

# Exhibit A

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## **DRAFT RESOLUTION**

### **Before the Planning Commission in and for the County of Monterey, State of California**

In the matter of the application of:

**WILLIAMS JASON & PAMELA FERNANDES TRS (PLN260014)**

#### **RESOLUTION NO. 26 -**

Resolution by the County of Monterey Planning  
Commission:

- 1) Finding that the project qualifies for a Class 4  
Categorical Exemption pursuant to CEQA Guidelines  
section 15304 and that none of the exceptions apply  
pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit  
consisting of:
  - a. Design Approval to allow construction of 215  
linear feet of retaining walls;
  - b. Use Permit to allow development on slopes  
exceeding 25 percent; and
  - c. Use Permit to allow the removal of 11  
protected trees.

PLN260014, Jason Williams and Pamela Fernandez, 51  
Marguerite, Carmel, Carmel Valley Master Plan,  
(Assessor's Parcel Number 169-421-022-000).

**The WILLIAMS JASON & PAMELA FERNANDES TRS application (PLN260014) came on for public hearing before the County of Monterey Planning Commission on August 12, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

### **FINDINGS AND EVIDENCE**

1. **FINDING:** **CONSISTENCY** – The project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:**
  - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in the:
    - 2010 Monterey County General Plan (General Plan);
    - Carmel Valley Master Plan (CVMP); and
    - Monterey County Zoning Ordinance (Title 21)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - b) The property is located at 51 Marguerite, Carmel (Assessor's Parcel Number 169-421-022-000), Carmel Valley Master Plan. The parcel is zoned Rural Density Residential, 10 acres per unit, with Design Control, Site Plan Review and Residential Allocation Zoning overlays [RDR/10-D-S-RAZ]. The proposed project includes the construction of 215 linear

feet of site retaining walls ranging in height from 2 to 9.5 feet and driveway access to a future single-family dwelling. The construction of access improvements for a future single-family dwelling is allowed, subject to the granting of a Design Approval. However, the proposed retaining walls and access road improvements will occur on slopes in excess of 25% and require the removal of native trees, which requires the granting of a Use Permit in each case. Therefore, as proposed, the project involves a permitted use for this site. This Permit does not authorize or consider the construction of a single-family dwelling or any other structure, besides retaining walls.

- c) Lot Legality. The subject parcel (15.5 acres) is identified as Lot 51, as shown on the Map of Tract No. 1398, Tehama Phase 1, filed for record on September 9, 2003 in Volume 22, maps of “Cities and Towns”, at Page 35, in the Office of the County Recorder of the County of Monterey, and Amended by Certificate of Correction Recorded April 29, 2010, in Document No. 2010024025, of official records.
- d) Tree Removal. The proposed project includes the removal of 11 protected Coast live oak trees and five non-protected Monterey Pine trees, for a total of 16 trees. Pursuant to Title 21 section 21.64.260.D.3, the removal of native trees requires a discretionary permit. Therefore, the removal of 11 native trees is subject to the granting of a Use Permit. The project meets the required findings to allow the removal of trees as demonstrated in Finding No. 4 and supporting evidence.
- e) Development on Slopes. The subject project is located on a vacant lot with slopes in excess of 25%. Given the steep terrain adjacent to the previously graded driveway, there is no feasible alternative that would allow road improvements for the development of the first single-family dwelling to occur on slopes less than 25%, while also meeting fire code and drainage requirements. See Finding No. 5 and supporting evidence below.
- f) Carmel Valley Land Use Advisory Committee (LUAC) Review. Based on the LUAC procedure guidelines adopted by the County of Monterey Board of Supervisors Resolution No. 15-103, the project was referred to the Carmel Valley LUAC for review on June 15, 2026. At the meeting, no questions or concerns were raised regarding the driveway improvements on slopes in excess of 25% or the proposed tree removal. The LUAC unanimously recommended approval of the project as proposed by a vote of 5-0, with three members absent.
- g) Design and Visual Resources. Pursuant to Chapter 21.44 of Title 21, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The project proposes site retaining walls which consist of gray concrete VERSA-LOK blocks. The color and material of the wall are designed to stabilize the soil while blending with the grayish tan bark of the surrounding oak and pine trees. The driveway is naturally screened by trees and cannot be seen by neighboring parcels or from public viewing areas. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- h) Site Plan Review Overlay. Pursuant to Chapter 21.45 of Title 21, the project site and surrounding area are designated as a Site Plan Review District (“S” zoning overlay), which regulates the review of development in those areas of the County of Monterey where development, by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. Proposed development within the “S” zoning overlay may be allowed, subject to the granting of an Administrative Permit. The project proposes a small accessory structure (retaining wall) for necessary safety improvements to the existing driveway. Pursuant to Title 21 section 21.45.040.C, the Director of Planning, or the Zoning Administrator, may approve, without benefit of an Administrative Permit, small development projects such as accessory structures. Therefore, an Administrative Permit is not required. However, the potential to adversely affect natural resources such as tree removal and development on slopes is addressed and mitigated through the granting of a Use Permit. See Findings Nos. 4 and 5 with supporting evidence.
- i) Staff conducted a site inspection on May 27, 2026, to verify that the proposed project would be consistent with the plans and confirm the site is suitable for the proposed project.
- j) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development found in Project File No. PLN260014.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and the Monterey County Regional Fire District. County staff reviewed the application materials and plans, as well as the County’s GIS database, to verify that the project conforms to the applicable plans, and that the subject property is suitable for the proposed development. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.

- b) The following technical reports have been prepared:
  - Arborist Report and Tree Assessment (County of Monterey Library No. LIB260086) prepared by Tope’s Environmental, Inc., Carmel, California, October 11, 2025.
  - Geotechnical Report and Tree Assessment (County of Monterey Library No. LIB260087) prepared by Grice Engineering, Inc., Salinas, California, August 23, 2024.

County staff has independently reviewed this report and concurs with their conclusions.

- c) Staff’s review of the submitted plans and technical report indicates that the property would be suitable for the use proposed.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN260014.

3. **FINDINGS:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, the Environmental Health Bureau, and the Monterey County Regional Fire District. Conditions have been recommended, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) The proposed project does not require connection to public or private utilities. Future residential development shall demonstrate adequate water and wastewater provisions.
  - c) Staff review of the submitted plans and site visit conducted on May 27, 2026, to verify that the project, as proposed and conditioned, would not be detrimental to public health and safety.
  - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD - Planning for the proposed development are found in Project File No. PLN260014.
4. **FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts.
- EVIDENCE:**
- a) The project includes an application for the removal of 11 protected Coast live oak trees. Pursuant to the Carmel Valley Master Area Plan Policy CV-3.11, “A permit shall be required for the removal of any healthy, native oak, redwood, or madrone trees with a trunk diameter breast height (DBH) in excess of six inches, measured two feet above ground level.” In accordance with Monterey County Zoning Ordinance (Title 21 section 21.64.260.D.3), a Use Permit is required for the removal of more than three protected trees in a one-year period. Furthermore, a Forest Management Plan is required for such tree removal pursuant to this section. No permit is necessary for the proposed removal of five non-native trees.
  - b) A Forest Management Plan was prepared by Tope’s Environmental, Inc. (County of Monterey Library No. LIB260086), which recommended the removal of 11 Coast live oak trees, including three 24-inch landmark trees, and five non-protected Monterey pines.
  - c) The required findings to grant a Use Permit to allow tree removal are: 1) the tree removal is the minimum required under the circumstances of the case, 2) the removal will not involve a risk of adverse environmental impacts, and 3) if the tree is diseased, injured, in danger of falling too close to existing or proposed structures, creates unsafe vision clearance, or is likely to promote the spread of insects of disease. The project arborist surveyed 110

trees within the existing driveway easement (86 Coast live oaks, 23 Monterey pines, and one Pacific madrone tree). Of those trees, 11 protected oaks and five non-protected Monterey pines are proposed for removal. The trees were reported to be in fair condition but cannot be retained because the root zones will be impacted by road improvements. Although 11 protected oak trees will be impacted, the removal is the minimum amount under the circumstances to meet fire department development standards. Additionally, the removal of these trees would not involve a risk of adverse environmental impacts since the driveway easement is heavily forested, which helps stabilize the soil and minimize erosion. The trees proposed for removal would be replaced on the project site, which provides habitat for wildlife and replenishes the health of the surrounding oak woodland. Furthermore, construction of the retaining walls would create a danger of the adjacent trees falling too close to the two retaining walls proposed for fire turnouts. The necessary cut and fill of the existing driveway easement to install soil-stabilizing retaining walls would significantly impact tree root systems, potentially leading to a hazardous condition. Without the necessary cuts for roadway improvements, the road will not meet fire code standards. Therefore, the project meets the required findings for tree removal.

- d) The subject property (Lot 51) was created through approval of the Tehama Subdivision, formally known as the Canada Woods Subdivision (Board of Supervisors Resolution No. 95-384). Although the lot abuts a private road within the subdivision, the lot was created with one access easement connecting the designated building envelope to Marguerite Road. At that time, the access easement contained slopes and trees, but the subdivision's approval did not include the necessary permits to authorize such development or removal. Therefore, the applicant is seeking the required Use Permits to accommodate road improvements. The trees proposed for removal are limited to those within the two required fire turnout locations. The existing driveway easement is on a slope dominated by forest resources, and reconfiguration of the driveway would cause further development on slopes and increase tree removal, and require a Final Map Amendment. The potential to access the site from Alta Parata Road would require greater impacts to slopes and require major vegetation and tree removal, as this area is even steeper and more vegetated. Therefore, the project meets the required findings for tree removal.
- e) The project planner and Applicant/Owner discussed alternatives that may reduce or avoid additional tree removal. The applicant informed the project planner that a redesign would not be possible given the existing driveway easement configuration and steep topography of the project site. The planner's observation of the driveway confirmed how narrow the existing access easement is and that a redesign would further impact development on slopes and require additional tree removal. The project has been designed and sited to minimize the removal of protected trees to the greatest extent feasible. The trees to be removed are adjacent to an existing

dirt road. However, given the existing site constraints and the necessary road widening to accommodate fire truck access to the primary residence, the 11 protected trees and 5 non-protected trees to be removed are the minimum required to meet development standards.

- f) The proposed tree removal will not cause an adverse environmental impact. The Forest Management Plan prepared for the project requires tree replacement for the reestablishment of vegetation and protection against soil erosion. Construction of the retaining walls includes drainage features to mitigate potential water quality issues from stormwater runoff flowing downslope. The tree removal will not have a substantial adverse impact upon existing biological and ecological systems. There are no sensitive special status plant or wildlife species in the immediate vicinity that will be impacted by the driveway improvements. A raptor and migratory bird nest survey will be required prior to tree removal to prevent disturbance during the nesting season. The 11 out of 110 trees proposed for removal are the minimum amount necessary and will not cause noise pollution or impede air movement. Furthermore, the subject trees are not within a scenic highway and will not damage a scenic corridor.
- g) The Forest Management Plan recommends 11 replacement plantings of 5 five-gallon Coast live oaks sourced from a local nursery in locations with the greatest openings to minimize competition and maximize sunlight. Watering for establishment within the first two months shall be at least once per week throughout the dry seasons. Furthermore, the replacement trees whose critical root zone was within the areas impacted by construction will be monitored annually by a qualified arborist for a period of no less than three years. If any noticeable decline in the health of any trees is observed, additional trees shall be planted onsite at a 1:1 ratio in a suitable location as determined by a qualified arborist or forester. This requirement has been applied as Condition No. 9.
- h) Measures for tree protection during construction have been incorporated as conditions of approval and include tree root protection (Condition No. 6) and a raptor and migratory bird nest survey if tree removal were to take place during February 1 through September 15 (Condition No. 7). Additionally, tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit (Condition No. 8).
- i) Staff conducted a site inspection on May 27, 2026, to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- j) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN260014.

5. **FINDING:** **DEVELOPMENT ON SLOPES** – There is no feasible alternative that would allow development to occur on slopes of less than 25% and the proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and Carmel Valley Master Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.
- EVIDENCE:**
- a) Pursuant to Title 21 Section 21.64.230 and General Plan Policy OS-3.5, development on slopes exceeding 25% may be permitted through approval of a Use Permit where no feasible alternative exists on slopes less than 25%, and/or where the project better achieves General Plan and applicable area plan objectives, thereby limiting feasible alternative locations for the required two fire turnouts to meet fire code standards. The proposed development has been sited to minimize grading and site disturbance while maintaining consistency with applicable land use policies. As such, the project satisfies the threshold criteria for consideration of development on slopes exceeding 25%.
  - b) The majority of the lot contains slopes in excess of 25%, except for that area that makes up the building envelope. Therefore, any access to the building envelope requires grading/development on steeper slopes. Here, an existing dirt road exists within the established private driveway easement. The project proposes to improve this access road to meet fire code requirements (width and turnouts) and include drainage improvements to minimize runoff. The entirety of the existing access road, except for that portion within the building envelope, contains slopes in excess of 25%. Therefore, all proposed improvements (retaining walls, widening, resurfacing (AC Pavement), fire truck turnouts, drainage improvements) will occur on slopes in excess of 25%.
  - c) The existing dirt road's gradient allows for runoff to continue down slope, rather than to be controlled on the inner edge of the road. The proposed project includes improvements to correct this, such as managing stormwater runoff, sedimentation, and drainage through the implementation of best management practices (BMPs), which aligns with 2010 General Plan Policies S-3.7 and S-3.9. To meet development code requirements, the project includes trenching for a drainage pipe and rock energy dissipater to manage stormwater runoff, the installation of a water main to serve a new fire hydrant for fire suppression, and a backflow device to prevent contamination within the potable water system. The existing driveway configuration has been previously graded, and moving the access easement would cause further development on slopes and tree removal, and require a Final Map Amendment. Thus, the location of the proposed improvements is the most feasible and appropriate.
  - d) Because of the existing topography, grading is necessary to establish safe and stable roadway improvements. A Geotechnical Report (County of Monterey Library No. LIB260087) prepared by Grice Engineering, Inc., dated August 23, 2024, demonstrates that the site is underlain by competent native bedrock at shallow depths and exhibits favorable geotechnical conditions when the report's

recommendations are implemented. Geotechnical analysis indicates the absence of landslide hazards, slope instability, or other geologic constraints that would preclude development. With the implementation of recommended measures, including controlled grading, compaction, and use of suitable in situ or engineered fill, the proposed improvements can be constructed in a manner that ensures structural stability and consistency with Title 21 requirements.

- e) Pursuant to Title 21 Section 21.64.230.E.1, the project meets the required findings in that there are no feasible alternative development locations on slopes less than 25% within the parcel, and the proposed design minimizes environmental disturbance while maintaining the natural topographic character of the site. Rather than requiring extensive earth movement to overcome unstable conditions, the recommendations focus on adapting the design to the existing terrain through localized excavation, engineered fill, retaining structures, and controlled drainage. Therefore, the project will not result in significant adverse impacts to slope stability, drainage patterns, or water quality.
- f) All geotechnical recommendations related to grading and foundation design, installation and maintenance of erosion control and drainage improvements shall be implemented in accordance with Title 16 section 16.08.110.
- g) The subject project minimizes development on slopes exceeding 25% and better meets the applicable goals and policies of the 2010 Monterey County General Plan and Title 21.
- h) The project planner conducted a site inspection on May 27, 2026, to verify that there is no feasible alternative which would allow development to occur on slopes of less than 25%.
- i) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN260014.

- 6. **FINDING:** **NO VIOLATIONS** - The subject properties are in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the properties.  
**EVIDENCE:**
  - a) County staff review of Monterey County HCD-Planning and HCD-Building Services records shows no violations exist on the subject properties.
  - b) Staff site inspection on May 27, 2026, confirming no violations exist on the subject properties.
  - c) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN260014.
- 7. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) The project is categorically exempt from environmental review pursuant to CEQA Guidelines section 15304, which allows minor public or private alterations in the condition of land, which does not involve the removal of healthy, native, scenic trees. The project consists of the removal of 11 protected Coast live oak trees and five non-protected Monterey pine trees, for a total of 16 trees to accommodate private road access improvements to a future single-family dwelling on a legal lot of record. Although tree removal is proposed, the subject trees are not within a scenic highway and will not damage a scenic corridor. Therefore, the project has been found to meet this exemption.
  - b) None of the exceptions under CEQA Guidelines section 15300.2 apply to this project. The project does not involve a designated historical resource. The project is also not located near a hazardous waste site or within view of a scenic highway corridor. The project, as proposed, does not cause any unusual circumstances that would result in a significant effect or would result in a cumulative significant impact. The project site is located within an area of moderate archaeological sensitivity. Pursuant to Title 21 section 21.66.050.C.1.b, a Phase I Inventory of Archaeological Resources was not required because the project does not require environmental assessment, such as an Initial Study, according to CEQA Guidelines section 15061. However, a standard condition of approval (Condition No. 3) will be incorporated into this project to ensure construction and tree replanting is halted if archaeological resources are accidentally uncovered. Thus, there is no feature or condition of the project that distinguishes the project from the exempt class.
  - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File No. PLN260014.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 21 section 21.80.040 of the Monterey County Zoning Ordinance, the Board of Supervisors is the Appeal Authority to consider appeals from the discretionary decisions, except decisions on appeals made pursuant to Subsections A and B of Section 21.80.040, of the Planning Commission made pursuant to this Title.

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies for a Class 4 Categorical Exemption pursuant to CEQA Guidelines section 15304 and that none of the exceptions apply pursuant to section 15300.2; and
2. Approving a Combined Development Permit consisting of:
  - a. Design Approval to allow construction of 215 linear feet of retaining walls;
  - b. Use Permit to allow development on slopes exceeding 25 percent; and
  - c. Use Permit to allow the removal of 11 protected trees.

All of which are in general conformance with the attached sketch and subject to the attached conditions and mitigation measures, all being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 12<sup>th</sup> day of August 2026, upon motion of \_\_\_\_\_, seconded by \_\_\_\_\_, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

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Melanie Beretti, AICP  
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO THE APPLICANT ON \_\_\_\_\_.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE \_\_\_\_\_.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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# County of Monterey HCD Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN260014

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** This Combined Development Permit (PLN260014) allows a Design Approval for the construction of 215 linear feet of retaining walls; Use Permit to allow development on slopes exceeding 25 percent; and Use Permit to allow the removal of 11 protected trees. Colors and materials consist of gray concrete VERSA-LOK blocks. The property is located at 51 Marguerite, Carmel Valley (Assessor's Parcel Number 169-421-022-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Combined Development Permit (Resolution Number \_\_\_\_\_) was approved by the Planning Commission for Assessor's Parcel Number 169-421-022-000 on August 12, 2026. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

### 3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

#### 4. CC01 INDEMNIFICATION

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

#### 5. PD006(A) - CONDITION COMPLIANCE FEE

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

**Compliance or Monitoring Action to be Performed:** Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

## 6. PD049 - TREE AND ROOT PROTECTION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Prior to beginning any tree removal, trees which are located close to trees approved for removal shall be protected from inadvertent damage from equipment or tree removal activity by fencing off the canopy drip-lines and/or critical root zones (whichever is greater) with protective materials. Any tree protection measures recommended by a County-approved tree consultant, in addition to the standard condition, shall be implemented. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to construction or tree removal, the Owner/Applicant/Tree Removal Contractor submit evidence of tree protection to HCD -Planning for review and approval.

After construction or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit photos of the trees on the property to HCD -Planning to document that the tree protection has been successful or if follow-up remediation measures or additional permits are required.

