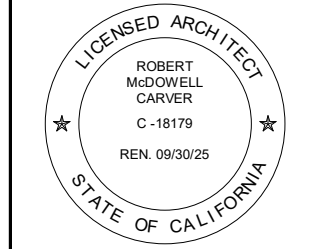


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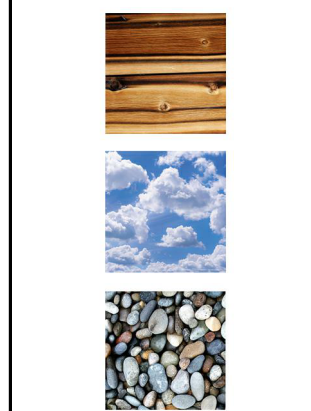
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ARCHITECTURAL
RENDERING

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Drawn By: DP
Job: 2312

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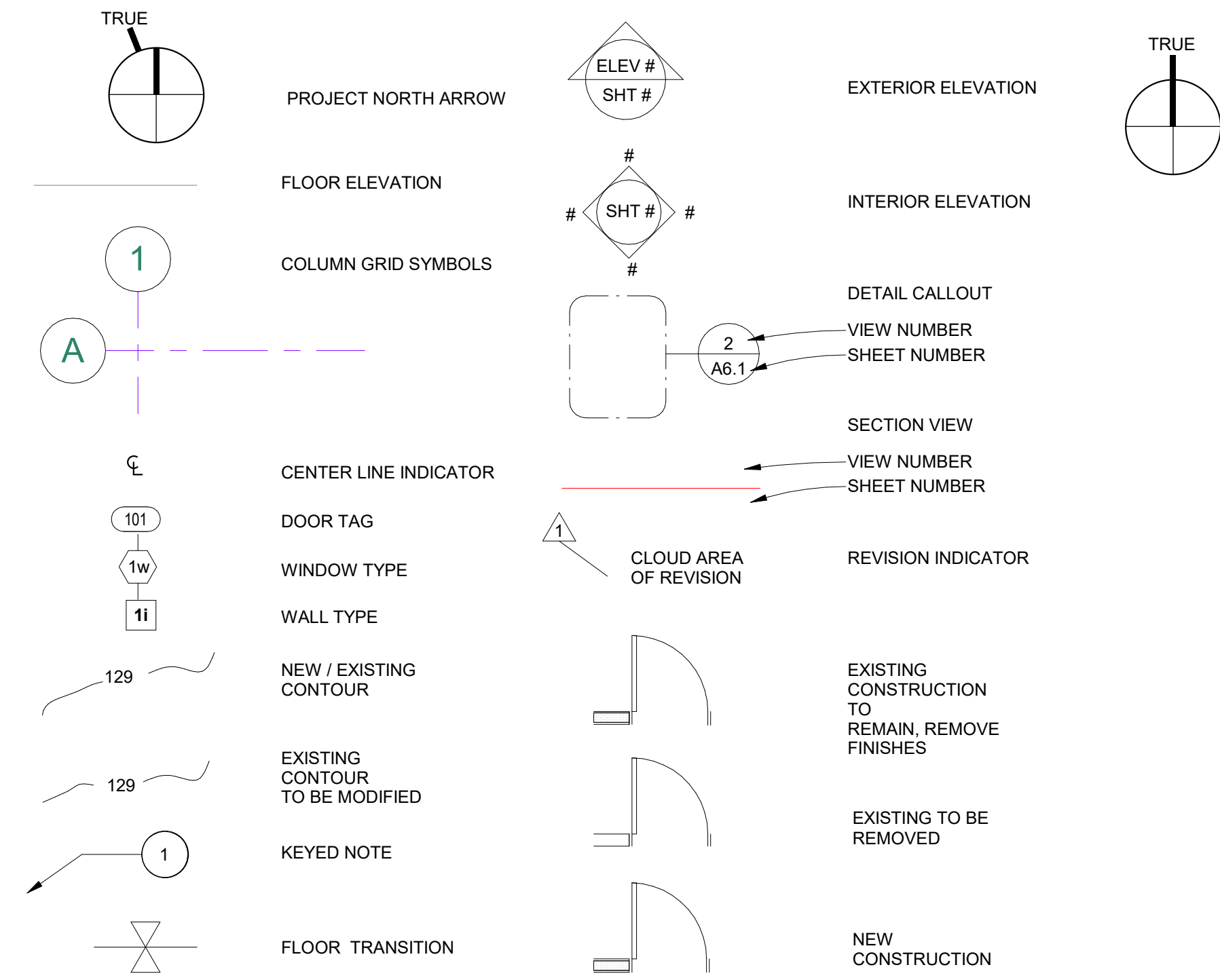
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ARCHITECTURAL ABBREVIATIONS

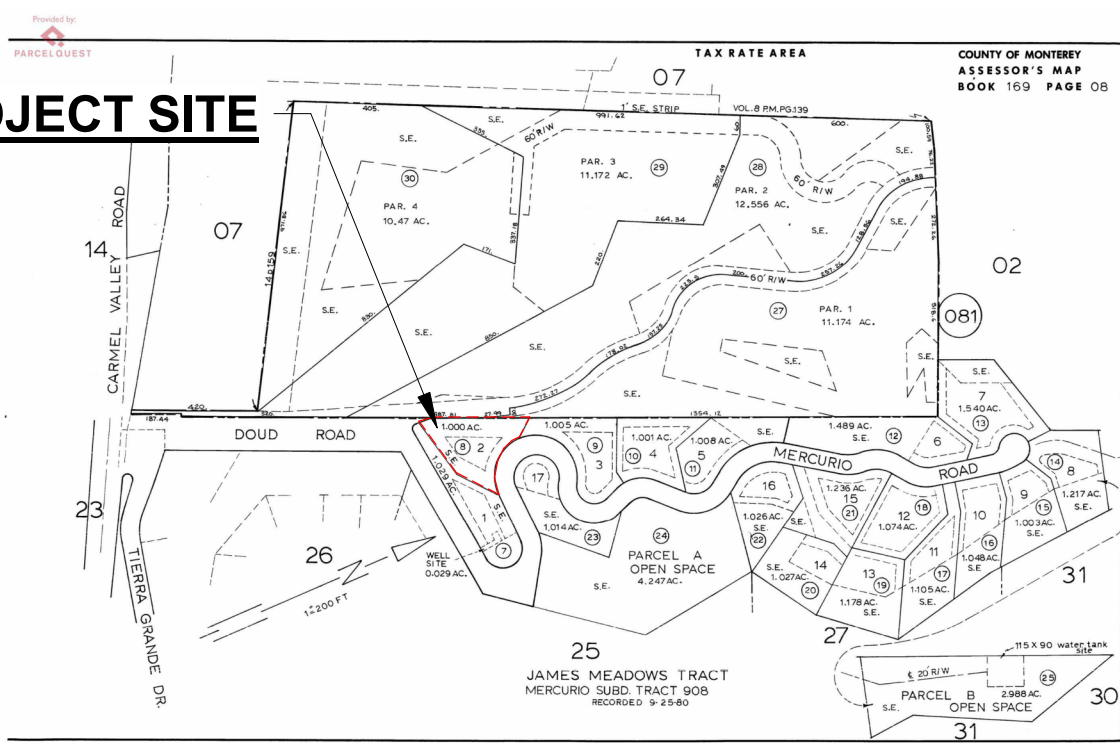
& 4 @	AND DOWN ANGLE AT DIAMETER 2 COAT PLASTER 3 COAT PLASTER	D.K.G. DN. DWG. D.O. DR. D.S. DTL.	DECKING DOWN DRAWING DOOR OPENING DOOR DOWNSPOUT DETAIL	HTR. HVAC HW	HEATER HEATING VENTILATION & AIR CONDITIONING HOT WATER	REF. REINF. RES. REV. REQD. RM. R.O.	REFRIGERATOR REINFORCED RESIN REVISED(ION) REQUIRED ROOM ROUGH OPENING
AB. A.B.T AC. ACD. ACT. ACT. AD. A.D.A	AGGREGATE BASE ANCHOR BOLT AIRCONDITIONER ACCESS DOOR ACOUSTIC TILE AREA DRAIN AMERICANS WITH DISABILITIES ACT	E (E) EA E.J. EL. ELEC. ELEV. EMER. E.M.R	EAST EXISTING EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR	JAN. JT.	JANITOR JOINT	S SAFB SC. SCH. SOP SEC. S.F. SHT. SIG. SIM. SIP S.J. SPKLR	SOUTH SOUND ATTENUATION FIRE BLANKET SEALED CONCRETE SOLID CORE SCHEDULE SKIM COAT PLASTER SECTION SQUARE FEET SHEET SOUND INSULATING GLASS SIMILAR Structural Insulated Panel SCORED JOINT SPRINKLER
ADJ. A.F.F. AL. ANOD. A.P. ARCH. AVG.	ADJUSTABLE ABOVE FINISH FLOOR ALUMINUM ANODIZED ACCESS PANEL ARCHITECTURAL AVERAGE	EQ. EQP. EST. EX. EXH. EXP. EXT.	EQUAL EQUIPMENT ESTIMATE EXISTING EXHAUST EXPANSION EXTERIOR	L LB. LG. LAM. LAV. LLH LLV LT(G) LVR.	ANGLE POUND LONG, LENGTH LAMINATE(ION) LAVATORY LONG LEG HORZ. LONG LEG VERT. LIGHT(ING) LOUVER	MACH. MAX. MECH. MEMB. MEZZ. MFR. MH. MIN. MISC. M.O. MTD. MTG. MTL.	MACHINE MAXIMUM MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MAN HOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MEETING METAL
BO. BTUM. BLDG. BLK. BLK. BM. B.M B.O. BR. BRK. B.S. BSMT. B.U.R.	BOARD BITUMINOUS BUILDING BLOCKING BEAM BENCH MARK BOTTOM OF BRASS BRICK BOTH SIDES BASEMENT BUILT-UP ROOF	F.A.I. F.D. FDN. F.E. FF FACE F.F. F.G. FGL F.H. F.H.C. FIN. FLR. FL.	FRESH AIR INTAKE FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FLOOR OR FINISHED FACE FINISH GRADE FIBERGLASS FIRE HYDRANT, FLAT HEAD FIRE HOSE CABINET FINISH FLOOR FLUORESCENT	N NAT. N.I.C. NO. NOM. NRC N.T.S.	NORTH NATURAL NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE	T TB. T.C. TEL. TEMP. TERR. TAG THK. THRU TMPD (T) T.O.P. T.O.S T.O.W. T.S.S. TYP. TZ	TREAD TILE BACKER BOARD TERRA COTTA TELEPHONE TEMPORARY TERRACE TONGUE AND GROOVE THICK THROUGH TEMPERED TEMPERED TOP OF PLATE TOP OF SLAB TOP OF WALL TOP OF STRUCTURAL STEEL TYPICAL TERRAZZO
CAB. CAP. CAT. C.C.F.I.	CABINET CAPACITY CATALOG CLOSED CELL FOAM INSULATION	F.C. F.O. F.O.C. F.O.M. F.O.S F.P. FR. F.S. FT. FTG. FXTR.	CABINET CAPACITY CATALOG CLOSED CELL FOAM INSULATION CATCH BASIN CEDAR CEMENTITIOUS CERAMIC CUBIC FEET/MIN. CAST IRON CENTERLINE CEILING CLOSET CLEAR CLEAR FINISH WOOD CONTROL JOINT CONC. MASONRY UNIT COUNTER CLEANOUT CONFERENCE COLUMN COMMUNICATION CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COT COURSE CERAMIC TILE CENTER COLD WATER	O/ O.C. O.D. OFF. O.H. OPG. OPP. OVHD.	OVER ON CENTER OUTSIDE DIAMETER OFFICE OPPOSITE HAND OPENING OPPOSITE OVERHEAD	UNF UNO UPD.	UNFINISHED UNLESS NOTED OTHERWISE UPHOLSTERED
DBL. DEMO DET. D.F. DIA. DIAG. DIM.	DOUBLE DEMOLITION DETAIL DOUGLAS FIR DIAMETER DIAGONAL DIMENSION	G.I. GL. GLM GLZ. GMT. GR. GT. GWB. GYP. HC. HD(R) HDWD. HDWR. H.M. HORZ. HR. H.S. HT. HTG.	GROUND FAULT CIRCUIT INTERRUPTER GALVANIZED IRON GLASS GUELAM GLAZING GLASS MOSAIC TILE PLYWOOD GRADE GLASS TILE GYPSUM WALL BOARD GYPSUM HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW MTL. HORIZONTAL HOUR HEADED STUD HEIGHT HEATING	PERF. PL. PLAS. PLBG. PLG. PLY PM. POL. PR. PT. PTN. PW.	PERFORATED PLATE PLASTER PLUMBING PANNELLING PLYWOOD PERF. MTL. POLISHED) PAIR PAINTED PARTITION PAINTED WOOD	VENT. VERT. VEST. VIF. V.R. V.P. W W(O) WA. W.C. WD. WOW. WLP. W.P. WT. YD	VENTILATION VERTICAL VESTIBULE VERIFY IN FIELD VENEER PLASTER VENETIAN PLASTER WIDE, WIDTH WITH(OR WITHOUT) WALNUT WATER CLOSET WOOD WINDOW WALL PAPER WATERPROOFING WEIGHT YARD

ARCHITECTURAL SYMBOLS

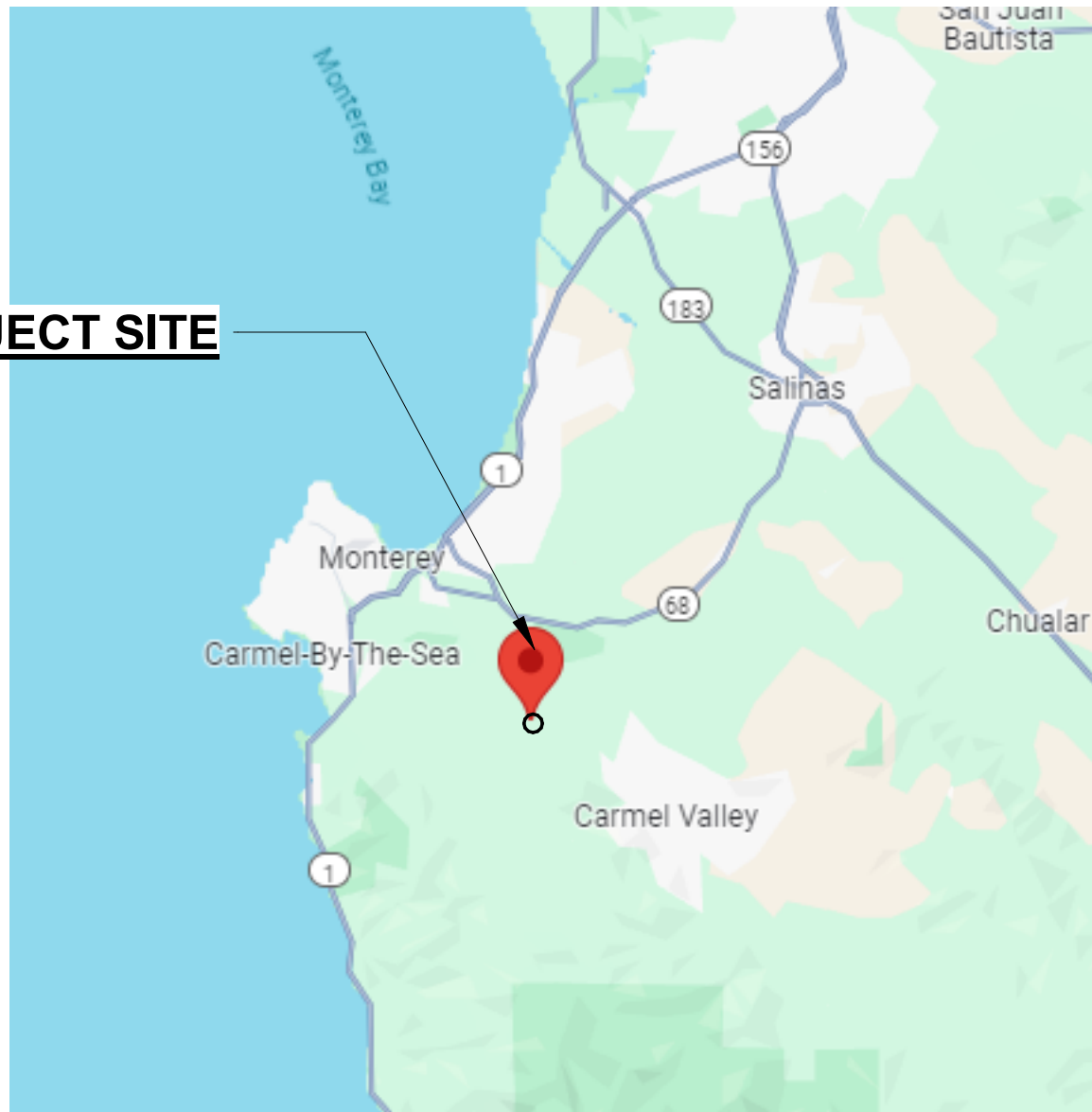


PARCEL MAP

PROJECT SITE



VICINITY MAP



SHEET INDEX

R.1	RENDERING
G1.0	COVER SHEET
G1.2	SURVEY
G1.5	EROSION CONTROL / CONSTRUCTION MGMNT PLAN
G1.6	EROSION CONTROL / CONSTRUCTION MGMNT NOTES
G1.7	GRADING & DRAINAGE PLAN
G1.8	HOUSE & GARAGE SECTION
G1.10	FUEL MANAGEMENT PLAN
A1.0	SITE PLAN
A2.0	LEVEL 2 FLOOR PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	PROPOSED ROOF
A2.3	GARAGE FLOOR & ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	GARAGE ELEVATIONS
A3.3	BUILDING SECTIONS
A3.4	BUILDING SECTIONS
A3.5	BUILDING SECTIONS - GARAGE
SW.1	SEPTIC SYSTEM SITE PLAN
SW.2	SEPTIC SYSTEM DETAILS

SCOPE OF WORK

CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED GARAGE. NEW SEPTIC SYSTEM, WATER, GAS, AND ELECTRICAL INFRASTRUCTURE.

NO LANDSCAPING IS PROPOSED

PROJECT TEAM

OWNER	PATRICK MAUSE & ROBIN RILEY C/O ARCHITECT
ARCHITECT	STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 E-mail: robert@studiocarver.com Contact: Robert Carver, AIA, LEED AP
SURVEYOR	LANDSET ENGINEERS, INC. 520-B CRAZY HORSE CANYON ROAD Salinas, CA 93907 Phone: (831) 443-6970 Fax: (831) 443-3801 Contact: Guy R. Giraud
STRUCTURAL	NAME ADDRESS ADDRESS Phone: E-mail: Contact:
MECHANICAL	MONTEREY ENERGY GROUP 26465 Carmel Rancho Blvd. #8 Carmel, CA 93923 Phone: (831) 372-8328 E-mail: dave@meg4.com Contact: David Knight

BUILDING CODE INFO

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC),
THE 2022 CALIFORNIA MECHANICAL CODE (CMC)
THE 2022 CALIFORNIA PLUMBING CODE (CPC)
THE 2022 CALIFORNIA ELECTRICAL CODE (CEC)
THE 2022 CALIFORNIA ENERGY CODE (CEC)

PROJECT INFORMATION

PROPERTY ADDRESS	28007 MERCURIO RD, CARMEL VALEY, CA 93923
APN	169-081-008-000
ZONING	LDR/B-6-D-S-RAZ
GENERAL PLAN LAND USE DESIGNATION	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE V-B
OCCUPANCY GROUP	R-3 / SINGLE FAMILY RESIDENCE U / GARAGE
WILDLAND URBAN INTERFACE AREA (ALL MATERIALS & CONSTRUCTION TO COMPLY WITH CHAPTER 7A OF THE 2022 CBC)	YES
AVERAGE NATURAL GRADE	ELEV. = 82' - 3"
ALLOWED HEIGHT LIMIT ABOVE A.N.G	30' - 0" ELEV. = 112' - 3"
(P) HEIGHT ABOVE A.N.G	24' - 8" ELEV. = 106' - 11"
PERMIT #	PLN240231

BUILDING AREA

(P) RESIDENCE	
LEVEL 1	1,116 SF
LEVEL 2	1,149SF
SUB TOTAL (HOUSE)	2,265SF
DETACHED GARAGE	740 SF
FLOOR AREA TOTAL	3,005 SF
DECKS (24" abv grade)	677 SF

LOT COVERAGE

LOT SIZE	1 ACRES (43,565 SF)
ALLOWABLE LOT COVERAGE	35% OR 15,248 SF
PROPOSED LOT COVERAGE:	
RESIDENCE	1,116 SF
DETACHED GARAGE	740 SF
DECKS (24" abv grade)	677 SF
ROOF OVERHANGS	620 SF
TOTAL	3,153 SF OR 7.2%

GRADING ESTIMATES

GRADING CUT	313	CU.YDS.
GRADING FILL	313	CU.YDS.
GRADING NET EXPORT	0	CU.YDS.
ALL CUT TO BE BALANCED ON SITE		

MISCELLANEOUS

WATER SOURCE	CAL AM
SEWER SYSTEM	SEPTIC
TREES TO BE REMOVED	0
REQUIRED PARKING	2 SPACES/UNIT
PROPOSED PARKING	3 SPACES (2 COVERED)

