

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

SHEN YUAN (PLN260017)

RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding the project qualifies as a Class 1 and 3 Categorical Exemption pursuant to CEQA Guidelines section 15301 and 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow for the demolition of a 4,525 square foot single family dwelling and construction of a 6,651 square foot two-story single family dwelling with an attached 789 square foot garage and associated site improvements;
 - b. Coastal Administrative Permit and Design Approval to allow for the construction of an 861 square foot accessory dwelling unit with an attached 264 square foot garage; and
 - c. Coastal Development Permit to allow the removal of one (1) protected Coast live oak tree.

[PLN260017, SHEN YUAN, 1651 Crespi Lane,
Pebble Beach, Del Monte Forest Land Use Plan
(APN: (008-371-018-000))]

The SHEN YUAN application (PLN260017) came on for public hearing before the County of Monterey Zoning Administrator on July 9, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Monterey County Coastal Implementation Plan, Part 1, Zoning Ordinance (Title 20);
 - Monterey County Coastal Implementation Plan, Part 5, (DMF CIP); and
 - Monterey County Chapter 16.80

No conflicts were found to exist. No communications were received during the course of review of the project, indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project consists of the demolition of a 4,252 square foot single family dwelling and construction of a 6,651 square foot two-story single family dwelling with an attached 789 square foot garage; the construction of an 864 square foot accessory dwelling unit with an attached 264 square foot garage; and to allow the removal of one protected Coast live oak tree. Associated site improvements include a new gate, fence, patios, the replacement of impervious driveway and patio coverage with pervious pavers, resulting in total impervious coverage of 8,992 square feet, and landscaping.
- c) Allowed Use. The property is located at 1651 Crespi Lane, Pebble Beach (APN: 008-371-018-000), in the Del Monte Forest Land Use Plan area. The parcel is zoned Low Density Residential with a density of 1.5 acres per unit with Design Control overlay district in the coastal zone or “LDR/1.5-D(CZ)”, which allows demolitions and construction of single family dwellings pursuant to a Coastal Administrative permit (Title 20 section 20.14.040.A) and would comply with applicable site development standards outlined in Title 20 section 20.14.060. Title 20 section 20.14.040.W allows for the construction of an accessory dwelling unit (ADU) subject to the granting of a Coastal Administrative Permit in each case. The proposed ADU and attached garage complies with the applicable site development standards, pursuant to a Coastal Administrative Permit (Title 20 sections 20.14.060 and 20.64.030. The removal of one Coast live oak tree, a protected tree, is allowed subject to a Coastal Development Permit, pursuant to DMF CIP section 20.147.050. Therefore, the project is an allowed use for this site.
- d) Lot Legality. The subject parcel (APN: 008-371-018-000) is approximately 1.74 acres and is located on a residential subdivision as Lot 2 on Record of Survey as shown on Monumentation worksheet on file with the Pebble Beach Company. The survey can be found in Volume 18, Page 128. Therefore, the County recognizes the subject parcel as a legal lot of record.
- e) Development Standards. Title 20 section 20.14.060 identifies site development standards for Low Density Residential (LDR/1.5) zoning district, including setbacks, maximum height, allowable building site coverage, and Floor Area Ratio (FAR), pursuant to Title 20 section 20.14.060.

Allowable setback and height requirements for main structure and accessory structure (habitable) are below:

Main Structure - single-family dwelling and attached garage:

	Required:	Proposed:
Minimum Front Setback:	30 feet	30 feet
Minimum Rear Setback:	20 feet	>60 feet
Minimum Side Setback:	20 feet	>100 feet
Maximum Height:	30 feet	29 feet $\frac{3}{4}$ inches

Accessory Structure (Habitable) – Accessory Dwelling Units with attached garage:

	Required:	Proposed:
Minimum Front Setback:	50 feet	>130 feet
Minimum Rear Setback:	4 feet	>40 feet
Minimum Side Setback:	4 feet	20 feet
Maximum Height:	16 feet	13 feet $5\frac{15}{16}$ inches

The required setback between the main structure and habitable accessory structure is 10 feet, the proposed setback is greater than 82 feet.

The maximum allowable building site coverage is 15% (11,369.16 square feet), the proposed building site coverage is 11.2% (8,506 square feet). The maximum allowable FAR is 17.5% (13,264.02 square feet), the proposed FAR is 11.3% (8,555 square feet). Therefore, as proposed the project complies with the development standards pursuant to Title 20 section 20.14.060.

- f) Parking. Pursuant to Title 20 section 20.58.040 require that “Single-Family Detached” have a minimum of 2 parking spaces per unit. CIP Part 6, Appendix 15 identified properties that are subject to ADU parking requirements. This property is not identified within the Appendix and is therefore not subject to the ADU parking requirements. The project as proposed consists of an attached 3-car garage for the single family dwelling and an attached 1-car garage for the accessory dwelling unit. Therefore, the proposed project complies with the County’s parking regulations.
- g) Design/Neighborhood and Community Character. The project site and surrounding area are designated as being within a Design Control or “D” overlay subject to the regulations outlined in Title 20 Chapter 20.44, which is intended to regulate the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. The proposed single family dwelling and ADU will include colors and materials consisting of: reddish clay tile roof, tan stucco walls, limestone accents, copper gutters, and off-white metal clad wood doors and windows. The homes within the area have a variety of architectural styles, with Neo Traditional Italian Renaissance Revival and French being the most common. As proposed, the design and architectural elements are consistent with the neighborhood character and will not detract from the

visual integrity of the site. Condition No. 7 has been applied to ensure that an exterior lighting plan is provided and approved prior to the issuance of building permits. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the General Plan, DMF LUP, DMF CIP, and Title 20.

- h) Visual Resources. DMF LUP Policy 47 requires that views from designated public access areas (such as vista points and 17-Mile Drive corridors) be protected and only allowed where they protect and preserve scenic resources. DMF LUP Policy 48 requires that development within visually prominent settings be sited and designed to avoid blocking or having significant impacts on significant public views.

DMF LUP Visual Resources – Figure 3 identifies the subject property within the public viewshed of Point Lobos and 17-Mile Drive. Further, Monterey County Geographic Information System (GIS) identifies the subject property as being visually “Sensitive”.

DMF CIP section 20.147.070.B identifies the development standards for properties within the public viewshed to ensure the siting and design of the structures are in harmony with the natural settings, are not visually intrusive, do not detract from the scenic views of the environment, and are subordinate and blend into the environment, and maintain a minimum setback of 50 feet from such settings.

Pursuant to DMF CIP section 20.147.070.B.2, the property is screened from 17-Mile Drive by existing vegetation and topography, as the lots that front 17-Mile Drive in this section slope upwards and block views of Crespi Lane.

The applicants have sited the proposed single family dwelling in a similar location to the existing single family dwelling, and the accessory dwelling unit is situated in the far corner of the property, further limiting its visibility. Further, as the lot slopes gently downward from the front of the property towards Crespi Lane, it will not be visible from 17-Mile Drive or Point Lobos. The property will maintain almost all of the native trees and vegetation to further screen the property and has been sited to ensure that the new structures are designed to harmonize with the natural setting and not be visually intrusive, pursuant to DMF CIP section 20.147.070.B.10.

As described in the Evidence “e”, the single family dwelling and accessory dwelling unit will be below the maximum height limitation of 30’ for this zoning district. Consistent with the DMF LUP policies and DMF CIP regulations for the scenic and visual resources, the development is sited and designed to be subordinate and blend in with the surrounding environment and neighborhood character (see Evidence “g” above); therefore, the project will not block or have a significant adverse impact on significant public views.

- i) Accessory Dwelling Unit. As demonstrated in Finding 6, the project is consistent with the regulations outlined in Title 20 section 20.64.030.
- j) Cultural Resources. The Monterey County Geographic Information System (GIS) identifies the subject property as having high archaeological sensitivity. Pursuant to DMF CIP section 20.147.080.B.1, a Preliminary Cultural Resources Reconnaissance (County of Monterey Library No. LIB190062) was prepared. The report concluded that there were no significant archaeological resources identified on the subject property, and the closest cultural resource is approximately 790 feet from the subject property. No mitigation measures or recommendations were needed, as stated by the archaeologist. There is no evidence that any cultural resources would be disturbed by this project. The potential for inadvertent impacts on cultural resources is limited and will be controlled by the application of the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- k) Biological Resources. The project is not near documented or expected locations of environmentally sensitive habitat areas. The property is not in Indigenous Monterey Cypress Habitat, as identified in DMF LUP Figure 2a. The Monterey County Geographic Information System (GIS) and the State of California Department of Fish and Wildlife (CDFW) Biogeographic Information and Observation System (BIOS) did not identify the property as containing critical habitat for protected or sensitive species, such as California red-legged frog, Yaden's Piperia, and Monterey Spineflower. Therefore, as the property is currently developed and does not have any protected or sensitive species habitat identified, a biological report was not prepared for the subject property, pursuant to DMF LUP Policy 12. However, to minimize the potential for inadvertent impacts to nesting birds, the County's standard project condition (Condition No. 11) has been applied to the project to ensure that tree removal or construction activity that occurs during the nesting period (February 22 – August 1) shall obtain a nesting bird survey. Therefore, as proposed and conditioned, the project will ensure the protection of Biological Resources and compliance with the County's regulations.
- l) Tree Removal. One Coast live oak tree with a diameter of 11 inches is proposed for removal. Pursuant to DMF CIP section 20.147.050, a Coastal Development Permit is required for the removal of this protected tree. As demonstrated in Finding 5 and supporting evidence, the necessary finding to grant a Coastal Development Permit has been made.
- m) Pescadero Watershed. DMF LUP Figure 2b identifies the subject property to be within the Carmel Bay "Area of Special Biological Significance" watershed. DMF LUP Policy 77 states that development within the Pescadero Watershed shall be sited to minimize erosion and stormwater runoff by having a maximum of 9,000 square feet of structural and other impervious surface coverage. DMF CIP section 20.147.030.A identifies development standards by limiting impervious site coverage to 9,000 square feet. Additionally, DMF LUP Policy 1

identifies that new residential driveways and other vehicular surfaces shall be kept to the minimum length and width to provide simple, direct access, and surfaces shall be designed to minimize runoff. The subject property currently has 18,266.70 square feet of impervious surfaces, over the maximum allowed 9,000 square feet. The project includes the removal and replacement of 9,274.70 square feet of impervious surfaces by replacing and reconfiguring the existing impervious driveway with permeable material. The proposed project will result in 8,992 square feet of impervious coverage, below the maximum allowed 9,000 square feet, and provide pervious surfaces to minimize stormwater runoff. Therefore, the project is consistent with the DMF LUP policies and the DMF CIP regulations for development within the Pescadero Watershed.

- n) Public Access. As demonstrated in Finding 8, the project is in conformance with the public access and recreation policies in the Coastal Act and applicable Local Coastal Program.
- o) Access. The subject property is accessed by Crespi Lane, a private maintained road within the Del Monte Forest Area. Discretionary applications that may result in the intensification of use of a privately-owned road are subject to regulations outlined in Chapter 16.80. Sections 16.80.040.D.1 and 16.80.40.D.8 exempt the first single family dwelling and accessory dwelling units; therefore, the proposed project as described above is thereby exempt from the regulations outlined within this chapter.
- p) Land Use Advisory Committee. The project was reviewed by the Del Monte Forest Land Use Advisory Committee on the June 4, 2026 meeting, where the committee unanimously recommended the project for approval (5 ayes, 0 noes, 1 absent).
- q) HCD-Planning staff reviewed aerial and street view imagery (Monterey County GIS and Google Maps) to verify that the project on the subject parcel conforms to the plan, policies, and regulations listed above.
- r) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, Pebble Beach Community Service District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following technical reports were prepared for this property and are applicable to the proposed development:
 - “Geotechnical Investigation” (LIB190063), prepared by Grice Engineering Inc., Salinas, CA, February 2019

- “Preliminary Cultural Resources Reconnaissance” (LIB190062), prepared by Susan Morley, M.A., Marina, CA, February 2019
- “Phase I Historic Review” (LIB190068), prepared by Kent L. Seavey, Pacific Grove, CA, February 18, 2019
- “Tree Assessment/Forest Management Plan” (LIB190067), prepared by Frank Ono, Pacific Grove, CA February 15, 2019

Upon independent review, staff concurs with the conclusions of the report. There are no physical or environmental constraints that render the site physically unsuitable for the proposed project.

- c) HCD-Planning staff reviewed aerial and street view imagery (Monterey County GIS and Google Maps) to verify that the project on the subject parcel conforms to the plan, policies, and regulations listed above.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, Pebble Beach Community Service District, HCD-Engineering Services, HCD-Environmental Services, and Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public utilities will be provided. Domestic water and sewage services are currently, and will continue to be, provided by CalAm through the Monterey Peninsula Water Management District and the Pebble Beach Community Services District (CSD). The applicant provided correspondence from CalAm confirming the existing service connection to the property.
 - c) The subject site is identified as being in a “very high” fire hazard area, in the State Responsibility Area. Fuel Management Plan notes have been incorporated into the Site Plan on Sheet A1.0 and provide guidelines to be followed to minimize fire hazard risk.
 - d) HCD-Planning staff reviewed aerial and street view imagery (Monterey County GIS and Google Maps) to verify that the project on the subject parcel conforms to the plan, policies, and regulations listed above.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and Building Services Department records and is not aware of any violations existing on the subject property.
 - b) HCD-Planning staff reviewed aerial and street view imagery (Monterey County GIS and Google Maps) to verify that the project on the subject parcel conforms to the plan, policies, and regulations listed above.
 - c) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

5. **FINDING:** **TREE REMOVAL** – The tree removal is the minimum required under the circumstances and will not involve risk of adverse environmental impact.
- a) In accordance with DMF LUP Policy 32, the proposed tree removal will protect the scenic resources of the property and will not impact views from significant public viewing areas (see Finding No. 2, Evidence “h”). Further, pursuant to DMF LUP Policy 33, the siting and design of the proposed project were developed to minimize removal and damage of trees and understory vegetation.
 - b) Consistent with DMF CIP section 20.147.050, a forest management plan was submitted to evaluate the proposed tree removal and address any potential concerns.
 - c) The project includes the removal of 1 protected Coast live oak tree. This tree is within the vicinity of the proposed grading and new driveway. A Coastal Development Permit has been applied to this project pursuant to DMF CIP section 20.147.050.A.
 - d) The removal of the Coast live oak is the minimum required for the improvement of the property and will not negatively affect the forest and/or woodland of the project site, as well as the surrounding area, and will not negatively affect surrounding forest continuity or the prevailing sun/wind exposure to trees. The proposed development has been sited in the best location to avoid additional tree removal and compliance with fire regulations. Therefore, the tree removal is the minimum required under the circumstances and will not have any adverse impacts on the surrounding environment.
 - e) Existing trees not being removed shall be protected throughout the construction period. The arborist recommended protective fencing around the trees within the project vicinity that are not being removed. The report also requires construction vehicles, heavy equipment and stockpiles to be located outside of the fenced off areas and away from the protected trees.
 - f) The Arborist Report (**Exhibit D**) recommends tree replanting for the Coast live oak at a 1:1 ratio with 1 five-gallon Coast live oak in the greatest opening to allow for minimum competition and maximum sunlight near the ADU.
 - g) Conditions of approval have been applied to this permit to ensure the tree protection and tree replacement recommendations are followed (See Condition Nos. 8, 9, and 11).
 - h) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

6. **FINDING:** **ACCESSORY DWELLING UNIT** – The project meets the established regulations and standards as identified in Title 20, Section 20.64.030.
- EVIDENCE:**
- a) Title 20 Section 20.64.030 establishes regulations and standards for which an accessory dwelling unit, accessory to the main residence on a lot, may be permitted. The project includes the construction of an 851 square foot Accessory Dwelling Unit (ADU) with an attached 264 square foot garage that includes independent living facilities as shown in the attached plans (See attached plans and Finding 1). ADU's within the Del Monte Forest require a Coastal Administrative Permit, pursuant to Title 20 Section 20.64.030.G.
 - b) As proposed, the ADU is below the maximum 1,200 square foot floor area and will be the first ADU on the subject property. The proposed ADU is detached from the main dwelling and will be consistent with the design of said residence.
 - c) CIP Part 6, Appendix 15 identified properties that are subject to ADU parking requirements. This property is not identified within the Appendix; therefore, it is not required to provide a parking space for the ADU. Therefore, the project is consistent with the requirements of Title 20, section 20.64.030.E.5.
 - d) The ADU meets the required site development standards and design criteria defined in Title 20 sections 20.14.060 and 20.64.030.E.3 and Chapter 20.44 (see Finding 1, Evidence “e” and “g”).
 - e) The application was reviewed by the Environmental Health Bureau (EHB) to ensure adequate sewage disposal and water supply facilities exist and are readily available to serve the ADU. EHB made the determination that the property has adequate public facilities and no further comments or conditions were provided (See Finding 3 and supporting evidence).
 - f) HCD-Planning staff reviewed aerial and street view imagery (Monterey County GIS and Google Maps) to verify that the project on the subject parcel conforms to the plan, policies, and regulations listed above. Staff researched County records to assess if any violation exists on the subject property and found no violations. (see Finding 4 and supporting evidence).
 - g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.
7. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Sections 15301 (e) and 15303 (a) and (e) categorically exempt demolition of a single family dwelling and construction of single family dwelling and accessory structure in residential zones.
 - b) The proposed project involves the demolition of a 4,252 square foot single family dwelling and construction of a 6,651 square foot two-story single family dwelling with an attached 789 square foot garage and

associated site improvements; the construction of an 851 square foot accessory dwelling unit with an attached 264 square foot garage; and the removal of one Coast live oak tree. The project has public services and facilities are available, and is not environmentally sensitive. Therefore, the project qualifies for a Class 1 and Class 3 categorical exemption pursuant to Section 15301 (e) and 15303 (a) and (e) of the CEQA guidelines.

- c) No adverse environmental effects were identified during a review of aerial and street view imagery (Monterey County GIS and Google Maps).
- d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. The project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site, nor is it located near or within view of a scenic highway.
- e) See supporting Findings No. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

8. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - c) The subject project site is not identified as an area where the Local Coastal Program requires visual public access (Figure 3, Visual Resources, in the DMF LUP).
 - d) Based on the project location and its topographical relationship to visual public access points in the area, the development proposal will not interfere with visual access along 17-Mile Drive or from Point Lobos. Consistent with DMF LUP Policies 123 and 137, the proposed development will not block significant public views toward the ocean and will not adversely impact the public viewshed or scenic character in the project vicinity
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN260017.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:** a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
- b) Coastal Commission. Pursuant to Title 20, Section 20.86.080.A, the project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea (i.e., State Route/Highway 1).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Zoning Administrator does hereby:

- 1) Find the project qualifies as a Class 1 and 3 Categorical Exemption pursuant to CEQA Guidelines section 15301 and 15303, and there are no exceptions pursuant to section 15300.2; and
- 2) Approve a Combined Development Permit consisting of a:
 - a. Coastal Administrative Permit and Design Approval to allow for the demolition of a 4,525 square foot single family dwelling and construction of a 6,651 square foot two-story single family dwelling with an attached 789 square foot garage and associated site improvements;
 - b. Coastal Administrative Permit and Design Approval to allow for the construction of an 861 square foot accessory dwelling unit with an attached 264 square foot garage; and
 - c. Coastal Development Permit to allow the removal of one (1) protected Coast live oak tree.

PASSED AND ADOPTED this 9th day of July, 2026:

Mike Novo AICP, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE.

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN260017

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

**Condition/Mitigation
Monitoring Measure:**

This Combined Development Permit (PLN260017) allows the demolition of a 4,252 square foot single family dwelling and the construction of a 6,651 square foot two-story single family dwelling with an attached 789 square foot garage and associated site improvements; the construction of an 851 square foot accessory dwelling unit with an attached 264 square foot garage; and to allow the removal of one (1) protected Coast live oak tree. The property is located at 1651 Crespi Lane, Pebble Beach, (Assessor's Parcel Number 008--371--018--000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

**Compliance or
Monitoring
Action to be
Performed:**

The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation The applicant shall record a Permit Approval Notice. This notice shall state:

Monitoring Measure: "A Combined Development Permit (Resolution Number 26-) was approved by the Zoning Administrator for Assessor's Parcel Number 008-371-018-000 on July 9, 2026. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Prior to the issuance of grading and building permits, certificates of compliance, or
Monitoring commencement of use, whichever occurs first and as applicable, the Owner/Applicant
Action to be shall provide proof of recordation of this notice to the HCD - Planning.
Performed:

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation If, during the course of construction, cultural, archaeological, historical or
Monitoring Measure: paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or The Owner/Applicant shall adhere to this condition on an on-going basis.

