

### Change Order No. 01

<b>Contract Title: Energy Services Contract</b>	<b>Contract Number: R3652</b>
<b>Contract Effective Date: December 3, 2024</b>	<b>Change Order Effective Date: July 29, 2025</b>

Customer Name	County of Monterey
Address:	168 W. Alisal Street, Salinas, CA 93901
Contact:	Cora Panturad
Job Location:	1441 Constitution Boulevard, Salinas, CA 93906

Reason for/Description of Change Order:	<p>Whereas, on June 13, 2025, ENGIE Services U.S. Inc. changed its name to OPTERRA Energy Services, LLC. ("OPTERRA").</p> <p>The following changes shall be made to the Scope of Work:</p> <p><b>Item 1: ADA Parking Upgrades</b></p> <p>OPTERRA shall update the Scope of Work to include the following ADA upgrades at Natividad Medical Center:</p> <ul style="list-style-type: none"> <li>• OPTERRA shall provide the following quantity of parking stalls per parking lot:             <ul style="list-style-type: none"> <li>○ Parking Lot A                 <ul style="list-style-type: none"> <li>▪ One (1) van accessible ADA parking stall</li> <li>▪ Two (2) standard accessible ADA parking stalls</li> </ul> </li> <li>○ Parking Lot C                 <ul style="list-style-type: none"> <li>▪ Two (2) van accessible ADA parking stalls</li> <li>▪ Fourteen (14) standard accessible ADA parking stalls</li> </ul> </li> <li>○ Parking Lot D                 <ul style="list-style-type: none"> <li>▪ Two (2) van accessible ADA parking stalls</li> <li>▪ Fourteen (14) standard accessible ADA parking stalls</li> <li>▪ Two (2) van accessible ADA EV charging stalls</li> <li>▪ Two (2) standard accessible ADA EV charging stalls</li> </ul> </li> <li>○ Parking Lot F2/I                 <ul style="list-style-type: none"> <li>▪ Three (3) van accessible ADA parking stalls</li> <li>▪ Seven (7) standard accessible ADA parking stalls</li> <li>▪ One (1) van accessible ADA EV charging stall</li> <li>▪ One (1) standard accessible ADA EV charging stall</li> </ul> </li> <li>○ Parking Lot M                 <ul style="list-style-type: none"> <li>▪ Two (2) van accessible ADA parking stalls</li> <li>▪ One (1) standard accessible ADA parking stall</li> </ul> </li> </ul> </li> <li>• The ADA Scope of Work shall be completed as shown on Accessibility Sheets G-100A, G-101A, G-102A, G-103A, G-104A, G-105A, and G-106A of the Issue For Permit drawing package dated June 6, 2025, including but not limited to striping and signage, wheel stops, truncated domes, grading, and asphalt/concrete work where necessary to achieve permit closeout.</li> <li>• Any ADA upgrades to parking stalls or paths of travel within Parking Lot K or Parking Lot N, and any additional ADA upgrades to paths of travel outside of any parking lots at the Natividad Medical Center campus except as explicitly shown within the Accessibility Plans of the drawing sheets listed above is excluded from the Scope of Work.</li> </ul> <p><b>Item 2: Increased Foundation Depths</b></p>
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OPTERRA shall increase the depth of the solar canopy foundations and ground mount array piles at Natividad Medical Center according to the depths as shown in the Pier Depth tables on Sheets S3.0, S3.1, S3.2, S3.3, S3.4, S3.5, S3.6, and S5.0 in the Issue For Permit drawing package dated June 6, 2025.

All canopy array pier depths have been calculated by the Structural Engineer of Record based on the findings of the Geotechnical Engineering/Geologic Hazards Investigation report dated April 28, 2025, created by Krazan & Associates. The maximum depth of the piers for the solar canopy arrays shall be increased from thirteen feet (13') to sixteen feet (16'). The total linear footage of increased canopy array pier depth is 156 feet across fifty-two (52) columns among nine (9) canopy arrays.

Additionally, OPTERRA shall increase the depth of the piles on the ground mount arrays by a total of 268 feet across sixty-seven (67) piles.

#### **County Contingency Budget**

The County shall hold an additional construction contingency budget in the amount of \$357,000 (Three Hundred Fifty-Seven Thousand Dollars) to cover unforeseen conditions encountered in the construction of the Project. OPTERRA acknowledges and agrees that no additional Change Orders shall be requested from the County or granted to OPTERRA in excess of this County-held contingency amount to complete the Scope of Work; provided however, that this agreement and the monetary cap are not applicable to changes to the Project requested by the County or their consultants.