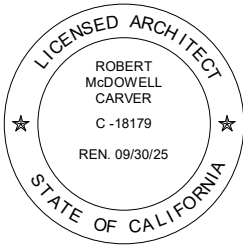
DEFERRED SUBMITTALS

SPRINKLERS	YES
SOLAR SYSTEM	YES

NOT FOR CONSTRUCTION

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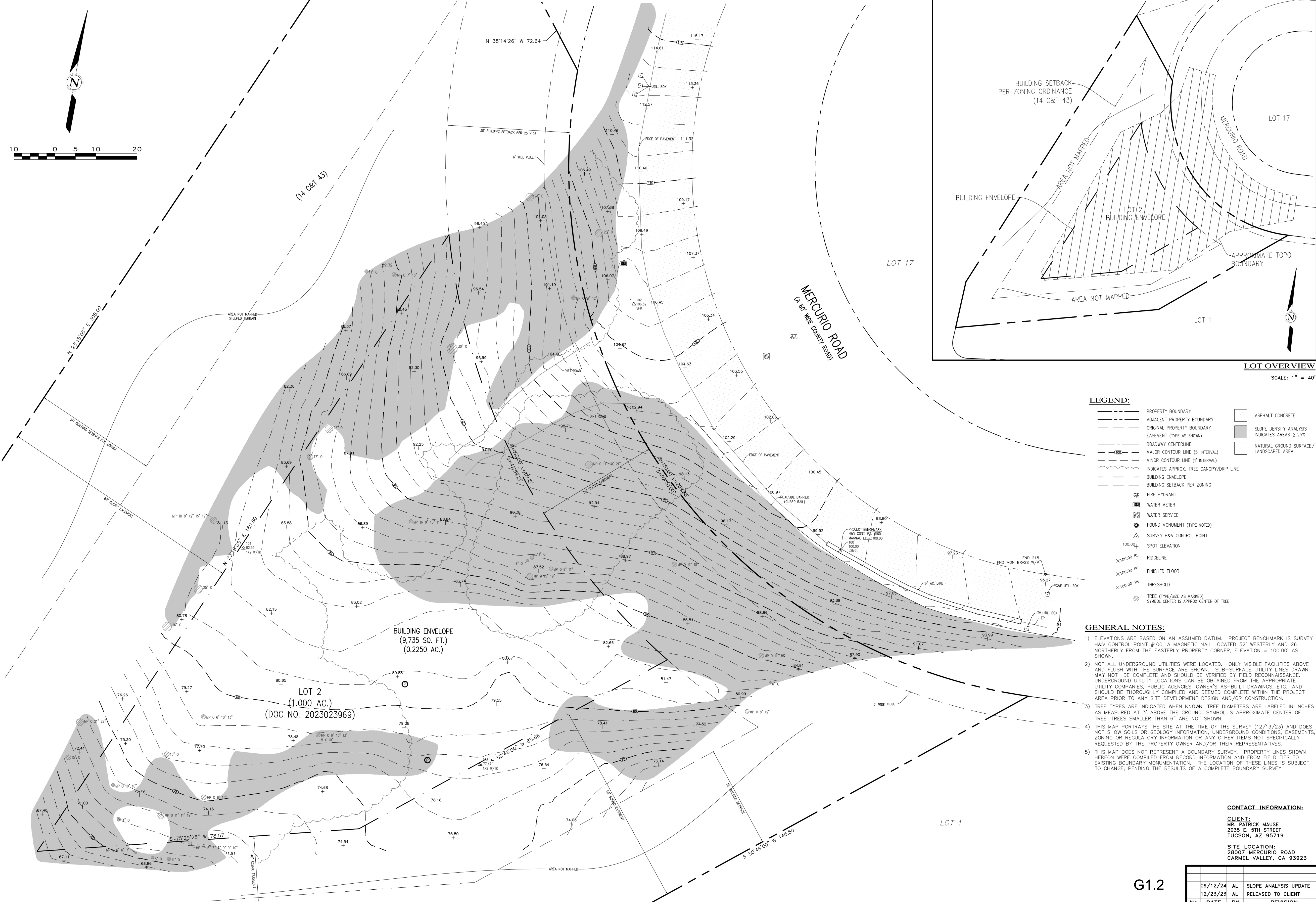
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COVER SHEET

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Job: 2312

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- LEGEND:**
- PROPERTY BOUNDARY
 - ADJACENT PROPERTY BOUNDARY
 - ORIGINAL PROPERTY BOUNDARY
 - EASEMENT (TYPE AS SHOWN)
 - ROADWAY CENTERLINE
 - MAJOR CONTOUR LINE (5' INTERVAL)
 - MINOR CONTOUR LINE (1' INTERVAL)
 - INDICATES APPROX. TREE CANOPY/DRIP LINE
 - BUILDING ENVELOPE
 - BUILDING SETBACK PER ZONING
 - FIRE HYDRANT
 - WATER METER
 - WATER SERVICE
 - FOUND MONUMENT (TYPE NOTED)
 - SURVEY H&V CONTROL POINT
 - SPOT ELEVATION
 - RIDGELINE
 - FINISHED FLOOR
 - THRESHOLD
 - TREE (TYPE/SIZE AS MARKED)
 - SYMBOL CENTER IS APPROX CENTER OF TREE
 - ASPHALT CONCRETE
 - SLOPE DENSITY ANALYSIS INDICATES AREAS ≥ 25%
 - NATURAL GROUND SURFACE/LANDSCAPED AREA

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100. A MAGNETIC NAIL LOCATED 52' WESTERLY AND 26' NORTHERLY FROM THE EASTERLY PROPERTY CORNER, ELEVATION = 100.00' AS SHOWN.
 - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
 - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
 - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/13/23) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
 - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

CONTACT INFORMATION:

CLIENT:
MR. PATRICK MAUSE
2035 E. 5TH STREET
TUCSON, AZ 85719

SITE LOCATION:
28007 MERCURIO ROAD
CARMEL VALLEY, CA 93923

APN: 169-081-008

TOPOGRAPHIC MAP

OF

THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2023023969

OFFICIAL RECORDS OF MONTEREY COUNTY

CARMEL VALLEY, CALIFORNIA

FOR

MR. PATRICK MAUSE

SCALE: 1" = 10'
DATE: DEC 2023
JOB NO. 2740-01
SHEET 1
OF 1 SHEETS

No.	DATE	BY	REVISION
09/12/24	AL	AL	SLOPE ANALYSIS UPDATE
12/23/23	AL	AL	RELEASED TO CLIENT

APPROVED BY:

GUY R. GIRALDO

PLS. No. 8703

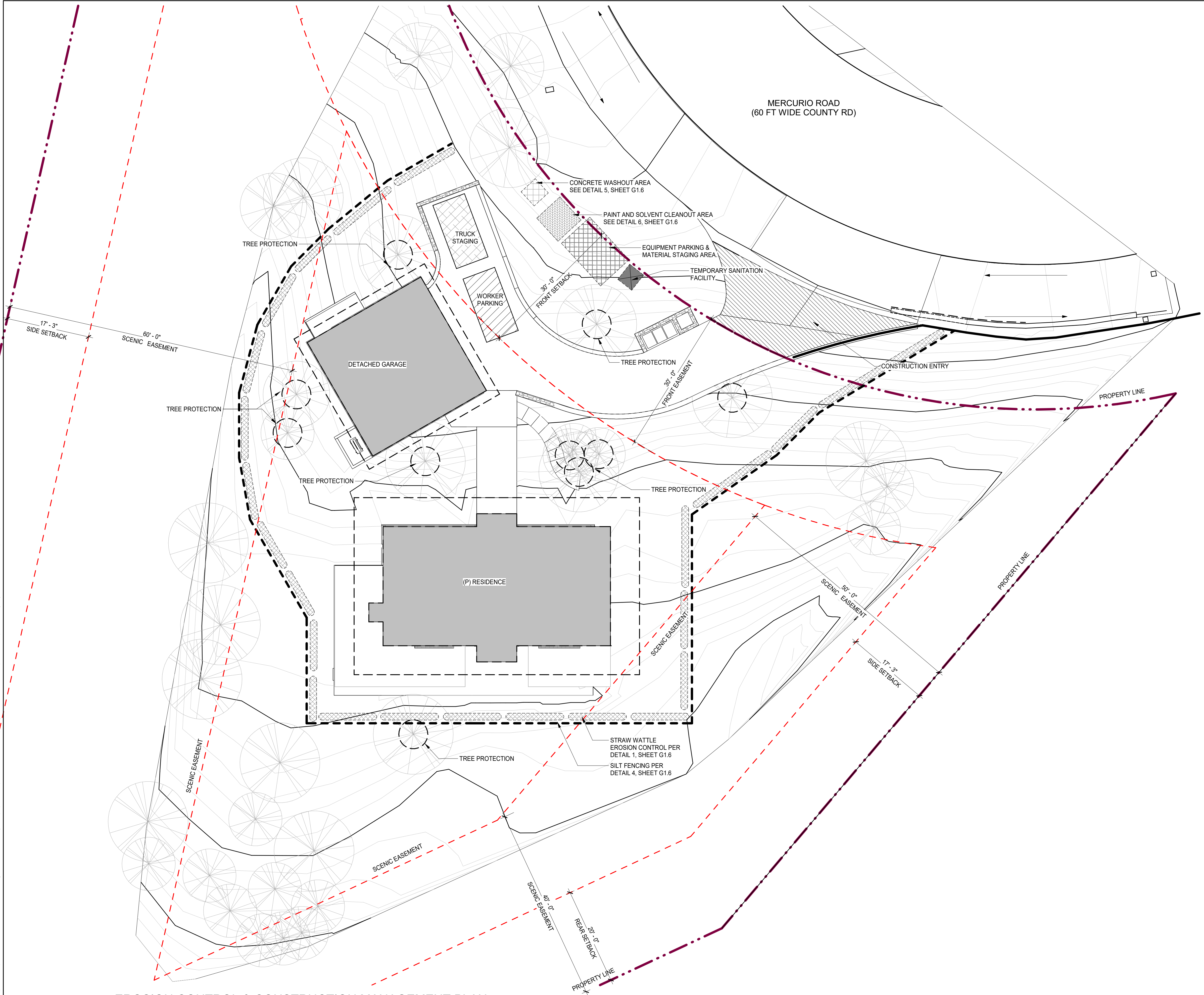
PROFESSIONAL LAND SURVEYOR * MONTEREY COUNTY * EXPI. 12-31-23

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ENGINEERS, INC.

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CONSTRUCTION MANAGEMENT NOTES

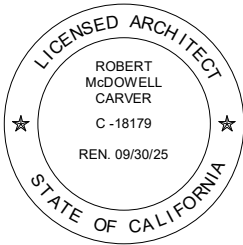
1. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
2. DURATION OF CONSTRUCTION IS ESTIMATED TO BE 24-36 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
3. WORK HOURS ARE LIMITED FROM 7 AM TO 7 PM MONDAY THROUGH FRIDAY AND 8 AM TO 6 PM SATURDAYS. NO WORK SHALL BE PERFORMED ON SUNDAYS AND HOLIDAYS. WORK PERFORMED BEFORE 8AM SHALL BE NON-CONSTRUCTION ACTIVITY (QUIET HOUR). THE NUMBER OF WORKERS WILL VARY THROUGH OUT THE CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 2 TO 12.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE DURING THE CONSTRUCTION PERIOD.
5. ALL ON AND OFF-ROAD DIESEL EQUIPMENT SHALL NOT IDLE FOR MORE THAN 5 MINUTES. SUBSTITUTE GASOLINE-POWERED IN PLACE OF DIESEL-POWERED EQUIPMENT, WHERE FEASIBLE.
6. USE ALTERNATIVELY FUELED CONSTRUCTION EQUIPMENT ON-SITE WHERE FEASIBLE, SUCH AS COMPRESSED NATURAL GAS (CNG), LIQUEFIED NATURAL GAS (LNG), PROPANE OR BIODIESEL.
7. DUST SHALL BE CONTROLLED BY DUST PALLIATIVE AND/OR WATERING VIA THE USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. WATERING FREQUENCY SHALL BE INCREASED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WILL BE USED WHENEVER POSSIBLE. CONSTRUCTION TRUCK TRIPS WILL BE SCHEDULED DURING NON-PEAK HOURS TO REDUCE PEAK HOUR EMISSIONS.
8. ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
9. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
10. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.
11. ALL PLASTIC DRAINAGE PIPES SHALL CONSIST OF PVC OR ABS PLASTIC SCHEDULE 40 OR SDR 35 OR ADS 3000 WITH GLUED JOINTS.
12. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STORM DRAINS. ALL MATERIAL AND WASTE SHALL BE REMOVED FROM THE SITE.

CONSTRUCTION MANAGEMENT LEGEND

	CONSTRUCTION ENTRY		CONCRETE WASHOUT AREA
	WORKER PARKING		TREE AND ROOT PROTECTION MEASURES PER ARBORIST
	EQUIPMENT PARKING AND MATERIAL STAGING AREA		STRAW WATTLE EROSION CONTROL
	TRUCK STAGING		TRAFFIC
	PAINT AND SOLVENT CLEANOUT AREA		SILT FENCE

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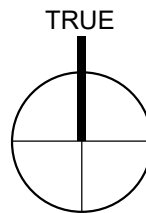
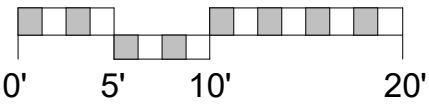
ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
MGMNT PLAN

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Job: 2312

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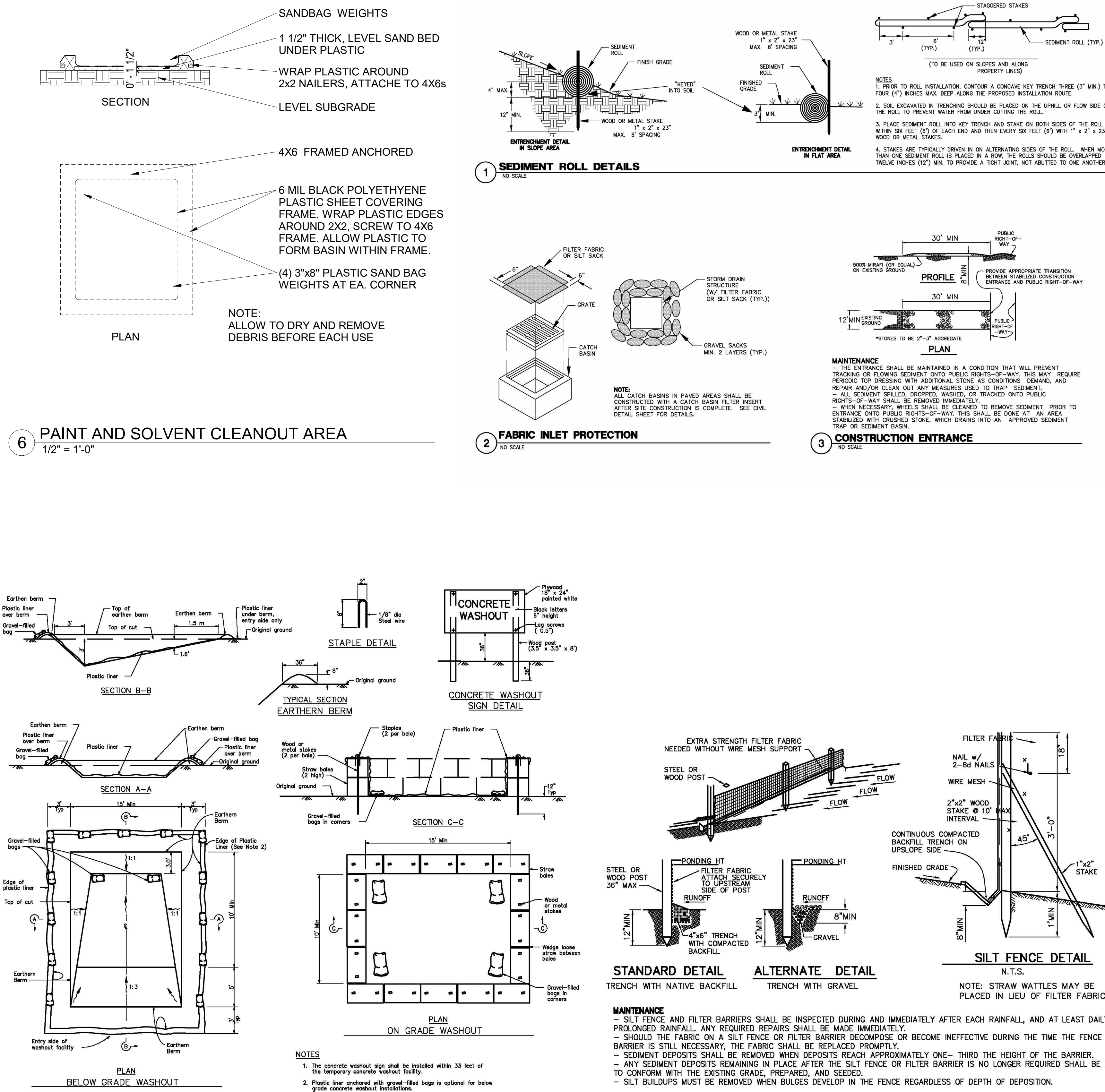
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5 CONCRETE WASHOUT AREA
NO SCALE

4 SILT FENCE DETAIL
NO SCALE

EROSION & SEDIMENT CONTROL MEASURES

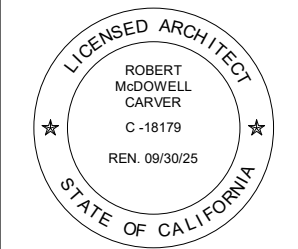
- | | |
|--|--|
| <p>THE FACILITIES SHOWN ON THE EROSION CONTROL PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO APRIL 15. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND APRIL 15.</p> | <p>ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.</p> |
| <p>THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.</p> | <p>ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS</p> |
| <p>EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS PRIOR TO THE START OF CONSTRUCTION.</p> | <p>THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15:</p> |
| <p>CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.</p> | <p>A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING A 4-5 LBS PER ACRE STRAW MULCH AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.</p> |
| <p>CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.</p> | <p>B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.</p> |
| <p>APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.</p> | <p>C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.</p> |
| <p>IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.</p> | <p>D. BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.</p> |
| <p>INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.</p> | <p>E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.</p> |
| <p>THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY OCCUR DURING CONSTRUCTION DUE TO UNUSUAL OR FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.</p> | <p>AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE TO ADJACENT PROPERTIES BY DUST FROM HIS OR HER SUBCONTRACTORS. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.</p> |
| <p>FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A "STOP WORK" ORDER. BETWEEN OCTOBER 15 AND APRIL 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE PER CENT PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.</p> | <p>DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.</p> |
| <p>TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.</p> | <p>THIS PROJECT IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.</p> |
| <p>INSPECTION - PRIOR TO LAND DISTURBANCE THE APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.</p> | <p>REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, ASPHALT, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR ADJACENT PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER, AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.</p> |
| <p>INSPECTION - DURING ACTIVE CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE AT THE TIME OF THE INSPECTION. THE APPLICANT SHALL PROVIDE DRAINAGE DEVICES AND ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.</p> | <p>DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADING RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.</p> |
| <p>INSPECTION - FOLLOWING ACTIVE CONSTRUCTION, PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.</p> | <p>CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.</p> |
| <p>INSPECTION - FOLLOWING ACTIVE CONSTRUCTION, PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.</p> | <p>WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.</p> |
| <p>INSPECTION - FOLLOWING ACTIVE CONSTRUCTION, PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH RMA-ENVIRONMENTAL SERVICES TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.</p> | <p>ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS SHALL CONSIST OF TEMPORARY NATIVE GRASS EROSION CONTROL SEEDING TO INCLUDE 65% CALIFORNIA BROME (BROMUS CARINATUS) AND 35% THREE TOE GRASS (POA TRIVIALIS). FERTILIZER APPLICATION RATE, AND MULCHING WITH STRAW AND/OR OTHER SOIL STABILIZATION MATERIAL.</p> |
| <p>EMPLOYEE TRAINING</p> | <p>PERMANENT PLANTING OF NATIVE SITE APPROPRIATE REGIONAL COASTAL SCRUB SPECIES OF FORBS AND SHRUBS, PURSUANT TO THE "COUNTY'S LANDSCAPE CRITERIA", WHEN THE PROJECT IS COMPLETED.</p> |
| <p>STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:</p> | <p>MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION, ON SLOPES LESS THAT 20%, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.</p> |
| <p>A. SPILL PREVENTION AND RESPONSE;</p> | <p>NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SITUATION OF WATER COURSES OR UNCONTROLLED EROSION. (MCC 6.08.30 C.2)</p> |
| <p>B. LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;</p> | <p>IT SHALL BE THE RESPONSIBILITY OF THE ENGINEER AND THE OWNER AND CONTRACTOR THAT EROSION DOES NOT OCCUR FROM AN ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION. (MCC 16.12.100)</p> |
| <p>C. GOOD HOUSEKEEPING;</p> | |

OBSERVATION AND MAINTENANCE

- | | | | |
|-----------------------------------|---|----|---|
| NON-STORM WATER DISCHARGES | | 1. | TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT. |
| 1. | NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. | 2. | VISUALLY OBSERVE BMPs AS FOLLOWS: |
| | NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED. | A. | WEEKLY, AND |
| 2. | MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN. | B. | WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND |
| 3. | HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MAY INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS: | C. | WITHIN 48 HOURS AFTER EACH STORM EVENT. |
| A. | FIRE HYDRANT FLUSHING, | | MAINTENANCE IS TO BE PERFORMED AS FOLLOWS: |
| B. | IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES, | 3. | A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY. |
| C. | PIPE FLUSHING AND TESTING, | B. | SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED. |
| D. | WATER TO CONTROL DUST | C. | SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED |
| E. | UNCONTAMINATED GROUND WATER FROM DEWATERING, | D. | SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER. |
| F. | OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD. | E. | REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE OR SHALL BE DISPOSED OF OFF-SITE. |
| 4. | THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS: | F. | TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS. |
| A. | THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD | G. | REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACK WALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY. |
| B. | THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT | H. | STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT. |
| C. | THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN | | |
| D. | THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NON-STORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT | | |
| E. | THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS | | |
| F. | THE DISCHARGER IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS | | |
| G. | THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT | | |
| H. | IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED. | | |

