

# GONDO GARAGE

26246 CARMELO STREET, CARMEL, CA, 93923  
APN 009-403-029-000  
[MONTEREY COUNTY]



## HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NEW ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:  
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

## CONSTRUCTION MANAGEMENT PLAN SUMMARY

1. THE PROPOSED PROJECT IS A MINOR GARAGE RELOCATION THAT IS TO BE COMPLETED IN A TIME FRAME OF THREE MONTHS.
2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF THREE WORKERS WORKING ON THE PROJECT PER WORKING DAY.
3. PARTIES RESPONSIBLE DURING CONSTRUCTION:
  - A. OWNER: GONDO
  - B. CONTRACTOR: LEWIS BUILDERS
4. ON AVERAGE, TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK.
5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
6. PROJECT SCHEDULING: START MARCH 2025 END JUNE 2025.
7. WASTE TO BE HAULED TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT LANDFILL IN MARINA. SEE SHEET A-N.4.
8. LARGE REDWOOD TREE ON NORTH SIDE OF RESIDENCE TO BE PROTECTED WITH STANDARD TREE WRAPPING AND ORANGE NETTING.
9. NO STOCKPILING OF MATERIALS PERMITTED WITHIN 20' OF REDWOOD TREE TRUNK.
10. ALL MATERIALS TO BE STORED IN BACK YARD OR SOUTH SIDE YARD.
11. CONTRACTOR PARKING ALONG CARMELO STREET.
12. GRADING SHALL OCCUR OVER THREE DAY PERIOD.
13. WORK SITE SHALL ADHERE TO ALL WINTER EROSION CONTROL REGULATIONS, INCLUDING

## VICINITY MAP



SITE LOCATION



## CONTACT INFO

LEGAL OWNER	APPLICANT / DESIGNER
SUZUO & JOANNE GONDO 2630 HIDDEN SHORE DRIVE KATY, GA 30180 (832) 213-7832	LEWIS BUILDERS 3706 THE BARNYARD G-11 CARMEL, CA 93923 (831) 250 7168
ENGINEER OF RECORD	ENERGY COMPLIANCE
TBD	N/A

## SITE DETAILS

LAND USE:	SINGLE FAMILY RESIDENTIAL
ZONING:	MDR/2D(18)(C)2
SITE AREA:	4,800 SF
YEAR BUILT:	1978
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	V-B
SPRINKLED:	NO
STORIES:	TWO
FOOTAGES:	2,356 SF
HOUSE:	2,141 SF
CARPORIT:	215 SF
JURISDICTION:	MONTEREY COUNTY
FIRE DISTRICT:	CYPRESS
WATER:	CALAM/MPWMD
SEWER:	SEWER
ELECTRICITY/GAS:	PG&E
HISTORIC BLDG:	NO
ARCHEOLOGY:	YES
FLOODPLAIN:	YES
VIU ZONE:	NO
EASEMENTS:	NO
ENCROACHMENT:	NO
NON-CONFORMING:	NO
VARIANCE:	YES, COVERAGE & GARAGE SETBACK

## BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:

- o CALIFORNIA BUILDING CODE 2022
- o CALIFORNIA RESIDENTIAL CODE 2022
- o CALIFORNIA MECHANICAL CODE 2022
- o CALIFORNIA PLUMBING CODE 2022
- o CALIFORNIA ELECTRICAL CODE 2022
- o CALIFORNIA FIRE CODE 2022
- o CALIFORNIA ENERGY CODE 2022
- o CALIFORNIA GREEN BUILDING STANDARDS CODE 2022
- o MONTEREY COUNTY CODE AMENDMENTS 2022

## NOTES

T-24 NOT REQUIRED, GARAGE IS UNCONDITIONED SF.  
REQUESTING VARIANCE FOR COVERAGE (36.4%)  
REQUESTING VARIANCE FOR FRONT SETBACK (5')  
REQUESTING VARIANCE FOR SIDE SETBACK (4'-9") TO MATCH CURRENT CARPORT

## DEFERRED SUBMITTAL

PLANNING  
CIVIL  
BUILDING  
LANDSCAPING & MAWA CALCULATION

## PROJECT DESCRIPTION

PLANNING  
REPLACE CARPORT WITH GARAGE AT LOWER GRADE/FFE, CLOSER TO STREET  
A. DEMO EXISTING 215 SF ATTACHED COVERED CARPORT  
B. NEW 324 SF DETACHED GARAGE 5' FROM FRONT SETBACK (VARIANCE)  
C. NEW GARAGE FFE IS 2' LOWER THAN EXISTING GARAGE FFE  
D. RECONFIGURE PERMEABLE PAVER DRIVEWAY, REDUCTION IN LENGTH  
E. RECONFIGURE FRONT YARD PAVER PATHWAY TO ENTRY PATIO  
F. NEW PERMEABLE PAVER PATIO AT HOUSE ENTRY PATIO  
G. NEW FRENCH DRAIN AT WEST GARAGE WALL, DAYLIGHT TO FRONT YARD LANDSCAPING  
H. NEW CONCRETE STEPS AND PERMEABLE PAVER WALKWAY ON SOUTH SIDE OF GARAGE  
I. DEMO EXISTING UNEVEN BRICK WALKWAY BY REDWOOD TREE  
J. REPLACE FRONT YARD FENCE & GATE WITH 3' GRAPESTAKE OR SIMILAR  
K. REPLACE ENTRY STEPS AND PORCH, BRING UP TO CODE  
L. REDUCE OVERALL SITE COVERAGE  
M. GUTTERS W/ DOWNSPOUTS TO SPLASHBLOCKS OR FRENCH DRAIN ON GARAGE  
N. ALL MATERIALS, FINISHES, STYLE TO MATCH EXISTING RESIDENCE

VARIANCE REQUESTS  
A. SITE COVERAGE (36.4%)  
B. FRONT SETBACK (5'-0")  
C. SOUTH SIDE SETBACK (4'-9")

BUILDING  
A. NO CHANGE TO SQUARE FOOTAGE NOR FOUNDATION FOOTPRINT OF RESIDENCE.  
B. SPRINKLERS ARE NOT REQUIRED.  
C. T-24 IS NOT REQUIRED.  
D. POSE BURIAL IS NOT REQUIRED, PROJECT DOES NOT MEET THE \$200K THRESHOLD.  
E. UPDATE FRONT YARD LANDSCAPING AND IRRIGATION.

## PAGE INDEX

REV#	DATE / DESCRIPTION	BY
A-0	COVER: PROJECT DATA	
A-1	COVER: PROJECT DATA	
A-1.1	COVER: PROJECT DATA	
A-1.2	COVER: PROJECT DATA	
A-3.1	COVER: PROJECT DATA	
A-3.2	COVER: PROJECT DATA	
A-4.1	COVER: PROJECT DATA	
A-N.1	COVER: PROJECT DATA	
A-N.2	COVER: PROJECT DATA	
A-N.3	COVER: PROJECT DATA	
A-N.4	COVER: PROJECT DATA	
A-N.5	COVER: PROJECT DATA	
A-N.6	COVER: PROJECT DATA	

A-0

VERSION: 1.1

DATE: 12/20/24

PLANNING

COVER: PROJECT DATA

DATE / DESCRIPTION

BY

REV#

GONDO GARAGE

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APN 009-403-029-000

STAMP/SIGNATURE

LEWIS BUILDERS  
CA LICENSE #B-844741  
CARMEL CA 93923  
(831) 250 7168

DESIGN + BUILD

## SITE COVERAGE

LOT: 4,870 SF  
1ST FLOOR - 1,447 SF  
2ND FLOOR - 694 SF  
TOTAL FAR - 2,141 SF  
EXISTING CARPORT - 215 SF (21.5' X 10')  
PROPOSED GARAGE - 324 SF (13.5' X 24')  
ALLOWED FAR (45%) = 2,191 SF  
EXISTING FAR (43.9%) = 2,141 SF  
PROPOSED FAR (43.9%) = 2,141 SF  
ALLOWED COVERAGE (35%) = 1,704 SF  
EXISTING COVERAGE (31.4%) = 1,662 SF  
PROPOSED COVERAGE (33.3%) = 1,662 SF  
PROPERTY IS CURRENTLY IN CONFORMANCE WITH COVERAGE AND FAR.  
CURRENTLY PROPOSED - 324 SF (24' X 13.5')  
(E) 1ST FLOOR - 1,447 SF  
(P) GARAGE - 324 SF  
= 1,771 SF COVERAGE (36.4%)

\* PROPOSED COVERAGE (36.4%) = 1,771 SF  
1.4% EXCEEDING ALLOWED COVERAGE, REQUEST VARIANCE

(E) 526 SF (P) 575 SF PERMEABLE PAVER DRIVEWAY & WALKWAYS  
(E) 63 SF (P) 0 SF PERMEABLE BRICK PATHWAY  
(E) 23 SF (P) 28 SF IMPERVIOUS BRICK STEPS & FRONT PORCH  
(E) 932 SF (P) 627 SF IMPERVIOUS BRICK OR CONCRETE PATIOS & WALKWAYS  
(E) 1,544 SF (P) 1,230 SF TOTAL HARDSCAPE COVERAGE

