Exhibit B

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29500 Enclave Court
Tree Assessment
Arborist report

Prepared for:

June 5, 2023

Prepared by:

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Urban Forestry
Society of American Foresters I.D. # 48004
Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

June 5, 2023

Owner:

Kenneth and Roseann Anderson
P.O. Box 242
Marina, CA 93933

Architect or Designer:

Mark Edwin Norris
122 Live Oaks Way
Salinas, CA 93908

Forester and Arborist

Frank Ono, Society of American Foresters # 048004, Certified Arborist #536
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SUMMARY

Development has been proposed for the site requiring the removal of two Coast live oak trees and the pruning of adjacent trees on this site. No landmark-sized trees are to be removed. The project proposes to construct at the edges of an existing stand of oak trees. The trees are considered to be in fair or better condition both structurally and in health. A tree assessment/arborist report has been prepared that identifies and addresses the effects that the project will have on the Oak tree resources on site as well as a list of recommendations for the project.

INTRODUCTION

This tree assessment/arborist report is prepared for Kenneth and Roseann Anderson the owner of the property located at 29500 Enclave Court, Monterey CA 93940 by Frank Ono, Forester and Certified Arborist, Society of American Foresters #48004, and International Society of Arboriculture Certified Arborist #536 due to proposed construction for a two-story structure, ADU, and driveway. The Greater Monterey Land Use Plan and Monterey County Zoning Ordinance Title 21 identify Oak trees as native tree species that require protection and special consideration for management.

ASSIGNMENT/SCOPE OF PROJECT

Oak trees (*Quercus sp.*) forest this site in moderate concentrations. To ensure the protection of the tree resources on site, the property owners Kenneth and Roseann Anderson, have requested an assessment of the trees in or within close proximity to proposed development areas. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure, and preservation suitability for each tree within or adjacent (15 feet or less) to the proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Mark Edwin Norris.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to a Tree Location/Preservation Map.
- Study the vegetation for forest fuel reduction and incorporate it into a management plan.
- Determine the number of trees affected by construction that meet “Landmark” criteria as defined by the County of Monterey, Title 21 Monterey County Zoning Ordinance (sec 21.260.260); as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the County of Monterey Planning Department.

LIMITATIONS

This assignment is limited to the review of undated plans submitted to me on January 7, 2023, by Mark Edwin Norris to assess the effects of potential construction on trees within or adjacent to construction activities. A previous assessment was made for the trees on this lot; however, those plans have been abandoned and new plans were submitted for assessment. The assessment is made of the new plans, specifically, Ono Consulting and its partners are neither designers nor engineers and this report is explicitly based on the plans given to us. Only the grading and erosion details discussed in this report are those that relate to tree health. Ono Consulting shall not be responsible for another's means, methods, techniques, schedules, sequence, or procedures, for contractor safety or any other related programs; or another's failure to complete the work per the plans and specifications.

PURPOSE AND GOAL

This tree resource assessment/arborist report is prepared for this parcel due to proposed construction activities at 25900 Enclave Court, Monterey CA. The purpose of the report is to give an independent assessment of the existing trees on-site in proximity to the development and determine if any of the trees will be affected by the proposed project. Oak trees are considered protected trees as defined by the County of Monterey, Title 21 Monterey County Zoning Ordinance (sec 21.260.260).

The goal of this plan is to protect and maintain the Greater Monterey Land Use Plan forested resources through adherence to development standards, which allow the protection and maintenance of its forest resources. Furthermore, it is the intended goal of this document is to aid in planning to offset any potential effects of the proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

SITE DESCRIPTION

1) Assessor's Parcel Number: 416-133-039-000

2) Location: 25900 Enclave Court, Monterey CA 93940

3) Parcel size: Approximately 3.7 Acres

4) Existing Land Use: The parcel is residential/rural zoned RDR/5.1DS

5) Slope: The parcel is sloped with some that range 25%.

6) Soils: The parcel is located on a soil classified by the Monterey County Soils report as Sg -Santa Lucia-Reliz association. This is a steep and very steep soil in this association on uplands. Santa Lucia soil is in areas that have a northern exposure, and Reliz soils are on ridge tops or in areas that have a southern exposure. The Santa Lucia soil has an available water capacity of 2 to 5.5 inches, and roots can penetrate to a depth of 20 to 40 inches. The Reliz soil has a profile described as representative of the Reliz series. Runoff is rapid or very rapid, and the erosion hazard is very high.

