

Exhibit B

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EXHIBIT B
DRAFT RESOLUTION

Before the Zoning Administrator
in and for the County of Monterey, State of California

In the matter of the application of:

WILKINS JOHN D. & BUSHRA (PLN200316)

RESOLUTION NO. -

Resolution by the Monterey County Zoning
Administrator:

- 1) Adopting a Mitigated Negative Declaration (SCH# 2025070499) pursuant to Section 15074 of the CEQA Guidelines;
- 2) Approving a Design Approval to allow construction of a 2,341 square foot one-story single family dwelling with an attached 738 square foot, two-car garage, a 575 square foot Accessory Dwelling Unit with associated site improvements; colors and materials are proposed as beige colored stucco body and dark gray roof, dark bronze windows and doors and beige/gray stone veneer accents, with charcoal gray composite shingle roofing; and Use Permit for removal of 25 Monterey Pine and 4 Coast Live oak trees. Development requires 550 cubic yards of grading within 100 environmentally sensitive habitat; and
- 3) Adopting a Condition Compliance and Mitigation Monitoring and Reporting Plan.

[2901 Bird Rock Road, Pebble Beach, Greater Monterey Peninsula Area Plan (APN: 007-661-005-000)]

The Wilkins application (PLN200316) came on for a public hearing before the County of Monterey Zoning Administrator on August 28, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, and oral testimony, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** - The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan (General Plan);
 - Greater Monterey Peninsula Area Plan (GMPAP); and
 - Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project, indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project. The proposed project involves a Design Approval to allow the construction of an approximately 2,340 square foot (sf) one-story single family dwelling and attached 740 sf garage, a 575 sf detached Accessory Dwelling Unit (ADU) with associated site improvements; and a Use Permit for removal of 29 protected trees (15 Monterey Pine and 4 Coast Live Oak trees)
- c) Allowed Use. The property is located at 2901 Bird Rock Road, Pebble Beach (Assessor's Parcel Number 007-661-005-000), subject to the GMPAP. The parcel is zoned Medium Density Residential, with a Building Site, Design Control, and Parking & Use of Major Recreational Equipment Storage in Seaward zoning overlays (MDR/B-6-D-RES). Development of a single family dwelling is an allowed use pursuant to Title 21 section 21.12.030.A within the MDR zone. The Design Control zoning overlay requires the granting of a Design Approval for the proposed development pursuant to Title 21, Chapter 21.44 (see Finding No. 4 below). Removal of 29 protected trees requires a Use Permit pursuant to Title 21 section 21.64.260 (see Finding No. 5 below).
- d) Lot Legality. The subject parcel, Assessor's Parcel Number (APN) 007-661-005-000, is identified as Lot 5 in Block 400 on the map entitled, "Map of Tract no. 429, Monterey Peninsula Country Club Subdivision No. 4, Being a Subdivision of Portions of El Pescadero and Point Pinos Ranchos, Monterey County, California", filed April 19, 1963 in Volume 7, of "Cities and Towns", at Page 87, in the Office of the County Recorder of the County of Monterey, State of California. Therefore, it is a legal lot of record.
- e) Review of Development Standards. The applicable development standards include special regulations for the Medium Density Residential (MDR) zoning district in the Del Monte Forest area as identified in Title 21 section 21.12.070 and the 2010 General Plan designation for the parcel of "Residential 4 units/acre." Title 21 sections 21.12.070 MDR setbacks are required except where a final or parcel map establishes parcel-specific setbacks; that is the case here for all but the setbacks between structures. The setback for lots that front on roads over 50 feet (ft) in width, such as Bird Rock Rd. and Congress Rd, the front setback is 15 ft, the rear setback is 10 ft and the side setback is 10 ft for 1st story and 20 ft for 2nd story (main dwelling). As a corner lot, the setback along Congress Rd. is 15 ft, and the 15 ft setback wraps around and along Bird Rock Rd. and connects to rear property line setback. The gazebo is proposed 15 feet from the front property line; as the final map established the setbacks and did not restrict the location of non-habitable accessory structures, the location is allowed. Project side setback is 10 ft (no second floor on the main dwelling). Project rear setback is 10 ft. Pursuant to Title 21, a minimum of 6 ft setback is required between accessory structures. The closest accessory structures are the garage and ADU,

which are over 10 ft apart. The setbacks of the project meet or exceed the minimum setbacks.

Pursuant to Title 21 sections 21.12.070, the maximum allowed structure height is 27 feet. The proposed maximum height for the single family dwelling is 19 feet and 6 inches. Pursuant to Title 21 section 21.64.030, maximum ADU height in the Inland zoning areas is 16 feet, and the proposed ADU is 12 feet and 9 inches. The maximum allowed height for non-habitable accessory structures is not expressed in Title 21. The gazebo is proposed to be approximately 11 feet in height. The allowed maximum site coverage and floor area ratio (FAR) in the MDR district is 35 percent on lots with 4 units per acre. The property is 19,500 square feet (sf), which would allow site coverage and FAR of 6,825 sf. The proposed single-family dwelling unit, garage and gazebo would result in site coverage of 3,564 sf or 18.3 percent, and although ADUs cannot be denied based on site coverage, staff notes that the project would be under the maximum with the ADU included (4,139 sf, 21.2 percent). Similarly, project FAR without the ADU is 2,341 sf or 12 percent, and with the ADU included it remains below the maximum allowed by the zoning district (15 percent with ADU). Therefore, as proposed, the project meets all required development standards outlined in Title 21 sections 21.12.070 and 21.64.030.

- f) Biological Resources. Title 21 section 21.06.440 defines environmentally sensitive habitat as an area known or believed, based on substantial evidence, to contain rare or endangered species. Pursuant to Title 21 section 21.66.020, a biological report was prepared. The Project biologist identified an environmentally sensitive habitat area (ESHA) on the parcel supporting approximately 440 individual rein orchids, the federally endangered Yadon's piperia (*Piperia yadonii*). The biologist also found California Rare Plant Ranked pine rose (*Rosa pinetorum*) (4 clusters ranging from 4 to 60 stems, CRPR 1B.2 species), small leaved lomatium (*Lomatium parvifolium*) (approximately 71 plants, CRPR 4.2 species) in the development footprint.

The ESHA is within 100 feet of the development footprint. Removal of indigenous vegetation and grading is limited to that necessary for the structural improvements and driveway access. The Pine Rose and small-leaved lomatium are to be transplanted and planted within fenced onsite conservation areas identified by the project biologist prior to vegetation removal. Pursuant to Title 21 section 21.66.020.D.4, Condition No. 16 requires a final landscaping plan that shall include plants consistent with and found in the project area. See further discussion in evidence "g".

- g) 2010 General Plan consistency. Several 2010 General Plan (GP) Open Space Policies relate to the proposed project. They are:
- OS-5.6. Native and native compatible species, especially drought resistant species, shall be utilized in fulfilling landscaping requirements,
 - OS-5.13. Efforts to obtain and preserve natural areas of biologic, scientific, or educational interest, and restrict

incompatible uses from encroaching upon them, shall be encouraged,

- OS-5.14. Policies and procedures that encourage exclusion and control or eradication of invasive exotic plants and pests shall be established,
- OS-5.16. A biological study shall be required for any development project requiring a discretionary permit, and
- OS-5.17. The County shall prepare, adopt, and implement a program that allows projects to mitigate the loss of critical habitat.

The project has been designed to conform with these 2010 GP Open Space policies. The applicants caused a biological resources assessment evaluating the project's potential construction and operation impacts to be prepared for the site by Fred Ballerini. The main report, "Biological Assessment of Wilkins Residence APN 007-661-005," dated October 5, 2022 and "WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024" are on file as HCD Planning Library Document No. LIB220281.

The biologist reviewed the existing vegetation and had extensive personal knowledge of the habitat conditions. The biologist also traversed the site on foot to identify botanical resources and habitat conditions. Data sources included Federal, State and local databases, manuals and maps. The results of these studies indicated that the site supports an intact Monterey Pine Forest and a fragmented area of Central Maritime Chaparral (approximately 1,100 sf).

Among the mitigation measures applied to the project in the Mitigated Negative Declaration (MND), it includes Condition No. 11, BIO-2, a mitigation which will eradicate invasive exotic plants from the parcel, making it consistent with GP Policy OS-5.14. The development is proposed to be located the land least biologically significant portion of the parcel, where no listed species (Yadon's piperia) are known to grow. The replanting of Pine Rose and small-leaved lomatium and their protection that is outlined in Condition Nos. 10 and 13, BIO-1 and BIO-4, will ensure avoidance of impact to special status plants, while Condition No. 14, Conservation and Scenic Easement, will preserve the rare plant receptor area and extant Yadon's piperia in perpetuity. Through these activities, the project is also consistent with GP Policies OS-5.13 and OS-5.16. The project is consistent with GP Policy OS-5.6 because it includes a Landscape Plan that minimizes the introduction of non-native plants and allows approximately 13,000 sf of native Monterey Pine Forest understory with fragmented maritime chaparral, two-thirds of the parcel area, to remain.

h) GMPAP consistency. Several GMPAP Policies relate to the proposed project. They are:

- GMP-3.4. Plant materials shall be used to integrate manmade and natural environments, to screen or soften the visual impact of new development, and to provide diversity in developed areas.

- GMP-3.5. Removal of healthy, native oak, Monterey pine, and redwood trees in the Greater Monterey Peninsula Planning Area shall be discouraged. If tree removal is required, then a Use Permit is required for the tree removal and replacement criteria shall follow the Tree Ordinance.
- GMP-3.9. Critical habitat areas should be preserved as open space. When an entire parcel cannot be developed because of this policy, a low intensity, clustered development may be approved. However, the development should be located on those portions of the land least biologically significant so that the development will not upset the natural function of the surrounding ecosystem.

The project includes a landscape plan that will add some non-invasive shrubs as hedges and will otherwise only relocate Monterey pine seedlings/saplings, making it consistent with consistent with Policy GMP-3.4. There is a replacement plan for the 15 protected living and 14 dead/dying/hazardous trees that are proposed for removal to accommodate the house, garage and driveway and the owners are applying for a Use Permit for the removals, making it consistent with Policy GMP-3.5. The project is consistent with Policy GMP-3.9 because the development is proposed to be located on the least biologically significant portion of the parcel, where no Yadon's piperia are known to grow.

- i) Design. As demonstrated in Finding No. 2 and supporting evidence, the project is consistent with Title 21, Chapter 21.44.
- j) Geological Hazards. The site is within 660 feet of a fault that may become active. A Geotechnical Report prepared for the Project found that the site was appropriate for development of a single family dwelling and ADU with foundation supported by the granite that site borings revealed at depths of 3 to 6 feet below natural grade. See also Finding No. 2.
- k) B-6 Overlay. The property is within a B-6 overlay district, which would adjust the MDR setbacks except where a final or parcel map establishes parcel-specific setbacks; that is the case here.
- l) Recreational Equipment Storage Overlay. The property is within Recreational Equipment Storage in seaward zone overlay which allows recreational equipment storage with locational, timing, and visual screening guidelines. Because the Project only involves the first dwelling and accessory structures, this overlay does not alter the proposed Project but guides the use phase.
- m) Land Use Advisory Committee (LUAC). The project was sent to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review on March 21, 2024. After robust discussion of construction crew parking, location of fencing, driveway size and tree replacement ratios, the LUAC voted unanimously (8 ayes - 0 noes) to support the project as proposed.
- n) County of Monterey HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on subject property.

- o) The project planner conducted a site inspection on August 31, 2022, to verify that the proposed project on the subject parcel conforms to the applicable plans and County Codes.
- p) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File no. PLN200316.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following HCD groups and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

b) As reviewed in detail in the Initial Study and proposed Mitigated Negative Declaration (IS/MND), the site is suitable for the development proposed. Mitigation measures have been proposed to mitigate to less than significant levels the potential impacts to Biological Resources. These mitigation measures are listed in Finding 7. Evidence supports the conclusion that impacts would be less than significant with mitigation incorporated for the biological resources, and that the site is suitable for the uses proposed. Such evidence includes the following reports, prepared and utilized in the environmental assessment of the Project:

- Geotechnical Report prepared by Grice Engineering, Inc., Salinas, California, January 2022 (HCD-Planning Library Document No. LIB220015);
- “Biological Assessment of Wilkins Residence APN 007-661-005,” dated October 5, 2022 and “WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024” (HCD-Planning Library Document No. LIB220281);
- Revised Tree Assessment/Forest Management Plan (FMP), Wilkins Residence prepared by Frank Ono, April 3, 2024 (HCD-Planning Library Document No. LIB210266); and
- “Sight Distance Review for the Proposed Driveway at 2901 Bird Rock Road in Pebble Beach, CA by Hexagon Transportation Consultants, Inc., April 15, 2024 (PLN200316 application materials).

The above-mentioned technical reports by outside consultants found no physical or environmental constraints that would indicate that the site is not suitable for the proposed use, as designed and mitigated. County staff has independently reviewed these reports and concurs with their conclusions.

c) To prepare the site for the driveway, autocourt, dwelling and accessory structures, Landset Engineering, Inc. anticipates approximately 320 cubic yards of cut and 230 cubic yards of fill will be required. The grading is the minimum required for the

development and Best Management Practices will be in place through regulations required for Grading Permits to minimize erosion. Cross sections provided in the attached plans show that the parcel is gently sloped. Development on slopes in excess of 25 percent are avoided. As a part of the construction permit, the applicant will be required to comply with erosion control regulations as outline in Chapter 16.12 of the County Codes. HCD-Engineering reviewed the project and recommended a final Construction Management Plan as Condition No. 8. Implementation of the Plan will minimize construction traffic on public roads for the duration of construction.

- d) Geological Hazards. As reviewed in detail in the IS/MND, there is a potentially active fault within 660 feet, associated with the Hatton Canyon fault. There is the potential for strong onsite seismic shaking during the use phase of the Project. Because the Project could be exposed to seismically induced hazards, it will be required to comply with California Building Code seismic design standards and to comply with the project geotechnical report's recommendations. The report found granite at depths of 3 to 6 feet below natural grade. To preclude differential movement in the foundations, the geotechnician recommended that all foundations be supported in the granite. As a result, potential impacts due to seismic hazards would be minimized.
- e) Staff conducted a site inspection on August 31, 2022, to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File no. PLN200316.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Cypress Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The wastewater will be connected to a sewer system served by Pebble Beach Community Services District. Water will be served by Cal-Am. Water Entitlement for the site was established in 2009 permitting 0.35 acre-feet per year of Pebble Beach Company's existing water use permit pursuant to Monterey Peninsula Water Management District Ordinance No. 39. As discussed in the IS, this amount of water is more than enough to serve the Project.
 - c) The project is on a corner lot with Congress Rd. to the east and Bird Rock Rd. to the north. The driveway location was discussed in the

LUAC review to have the potential to interfere with safe traffic patterns on the corner. Therefore, the applicant contracted with Ollie Zhou and Nivendha Baskarapandian, of Hexagon Transportation Consultants, Inc. to prepare a sight distance review for the proposed driveway on April 15, 2024. These transportation analysts found that the posted speed limit of 25 mph on Congress Rd. and Bird Rock Rd. allow stopping sight distances at the proposed driveway that would be adequate for transportation safety. The 16-ft wide driveway will have 6 feet of driveway opening on either side, allowing for sufficient 15-ft sight triangle.

- d) Staff conducted a site inspection on August 31, 2022, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File no. PLN200316.

4. **FINDING:** **DESIGN** – The design of the proposed project assures protection of the public viewshed, is compatible with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.
- EVIDENCE:**
- a) The applicant proposes a single family dwelling and an attached garage with accessory structures on a lot that is designated for residential use.
 - b) Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are subject to the Design Control District overlay, which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
 - c) The proposed residence is compatible with the surrounding neighborhood character in terms of size, color, location and mass. The neighborhood consists of one and two-story dwellings with floor areas ranging from 1,700 to 4,500 square feet. There are various architectural styles in the neighborhood, including ranch style, contemporary, and Spanish Revival. The proposed dwelling architectural style is contemporary. The proposed exterior colors and materials are consistent with the residential setting. The primary colors and materials include beige colored stucco body, dark bronze windows and doors and beige/gray stone veneer accents. The main and ADU structures would have charcoal gray Class A composite roofing shingles. The gazebo is proposed to be natural wood.
 - d) Title 20 section 21.12.060 requires that all exterior lighting shall be consistent with the Design Guidelines for Exterior Lighting adopted by the Board of Supervisors pursuant to Title 21 section 21.63.020. Adherence with these guidelines is required by 2010 General Plan Policy LU-1.13. The Project is conditioned to be consistent with this policy and the design guidelines by the application of Condition No. 6. An exterior lighting plan that demonstrates minimization of off-site glare will be required prior to construction permit issuance. Therefore, the proposed project as designed and conditioned is consistent with the 2010 General Plan and Title 21.

- e) The project planner conducted a site inspection on August 31, 2022, to verify that the proposed project conforms to the applicable plans and will not adversely impact the neighborhood character.
- f) Based on the evidence described above, the proposed structures and uses are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes). As proposed, the project is compatible with neighborhood character, and assures visual integrity. The project was staked and flagged and staff determined the proposed structure was appropriately sited for the lot.
- g) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development are found in Project File no. PLN200316.

5. **FINDING:**

TREE REMOVAL – The project is consistent with all tree removal policies of to the 2010 General Plan, the GMPAP and Title 21 of the Monterey County Code. 29 trees that meet “Protected” criteria pursuant to Title 21 section 21.64.260 are required for removal to allow the proposed development. Recent winter storm events have taken down many of the trees on the property. Of the 29 trees, 14 are dead/dying and hazardous trees that meet protected criteria, 3 are dead that meet the criteria for “landmark” Monterey pine trees, and 2 are Coast live oak trees. These trees were recommended for removal due to hazards to construction crews or because they are in the development footprint. 15 living protected trees, including 2 Coast live oak and 11 Monterey pine, are in the area that would be the main dwelling, garage, driveway; 2 additional living Monterey pine trees are close to the ADU and the arborist found that they have the potential to fall on the structures. The Zoning Administrator finds, based on substantial evidence, that the tree removal is the minimum required under the circumstances of the case, the removal will not involve a risk of adverse environmental impacts such as soil erosion, adverse impact to water quality of ground and surface waters, adverse ecological impacts or significant reduction to wildlife habitat.

EVIDENCE:

- a) The removal of more than three protected trees requires a Use Permit pursuant to Title 21 section 21.64.260 (preservation of oaks and other protected trees) and policies of the GMPAP. A Use Permit for removal of 15 living and 14 dead/dying and hazardous is included in this resolution.
- b) The 2010 General Plan states that tree removal that requires a permit shall be guided by the area plans (Policy OS-5.9). GMPAP Policy GMP-3.5 discourages the removal of healthy, native oak, Monterey pine, and redwood trees in the Greater Monterey Peninsula Planning Area. The applicant submitted a Forest Management Plan (FMP) which examined impacts of the tree removal on the site and within the forest setting. The FMP (Ono, Frank, April 3, 2024, HCD-Planning Library Doc. No. LIB210266) identified the need to remove 15 living protected trees and 14 dead/fallen dying trees that also meet the County definition of “protected” to accommodate residential development; a 30th tree to be removed is an acacia, which is not a protected species. The living protected trees are in the construction

footprint for the house (4 Monterey pines), garage (5 Monterey pines and two coast live oaks), and driveway (4 Monterey pines). Two (2) Monterey pines are adjacent to the proposed ADU, and the arborist found them to be unstable and in danger of falling too close to the proposed structures (tree numbers 744 A, 13-inch diameter and 744 B 15-inch diameter). The removal of 29 protected trees is the minimum required for the Project for two reasons: 1) the property has been impacted by winter storms in the last few years that reduced the health of the stand; and 2) the Applicant redesigned the Project to locate the structures in the least treed areas, but as the IS discussed, all areas of the property are forested.

- c) The project would not adversely affect the long-term maintenance of the forest habitat on the site and in the area. Instead of recommending replanting the County's standard replacement ratios (1:1 ratio with saplings from a nursery), the arborist concluded that the site is abundant with natural recruitment with over 45 viable Monterey pine seedlings/saplings, a superior alternative replacement. The arborist recommended one seedling/sapling be protected in place or transplanted within the site to replace the living, dead, dying, and hazardous trees that would be removed. The forest would have functional resilience and the "legginess" and instability of the trees on the lot is anticipated to be lower. Connectivity with the surrounding forest is provided in the front and side yards of the proposed development. Tree replacement and restoration of the understory with native species would assure on-going health of the forest in the area. The FMP did not indicate that removal and onsite cultivation of 15 Monterey pines would result in adverse ecological impacts or significant reduction to wildlife habitat.
- d) The tree removal would not involve significant soil erosion or adverse impact to water quality of ground and surface waters through adherence with the FMP's recommendation to follow American National Standards Institute A300 Standards (such as using hoists and cranes) that will least disrupt remaining vegetation. Impacts would also be minimized through adherence with all conditions of approval.
- e) The tree removal would not involve significant noise through adherence with the FMP's recommendations such as any roots that must be cut shall be cut manually in late June and July and no later than February, and adherence with the Noise Control ordinance.
- f) The tree removal would not significantly reduce the ability of the existing vegetation to reduce wind velocities to the degree that a nuisance is anticipated to occur. This is due to the larger stand of Monterey Pine Forest immediately to the east and northeast of the project site (SFB Morse Botanical Reserve and other Pebble Beach Company forestland in conservation easement, totaling approximately contiguous 510 acres).
- g) Staff conducted a site inspection on August 31, 2022 to review the condition of the stand and conduct a general assessment.

6. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on August 31, 2022, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning are found in Project File no. PLN200316.

7. **FINDING:** **CEQA (MITIGATED NEGATIVE DECLARATION)** - On the basis of the whole record before the County of Monterey Zoning Administrator, there is no substantial evidence that the proposed project, as designed, conditioned, and mitigated, would have a significant effect on the environment. The Mitigated Negative Declaration (MND) reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Pursuant to Public Resources Code Section 21083, and California Environmental Quality Act (CEQA) Guidelines sections 15063(a) and 15063(b)(2), the Lead Agency shall conduct environmental review in the form of an Initial Study (IS) to determine if the project may have a significant effect on the environment, and shall prepare a Negative Declaration if there is no substantial evidence that the project or any of its aspects may cause a significant effect on the environment.
 - b) The County prepared an IS pursuant to CEQA, which is on file in the offices of HCD-Planning and is hereby incorporated by reference (HCD-Planning File No. PLN200316).
 - c) There is no substantial evidence, based upon the whole record, that the project may have a significant effect on the environment. The IS identified potentially significant effects to Biological Resources. Based upon the analysis of the IS, HCD-Planning prepared a MND. The applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur.
 - d) The Draft IS/MND for HCD-Planning File No. PLN200316 was prepared in accordance with the CEQA Guidelines, filed with the County Clerk on July 11, 2025 and circulated for public review from July 11 to August 11, 2025 (SCH No. 2025070499).
 - e) Resource areas analyzed in the Draft IS/MND included: aesthetics, air quality, biological resources, cultural resources, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, tribal cultural resources, and wildfire.
 - f) Evidence that has been received and considered includes: the application, technical studies/reports (see Finding 2, evidence "b") including archaeological phase 1 reports for nine nearby projects within less than half a mile of the site, staff reports that reflect the County's independent judgment, comment letters, and information

and testimony presented during public meetings and the Zoning Administrator hearing. These documents are on file in HCD-Planning (File No. PLN200316) and related HCD-Planning Library locations are hereby incorporated herein by reference.

- g) The County identified no impacts to agriculture and forest resources, mineral resources, population and housing, public services, and recreation.
- h) Pursuant to Public Resources Code Section 21080.3.1, on March 24, 2025, the County (HCD-Planning staff) sent AB-35 notification to tribal groups that had requested consultation notice. No tribal group requested consultation.
- i) The County identified potentially significant impacts to biological resources. During IS preparation, staff and the project biologist refined the draft measures originally proposed in the project's biological reports to add greater clarity and strengthen the deliverables. Mitigation measures have been proposed to reduce the identified impacts to a level of less than significant:
 - Mitigation Measure BIO-1: AVOIDANCE OF SPECIAL STATUS MONTEREY PINE FOREST UNDERSTORY SPECIES. Applicant shall install exclusionary habitat protection fencing as indicated on the construction permit plans to prevent construction impacts.
 - Mitigation Measure BIO-2: ENHANCEMENT/RESTORATION OF IMPACTED MONTEREY PINE FOREST. To mitigate for the loss of approximately one third of Monterey pine woodland understory on the project site, the applicant shall enhance and restore the remaining Monterey Pine Forest area by removing invasive plants, transplanting all special status understory species from areas planned for construction to a receptor location onsite, fencing the area during construction and conducting on-going restoration efforts for a five year period.
 - Mitigation Measure BIO-3: PRE-CONSTRUCTION MEETING TO ENSURE SPECIAL STATUS SPECIES PROTECTIONS. To protect Special status species that are present in the understory of the site to the highest extent possible, prior to the commencement of any construction activities, a pre-construction meeting with the project biologist shall be held on the site.
 - Mitigation Measure BIO-4: YADON'S PIPERIA. To reduce the proposed construction's impacts to the approximately 440 Yadon's piperia individuals to a less than significant level, the applicants shall engage a qualified biologist in a Yadons piperia Protection Plan designed to ensure effective protection and conservation of the plants. The plan includes protection before, during, and after construction, installation of a low barrier to ensure inhabitants do not trample individual plants during use phase of the project, and establishment of a Conservation and Scenic Easement over the area where Yadon's piperia are extant through Condition No. 14.