## REVISION HISTORY

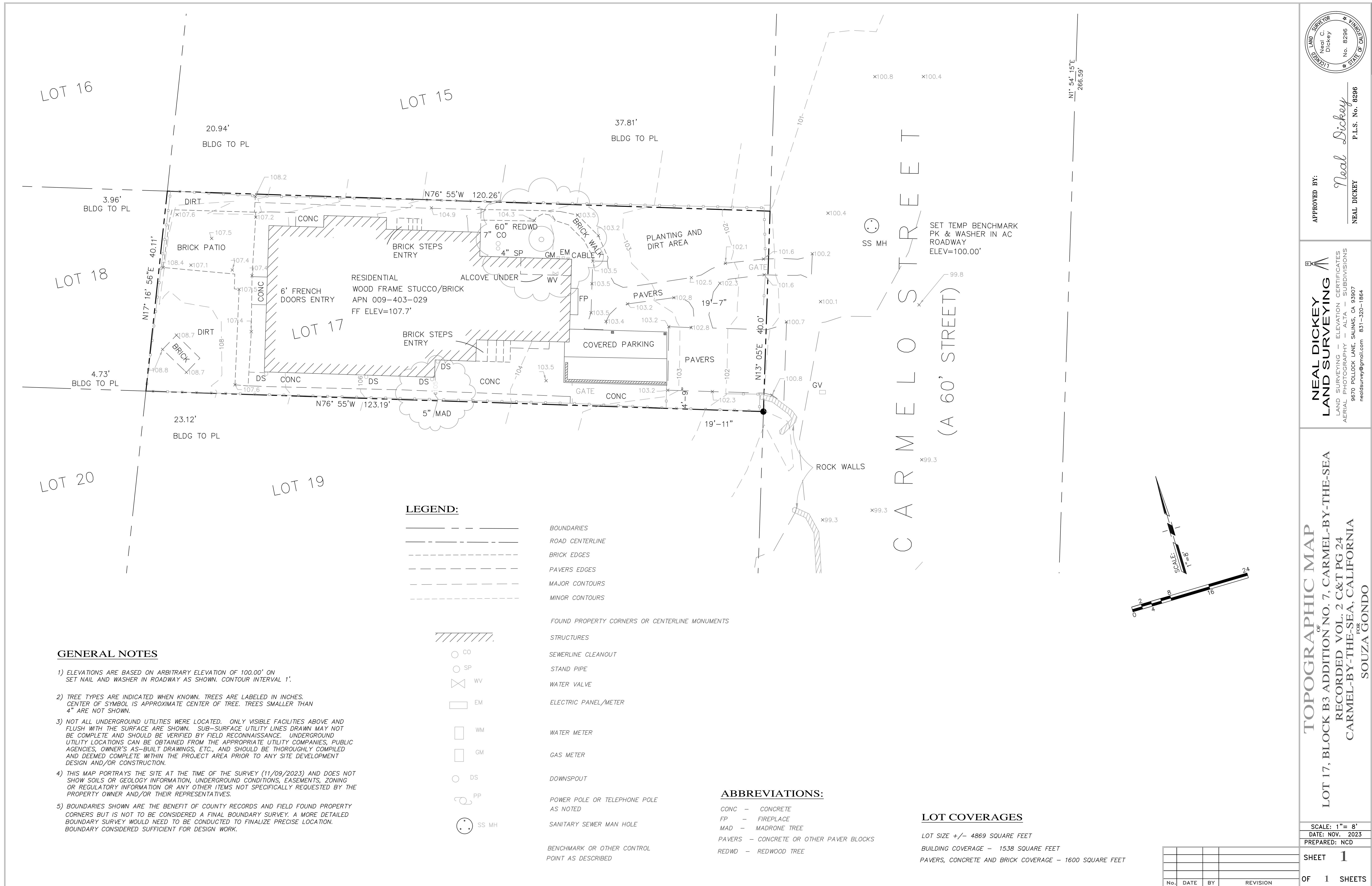
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## CONTRACTOR CHECKLIST

- SMOKE & CO2 ALARMS AFFIDAVIT NOT REQUIRED - DETACHED GARAGE
- CONSTRUCTION, DEMOLITION RECYCLE FORMS (SAVE ALL DUMP RECEIPTS)

## SUBMITTAL RECORD

12/19/24 PS2.0 PLN1.0 INITIAL PLANNING SUBMITTAL ER



**LEGEND:**

---	BOUNDARIES
- - - -	ROAD CENTERLINE
- - - -	BRICK EDGES
- - - -	PAVERS EDGES
- - - -	MAJOR CONTOURS
- - - -	MINOR CONTOURS
	FOUND PROPERTY CORNERS OR CENTERLINE MONUMENTS
▭	STRUCTURES
○	SEWERLINE CLEANOUT
○	STAND PIPE
⊗	WATER VALVE
▭	ELECTRIC PANEL/METER
▭	WATER METER
▭	GAS METER
○	DOWNSPOUT
⊕	POWER POLE OR TELEPHONE POLE AS NOTED
⊙	SANITARY SEWER MAN HOLE
⊙	BENCHMARK OR OTHER CONTROL POINT AS DESCRIBED

**GENERAL NOTES**

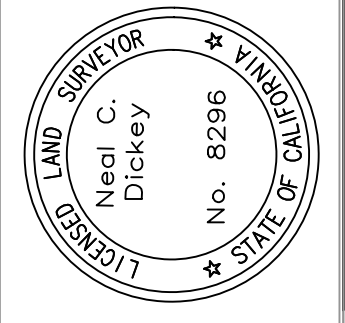
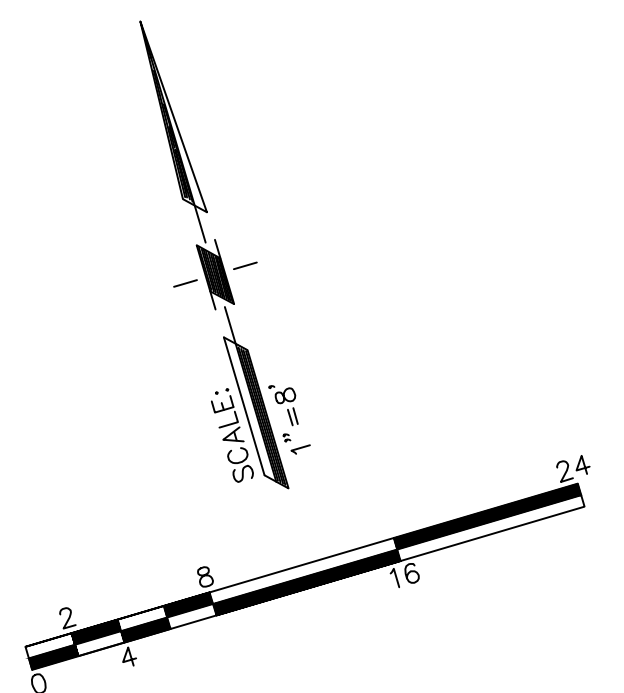
- ELEVATIONS ARE BASED ON ARBITRARY ELEVATION OF 100.00' ON SET NAIL AND WASHER IN ROADWAY AS SHOWN. CONTOUR INTERVAL 1'.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREES ARE LABELED IN INCHES. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/09/2023) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BOUNDARIES SHOWN ARE THE BENEFIT OF COUNTY RECORDS AND FIELD FOUND PROPERTY CORNERS BUT IS NOT TO BE CONSIDERED A FINAL BOUNDARY SURVEY. A MORE DETAILED BOUNDARY SURVEY WOULD NEED TO BE CONDUCTED TO FINALIZE PRECISE LOCATION. BOUNDARY CONSIDERED SUFFICIENT FOR DESIGN WORK.

**ABBREVIATIONS:**

- CONC - CONCRETE  
 FP - FIREPLACE  
 MAD - MADRONE TREE  
 PAVERS - CONCRETE OR OTHER PAVER BLOCKS  
 REDWD - REDWOOD TREE

**LOT COVERAGES**

LOT SIZE +/- 4869 SQUARE FEET  
 BUILDING COVERAGE - 1538 SQUARE FEET  
 PAVERS, CONCRETE AND BRICK COVERAGE - 1600 SQUARE FEET



APPROVED BY:  
 Neal Dickey  
 NEAL DICKEY P.L.S. No. 0296

**NEAL DICKEY**  
**LAND SURVEYING**  
 LAND SURVEYING - ELEVATION CERTIFICATES  
 AERIAL PHOTOGRAPHY - ALTA - SUBDIVISIONS  
 9570 POLLOCK LANE, SALINAS, CA 93907  
 nealdsurvey@gmail.com 831-320-1864

**TOPOGRAPHIC MAP**  
 OF  
 LOT 17, BLOCK B3 ADDITION NO. 7, CARMEL-BY-THE-SEA  
 RECORDED VOL. 2 C&T PG 24  
 CARMEL-BY-THE-SEA, CALIFORNIA  
 FOR  
 SOUZA GONDO

SCALE: 1" = 8'
DATE: NOV. 2023
PREPARED: NCD
SHEET 1
OF 1 SHEETS

No.	DATE	BY	REVISION

DEMO & EXISTING SITE PLANS (FRONT HALF OF LOT)