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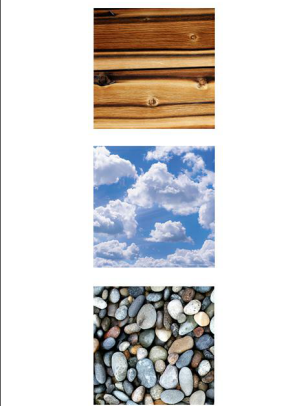
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**ARCHITECTURAL
EROSION
CONTROL /
CONSTRUCTION
MGMNT NOTES**

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Drawn By:	DP
Job:	2312

G1.6

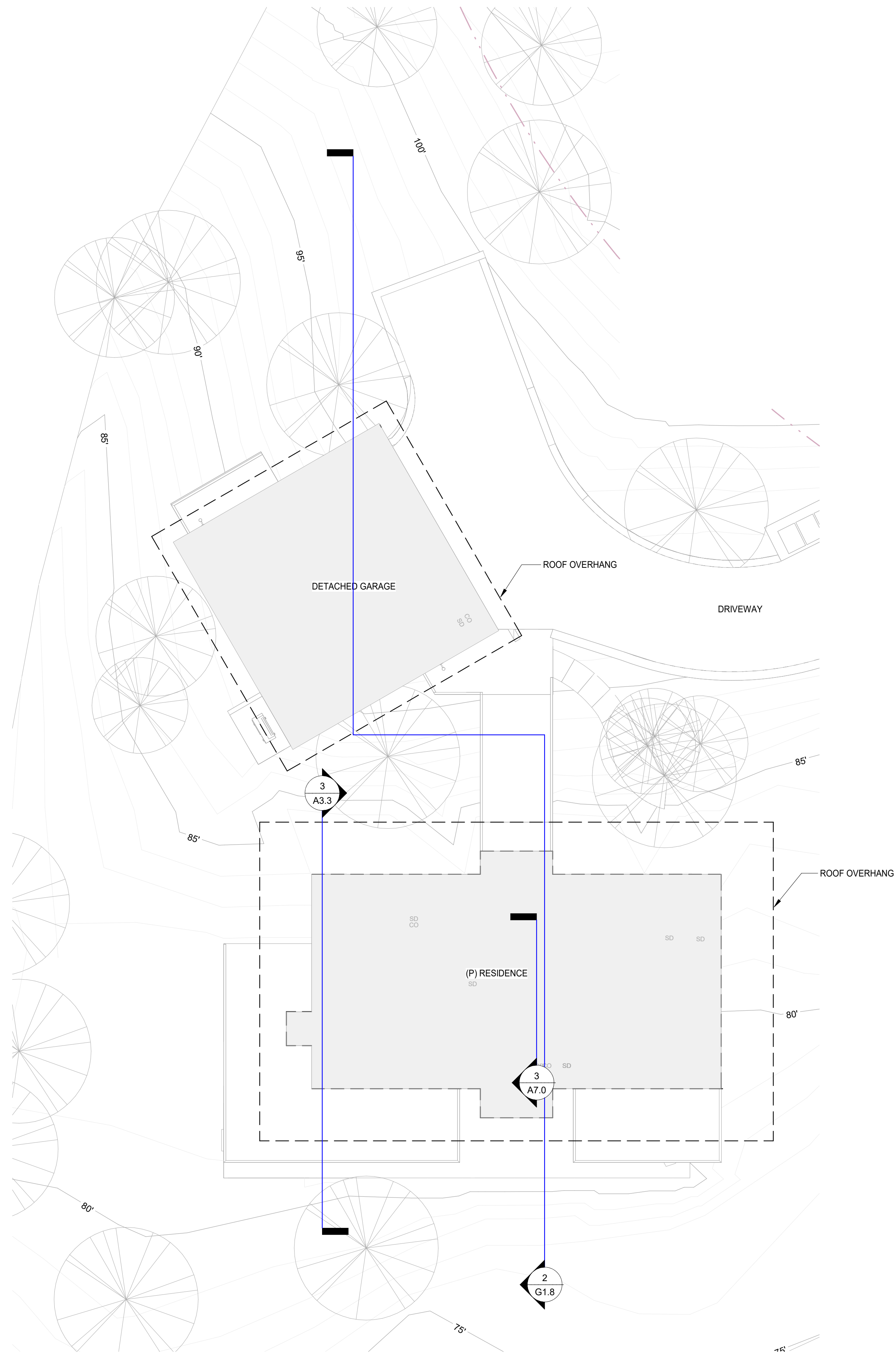
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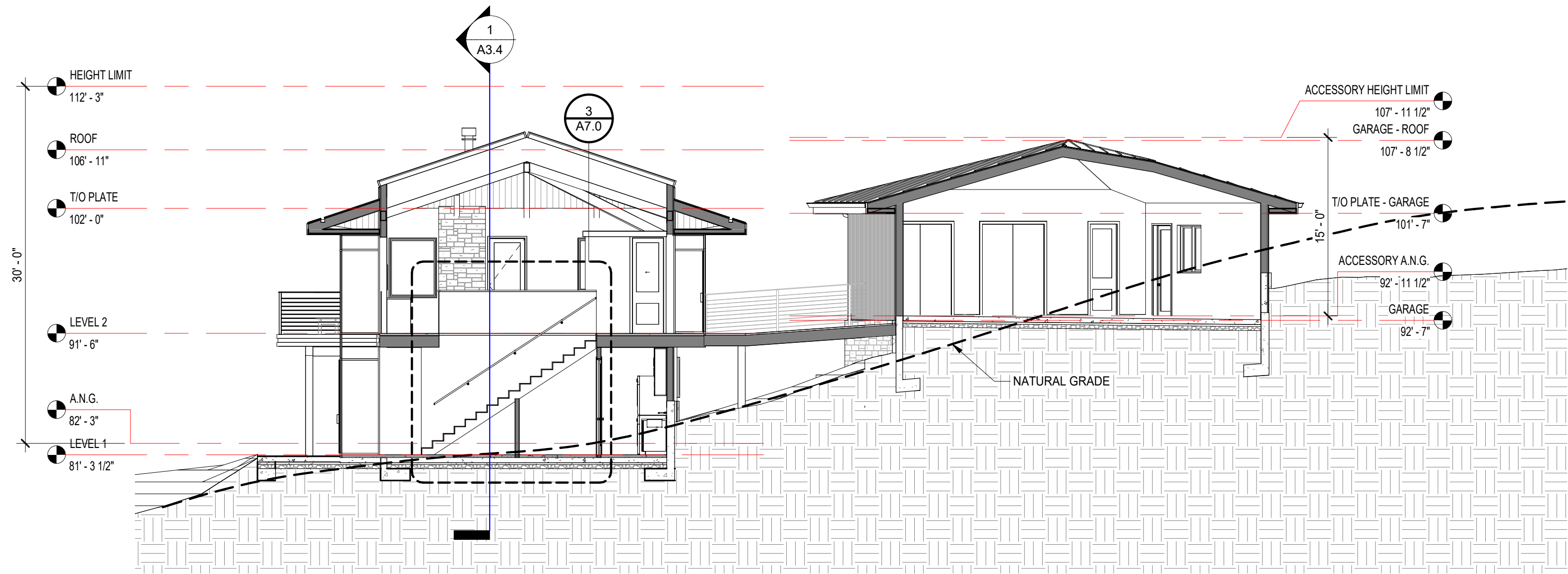
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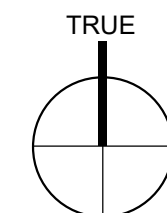
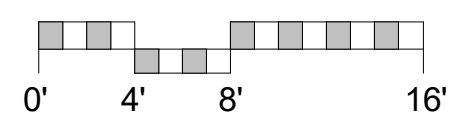
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1 ENLARGED SITE PLAN
1/8" = 1'-0"



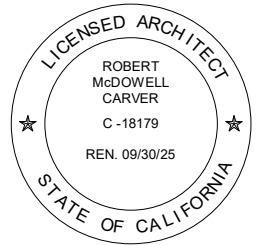
2 N/S SECTION
1/8" = 1'-0"



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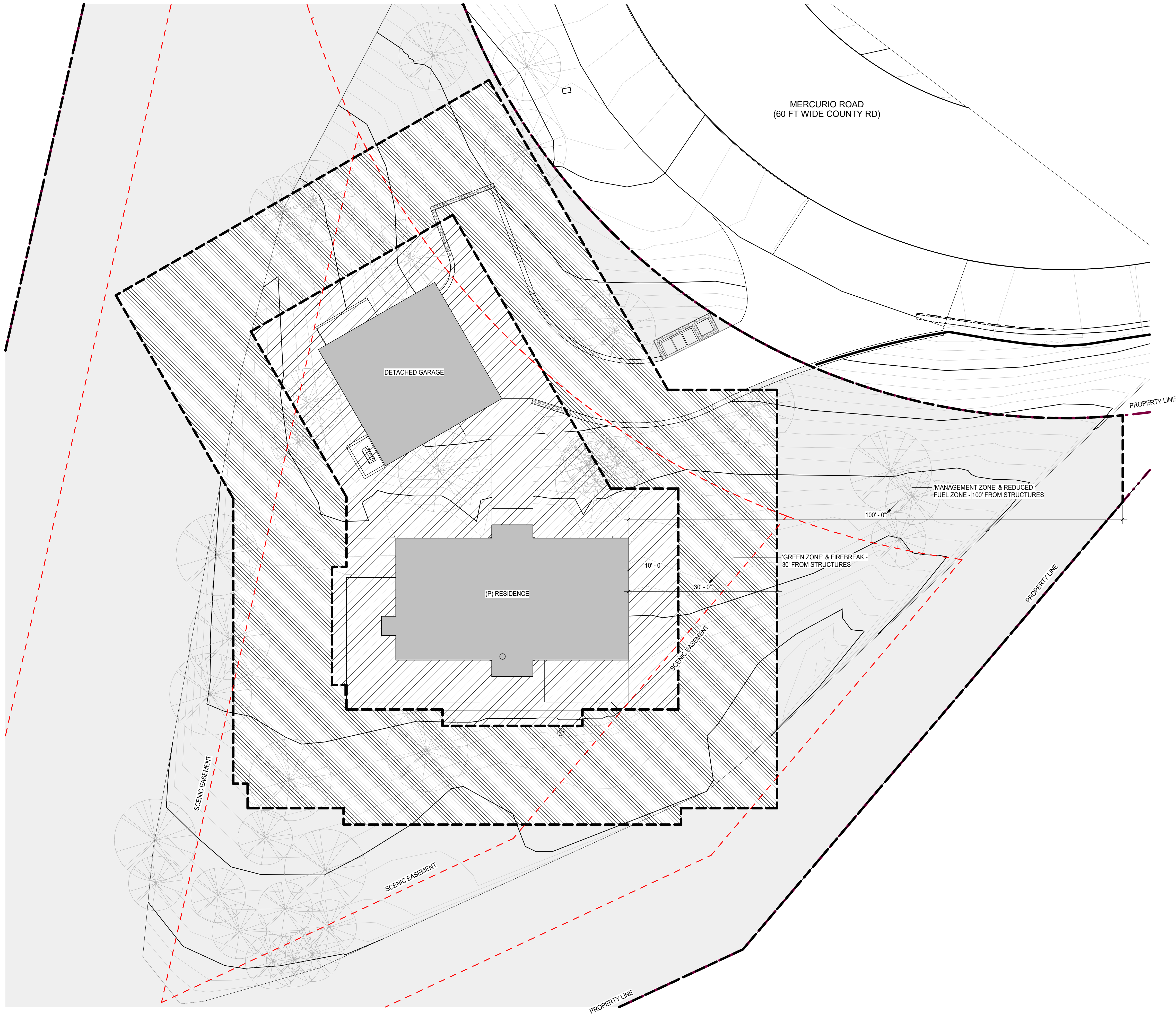
ARCHITECTURAL
HOUSE &
GARAGE
SECTION

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Drawn By: DPI/JP
Job: 2312

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1 FUEL MANAGEMENT PLAN
1" = 10'-0"

DEFENSIBLE SPACE GUIDELINES

1. MAINTAIN A FIREBREAK BY REMOVING AND CLEARING AWAY ALL FLAMMABLE VEGETATION AND OTHER COMBUSTIBLE GROWTH WITHIN 30 FEET OF EACH BUILDING OR STRUCTURE, WITH CERTAIN EXCEPTIONS PURSUANT TO PRC §4291(A). SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL- SPACED, WELL- PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
2. DEAD AND DYING WOODY SURFACE FUELS AND AERIAL FUELS WITHIN THE REDUCED FUEL ZONE SHALL BE REMOVED. LOOSE SURFACE LITTER, NORMALLY CONSISTING OF FALLEN LEAVES OR NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES, SHALL BE PERMITTED TO A DEPTH OF 3 INCHES. THIS GUIDELINE IS PRIMARILY INTENDED TO ELIMINATE TREES, BUSHES, SHRUBS AND SURFACE DEBRIS THAT ARE COMPLETELY DEAD OR WITH SUBSTANTIAL AMOUNTS OF DEAD BRANCHES OR LEAVES/NEEDLES THAT WOULD READILY BURN.
3. DOWN LOGS OR STUMPS ANYWHERE WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE, WHEN EMBEDDED IN THE SOIL, MAY BE RETAINED WHEN ISOLATED FROM OTHER VEGETATION. OCCASIONAL (APPROXIMATELY ONE PER ACRE) STANDING DEAD TREES (SNAGS) THAT ARE WELL-SPACE FROM OTHER VEGETATION AND WHICH WILL NOT FALL ON BUILDINGS OR STRUCTURES OR ON ROADWAYS/DRIVEWAYS MAY BE RETAINED.
4. WITHIN THE REDUCED FUEL ZONE, ONE OF THE FOLLOWING FUEL TREATMENTS (4A, OR 4B.) SHALL BE IMPLEMENTED. PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER CLEARING TREATMENTS. COMBINATIONS OF THE METHODS MAY BE ACCEPTABLE UNDER §1299(C) AS LONG AS THE INTENT OF THESE GUIDELINES IS MET.

4A. REDUCED FUEL ZONE: FUEL SEPARATION

5. IN CONJUNCTION WITH GENERAL GUIDELINES 1., 2., AND 3., ABOVE, MINIMUM CLEARANCE BETWEEN FUELS SURROUNDING EACH BUILDING OR STRUCTURE WILL RANGE FROM 4 FEET TO 40 FEET IN ALL DIRECTIONS, BOTH HORIZONTALLY AND VERTICALLY.
6. CLEARANCE DISTANCES BETWEEN VEGETATION WILL DEPEND ON THE SLOPE, VEGETATION SIZE, VEGETATION TYPE (BRUSH, GRASS, TREES), AND OTHER FUEL CHARACTERISTICS (FUEL COMPACTION, CHEMICAL CONTENT ETC.). PROPERTIES WITH GREATER FIRE HAZARDS WILL REQUIRE GREATER SEPARATION.
7. GRASS GENERALLY SHOULD NOT EXCEED 4 INCHES IN HEIGHT. HOWEVER, HOMEOWNERS MAY KEEP GRASS AND OTHER FORBS LESS THAN 18 INCHES IN HEIGHT ABOVE THE GROUND WHEN THESE GRASSES ARE ISOLATED FROM OTHER FUELS OR WHERE NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.
8. CLEARANCE REQUIREMENTS INCLUDE:

- A. HORIZONTAL CLEARANCE BETWEEN AERIAL FUELS, SUCH AS THE OUTSIDE EDGE OF THE TREE CROWNS OR HIGH BRUSH, HORIZONTAL CLEARANCE HELPS STOP THE SPREAD OF FIRE FROM ONE FUEL TO THE NEXT.
- B. VERTICAL CLEARANCE BETWEEN LOWER LIMBS OF AERIAL FUELS AND THE NEAREST SURFACE FUELS AND GRASS/WEEDS. VERTICAL CLEARANCE REMOVES LADDER FUELS AND HELPS PREVENT A FIRE FROM MOVING FROM THE SHORTER FUELS TO THE TALLER FUELS.

4B. REDUCED FUEL ZONE: DEFENSIBLE SPACE WITH CONTINUOUS TREE CANOPY

1. TO ACHIEVE DEFENSIBLE SPACE WHILE RETAINING A STAND OF LARGER TREES WITH A CONTINUOUS TREE CANOPY APPLY THE FOLLOWING TREATMENTS:
2. GENERALLY, REMOVE ALL SURFACE FUELS GREATER THAN 4 INCHES IN HEIGHT. SINGLE SPECIMENS OF TREES OR OTHER VEGETATION MAY BE RETAINED PROVIDED THEY ARE WELL-SPACED, WELL-PRUNED, AND CREATE A CONDITION THAT AVOIDS SPREAD OF FIRE TO OTHER VEGETATION OR TO A BUILDING OR STRUCTURE.
3. REMOVE LOWER LIMBS OF TREES ("PRUNE") TO AT LEAST 6 FEET UP TO 15 FEET (OR THE LOWER 1/3 BRANCHES FOR SMALL TREES). PROPERTIES WITH GREATER FIRE HAZARDS, SUCH AS STEEPER SLOPES OR MORE SEVERE FIRE DANGER, WILL REQUIRE PRUNING HEIGHTS IN THE UPPER END OF THIS RANGE.

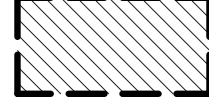
DEFENSIBLE SPACE: REDUCED FUEL ZONE

4. 30 FT. REDUCED FUEL ZONE.
5. 30 FT. TO 100 FT.
6. BETWEEN FUELS. FOR EXAMPLE, PROPERTIES ON STEEP SLOPES HAVING LARGE SIZED VEGETATION WILL REQUIRE GREATER SPACING BETWEEN INDIVIDUAL TREES AND BUSHES (SEE PLANT SPACING GUIDELINES AND CASE EXAMPLES BELOW). GROUPS OF VEGETATION (NUMEROUS PLANTS GROWING TOGETHER LESS THAN 10 FEET IN TOTAL FOLIAGE WIDTH) MAY BE TREATED AS A SINGLE PLANT. FOR EXAMPLE, THREE INDIVIDUAL MANZANITA PLANTS GROWING TOGETHER WITH A TOTAL FOLIAGE WIDTH OF EIGHT FEET CAN BE "GROUPED" AND CONSIDERED AS ONE PLANT AND SPACED ACCORDING TO THE PLANT SPACING GUIDELINES IN THIS DOCUMENT.
- 7.

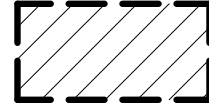
ALL ROOFS TO BE CLASS A RATED ASSEMBLIES
ALL EXTERIOR WALLS TO HAVE FIRE RESISTIVE FINISH
ALL EXTERIOR WINDOWS TO BE DOUBLE PANE OR TEMPERED GLASS



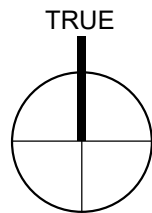
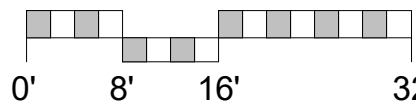
'MANAGEMENT ZONE' & REDUCED FUEL ZONE 30' TO 100' FROM STRUCTURES



'GREEN ZONE' & FIREBREAK 30' FROM STRUCTURES



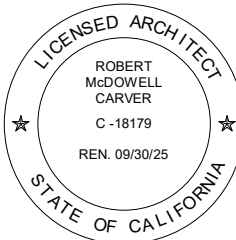
'NON COMBUSTIBLE ZONE' 10' FROM STRUCTURES



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ARCHITECTURAL
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MANAGEMENT
PLAN

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Job: 2312

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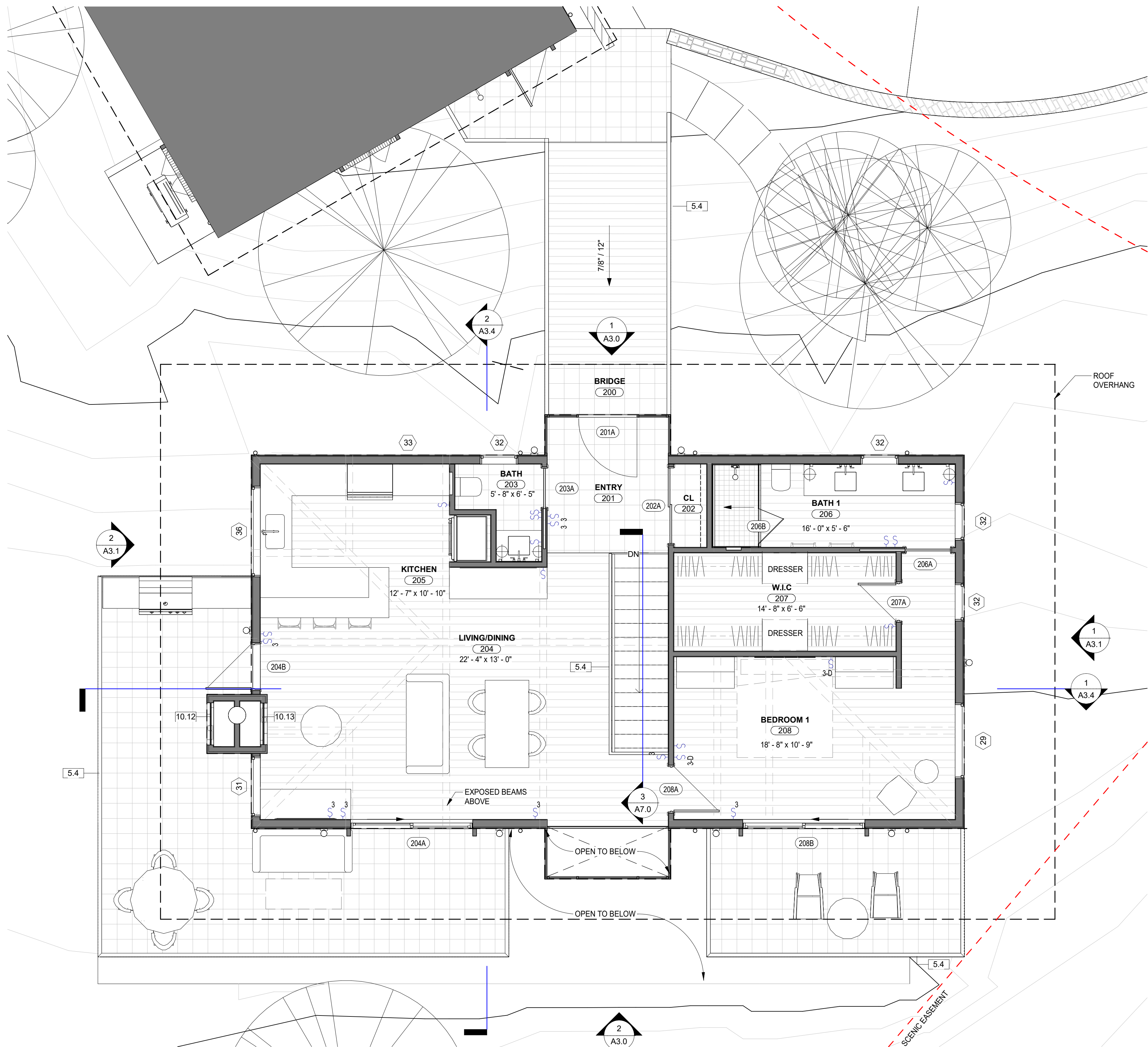
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SLOPE DENSITY ANALYSIS INDICATES AREAS $\geq 25\%$

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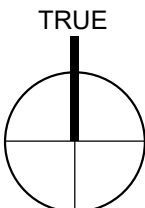
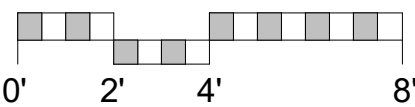


1 LEVEL 2
1/4" = 1'-0"

KEYNOTE LEGEND

- 5.4 42" HIGH (A.F.F.) GUARD RAIL W/ METAL TOP RAIL. CRC R301.5 - GUARD RAILS AND HANDRAILS SHALL RESIST A 200 LB CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- 10.12 SEALED EXTERIOR RATED GAS FIREPLACE, PROVIDE GAS SHUT OFF VALVE.
- 10.13 INTERIOR GAS FIREPLACE, PROVIDE GAS SHUT OFF VALVE.