- j) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and Reporting Plan (MMRP) has been prepared in accordance with County of Monterey regulations, which is designed to ensure compliance during project implementation. The applicant must enter into an "Agreement to Implement a Mitigation Monitoring and Reporting Plan" as a condition of project approval (Condition No. 15).
- k) Analysis contained in the IS and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the CDFW regulations. The project is subject to a State filing fee plus the County recording fee. IS/MND was sent to CDFW for review and comment, and no comments were received. The applicant will pay the State fee and the processing fee payable to the County of Monterey Clerk/Recorder for posting the Notice of Determination (Condition No. 4).
- l) John D. and Bushra Wilkins, the applicants, commented during the circulation of the IS/MND that there was one misstatement they found in a mitigation proposed in the MND. The one instance was a statement on the frequency of reporting during the five year monitoring period for mitigation measure BIO-2, the Enhancement/Restoration Plan. The reporting was described as quarterly for five years, when in fact staff and the project biologist had discussed that the periodicity of monitoring reports would be sufficient if prepared quarterly for the first year, twice annually in the second year, and once annually for the remaining three years. The attached MMRP reflects this edit.
- m) Pursuant to CEQA Guidelines section 15073.5(c), recirculation of the IS/MND is not required. A minor revision was made to mitigation measure BIO-2, memorialized in the attached MMRP. No additional impacts would result from the clarification because all impacts shall be avoided. The edit will not reduce the effectiveness of the mitigation. The BIO-2 mitigation, an Enhancement/Restoration Plan, ensures less than significant impacts regardless of the periodicity of monitoring. Recirculation is not required because the comment on the public draft did not present evidence of potentially significant effects caused by the project that were not analyzed in the public draft or significantly alter recommended mitigations.
- n) The County finds that there is no substantial evidence supporting a fair argument of a significant environmental impact. The analysis and recommendations of the biological report, arborist report, archaeological reports, and geotechnical report informed the IS/MND. All potential impacts can be reduced to a less-than-significant impact through requirements of the MMRP and adherence with County and State regulations during subsequent ministerial permit processing (See Findings 1, 2, 3, 4 and 5 above).
- o) The County of Monterey Zoning Administrator considered the MND, along with the Combined Development Permit at a duly noticed public hearing held on August 28, 2025.
- p) County of Monterey HCD-Planning, located at 1441 Schilling Place, 2nd Floor, Salinas, California, is the custodian of documents and

other materials that constitute the record of proceedings upon which the decision to adopt the MND is based.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Section 21.44.040 of the Monterey County Zoning Ordinance (Title 21), appeals to any action taken by an Appropriate Authority pursuant to Chapter 21.44 may be appealed to the Board of Supervisors. The decision of the Board of Supervisors would be final and may not be appealed.
 - b) Pursuant to CEQA Guidelines Section 15074(f), when a non-elected decision-making body within a local lead agency adopts a negative declaration, that adoption may be appealed to the agency's elected decision-making body.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A) Adopt a Mitigated Negative Declaration (SCH# 2025070499) pursuant to Section 15074 of the CEQA Guidelines;
- B) Approve a Design Approval to allow construction of a 2,341 square foot one-story single family dwelling with an attached 738 square foot, two-car garage, , a 575 square foot Accessory Dwelling Unit with associated site improvements; colors and materials are proposed as beige colored stucco body, dark bronze windows and doors and beige/gray stone veneer accents, with charcoal gray composite shingle roofing; and a Use Permit for removal of 25 Monterey Pine and 4 Coast Live oak trees. Development requires 550 cubic yards of grading within 100 environmentally sensitive habitat; and
- C) Adopt a Condition Compliance and Mitigation Monitoring and Reporting Plan.

PASSED AND ADOPTED this 28th day of August, 2025.

Mike Novo, AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN200316

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval and Use permit (PLN200316) allows construction of an approximately 2,340 square foot (sf) single family dwelling and attached 740 sf garage and 575 sf Accessory Dwelling Unit with associated improvements; removal of 25 Monterey pine and 4 Coast live oak trees (approximately half of which are dead or hazardous). The property is located at 2901 Bird Rock Road, Pebble Beach (Assessor's Parcel Number 007-661-005-000), Greater Monterey Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the HCD Chief of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Design Approval and Use Permit (Resolution Number _____) was approved by the County of Monterey Zoning Administrator for Assessor's Parcel Number 007-661-005-000 on August 28, 2025. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the HCD Chief of Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD005 - FISH & GAME FEE NEG DEC/EIR

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of HCD - Planning prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

5. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The biologist found potential special-status raptors such as sharp-shinned hawk (*Accipiter striatus*), Cooper's hawk (*Accipiter cooperi*), and white-tailed kite (*Elanus leucurus*) could potentially nest within any of the large Monterey pine trees in the immediate area or occupy the nearby coastal scrub. Other avian species could be nesting in trees that are proposed for removal. The disturbances caused by vegetation clearing and other construction activity have the potential to harm the identified special status species.

To avoid impacts to special status nesting birds, a qualified biologist shall perform pre-construction nesting bird surveys no more than one week before scheduled start of any construction phase that is scheduled to start between February 1 through September 15. This includes tree removals and vegetation clearing.

The nesting survey, performed by a qualified biologist, shall cover the project site and adjacent areas. If active nests are observed, the nest site shall be flagged and a buffer established to prevent nest failure. The buffer widths shall be determined by the qualified biologist, based on species, site conditions and anticipated construction activities. In no case shall the buffer for special-status raptors be less than 350 feet. Other nesting birds shall have buffers between 50 and 350 ft, depending on the species' sensitivities pursuant to current avian biology/ecology literature.

Active nests shall be monitored at a frequency determined by the monitoring biologist, but no less than once per week, until the nestlings have fledged. If any construction activities appear to be interfering with nest maintenance (e.g., feedings and incubation), the buffers shall be enlarged or nearby construction activities postponed, until the young have fledged, as determined by the qualified biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

Prior to the issuance of any construction permit, Applicant/Owner shall submit a contract Scope of Work to HCD – Planning for review and approval demonstrating Applicant/Owner has retained a qualified biologist to conduct preconstruction nesting bird surveys meeting the requirements of this condition.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD - Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project.

The CMP shall provide a location of the off-site parking and shuttle route to the job site.

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

9. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

10. MM BIO-1: AVOIDANCE OF SPECIAL STATUS MONTEREY PINE FOREST UNDERSTORY SPECIES

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Biological Report by Fred Ballerini, "Biological Assessment of Wilkins Residence APN 007-661-005," dated October 5, 2022 and "WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024" (HCD Planning Library Document No. LIB220281) concluded that special status species which inhabit Monterey Pine Forest Understory are known to occur within the subject parcel.

Project recommendations include installing exclusionary habitat protection fencing to prevent construction impacts. Prior to issuance of construction permits for grading and/or building, the owner/applicant shall incorporate a note on all construction plans (for building and grading) that the project shall comply with the specifications related to habitat protective fencing contained in the Biological Report by Fred Ballerini, project biologist, "Biological Assessment of Wilkins Residence APN 007-661-005," dated October 5, 2022 and "WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024" (HCD Planning Library Document No. LIB220281). (HCD-Planning)

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action No. 1.a: Include the biological resources note indicated in MM BIO-1 on all construction permit plans.

Mitigation Monitoring Action No. 1.b: Include the locations of exclusionary habitat protection fencing on construction permit plans (plans should be reviewed by a qualified biologist prior to submitting to HCD).

Mitigation Monitoring Action No. 1.c: Install exclusionary habitat protection fencing as indicated on the construction permit plans to prevent construction impacts.

11. MM BIO-2: ENHANCEMENT/RESTORATION OF IMPACTED MONTEREY PINE FOREST

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To mitigate for the loss of approximately one third of Monterey pine woodland understory on the project site, the following Enhancement/Restoration shall be required:

A. Eradicate majority of non-native grasses, weeds and introduced landscape plants from the property. These were noted by the project biologist to be significant on the eastern portion of the property in 2022 but may expand because of construction and tree removal.

B. Restore the approximately 8,000 sf area on the eastern portion of the property using the dominant native species present on project site consistent with the recommendations in the Biological Report by Fred Ballerini, project biologist, "Biological Assessment of Wilkins Residence APN 007-661-005," dated October 5, 2022 and "WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024" (HCD Planning Library Document No. LIB220281).

a. The plan is to include: responsible parties, planting stock, plant list, quantities, sizes, planting schedules, site preparation, maintenance activities, maintenance schedule, performance standards, final success criterion, and a monitoring program.

An annual report on Restoration/Enhancement and Preservation Areas shall be prepared for each year of a five year monitoring period. For each annual report, a biologist shall visit the site to verify that native plant habitat with less than 10 percent non-native species is maintained on the property. When the monitoring period is closed, the owner shall continue to prevent invasive non-native plant species from colonizing.

Special status species inhabiting Monterey Pine Forest Understory are known to occur within the subject parcel: pine rose (*Rosa pinetorum*), a California Rare Plant Ranked (CRPR) 1B.2 species and small-leaved lomatium (*Lomatium parvifolium*), a CRPR 4.2 species.

Direct impacts to pine rose are anticipated to impact 4 clusters ranging from 4 to 60 stems. Direct impacts to small leaf lomatium are anticipated to impact 71 plants. Prior to issuance of construction permits for grading and/or building, the owner/applicant shall ensure that any pine rose and small leaved lomatium within the planned hardscape areas are collected and replanted on the property by a qualified biologist.

If the replanted special status species are not successfully replanted, the project biologist shall note that in the Quarterly report and, prior to the next quarterly report, additional new native planting will be done. Transplanted and new individuals shall be incorporated into an adaptive Enhancement/Restoration Area Plan (E/RAP) consistent with the Biological Report by Fred Ballerini, project biologist, "Biological Assessment of Wilkins Residence APN 007-661-005," dated October 5, 2022 and "WILKINS: Biological Assessment Spring Survey Addendum (APN 007-661-005) Jan 31, 2024" (HCD-Planning Library Document No. LIB220281).

The project arborist noted proposed removal of 30 protected trees. Of these, 15 trees (13 pines and two oaks) are alive, the rest are dead.

The arborist concluded that the site is abundant with natural recruitment of over 45 viable Monterey pine seedlings/saplings, so rather than recommending replanting the Monterey Pine on the site in one-to-one replacement ratio of nursery plants, the arborist will direct the use of the existing onsite seedlings/saplings for use to "replace" (or

restore) the removed trees. Transplanted saplings/seedlings shall be protected with fencing prior to construction activity with the fencing maintained until the construction is finished. (HCD-Planning)

**Compliance or
Monitoring
Action to be
Performed:**

Mitigation Monitoring Action No. 2.a: Eradicate no less than 80% of non-native grasses, weeds and introduced landscape plants from the Wilkins property.

Mitigation Monitoring Action No. 2.b: The owner/applicant shall incorporate a restoration/landscape graphical plan into the construction plan set consistent with the recommendations of the project Biological Report (HCD Planning Library Document No. LIB220281) and, the Arborist Report (HCD Planning Library Document No. LIB210266).

The plan sheet(s) shall be reviewed and certified by a qualified biologist and arborist prior to submittal to HCD-Building Services. Compliance actions contained in the Biological Report include Monterey Pine woodland understory restoration through collecting special status species within the planned hardscape areas and replanting them within the restoration area. The E/RAP shall indicate where the special status species are anticipated to be taken from and the location to which they shall be planted. Protective fencing around the Monterey Pine seedlings/saplings, maritime chapparal, and the proposed restoration area shall be shown on all appropriate sheets of the construction plan set.

Mitigation Monitoring Action No. 2.c: Prior to final inspection, the property owner/applicant shall restore the impacted habitat as per the approved E/RAP. The E/RAP shall incorporate transplanting special status species onsite.

A letter report, prepared by the project arborist, shall be submitted to HCD-Planning for review and approval. The report shall confirm that the Tree Protection Standards included in the Tree Resource Assessment Management Plan, prepared by Frank Ono dated April 3, 2024, have been implemented and that the retained trees are in a healthy, growing condition. If any decline in health that is attributable to the construction is noted, additional trees should be planted on the site using, if still available, the onsite existing seedlings/saplings.

Mitigation Monitoring Action No. 2.d: Monitoring and reporting of MMA Nos. 2a-2c shall occur quarterly for the first year, bi-annually for the second year, and annually for years 3-5 with the fifth year report being a final report. Final report shall be sent to CDFW and U.S. FWS.

A qualified biologist shall maintain, monitor and report to HCD-Planning, as stipulated in the Mitigation and Monitoring Plan.

An intermediate performance standard shall be measured at 100 percent survival of the planted Monterey pine forest understory plants in the fall of year 1 and 2. The final success criterion is 100 percent survival on 15 naturally recruited Monterey pine saplings and 80 percent on understory in year 5. If naturally recruited Monterey pine saplings do not survive, Applicant/Owner shall replant with native stock to meet the tree replacement required by Monterey County Codes (1:1 replacement).

When the monitoring period is closed, the owner is expected to maintain the native understory on the undeveloped areas by weeding to prevent invasive non-native plant species from colonizing. This is also memorialized by a standard Planning Condition of Approval for Notice of Report.

12. MM BIO-3: PRE-CONSTRUCTION MEETING TO ENSURE SPECIAL STATUS SPECIES PROTECTIONS

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Special status species which inhabit Monterey Pine Forest Understory are known to occur within the subject parcel. To protect those species to the highest extent possible, prior to the commencement of any construction activities, a pre-construction meeting shall be held on the site.

Timing of the meeting may be after the removal and transplantation of pine rose and small leaf lomatium as described in MM BIO-2 and any necessary transplanting and protection measures of Yadon's piperia and as described in MM BIO-4. The preconstruction meeting shall be facilitated by the owner or agent of the project. The meeting shall include representatives of each of the selected contractors, any consultant who will conduct required monitoring, and the owner/applicant. The purpose of the meeting is to review the conditions of approval that are applicable to the grading and construction of the approved development. A report of this meeting including date of meeting, content reviewed and list of attendees, shall be submitted to HCD-Planning, within five business days of the preconstruction meeting date. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Mitigation Monitoring Action No. 3.a: Before construction begins, a pre-construction meeting shall be held on the site.

Mitigation Monitoring Action No. 3.b: A report of this meeting including date of meeting, content reviewed and list of attendees, shall be submitted to HCD-Planning, within five business days of the preconstruction meeting date.

13. MM BIO-4: YADON'S PIPERIA

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Yadon's piperia (*Piperia yadonii*), an endangered orchid, federally listed Endangered species, State Rare plant rank 1B.1 (Rare, threatened, or endangered in California), is found along the northern portion of the property extending into the road right-of-way owned by Pebble Beach Company. In January 2024, the project biologist flagged 479 total piperia on the site with approximately 260 falling on the applicants parcel and the remaining 219 occurring in the road right-of-way.

To reduce the proposed construction's impacts to the Yadon's piperia to a less than significant level, effective protection and conservation of approximately 437 (or more if more are present) individual Yadon's piperia plants is required.

Prior to construction permit issuance, a qualified biologist shall inform the appropriate contact within United States Fish and Wildlife Service (USFWS) and California Department of Fish and Wildlife (CDFW, CEQA office) of the most current siting and count estimates of the Wilkins site's population and the proposed onsite protection in a "Yadon's piperia Protection Plan" (YPPP). The YPPP shall include:

- a) protection before, during, and after construction (MM No 1),
- b) a low barrier to ensure inhabitants do not trample individual plants during use phase of the project, and
- c) establishment of a Conservation and Scenic Easement.

If the USFWS and/or CDFW propose a more effective option either during public draft review of the IS/MND or prior to project permitting, the agencies' expressed actions (in writing) shall be adopted as modification to this measure. If written communication indicates a need for greater protection but does not present specific directions, the project biologist and County shall meet and confer with the regulating agency staff to capture in writing the agency's modifications to MM BIO-4. Written modification to MM BIO-4 shall be included in the draft Mitigation Monitoring and Reporting Plan for PLN200316 to be reviewed for decision by the appropriate County authority. (HCD-Planning)

**Compliance or
Monitoring
Action to be
Performed:**

Mitigation Measure Action No. 4.a: A qualified biologist shall prepare a plan for onsite protection of the Yadon's piperia population. This Yadon's piperia Protection Plan (YPPP) shall incorporate the most current restoration biology practices for native orchids. Applicant/Owner shall make the YPPP available to HCD-Planning for review and approval prior to the pre-construction meeting indicated in MM BIO- 3.

Mitigation Measure Action No. 4.b: A qualified biologist shall monitor for survival, recruitment, and population dynamics for five years. Applicant/Owner or project biologist shall send electronic copy of the monitoring reports to HCD-Planning for review and approval within one month of every 4th quarter for the monitoring period.

Mitigation Measure Action No. 4.c: If the Yadon's piperia population expands to areas outside of the low barrier within the five-year monitoring period, a qualified biologist shall oversee the adjustment to the low barrier to include them or the installation of a separate smaller barrier to protect the individual(s).

When the monitoring period is closed, the owner is expected to maintain the YPPP in perpetuity, including the inclusion of the area in the required Conservation and Scenic Easement.

The owner shall prevent invasive non-native plant species from colonizing where Yadon's piperia are known to inhabit. This is also memorialized by a standard Planning Condition of Approval for Notice of Report.

14. PD022(B) - EASEMENT-CONSERVATION & SCENIC IN THE DEL MONTE FOREST

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: A conservation and scenic easement shall be conveyed to the Del Monte Forest Conservancy over those portions of the property where habitats of rare, endangered and sensitive native plants exist in accordance with the procedures in Monterey County Code § 20.64.280.A. The easement conveyance shall include funding adequate to ensure the management and protection of the easement area over time. The easement shall be developed in consultation with a certified professional and the Del Monte Forest Conservancy Inc. A Subordination Agreement shall be required, where necessary. These instruments shall be subject to approval by the County as to form and content, shall provide for enforcement, if need be, by the County or other appropriate agency, and name the County as beneficiary in event the Conservancy is unable to adequately manage these easements for the intended purpose of scenic and visual resource protection. An easement deed shall be submitted to, reviewed, and approved by the Director of HCD - Planning and accepted by the Board of Supervisors prior to recording the parcel/final map or prior to issuance of grading and building permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to the to the Del Monte Forest Conservancy for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant/Certified Professional shall submit the conservation and scenic easement deed and corresponding map, showing the exact location of the easement on the property along with the metes and bound description developed in consultation with a certified professional, to HCD - Planning for review and approval.

Prior to recording the parcel/final map or prior to the issuance of grading and building permits, the Owner/Applicant, shall submit a signed and notarized Subordination Agreement, if required, to HCD - Planning for review and approval

Prior to or concurrent with recording the parcel/final map, prior to the issuance of grading and building permits, or commencement of use, the Owner/Applicant shall record the deed and map showing the approved conservation and scenic easement. Submit a copy of the recorded deed and map to HCD-Planning.

15. PD006 - CONDITION OF APPROVAL / MITIGATION MONITORING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring and/or Reporting Plan (Agreement) in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed Agreement. The agreement shall be recorded. (HCD- Planning)

Compliance or Monitoring Action to be Performed: Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

- 1) Enter into an agreement with the County to implement a Condition of Approval/Mitigation Monitoring Plan.
- 2) Fees shall be submitted at the time the property owner submits the signed Agreement.
- 3) Proof of recordation of the Agreement shall be submitted to HCD-Planning.

16. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to issuance of building permits, a landscaping plan shall be submitted to the HCD Chief of Planning. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. All plant species shall be consistent with and found in the project area, and the plan shall be reviewed by the Project Biologist prior to submittal. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All plant species shall be consistent with and found in the project area, and the plan shall be reviewed by the Project Biologist prior to submittal. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

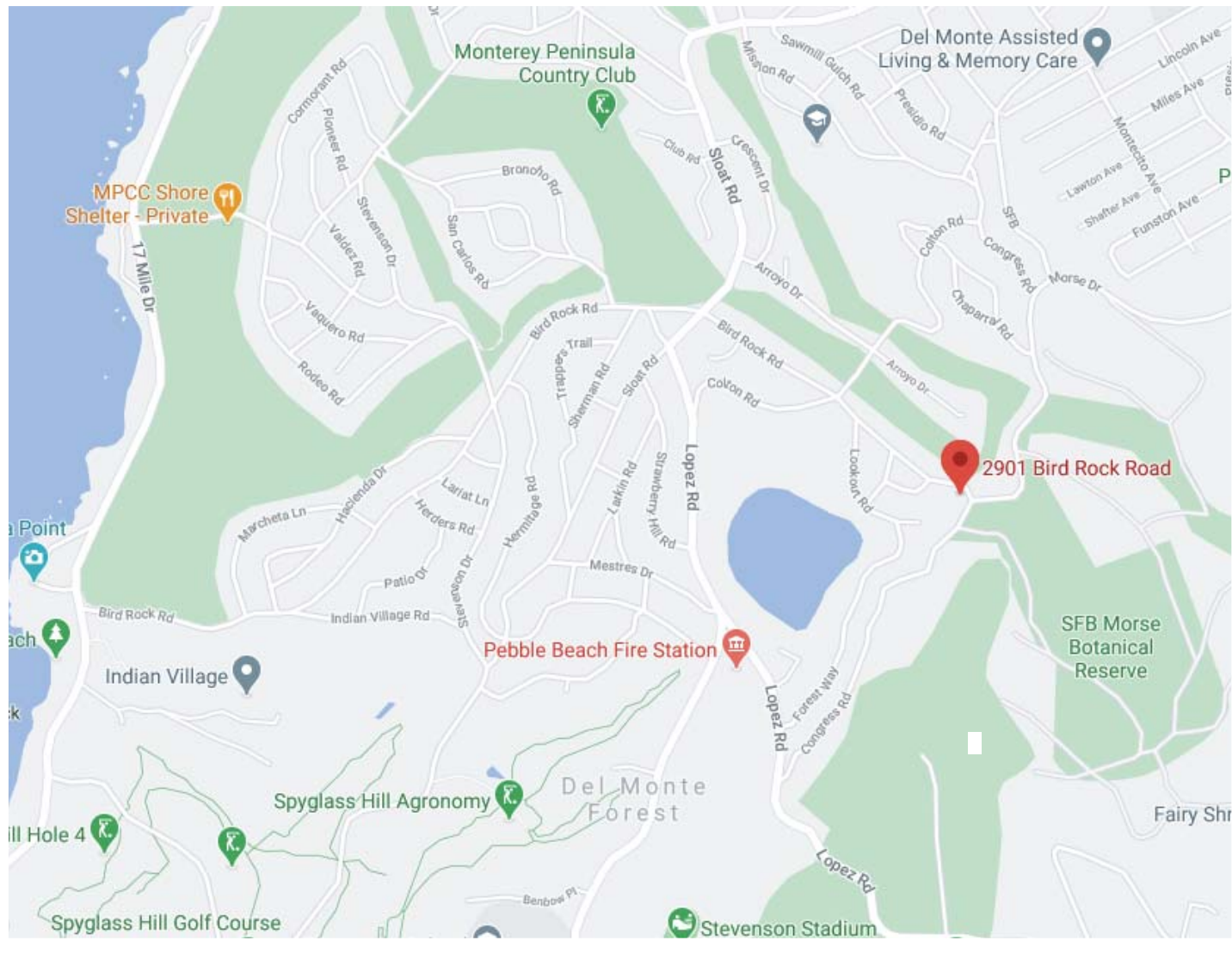
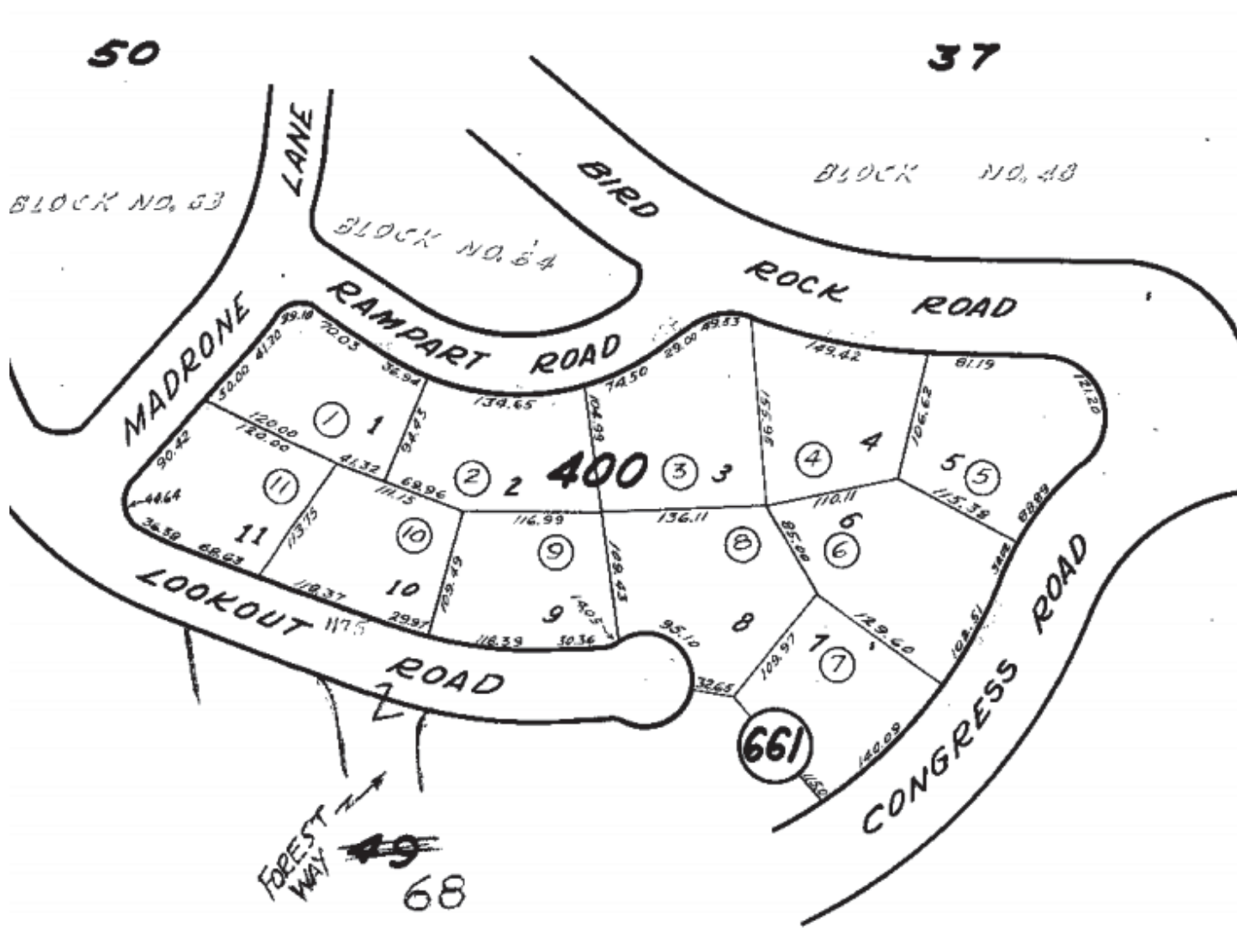
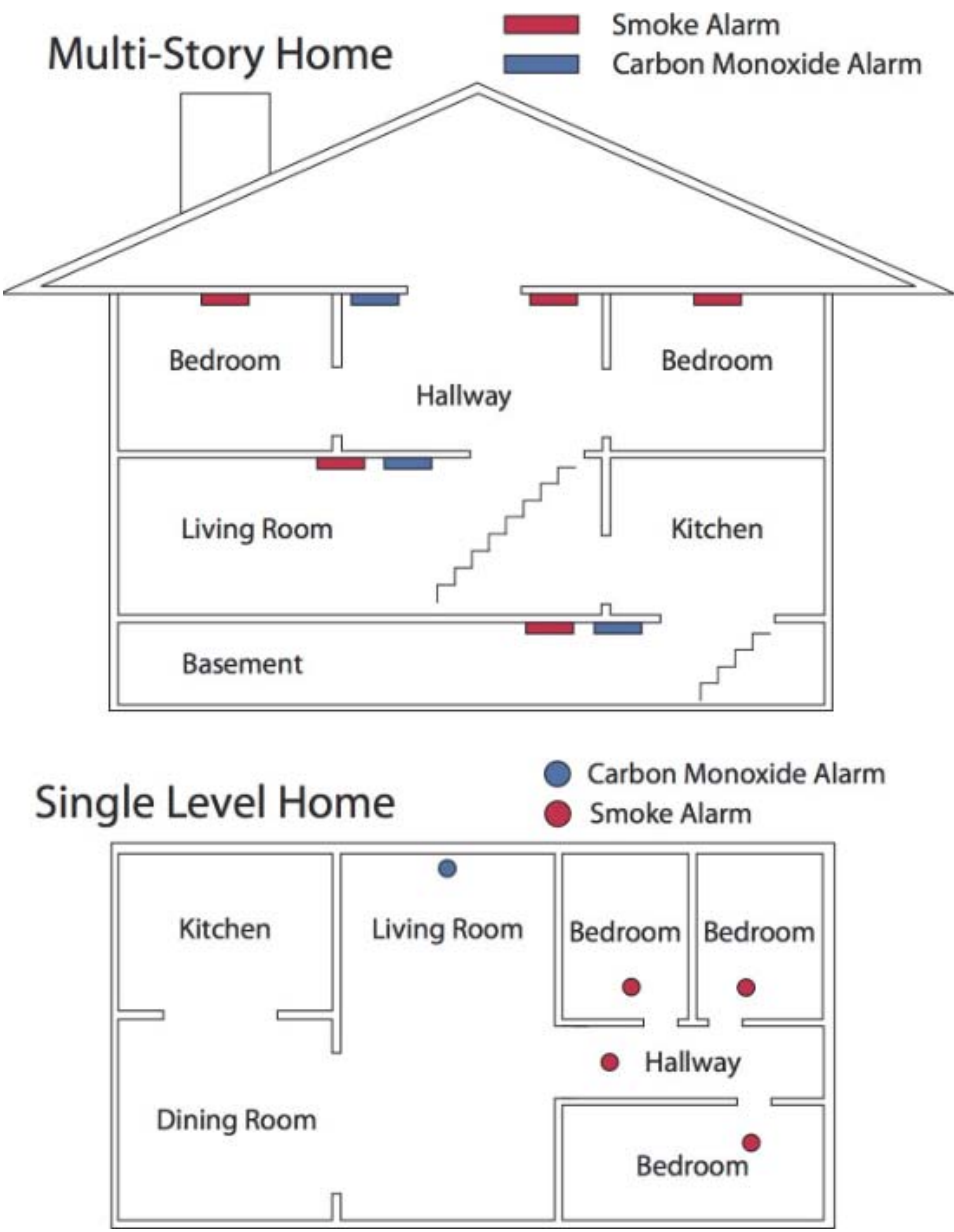
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NEW RESIDENCE FOR MR. AND MRS. WILKINS