## 7. PD050 - RAPTOR/MIGRATORY BIRD NESTING

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

## 8. PD011(A) - TREE REMOVAL

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

**Compliance or Monitoring Action to be Performed:** Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

## 9. PD048 - TREE REPLACEMENT/RELOCATION

**Responsible Department:** Planning

**Condition/Mitigation Monitoring Measure:** Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1 ratio replacement ratio for removal of protected trees measuring less than 24" DBH and 2:1 replacement ratio for removal of protected trees measuring 24" or larger DBH.
- Replacement ratio recommended by arborist: 1:1 replacement ratio of 5-gallon nursery stock oaks is required for the removal of the 11 California Live Oak trees.
- Other: Refer to the recommendations in the Arborist Report (County of Monterey Library No. LIB260086) by Tope's Environmental, Inc., dated October 11, 2025.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

## 10. CC01 INDEMNIFICATION

**Responsible Department:** County Counsel-Risk Management

**Condition/Mitigation Monitoring Measure:** Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

**Compliance or Monitoring Action to be Performed:** This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.



GENERAL NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO COMPLY WITH TITLE 24 AND 2022 CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, AND THE CALIFORNIA ENERGY CODE AS THEY MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
4. IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
5. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ASSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
6. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
9. EXISTING CURB, CUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
- A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
- B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
- C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
- D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
15. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
16. CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF MONDAY-FRIDAY 8:00 AM TO 5:00 PM.
17. CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
18. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF OR ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, FREMONT, CA, PHONE (510) 794-2521.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
20. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 39141 CIVIC CENTER DR., SUITE 310, FREMONT CALIFORNIA 94538, PHONE (510) 794-2521, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
21. AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
22. PAVEMENT SECTION TO BE DETERMINED AS SHOWN ON THESE PLANS.
23. A SEPERATE PERMIT IS REQUIRED FOR THE CONSTRUCTION OF ALL RETAINING WALLS.
24. TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

GRADING NOTES

1. REFER TO GENERAL NOTES AND DETAILS AS SHOWN ON THESE PLANS.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535, EROSION CONTROL ORDINANCE #2806, THE CALIFORNIA BUILDING CODE AND GEOTECHNICAL REPORT ENTITLED:

"GEOTECHNICAL REPORT FOR THE PROPOSED DONAHUE RESIDENTIAL ESTATE 51 MARGUERITE TEHAMA LOT 51 CARMEL, CALIFORNIA 93923, APN 169-421-022"

PREPARED BY: GRICE ENGINEERING, INC.  
561-A BRUNKEN AVENUE  
SALINAS, CA 93901  
(831) 422-9619

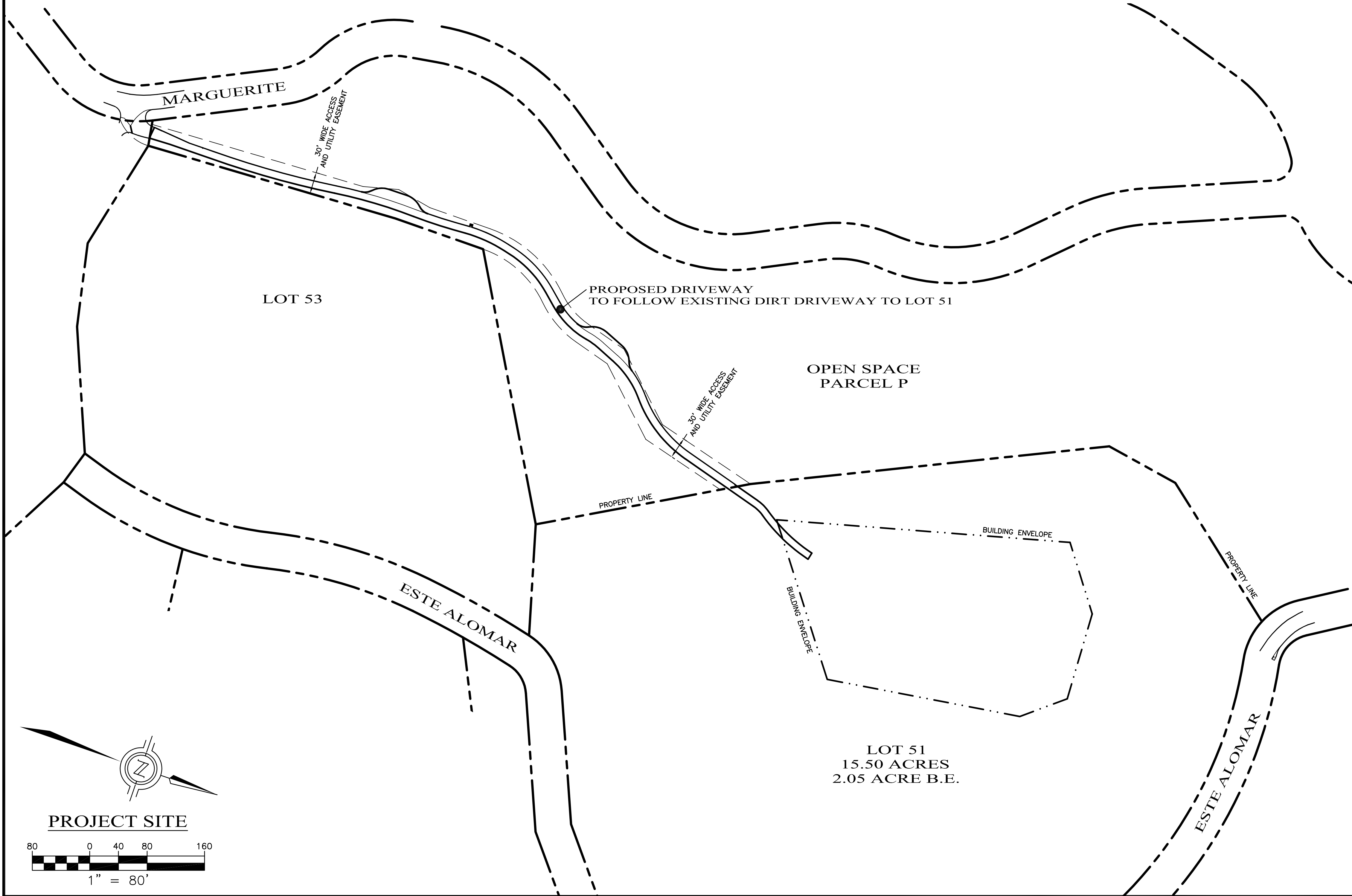
DATED: AUGUST 2024

3. ALL GRADING AND COMPACTION SHALL BE DONE IN THE PRESENCE OF AND TESTED BY THE SOILS ENGINEER AND/OR SOILS TESTING CONSULTANT, WHO WILL PROVIDE THE ENGINEER WITH COPIES OF ALL TEST RESULTS. THE CONTRACTOR SHALL SUBMIT TESTS AND REPORT FROM SOILS ENGINEER TO THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT PRIOR TO SCHEDULING ANY INSPECTIONS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO GRADING.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOIL ENGINEER AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE SOILS ENGINEER.
6. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS DIRECTED IN THE FIELD BY THE SOILS ENGINEER.
7. ALL CUT AND FILL SLOPE SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE DIRECTED IN WRITING BY THE ENGINEER OR SOILS ENGINEER AND APPROVED BY THE MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT.
8. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER AND LANDSCAPE MAINTENANCE WILL BE REQUIRED UNTIL GROUND COVER IS ESTABLISHED.
9. ELEVATION BENCHMARK: SEE SHEET C2.
10. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
12. THE SOILS ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) DAYS IN ADVANCE OF COMMENCING WORK, INCLUDING SITE STRIPPING AND GRADING OPERATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER.
13. STRIPPINGS TO BE USED AS TOPSOIL SHALL BE STOCKPILED IN APPROVED AREAS FOR FUTURE USE IN LANDSCAPED AREAS.
14. STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
15. ALL HAUL ROADS SHALL BE RETURNED TO ORIGINAL CONDITION AND RESEEDED WHEN GRADING IS COMPLETE. NO HAUL ROADS SHALL BE ALLOWED IN AREAS WHICH ARE NOT SHOWN TO BE GRADED WITHOUT PRIOR APPROVAL OF THE ENGINEER. RESTORATION OF HAUL ROADS WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. EARTHWORK QUANTITIES ARE SHOWN ON SHEET C1.
17. ALL GRADES TO BE A MINIMUM OF 5% AWAY FROM FOUNDATIONS FOR 10 FEET UNLESS SPECIFIED OTHERWISE ON PLANS.
18. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOTBALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 4" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.
19. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
- A) DISTURBED SURFACES SHALL BE RECOVERED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES.
- C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
20. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS. (MONTEREY COUNTY GRADING/EROSION ORD. 2806-16.12.090)
21. GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL, AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 5 TO 1, AND THE HEIGHT IS GREATER THAN 5 FT, BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
22. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH, NO ROCK OVER 12" IN ITS MAXIMUM DIMENSION MAY BE USED IN A FILL.
23. PRIOR TO FINAL INSPECTION, THE GEOTECHNICAL CONSULTANT SHALL PROVIDE CERTIFICATION THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
24. ALL FILL SOILS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
25. OVER EXCAVATION SHOULD BE CONDUCTED BELOW THE FOUNDATIONS AND FLOOR SLABS IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
26. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

STATEMENT OF PURPOSE

THESE PLANS WERE PRODUCED TO PROVIDE FOR GRADING, DRAINAGE, AND EROSION CONTROL FOR AND DURING THE CONSTRUCTION OF A NEW DRIVEWAY AT 51 MARGUERITE IN CARMEL CALIFORNIA 93923

GRADING, DRAINAGE, & EROSION CONTROL PLANS



FIRE DEPARTMENT NOTES

1. FIRE007-DRIVEWAYS SHALL NOT BE LESS THAN 12 FT WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FT. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15%, WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FT OF AC ON 0.34 FT OF AS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL-DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90° AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 25 FT. FOR DRIVEWAYS WITH TURNS GREATER THAN 90°, THE MINIMUM HORIZONTAL INSIDE RADIUS CURVATURE SHALL BE 28 FT. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4 FT SHALL BE ADDED. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FT OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FT OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FT FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD T IS USED, THE TOP OF THE T SHALL BE A MINIMUM OF 60 FT IN LENGTH, OR AS APPROVED BY THE FIRE CHIEF.
2. FIRE008-ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FT FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE BUT IN NO CASE LESS THAN 12 FT WIDE. WHERE A ONE WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40 FT TURNING RADIUS SHALL BE USED, WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.
3. FIRE011-ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE N01241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS, AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4 IN HEIGHT, 1/2 IN STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL, WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN, WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

EARTHWORK  
CUT=823 CY  
FILL=60 CY  
NET=763 CY CUT

EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO FINISHED GRADE AND ARE ESTIMATES ONLY. AN 8" SECTION WAS ASSUMED FOR THE DRIVEWAY. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. SPOILS FROM UTILITY TRENCHING AND RETAINING WALL BACKFILL WERE NOT INCLUDED IN THESE CALCULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

GEOTECHNICAL INSPECTION WITH TIMING OF INSPECTION

| DESCRIPTION OF THE REQUIRED INSPECTION:                    | WHEN INSPECTION IS TO BE COMPLETED:       | WHO WILL CONDUCT THE INSPECTION: | INSPECTOR NAME: | COMPLETION DATE: |
|------------------------------------------------------------|-------------------------------------------|----------------------------------|-----------------|------------------|
| INSPECT AND TEST DRIVEWAY SUBGRADE AND BASEROCK PLACEMENT: | 1) SUBGRADE, PRIOR TO BASEROCK PLACEMENT  | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST DRIVEWAY SUBGRADE AND BASEROCK PLACEMENT: | 2) BASEROCK PRIOR TO PAVEMENT APPLICATION | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT RETAINING WALL FOOTING EXCAVATIONS:                | 1) PRIOR TO REINFORCEMENT PLACEMENT       | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT RETAINING WALL DRAINAGE INSTALLATION:              | 1) PRIOR TO BACKFILL PLACEMENT            | GEOTECHNICAL ENGINEER            |                 |                  |
| INSPECT AND TEST RETAINING WALL BACKFILL:                  | 1) DURING BACKFILL PLACEMENT - ONGOING    | GEOTECHNICAL ENGINEER            |                 |                  |

LEGEND

- 400 --- (E) CURB  
--- 400 --- (E) EDGE OF PAVEMENT  
--- 400 --- (E) EDGE OF DIRT ROAD  
--- 400 --- (E) MAJOR CONTOUR  
--- 400 --- (E) MINOR CONTOUR  
--- 400 --- (E) PROPERTY LINE  
--- 400 --- (E) BUILDING ENVELOPE  
--- 400 --- (E) EASEMENT  
--- 400 --- (E) JOINT UTILITY TRENCH  
--- 400 --- (E) STORM DRAIN  
--- 400 --- (E) SANITARY SEWER  
--- 400 --- (E) WATER LINE  
--- 400 --- (N) EDGE OF PAVEMENT  
--- 400 --- (N) JOINT UTILITY TRENCH  
--- 400 --- (N) STORM DRAIN  
--- 400 --- (N) SANITARY SEWER  
--- 400 --- (N) SEWER FORCE MAIN  
--- 400 --- (N) WALL DRAIN  
--- 400 --- (N) WATER LINE  
--- 400 --- (N) WALL  
--- 400 --- (N) SAWCUT LINE  
--- 400 --- (N) DESIGN MAJOR CONTOUR  
--- 400 --- (N) DESIGN MINOR CONTOUR

SHEET INDEX

- C1 GRADING PLAN TITLE SHEET  
C2 TOPOGRAPHIC SURVEY  
C3 DRIVEWAY GRADING PLAN  
C4 DRIVEWAY GRADING PLAN CONTINUED  
C5 DRIVEWAY UTILITY PLAN  
C6 CONSTRUCTION DETAILS  
C7 CONSTRUCTION DETAILS  
C8 EROSION CONTROL PLAN  
C9 CONSTRUCTION MANAGEMENT PLAN

DRIVEWAY GRADING PLANS  
51 MARGUERITE  
CARMEL, CALIFORNIA 93923  
(TEHAMA LOT 51)  
APN 169-421-022

SHEET C1

OF

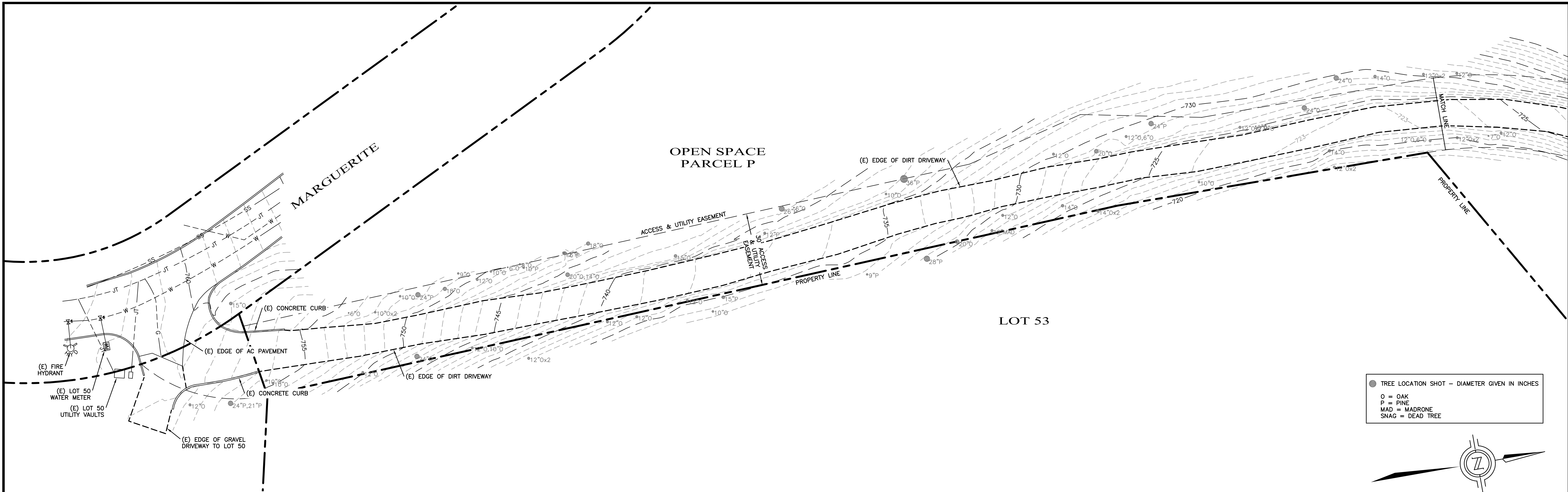
9 SHEETS

**I&S ENGINEERING AND SURVEYING, INC.**  
2460 Garden Road, Suite G, Monterey, California 93940  
P: 831.655.2723 F: 831.655.3425  
LandSengineers.com

REGISTERED PROFESSIONAL ENGINEER  
No. 59685  
EXP. 12-31-25  
CIVIL  
STATE OF CALIFORNIA

DRAWN BY: MRS  
DESIGNED BY: MRS  
DATE: 10-27-2025  
SCALE: AS SHOWN  
JOB NUMBER: 25-41  
LAST REVISED: N/A  
REVISED BY: N/A

GRADING PLAN TITLE SHEET

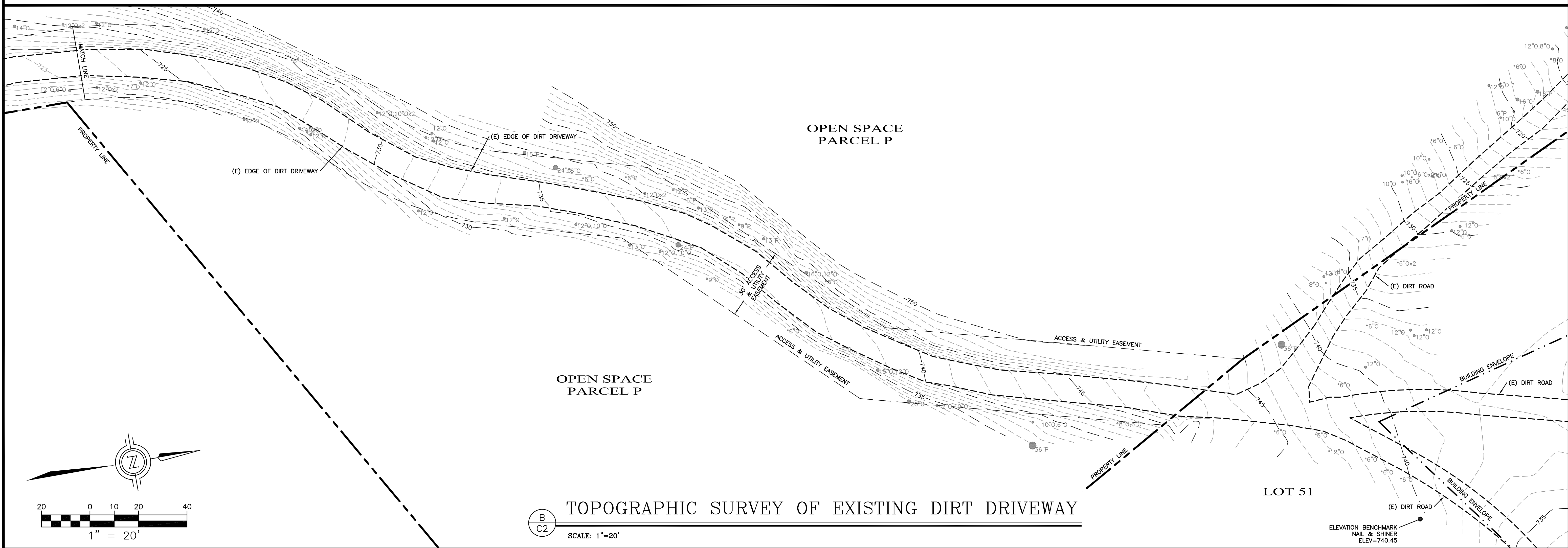
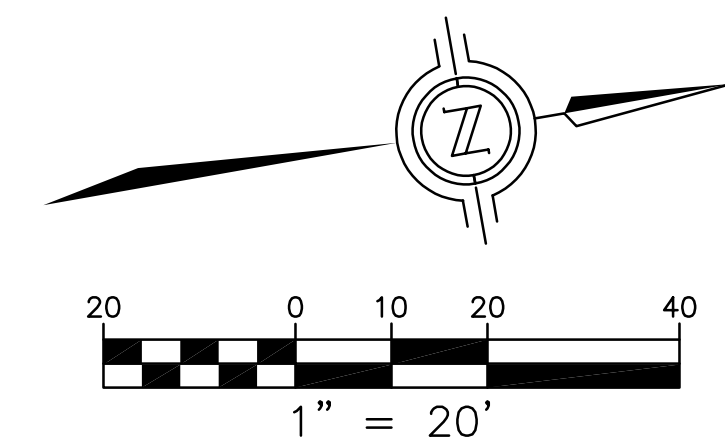