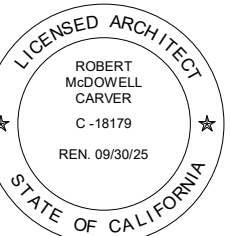
WALL SCHEDULE		
Type Mark	Description	Note
4C	1/2" GYP. BOARD; 2X4 STUDS @ 16" O.C.; 1/2" GYP. BOARD	
6A	HARDIE PANEL SIDING PANEL; RAIN SCREEN; GRACE ICE & WATER SHIELD SELF ADHERED WRB; FIRE RATED CDX PLYWOOD; 2X6 STUDS @ 16" O.C.; R21 BATT INSULATION; 1/2" GYP. BOARD W/ VENEER PLASTER FINISH	



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ARCHITECTURAL
LEVEL 2 FLOOR
PLAN

Scale: @ 24x36
Drawn By: DPIJP
Job: 2312

A2.0

3/31/2025

3/31/2025 3:32:52 PM

[illegible]

10.12 SEALED EXTERIOR RATED GAS FIREPLACE, PROVIDE GAS SHUT OFF VALVE.
10.13 INTERIOR GAS FIREPLACE, PROVIDE GAS SHUT OFF VALVE.

WALL SCHEDULE		
Type Mark	Description	Note
4C	1/2" GYP. BOARD; 2X4 STUDS @ 16" O.C.; 1/2" GYP. BOARD	
6A	HARDIE PANEL; SIDING PANEL; RAIN SCREEN; GRADE ICE & WATER SHIELD SELF ADHERED WRB; FIRE RATED CDX PLYWOOD; 2X6 STUDS @ 16" O.C.; R21 BATT INSULATION; 1/2" GYP. BOARD W/ VENEER PLASTER FINISH	

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ARCHITECTURAL
LEVEL 1 FLOOR
PLAN

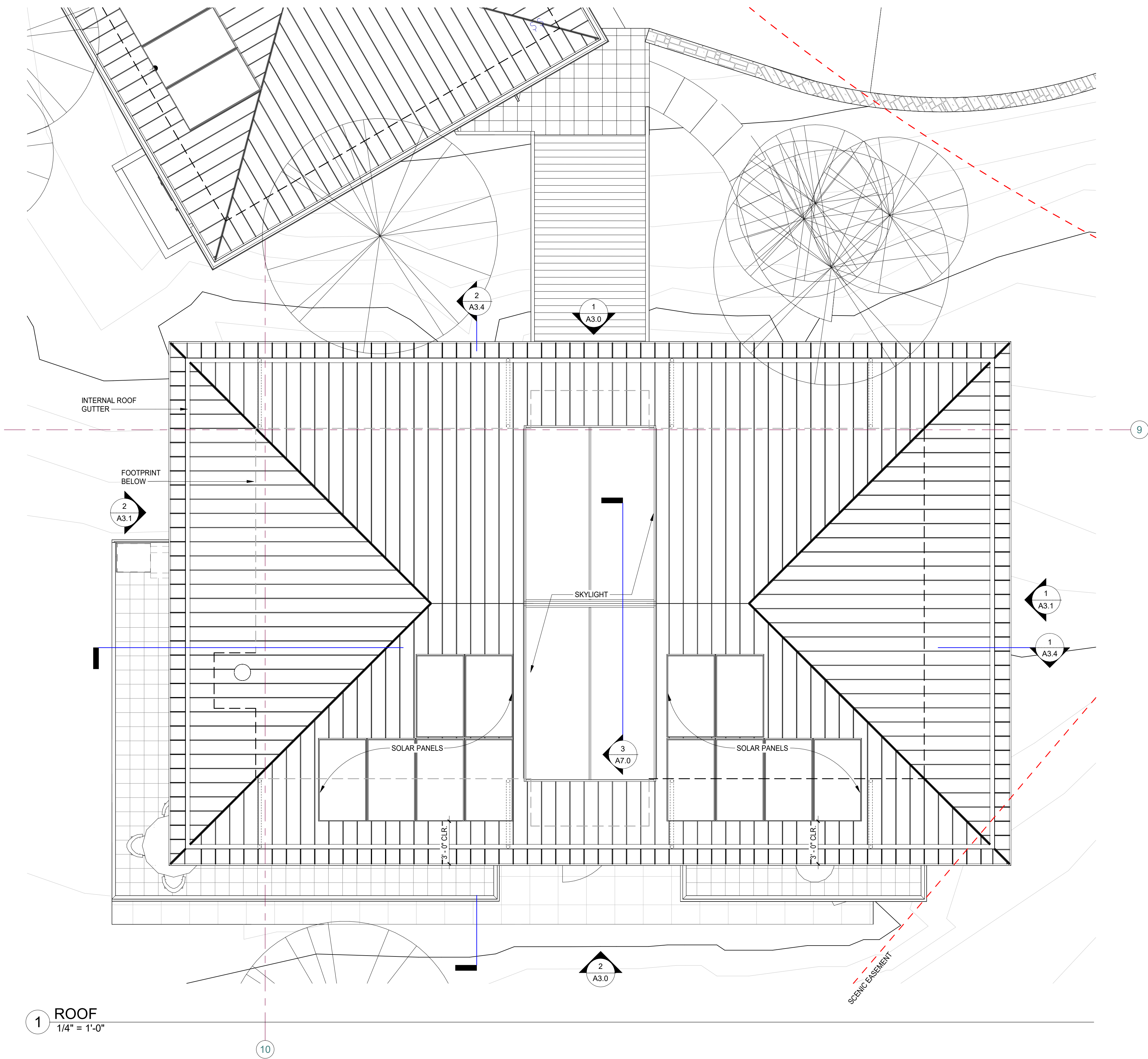
Scale: @ 24x36
Drawn By: DP/JP
Job: 2312

1/2025

25 3:32:53 PM

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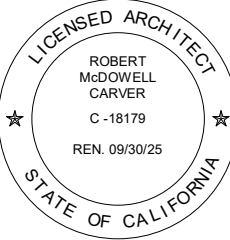
KEYNOTE LEGEND

ROOF NOTES

1. FASCIA BOARDS SHALL BE MINIMUM 2" NOMINAL THICKNESS.
2. ALL FLASHING, SHEET METAL, VENT STACKS, AND PIPES SHALL BE COPPER OR PAINTED TO MATCH THE ADJACENT ROOFING MATERIAL.
3. PIPES AND VENTS SHALL BE COMBINED FOR MINIMUM ROOF PENETRATIONS. PENETRATIONS SHALL KEPT TO NORTH SIDE OF ROOF WHERE LEAST VISIBLE.
4. ALL ROOF ASSEMBLIES TO BE CLASS A FIRE RATED

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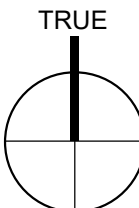
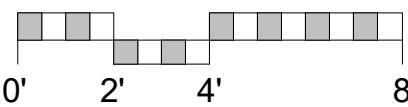
ARCHITECTURAL
PROPOSED
ROOF

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2312

A2.2

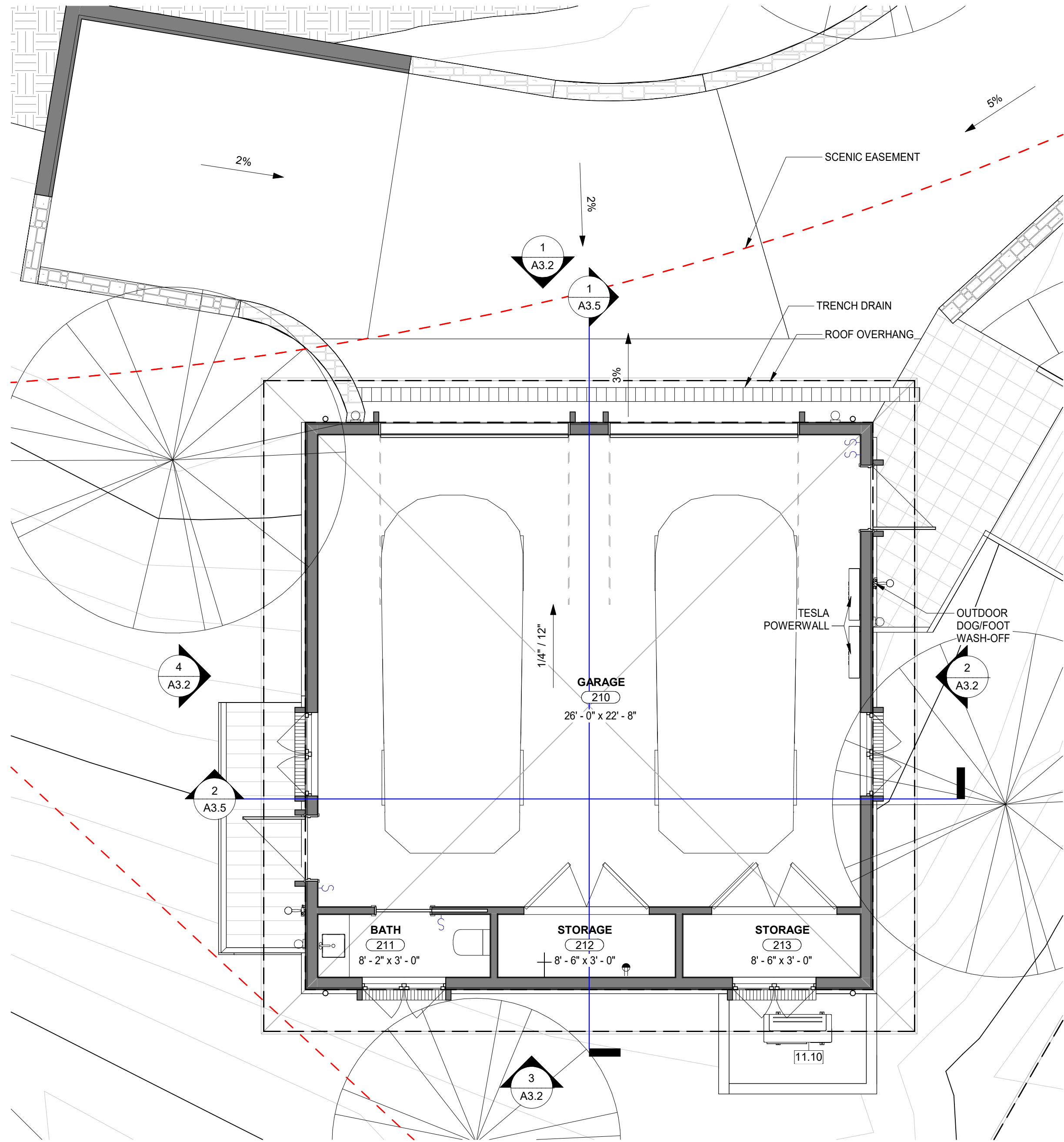
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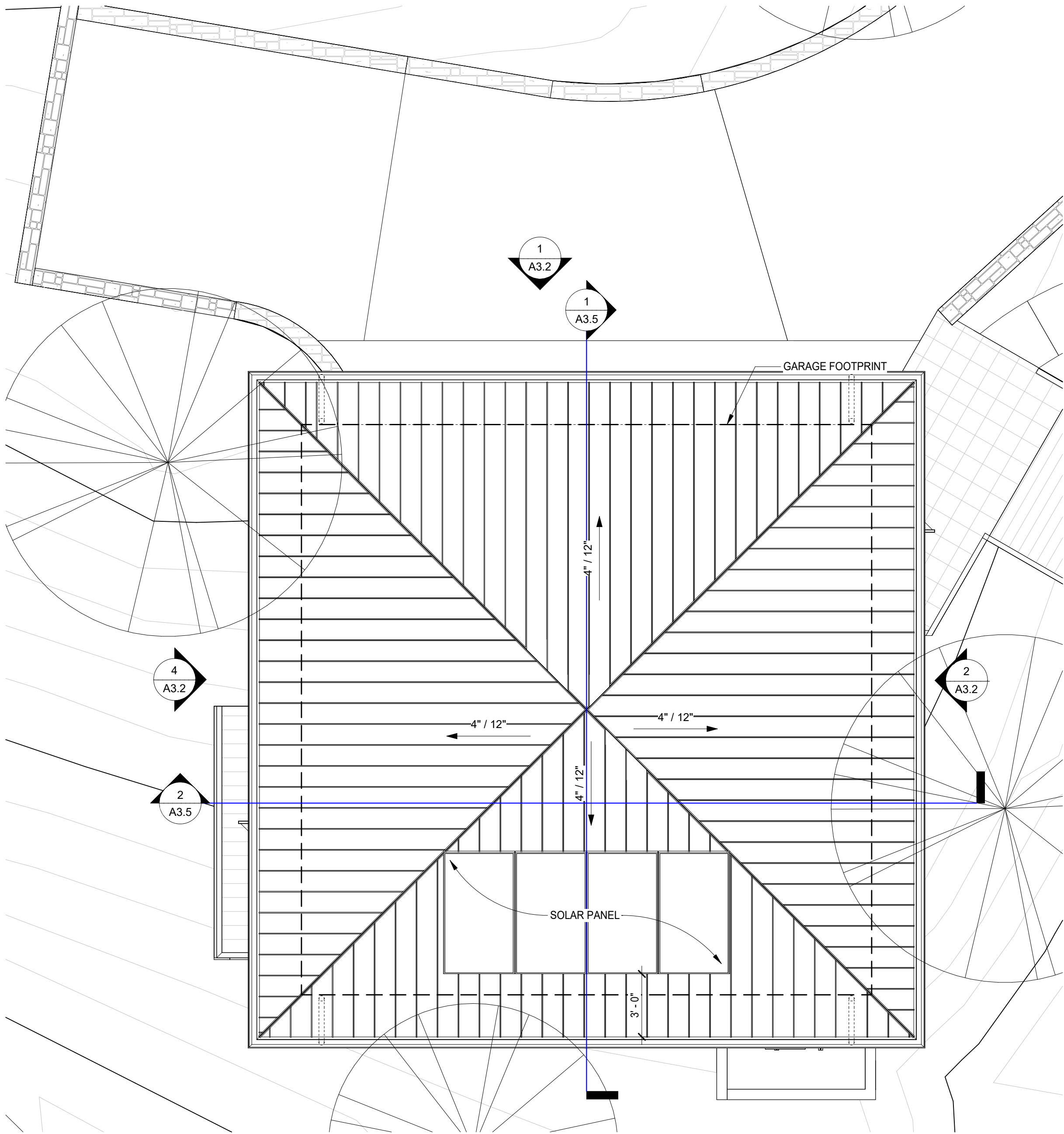
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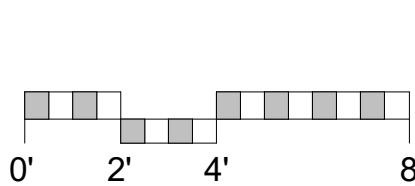
1 GARAGE
1/4" = 1'-0"

KEYNOTE LEGEND

11.10 HEAT PUMP



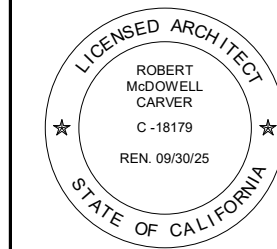
2 GARAGE ROOF
1/4" = 1'-0"



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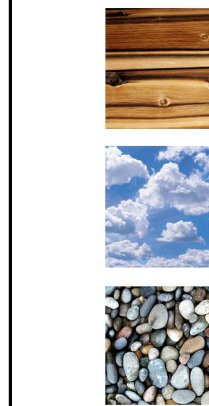
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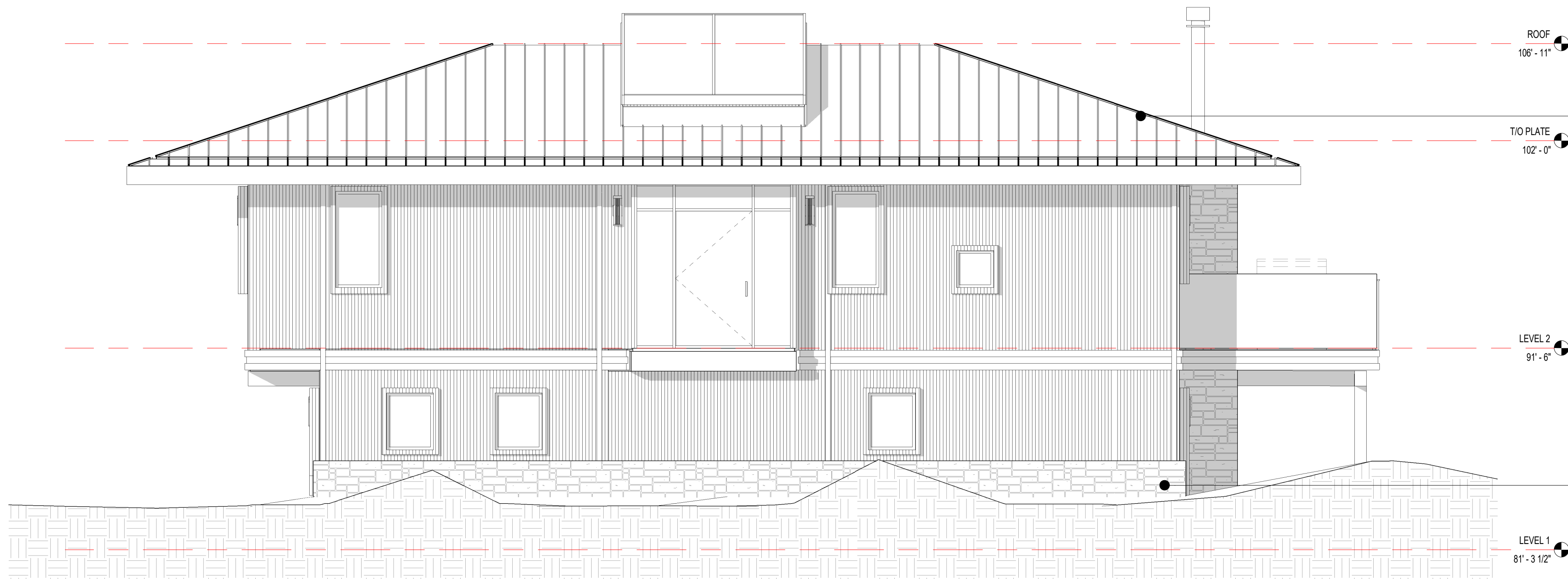
ARCHITECTURAL
GARAGE FLOOR
& ROOF PLAN

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2312

A2.3

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3/31/2025 3:32:55 PM

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1 NORTH ELEVATION
1/4" = 1'-0"