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA 93953

AST

DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

VICINITY MAP	ASSESSORS MAP	SHEET INDEX	PROJECT DATA
		<div><div>A1.0COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP</div><div>C1CIVIL COVER SHEET</div><div>C2TOPOGRAPHIC MAP, EXISTING CONDITIONS</div><div>C3GRADING, DRAINAGE & UTILITY PLAN</div><div>C4GRADING SECTION, CONSTRUCTION DETAILS</div><div>C5STANDARD PLANS AND DETAILS</div><div>C6EROSIONS AND SEDIMENT CONTROL PLAN</div><div>L-1LANDSCAPE PLAN</div><div>FM-1FUEL MANAGEMENT PLAN</div><div>CM-1CONSTRUCTION MANAGEMENT PLAN</div><div>A1.3ENTIRE SITE PLAN, NOTES</div><div>A1.5NEW FLOOR PLAN</div><div>A1.7EXTERIOR ELEVATIONS, WINDOW FLASHING DETAILS</div><div>A1.8EXTERIOR ELEVATIONS, WINDOW FLASHING DETAILS</div><div>A2.1ROOF PLAN</div><div>A2.2ADU FLOOR PLAN, ADU EXTERIOR ELEVATIONS</div><div>A2.3MATERIAL SAMPLES</div><div>E1.0EXTERIOR LIGHTING & ELECTRICAL PLAN</div></div>	<div><div>PROJECT ADDRESS</div><div>2901 BIRD ROCK ROAD PEBBLE BEACH, CALIFORNIA 93953</div></div> <div><div>PARCEL NUMBER:</div><div>007-661-005-000</div></div> <div><div>MONTEREY COUNTY ZONING:</div><div>MDR / B-6-D-RES</div></div> <div><div>SITE AREA:</div><div>19,500 S.F.</div></div> <div><div>CONSTRUCTION TYPE:</div><div>V-B</div></div> <div><div>OCCUPANCY TYPE:</div><div>R-3</div></div> <div><div>STORIES:</div><div>ONE STORY</div></div> <div><div>SEWER SYSTEM:</div><div>EXISTING PUBLIC SEWER SYSTEM</div></div> <div><div>SQUARE FOOTAGE:</div><div></div><div>(N) RESIDENCE:2,341 S.F.</div><div>(N) 2-CAR GARAGE ATTACHED:738 S.F.</div><div>(N) ACCESSORY DWELLING UNIT:575 S.F.</div><div>TOTAL:3,654 S.F. (INCLUDING GARAGE = 15.78%)</div></div> <div><div>BUILDING SITE COVERAGE:</div><div></div><div>(N) RESIDENCE FOOTPRINT:2,341 S.F.</div><div>(N) GARAGE FOOTPRINT:738 S.F.</div><div>(N) ADU FOOTPRINT:575 S.F. (NOT COUNTED TO COVERAGE)</div><div>(N) PATIO & WALKWAYS:475 S.F.</div><div>(N) DRIVEWAY:3,194 S.F. (PERVIOUS PAVERS) NOT COUNTED</div><div>(N) GAZEBO:225 S.F.</div><div>(N) BALCONY OFF MASTER:66 S.F.</div><div>TOTAL:3,845 S.F. (19.72% SITE COVERAGE)</div></div> <div><div>TREES TO BE REMOVED:</div><div>(30) TREES TO BE REMOVED</div><div>(2) COAST LIVE OAKS (CONST. IMPACTS)</div><div>(13) MONTEREY PINES (CONST. IMPACTS)</div><div>(15) DEAD OR HAZARDOUS (REMOVED FOR SAFETY)</div></div> <div><div>BUILDING HEIGHTS:</div><div>MAXIMUM HEIGHT - MAIN RESIDENCE:27'-0" FROM AVERAGE NATURAL GRADE</div><div>PROPOSED HEIGHT - MAIN RESIDENCE:19'-6" FROM AVERAGE NATURAL GRADE</div><div>MAXIMUM HEIGHT - ADU:15'-0" FROM AVERAGE NATURAL GRADE</div><div>PROPOSED HEIGHT - ADU:12'-9" FROM AVERAGE NATURAL GRADE</div></div> <div><div>FIRE SPRINKLER REQUIREMENT:</div><div>SPRINKLERS REQUIRED</div><div>GRADING:</div><div>CUT=320.00 C.Y.</div><div>FILL=230.00 C.Y.</div><div>SURPLUS=90.00 C.Y. (USED ON SITE)</div></div>
GENERAL NOTES	FIRE DEPARTMENT NOTES	SCOPE OF WORK	
<p>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2019 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.</p> <p>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.</p> <p>CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</p> <p>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.</p> <p>GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.</p> <p>MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</p> <p>GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION.</p> <p>SMOKE DETECTORS: SMOKE AND CARBON MONOXIDE ALARMS FOR LOCATION OF ALARMS AT AREA LEADING TO BEDROOMS PER CURRENT 2016 CRC REQUIREMENTS. ALARMS SHALL BE LOCATED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2016 RESIDENTIAL CODE FOR SMOKE DETECTORS).</p> <p>NAILING TO BE IN COMPLIANCE WITH 2019 CALIFORNIA RESIDENTIAL CODE TABLE.</p> <p>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).</p> <p>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</p> <p>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</p> <p>ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</p> <p>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</p> <p>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).</p>	<p>FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD 'T' IS USED, THE TOP OF THE 'T' SHALL BE A MINIMUM OF 60 FEET IN LENGTH.</p> <p>FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.</p> <p>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</p> <p>FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (HAZARDOUS CONDITIONS) THE BUILDING(S) AND ATTACHED GARAGE(S) SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT. A ROUGH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION. DUE TO SUBSTANDARD ACCESS, OR OTHER MITIGATING FACTORS, SMALL BATHROOM(S) AND OPEN ATTACHED PORCHES, CARPORTS AND SIMILAR STRUCTURES SHALL BE PROTECTED WITH FIRE SPRINKLERS.</p> <p>FIRE027 - ROOF CONSTRUCTION (VERY HIGH HAZARD SEVERITY ZONE) ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBC CLASS 'A' ROOF CONSTRUCTION.</p>	<div><div>1. NEW 2,341 S.F SINGLE FAMILY DWELLING WITH ATTACHED 738 S.F. 2-CAR GARAGE.</div><div>2. NEW 199 S.F. COVERED FRONT PORCH</div><div>3. NEW 66 S.F. BALCONY</div><div>4. NEW MILGARD CLAD WINDOWS AND DOORS TO ENTIRE RESIDENCE</div><div>5. NEW 50 YR. COMPOSITION ROOFING (COLOR: CHARCOAL)</div><div>6. NEW 575 S.F. ACCESSORY DWELLING UNIT</div><div>7. NEW 225 S.F. GAZEBO</div></div>	
		GREEN BUILDING STANDARDS NOTE	
		CONTRACTOR SHALL SUPPLY AN OPERATION AND MAINTENANCE MANUAL TO BE SUPPLIED AT FINAL INSPECTION COMPLYING WITH SECTION 4.410 OF THE GREEN BUILDING STANDARDS CODE (R109.1.6.2 CRC)	
		SMOKE & CARBON MONOXIDE LOCATIONS	
			
	ARCHAEOLOGICAL RESOURCES NOTE:		
	IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED ON THE PROJECT PARCEL UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE APPROVAL OF THE LEAD AGENCY, AND IMPLEMENTED.		

NEW RESIDENCE
FOR:

WILKINS RESIDENCE

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

DRAWINGS:
PROJECT DATA
SHEET INDEX
SCOPE OF WORK
NOTES
APPLICABLE CODES
ASSESSORS MAP
VICINITY MAP

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
REVISION DATES:
February 20, 2021 (Revisions)
November 11, 2021 (Planning)
February 10, 2022 (Bldg. Submittal)
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SHEET

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APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 TITLE 24 ENERGY COMPLIANCE
- 2022 CALIFORNIA GREEN BUILDING CODE

2901 BIRD ROCK ROAD
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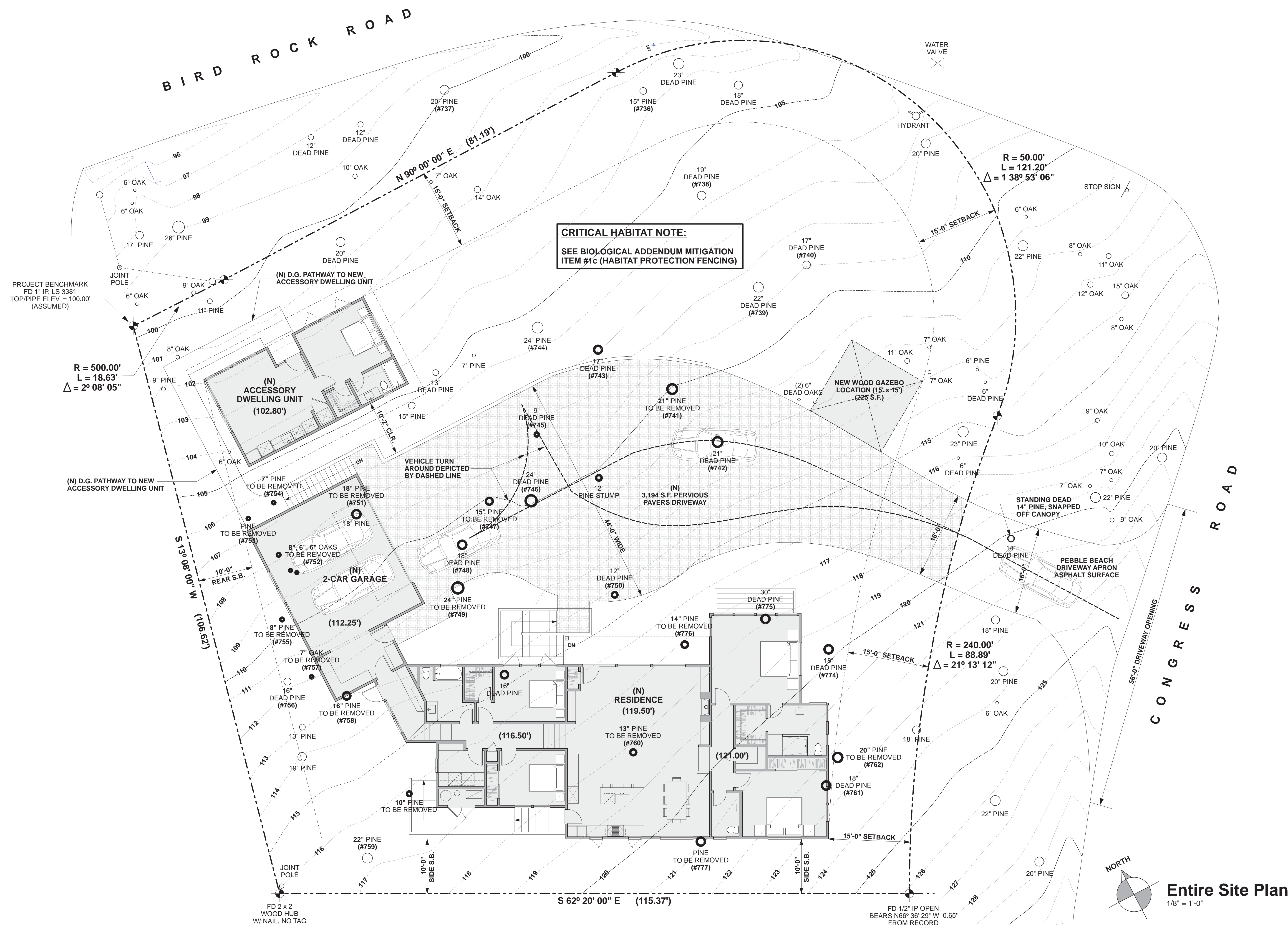
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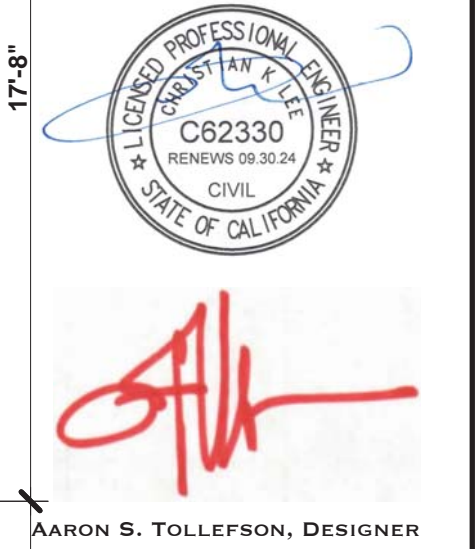
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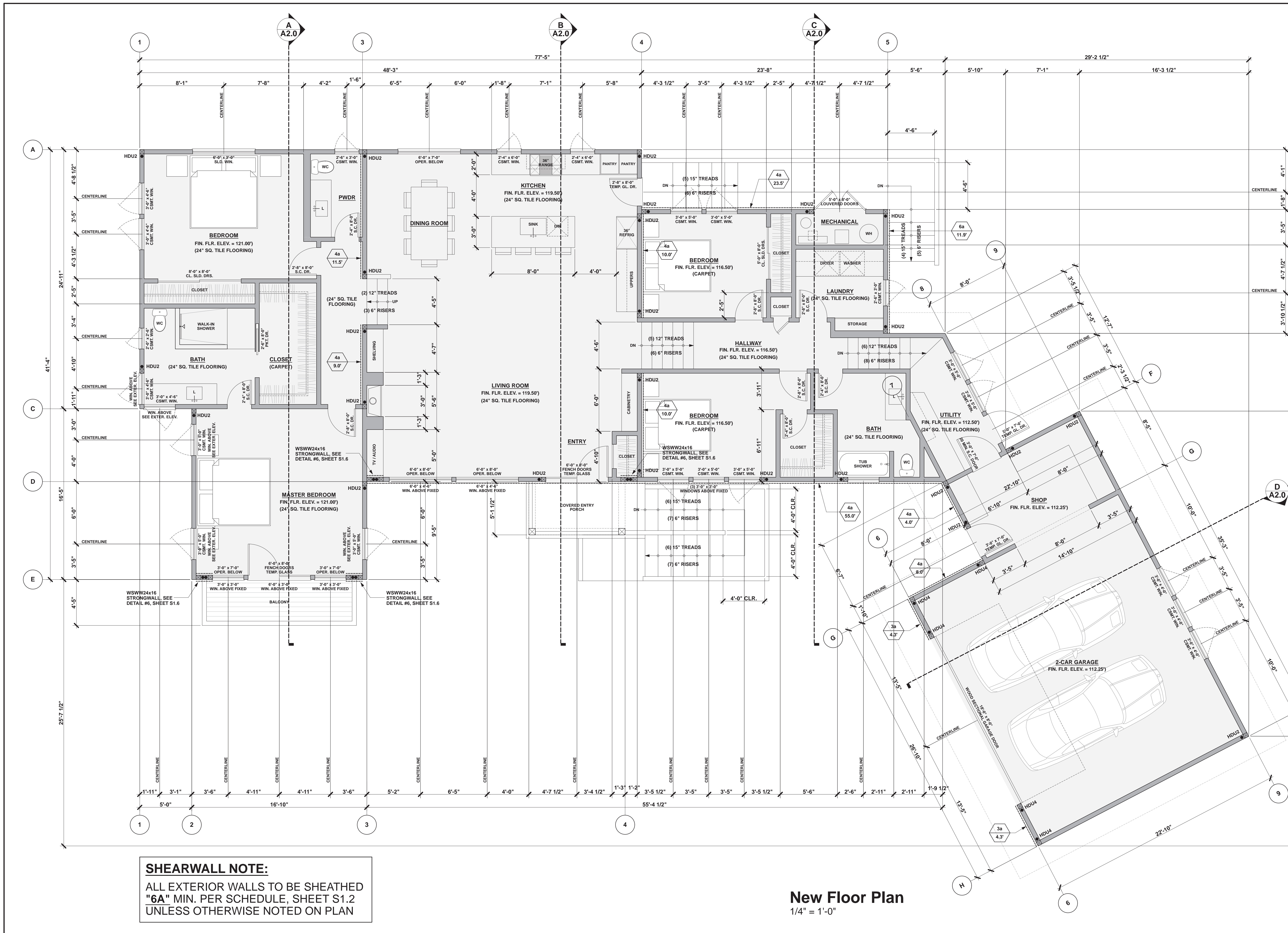
DRAWINGS:
FLOOR PLAN (MAIN LEVEL)
NOTES

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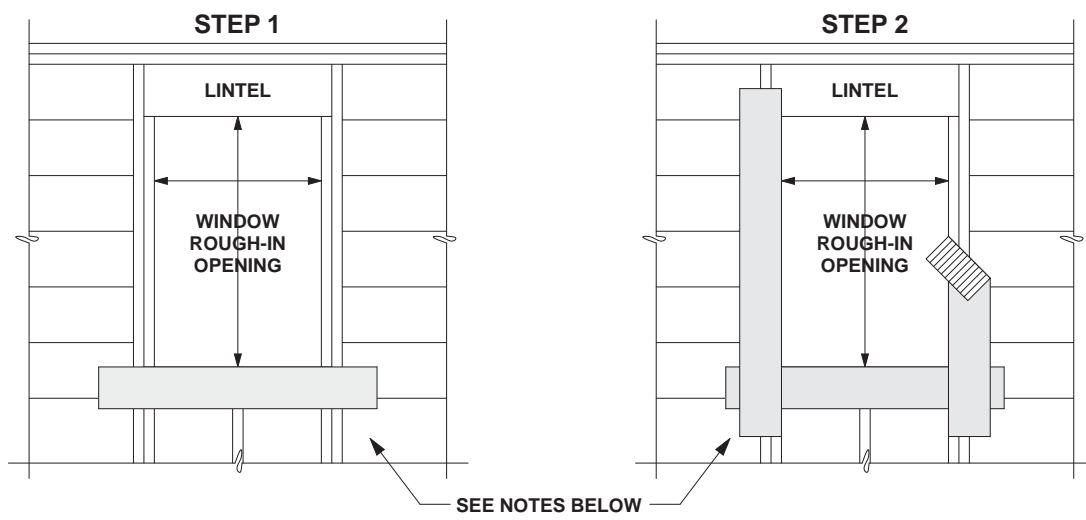
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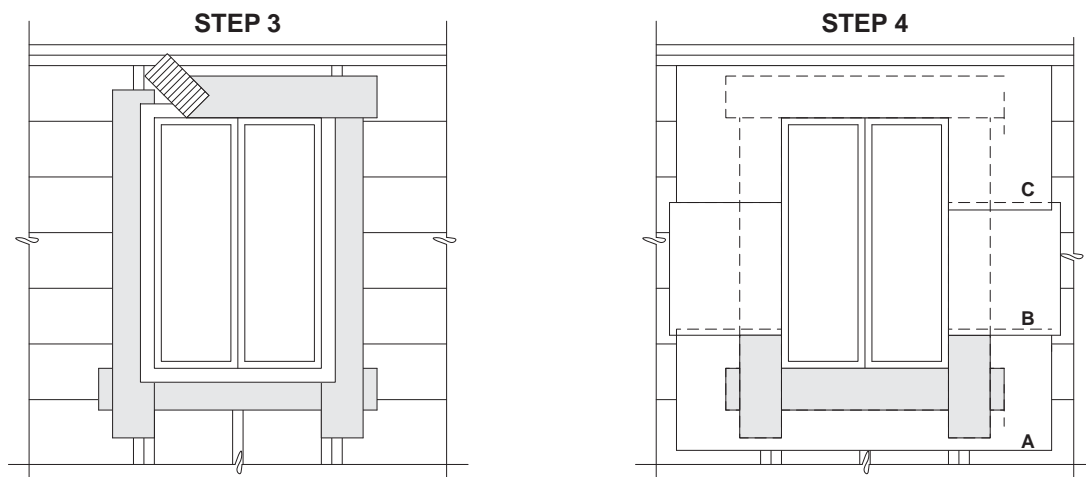


SHEARWALL NOTE:
ALL EXTERIOR WALLS TO BE SHEATHED
"6A" MIN. PER SCHEDULE, SHEET S1.2
UNLESS OTHERWISE NOTED ON PLAN

New Floor Plan
1/4" = 1'-0"



ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.



INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

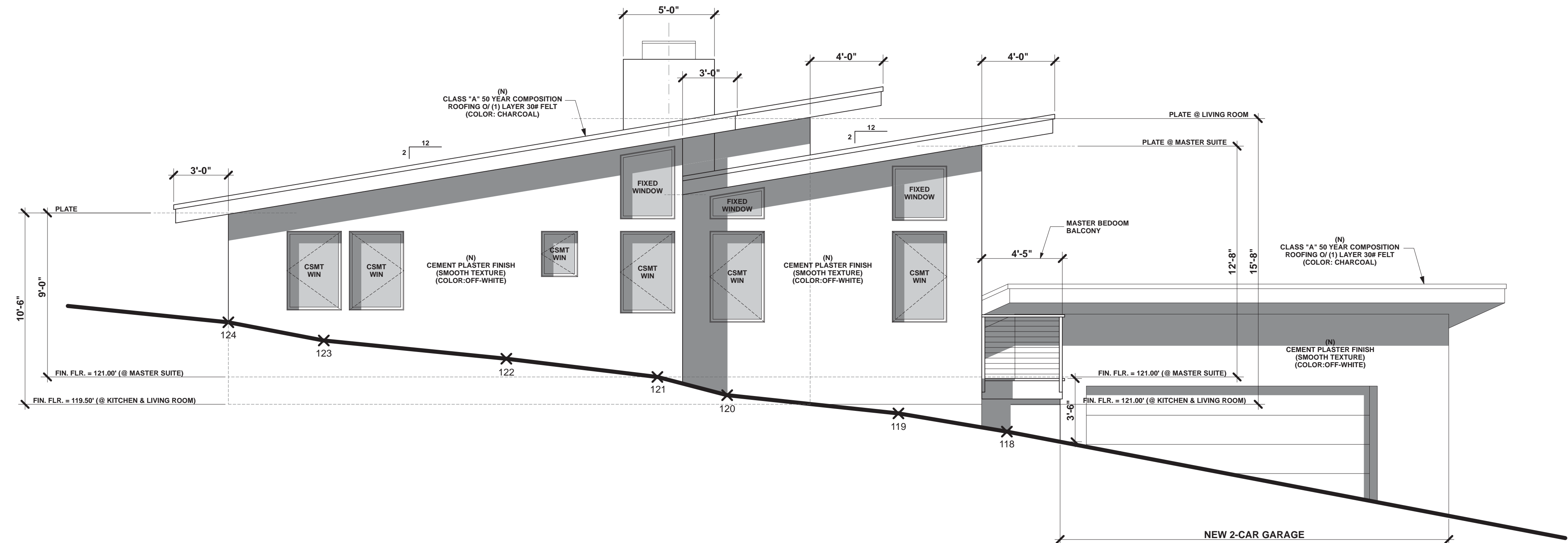
NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.

DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

NOTES:

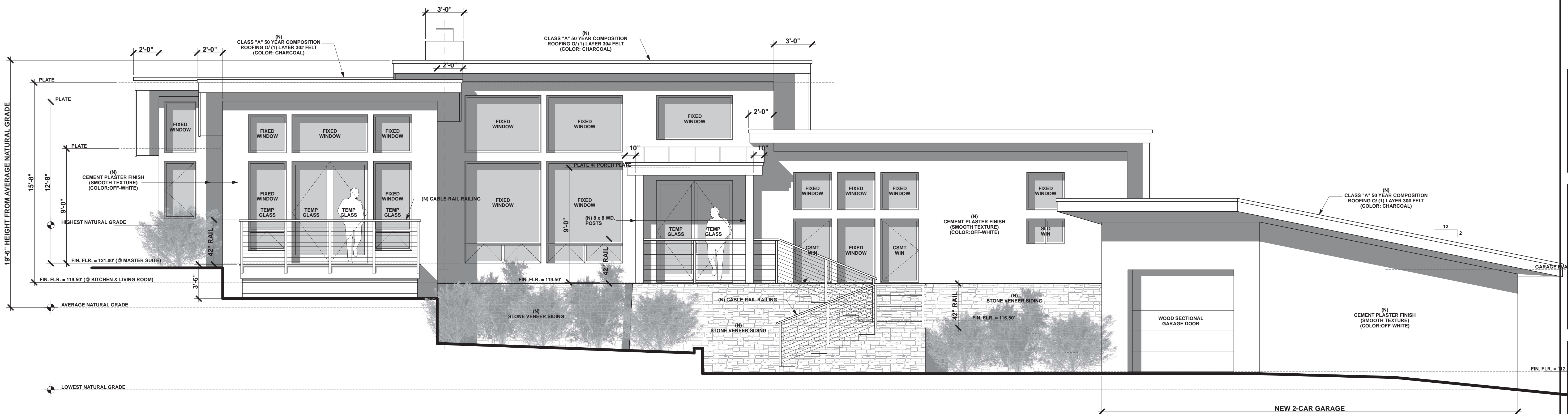
1. LINE-WIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED AS FOLLOWS:
WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.
PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.
NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.
2. MOISTOP FLASHING MINIMUM 9" WIDE.
3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.

Window Flashing Installation Details



East Exterior Elevation

1/4" = 1'-0"



North Exterior Elevation

1/4" = 1'-0"

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450



AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

WILKINS RESIDENCE

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PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

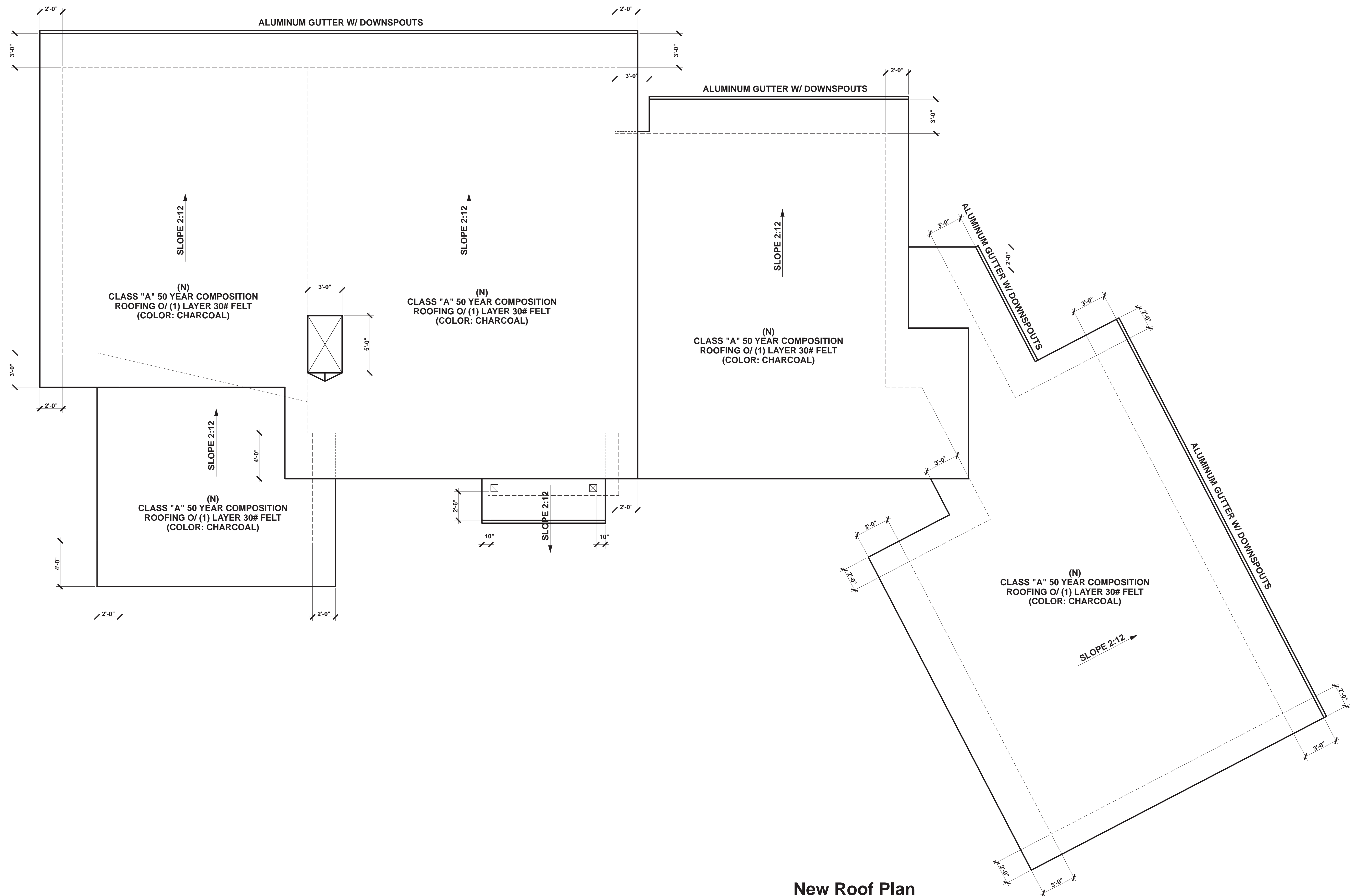
DRAWINGS:
ROOF PLAN

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
REVISION DATES:
February 20, 2021 (Revisions)
November 11, 2021 (Planning)
February 10, 2022 (Bldg. Submittal)
December 20, 2023 (Planning Rev.)
January 24, 2024 (Planning Rev.)
January 31, 2024 (Planning Rev.)

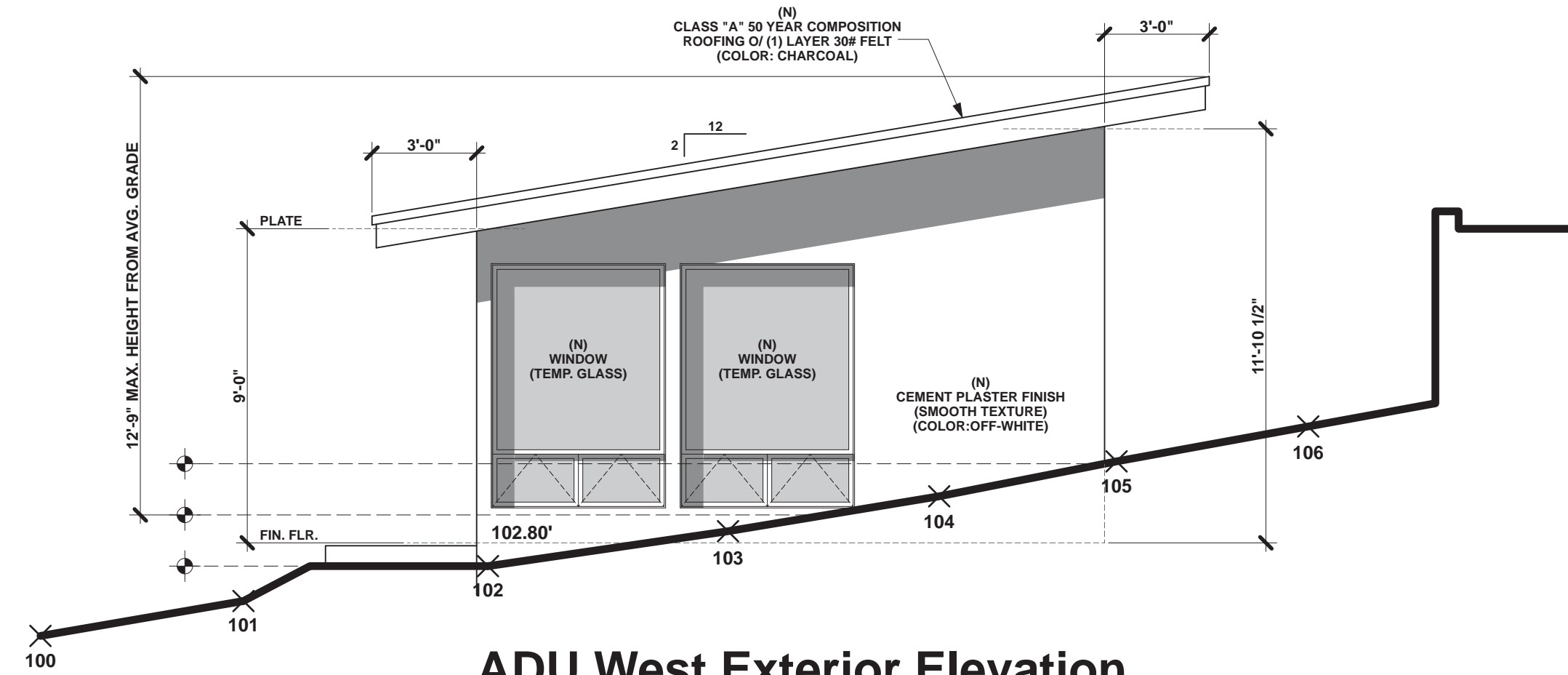
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SHEET

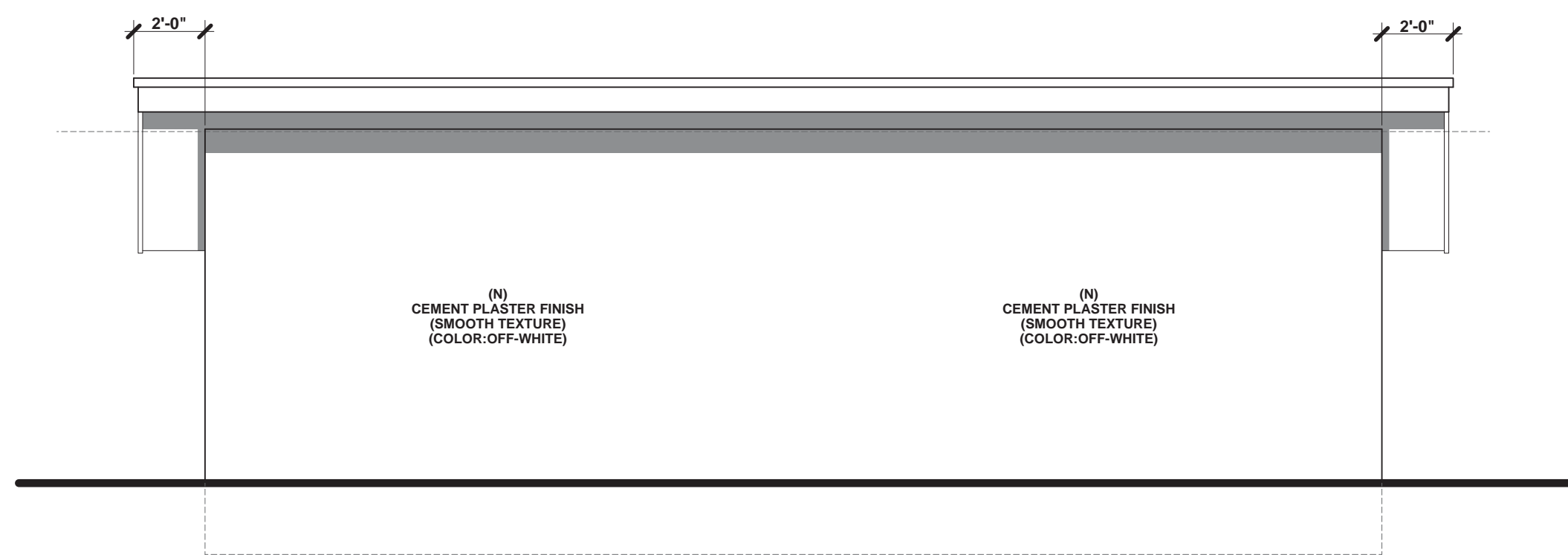
A2.1



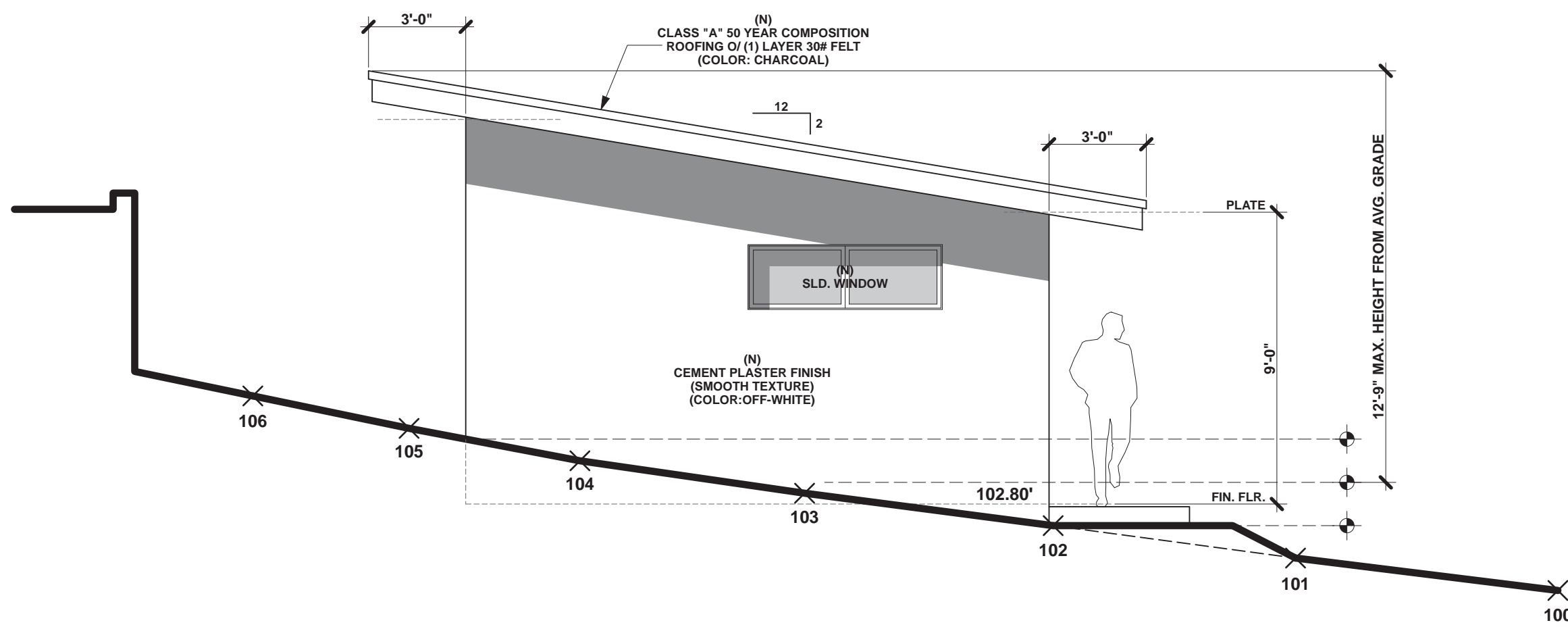
New Roof Plan
1/4" = 1'-0"



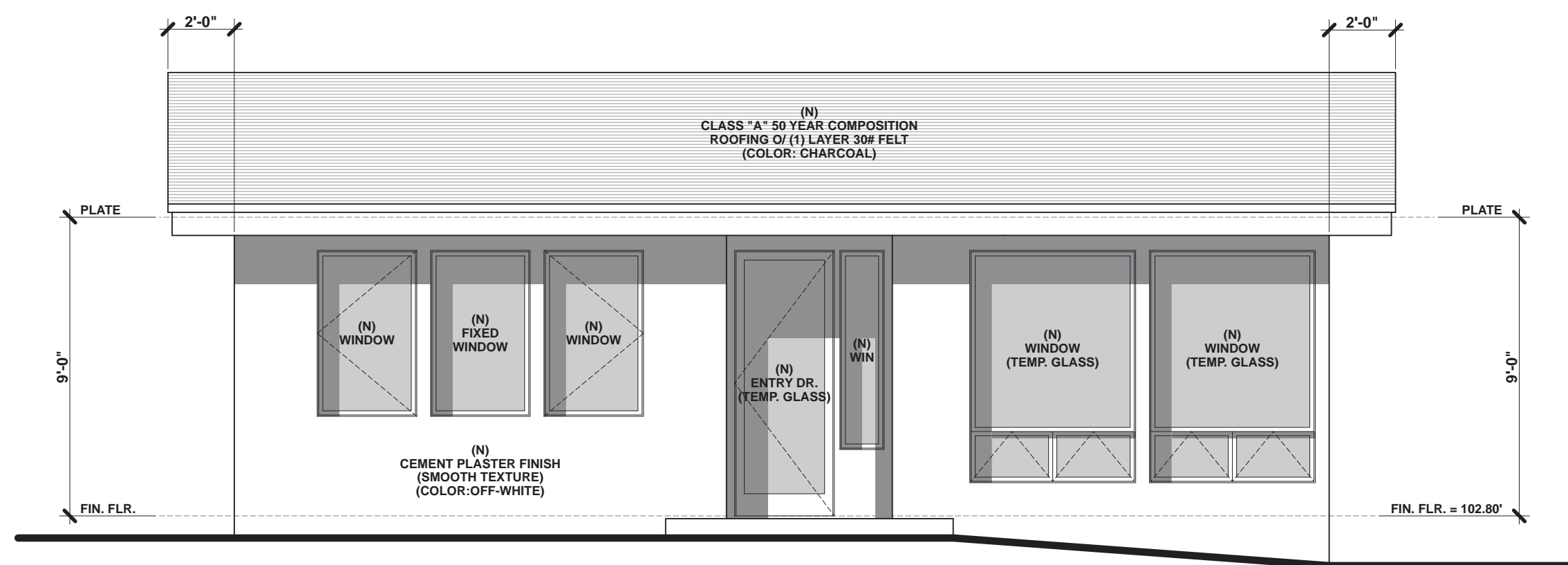
ADU West Exterior Elevation
1/4" = 1'-0"



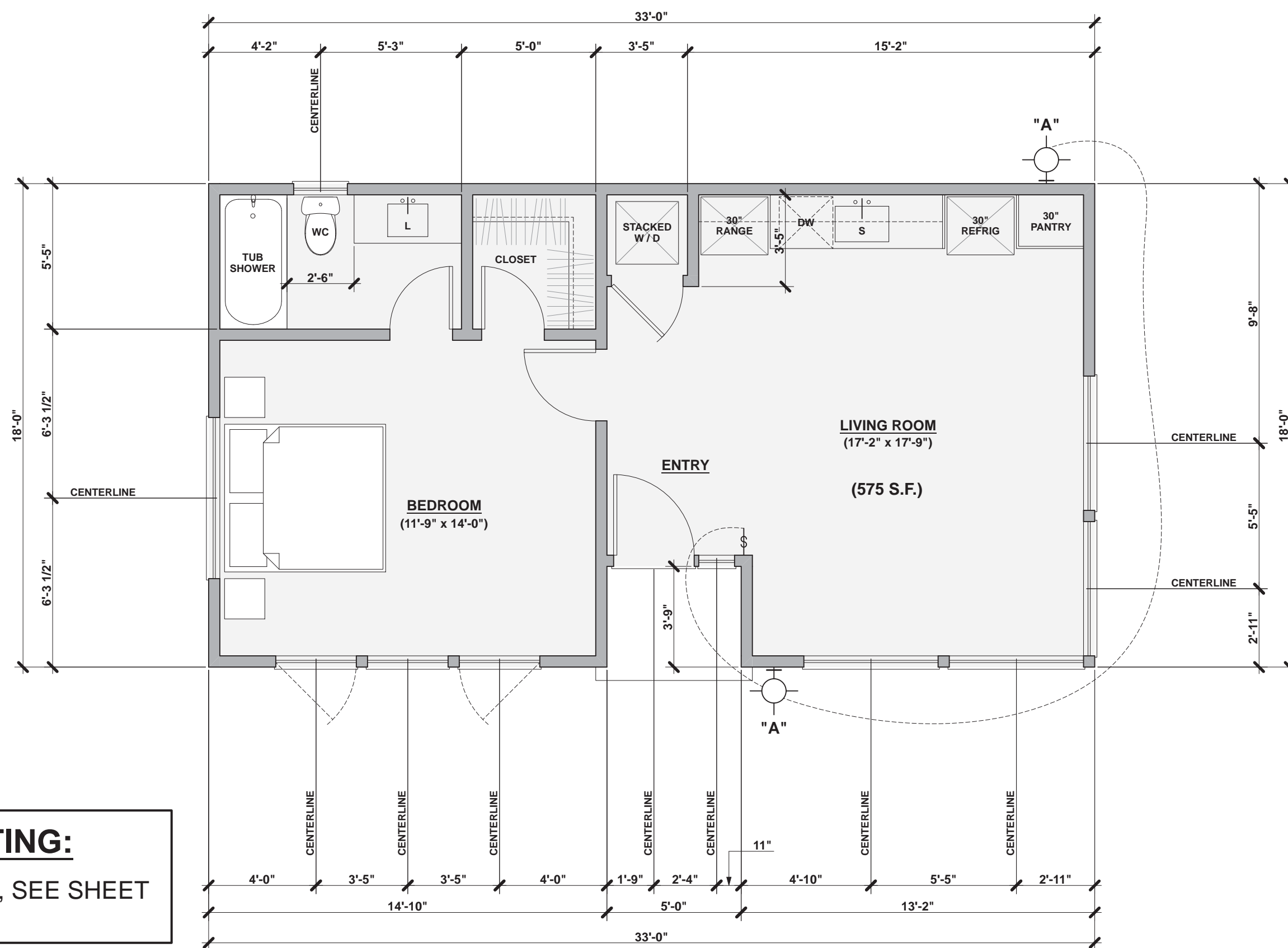
ADU South Exterior Elevation
1/4" = 1'-0"



ADU East Exterior Elevation
1/4" = 1'-0"



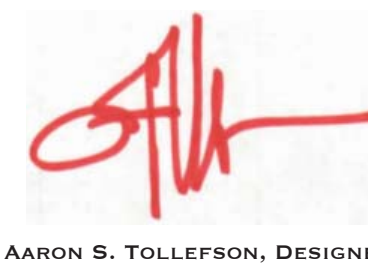
ADU North Exterior Elevation
1/4" = 1'-0"



ADU Floor Plan
1/4" = 1'-0"

EXTERIOR LIGHTING:
LIGHTING FIXTURE "A", SEE SHEET
A2.3 AT SAMPLES

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450


AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

**WILKINS
RESIDENCE**

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

DRAWINGS:
ADU FLOOR PLAN
ADU EXTERIOR ELEVATIONS

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
REVISION DATES:
February 20, 2021 (Revisions)
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SHEET

A2.2

Light Fixture "A"



Product Details

A traditional style wall lantern light featuring an original blend of matte black finish and mixed metal colors.

Additional Info:

Traditional style unites with classic color schemes to create the Maren collection of outdoor wall lantern lights, presented by Quoizel. The clean matte black finish of the outer rectangle creates a classical angular frame, while the mixed metal interior displays a Victorian aesthetic. With A single bright bulb centered in the wall light, warm illumination is cast outwards across your outdoor area.

QUOIZEL

Shop all Quoizel

Specifications

Product Attributes

Finish	Black
Style	Traditional
Brand	Quoizel

Technical Specifications

Height	13.00 inches
Width	6.00 inches
Weight	4.40 pounds

- 13" high x 6" wide. Extends 5 1/2" from the wall. Weighs 4.4 lbs.
- Takes one maximum 100 watt standard-medium base bulb (not included).
- Traditional outdoor wall lantern light, from the Maren collection by Quoizel.
- Matte black finish over aluminum construction. Mixed metal interior. Clear glass panels.
- Damp rated for outdoor use. Can be mounted with bulb facing up or down.

Exterior Lighting Specifications

"MILGARD" ALUMINUM WINDOWS
(COLOR: DAR BRONZE)



STONE VENEER AT EXTERIOR
NORTH ELEVATION



50 YR. COMPOSITION ROOFING
(COLOR: CHARCOAL)



SMOOTH STUCCO FINISH
(COLOR: OFF-WHITE-CREAM)



CAL-STONE CONC (PERVIOUS) PAVERS
FOR DRIVEWAY
(COLOR: GREY TONES)



MILGARD "FRENCH" DOORS
(COLOR: DARK BRONZE)

Material Samples

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

WILKINS
RESIDENCE

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

DRAWINGS:
MATERIAL SAMPLES

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
REVISION DATES:
February 20, 2021 (Revisions)
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February 10, 2022 (Bldg. Submittal)
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SHEET

A2.3

EXTERIOR LIGHTING:

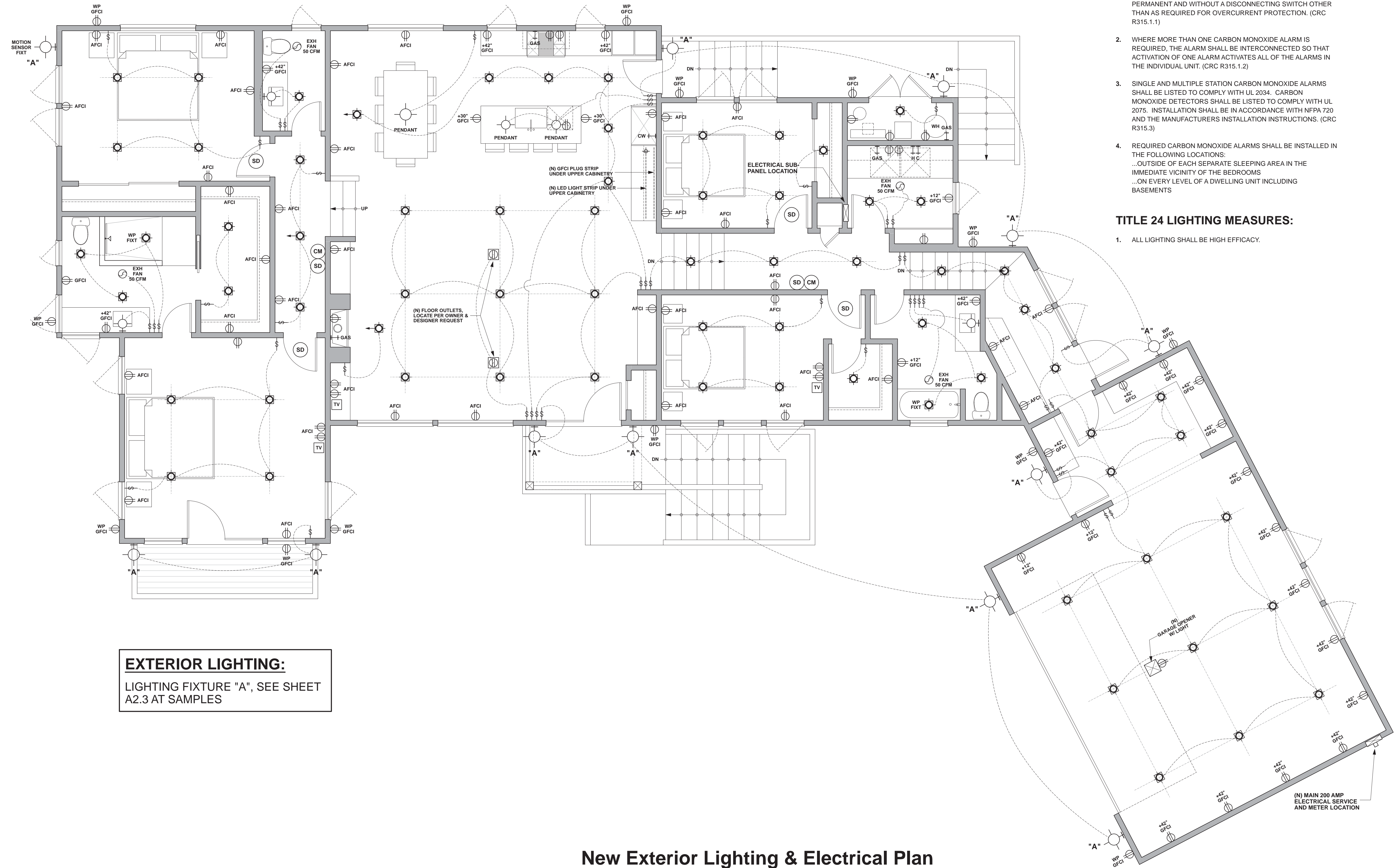
LIGHTING FIXTURE "A", SEE SHEET
A2.3 AT SAMPLES

CARBON MONOXIDE NOTES:

- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. (CRC R315.1.1)
- WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. (CRC R315.1.2)
- SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED TO COMPLY WITH UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. (CRC R315.3)
- REQUIRED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
..OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
..ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

TITLE 24 LIGHTING MEASURES:

- ALL LIGHTING SHALL BE HIGH EFFICACY.



