

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

WOOD LAWRENCE E & SHARON P TRS (PLN210086)

RESOLUTION NO. 25-055

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Coastal Administrative Permit and Design Approval to allow construction of a 7,367 square foot single family dwelling with a 785 square foot attached garage, 1,384 square feet of decks, and associated site improvements including after-the-fact approval of a 130 square foot shed; Coastal Administrative Permit to allow less than 100 cubic yards of excavation on slopes in excess of 30%; a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and a Coastal Administrative Permit for the conversion of a test well into a domestic well.

[PLN210086, Wood Lawrence E & Sharon P Trs, 232 Lower Walden Road, Carmel, Carmel Land Use Plan (APN: 241-241-005-000)]

The WOOD LAWRENCE E & SHARON P TRS (PLN210086) came on for an administrative decision before the County of Monterey Chief of Planning on November 5th, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan (CAR LUP);

- Monterey County Coastal Implementation Plan, Part 2 (Carmel CIP); and
- Monterey County Zoning Ordinance (Title 20).

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Allowed Use. The property is located at 232 Lower Walden Road, Pebble Beach (Assessor's Parcel Number 008-031-030-000), Del Monte Forest Land Use Plan, Coastal Zone. The parcel is zoned Low Density Residential with a Design overlay, Coastal or "LDR/1-D(CZ)", which allows for the construction of a new single-family dwelling with an attached garage subject to a Coastal Administrative Permit. Pursuant to Title 20 section 21.44, the proposed development is subject to a Design Approval as the underlying zoning includes a "D" overlay. The project involves less than 100 cubic yards of excavation on slopes in excess of 30% and therefore requires a Coastal Administrative Permit pursuant to Title 20 section 20.64.230. Additionally, the project involves development within 750 feet of a known archaeological resource, which is also subject to the granting of a Coastal Administrative Permit. Finally, the project involves after-the-fact construction of a 130 square foot shed. Therefore, the project is an allowed land use for this site.
- c) Lot Legality. The parcel (Assessor's Parcel Number 241-241-005-000, 2.12 acres, 92,686 square feet) is shown in its current configuration and under separate ownership as Lot 26A in Book 241, Page 24 of the 1964 and 1972 Assessor's Parcel Maps. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood/Community Character and Visual Resources. Pursuant to Title 20, Chapter 20.44, the project site and surrounding area are designated as being within a Design Control District or "D" overlay, which provides regulations of the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. As designed the single family dwelling is consistent with the neighborhood character in which this parcel is located in. The single-family dwelling will have a modern architectural style, with exterior colors and materials consisting of a weathered copper metal roof and stucco in white, black, and gray. According to Map A of the Carmel LUP, the subject property is designated as being in the viewshed from Highway 1; however, per staff's site visit, the subject property is not seen from Highway 1 and is not visible from a common public viewing area. CAR LUP Policy 2.2.3.3 indicates that new development on forested slopes within the public viewshed, as illustrated on the Carmel Area Map A (Local Coastal Program General Viewshed), shall be sited and designed in such a manner that structures are not visible from public viewpoints, Highway 1. This policy is implemented by Carmel CIP sections 20.146.030.C.1(c) and 20.146.030.C.4, which require that structures blend into the site and its surroundings through the use of exterior materials that give the appearance of natural materials, modifying bulk and massing to protect the public viewshed, and siting development within forested areas or in areas where existing topography can ensure

structures have minimal or no visibility. An exterior lighting condition (Condition No. 6) was added to ensure that lighting will not be intrusive. The single-family dwelling proposes earth-tone colors and natural materials. The project design, together with retention of the surrounding mature trees, will help screen the development from Highway 1. Therefore, as proposed and conditioned, the project blends into the surrounding environment, is consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood, and assures protection of the public viewshed.

- e) Development Standards. Title 20 section 20.14.060 establishes the site development standards applicable to structures within the LDR zoning district. Pursuant to Title 21 section 20.16.060.C, the main structures shall have setbacks of at least 30 feet for the front, 20 feet for the sides, and 20 feet for the rear, and a maximum allowable height of 30 feet. The garage is attached to the proposed residence and therefore, is subject to the same site development standards as the main structure pursuant to Title 20 section 20.62.040.K. As proposed, the residence and attached accessory structure will be over 30 feet from the front, over 20 feet from the side, over 20 feet from the rear. The proposed height of the residence and attached garage is 30 feet when measured from average natural grade. Condition No. 7 has been applied to ensure the final height does not exceed 30 feet. As shown on the attached plans, the existing shed is setback in accordance with the required accessory structure setbacks of the underlying zoning district. The underlying zoning has an allowable building site coverage of 15 percent. As proposed, the resulting lot coverage will be 5.4 percent. Therefore, the property complies with the required site development standards based on the applicable LDR zoning district.
- f) Cultural Resources. Carmel CIP section 20.146.090 requires that development of any kind in areas considered to be archaeologically sensitive shall include field surveys and impact analysis by qualified individuals to precisely determine resources that may be impacted by the proposed project. The Monterey County Geographic Information System (GIS) identifies the subject property to be within a high archaeological sensitivity area and within 750 feet of known archaeological resources. Further, in accordance with Carmel CIP section 20.146.090.B.1, all development being proposed within high sensitivity zones shall complete a Phase One survey (see Finding 2, Evidence “b”). Accordingly, a Phase I and II Cultural Resources Study (County of Monterey Library No. LIB250180) was submitted and concluded that the project area is within 750 feet of known resources; however, the field survey and auger testing yielded negative results for any precontact site indicators or significant resources on the surface or subsurface of the project parcel. Bedrock was found at 43 centimeters within densely compacted soil. In the area of the proposed residence, the auger testing found imported topsoil that likely accommodated a garden decades ago, and thus is considered to be a previously disturbed area. The subject property is not known to contain cultural resources and therefore, potential impacts to cultural resources is limited and will be controlled by application of the County’s standard project condition,

Condition No. 3, which requires the contractor to stop work if previously unidentified resources are discovered during construction. However, due to the property's proximity to a nearby cultural resource (within 450 feet) and the geographic relationship to known sites in the immediate area, the project archaeologist's recommendation that 1) a pre-construction cultural resources training occur prior to project commencement and 2) archaeological monitoring occur during initial grading activities have been applied as a condition of approval (Condition No. 4; non-standard) pursuant to Carmel CIP section 20.146.090.D.2 to ensure the potential impacts to resources are further limited. Therefore, as proposed, the potential for inadvertent impacts on cultural resources is limited, and as conditioned, the project will avoid or substantially minimize impacts on archaeological resources (Carmel Area LUP Policy 2.8.3).

- g) Development on Slopes in Excess of 30%. Pursuant to Title 20 section 20.64.230, development on slopes 30% or more where excavation does not exceed 100 cubic yards requires a Coastal Administrative Permit. The proposed driveway will contain excavation under 100 cubic yards, inclusive of 80 cubic yards of cut and 80 cubic yards of fill, thus meeting the outlined criteria of Title 21 section 20.64.230.
- h) Forest Resources. No trees are proposed for removal. Condition No. 7 ensures that nearby native trees will be protected throughout construction activities.
- i) Public Access. As proposed and conditioned, the development is consistent with applicable public access policies of the Carmel LUP. See Finding No. 6 and supporting evidence.
- j) Land Use Advisory Committee (LUAC). Based on the Land Use Advisory Committee (LUAC) procedure guidelines adopted by the Monterey County Board of Supervisors, per Resolution No. 08-338, this Project was not referred to the LUAC because it does involve a design approval requiring a public hearing, preparation of an environmental document, a lot line adjustment in the coastal zone, or a variance.
- k) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210086.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Wood Residence Project 232 Lower Walden Carmel, California Biological Resource Report” (County of Monterey Library No.

LIB220230) prepared by Jami Davis, Monterey, CA on February 1, 2022.

- “Geotechnical Investigation for New Residential Development 232 Lower Walden Road, Carmel” (County of Monterey Library No. LIB250180) prepared by Kasunich Haro, Watsonville, CA on February 24, 2023.
- “Preliminary Cultural Resources Reconnaissance and Phase II Auger Testing of Assessor’s Parcel Number APN 241-241-005 in Carmel Highlands County of Monterey, California [PLN210072 and PLN 210086]” (County of Monterey Library No. LIB220050) prepared by Susan Morley, Marina, CA on November 1, 2021.

County staff independently reviewed these reports and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210086.

3. **FINDING:** **HEALTH AND SAFETY** – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Carmel Highlands Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Sewer service will be provided by Monterey Peninsula Water Management District (MPWMD). The MPWMD wastewater collection and treatment system has adequate remaining capacity for sewage disposal. Potable water is provided by an approved test well under PLN210072.
 - c) A geotechnical report was prepared for this project (County of Monterey Library No. LIB250180). The report concluded that with the implementation of its recommendations, the site is suitable for the proposed project. Pursuant to section 16.08.110 of the Monterey County Code, the recommendations included in geotechnical reports shall be incorporated in the grading plans and specifications. Therefore, no additional condition is required.
 - d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210086.

4. **FINDING:** **VIOLATIONS** – The subject property is not compliance with all rules and regulations pertaining to the County’s Zoning Ordinance.

- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations code enforcement cases on subject property.
 - b) Per staff's site visit, the subject property currently contains a 130-square-foot shed. This shed required the granting of a discretionary permit. Therefore, with the granting of this permit, the property will come into compliance with requirements of the Zoning Ordinance.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210086.

5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts a single-family residence and accessory structures in a residential zone.
 - b) This project qualifies for a Class 3 exemption because it is the construction of a new single-family dwelling with an attached garage and associated site improvements on a residentially zoned lot.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The site is vacant and therefore no historical (structural) resources would be impacted. There is no evidence that cultural resources are present on-site, and as conditioned, the project would have a less than significant impact on cultural resources (see Finding No. 1, evidence "F"). The proposed development is not visible from Highway 1 or designated public access areas/vista points.
 - d) No adverse environmental effects were identified during staff review of the development application.
 - e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN210086.

6. **FINDING:** **PUBLIC ACCESS-** The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Carmel CIP Section 20.146.130, can be demonstrated.
 - b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

- c) The subject property is described as an area outside of where the Local Coastal Program requires physical public access (Figure 3, Local Coastal Program Public Access, in the Carmel LUP).
- d) The subject project site is identified as an area where the Local Coastal Program requires visual public access (Map A- Local Coastal Program General Viewshed, in the Carmel LUP). Based on the project location, and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along Highway 1. Consistent with Carmel LUP Policy 5.3.2.4, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity.
- f) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN210086.

7. **FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines section 15303, and that none of the exceptions pursuant to section 15300.2; and
2. Approve the Coastal Administrative Permit and Design Approval to allow construction of a 7,367 square foot single family dwelling with a 785 square foot attached garage, 1,384 square feet of decks, and associated site improvements including after-the-fact approval of a 130 square foot shed; Coastal Administrative Permit to allow less than 100 cubic yards of excavation on slopes in excess of 30%; a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and Coastal Administrative Permit to convert a test well into a domestic well.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 5th day of November 2025.

Melanie Beretti, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210086

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Coastal Administrative Permit and Design Approval (PLN210086) allows the construction of a 7,367 square foot single family dwelling with a 785 square foot attached garage, 1,384 square feet of decks, and associated site improvements including after-the-fact approval of a 130 square foot shed; Coastal Administrative Permit to allow less than 100 cubic yards of excavation on slopes in excess of 30%; a Coastal Administrative Permit to allow development within 750 feet of known archaeological resources; and a Coastal Administrative Permit for the conversion of a test well into a domestic well. The property is located at 232 Lower Walden Road, Carmel (Assessor's Parcel Number 241-241-005-000), Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Coastal Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 241-241-005-000 on November 5, 2025. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PDSP001- CULTURAL RESOURCES SENSITIVITY TRAINING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: To reduce potential impacts on cultural resources that may be discovered during ground disturbing and construction activities, a qualified archaeological (i.e., an archaeologist registered with the Register of Professional Archaeologists [RPA] or a Registered Archaeologist [RA] under the supervision of an RPA) shall be retained to prepare and conduct a pre-construction cultural resources training program with all construction crew and serve as a monitor for initial grading activities. The purpose of the pre-construction cultural resources training program shall be to train the construction and demolition crew on how to identify potential cultural resources, and procedures for if previously unknown cultural resources are identified during construction operations. If at any time, potentially significant archaeological resources or intact features are discovered, the monitor shall temporarily halt work until the find can be evaluated by the archaeological monitor. If the find is determined to be significant, work shall remain halted until a plan of action has been formulated, with the concurrence of HCD-Planning, and implemented. The Archaeological Monitor shall review and evaluate any inadvertent discoveries to determine if they are historical resource(s) and/or unique archaeological resources or tribal cultural resources. If the Archaeological Monitor determines that any cultural resources exposed during construction constitute a historical resource and /or unique archaeological resource or tribal cultural resource under CEQA, he/she shall notify the project proponent and other appropriate parties of the evaluation. The Professional Archaeologist shall recommend mitigation measures to mitigate to a less than significant impact in accordance with California Public Resources Code Section 15064.5. The contract shall require that the Archaeological Monitor keep a log of inadvertent discoveries and submit a final report summarizing compliance actions with HCD-Planning.

