

Exhibit A

This page intentionally left blank.

**EXHIBIT A
DRAFT RESOLUTION**

**Before the County of Monterey Planning Commission
in and for the County of Monterey, State of California**

In the matter of the application of:

**RECTOR WARDENS & VESTRYMEN OF ALL
SAINTS PARISH (PLN210068-AMD2)**

RESOLUTION NO. 25--

Resolution by the County of Monterey Planning
Commission:

- 1) Finding the project qualifies as a minor addition to a school, which is Categorical Exempt from CEQA per Section 15314 of the CEQA Guidelines and no exceptions pursuant to Section 15300.2 of the CEQA guidelines can be made; and
- 2) Approving a second Amendment to a previously approved Combined Development Permit (PLN210068), as amended by PLN210068-AMD1, which allowed modifications to All Saints Day School, including the construction of outdoor athletic facilities, outdoor learning areas, site improvements, and development within 200 feet of the Carmel River. This Amendment would allow the construction of a 4,745 square-foot field house to include two locker rooms, three classroom/multi-purpose rooms, storage, and a kitchenette.

[RECTOR WARDENS & VESTRYMEN OF ALL SAINTS PARISH, 8060 Carmel Valley Road, Carmel Valley Master Plan, APN: 169-181-057-000].

The Rector Wardens & Vestrymen of All Saints Parish application (PLN210068-AMD2) came for a public hearing before the County of Monterey Planning Commission on March 12, 2025. Having considered all the written and documentary evidence, the administrative record, oral testimony, and other evidence presented, including the conditions of approval (Attachment 1) and project plans (Attachment 2), the County of Monterey Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **PROCESS REQUIREMENTS** – The County has received and processed a second amendment to a previously approved Combined Development Permit (HCD Planning File No. PLN210068; Planning

Commission Resolution No. 22-014), as modified by PLN210068-AMD1 (Chief of Planning Resolution No. 23-045)

- EVIDENCE:**
- a) On October 25, 2024, an application for a second Amendment (PLN210068-AMD2) was submitted to HCD-Planning staff.
 - b) On June 29, 2022, the Monterey County Planning Commission approved PLN210068 for a Combined Development Permit consisting of 1) an Administrative Permit and Design Approval to allow renovation of existing outdoor facilities and construction of two tennis courts, an athletic field, and a running track and associated outdoor seating areas and play facilities including a 695 sq. ft. pavilion, and other site improvements to traffic, internal circulation, and on-site utilities including the removal of 12 non-native trees and grading of approximately 5,000 cubic yards of cut & 4,350 cubic yards of fill; and 2) a Use Permit to allow development within 200 feet of the Carmel Valley top of bank. Approval of this permit included 14 conditions of approval. This Combined Development Permit was reviewed and approved pursuant to Monterey County Inland Zoning Code 21.76 (*Combined Development Permits*).
 - c) On July 5, 2023, the HCD Chief of Planning approved PLN210068-AMD-1 (Resolution No. 23-045), which amended the previously approved Combined Development Permit (PLN210068; Planning Commission Resolution No. 22-014) to allow the installation of six shade structures, totaling 3,931 square feet, for outdoor learning purposes. This first Amendment was reviewed and approved pursuant to Monterey County Code 21.76.120.B (*Amendments to Combined Development Permits*).
 - d) The Conditions of Approval from PLN210068 are being carried forward to this Amendment (PLN210068-AMD2).
 - e) The findings and evidence from PLN210068 (Planning Commission Resolution No. 22-014) and PLN210068-AMD1 (Chief of Planning Resolution No. 23.045) have been carried forward to this permit, PLN210068-AMD2.
 - f) The application, plans, and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed Amendment are found in project file PLN210068 and PLN210068-ADM1.

2. FINDING: CONSISTENCY – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

- EVIDENCE:**
- a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Carmel Valley Master Plan;
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. Communications received during the course of review of the project have been considered and are addressed (Finding No. 1, Evidence “j”).

- b) Allowed Use. The property, known as “All Saints Day School,” is located at 8060 Carmel Valley Road, Carmel (Assessor's Parcel Number [APN]: 169-181-057-000), Carmel Valley Master Plan. The parcel is split-zoned Public Quasi Public, with a Design Control, Site Plan Review and Residential Allocated Zoning overlay, or “PQP-D-S-RAZ,” and Low Density Residential, 2.5 acres per unit, with a Design Control, Site Plan Review and Residential Allocated Zoning overlay, or “LDR/2.5-D-S-RAZ.” Both zoning districts allow structures accessory to any permitted uses, subject to the granting of an Amendment and Design Approval in each case. The proposed project includes construction of a 4,745 square-foot structure (fieldhouse) to include two locker rooms, three classroom/multi-purpose rooms, storage, and a kitchenette. The structure will be ancillary to the adjacent athletic fields and will also serve as a supplemental educational area. The All Saints Day School (1964 Planning Commission Resolution No. 5372) is an allowed use in the LDR and PQP zoning districts. This project will not increase the 300-student maximum enrollment of the existing school. Therefore, the proposed project is considered an allowed use that is accessory to the permitted school use. All other project components of the previously approved Combined Development Permit (PLN210068), as amended by PLN210068-AMD1, remain the same (see Finding No. 1, Evidences “b” and “c”).
- c) Lot Legality. The subject property (APN: 169-181-057-000) is approximately 21.95 acres in size and identified in its current configuration and under current ownership as a lot entitled “All Saints Parish,” on a Record of Survey Map (volume 28, page 41) dated June 2003, and related to File No. PLN020437. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Pursuant to Title 21, Chapter 21.44, the project site and surrounding area are designated as a Design Control Zoning District (“D” zoning overlay), which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The proposed project is for a 4,745 square-foot fieldhouse to be constructed of aluminum, wood, glass, cedar, and standing seam metal. Colors will be comprised of charcoal gray and off-white board and batten, cedar color stained fencing, and zinc gray roofing. The subject property is located within an area designated as “visually sensitive” (Figure 14 of the 2010 General Plan). The proposed structure will be located approximately 300 feet from Carmel Valley Road and will be partially screened by the installation of four (4) Armstrong Red Maple trees (24” box size). Consistent with Carmel Valley Master Plan Policies CV-1.18, -1.20, and -3.3, the proposed development will have low public visibility, will not impede pedestrian access nor generate additional noise not typically associated with a school, and incorporates a rural design. The proposed development is comparable and consistent with the existing development (school). It will not block views of the viewshed, the river, or the distant hills as seen from key public viewing areas. Therefore, as proposed, the project

assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.

- e) Development Standards. As proposed, the project meets all required development standards. The development standards for the PQP and LDR zoning district are identified in Monterey County Code Sections 21.40.060 and 21.14.060, respectively. In this case, the fieldhouse is considered a main structure as it will partially provide educational space, which is the primary function of this property. Required setbacks for main structures in both zoning districts are 30 feet (front) and 20 feet (sides and rear). Additionally, pursuant to Carmel Valley Master Plan Policy CV-3.1, a minimum setback of 100 feet shall be established for all properties abutting Carmel Valley Road. The proposed structure will be located centrally on the parcel – over 250 feet distant from all property lines. The maximum allowed height in the PQP and LDR districts for main structures is 30 feet. The height of the proposed structure is 22 feet, 6 inches.

In the PQP and LDR district, the allowed building site coverage maximum is 25 percent. The property is approximately 20 acres in size (874,114 square feet), which allows a building site (lot) coverage of 218,528.5 square feet. The property's building site coverage is currently 56,678 square feet (6.48%) while the proposed project will add approximately 12,000 square feet of coverage, bringing the total to approximately 68,678 square feet (7.86%). Therefore, as proposed and conditioned, the project conforms with the applicable development standards of the zoning district.

- f) Cultural Resources. According to Monterey County Geographical Information System (GIS), the property is located in an area of high archaeological sensitivity, but not within 750 feet of a known archaeological resource. An archaeological report (LIB210145) (see Finding No. 3, Evidence “b”) was prepared in June 2021 for the previously approved project (PLN210068) and concluded that there is no surface evidence of potentially significant archaeological resources. The proposed development is located primarily within previously disturbed portions of the property. Grading will consist of 150 cubic yards of cut and 30 cubic yards of fill, and the potential for inadvertent impacts to cultural resources is limited and will be controlled by application of the County's standard project condition (Condition No. 3) which requires the contractor to stop work if previously unidentified resources are discovered during construction. Thus, as proposed, designed, and conditioned, the proposed project minimizes and avoids potential impacts to archaeological resources.
- g) Tree Removal. PLN210068 included the removal of 12 non-native trees. The proposed second Amendment does not include additional tree removal.
- h) Traffic. The previously approved project (PLN210068) included traffic-related site improvements such as demolition of the western driveway, removal of the associated left turn arrows on Carmel Valley Road, limiting ingress to the retained driveway and egress to the proposed

eastern driveway, and relocating an existing flashing crosswalk beacon. The proposed second Amendment does not alter these traffic improvements, and no additional traffic or circulation improvements were recommended by HCD-Engineering Services.

- i) Land Use Advisory Committee (LUAC) Review. Based on the Board of Supervisors Guidelines, the project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review at their January 21, 2025, meeting. The LUAC voted 6 to 0, with two members absent, to support the project as proposed. One citizen in attendance - a teacher - voiced their support of the project as an “enhancement.” Another member of the public expressed concerns that the landscaping trees may “block views.” The LUAC members did not raise any concerns or issues.
- j) Public Comment. One public comment email has been received by the applicant and staff, regarding concerns on the use of portable lighting and “loudspeakers”. Portable lights are used on a reasonable basis for evening school and club sports practices and are turned off by 7:30APM. Permanent lighting is not proposed at this time and would require the granting of a separate discretionary permit. Loudspeakers are used for mandatory emergency drills only and for limited day-time school-related activities. The proposed project will not intensify the use of either the lighting or loudspeakers.
- k) Carmel Valley Floodplain. The proposed development is not within 200 feet of the Carmel River top of the bank and therefore, is not subject to Monterey County Code Chapter 16.16 – Regulations for Floodplains in Monterey County and Monterey County Code Chapter 21.64.130 – Regulations for Land Use in the Carmel Valley Floodplain. This Amendment proposes grading in the amount of 150 cubic yards of cut and 30 cubic yards of fill. All grading will be outside of the Carmel River’s top of bank and associated riparian corridor, and all development will be setback further than the existing development. Grading and erosion control measures are incorporated by design and required by applicable Monterey County Code.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210068 and PLN210068-AMD1.

3. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Monterey County Regional Fire Protection District (FPD), and the Environmental Health Bureau. County staff has reviewed the application materials and verified that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following technical report has been prepared:

- “Phase 1 Archaeological Assessment” (LIB210145) prepared by Dana Supernowicz of Historic Resource Associates, Pebble Beach, CA, on June 1, 2021.

Upon independent review, staff concurs with the conclusions of the report. There are no physical or environmental constraints that render the site unsuitable for the proposed project.

- c) Staff conducted a site inspection on February 10, 2025, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210068.

4. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Developmental Services, HCD-Environmental Services, Monterey County Regional FPD, and the Environmental Health Bureau. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are provided. Cal-Am provides potable water, and water use credits will be met from existing sources, including Malpas Water Company and credits resulting from the demolition of another structure. An existing well is used for landscape irrigation purposes.
 - c) All Saints Day School is currently utilizing an existing onsite wastewater treatment system (OWTS). PLN210068 included demolition and/or abandonment of the existing OWTS and installation of sewer lines upon nearby extension of the Carmel Area Wastewater District (CAWD) sewer main. When the CAWD connection is ready and available, All Saints Day School will demolish the existing septic tanks and abandon the leach fields in accordance with MCC Chapter 15.20.090. The previously approved Combined Development Permit included Condition Nos. 5 and 6 to ensure that a proposed sewer system design has been submitted to and approved by CAWD and ensures that the OWTS currently serving the property shall be protected until such time that the site connects to CAWD. These conditions remain adequate and shall be cleared under PLN210068.
 - d) Staff conducted a site inspection on February 10, 2025, to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210068.

5. **FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on February 10, 2025, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210068.
6. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15314 categorically exempts construction of minor additions to existing schools within existing school grounds, provided the addition does not increase the original student capacity by more than 25%, or ten classrooms, whichever is less.
 - b) As proposed, the project includes the construction of a 4,745 square-foot structure (field house) to include two locker rooms, three classroom/multi-purpose rooms, storage and a kitchenette. The existing student enrollment (approximately 256) is not anticipated to increase. Planning Commission Resolution No. 5372 approved a Use Permit to allow the establishment of the All Saints Day School with a maximum capacity of 300 students. This Use Permit runs with the subject property. The proposed fieldhouse is within the existing school grounds. Therefore, the proposed development qualifies as a Class 14 categorical exemption pursuant to Section 15314 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, development that will adversely impact views from a scenic highway, unusual circumstances that would result in a significant effect or development that would result in a cumulative significant impact. Although the property is located adjacent to Carmel Valley Road, the project will not create an adverse visual impact. The proposed development is sited appropriately and is adequately setback from the Carmel River and adjacent riparian corridor. The subject development is not located within the Carmel River floodway or floodplain and therefore will not impact the watercourse or be affected by flow related erosion or hazards. Additionally, there are no unusual circumstances as there is no feature or condition of the project that distinguishes the project from the exempt class. All work is proposed to be performed on existing disturbed areas and the project will not change the nature or intensity of use of the existing school.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on February 10, 2025.

- e) See Finding Nos. 2 and 3 and supporting evidence. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning are found in Project File PLN210068 and PLN210068-AMD1.

7. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Planning Commission. Pursuant to Title 21, Section 21.80.040.D, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by the decision of the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Monterey County Planning Commission does hereby:

- 1) Find the project qualifies as a minor addition to a school, which is Categorically Exempt from CEQA per Section 15314 of the CEQA Guidelines and that none of the exceptions under CEQA Guidelines Section 15300.2 apply; and
- 2) Approve a second Amendment to a previously approved Combined Development Permit (PLN210068), as amended by PLN210068-AMD1, which allowed modifications to All Saints Day School, including the construction of outdoor athletic facilities, outdoor learning areas, site improvements, and development within 200 feet of the Carmel River. This Amendment would allow the construction of a 4,745 square-foot field house to include two locker rooms, three classroom/multi-purpose rooms, storage, and a kitchenette.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 12th day of March, 2025, upon motion of _____, seconded by _____, by the following vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 1-27-2021

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN210068-AMD2

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This is a second Amendment to a previously approved Combined Development Permit (PLN210068; Planning Commission Resolution No. 22-014) which allowed modifications to All Saints Day School, including the construction of outdoor athletic facilities, outdoor learning areas, and development within 200 feet of the Carmel River. This Amendment would allow the construction of a 4,745 square-foot non-habitable field house to include two locker rooms, three classroom/multi-purpose rooms, storage, and a kitchenette. The property is located at 8060 Carmel Valley Road (Assessor's Parcel Number 169-181-057-000), Carmel Valley Master Plan Area. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Amendment (Resolution Number _____) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 169-181-057-000 on March 12, 2025. The permit was granted subject to 6 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.

CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

6. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-OTHER)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of HCD - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to HCD - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by HCD-Planning, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to HCD-Building Services.

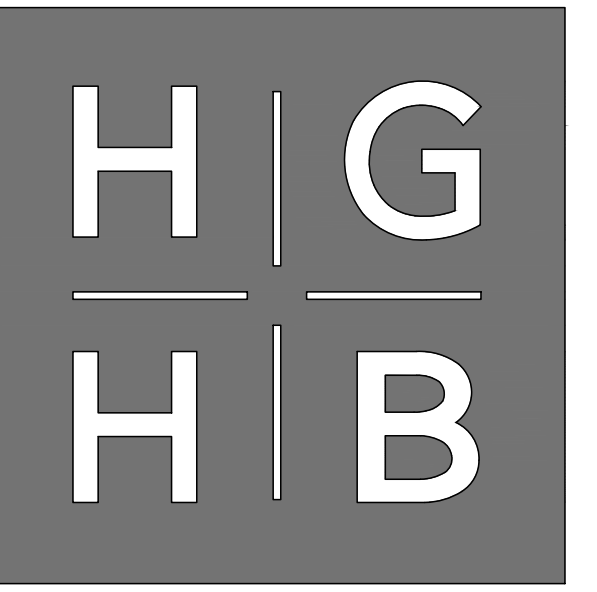
Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected .

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

FIELD HOUSE

ALL SAINTS DAY SCHOOL

8060 CARMEL VALLEY ROAD



Architecture, Planning, Urban Design
550 Hartnell Street, Suite J
Monterey, California 93940
Tel: 831.375.9594

ALL SAINTS DAY SCHOOL FIELD HOUSE

8060 Carmel Valley Road
Carmel-by-the-Sea, CA 93923



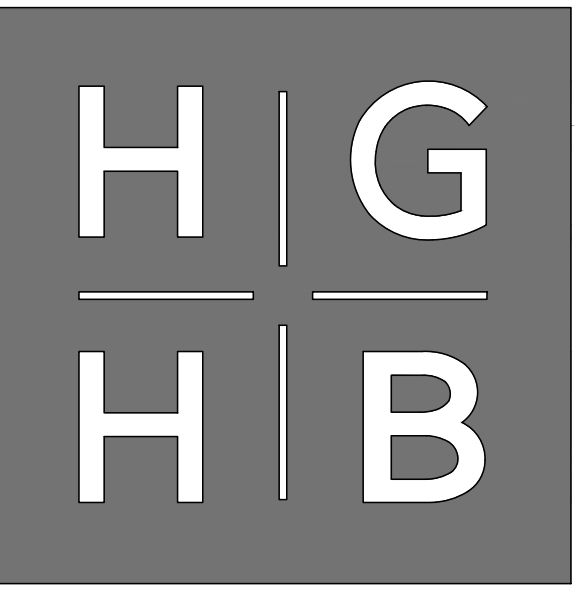
Drawing Title:

Scale:

Sheet:

DA-01

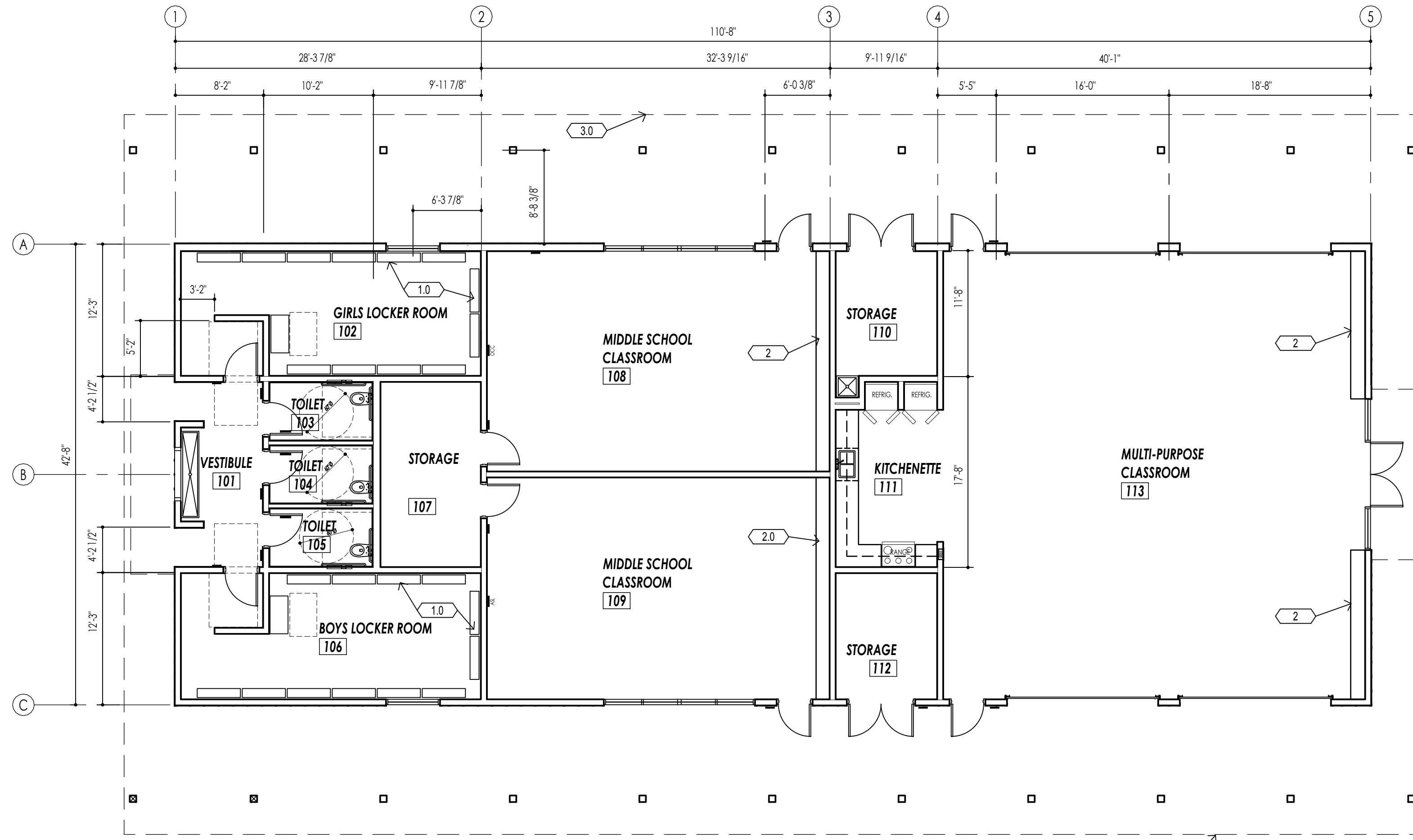
Revision:



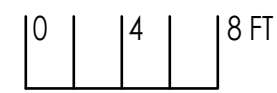
Architecture, Planning, Urban Design
550 Hartnell Street, Suite J
Monterey, California 93940
Tel 831.375.9594

ALL SAINTS DAY SCHOOL FIELD HOUSE

8060 Carmel Valley Road
Carmel-by-the-Sea, CA 93923



1 - FLOOR PLAN



GENERAL NOTES:

1. FOR FINISHES SEE SHEET A7.1

LEGEND:

- WINDOW TYPE SYMBOL
SEE SHEET A7.1
- DOOR NUMBER
SEE SHEET A7.1
- PARTITION TYPE
SEE SHEET A9.1
- FEC ■ FIRE EXTINGUISHER & CABINET, SEE SPECS.
- ROOM SIGNAGE

SHEET KEYNOTES:

- 1.0 BENCH
- 2.0 WALL CABINETS
- 3.0 METAL ROOF OVERHANG
- 4.0

CODE ANALYSIS:

PROJECT DESCRIPTION:
NEW BUILDING FOR ALL SAINTS DAY SCHOOL
BUILDING INCLUDES A MULTI-PURPOSE ROOM, LOCKER ROOMS, RESTROOMS,
KITCHENETTE AND STORAGE ROOMS.
ELECTRICAL AND MECHANICAL AS REQUIRED FOR A NEW BUILDING.