A  
C2

### TOPOGRAPHIC SURVEY OF EXISTING DIRT DRIVEWAY

SCALE: 1"=20'

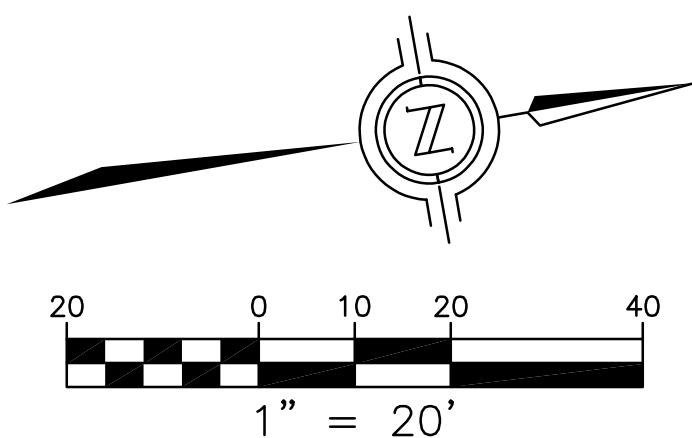
● TREE LOCATION SHOT - DIAMETER GIVEN IN INCHES  
O = OAK  
P = PINE  
MAD = MADRONE  
SNAG = DEAD TREE



B  
C2

### TOPOGRAPHIC SURVEY OF EXISTING DIRT DRIVEWAY

SCALE: 1"=20'



**L&S ENGINEERING AND SURVEYING, INC.**  
2460 Garden Road, Suite G, Monterey, California 93940  
P: 831.655.2723 F: 831.655.3425  
LandSengineers.com

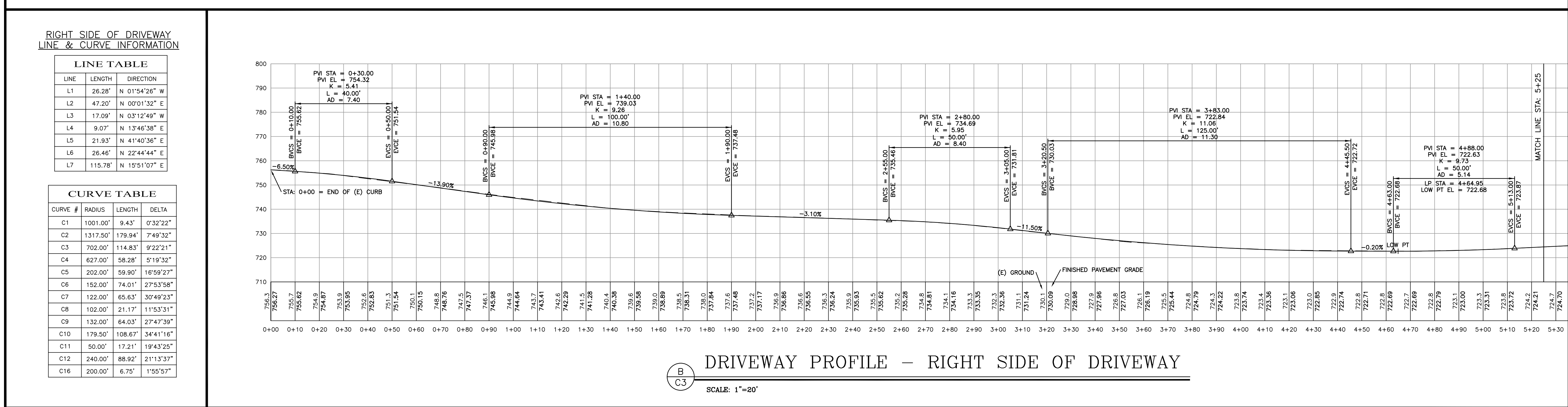
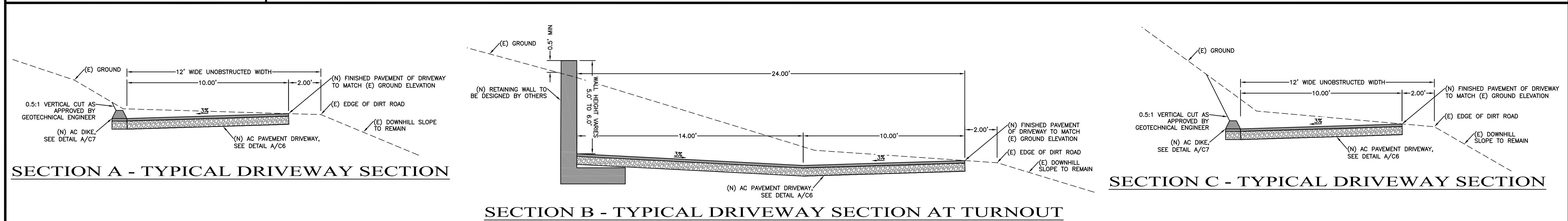
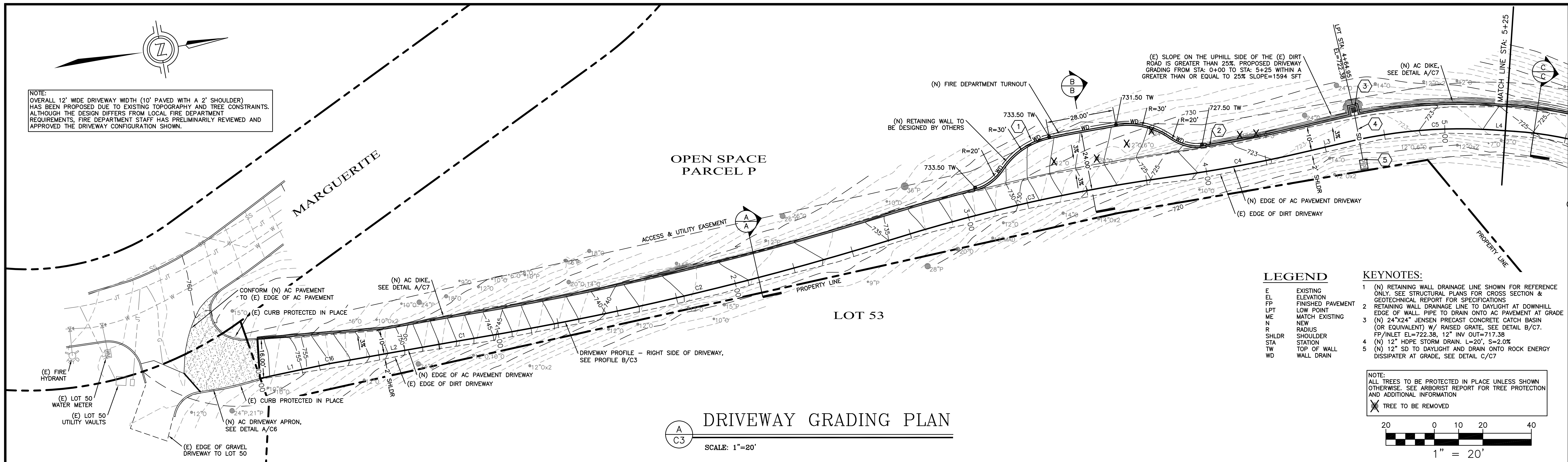
REGISTERED PROFESSIONAL ENGINEER  
CHRISTOPHER J. STODOLNIK  
No. 59685  
EXP. 12-31-25  
CIVIL  
STATE OF CALIFORNIA

DRAWN BY: MRS  
DESIGNED BY: MRS  
DATE: 10-27-2025  
SCALE: AS SHOWN  
JOB NUMBER: 25-41  
LAST REVISED: N/A  
REVISED BY: N/A

TOPOGRAPHIC SURVEY

DRIVEWAY GRADING PLANS  
51 MARGUERITE  
CARMEL, CALIFORNIA 93923  
(TEHAMA LOT 51)  
APN 169-421-022

SHEET C2  
OF  
9 SHEETS

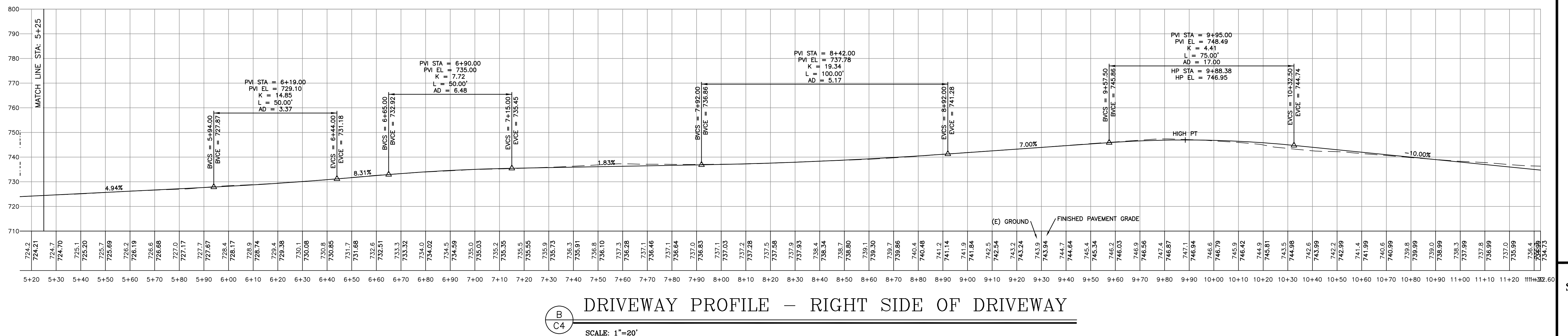
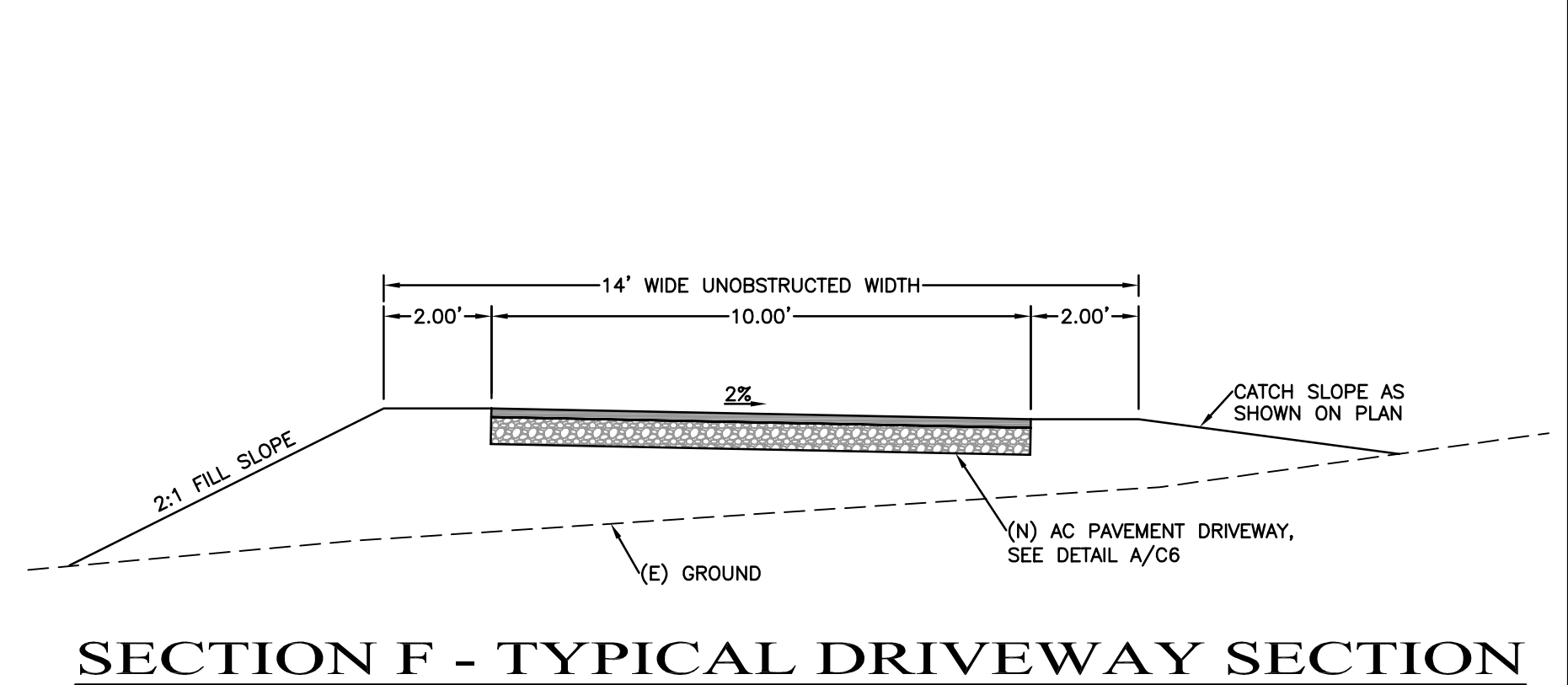
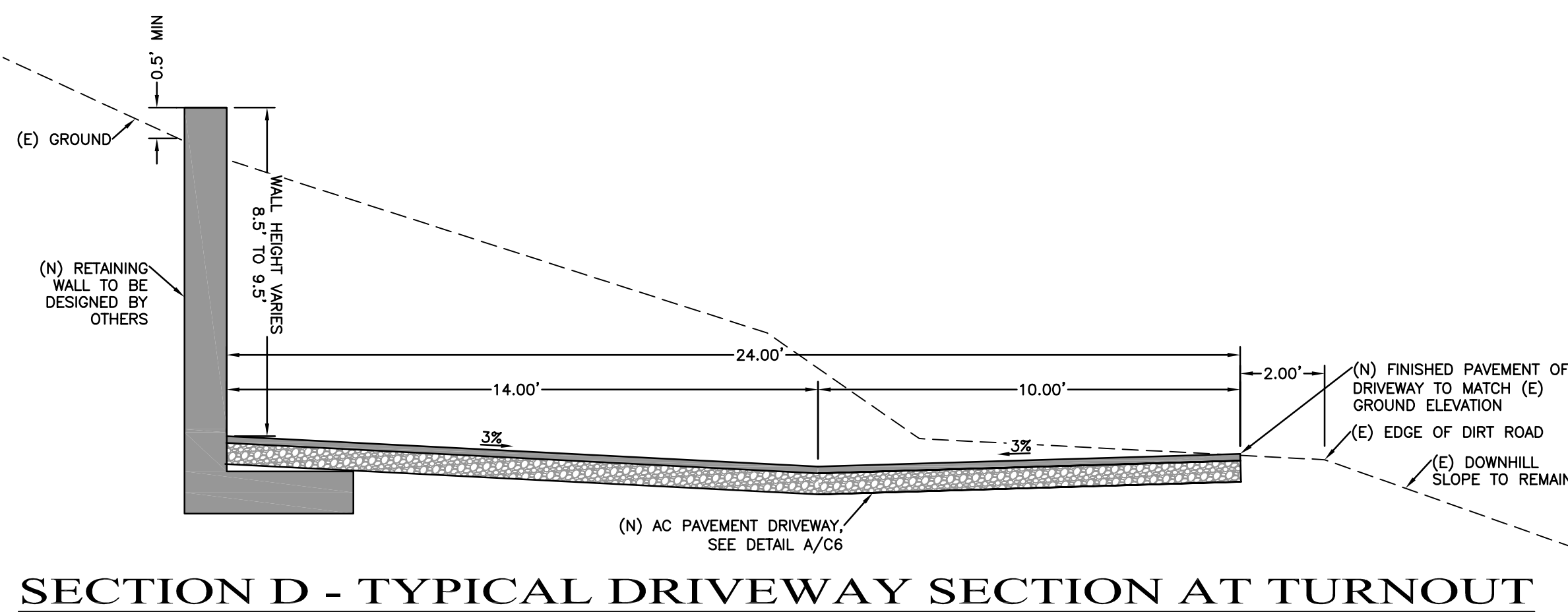
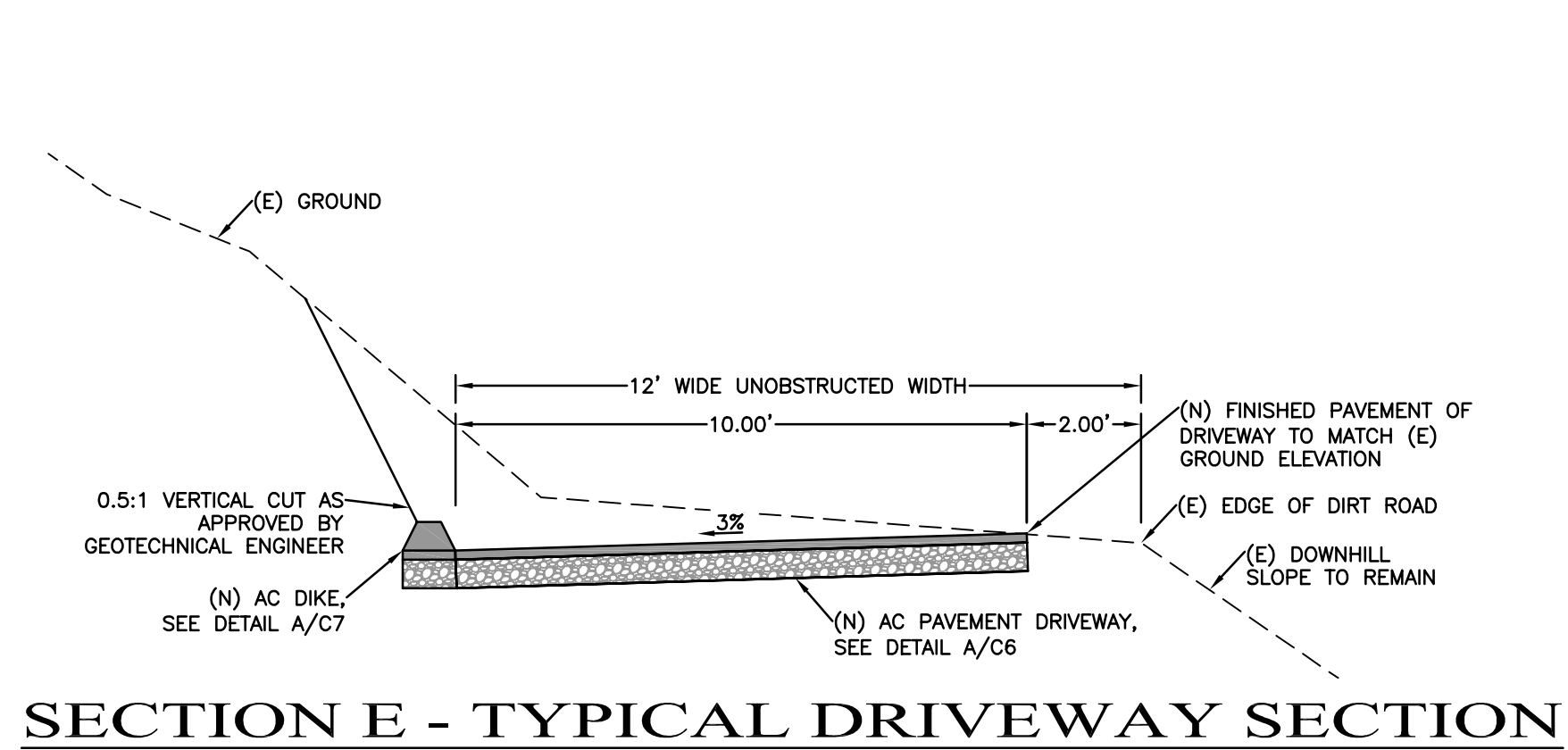
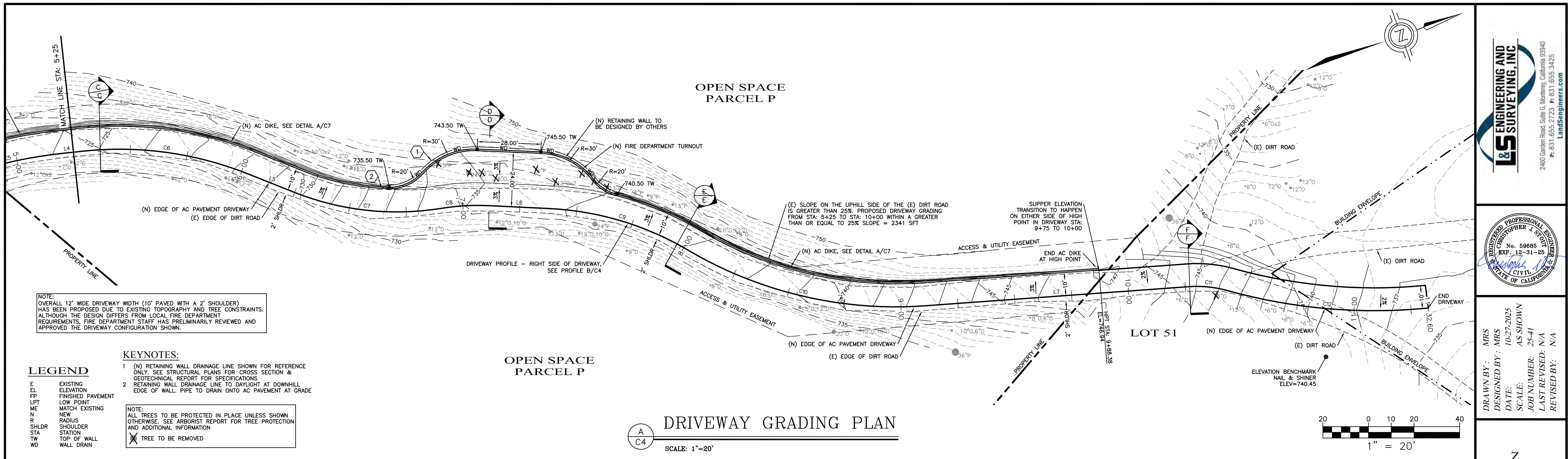