Compliance or Monitoring Action to be Performed: Prior to the issuance of permits from Building Services, the Applicant/Owner shall submit to HCD-Planning a copy of the contract between the Applicant/Owner and a qualified archaeologist. The contract shall include the requirements of this condition and specify that the archaeologist will prepare and conduct a pre -construction cultural resources training for all construction crew. The contract shall also specify that the archaeologist will be retained on an "on-call" basis for all ground disturbing construction to review, identify, and evaluate cultural resources that may be inadvertently exposed during construction (Condition No. 3).

Prior to initial ground disturbance, the Applicant/Owner shall submit evidence to HCD-Planning demonstrating that the pre-construction cultural resources training meeting occurred as required by this condition. Such evidence shall be in the form of a letter from the qualified archaeologist and a list of attendees.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

7. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

8. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (HCD - Planning and HCD - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of HCD - Building Services for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

9. PW0005 – DRIVEWAY IMPROVEMENTS

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Construct driveway connection to Lower Walden Road. The design and construction is subject to the approval of the HCD -PWFP. Encroachment Permits are required for all work within the public right-of-way.

Compliance or Monitoring Action to be Performed: Owner/Applicant shall submit the design for review and approval of the HCD-PWFP, obtain an encroachment permit from the HCD -PWFP prior to issuance of building or grading permits, and construct and complete improvements prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.

10. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

11. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

WOOD RESIDENCE

CARMEL, CALIFORNIA

CONRAD
ASTURI
STUDIOS INC.

LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA. 93921

phone: 831.622.9724
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PROJECT:
WOOD RESIDENCE
232 LOWER WALDEN RD.
CARMEL, CA. 93923
A.P.N. 241-241-005

WOOD
RESIDENCE
PRELIMINARY DESIGN

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	DESIGN APPROVAL
-	BUILDING DEPT SUBMITTAL
-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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△	
△	

PROJECT NO: 2403
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
COVER SHEET

SHEET:

T0.1

PRINTED: JUNE 3, 2025

PROPOSED FLOOR AREA	
MAIN LEVEL (CONDITIONED):	3316 SQFT.
UPPER LEVEL (CONDITIONED):	1727 SQFT.
TOTAL RESIDENCE (CONDITIONED):	5043 SQFT.
ATTACHED GARAGE:	785 SQFT.
LOWER LEVEL (BASEMENT):	2324 SQFT.
TOTAL FLOOR AREA:	8152 SQFT. (8.8%)
TOTAL LOT AREA:	92782 SQFT.
SIDE DECK:	281 SQFT.
REAR DECK:	535 SQFT.
UPPER DECK 1:	420 SQFT.
UPPER DECK 2:	148 SQFT.
TOTAL DECK SQFT.:	1384 SQFT.

BUILDING SITE COVERAGE	
RESIDENCE MAIN LEVEL (CONDITIONED):	3316 SQFT.
ATTACHED GARAGE:	785 SQFT.
SIDE DECK:	281 SQFT.
REAR DECK:	535 SQFT.
TOTAL BUILDING SITE COVERAGE (15% MAX.):	4917 SQFT. (5.3%)
TOTAL LOT AREA:	92782 SQFT.

IMPERVIOUS COVERAGE	
RESIDENCE BUILDING SITE COVERAGE:	4917 SQFT.
ENTRY PATIO:	500 SQFT.
PROPOSED IMPERVIOUS COVERAGE	5417 SQFT. (5.8%)
TOTAL LOT AREA:	92782 SQFT.



PROJECT SUMMARY TABLE

VICINITY MAP



PERSPECTIVE

THIS PROJECT WILL CONFORM TO:	THIS PROJECT WILL CONFORM TO	PROPOSED NEW 3-STORY 7407 SQ.FT. SINGLE FAMILY RESIDENCE WITH ATTACHED 785 SQ.FT. GARAGE.
THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), CBC, CMC, CEC AND THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)	THE 2022 CALIFORNIA FIRE CODE AND THE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES).	

GOVERNING CODES

SCOPE OF WORK

NO.	SHEET
T0.1	COVER SHEET
A1.0	SITE PLAN & PROJECT INFO
A2.0	FLOOR PLAN - MAIN LEVEL
A2.1	FLOOR PLAN - UPPER LEVEL
A2.2	FLOOR PLAN - LOWER LEVEL (BASEMENT)
A4.0	ROOF PLAN
A5.0	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS
A5.2	PERSPECTIVE VIEWS / REFERENCE PHOTOS
A6.0	SITE CROSS SECTION
C1.0	GRADING PLAN
C2.0	GRADING ELEVATIONS
C3.0	CONSTRUCTION MANAGEMENT PLAN

A	ARTISAN	ELEC.	ELECTRICAL	H.B.	HOSE BIBB	P.L.	PROPERTY LINE
ABV	ABOVE	ELEV.	ELEVATION	H.C.	HOLLOW CORE	PLYWD.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	EQ.	EQUAL	HDWD.	HANDICAPPED	REF.	REFRIGERATOR
A.F.S.	ABOVE FINISHED SURFACE	EQUIP.	EQUIPMENT	HR.	HARDWOOD	REQ'D.	REQUIRED
ALT.	ALTERNATE	EXP.	EXPANSION	HT.	HEIGHT	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SCHED.	SCHEDULE
ARCH.	ARCHITECTURAL	F.D.	FLOOR DRAIN	INT.	INTERIOR	SHT.	SHEET
BLDG.	BUILDING	F.D.C.	FIRE DEPARTMENT CONNECTION	KIT.	KITCHEN	SIM.	SIMILAR
BOT.	BOTTOM	FDN.	FOUNDATION	MAX.	MECH.	SPEC.	SPECIFICATION
C.J.	CONTROL JT.	F.F.	FINISH FLOOR	MFR.	MECHANICAL	SQ.	SQUARE
CLG.	CEILING	FIN.	FINISH FLOOR LINE	MIN.	MINIMUM	S.S.	STAINLESS STEEL
CLR.	CLEAR	FLR.	FLOOR	MISC.	MISCELLANEOUS	STRUC.	STRUCTURAL
C.M.U.	CONCRETE MASONRY UNIT	FND.	FOUNDATION	MTL.	METAL	TYP.	TYPICAL
CONC.	CONCRETE	FT.	FOOT OR FEET			W.C.	WATER CLOSET
CONT.	CONTINUOUS	FTG.	FOOTING				
DET./DTL.	DETAIL	FURR.	FURRING				
D.G.	DECOMPOSED GRANITE			N.T.S.	NOT TO SCALE		SQUARE FEET
DIA.	DIAMETER	GA.	GALVE	OH.	OVERHEAD		CENTERLINE
DN.	DOWN	GALV.	GALVINIZED				PLATE
DS.	DOWNSPOUT	GR.	GRADE				
(E)	EXISTING	GYP.	GYPSUM				
EA.	EACH	GYP. BD.	GYPSUM BOARD				
E.J.	EXPANSION JOINT						
ELEV.	ELEVATION						

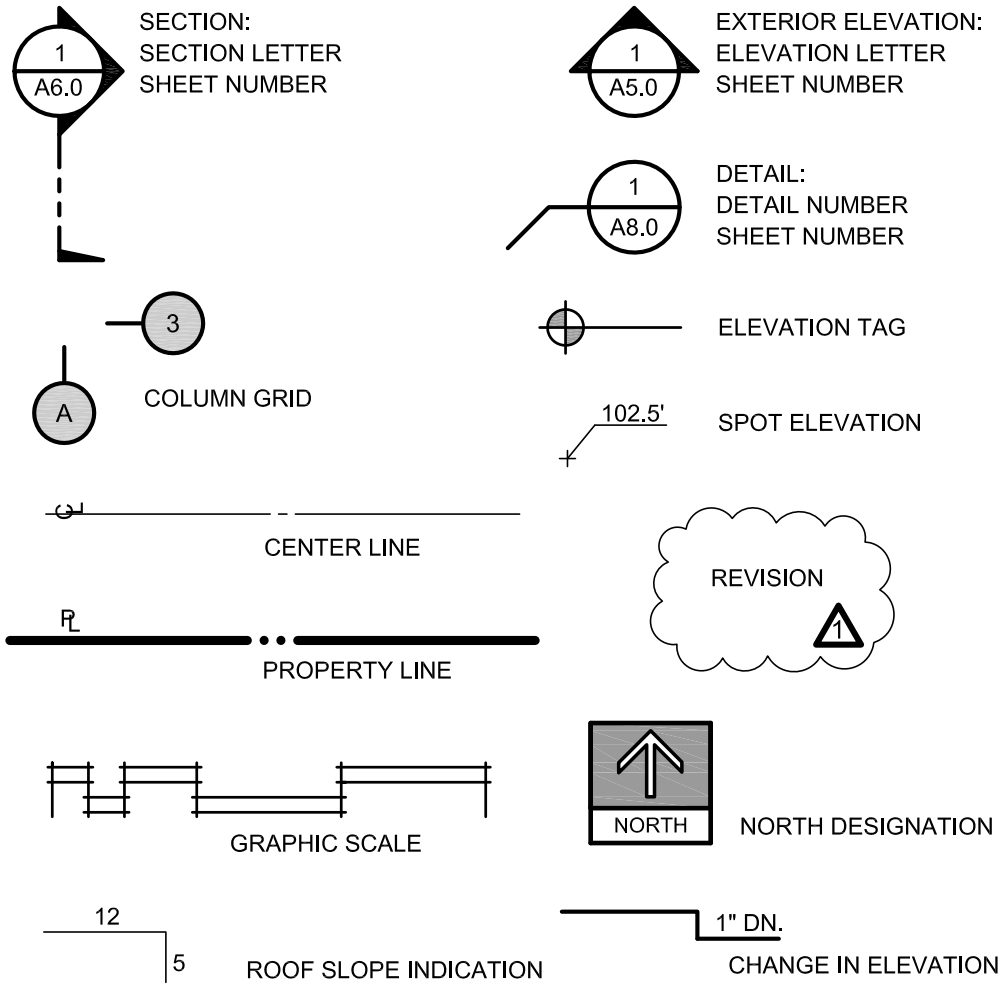
NOTE: CLARIFY WITH DESIGNER ALL ABBREVIATIONS NOT LISTED.

ABBREVIATIONS

OWNER: LARRY WOOD
232 LOWER WALDEN RD.
CARMEL, CA 93923
209-605-0399

DESIGNER: CONRAD ASTURI STUDIOS, INC.
LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA 93921
831-622-9724
CONTACT: EDAN ASTURI

GEOTECHNICAL: HARO, KASUNICH AND ASSOCIATES, INC.
116 EAST LAKE AVE.
WASTONVILLE, CA 95076
831-722-4175



ARCHITECTURAL SYMBOLS

PROJECT LOCATION: 232 LOWER WALDEN RD.
CARMEL, CA. 93921

A.P.N. APN: 241-241-005

PROJECT FILE NUMBER 2403

LOT SIZE: 2.13 AC 92,782 SQ.FT.