PROJECT ADDRESS:
8060 CARMEL VALLEY ROAD
CARMEL-BY-THE-SEA, CA, 93923

C3-OCCUPANCY CLASSIFICATION:
GROUP "E"

C4- SPECIAL DETAILED REQUIREMENTS:
NO APPLICABLE

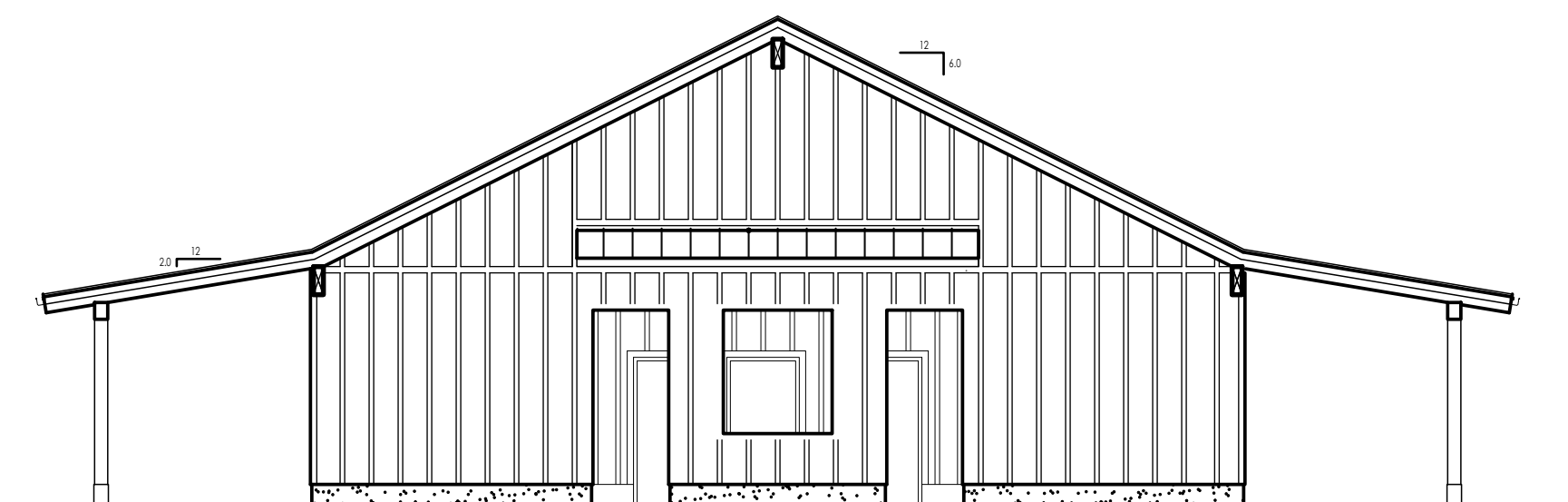
C5-BUILDING HEIGHT & AREA:
ALLOWABLE FLOOR AREA: 38,000 S.F. CBC/TABLE 506.2
ALLOWABLE BUILDING HEIGHT: 40'-0" CBC/TABLE 504.3
NEW BUILDING AREA: 4,745sf < 38,000sf
NEW BUILDING HEIGHT: 22'-6" < 40'-0"

C6-CONSTRUCTION TYPE:
TYPE VB - SPRINKLERED, 2022/CBC

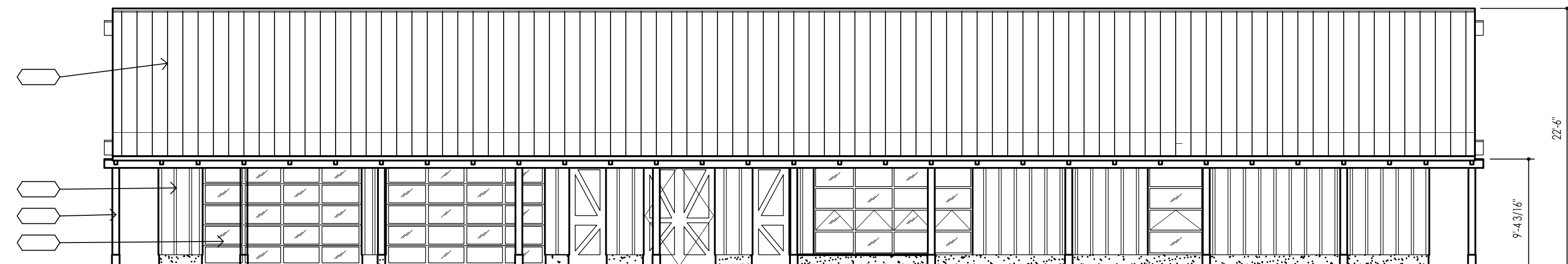
C10-MEANS OF EGRESS:

USE	RATIO	SF	OCC.
MULTI-PURPOSE	1:20	1,622sf/20	= 82
CLASSROOM 108	1:20	622sf/20	= 31
CLASSROOM 109	1:20	622sf/20	= 31
BOYS LOCKERS	1:50	319sf/50	= 7
GIRLS LOCKERS	1:50	315sf/50	= 7
STORAGE 107	1:300	159sf/300	= 1
STORAGE 110	1:300	96sf/300	= 1
STORAGE 112	1:300	110sf/300	= 1
MISCELLANEOUS		876sf	= 0
TOTAL		4,745sf	161/OCCUPANTS

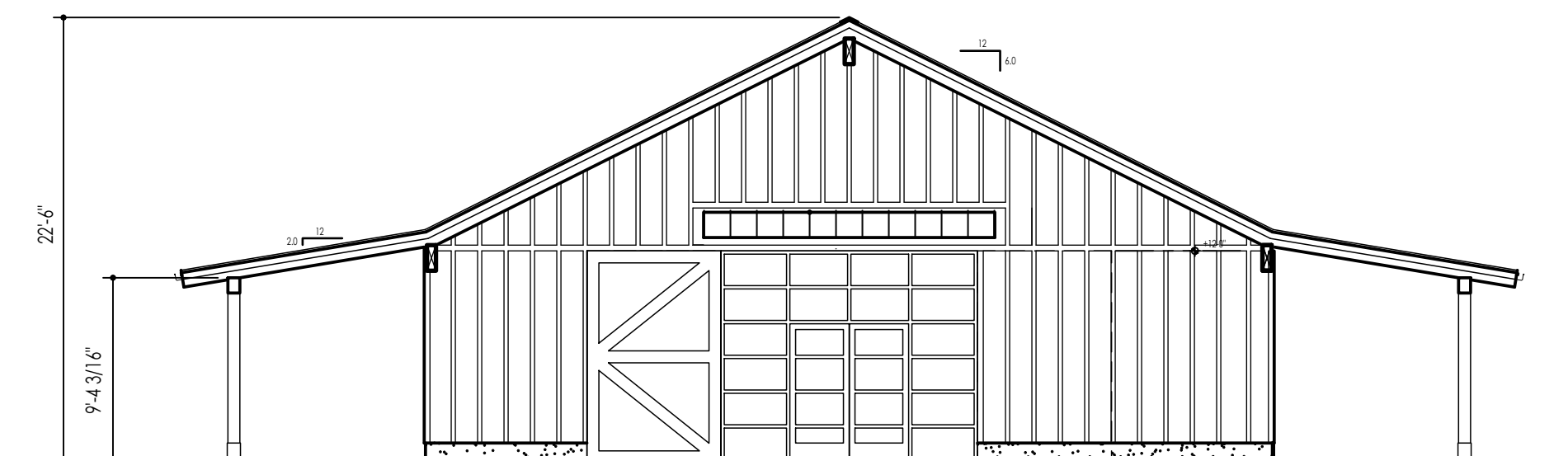
JURISDICTION:
MONTEREY COUNTY



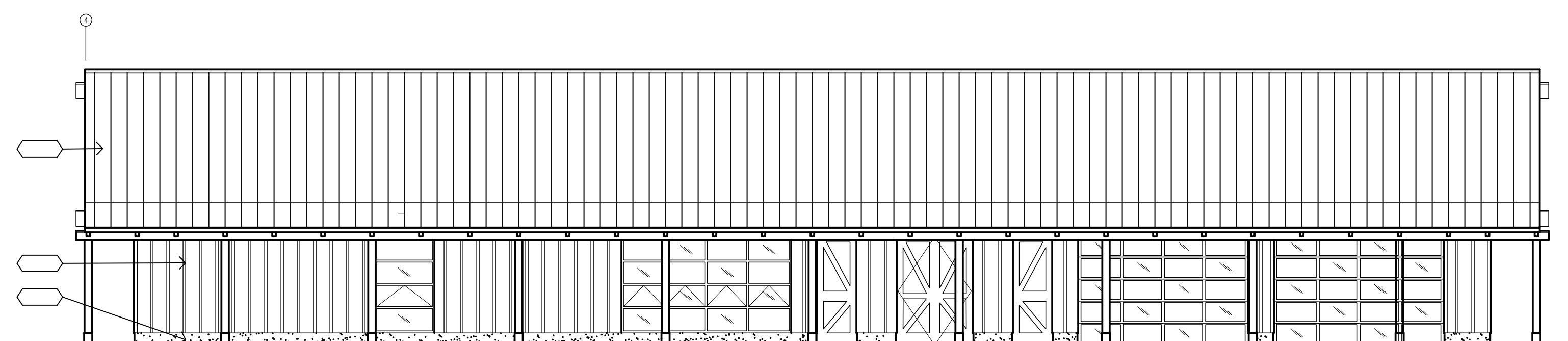
SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Drawing Title:

Scale: 1/4" = 1'-0"

Sheet:

DA-02

Revision:

Date: June, 2024

Job Number: 1457.04

GENERAL

- CONSTRUCTION CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH:
 - ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, ORDINANCES, AND RULES, INCLUDING WITHOUT LIMITATION: CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE CODE (CAL-OSHA) CALIFORNIA CODE 4216 - PROTECTION OF UNDERGROUND INFRASTRUCTURE
 - THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CCR TITLE 24), WITH AMENDMENTS ADOPTED BY MONTEREY COUNTY
 - CALIFORNIA EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
 - THE PROJECT PLANS AND SPECIFICATIONS
 - THE 2018 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
 - THE 2018 EDITION OF "STANDARD PLANS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
 - ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY CODE OF ORDINANCE 16.08 AND MONTEREY COUNTY CODE OF ORDINANCE 16.12.
 - CALIFORNIA PLUMBING CODE (CPC)
 - CALIFORNIA ELECTRICAL CODE (CEC)
 - CALIFORNIA ENERGY CODE (CEC)
- SITE GRADING AND EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT ENTITLED:

GEOTECHNICAL REPORT FOR "MASTER PLAN IMPROVEMENTS ALL SAINTS DAY SCHOOL".
BY HARO KASUNICH ASSOCIATES. DATED AUGUST 2021, PROJECT NO. M11972

ADDENDUM #1: CEMENT TREATED SUBGRADE AND HELICAL PILE CLARIFICATION
BY HARO KASUNICH ASSOCIATES. DATED AUGUST 11 2021, PROJECT NO. M11972

ADDENDUM #2: FULL DEPTH AC AND PCC PAVEMENTS OF CEMENT TREATED SUBGRADE, STABILIZED DG PATHS, AND CORROSIIVITY TESTING
BY HARO KASUNICH ASSOCIATES. DATED JANUARY 20 2022, PROJECT NO. M11972
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CURRENTLY APPLICABLE SAFETY LAWS OF ALL APPLICABLE JURISDICTIONAL BODIES. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CALIFORNIA AT PHONE (831) 443-3050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA.
- INTENTION OF GRADING: CONSTRUCTION OF FIELD HOUSE BUILDING AND ASSOCIATED CONCRETE PATIO AND WALKWAY SITE WORK. INSTALLATION OF SITE UTILITIES INCLUDING STORM, SEWER, AND WATER SERVICE.
- PROPERTY IS SUBJECT TO INUNDATION BY 100 YEAR FLOOD LEVELS. PROJECT AREA IS NOT SUBJECT TO INUNDATION BY 100 YEAR FLOOD LEVELS.
FEMA FIRM PANEL: 06053C0340G
DATE: APRIL 2, 2009
- ESTIMATED START: JUNE 2025, ESTIMATED COMPLETION: AUGUST 2026.
- STOP WORK WITHIN 50 METERS (165 FEET) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

EARTHWORK AND AREA OF DISTURBANCE SUMMARY

C = 150 CY
 F = 30 CY
 EXPORT = 120 CY
 ESTIMATED AREA OF DISTURBANCE = 0.30± AC

THE QUANTITIES PRESENTED ABOVE ARE ESTIMATES ONLY, BASED ON THE DIFFERENCE BETWEEN EXISTING GRADE AND SUBGRADE ELEVATIONS OR FINISHED GRADE ELEVATIONS, AS SHOWN ON THE PLANS. AT THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER, A SHRINKAGE FACTOR OF 15 PERCENT WAS INCLUDED IN THE PLACEMENT OF FILL.

- OVER-EXCAVATION IS NOT INCLUDED IN THE ABOVE ESTIMATE. SITE SPOILS SUCH AS FROM UTILITY TRENCHING, FOUNDATIONS, ETC. ARE NOT INCLUDED IN ABOVE ESTIMATES.
- THESE QUANTITIES SHALL BE USED FOR BONDING AND PERMIT PURPOSES ONLY. CONTRACTOR SHALL MAKE HIS/HER OWN SITE VISIT AND QUANTITY TAKE-OFFS AND SHALL BID ACCORDINGLY.

WDID NUMBER: 3 27C398050



SURVEY AND EXISTING CONDITIONS

- TOPOGRAPHY WAS PREPARED BY WHITSON ENGINEERS IN MARCH AND JULY 2024.
- BENCHMARK: SET SCRIBE X IN SIDEWALK AT CENTER DRAINAGE INLET HEREON. ELEV = 108.84' (NAVD88 DATUM).
- ALL "MATCH" OR "JOIN" CALLOUTS ON THE PLANS SHALL BE FIELD VERIFIED FOR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IN THE CASE OF ANY FIELD DISCREPANCY.
- PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS. (MONTEREY COUNTY)
- A LETTER SHALL BE SUBMITTED FROM A LICENSED SURVEYOR CERTIFYING THAT PAD ELEVATIONS ARE WITHIN 0.1 FEET OF ELEVATIONS STATED ON APPROVED PLANS, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
- THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL DEVIATIONS FROM THE WORK PROPOSED IN THESE PLANS AND SPECIFICATIONS, AND A RECORD DRAWING SET SHALL BE PREPARED AND PROVIDED TO THE ENGINEER AT THE COMPLETION OF WORK. CHANGES SHALL NOT BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE DESIGN ENGINEER.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN ON THESE PLANS IN A GENERAL WAY ONLY. NOT ALL UTILITIES MAY BE SHOWN. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SYSTEMS WHICH MAY BE AFFECTED BY THE EXISTING UTILITY'S LOCATION. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- BOUNDARY INFORMATION SHOWN IS FROM RECORD DATA. A BOUNDARY SURVEY WAS NOT PERFORMED AS A PART OF THIS WORK. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.