Monitoring
Action to be Prior to the issuance of grading or building permits and/or prior to the recordation of the
Performed: final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

5. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

6. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

7. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

8. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

9. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Prior to final inspection, the applicant shall replace the Coast live oak tree approved for removal as follows:

- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: 1:1
- Other: Replacement tree shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD-Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

10. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning . A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County HCD - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to Monterey County HCD - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

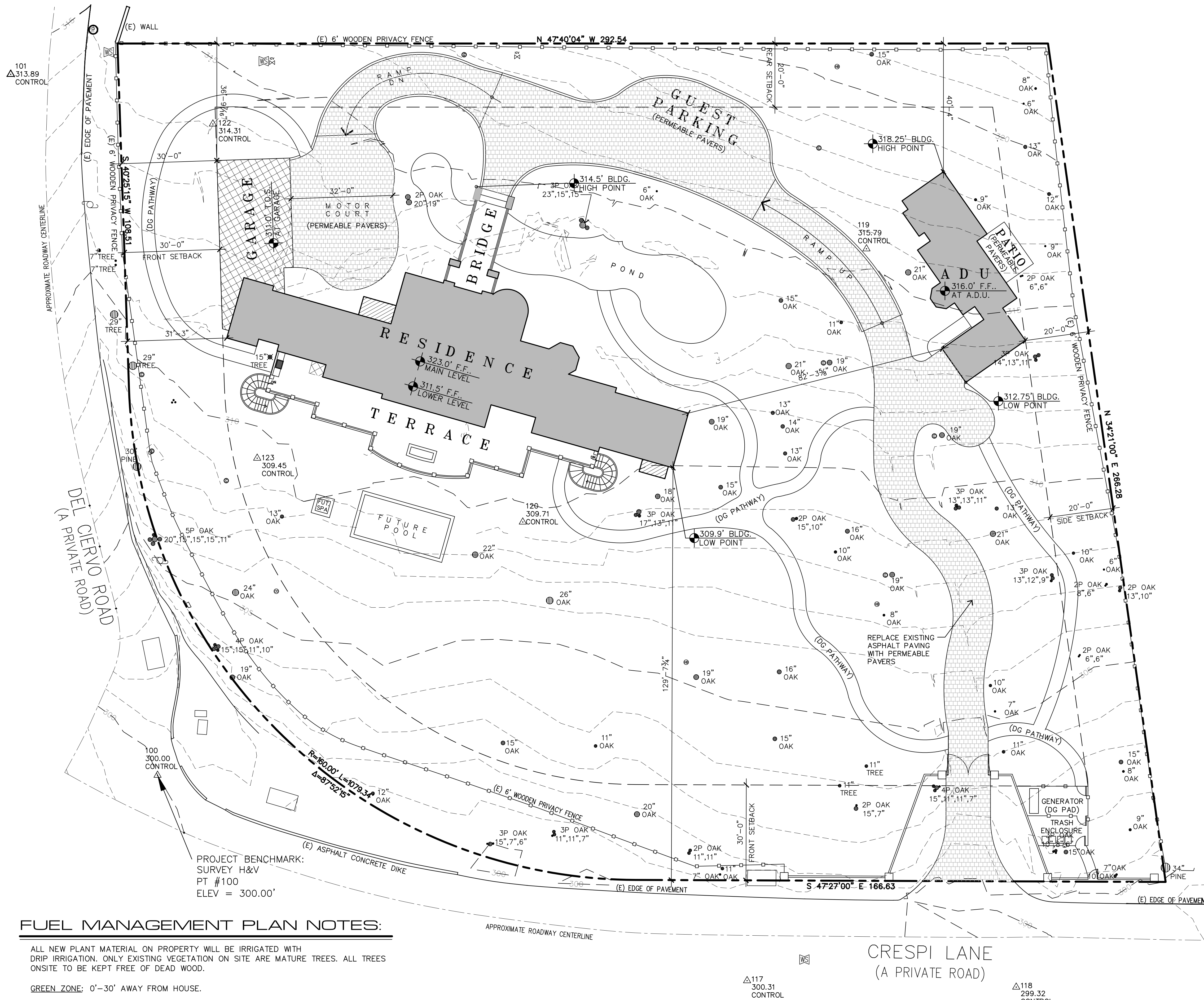
11. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

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FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ON SITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0' - 30' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4".
- MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
- MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
- TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
- TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
- REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
- REMOVE ALL CUT MATERIAL FROM THE AREA
- MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:
VEHICLE ACCESS FROM CRESPI LANE.

SITE PLAN

PLANNING INFO.

- PROPERTY OWNER:
YUAN SHEN
32 SHAW CT.
REDWOOD CITY, CA 94061
- PROJECT ADDRESS:
1651 CRESPI LANE
PEBBLE BEACH, CA.
- PROJECT SCOPE:
RE-SUBMITTAL OF PREVIOUSLY APPROVED PLN190005 AND RESOLUTION NO. 20-004 TO INCLUDE:
- DEMOLISH EXISTING 4,524.7 S.F. ONE-STORY SINGLE FAMILY RESIDENCE AND ATTACHED GARAGE
 - NEW 6,651 S.F. TWO-STORY SINGLE FAMILY RESIDENCE WITH 789 S.F. ATTACHED 3-CAR GARAGE; NEW 1,115 S.F. A.D.U.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-371-018
- LEGAL DESC.: LOT: BLOCK:
- ZONE: LDR/1.5-D(cz)
- STORIES: TWO
- MAX BLDG. HT: 30 FT
- GRADING: CUT 533 CY, FILL 545 CY = NET 12 CY [FILL].
SEE CIVIL DRAWINGS
- TREE REMOVAL: ONE: 15" WILLOW
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE:
2022 CBC, CMC, CPC, OFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE AND CALIFORNIA ENERGY CODE
- LOT AREA: 75,794.4 S.F. (1.74 Ac.)
- LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PLN190005 TOTAL	RESUBMIT TOTAL
MAIN HOUSE	4,524.7	4,693	(4,524.7)	4,693	4,693
COVERED ENTRY	122	134	(122)	134	134
A.D.U.	0	1,115	0	1,115	1,115
TERRACES/DECKS	406	1,790	(406)	1,790	1,790
BRIDGE	0	270	0	270	270
FENCE/GATES	179	17	(42)	154	154
RETAINING WALLS	196	246	(196)	246	246
DECORATIVE WALLS	458	104	(458)	104	104
SHED	55	0	(55)	0	0
TOTAL	5,940.7	8,369	(5,803.7)	8,506	8,506

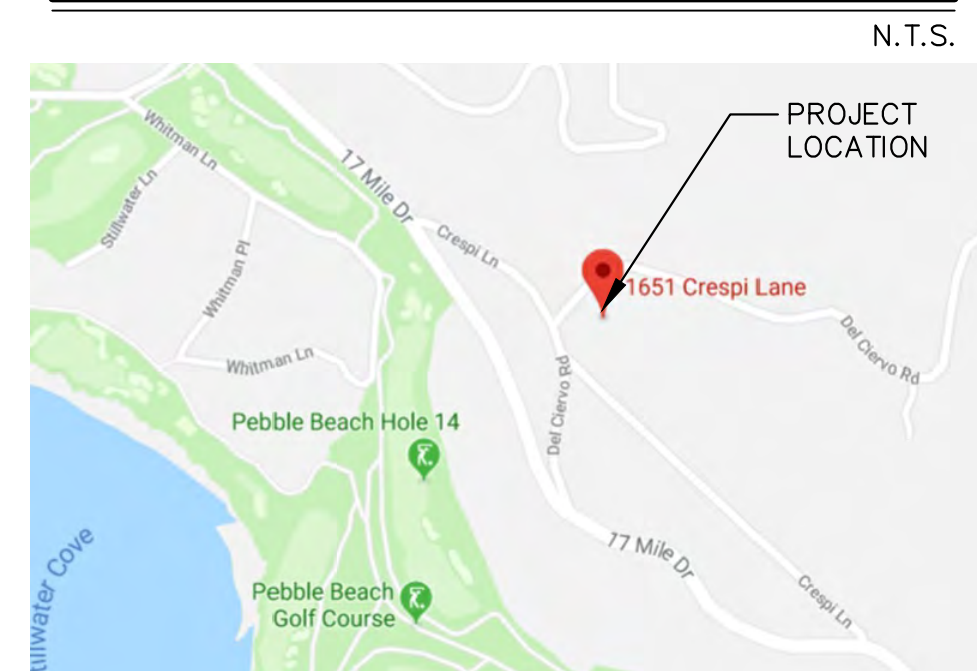
- LOT COVERAGE ALLOWED: 11,369.16 SF (15%)
- LOT COVERAGE PROPOSED: 8,506 SF (11.2%)
- F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PLN190005 TOTAL	RESUBMIT TOTAL
MAIN BUILDING	0	2,836	0	2,836	2,836
LOWER FLOOR	3,664.4	3,815	(3,664.4)	3,815	3,815
MAIN FLOOR	860.3	789	(860.3)	789	789
A.D.U.	0	1,115	0	1,115	1,115
TOTAL	4,524.7	8,555	(4,524.7)	8,555	8,555

- F.A.R. ALLOWED: 13,264.02 SF (17.5%)
- F.A.R. PROPOSED: 8,555 SF (11.3%)
- PISCADERO COVERAGE LIMITATIONS
STRUCTURAL/IMPERVIOUS 9,000 S.F.

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PLN190005 TOTAL	RESUBMIT TOTAL
MAIN HOUSE	4,524.7	4,693	(4,524.7)	4,693	4,693
COVERED ENTRY	122	134	(122)	134	134
A.D.U.	0	1,115	0	1,115	1,115
TERRACES/DECKS	406	1,790	(406)	1,790	1,790
BRIDGE	0	270	0	270	270
FENCE/GATES	179	17	(42)	154	154
RETAINING WALLS	196	246	(196)	246	246
DECORATIVE WALLS	458	104	(458)	104	104
SHED	55	0	(55)	0	0
PATIO	2,430	0	(2,430)	0	0
DRIVEWAYS	9,896	0	(9,896)	0	0
FUTURE POOL	0	450	0	450	450
FUTURE SPA	0	36	0	36	36
TOTAL	18,266.7	8,855	(18,129.7)	8,992	8,992

VICINITY MAP



JUN A. SILLANO, AIA



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STAMPS:

PROJECT/CLIENT:

YUAN SHEN

PROJECT ADDRESS:

1651 CRESPI LN.
PEBBLE BEACH,
CA 93953

APN: 008-371-018

DATE: JANUARY 04, 2019

APPLICATION REQUEST SUB.

REVISIONS:

- JANUARY 15, 2019
PRELIMINARY BID ESTIMATE
- FEBRUARY 15, 2019
PB ARB SUBMITTAL
- FEBRUARY 19, 2019
PLANNING DEPT. SUBMITTAL
- JANUARY 21, 2026
PLANNING RE-SUBMITTAL

SITE
PLAN

SHEET NO.

A1.0

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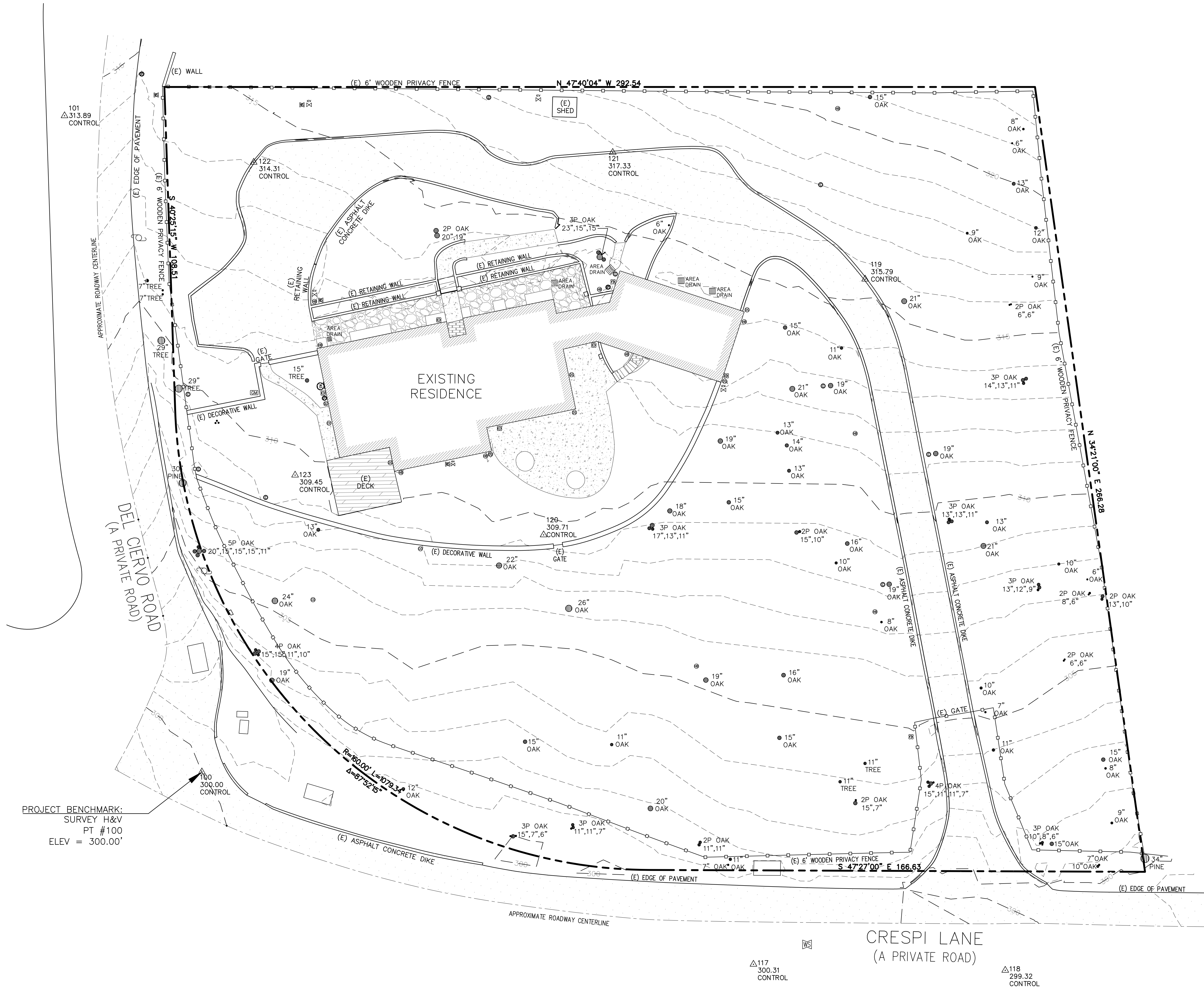
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EXISTING
SITE PLAN

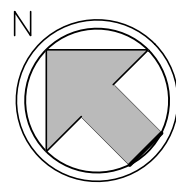
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EXISTING SITE PLAN

1/16"=1'-0"



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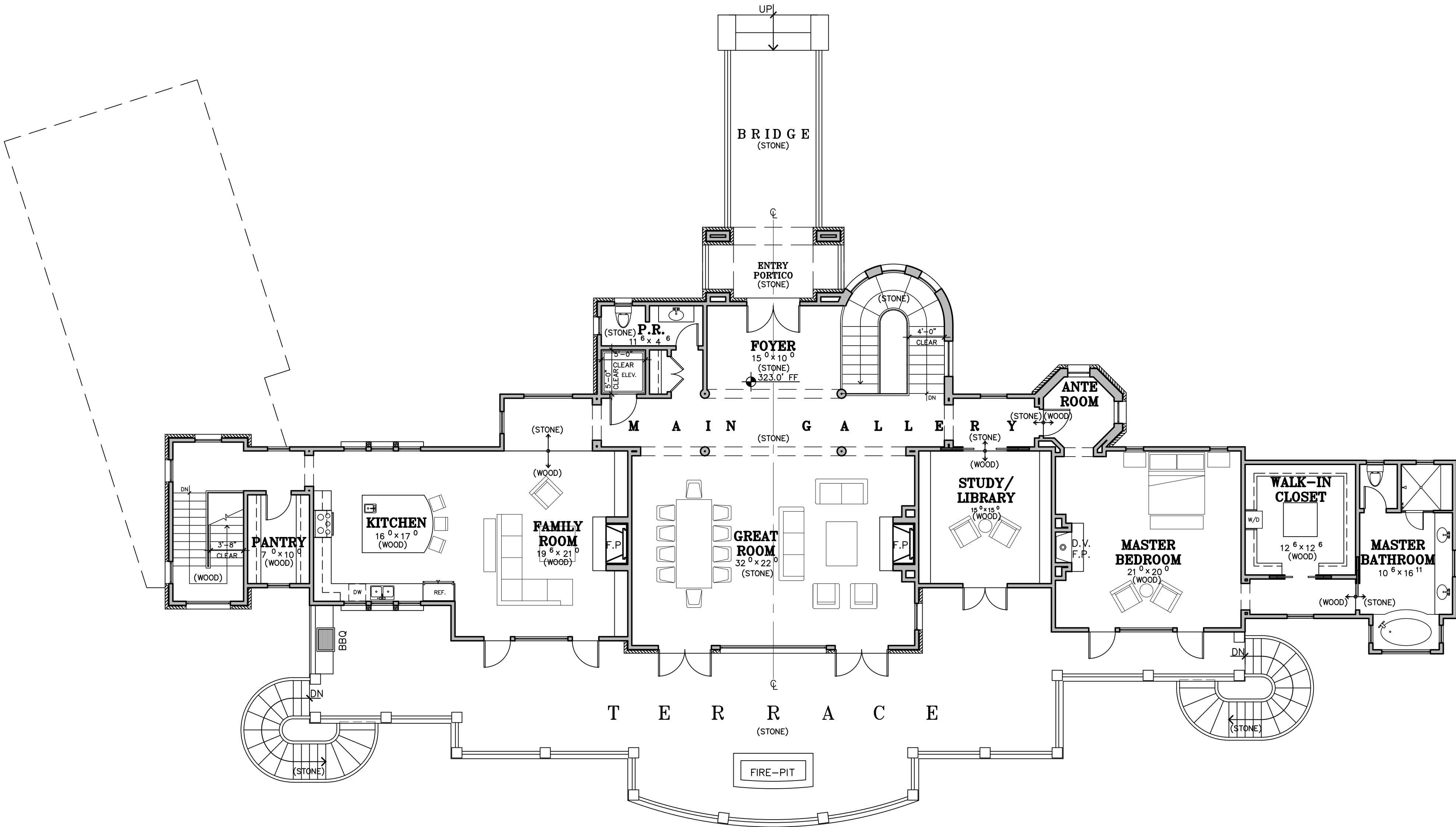
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△ PLANNING RE-SUBMITTAL
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△

MAIN LEVEL
PLAN

SHEET NO.

A2.0



MAIN LEVEL PLAN

WALL LEGEND

— 2X EXISTING WALL TO REMAIN
— 2X6 EXTERIOR STUD FRAMED WALL
— 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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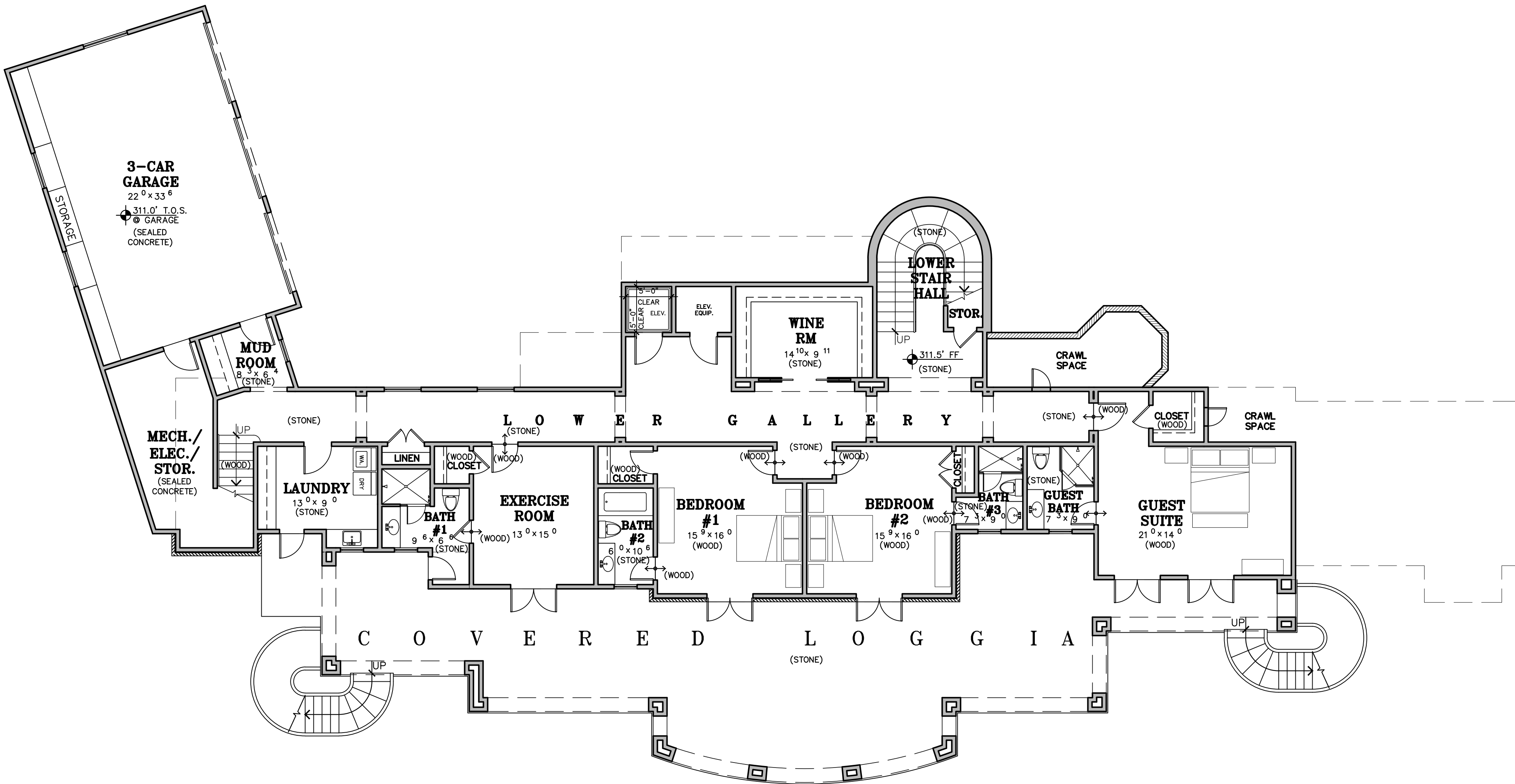
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LOWER LEVEL
PLAN

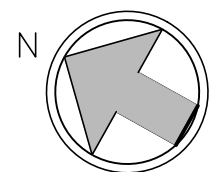
SHEET NO.

A3.0



LOWER LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

2X EXISTING WALL TO REMAIN
2X6 EXTERIOR STUD FRAMED WALL
2X4 INTERIOR STUD FRAMED WALL, U.O.N.