ZONING: LDR-D(CZ)

OCCUPANCY: R3/U

CONSTRUCTION TYPE: VB

STRUCTURE SETBACKS: FRONT: 30'
SIDE (NORTH): 20'
SIDE (SOUTH): 20'
REAR: 20'

PARKING: 2 SPACES (REQUIRED)
3 SPACES (PROVIDED PLUS OUTDOOR PARKING)

HEIGHT LIMIT: 30'

BUILDING HEIGHT: 30'

LANDSCAPE & LIGHTING PLAN: NOT REQUIRED

TREE REMOVAL: NONE

FIRE SPRINKLERS: REQUIRED

PROPOSED CUT / FILL: 600 CY (SEE CIVIL)

CONSTRUCTION ON SLOPE >30%: NONE

SCHOOL DISTRICT: CARMEL UNIFIED

EXISTING RESIDENCE INFO: ,ONSITE WATER WELL & SEPTIC

PROJECT TEAM

PROJECT INFORMATION

GOVERNING CODES

SCOPE OF WORK

SHEET INDEX

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	DESIGN APPROVAL
-	BUILDING DEPT SUBMITTAL
-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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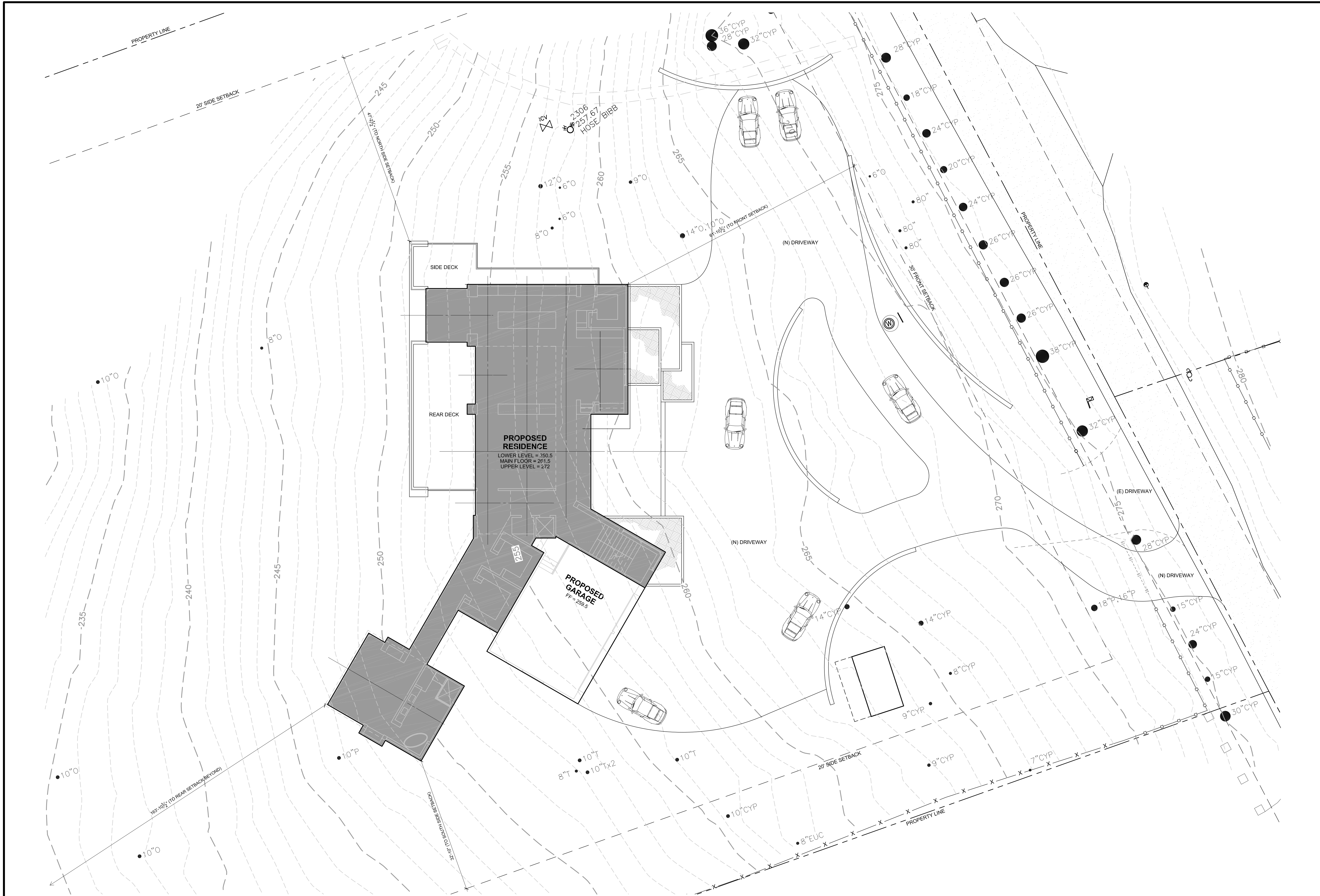
PROJECT NO:	2403
DRAWN BY:	STAFF
CHECKED BY:	EA

DESCRIPTION:
**SITE PLAN &
PROJECT INFO**
SCALE: 1"=10'

SHEET:

A1.0

PRINTED: JUNE 3, 2025



SITE PLAN & PROJECT INFO
SCALE: 1"=10'

TIMELINE	
DATE	ISSUED FOR:
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-	BUILDING DEPT SUBMITTAL
-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

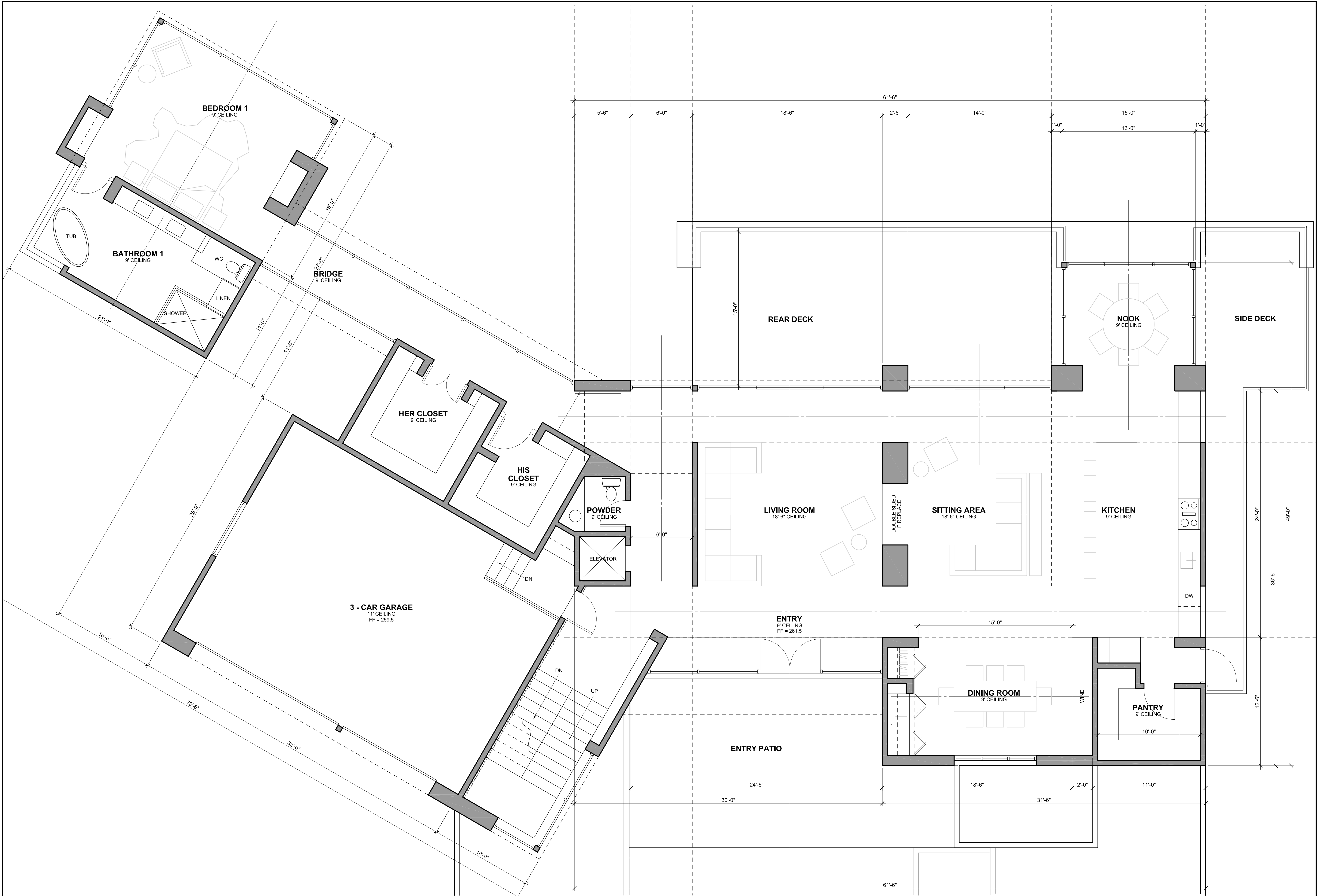
CHECKED BY: EA

DESCRIPTION:
FLOOR PLAN
MAIN LEVEL
SCALE: 1/4"=1'-0"

SHEET:

A2.0

PRINTED: JUNE 3, 2025



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4"=1'-0"



TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	DESIGN APPROVAL
-	BUILDING DEPT SUBMITTAL
-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

CHECKED BY: EA

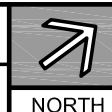
DESCRIPTION:
FLOOR PLAN
UPPER LEVEL
SCALE: 1/4"=1'-0"

SHEET:

A2.1

PRINTED: JUNE 3, 2025

FLOOR PLAN - UPPER LEVEL
SCALE: 1/4"=1'-0"



TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	DESIGN APPROVAL
-	BUILDING DEPT SUBMITTAL
-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:

FLOOR PLAN - LOWER

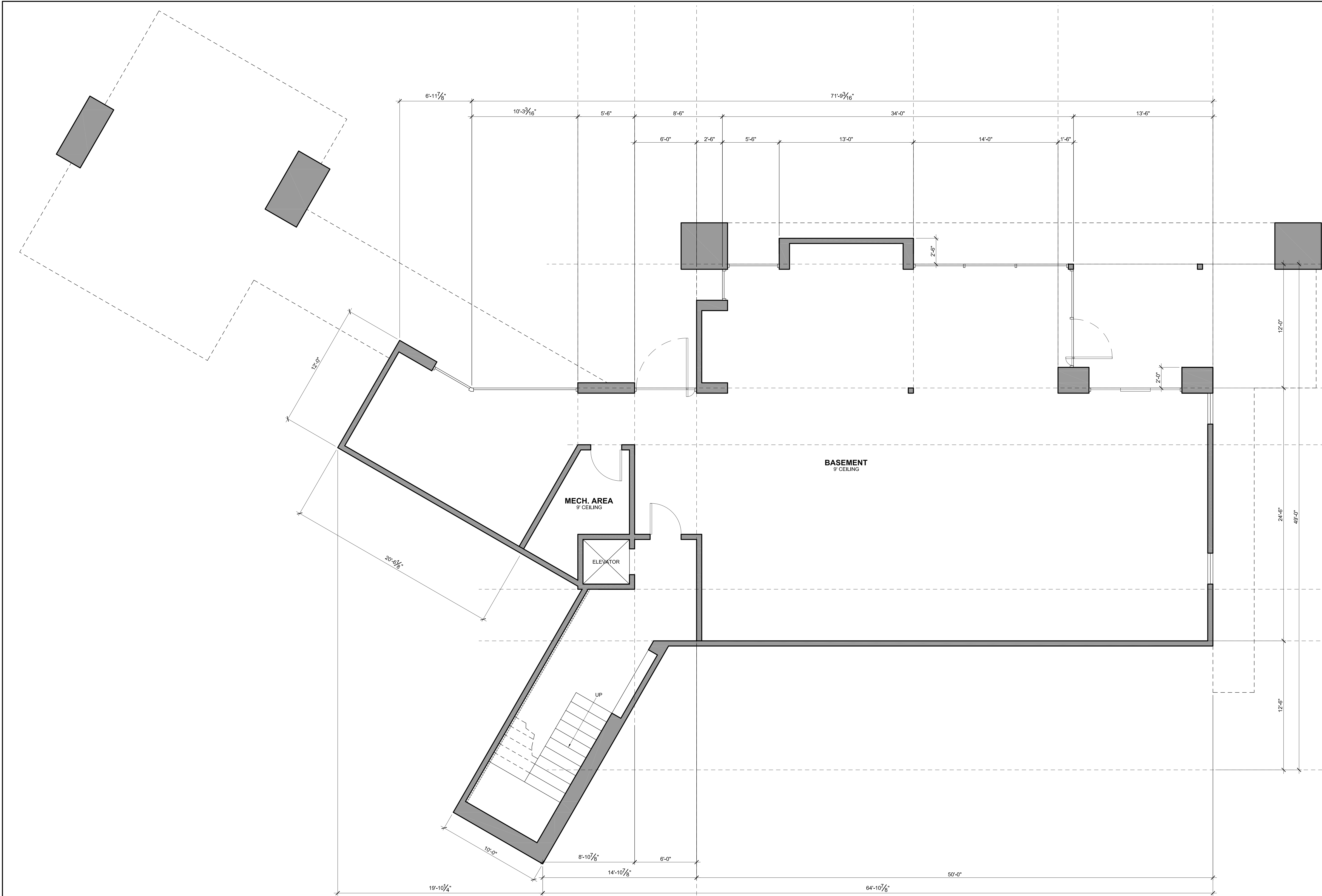
LEVEL

SCALE: 1/4"=1'-0"