LEGEND

- 100 — EXISTING GROUND CONTOUR
- 100 — PROPOSED GROUND CONTOUR
- - - - - SUBJECT PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - CENTER LINE
- - - - - EX DIRT ROAD
- — — — — EX AC LIMITS
- LIMITS OF GRADING
- - - - - SUBDRAIN & PERFORATED PIPE
- - - - - FENCE; S.L.D.
- ▲ 100 CONTROL POINT
- ⊕ BM BENCHMARK
- ⊕ F3P L50000 FOUND 3/4" IRON PIPE, TAGGED AS NOTED
- ⊕ CUM BM#301 FOUND CONCRETE UNDERGROUND MONUMENT, MARKED AS NOTED
- ⊕ BH-1 BORE HOLE / BORING LOCATION
- + 928.30 SPOT GRADE
- 12" OAK TREE
- — — — — STUMP OR SNAG (DEAD)
- — — — — TREE DRIP LINE
- — — — — DRAINAGE PATH
- — — — — CREEK/RIVER FLOW
- — — — — WATER SURFACE ELEVATION
- — — — — FLOW LINE
- — — — — AREA OF 30% OR GREATER SLOPE
- — — — — SIGN
- — — — — OVERHEAD UTILITY LINE(S)
- — — — — UNDERGROUND ELECTRIC LINE
- UP — — — — — UTILITY POLE SHOWING ARMS AND GUY WIRE
- ⊙ * * * * * LT LIGHT, ELECTROLIER
- — — — — G GAS LINE
- ⊕ GV ⊕ ICV GAS VALVE, IRRIGATION CONTROL VALVE
- — — — — SD STORM DRAIN LINE
- ⊕ SDMH RIM: 00.00 INV: 00.00 STORM DRAIN MANHOLE
- ⊕ SDMI RIM: 00.00 INV: 00.00 STORM DRAIN INLET
- DS DOWNSPOUT
- — — — — SS SANITARY SEWER LINE (GRAVITY)
- — — — — SSFM SANITARY SEWER FORCE MAIN
- ⊕ SSMH RIM: 00.00 INV: 00.00 SANITARY SEWER MANHOLE
- ⊕ SSCO CLEAN OUT
- — — — — T UNDERGROUND TELEPHONE LINE
- — — — — W WATER LINE
- ⊕ WELL
- ⊕ WV WATER VALVE
- ⊗ PIV POST INDICATOR VALVE
- ⊕ FDC FIRE DEPARTMENT CONNECTION
- ⊕ FH FIRE HYDRANT
- ⊕ BFP HOSE BIB
- UTILITY VAULT
- — — — — CUT/FILL LINE
- — — — — TOP OF WALL ELEVATION

ABBREVIATIONS

- ± PLUS OR MINUS; APPROX
- AT AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- APPROX APPROXIMATE
- ASB AGGREGATE SUBBASE
- BC BEGIN CURVE
- BVC BEGIN VERTICAL CURVE
- BVCE BVC ELEVATION
- BVCS BVC STATION
- BS BOTTOM OF STAIR
- BW BACK OF WALK
- C&G CURB AND GUTTER
- CATV CABLE TV
- CGSW CURB, GUTTER AND SIDEWALK CENTERLINE
- CL CLASS
- CLR CLEAR
- CMP CORRUGATED METAL PIPE
- CO CLEANOUT
- CONC CONCRETE
- CONST CONSTRUCT
- CONT CONTINUOUS
- DEMO DEMOLISH AND DISPOSE OF
- D.G. DECOMPOSED GRANITE
- DI DRAIN INLET
- DIA DIAMETER
- DS DOWNSPOUT
- DS EXISTING
- EC END CURVE
- EG EXISTING GRADE
- EJ EXPANSION JOINT
- ELEC ELECTRIC
- ELEV ELEVATION
- EQ EQUAL
- ETW EDGE OF TRAVELED WAY
- EVC END VERTICAL CURVE
- EVCV EVC ELEVATION
- EVCS EVC STATION
- E.W. EACH WAY
- EX EXISTING
- FC FACE OF CURB
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- FR FIRE RISER
- FS FINISHED SURFACE
- GB GRADE BREAK
- GBE GB ELEVATION
- GBS GB STATION
- GM GAS METER
- GRT GRATE
- GV GAS VALVE/VAULT
- HP HIGH POINT
- HORIZ. HORIZONTAL
- INV INVERT
- JP JOINT UTILITY POLE
- LDG LANDING
- LF LINEAR FEET
- LFV LOWER FINISH FLOOR
- LP LOW POINT
- LT LEFT
- MATCH MATCH EXISTING GRADE
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- N.I.C. NOT IN CONTRACTOR CENTER
- O.C. ON CENTER
- OG ORIGINAL GROUND
- P.A. PLANTER AREA
- PB PULL BOX
- PC POINT OF CURVATURE
- P.O.C. POINT OF CONNECTION
- PP POWER POLE
- PRC POINT OF REVERSE CURVATURE
- PVC POLYVINYL CHLORIDE
- PVI POINT OF VERTICAL INTERSECTION
- PTDF PRESSURE TREATED DOUG-FIR RADIUS
- R RADIUS
- R.C. RELATIVE COMPACTION
- RCP REINFORCED CONC PIPE
- RSP ROCK SLOPE PROTECTION
- RT RIGHT
- RW RECYCLED WATER
- RWL RAIN WATER LEADER
- SD STORM DRAIN
- SL STREET LIGHT
- S.L.A. SEE LANDSCAPE DRAWINGS
- SS SANITARY SEWER
- STA STATION
- SW SIDEWALK
- TBM TEMPORARY BENCH MARK
- TC TOP OF CURB
- TFC TOP OF FLUSH CURB
- TG TOP OF GRATE
- TOP TOP OF PIPE
- TS TOP OF STAIR
- TW TOP OF WALL
- TYP TYPICAL
- UFF UPPER FINISH FLOOR
- UG UNDERGROUND
- U.O.A. UNLESS OTHERWISE NOTED
- UP UTILITY POLE
- UNKN UNKNOWN
- VAR VARIES
- VERT. VERTICAL
- W WATER
- WM WATER METER
- WV WATER VALVE
- XFMR TRANSFORMER

SITE ADDRESS & APN

ALL SAINTS SCHOOL
 8060 CARMEL VALLEY ROAD
 CARMEL, CALIFORNIA 93923

APN: 169-181-057

CONTACT:
 SCOTT FUJITA, HEAD OF SCHOOL

TEL: (831)624-9171 EXT 15

CIVIL ENGINEER / SURVEYOR

WHITSON ENGINEERS
 6 HARRIS COURT
 MONTEREY, CA 93940

TEL: (831) 649-5225

ARCHITECT

HGHB ARCHITECTS
 550 HARTNELL STREET, SUITE J
 MONTEREY, CA 93940

TEL: (831) 375-9594

LANDSCAPE ARCHITECT

BFS LANDSCAPE ARCHITECTS
 425 PACIFIC STREET #201
 MONTEREY, CA 93940

TEL: (831) 646-1383

GEOTECHNICAL ENGINEER

HARO KASUNICH ASSOCIATES
 116 EAST LAKE AVE.
 WATSONVILLE, CA 95076

TEL: (831) 722-4175



VICINITY MAP

NTS

CIVIL SHEET INDEX

C001	CIVIL COVER SHEET
C002	CIVIL DETAILS
C099	OVERALL SITE PLAN & EXISTING SITE CONDITIONS
C100	PRELIMINARY CIVIL SITE GRADING, DRAINAGE AND UTILITY PLAN
C200	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

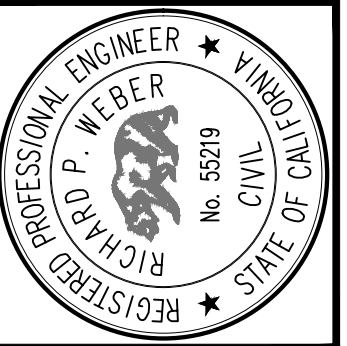
SPECIAL TESTS AND INSPECTION SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2013 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ.	REMARKS	INSPECTOR NAME	START DATE	END DATE
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC			
SUBGRADE / FINISH GRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC			
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC			
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS			
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION - MATERIALS BELOW FOOTINGS/ACHEIVE BEARING CAPACITY TO BE DETERMINED / PERIODIC			
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC			

SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.

Civil Engineering
 Land Surveying
 6 Harris Court
 Monterey, California
 831.649.5225
 whitsonengineers.com



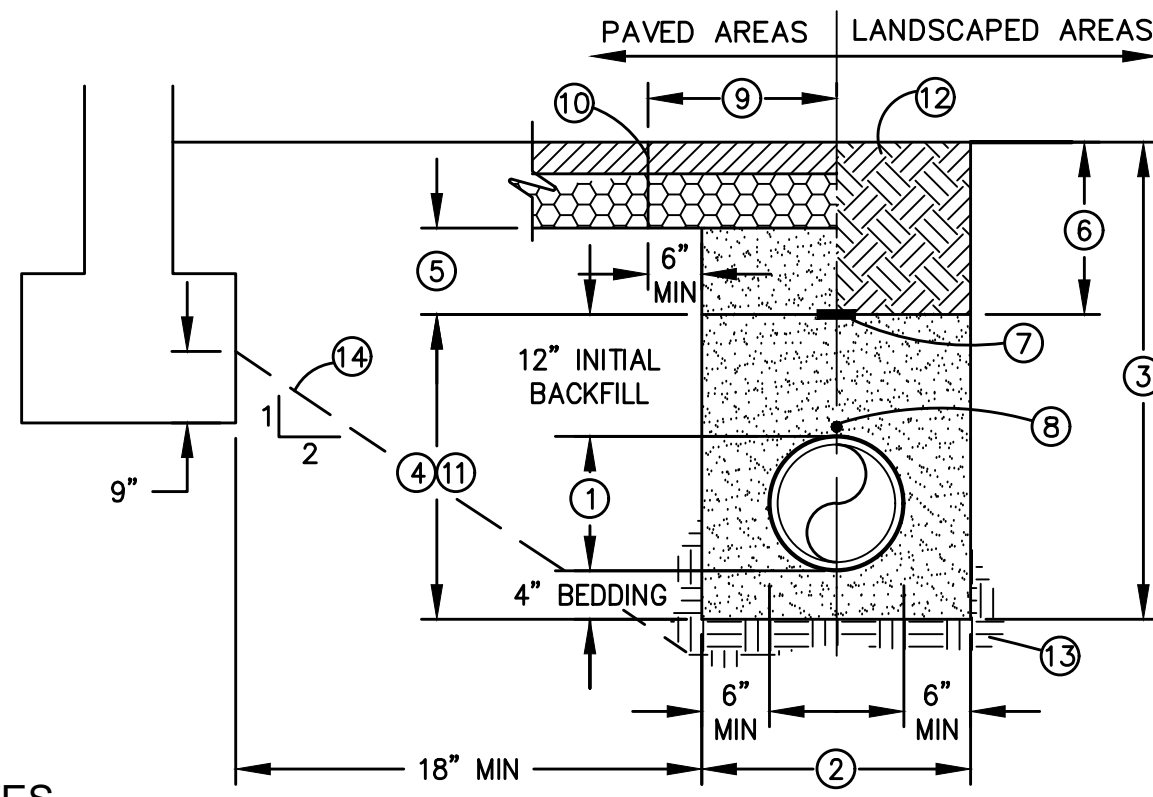
SUBMITTAL / REVISION	PLANNING PERMIT SUBMITTAL
1	9/11/2024
	CW

ALL SAINTS DAY SCHOOL FIELDHOUSE
 8060 CARMEL VALLEY ROAD
 CARMEL, CALIFORNIA

CIVIL COVER SHEET

SCALE:
 DRAWN: CW
 JOB No.: 2383.06
 SHEET
C001
 OF 4

NOT FOR CONSTRUCTION

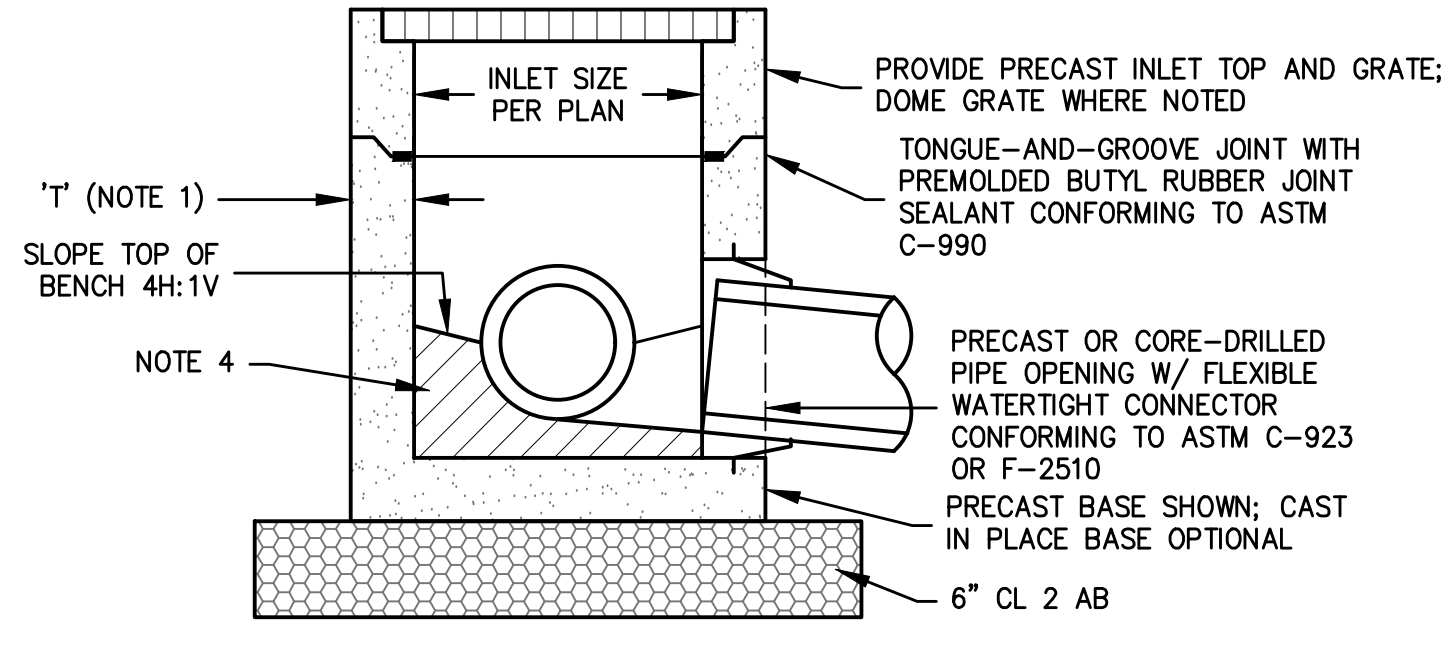


KEYNOTES

1. PROPOSED PRIVATE UTILITY; PIPE ZONE
2. MINIMUM TRENCH WIDTH = PIPE O.D. + 12" MIN. PROVIDE MIN 6" CLR EITHER SIDE OF PIPE. TRENCH WIDTH MAY VARY FROM ACTUAL WIDTH REQUIRED TO PERFORM THE WORK DEPENDING UPON METHOD OF COMPACTION AND FOR TRENCH SHORING/PROTECTION USED BY CONTRACTOR.
3. TRENCH DEPTH AS SHOWN ON PLANS. IF NOT SHOWN OR OTHERWISE SPECIFIED, PROVIDE MIN 36" COVER FOR WATER MAINS 4" AND LARGER, AND MIN 30" COVER FOR OTHER FACILITIES.
4. PIPE BEDDING AND INITIAL BACKFILL: APPROVED ONSITE SOIL OR IMPORTED SELECT SOIL THAT MEETS THE FOLLOWING CRITERIA: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
5. FINAL BACKFILL IN BUILDING, SLAB, FLATWORK, AND PAVEMENT AREAS: CLEAN SAND AS DEFINED IN ASTM 2487-10, WITH SAND EQUIVALENT OF 30 OR GREATER, COMPACTED IN MAX 8" LIFTS TO MIN. 95% R.C.
6. FINAL BACKFILL IN LANDSCAPE AREAS: 12" OF RELATIVELY IMPERMEABLE CLAYEY SOIL COMPACTED IN MAX 8" LIFTS TO MIN. 90% R.C.
7. PLACE 3"-WIDE WARNING TAPE 12" ABOVE PIPE.
8. PROVIDE INSULATED 12 AWG TRACER WIRE FOR ALL EXTERIOR NON-METALLIC WATER AND GAS PIPES 4"-DIA AND LARGER. TAPE TO TOP OF PIPE AT 10' INTERVALS. EXTEND TO THE SURFACE AT VALVE BOXES, RISERS, ETC., SO LOCATOR EQUIPMENT CAN BE CONNECTED.
9. PIPE TRENCHING WORK IN EXISTING IMPROVED STREETS SHALL INCLUDE REPLACEMENT OF EXISTING PAVEMENT. THE THICKNESS OF THE NEW AC AND AB SHALL BE EQUIVALENT TO THE EXISTING AC AND AB THICKNESS, OR 2.5" AC ON 8" AB, WHICHEVER IS GREATER. TRENCH PATCH SHALL EXTEND MIN 6" BEYOND TRENCH WALL.
10. ALL STREET CUTS SHALL BE NEATLY SAWCUT ON TRUE LINE TO 1-1/2" MINIMUM DEPTH AT A MINIMUM OF 6" BEYOND EDGE OF TRENCH WALL.
11. IN VEHICULAR AREAS, WHERE FINISH GRADE IS LESS THAN 24" ABOVE THE TOP OF PIPE, OR WHERE TRENCHES OCCUR IN CEMENT TREATED BASE, BACKFILL TO MIN 6" ABOVE TOP OF PIPE WITH 5-SACK CONCRETE.
12. ALL SOILS PROPOSED TO BE UTILIZED FOR TRENCH BEDDING AND BACKFILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE USE. IMPORTED TRENCH SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE BEING BROUGHT TO THE SITE.
13. UNDISTURBED SUBGRADE SOIL. THE GEOTECHNICAL ENGINEER SHALL APPROVE SUBGRADE PRIOR TO PLACING BEDDING.
14. UTILITY TRENCHES THAT ARE PARALLEL WITH FOOTINGS SHALL NOT BE BELOW A PLANE HAVING A DOWNWARD SLOPE OF 2:1 (H:V) FROM A LINE 9" ABOVE THE BOTTOM OUTSIDE EDGE OF THE FOOTING, AND NOT CLOSER THAN 18" FROM THE FACE OF THE FOOTING.
15. WHERE UTILITY TRENCHES CROSS BENEATH FOOTINGS (INCLUDING PERIMETER FOUNDATIONS), A CONCRETE PLUG SHALL BE PROVIDED.

1 PRIVATE UTILITY TRENCHING

SCALE: NONE

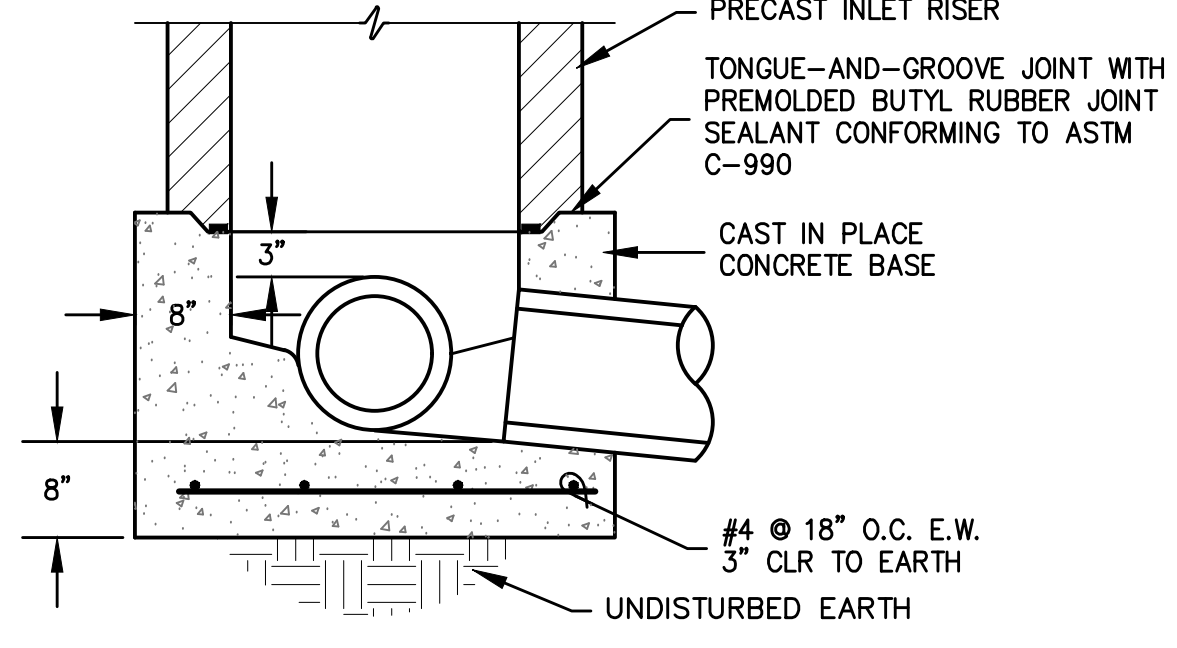


PRECAST DRAIN INLET

- NOTES:
1. WALL 'T'=4" FOR 12" INLETS, T=5" FOR 15"-27" INLETS, AND T=6" FOR 30" AND LARGER INLET SIZES.
 2. CAST IN PLACE CONCRETE AND PRECAST CONCRETE DRAIN INLETS SHALL CONFORM TO SECTION 51, "CONCRETE STRUCTURES", SECTION 52 "REINFORCEMENT", SECTION 70 "MISCELLANEOUS FACILITIES", SECTION 75 "MISCELLANEOUS METAL" OF THE STANDARD SPECIFICATIONS, AND THESE SPECIFICATIONS.
 3. PRECAST MEMBERS SHALL CONFORM TO SECTION 70-1.02H, "PRECAST CONCRETE STRUCTURES", OF THE STANDARD SPECIFICATIONS, AND NEW STANDARD PLAN D73A.
 4. THE FLOW LINE OF CONCRETE INLETS, WHETHER PRECAST OR CAST IN PLACE, SHALL BE FORMED IN THE FIELD TO PROVIDE A SMOOTH FLOW LINE WITH BENCH AT THE PIPE SPRING LINE. PRECAST INLET INVERT PAVING THICKNESS SHALL BE AT LEAST 3" BELOW THE BOTTOM OF THE LOWEST PIPE.
 5. STRUCTURES SHALL BE H-20 LOAD RATED IF LOCATED IN VEHICULAR AREAS, AND PEDESTRIAN LOAD RATED OTHERWISE.
 6. CAST-IN-PLACE CONCRETE MAY BE UTILIZED IN LIEU OF PRECAST UNIT BASE.
 7. ADA-COMPLIANT GRATES SHALL HAVE LESS THAN 1/2" CLEAR BETWEEN BARS, AND THE BARS SHALL BE ALIGNED PERPENDICULAR TO THE PATH OF TRAVEL. ALL GRATES WITHIN PEDESTRIAN AREAS SHALL BE ADA-COMPLIANT.
 8. ALL GRATES OR SOLID LIDS SHALL BE BOLT OR LOCK DOWN

