## Exhibit A



### DRAFT RESOLUTION

## Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

**BUCHANAN (PLN240108)** 

**RESOLUTION NO. 25--**

Resolution by the County of Monterey Planning Commission:

- 1) Finding that the project qualifies for Class 1 and Class 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15301 and 15333, and that none of the exceptions pursuant to Guidelines section 15300.2 apply; and
- 2) Approving a Combined Development Permit consisting of:
  - a. After-the-fact Use Permit to allow development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and
  - b. Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484.

[PLN240108 BUCHANAN ELIOT L, 15596 VIA LA GITANA, CARMEL VALLEY, CARMEL VALLEY MASTER PLAN (APN: 197-174-002-000)]

The BUCHANAN ELIOT L application (PLN240108) came on for a public hearing before the County of Monterey Zoning Administrator on November 13, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Zoning Administrator finds and decides as follows:

### **FINDINGS**

1. **FINDING:** CONSISTENCY – The Project, as conditioned, is consistent with the

applicable plans and policies which designate this area as appropriate

for development.

**EVIDENCE:** a) During the course of review of this application, the project has been

reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;

- Carmel Valley Master Plan;
- Monterey County Zoning Ordinance (Title 21).

The property is not in compliance with County Code, however, issuance of this permit will partially abate the violation (see Finding No. 4). No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The subject property is developed with a 3,172 square foot existing single-family dwelling with a 336 square foot detached garage. There is an existing violation on the property for development on slopes in excess of 25%. The proposed project involves restoring approximately 3,545 square feet of impacted steeper slopes to their pre-violation state (slopes in excess of 25% and vegetated). The project also involves after-the-fact approval of approximately 3,053 square feet of grading on slopes in excess of 25% where an Accessory Dwelling Unit was constructed without ministerial permits. Although the grading work associated with the construction of the ADU required a Use Permit, the ADU (structure) did not require a discretionary permit and thus is not considered in this permit.
- c) Allowed Use. The property is located at 15596 Via la Gitana, Carmel Valley (Assessor's Parcel Number [APN]: 197-174-002-000), within the Carmel Valley Master Plan, in unincorporated Carmel. The parcel is zoned as Low Density Residential with Building Site-6, Design Control, Site Plan Review, and Residential Allocation Zoning District overlays [LDR/B-6-D-S-RAZ]. Title 21 section 21.84.130 requires restoration of land disturbing activities that occurred without necessary permits. A Use Permit is required to allow development on slopes in excess of 25% (see Finding 5 and supporting evidence). Therefore, the project is an allowed land use for this site.
- d) <u>Lot Legality.</u> The subject property is shown in its present size (2.52 acres) and configuration as Lot 63 within Tract No. 655 of the Los Tulares Subdivision, recorded on June 1971 (Volume 11, "Cities & Towns", page 32). Therefore, the County recognizes it as a legal lot of record.
- Development on slopes in excess of 25%. The proposed project includes after-the-fact approval of development (grading) on slopes in excess of 25%. This includes approximately 500 cubic yards of cut and fill or 3,053 square feet. Pursuant to General Plan OS-3.5, development on slopes in excess of 25% may be allowed pursuant to a Use Permit. Therefore, an after-the-fact Use Permit has been applied for to abate a portion of the property's violation. The project meets the required findings to allow development on slopes in excess of 25%, as demonstrated in Finding No. 5 and supporting evidence.
- f) Restoration. Restoration activities include removing all unpermitted development (pergola, patios, walkways, stairway, and retaining walls), restoring the hillside slope to its natural state, and revegetating the disturbed area with native material. A grading permit shall be obtained to ensure this work is completed in conformance with applicable grading and erosion control requirements of Title 16.

- removal; however, there are four trees identified as Coast live oak trees located within proximity of the proposed restoration. Therefore, the County's standard tree and root protection condition has been applied to the project, requiring the Applicant to install protective fencing around nearby trees not being removed during restoration activities.
- h) Cultural Resources. According to the County of Monterey Geographic Information System (GIS) records, the subject parcel has a moderate archaeological sensitivity, is not within 250 feet of a known archaeological resource, and is Categorically Exempt pursuant to CEQA Guidelines, see Finding No. 6 and supporting evidence. An archaeological assessment was prepared for the project, and it did not identify any evidence of significant archaeological resources. Pursuant. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition, which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- i) <u>Land Use Advisory Committee (LUAC) Review.</u> The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. The LUAC reviewed the project at a duly noticed public meeting on July 21, 2025 and voted 6-0 (with one absent) to support the project as proposed.
- j) The project planner conducted a site inspection on July 21, 2025 to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.
- **2. FINDING: SITE SUITABILITY** The site is physically suitable for the proposed development and/or use.
  - EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
    - b) Staff identified potential impacts to trees, cultural resources, and soils/grading. The following reports have been prepared:
      - "Arborist Report" (LIB250096) prepared by Michael Tope, Carmel, CA, August 21, 2024.
      - "Archaeological Report" (LIB240165) prepared by Archives & Archaeology, Salinas, CA, June 3, 2025.
      - "Geotechnical Report" (LIB240166) prepared by Butano Geotechnical Engineering, Inc., Watsonville, CA, May 28, 2025 County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints

- that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.
- c) Staff conducted a site inspection on July 21, 2025 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

### 3. FINDING:

**HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

### **EVIDENCE:**

- The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Potable water will continue to be provided by CalAm and managed through the Monterey Peninsula Water Management District. EHB has reviewed the application and confirmed that this service is suitable for the project development.
- c) A septic system and leach pits will serve the accessory dwelling unit. EHB has reviewed the preliminary onsite wastewater treatment system design and found it appropriate.
- d) Staff conducted a site inspection on July 21, 2025 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

### 4. FINDING:

**VIOLATION** – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. Approval of a restoration permit will abate the existing zoning violation.

### **EVIDENCE:**

- Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is aware of a violation on subject property for grading and the construction of construction of site improvements (pergola, patio, stairs, walkways) on slopes in excess of 25%. An Accessory Dwelling Unit was also constructed on slopes in excess of 25% without the necessary discretionary permits (grading on slopes) and ministerial permits (construction).
- b) A Restoration Plan was submitted with the project plan set to restore approximately 3,545 square feet of disturbed areas back to their pre-existing conditions. Steep slopes will be properly benched for slope stability and backfilled to match the existing topography; all decorative improvements, including pergolas, curbing, walkways, stairs, and

- patios, will be removed. Erosion control measures shall be implemented, and disturbed areas shall be reseeded with native seed mix to help reduce future erosion.
- c) Approval of this after-the-fact Use Permit will abate the portion of the violation related to the development on slopes in excess of 25% where the ADU was constructed.
- d) The violation (Code Enforcement No. 20CE00484) will be abated upon completion of the restoration work and final inspection of the ADU. Ministerial permits are required.
- e) Staff conducted a site inspection on July 21, 2025 and researched County records to assess the violations on the subject property and how proposed activities would address them.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.