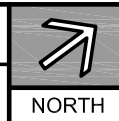
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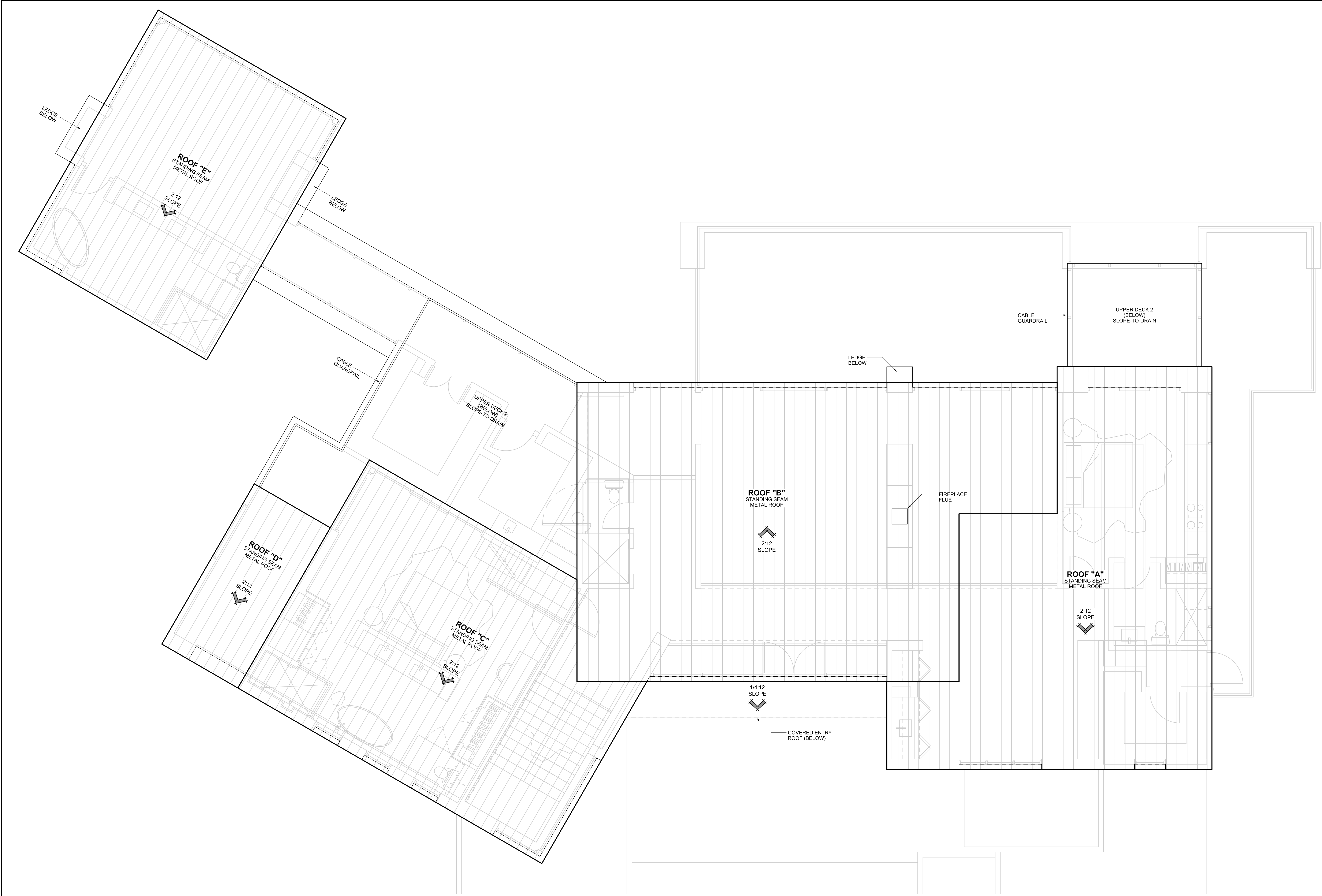
A2.2

PRINTED: JUNE 3, 2025



FLOOR PLAN - LOWER LEVEL
SCALE: 1/4"=1'-0"





ROOF PLAN
SCALE: 1/4"=1'-0"

WOOD
RESIDENCE
PRELIMINARY DESIGN

TIMELINE	
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-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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PROJECT NO:	2403
DRAWN BY:	STAFF
CHECKED BY:	EA

DESCRIPTION:
ROOF PLAN
SCALE: 1/4"=1'-0"

TIMELINE	
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-	PLAN CHECK
-	CONSTRUCTION

REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

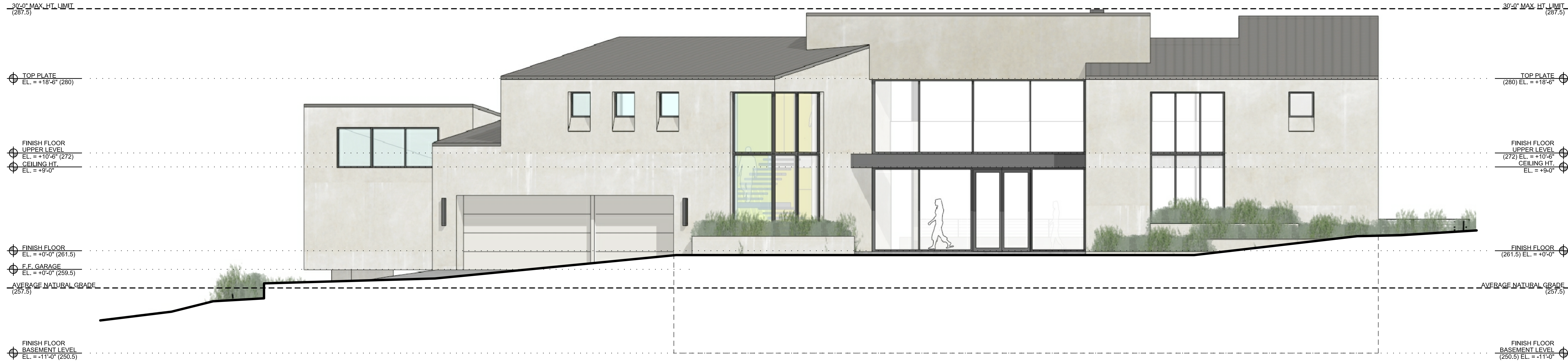
CHECKED BY: EA

DESCRIPTION:
ELEVATIONS
SCALE: 3/16"=1'-0"

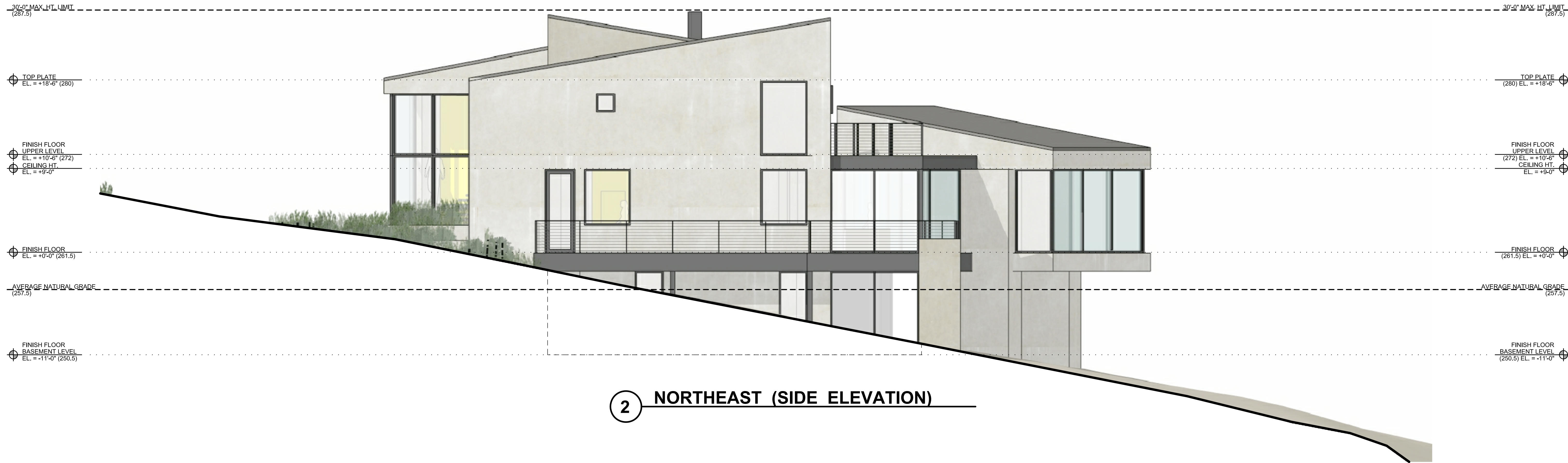
SHEET:

A5.0

PRINTED: JUNE 3, 2025



1 SOUTHEAST (FRONT ELEVATION)



2 NORTHEAST (SIDE ELEVATION)

ELEVATIONS
SCALE: 3/16"=1'-0"

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REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:
ELEVATIONS
SCALE: 3/16"=1'-0"

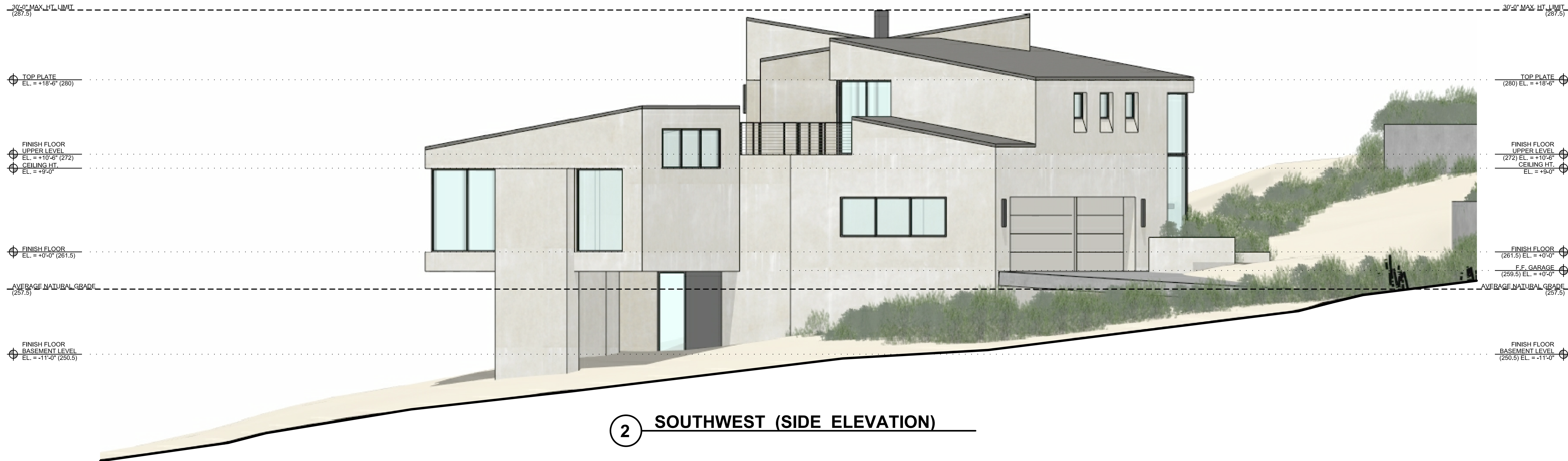
SHEET:

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PRINTED: JUNE 3, 2025



1 NORTHWEST (BACK ELEVATION)



2 SOUTHWEST (SIDE ELEVATION)

ELEVATIONS
SCALE: 3/16"=1'-0"

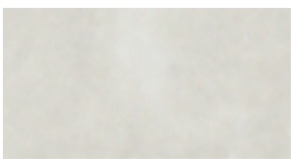
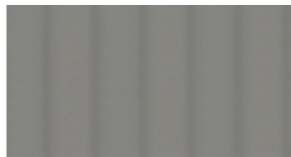


1 FRONT PERSPEVTIVE



2 BACK PERSPEVTIVE

PERSPECTIVES
SCALE: NOT TO SCALE

	STUCCO KELLY MOORE KM 4905-1 "HUSH GRAY"		STUCCO KELLY MOORE KMA89-5 "BLACK OAK"
	STUCCO KELLY MOORE KM 4941-2 "CITY DWELLER"		METAL ROOF METAL SALES VERTICAL SEAM - FLAT "WEATHERED COPPER"

A COLOR LEGEND



B PROJECT PHOTO FINISHES
& DETAILING EXAMPLES

REFERENCE PHOTOS
SCALE: NOT TO SCALE

CONRAD
ASTURI
STUDIOS INC.

LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA. 93921

phone: 831.622.9724
web: CONRADASTURI.COM

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PROJECT:

WOOD RESIDENCE
232 LOWER WALDEN RD.
CARMEL, CA. 93923
A.P.N. 241-241-005

WOOD
RESIDENCE
PRELIMINARY DESIGN

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REVISIONS	
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PROJECT NO: 2403

DRAWN BY: STAFF

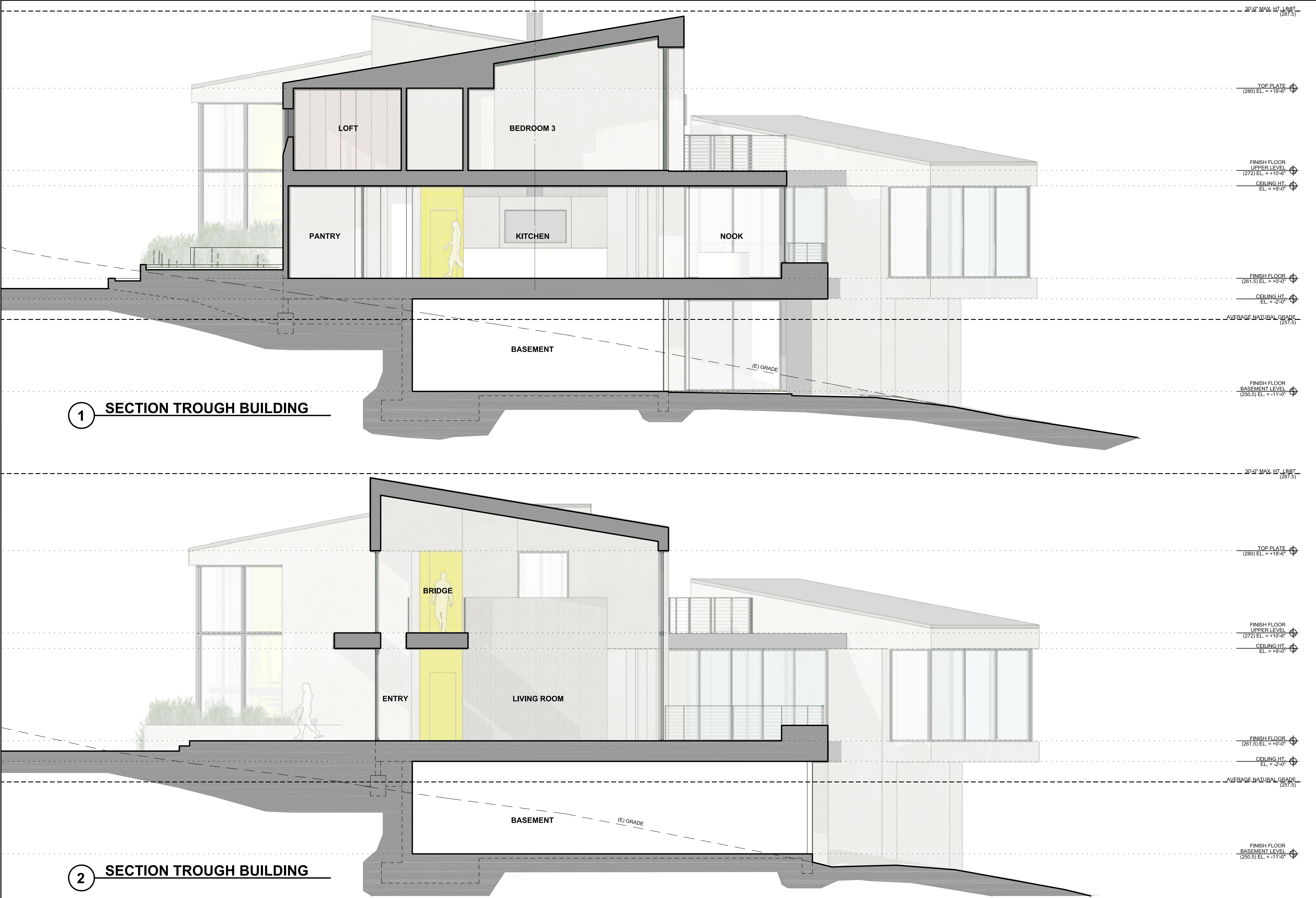
CHECKED BY: EA

DESCRIPTION:
PERSPECTIVES
SCALE: NOT TO SCALE

SHEET:

A5.2

PRINTED: JUNE 3, 2025



1 SECTION TROUGH BUILDING

2 SECTION TROUGH BUILDING

CROSS SECTIONS
SCALE: 1/4"=1'-0"

CONRAD
ASTURI
STUDIOS INC.

LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA. 93921

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PROJECT:

WOOD RESIDENCE
232 LOWER WALDEN RD.
CARMEL, CA. 93923
A.P.N. 241-241-005

WOOD
RESIDENCE
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PROJECT NO: 2403

DRAWN BY: STAFF

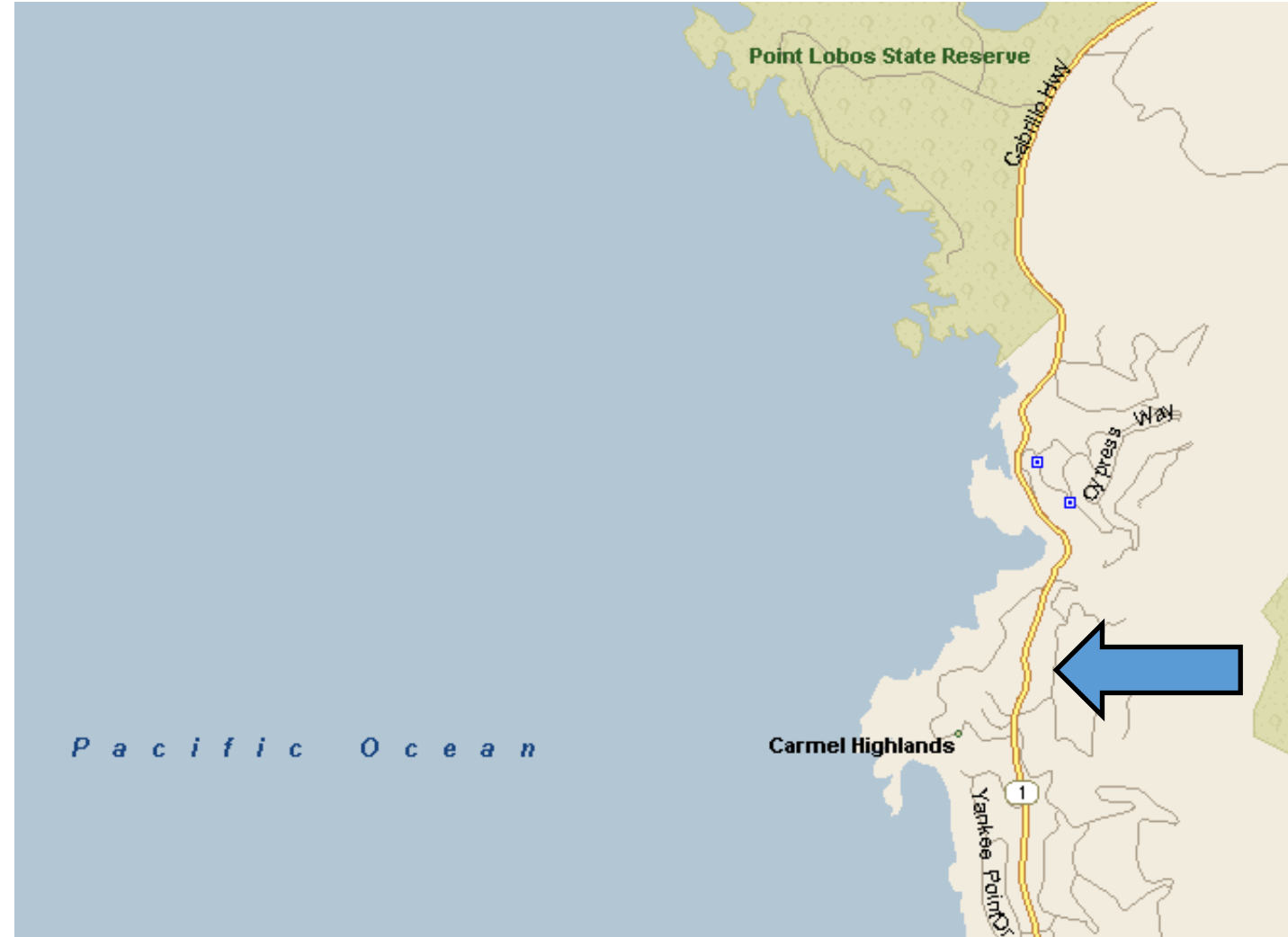
CHECKED BY: EA

DESCRIPTION:
CROSS SECTIONS
SCALE: 1/4"=1'-0"

SHEET:

A6.0

PRINTED: JUNE 3, 2025



2 Vicinity Map

GRADING NOTES

1. ALL WORK SHALL CONFORM TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT COUNTY CODE AND REGULATIONS AS WELL AS OTHER GOVERNMENTAL AGENCIES WITH JURISDICTION.
3. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE COUNTY, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO CONTACT GEOTECHNICAL/SOILS ENGINEER AT LEAST 5 DAYS PRIOR TO GRADING WORK, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR TO ESCAVATION MORE THAN 18" DEEP.
6. ANY NEEDED EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCTOBER 15TH AND APRIL 15.
7. WORK IS ONLY ALLOWED BETWEEN 8AM AND 5PM MONDAY TO FRIDAY.
8. THE CONTRACTOR WILL KEEP ADJACENT STREET OPEN FOR TRAVEL BY THE PUBLIC. THE ROAD MAY NOT BE BLOCKED FOR MORE THAN 5 MINUTES.
9. ANY CONSTRUCTION SITE VISABLE FROM THE STREE MUST BE ADEQUATELY SCREENED TO THE STISFACTION OF THE BUILDING OFFICIAL.
10. A COPY OF THE FIELD REPORTS, COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT REQUIRED SCHEDULED INSPECTIONS.
11. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.
12. GRADE SLOPE SHALL BE A MINIMUM OF 5% AWAY FROM THE BUILDING FOR 10 FEET.
13. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND AS NECESSARY FOR PROPOSED IMPROVMENTS.
14. THE CONSTRUCTOR AGREES THAT IN ACCORDANCE WITH GENNERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
15. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB, AND SHALL NOTIFY THE ENGINEER OF ANY VARATIONS. WRITTEN DIMENSIONS THAT PRECEDENSE OVER SCALLED DIMENSIONS.
16. ANY DESCREPENCIES OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. THE DESIGN ENGINEER WILL CLARIFY DISCREPANCIES OR OMISSIONS, INRITING, WITHIN A REASONABLE TIME.

17. CONTRACTOR TO MINIMIZE THE VOLUME OF RECYCLEABLE MATERIALS SENT TO LANDFILLS.
18. SOILS COMPACTION SHALL BE A MINIMUM OF 90% RELATIVE COMPACTION.
19. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING INSPECTIONS.
20. THE GROUND SURFACE UNDER PAVEMENT OR CONCRETE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS AS DETERMINED BY THE SOILS ENGINEER.
21. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS, EXCEPT AS TOPSOIL FOR PLANTING.