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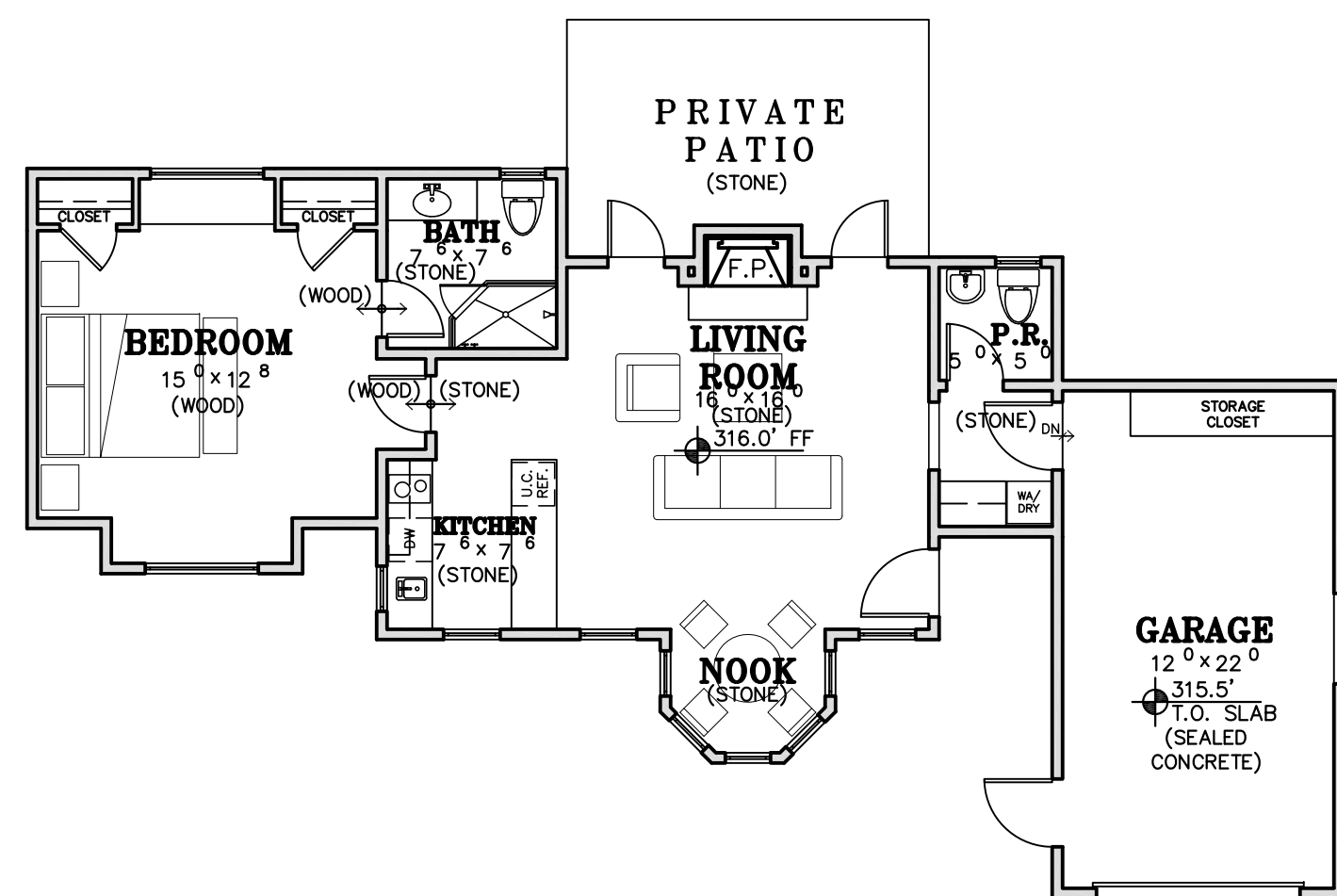
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△

GUEST SUITE/
ADU PLAN

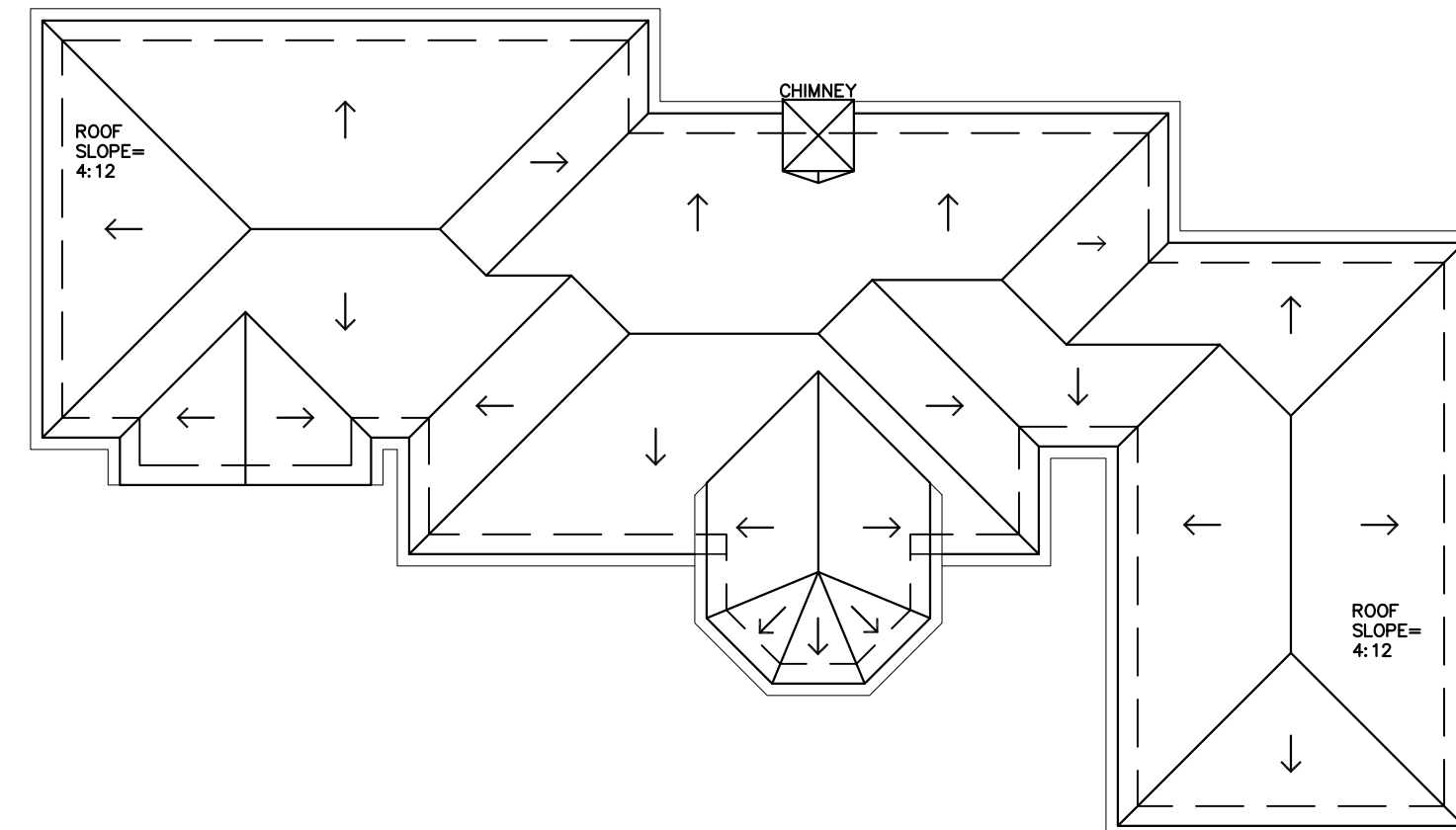
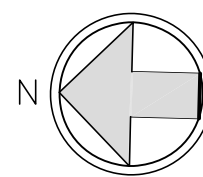
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A4.0



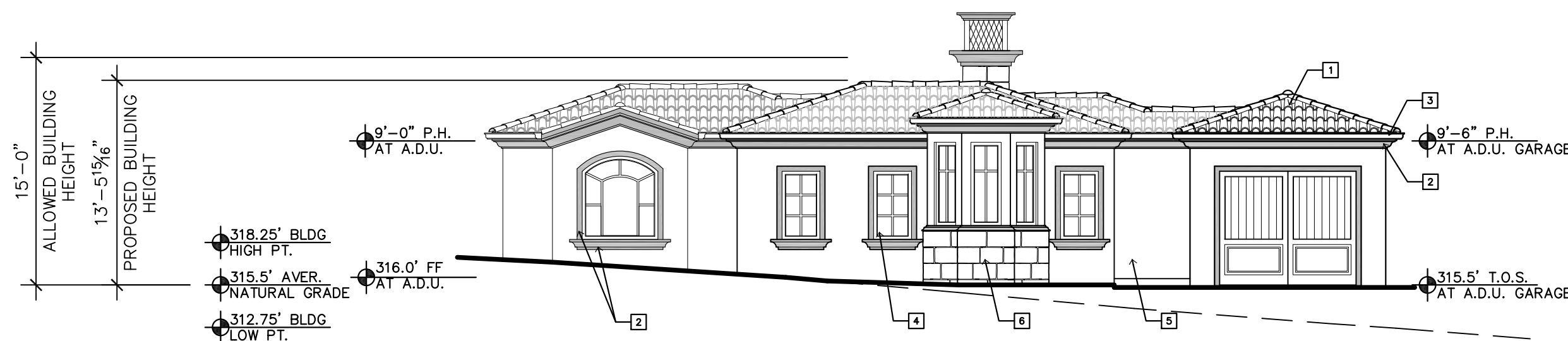
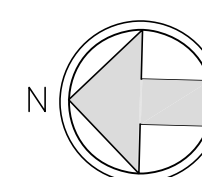
GUEST SUITE/ADU FLOOR PLAN

1/8"=1'-0"



GUEST SUITE/ADU ROOF PLAN

1/8"=1'-0"

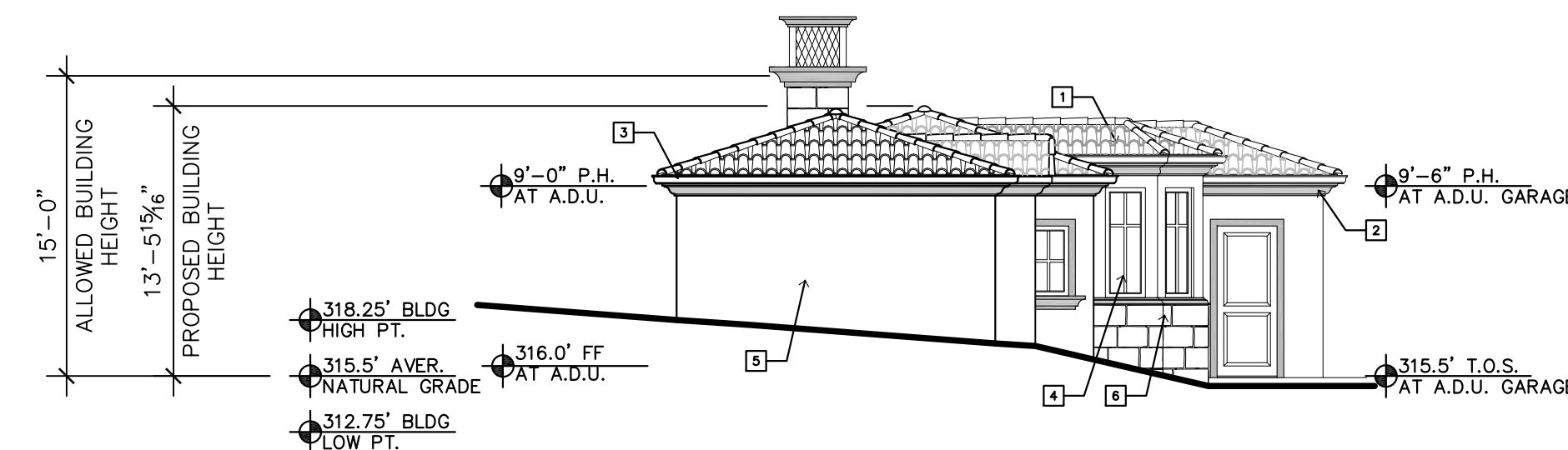


WEST ELEVATION

1/8"=1'-0"

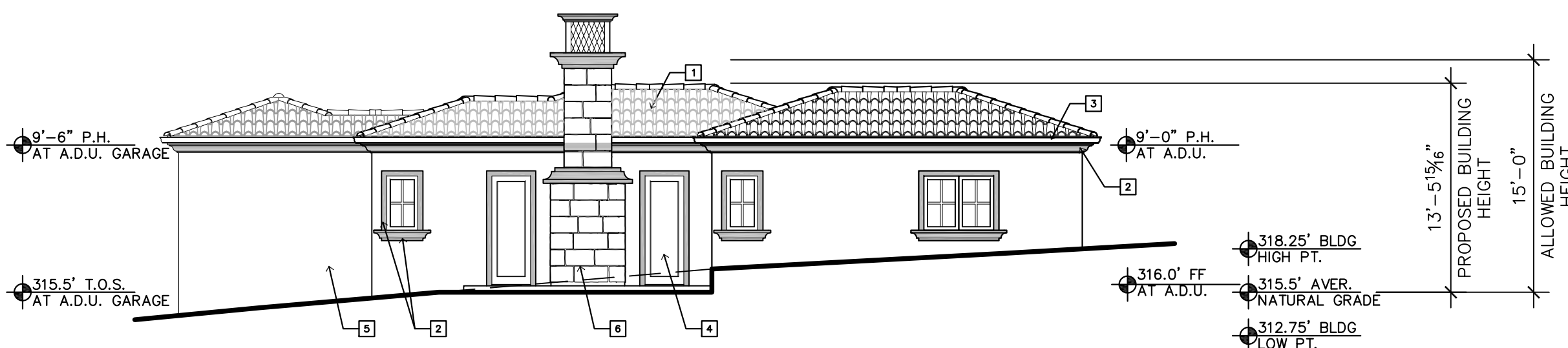
EXTERIOR FINISH LEGEND

- CLASS 'A' CAP & PAN "REDLANDS" CLAY ROOF TILES OR EQUAL
- FAUX LIMESTONE - CORNICE MOULDING, PLINTH, TRIM, SURROUND, BALLUSTERS, ENTABLATURE, ETC., (SHOWN SHADED)-VERISTONE OR EQUAL
- COPPER GUTTER, DOWNSPOUTS, & LEADERBOXES
- METAL CLAD EXTERIOR DOORS & WINDOWS
- EXTERIOR STUCCO- SMOOTH FINISH
- LIMESTONE-F.P. SURROUND; TRIM SURROUND; PANELS, ETC.



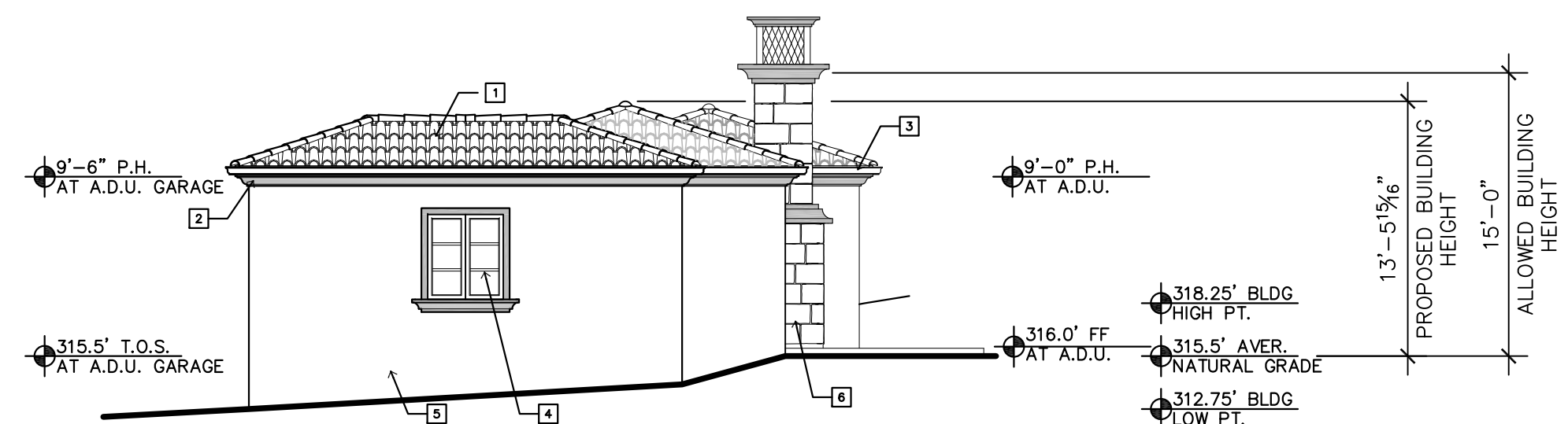
NORTH ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.

721 LIGHTHOUSE AVE
PACIFIC GROVE CA
93950

PH (831) 646-1261
FAX (831) 646-1290
EMAIL info@idg-inc.net
WEB www.idg-inc.net

DISCLAIMER:

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STAMPS:

PROJECT/CLIENT:

YUAN SHEN

PROJECT ADDRESS:

1651 CRESPI LN.
PEBBLE BEACH,
CA 93953

APN: 008-371-018

DATE: JANUARY 04, 2019

APPLICATION REQUEST SUB.

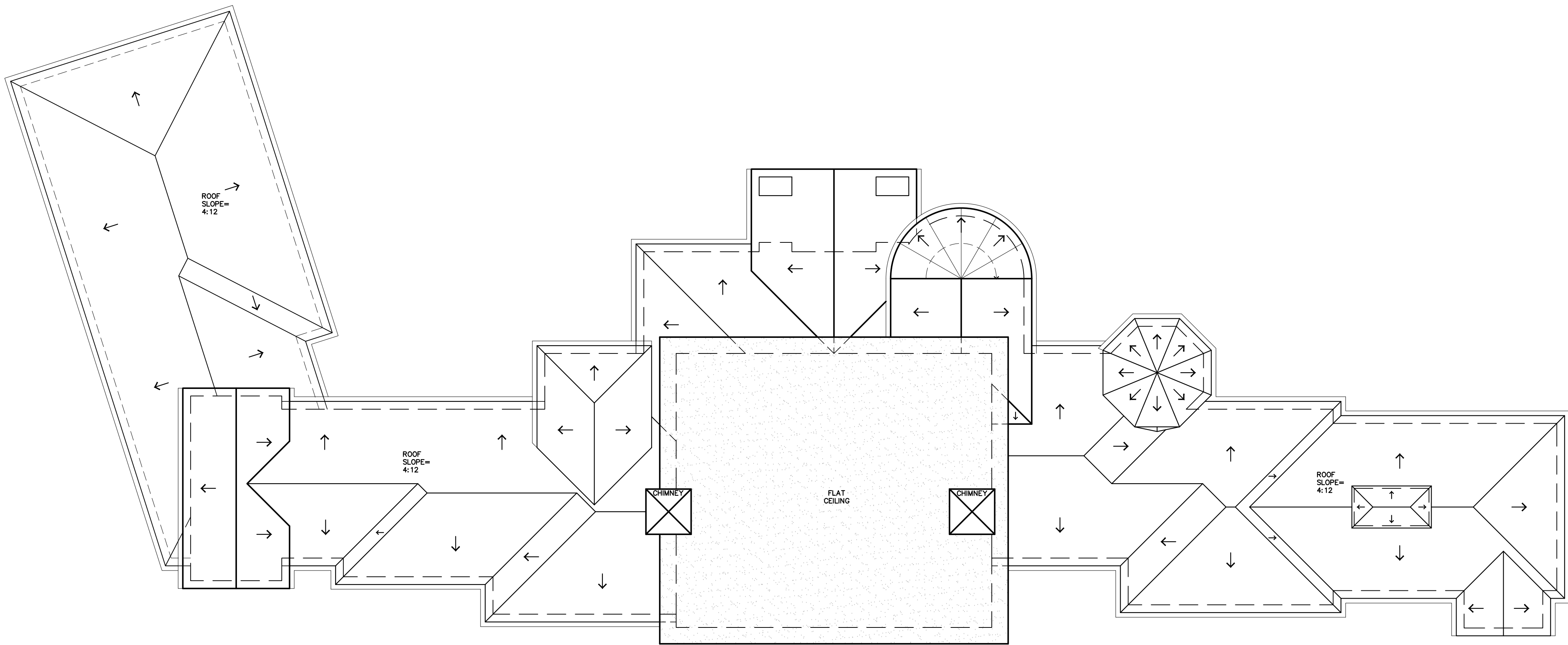
REVISIONS:

△	JANUARY 15, 2019
△	PRELIMINARY BID ESTIMATE
△	FEBRUARY 15, 2019
△	PB ARB SUBMITTAL
△	FEBRUARY 19, 2019
△	PLANNING DEPT. SUBMITTAL
△	JANUARY 21, 2026
△	PLANNING RE-SUBMITTAL
△	
△	

ROOF
PLAN

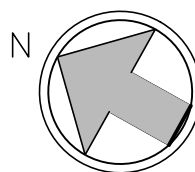
SHEET NO.