Schedule of Values		
Item 1	ADA Parking Upgrades	\$1,107,118.00
Item 2	Increased Foundation Depths	\$46,643.00
	Total	\$1,153,761.00

Original Contract Amount:	\$ 18,134,700.00
Prior Approved Change Order(s) Will Add/(Deduct)	\$ 00.00
This Change Order Will Add (Deduct):	\$ +1,153,761.00
<b>Revised Contract Amount (includes sales tax):</b>	<b>\$ 19,288,461.00</b>

Days added to Project Schedule	<u>0 days</u>
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The parties may execute this Change Order in counterparts, each of which constitutes an original, and all of which, collectively, constitute only one change order. The signatures of each of the parties need not appear on the same counterpart, and in the event that any signature is delivered by facsimile transmission or by e-mail delivery of a ".pdf" format data file, such signature shall create a valid and binding obligation of the party executing (or on whose behalf such signature is executed) with the same force and effect as if such facsimile or ".pdf" signature page were an original thereof.

**COUNTY OF MONTEREY**

**OPTERRA ENERGY SERVICES, LLC**

By: \_\_\_\_\_  
Print  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

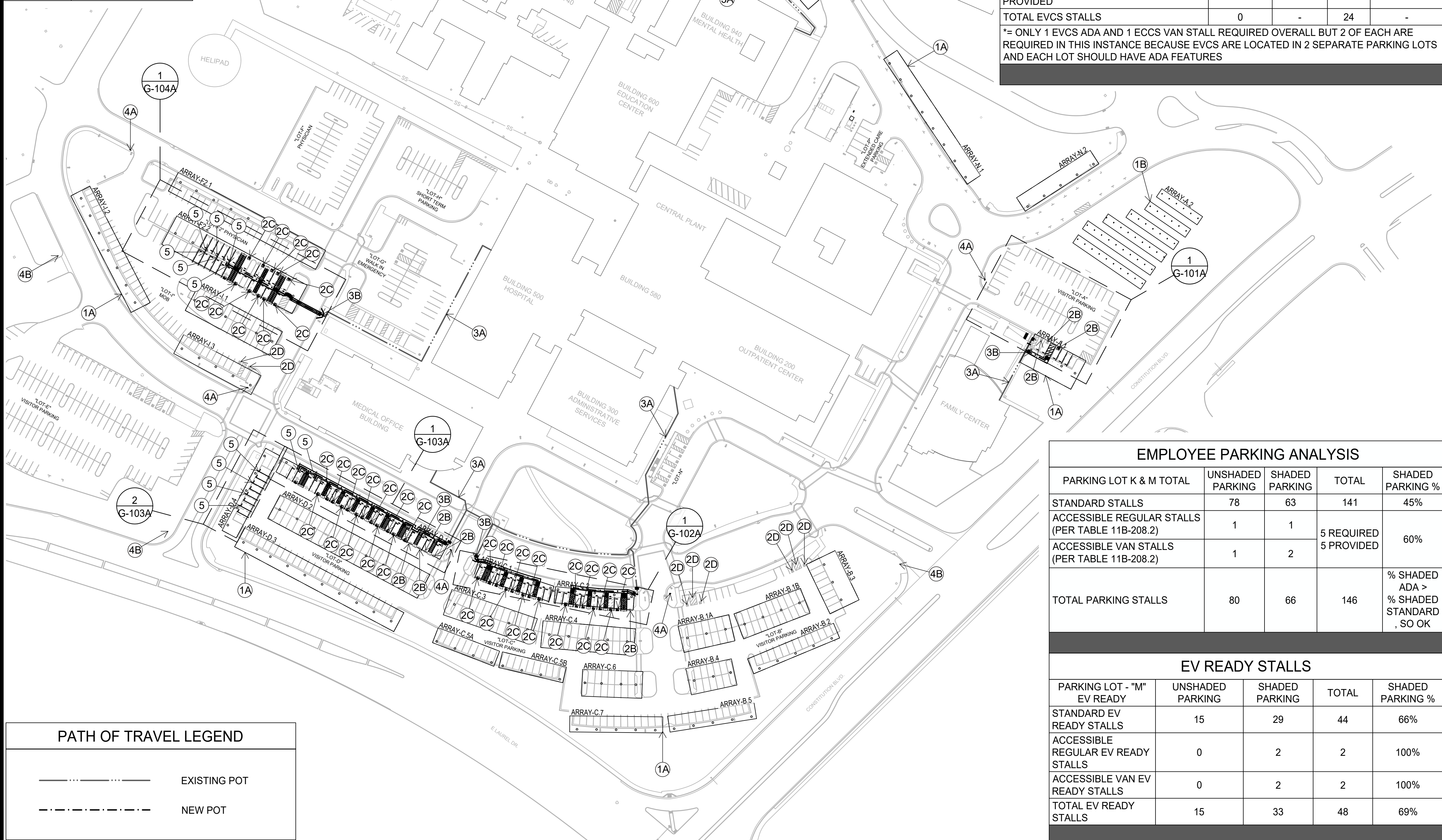
By: \_\_\_\_\_  
Print  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