GRADING QUANTITIES:

ESTIMATES ONLY, NOT FOR BIDDING, DOES NOT INCLUDE FOOTING / FOUNDATION MATERIAL

GRADING QUANTITIES		
	CUT (CY)	FILL (CY)
SITE/ BUILDING	600	600
DRIVEWAY	80	80
LANDSCAPE	0	0
TOTAL	680	680

LEGEND AND ABBREVIATIONS

- | | | |
|-----|--------------------------|----------------|
| FFE | FINISHED FLOOR ELEVATION | RETAINING WALL |
| FG | FINISHED GRADE | FLATWORK |
| TW | TOP OF WALL | PATH |
| BW | BOTTOM OF WALL | SOLID PIPE |
| TS | TOP OF STEP | PERF. PIPE |
| BS | BOTTOM OF STEP | PROPERTY LINE |
| TC | TOP OF CURB | SURFACE FLOW |
| BC | BOTTOM OF CURB | DRAIN INLET |
| CO | CLEANOUT | EXISTING TREE |
| AD | AREA DRAIN | SPLASH BLOCK |
| DS | DOWNSPOUT | |



PROJECT INFORMATION:

PROJECT NAME	WOOD RESIDENCE
APN	241 241 005 000
PURPOSE OF GRADING	NEW SINGLE FAMILY HOUSE
APPLICANT:	LARRY AND SHARON WOOD 232 LOWER WALDEN ROAD CARMEL, CA 93923
GEOTCHNICAL ENGINEER	SOILS SURVEYS GROUP 119 CENTRAL AVE, SALINAS, CA 93901
HOURS OF OPERATION	8:00AM TO 5:00 PM MONDAY TO FRIDAY
DUST CONTROL:	CONTROLLED BY WATER
EQUIPMENT:	STANDARD EQUIPEMENT FOR GRADING A SINGLE FAMILY RESIDENCE
SOILS REPORT:	HARO, KASUNICH AND ASSOCIATES, INC GEOTECHNICAL AND COASTAL ENGINEERS PROJECT M12235 February 2023

The grading plan incorporates their geotechnical recommendations.

Grading Sheets

SHEET	DESCRIPTION
C 1.0	SITE PLAN, PROJECT INFORMATION
C 2.0	SECTIONS, DETAILS
C 3.0	CONSTRUCTION MANAGEMENT

WOOD Architects

Architecture
Accessibility

232 Lower Walden Road
Carmel, California 93923
209 605 0399
www.woodarchitects.com



Revisions Date

Project:

Wood Residence

232 Lower Walden Road
Carmel CA
APN 241-241-005-000
Larry and Sharon Wood

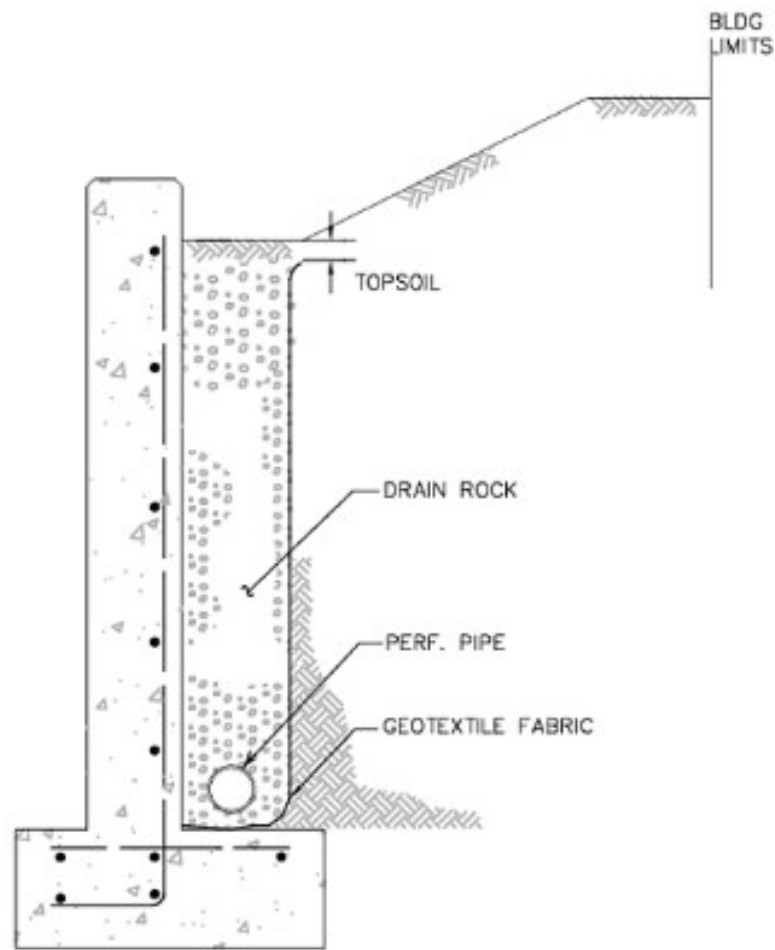
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Grading Plan

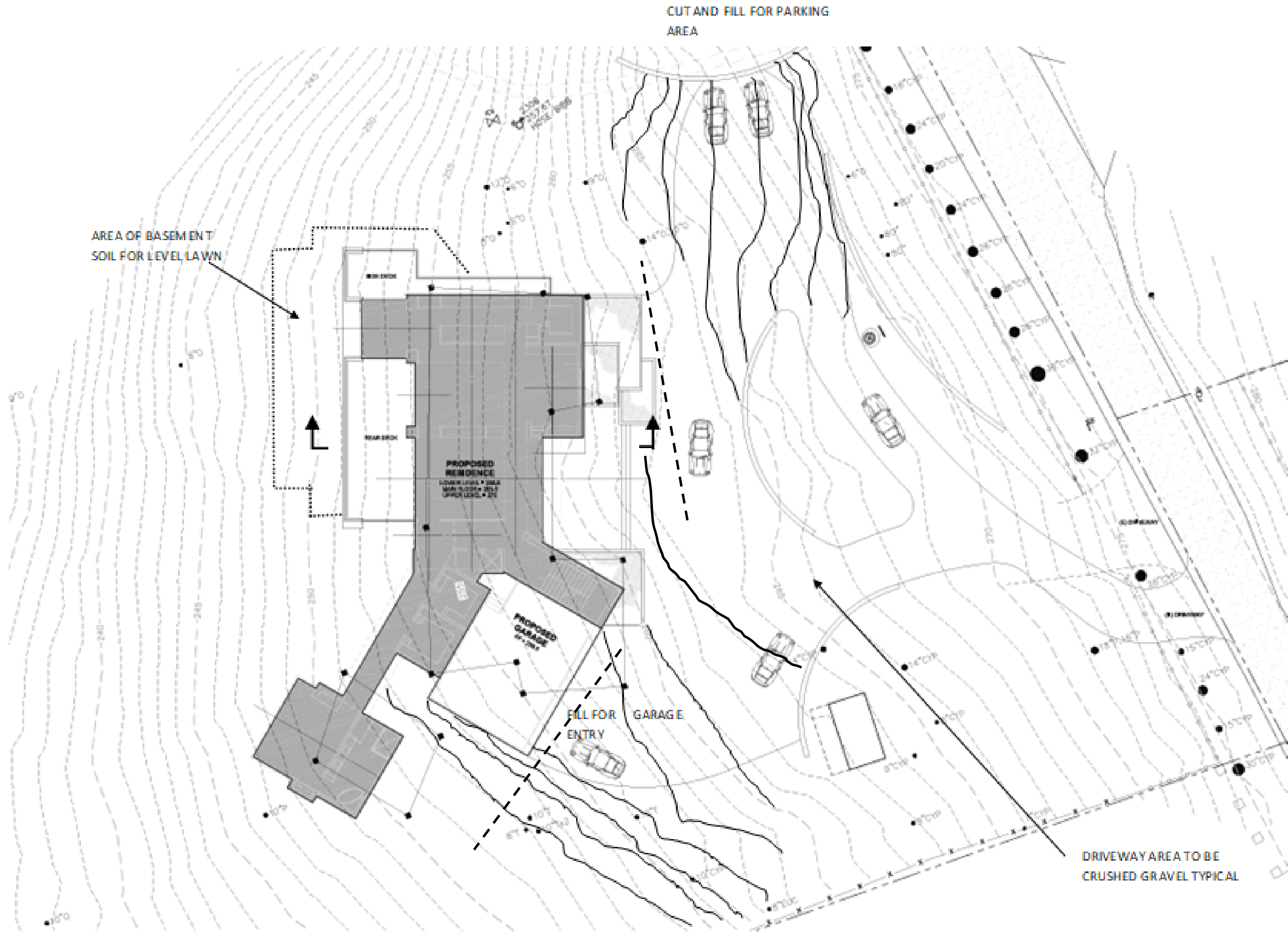
Date: 5/29/2025
Scale: As noted

Sheet

C1.0



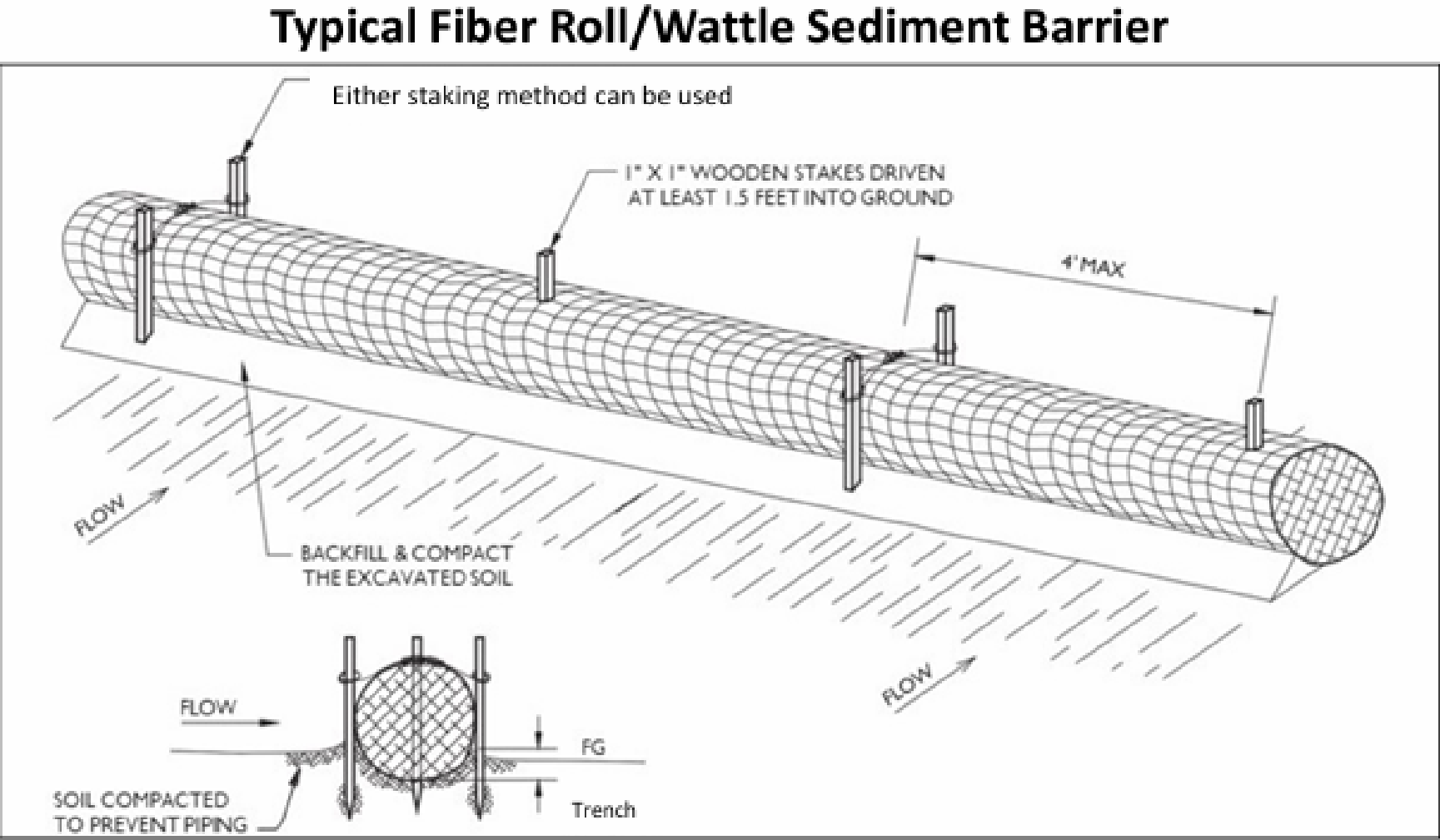
3 RETAINING WALL DRAINAGE



See C 2.0 for cut and fill
at foundation

1 SITE PLAN

SCALE 1" = 20'