### 5. FINDING:

### **DEVELOPMENT ON SLOPES IN EXCESS OF 25% - The**

Proposed Project is located in the most feasible location, minimizes development on slopes in excess of 25 percent, and better measures the resource protection goals and policies of the 2010 General Plan and Carmel Valley Master Plan (CVMP).

**EVIDENCE:** 

- The project consists of grading approximately 375 cubic yards of cut and fill to accommodate the construction of an ADU. The 2.52-acre parcel is heavily sloped, with the majority of the existing development located within the flattest portions of the property. The project includes after-the-fact approval to allow 3,053 square feet of grading on slopes in excess of 25%. This area is occupied by an Accessory Dwelling Unit. Pursuant to General Plan Policy OS-3.5, a Use Permit is required. In this case, the criteria to grant said permit have been met.
- b) In this case, there is no alternative location or design that would allow development of an ADU on a less steep slope. The ADU was sited northwest of the existing main dwelling and garage. Shifting the ADU west or southeast would impact slopes in excess of 25%. Shifting the ADU south would likely impact Coast live oak trees. The proposed development on slopes better protects forest resources by minimizing tree removal. The CVMP Policy CV-3.11 discourages the removal of healthy trees. Avoiding impacts to native trees complies with CV-3.11. Further, the ADU's two-story design minimizes the amount of grading on slopes in excess of 25% by reducing the footprint of the structure. Therefore, the proposed development better achieves the goals, policies, and objectives of the County of Monterey General Plan and the Carmel Valley Master Plan.
- c) As proposed, the project also involves restoring 3,455 square feet of development that occurred on slopes in excess of 25. Restoring this hillside complies with Carmel Valley Master Plan Policy CV-3.4, which requires that hillsides and landforms not be significantly altered.
- d) The application, plans, and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240108.

6. FINDING: CEQA (Exempt) – The project is categorically exempt from environmental review and no unusual circumstances were identified to

exist for the proposed project.

**EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15301 categorically exempts existing facilities and Section 15333 exempts small restoration projects.

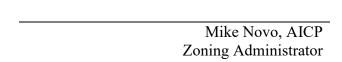
- b) The proposed project involves after-the-fact approval of existing facilities (ADU and grading) and restoration of less than 5 acres (3,455 square feet). Therefore, the project qualifies for Class 1 and Class 33 categorical exemptions.
- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact within any prior successive projects of the same type in the same place over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The proposed project will not be visible from any scenic corridor. No known historical resources exist on the property.
- d) No adverse environmental effects were identified during staff review of the development application during a site visit on July 21, 2025.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN240108.
- **7. FINDING: APPEALABILITY** The decision on this project may be appealed to the Board of Supervisors.
  - **EVIDENCE:** a) Pursuant to Title 21 section 21.80.040.B, the project is subject to appeal to the Planning Commission because it requires the Zoning Administrator to make a discretionary decision.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Find that the project qualifies for Class 1 and Class 33 Categorical Exemptions pursuant to CEQA Guidelines sections 15301 and 15333, and that none of the exceptions pursuant to Guidelines section 15300.2 apply; and
- 2) Approve a Combined Development Permit consisting of:
  - a. After-the-fact Use Permit to allow development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and
  - b. Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.



COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### **NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

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### **County of Monterey HCD Planning**

# DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240108

#### 1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

This Combined Development Permit consisting of After-the-fact Use Permit allows development on slopes in excess of 25% to accommodate the construction of an Accessory Dwelling Unit; and a Restoration Permit to restore approximately 3,545 square feet of slopes in excess of 25% to partially clear Code Enforcement No. 20CE00484. The property is located at 15596 Via La Gitana, Carmel Valley (Assessor's Parcel Number 197-174-002-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

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### 2. PD002 - NOTICE PERMIT APPROVAL

#### Responsible Department:

Planning

### Condition/Mitigation Monitoring Measure:

The applicant shall record a Permit Approval Notice. This notice shall state:

"A Combined Development Permit (Resolution Number \_\_\_\_\_\_) was approved by County of Monterey Zoning Administrator for Assessor's Parcel Number 197-174-002-000 on November 13, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

#### Responsible Department:

Planning

### Condition/Mitigation Monitoring Measure:

construction, cultural, during course of archaeological, paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a archaeologist registered qualified archaeologist (i.e., an with the Register Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

### Compliance or Monitoring Action to be Performed:

The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

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### 4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Prior to issuance of building permits, applicant shall pay the Regional Development Monitoring Measure: Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall

be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed:

Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit

proof of payment to the HCD-Engineering Services.

#### 5. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure:

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

### 6. PW0006 - CARMEL VALLEY

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure:

The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)

Compliance or Monitoring Action to be Performed:

Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

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# GRADING, DRAINAGE & EROSION CONTROL PLAN

