

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BUCHANAN (PLN240108)

RESOLUTION NO. 25--

Resolution by the County of Monterey Planning Commission:

- 1) Finding that the project qualifies for Class 1 and Class 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15301 and 15333, and that none of the exceptions pursuant to Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
 - a. After-the-fact Use Permit to allow development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and
 - b. Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484.

[PLN240108 BUCHANAN ELIOT L, 15596 VIA LA GITANA, CARMEL VALLEY, CARMEL VALLEY MASTER PLAN (APN: 197-174-002-000)]

The BUCHANAN ELIOT L application (PLN240108) came on for a public hearing before the County of Monterey Zoning Administrator on November 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;

- Carmel Valley Master Plan;
- Monterey County Zoning Ordinance (Title 21).

The property is not in compliance with County Code, however, issuance of this permit will partially abate the violation (see Finding No. 4). No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The subject property is developed with a 3,172 square foot existing single-family dwelling with a 336 square foot detached garage. There is an existing violation on the property for development on slopes in excess of 25%. The proposed project involves restoring approximately 3,545 square feet of impacted steeper slopes to their pre-violation state (slopes in excess of 25% and vegetated). The project also involves after-the-fact approval of approximately 3,053 square feet of grading on slopes in excess of 25% where an Accessory Dwelling Unit was constructed without ministerial permits. Although the grading work associated with the construction of the ADU required a Use Permit, the ADU (structure) did not require a discretionary permit and thus is not considered in this permit.
- c) Allowed Use. The property is located at 15596 Via la Gitana, Carmel Valley (Assessor's Parcel Number [APN]: 197-174-002-000), within the Carmel Valley Master Plan, in unincorporated Carmel. The parcel is zoned as Low Density Residential with Building Site-6, Design Control, Site Plan Review, and Residential Allocation Zoning District overlays [LDR/B-6-D-S-RAZ]. Title 21 section 21.84.130 requires restoration of land disturbing activities that occurred without necessary permits. A Use Permit is required to allow development on slopes in excess of 25% (see Finding 5 and supporting evidence). Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property is shown in its present size (2.52 acres) and configuration as Lot 63 within Tract No. 655 of the Los Tulares Subdivision, recorded on June 1971 (Volume 11, "Cities & Towns", page 32). Therefore, the County recognizes it as a legal lot of record.
- e) Development on slopes in excess of 25%. The proposed project includes after-the-fact approval of development (grading) on slopes in excess of 25%. This includes approximately 500 cubic yards of cut and fill or 3,053 square feet. Pursuant to General Plan OS-3.5, development on slopes in excess of 25% may be allowed pursuant to a Use Permit. Therefore, an after-the-fact Use Permit has been applied for to abate a portion of the property's violation. The project meets the required findings to allow development on slopes in excess of 25%, as demonstrated in Finding No. 5 and supporting evidence.
- f) Restoration. Restoration activities include removing all unpermitted development (pergola, patios, walkways, stairway, and retaining walls), restoring the hillside slope to its natural state, and revegetating the disturbed area with native material. A grading permit shall be obtained to ensure this work is completed in conformance with applicable grading and erosion control requirements of Title 16.

- g) Tree Protection. The proposed project does not include any tree removal; however, there are four trees identified as Coast live oak trees located within proximity of the proposed restoration. Therefore, the County's standard tree and root protection condition has been applied to the project, requiring the Applicant to install protective fencing around nearby trees not being removed during restoration activities.
- h) Cultural Resources. According to the County of Monterey Geographic Information System (GIS) records, the subject parcel has a moderate archaeological sensitivity, is not within 250 feet of a known archaeological resource, and is Categorically Exempt pursuant to CEQA Guidelines, see Finding No. 6 and supporting evidence. An archaeological assessment was prepared for the project, and it did not identify any evidence of significant archaeological resources. Pursuant. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition, which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) Land Use Advisory Committee (LUAC) Review. The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on July 21, 2025 and voted 6-0 (with one absent) to support the project as proposed.
- j) The project planner conducted a site inspection on July 21, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to trees, cultural resources, and soils/grading. The following reports have been prepared:
 - "Arborist Report" (LIB250096) prepared by Michael Tope, Carmel, CA, August 21, 2024.
 - "Archaeological Report" (LIB240165) prepared by Archives & Archaeology, Salinas, CA, June 3, 2025.
 - "Geotechnical Report" (LIB240166) prepared by Butano Geotechnical Engineering, Inc., Watsonville, CA, May 28, 2025
 County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on July 21, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Potable water will continue to be provided by CalAm and managed through the Monterey Peninsula Water Management District. EHB has reviewed the application and confirmed that this service is suitable for the project development.
 - c) A septic system and leach pits will serve the accessory dwelling unit. EHB has reviewed the preliminary onsite wastewater treatment system design and found it appropriate.
 - d) Staff conducted a site inspection on July 21, 2025 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

4. FINDING: VIOLATION – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. Approval of a restoration permit will abate the existing zoning violation.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is aware of a violation on subject property for grading and the construction of construction of site improvements (pergola, patio, stairs, walkways) on slopes in excess of 25%. An Accessory Dwelling Unit was also constructed on slopes in excess of 25% without the necessary discretionary permits (grading on slopes) and ministerial permits (construction).
 - b) A Restoration Plan was submitted with the project plan set to restore approximately 3,545 square feet of disturbed areas back to their pre-existing conditions. Steep slopes will be properly benched for slope stability and backfilled to match the existing topography; all decorative improvements, including pergolas, curbing, walkways, stairs, and

patios, will be removed. Erosion control measures shall be implemented, and disturbed areas shall be reseeded with native seed mix to help reduce future erosion.

- c) Approval of this after-the-fact Use Permit will abate the portion of the violation related to the development on slopes in excess of 25% where the ADU was constructed.
- d) The violation (Code Enforcement No. 20CE00484) will be abated upon completion of the restoration work and final inspection of the ADU. Ministerial permits are required.
- e) Staff conducted a site inspection on July 21, 2025 and researched County records to assess the violations on the subject property and how proposed activities would address them.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

5. FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 25% - The Proposed Project is located in the most feasible location, minimizes development on slopes in excess of 25 percent, and better measures the resource protection goals and policies of the 2010 General Plan and Carmel Valley Master Plan (CVMP).

- EVIDENCE:**
- a) The project consists of grading approximately 375 cubic yards of cut and fill to accommodate the construction of an ADU. The 2.52-acre parcel is heavily sloped, with the majority of the existing development located within the flattest portions of the property. The project includes after-the-fact approval to allow 3,053 square feet of grading on slopes in excess of 25%. This area is occupied by an Accessory Dwelling Unit. Pursuant to General Plan Policy OS-3.5, a Use Permit is required. In this case, the criteria to grant said permit have been met.
 - b) In this case, there is no alternative location or design that would allow development of an ADU on a less steep slope. The ADU was sited northwest of the existing main dwelling and garage. Shifting the ADU west or southeast would impact slopes in excess of 25%. Shifting the ADU south would likely impact Coast live oak trees. The proposed development on slopes better protects forest resources by minimizing tree removal. The CVMP Policy CV-3.11 discourages the removal of healthy trees. Avoiding impacts to native trees complies with CV-3.11. Further, the ADU's two-story design minimizes the amount of grading on slopes in excess of 25% by reducing the footprint of the structure. Therefore, the proposed development better achieves the goals, policies, and objectives of the County of Monterey General Plan and the Carmel Valley Master Plan.
 - c) As proposed, the project also involves restoring 3,455 square feet of development that occurred on slopes in excess of 25. Restoring this hillside complies with Carmel Valley Master Plan Policy CV-3.4, which requires that hillsides and landforms not be significantly altered.
 - d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240108.

