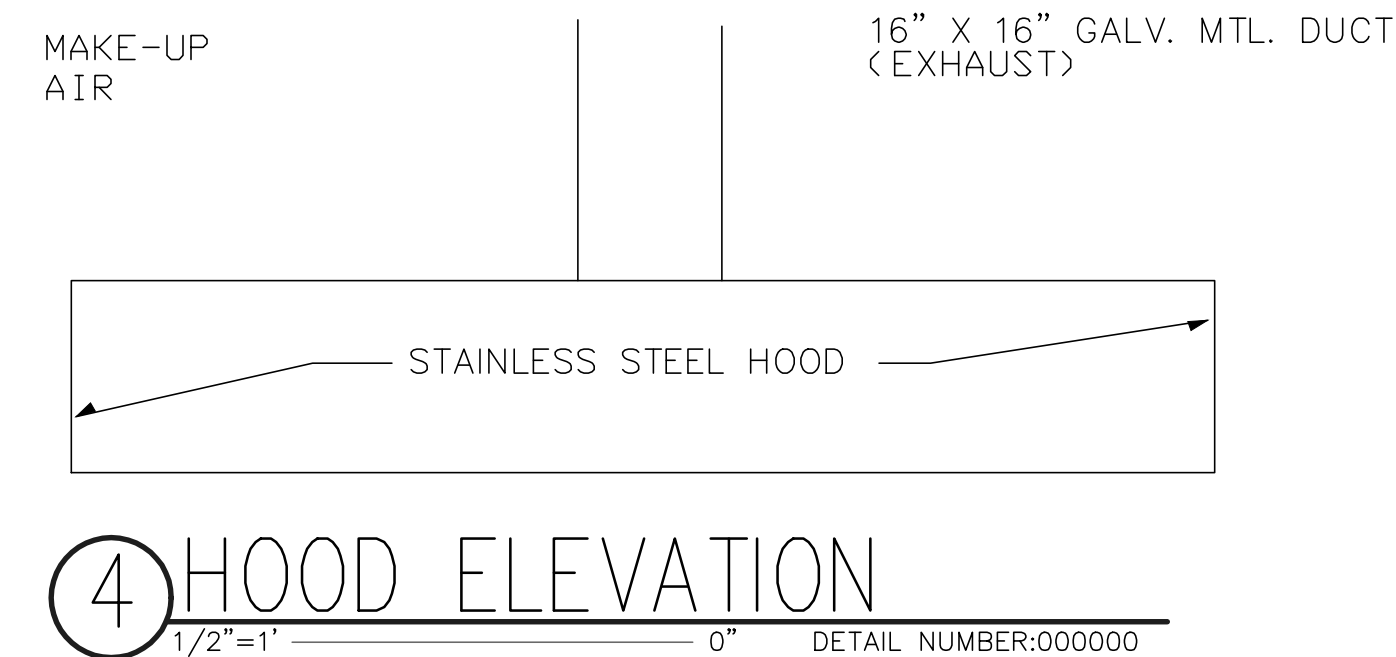
EQUIPMENT	BRAND	MODEL #	B.T.U.	PHASE/VOLT
10 BURNER GAS RANGE	KRATOS	29Y-025-LP	360,000	

MECHANICAL EQUIPMENT SCHEDULE

EQUIPMENT	BRAND	MODEL #
BLOWER/VENTILATOR	CAPTIVEAIRE	
BAFFLE GREASE FILTERS	CAPTIVEAIRE	
MAKE-UP AIR	CAPTIVEAIRE	

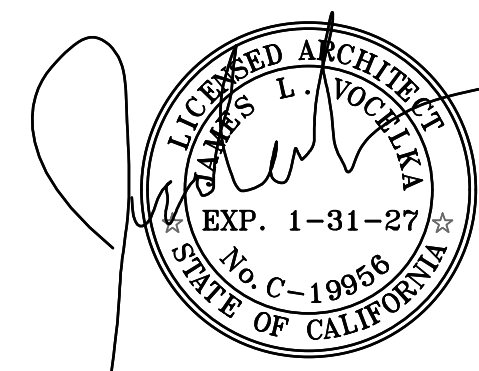


1 SECTION THRU HOOD/SHAFT
1"=1' 0" DETAIL NUMBER:000000



3 HOOD PLAN
1"=1' 0" DETAIL NUMBER:000000

SEE HOOD ELEVATION 4 2



REVISION DATE	KEY
	▲
	▲
	▲
	▲
DRAWING DATE: 1-14-25	
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ABILITY VENTURES	
JAMES "JIM" VOELKA ARCHITECT 3085 STEWART COURT MARINA, CALIFORNIA 93933 PHONE: (408) 857-5218 FAX: (408) 857-5212 LICENSE NUMBER: C-19956	
SHEET TITLE Hood Drawings	
PROJECT Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 Phone: (408) 013-321-003	SCALE AS NOTED DRAWN CADD JOB - SHEET 8 OF 11 SHEETS

GENERAL NOTES		REVISION	KEY
		DATE	KEY
			△
			△
			△
			△
			△
		DRAWING DATE:	
		1-14-25	
		ALL SPECIFICATIONS ARE TO BE CONSIDERED AS MINIMUMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATING ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SITE TO ITS ORIGINAL CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATING ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SITE TO ITS ORIGINAL CONDITION.	
		ABILITY JAMES "JIM" VOCELKA ARCHITECT 1000 MARCO RD. SAJAS, CALIFORNIA 93907 PHONE: 831-663-6644 FAX: 831-663-6640 LICENSE NUMBER: C-19956	
		PROJECT: Fire Damage for: Employnet 2555 Garden Road Monterey, CA 93940 A.P. # 013-321-003 PHONE: (408)-857-5218	
		SCALE	AS NOTED
		DRAWN	CADD
		JOB	-
		SHEET	9
		OF	11 SHEETS
		MECHANICAL	
		PLUMBING	
		WASTE NOTES	
		WATER SUPPLY	

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