A5.0



ROOF PLAN

1/8" = 1'-0"



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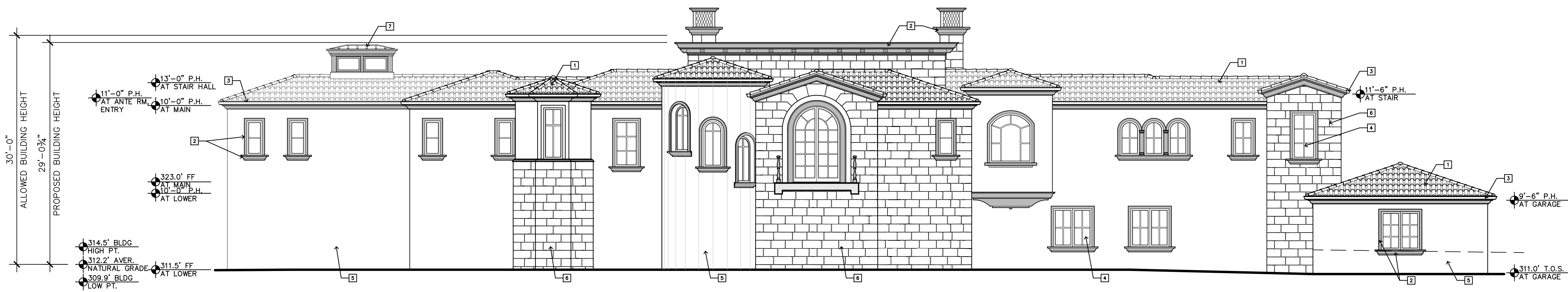
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ELEVATIONS

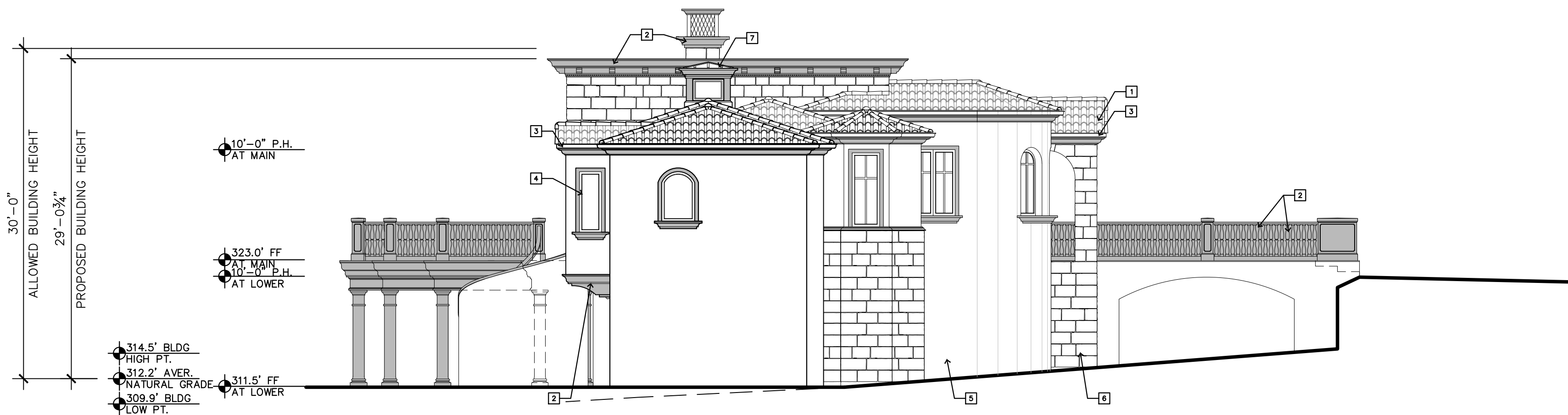
SHEET NO.

A6.0



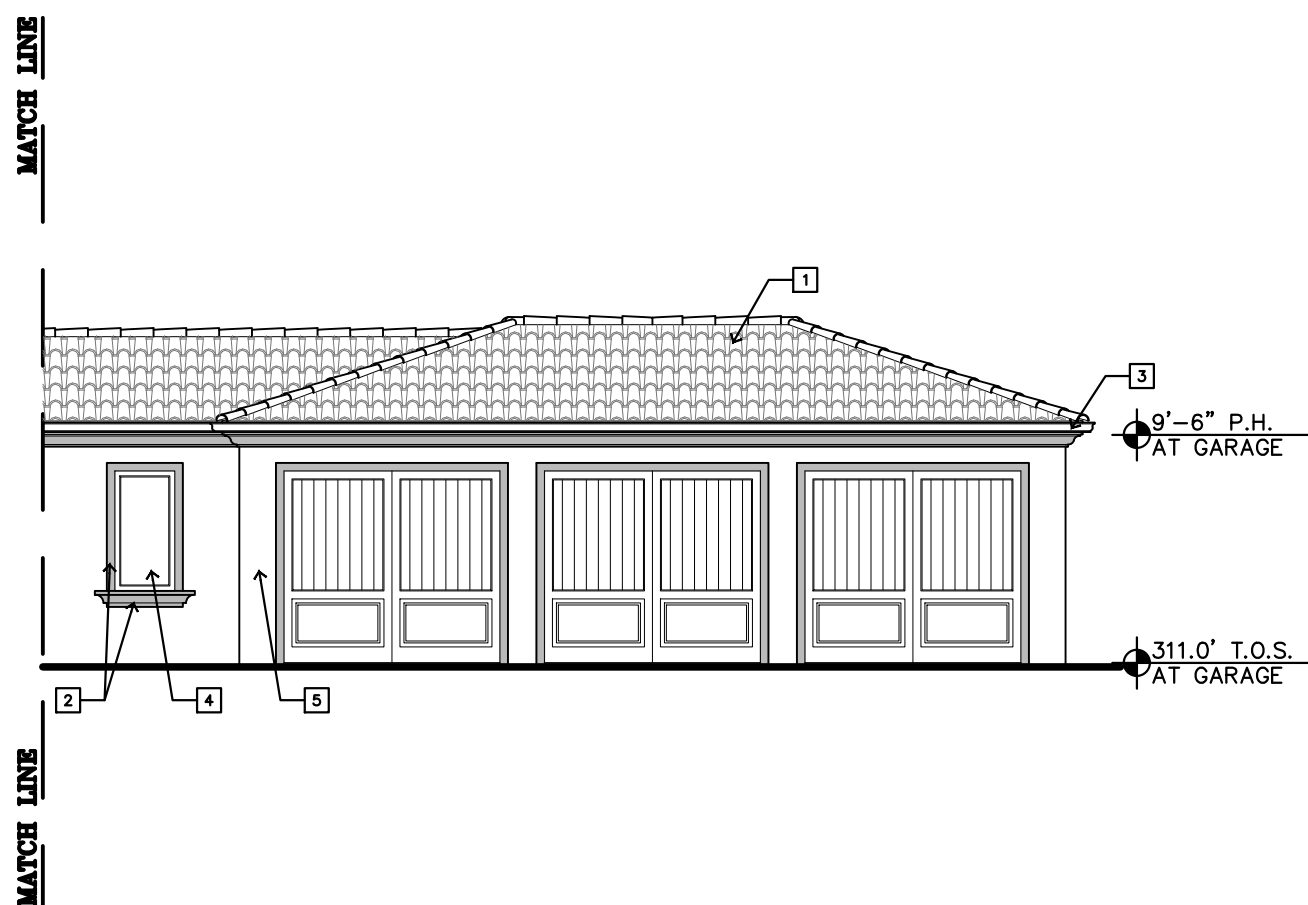
EAST ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"



SOUTH ELEVATION - GARAGE

1/8"=1'-0"

EXTERIOR FINISH LEGEND

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- 2 FAUX LIMESTONE - CORNICE MOULDING, PLINTH, TRIM, SURROUND, BALLUSTERS, ENTABLATURE, COLUMNS, ETC., (SHOWN SHADED)- VERISTONE OR EQUAL
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- 5 EXTERIOR STUCCO- SMOOTH FINISH
- 6 LIMESTONE-F.P. SURROUND; TRIM SURROUND; PANELS, ETC.
- 7 STANDING SEAM COPPER ROOF

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△
△

ELEVATIONS

SHEET NO.

A6.1

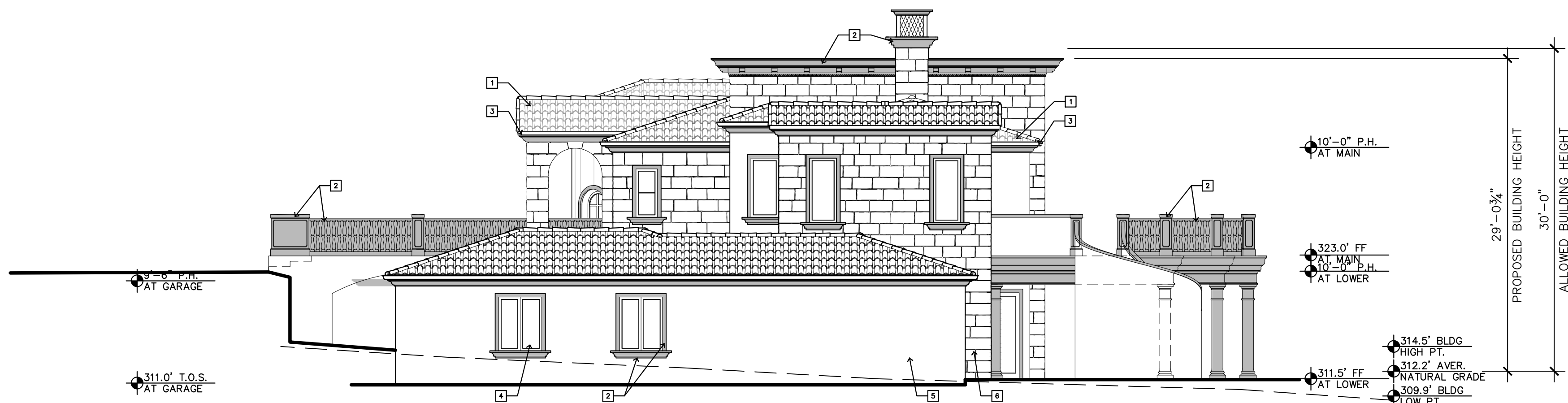


WEST ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND

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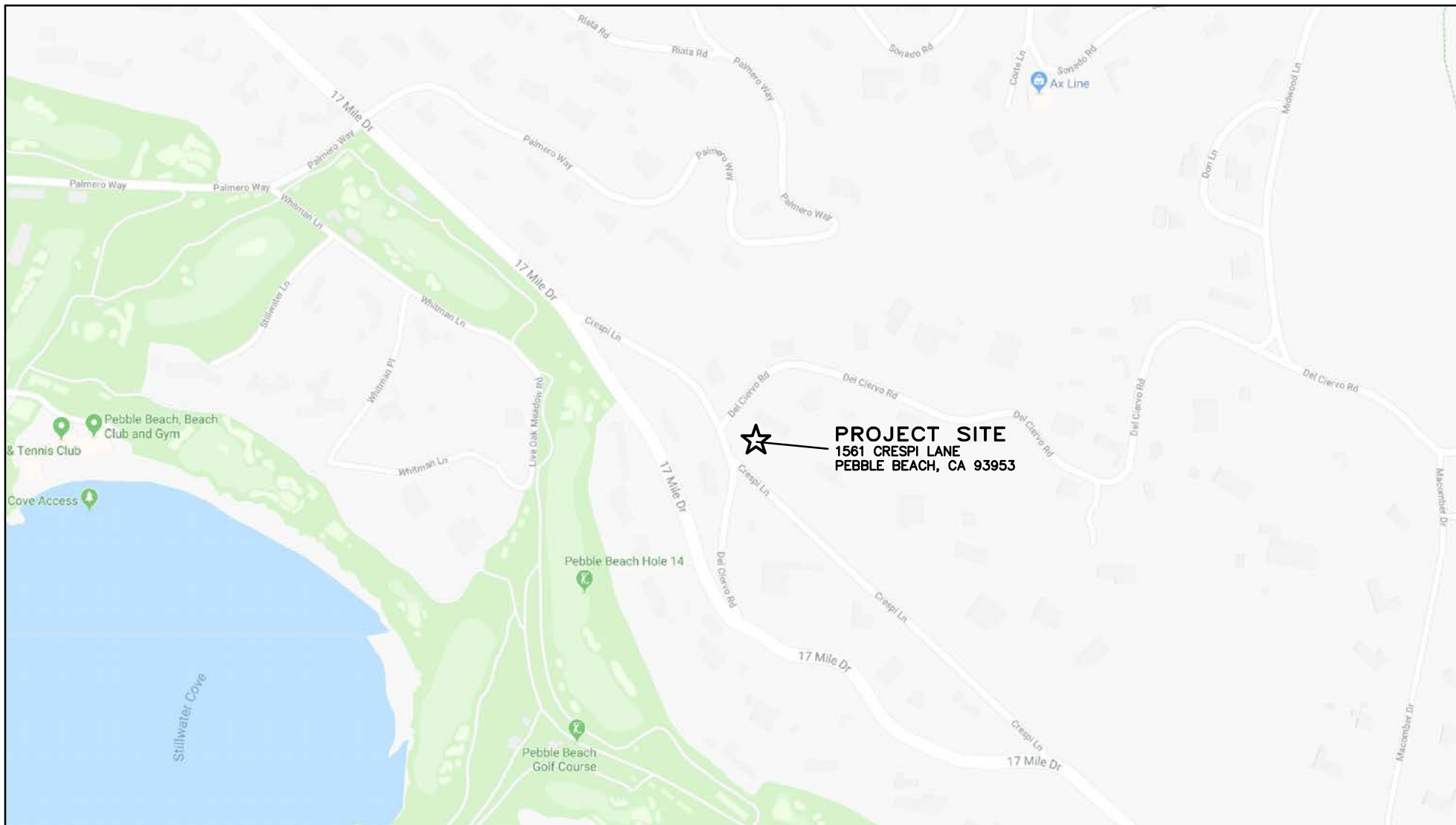


NORTH ELEVATION

1/8"=1'-0"

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
SHEN RESIDENCE
APN: 008-371-018

PEBBLE BEACH, MONTEREY COUNTY, CALIFORNIA



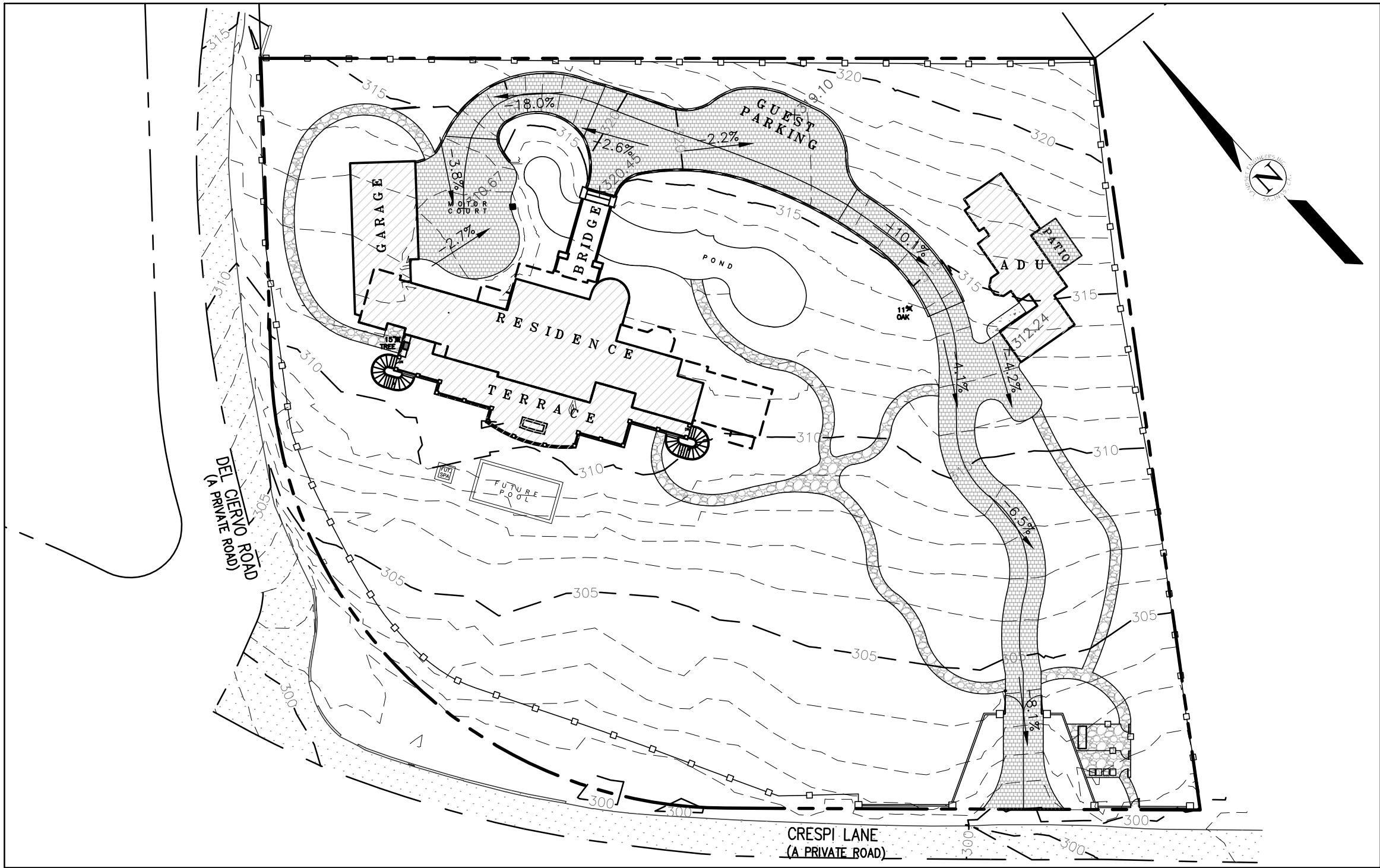
VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE SHEN RESIDENCE, SHEET A1.0 PREPARED BY INTERNATIONAL DESIGN GROUP & THE BASE TOPOGRAPHIC INFORMATION PREPARED BY LANDSET ENGINEERS INC., JOB NO. 1875-01, DATED OCTOBER 2018.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITH THE PROJECT AREA, PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

GRADING & DRAINAGE NOTES:

- ALL GRADING SHALL CONFORM TO THE LATEST MONTEREY COUNTY GRADING ORDINANCE AND EROSION CONTROL ORDINANCE, THE RECOMMENDATIONS FOUND IN THE PROJECT SOIL'S ENGINEERING INVESTIGATION, THE LATEST VERSION OF THE CALTRANS SPECIFICATIONS, THE GOVERNING PUBLIC AGENCIES, THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE (CBC) AND THESE PLANS.
- SURFACE ORGANICS SHALL BE STRIPPED AND STOCKPILED FOR LATER USE AS TOPSOIL. MATERIAL ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4" IN DEPTH.
- THERE ARE APPROXIMATELY 533 C.Y. OF CUT AND 545 C.Y. OF FILL TOTAL WITH A NET EXCESS OF 12 YARDS. EXCAVATION SHALL BE USED FOR EMBANKMENT CONSTRUCTION, LANDSCAPE PURPOSES AND/OR HAULED OFF-SITE. ADDITIONAL ON-SITE SPOILS GENERATED FROM FOUNDATIONS, UTILITY TRENCHES, SEPTIC CONSTRUCTION, ETC. IS NOT INCLUDED IN THE ABOVE REFERENCED QUANTITIES. IMPORT MATERIAL SHALL MEET THE REQUIREMENTS OF SELECT STRUCTURAL FILL AS NOTED IN THE SOIL'S REPORT AND BE APPROVED BY THE SOIL'S ENGINEER PRIOR TO PLACEMENT.
- EMBANKMENT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 90% MIN. REL. COMPACTION. ALL BASEROCK AND THE UPPER 12" OF SUBGRADE SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. STEEPER SLOPES MAY BE ALLOWED ONLY WITH THE PERMISSION OF THE SOIL'S ENGINEER.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.10', PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. CONTRACTOR SHALL PROVIDE ADEQUATE WATER TO CONTROL DUST DURING AND FOR GRADING OPERATIONS.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PLANNING AND BUILDING INSPECTION DEPARTMENT AT SCHEDULED INSPECTIONS.
- THE GROUND IMMEDIATELY ADJACENT TO FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FOOT OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SHALES USED FOR THIS PURPOSE SHALL BE SLOPED AT A MINIMUM OF 2% WHERE LOCATED WITHIN 5 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT A MINIMUM OF 2% AWAY FROM THE BUILDING.
- ROOF DRAINAGE SHALL BE CONTROLLED BY GUTTER AND DOWN SPOUTS WITH RAIN WATER LEADERS CONNECTED INTO THE SITE STORM DRAIN SYSTEM.
- STORM WATER (SURFACE RUNOFF) SHALL BE COLLECTED BY SWALES, CATCH BASINS, AND PIPES ONTO DISSIPATORS AS SHOWN ON THE SITE DRAINAGE PLAN. ON SITE CATCH BASINS SHALL BE CHRISTY PRODUCTS V12. STORM DRAIN PIPE SHALL BE PVC SDR35
- UTILITY TRENCHES WITHIN THE BUILDING PAD OR ANY NEW PAVED AREAS SHALL BE BACKFILLED WITH CLEAN, IMPORTED SAND AND THE TRENCH BACKFILL SHALL BE COMPACTED TO 95% MIN. REL. COMPACTION. THE TOP 8" OF TRENCH SHALL BE CAPPED WITH NATIVE SOIL. IN NON-PAVED AREAS NATIVE BACKFILL SHALL BE USED AND COMPACTED TO 90% MIN. REL. COMPACTION.
- ALL WORK IS SUBJECT TO APPROVAL BY THE PUBLIC WORKS SUPERINTENDENT INSPECTION AND ACCEPTANCE.
- SPECIAL INSPECTIONS, BY A SPECIAL INSPECTOR, ARE REQUIRED DURING FILL PLACEMENT AND THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.
- THE LOCATION, HEIGHT AND THE PLATE HEIGHTS OF THE NEW STRUCTURE MUST BE CERTIFIED BY A SURVEYOR TO BE IN CONFORMANCE WITH THE APPROVED PLANS.
- STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT THE MONTEREY COUNTY RMA - PLANNING DEPARTMENT AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.



PROJECT DATA			
GRADING VOLUMES	Cut	Fill	Net
	533 Cu. Yd.	545 Cu. Yd.	12 Cu. Yd.<Fill>
DISTURBED AREA	IMPERVIOUS	*PERVIOUS	TOTAL
	7,931 SQFT	11,853 SQFT	19,784 SQFT
		*CREATED AND/OR REPLACED	

LOT OVERVIEW

SCALE: 1"=40'

EROSION & SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDOMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

LEGEND:

EXISTING (E):

- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- ASPHALT PAVEMENT SURFACE
- CONCRETE SURFACE
- BRICK SURFACE
- GRAVEL SURFACE
- WOOD SURFACE

NEW (N):

- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- RETAINING WALL - TYPE AS SHOWN
- STORM DRAIN LINE
- SUB DRAIN LINE
- TREE TO BE REMOVED
- ROOF DOWNSPOUT WITH SPLASHBLOCK
- BUILDING FOOTPRINT
- PERMEABLE PAVERS SURFACE
- DECOMPOSED GRANITE SURFACE
- CONCRETE SURFACE

INDEX TO SHEETS

- | | |
|----------|-------------------------------------|
| SHEET C1 | COVER SHEET |
| SHEET C2 | TOPOGRAPHIC MAP/EXISTING CONDITIONS |
| SHEET C3 | GRADING & DRAINAGE PLAN |
| SHEET C4 | GRADING SECTIONS & DETAILS |
| SHEET C5 | CONSTRUCTION DETAILS |
| SHEET C6 | EROSION & SOURCE CONTROL PLAN |
| SHEET C7 | CONSTRUCTION MANAGEMENT PLAN |

NOTE:- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE CERTIFICATION FROM THE PROJECT GEOTECHNICAL ENGINEER THAT ALL DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE PROJECT SOIL ENGINEERING INVESTIGATION.