6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts existing facilities and Section 15333 exempts small restoration projects.
 - b) The proposed project involves after-the-fact approval of existing facilities (ADU and grading) and restoration of less than 5 acres (3,455 square feet). Therefore, the project qualifies for Class 1 and Class 33 categorical exemptions.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact within any prior successive projects of the same type in the same place over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The proposed project will not be visible from any scenic corridor. No known historical resources exist on the property.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on July 21, 2025.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.
7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Pursuant to Title 21 section 21.80.040.B, the project is subject to appeal to the Planning Commission because it requires the Zoning Administrator to make a discretionary decision.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project qualifies for Class 1 and Class 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15301 and 15333, and that none of the exceptions pursuant to Guidelines section 15300.2 apply; and
- 2) Approve a Combined Development Permit consisting of:
 - a. After-the-fact Use Permit to allow development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and
 - b. Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 13th day of November, 2025.

Mike Novo, AICP
Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240108

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Combined Development Permit consisting of After-the-fact Use Permit allows development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and a Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484. The property is located at 15596 Via La Gitana, Carmel Valley (Assessor's Parcel Number 197-174-002-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number _____) was approved by County of Monterey Zoning Administrator for Assessor's Parcel Number 197-174-002-000 on November 13, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

6. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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SLOPE RESTORATION NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO RESTORE THE DISTURBED AREAS BACK TO THEIR ORIGINAL, NATURAL STATE PRIOR TO ILLEGAL GRADING OPERATIONS. ALL AREAS CLEARED OF VEGETATION MUST BE PLANTED WITH NATIVE MATERIAL.
- 2) ALL GRADING SHALL CONFORM TO THE COUNTY OF MONTEREY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2806, THE 2022 CBC, THE GOVERNING PUBLIC AGENCIES, THE SOIL'S ENGINEER RECOMMENDATIONS, AND PER THIS PLAN.
- 3) THERE ARE APPROXIMATELY 20 C.Y. OF CUT AND 20 C.Y. OF FILL (BANK VOLUMES).
- 4) PRIOR TO GRADING, THE NEWLY EXPOSED AREAS SHOULD BE CLEARED OF VEGETATION AND DELETERIOUS MATERIALS, LIGHTLY SCARIFIED BEFORE RELOCATING FILL.
- 5) STRUCTURAL FILL TO BE PLACED ON SLOPES STEEPER THAN 10:1 SHOULD BE BENCHES. BENCHES SHOULD HAVE A MINIMUM WIDTH OF 10 FT. AND SHOULD BE SLOPED APPROXIMATELY 2% BACK INTO THE HILLSIDE. THE ENGINEER WILL DETERMINE THE DEPTH, SCARIFICATION, AND RECOMPACTION OF THE BENCH BOTTOMS AT THE TIME OF GRADING.
- 6) STRUCTURAL FILL TO BE PLACED ON SLOPES STEEPER THAN 6:1 SHOULD HAVE KEYWAYS. THE KEYWAYS SHOULD HAVE MINIMUM WIDTHS OF 10 FT. AND SHOULD BE SLOPED APPROXIMATELY 2% BACK INTO THE HILLSIDE. THE KEYWAYS AND SUBSEQUENT UP SLOPE BENCHES SHOULD PENETRATE INTO SUFFICIENTLY STABLE MATERIAL AS DETERMINED BY THE ENGINEER AT THE TIME OF GRADING.
- 7) FILL MATERIAL SHOULD BE PLACED IN 12 INCH LIFTS AND MOISTURE CONDITIONED AND COMPACTED TO 85% MINIMUM RELATIVE COMPACTION.
- 8) ALL FILL DENSITIES SHALL BE IN ACCORDANCE WITH ASTM TEST METHOD D1557-91.
- 9) ALL CUT AND FILL SLOPES SHALL MATCH NATURAL GRADIENTS PRIOR TO ILLEGAL GRADING.
- 10) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED.
- 11) THE ESTIMATED START DATE IS JANUARY 2025.
- 12) RESTORED SLOPES SHALL BE OBSERVED AND TESTED BY SOIL'S ENGINEER WITH FINAL GRADING REPORT SUBMITTED TO COUNTY ONCE COMPLETED.

PERGOLA RESTORATION DATA

EXISTING CONDITIONS:		RESTORATION:	
CONCRETE SLAB	250 S.F.	82 C.F.	82 C.F.
CONCRETE RETAINING WALL	44 L.F.	88 C.F.	88 C.F.
EARTH PAD	123 S.F.		
WOOD RETAINING WALL	38 L.F.	12 C.F.	12 C.F.
CUT	15 C.Y.		15 C.Y.
FILL	10 C.Y.		25 C.Y.
DISTURBED AREA	510 S.F.		1,090 S.F.

RESTORATION DATA (NO PERGOLA)

ROCK CREEK, STAIRS & REDWOOD = 1,905 S.F.
CEMENT GARDEN EDGING = 550 S.F.
RESTORATION AREA = 2,455 S.F.
CUT = 20 C.Y.
FILL = 20 C.Y.
NET = 0 C.Y.

TOTAL LOT AREA = 109,771 SQ.FT.
TOTAL AREA OF RESTORATION = 3,545 SQ.FT.

GRADING QUANTITIES:
CUT = 35 C.Y.
FILL = 45 C.Y.
NET = 10 C.Y. IMPORT

EXISTING STAIRS AND REDWOOD
RETAINING WALL TO BE REMOVED
AND RESTORED TO ITS ORIGINAL
NATURAL STATE

NATURAL ROCK TO REMAIN

EXISTING GROUND WITH
SLOPES 25% OR GREATER

10' PROPOSED ADU BUFFER
DISTURBED AREA IN SLOPES
25% OR GREATER = 3,053 SF

EXISTING CONDITIONS AS SHOWN IN TOPOGRAPHIC MAP
PREPARED ON 09/21/2023

LOT OVERVIEW - EXISTING CONDITIONS

SCALE: 1"=20'

KEYWAY & BENCH DETAIL

NO TO SCALE

SECTION A-A

SCALE: 1"=10' H&V

SECTION B-B

SCALE: 1"=10' H&V

" RESTORATION PLAN - OVERALL "

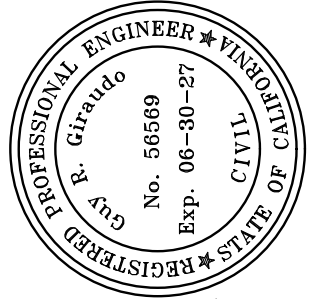
GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
BUCHANAN RESIDENCE NEW ADU
A.P.N.: 197-174-002
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. ELIOT BUCHANAN

SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2703-01

No.	DATE	BY	REVISION
	09/16/25	AMS	SLOPE ANALYSIS
	07/28/25	AMS	RELEASED TO CLIENT
	07/18/25	AMS	RELEASED TO CLIENT

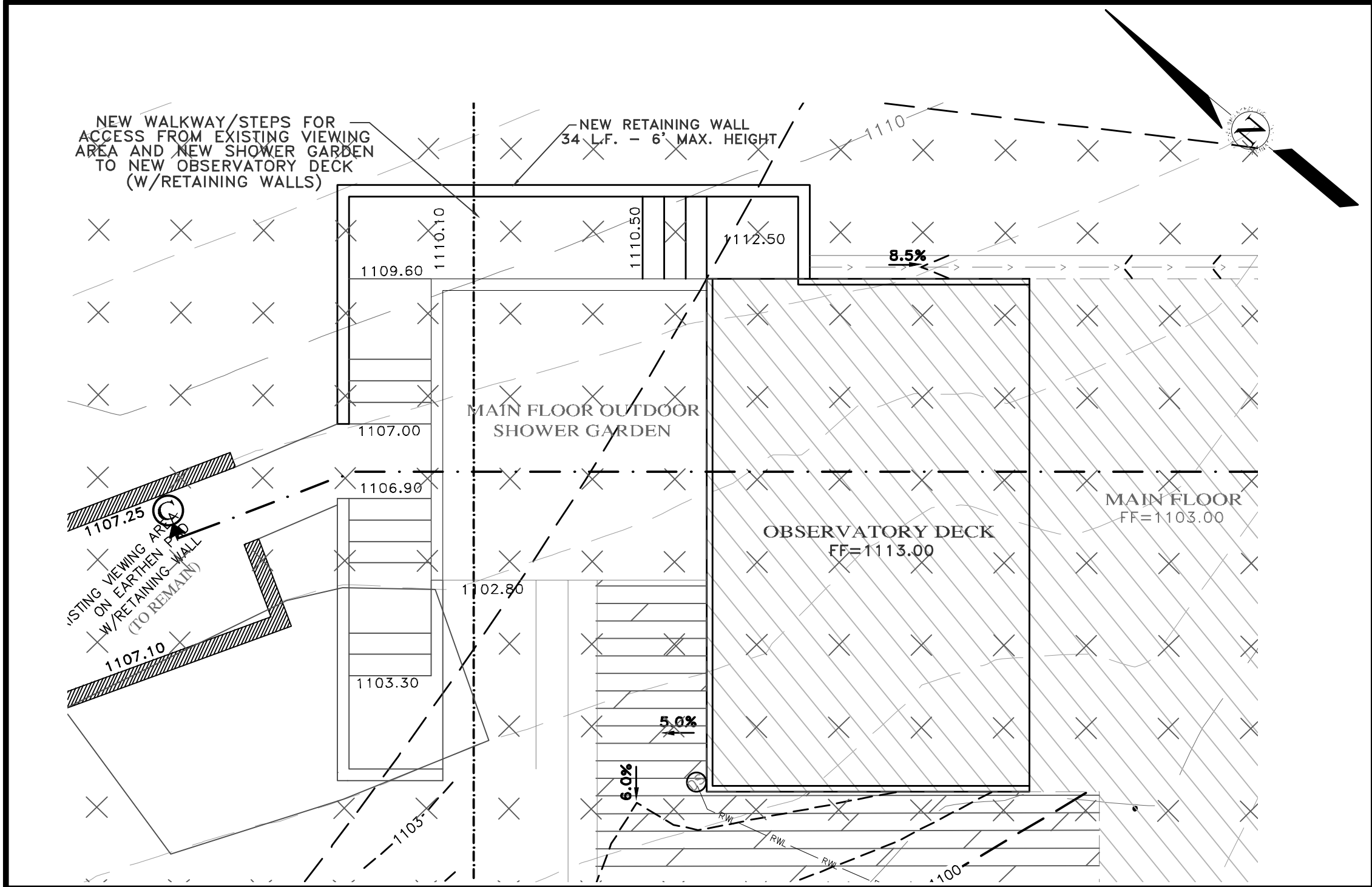
SHEET
OF 6 SHEETS



APPROVED BY:

GUY E. GIRARDO
09/16/25





UPPER DECK
SCALE: 1"=5'

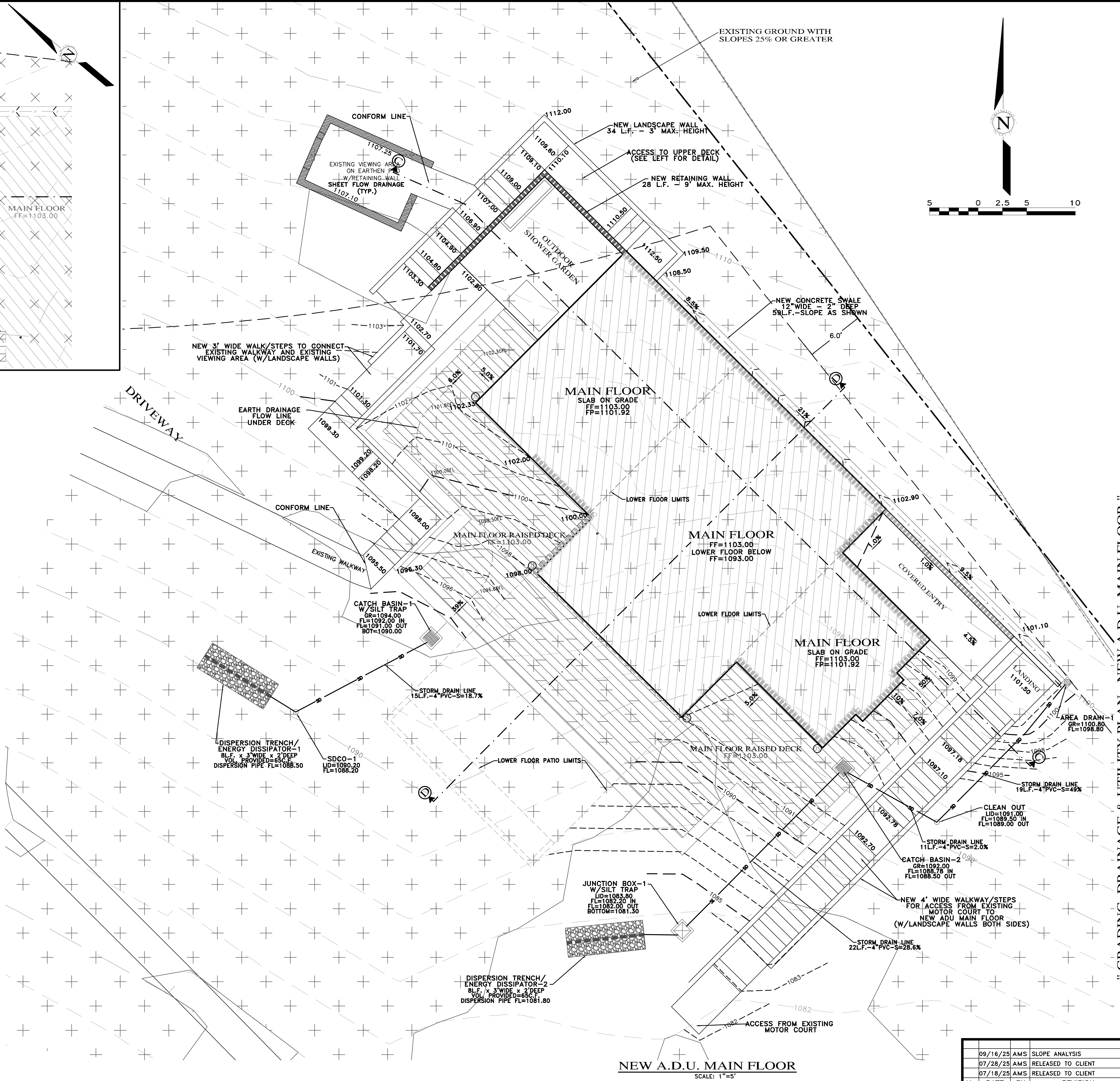
NEW A.D.U. AREA
TOTAL IMPERVIOUS AREA = 1,587 SQ.FT.
TOTAL AREA OF DISTURBANCE = 3,675 SQ.FT.

IMPERVIOUS AREA:
1,200 SF BUILDING + 387 SF LOWER PATIO

GRADING QUANTITIES:
CUT = 260 C.Y.
FILL = 155 C.Y.
NET = 105 C.Y. SURPLUS

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) THIS PROJECT WILL CREATE AND/OR REPLACE COLLECTIVELY OVER THE ENTIRE PROJECT 1,587 SF OF IMPERVIOUS SURFACES AND WILL DISTURB A LAND AREA OF 3,675 SQ.FT.