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 DESIGNED BY: MRS  
 DATE: 10-27-2025  
 SCALE: AS SHOWN  
 JOB NUMBER: 25-41  
 LAST REVISED: N/A  
 REVISED BY: N/A

DRIVEWAY GRADING PLANS  
 51 MARGUERITE  
 CARMEL, CALIFORNIA 93923  
 (TEHAMA LOT 51)  
 APN 169-421-022

SHEET C3  
 OF  
 9 SHEETS



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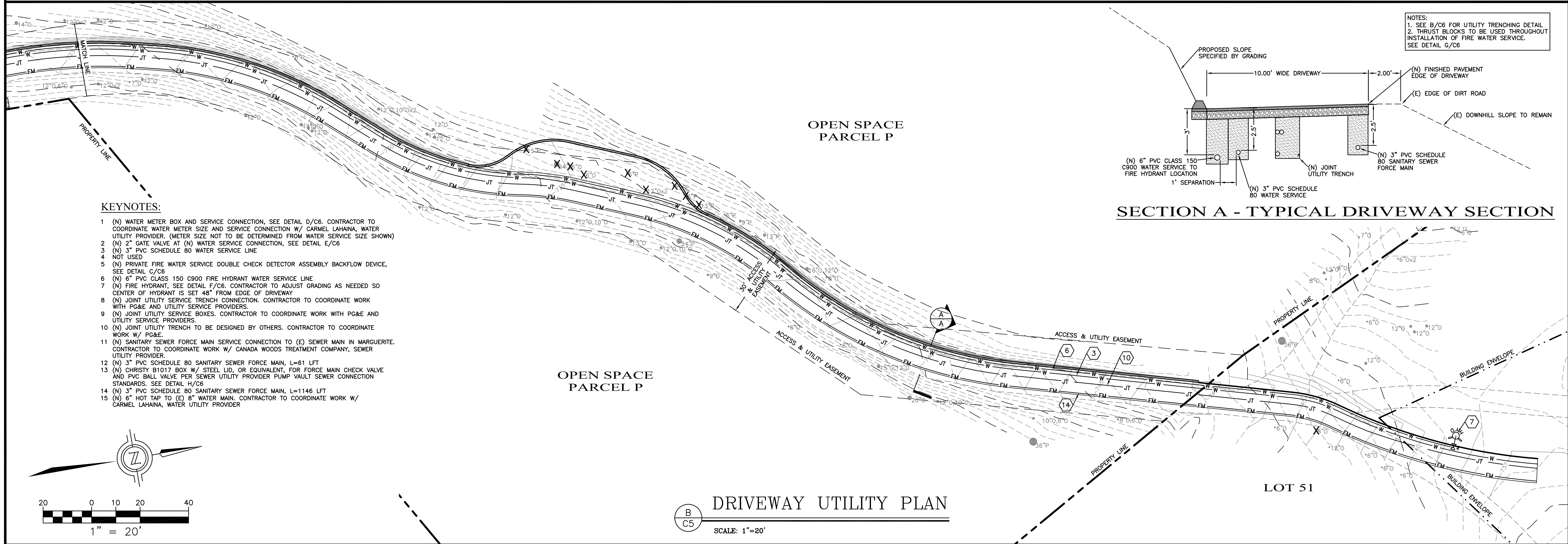
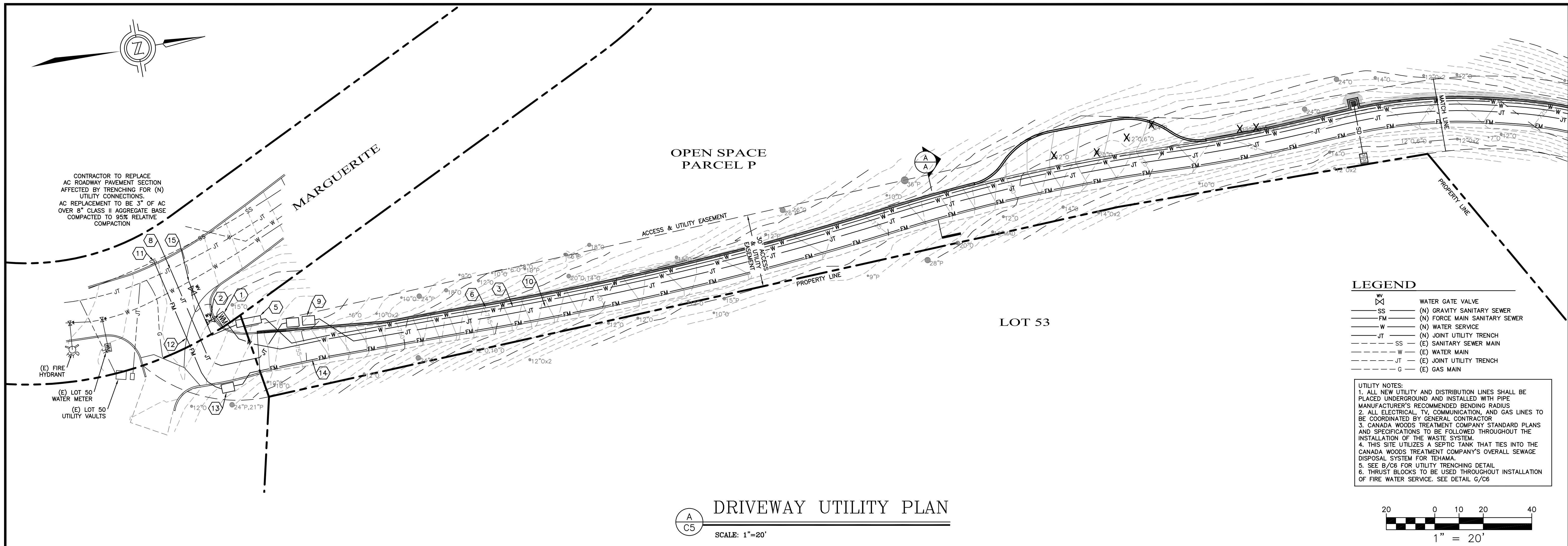
**REGISTERED PROFESSIONAL ENGINEER**  
No. 59665  
EXP. 12-31-25  
CIVIL  
STATE OF CALIFORNIA

**DRIVEN BY:** MRS  
**DESIGNED BY:** MRS  
**DATE:** 10-27-2025  
**SCALE:** AS SHOWN  
**JOB NUMBER:** 25-41  
**LAST REVISED:** N/A  
**REVISED BY:** N/A

**DRIVEWAY GRADING PLAN**  
**CONTINUED**

**DRIVEWAY GRADING PLANS**  
**51 MARGUERITE**  
**CARMEL, CALIFORNIA 93923**  
**(TEHAMA LOT 51)**  
**APN 169-421-022**

**SHEET C4**  
**OF**  
**9 SHEETS**



**L&S ENGINEERING AND SURVEYING, INC.**  
 2460 Garden Road, Suite G, Monterey, California 93940  
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REGISTERED PROFESSIONAL ENGINEER  
 No. 59885  
 EXP. 12-31-25  
 CIVIL  
 STATE OF CALIFORNIA

DRAWN BY: MRS  
 DESIGNED BY: MRS  
 DATE: 10-27-2025  
 SCALE: AS SHOWN  
 JOB NUMBER: 25-41  
 LAST REVISED: N/A  
 REVISED BY: N/A

DRIVEWAY GRADING PLANS  
 51 MARGUERITE  
 CARMEL, CALIFORNIA 93923  
 (TEHAMA LOT 51)  
 APN 169-421-022

DRIVEWAY UTILITY PLAN

SHEET C5  
 OF  
 9 SHEETS

UTILITY TRENCH SECTION

NTS

WATER SERVICE INSTALLATION

D  
C6

NTS

WATER GATE VALVE DETAIL

NTS

6" FIRE HYDRANT INSTALLATION

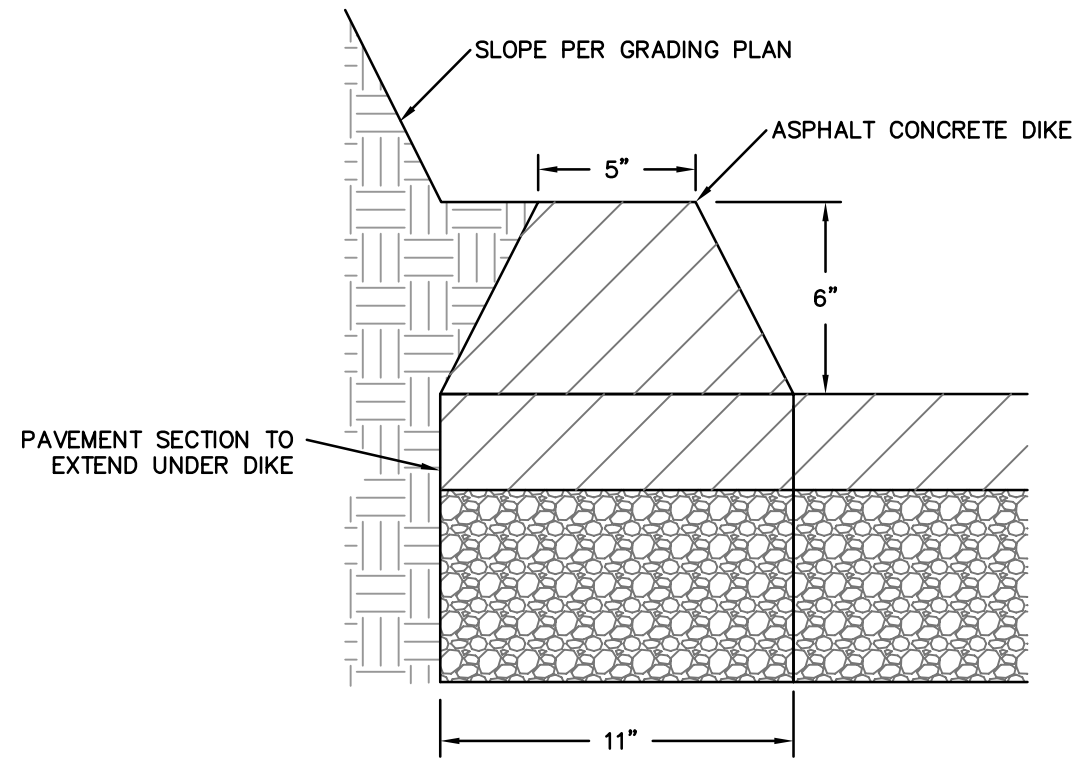
| SIZE | 90° BENDS     |     |     | 45° BENDS     |     |     | 22.5° BENDS   |     |     | TEES and PLUGS |     |     |
|------|---------------|-----|-----|---------------|-----|-----|---------------|-----|-----|----------------|-----|-----|
|      | SIZE<br>SQ FT | "A" | "B" | SIZE<br>SQ FT | "A" | "B" | SIZE<br>SQ FT | "A" | "B" | SIZE<br>SQ FT  | "A" | "B" |
| 4"   | 1.8           | 22" | 12" | 1.0           | 12" | 12" | 0.5           | 10" | 7"  | 1.3            | 16" | 12" |
| 6"   | 4.0           | 36" | 16" | 2.2           | 20" | 16" | 1.1           | 16" | 10" | 2.8            | 29" | 14" |
| 8"   | 7.1           | 42" | 24" | 3.8           | 23" | 24" | 2.0           | 21" | 14" | 5.0            | 45" | 16" |
| 10"  | 11.1          | 53" | 30" | 6.1           | 30" | 30" | 3.1           | 22" | 20" | 7.9            | 48" | 24" |
| 12"  | 16.0          | 58" | 40" | 8.7           | 36" | 36" | 4.4           | 32" | 20" | 11.3           | 54" | 30" |
| 14"  | 21.6          | 74" | 42" | 11.9          | 43" | 40" | 6.0           | 36" | 24" | 15.4           | 62" | 36" |
| 16"  | 28.4          | 85" | 48" | 15.5          | 53" | 42" | 7.8           | 37" | 30" | 20.1           | 69" | 42" |

NOTE:  
THRUST BLOCKS TO BE USED THROUGHOUT INSTALLATION OF  
FIRE WATER SERVICE

THRUST BLOCK DETAILS

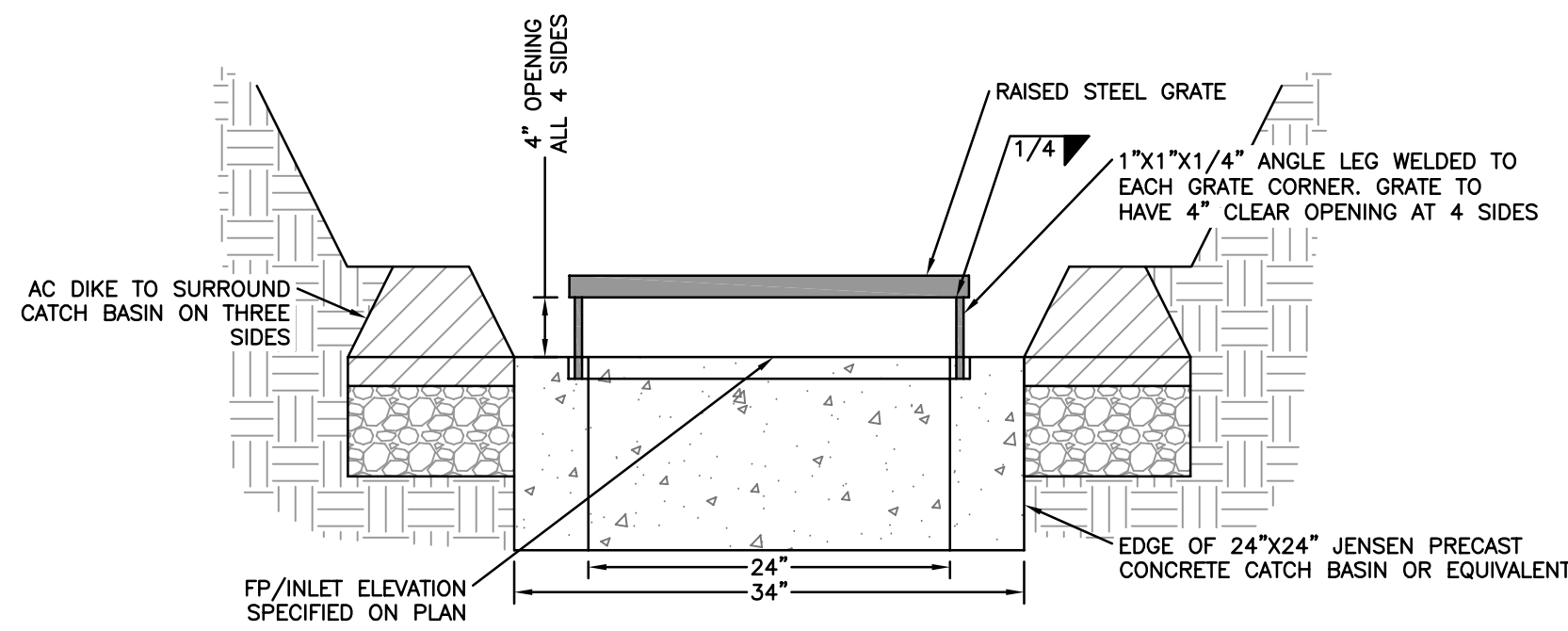
DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW DEVICE

PUMP VAULT SEWER CONNECTION

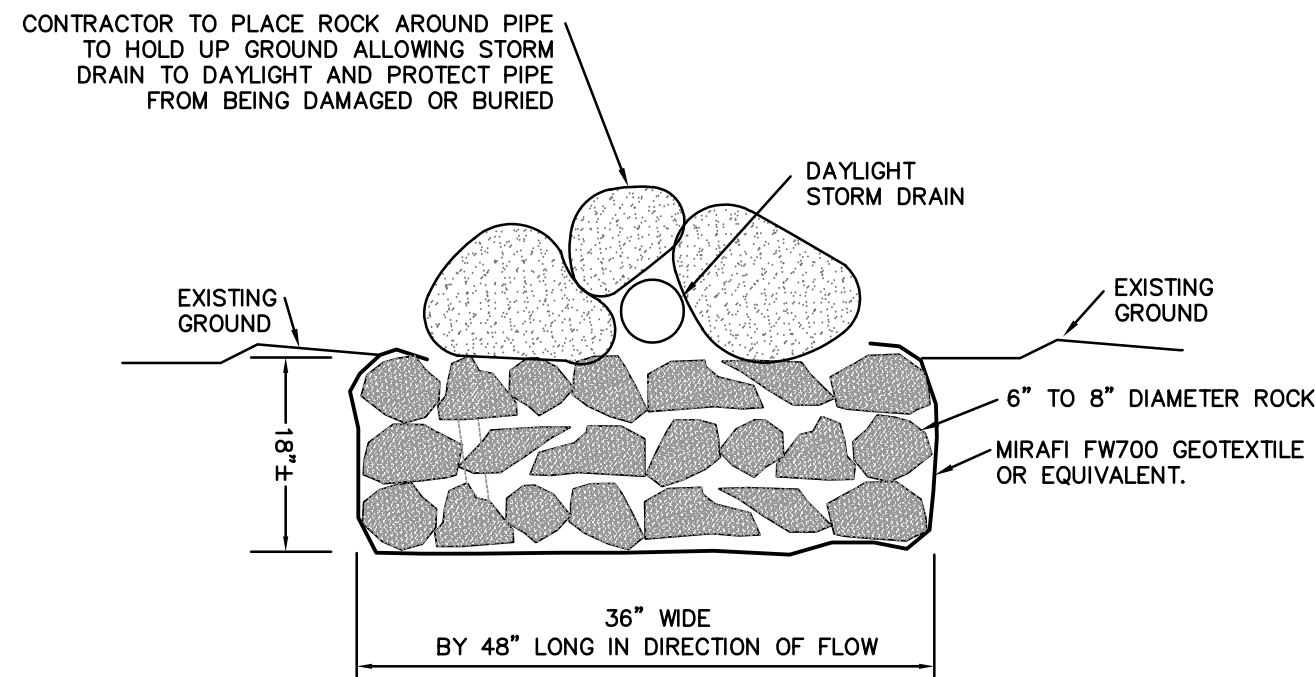


NOTES:  
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE OF CALIFORNIA, DEPARTMENT OF PUBLIC WORKS, DIVISION OF HIGHWAYS, STANDARD SPECIFICATION, LATEST EDITION.