# BUCHANAN RESIDENCE - NEW A.D.U. & RESTORATION PLAN - PLN 240108

APN: 197-174-002

CARMEL VALLEY, MONTEREY COUNTY, CALIFORNIA



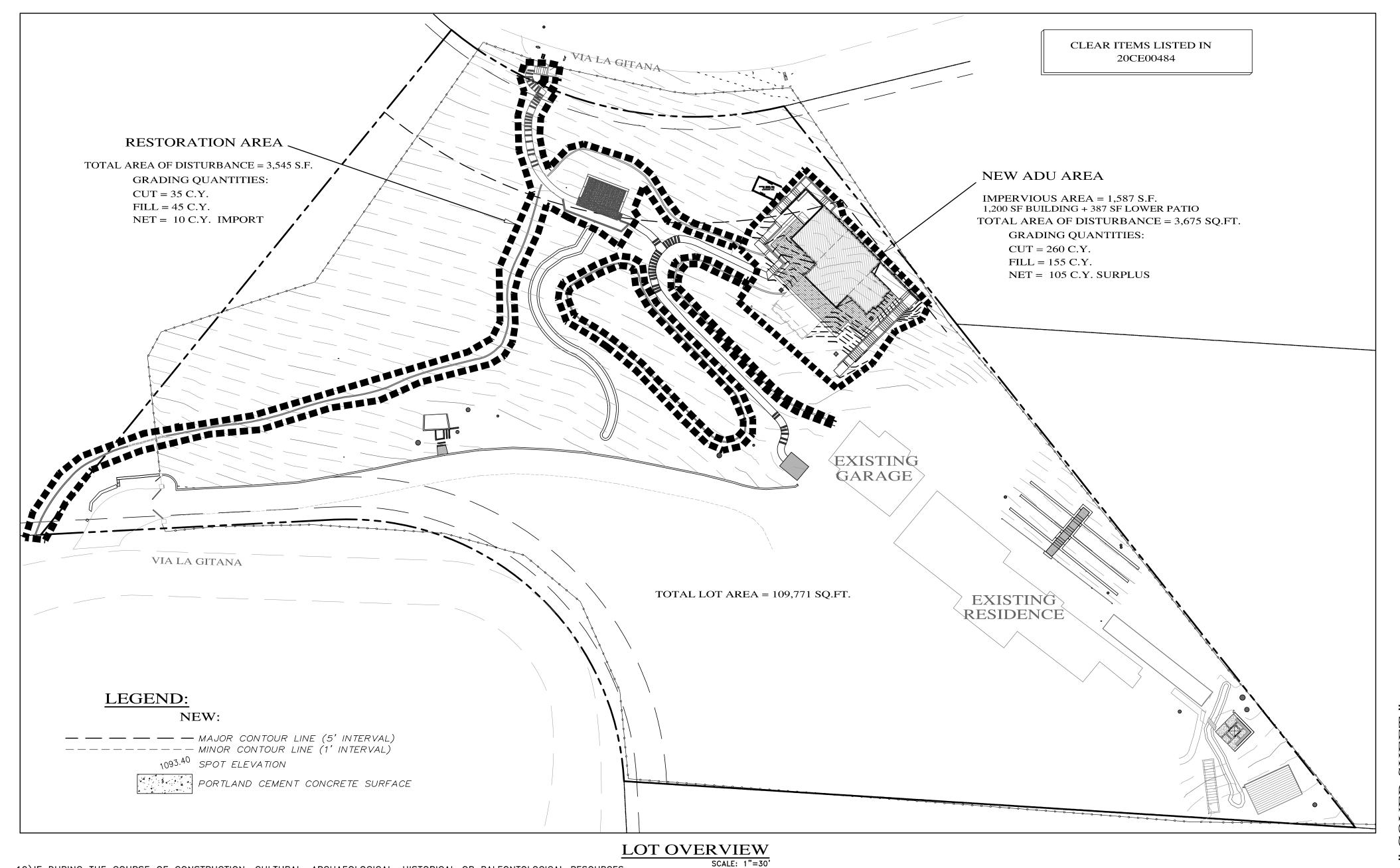
VICINITY MAP

### **GENERAL NOTES:**

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE TOPOGRAPHIC SITE SURVEY FOR THE BUCHANAN RESIDENCE PREPARED BY SCOTT HAWTHORNE, DATED 09/21/23.
- RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THROUGHLY COMPILED AND DEEMED
- 4) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

## GRADING & DRAINAGE NOTES:

- 1) ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST CALIFORNIA BUILDING CODE
- 2) SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- 3) NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- 4) THERE ARE APPROXIMATELY 260 C.Y. OF CUT AND 155 C.Y. OF FILL WITH A SURPLUS OF 105 C.Y. (RESTORATION QUANTITIES NOT INCLUDED). EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- 5) EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL.
- 6) ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION
- 7) PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- 8) DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- 9) A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- 10) THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- 11) STORM WATER (SURFACE RUNOFF) SHALL BE KEPT ON THE SAME WAY, SHEET FLOW DRAINING TO EXISTING PERVIOUS AREAS AND/OR NEW LANDSCAPE AREAS AS SHOWN ON THE SITE DRAINAGE PLAN.
- 12) SUBSURFACE DRAINAGE FOR RETAINING WALLS IF REQUIRED WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A
- 13) THE STORM DRAIN FACILITIES IF NEEDED SHALL BE CHRISTY PRODUCTS OR APPROVED EQUAL. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- 14) ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- 15) UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- 16) ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- 17) NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF HCD — BUILDING SERVICES.
- 18) SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.



19) IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

### NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINÉER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION. GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed
Site stripping and clearing	Soils Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soils Engineer	Throughout grading operations		
Foundation Excavations	Soils Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soils Engineer	Prior to trench backfill		
Utility trench compaction	Soils Engineer	During backfill operations		
Retaining wall backfill compaction	Soils Engineer	During backfill operations		
Baserock subgrade compaction	Soils Engineer	Prior to pavement installation		

## **INDEX TO SHEETS**

SHEET C1	COVER SHEET
SHEET C2	RESTORATION PLAN - OVERALL

SHEET C3 GRADING & DRAINAGE & UTILITY PLAN - NEW A.D.U. MAIN FLOOR

GRADING & DRAINAGE PLAN - NEW A.D.U. LOWER FLOOR

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION MANAGEMENT PLAN

## **ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BLDG	BUILDING
BRDY	BOUNDARY
BOT	BOTTOM
CB	CATCH BASIN
CL C/L Q	CENTERLINE
CO	CLEAN OUT
DI	DRAIN INLET
DW	DRIVEWAY
ELEV EL	ELEVATION
EP	EDGE OF PAVEMENT
EX (E)	EXISTING
FC	FACE OF CURB
FĎ	FACE OF DIKE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT

FC F/C FACE OF CURB

R/W RIGHT OF WAY

## ELATIVE COMPACTION INFORCED CONCRETE PIPE ANITARY SEWER ANITARY SEWER LATERA ANITARY SEWER MANHOLE P OF WALL PICAL TILITY POLE WATER SERVICE

## **CONTACT INFORMATION:** 15596 VIA LA GITANA CARMEL VALLEY, CA 93924 SECONDARY: DESIGNER LEWIS BUILDERS ATTN: MR. JAY AUBURN

CARMEL, CA 93923 PH (831)250-7168 SITE LOCATION:

3706 THE BARNYARD SUITE G11

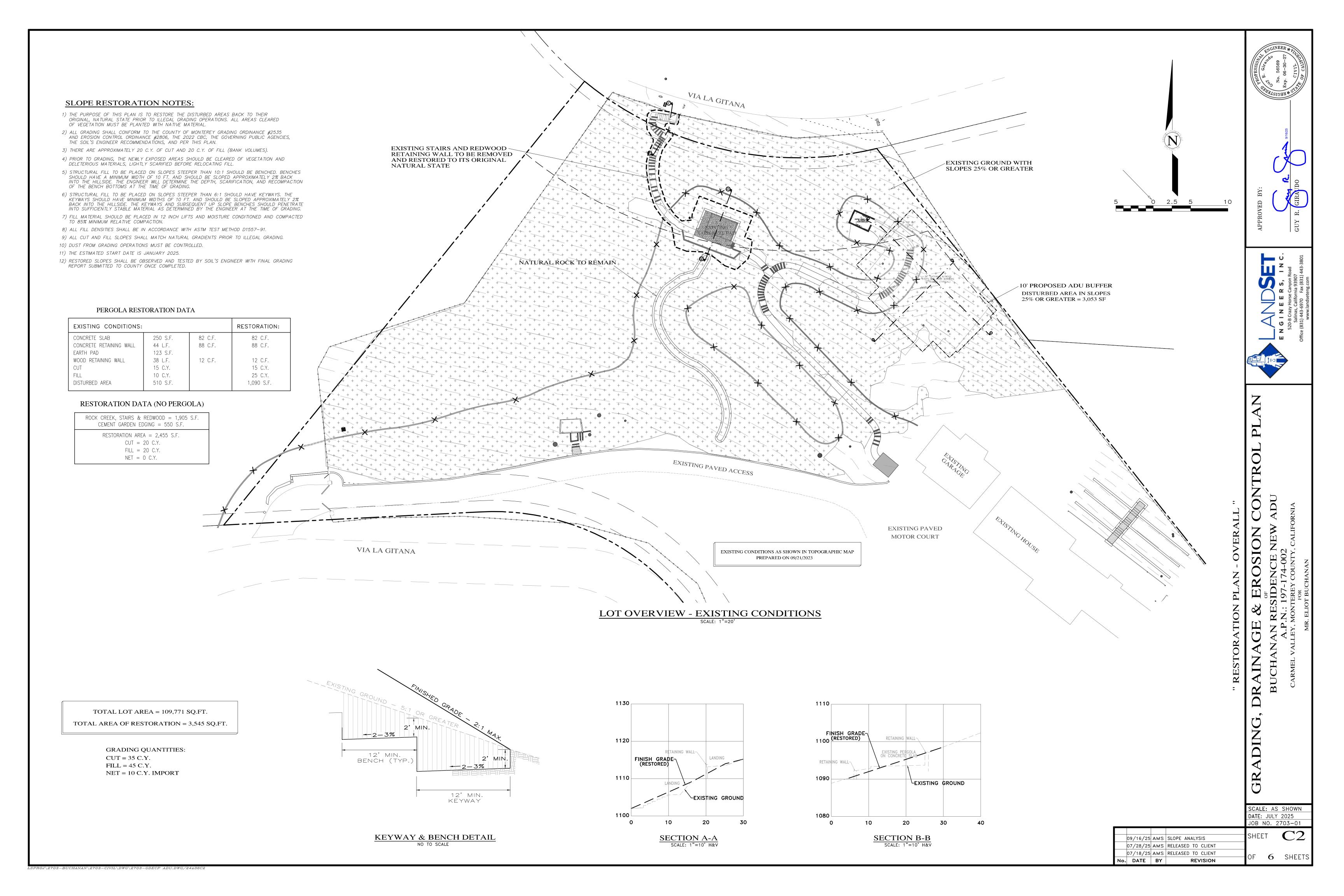
15596 VIA LA GITANA CARMEL VALLEY, CA 93924