7) Vegetation: The vegetation on site is composed primarily of the Sticky monkey flower (*Mimulus ssp*), Coyote bush (*Baccharis ssp*.), Poison oak (*Rhus Toxicodendron*), and Wood mint. The upper canopy cover consists of coastal live oaks (*Quercus agrifolia*).

8) Forest Condition and Health: The stand of trees and their health is evaluated with the use of the residual trees and those of the surrounding adjacent trees as a complete stand. The stand is a mixture of dominant and codominant oak trees appearing in fair or better health. No significant signs of insects or biotic stressors were observed.

BACKGROUND

Ono Consulting was requested for an assessment of the trees located within and adjacent to the structure for improvements. On March 3, 2023, an initial meeting was conducted with Mr. and Mrs. Anderson, the property owners, and Mark Edwin Norris, the designer to understand the scope of the proposed project and the effects the proposed development may have on the forested areas on this property. Shortly after, a study of the individual trees was made to determine the treatments necessary to complete the project and meet the goals of the landowner. As a result, trees within and immediately adjacent to the proposed development area were located, measured, inspected, flagged, and recorded. The assessment of each tree concluded with an opinion of whether the tree should be removed, or preserved, based on the extent and effect of construction activity on the short and long-term health of the tree. All meetings and field reviews were focused on the area immediately surrounding the proposed development.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on site and summarizes details discussed during this stage of the planning process.

- The site is partially forested with oak trees. The site is sloped, with a northwestern aspect.
- The area around the proposed construction site is well-manicured and has been previously graded to accommodate a driveway and the building pad area appears to have been prepared for construction.
- The entrance to the property, where construction is proposed, is from Enclave Court along the graded driveway pathway between a small group of 15 mature oak trees.
- A large aggregate of oak trees exists in an area further downslope on the northern section of the property. This stand of trees is in a natural state and will be untouched by construction.
- Most of the trees within the construction area are of moderate diameter size (10”-23” diameter) with two landmark-sized trees (24” diameter or more).
- Two trees are proposed for removal because they are within the area of the proposed construction. The two oak trees (#416-17” diameter oak, and #417- 15” diameter oak) were identified as trees located within the proposed house footprint.
- Three trees are located near the area where the driveway and walkway areas may have some root disturbance (#857- 21”, #860- 13”, and #864- 18” diameters). The trees, however, appear well-rooted and healthy so they should successfully survive construction and grading effects.

CONCLUSION/PROJECT ASSESSMENT

This proposal to build a single-family residence and driveway is planned to maintain the existing oak wooded environment and allow the oak forest to continue to exist and regenerate over time. The amount of the two proposed tree removals is the minimum required for the project to be successful and no Landmark sized trees are to be removed. The proposed tree removal will not affect air movement or erosion. The remainder of the property contains tree cover, which will remain undisturbed, therefore having no significant effect on wildlife. No watercourses are near the planned construction.

Short Term affects

Site disturbance will occur during building construction. Short-term effects are confined to the construction envelope and immediate surroundings where two trees will be removed, other oaks will be trimmed, and some may have their root systems reduced. Whenever construction activities take place near trees, there is the potential for those trees to experience a decline in the long term as well. The greatest attempt has been made to identify and remove those trees likely to experience such a decline. The pruning of tree crowns above 30% and reduction of root area may have short-term effects on those trees treated, including a reduction of growth, dieback, and potentially death.

Long Term Affects

No significant long-term effects on the forest ecosystem are anticipated. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long term.

RECOMMENDATIONS

Tree Removal

The removal of two oaks (#416 and #417) is proposed for this project; The remaining trees are to remain and be protected from construction impacts.

Tree Replacement

The site has a sufficient amount of room to replant with an additional two oaks on a 1:1 ratio which should be included with the landscape plan but planted on the edges of the existing tree canopies.

Tree Protection

Before the commencement of any construction activity, the following tree protection measures shall be implemented and approved by a qualified arborist or forester:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment using temporary fencing set out to tree drip lines and through the wrapping of trunks with protective materials. No stripping of topsoil or grubbing of understory shall occur in tree preservation zones.
- Fenced areas and trunk protection materials shall remain in place during the entire construction period. Should access to the area be necessary a Professional

Forester or Certified Arborist must be contacted to inspect the site for a recommended course of action.