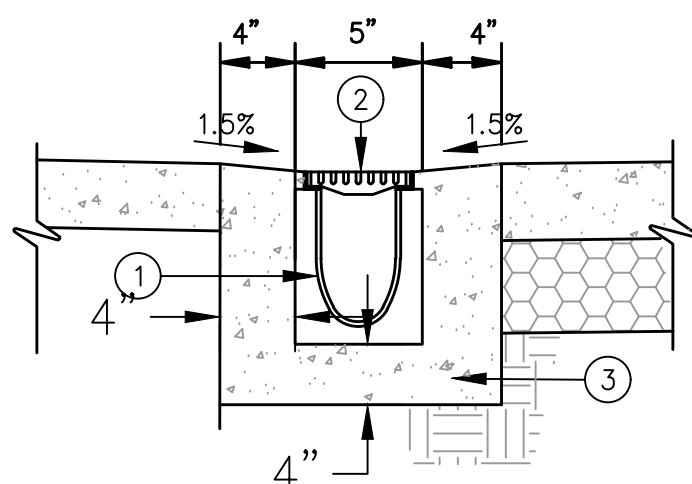
3 DRAIN INLET

NOT TO SCALE



OPTIONAL CAST-IN-PLACE BASE

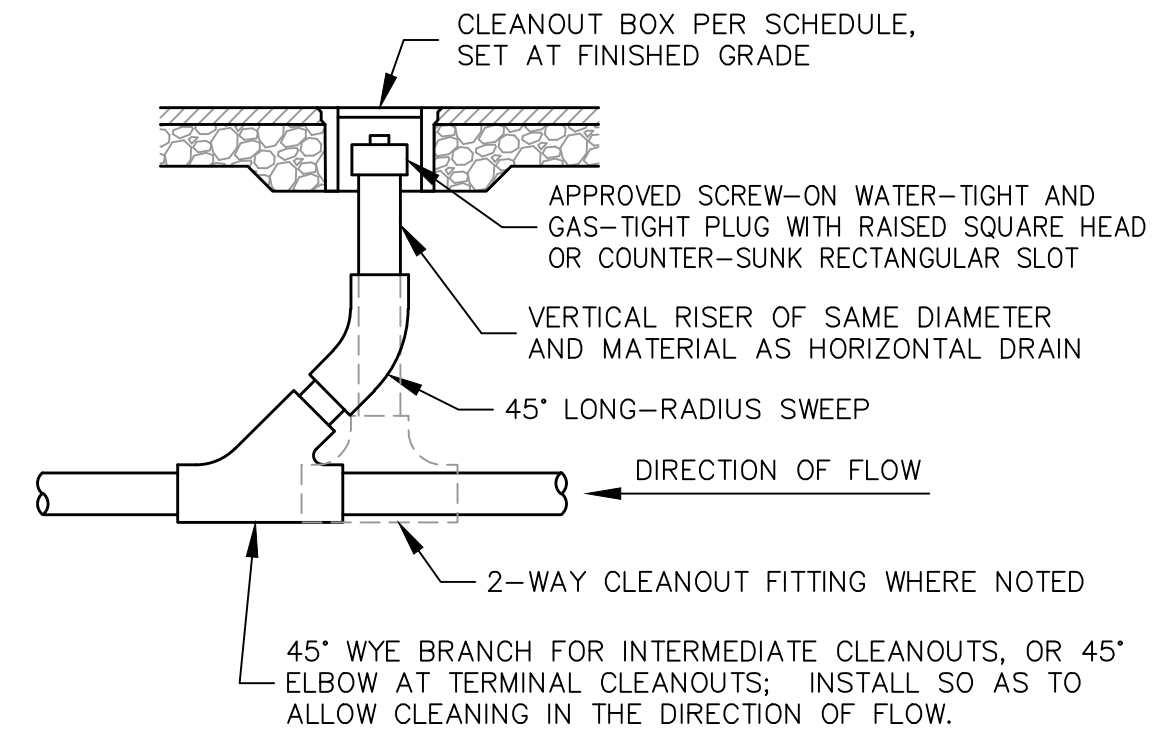
- NOTES:
1. WALL 'T'=4" FOR 12" INLETS, T=5" FOR 15"-27" INLETS, AND T=6" FOR 30" AND LARGER INLET SIZES.
 2. CAST IN PLACE CONCRETE AND PRECAST CONCRETE DRAIN INLETS SHALL CONFORM TO SECTION 51, "CONCRETE STRUCTURES", SECTION 52 "REINFORCEMENT", SECTION 70 "MISCELLANEOUS FACILITIES", SECTION 75 "MISCELLANEOUS METAL" OF THE STANDARD SPECIFICATIONS, AND THESE SPECIFICATIONS.
 3. PRECAST MEMBERS SHALL CONFORM TO SECTION 70-1.02H, "PRECAST CONCRETE STRUCTURES", OF THE STANDARD SPECIFICATIONS, AND NEW STANDARD PLAN D73A.
 4. THE FLOW LINE OF CONCRETE INLETS, WHETHER PRECAST OR CAST IN PLACE, SHALL BE FORMED IN THE FIELD TO PROVIDE A SMOOTH FLOW LINE WITH BENCH AT THE PIPE SPRING LINE. PRECAST INLET INVERT PAVING THICKNESS SHALL BE AT LEAST 3" BELOW THE BOTTOM OF THE LOWEST PIPE.
 5. STRUCTURES SHALL BE H-20 LOAD RATED IF LOCATED IN VEHICULAR AREAS, AND PEDESTRIAN LOAD RATED OTHERWISE.
 6. CAST-IN-PLACE CONCRETE MAY BE UTILIZED IN LIEU OF PRECAST UNIT BASE.
 7. ADA-COMPLIANT GRATES SHALL HAVE LESS THAN 1/2" CLEAR BETWEEN BARS, AND THE BARS SHALL BE ALIGNED PERPENDICULAR TO THE PATH OF TRAVEL. ALL GRATES WITHIN PEDESTRIAN AREAS SHALL BE ADA-COMPLIANT.
 8. ALL GRATES OR SOLID LIDS SHALL BE BOLT OR LOCK DOWN



- KEYNOTES:
1. 4" NOMINAL INTERNAL WIDTH MODULAR TRENCH CHANNEL UNITS, MINIMUM 4" DEEP AT UPSTREAM END OF RUN, WITH INTEGRAL 0.5% OR GREATER SLOPE. PRODUCT: ACO KLASSIKDRAIN K100, OR APPROVED EQUAL.
 2. 4"-WIDE IRON GRATE WITH LONGITUDINAL 0.45"-WIDE ADA-COMPLIANT OPENINGS AND IRON FRAME. LOAD RATING: EN 1433 CLASS E OR BETTER. GRATE SHALL BE BOLTED OR OTHERWISE SECURED TO THE FRAME.
 3. #4 @ 18" O.C. E.W.; PROVIDE ADDITIONAL REINFORCEMENT IF REQUIRED BY TRENCH DRAIN MANUFACTURER FOR LOAD RATING.

2 4" TRENCH DRAIN

NOT TO SCALE

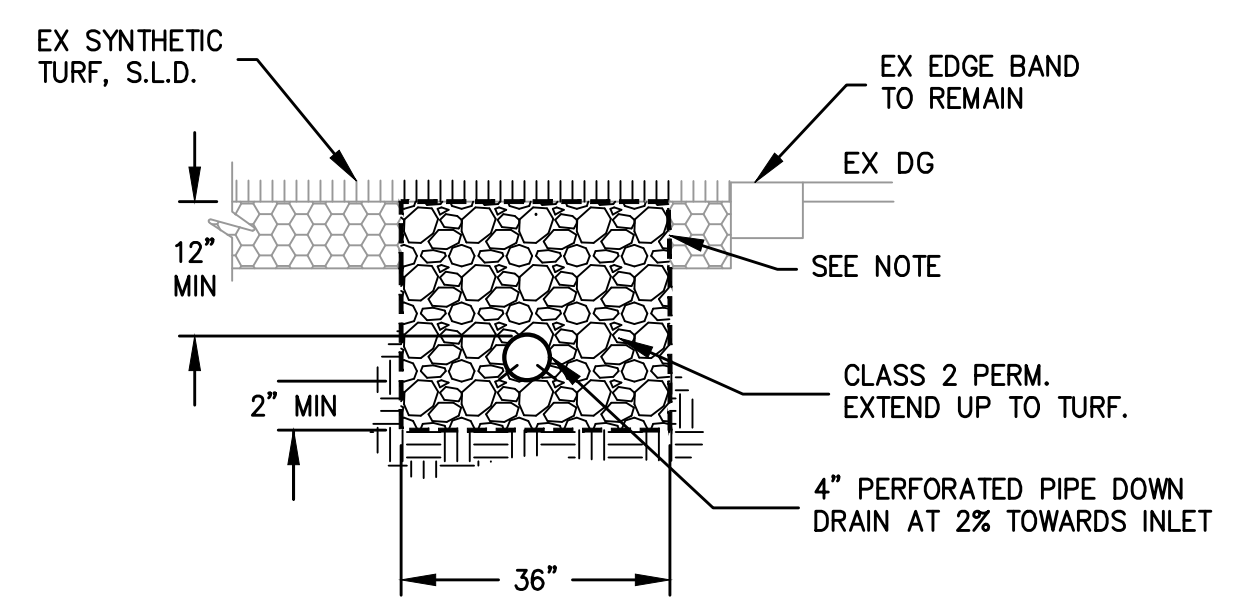


CLEANOUT BOX SCHEDULE

- PLANTER AREAS**
CHRISTY F08 BOX WITH REINFORCED CONCRETE LID, OR APPROVED EQUAL. LID MARKED "SEWER" OR "STORM", AS APPROPRIATE.
- LIGHT VEHICULAR AREAS (PARKING LOTS AND ASPHALT PAVED PEDESTRIAN AREAS)**
CHRISTY G03 OR G05 TRAFFIC-RATED BOX (OR APPROVED EQUAL) WITH CAST IRON LID. LID MARKED "SEWER" OR "STORM", AS APPROPRIATE.
- CONCRETE PAVED PEDESTRIAN AREAS (NO VEHICULAR TRAFFIC)**
CHRISTY "FIBERLYTE" FLO8 BOX WITH REINFORCED CONCRETE LID, OR APPROVED EQUAL. LID MARKED "SEWER" OR "STORM", AS APPROPRIATE.
- PEDESTRIAN AREAS WHERE A BRONZE COVER IS CALLED OUT**
6"-DIA. BRONZE FRAME AND COVER WITH 4"-DIA RISER PIPE, ZURN C02455, OR APPROVED EQUAL. LID TO BE MARKED "SEWER" OR "STORM", AS APPROPRIATE.

4 CLEANOUT

SCALE: NONE

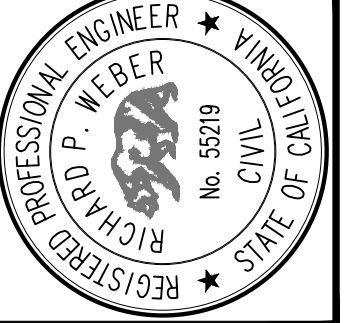


- NOTE:
1. AT EX DRAIN INLET, LOWER THE INLET TO BE JUST BELOW SYNTHETIC TURF. PROVIDE NEW TURF OVER INLET.

5 SUBDRAIN

SCALE: NONE

Civil Engineering
Land Surveying
4 Healy Court
Menlo Park, California
831.449.5225
whitsonengineers.com



SUBMITTAL / REVISION	PLANNING PERMIT SUBMITTAL
1	9/11/2024
CW	

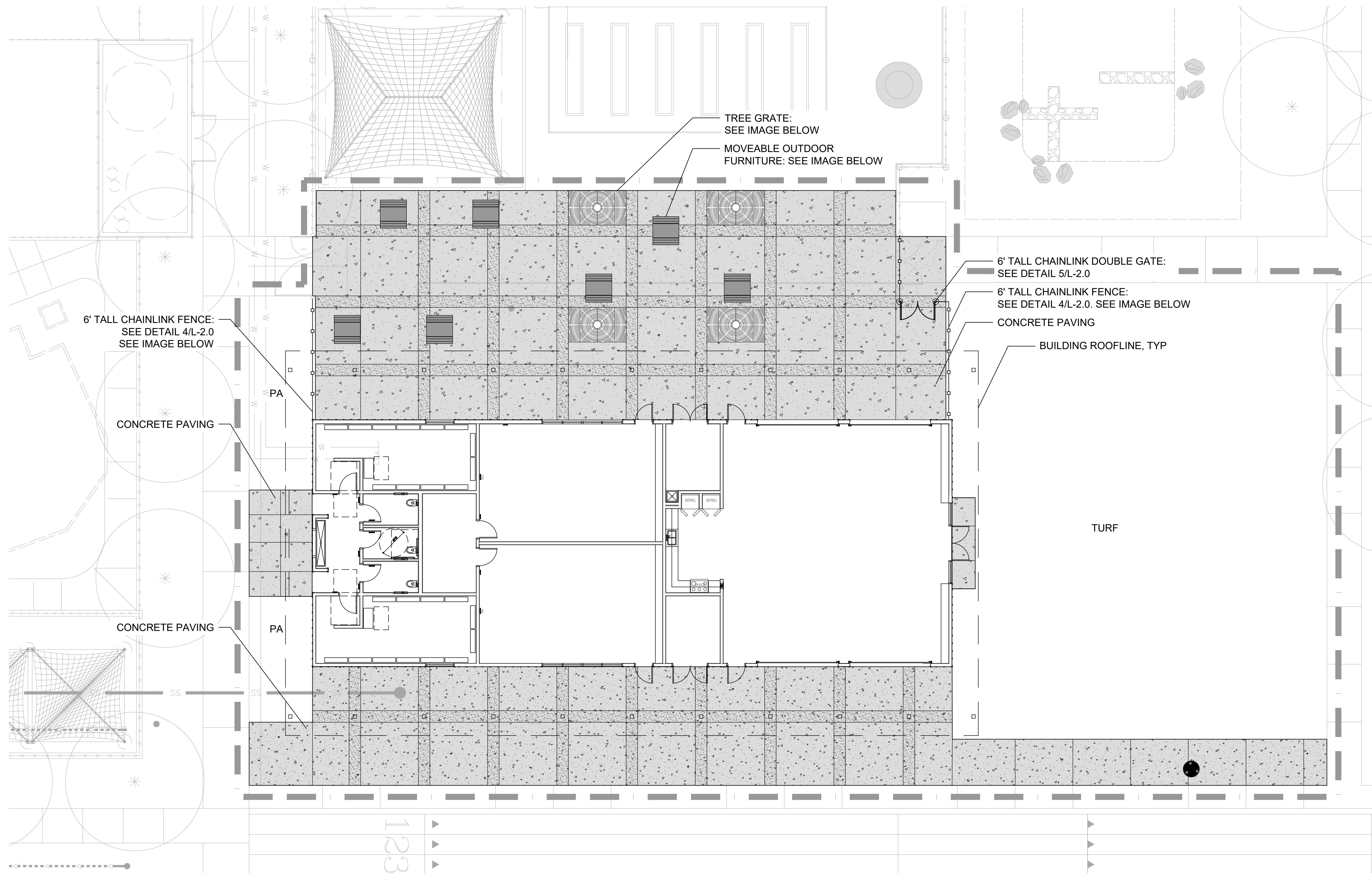
ALL SAINTS DAY SCHOOL FIELDHOUSE
8060 CARMEL VALLEY ROAD
CARMEL, CALIFORNIA

CIVIL DETAILS

SCALE:	
DRAWN:	CW
JOB No.:	2383.06
SHEET	C002
	OF 4



NOT FOR CONSTRUCTION



LEGEND

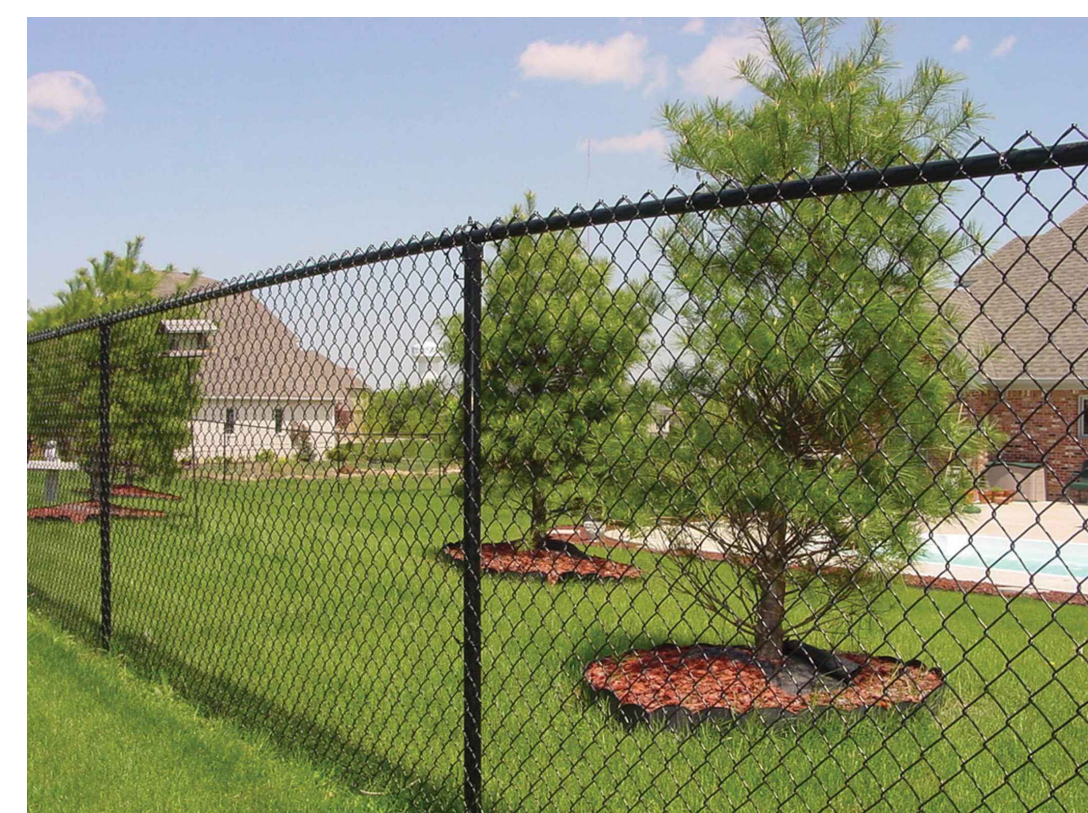
- Limit of Work
- Concrete Paving with Medium Broom Finish to Match Existing Concrete
- Colored Concrete Paving with Light Acid Etch Finish
- PA Planting Area: See Planting & Irrigation Plan

REVISIONS:

NO.	DATE	DESCRIPTION

1 Landscape Site Plan
 1" = 10'-0"

FURNITURE IMAGES



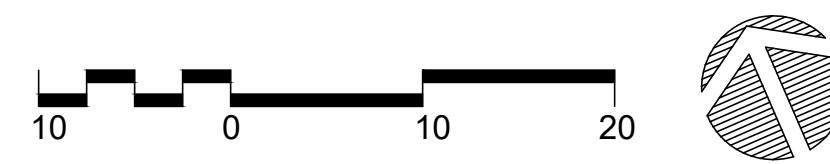
6 FEET TALL CHAINLINK FENCE



TREE GRATE



MOVEABLE OUTDOOR FURNITURE

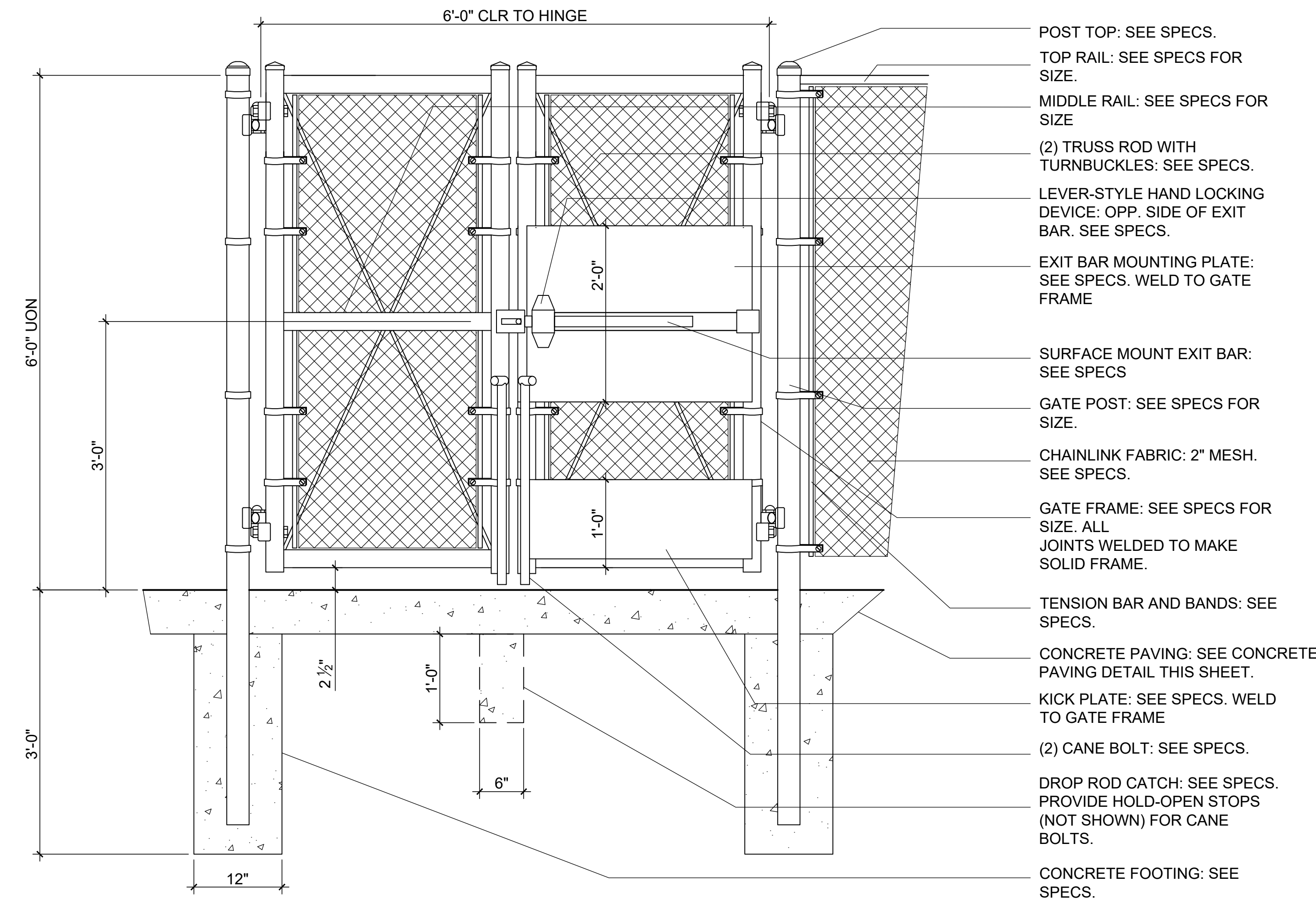


PROJECT:
 ALL SAINTS DAY
 SCHOOL FIELDHOUSE
 8060 CARMEL VALLEY RD
 CARMEL, CA 93923
 ALL SAINTS DAY SCHOOL

PROJECT NO: 24.012
 DATE: 08/23/2024
 SCALE: AS SHOWN
 DRAWN | CHECKED: CT/NL/BM
 ISSUANCE:
 SCHEMATIC DESIGN &
 PLANNING SUBMITTAL

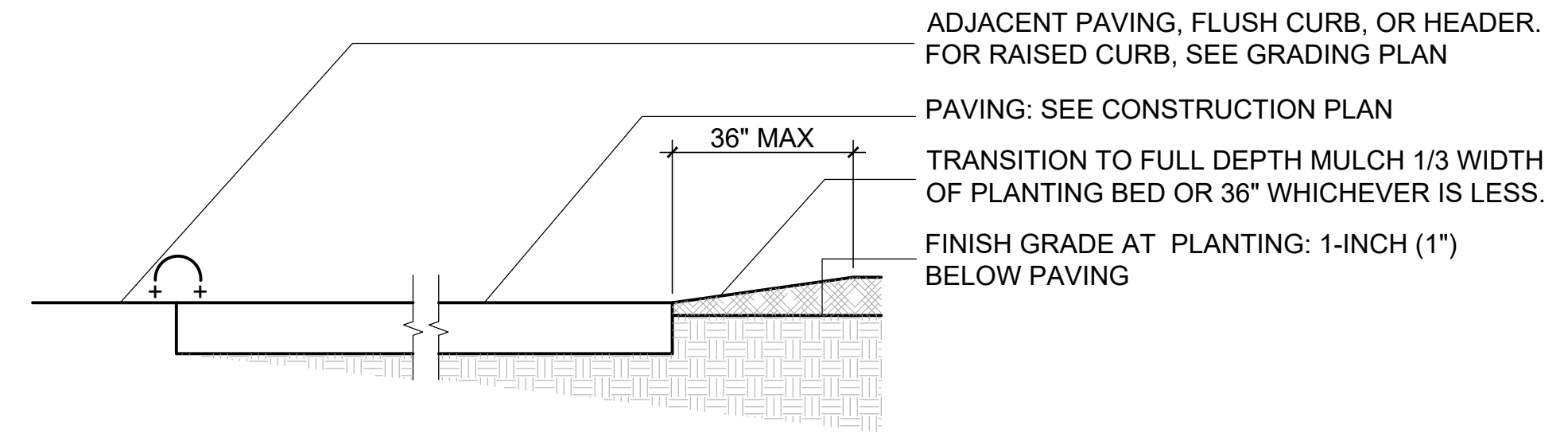
SHEET NAME:
**CONCEPTUAL
 LANDSCAPE
 SITE PLAN**

SHEET NO:

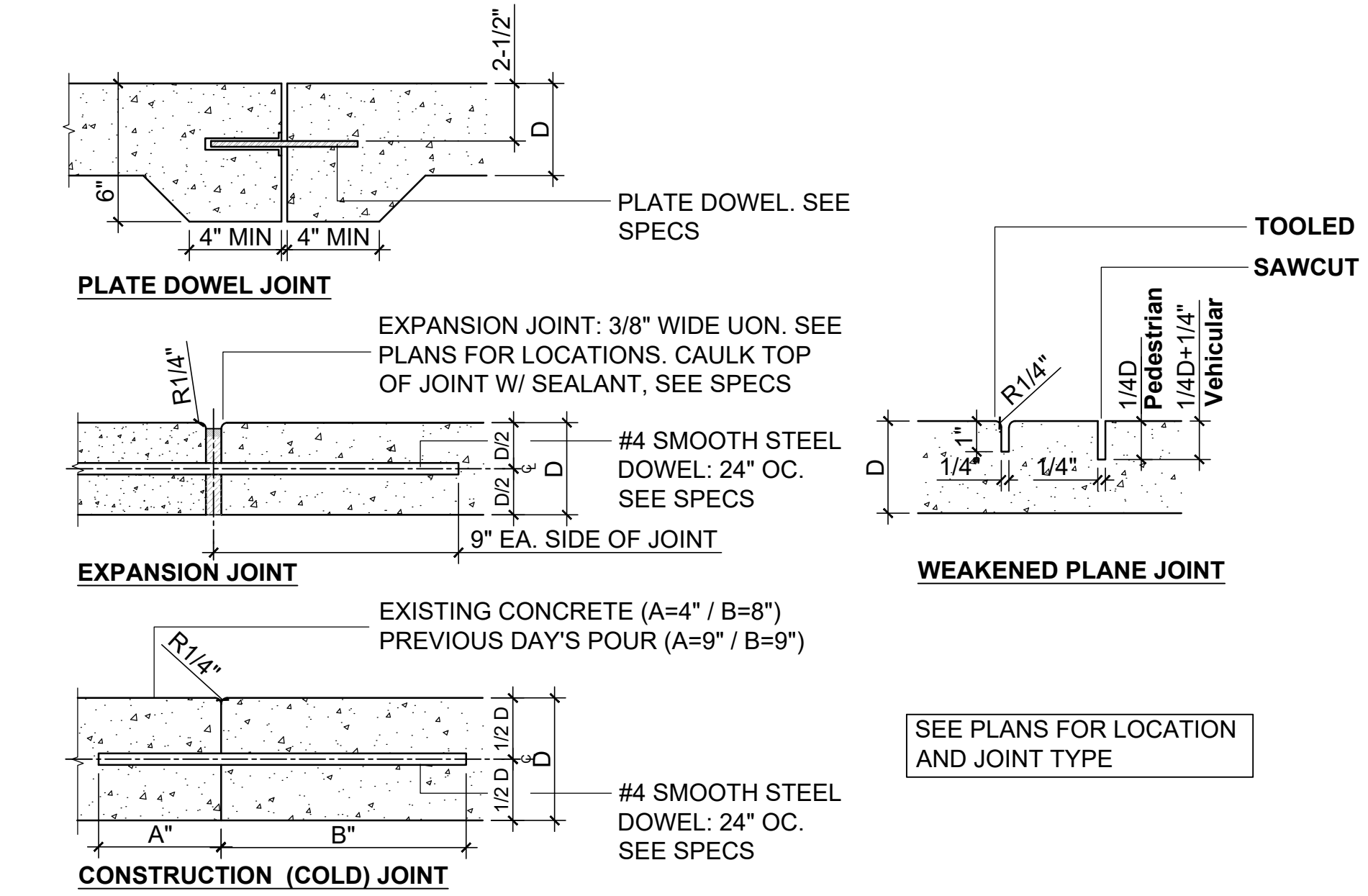


5 6' Tall Chainlink Double Gate
 1" = 1'-0"

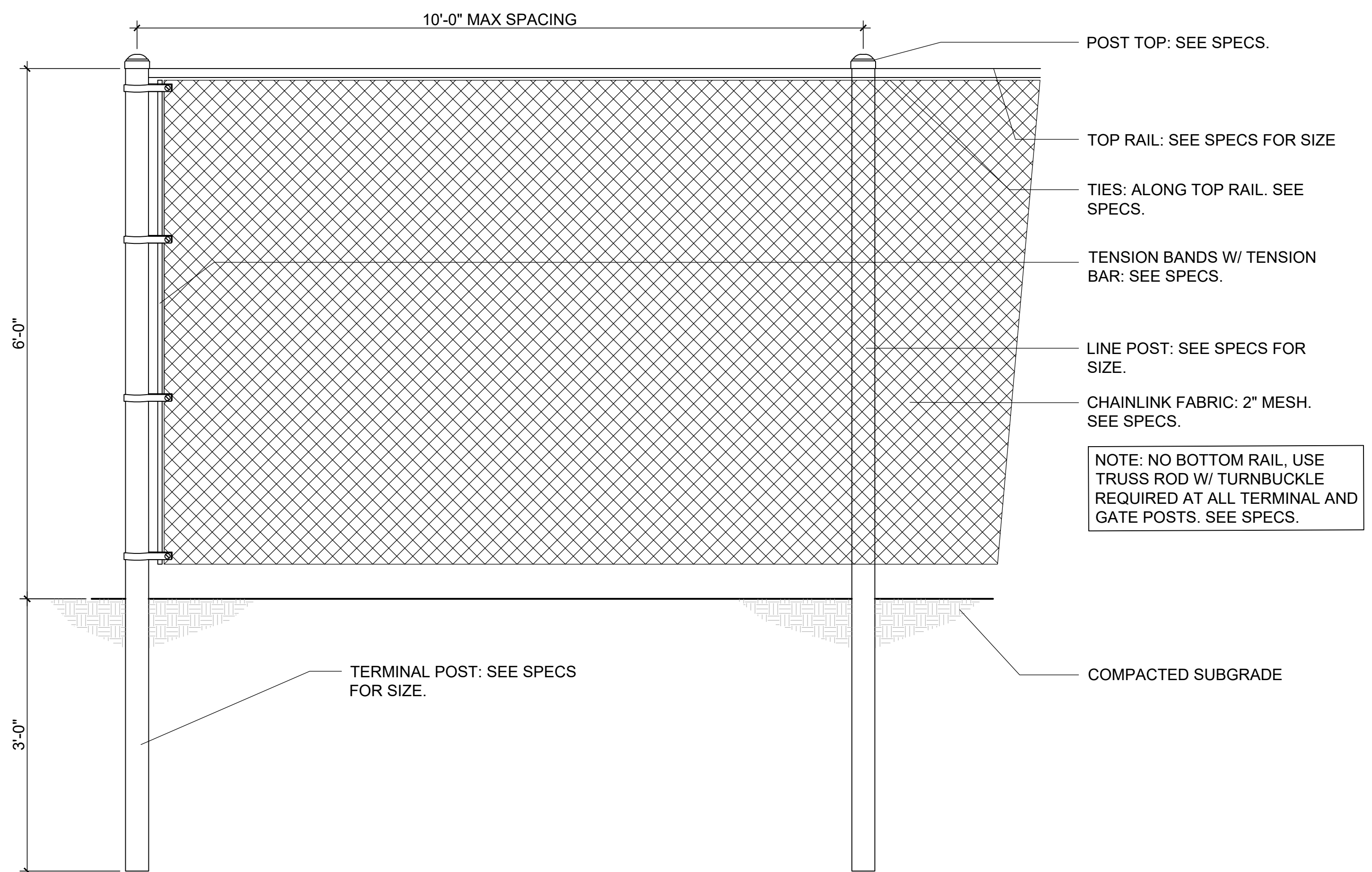
- POST TOP: SEE SPECS.
- TOP RAIL: SEE SPECS FOR SIZE.
- MIDDLE RAIL: SEE SPECS FOR SIZE
- (2) TRUSS ROD WITH TURNBUCKLES: SEE SPECS.
- LEVER-STYLE HAND LOCKING DEVICE: OPP. SIDE OF EXIT BAR. SEE SPECS.
- EXIT BAR MOUNTING PLATE: SEE SPECS. WELD TO GATE FRAME
- SURFACE MOUNT EXIT BAR: SEE SPECS
- GATE POST: SEE SPECS FOR SIZE.
- CHAINLINK FABRIC: 2" MESH. SEE SPECS.
- GATE FRAME: SEE SPECS FOR SIZE. ALL JOINTS WELDED TO MAKE SOLID FRAME.
- TENSION BAR AND BANDS: SEE SPECS.
- CONCRETE PAVING: SEE CONCRETE PAVING DETAIL THIS SHEET.
- KICK PLATE: SEE SPECS. WELD TO GATE FRAME
- (2) CANE BOLT: SEE SPECS.
- DROP ROD CATCH: SEE SPECS. PROVIDE HOLD-OPEN STOPS (NOT SHOWN) FOR CANE BOLTS.
- CONCRETE FOOTING: SEE SPECS.



3 Finish Grade
 1" = 1'-0"

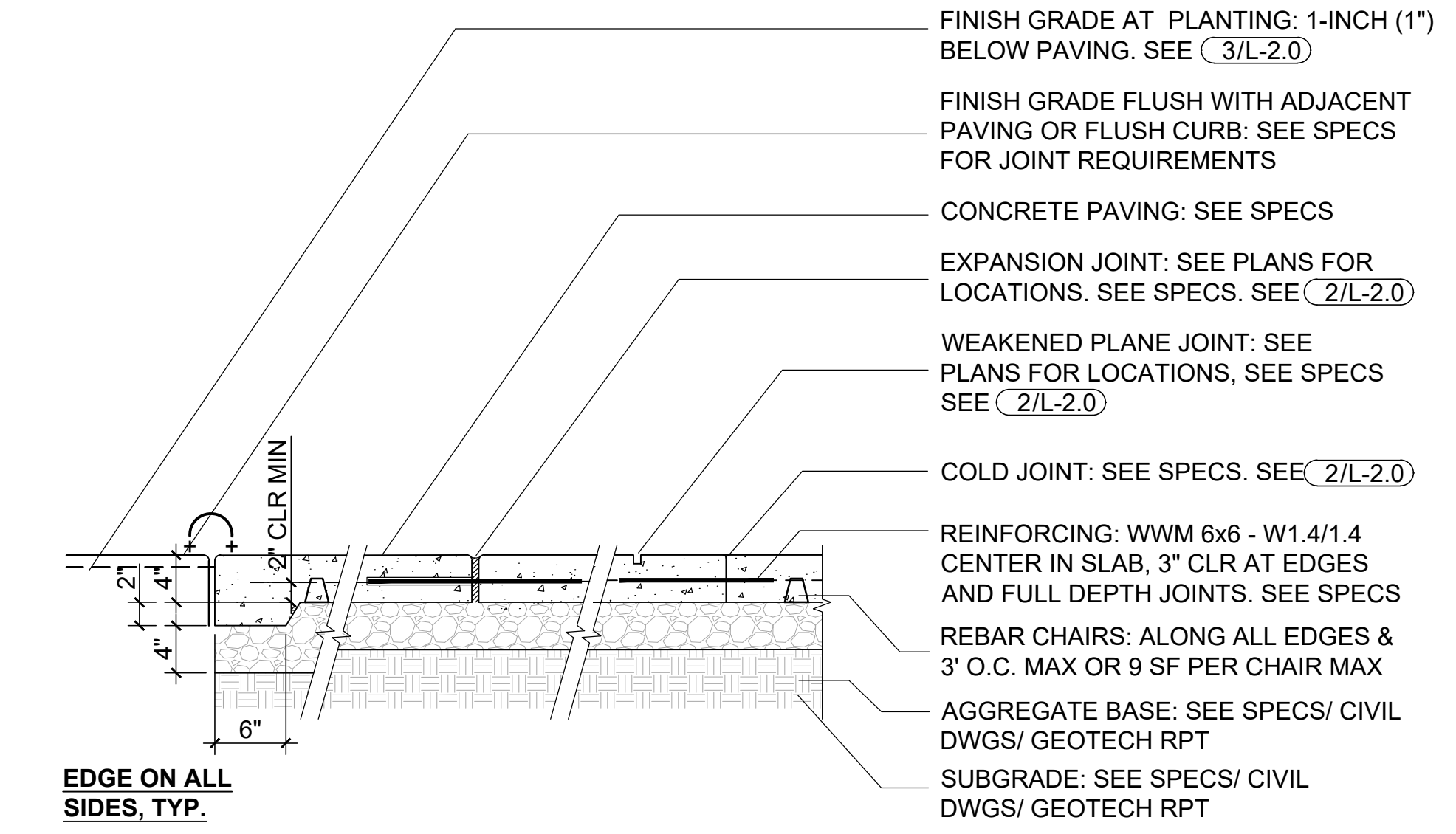


2 Concrete Joints, Typical
 NTS



4 6' Tall Chainlink Fence
 1" = 1'-0"

- POST TOP: SEE SPECS.
- TOP RAIL: SEE SPECS FOR SIZE
- TIES: ALONG TOP RAIL. SEE SPECS.
- TENSION BANDS W/ TENSION BAR: SEE SPECS.
- LINE POST: SEE SPECS FOR SIZE.
- CHAINLINK FABRIC: 2" MESH. SEE SPECS.
- NOTE: NO BOTTOM RAIL, USE TRUSS ROD W/ TURNBUCKLE REQUIRED AT ALL TERMINAL AND GATE POSTS. SEE SPECS.
- TERMINAL POST: SEE SPECS FOR SIZE.
- COMPACTED SUBGRADE



1 Concrete Paving
 1" = 1'-0"

REVISIONS:

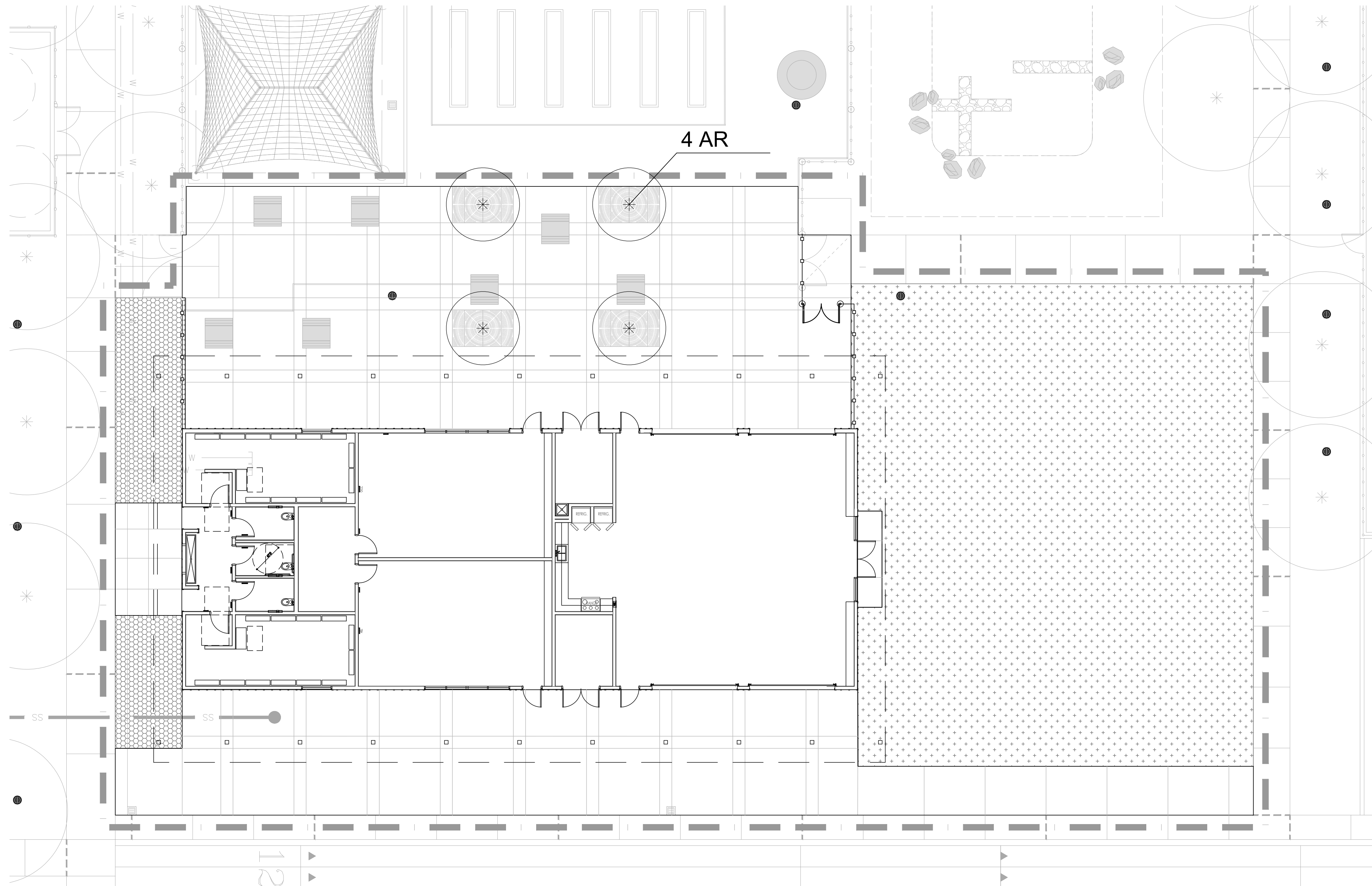
NO.	DATE	DESCRIPTION

PROJECT:
 ALL SAINTS DAY
 SCHOOL FIELDHOUSE
 8060 CARMEL VALLEY RD
 CARMEL, CA 93923
 ALL SAINTS DAY SCHOOL

PROJECT NO: 24.012
 DATE: 08/23/2024
 SCALE: AS SHOWN
 DRAWN | CHECKED: CT/NL/BM
 ISSUANCE:
 SCHEMATIC DESIGN &
 PLANNING SUBMITTAL

SHEET NAME:
**CONCEPTUAL
 LANDSCAPE
 DETAILS**

SHEET NO:



PLANTING LEGEND

CODE	*WUC	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
AR	M	Acer rubrum 'Armstrong'	Armstrong Red Maple	24" Box
Shrubs/Grasses/Groundcover				
L		Arctostaphylos edmundsii 'Carmel Sur'	Carmel Sur Manzanita	1 Gal. at 7' o.c.
L		Diets grandiflora	Fortnight Lily	1 Gal. at 3' o.c.
L		Lomandra longifolia 'Breeze'	Dwarf Mat Rush	1 Gal. at 3' o.c.
L		Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn	1 Gal. at 4' o.c.
SOD				
		Turf: Sod, See Specs		

Notes: Install mulch to all planting areas. Mulch thickness: 3" min.

*** WATER USE CATEGORY (WUC) KEY**

WUCOLS Region Applicable to this Project: REGION 1
 H = High; M = Moderate; L = Low; VL = Very Low; NL = Species Not Listed
 * from: Water Use Classification of Landscape Species, A Guide to the Water Needs of Landscape Plants (WUCOLS)
 Revised 2014, University of California Cooperative Extension, L.R. Costello, K.S. Jones

WATER EFFICIENT LANDSCAPE WORKSHEET

Project Name: ASDS Field House Status: SD Calc By: NL
 Project Number: 24.012 Date: 08/08/24

Reference Evapotranspiration (ET _o)		39.10						
Hydrozone #/Planting Description*	Plant Factor (PF)	Irrigation Method ^b s or d	Irrigation Efficiency (IE) ^c	ETAF (PFIE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
Planting Area	0.2	d	0.81	0.25	620	153.09	3711.12	
					Totals (A)	620 (B)	153.09	3711.12
Special Landscape Areas								
Turf				1.00	5100	5100.00	123634.20	
					Totals (C)	5100 (D)	5100.00	123634.20
						ETWU Total (Gallons)	127345.32	
						Maximum Allowed Water Allowance (MAWA)^e (Gallons)	74762.33	
						ETWU (Acre Feet)	0.39	
						MAWA (Acre Feet)	0.23	

*Hydrozone #/Planting Description: E.g. 1) front lawn, 2) low water use plantings, 3) medium water use planting
^bIrrigation Method: overhead/spray or drip
^cIrrigation Efficiency: 0.75 for spray/head, 0.81 for drip
^dETWU (Annual Gallons Required) = $ET_o \times 0.62 \times ETAF \times Area$ where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.
^eMAWA (Annual Gallons Allowed) = $(ET_o) (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$ where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

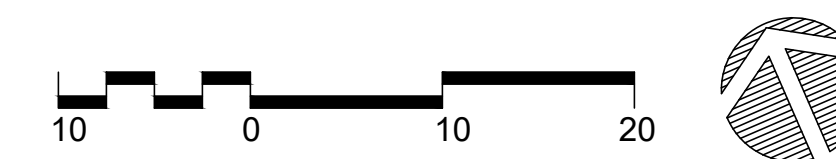
Regular Landscape Areas		
Total ETAF x Area	(B)	153.09
Total Area	(A)	620.00
Average ETAF	$B \div A$	0.25

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	5253.09
Total Area	(A+C)	5720.00
Site-wide ETAF	$(B+D) \div (A+C)$	0.92

REVISIONS:
 NO. DATE DESCRIPTION

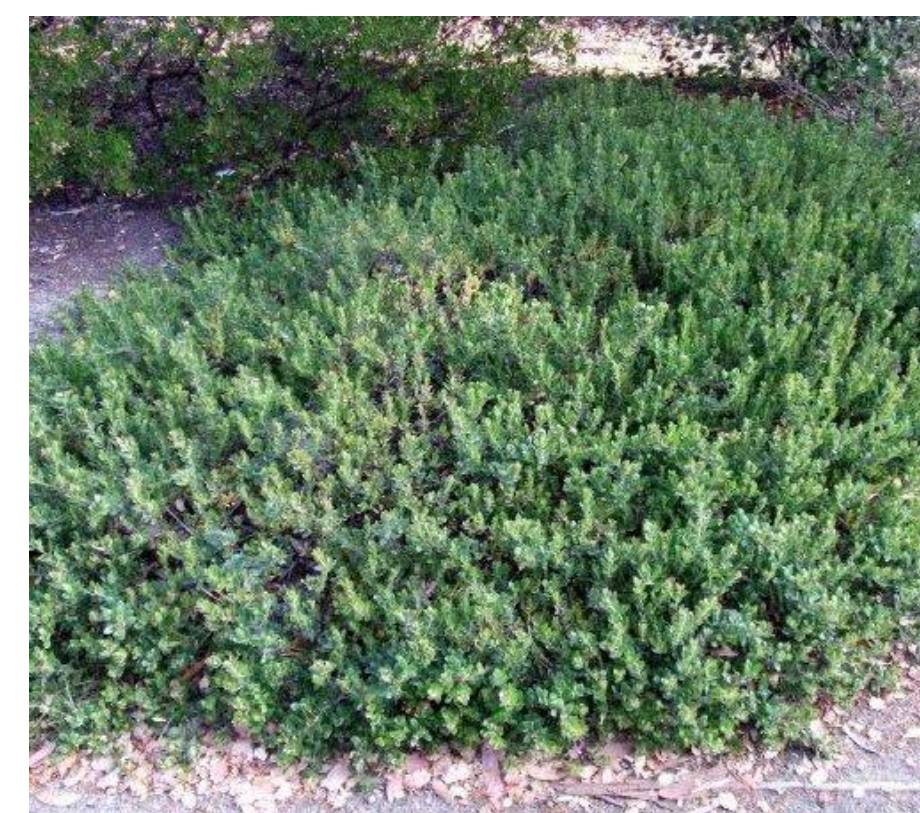
1 Landscape Planting Plan
 1" = 10'-0"



PLANT PALETTE



ACER RUBRUM 'ARMSTRONG'
 ARMSTRONG RED MAPLE



ARCTOSTAPHYLOS EDMUNDSII 'CARMEL SUR'
 CARMEL SUR MANZANITA



DIETES GRANDIFLORA
 FORTNIGHT LILY



LOMANDRA LONGIFOLIA 'BREEZE'
 DWARF MAT RUSH



RHAPHIOLEPIS INDICA 'CLARA'
 CLARA INDIAN HAWTHORN

PROJECT:
 ALL SAINTS DAY
 SCHOOL FIELDHOUSE
 8060 CARMEL VALLEY RD
 CARMEL, CA 93923
 ALL SAINTS DAY SCHOOL

PROJECT NO: 24.012
 DATE: 08/23/2024
 SCALE: AS SHOWN
 DRAWN | CHECKED: CT/NL/BM
 ISSUANCE:
 SCHEMATIC DESIGN &
 PLANNING SUBMITTAL

SHEET NAME:
**CONCEPTUAL
 LANDSCAPE
 PLANTING PLAN**

SHEET NO:

FUEL MANAGEMENT LEGEND

Fire Hazard Severity Zone: N/A

Natural Vegetation Retained: N/A

Project Limit of Work

Defensible Space Zone Boundary

Existing Emergency Vehicle Access

Zone 1: "Green Zone" (0'-30' from Structures)

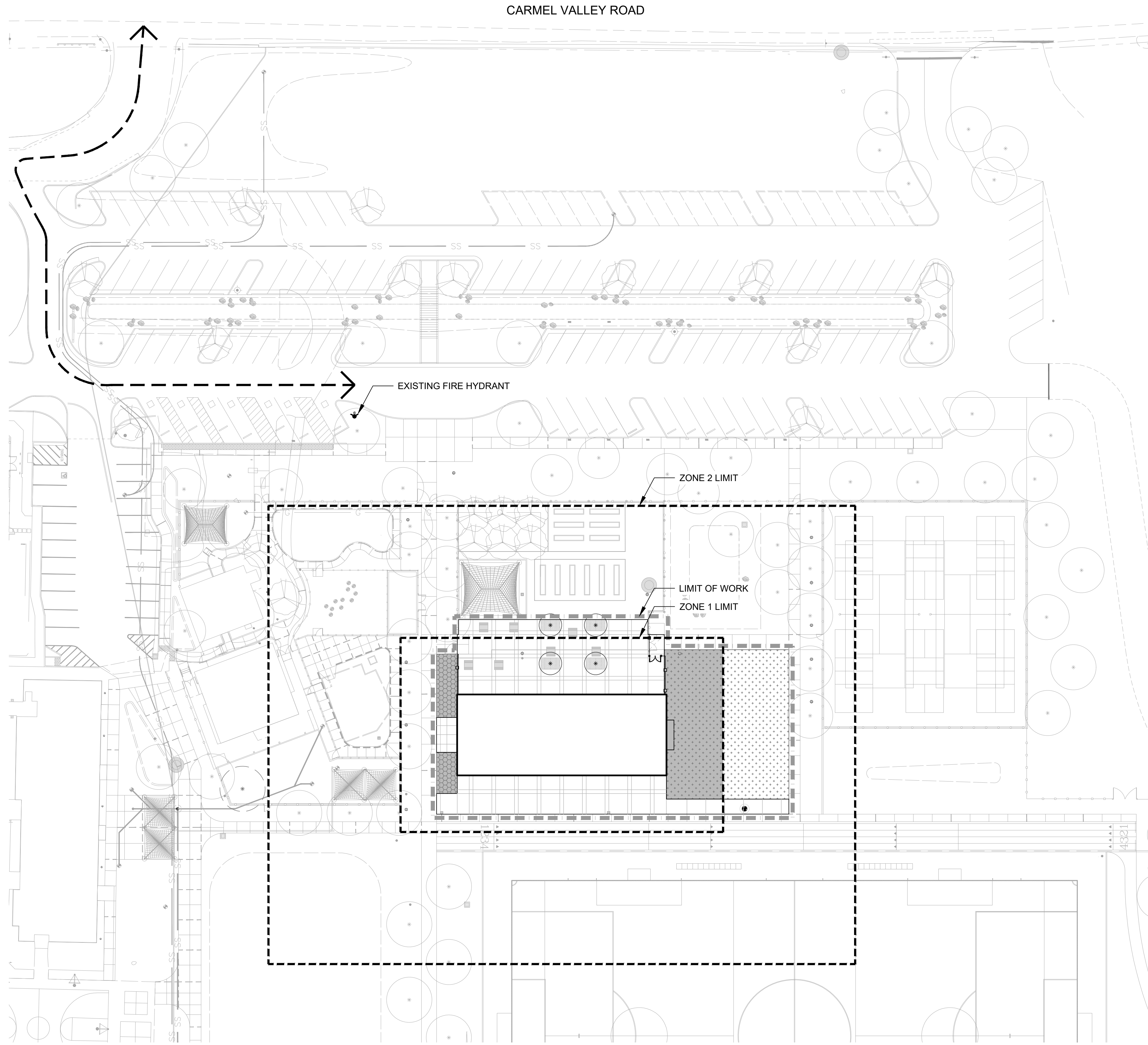
- Proposed Tree: 15' DIA, routine pruning. See Conceptual Landscape Planting Plan
- Proposed Shrub Planting Area: See Conceptual Landscape Planting Plan
- Proposed Turf Area: See Conceptual Landscape Planting Plan

Zone 2: "Management Zone" (30'+ from Structures)

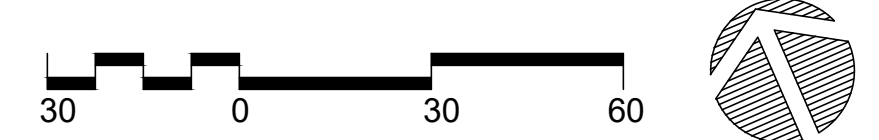
- Proposed Turf Area: See Conceptual Landscape Planting Plan

FUEL MANAGEMENT NOTES

1. Routinely remove dead and dry plants and plant debris.
2. Mow turf down to 4 inches maximum.
3. Mow turf before 10 A.M.
4. Maintain trees, shrubs, or other plants adjacent to or overhanging a building free of dead or dying wood.
5. Maintain trees to keep roof and rain gutters free of leaves, needles, or other vegetative materials.
6. Remove all tree branches within 10 feet of any stovepipe outlet.
7. Prune trees to not hang over the roof, and remove tree branches that extend over the roof.
8. Prune and remove tree branches routinely to create a 10-foot clearance from other trees.
9. Limb up trees for a clearance of 6 feet minimum.
10. Trees shall be routinely pruned in compliance with the latest edition of ANSI A300 Tree Care Standards and ANSI Z133 Safety Standards.



1 Fuel Management Plan
1" = 30'-0"



REVISIONS:		
NO.	DATE	DESCRIPTION

PROJECT:
ALL SAINTS DAY
SCHOOL FIELDHOUSE
8060 CARMEL VALLEY RD
CARMEL, CA 93923
ALL SAINTS DAY SCHOOL

PROJECT NO: 24.012
DATE: 08/23/2024
SCALE: AS SHOWN
DRAWN | CHECKED: CT/NL/BM
ISSUANCE:
SCHEMATIC DESIGN &
PLANNING SUBMITTAL

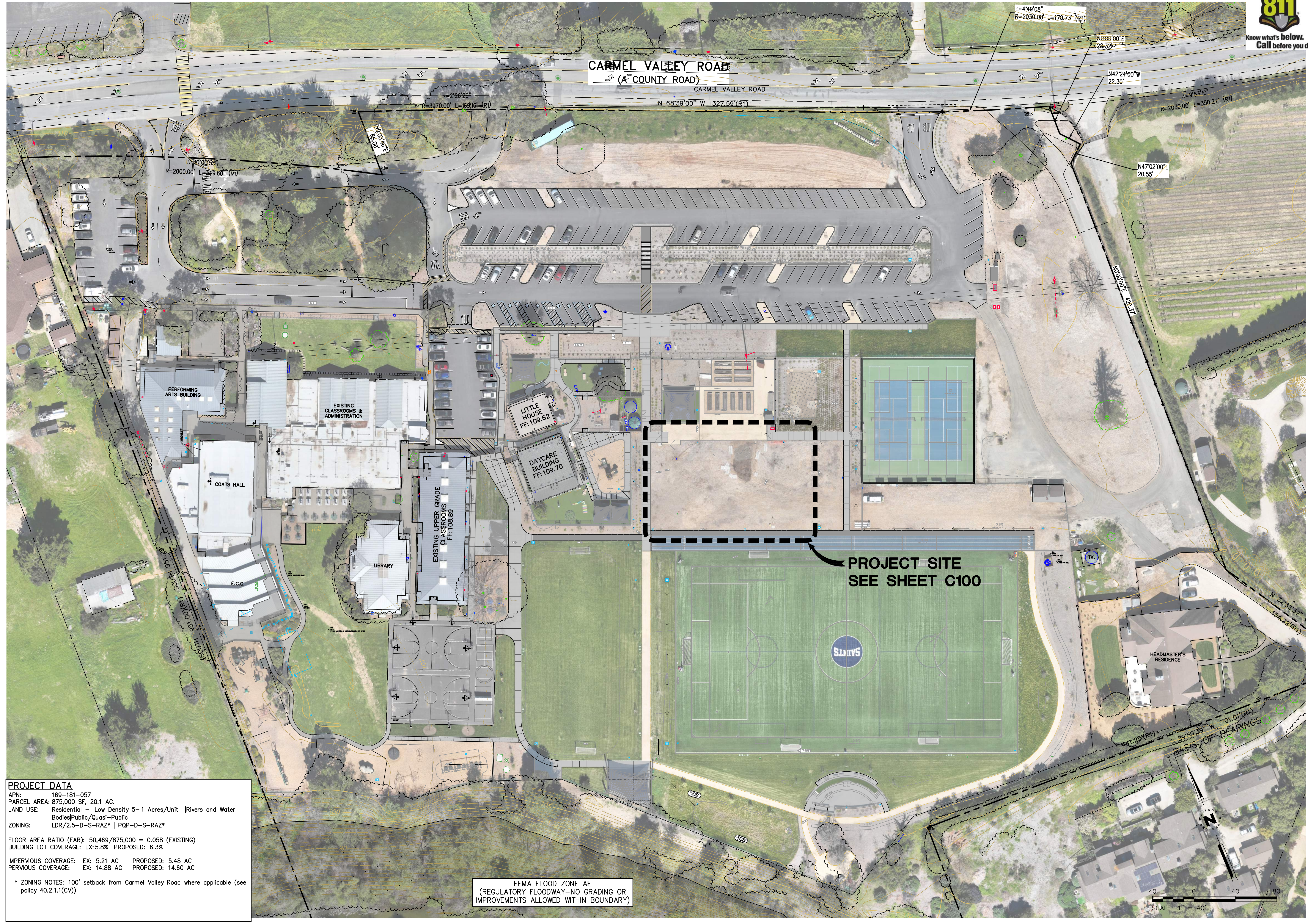
SHEET NAME:
**CONCEPTUAL
LANDSCAPE FUEL
MANAGEMENT
PLAN**

SHEET NO:



Know what's below. Call before you dig.