GEOTECHNICAL INSPECTION SCHEDULE

Inspection item:	Who will conduct the inspection:	When the Inspection is to be completed:	Inspection completed by:	Date completed:
Site stripping and clearing	?	Beginning of Project		
Subexcavation, fill placement, and compaction	?	Throughout grading operations		
Foundation Excavations	?	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage improvements	?	Prior to trench backfill		
Utility trench compaction	?	During backfill operations		
Retaining wall backfill compaction	?	During backfill operations		
Baserock subgrade compaction	?	Prior to pavement installation		

CONTACT INFORMATION:

OWNER:
STEVEN & SUSAN SHEN
P.O. BOX 1183
PEBBLE BEACH, CA 93953

ARCHITECT:
ATTHUN SILLANO
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

SITE LOCATION:
1651 CRESPI LANE
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
	02/19/19	JAN	RELEASED TO CLIENT

"COVER SHEET"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA

STEVEN & SUSAN SHEN

SCALE: 1" = 40'

DATE: FEB 2019

JOB NO. 1875-02

SHEET C1

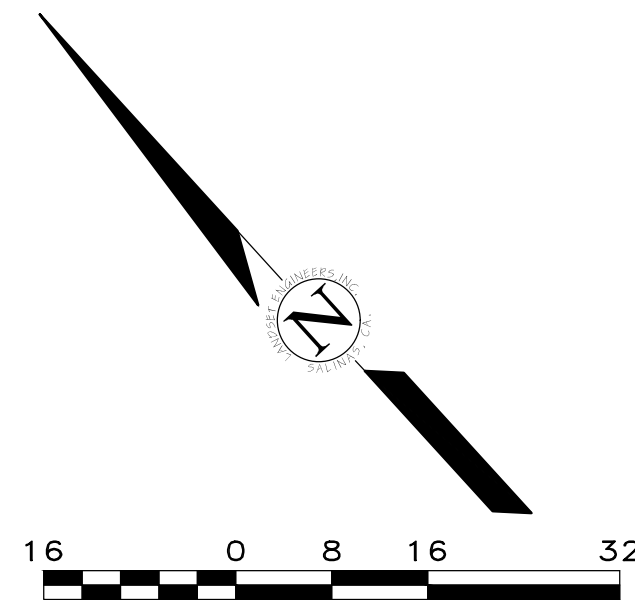
OF 7 SHEETS

APPROVED BY:



LANDSET ENGINEERS, INC.

5208 Crazy Horse Canyon Road
Salinas, California 93807
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com



CONTACT INFORMATION:

SITE LOCATION:
1651 CRESPI LANE
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No.	DATE	BY	REVISION

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA

FOR
STEVEN & SUSAN SHEN

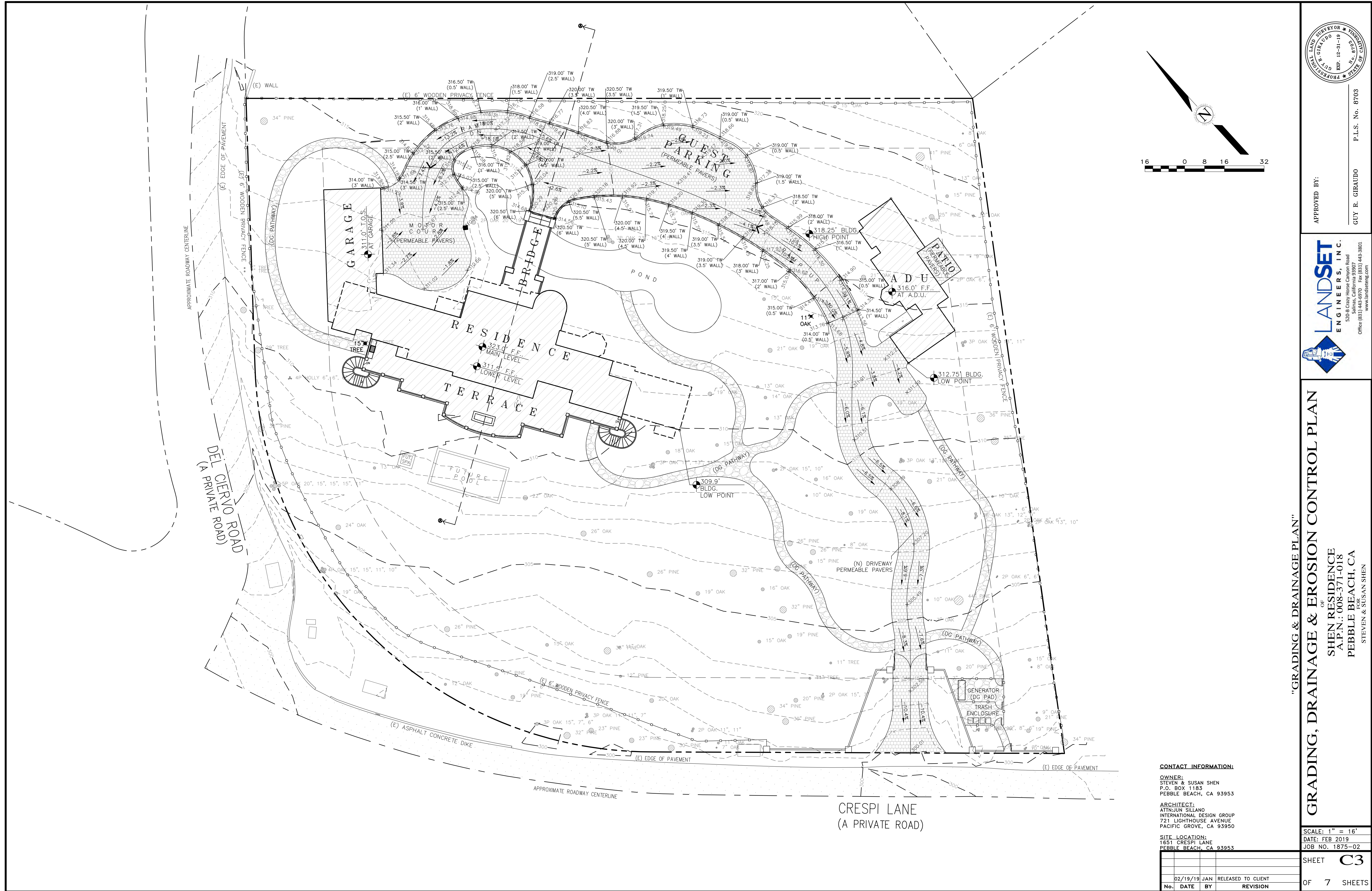


LANDSET
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520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landsetene.com

APPROVED BY:

GUY R. GIRAUDO

P.L.S. No. 8703



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P.O. BOX 1183
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ARCHITECT:
ATTN: JON SILLANO
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

SITE LOCATION:
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	02/19/19	JAN	RELEASED TO CLIENT

"GRADING & DRAINAGE PLAN"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA

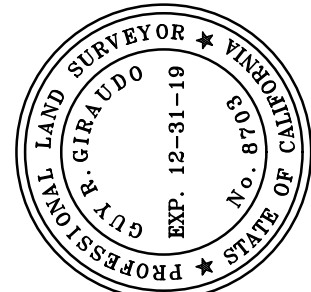
STEVEN & SUSAN SHEN



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P.L.S. No. 87003

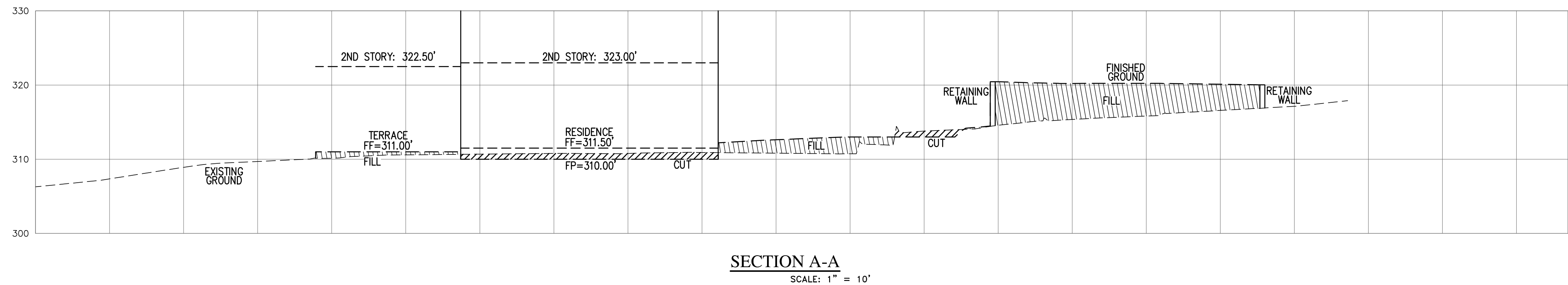
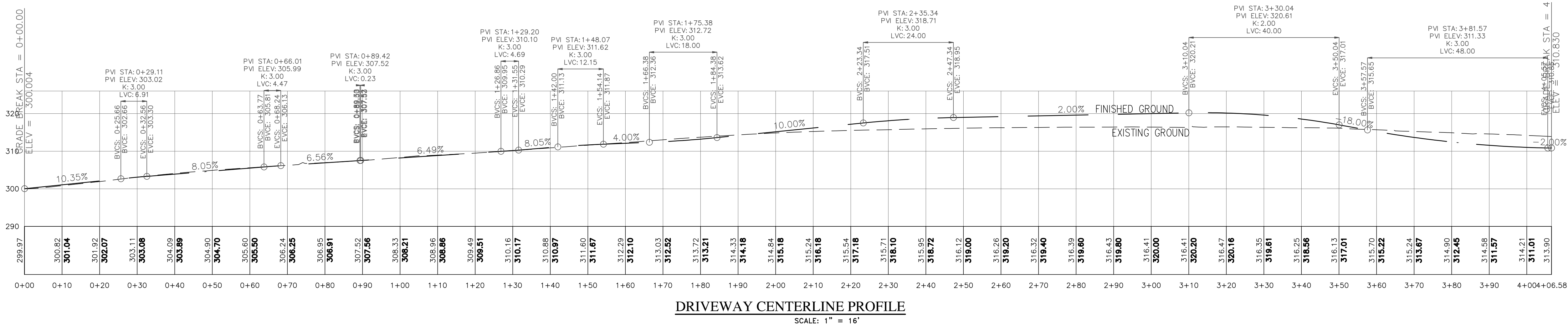


SCALE: 1" = 16'

DATE: FEB 2019
JOB NO. 1875-02

SHEET C3

OF 7 SHEETS



CONTACT INFORMATION:

OWNER:
STEVEN & SUSAN SHEN
P.O. BOX 1183
PEBBLE BEACH, CA 93953

ARCHITECT:
ATTN:JUN SILLANO
INTERNATIONAL DESIGN GROUP
721 LIGHHOUSE AVENUE
PACIFIC GROVE, CA 93950

SITE LOCATION:
1651 CRESPI LANE
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION

"GRADING SECTIONS & DETAILS"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA
STEVEN & SUSAN SHEN

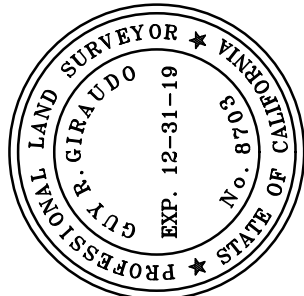


5208 Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

APPROVED BY:

GUY R. GIRAUDO

P.L.S. No. 8703



SCALE: 1" = 16'

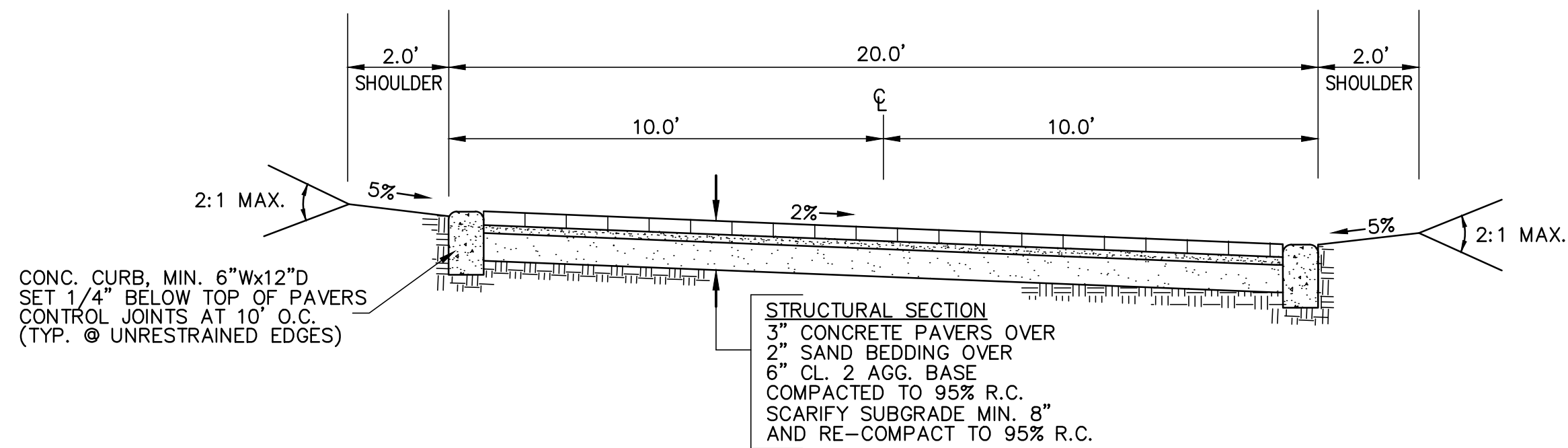
DATE: FEB 2019

JOB NO. 1875-02

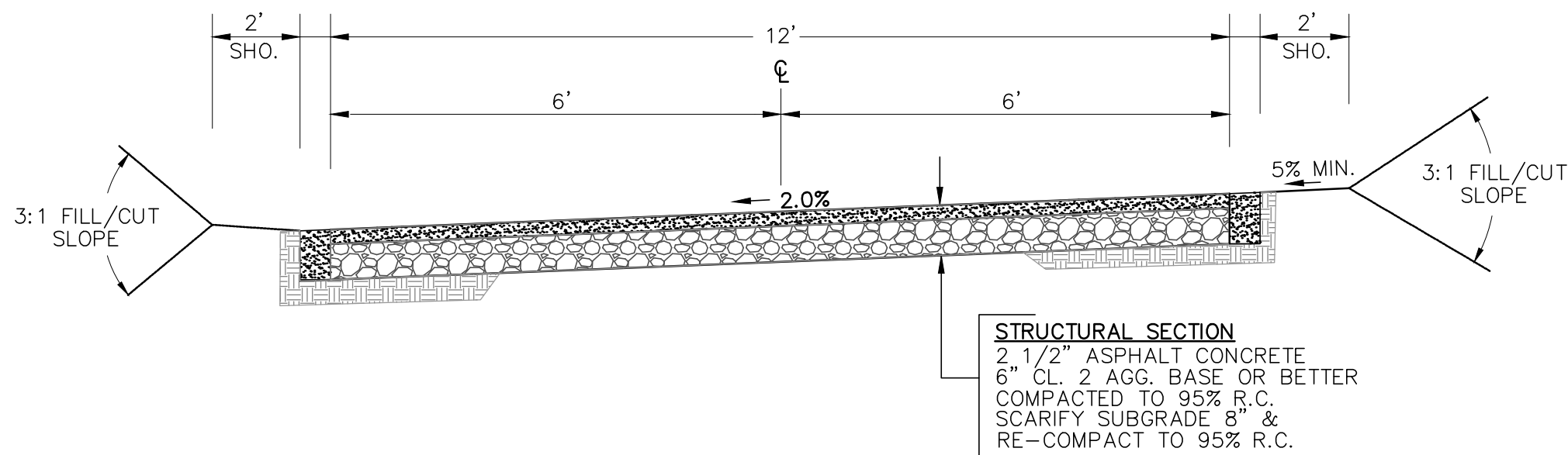
SHEET

C4

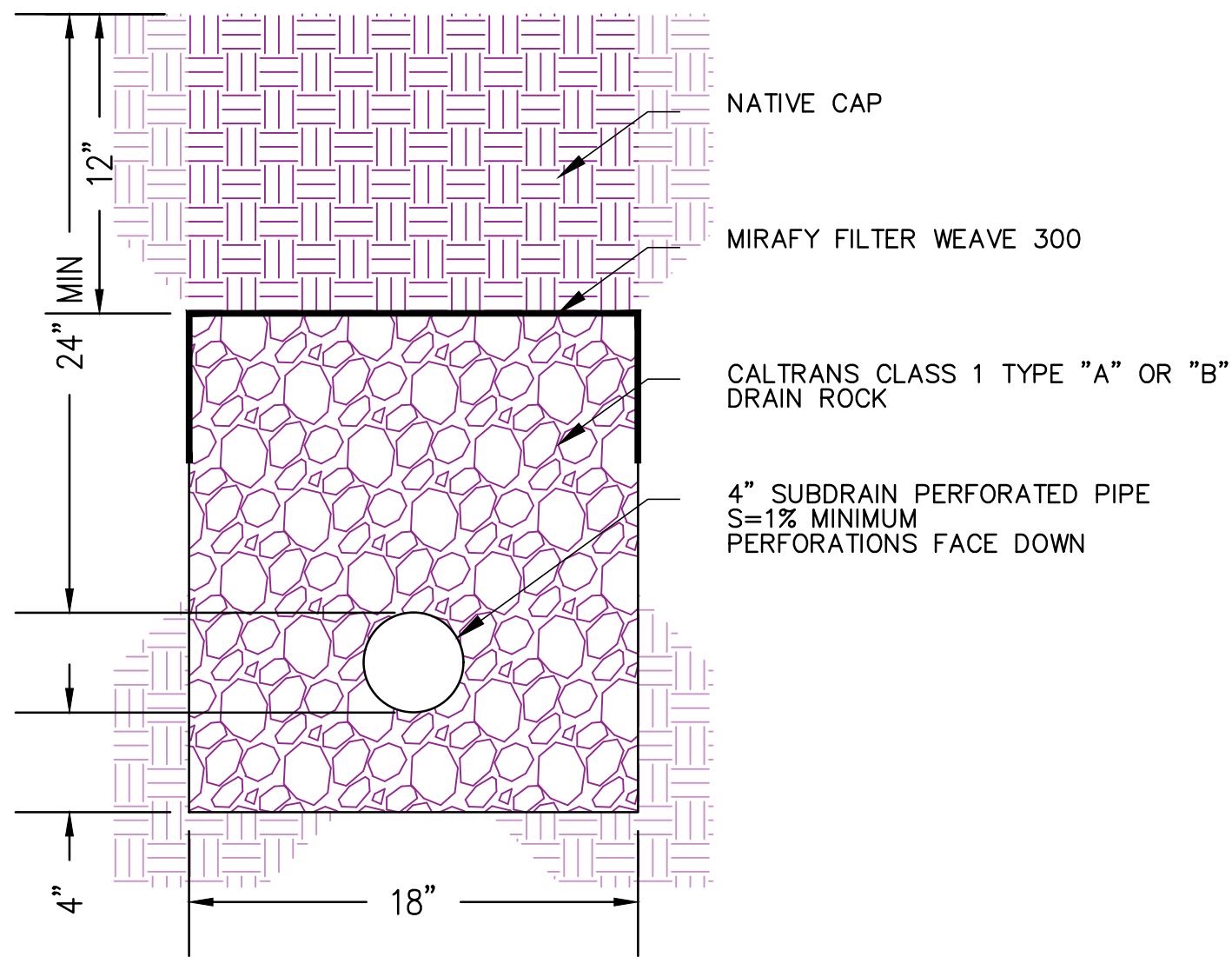
OF 7 SHEETS



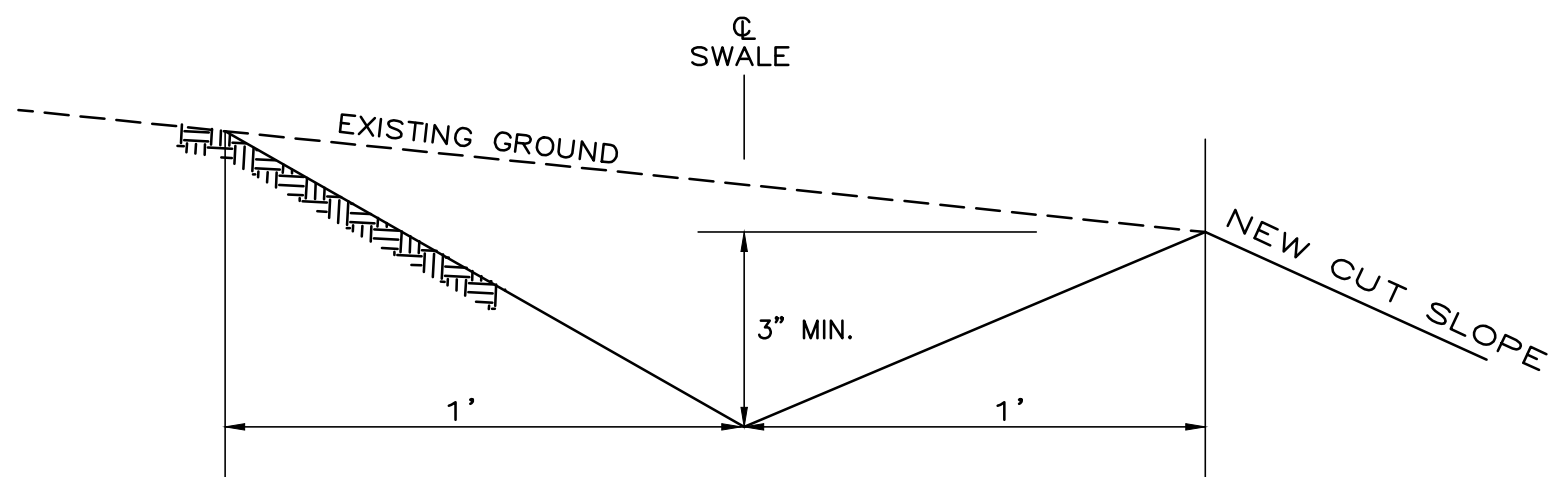
TYPICAL PAVERS DRIVEWAY SECTION
NOT TO SCALE