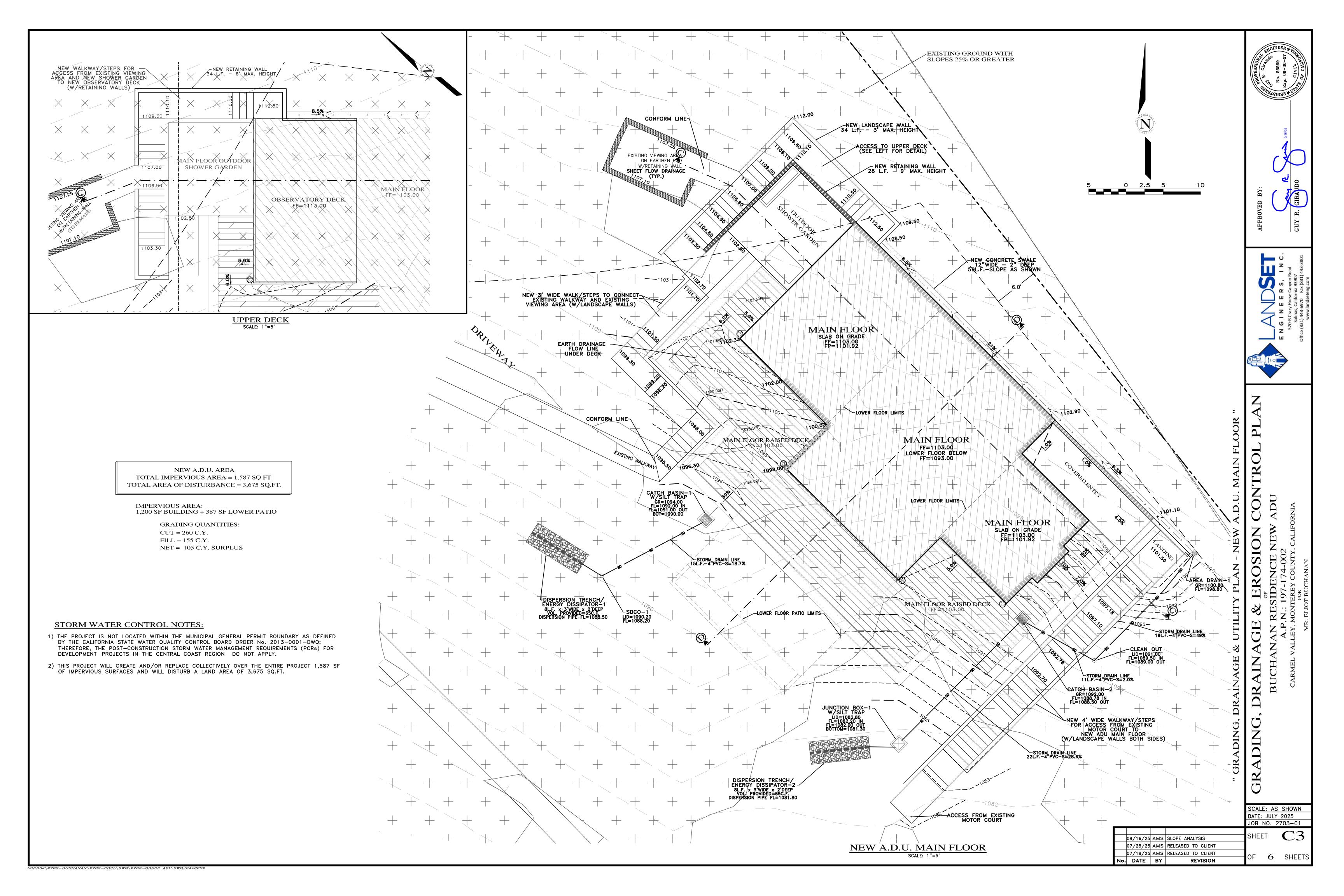
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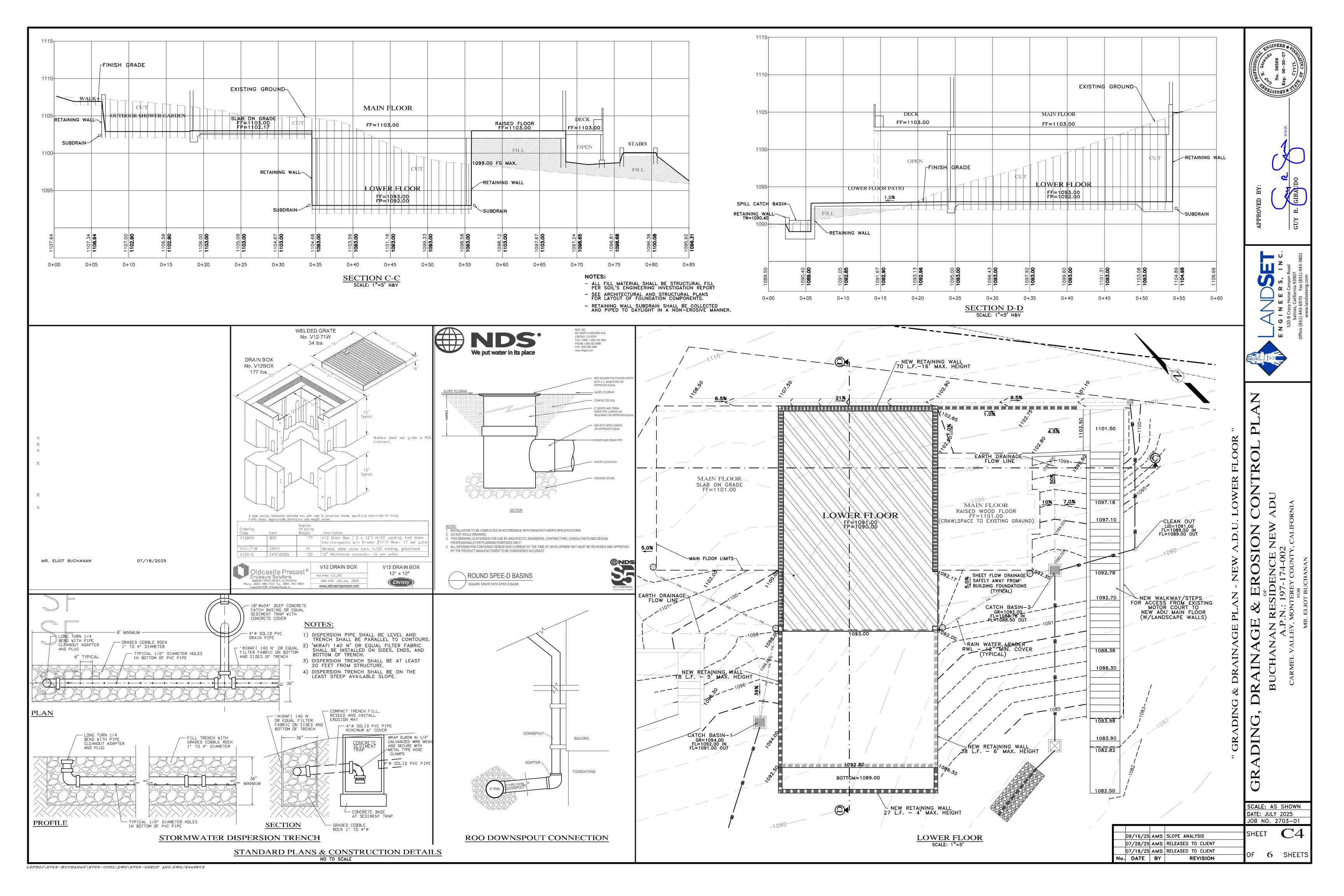
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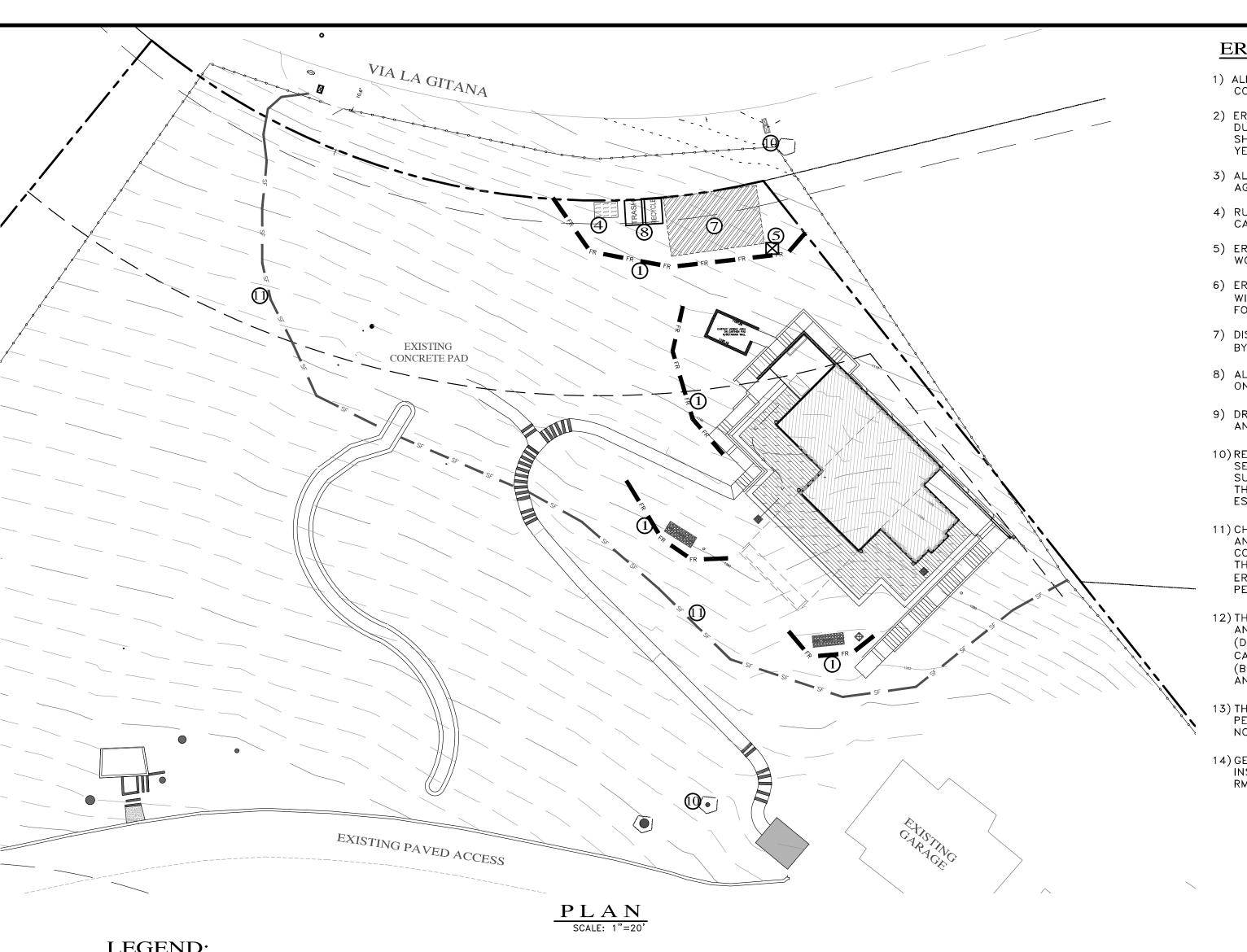
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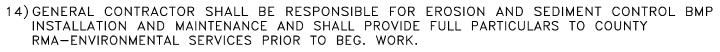