STANDING SEAM METAL
GRAPHITE GREY



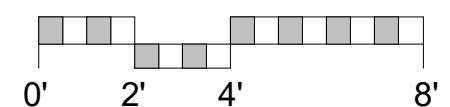
TUSCAN BLEND RUBBLE



2 SOUTH ELEVATION
1/4" = 1'-0"



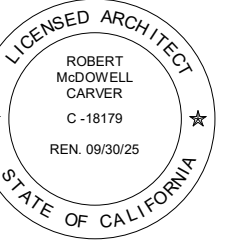
FIBER CEMENT SIDING
LIGHT BROWN



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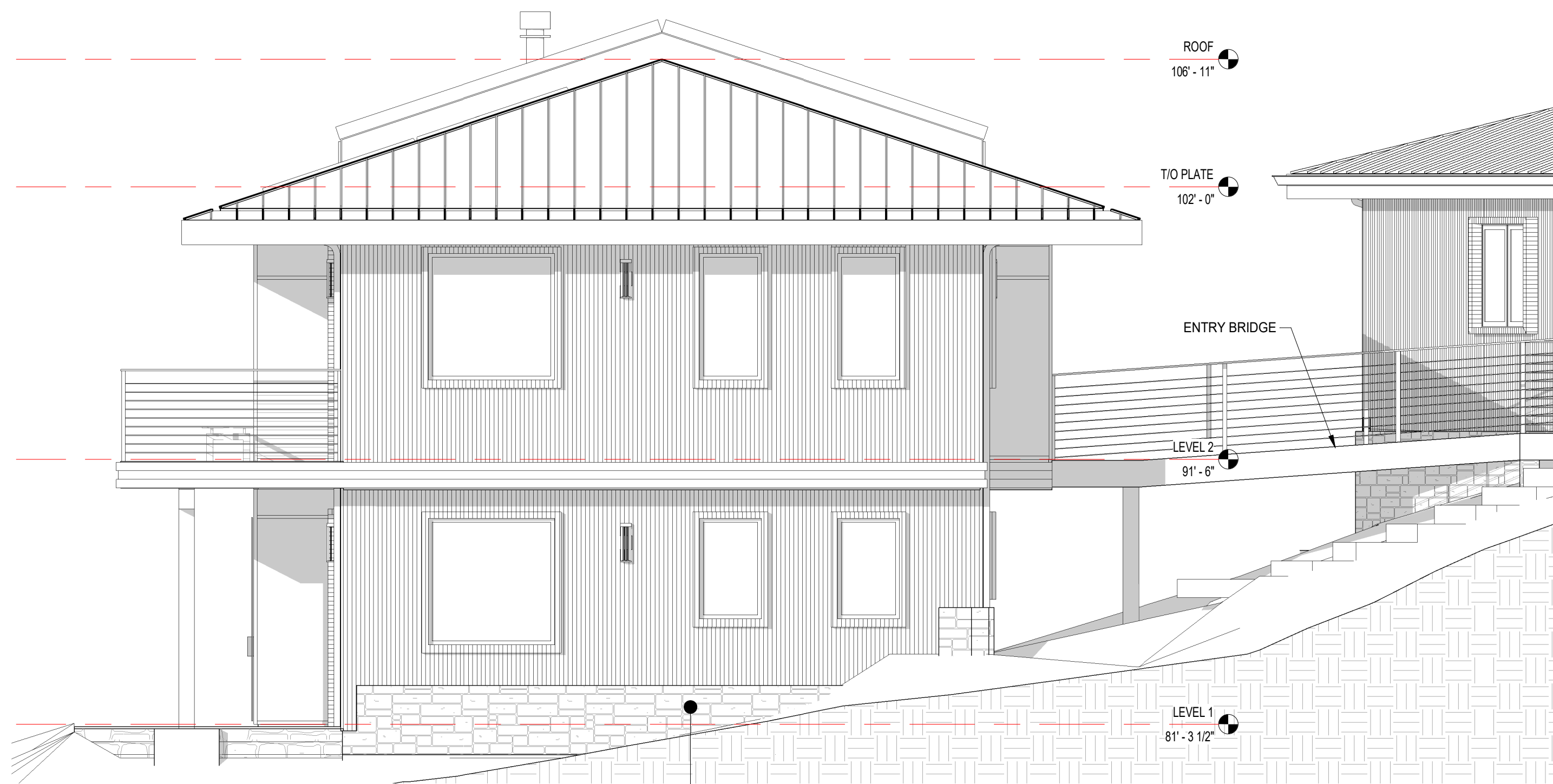
ARCHITECTURAL
EXTERIOR
ELEVATIONS

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2312

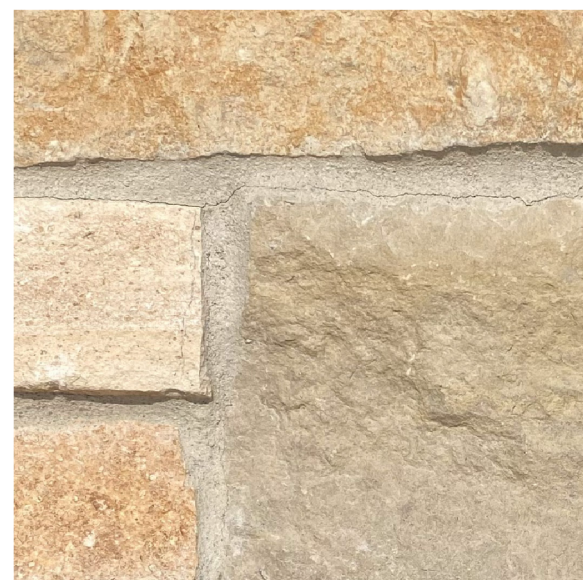
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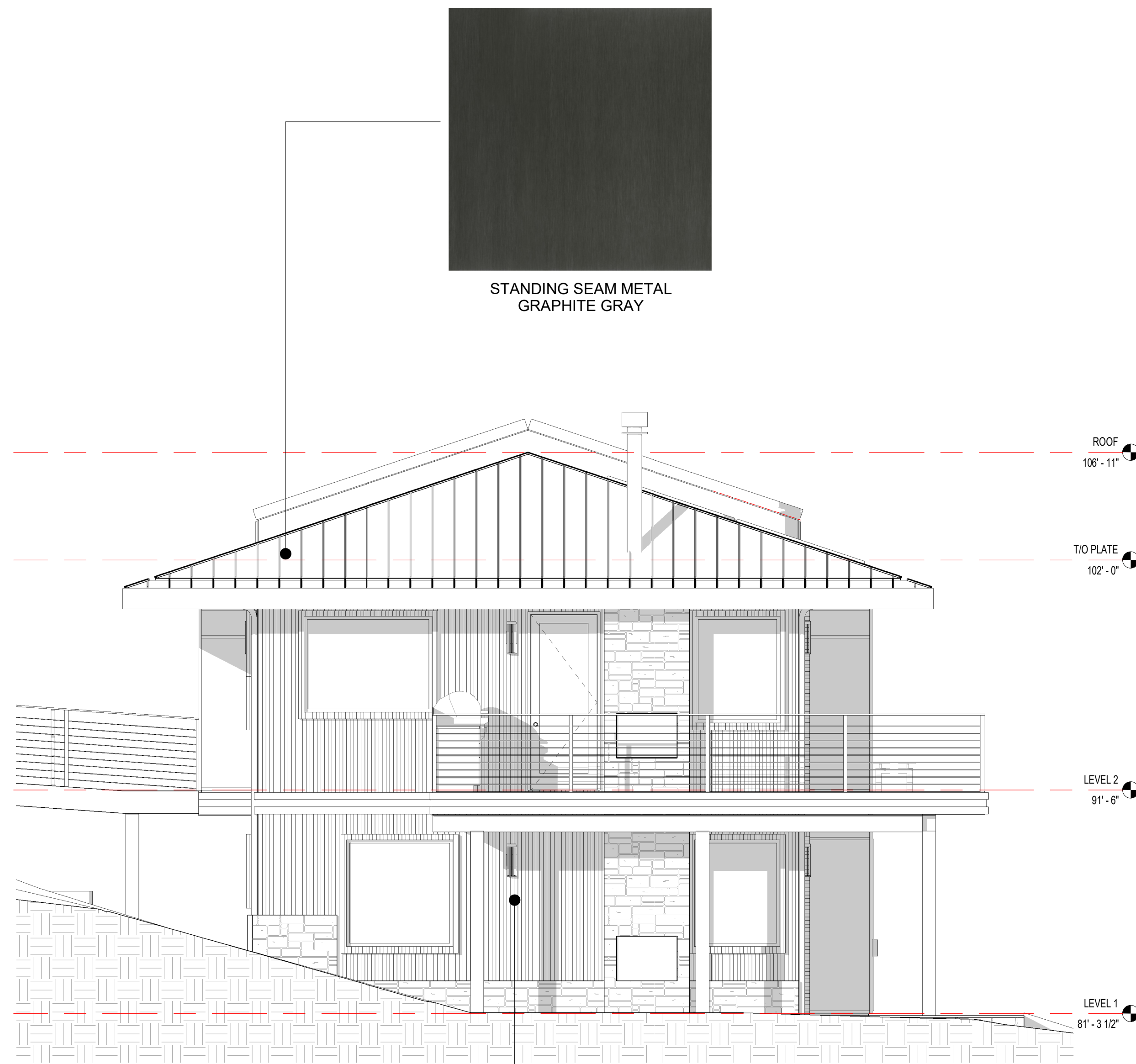
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1 EAST ELEVATION
1/4" = 1'-0"



TUSCAN BLEND RUBBLE



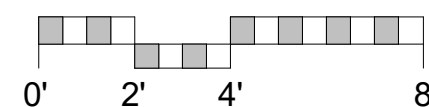
2 WEST ELEVATION
1/4" = 1'-0"



FIBER CEMENT SIDING
LIGHT BROWN



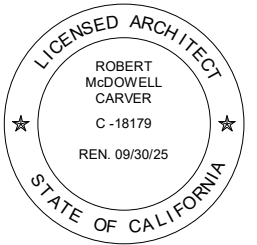
STANDING SEAM METAL
GRAPHITE GRAY



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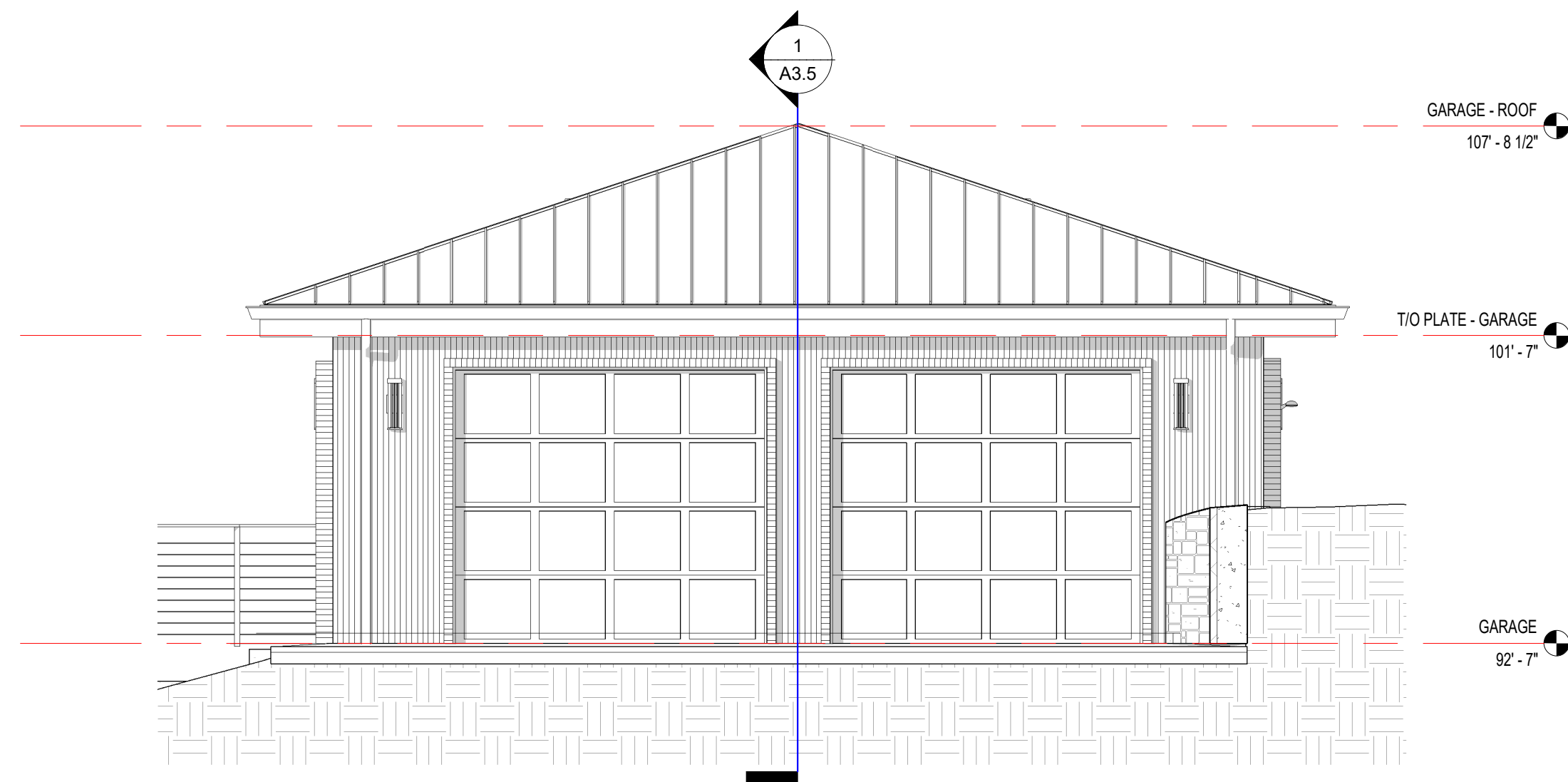
ARCHITECTURAL
EXTERIOR
ELEVATIONS

Scale: @ 24x36
Drawn By: DPI/JP
Job: 2312

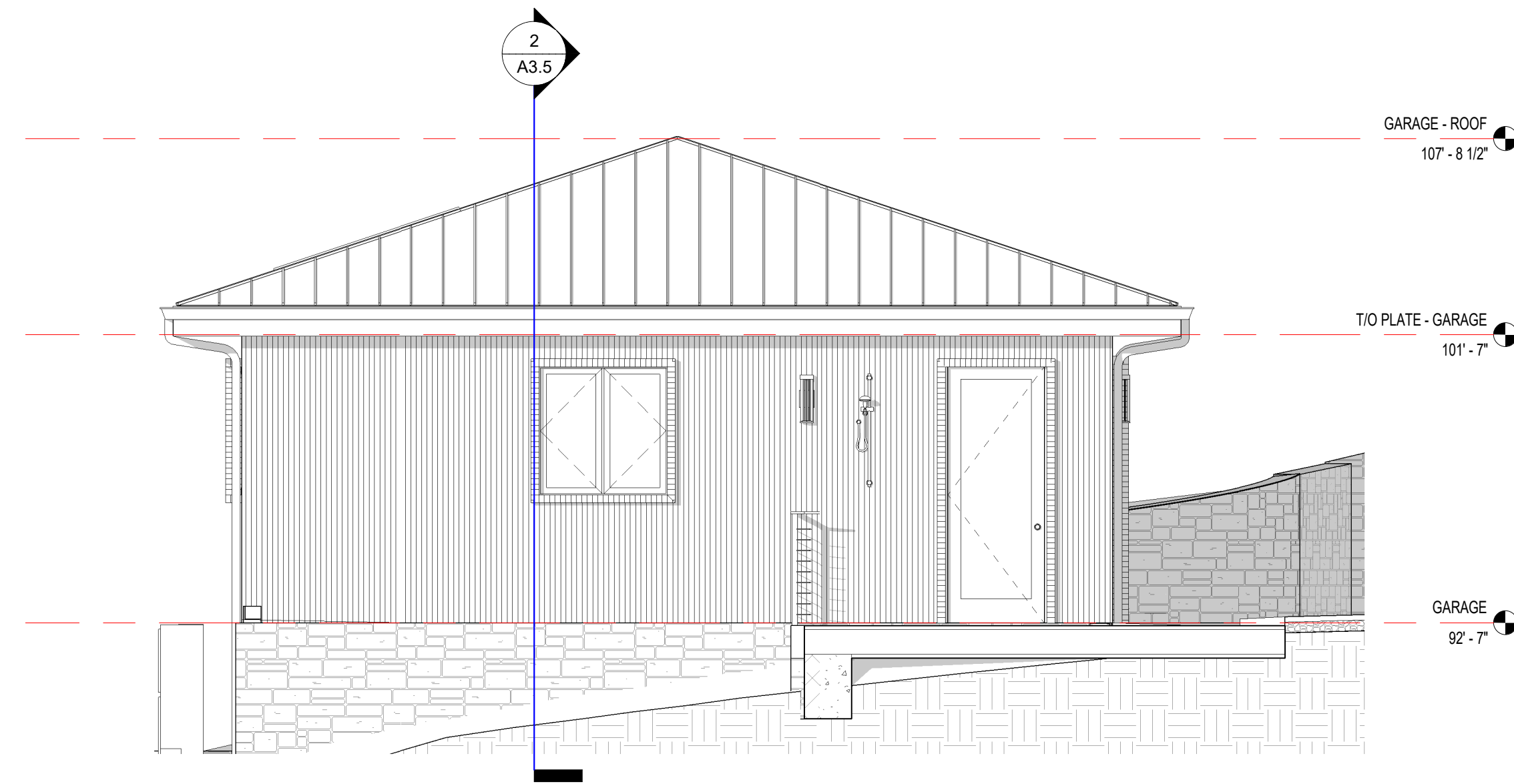
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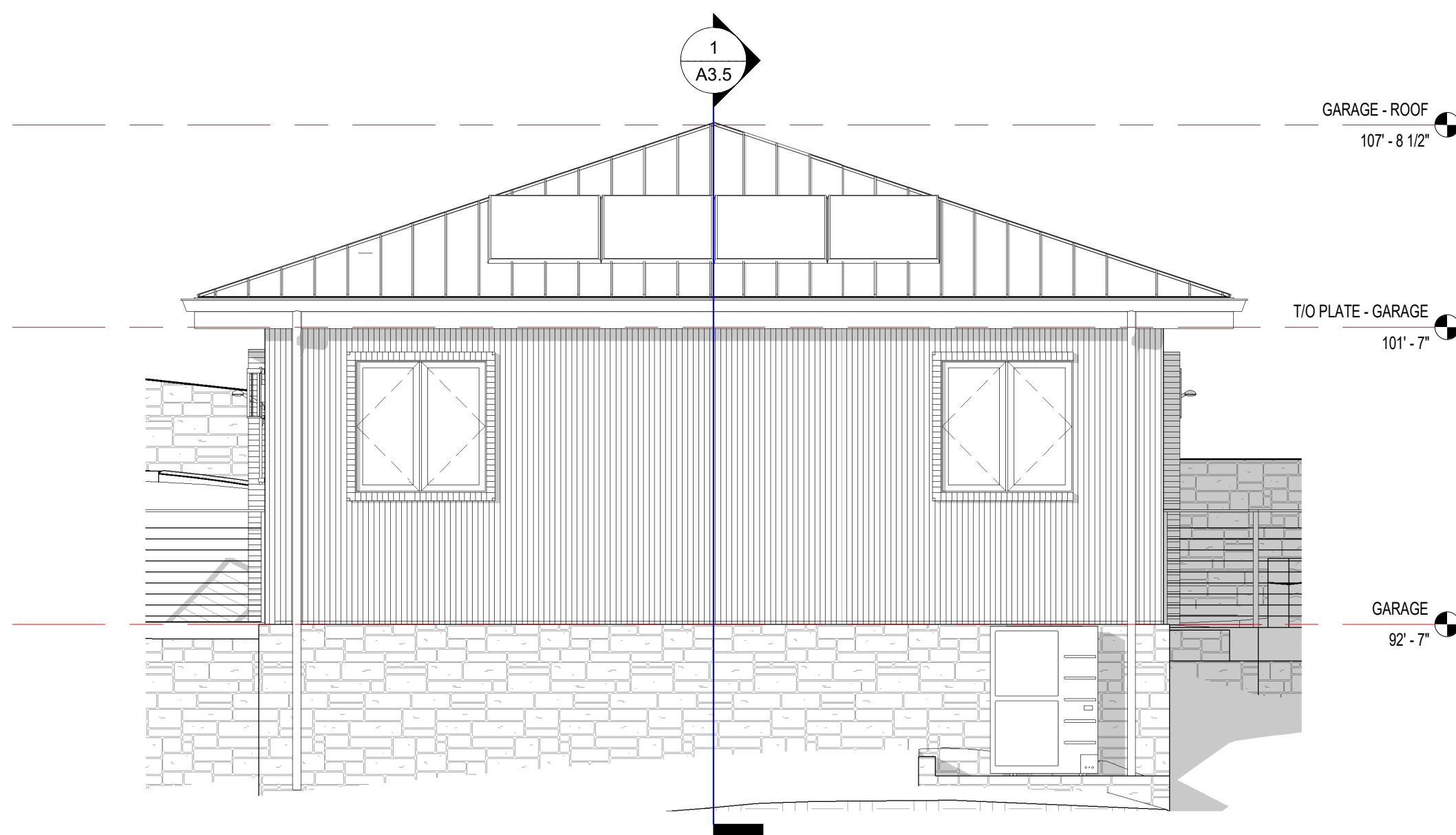
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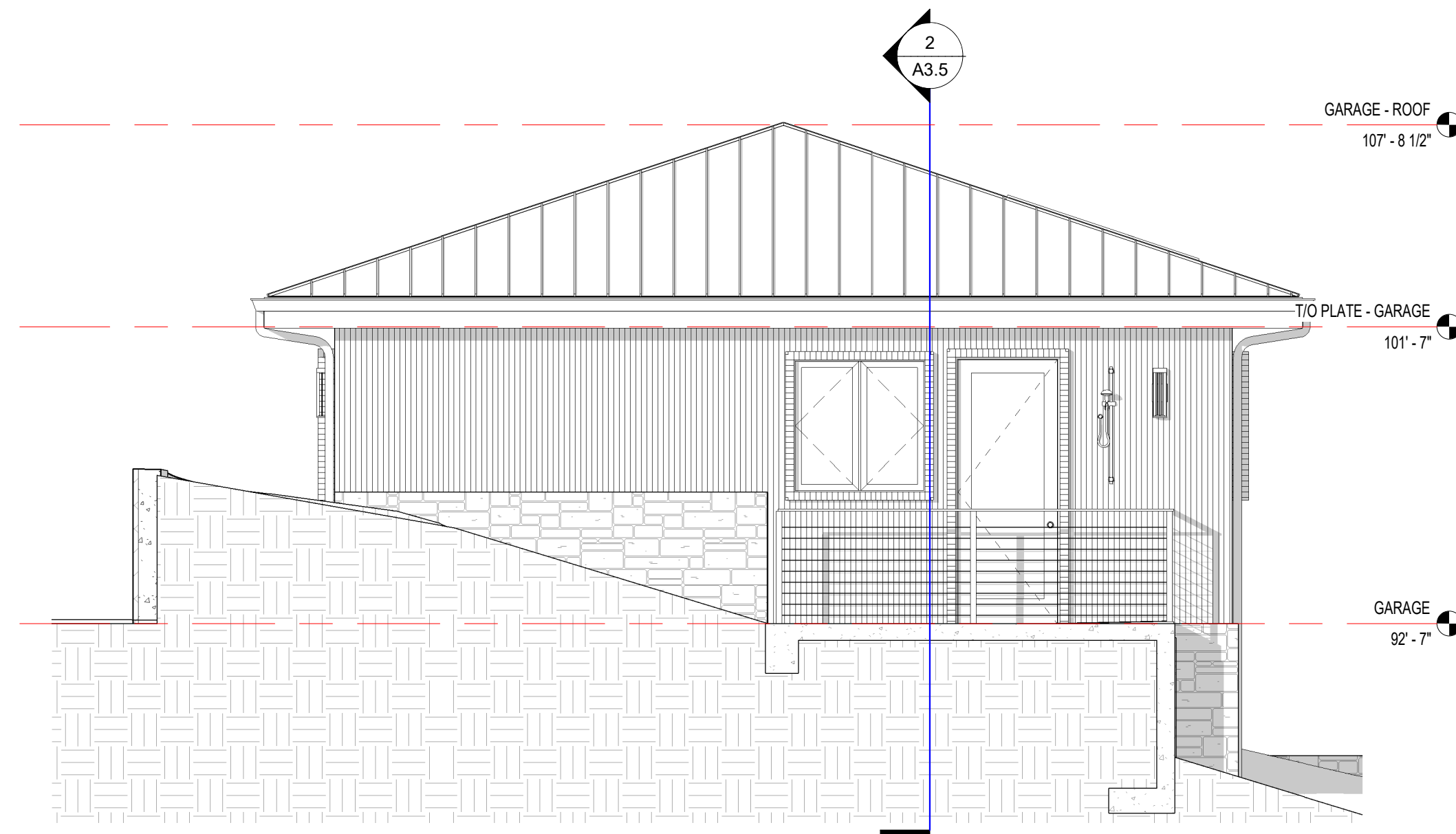
1 GARAGE - NORTH
1/4" = 1'-0"