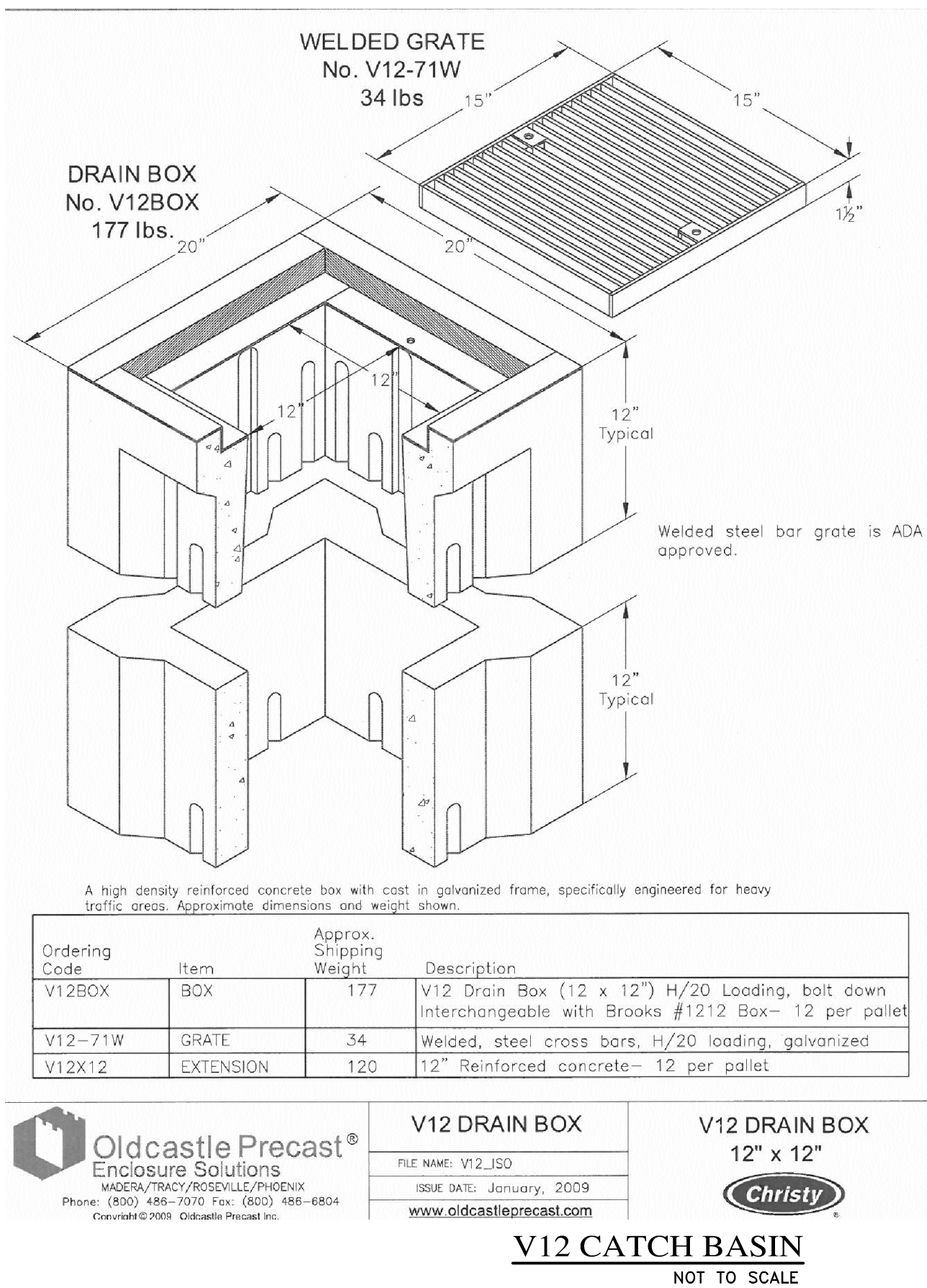
TYPICAL ASPHALT DRIVEWAY SECTION
NOT TO SCALE



SUBDRAIN DETAIL
NOT TO SCALE



EARTH DRAINAGE SWALE
NOT TO SCALE



CONTACT INFORMATION:

OWNER:
STEVEN & SUSAN SHEN
P.O. BOX 1183
PEBBLE BEACH, CA 93953

ARCHITECT:
ATTN:JUN SILLANO
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950

SITE LOCATION:
1651 CRESPI LANE
PEBBLE BEACH, CA 93953

No.	DATE	BY	REVISION
02/19/19	JAN		RELEASED TO CLIENT

"CONSTRUCTION DETAILS"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA

STEVEN & SUSAN SHEN

SCALE: 1" = 16'

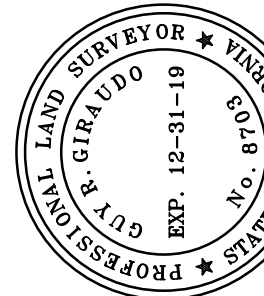
DATE: FEB 2019
JOB NO. 1875-02

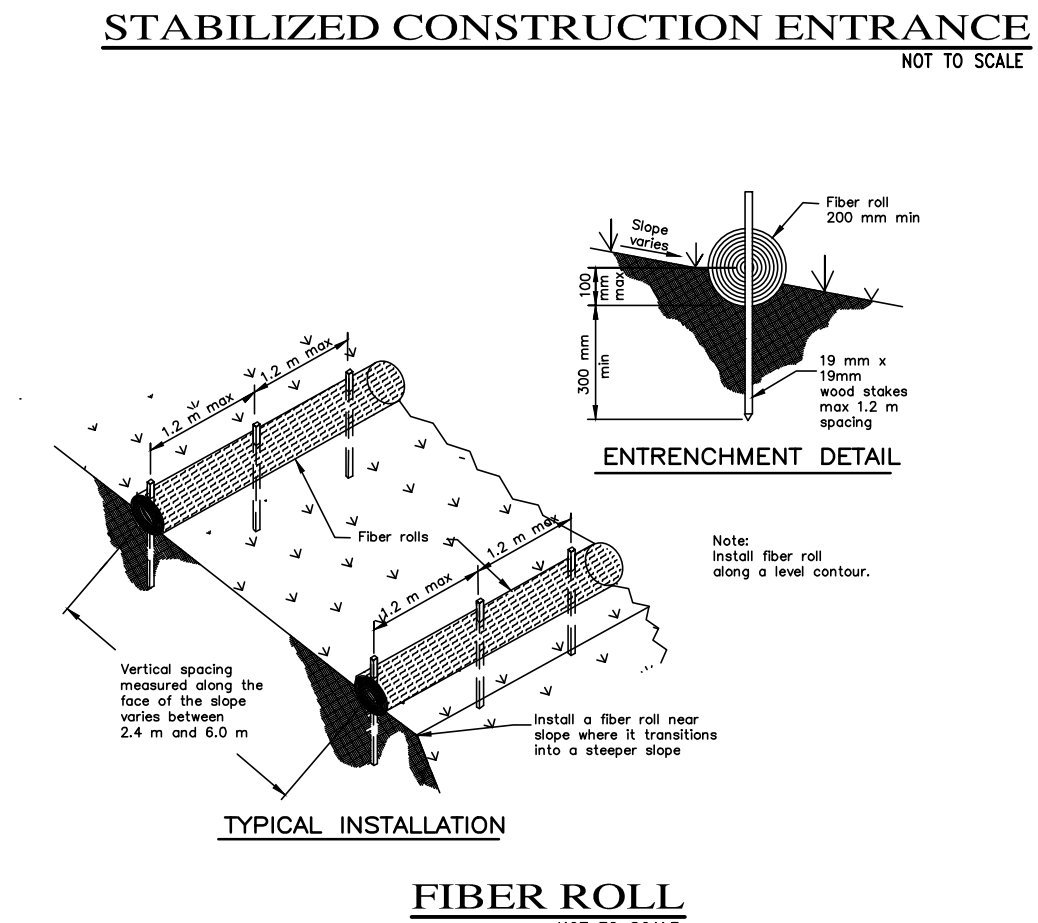
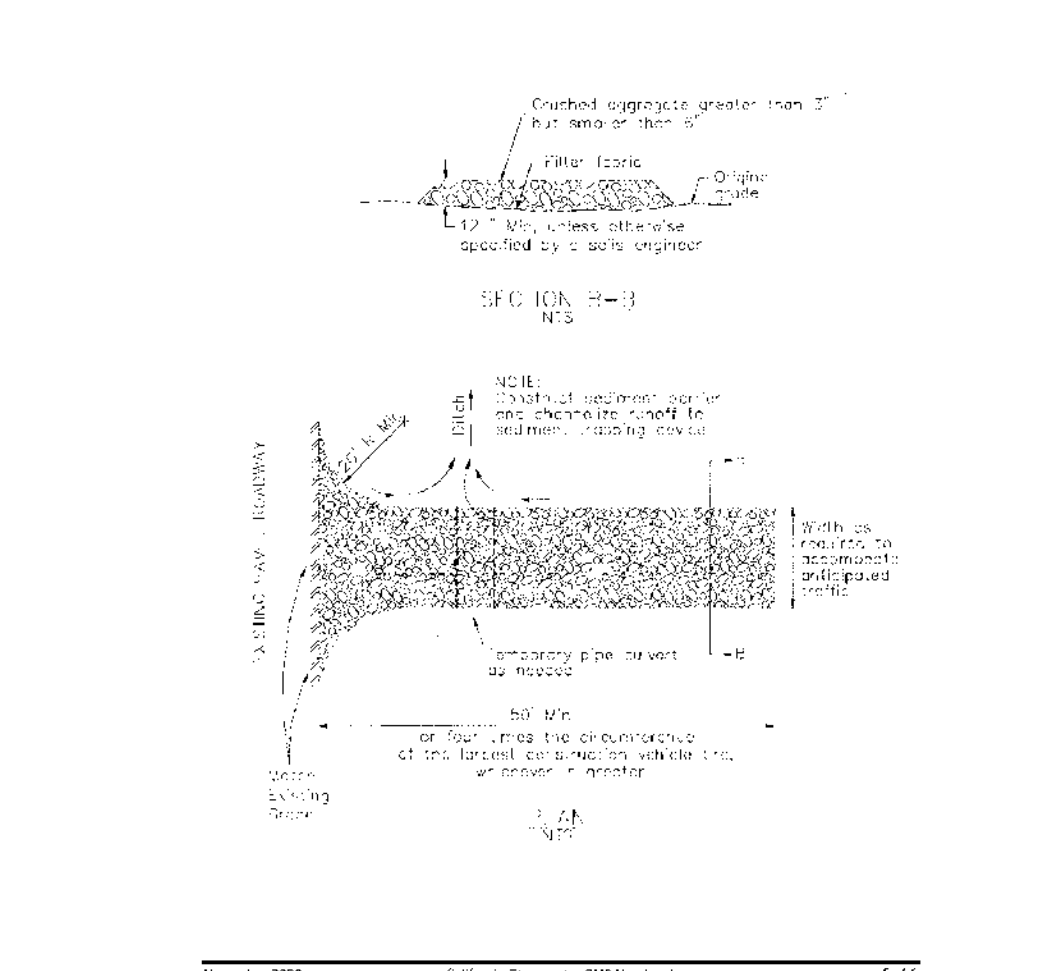
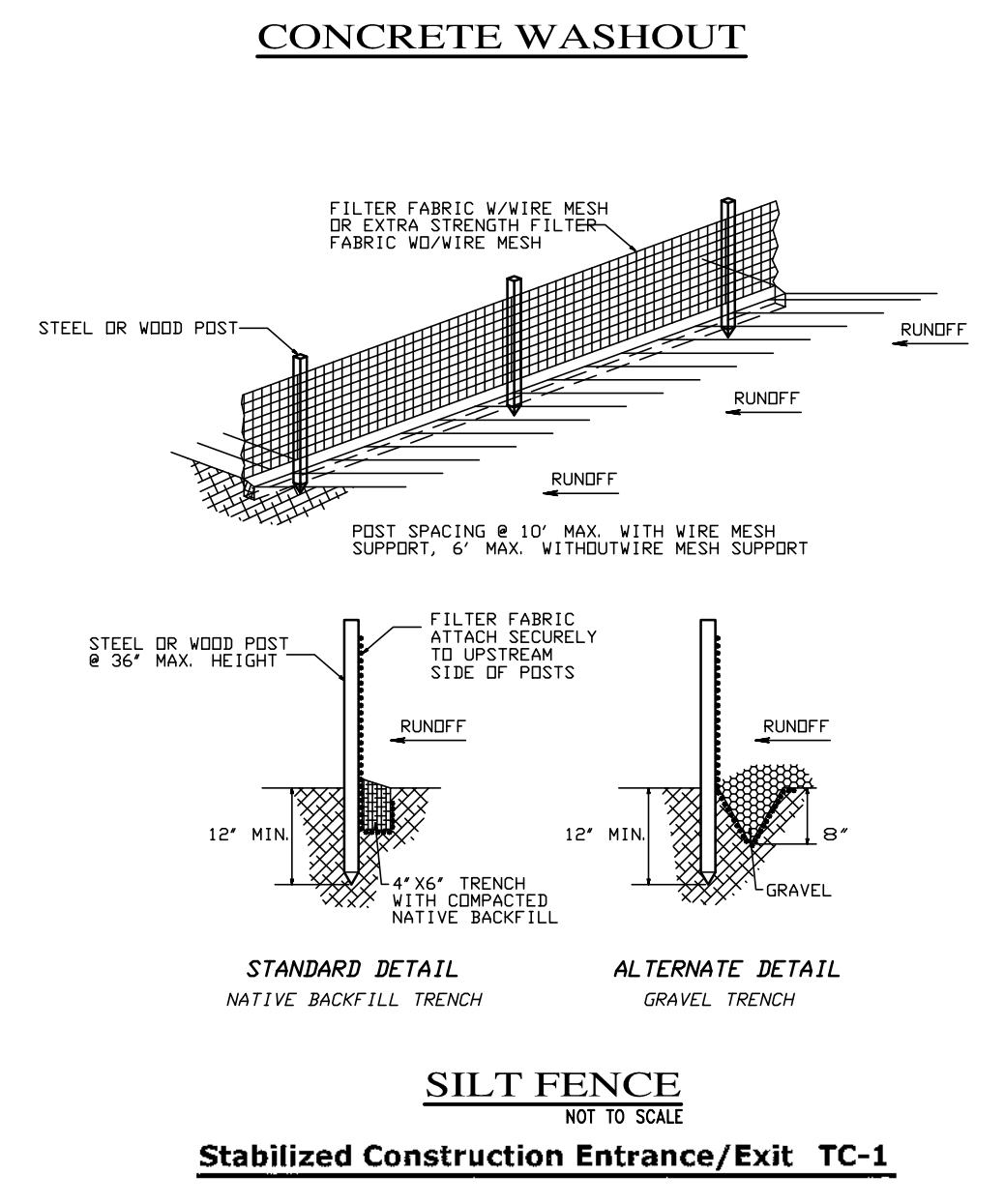
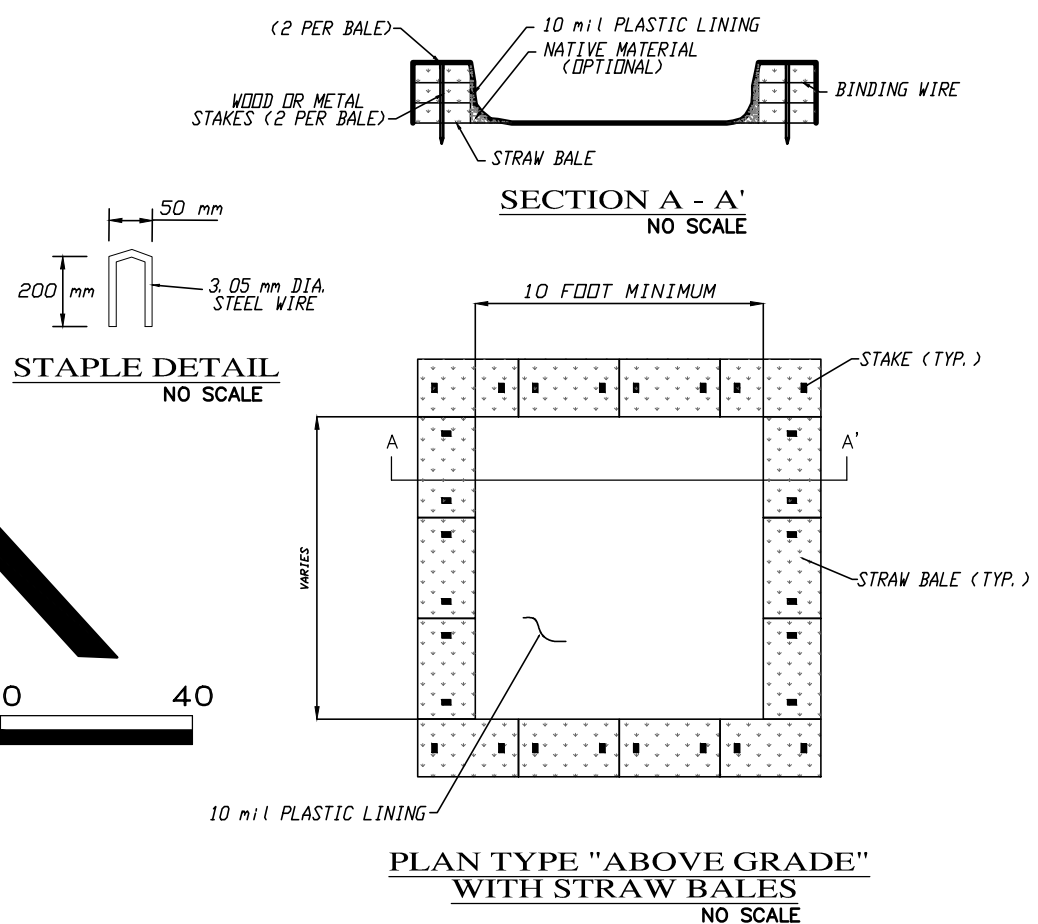
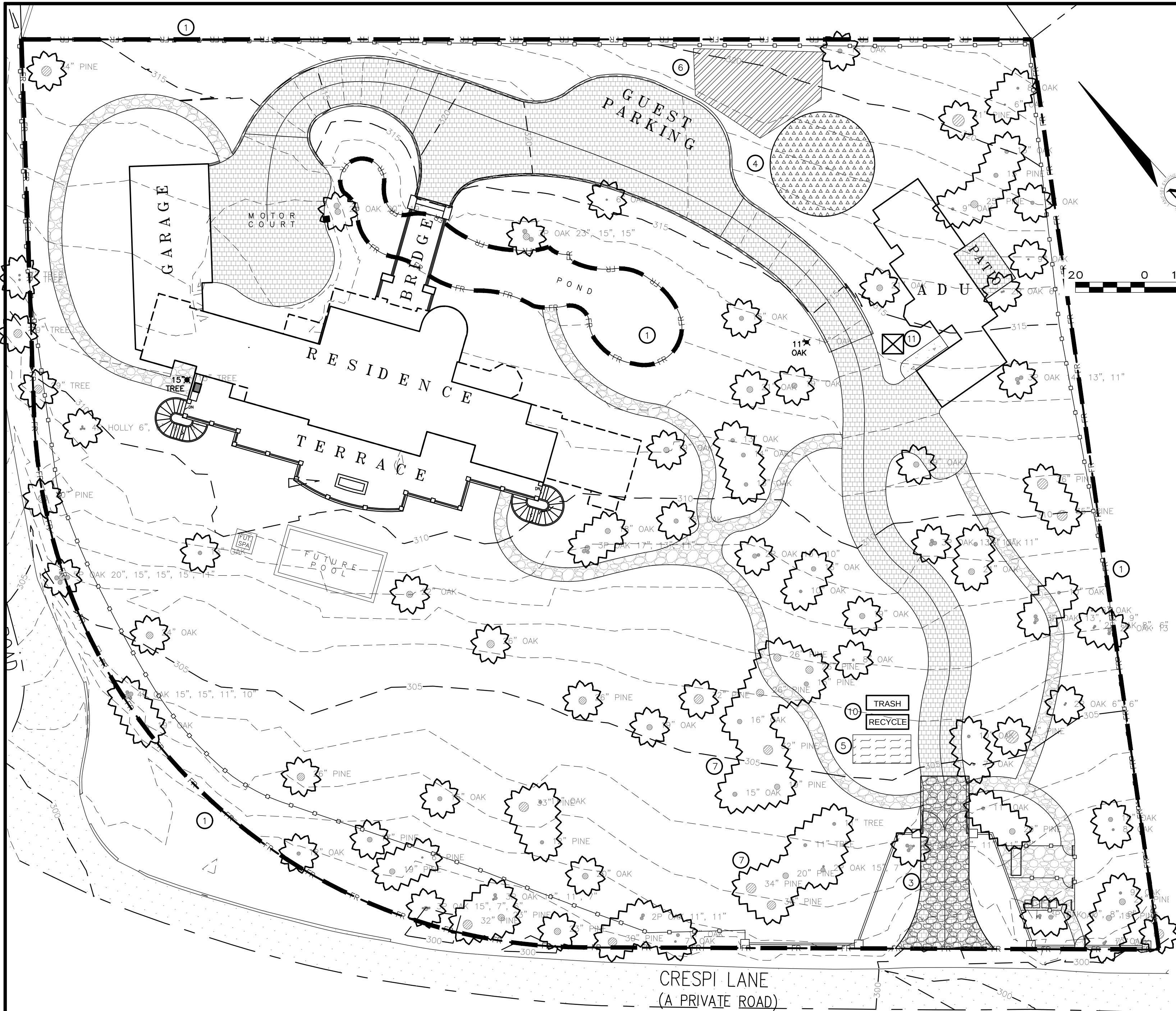
SHEET C5

OF 7 SHEETS

APPROVED BY:

GUY R. GIRAUDO P.L.S. No. 87003





EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 3) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 4) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. ACCESS ROADS SHALL BE CLEANED DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN EVENT.
- 5) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 6) CONTRACTOR SHALL PROVIDE WATERING FOR DUST CONTROL DURING ALL GROUND DISTURBANCE OPERATIONS.
- 7) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDOMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 8) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 9) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNR'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 10) SEEDED AREAS SHALL BE RETAINED ON-SITE AND SHALL BE PREVENTED FROM FLOWING INTO THE STORM DRAINAGE SYSTEM. SEDIMENT CATCHMENT BARRIERS SHALL BE INSPECTED BY THE APPLICANT IMMEDIATELY AFTER ANY SIGNIFICANT RAINFALL AND AT LEAST DAILY DURING ANY PERIOD OF PROLONGED RAINFALL.
- 11) PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- 12) DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- 13) PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CORRECTION, ENSURE ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- 14) THE APPLICANT SHALL SCHEDULE WEEKLY INSPECTIONS WITH RMA-ENVIRONMENTAL SERVICES DURING THE RAINY SEASON, OCTOBER 15th TO APRIL 15th, TO ENSURE CONTAMINANTS ARE NOT DISCHARGED INTO THE AREAS OF SPECIAL BIOLOGICAL SIGNIFICANCE.