- Fencing shall consist of chain links, hay bales, or plastic mesh reinforced with dimensional lumber. Again, fencing shall be set to the tree dripline unless previously approved by a qualified professional.
- Fencing is not to be attached to the tree but free-standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum height of four feet above grade and should be placed to the farthest extent possible from the base of the tree to protect the area within the trees drip line (no closer than 10-12 feet away from the base of a tree or 5 times (5X's) the trunk diameter, whichever is furthest).
- In cases where access or space is limited for tree protection, it is permissible to alter the distance after determination and approval by a qualified forester or arborist.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, cleaning of concrete or plaster, and/or dumping of spoils or materials shall not be allowed adjacent to trees on the property especially within or near fenced areas.

During grading and excavation activities:

- All trenching, grading, or any other digging or soil removal that is expected to encounter tree roots shall be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots. Again, no stripping of topsoil or grubbing of the understory shall occur in tree preservation zones.
- The project architect and/or qualified arborist shall be on-site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for retaining walls or footings located adjacent to any tree shall be done by hand where practical and any roots greater than 2 inches in diameter shall be bridged or pruned appropriately.
- Any roots that must be cut shall be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation shall be exposed to sound tissue and cut cleanly with a saw.
- Grade Stabilization from Loose Soils, if trenching occurs outside of the drip line and there may be a possibility of movement of loose soils falling down the slope, downslope areas must be protected from soil movement. The best approach would be the installation of a drift fence and installing straw wattles to prevent soil movement or drift.
- If at any time significant roots (2" or greater in diameter) are discovered: Halt excavation until appropriate mitigation measures are formulated and implemented. A determination, as required by law, for treatment of the area consistent with the implementation of appropriate construction design approaches will be made to minimize effects, such as hand digging, bridging, or tunneling under roots.

Tree Pruning

It is to be understood that the pruning of retained trees is expected for this site. Pruning shall conform to the following standards:

- Clear the crown of diseased, crossing, weak, and dead wood to a minimum size of 1-1/2 inch in diameter;
- Remove stubs, cutting outside the wound wood tissue that has formed around the branch;
- Interior branches shall not be stripped out.
- Reduce end weight on heavy, horizontal branches by selectively removing small-diameter branches, no greater than 3 inches, near the ends of the scaffolds. In some cases, larger diameters may be removed depending on the situation (where critical for safety).
- Pruning cuts larger than 4 inches in diameter, except for deadwood, shall be avoided, unless deemed crucial for safety (broken, cracked, crossing, rubbing, etc.).
- Pruning cuts that expose heartwood shall be avoided whenever possible.
- Pruning shall not be performed during periods of flight of adult boring insects because fresh wounds attract pests (generally spring). Pruning shall be performed only when the danger of infestation has passed.
- All pruning shall be performed by a qualified arborist or under the supervision of an ISA Certified Arborist or Tree Worker. Arborists are required to have a State of California Contractors License for Tree Service (C-61/D49) and provide proof of worker's compensation and general liability insurance.
- All pruning shall be per the Tree Pruning Guidelines (International Society of Arboriculture) and/or the ANSI A300 Pruning Standard (American National Standard for Tree Care Operations) and adhere to the most recent edition of ANSI Z133.1.
- No more than 20 percent of live foliage shall be removed from the trees.
- Brush shall be chipped, and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 6 inches, leaving the trunk clear of mulch.

Following construction, a qualified arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

Best Management Practices (BMP) to Observe

The trees preserved around the construction site will have the greatest chance of success if the following practices are adhered to:

A) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak root fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing, or other materials to delineate protection zones.

B) Pruning shall be conducted so as not to unnecessarily injure the tree. General principles of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.

C) Native live oaks are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. When replanting near oak trees, native, locally adapted, drought-resistant species are the most compatible with this goal.

D) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur from February through May.

E) Oak material greater than 3 inches in diameter remaining on-site for more than one month that is not cut and split into firewood should be covered with clear plastic that is dug in securely around the pile. This will discourage infestation and dispersion of bark beetles.

F) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected oaks following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on-site.

G) If trees near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

FUELS MANAGEMENT PLAN

The area will be restored in compliance with the requirements of California State Defensible Space Regulations conforming to California Public Resource Code (PRC) 4291.