**AC DIKE DETAIL**  
A  
C7  
NTS



**24\"/>**



**ROCK ENERGY DISSIPATER DETAIL**  
C  
C7  
NTS

## EROSION/DUST CONTROL NOTES

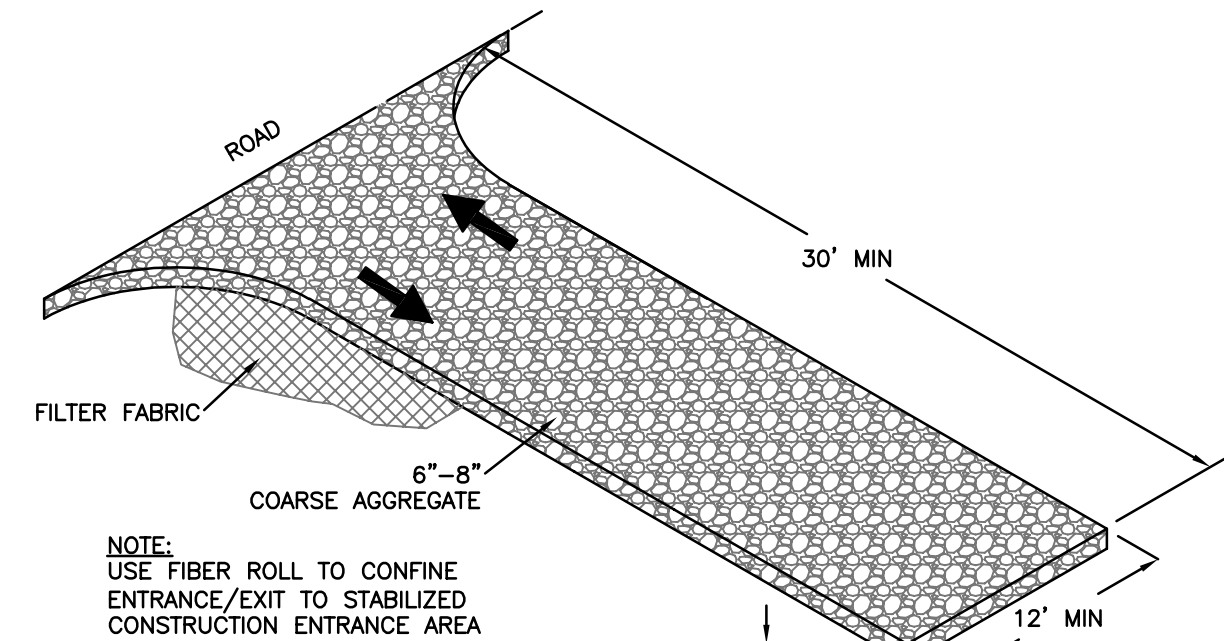
1. VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE.
2. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
  - A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES
  - C) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT.
3. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
4. ALL CUT AND FILL SLOPES EXPOSED DURING THE COURSE OF CONSTRUCTION SHALL BE COVERED, SEED, OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING SUBJECT TO THE APPROVAL OF THE DIRECTOR OF HCD-PLANNING AND HCD-BUILDING SERVICES. CONTRACTOR SHALL REVEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
6. THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
  - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
  - B) COVER STOCKPILE OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
  - C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
  - D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
8. CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT, DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT OR DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A) INSTALLATION OF SILT FENCES, FIBER ROLLS, INSTALLATION OF STORM DRAIN INLET PROTECTION, AND INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES. AT THE CONTRACTOR'S DISCRETION, ANY ONE OR A COMBINATION OF THESE MEASURES MAY BE USED ABOVE AND BEYOND WHAT IS SHOWN ON THE PLANS.
  - B) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
11. DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
12. PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

### CONCRETE WASHOUT

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER PROPER WASTE MANAGEMENT PROCEDURES. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

### MATERIAL DELIVERY AND STORAGE

1. LIQUIDS, PETROLEUM PRODUCTS, AND SUBSTANCES LISTED IN 40 CFR PARTS 110, 117, OR 302 SHOULD BE STORED IN APPROVED CONTAINERS AND DRUMS AND SHOULD NOT BE OVERFILLED. CONTAINERS AND DRUMS SHOULD BE PLACED IN TEMPORARY CONTAINMENT FACILITIES FOR STORAGE.
2. TEMPORARY CONTAINMENT FACILITY SHOULD PROVIDE FOR A SPILL CONTAINMENT VOLUME ABLE TO CONTAIN PRECIPITATION FROM A 25 YEAR STORM EVENT, PLUS THE AGGREGATE VOLUME OF ALL CONTAINERS OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER WITHIN ITS BOUNDARY, WHICHEVER IS GREATER.
3. A TEMPORARY CONTAINMENT FACILITY SHOULD BE IMPERVIOUS TO THE MATERIALS STORED THEREIN FOR A MINIMUM CONTACT TIME OF 72 HOURS.
4. A TEMPORARY CONTAINMENT FACILITY SHOULD BE MAINTAINED FREE OF ACCUMULATED RAINWATER AND SPILLS. IN THE EVENT OF SPILLS OR LEAKS, ACCUMULATED RAINWATER SHOULD BE COLLECTED AND PLACED INTO DRUMS; THESE LIQUIDS SHOULD BE HANDLED AS A HAZARDOUS WASTE UNLESS TESTING DETERMINES THEM TO BE NON-HAZARDOUS. ALL COLLECTED LIQUIDS OR NON-HAZARDOUS LIQUIDS SHOULD BE SENT TO AN APPROVED DISPOSAL SITE.
5. SUFFICIENT SEPARATION SHOULD BE PROVIDED BETWEEN STORED CONTAINERS TO ALLOW FOR SPILL CLEANUP AND EMERGENCY RESPONSE ACCESS.
6. INCOMPATIBLE MATERIALS, SUCH AS CHLORINE AND AMMONIA, SHOULD NOT BE STORED IN THE SAME TEMPORARY CONTAINMENT FACILITY.
7. THROUGHOUT THE RAINY SEASON, EACH TEMPORARY CONTAINMENT FACILITY SHOULD BE COVERED DURING NON-WORKING DAYS, PRIOR TO, AND DURING RAIN EVENTS.
8. MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS AND THE ORIGINAL PRODUCT LABELS SHOULD BE MAINTAINED IN PLACE IN A LEGIBLE CONDITION; DAMAGED OR OTHERWISE ILLLEGIBLE LABELS SHOULD BE REPLACED IMMEDIATELY.
9. BAGGED AND BOXED MATERIALS SHOULD BE STORED ON PALLETS AND SHOULD NOT BE ALLOWED TO ACCUMULATE ON THE GROUND. TO PROVIDE PROTECTION FROM WIND AND RAIN THROUGHOUT THE RAINY SEASON, BAGGED AND BOXED MATERIALS SHOULD BE COVERED DURING NON-WORKING DAYS AND PRIOR TO AND DURING RAIN EVENTS.
10. STOCKPILES SHOULD BE PROTECTED IN ACCORDANCE WITH CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES WM-3, STOCKPILE MANAGEMENT.
11. MATERIALS SHOULD BE STORED INDOORS WITHIN EXISTING STRUCTURES OR SHEDS WHEN AVAILABLE.
12. PROPER STORAGE INSTRUCTIONS SHOULD BE POSTED AT AREAS TIMES IN AN OPEN AND CONSPICUOUS LOCATIONS.
13. AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN MATERIAL SHOULD BE KEPT NEAR STORAGE AREAS.
14. KEEP AN ACCURATE, UP-TO-DATE INVENTORY OF MATERIAL DELIVERED AND STORED ONSITE.
15. ARRANGE FOR EMPLOYEES TRAINED IN EMERGENCY SPILL CLEANUP PROCEDURES TO BE PRESENT WHEN DANGEROUS MATERIALS OR LIQUID CHEMICALS ARE UNLOADED.



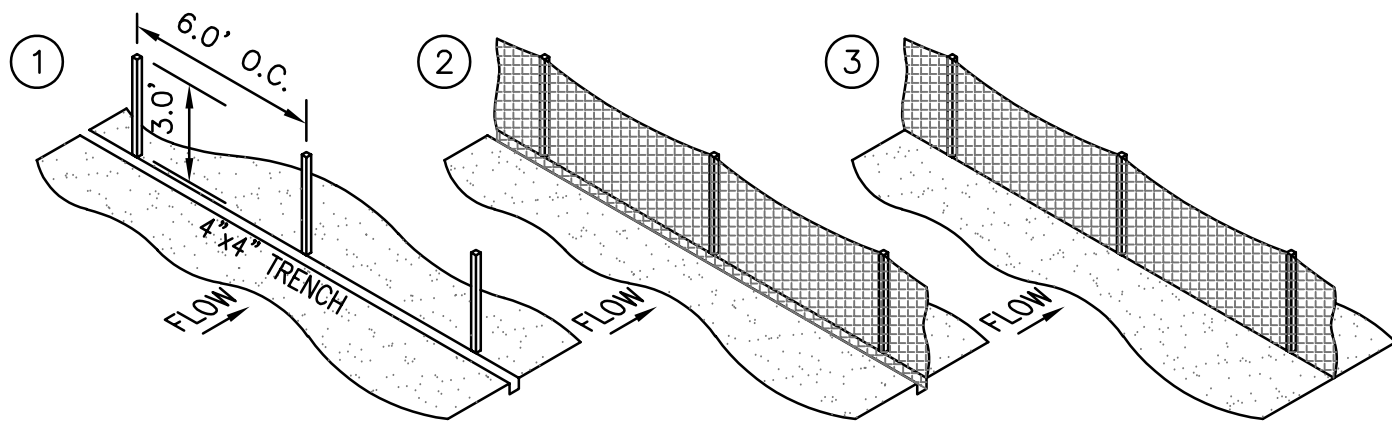
NOTE:  
USE FIBER ROLL TO CONFIN  
ENTRANCE/EXIT TO STABILIZED  
CONSTRUCTION ENTRANCE AREA

## STABILIZED CONSTRUCTION ENTRANCE

B  
C8

NTS

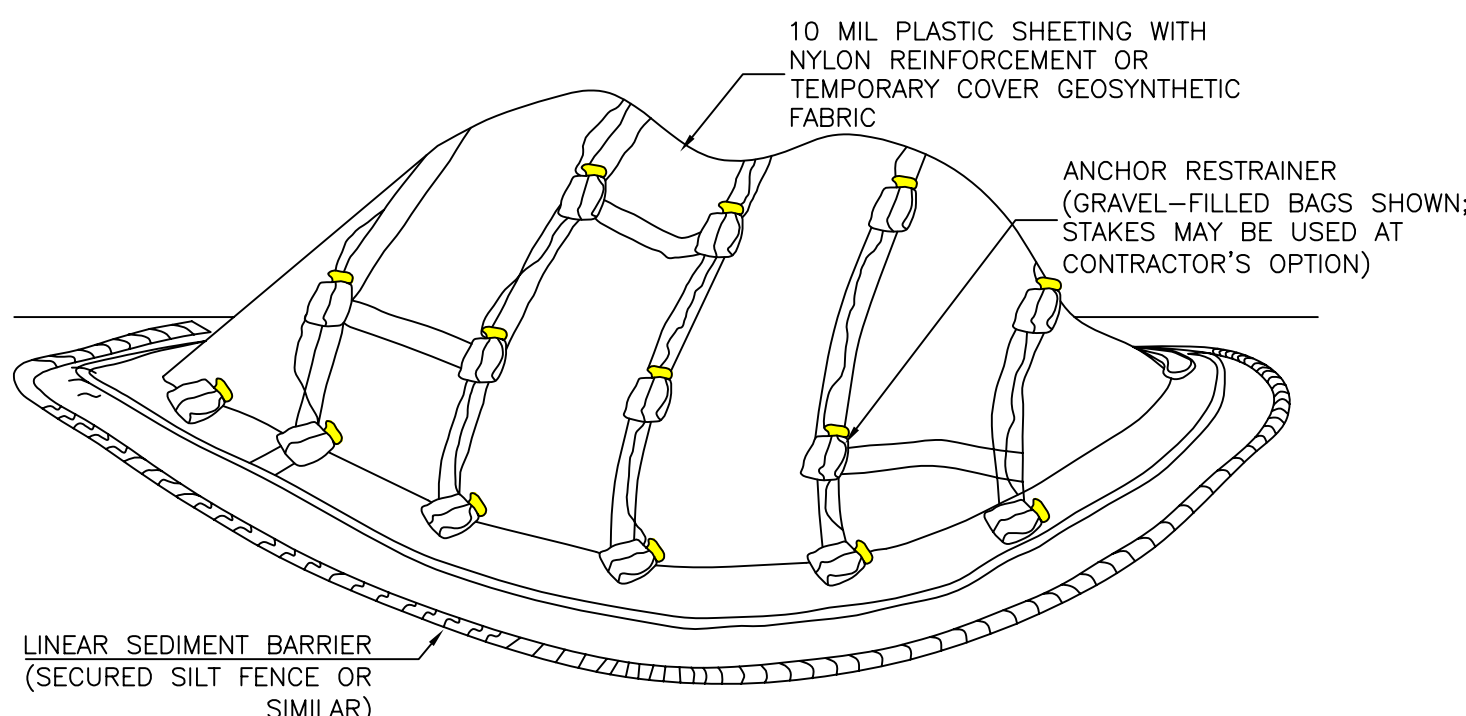
- TO BE USED DOWN SLOPE OF EXPOSED SOIL AREAS AND AROUND TEMPORARY SOIL STOCKPILES.
- INSTALLATION**
1. SET 4" LONG 2"x2" WOOD (OR 1.33 PLF STEEL) POSTS AS SHOWN. EXCAVATE A 4"x4" TRENCH UP SLOPE ALONG THE LINE OF POSTS.
  2. ATTACH SILT FENCE TO POSTS PER MANUFACTURER'S SPECIFICATIONS. EXTEND FABRIC INTO TRENCH.
  3. BACKFILL TRENCH AND HAND COMPACT EXCAVATED SOIL.



## SILT FENCE DETAIL

C  
C8

NTS

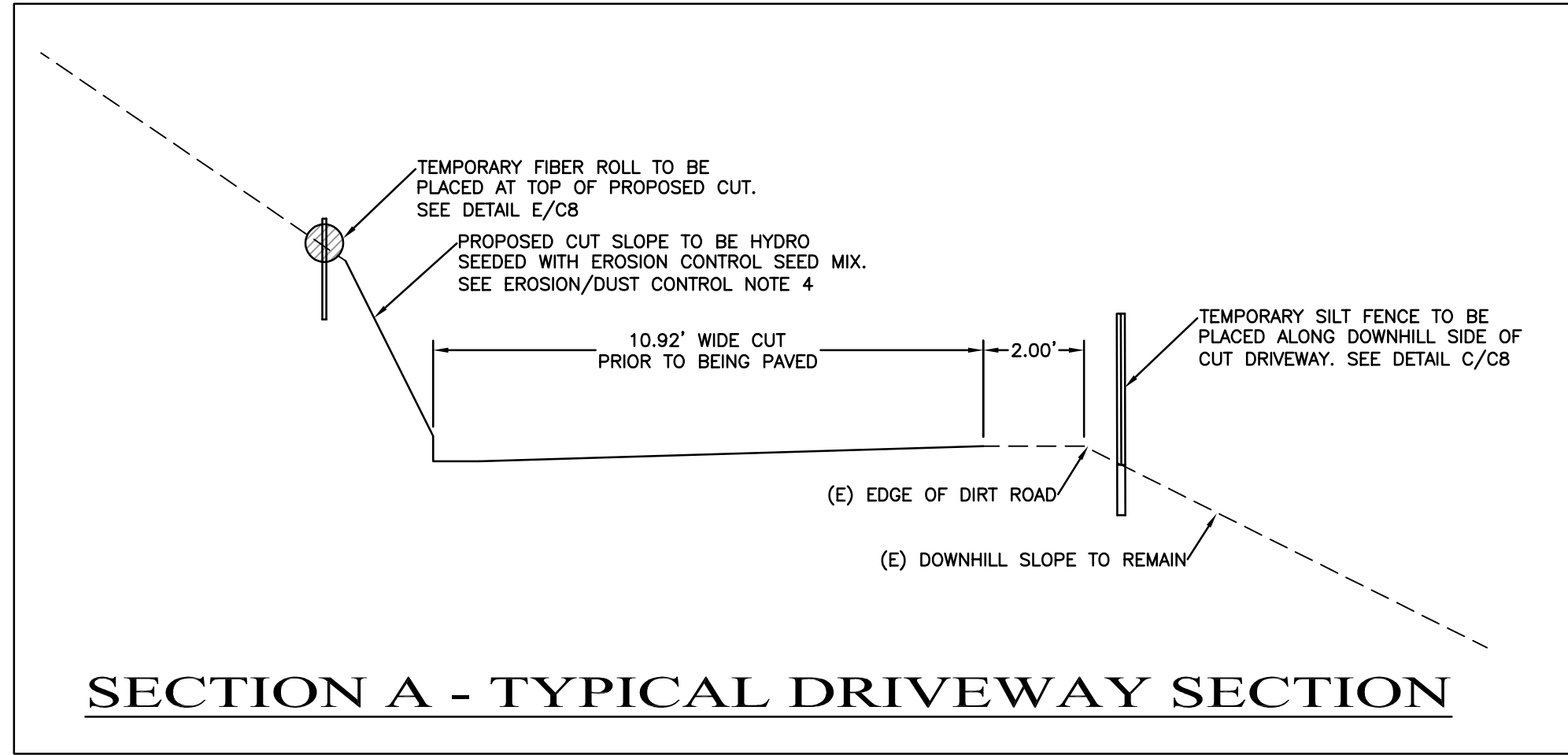


- NOTES:**
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
  2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
  3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
  4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
  5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

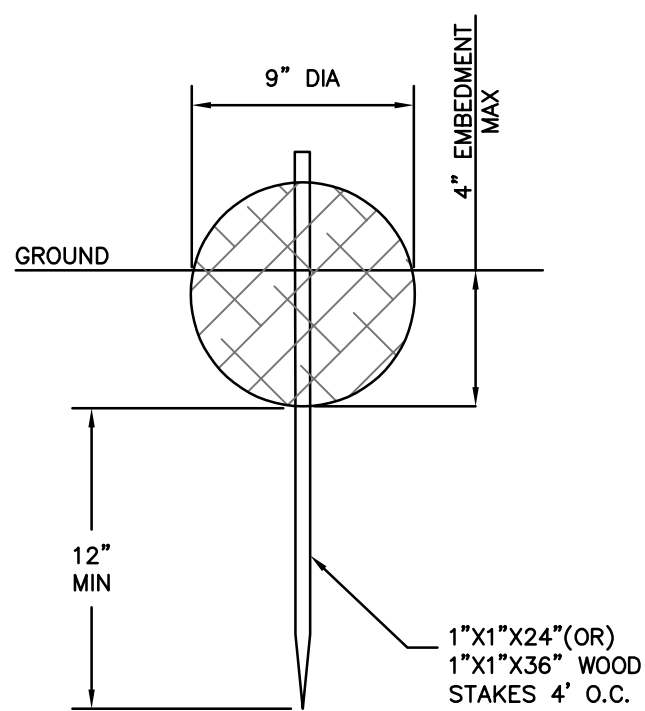
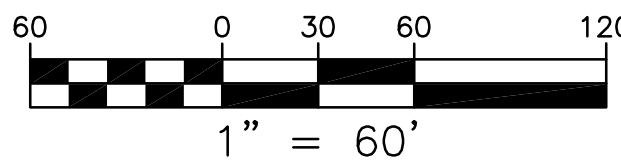
## STOCKPILE COVER DETAIL

D  
C8

NTS



## SECTION A - TYPICAL DRIVEWAY SECTION



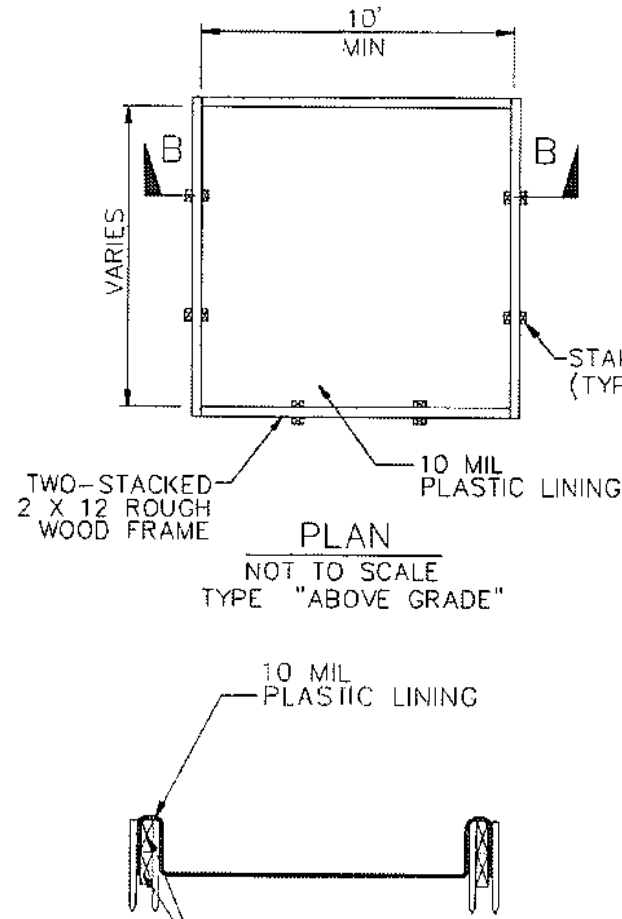
### INSTALLATION

1. USE 1"x1"x2" OR 1"x1"x3" WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
2. POSITION FIBER ROLLS END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
3. PLACE FIBER ROLLS SECURELY IN A TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.