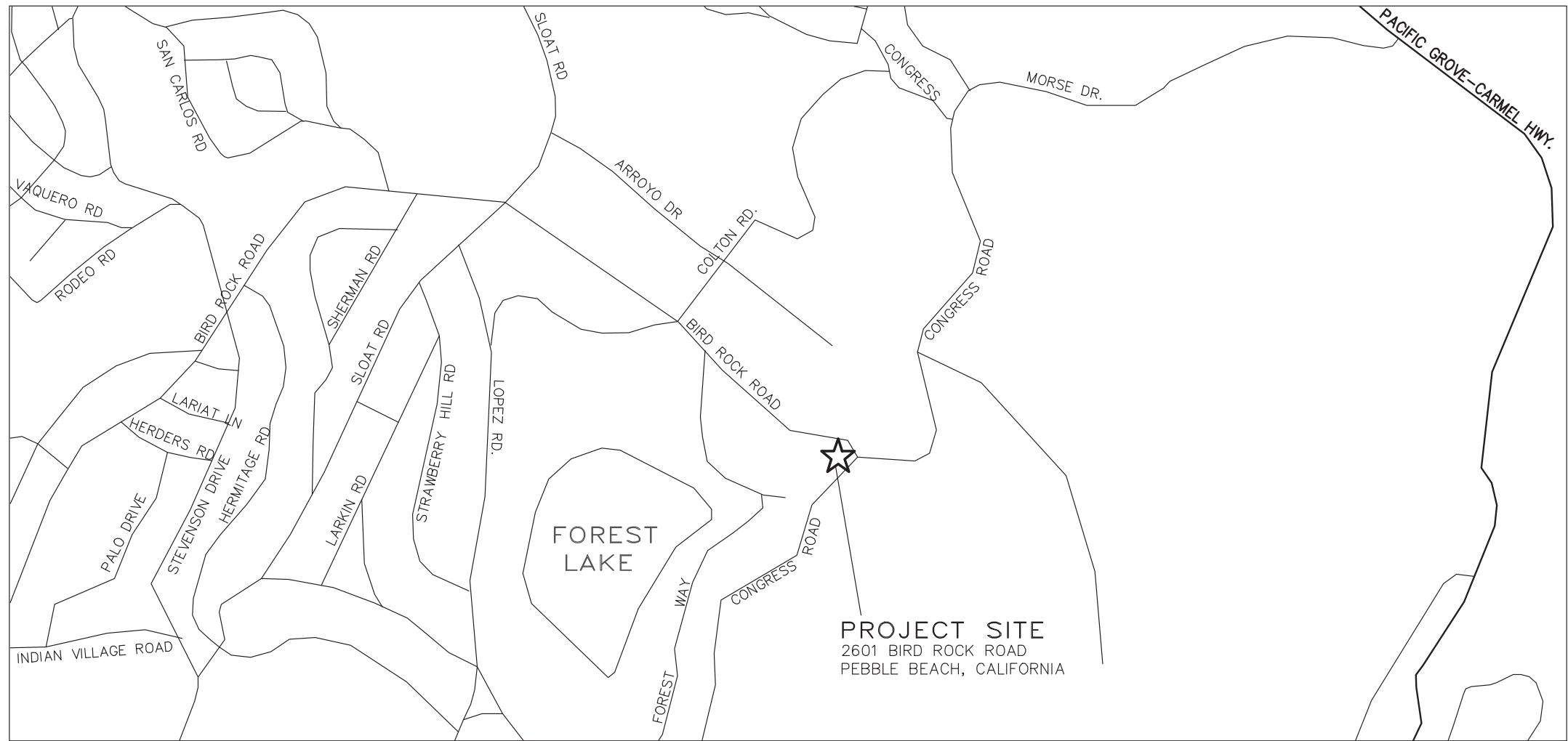
EXTERIOR LIGHTING:

LIGHTING FIXTURE "A", SEE SHEET
A2.3 AT SAMPLES

New Exterior Lighting & Electrical Plan
1/4" = 1'-0"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
WILKINS RESIDENCE
APN: 007-661-005

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



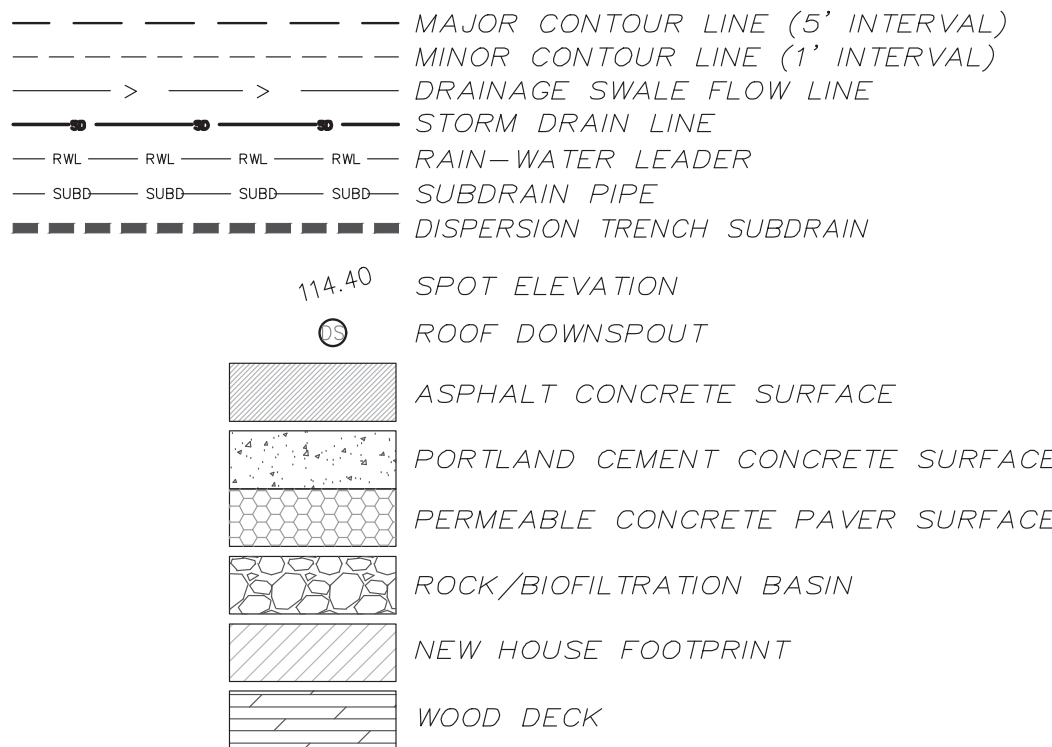
VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=20'

LEGEND:

NEW:



NOTE: PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	Soil's Engineer	Beginning of Project		
Subexcavation, fill placement, and compaction	Soil's Engineer	Throughout grading operations		
Foundation Excavations	Soil's Engineer	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	Soil's Engineer	Prior to trench backfill		
Utility trench compaction	Soil's Engineer	During backfill operations		
Retaining wall backfill compaction	Soil's Engineer	During backfill operations		
Base/rock subgrade compaction	Soil's Engineer	Prior to pavement installation		

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE WILKINS RESIDENCE AT 3 PREPARED BY AST DESIGN GROUP, DATED AUGUST 31, 2020, AND THE BASE TOPOGRAPHIC INFORMATION PREPARED BY OTHERS.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION PREPARED BY OTHERS, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL MATERIAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 320 C.Y. OF CUT AND 230 C.Y. OF FILL WITH A SURPLUS OF 90 C.Y. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES (DUNES) AND/OR HAULED OFF-SITE ON A LEGAL MANNER. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 1% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS AND CONNECTED INTO RAIN WATER LEADERS WHICH OUTLET INTO CATCH BASINS AND DISCHARGED TO DISPERSION TRENCHES. RAIN WATER LEADERS SHALL BE 4" PVC-SDR 35 PIPE, HAVE A MINIMUM SLOPE OF 1% AND A MINIMUM COVER OF 12". THE RAIN WATER LEADER TRENCHES SHOULD HAVE THEIR BEARING SURFACES FOUNDED BELOW AN IMAGINARY 1:1 (HORIZONTAL TO VERTICAL) LINE PROJECTED UPWARD FROM THE BOTTOM EDGE OF THE BUILDING FOOTINGS.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY A COMBINATION OF CATCH BASINS, TRENCH DRAINS AND DRAINAGE SWALES OUTLETTING ONTO DISSIPATORS/DISPERSION TRENCHES AS SHOWN ON THE SITE DRAINAGE PLAN.
- SUBSURFACE DRAINAGE FOR RETAINING/FOUNDATION WALLS WILL BE COLLECTED AND PIPED TO DAYLIGHT IN A NON-EROSIVE MANNER AND/OR TO A DISPERSION TRENCH. CLEANOUTS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS.

- THE STORM DRAIN FACILITIES SHALL BE AS SHOWN ON THE PLANS. CATCH BASINS & JUNCTION BOXES SHALL BE "CHRISTY" PRODUCTS V12 WITH CAST IRON GRATE/SOLID LID OR APPROVED EQUAL. TRENCH DRAINS SHALL BE "NDS" PRODUCTS. THE STORM DRAIN PIPE SHALL BE P.V.C. MIN. SDR 35.
- ALL NEW UTILITY AND DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. RELATIVE COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. RELATIVE COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- NO LAND DISTURBING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

STORM WATER CONTROL NOTES:

- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWG; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRS) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- THE PROJECT IS NOT IN ANY OF THE CONDITIONED AREAS OF THE PEBBLE BEACH COMPANY DRAINAGE REQUIREMENTS AND IS NOT REQUIRED TO ANY SPECIAL STORM WATER FACILITY DESIGN.

TOTAL LOT AREA = 19,423 SQ.FT.
NEW IMPERVIOUS AREA = 4,201 SQ.FT.
PERVIOUS DRIVEWAY AREA = 3,894 SQ.FT.
TOTAL AREA OF DISTURBANCE = 11,900 SQ.FT.

GRADING QUANTITIES:
CUT = 320 C.Y.
FILL = 230 C.Y.
NET = 90 C.Y. EXPORT

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	TOPOGRAPHIC MAP/EXISTING CONDITIONS
SHEET C3	GRADING, DRAINAGE & UTILITY PLAN
SHEET C4	GRADING SECTIONS
SHEET C5	STANDARD PLANS AND CONSTRUCTION DETAILS
SHEET C6	EROSION & SEDIMENT CONTROL PLAN

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. DAVE & BUSHRA WILKINS
2015 YOSEMITE STREET
SEASIDE, CA 93955

SECONDARY: ARCHITECT
AST DESIGN GROUP
ATTN: MR. AARON S. TOLLEFSON
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PH (831) 578-3450

SITE LOCATION:
2301 BIRD ROCK ROAD
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
	12/18/23	AMS	ARCHITECT REVIEW
	12/05/23	AMS	NEW SITE PLAN
	07/01/20	AMS	NEW SITE PLAN PER OWNER
	07/23/19	AMS	RELEASED TO CLIENT

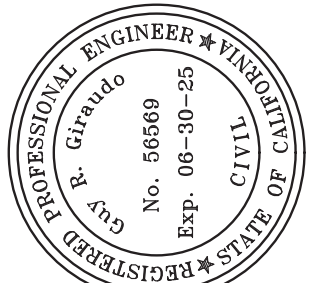
" COVER SHEET "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
WILKINS RESIDENCE
A.P.N.: 007-661-005

FOR
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

MR. & MRS. DAVE & BUSHRA WILKINS



APPROVED BY:

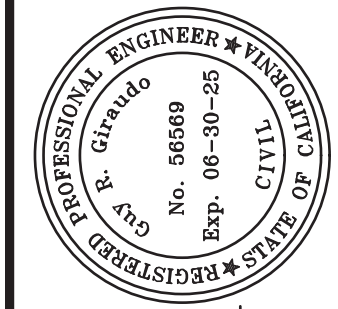
GUY R. GILARDO
12/18/23



SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1966-01

SHEET C1

OF 6 SHEETS



APPROVED BY:

GUY R. GIRARDO



" GRADING, DRAINAGE & UTILITY PLAN "

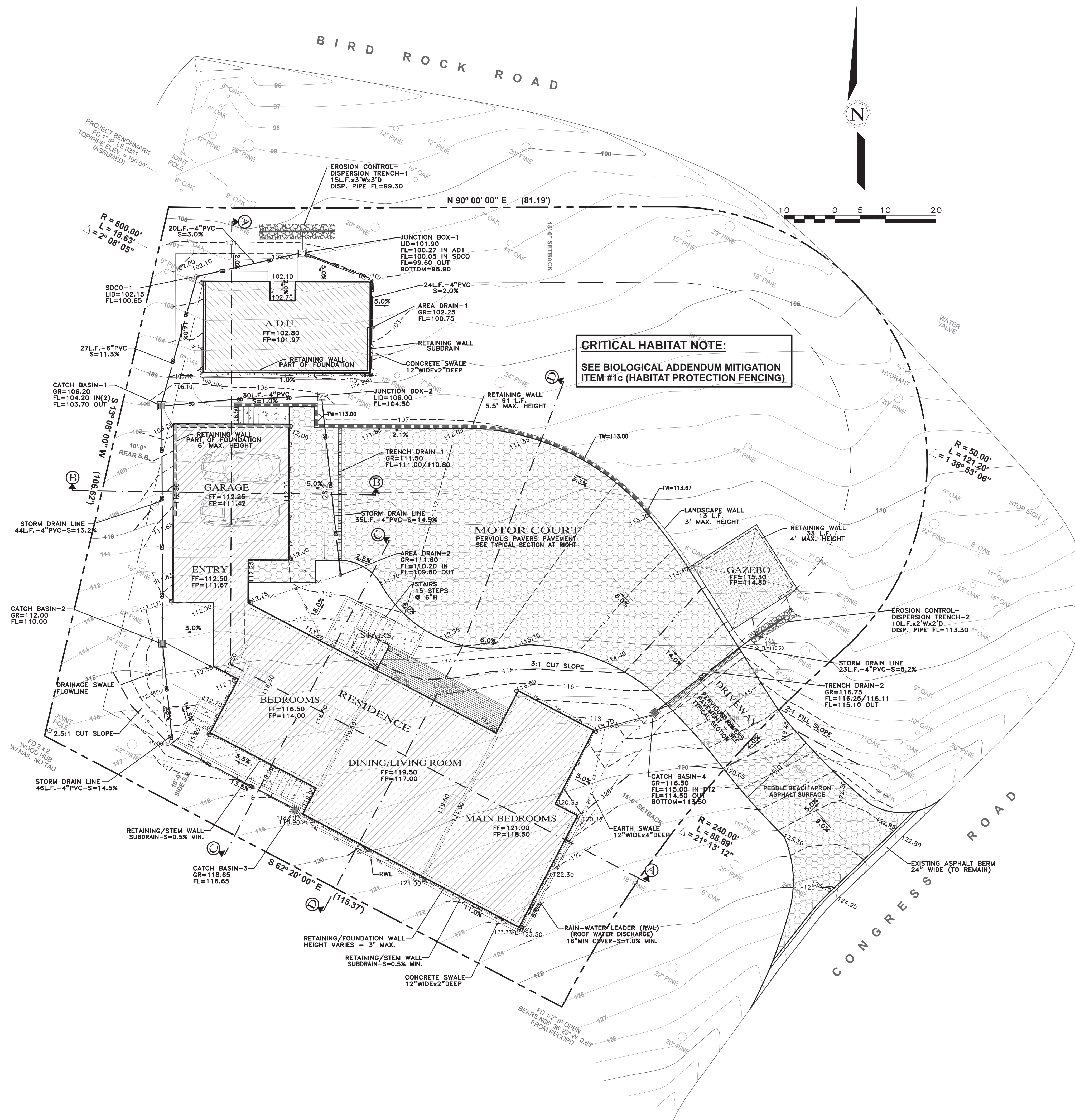
GRADING, DRAINAGE & EROSION CONTROL PLAN