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION

GONDO GARAGE

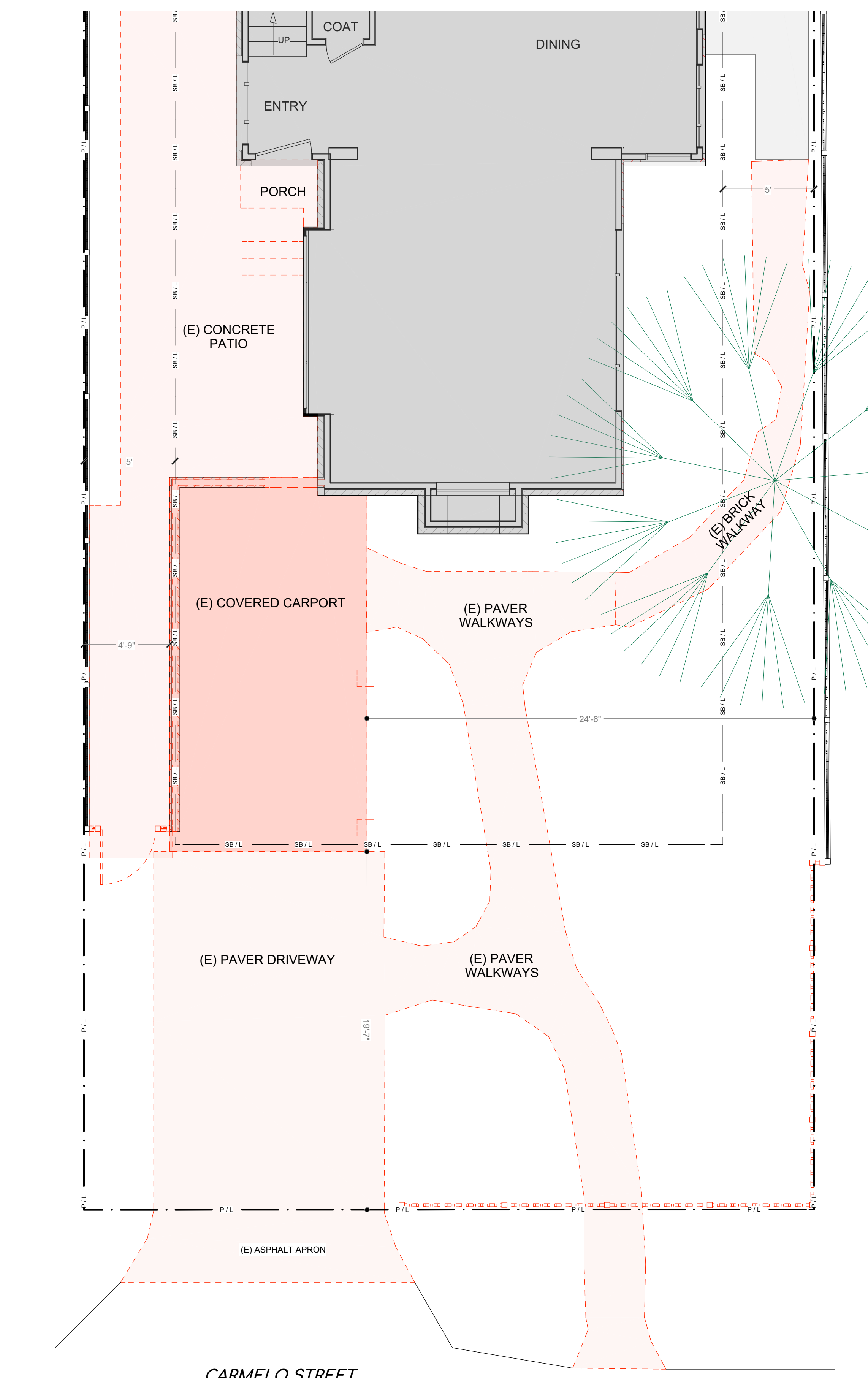
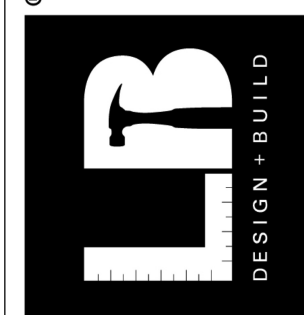
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*John Lewis*

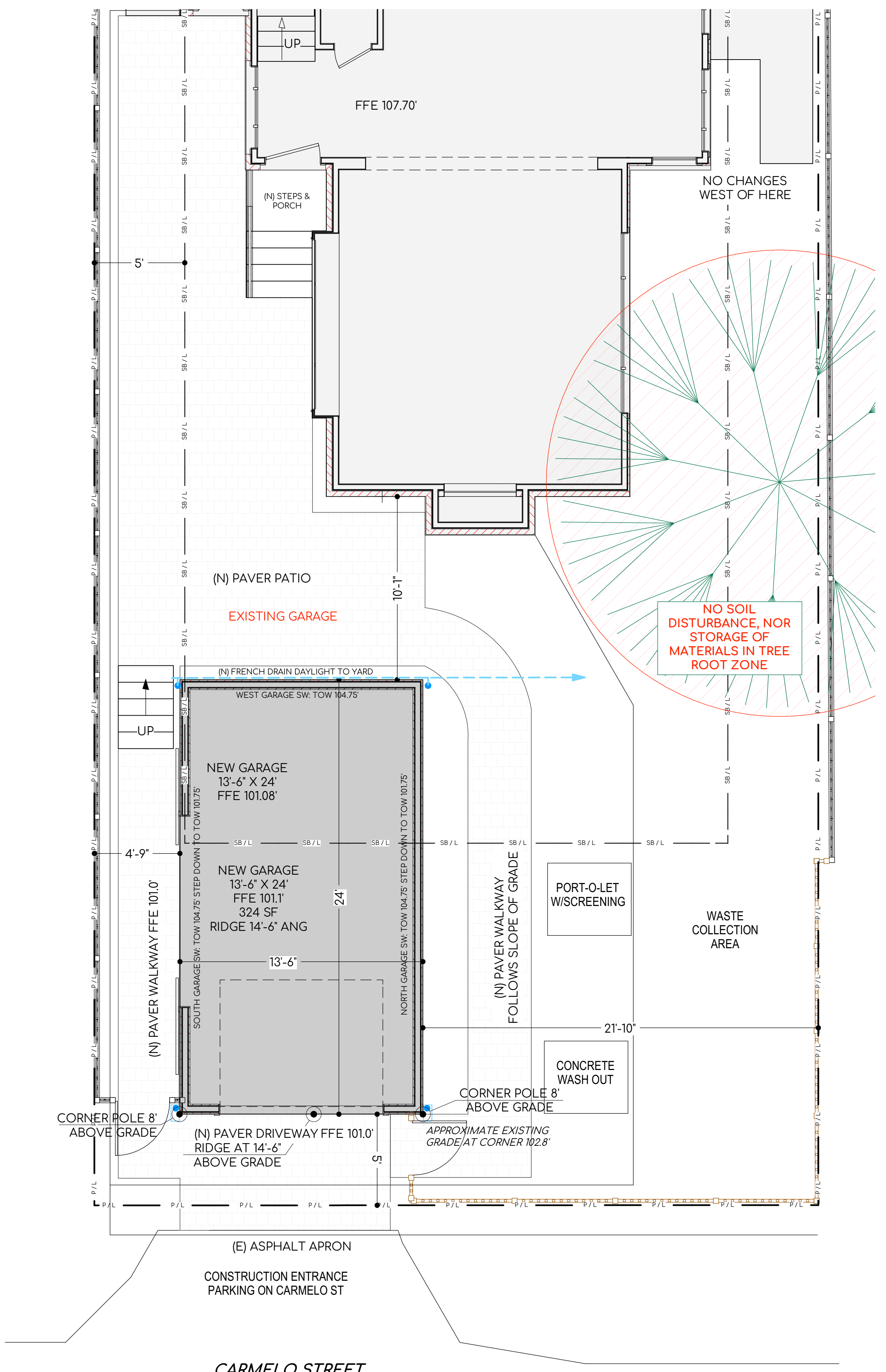
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CARMEL CA 93923  
(831) 250 7168



SITE / GARAGE DEMO PLAN  
SCALE: 1/4"=1'

SEE SURVEY DATED NOVEMBER 2023 BY NEAL DICKEY  
LAND SURVEYING FOR TREE LOCATION, UTILITY  
LOCATIONS, TOPOGRAPHY, DRAINAGE, HARDSCAPE,  
FENCING, AND RESIDENCE FLOOR ELEVATION.