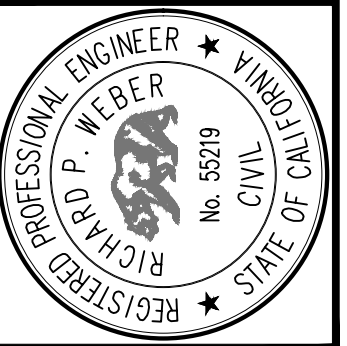
CARMEL VALLEY ROAD
(A COUNTY ROAD)



PROJECT DATA
 APN: 169-181-057
 PARCEL AREA: 875,000 SF, 20.1 AC
 LAND USE: Residential - Low Density 5-1 Acres/Unit | Rivers and Water Bodies|Public/Quasi-Public
 ZONING: LDR/2.5-D-S-RAZ* | POP-D-S-RAZ*
 FLOOR AREA RATIO (FAR): 50,469/875,000 = 0.058 (EXISTING)
 BUILDING LOT COVERAGE: EX: 5.8% PROPOSED: 6.3%
 IMPERVIOUS COVERAGE: EX: 5.21 AC PROPOSED: 5.48 AC
 PERVIOUS COVERAGE: EX: 14.88 AC PROPOSED: 14.60 AC
 * ZONING NOTES: 100' setback from Carmel Valley Road where applicable (see policy 40.2.1.1(CV))

FEMA FLOOD ZONE AE
(REGULATORY FLOODWAY-NO GRADING OR IMPROVEMENTS ALLOWED WITHIN BOUNDARY)

Civil Engineering
Land Surveying
6 Hester Court
Menlo Park, California
831.449.5225
whitsonengineers.com



SUBMITTAL / REVISION	DATE	DESCRIPTION
1	9/11/2024	PLANNING PERMIT SUBMITTAL
		CW

ALL SAINTS DAY SCHOOL FIELDHOUSE
8060 CARMEL VALLEY ROAD
CARMEL, CALIFORNIA

OVERALL SITE PLAN
EXISTING SITE CONDITIONS

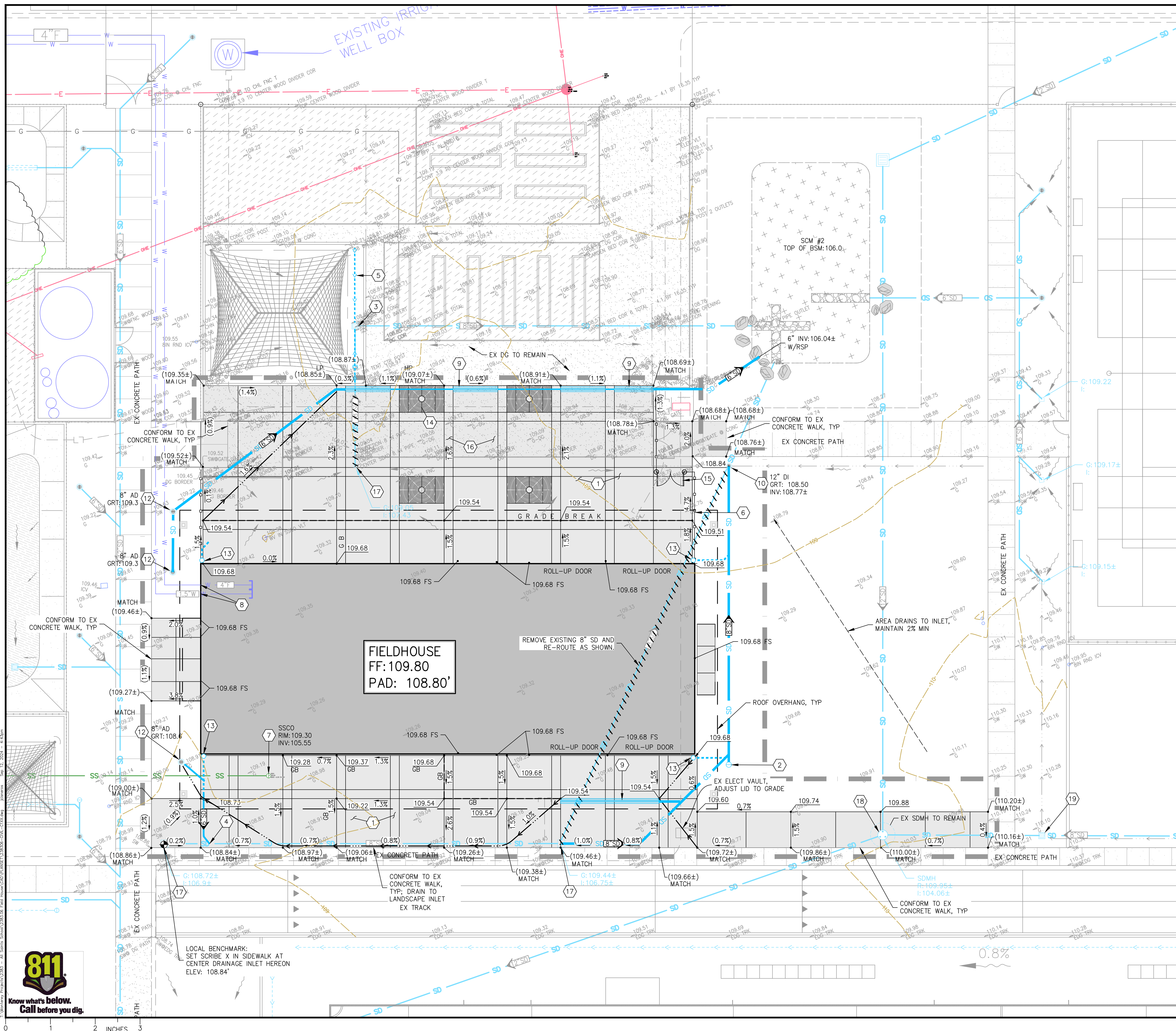
SCALE: 1" = 40'
DRAWN: CW
JOB No.: 2383.06
SHEET
C099
OF 5

NOT FOR CONSTRUCTION

3:\Marketing\Projects\2383.06 - All Saints School\2383.06 - All Saints School\2383.06 - CIVIL - 2209.dwg user: jwh 11/15/2024 5:24pm

0 1 2 3 INCHES

SCALE: 1" = 40'



CONSTRUCTION KEYNOTES:

1. CONCRETE PAVING/COLORED CONCRETE SURFACE, S.L.D.
2. STORM DRAIN CLEANOUT PER DETAIL 4(C)002.
3. LOWER EXISTING INLET TO REMAIN. SEE DETAIL 5(C)002.
4. CONNECT TO EXISTING STORM DRAIN.
5. INSTALL SUBDRAIN PER DETAIL 5(C)002.
6. FENCE WITH MOWBAND, S.L.D.
7. SEWER P.O.C., SEE PLUMBING DRAWINGS FOR ROUTING AND DETAILS. ADJUST RIM TO GRADE.
8. EXISTING DOMESTIC WATER AND FIRE WATER SERVICES TO BE ROUTED TO NEW BUILDING P.O.C., SEE PLUMBING DRAWINGS FOR ROUTING AND DETAILS.
9. TRENCH DRAIN (4"-WIDE) PER DETAIL 2(C)002.
10. 12" DI:12" SQUARE (INTERIOR DIMENSION) PRECAST CONCRETE DRAIN INLET WITH H-20 LOAD RATED GALVANIZED STEEL FRAME AND GRATE.
11. NOT USED.
12. 8"AD: ADS NYLOPLAST INLINE DRAIN
13. ROOF DOWNSPOUT CONNECTION, SEE ARCHITECTS DRAWINGS FOR DETAILS.
14. TREE GRATE (4 TOTAL), S.L.D.
15. 6' TALL CHAINLINK DOUBLE GATE, SEE LANDSCAPE DRAWINGS FOR DETAILS (REMOVE EXISTING GATE).
16. EXISTING DECOMPOSED GRANITE SURFACE TO BE REMOVED AND REPLACED WITH CONCRETE.
17. REMOVE EXISTING INLET AND CAP.
18. ADJUST SD MANHOLE RIM TO FINISH GRADE.
19. CONTRACTOR SHALL CONFIRM SD INLET IS INSTALLED PER ORIGINAL PLANS. IF NOT, INSTALL AS SHOWN.

GENERAL NOTES:

1. THE FIELD HOUSE BUILDING AND SITE AREA WAS INCLUDED IN THE APPROVED STORM WATER CONTROL MASTER PLAN FOR THE ALL SAINTS DAY SCHOOL DATED JULY 29, 2022. THE AREA WAS IDENTIFIED IN DRAINAGE MANAGEMENT AREA 2 AND DRAINS DRAINS TO STORMWATER CONTROL MEASURE 2 (SCM).
2. THE PROJECT WILL MEET THE REQUIREMENTS OF THE APPROVED STORM WATER CONTROL MASTER PLAN AND WILL NOT REQUIRE ANY ADDITIONAL STORMWATER CONTROL MEASURES.

Civil Engineering
Land Surveying
4 Hester Court
Monterey, California
831.649.9225
whitsonengineers.com

Whitson
ENGINEERS

SUBMITTAL / REVISION

NO.	DESCRIPTION
1	PLANNING PERMIT SUBMITTAL 9/11/2024 CW

8060 CARMEL VALLEY ROAD
CARMEL, CALIFORNIA

ALL SAINTS DAY SCHOOL FIELD HOUSE

PRELIMINARY CIVIL GRADING, DRAINAGE AND UTILITY PLAN

SCALE: 1"=10'

DRAWN: CW

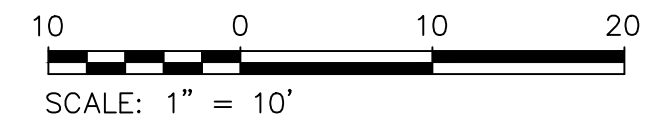
JOB No.: 2383.06

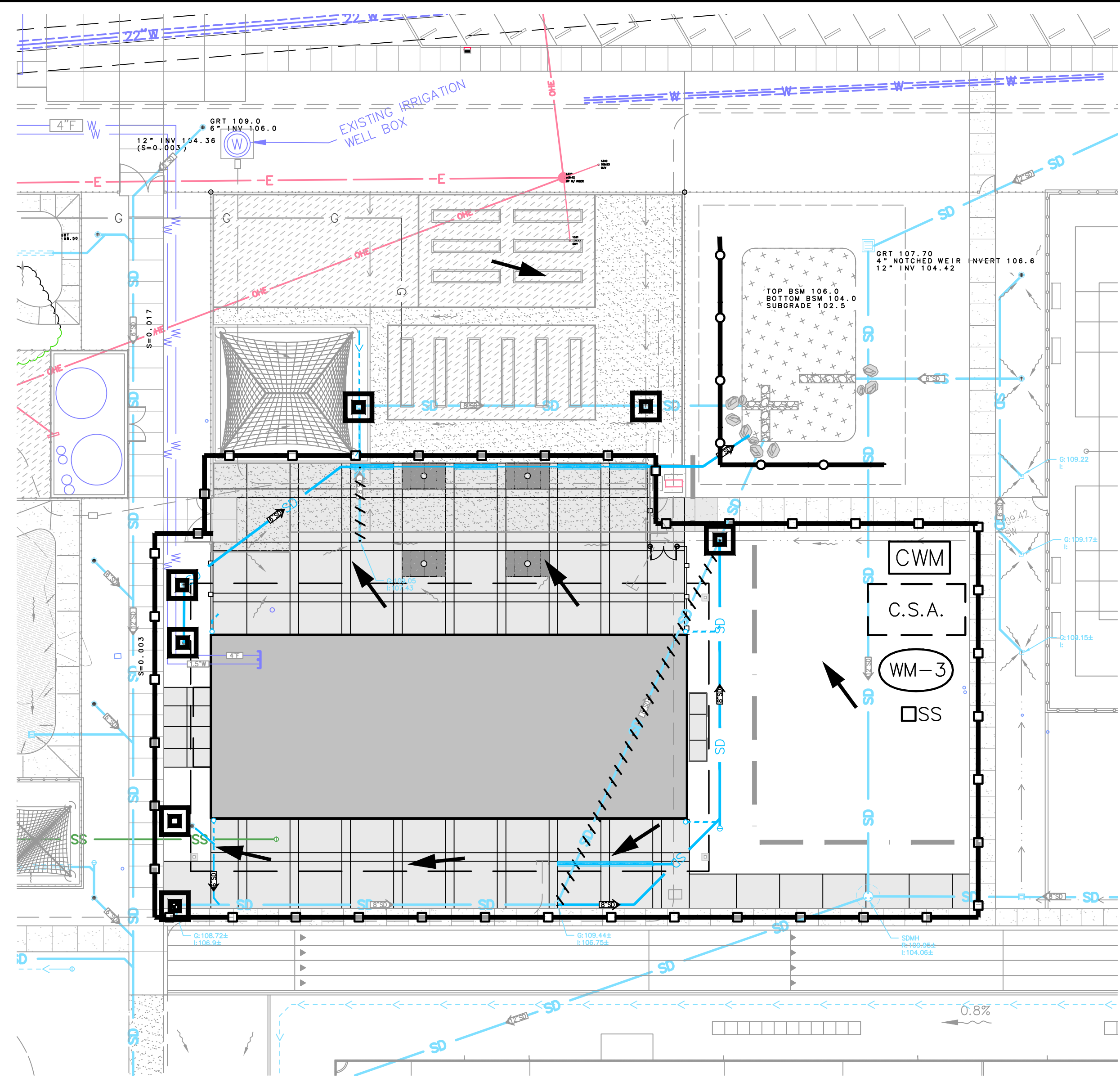
SHEET

C100

OF 4

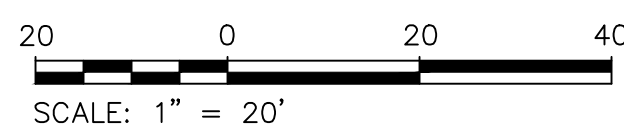
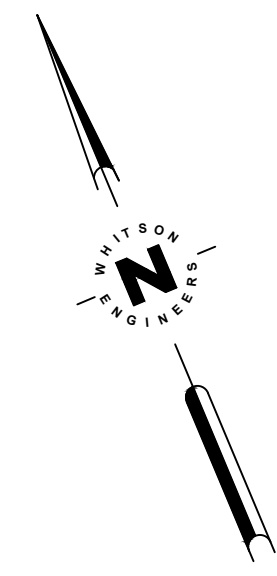
NOT FOR CONSTRUCTION





LEGEND

SYMBOL	BMP #	DESCRIPTION
	EC-9	EARTH DIKES, DRAINAGE SWALES AND LINED DITCHES
	SE-1, SE-5, SE-6	LINEAR SEDIMENT BARRIER: LARGE-DIAMETER FIBER ROLL, SILT FENCE, OR COMPOST SOCK (CONTRACTOR'S OPTION)
	SE-1	LINEAR PERIMETER SEDIMENT CONTROL: SILT FENCE
	SE-6	GRAVEL BAG CHECK DAM
	SE-7	STREET SWEEPING
	SE-10	INLET PROTECTION
	WM-8	CONCRETE WASTE MANAGEMENT (WASHOUT) AREA
	TC-1	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	WM-1	CONSTRUCTION STAGING AREA: MATERIAL STORAGE, VEHICLE AND EQUIPMENT STAGING, MAINTENANCE AND FUELING, LOADING/UNLOADING, AND WASTE MANAGEMENT
	WM-3	TEMPORARY STOCKPILES
	WM-9	SANITARY FACILITIES
	-	DIRECTION OF DRAINAGE
	★ #1	DISCHARGE MONITORING AND SAMPLING LOCATION
	-	TEMPORARY CONSTRUCTION SITE FENCING (CONCEPTUAL LOCATION; MAY BE REVISED IN THE FIELD)
	-	TEMPORARY TREE PROTECTION FENCING OR ENVIRONMENTALLY SENSITIVE AREA (E.S.A.) FENCING (42"-TALL SNOW FENCE)
	-	PERMANENT STORMWATER CONTROL MEASURE (SCM): SEE PROTECTION NOTES HEREON



TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

- ESTIMATED TOTAL DISTURBED SOIL AREA: 0.30 ACRES. THIS PROJECT WILL DISTURB LESS THAN 1 ACRE OF SOIL AND THEREFORE IS NOT SUBJECT TO THE CONSTRUCTION GENERAL PERMIT. THIS PLAN DOES NOT NECESSARILY REFLECT THE BMP DEPLOYMENT REQUIRED DURING ALL CONSTRUCTION STAGES OR FOR ALL CONSTRUCTION SITE CONDITIONS. THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER (WPCM) IS RESPONSIBLE FOR REGULARLY EVALUATING SITE CONDITIONS AND IMPLEMENTING BMP'S NECESSARY TO PROTECT WATER QUALITY AND TO COMPLY WITH ALL RULES, REGULATIONS AND PERMITS.
- BEST MANAGEMENT PRACTICES (BMP'S) (MATERIALS AND THEIR INSTALLATION) SHALL CONFORM TO ONE OF THE FOLLOWING:
 - THE 2019 EDITION OF THE CALTRANS STORM WATER QUALITY HANDBOOKS PDDG.
 - THE 2023 EDITION OF THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICE (BMP) HANDBOOK BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA).
 BMP DESIGNATIONS REFER TO THE DESIGNATIONS GIVEN IN THE CASQA BMP MANUAL.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM WATER POLLUTION CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. ANY MATERIAL THAT IS TO BE HAULED OFF-SITE SHALL BE COVERED. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- KEEP ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS ON SITE IN CASE IMMEDIATE REPAIRS OR MODIFICATIONS ARE REQUIRED.
- STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND AT LEAST QUARTERLY DURING CONSTRUCTION FOR ALL PERSONS WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER IF THE PROJECT DOES NOT HAVE A SWPPP, OR BY THE CONTRACTOR-PROVIDED OSP IF THE PROJECT DOES HAVE A SWPPP. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO: GOOD HOUSEKEEPING, MATERIAL MANAGEMENT PRACTICES, SPILL PREVENTION AND RESPONSE, LOCATIONS AND FUNCTIONS OF EROSION AND SEDIMENT CONTROL DEVICES, AND FINES AND PENALTIES.