## FIBER ROLL

E  
C8

NTS



### SECTION B-B NOT TO SCALE

NTS

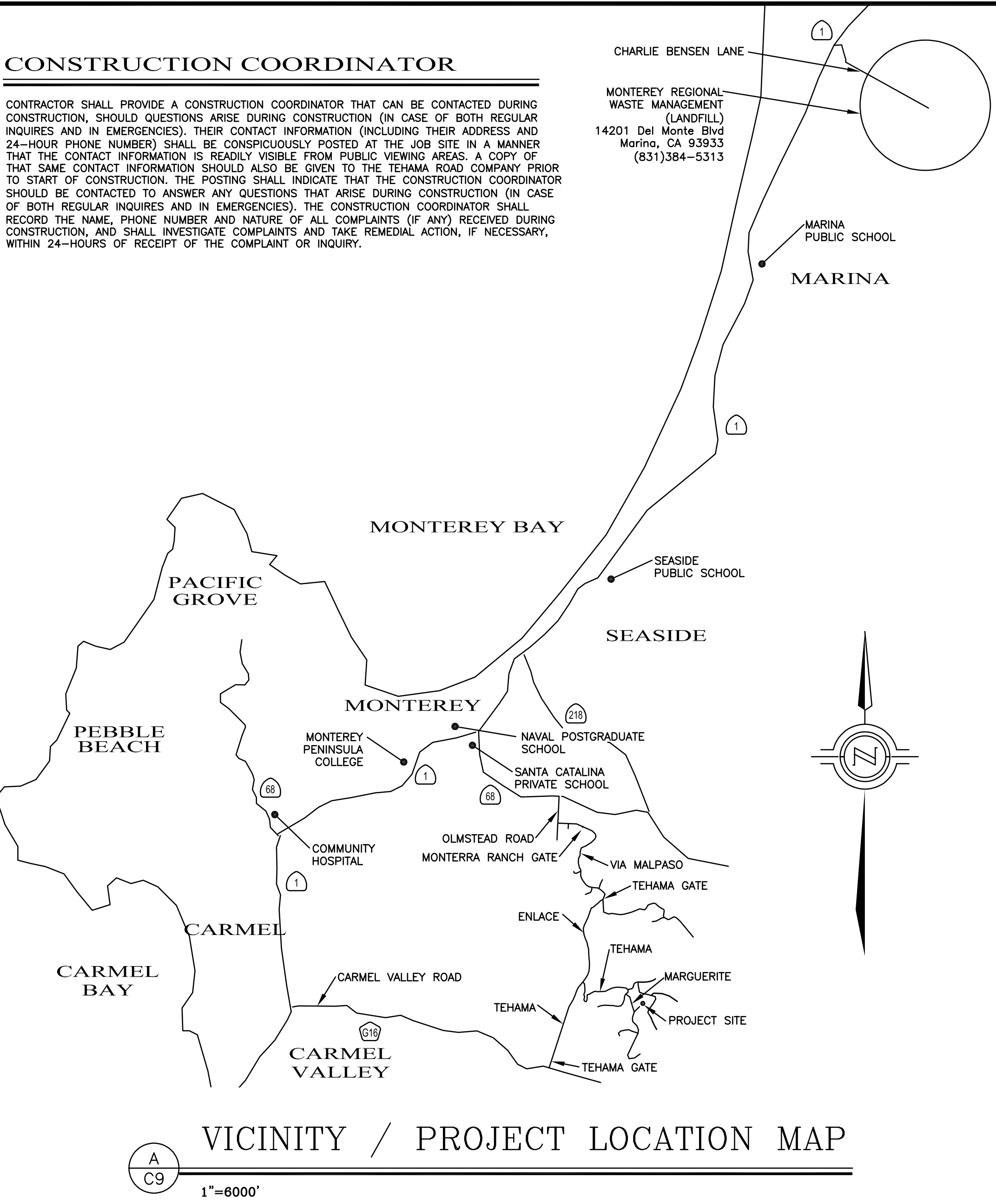
## CONCRETE WASHOUT

F  
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NTS

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION SHOULD QUESTIONS ARISE. DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBER) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. A COPY OF THAT SAME CONTACT INFORMATION SHOULD ALSO BE GIVEN TO THE TEHAMA ROAD COMPANY PRIOR TO START OF CONSTRUCTION. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



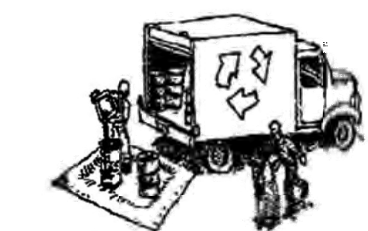
CONSTRUCTION NOTES

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – FRIDAY, 8AM TO 5PM (EXCLUDING NATIONAL HOLIDAYS).
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STOP WORK WITHIN 50 METERS (165 FT) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY HCD-PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.
- EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE BMP HANDOUT ON THIS SHEET.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER). SEE BMP HANDOUT ON THIS SHEET.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 – DUST CONTROL):
  - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE.
    - NOT APPLICABLE TO SITE.
  - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
  - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS. NOT APPLICABLE TO SITE.
  - APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA.
    - NOT APPLICABLE TO SITE.
  - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
  - COVER ALL TRUCKS HAULING DIRT, SAND OR LOOSE MATERIALS.
  - PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION.
    - NOT APPLICABLE TO SITE.
  - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
  - COVER INACTIVE STORAGE PILES.
  - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS – NOT APPLICABLE TO SITE.
  - PAVE ALL ROADS ON CONSTRUCTION SITES PRIOR TO USE BY CONSTRUCTION EQUIPMENT – NOT APPLICABLE TO SITE.
  - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.
  - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBUAPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
  - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME.
- THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. WHERE POSSIBLE, NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES. WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE.
- THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE VICINITY/PROJECT LOCATION MAP ON THIS SHEET.
- THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS.
- THE PROJECT SITE WILL EXPECT NO MORE THAN 5 TRUCK DELIVERIES PER DAY.



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long



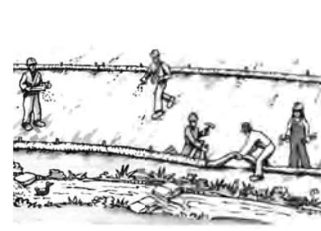
MATERIALS & WASTE MANAGEMENT

- Non-Hazardous Materials**
- Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- Spill Prevention and Control**
- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks immediately. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

- Erosion Control**
- Schedule grading and excavation work for dry weather only.
  - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
  - Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Sediment Control**
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
  - Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
  - Keep excavated soil on the site where it will not collect into the street.
  - Transfer excavated materials to dump trucks on the site, not in the street.
  - Contaminated Soils
    - If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
      - Unusual soil conditions, discoloration, or odor.
      - Abandoned underground tanks
      - Abandoned wells
      - Buried barrels, debris, or trash.



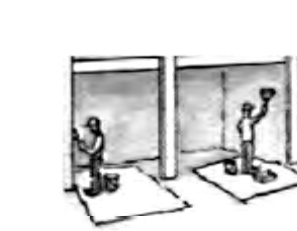
PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
  - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
  - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
  - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
  - If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



PAINTING & PAINT REMOVAL

- Painting cleanup**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
  - For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
  - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.
- Paint Removal**
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
  - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



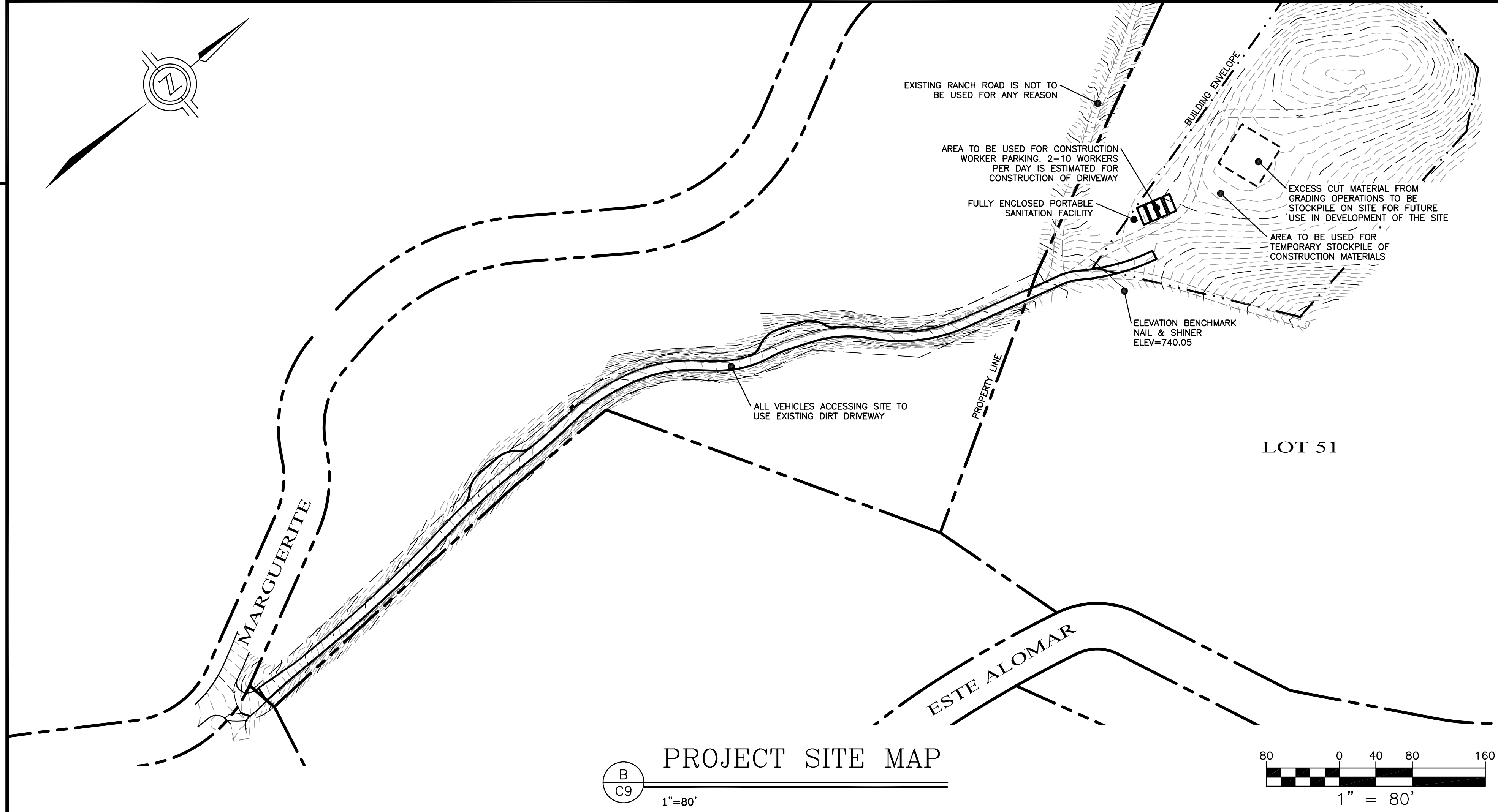
LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

**To Report a Spill: Call 911 or (831) 394-6811**  
If you see paint, cement, motor oil, antifreeze or other hazardous materials flowing into or being dumped into a storm drain, immediately call 911 to report it.

| Additional Contact Numbers (Non-Emergency): |                |
|---------------------------------------------|----------------|
| City of Carmel by the Sea:                  | (831) 626-2000 |
| City of Del Rey Oaks:                       | (831) 394-8511 |
| City of Monterey:                           | (831) 648-3921 |
| City of Pacific Grove:                      | (831) 648-5722 |
| City of San Jose:                           | (831) 394-3054 |
| City of Seaside:                            | (831) 899-6825 |
| County of Monterey:                         | (831) 755-4800 |

3/3/2015



**L&S ENGINEERING AND SURVEYING, INC.**  
2400 Garden Road, Suite G, Monterey, California 93940  
P: 831.655.2723 F: 831.655.3425  
LandSengineers.com

**REGISTERED PROFESSIONAL ENGINEER**  
**CHRISTOPHER J. STOKES**  
No. 59665  
EXP. 12-31-25  
CIVIL  
STATE OF CALIFORNIA

**DRAWN BY:** MRS  
**DESIGNED BY:** MRS  
**DATE:** 10-27-2025  
**SCALE:** AS SHOWN  
**JOB NUMBER:** 25-41  
**LAST REVISED:** N/A  
**REVISED BY:** N/A

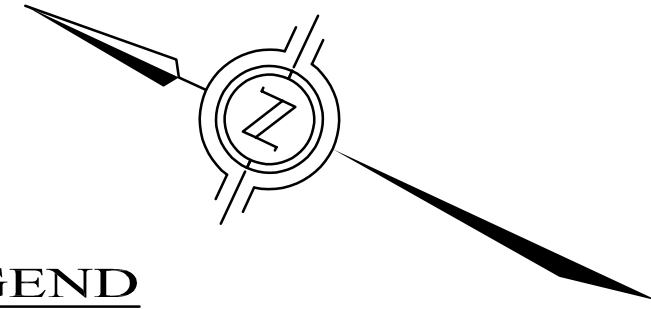
**CONSTRUCTION MANAGEMENT PLAN**

**DRIVEWAY GRADING PLANS**  
**51 MARGUERITE**  
**CARMEL, CALIFORNIA 93923**  
**(TEHAMA LOT 51)**  
**APN 169-421-022**

SHEET C9

OF

9 SHEETS



LEGEND

- (N) BUILDING. SEE ARCHITECTURAL PLANS
- EXISTING SLOPE EQUAL TO OR GREATER THAN 25%. 176 SFT OF DEVELOPMENT IS PROPOSED ON SLOPES EQUAL TO OR GREATER THAN 25%

BUILDING SITE  
EARTHWORK

CUT=2070 CY  
FILL=1520 CY  
NET=550 CY CUT

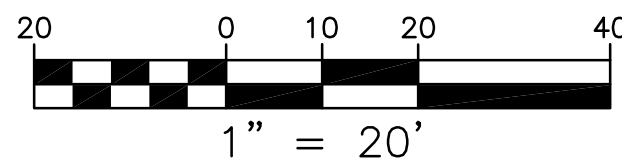
EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO FINISHED GRADE AND ARE ESTIMATES ONLY. A 15% COMPACTION RATIO WAS ASSUMED FOR FILL LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE QUANTITIES BY PERFORMING HIS OWN CALCULATIONS.

DRIVEWAY EXCESS  
STOCKPILED DIRT=763 CY

FROM APPROVED DRIVEWAY DESIGN UP TO BUILDING ENVELOPE (CONSTRUCTION UNDER SEPARATE PERMIT)

NET OFFHAUL=1313 CY

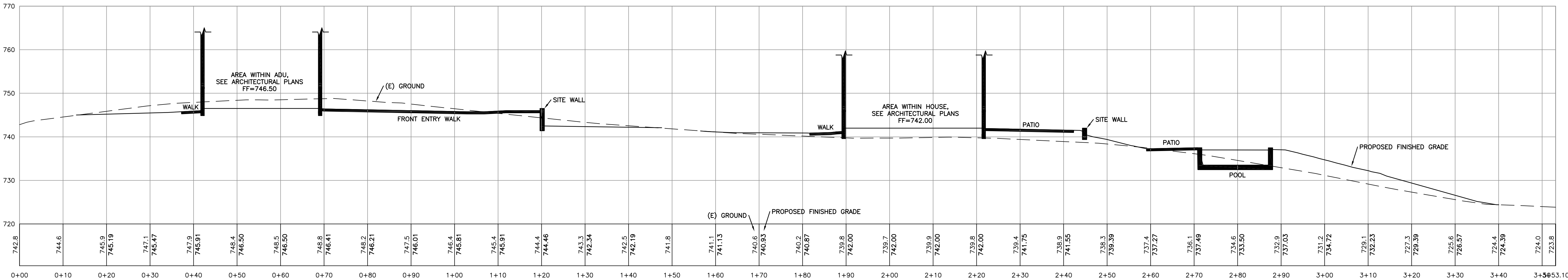
NOTE:  
ALL TREES TO BE PROTECTED IN PLACE UNLESS SHOWN OTHERWISE. SEE ARBORIST REPORT FOR TREE PROTECTION AND ADDITIONAL INFORMATION  
X TREE TO BE REMOVED (NO TREES ARE PROPOSED FOR REMOVAL)



A  
C1

OVERALL GRADING PLAN

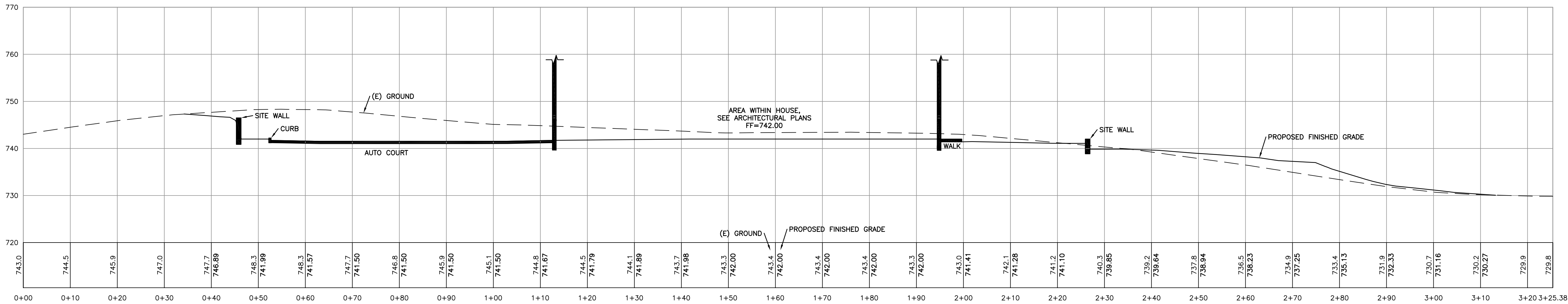
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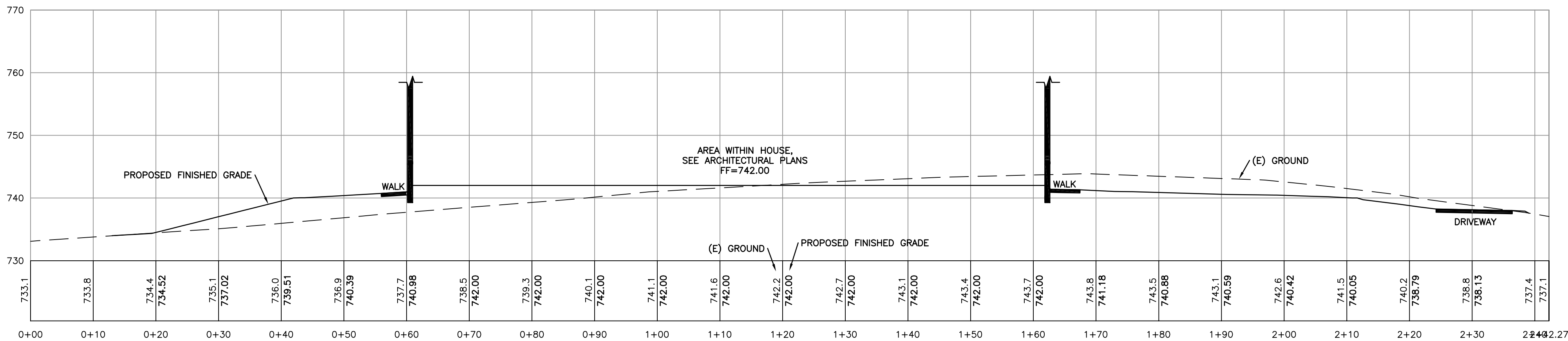
B  
C1