PROPOSED SITE / GARAGE PLAN  
SCALE: 1/4"=1'

**EROSION CONTROL NOTES**

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION.
4. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF MATERIAL ON SITE FOR QUICK APPLICATION.
5. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

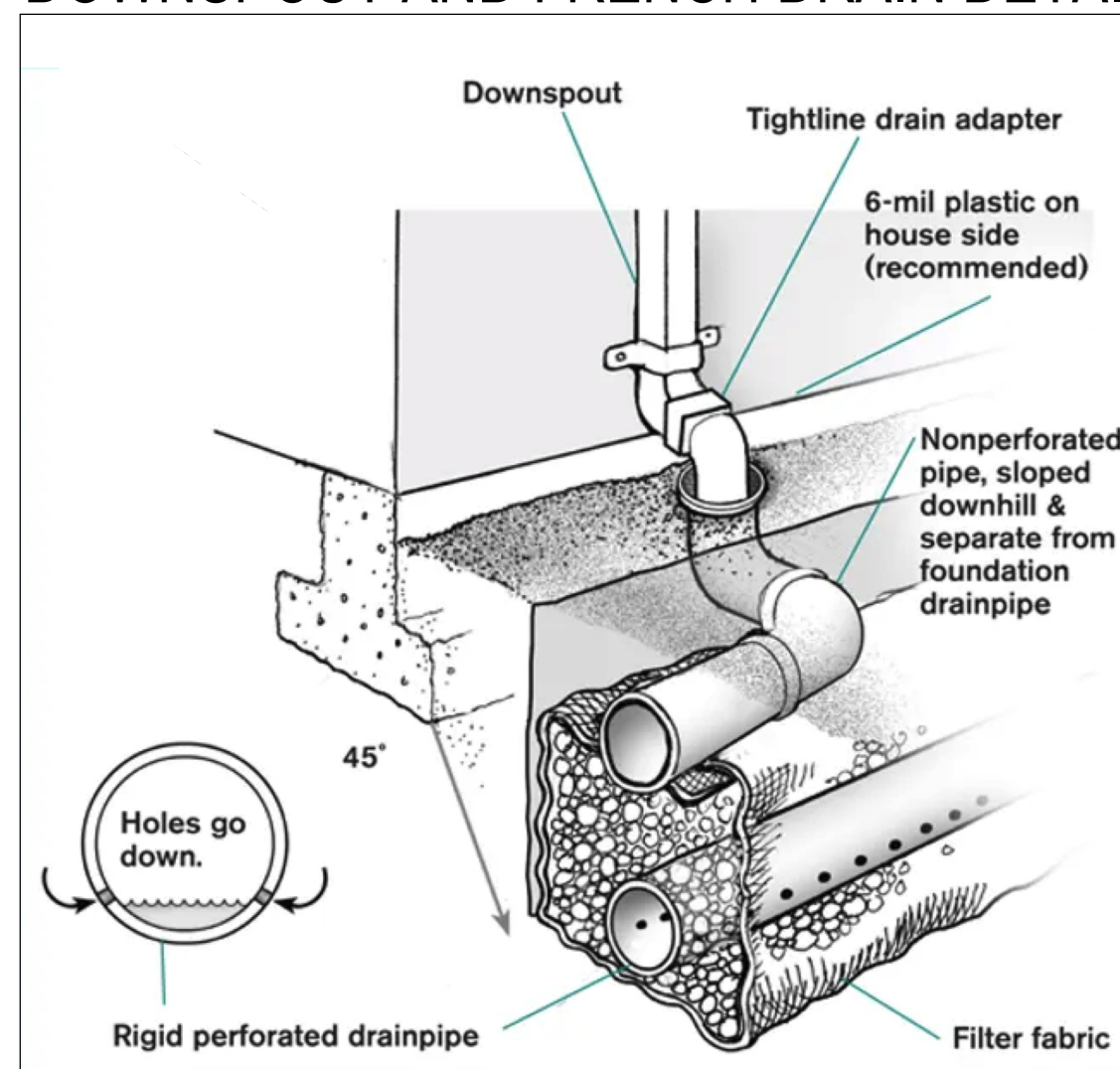
**SITE DRAINAGE NOTES**

1. PROTECT ALL TREES AND SHRUBS DURING CONSTRUCTION.
2. ALL SITE AND ROOF RUNOFF SHALL BE DIRECTED ONTO PRIVATE PROPERTY OF ITS ORIGIN AND FILTERED THROUGH SEEPAGE PITS, FRENCH DRAINS, AND/OR LEACH FIELDS WHERE POSSIBLE AND MAY NOT CROSS LOT LINES TO ADJOINING PROPERTIES. ANY RUNOFF WATERS FROM THE SITE THAT MAY BE DIRECTED ONTO THE PUBLIC RIGHT-OF-WAY OR CITY STORM DRAIN SYSTEM MUST BE DONE WITH PRIOR APPROVAL OF THE BUILDING OFFICIAL AND/OR PUBLIC WORKS SUPERINTENDENT. (C.M.C. 15.18.010)

**SITE DRAINAGE REQUIREMENTS**

1. DRAINAGE FROM DOWNSPOUTS AND PAVED AREAS IS DIRECTED TO LANDSCAPED AREAS, OR COLLECTED IN FRENCH DRAINS OR SUBGRADE PERFORATED PIPE COLLECTORS, AND CONVEYED TO INFILTRATION BEST MANAGEMENT PRACTICES (BMP) SUCH AS RAIN GARDENS OR INFILTRATION TRENCHES.
2. THE LANDSCAPED AREA USED FOR INFILTRATION IS AT LEAST 50% OF THE SIZE OF THE CONTRIBUTING IMPERVIOUS SURFACE.
3. RUNOFF IS DIRECTED AWAY FROM BUILDING FOUNDATIONS.
4. RUNOFF IS DISPERSED THROUGHOUT THE SITE, OR DIRECTED TO TWO OR MORE INFILTRATION BMP'S.
5. WHEN NOT DISPERSED THROUGHOUT THE SITE, SWALES, DRY CREEKS OR PIPING SYSTEMS WITH A MINIMUM PIPE DIAMETER OF 3" SHALL BE USED TO CONVEY RUNOFF TO AN APPROVED INFILTRATION BMP.
6. RAIN GARDENS ARE DESIGNED IN ACCORDANCE WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) PUBLICATION RAIN GARDENS, STORMWATER CONTROL FOR SMALL PROJECTS.
7. INFILTRATION TRENCHES MUST HAVE A SEDIMENT CAPTURE FACILITY (SEDIMENT TRAP, VEGETATED SWALE) AHEAD OF THE TRENCH.
8. INFILTRATION TRENCHES SHALL BE A MINIMUM OF 24 INCHES WIDE, 4' LONG AND 3 TO 5 FEET DEEP AND SHALL BE DESIGNED IN ACCORDANCE WITH TYPICAL INFILTRATION TRENCH DESIGN SHOWN BELOW.
9. TRENCH AGGREGATE SHALL HAVE A MINIMUM VOID VOLUME OF 30%.
10. THE LONGITUDINAL SLOPE OF THE TRENCH SHALL NOT EXCEED 3%.
11. DRAINAGE AND INFILTRATION FEATURES SHALL BE LOCATED AT LEAST 6 FEET AWAY FROM NEIGHBORING PROPERTIES AND THE TOP OF STEEP SLOPES; AND 3 FEET AWAY FROM ANY PUBLIC STREET RIGHT-OF-WAY.
12. OVERFLOW MUST BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES. OVERFLOW TO THE STREET REQUIRES AN ENCROACHMENT PERMIT APPROVED BY THE PUBLIC WORKS DIRECTOR.