NEW A.D.U. MAIN FLOOR
SCALE: 1"=5'

" GRADING, DRAINAGE & UTILITY PLAN - NEW A.D.U. MAIN FLOOR "

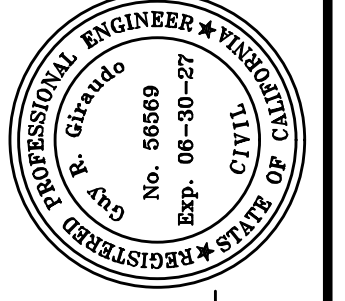
GRADING, DRAINAGE & EROSION CONTROL PLAN

BUCHANAN RESIDENCE NEW ADU
A.P.N.: 197-174-002
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. ELIJAH BUCHANAN

SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2703-01

No.	DATE	BY	REVISION
09/16/25	AMS		SLOPE ANALYSIS
07/28/25	AMS		RELEASED TO CLIENT
07/18/25	AMS		RELEASED TO CLIENT

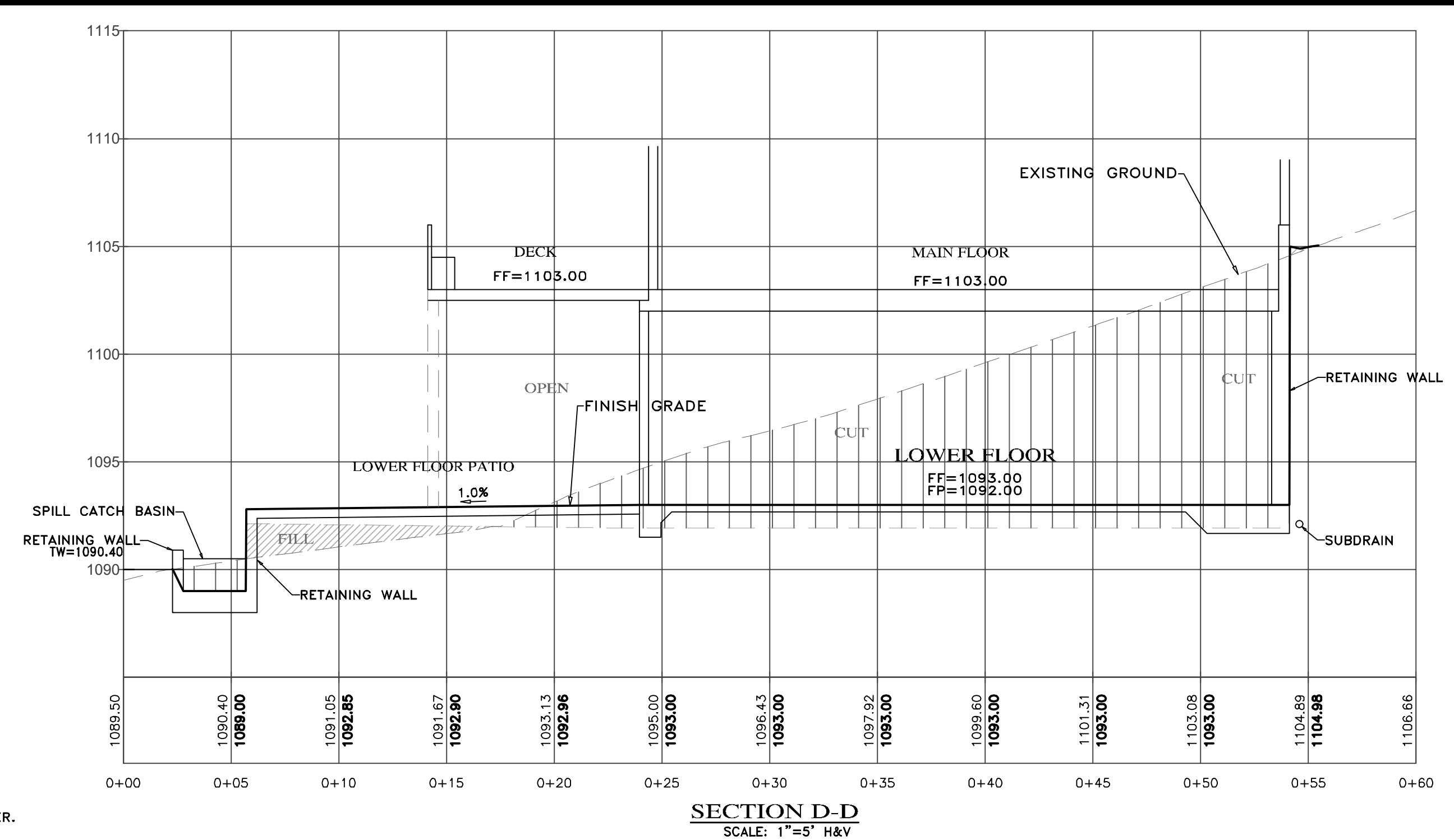
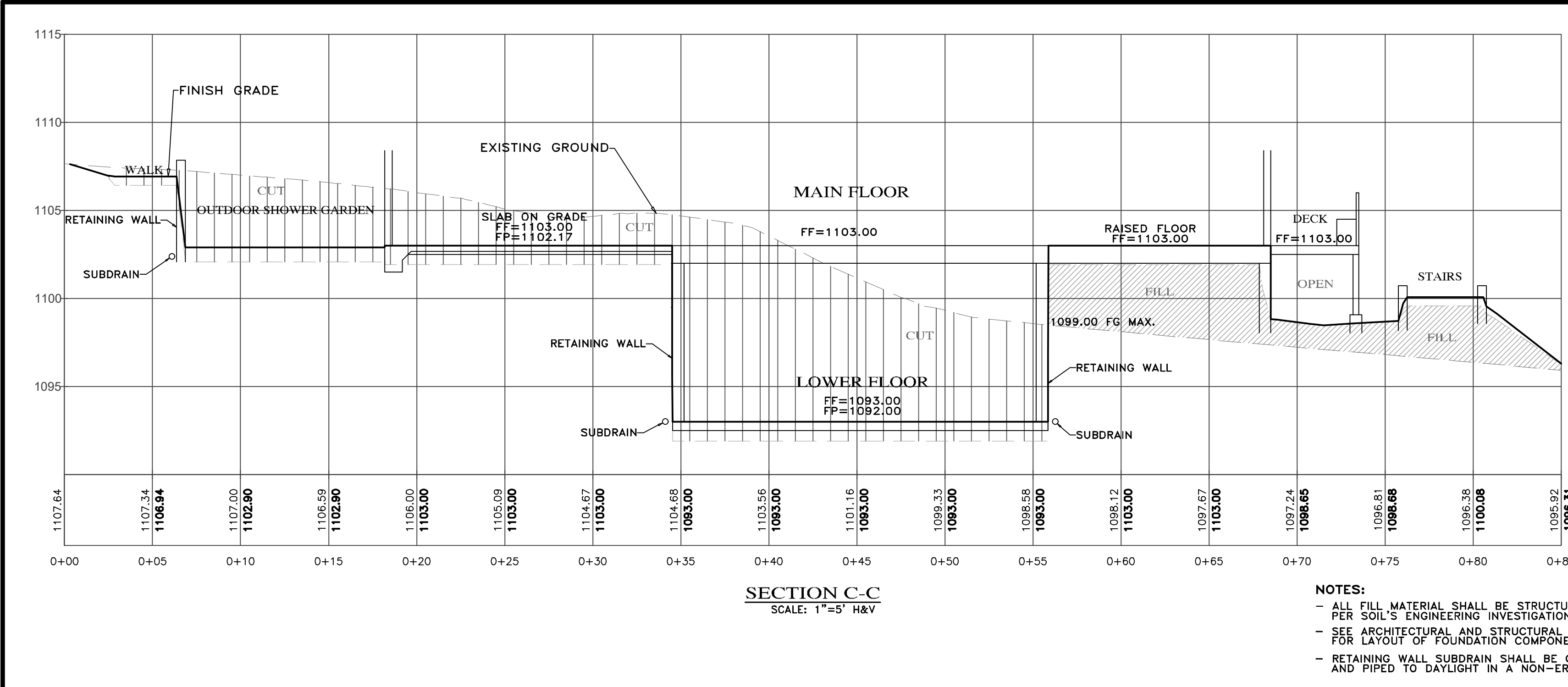
SHEET C3
OF 6 SHEETS



APPROVED BY:

GUY R. GIRARDO
Professional Engineer





MR. ELIOT BUCHANAN **07/18/2025**

Oldcastle Precast®
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SQUARE GRATE WITH SPEED-BASIN