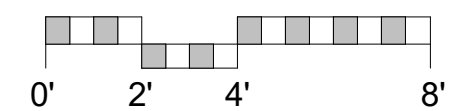
2 GARAGE - EAST
1/4" = 1'-0"



3 GARAGE - SOUTH
1/4" = 1'-0"



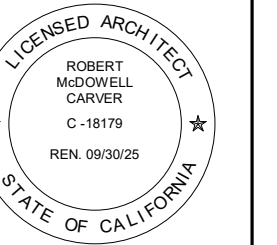
4 GARAGE - WEST
1/4" = 1'-0"



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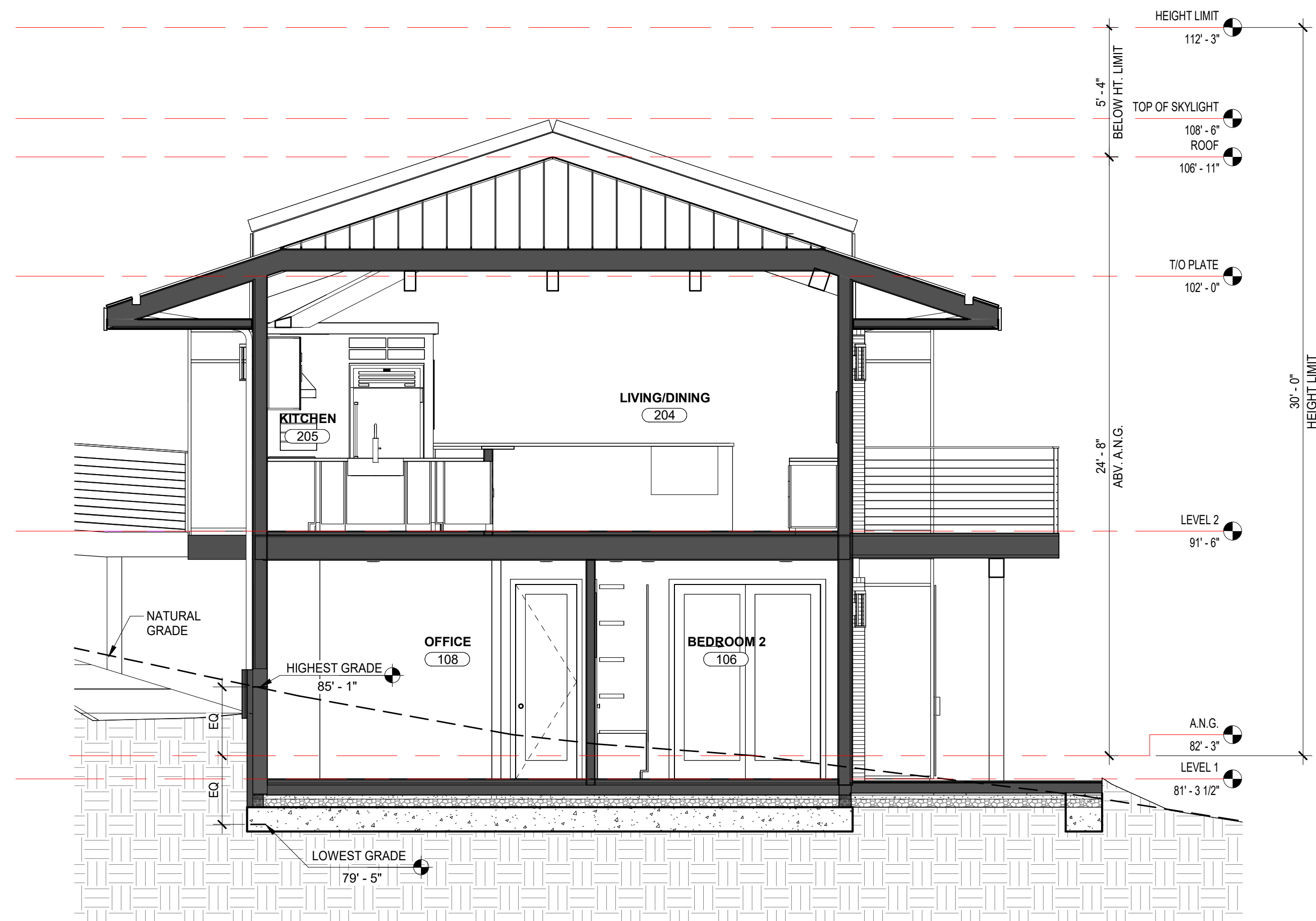
ARCHITECTURAL
GARAGE
ELEVATIONS

Scale: @ 24x36
Drawn By: DP/JP
Job: 2312

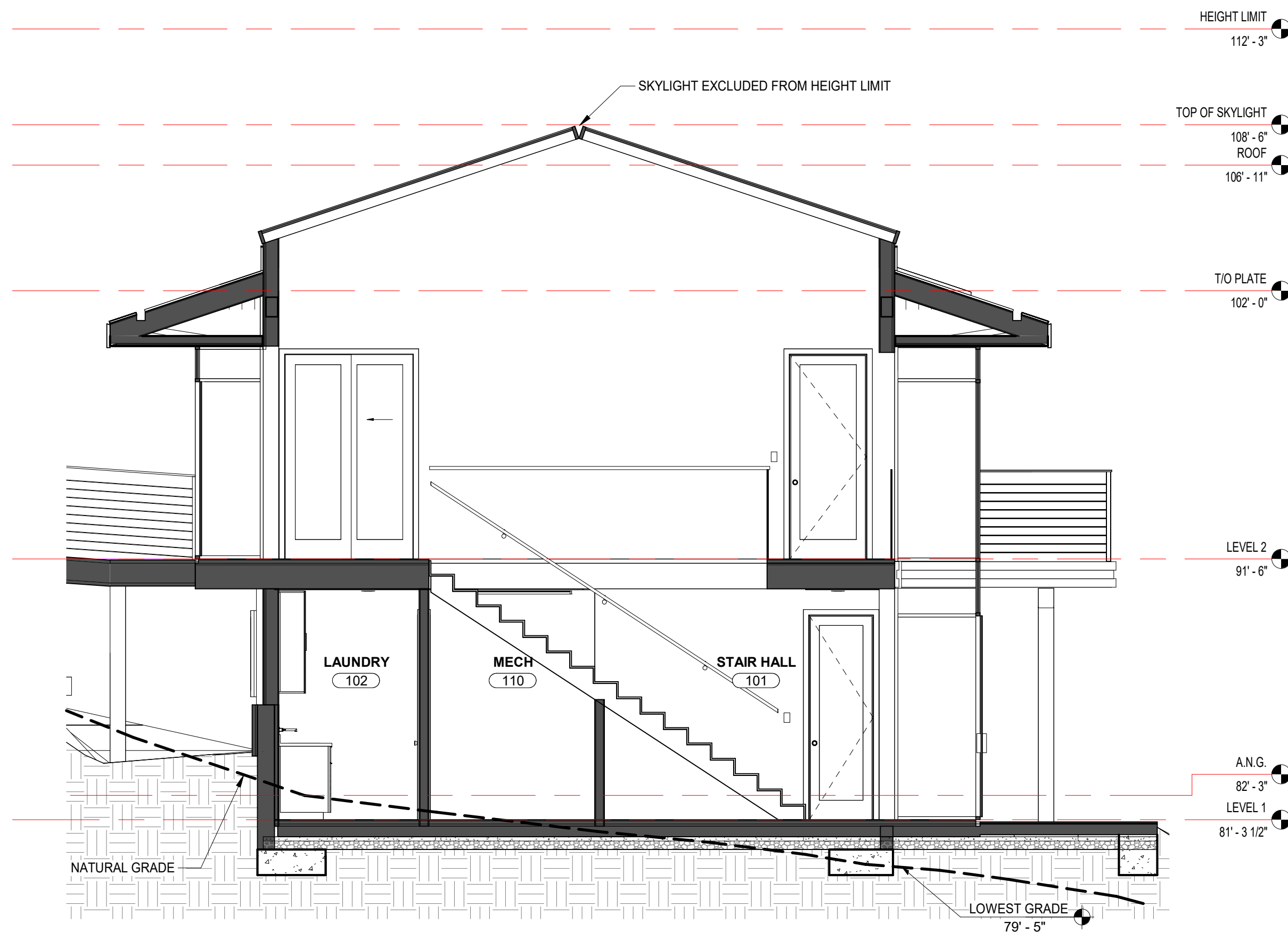
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3 N/S SECTION 1
1/4" = 1'-0"

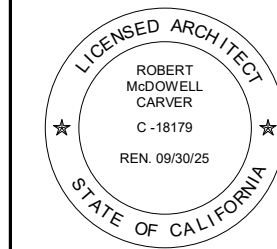


2 N/S SECTION 2
1/4" = 1'-0"

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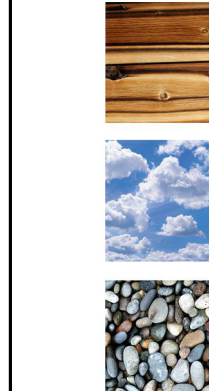
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BUILDING
SECTIONS

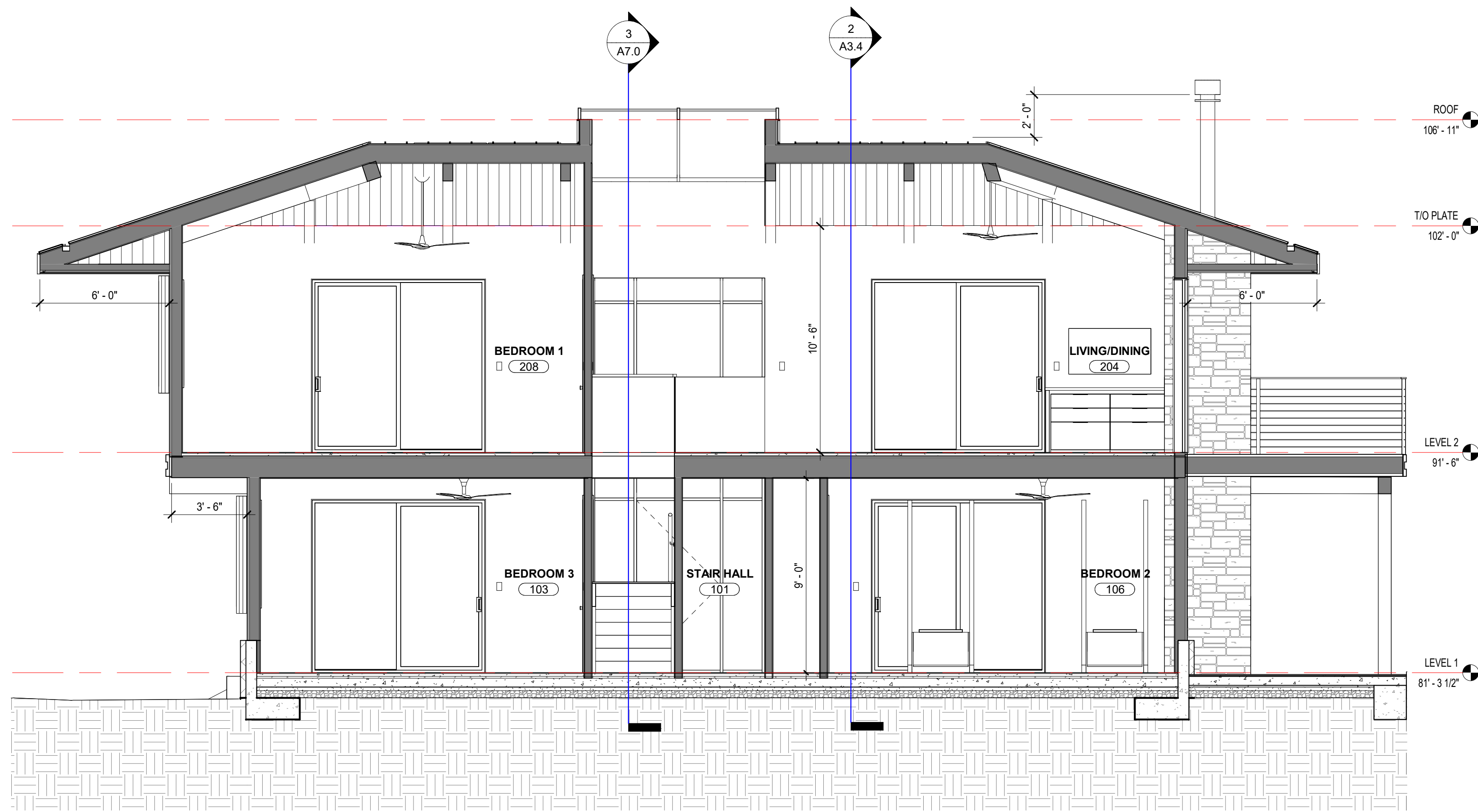
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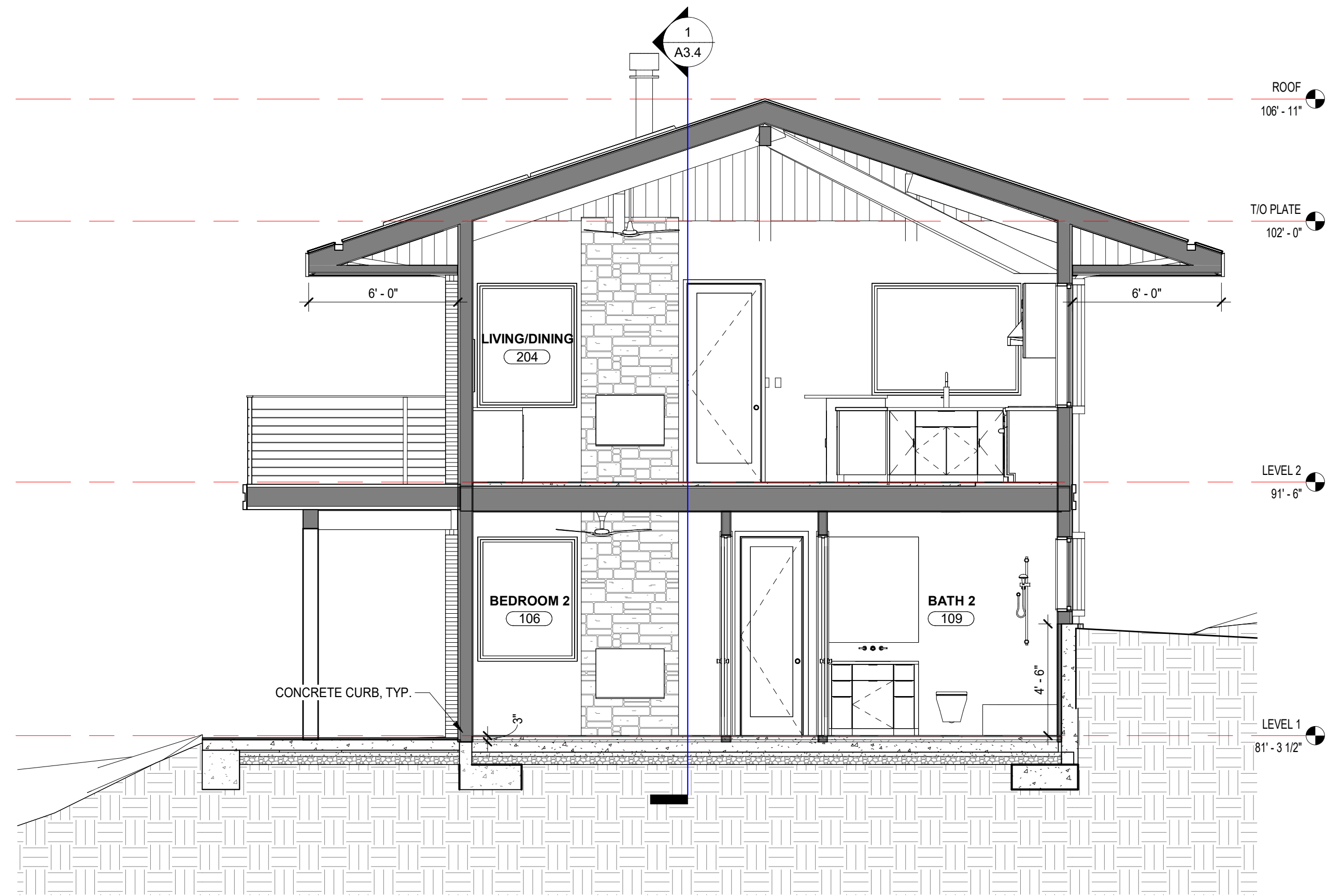
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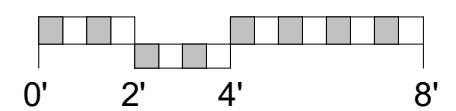
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1 S/N SECTION
1/4" = 1'-0"



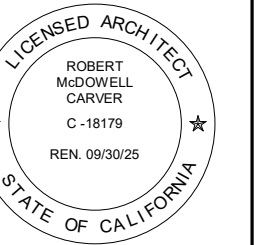
2 N/S SECTION
1/4" = 1'-0"



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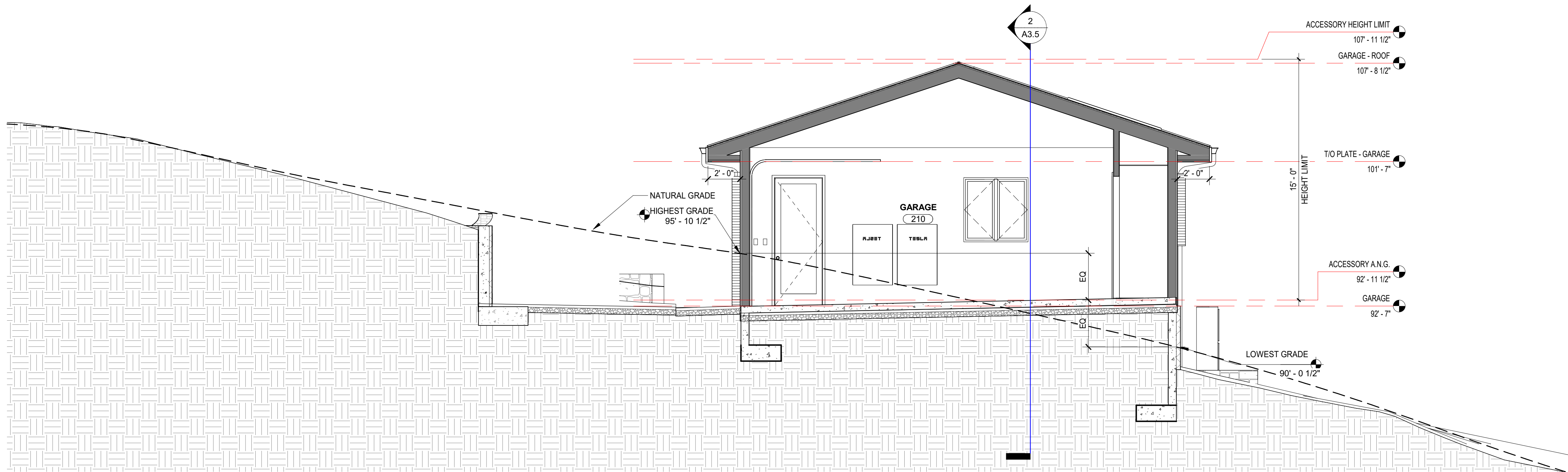
ARCHITECTURAL
BUILDING
SECTIONS