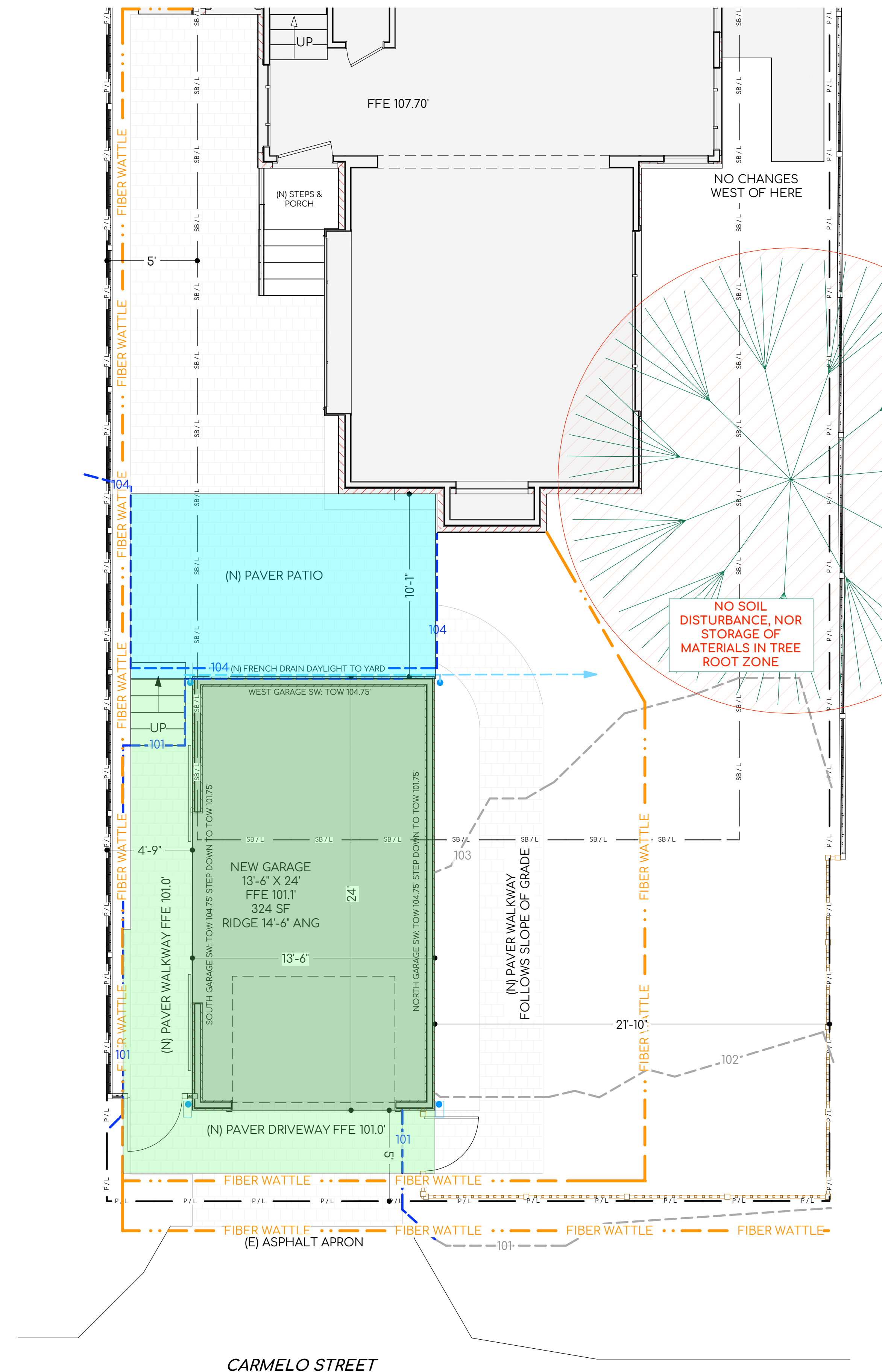
**DOWNSPOUT AND FRENCH DRAIN DETAIL**



PROPOSED GRADING:  
 CUT 57 CU FT TO DROP FFE OF GARAGE & DRIVEWAY  
 FILL 10 CU FT TO LEVEL FFE OF ENTRY PATIO  
 NET 47 CU FT TO BE SPREAD ON SITE OR TAKEN OFF SITE

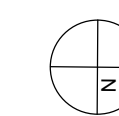
- AREA OF FILL: 10 CU FT
- AREA OF CUT: 57 CU FT

SEE SURVEY DATED NOVEMBER 2023 BY NEAL DICKEY  
 LAND SURVEYING FOR TREE LOCATION, UTILITY  
 LOCATIONS, TOPOGRAPHY, DRAINAGE, HARDSCAPE,  
 FENCING, AND RESIDENCE FLOOR ELEVATION.



PROPOSED GRADING & DRAINAGE PLAN

SCALE: 1/4"=1'



GRADING, DRAINAGE & EROSION PLAN (FRONT HALF OF LOT)

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION

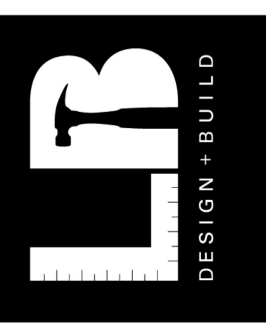
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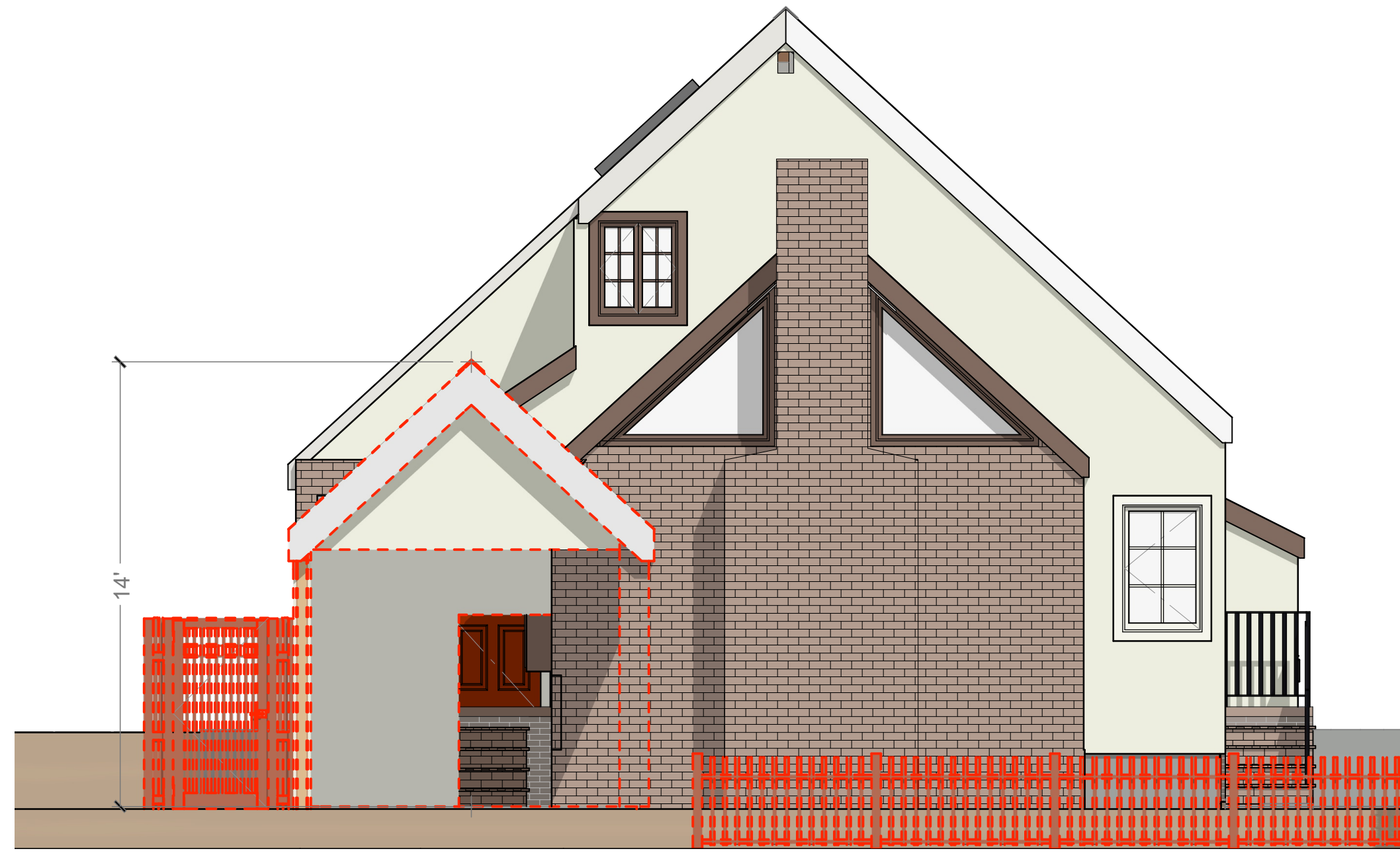
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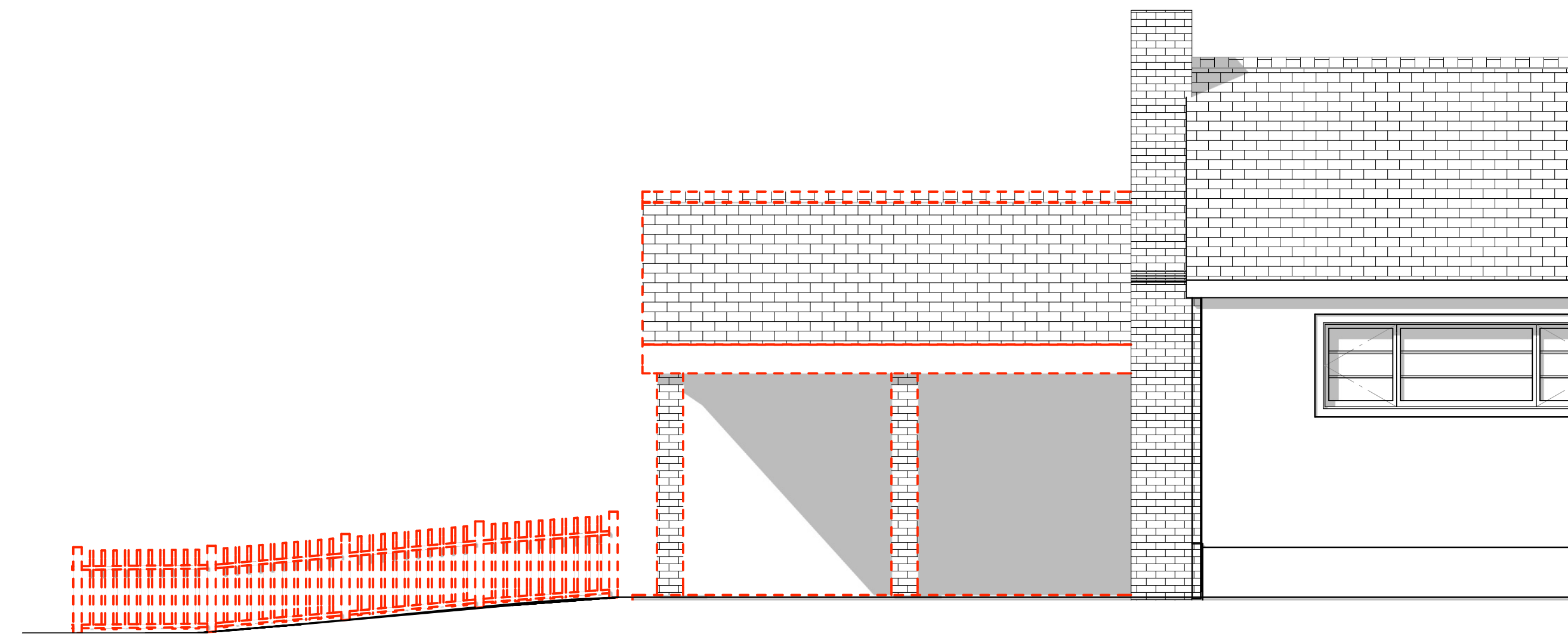
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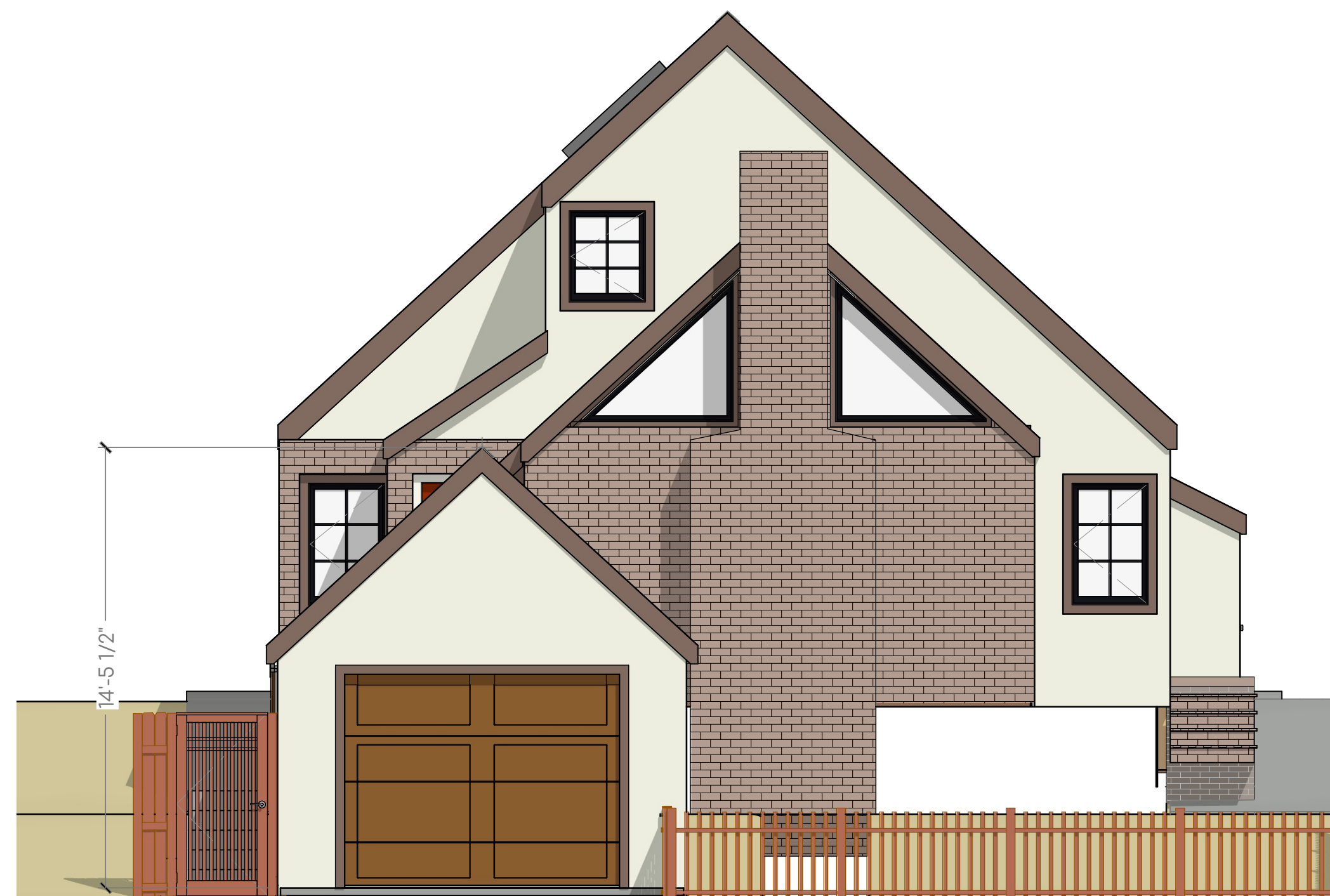
EXISTING EAST (STREET) ELEVATION