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

PLAN

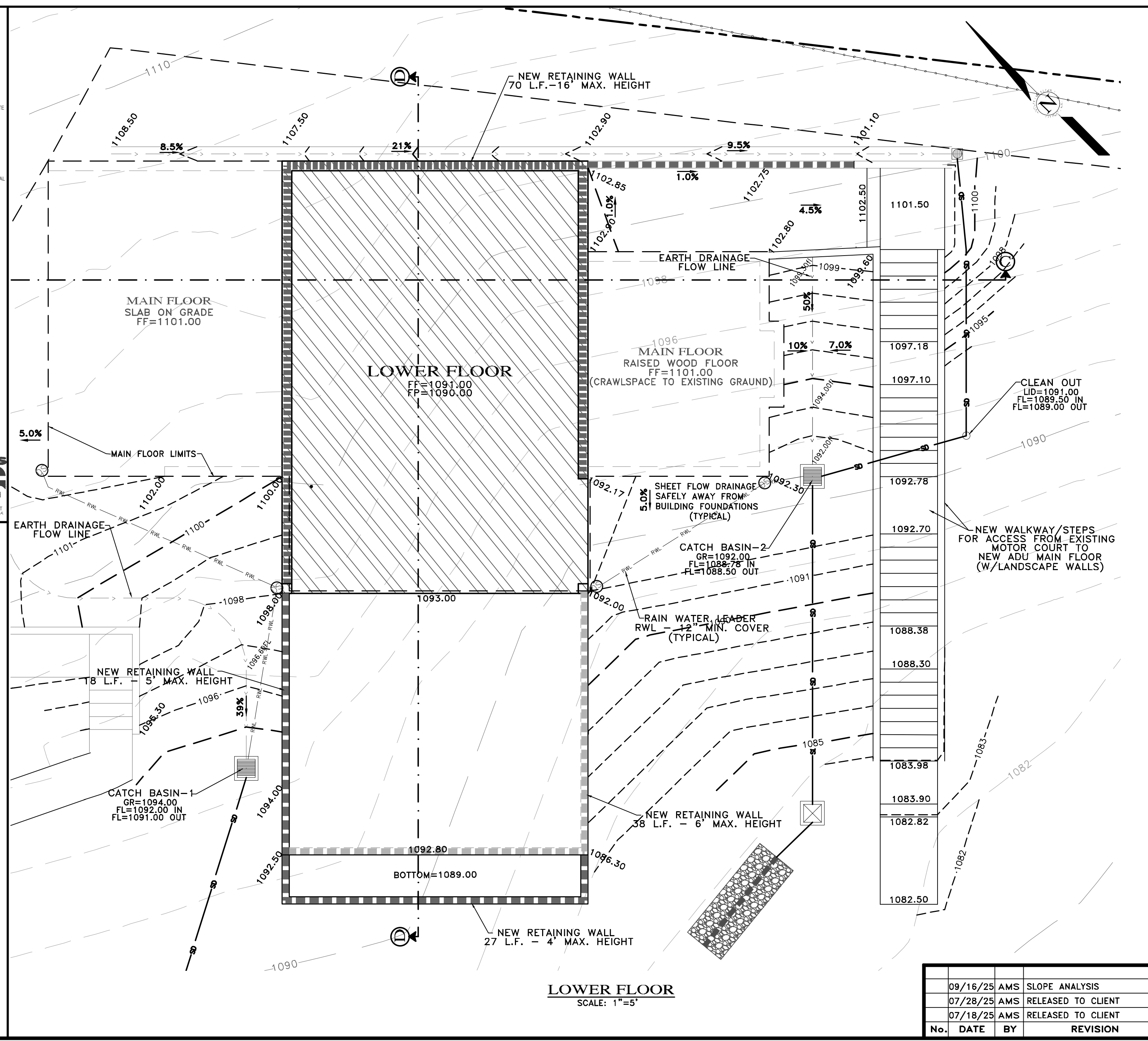
PROFILE

SECTION

STORMWATER DISPERSION TRENCH

STANDARD PLANS & CONSTRUCTION DETAILS
NO TO SCALE

ROO DOWNSPOUT CONNECTION



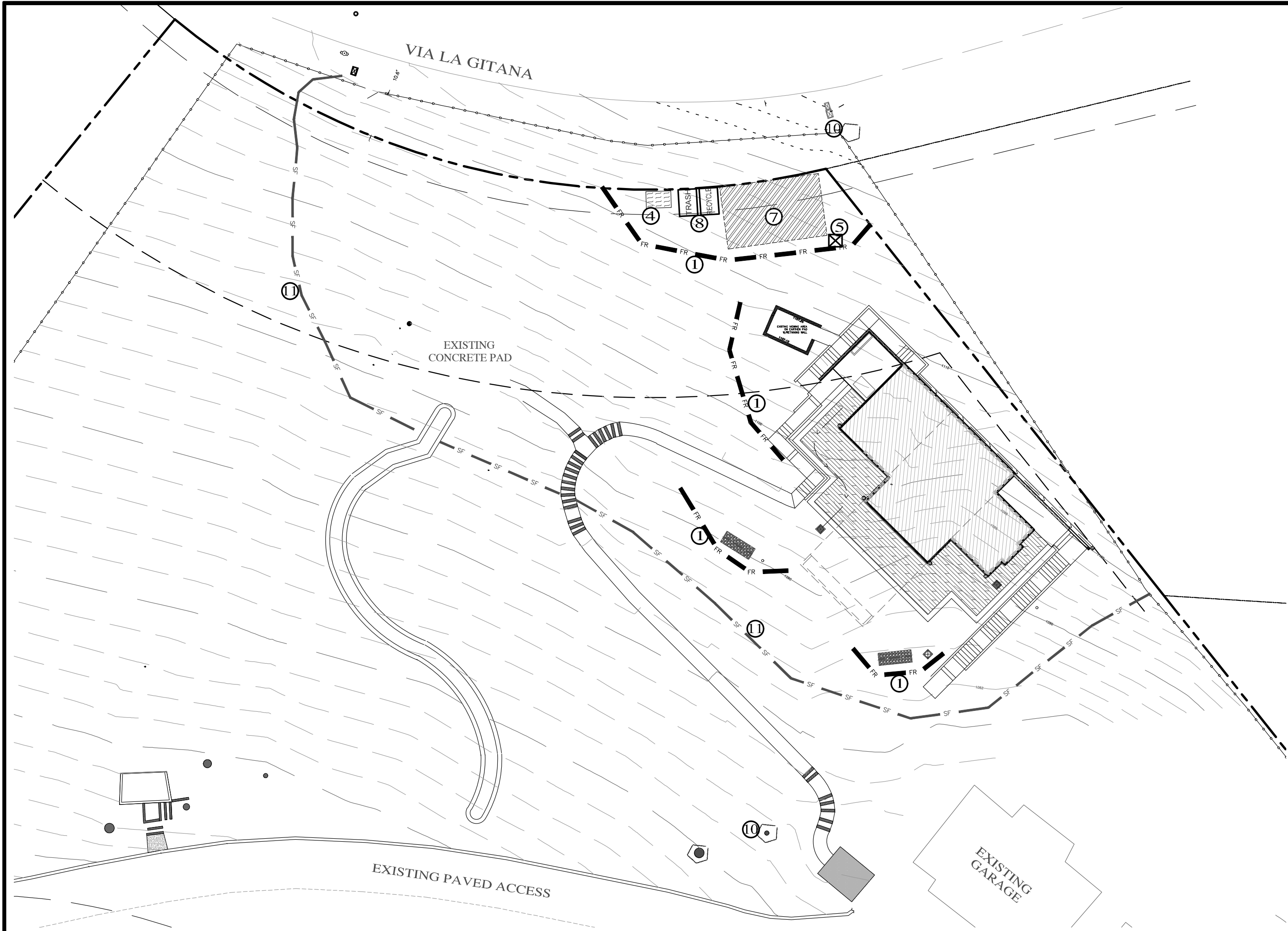
"GRADING & DRAINAGE PLAN - NEW A.D.U. LOWER FLOOR"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
BUCHANAN RESIDENCE NEW ADU
A.P.N.: 197-174-002
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR
MR. ELIOT BUCHANAN

SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2703-01

No.	DATE	BY	REVISION
09/16/25	AMS	SLOPE ANALYSIS	
07/28/25	AMS	RELEASED TO CLIENT	
07/18/25	AMS	RELEASED TO CLIENT	

SHEET C4
OF 6 SHEETS

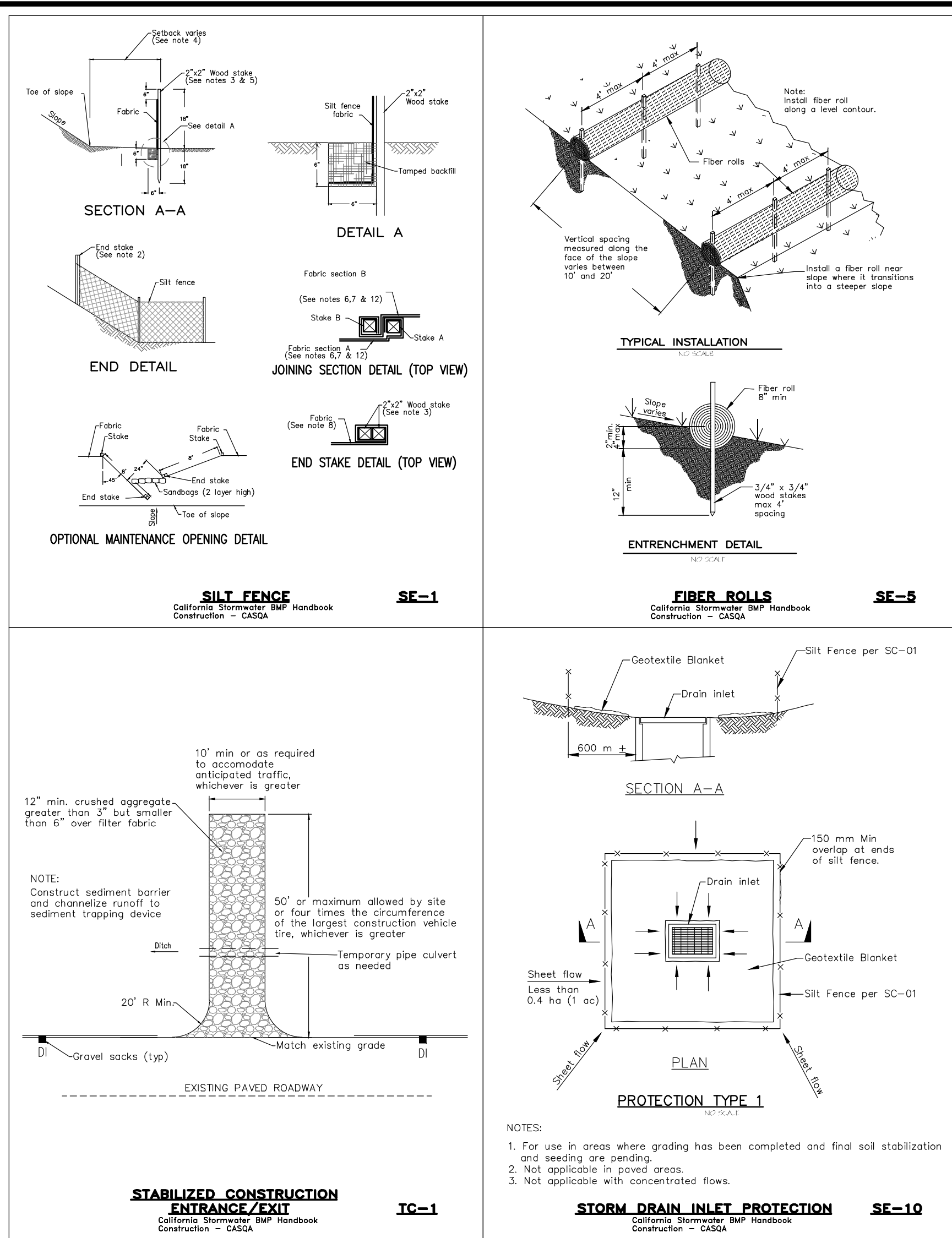


LEGEND:

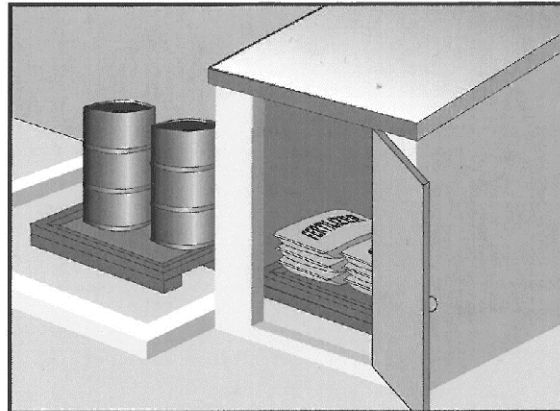
1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/4" CRUSHED ROCK, TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRMOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.



Material Delivery and Storage WM-1



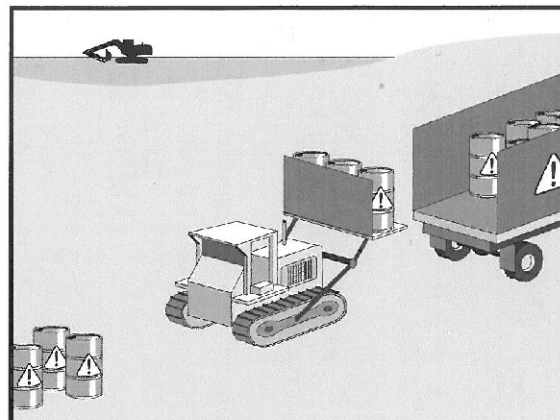
Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Category
☒	Secondary Category

Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Hazardous Waste Management WM-6

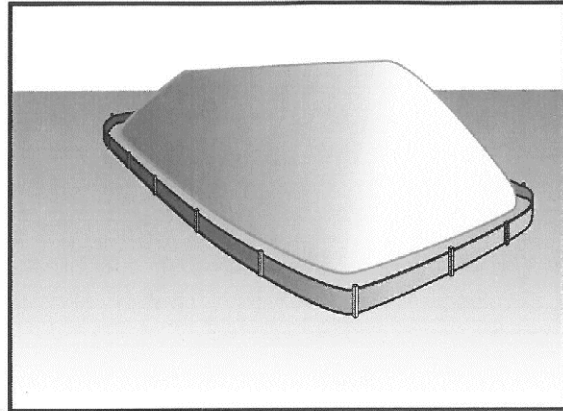


Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☒	Secondary Objective

Targeted Constituents	
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Stockpile Management WM-3

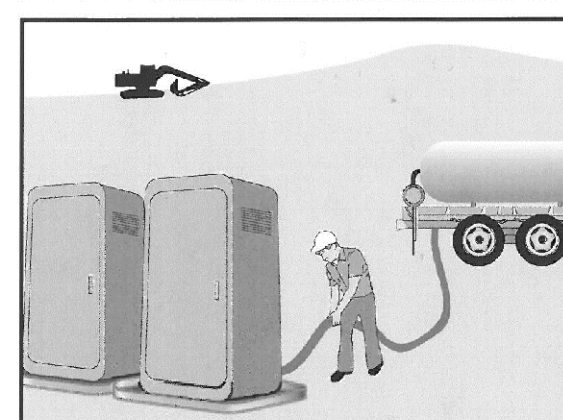


Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt miller (so called "cold mix" asphalt), and pressure treated wood.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Category
☒	Secondary Category

Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Sanitary/Septic Waste Management WM-9