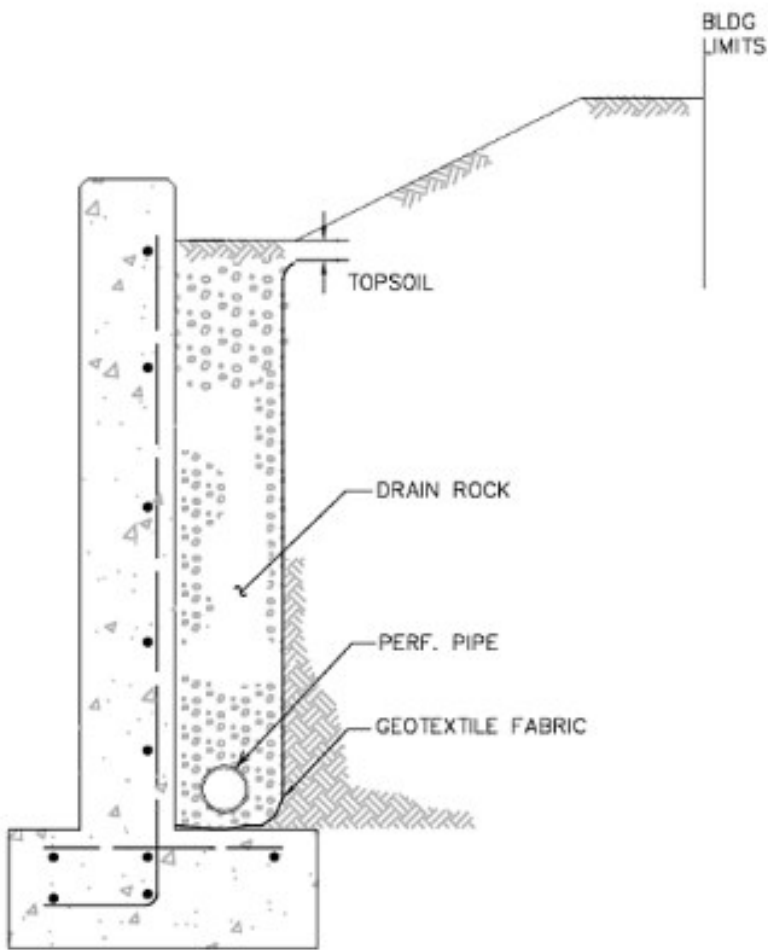
- Introduction to Wattles:**
- Straw wattles or fiber rolls are designed to slow down runoff, filter and trap sediment before the runoff gets into waterways. Straw wattles are porous and allow water to filter through fibers and trap sediment. Because they slow runoff they reduce sheet and rill erosion.
 - Straw wattles may be used on slopes to shorten slope length. They are designed for short slopes or slopes flatter than 3:1 and low surface flows not to exceed 1 c.f.s. for small areas.
 - It is important to know how much drainage area the most uphill wattle is receiving and accommodate for this drainage.

- Wattle Installation:**
1. Prepare smooth slope before the wattling procedure is started. Shallow gullies should be smoothed as work progresses.
 2. Dig small trench across the slope on contour, to place rolls in. The trench should be deep enough to accommodate a third to half the thickness of the roll.
 3. It is critical that rolls are installed perpendicular to water movement, parallel to slope contour. Start building trenches and install the rolls from the bottom of the slope and work up.
 4. Lay the roll along the trenches fitting it snugly against the soil. Make sure no gaps exist between the soil and the wattle.
 5. Use a straight bar to drive clean holes through the roll and into the soil. Drive the stake through prepared hole into soil. Leave only 1 or 2 inches of stake exposed above roll.
 6. Install stakes at 4 feet max intervals. Either staking method shown above can be used.
 7. Construct an compacted earthen berm along the uphill side of the roll to force sheet flow into the roll and prevent water from piping into the trench.
 8. When more than one roll is placed in a row, the rolls should overlap, one in front of the other, by at least 1 foot and staked securely to prevent piping.
 9. Wattles with plastic netting need to be removed after the wet season has ended.

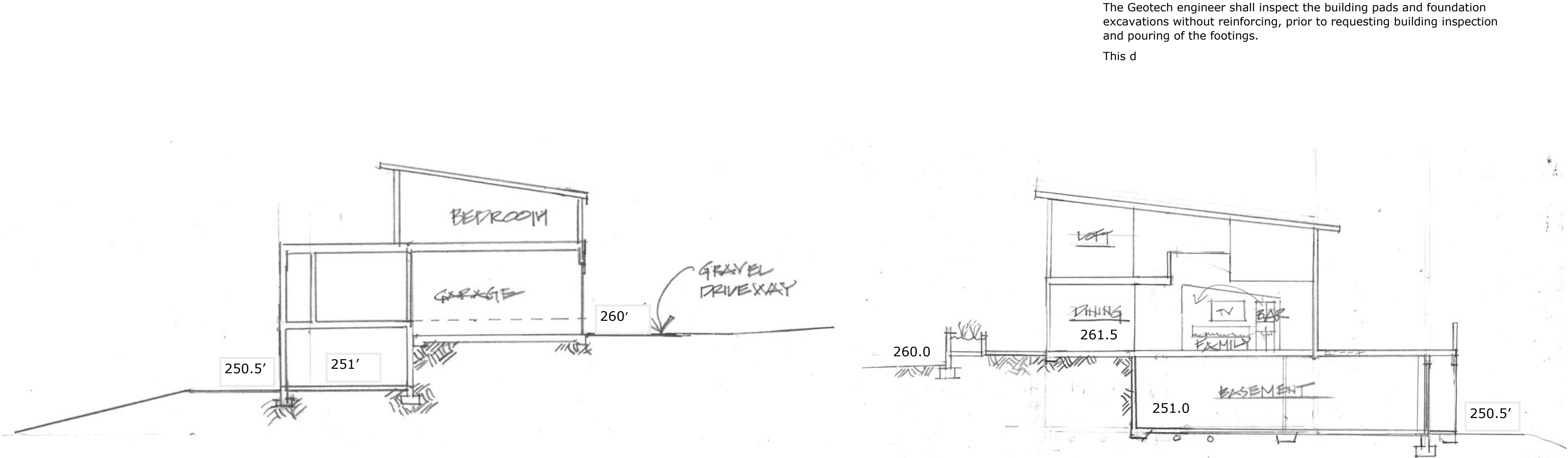
Wattle spacing: 1,000/slope gradient or as project engineer dictates.
Example: @20% slope wattle spacing =1,000/20=50 feet

1. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY EROSION CONTROL FOR RUNOFF, EROSION, AND SEDIMENT MOVEMENT (SEE SECTION 16.12.020 FOR PLAN REQUIREMENTS). EROSION CONTROL PLANS SHALL INCLUDE AS A MINIMUM THE MEASURES REQUIRED UNDER SECTIONS 16.12.070, 16.12.090, AND 16.12.110.
2. THE LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROPERTY; AS MUCH OF THE VEGETATED ANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
3. CUT AND FILL MATERIALS SHOULD NOT BE STOCKPILED WHERE THEY MAY WASH ONTO ADJOINING PROPERTIES, ROADWAYS, OR WATERCOURSES.
4. IF RAIN IS FORECAST, WLL EXPOSED SOILE SHOULD BE PROTECTED WITH STRAW MULCH, EROSION NETTING, AND STOCKPILES COVERED WITH PLASTIC SHEETING.

6 Erosion Control



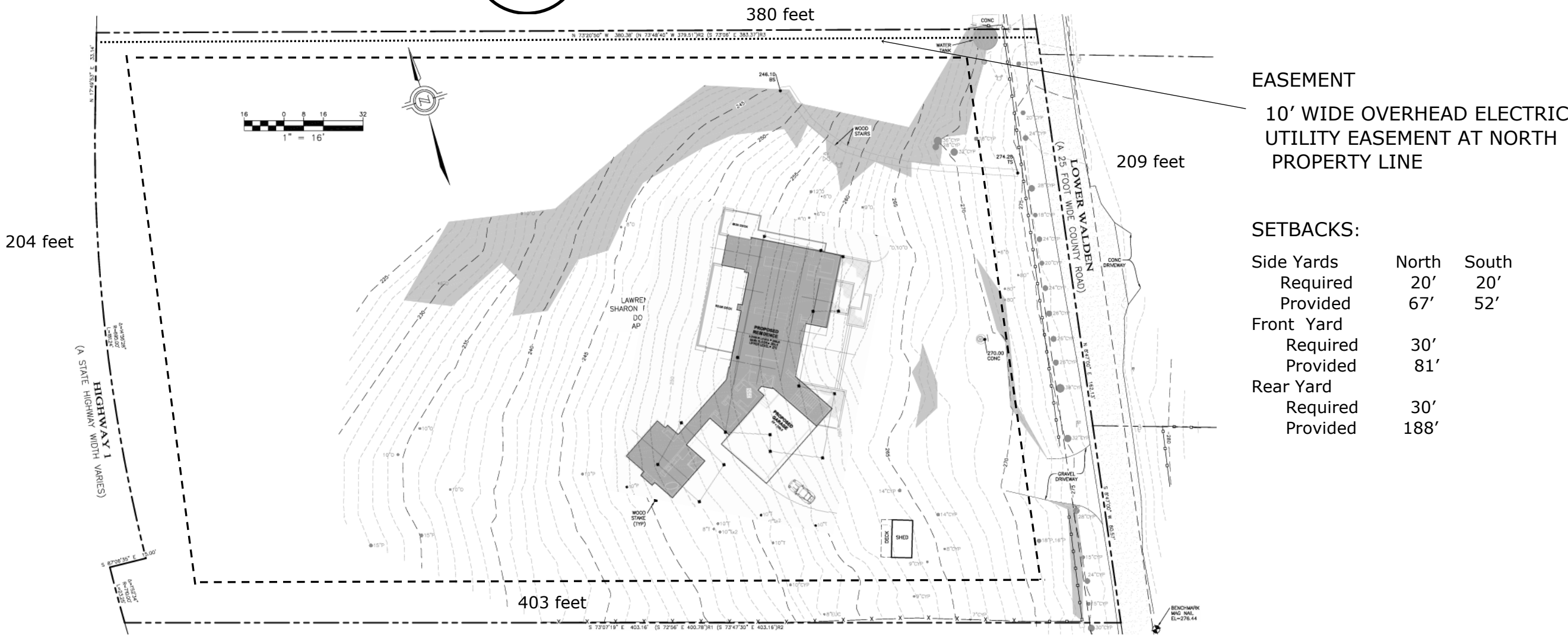
5 RETAINING WALL DRAINAGE



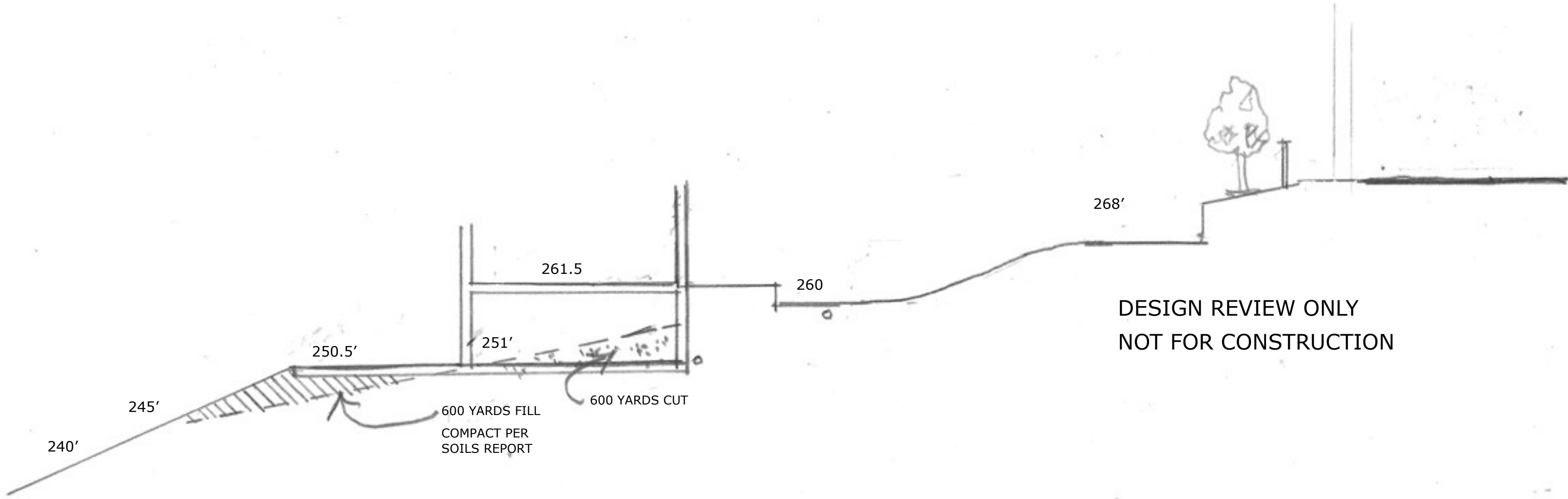
The Geotech engineer shall inspect the building pads and foundation excavations without reinforcing, prior to requesting building inspection and pouring of the footings.
This d