SCALE: 1/4"=1'



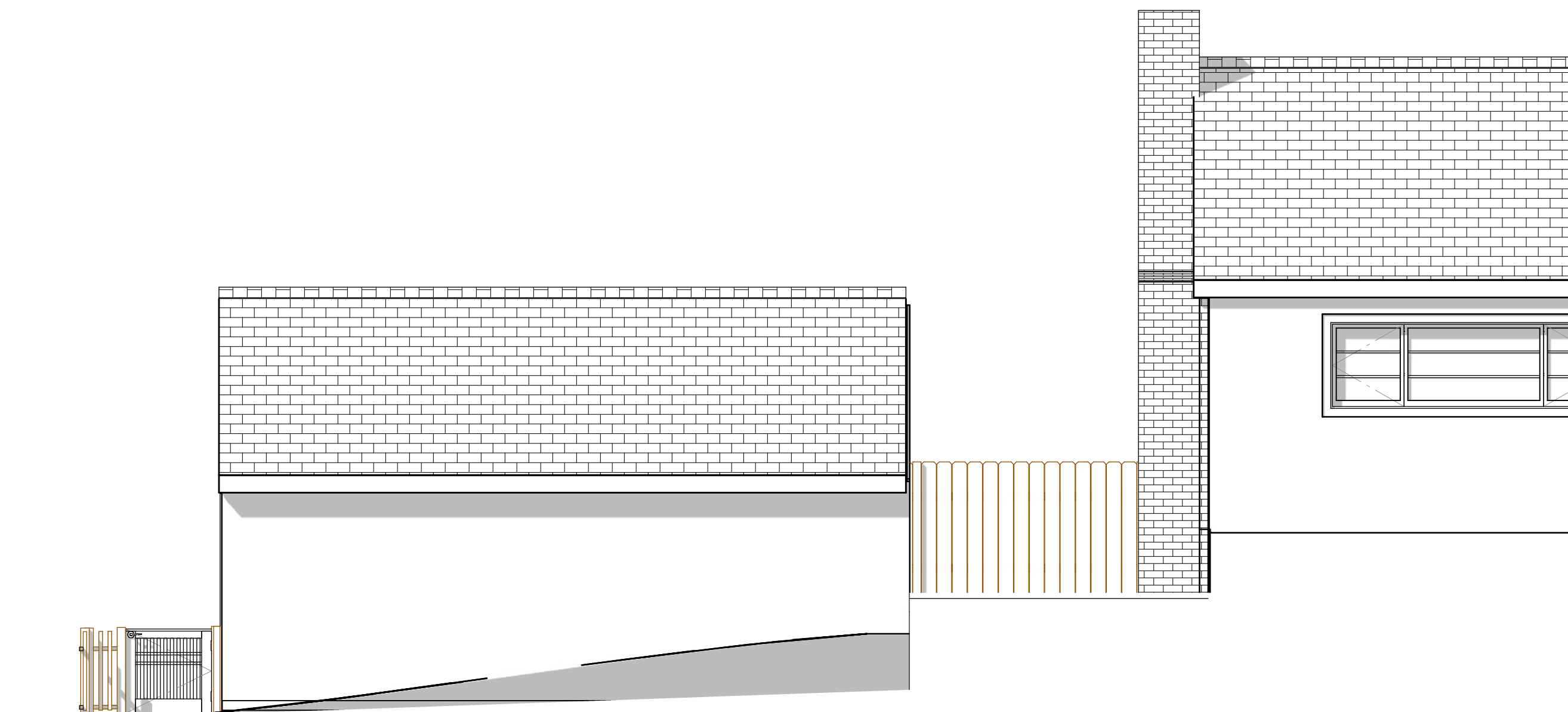
EXISTING NORTH (SIDE) ELEVATION

SCALE: 1/4"=1'



PROPOSED EAST (STREET) ELEVATION

SCALE: 1/4"=1'



PROPOSED NORTH (SIDE) ELEVATION

SCALE: 1/4"=1'



EXTERIOR GARAGE ELEVATIONS: EAST & NORTH

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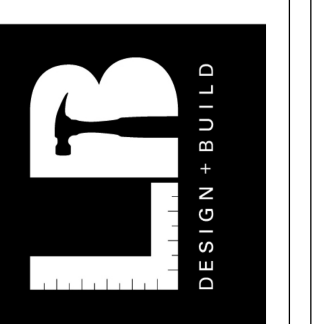
GONDO GARAGE