BEST MANAGEMENT PRACTICES

- SCHEDULE THE WORK (BMP EC-1) TO MINIMIZE THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PROVIDE CONSTRUCTION SITE PERIMETER PROTECTION PRIOR TO GROUND DISTURBANCE AND MAINTAIN THROUGHOUT THE COURSE OF CONSTRUCTION. USE SILT FENCE (BMP SE-1) AND STABILIZED CONSTRUCTION ENTRANCE AND EXIT (BMP TC-1) UNLESS OTHERWISE SHOWN. A LINEAR SEDIMENT BARRIER BMP (E.G., LARGE-DIAMETER FIBER ROLL) MAY BE USED IN LIEU OF SILT FENCE AS A PERIMETER PROTECTION BMP ONLY IF APPROVED BY THE ENGINEER. REMOVE PERIMETER PROTECTION BMP'S AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED SOIL AREAS HAVE BEEN STABILIZED.
- PROVIDE INLET PROTECTION (BMP SE-10) AT ALL DRAIN INLETS WITHIN THE CONSTRUCTION SITE AND AT DRAIN INLETS THAT RECEIVE RUNOFF FROM STREETS AND OTHER PAVED AREAS THAT MAY HAVE SEDIMENT TRACKED ONTO THEM FROM THE CONSTRUCTION SITE. REMOVE INLET PROTECTION BMP'S AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED SOIL AREAS HAVE BEEN STABILIZED.
- LINEAR SEDIMENT CONTROL BMP'S SHALL BE ONE OF THE FOLLOWING:
 - FIBER ROLL
 - MANUFACTURED LINEAR SEDIMENT BARRIER
 - COMPOST SOCK OR COMPOST BERM
- FINISH GRADE AND INSTALL PERMANENT EROSION CONTROL (MULCH AND LANDSCAPING) AS EARLY IN THE CONSTRUCTION SEQUENCE AS FEASIBLE. PROVIDE TEMPORARY "EFFECTIVE SOIL COVER" ON ALL "INACTIVE DISTURBED AREAS" (DEFINED AS AREAS WHICH HAVE NOT BEEN DISTURBED FOR AT LEAST 14 DAYS) PRIOR TO INSTALLATION OF FINAL LANDSCAPING, IF FINAL LANDSCAPING CANNOT BE INSTALLED WITHIN THE REQUIRED 14 DAY WINDOW. FOR FINISH GRADED AREAS, IMPLEMENT PERMANENT SOIL COVER AS SHOWN ON THE LANDSCAPE DRAWINGS. WHERE PERMANENT EROSION CONTROL WILL NOT BE IMPLEMENTED, IMPLEMENT ONE OF THE FOLLOWING TEMPORARY BMP'S:
 - TEMPORARY HYDRAULIC MULCH
 - TEMPORARY HYDROSEED
 - TEMPORARY STRAW MULCH
- SELECT THE TEMPORARY SOIL COVER BMP BASED ON THE DURATION THAT THE BMP IS NEEDED.
- FOR TEMPORARY HYDRAULIC MULCH AND TEMPORARY HYDROSEED, APPLY FIBER AT A MINIMUM RATE OF 2,000 LBS/ACRE. APPLY TACKED STRAW AT A MINIMUM RATE OF 2,000 LBS/ACRE. APPLY TACKIFIER AT THE MANUFACTURER'S RECOMMENDED RATE FOR THE SLOPE, SOIL AND WIND CONDITIONS.
- PROVIDE WIND EROSION CONTROL (BMP WE-1) AT ALL TIMES DURING CONSTRUCTION AS REQUIRED BY FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- PROVIDE VELOCITY DISSIPATION DEVICE (BMP EC-10) AT ALL PIPE DISCHARGE LOCATIONS AND OTHER LOCATIONS WHERE CONCENTRATED STORMWATER DISCHARGE MAY CAUSE EROSION.
- PROVIDE EARTH DIKES AND DRAINAGE SWALES (BMP EC-9) WHERE NEEDED TO PREVENT STORMWATER RUN-ON FROM OFFSITE AREAS FROM ENTERING THE WORK AREA AND CAUSING EROSION. THE WPCM SHALL REGULARLY EVALUATE THE DRAINAGE PATTERNS ON THE CONSTRUCTION SITE AND DIRECT IMPLEMENTATION OF THIS BMP WHERE APPROPRIATE.
- PROVIDE EARTH DIKES AND DRAINAGE SWALES (BMP EC-9) AND SLOPE DRAINS (BMP EC-11) WHERE NEEDED TO COLLECT AND CONVEY CONCENTRATED DRAINAGE DOWN A GRADED SLOPE. THE WPCM SHALL REGULARLY EVALUATE THE DRAINAGE PATTERNS ON THE CONSTRUCTION SITE AND DIRECT IMPLEMENTATION OF THIS BMP WHERE APPROPRIATE.
- IMPLEMENT ALL APPLICABLE NON-STORMWATER BMP'S (NS-SERIES BMP'S) AND MATERIAL MANAGEMENT BMP'S (WM-SERIES BMP'S).
- LIMIT THE USE OF PLASTIC MATERIALS WHEN MORE SUSTAINABLE, ENVIRONMENTALLY FRIENDLY ALTERNATIVES EXIST. WHERE PLASTIC MATERIALS ARE DEEMED NECESSARY, CONSIDER THE USE OF PLASTIC MATERIALS RESISTANT TO SOLAR DEGRADATION AND WHICH MAY BE RE-USED.

MONTEREY COUNTY REQUIREMENTS

- ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY CODE, INCLUDING CHAPTER 16.08 "GRADING" AND CHAPTER 16.12 "EROSION CONTROL".
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- ALL OR PART OF THE CONSTRUCTION OF THIS PROJECT IS EXPECTED TO OCCUR DURING THE WINTER SEASON (OCTOBER 15TH THROUGH APRIL 15TH).
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)
- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
- THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 1 AND APRIL 30.
 - DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
- AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.

BMP OBSERVATION AND MAINTENANCE

- VISUALLY OBSERVE AND MAINTAIN BEST MANAGEMENT PRACTICES (BMP'S) AS FOLLOWS:
 - WEEKLY, AND
 - WITHIN 72 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 96 HOURS AFTER EACH STORM EVENT.
 - DAILY DURING STORM EVENTS
- REPAIR DAMAGED BMP'S WITHIN 48 HOURS OF OBSERVATION.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMP'S BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE DRAWINGS OR SPECIFICATIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
- TRASH AND DEBRIS SHALL BE REMOVED FROM BMP'S DURING SCHEDULED INSPECTIONS.
- REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
- REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACK-WALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

Civil Engineering
Land Surveying
6 Hester Court
Monterey, California
831.449.9225
whitsonengineers.com

Whitson
ENGINEERS

SUBMITTAL / REVISION

PLANNING PERMIT SUBMITTAL

1 9/11/2024

CW

ALL SAINTS DAY SCHOOL FIELD HOUSE
8060 CARMEL VALLEY ROAD
CARMEL, CALIFORNIA

TEMPORARY WATER POLLUTION CONTROL PLAN

SCALE: 1"=20'

DRAWN: CW

JOB No.: 2383.06

SHEET

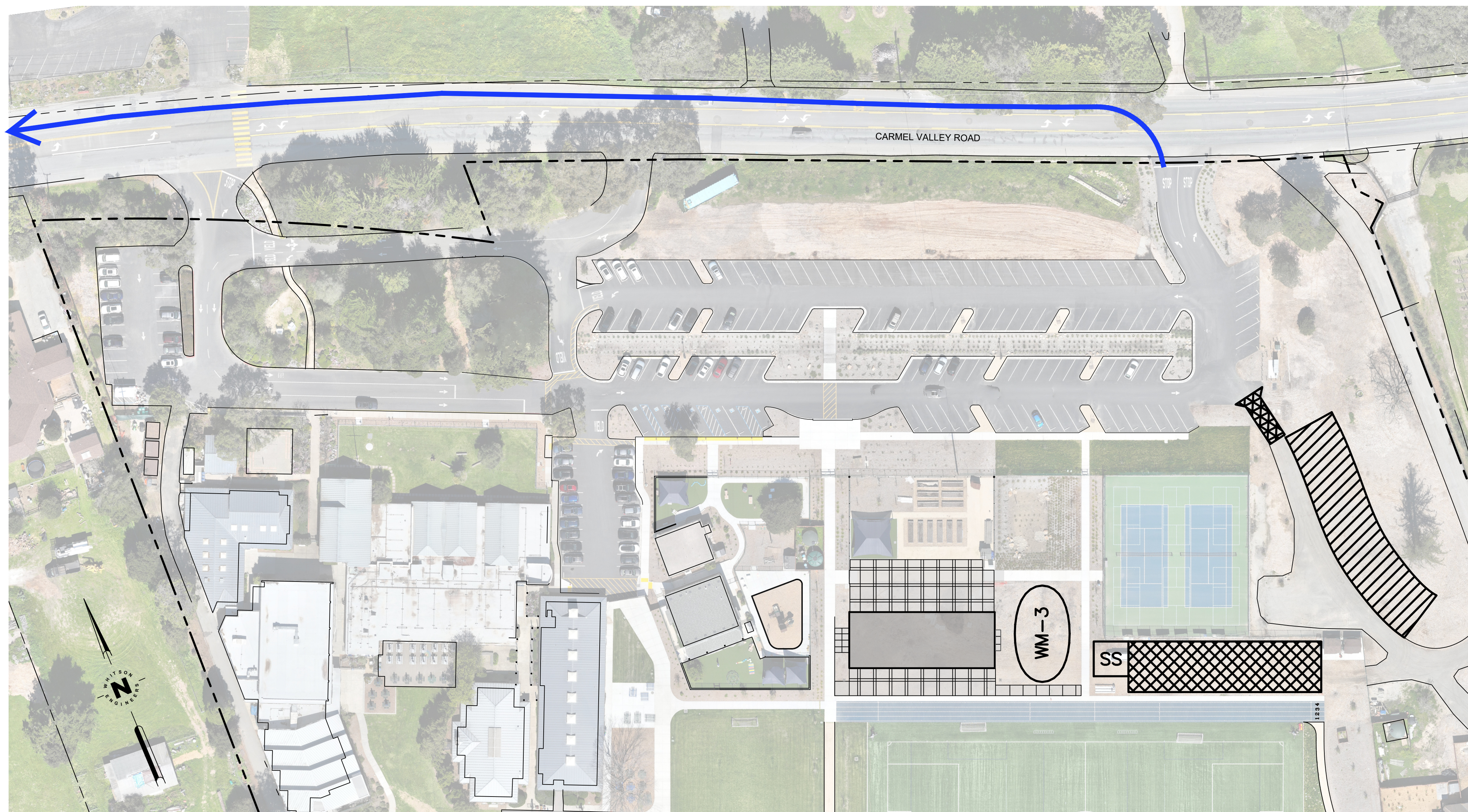
C200

OF 4

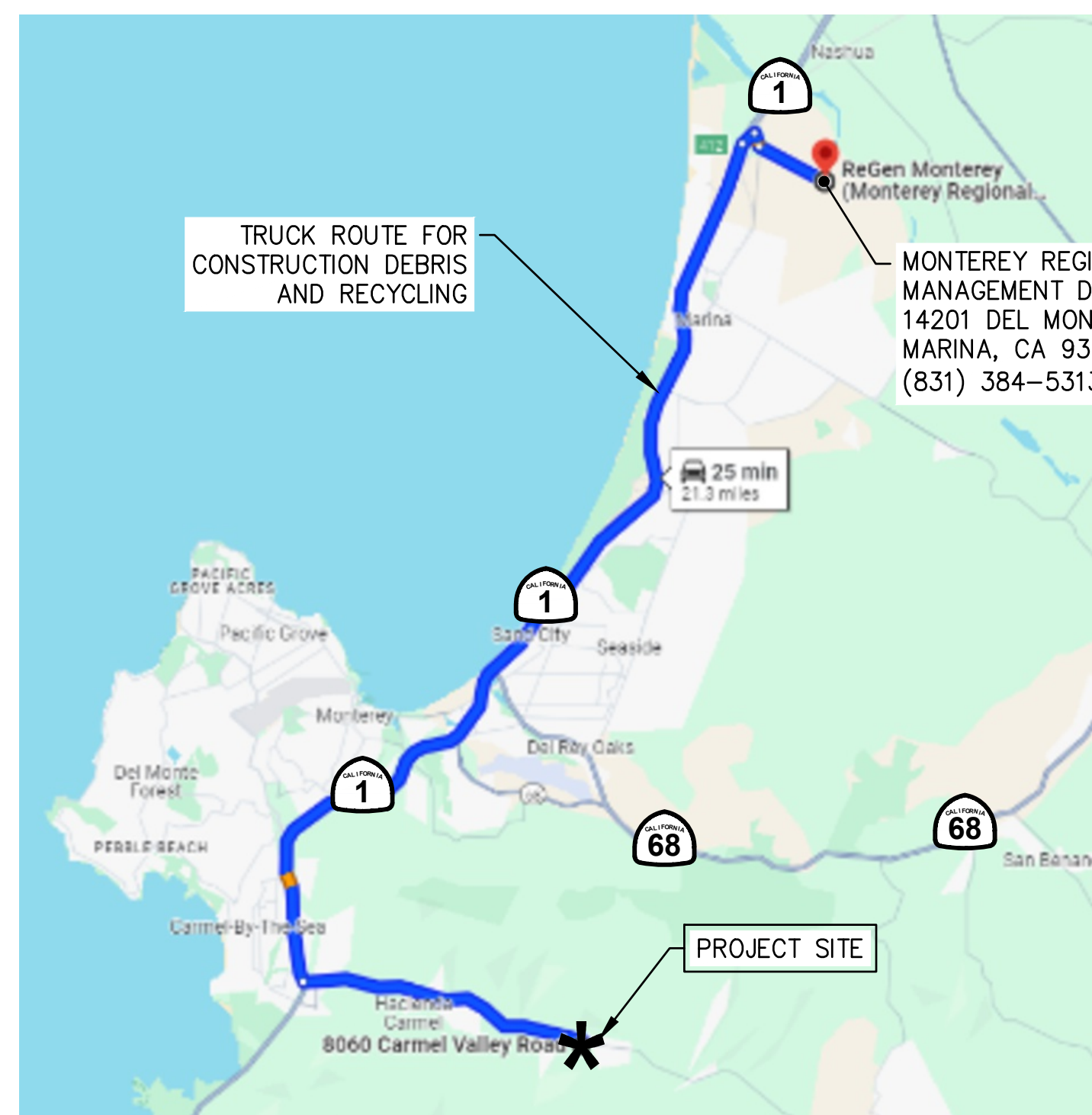


T:\Monterey\Projects\3383 - All Saints School\3383_06_Erosion\Monterey\3383_06_Plan\3383_06_C200.dwg
 Date: 09/11/2024 11:44am
 User: jwh

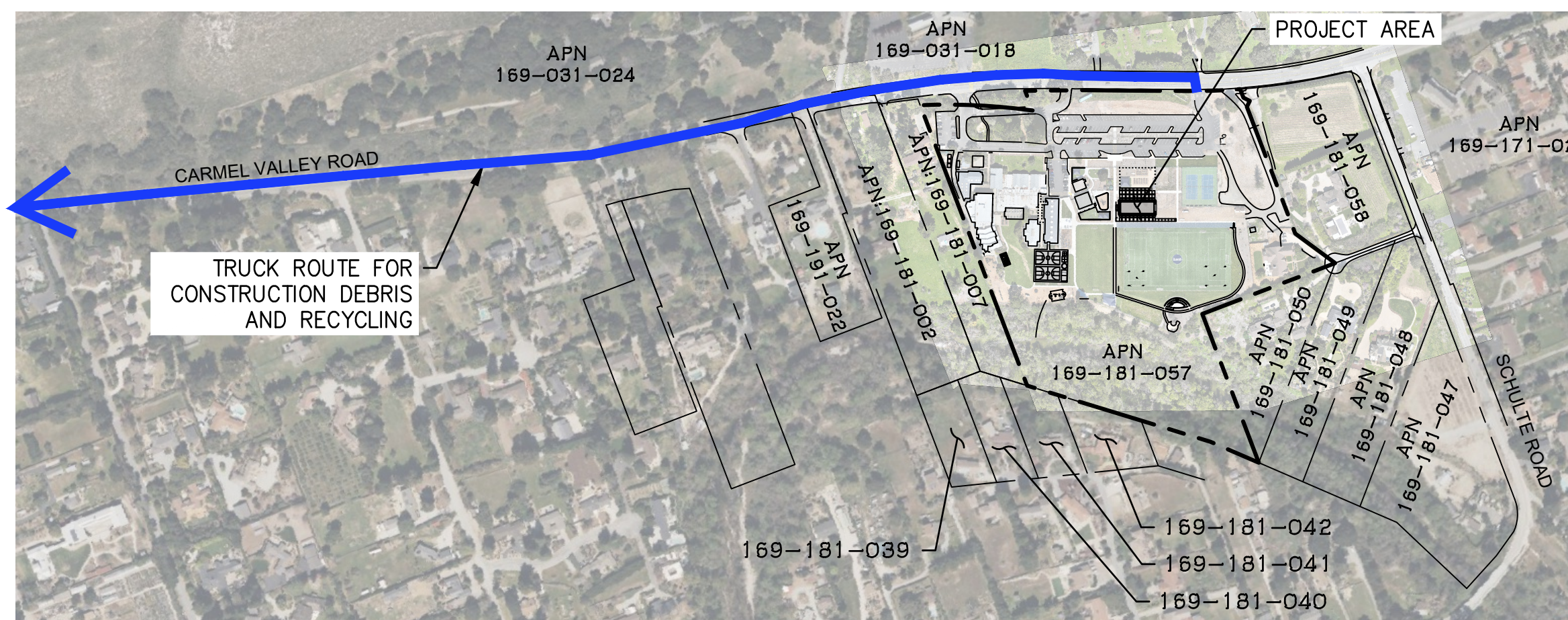
NOT FOR CONSTRUCTION



A CONSTRUCTION SITE PLAN
 CMP SCALE: 1"=50'



B TRUCK ROUTING PLAN
 CMP SCALE: 1"=5000'



C OVERALL SITE PLAN
 CMP SCALE: 1"=400'

EARTHWORK QUANTITIES

150 CY CUT
 30 CY FILL
 120 CY EXPORT

CONTACT INFO

ARCHITECT
 HGHB ARCHITECTS
 550 HARTNELL STREET, SUITE J
 MONTEREY, CA 93940
 TEL: (831) 375-9594

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

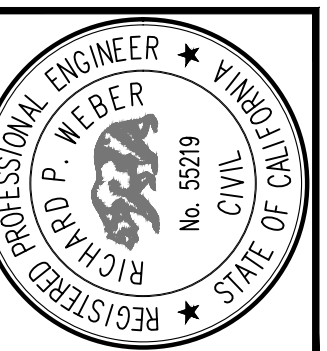
CONSTRUCTION MANAGEMENT NOTES

- DURATION OF CONSTRUCTION IS TO BE DETERMINED. EXACT DURATION WILL BE DETERMINED AT TIME OF BUILDING PERMIT ISSUANCE.
- NOISE-GENERATING CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7 A.M. AND 7 P.M. MONDAY THROUGH SATURDAY; NO CONSTRUCTION OPERATIONS ALLOWED ON SUNDAYS OR NATIONAL HOLIDAYS.
- TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING THE TRUCK ROUTE SHOWN ON THIS SHEET (B)CMP) UNLESS A CLOSER COUNTY APPROVED SITE IS AVAILABLE TO RECEIVE EXPORT AND/OR CYCLING.
- THE NUMBER OF WORKERS WILL VARY THROUGH OUT CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 10 TO 100.
- EROSION CONTROL PROTECTION TO BE INSTALLED PER THE EROSION CONTROL PLAN PREPARED WITH THE BUILDING PERMIT PLAN SET.
- STATIONARY NOISE-GENERATING CONSTRUCTION EQUIPMENT AND STAGING AREAS SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM RESIDENTIAL RECEIVERS AS POSSIBLE.
- CONSTRUCTION EQUIPMENT MUST BE PROPERLY MAINTAINED. ALL INTERNAL COMBUSTION ENGINE-DRIVEN EQUIPMENT SHALL BE EQUIPPED WITH WITH INTAKE AND EXHAUST MUFFLERS THAT ARE IN GOOD CONDITION AND APPROPRIATE FOR THE EQUIPMENT
- SEE ARCHITECTURAL/LANDSCAPE PLANS AND/OR THE PROJECT ARBORIST'S REPORT FOR TREE PROTECTION AND REMOVAL REQUIREMENTS.

LEGEND

- PROPERTY LINE
- WORKER PARKING
- EQUIPMENT PARKING
- TRUCK ROUTE FOR CONSTRUCTION DEBRIS AND RECYCLING
- TEMPORARY STOCKPILES (LOCATIONS WILL VARY)
- SANITARY FACILITIES (LOCATIONS WILL VARY)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TIRE WASH

Civil Engineering
 Land Surveying
 6 Hertz Court
 Monterey, California
 831.449.5225
 whitsonengineers.com



SUBMITTAL / REVISION	DATE	DESCRIPTION
1	9/11/2024	PLANNING PERMIT SUBMITTAL
		CW

ALL SAINTS DAY SCHOOL FIELD HOUSE
 8060 CARMEL VALLEY ROAD
 CARMEL, CALIFORNIA

CONSTRUCTION MANAGEMENT PLAN

SCALE: AS SHOWN
 DRAWN: CW
 JOB No.: 2383.06

SHEET
CMP
 OF

NOT FOR CONSTRUCTION

I:\Monterey\Projects\2383.06 - All Saints School\2383.06 - Field House\CAD\B\2383.06 - CMP - 01.dwg
 Date: 09/11/2024
 Author: CW