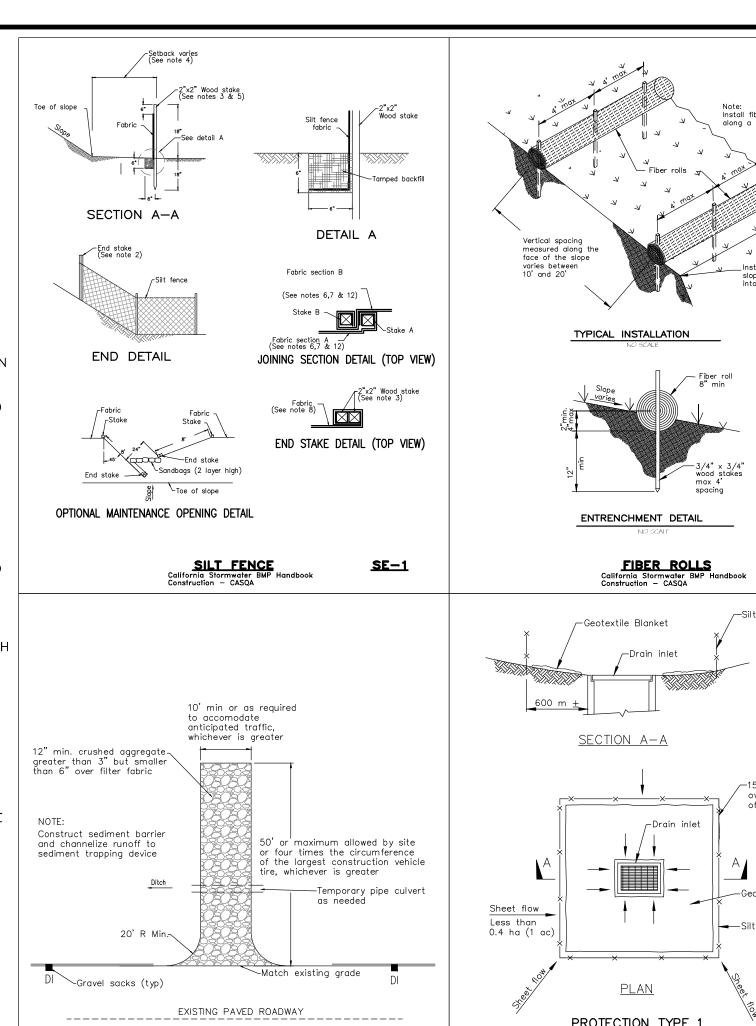




### **EROSION & SEDIMENT CONTROL NOTES:**

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS. SILT FENCES. FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE ÀND A MIXTURE OF LOCALLY NATIVE WILDFLOWÈRS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.





←150 mm Min overlap at ends Silt Fence per SC−01 PROTECTION TYPE 1. For use in areas where grading has been completed and final soil stabilization and seeding are pending. Not applicable in paved areas. Not applicable with concentrated flows. STORM DRAIN INLET PROTECTION <u>SE-10</u>

<u>SE-5</u>

## **LEGEND:**

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED



STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM

DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH

75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP,



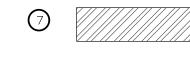
AND THEN DISPOSED OF PROPERLY. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINÉD ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED



STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED

WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM..

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR



CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED

IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD.

DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY.

MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK.

TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH.



HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A

INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO

AND WASTES LEGALLY DISPOSED OF OFF-SITE

BE A LICENSED AND CERTIFIED ARBORIST. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

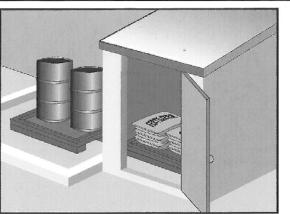
## TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity		X
2. Verify excavations are extended to proper depth and have reached proper material		X
3. Perform classification and testing of compacted fill materials		Х
4. Verify use of proper materials, densities and lift sicknesses during placement and compaction of compacted fill.	Х	
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.		Х

## CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP's INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO I UNUCED MEELED MANG DEEN DEMUNED

## **Material Delivery and Storage**



**Description and Purpose** Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training

employees and subcontractors. This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this