4 WEST—EAST ELEVATION (AT GARAGE)

3 EAST—WEST ELEVATION



2 SITE PLAN



1 WEST—EAST ELEVATION (AT DINING ROOM)

SCALE 1" = 20'

WOOD Architects

Architecture
Accessibility

232 Lower Walden Road
Carmel, California 93923
209 605 0399
www.woodarchitects.com



Revisions Date

Project:
Wood Residence

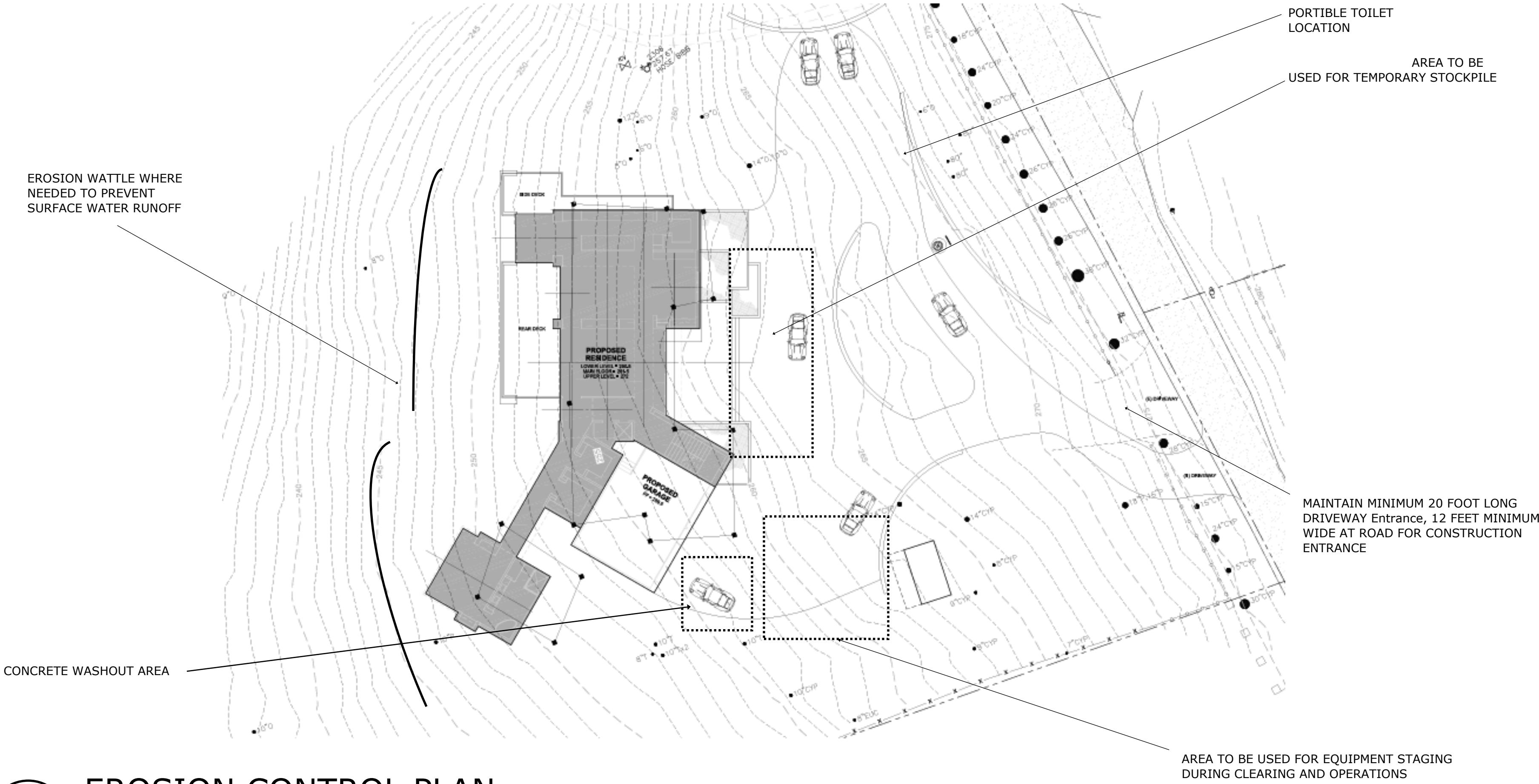
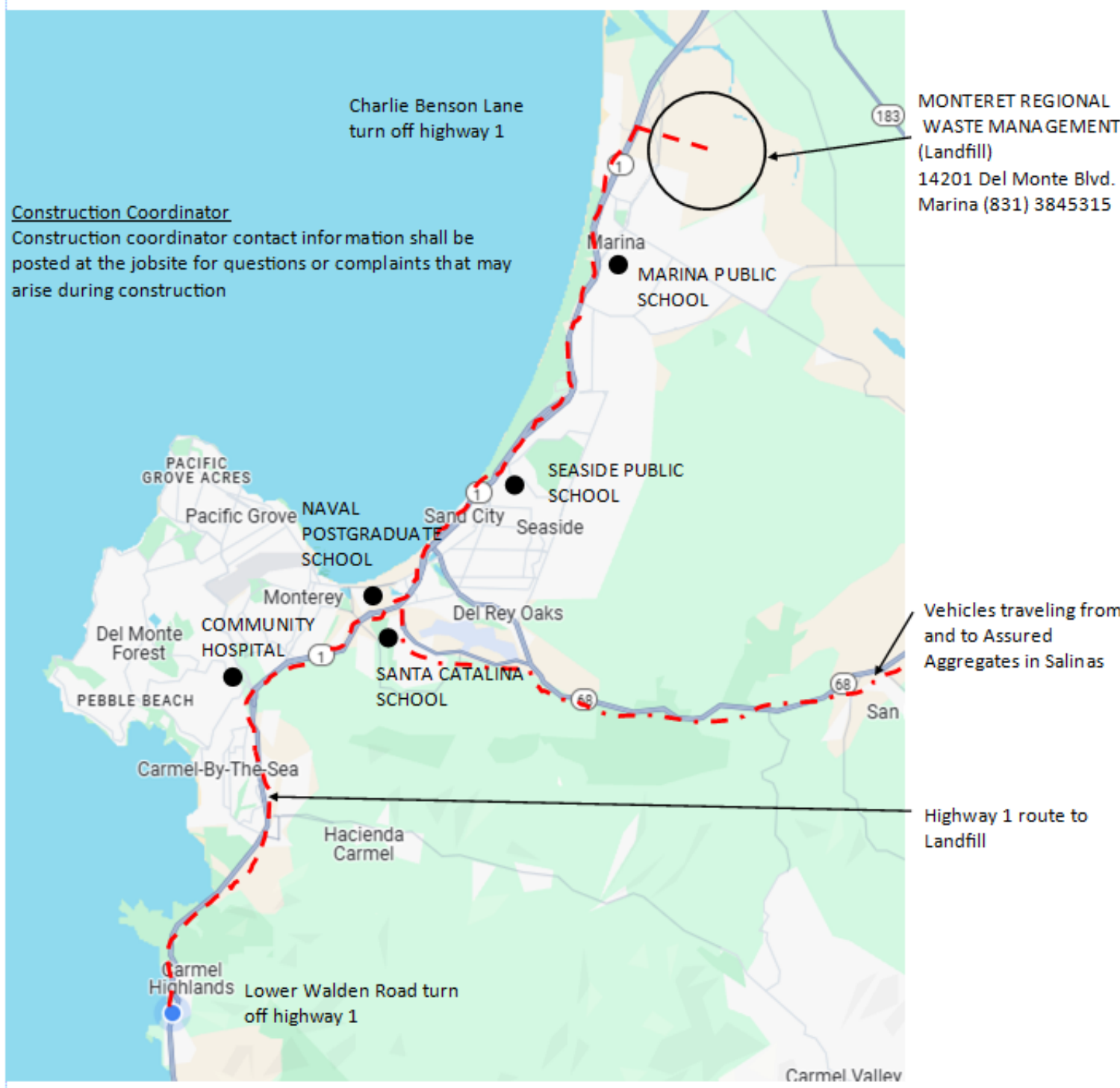
232 Lower Walden Road
Carmel CA
APN 241-241-005-000
Larry and Sharon Wood

Sheet Title:
Grading
Elevations

Date: 5/30/2025
Scale: As noted

Sheet

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4 VICINITY MAP AND TRUCK ROUTING

EROSION CONTROL RECOMMENDATIONS

1. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY EROSION CONTROL FOR RUNOFF, EROSION, AND SEDIMENT MOVEMENT (SEE SECTION 16.12.020 FOR PLAN REQUIREMENTS). EROSION CONTROL PLANS SHALL INCLUDE AS A MINIMUM THE MEASURES REQUIRED UNDER SECTIONS 16.12.070, 16.12.090, AND 16.12.110.
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SUMMARY TABLE INFORMATION:

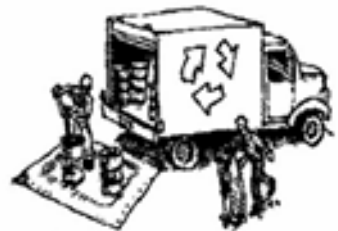
1. THIS PROJECT SITE WILL EXPECT 2-10 WORKERS PER DAY. WORK TIME WILL BE BETWEEN 8AM AND 6PM WEEKDAYS.
2. THIS PROJECT SITE WILL EXPECT NO MORE THAN 5 TRUCK DELIVERIES PER DAY.
3. CONSTRUCTION PARKING WILL BE AT THE SITE, WITHIN THE PROPOSED AREA.
4. CONSTRUCTION SCHEDULE WILL BE DETERMINED AFTER BUILDING PERMIT IS APPROVED.
5. RESPONSIBLE PARTIES,
CONTRACTOR: TO BE DETERMINED
OWNER: LARRY WOOD 209 605 0399

2 EROSION CONTROL PLAN



CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).



Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filter, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.

- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.

- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.

- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Painting & Paint Removal

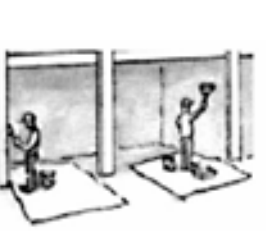
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.

Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



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County of Monterey 831 7554800

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

3 CONCRETE WASHOUT

ALTERNATIVE WASHOUT CAN BE ULTRATECH ULTRA-WASHOUT OR EQUAL

1 Construction Management Practices

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

SCALE 1" = 20'

WOOD Architects

Architecture
Accessibility

232 Lower Walden Road
Carmel, California 93923
209 605 0399
www.woodarchitects.com



Revisions Date

Project:
Wood Residence

232 Lower Walden Road
Carmel CA
APN 241-241-005-000
Larry and Sharon Wood

Sheet Title:
CONSTRUCTION
MANAGEMENT PLAN

Date: 5/29/2025
Scale: As noted

Sheet

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