SITE CROSS SECTION – LOOKING NORTH EAST

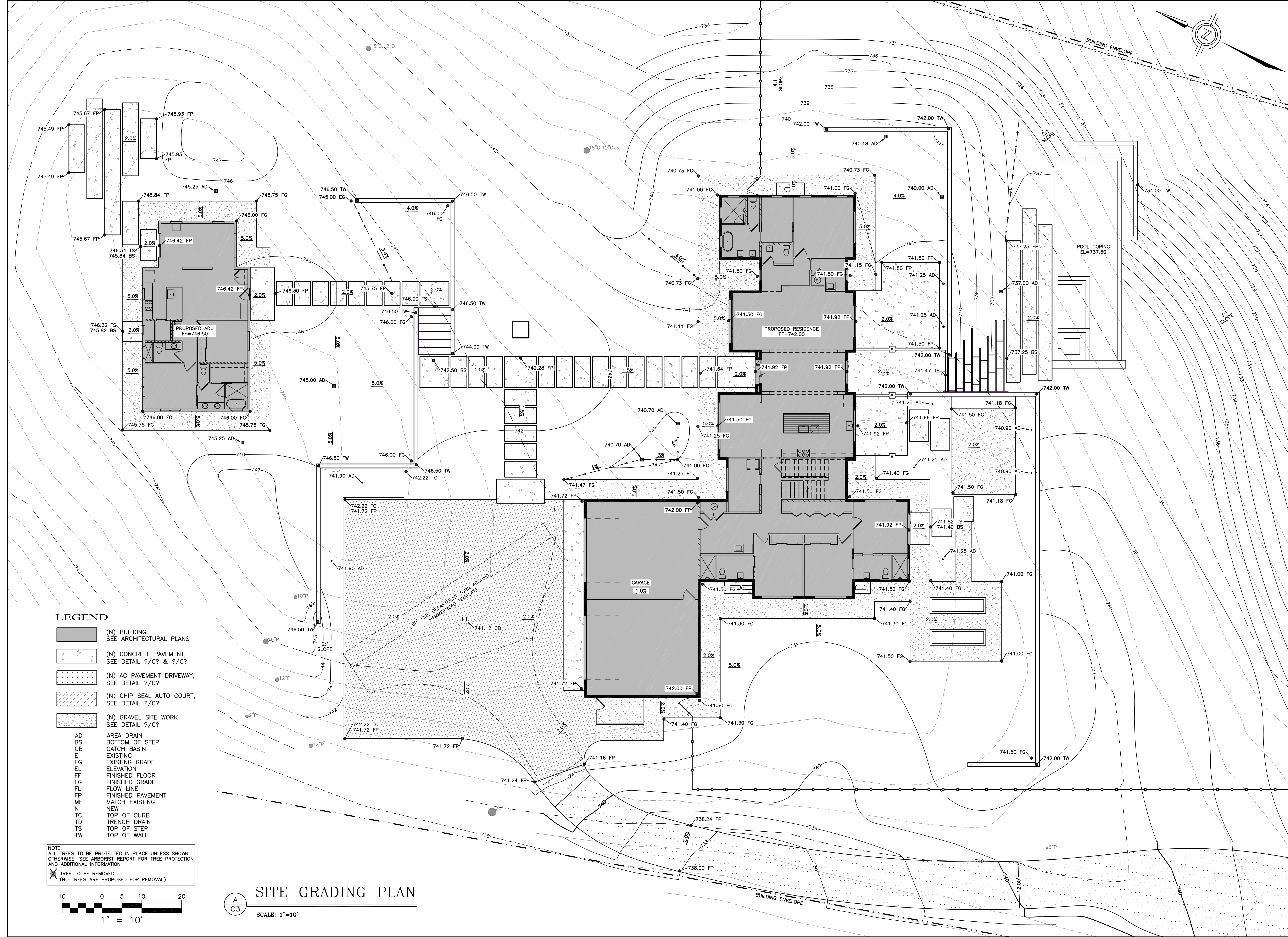
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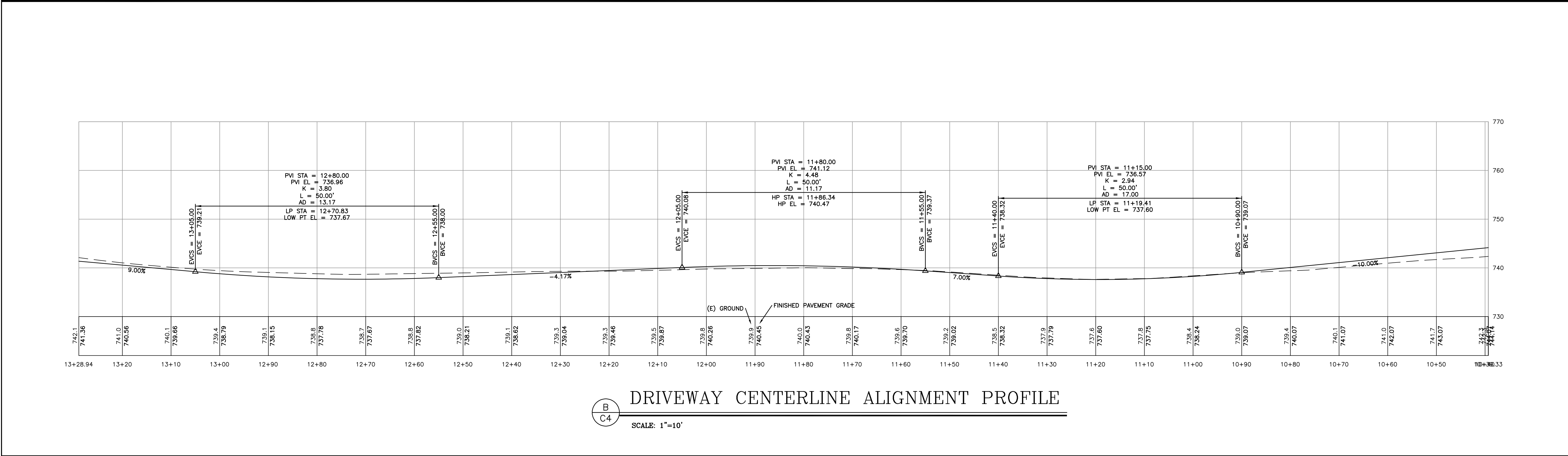
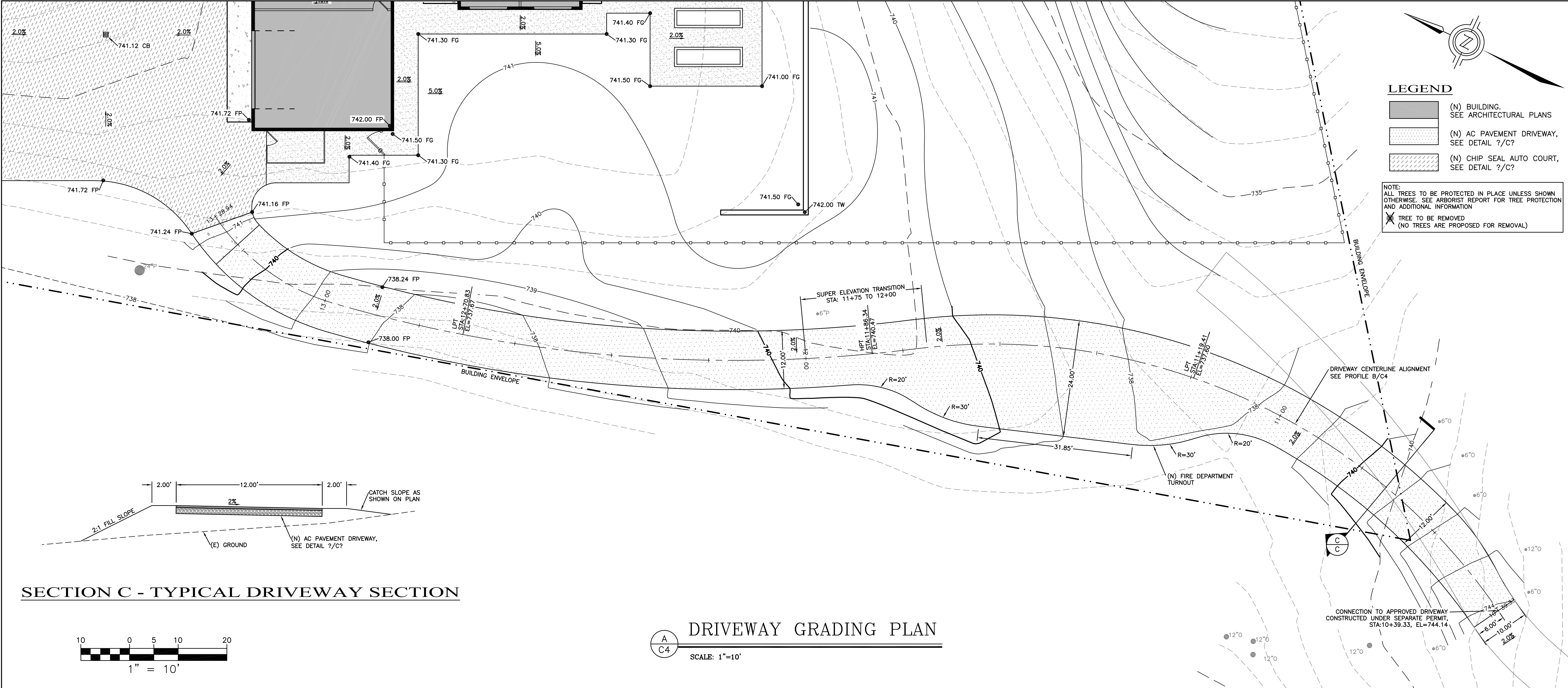


A  
C2  
SITE CROSS SECTION – LOOKING NORTH EAST  
SCALE: 1"=12'



B  
C2  
SITE CROSS SECTION – LOOKING SOUTH EAST  
SCALE: 1"=12'





AGD  
ARCHITECTURE | DESIGN

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| REVISIONS                          |
|------------------------------------|
| REV #   REV DATE   REV DESCRIPTION |

SEAL

NOT FOR CONSTRUCTION

PROJECT

WILLIAMS RESIDENCE

51 MARGUERITE  
CARMEL, CA 93923  
APN: 169-421-022-000

CLIENT

OWNER: JASON & PAM WILLIAMS

SHEET TITLE

DRIVEWAY GRADING PLAN

PHASE DESCRIPTION

PLANNING SUBMITTAL

DATE:

3/13/2026

TECHNICIAN:

TN

PROJECT MANAGER:

MRS

JOB NUMBER:

25-41

SHEET NUMBER

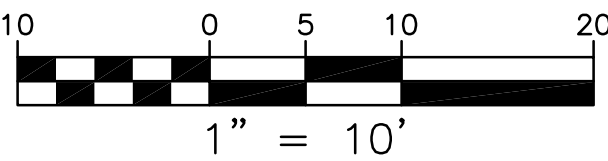
C13

STORM WATER RUNOFF MITIGATION NOTE:  
1. THIS PROPERTY IS PART OF THE TEHAMA SUBDIVISION. THE SUBDIVISION HAS A SERIES OF DETENTION/RETENTION BASINS INCORPORATED INTO ITS OVERALL LAYOUT TO MITIGATE STORM WATER RUNOFF FROM INTERNAL ROADS AND ALL FUTURE LOT CONSTRUCTION. FOR ADDITIONAL INFORMATION SEE MONTEREY COUNTY APPROVED DRAINAGE REPORTS PREPARED FOR TEHAMA (FORMERLY KNOWN AS CANADA WOODS AND CANADA WOODS NORTH). THIS SUBDIVISION IS NOT WITHIN THE NPDES MUNICIPAL GENERAL PERMIT BOUNDARY.  
2. STORM WATER RUNOFF FROM THE PROPOSED RESIDENCE IS TO BE COLLECTED BY THE STORM DRAIN SYSTEM SHOWN AND DISPERSED AT MULTIPLE POINTS AWAY FROM THE RESIDENCE. STORM WATER RUNOFF WILL CONTINUE OVERLAND UNTIL IT IS COLLECTED UP BY THE NATURAL DRAINAGE RAVINE THAT RUNS THROUGH THE PROPERTY. RUNOFF FROM THIS LOT WILL ULTIMATELY END UP IN TEHAMA DETENTION/RETENTION POND R FOR MITIGATION AS PREVIOUSLY APPROVED BY MONTEREY COUNTY.  
3. PROPOSED SINGLE FAMILY RESIDENCE  
TOTAL PRE-PROJECT OR REPLACED IMPERVIOUS AREA = 0 SFT  
TOTAL POST-PROJECT OR NEW IMPERVIOUS AREA = ? SFT  
TOTAL POST-PROJECT OR NEW PERVIOUS AREA (GRAVEL AREA) = ? SFT  
4. PROJECT SITE WITHIN WATERSHED MANAGEMENT ZONE ?

A  
C5

## STORMWATER CONTROL PLAN

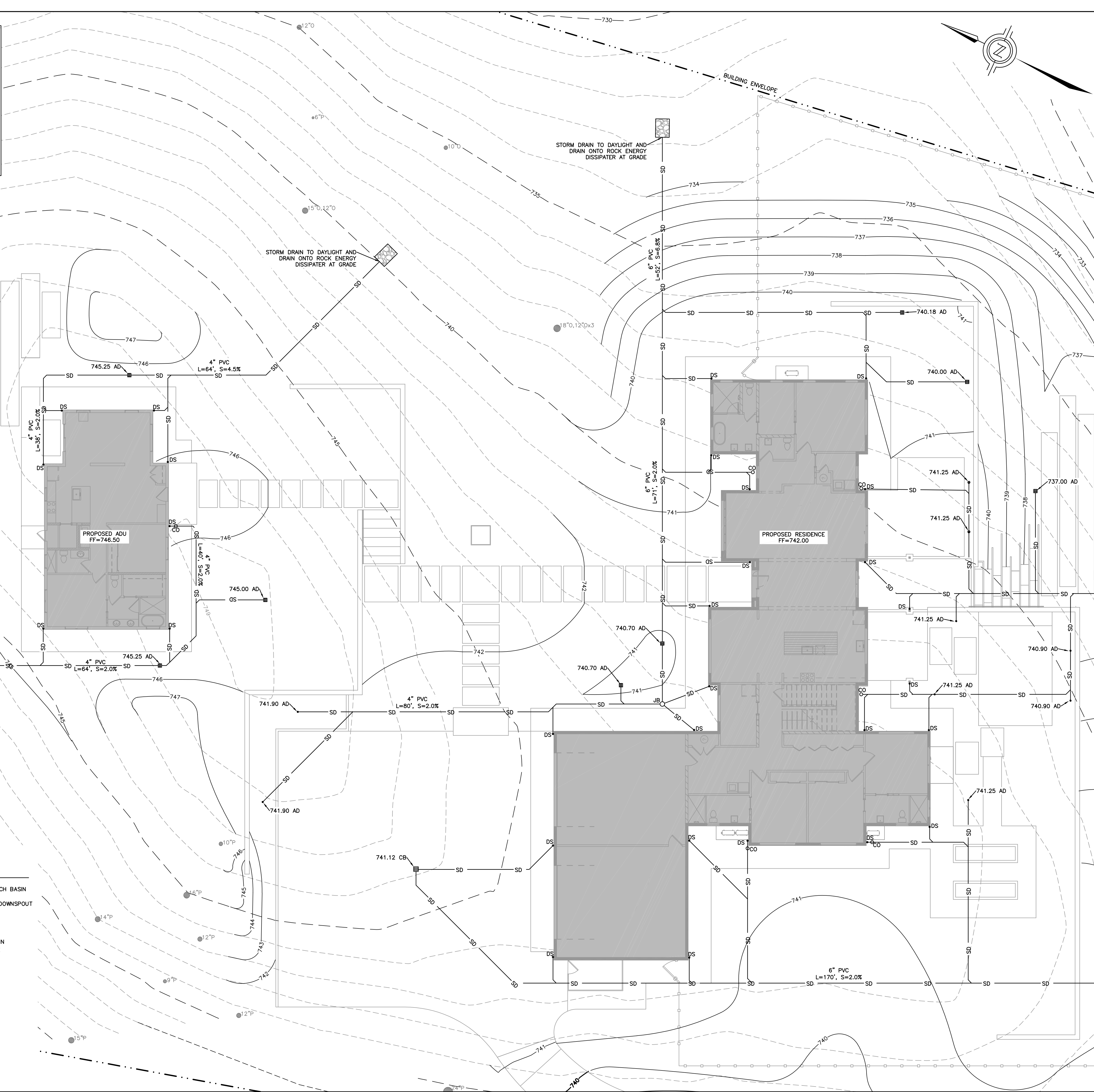
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### LEGEND

- |          |                                       |
|----------|---------------------------------------|
|          | (N) AREA DRAIN/CATCH BASIN (AD OR CB) |
| • DS     | (N) ROOF DRAINAGE DOWNSPOUT           |
| ○ JB     | (N) JUNCTION BOX                      |
| ○ CO     | (N) CLEANOUT                          |
| — SD     | (N) STORM DRAIN                       |
| — WD     | (N) WALL DRAIN                        |
| — FD     | (N) FOUNDATION DRAIN                  |
| — D      | (N) SOLID DRAIN LINE                  |
| - - - SD | (E) STORM DRAIN                       |

STORM DRAIN NOTES:  
1. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0%, UNLESS NOTED OTHERWISE.  
2. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).  
3. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.  
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.  
5. FOUNDATION DRAINAGE TO BE DESIGNED BY OTHERS. FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.  
6. PVC REDUCERS TO BE USED AS NECESSARY TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.  
7. 45° WYE FITTING TO BE USED AT ALL STORM DRAIN PIPE INTERSECTIONS AS SHOWN.  
8. SEE 1/C6 FOR TRENCHING DETAIL.