BMP LEGEND:

- 1 FR
- 2 N/A FOR INFORMATION ONLY
- 3
- 4
- 5
- 6
- 7
- 8 SF
- 9 N/A FOR INFORMATION ONLY
- 10 TRASH
- 11 RECYCLE

FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF (DISTURBED) AREAS, ALONG STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.

DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.

STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (IF NECESSARY FOR THIS APPLICATION, SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.

STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.

CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA SHALL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.

TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.

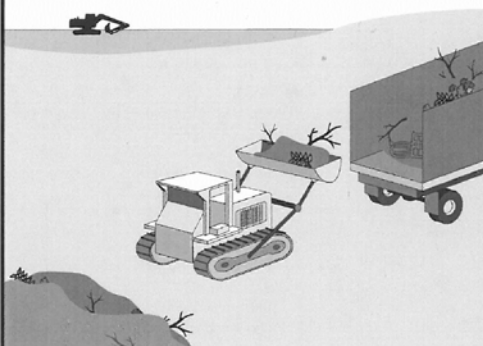
SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART, AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEPT INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 0.5" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.

WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES, CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.

SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.

Solid Waste Management

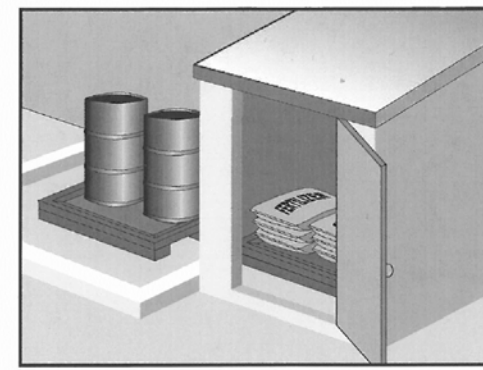


Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

WM-5

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☐	Secondary Objective
Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Hydrazine	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Material Delivery and Storage

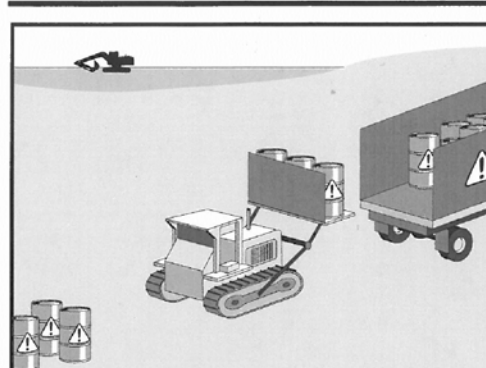


Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system or watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

WM-1

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Category
☐	Secondary Category
Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Hydrazine	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Hazardous Waste Management

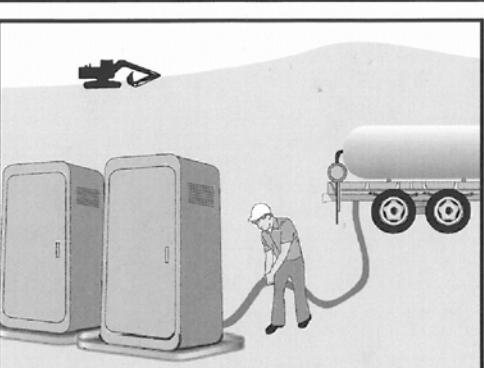


Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

WM-6

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☐	Secondary Objective
Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Hydrazine	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

Sanitary/Septic Waste Management



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

WM-9

Categories	
EC	Erosion Control
SE	Sediment Control
TC	Tracking Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
☒	Primary Objective
☐	Secondary Category
Targeted Constituents	
Sediment	☒
Nutrients	☒
Trash	☒
Metals	☒
Hydrazine	☒
Oil and Grease	☒
Organics	☒
Potential Alternatives	
None	

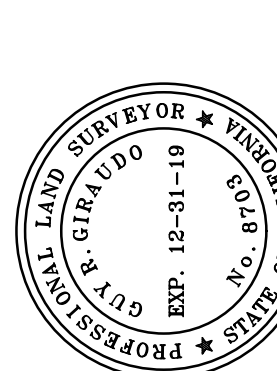
"EROSION & SOURCE CONTROL PLAN"

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA
STEVEN & SUSAN SHEN

SCALE: 1" = 20'
DATE: FEB 2019
JOB NO. 1875-02

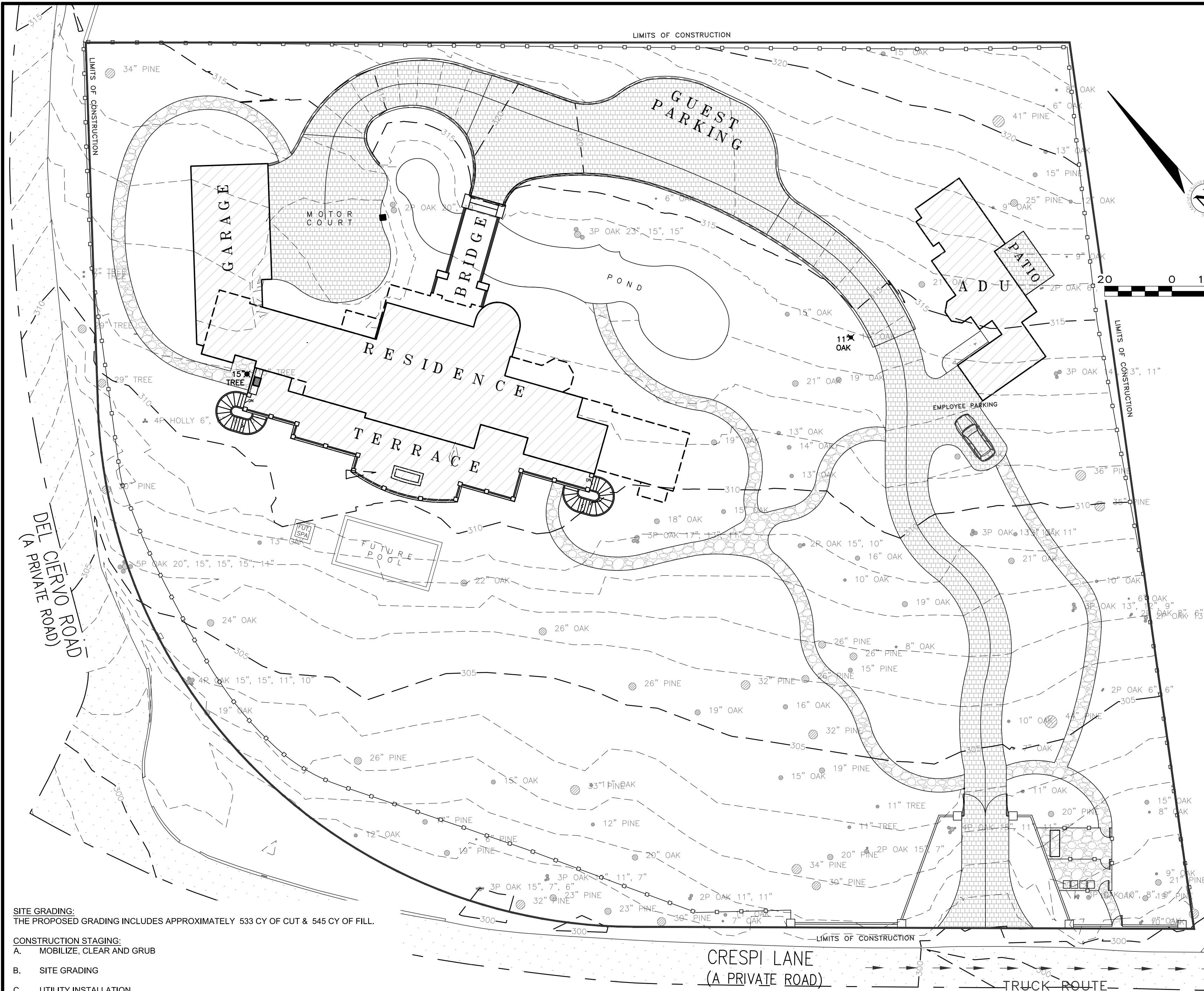
SHEET **C6**
OF 7 SHEETS



APPROVED BY:
GUY R. GIRAUDO
P.L.S. No. 8703



No.	DATE	BY	REVISION
	02/19/19	JAN	RELEASED TO CLIENT



PLAN
SCALE: 1"=20'

TRUCK TRIP GENERATION CHART:

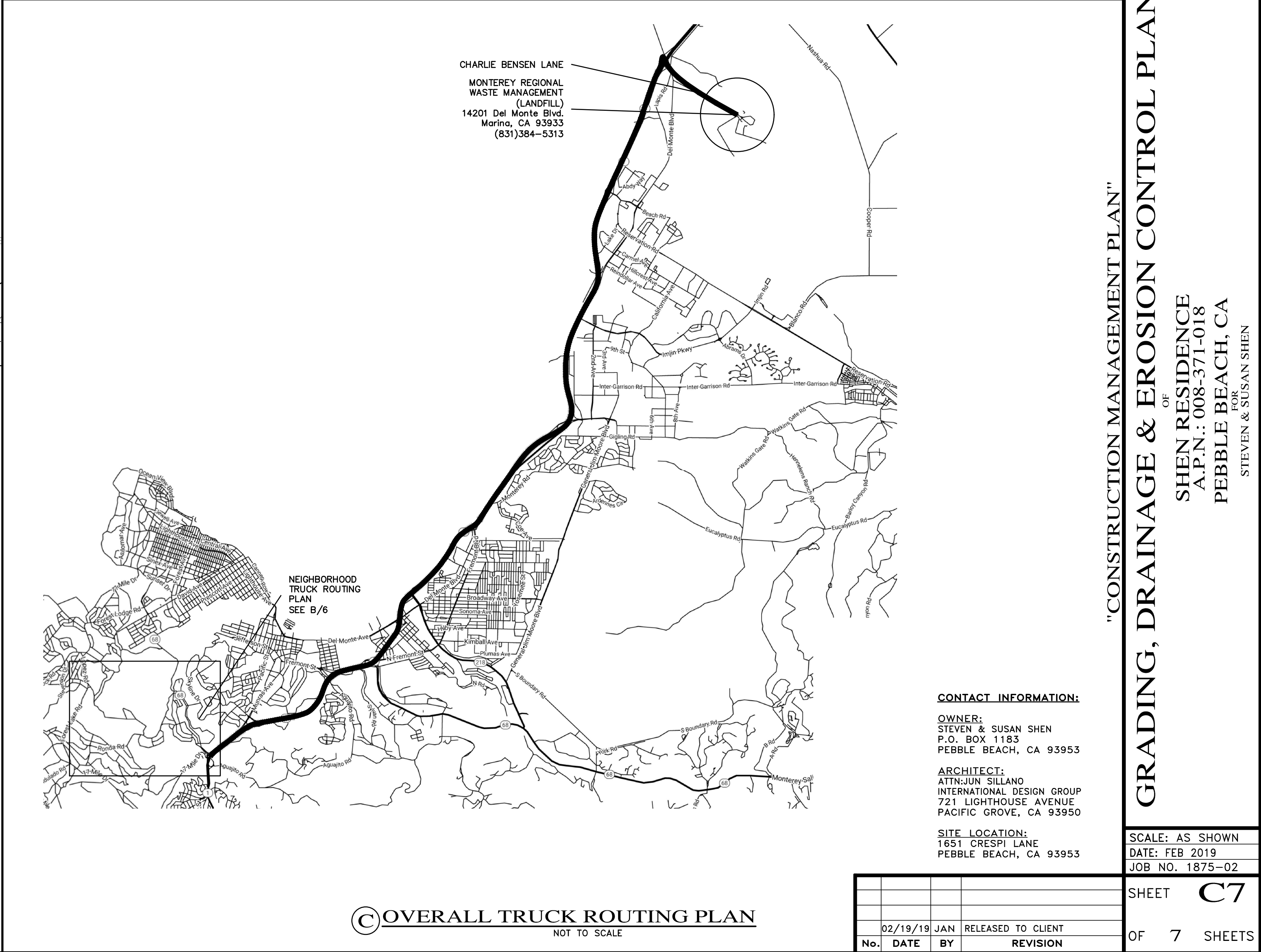
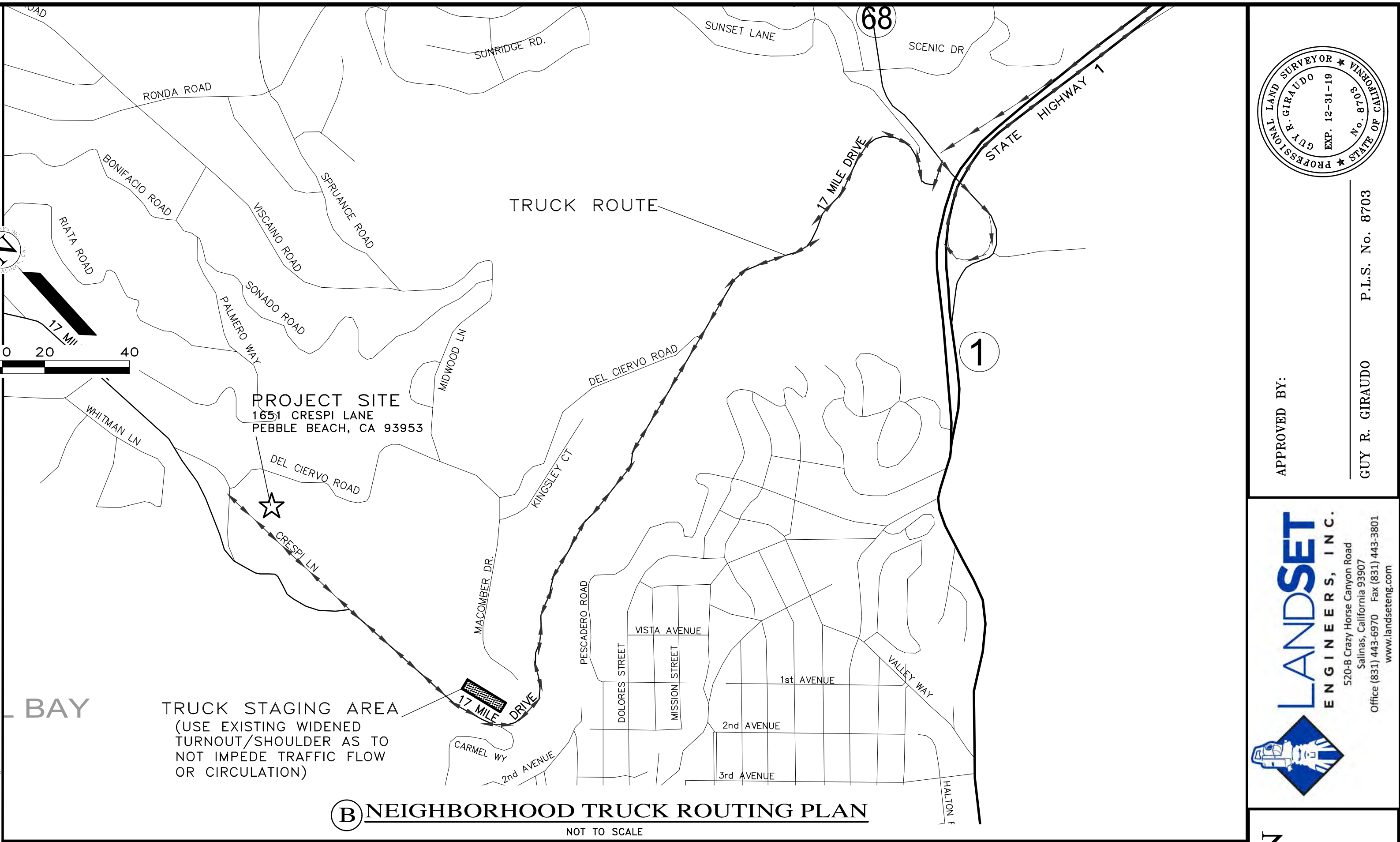
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION	5	1
GRADING & SOIL REMOVAL (EXPORT)	0	0
ENGINEERING MATERIALS (IMPORT)	2	1
TOTALS	7	2

TRUCK TRIP GENERATION NOTES:

- TRUCK TRIPS FOR THE GRADING/SOIL IMPORT IS BASED UPON 12 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY.
- THERE IS APPROXIMATELY 12 CUBIC YARDS OF SOIL MATERIAL TO BE EXPORTED FROM THE SITE.
- GRADING OPERATIONS SHALL TAKE APPROXIMATELY 2 WORKING DAYS TO COMPLETE.
- THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 100 CUBIC YARDS.

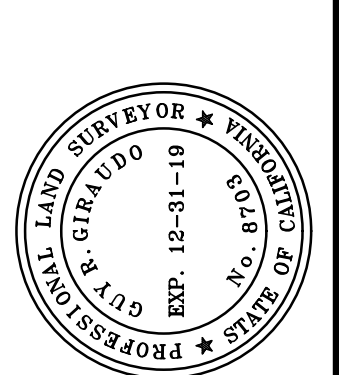
HOURS OF OPERATION/DAY: 8
DAYS OF OPERATION: MONDAY THRU FRIDAY
TIME OF OPERATION: 8:00 A.M. - 4:30 P.M.

PROJECT SCHEDULING: PROJECTED START DATE IS 1 MARCH 2019. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.



"CONSTRUCTION MANAGEMENT PLAN"

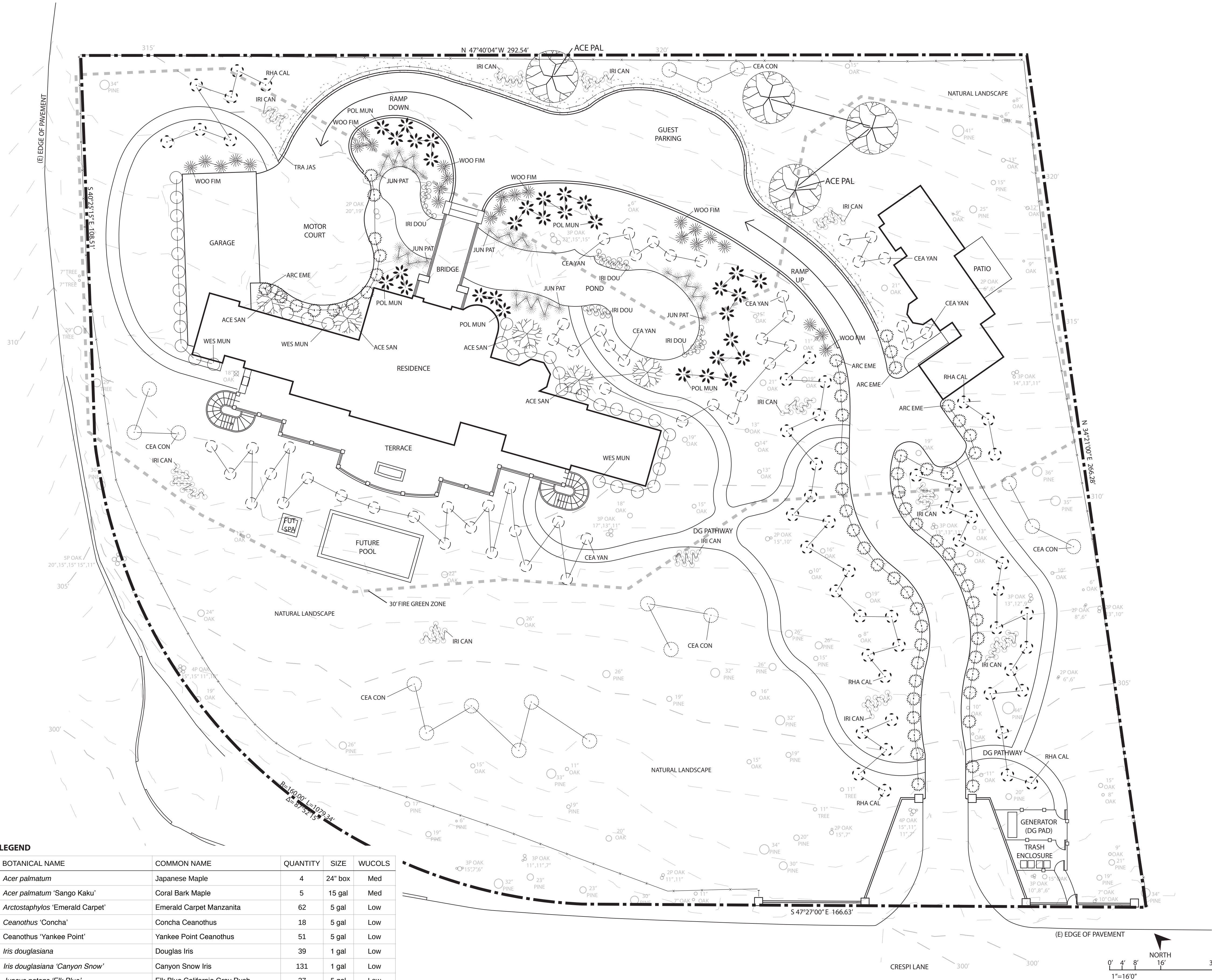
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
SHEN RESIDENCE
A.P.N.: 008-371-018
PEBBLE BEACH, CA
STEVEN & SUSAN SHEN



APPROVED BY:
GUY R. GIRAUDO
P.L.S. No. 8703



SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	4	24" box	Med
ACE SAN	<i>Acer palmatum</i> 'Sango Kaku'	Coral Bark Maple	5	15 gal	Med
ARC EME	<i>Arctostaphylos</i> 'Emerald Carpet'	Emerald Carpet Manzanita	62	5 gal	Low
CEA CON	<i>Ceanothus</i> 'Concha'	Concha Ceanothus	18	5 gal	Low
CEA YAN	<i>Ceanothus</i> 'Yankee Point'	Yankee Point Ceanothus	51	5 gal	Low
IRI DOU	<i>Iris douglasiana</i>	Douglas Iris	39	1 gal	Low
IRI CAN	<i>Iris douglasiana</i> 'Canyon Snow'	Canyon Snow Iris	131	1 gal	Low
JUN PAT	<i>Juncus patens</i> 'Elk Blue'	Elk Blue California Gray Rush	37	5 gal	Low
POL MUN	<i>Polystichum multum</i>	Western Sword Fern	31	5 gal	Med
RHA CAL	<i>Rhamnus californica</i> 'Mound San Bruno'	Mound San Bruno Coffeeberry	48	5 gal	Low
TRA JAS	<i>Trachelospermum jasminoides</i>	Star Jasmine	39	5 gal	Med
WES MUN	<i>Westringia fruticosa</i> 'Mundi'	Dwarf Coast Rosemary	34	5 gal	Low
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	26	5 gal	Med



SCOPE OF WORK:

THIS IS NEW LANDSCAPE WITH A DRIP IRRIGATION SYSTEM RUN BY A SMART CONTROLLER.