Oil and Grease

WM-1

Erosion Control

SE Sediment Control

TC Tracking Control

WE Wind Erosion Control

Non-Stormwater

Primary Category

Secondary Category

**Targeted Constituents** 

Management Control

Waste Management and

Materials Pollution Control

**Potential Alternatives** 

EC Erosion Control

SE Sediment Control

C Tracking Control

WE Wind Erosion Control

Non-Stormwater

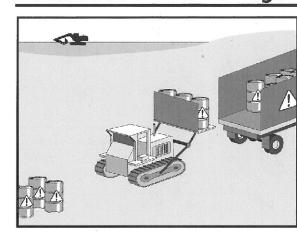
Management Control

Waste Management and

Secondary Objective

Trash

### Hazardous Waste Management WM-6

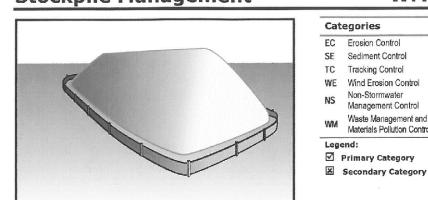


Description and Purpose Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Targeted Constituents Trash Bacteria Oil and Grease Organics

Potential Alternatives

## Stockpile Management



**Description and Purpose** Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt minder (so called "cold mix" asphalt), and pressure treated wood.

**Potential Alternatives** 

Oil and Grease

STABILIZED CONSTRUCTION

Non-Stormwater

Management Control

Waste Management and

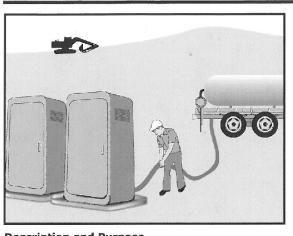
Materials Pollution Control

**Targeted Constituents** 

WM-3

<u>ENTRANCE/EXIT</u>

## Sanitary/Septic Waste Management WM-9



**Description and Purpose** Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

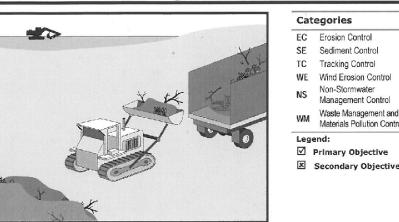
Categories EC Erosion Control SE Sediment Control TC Tracking Control WE Wind Erosion Control Non-Stormwater Management Control Waste Management and Materials Pollution Control ☑ Primary Category ▼ Secondary Category

Targeted Constituents Nutrients Bacteria Oil and Grease

Organics

Potential Alternatives

## **Solid Waste Management**



Description and Purpose Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Targeted Constituent: Nutrients Bacteria Oil and Grease

Tracking Control

Non-Stormwater

Management Control

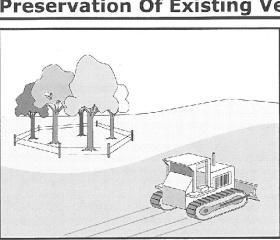
Waste Management and

Materials Pollution Control

**WM-5** 

**Potential Alternatives** 

## **Preservation Of Existing Vegetation EC-2**



**Description and Purpose** Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

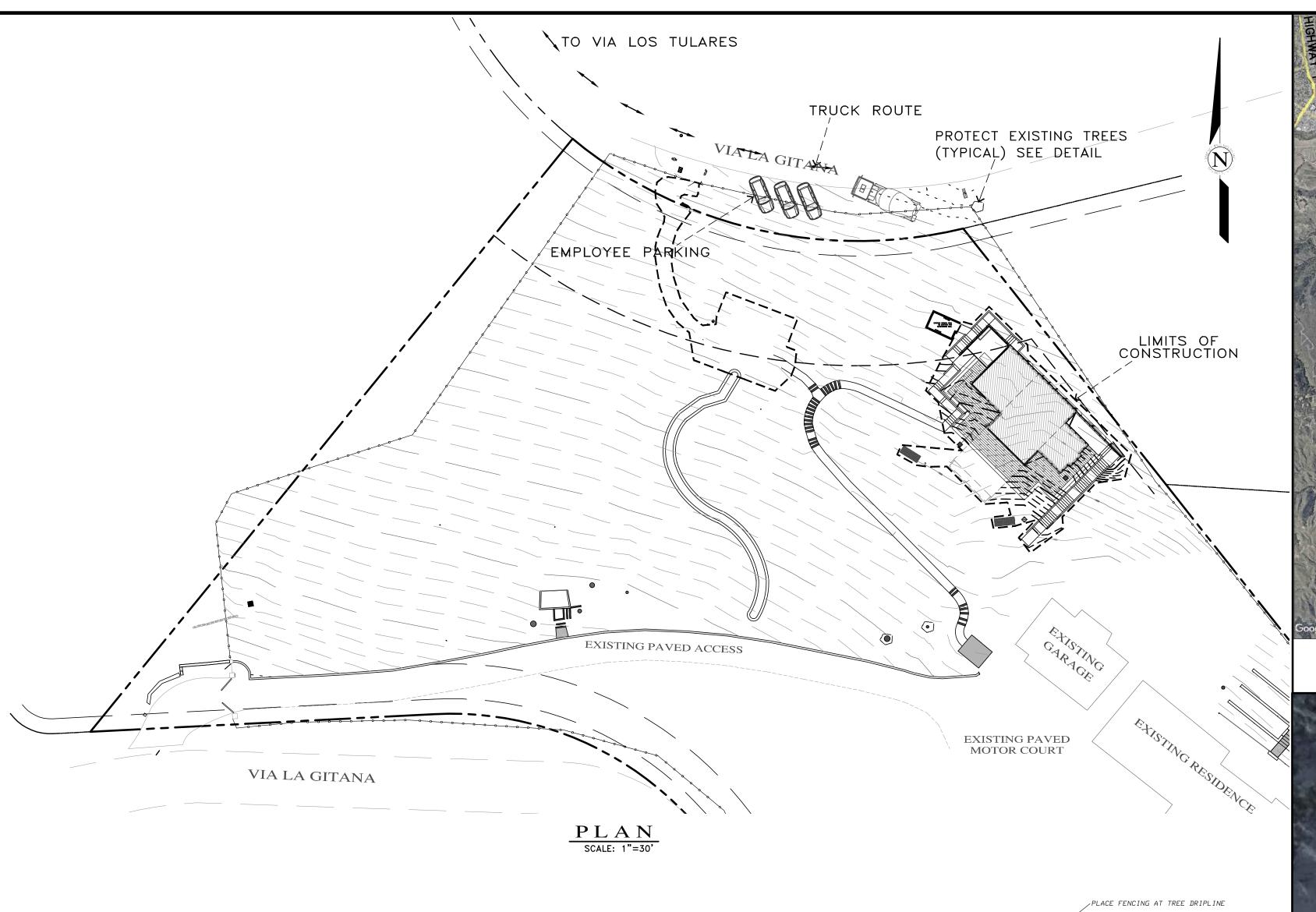
EC Erosion Control SE Sediment Control TC Tracking Control WE Wind Erosion Control Non-Stormwater Management Control Waste Management and Materials Pollution Control ☑ Primary Objective ■ Secondary Objective