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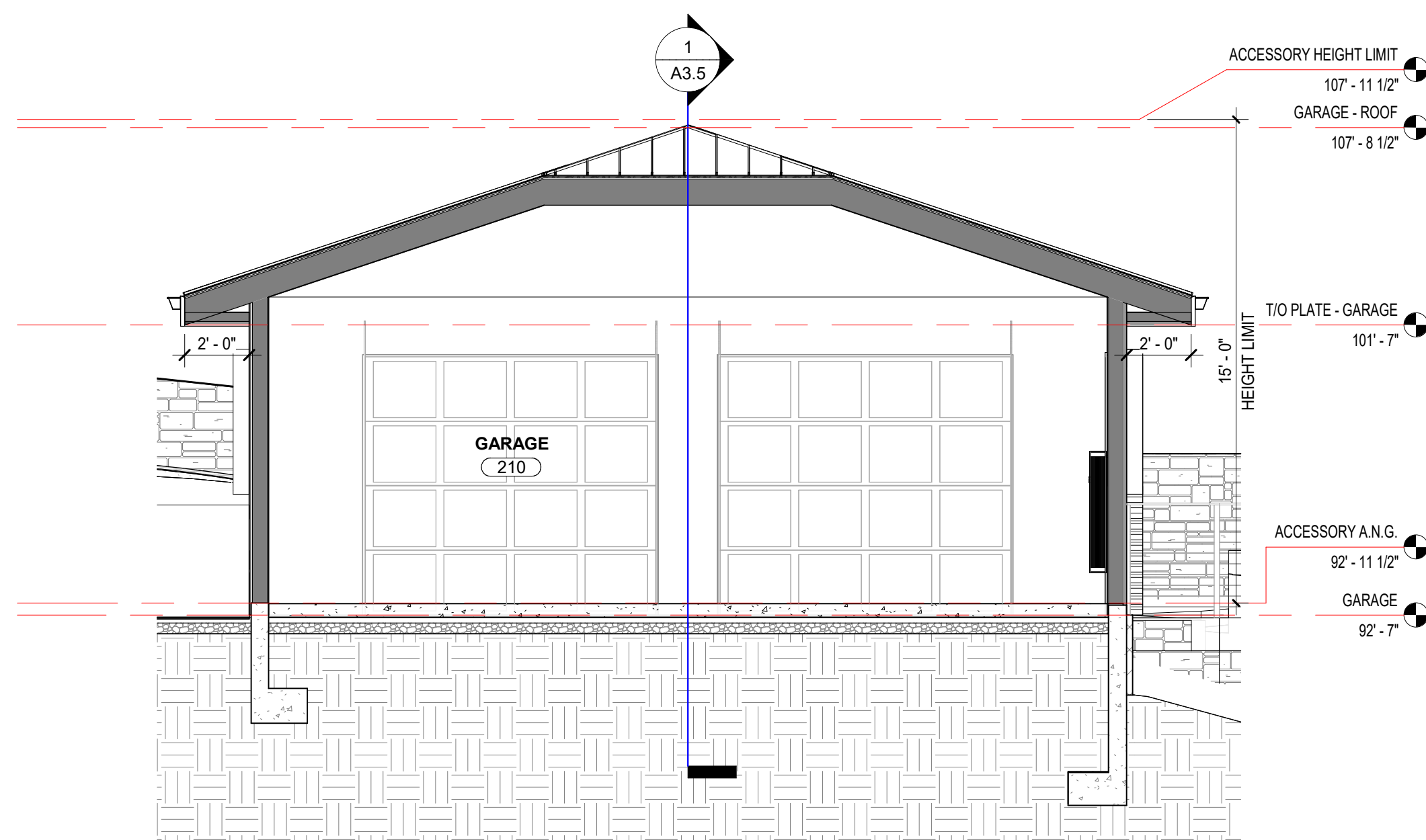
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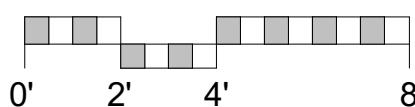
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1 N/S SECTION - GARAGE
1/4" = 1'-0"



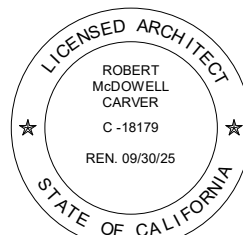
2 E/W SECTION - GARAGE
1/4" = 1'-0"



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ARCHITECTURAL
BUILDING
SECTIONS -
GARAGE

Scale: @ 24x36
Drawn By: DPIJP
Job: 2312

A3.5

3/31/2025

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VICINITY MAP

NOT TO SCALE

PROJECT INFORMATION

PROPERTY OWNER: PATRICK MAUSE AND ROBIN RILEY
28007 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA 93924

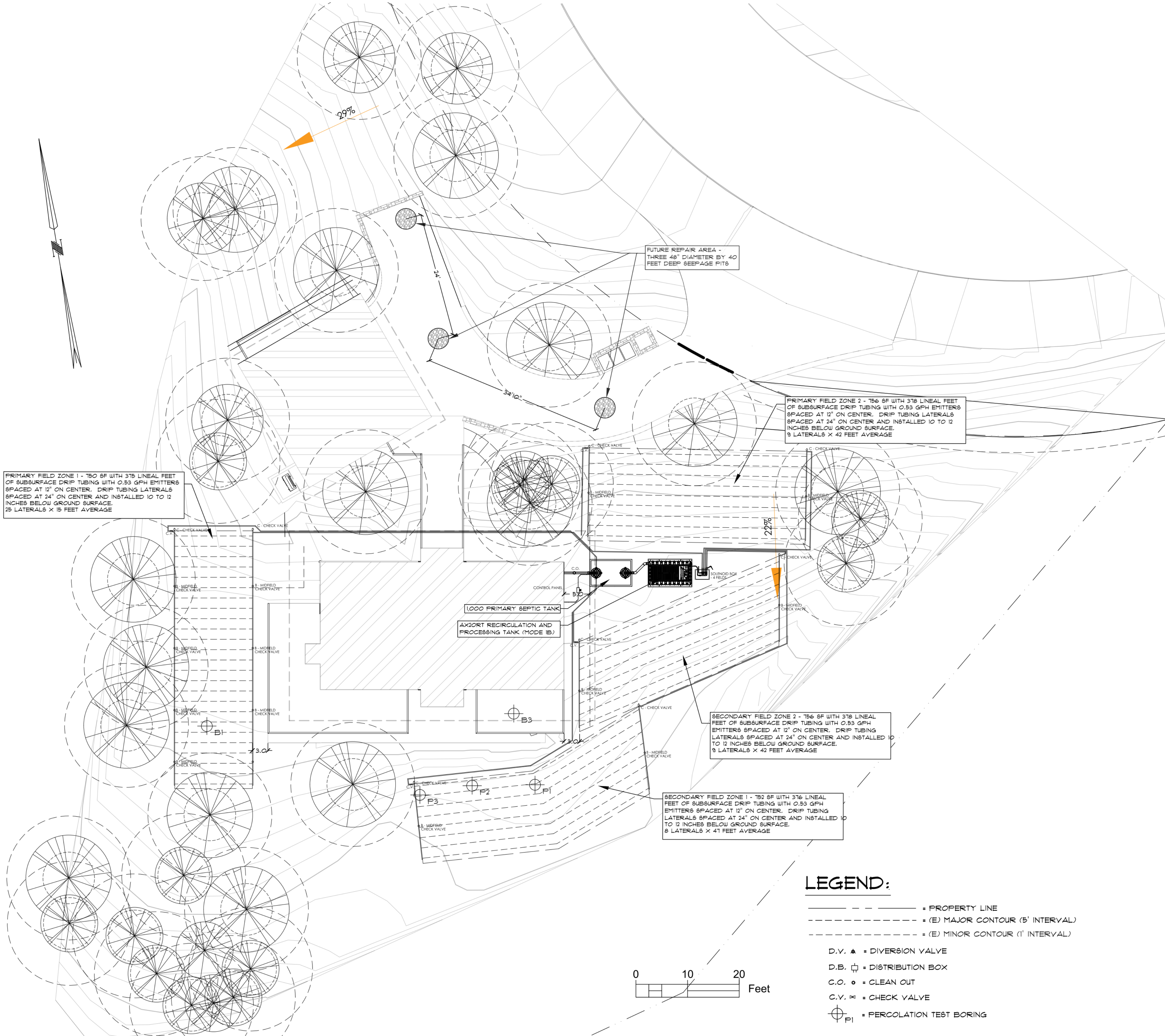
JURISDICTION: COUNTY OF MONTEREY
ASSESSORS PARCEL NO: 169-081-008-000
DESCRIPTION: 28007 MERCURIO ROAD, CARMEL VALLEY

BASIS OF SEPTIC DESIGN:

- THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY SEPTIC ORDINANCE. THE THE PARCEL IS NOT LOCATED IN A GROUNDWATER RECHARGE AREA. THE LOT AREA IS 1.013 ACRES THAT ALLOWS A MAXIMUM OF 40.52 TOTAL GRAM OF NITROGEN DAILY. THE PROPOSED DEVELOPMENT IS 50 GRAMS OF NITROGEN. A REDUCTION OF 18.96 PERCENT IS REQUIRED TO MEET THE NITROGEN LOADING REQUIREMENTS.
- THE NEW ADVANCED OWTS SYSTEM IS SIZED FOR A 4 BEDROOM RESIDENCE. THE ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS PER DAY FOR THE PROPOSED RESIDENCE.
- PER THE SITE GEOTECHNICAL AND PERCOLATION INVESTIGATION REPORT BY SOIL SURVEYS GROUP, INC., DATED MARCH 24, 2023, JOB #8290, THE AVERAGE PERCOLATION RATES FOR THE SUBSURFACE DRIP SYSTEM DISPERSAL IS 50.00 MINUTES PER INCH IN BORING P-3 AT A DEPTH OF 3.11 FEET.
- NO GROUND WATER WAS ENCOUNTERED DURING THE PERCOLATION TESTING. THE GROUND WATER MONITOR BORING WAS INVESTIGATED TO A DEPT OF 30 FEET ON THE DATE OF DRILLING.
- PER TABLE 5-4, SOIL APPLICATION RATES AS DETERMINED FROM STABILIZED PERCOLATION RATES, THE MAXIMUM SOIL APPLICATION RATE IS 0.3 GALLONS PER DAY PER SQUARE FOOT. BASED ON THE AVERAGE PERCOLATION RATE OF 50.00 MINUTES PER INCH.
- THE ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS. $450 / 0.3 = 1,500$ SF -CONVENTIONAL LEACH FIELD DO NOT FIT ON THE SITE FOR THE ANTICIPATED FLOW. -10 FEET DEEP LEACH FIELD DO NOT FIT ON THE SITE WITH THE REQUIRED 10' SEPARATION. DRIP SYSTEM AREA OF 1500 SF CAN BE PLACED IN THE AREAS OF LEAST SLOPE. DUE TO THE CONFIGURATION, EACH FIELD CONSISTS OF 2 ZONES OF APPROXIMATELY THE SAME SIZE.
PRIMARY FIELD: ZONE 1 = 750 SF (375 LF TUBING)
PRIMARY FIELD ZONE 2 = 756 SF (378 LF TUBING)
SECONDARY FIELD ZONE 1 = 752 SF (376 LF TUBING)
SECONDARY FIELD ZONE 2 = 756 SF (378 LF TUBING)
- THE VERTICAL CLEARANCE TO GROUND WATER IS ESTIMATED TO BE 28 FEET (30 FT - 2 FT DISPERSAL DEPTH) WHICH IS GREATER THAN THE MINIMUM VERTICAL SEPARATION OF 3 FEET PER TABLE 12 OF THE LAMP.
- TO FACILITATE FUTURE INSPECTION OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS SHALL BE INSTALLED AT THE END OF EACH TRENCH.
- THE LEACH FIELDS SHALL NOT BE DEEPER THAN TEN FEET.
- THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.

SEPTIC NOTES:

- THE ON-SITE WASTEWATER TREATMENT SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY LAMP FOR OWTS FOR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL THE PRIMARY AND SECONDARY LEACH FIELDS: DIVERTER VALVES, DISTRIBUTION BOXES, ETC. AT THE INITIAL INSTALLATION OF THE SEPTIC SYSTEM.
- THE INSTALLATION OF THE SEPTIC TANK AND LEACH FIELDS SHALL BE INSPECTED AND APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENTS PRIOR TO COVERING OR PLACEMENT OF THE DRAIN ROCK.
- THE SEPTIC TANK SHALL BE EQUIPPED WITH AN EFFLUENT FILTER.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE LOCAL UTILITY COMPANIES, PUBLIC OR PRIVATE AND/OR PROPERTY OWNERS.
- THIS TOPOGRAPHY BASE MAP HAS BEEN PROVIDED BY LANDSET ENGINEERS, INC.



LEGEND:

- = PROPERTY LINE
- - - - - (E) MAJOR CONTOUR (5' INTERVAL)
- - - - - (E) MINOR CONTOUR (1' INTERVAL)
- D.V. ▲ = DIVERSION VALVE
D.B. □ = DISTRIBUTION BOX
C.O. ● = CLEAN OUT
C.V. ⊞ = CHECK VALVE
⊕ P1 = PERCOLATION TEST BORING

SCOPE OF WORK

INSTALL ADVANCED OWTS WITH PRIMARY AND SECONDARY LEACH FIELDS.

THE NEW OWTS SYSTEM SHALL INCLUDE A 1000 GALLON SEPTIC TANK AND "AX20RT" ADVANCED TREATMENT PROCESSING TANK WITH PUMPS TO PROCESS AND CONVEY EFFLUENT TO THE SUBSURFACE DRIP FIELDS. PRIMARY FIELD SHALL HAVE TWO ZONES AND THE SECONDARY FIELD SHALL HAVE TWO ZONES AS SHOWN ON THE PLAN. THE PROCESSING TANK SHALL BE CONFIGURED FOR MODE 3 NITROGEN REDUCTION. THE SYSTEM SHALL PUMP DISCHARGE TO A PRIMARY AND SECONDARY LEACH FIELD. ALL THE WIRES, PUMPING, CONNECTORS, PUMPS, CONTROL PANEL, SPLITTER VALVES, SOLENOIDS, AND FITTINGS SHALL BE INCLUDED.

REVISIONS

TALUBAN ENGINEERING, INC.
103 CHURCH STREET
SALINAS, CALIFORNIA 93901
P.O. BOX 732, SALINAS, CALIFORNIA, 93902
talubaneabceglobal.net



SEPTIC SYSTEM SITE PLAN

PROPOSED RESIDENCE
28001 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA

DATE: 02/10/25

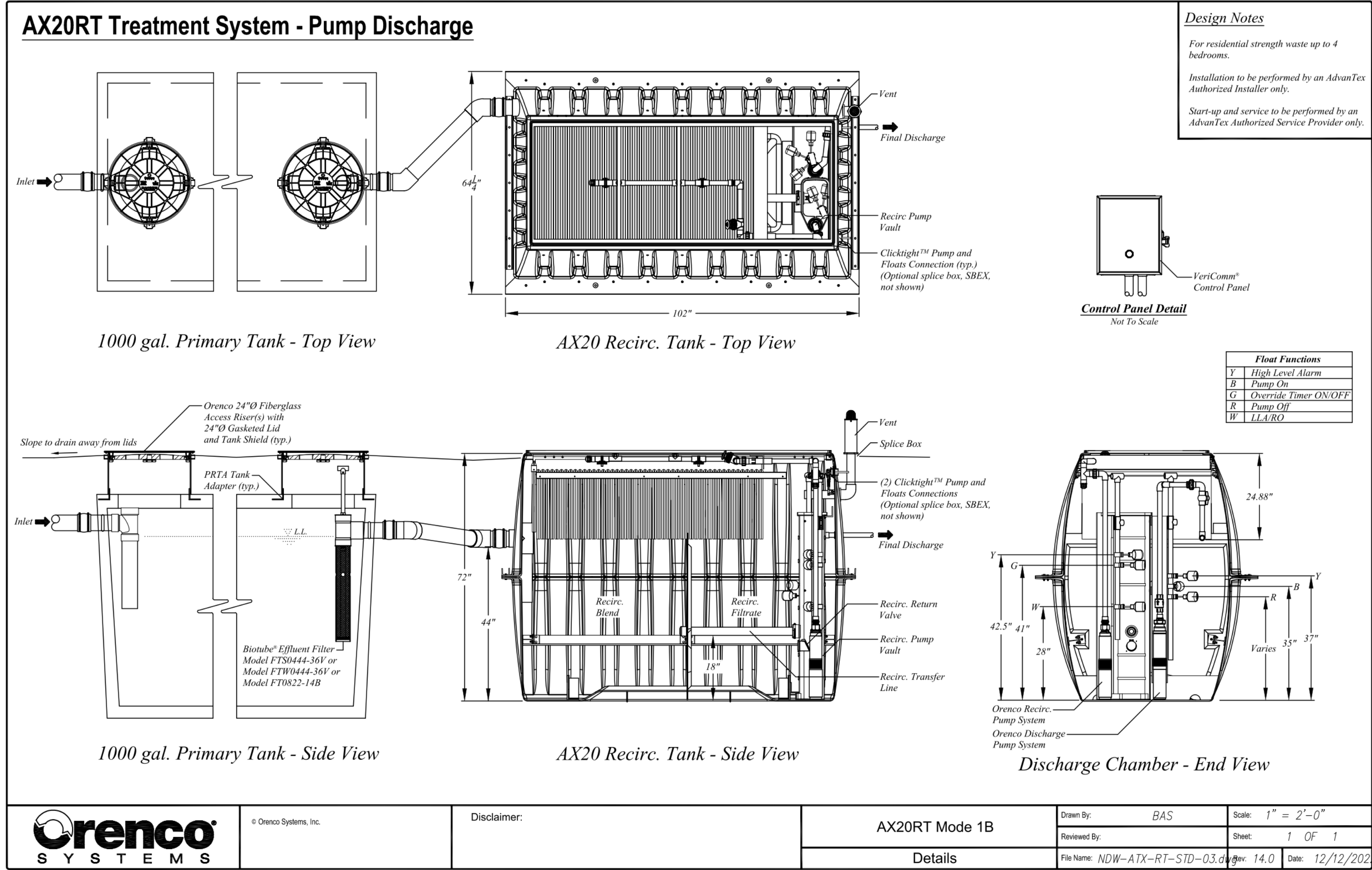
SCALE: AS SHOWN

DRAWN: BT

JOB: 24-043

APN: 169-081-008-000

SHEET
SW.1
OF SHEETS



ADVANTEX GENERAL NOTES:

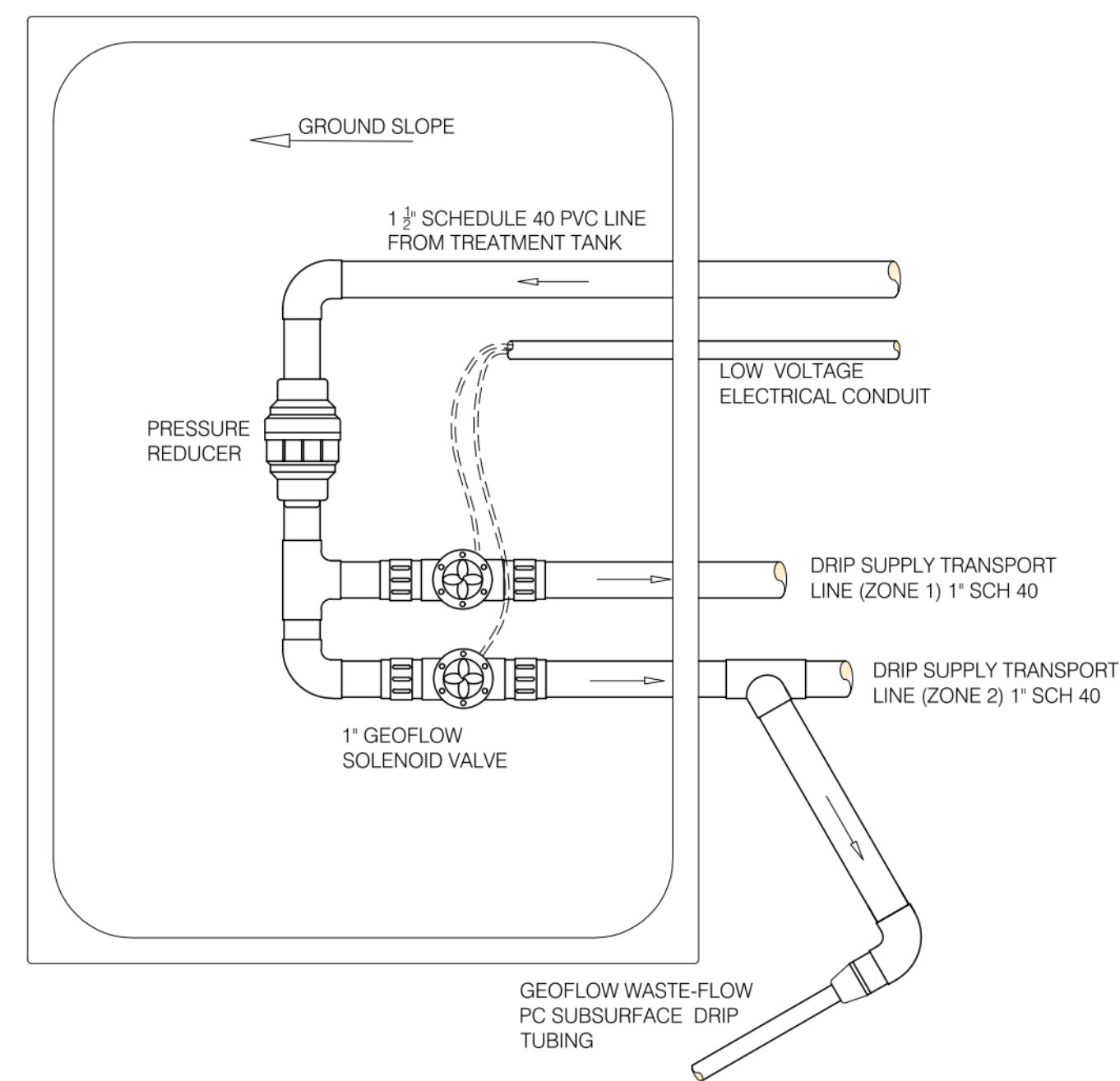
1. THE INSTALLER IS REQUIRED TO FULLY READ AND UNDERSTAND THE MANUFACTURE'S INSTALLATION MANUALS PRIOR TO THE COMMENCEMENT OF WORK. THE SPECIFIED COMPONENTS SHALL BE INSTALLED BY A LICENSED CONTRACTOR EXPERIENCED IN THE INSTALLATION OF ADVANTEX PRODUCTS. CONTRACTORS SHALL BE CERTIFIED BY ORENCO SYSTEMS, INC. OR AN AUTHORIZED DEALER AS AN "AUTHORIZED ADVANTEX INSTALLER".
 2. A PRE-CONSTRUCTION SITE CONFERENCE WITH THE DESIGNER, MONTEREY COUNTY ENVIRONMENTAL HEALTH INSPECTOR AND THE CONTRACTOR SHALL BE ARRANGED PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM. REGULAR CONSTRUCTION INSPECTIONS, WATERTIGHT TANK TEST INSPECTION, ADVANTEX INSTALLATION INSPECTION, LEACH FIELD AND PERFORATED PIPE INSPECTIONS AND FINAL OPERATION OF SYSTEM SHALL BE SCHEDULED BY THE INSTALLER. THE INSTALLER SHALL GIVE AT LEAST 24 HOURS NOTICE FOR ALL INSPECTIONS REQUESTED.
 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR, INSTALLER AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSION, LINES AND ELEVATIONS INDICATED. PROPER FIT AND CONNECTION OF ALL PARTS IS REQUIRED TO ENSURE PROPER FUNCTION OF THE SYSTEM. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ENGINEER FOR CORRECTION OR ADJUSTMENT.
 4. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN THE SPECIFIC TRADE. SPECIFICALLY, WORK SHALL COMPLY WITH THE 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, MONTEREY COUNTY LAMP AND ALL OTHER APPLICABLE STATE AND/OR LOCAL CODES AND ORDINANCES.
 5. ALL NOTES AND REFERENCES IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY REQUESTING CLARIFICATION. PLAN CHANGES OR REVISIONS SHALL ONLY BE MADE AFTER CONSULTATION WITH AND APPROVAL BY THE ENGINEER.
 6. ALL SPECIFIED EQUIPMENT AND COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURE'S INSTALLATION GUIDELINES AND SPECIFICATIONS. TANK INSTALLATION SHALL INCLUDE ANTI-BUOYANCY OR ANTI-FLOATATION MEASURES (DEADMEN, STRAPS, COLLARS, ETC) ACCORDING TO MANUFACTURE'S RECOMMENDATIONS.
 7. ALL TANKS SHALL BE MADE WATERTIGHT TO THE GROUND SURFACE AND DEMONSTRATED TO BE WATERTIGHT PRIOR TO FINAL INSPECTION OR APPROVAL.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL ASSOCIATED AND INCIDENTAL MATERIALS AND COMPONENTS NECESSARY FOR A COMPLETE INSTALLATION AND FULLY FUNCTIONAL SYSTEM. ALL MATERIALS AND COMPONENTS SHALL BE U.L. LISTED AND LABELED FOR USE IN FOR THIS SYSTEM.
 9. ALL ELECTRICAL WORK SHALL CONFORM TO THE CALIFORNIA ELECTRICAL CODE AND SHALL BE PERFORMED UNDER A PERMIT WITH INSPECTIONS FROM THE LOCAL JURISDICTION. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE CONTROL PANEL INCLUDING THE PHONE/DATA LINE WITH CAT6 WIRING IS INSTALLED AND FULLY FUNCTIONAL. TELEMETRY CONNECTION SHALL BE DEMONSTRATED PRIOR TO FINAL APPROVAL AND OPERATION.
 10. THE INSTALLATION OF ALL GRAVITY FLOW SANITARY SEWER LINES SHALL BE FULLY COORDINATED WITH THE BUILDING PLUMBING CONTRACTOR TO ENSURE PROPER CONNECTIONS AND SLOPE TO THE OWTs SYSTEM.
1. THE SPECIFIED WASTEWATER TREATMENT AND DISPERSAL SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S OPERATION AND MAINTENANCE MANUAL. PERIODIC MAINTENANCE SERVICING OF THE ADVANTEX SYSTEM BY A QUALIFIED TECHNICIAN IS REQUIRED.
 2. MANAGEMENT AND REMOVAL OF FATS, OILS AND GREASE (FOG) PRIOR TO ENTERING THE SYSTEM IS CRITICAL FOR THE PROPER FUNCTIONING AND LIMITING SERVICING OF THE FILTERING SYSTEMS.
 3. THE TREATMENT SYSTEM IS ALIVE WITH MICROORGANISMS PERFORMING OXIDATION AND REDUCTION OF THE CONTENTS. DO NOT DISPOSE OF THE FOLLOWING TOXICS OR CHEMICALS INTO THE WASTEWATER SYSTEM AS THEY MAY DISRUPT THE REQUIRED BIOLOGICAL PROCESS:
 - PHARMACEUTICALS
 - EXCESSIVE AMOUNTS OF BATH OR BODY OILS
 - WATER SOFTENER BACKWASH
 - FLAMMABLE OR TOXIC PRODUCTS
 - HOUSEHOLD CLEANERS, ESPECIALLY FLOOR WAX AND RUG CLEANERS
 - CHLORINE BLEACH, CHLORIDES, AND POOL OR SPA PRODUCTS
 - PESTICIDES, HERBICIDES, AGRICULTURAL CHEMICALS, OR FERTILIZERS
 - RV TANK ODOR CONTROLLERS AND DISINFECTANTS
 - PAINT THINNER, PAINT
 - MOTOR OIL
 4. WATER SOFTENERS BRINE DISCHARGE IS STRICTLY PROHIBITED FROM BEING DISCHARGED INTO THE TREATMENT SYSTEM. FAILURE TO ADHERE TO THIS POLICY WILL VOID THE WARRANTY FOR THE SYSTEM.
 5. DO NOT FLUSH THE FOLLOWING DOWN THE DRAINS:
 - EGG SHELLS, CANTALOUPE SEEDS, GU, COFFEE GROUNDS
 - TEA BAGS, CHEWING TOBACCO, CIGARETTE BUTTS
 - CONDOMS, DENTAL FLOSS, SANITARY NAPKINS, DIAPERS
 - PAPER TOWELS, NEWSPAPERS, CANDY WRAPPERS
 - RAGS, LARGE AMOUNTS OF HAIR
 - BABY WIPES, MEDICATED WIPES, CLEANING WIPES
 6. DO NOT USE SPECIAL ADDITIVES THAT ARE TOUTED TO ENHANCE THE PERFORMANCE OF OUR TANK OR SYSTEM. ADDITIVES CAN CAUSE MAJOR DAMAGE TO OTHER AREAS IN THE COLLECTION SYSTEM. THE NATURAL MICROORGANISMS THAT GROW IN THE SYSTEM GENERATE THEIR OWN ENZYMES THAT ARE SUFFICIENT FOR BREAKING DOWN AND DIGESTING NUTRIENTS IN THE WASTEWATER STREAM.
 7. DO NOT ENTER YOUR TANK. KEEP THE TANK ACCESS LIDS SECURE TO THE RISER AT ALL TIMES. IF THE TANK LID BECOMES DETACHED FROM THE RISER OR IF THE LIDS OR RISER BECOMES DAMAGED, BLOCK ACCESS TO THE TANK OPENING IMMEDIATELY AND KEEP CHILDREN AWAY UNTIL ALL REPAIRS ARE COMPLETED.
 8. DO NOT DRIVE OVER YOUR TANK OF ANY BURIED COMPONENTS IN YOUR SYSTEM UNLESS THEY ARE EQUIPPED WITH SPECIAL TRAFFIC RATED RISERS AND LIDS. IF SYSTEM MAY BE SUBJECT TO POSSIBLE TRAFFIC, IT IS THE OWNERS RESPONSIBILITY TO INSTALL BARRICADES TO LIMIT TRAFFIC ACCESS.
 9. NO NOT DUMP RV WASTE INTO THE WASTEWATER SYSTEM.
 10. DO NOT CONNECT RAIN GUTTERS OR STORM DRAINS IN THE SEWER OR ALLOW SURFACE WATER INTO THE WASTEWATER TREATMENT SYSTEM.
 11. THE OWNER SHOULD FAMILIARIZE THEMSELVES WITH THE LOCATION OF THE WASTEWATER SYSTEM AND ELECTRICAL CONTROL PANEL. THE OWNER SHALL MAKE ARRANGEMENTS WITH A RELIABLE SERVICE PERSON OR COMPANY TO PROVIDE REGULAR MONITORING AND MAINTENANCE. THE SERVICE PROVIDER'S CONTACT INFORMATION ON THE CONTROL PANEL FOR EASY ACCESS.
 12. NEVER TURN OFF THE MAIN CIRCUIT BREAKER TO THE WASTEWATER PUMPS WHEN GOING ON VACATION.

SYSTEM OPERATION:

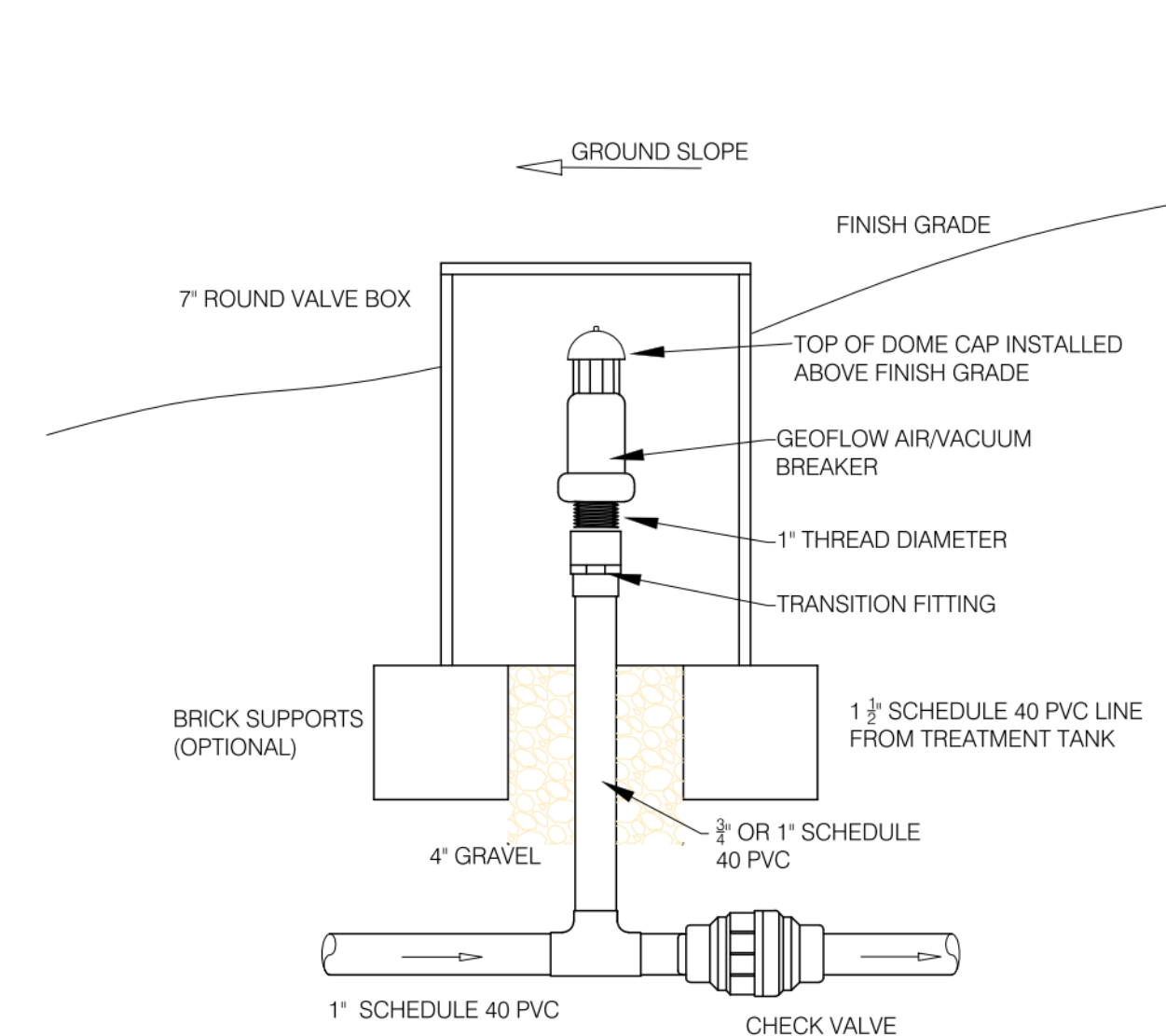
ADVANTEX SPECIFICATION:

1. SEWER LINE COLLECTION:
 - 1.1 PROPERLY VENTED 4" SOLID SEWER LINES SHALL BE INSTALLED COLLECTING ALL WASTEWATER FIXTURES TO THE OWTs SEPTIC TANK. ALL GRAVITY FLOW LINES SHALL MAINTAIN A MINIMUM 2% CONTINUOUS GRADIENT. CLEAN-OUTS ALONG THE BUILDING SEWER LINE SHALL BE PROVIDED AS SPECIFIED IN THE CURRENT EDITION OF THE CALIFORNIA PLUMBING CODE. EFFLUENT FROM THE EXISTING RESIDENCE SEPTIC TANK SHALL BE PLUMBED INTO A 750 GALLON PUMP VAULT AND PUMPED TO THE NEW PROCESSING TANK ADJACENT TO THE NEW ADU.
2. SEPTIC TANK
 - 2.1 A NEW 1000 GALLON TANK SHALL BE INSTALLED TO SERVE AS THE PRIMARY TANK THAT IS CONNECTED TO AN "AX20RT" PROCESSING / RECIRCULATION TANK. THE PROCESSING TANK SHALL DISCHARGE TO FOUR SUBSURFACE DRIP ZONES (750 MIN SQUARE FOOTAGE) ORENCO RISERS SHALL BE INSTALLED TO ALLOW FOR ROUTINE OPERATION AND MAINTENANCE.
 - 2.2 TANK ACCESS RISERS SHALL BE 20"-30" IN DIAMETER AND CONSTRUCTED WATERTIGHT. RISER INSTALLATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE RISERS SHALL BE ATTACHED TO THE TANKS SUCH THAT A WATERTIGHT SEAL IS PROVIDED.
 - 2.3 IN ORDER TO DEMONSTRATE TANK AND RISER ARE WATERTIGHT, TANKS SHALL BE TESTED ON-SITE PRIOR TO ACCEPTANCE. AFTER INSTALLATION IS COMPLETED AND BEFORE BACK FILLING, COMPLETELY FILL THE TANK WITH WATER TO A LEVEL TWO INCHES INTO THE RISERS. WAIT A MINIMUM OF TWO HOURS (OR AS REQUIRED BY THE LOCAL JURISDICTION) AND INSPECT FOR LEAKS. THERE SHOULD BE NO DROP IN THE LIQUID LEVEL AND NO VISUAL LEAKAGE FROM SEAMS, PINHOLES, OR OTHER IMPERFECTIONS OR CONNECTIONS. OBTAIN A WATERTIGHT INSPECTION BY THE LOCAL JURISDICTION, DISTRIBUTOR OR ENGINEER. ONE THE TANK IS PROVEN TO BE WATERTIGHT, DROP THE WATER LEVEL IN THE TANK BELOW THE INVERT.
3. ADVANTEX TREATMENT SYSTEM
 - 3.1 THE ADVANTEX TREATMENT SYSTEM INCLUDES A 1000 GALLON PRIMARY SEPTIC TANK, "AX20RT" PROCESSING TANK, RECIRCULATING SPLITTER VALVE, A BIOTUBE PUMP PACKAGE FOR RECIRCULATION, AND TELEMETRY-ENABLED CONTROL PANEL. ALL CONTROL VALVES, PIPING, FILTERS, EMITTERS, AND ASSOCIATED PARTS AND HARDWARE ARE INCLUDED.

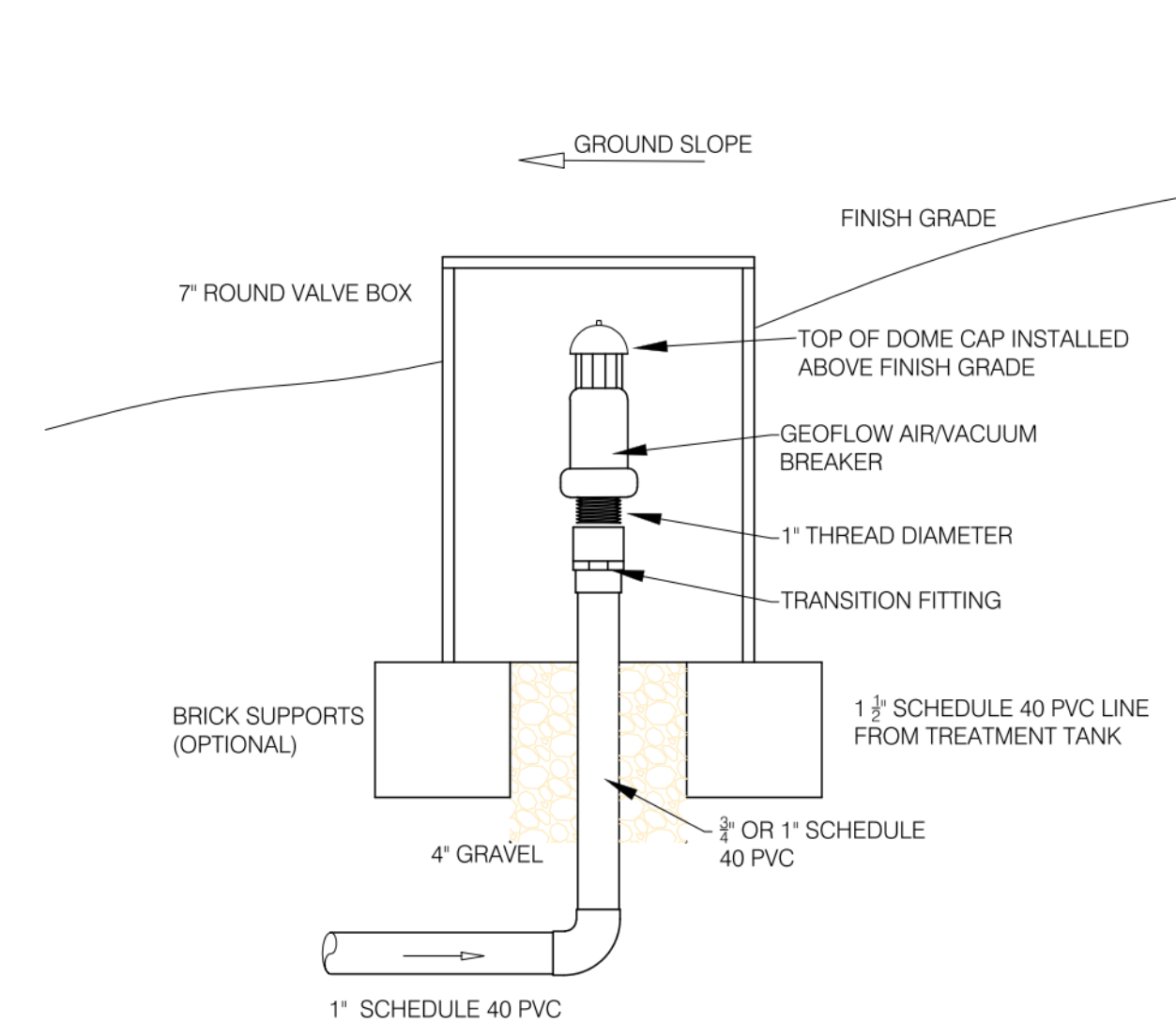
"A" VALVE BOX DETAIL



"B" MID-FIELD CHECK VALVE



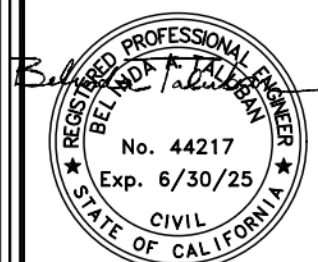
"C" AIR/VACUUM RELIEF DETAIL



REVISIONS

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SEPTIC SYSTEM DETAILS

PROPOSED RESIDENCE
28001 MERCURIO ROAD
CARMEL VALLEY, CALIFORNIA

DATE: 01/25/25
SCALE: AS SHOWN
DRAWN: BT
JOB: 24-043
APN: 169-081-008-000
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OF SHEETS