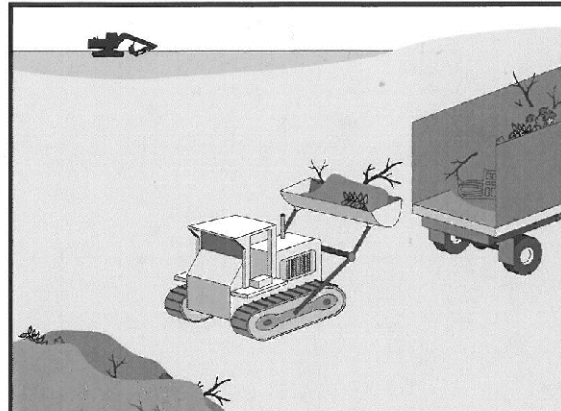


Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Category
☒	Secondary Category

Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Solid Waste Management WM-5

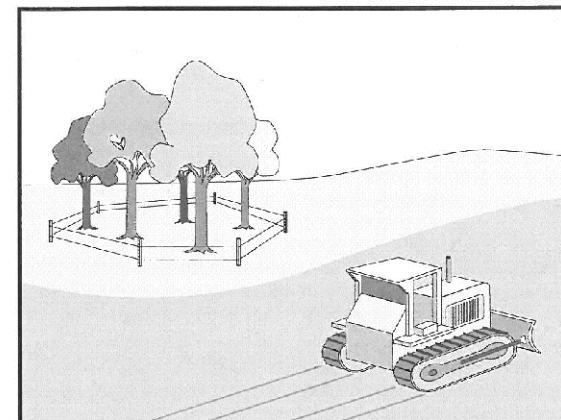


Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☒	Secondary Objective

Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☒	Secondary Objective

Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Bacteria	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

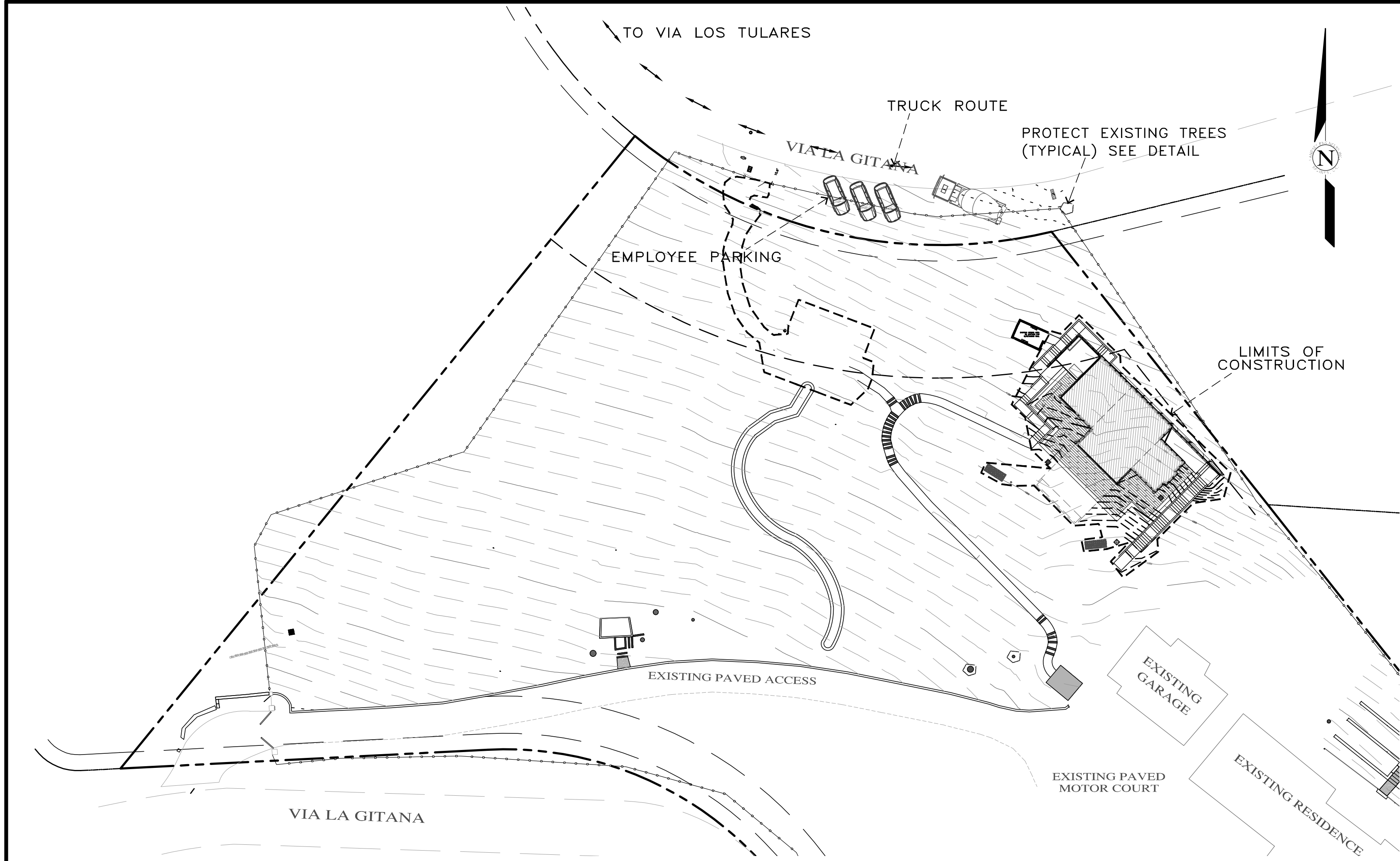
" EROSION & SEDIMENT CONTROL PLAN "

BUCHANAN RESIDENCE NEW ADU
A.P.N.: 197-174-002
CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA
FOR MR. ELLIOT BUCHANAN

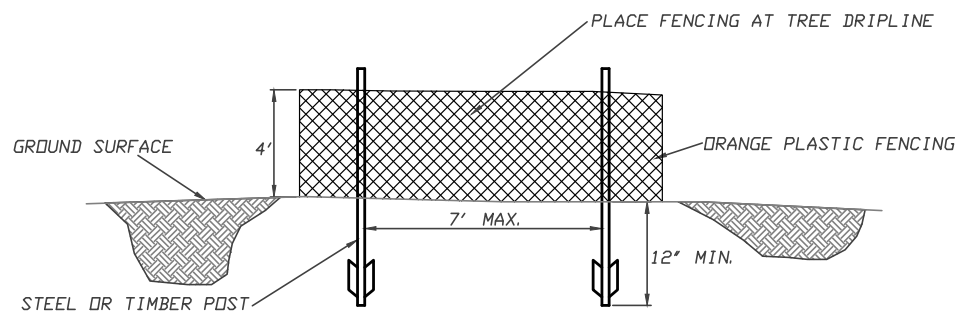
SCALE: AS SHOWN
DATE: JULY 2025
JOB NO. 2703-01

SHEET C5

OF 6 SHEETS



PLAN
SCALE: 1"=30'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
295 CY CUT
200 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY/MOTOR COURT TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY/MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW WALKWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON VIA LA GITANA AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARMEL VALLEY ROAD TO VIA LOS TULARES TO VIA LA GITANA. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON VIA LA GITANA. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN EXISTING ACCESS/MOTOR COURT AND IN LEGAL SPACES ALONG VIA LA GITANA, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

A CONSTRUCTION STAGING PLAN
SCALE: 1"=30'

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	5	2
GRADING & SOIL REMOVAL (EXPORT)	5	2
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	12	6