Vegetation Management and Slash Removal

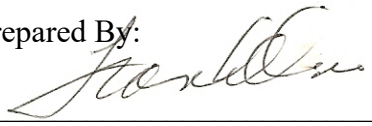
Before planting, the area must be prepared and maintained for fuel management and defensible space. A fuel ladder is a continuous line of vegetation from the ground into the canopy or upper branches of a tree that may allow a fire to climb into the canopy. The idea is to make the homesite defensible by breaking up the continuity of fuels in both vertical and horizontal directions. Deadfall and cut branches which are fuel for a fire must be removed from the treatment area. This may be done either by hauling it off or by hiring a tree service to chip. The following are management measures to be taken and maintained for trees within the disturbed and outlying area.

- Cut dry and dead grass to a maximum height of 4 inches. The exceptions are grasses and forbs which are isolated from other fuels or those necessary to minimize erosion and may be maintained at a height of 18 inches.
- Dead plants should be cut to ground level, do not remove them as roots may still be present to minimize potential soil erosion. Maintain all remaining live landscape plants with regular water, keeping dead branches, leaves, and needles removed.
- Remove limbs within ten (10) feet of chimneys.
- Horizontal Clearances (within 100 feet of structures)
    - Trees- must have a spacing of at least 10 feet between crowns on shallow or almost level slopes (an exception is that trees growing as clusters with continuous canopy or aggregate may be treated as an individual tree to make a shaded fuel break). Where slopes are steep (over 40 %) the spacing must be increased to 30 feet between crowns of individual trees or clusters of trees intended to be a shaded fuel break.
    - Shrubs- must have a four-foot clearance on shallow or almost level slopes. Where slopes are steep (over 40 %) the spacing must be 40 feet between shrubs.
- Vertical Clearances of trees and large shrubs (within 100 feet of structures)
    - Trees and shrubs must have a vertical clearance of at least 6 feet from ground fuels on shallow or almost level slopes. Remove all limbs within 6 feet of ground fuel from the ground fuel's highest point and trim dead portions of tree limbs up to 10 feet. Where slopes are steep (over 40 %) the clearance must be higher up to 30 feet.
    - Shrubs- must have four-foot clearance on shallow or almost level slopes. Where slopes are steep (over 40 %) the clearance must be 40 feet from ground fuels.
- Remove from the area dead fallen material unless embedded in the soil.
- Remove all cut material from the area or chip and spread it on site.

Fuel Modification within Scenic and Conservation easements

The non-native grasses should be cut or mowed to a height of no more than four inches to allow rootstock to remain to hold soils together. Poison oak and grasses shall be mowed adjacent to vehicular traffic areas ranging between 10-30 feet off roadways where feasible with an emphasis on native plant retention. To reduce erosion hazards, no large mowers (gang mowers) should be used within the easements. Workers shall use string trimmers and brush cutters to judiciously cut back brush and grass to avoid removing sensitive native species Sticky monkey flowers, Coyote Bush, and Toyon. Large pieces of dead wood and combustible s leaf litter should be removed to eliminate fuel jackpots (piles and concentrated areas) and to reduce the risk of insect brooding. Large dead branches should be removed from tree crowns to reduce dead fall onto the forest floor.

Report Prepared By:



Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536 June 5, 2023 Date

PHOTOGRAPHS

View of lot looking from above (trees #16 and #17 are proposed for removal)

View of the lot from the driveway entrance (trees #16 and 17 are to the left)