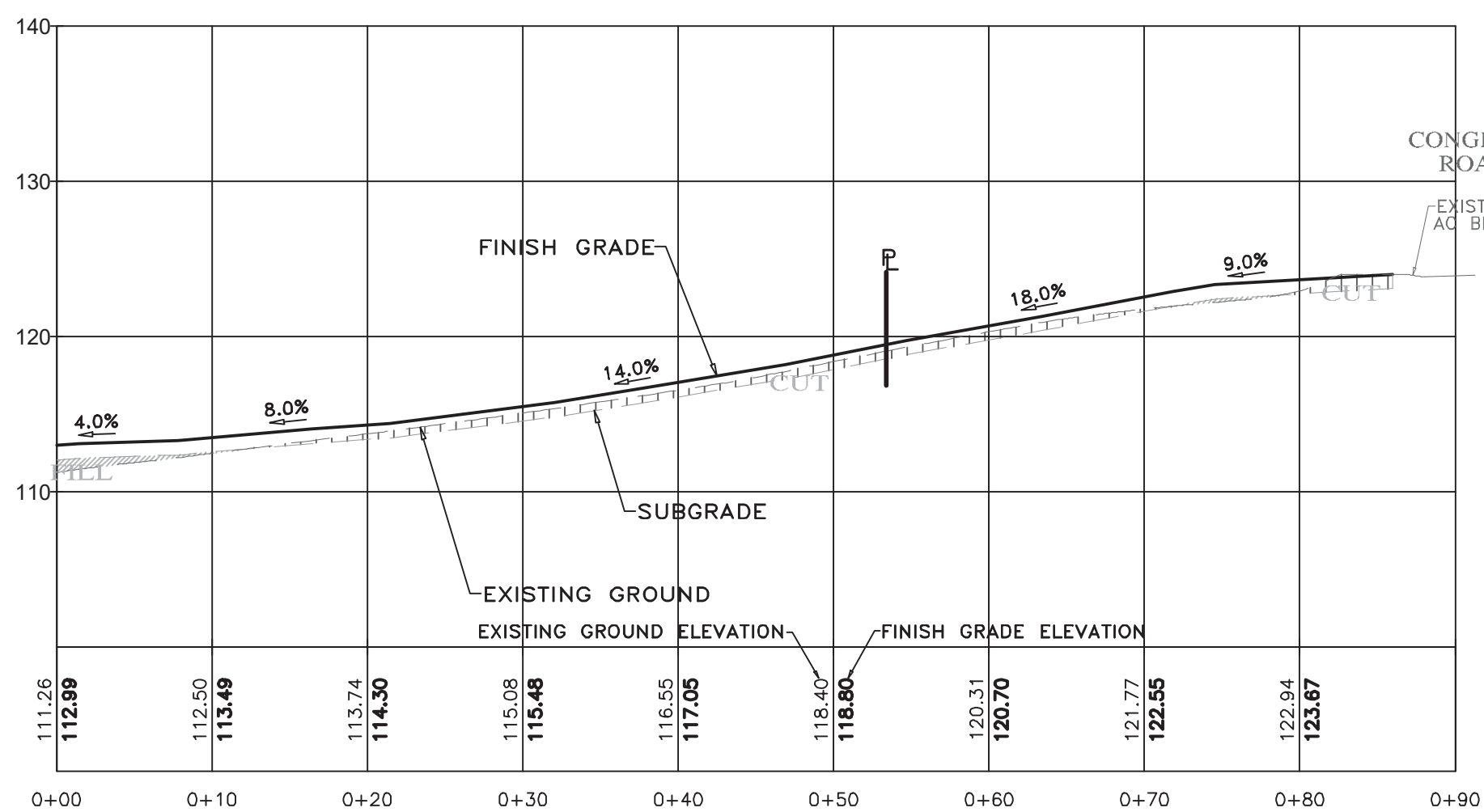
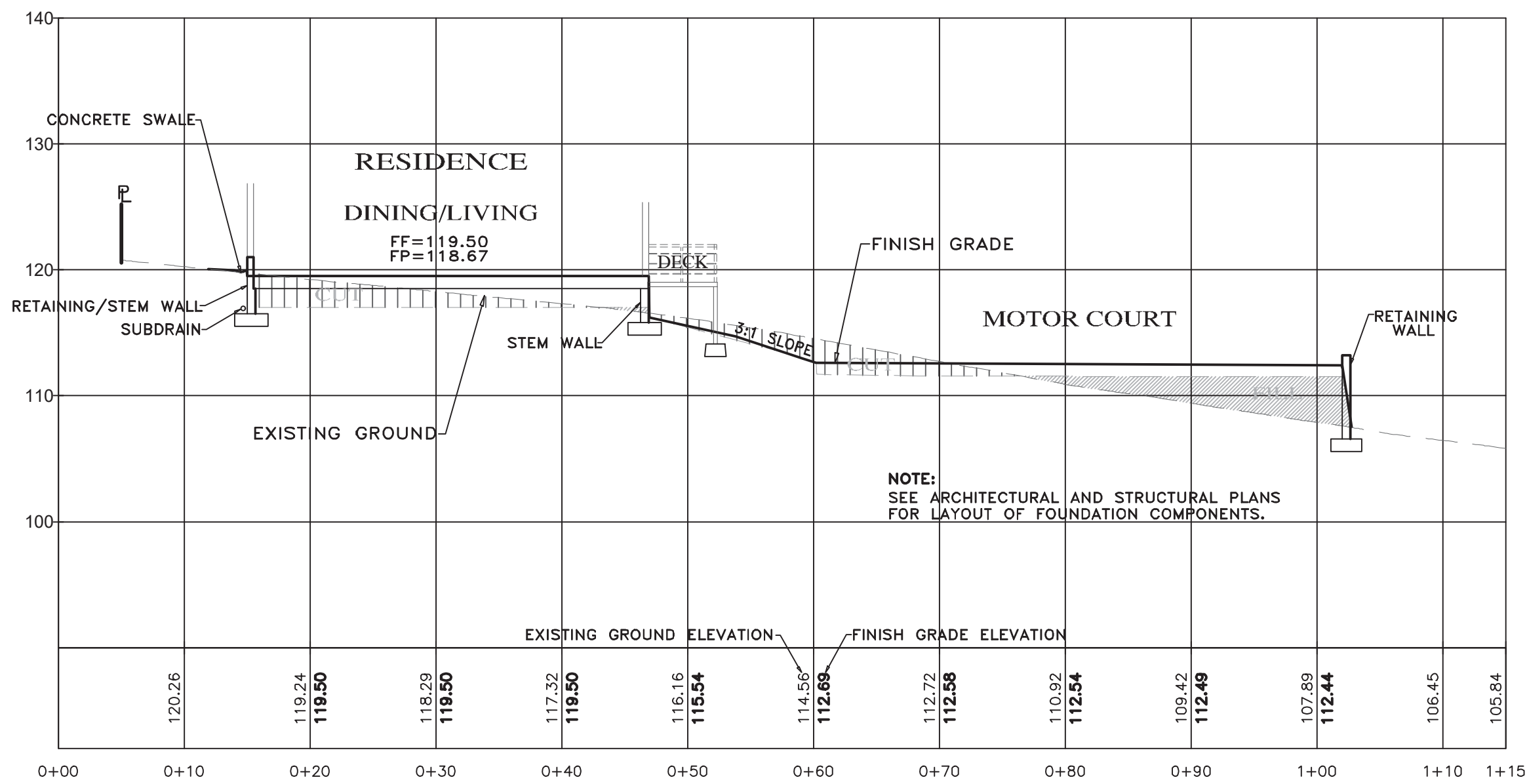
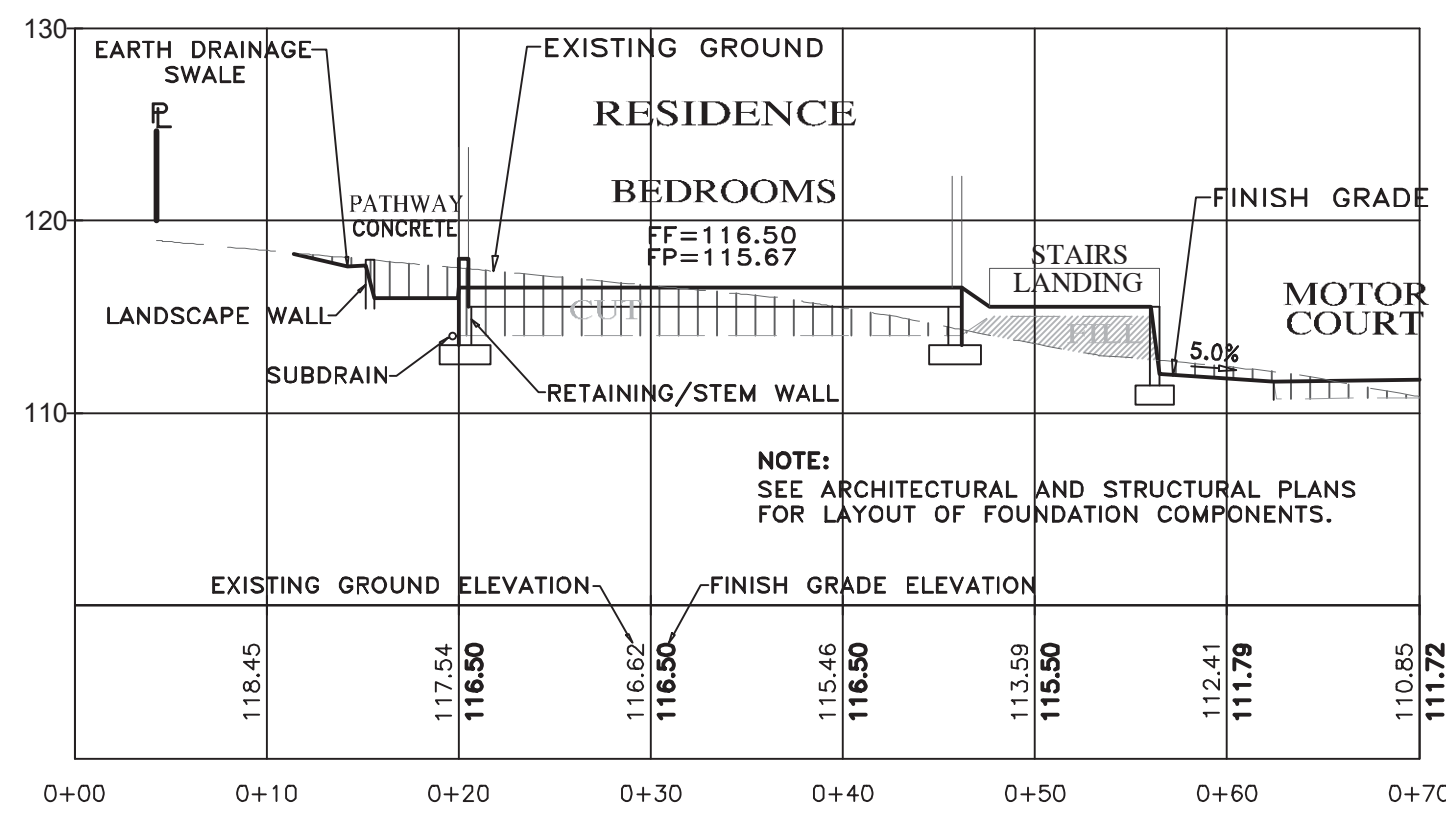
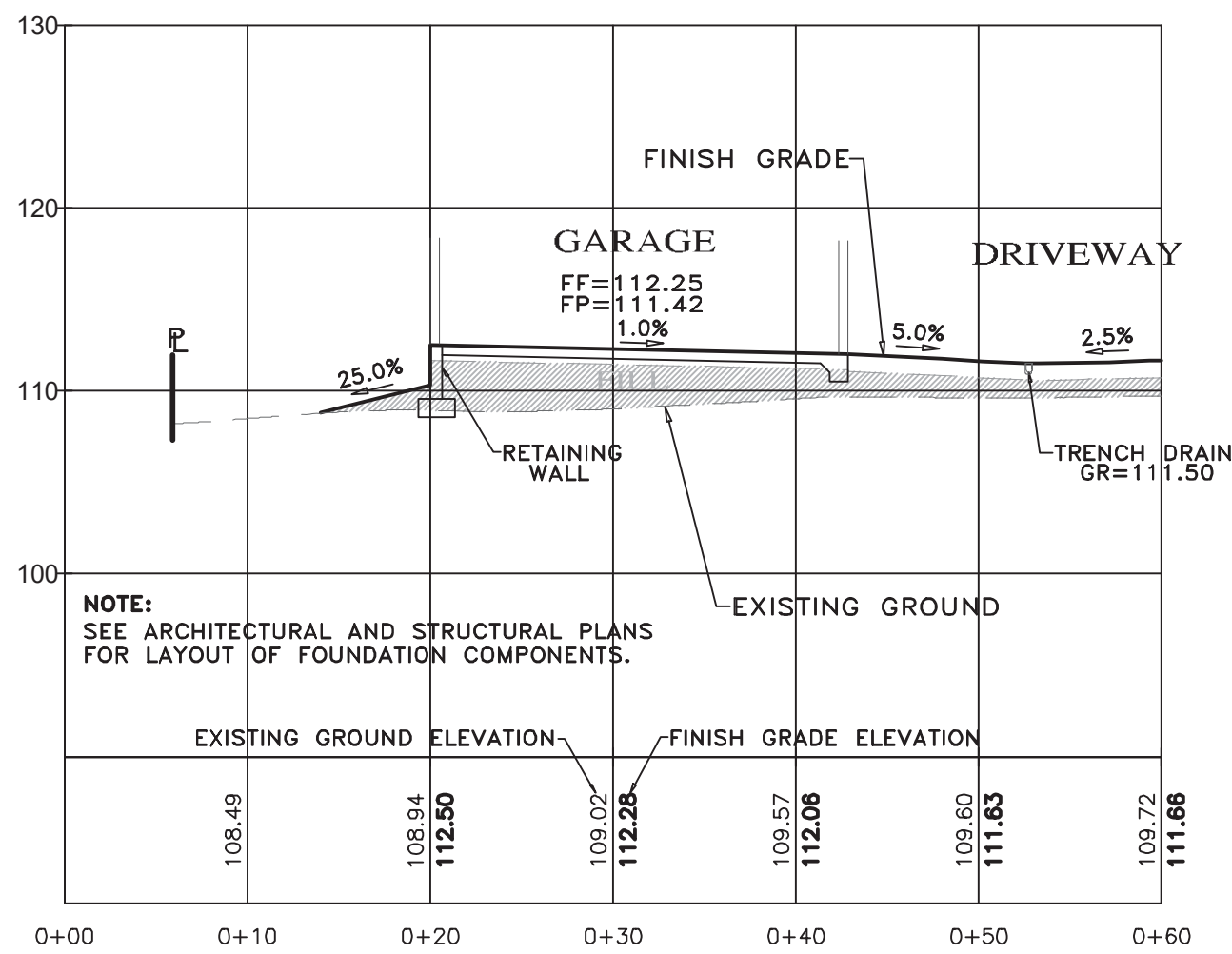
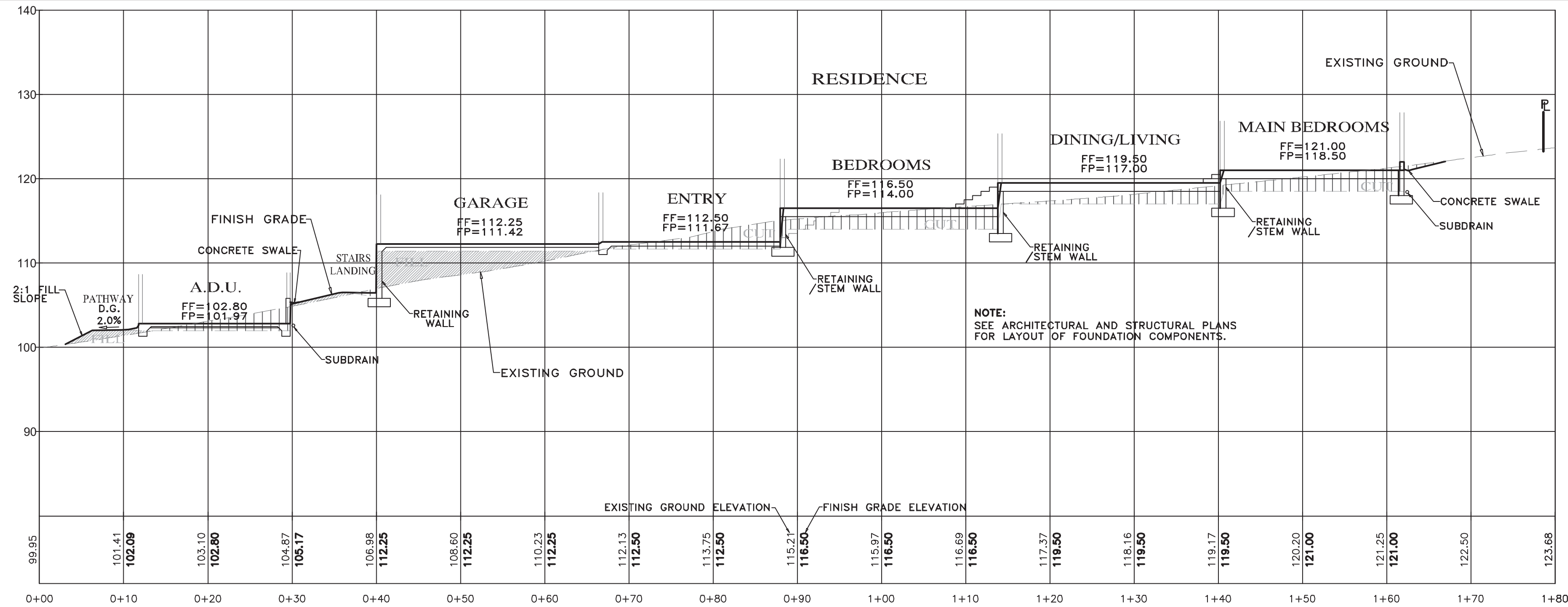
OF
WILKINS RESIDENCE
A.P.N.: 007-661-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. DAVE & BUSHRA WILKINS

SCALE: 1"=10'
DATE: JULY 2019
JOB NO. 1966-01

No.	DATE	BY	REVISION
12/18/23	AMS	ARCHITECT REVIEW	
12/05/23	AMS	NEW SITE PLAN	
07/01/20	AMS	NEW SITE PLAN PER OWNER	
07/23/19	AMS	RELEASED TO CLIENT	

SHEET **C3**
OF 6 SHEETS





" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
WILKINS RESIDENCE

A.P.N.: 007-661-005

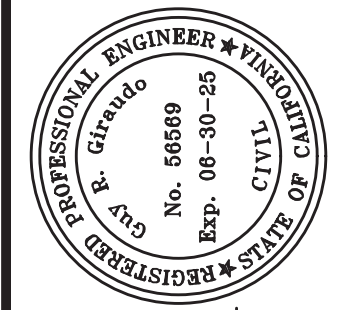
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA

FOR
MR. & MRS. DAVE & BUSHRA WILKINS

SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1966-01

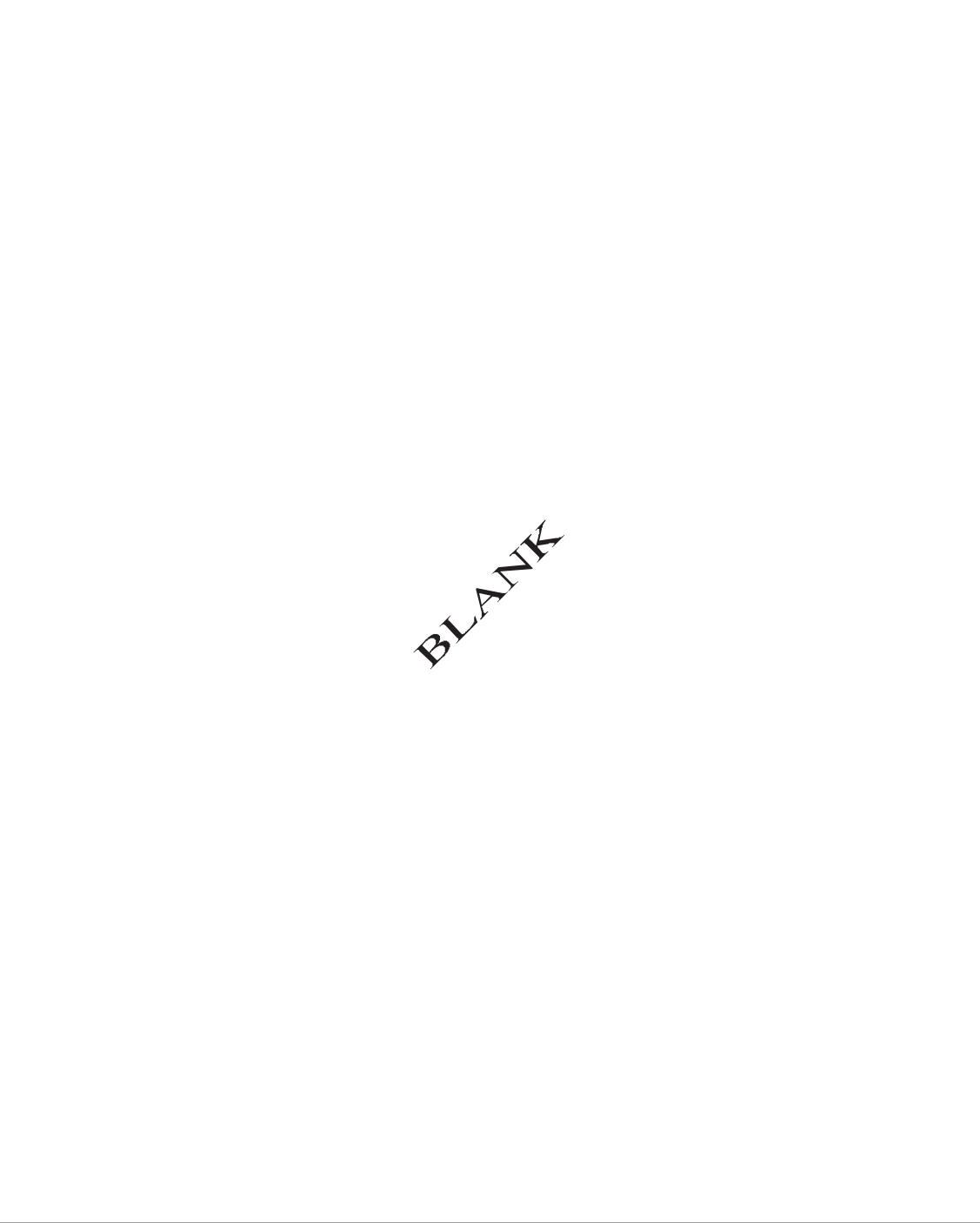
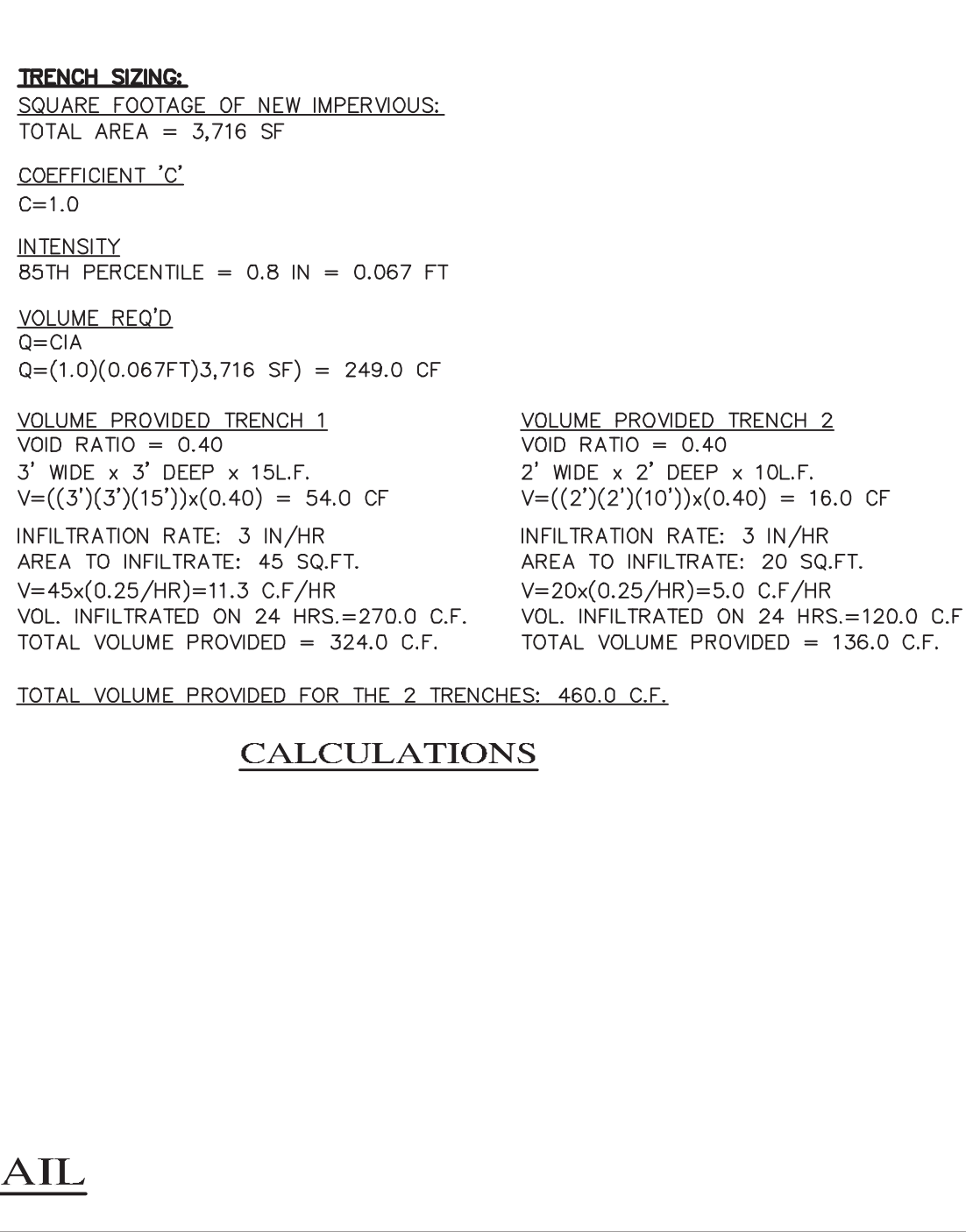
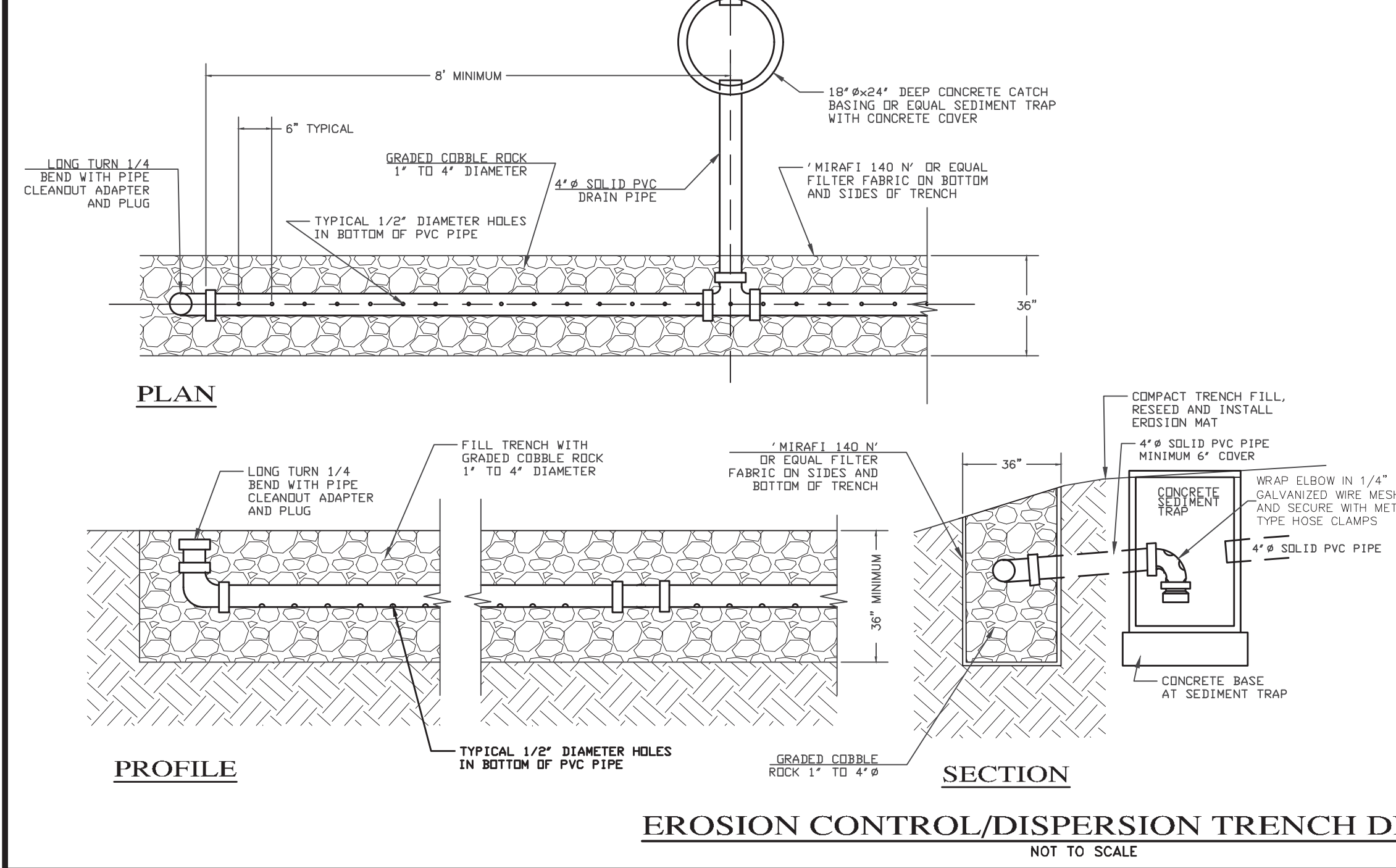
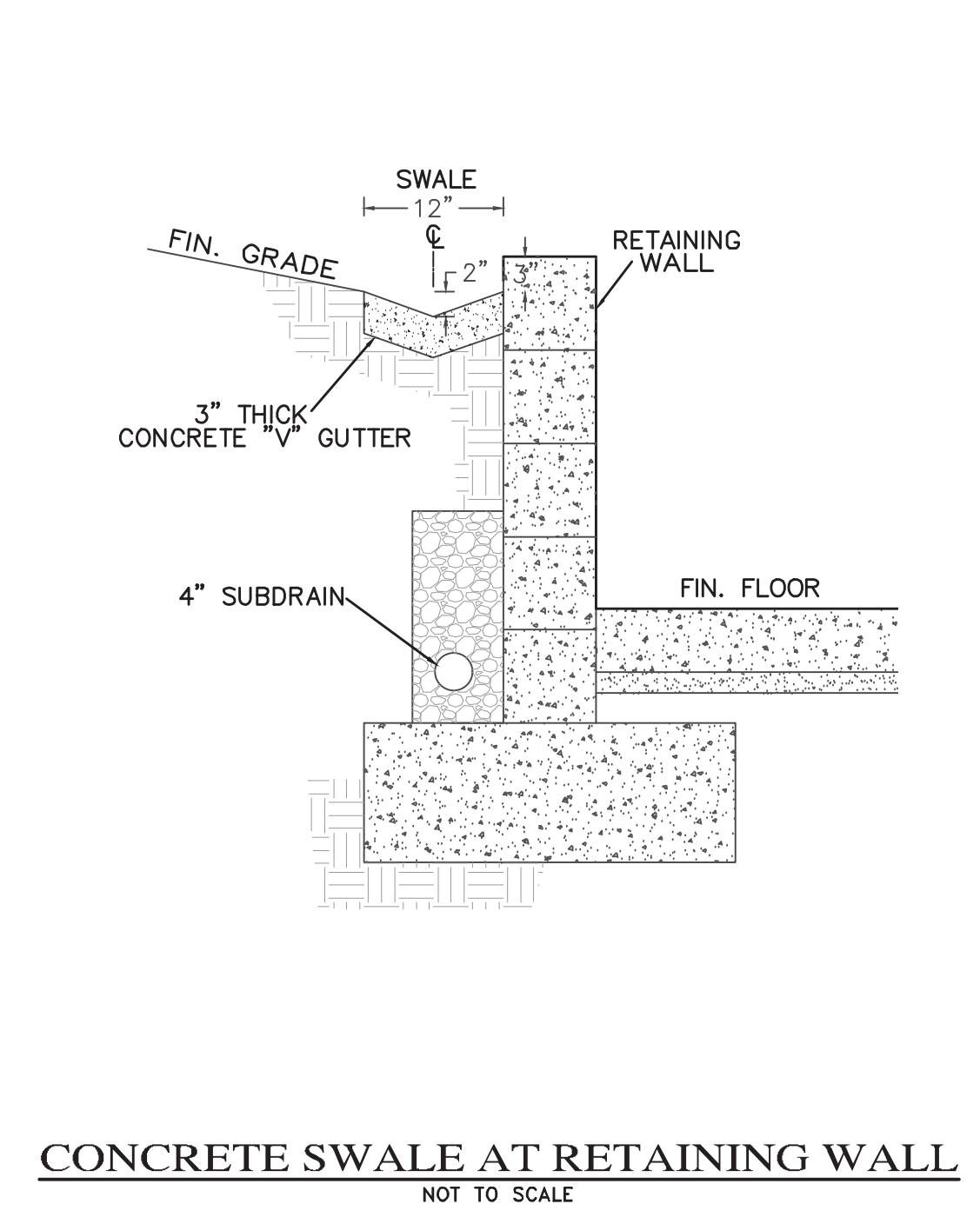
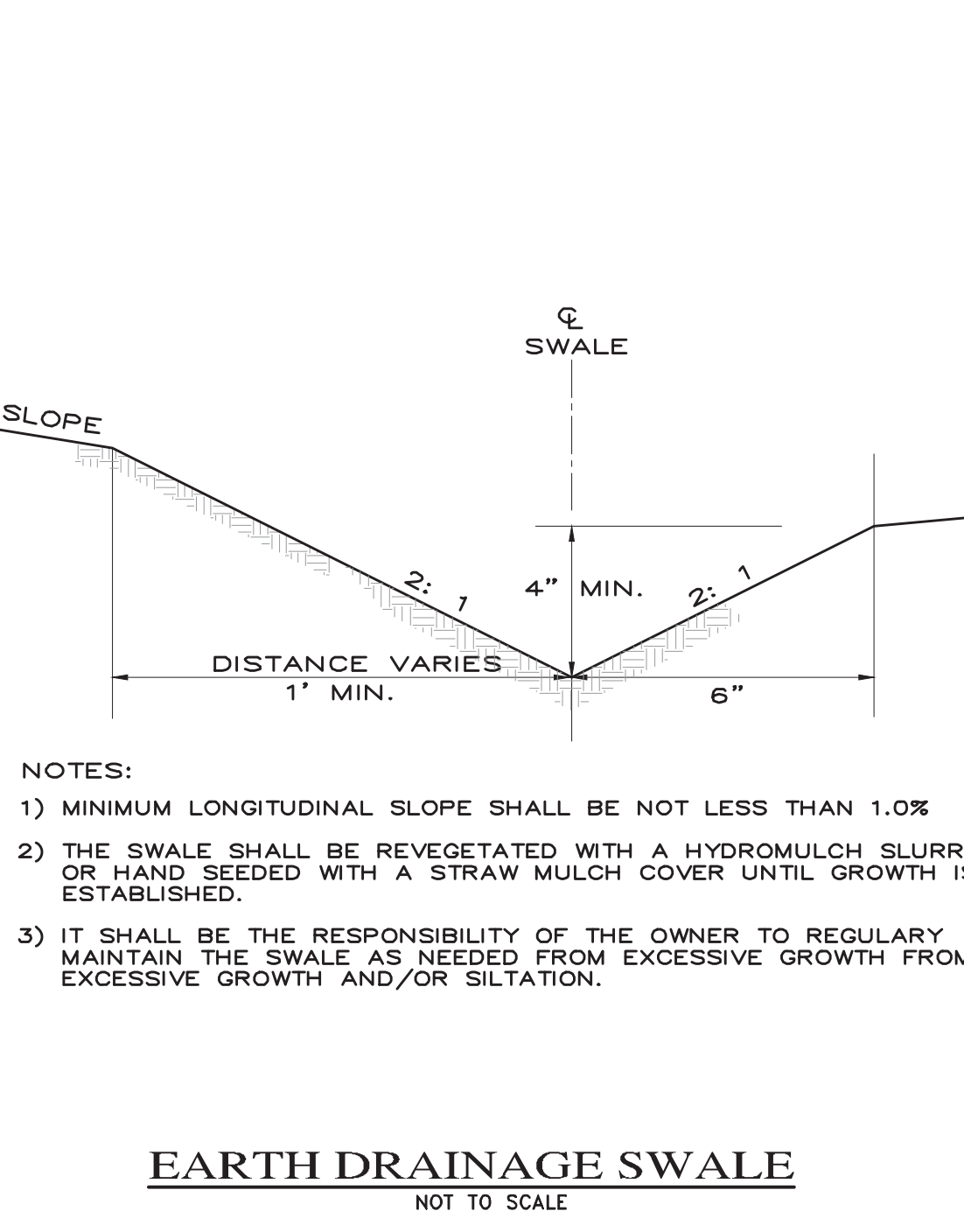
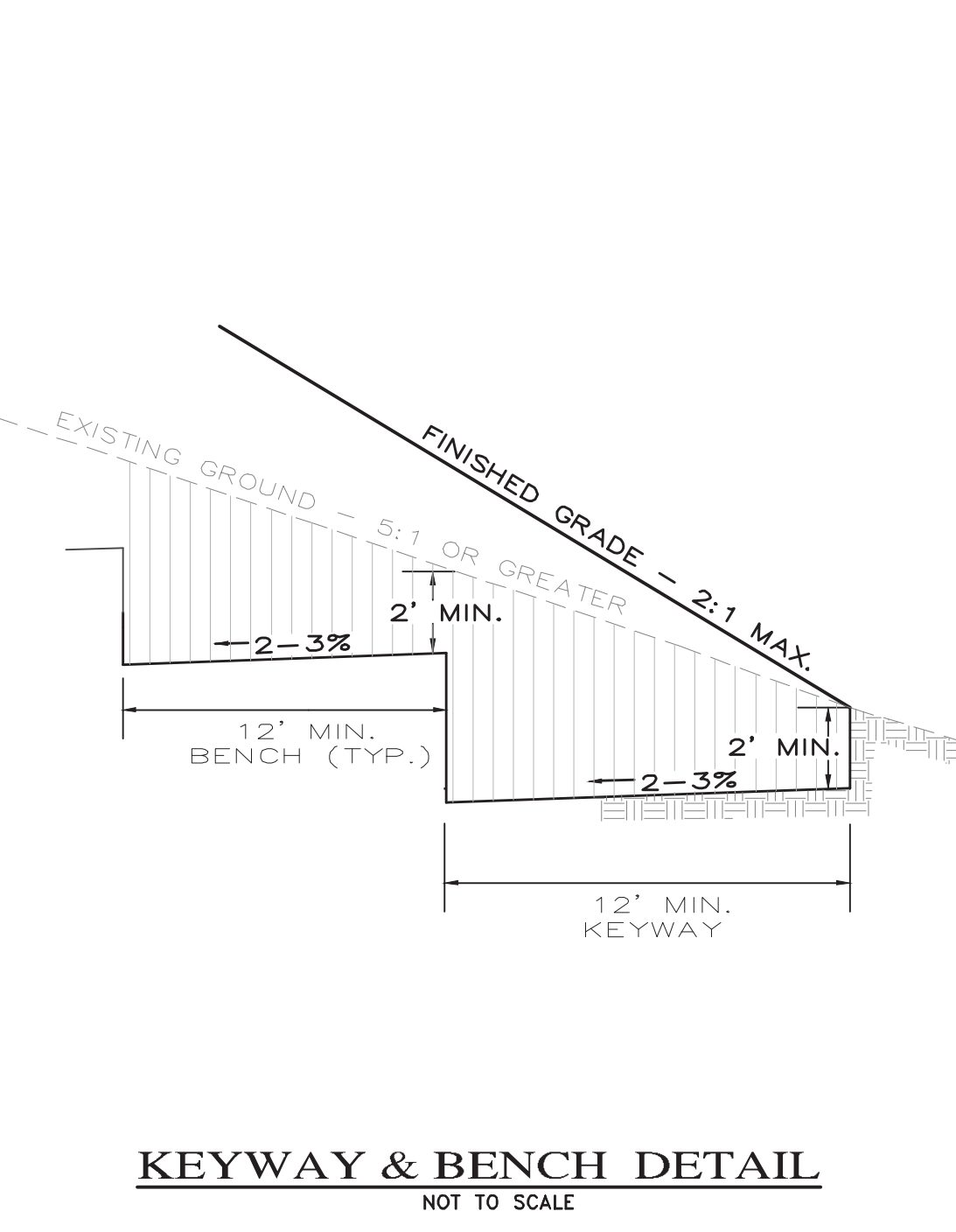
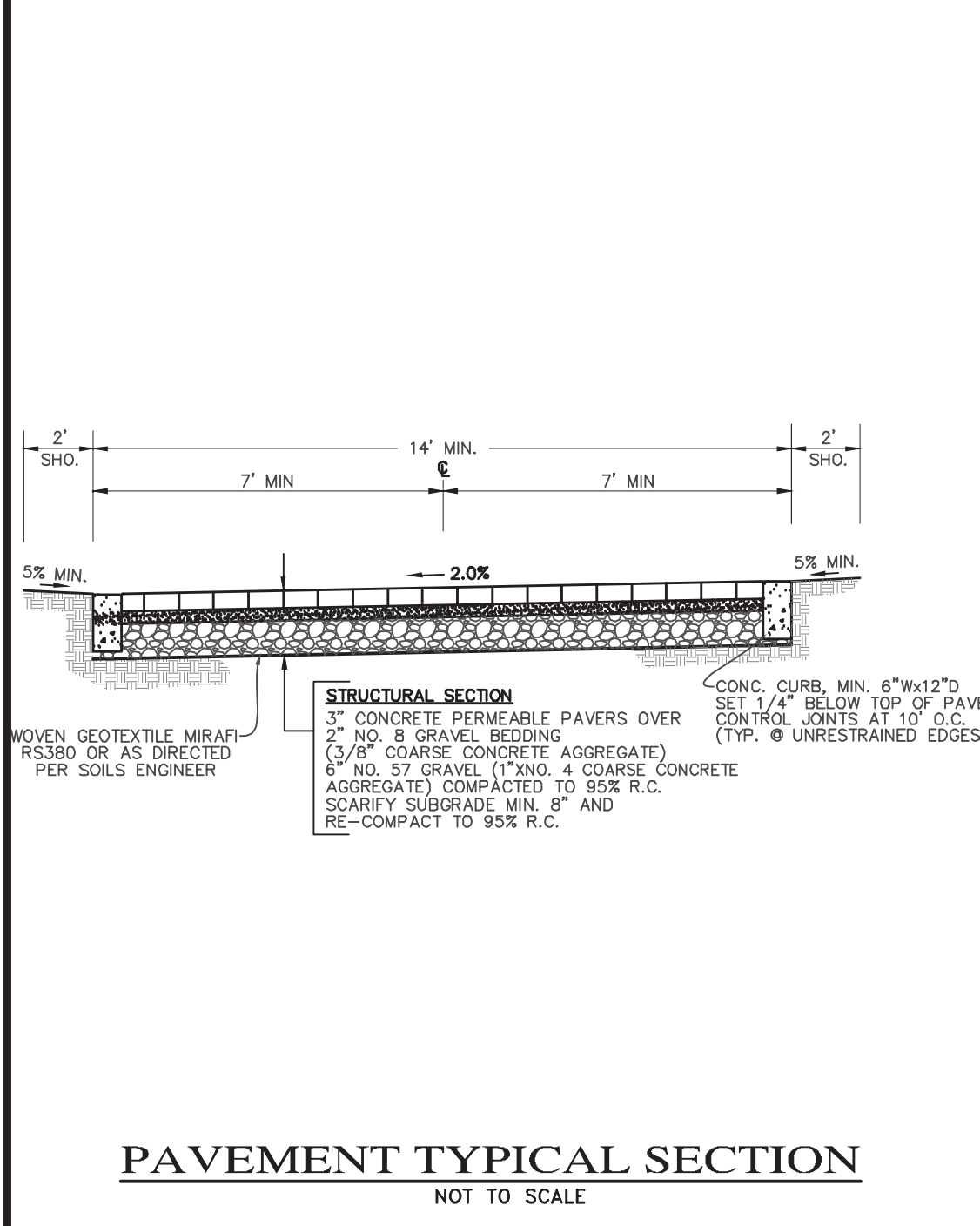
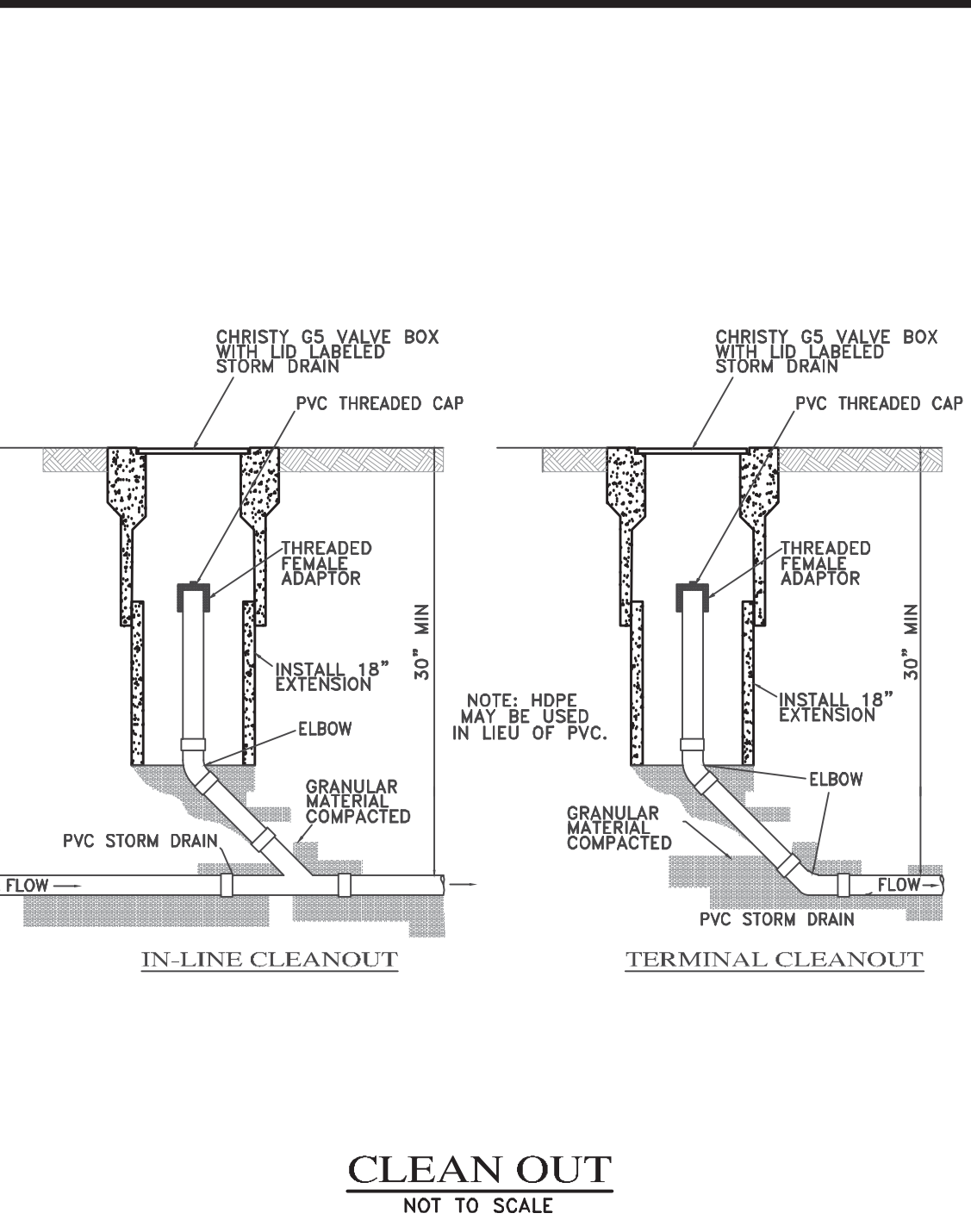
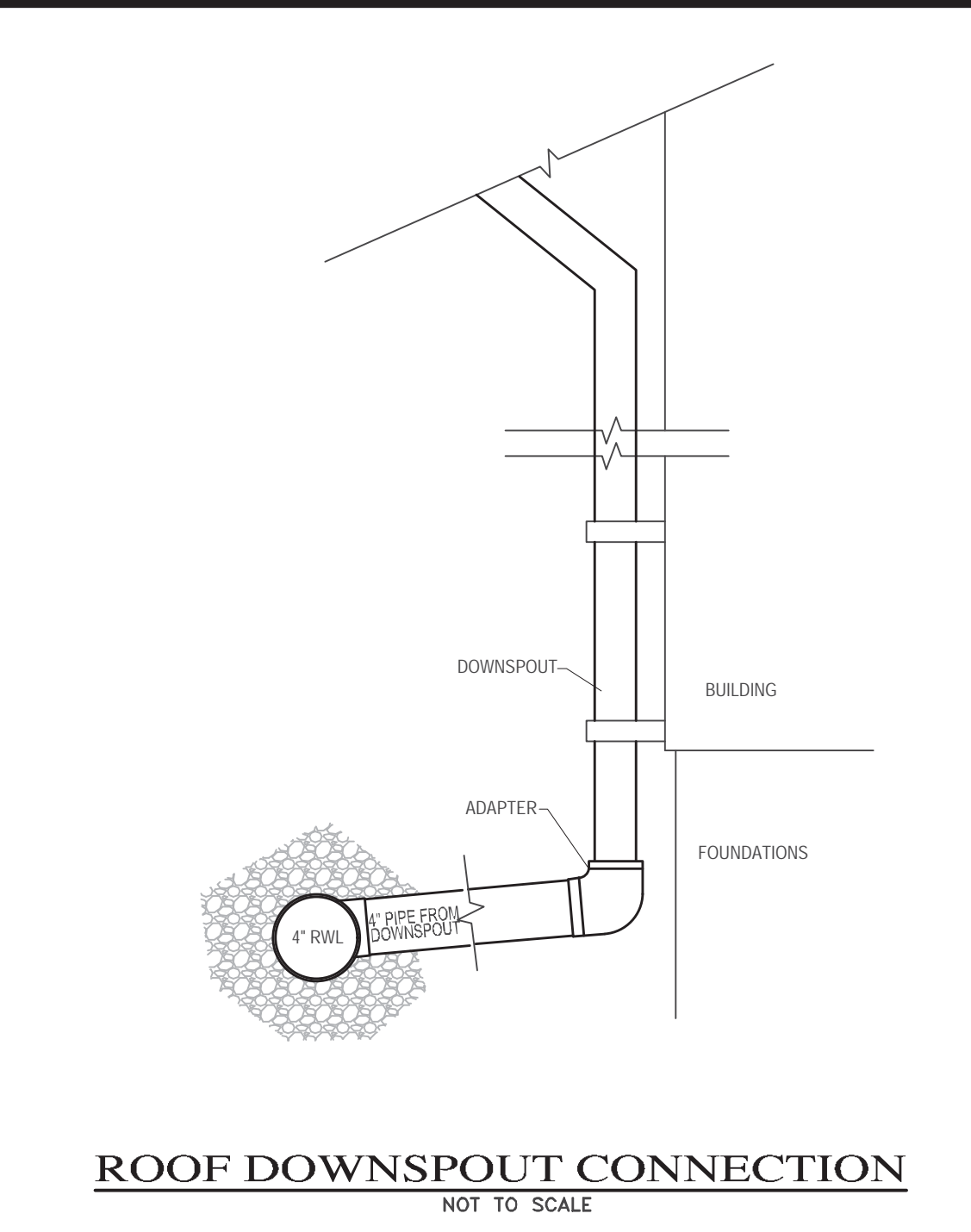
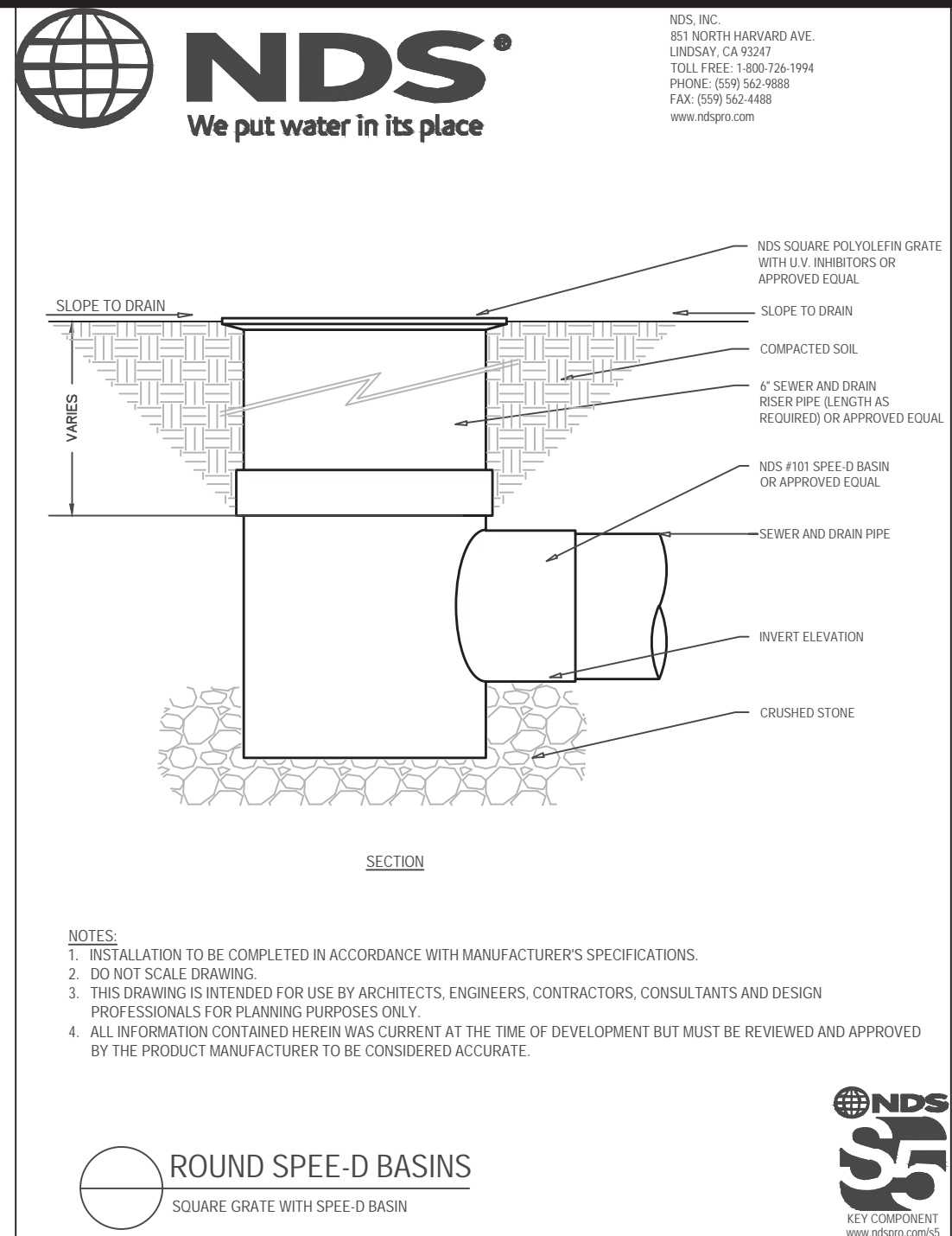
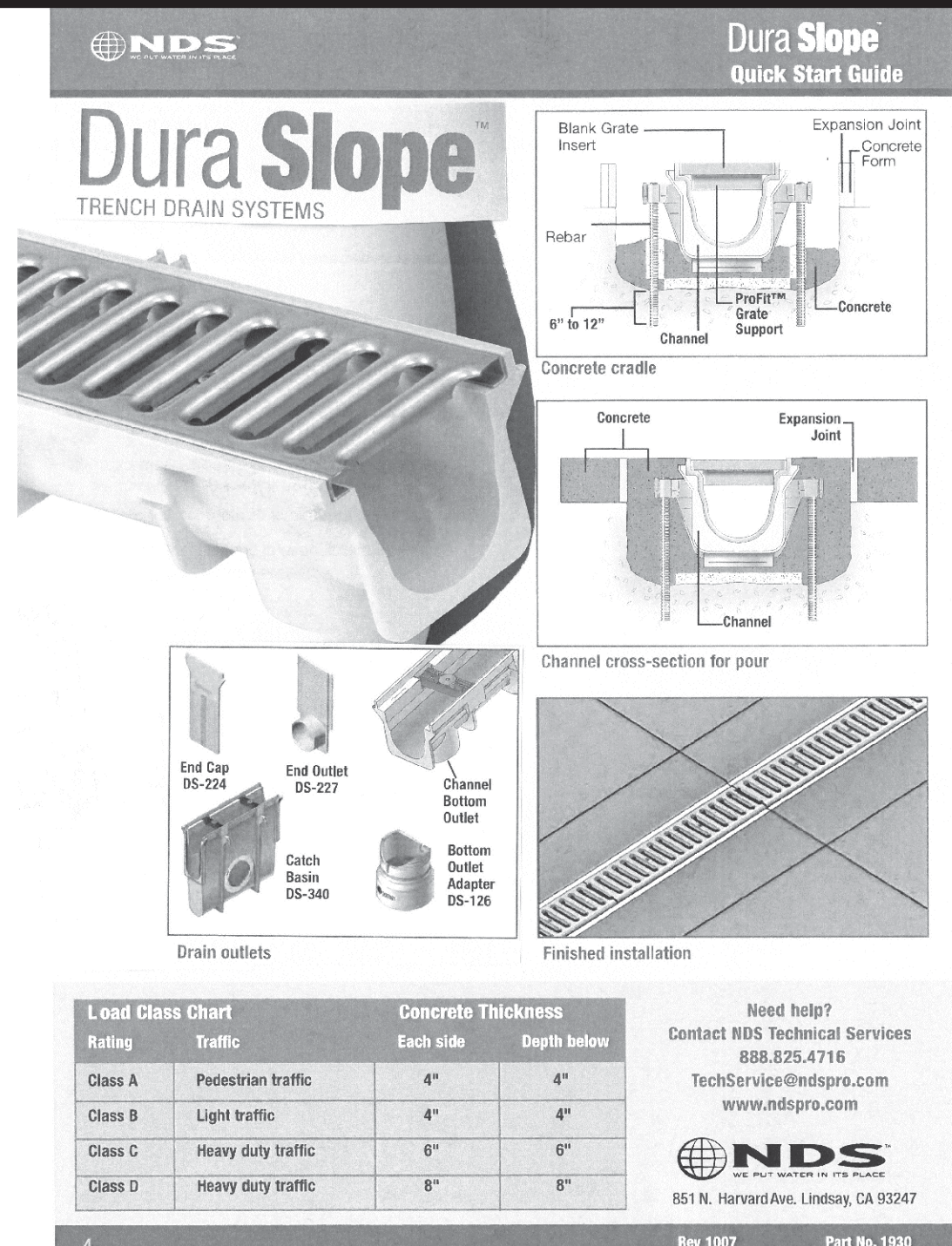
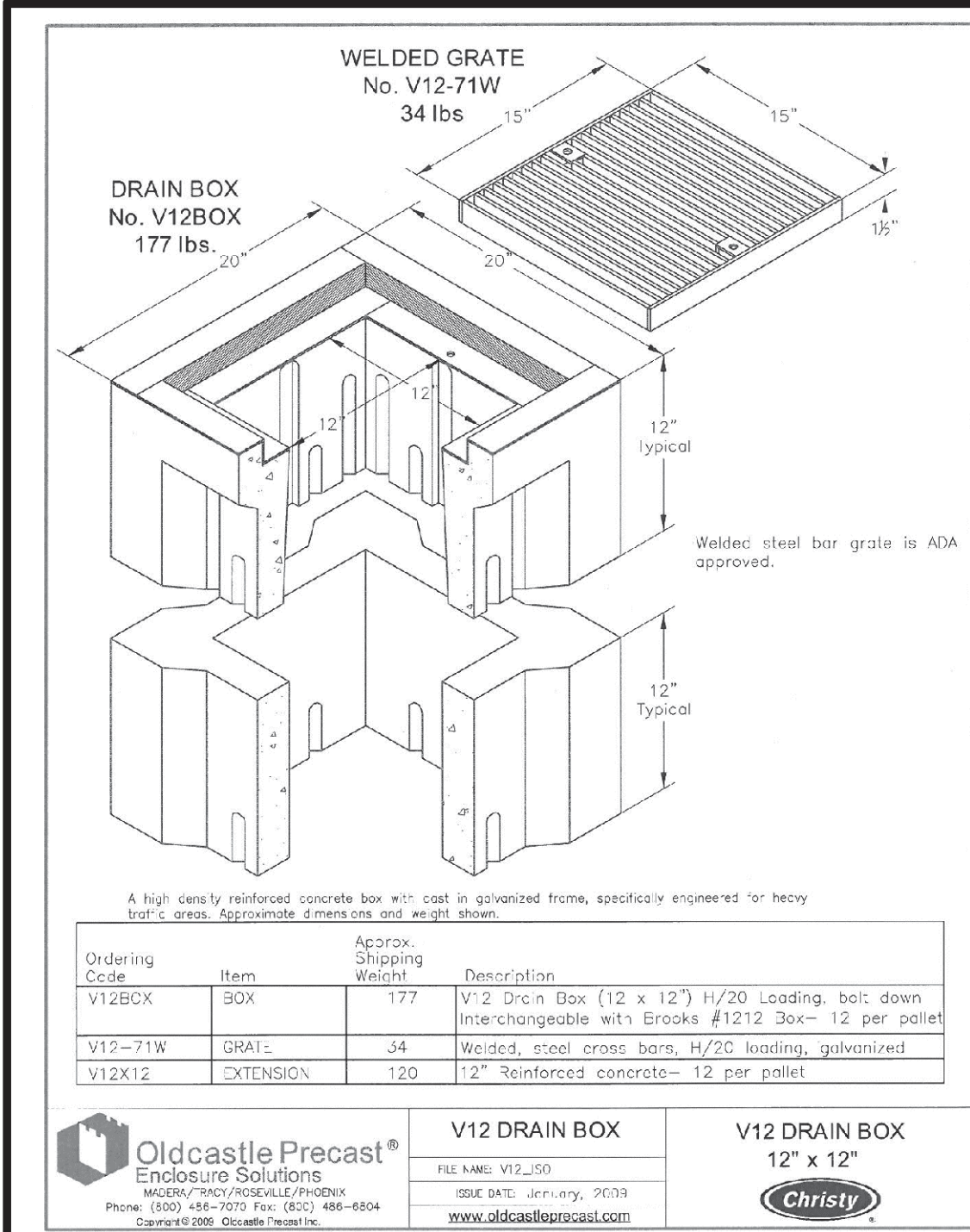
No.	DATE	BY	REVISION
12/18/23	AMS	ARCHITECT REVIEW	
12/05/23	AMS	NEW SITE PLAN	
07/01/20	AMS	NEW SITE PLAN PER OWNER	
07/23/19	AMS	RELEASED TO CLIENT	