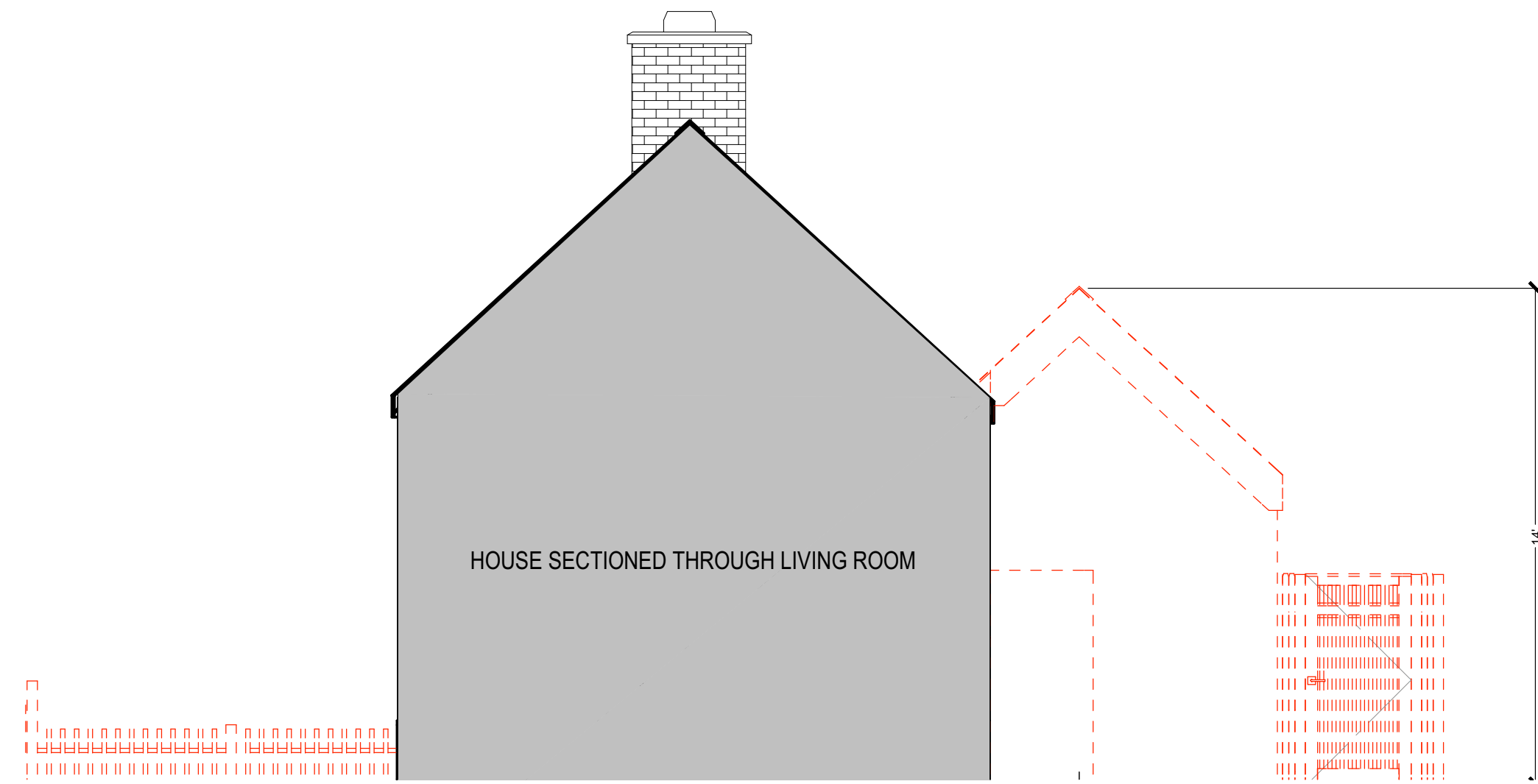
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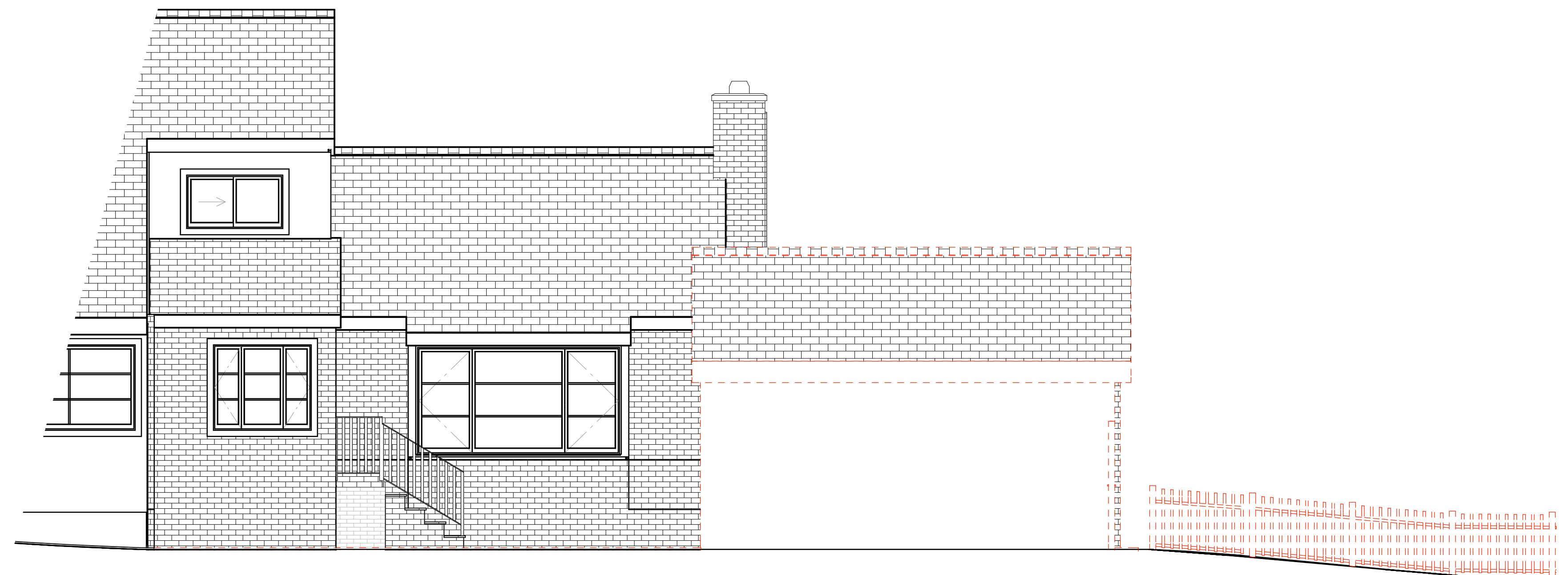
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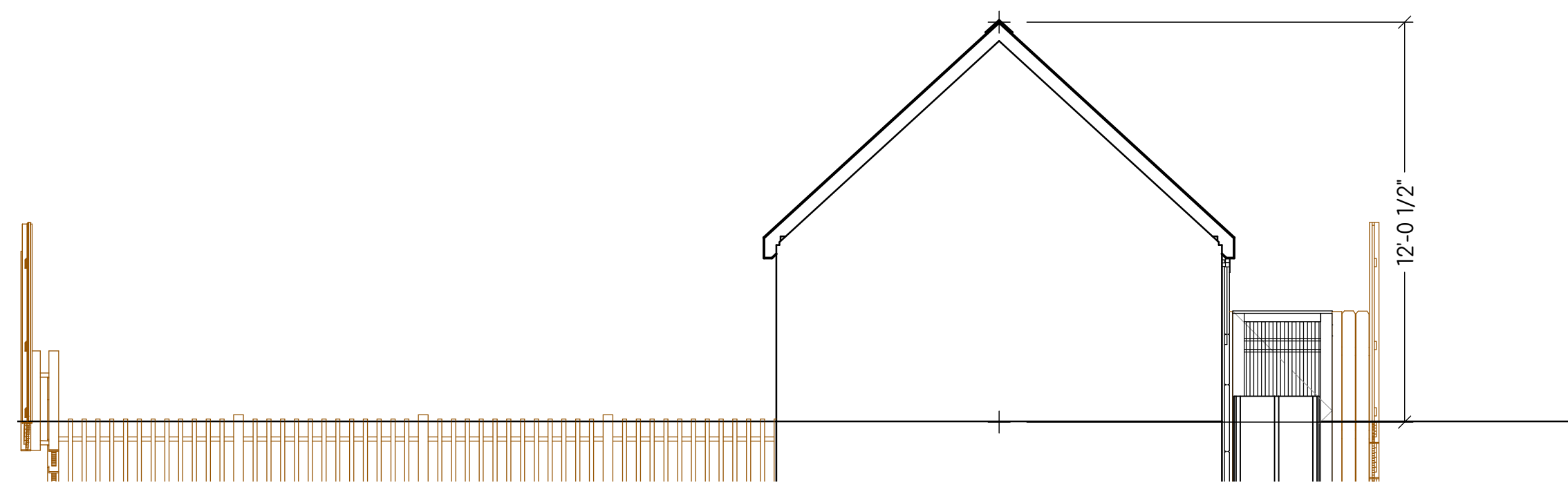
EXISTING WEST (REAR) ELEVATION