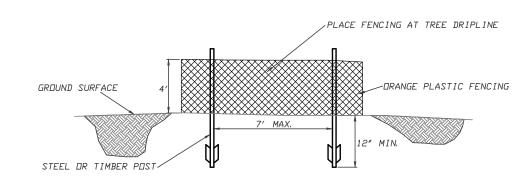
**Targeted Constituents** Nutrients Trash Bacteria Oil and Grease

SCALE: AS SHOWN DATE: JULY 2025 OB NO. 2703-01

09/16/25 AMS SLOPE ANALYSIS 07/28/25 AMS RELEASED TO CLIENT 07/18/25 AMS RELEASED TO CLIENT No. DATE BY REVISION

6 SHEETS





FENCING (ESA) DETAIL

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.: 295 CY CUT

200 CY FILL

DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY/MOTOR COURT TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES: EXISTING DRIVEWAY/MOTOR COURT AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW WALKWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON VIA LA GITANA AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARMEL VALLEY ROAD TO VIA LOS TULARES TO VIA LA GITANA. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON VIA LA GITANA. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN EXISTING ACCESS/MOTOR COURT AND IN LEGAL  ${\tt SPACES\ ALONG\ VIA\ LA\ GITANA,\ OBEYING\ ALL\ PARKING\ LAWS.\ \ PARKING\ IS\ PROHIBITED\ IN\ ALL\ NATURAL}$ AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

<u>LIMITS OF CONSTRUCTION</u>: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

## TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	5	2
GRADING & SOIL REMOVAL (EXPORT)	5	2
ENGINEERING MATERIALS (IMPORT)	2	2
TOTALS	12	6

## TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.

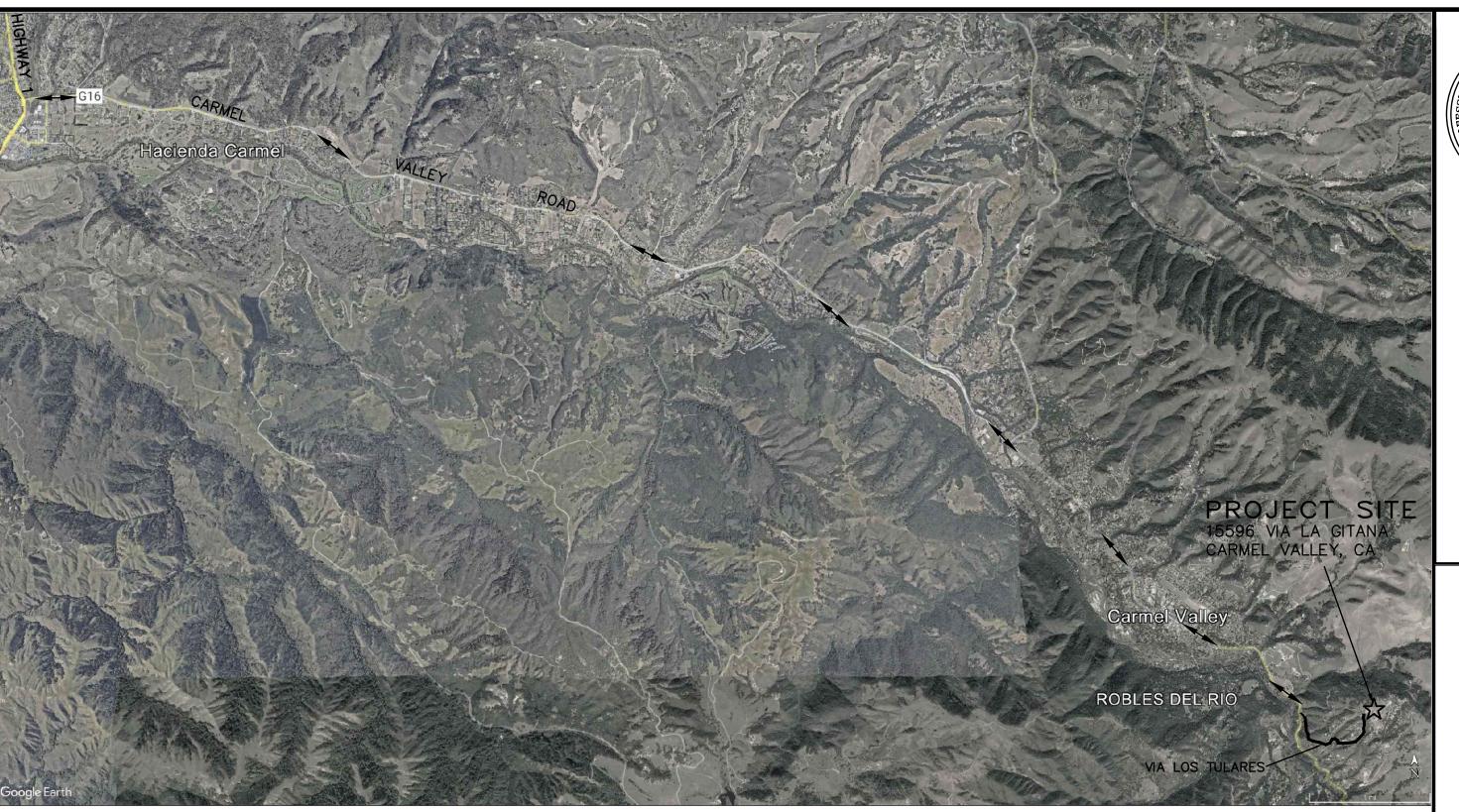
2. THERE ARE 95 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE. 3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 6 WORKING DAYS TO COMPLETE.

4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

## HOURS OF OPERATION/DAY: 8

NUMBER OF EMPLOYEES/DAY: 6-10

PROJECT SCHEDULING: PROJECTED START DATE 18 AUGUST 2025, 6 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.





SCALE: AS SHOWN

JOB NO. 2703-01

OF 6 SHEETS

**C**6

DATE: JULY 2025

07/28/25 AMS RELEASED TO CLIENT 07/18/25 AMS RELEASED TO CLIENT

No. DATE BY



**ROUTING PLAN** 