SHEET
C4
OF 6 SHEETS



APPROVED BY:
GUY R. GIRARDO
12/2/23





No.	DATE	BY	REVISION
12/18/24	AMS	ARCHITECT REVIEW	
12/05/24	AMS	NEW SITE PLAN	
07/01/24	AMS	NEW SITE PLAN PER OWNER	
07/23/19	AMS	RELEASED TO CLIENT	

PROFESSIONAL ENGINEER
No. 66689
Exp. 06-30-25
CIVIL
STATE OF CALIFORNIA

APPROVED BY:
GUY R. GIRARDIO
12/12/23

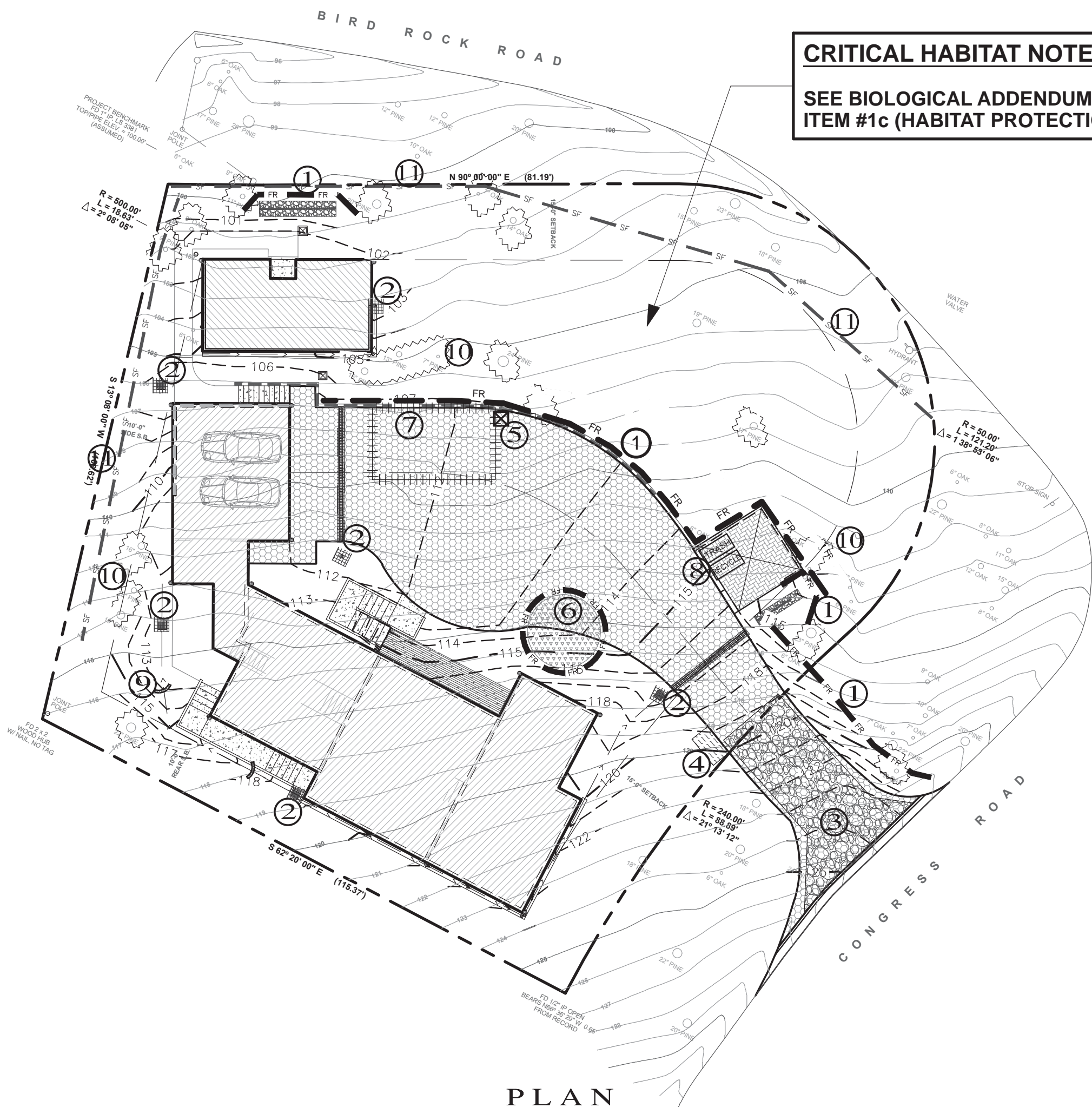
LANDSET
ENGINEERS, INC.
5004 Gray Horse Canyon Road
Salinas, California 95067
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

" STANDARD PLANS AND CONSTRUCTION DETAILS "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
WILKINS RESIDENCE
A.P.N.: 007-661-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. DAVE & BUSHRA WILKINS

SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1966-01

SHEET
C5
OF 6 SHEETS



LEGEND:

1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAMINANT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" 1" CRUSHED ROCK, TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: *BROMUS CARINATUS* (CALIFORNIA BROME), *VULPIA MICROSTACHYS* (NUTTALL'S FESCUE), *ELYMUS GLAUCUS* (BLUE WILD RYE), *HORDEUM BRACHYANTHERUM* (MEADOW BARLEY), *FESTUCA RUNRMOLATE* BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

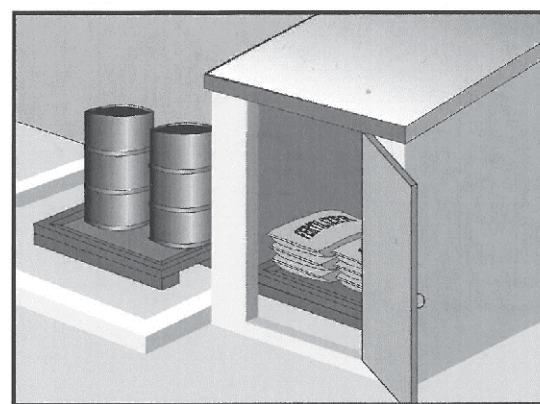
TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	CONTINUOUS DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

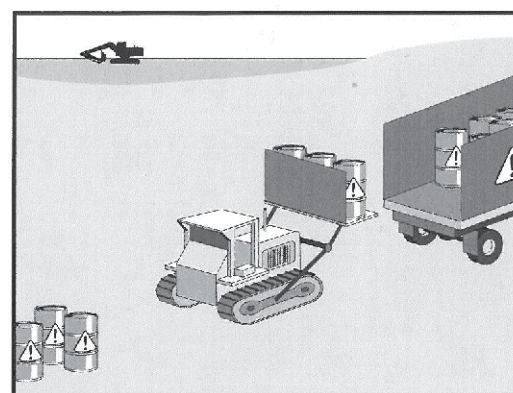
Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

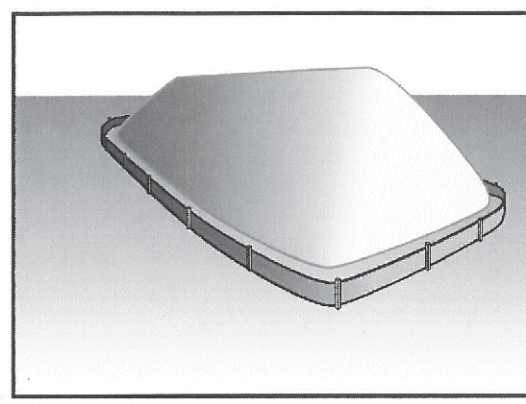
This best management practice covers only material delivery and storage. For other information on materials, see WM-4, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Hazardous Waste Management WM-6



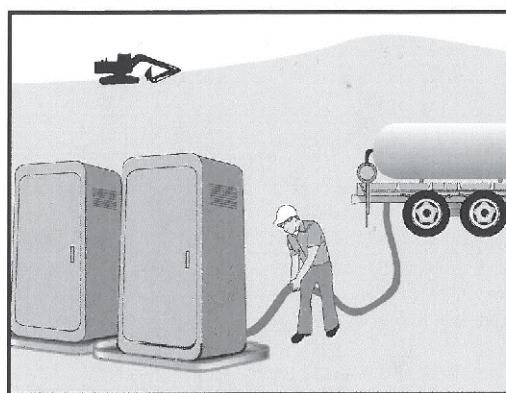
Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Stockpile Management WM-3



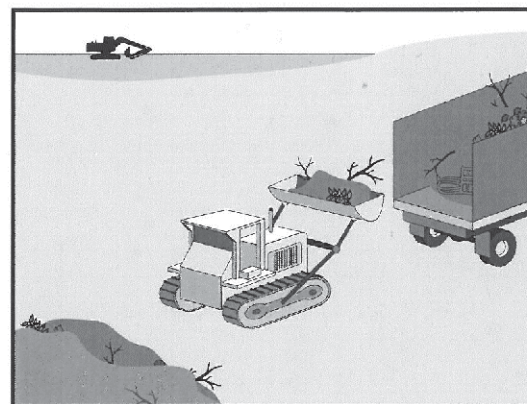
Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Sanitary/Septic Waste Management WM-9



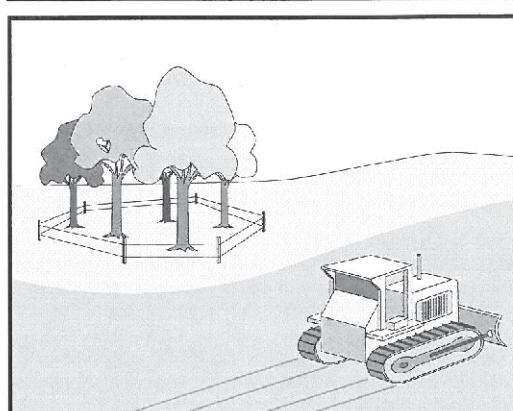
Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Solid Waste Management WM-5

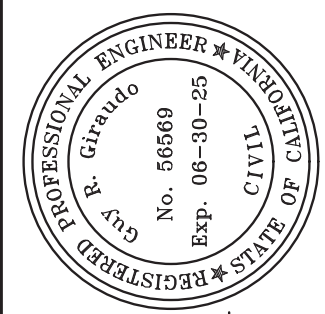


Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.



APPROVED BY:



" EROSION & SEDIMENT CONTROL PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

WILKINS RESIDENCE
A.P.N.: 007-661-005
PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. DAVE & BUSHRA WILKINS

SCALE: AS SHOWN
DATE: JULY 2019
JOB NO. 1966-01
SHEET C6
OF 6 SHEETS

No.	DATE	BY	REVISION
12/18/23	AMS		ARCHITECT REVIEW
12/05/23	AMS		NEW SITE PLAN
07/01/20	AMS		NEW SITE PLAN PER OWNER
07/23/19	AMS		RELEASED TO CLIENT



AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

WILKINS
RESIDENCE

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

DRAWINGS:
LANDSCAPE PLAN

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
REVISION DATES:
February 20, 2021 (Revisions)
November 11, 2021 (Planning)
February 10, 2022 (Bldg. Submittal)
December 20, 2023 (Planning Rev.)
January 24, 2024 (Planning Rev.)
January 31, 2024 (Planning Rev.)

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SHEET

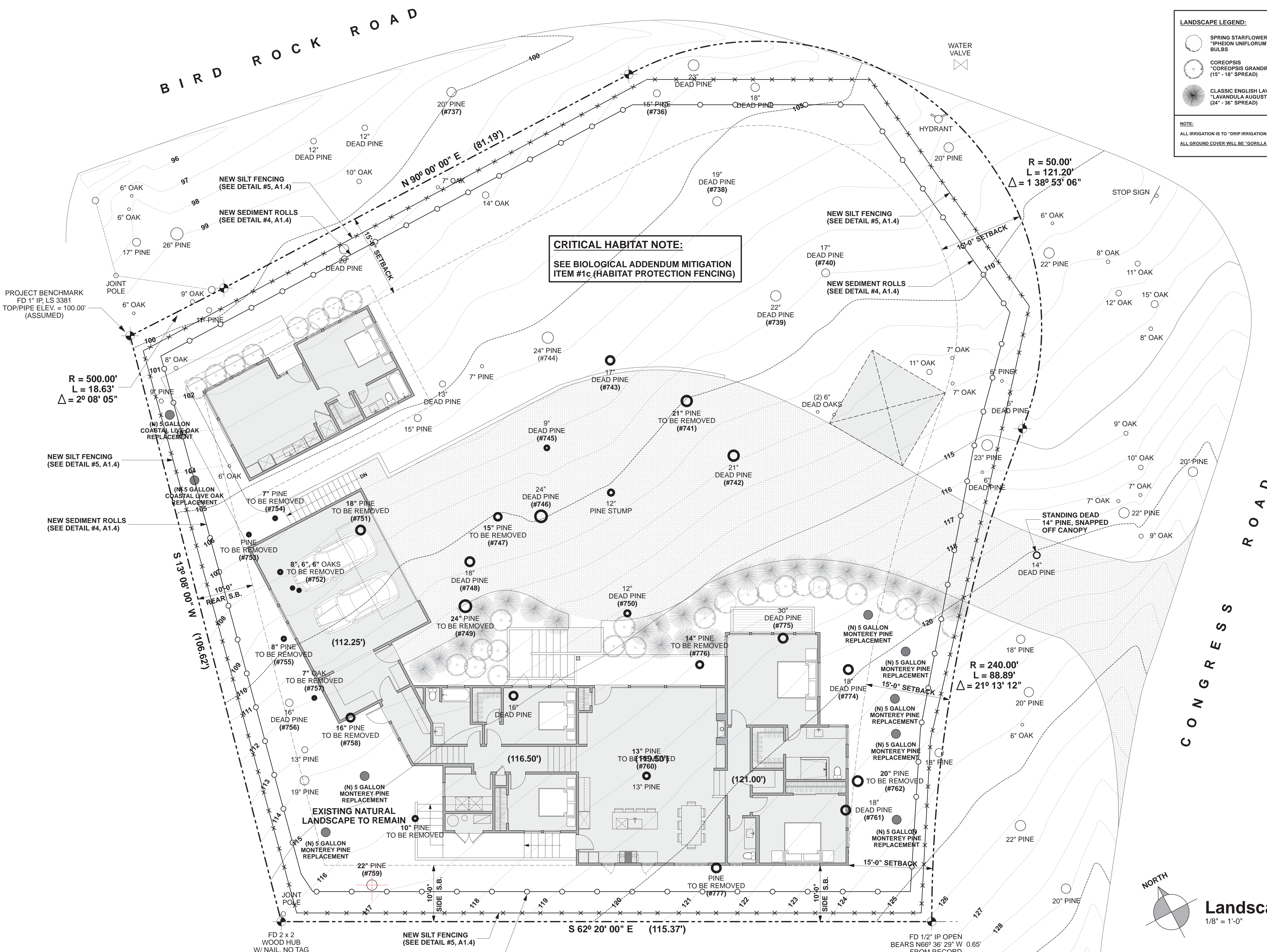
L-1

LANDSCAPE LEGEND:

- SPRING STARFLOWER
"IPHEION UNIFLORUM"
BULBS
- COREOPSIS
"COREOPSIS GRANDIFLORA"
(15' - 18" SPREAD)
- CLASSIC ENGLISH LAVENDER
"LAVANDULA AUGUSTIFOLIA"
(24" - 36" SPREAD)

NOTE:

ALL IRRIGATION IS TO "DRIP IRRIGATION SYSTEM"
ALL GROUND COVER WILL BE "GORILLA HAIR"

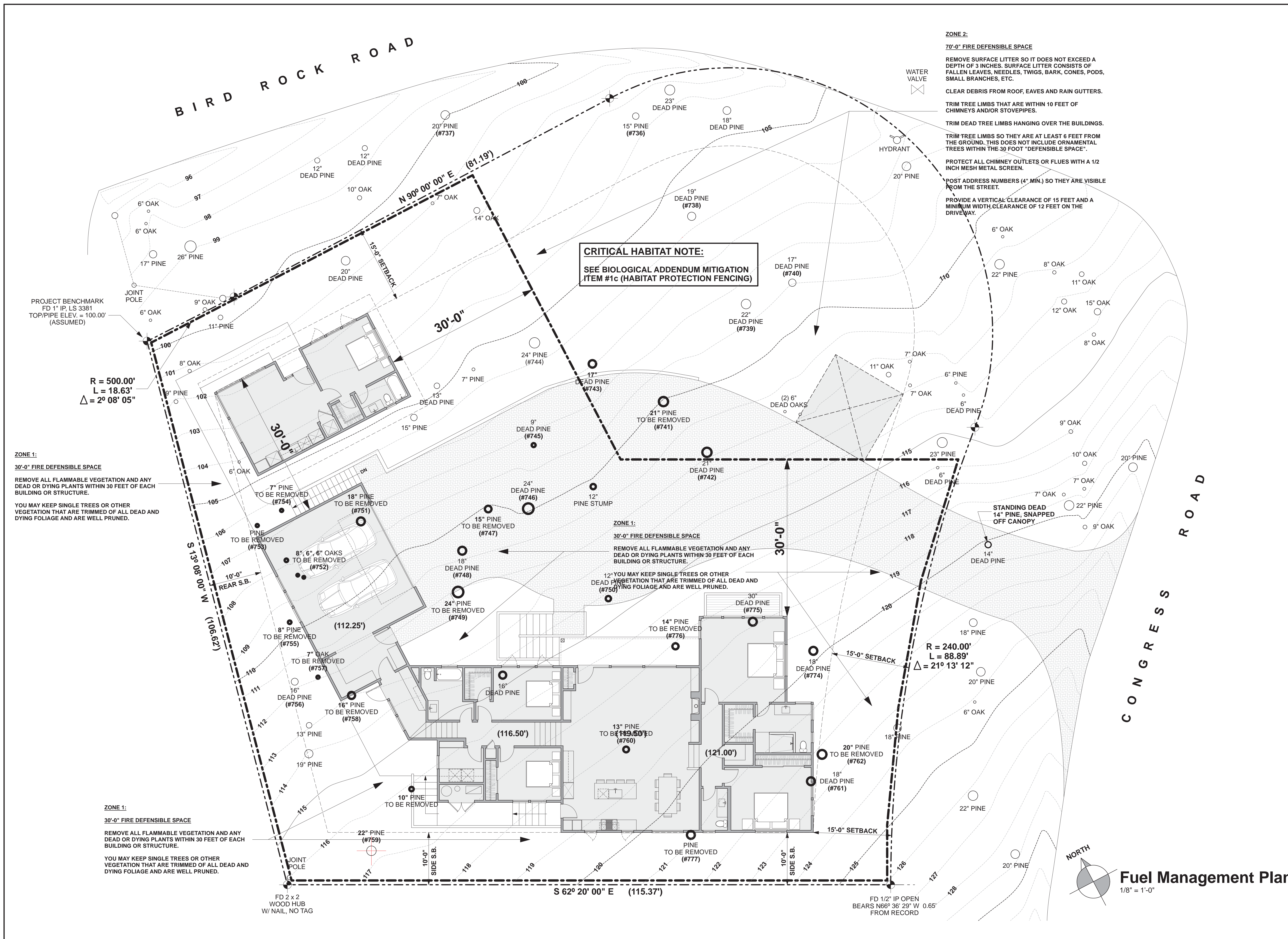


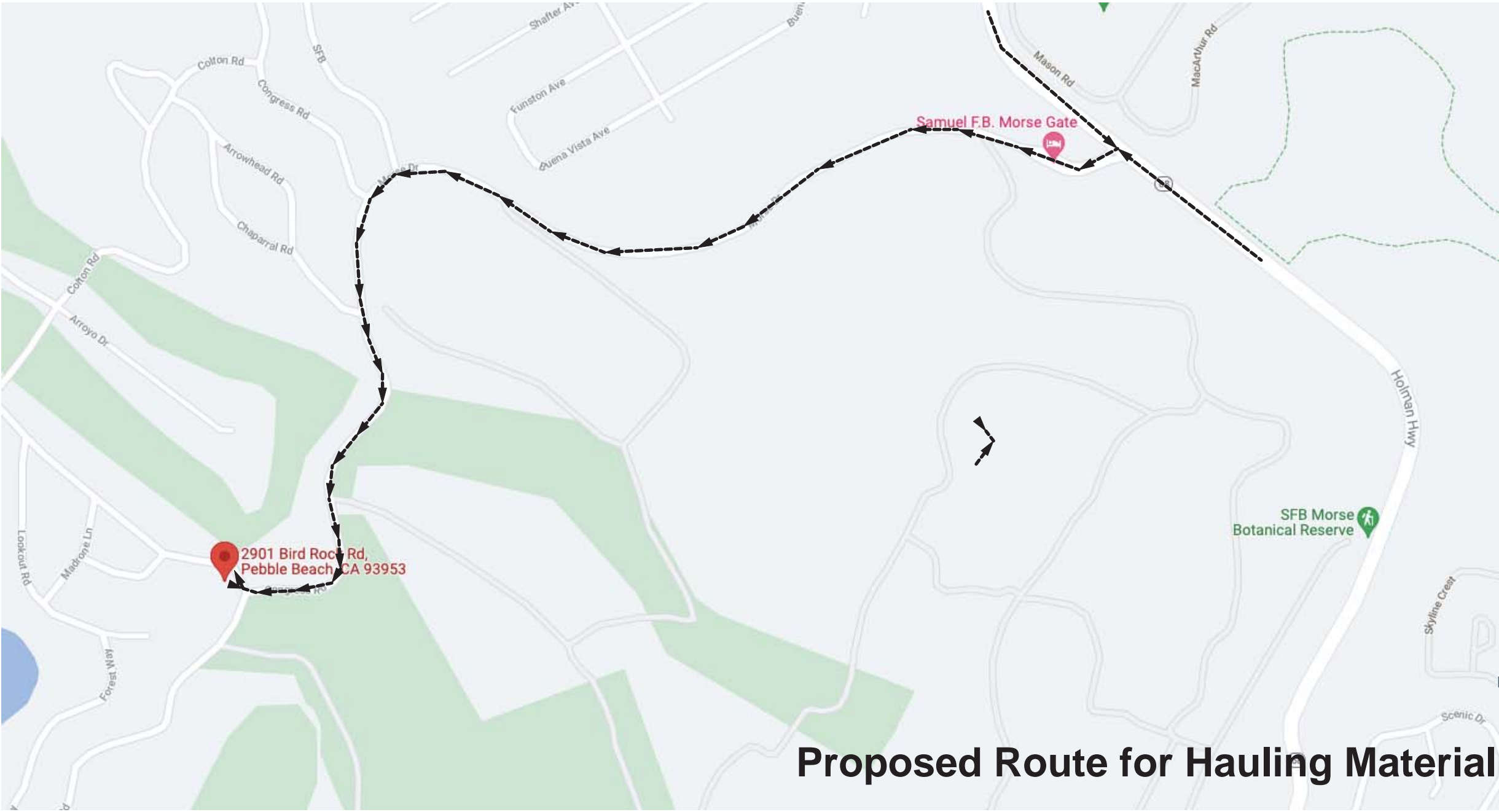
WILKINS
RESIDENCE

DRAWINGS:
FUEL MANAGEMENT PLAN

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FM-1





- TYPES OF CONSTRUCTION VEHICLES:**
- TRACTORS FOR GRADING
 - CONCRETE TRUCKS
 - LUMBER TRUCKS
 - MISC. TRADE VEHICLES (MID-SIZE VEHICLES)

VEHICLE TRIPS PER DAY: 2 - 4 VEHICLES PER DAY

AMOUNT OF GRADING PER DAY: PROPOSED GRADING WILL OCCUR FIRST 3 - 4 WEEKS OF CONSTRUCTION PER CIVIL DRAWINGS

HOURS OF OPERATION: 7:00AM - 4:00PM

PROJECT SCHEDULING: START OF PROJECT: MARCH 2022
END OF PROJECT: JULY 2023

NAMES & CONTACT INFO. RESPONSIBLE FOR PROJECT DURING CONSTRUCTION:

MR. JOHN (DAVE) WILKINS (OWNER)
(831) 224-0447

LUNA CONSTRUCTION
JAVIER LUNA
(831) 206-5598

AARON TOLLEFSON (DESIGNER)
(831) 578-3450

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

Aaron Tollefson

AARON S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

**WILKINS
RESIDENCE**

2901 BIRD ROCK ROAD
PEBBLE BEACH, CALIFORNIA
A.P.N.: 007-661-005

DRAWINGS:
CONSTRUCTION MANAGEMENT
PLAN

DRAWN BY: AST
DRAWING DATE: Aug. 31, 2020
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SHEET

CM-1