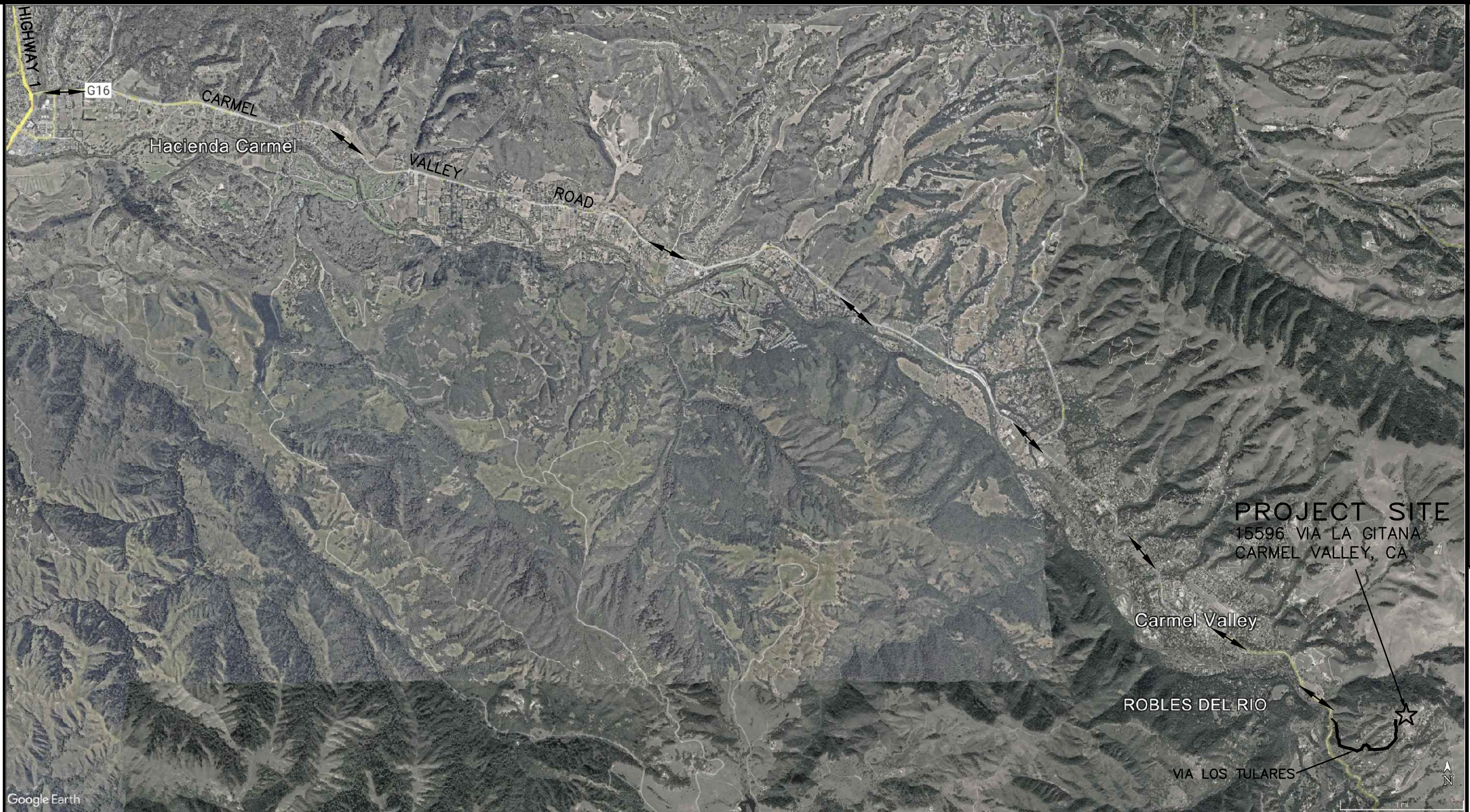
TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
- THERE ARE 95 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

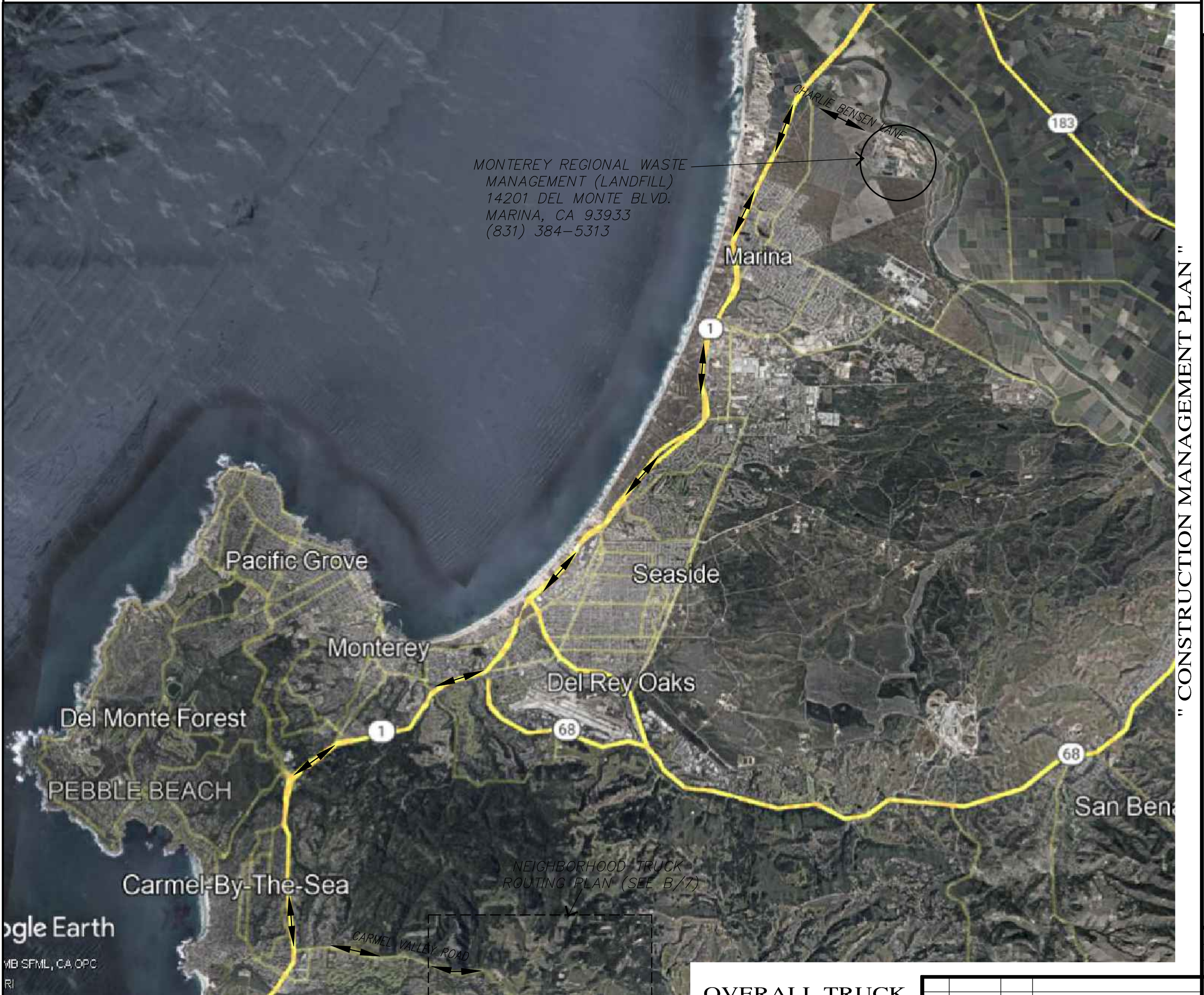
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 18 AUGUST 2025, 6 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



B NEIGHBORHOOD TRUCK ROUTING PLAN



OVERALL TRUCK ROUTING PLAN
NOT TO SCALE
C

No.	DATE	BY	REVISION
09/16/25	AMS		SLOPE ANALYSIS
07/28/25	AMS		RELEASED TO CLIENT
07/18/25	AMS		RELEASED TO CLIENT

CONSTRUCTION MANAGEMENT PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

BUCHANAN RESIDENCE NEW ADU

A.P.N.: 197-1174-002

CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA

MR. ELIOT BUCHANAN

SCALE: AS SHOWN

DATE: JULY 2025

JOB NO. 2703-01

SHEET C6

OF 6 SHEETS

APPROVED BY:

GUY R. GIRAUDO

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Salinas, California 93907

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www.landseteng.com

PROFESSIONAL ENGINEER

CIVIL

No. 54640

Exp. 08-30-27

STATE OF CALIFORNIA