PROJECT INFORMATION:

OWNER STEVEN AND SUSAN SHEN
SITE 1651 CRESPI LN.
PEBBLE BEACH, CA 93953.
APN 008-371-018
TOPOGRAPHY SLOPED
TREE REMOVAL SEE SITE PLAN
GRADING SEE GRADING PLAN

HERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2016 EDITION OF THE CBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:

ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

ANY TREE WORK INCLUDING PRUNING OR REMOVAL TO REQUIRE APPROVAL OF THE CITY FORESTER.

FUEL MANAGEMENT PLAN NOTES:

ALL NEW PLANT MATERIAL ON PROPERTY WILL BE IRRIGATED WITH DRIP IRRIGATION. ONLY EXISTING VEGETATION ON SITE ARE MATURE TREES. ALL TREES ONSITE TO BE KEPT FREE OF DEAD WOOD.

GREEN ZONE: 0'-30' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

- ALL DRY AND DEAD GRASS KEPT TO A HEIGHT OF 4"
- MAINTAIN THE ROOF AND GUTTERS OF STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH
- MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD WOOD
- TRIM TREE LIMBS THAT EXTEND WITHIN 10' OF THE OUTLET OF A CHIMNEY
- TRIM DEAD PORTIONS OF TREE LIMBS WITHIN 10' FROM THE GROUND
- REMOVE ALL DEAD FALLEN MATERIAL UNLESS IT IS EMBEDDED IN THE SOIL
- REMOVE ALL CUT MATERIAL FROM THE AREA
- MAINTAIN SCREEN OVER CHIMNEY OUTLET

MANAGEMENT ZONE: 30' - 100' AWAY FROM HOUSE.

GUIDELINES AS FOLLOWS:

KEEP ANY NON IRRIGATED VEGETATION LOW TO THE GROUND

EMERGENCY VEHICLE ACCESS:

VEHICLE ACCESS FROM CRESPI LN.

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:

STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:

SPREAD 2" - 3" OF WOOD CHIPS OVER ALL EXPOSED PLANTING AREAS

STAGING:

WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.



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Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

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1651 Crespi Ln.
Pebble Beach, CA 93953.

APN: 008-371-018

Revisions:



Drawing Title:

Landscape Plan

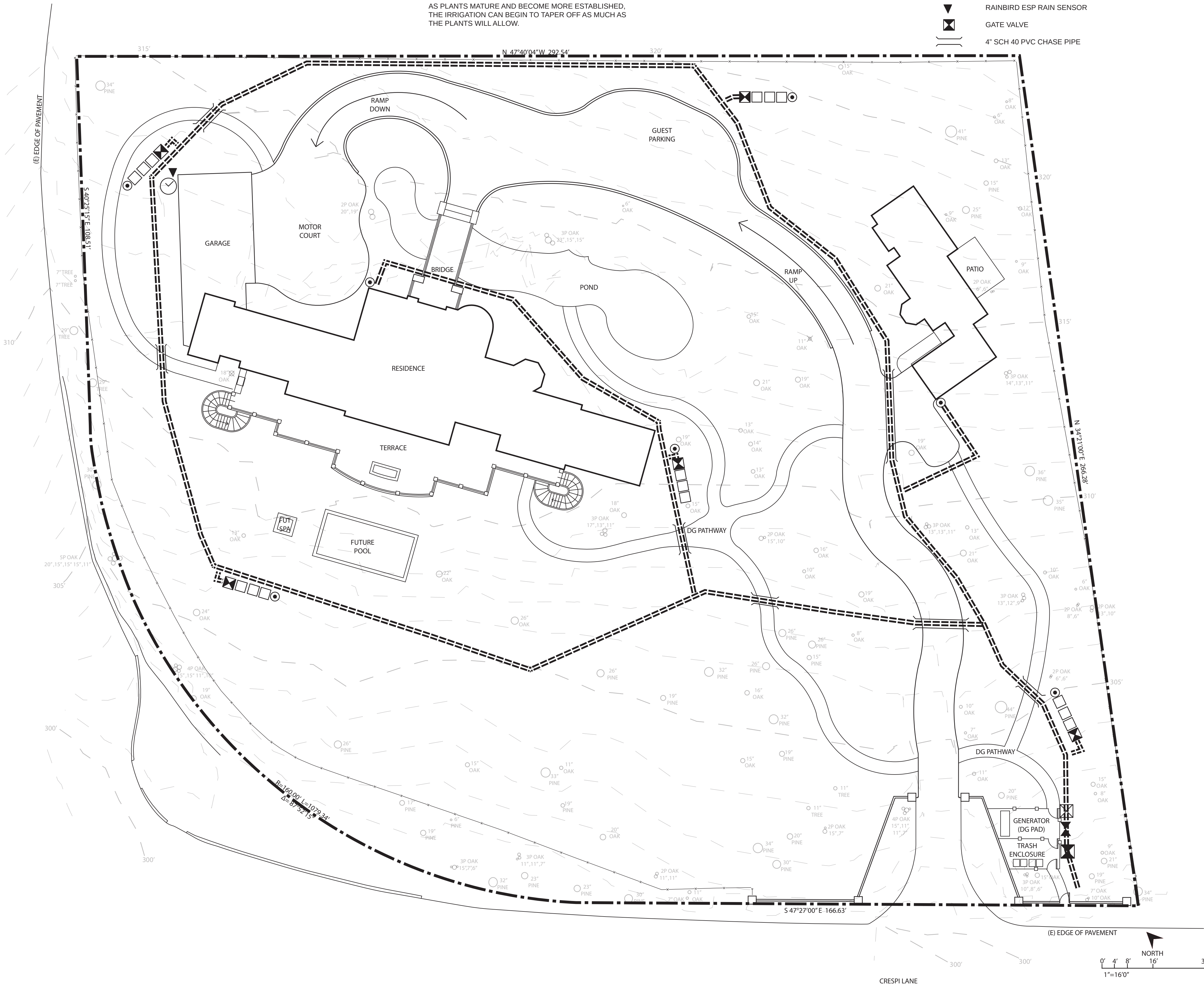
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XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL
4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.
5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BELOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS:
ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

IRRIGATION NOTES:

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

IRRIGATION NOTES:

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Patrick Wilson



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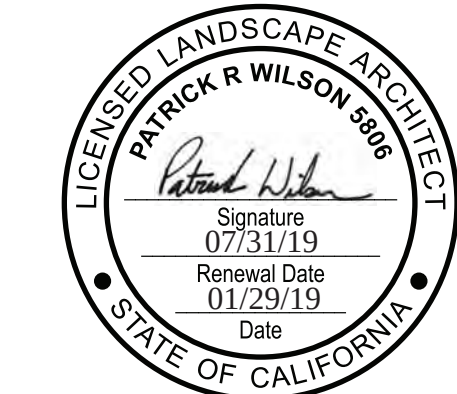
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5906

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Irrigation Plan

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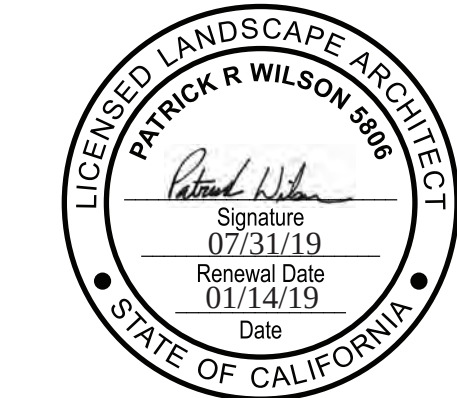
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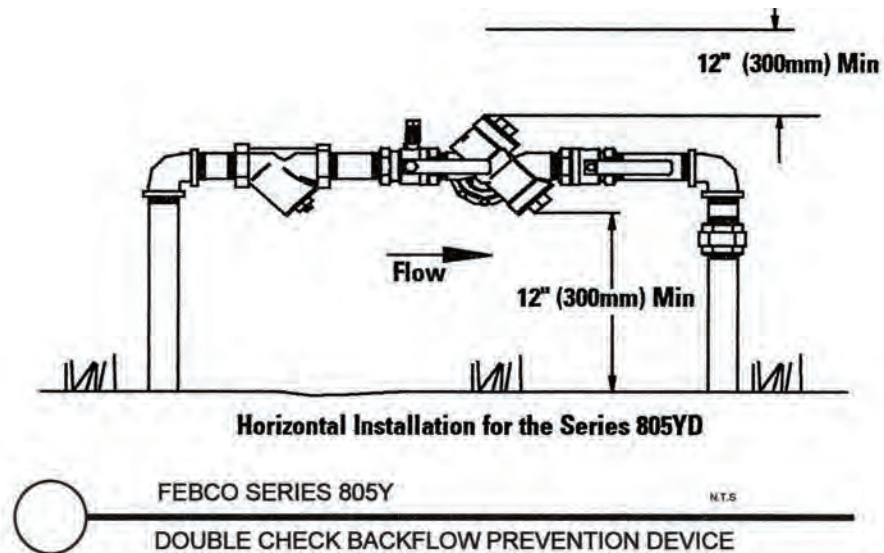
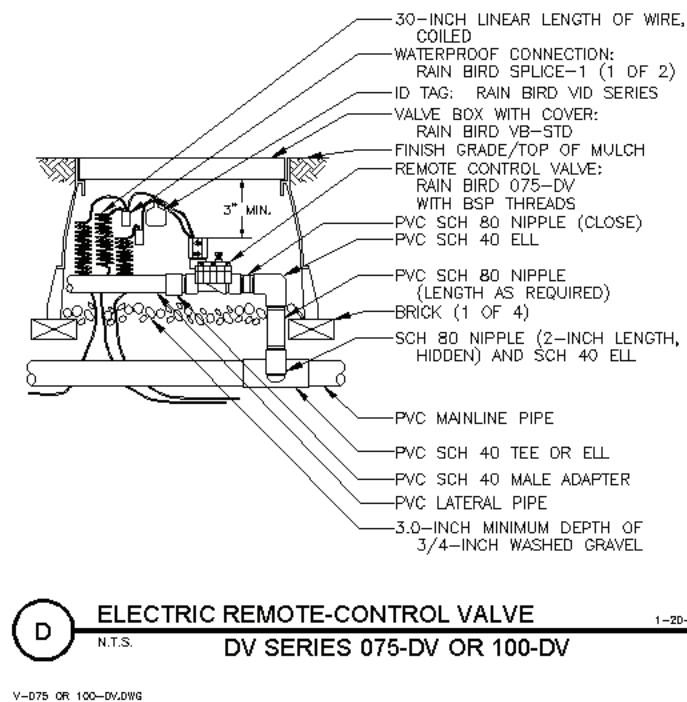
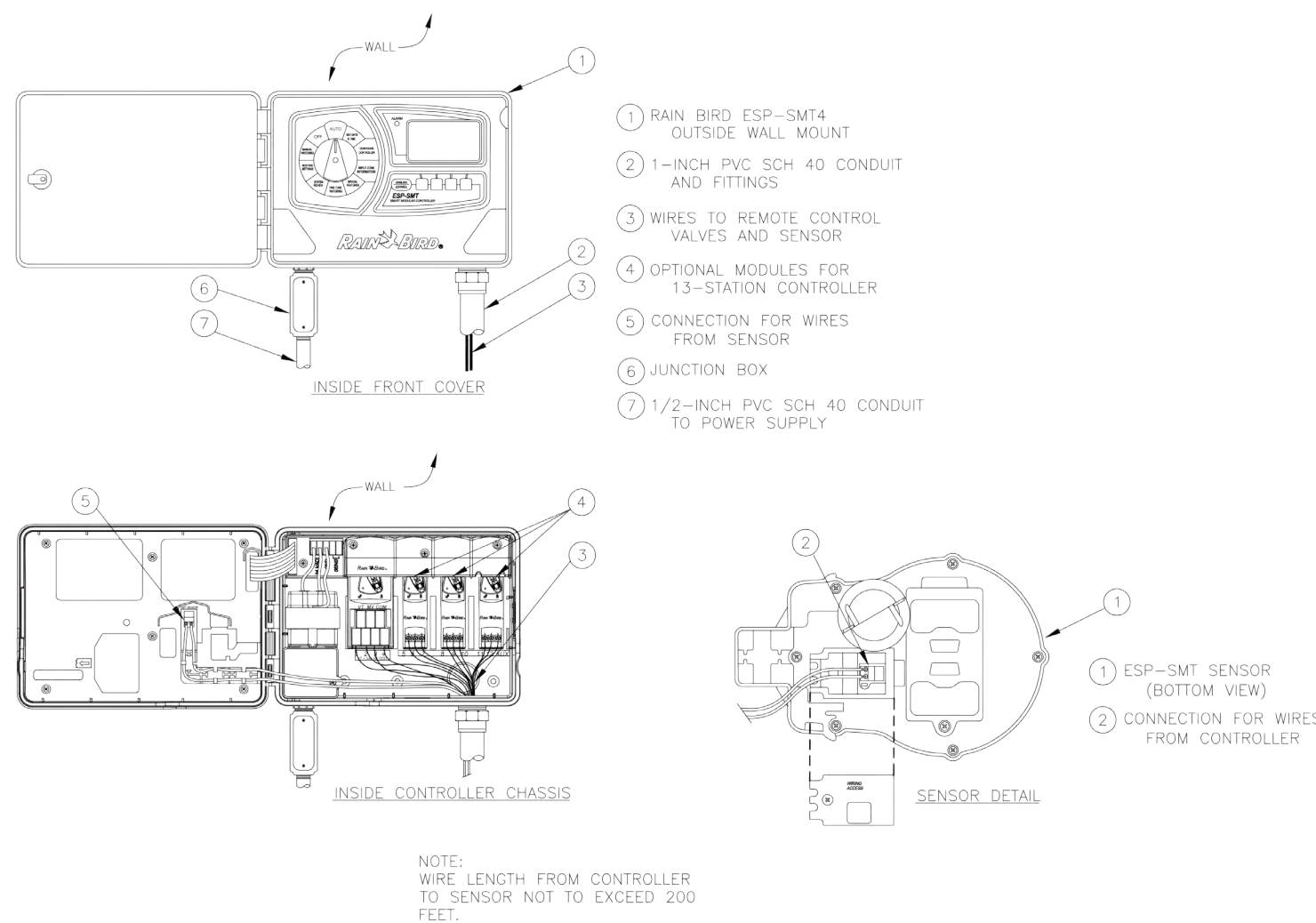
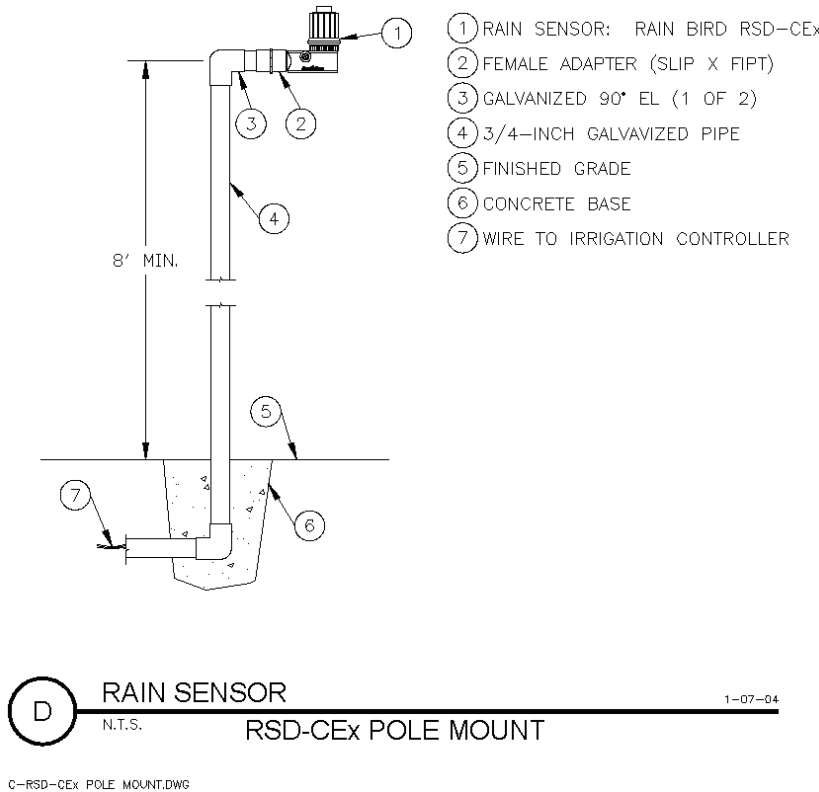
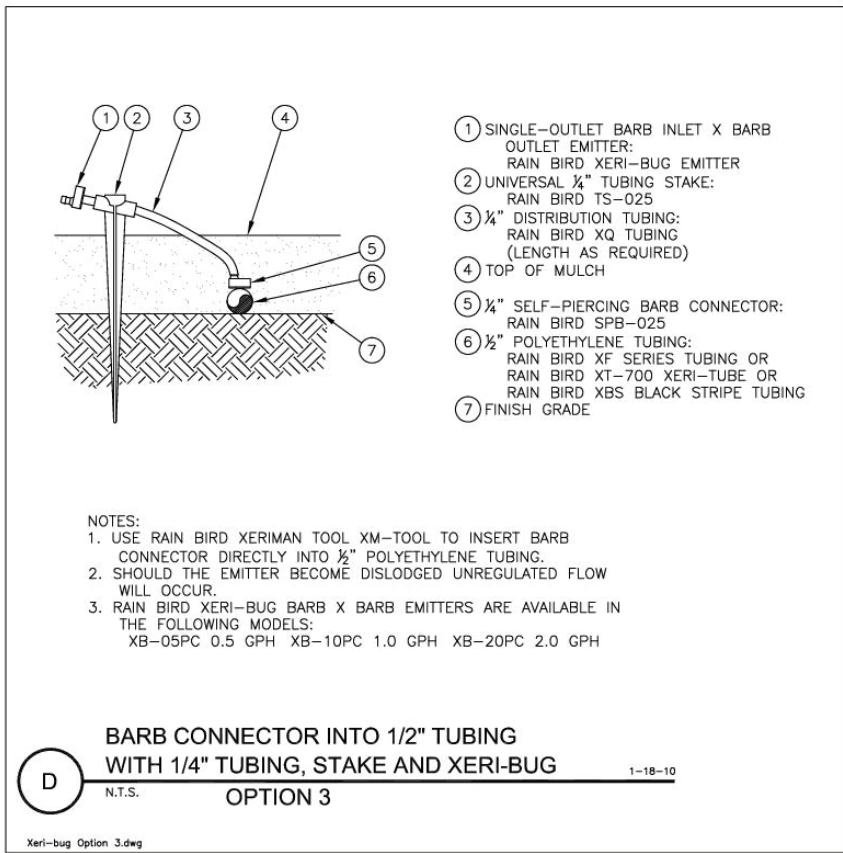
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Water Efficient Landscape Worksheet							
Instructions:							
Fill in all items in this color							
Answer is shown in this color							
Reference Evapotranspiration (Eto)		36 Pebble Beach					
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) low water use plants	0.2	Drip	0.81	0.247	1,340	330.86	7,385
2) medium water use plants	0.4	Drip	0.81	0.494	456	225.19	5,026
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
							0
			Totals		1,796	556.05	12,411
Special Landscape Areas (SLA): Recycled Water							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				Totals	0	0	0
			Estimated Total Water Use (ETWU)				12,411
			Maximum Allowed Water Allowance (MAWA)				18,039
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency				
very low	0-0.1	overhead spray	0.75				
low	0.1-0.3	drip	0.81				
medium	0.4-0.6						
high	0.7-1.0						
MAWA (annual gallons allowed)=(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]							
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft. / year. LA is the total landscape area in sq. ft, SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	556	Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.					
Total Area	1,796						
Average ETAF	0.31						
All Landscape Areas							
Total ETAF x Area	556						
Total Area	1,796						
Sitewide ETAF	0.31						

COLOR AND MATERIAL SAMPLES FOR
SHEN RESIDENCE
1651 CRESPI LANE, PEBBLE BEACH, CA 93953
APN: 008-371-018

**MISSION STYLE CAP AND PAN
CLAY TILE ROOF**



**PAINTED EXTERIOR STUCCO
WALLS**



DUNN EDWARDS
VERONA BEACH #DE6135

DUNN EDWARDS
ALMOND LATTE #DE6143

**FAUX LIMESTONE SURROUNDS
AND ACCENTS**



FAUX LIMESTONE BALUSTRADES

**METAL CLAD WOOD
DOORS AND WINDOWS**
Kolbe and Kolbe or equal



**COPPER OGEE
GUTTERS**



**COPPER STANDING
SEAM ROOM**

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