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ARCHITECTURE | DESIGN

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REV # | REV DATE | REV DESCRIPTION

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### PROJECT

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STORMWATER CONTROL PLAN

### PHASE DESCRIPTION

PLANNING SUBMITTAL

DATE: 3/13/2026

TECHNICIAN: TN

PROJECT MANAGER: MRS

JOB NUMBER: 25-41  
SHEET NUMBER

C14

STORM WATER RUNOFF MITIGATION NOTE:  
1. THIS PROPERTY IS PART OF THE TEHAMA SUBDIVISION. THE SUBDIVISION HAS A SERIES OF DETENTION/RETENTION BASINS INCORPORATED INTO ITS OVERALL LAYOUT TO MITIGATE STORM WATER RUNOFF FROM INTERNAL ROADS AND ALL FUTURE LOT CONSTRUCTION. FOR ADDITIONAL INFORMATION SEE MONTEREY COUNTY APPROVED DRAINAGE REPORTS PREPARED FOR TEHAMA (FORMERLY KNOWN AS CANADA WOODS AND CANADA WOODS NORTH). THIS SUBDIVISION IS NOT WITHIN THE NPDES MUNICIPAL GENERAL PERMIT BOUNDARY.  
2. STORM WATER RUNOFF FROM THE PROPOSED RESIDENCE IS TO BE COLLECTED BY THE STORM DRAIN SYSTEM SHOWN AND DISPERSED AT MULTIPLE POINTS AWAY FROM THE RESIDENCE. STORM WATER RUNOFF WILL CONTINUE OVERLAND UNTIL IT IS COLLECTED UP BY THE NATURAL DRAINAGE RAVINE THAT RUNS THROUGH THE PROPERTY. RUNOFF FROM THIS LOT WILL ULTIMATELY END UP IN TEHAMA DETENTION/RETENTION POND R FOR MITIGATION AS PREVIOUSLY APPROVED BY MONTEREY COUNTY.  
3. PROPOSED SINGLE FAMILY RESIDENCE  
TOTAL PRE-PROJECT OR REPLACED IMPERVIOUS AREA = 0 SFT  
TOTAL POST-PROJECT OR NEW IMPERVIOUS AREA = ? SFT  
TOTAL POST-PROJECT OR NEW PERVIOUS AREA (GRAVEL AREA) = ? SFT  
4. PROJECT SITE WITHIN WATERSHED MANAGEMENT ZONE ?

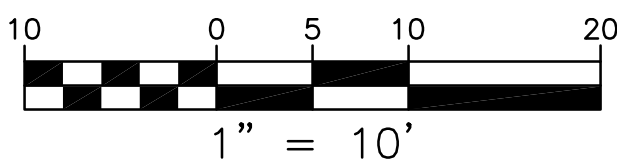
STORM DRAIN NOTES:  
1. ALL STORM DRAIN LATERALS ARE 4" PVC OR HDPE AND HAVE A MINIMUM SLOPE OF 2.0%, UNLESS NOTED OTHERWISE.  
2. ALL STORM DRAIN PIPE TO BE SDR-35 PVC (OR STRONGER) OR ADS N-12 HDPE PIPE (OR EQUIVALENT).  
3. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.  
4. ALL WALLS AND DRAINAGE BEHIND WALLS TO BE DESIGNED BY OTHERS. WALL DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.  
5. FOUNDATION DRAINAGE TO BE DESIGNED BY OTHERS. FOUNDATION DRAINS ARE NOT TO BE CONNECTED TO THE STORM DRAIN SYSTEM AND ARE TO USE STUBS SHOWN.  
6. PVC REDUCERS TO BE USED AS NECESSARY TO CONNECT GRATES AND HOUSING TO PVC PIPE SHOWN. WYE FITTING TO BE USED AT AREA DRAIN LOCATIONS WITH NO BOX.  
7. 45° WYE FITTING TO BE USED AT ALL STORM DRAIN PIPE INTERSECTIONS AS SHOWN.  
8. SEE 1/C6 FOR TRENCHING DETAIL

LEGEND

- |  |                                       |
|--|---------------------------------------|
|  | (N) AREA DRAIN/CATCH BASIN (AD OR CB) |
|  | (N) ROOF DRAINAGE DOWNSPOUT           |
|  | (N) JUNCTION BOX                      |
|  | (N) CLEANOUT                          |
|  | (N) STORM DRAIN                       |
|  | (N) WALL DRAIN                        |
|  | (N) FOUNDATION DRAIN                  |
|  | (N) SOLID DRAIN LINE                  |
|  | (E) STORM DRAIN                       |

STORMWATER CONTROL PLAN CONTINUED

SCALE: 1"=10'



REVISIONS

REV # | REV DATE | REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT

WILLIAMS RESIDENCE

51 MARGUERITE  
CARMEL, CA 93923  
APN: 169-421-022-000

CLIENT

OWNER: JASON & PAM  
WILLIAMS

SHEET TITLE  
STORMWATER  
CONTROL PLAN  
CONTINUED

PHASE DESCRIPTION

PLANNING SUBMITTAL

DATE: 3/13/2026

TECHNICIAN: TN

PROJECT MANAGER: MRS

JOB NUMBER: 25-41  
SHEET NUMBER

## REVISIONS

REV # | REV DATE | REV DESCRIPTION

## SEAL

NOT FOR  
CONSTRUCTION

## PROJECT

WILLIAMS RESIDENCE

51 MARGUERITE  
CARMEL, CA 93923  
APN: 169-421-022-000

## CLIENT

OWNER: JASON & PAM  
WILLIAMS

## SHEET TITLE

SITE UTILITY PLAN

## PHASE DESCRIPTION

PLANNING SUBMITTAL

DATE: 3/13/2026

TECHNICIAN: TN

PROJECT MANAGER: MRS

JOB NUMBER: 25-41

SHEET NUMBER

C16

UTILITY NOTES:  
1. STORM DRAIN AND SANITARY SEWER INVERTS TO GOVERN UTILITY LINE INSTALLATIONS.  
2. ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND AND INSTALLED WITH PIPE MANUFACTURER'S RECOMMENDED BENDING RADIUS.  
3. ALL ELECTRICAL, TV, COMMUNICATION, AND GAS LINES TO BE COORDINATED BY GENERAL CONTRACTOR.  
4. CANADA WOODS TREATMENT COMPANY STANDARD PLANS AND SPECIFICATIONS TO BE FOLLOWED THROUGHOUT THE INSTALLATION OF THE WASTE SYSTEM. SEPTIC TANKS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.  
5. CONCRETE RISERS AND CAST IRON RINGS AND COVERS ON ALL TANK ACCESS OPENINGS PER CANADA WOODS TREATMENT COMPANY STANDARDS. SEE DETAIL 7/C?  
6. THIS SITE UTILIZES A SEPTIC TANK THAT TIES INTO THE CANADA WOODS TREATMENT COMPANY'S OVERALL SEWAGE DISPOSAL SYSTEM FOR TEHAMA.  
7. SEE 7/C? FOR TRENCHING DETAIL.

## LEGEND

|     |                            |
|-----|----------------------------|
| ○CO | (N) CLEAN-OUT              |
| —SD | (N) STORM DRAIN            |
| —WD | (N) WALL DRAIN             |
| —D  | (N) SOLID DRAIN LINE       |
| —SS | (N) GRAVITY SANITARY SEWER |
| —W  | (N) WATER SERVICE          |
| —JT | (N) JOINT UTILITY TRENCH   |
| —SD | (E) STORM DRAIN            |
| —SS | (E) SANITARY SEWER         |
| —W  | (E) WATER SERVICE          |
| —JT | (E) JOINT UTILITY TRENCH   |

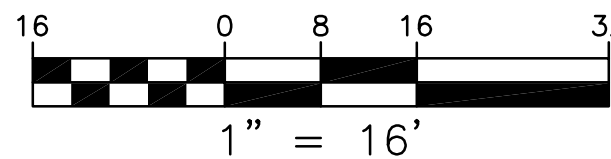
## KEYNOTES:

- CONTRACTOR TO CONNECT (N) 6" FIRE HYDRANT WATER SERVICE TO 6" FIRE HYDRANT WATER SERVICE IN DRIVEWAY.
- (N) 6" PVC GLASS 150 C900 FIRE HYDRANT WATER SERVICE LINE.
- (N) FIRE WATER SERVICE LINE TO SHARE TRENCH W/ (N) WATER SERVICE LINE, SEE DETAIL 7/C?
- (N) FIRE HYDRANT LOCATION, SEE DETAIL 7/C?. CONTRACTOR TO ADJUST GRADING AS NEEDED SO CENTER OF HYDRANT IS SET 48" FROM EDGE OF DRIVEWAY.
- CONTRACTOR TO CONNECT (N) 3" WATER SERVICE TO 3" WATER SERVICE IN DRIVEWAY.
- (N) 3" PVC SCHEDULE 80 WATER SERVICE LINE.
- (N) WATER SERVICE LINE TO SHARE TRENCH WITH SEWER SERVICE, SEE DETAIL 7/C?
- (N) WATER SERVICE BUILDING POINT OF CONNECTION (AT MECH ROOM). CONTRACTOR TO INSTALL SERVICE SHUTOFF VALVE ABOVE GRADE PRIOR TO CONNECTING TO BUILDING. SEE PLUMBING PLANS.
- CONTRACTOR TO CONNECT (N) JOINT UTILITY TRENCH TO JOINT UTILITY TRENCH IN DRIVEWAY. CONTRACTOR TO COORDINATE CONNECTIONS WITH PG&E AND UTILITY SERVICE PROVIDERS.
- (N) JOINT UTILITY SERVICE TRENCH TO BE DESIGNED BY OTHERS. CONTRACTOR TO COORDINATE WORK W/ PG&E.
- (N) ELECTRICAL AND GAS SERVICE CONNECTION TO BUILDING. CONTRACTOR TO COORDINATE WORK W/ PG&E. SEE ELECTRICAL AND PLUMBING PLANS FOR ROUTING OF ELECTRICAL AND GAS SERVICE LINES TO ADU AFTER MAIN RESIDENCE CONNECTION LOCATION.
- (N) SANITARY SEWER 2-WAY CLEAN-OUT AT CONNECTION TO BUILDING, SEE DETAIL 7/C?. 4" SS INV=737.65
- (N) 4" SDR 26 PVC SANITARY SEWER, L=57', S=2.0%
- (N) 45" WYE CONNECTION, 4" SS INV=736.51
- (N) SANITARY SEWER 2-WAY CLEAN-OUT AT CONNECTION TO BUILDING, SEE DETAIL 7/C?. 4" SS INV=742.67
- (N) 4" SDR 26 PVC SANITARY SEWER, L=39', S=2.0%
- SEE DETAIL 7/C? FOR ROUTING OF SEWER AT BACK OF RETAINING WALL.
- (N) SANITARY SEWER 2-WAY CLEAN-OUT, SEE DETAIL 7/C?. 4" SS INV=740.17
- (N) 4" SDR 26 PVC SANITARY SEWER, L=166', S=2.2%
- (N) 4" SDR 26 PVC SANITARY SEWER, L=95', S=2.0%
- (N) JENSEN PRECAST JZ-4000 GALLON COMMERCIAL SEPTIC TANK, OR EQUIVALENT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LIDS=739.50 & 738.50, TOP OF TANK=735.85, 4" SS INV IN=734.60, 4" SS INV OUT=734.35
- (N) SANITARY SEWER 2-WAY CLEAN-OUT INSTALLED ON EITHER SIDE OF TANK AS SHOWN, SEE DETAIL 7/C?
- (N) SEPTIC TANK CONCRETE RISER W/ CAST IRON RING AND COVER PER CANADA WOODS TREATMENT COMPANY, SEWER UTILITY PROVIDER, STANDARDS. TYPICAL OF ALL SEPTIC TANK ACCESS OPENINGS. SEE DETAIL 7/C?
- (N) JENSEN PRECAST JS-1500 GALLON RESIDENTIAL SEPTIC TANK CAST WITHOUT BAFFLE, OR EQUIVALENT, TO ACT AS SEWER PUMP CHAMBER, SEE DETAIL 7/C?. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LIDS=738.00 & 737.50, TOP OF TANK=735.13, 4" SS INV IN=734.29, BOTTOM OF TANK=729.46
- (N) 3" PVC SCHEDULE 80 SANITARY SEWER FORCE MAIN, L=107 LFT
- CONTRACTOR TO CONNECT (N) 3" SANITARY SEWER FORCE MAIN TO 3" SANITARY SEWER FORCE MAIN IN DRIVEWAY. CONTRACTOR TO COORDINATE WORK W/ CANADA WOODS TREATMENT COMPANY, SEWER UTILITY PROVIDER

A  
C7

## SITE UTILITY PLAN

SCALE: 1"=16'



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TREE MITIGATION NOTES

A 1:1 REPLACEMENT RATION IS REQUIRED FOR THE REMOVAL OF 11 CALIFORNIA LIVE OAK TREES, THE FOLLOWING SHOULD BE REPLANTED:

- 11 COAST LIVE OAKS (5 GALLON NURSERY STOCK)

TREES SHOULD BE PLANTED AND EVENLY SPACED OUTSIDE THE BUILDING ENVELOPE - SEE PLANTING PLAN.

REPLANTING SPECIFICATIONS:

TREES SHALL BE PLANTED WITH THE ROOT BALL SET EQUAL TO OR SLIGHTLY ABOVE GRADE.

MULCH SHALL BE APPLIED IN A 3-4 FT DIAMETER RING AROUND EACH TREE, AVOIDING CONTACT WITH THE TRUNK.

IRRIGATION SHOULD BE PROVIDED UNTIL TREES ARE ESTABLISHED. THIS SHOULD CONSIST OF WATERING 1 TIME WEEK THROUGHOUT THE DRY SEASON. CONTRACTOR TO SETUP A TEMPORARY IRRIGATION SYSTEM WITH A BATTERY OPERATED CONTROLLER UNTIL THE PERMANENT IRRIGATION SYSTEM IS INSTALLED AT THE TIME OF THE HOUSE CONSTRUCTION.

NEWLY PLANTED TREES SHOULD BE MONITORED FOR A MINIMUM OF THREE YEARS WITH INSPECTIONS AT:

- 6 MONTHS
- 1 YEAR
- 3 YEARS

INSPECTIONS SHOULD EVALUATE VIGOR, GROWTH RATE, PEST/DISEASE PRESENCE, AND OVERALL SURVIVAL. DEAD OR DECLINING TREES SHOULD BE REPLACED PROMPTLY.

TREE REMOVAL LIST

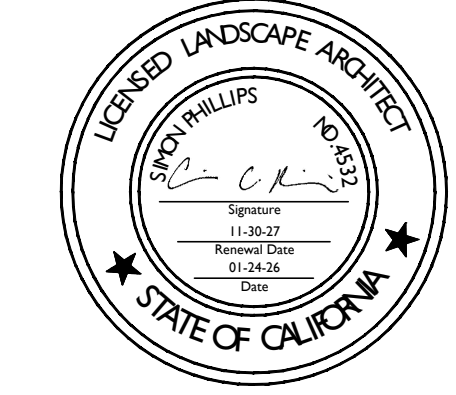
| TREE # PER ARBORIST REPORT | SPECIES        | DBH | MITIGATION EREQUIRED |
|----------------------------|----------------|-----|----------------------|
| 59                         | COAST LIVE OAK | 12" | Y                    |
| 60                         | COAST LIVE OAK | 20" | Y                    |
| 61                         | COAST LIVE OAK | 18" | Y                    |
| 62                         | MONTEREY PINE  | 24" | N                    |
| 63                         | COAST LIVE OAK | 12" | Y                    |
| 64                         | COAST LIVE OAK | 8"  | Y                    |
| 92                         | MONTEREY PINE  | 15" | N                    |
| 93                         | COAST LIVE OAK | 24" | Y                    |
| 94                         | COAST LIVE OAK | 16" | Y                    |
| 95                         | COAST LIVE OAK | 6"  | Y                    |
| 96                         | COAST LIVE OAK | 6"  | Y                    |
| 97                         | COAST LIVE OAK | 24" | Y                    |
| 98                         | MONTEREY PINE  | 12" | N                    |
| 99                         | MONTEREY PINE  | 6"  | N                    |
| 100                        | MONTEREY PINE  | 13" | N                    |
| 128                        | COAST LIVE OAK | 6"  | Y                    |
| SUBTOTAL                   |                | 16  |                      |

LEGEND

- 10"P EXISTING TREE: PRESERVE AND PROTECT
- ✕0"P EXISTING TREE: TO BE REMOVED
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS DESCRIBED IN THE ARBORIST REPORT DATED OCTOBER 11, 2025.

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE  
SANTA CRUZ, CA 95060  
831.466.9617



PROJECT NAME:  
**WILLIAMS RESIDENCE**

PROJECT ADDRESS:  
TEHAMA LOT 51  
51 MARGURITE  
CARMEL, CA 93923  
APN: 169-421-022

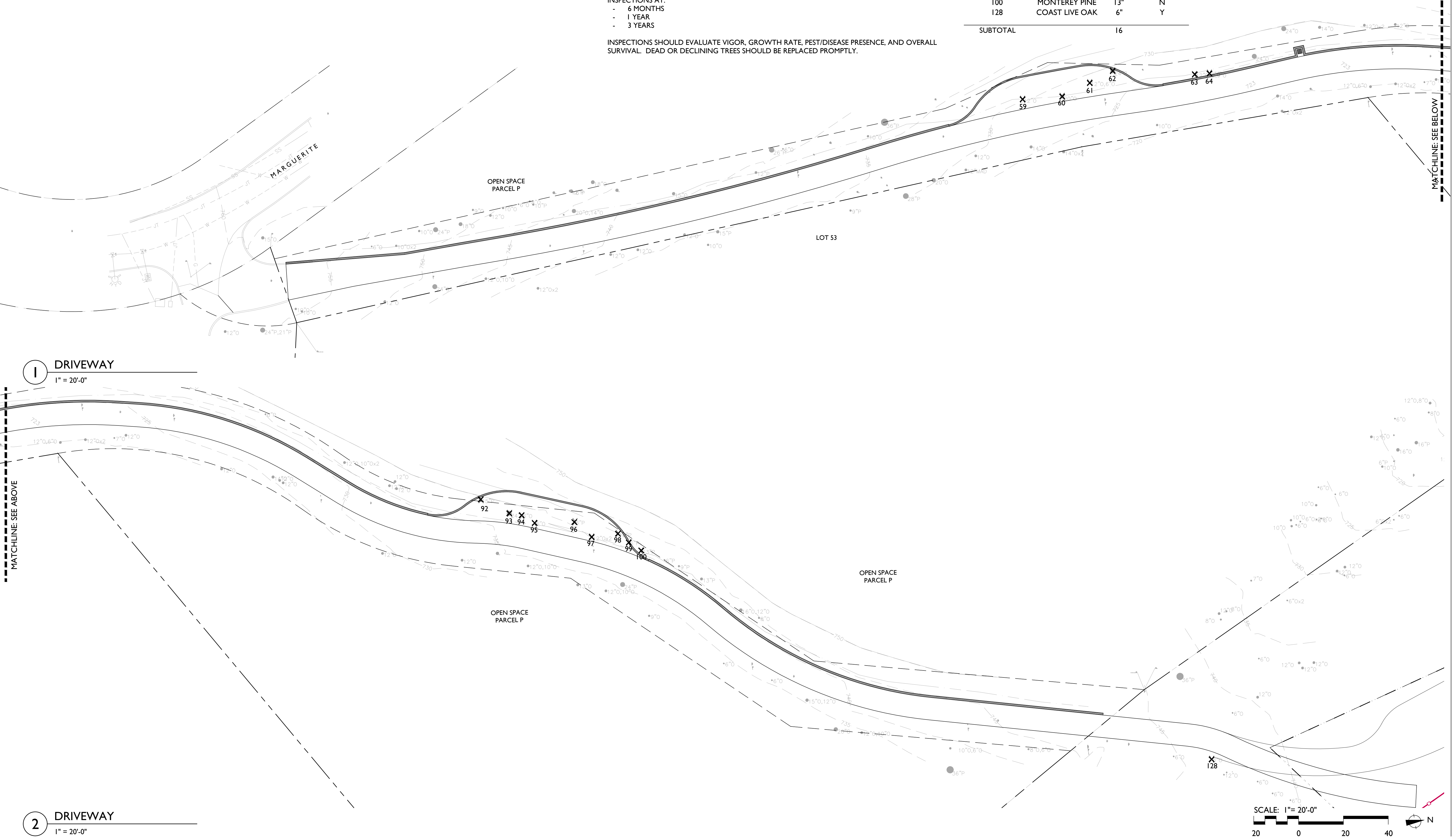
ISSUANCE:  
**DRIVEWAY PLANNING SUBMITTAL**

PROJECT NO: 2025-30  
DATE: 03/23/2026

REVISIONS:  
DATE DESCRIPTION

SHEET NAME:  
**TREE REMOVAL PLAN**

SHEET NO:



1 DRIVEWAY  
1" = 20'-0"

2 DRIVEWAY  
1" = 20'-0"



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