SCALE: 1/4"=1'



EXISTING SOUTH (SIDE) ELEVATION

SCALE: 1/4"=1'



PROPOSED WEST (REAR) ELEVATION

SCALE: 1/4"=1'



PROPOSED SOUTH (SIDE) ELEVATION

SCALE: 1/4"=1'



EXTERIOR GARAGE ELEVATIONS: WEST & SOUTH

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION

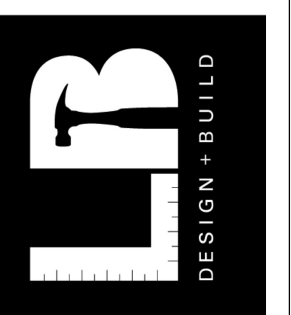
GONDO GARAGE

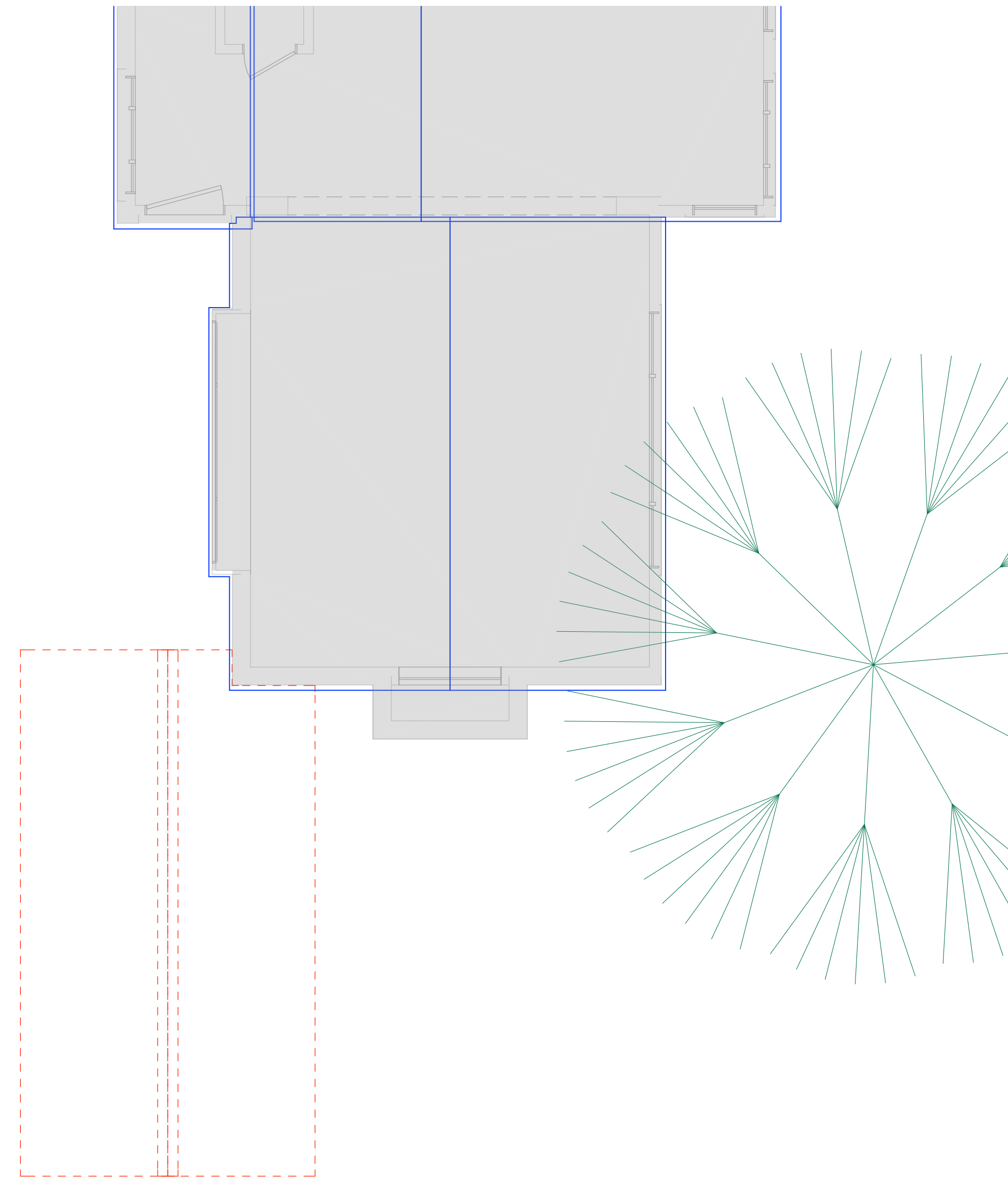
26246 CARMELO STREET CARMEL, CA, 93923  
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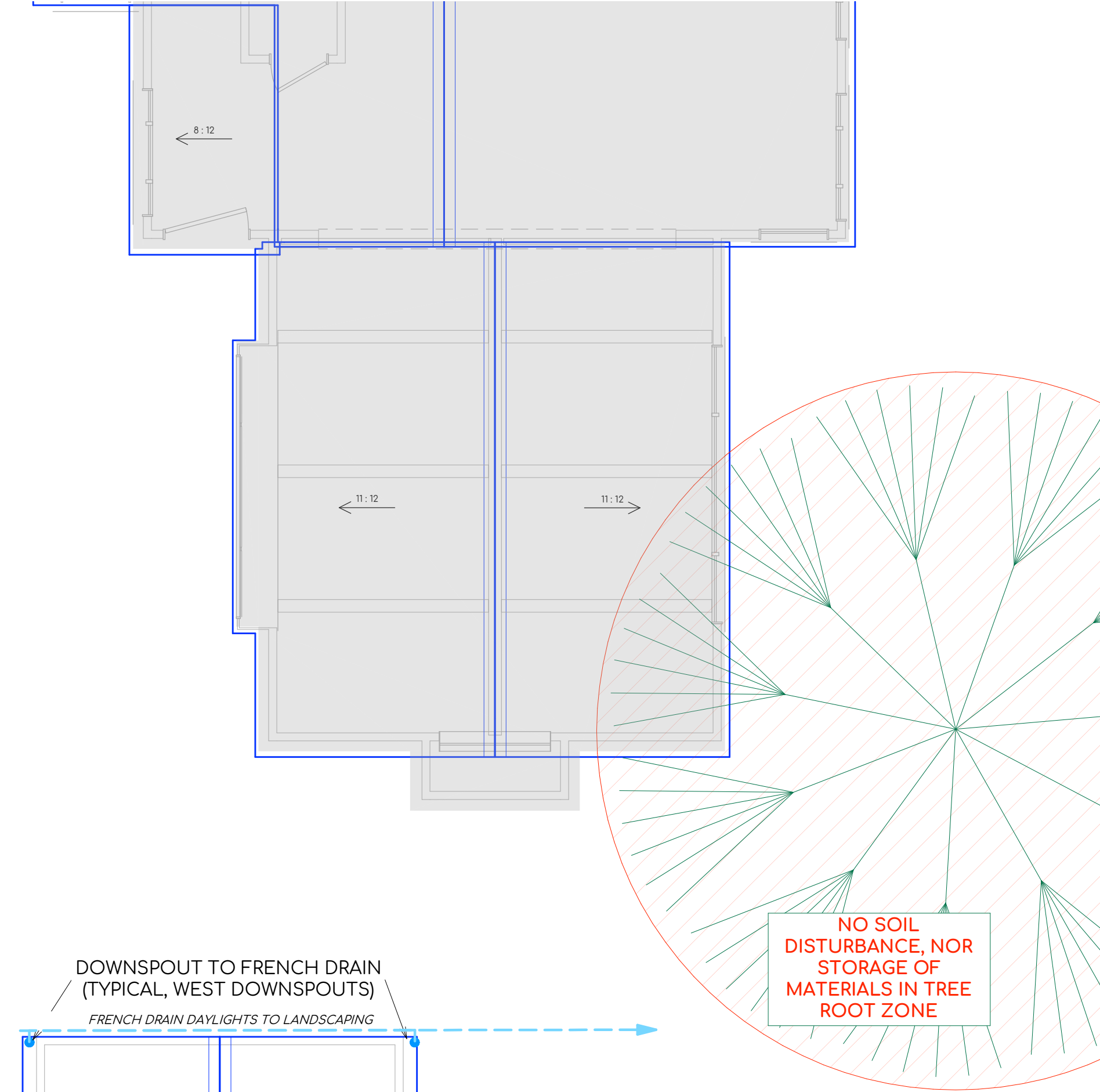
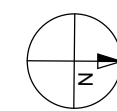
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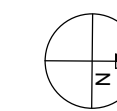
EXISTING/DEMO ROOF PLAN

SCALE: 1/4"=1'



PROPOSED ROOF PLAN

SCALE: 1/4"=1'



GARAGE ROOF PLANS & DRAINAGE PLAN

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION	BY

GONDO GARAGE

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