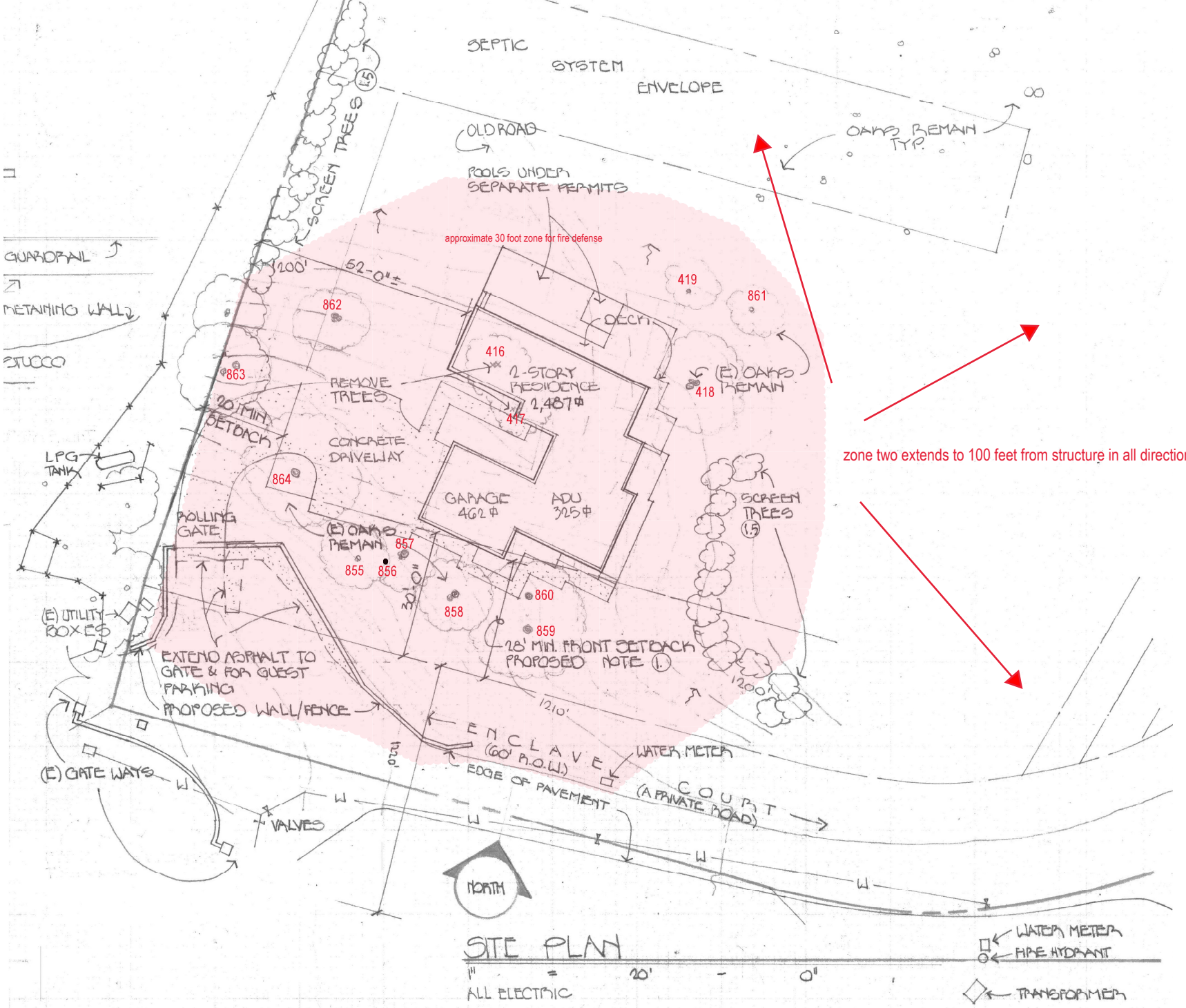
View of the lower lot from the proposed house area

The view looking up from the edge of the slope (center trees are #16 and 17)

TREE CHARACTERISTICS

The trees listed in the following table have been tagged in the field and are rated Good, Fair, or Poor according to their health, vigor, and structural condition. Trees with a good rating are trees that are in the best condition and health for the surrounding climate. Trees that are rated as fair are usually trees of lesser condition that may have some structural problem or health factor limiting them from fully developing as healthy trees. Trees that are rated poor are of less quality condition and have either structural flaws that cannot be overcome over time, or that are in poor health.

ID#	Species	DBH	DBH	DBH	DBH	Height	Crown	CRZ	Health	Structure	Remove	Potential	Comments
416	CLO	17	15			18	17	9	Fair	Fair	X		
417	CLO	15	12			17	15	8	Fair	Fair	X		
418	CLO	24	23	13		24	21	11	Fair	Poor			Multiple Stems
419	CLO	10				14	9	5	Fair	Fair			
855	CLO	20				20	22	11	Fair	Fair			
856	CLO	16				13	10	5	Fair	Fair			Moderate Lean
857	CLO	21	9			20	15	8	Fair	Fair		x	Potential Grading Impact
858	CLO	27	20			25	22	11	Fair	Fair			
859	CLO	23				25	25	13	Fair	Fair			
860	CLO	13				16	13	10	Fair	Fair		x	Potential Grading Impact
861	CLO	9	8			14	9	5	Fair	Fair			
862	CLO	23	20	16	9	22	25	13	Fair	Poor			Multiple Stems
863	CLO	19	10			16	14	7	Fair	Fair			
864	CLO	18				17	15	8	Fair	Fair		x	Potential Grading Impact



zone two extends to 100 feet from structure in all directions

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