**RETURN SIGNED DOCUMENT TO:** OPTERRA Energy Services LLC, 500 Twelfth Street, Suite 300, Oakland, CA 94607, Attn.:  
Contract Administrator



PLOT DATE: 07/16/2025 03:43 PM  
BY: GAUTAM BAGRI  
FILE: SDE\_ENC\_NMC\_REV0.dwg  
SIZE: 8.53 MB  
PAPER SIZE: ARCH D 24x36"

EV CHARGER SCHEDULE	
EV CHARGER	PARKING STALL
EV.D.1	STANDARD
EV.D.2	STANDARD
EV.D.3	STANDARD
EV.D.4	STANDARD
EV.D.5	STANDARD
EV.D.6	STANDARD
EV.D.7	STANDARD
EV.D.8	STANDARD
EV.D.9	STANDARD
EV.D.10	VAN ACCESSIBLE
EV.D.11	STANDARD ACCESSIBLE
EV.D.12	STANDARD
EV.F.1	STANDARD
EV.F.2	STANDARD
EV.F.3	STANDARD
EV.F.4	STANDARD
EV.F.5	STANDARD
EV.F.6	VAN ACCESSIBLE
EV.F.7	STANDARD ACCESSIBLE
EV.F.8	STANDARD
EV.F.9	STANDARD
EV.F.10	STANDARD
EV.F.11	STANDARD
EV.F.12	STANDARD



PATH OF TRAVEL LEGEND	
	EXISTING POT
	NEW POT

1  
G-100A  
ACCESSIBILITY SITE PLAN  
1" = 80'

EVCS PARKING ANALYSIS		
TOTAL NUMBER OF EV STALLS PROVIDED	NUMBER OF VAN ACCESSIBLE EV STALLS REQUIRED/PROVIDED	NUMBER OF STANDARD ACCESSIBLE EV STALLS REQUIRED/PROVIDED
24	2 1/2	2 1/2

OUTPATIENT & VISITOR PARKING ANALYSIS				
PARKING LOT A, B, C, D, F & I TOTAL	UNSHADED PARKING	SHADED PARKING	TOTAL	SHADED PARKING %
STANDARD STALLS	78	324	402	80.6%
ACCESSIBLE ADA STALLS REQUIRED (10% OF SPACES PROVIDED, PER 11B-228.2.1)	0	37	45	
ACCESSIBLE VAN STALLS REQUIRED (10% OF SPACES PROVIDED, PER 11B-228.2.1)	0	8		
ACCESSIBLE REGULAR STALLS PROVIDED	0	37	45	100%
ACCESSIBLE VAN STALLS PROVIDED	0	8		
TOTAL PARKING STALLS INCLUDING ADA, EXCLUDING EVCS			447	% SHADED ADA > % SHADED STANDARD, SO OK
PARKING LOT D & F EVCS TOTALS	UNSHADED PARKING	SHADED PARKING	TOTAL	SHADED PARKING %
STANDARD EVCS	0	20	20	100%
ACCESSIBLE EVCS ADA STALLS REQUIRED (PER TABLE 11B-228.3.2.1)	0	2*		
ACCESSIBLE EVCS VAN STALLS REQUIRED (PER TABLE 11B-228.3.2.1)	0	2*		
ACCESSIBLE EVCS STALLS PROVIDED	0	2	4	100%
ACCESSIBLE EVCS VAN STALLS PROVIDED	0	2		
TOTAL EVCS STALLS	0	-	24	-
* = ONLY 1 EVCS ADA AND 1 EVCS VAN STALL REQUIRED OVERALL BUT 2 OF EACH ARE REQUIRED IN THIS INSTANCE BECAUSE EVCS ARE LOCATED IN 2 SEPARATE PARKING LOTS AND EACH LOT SHOULD HAVE ADA FEATURES				

EMPLOYEE PARKING ANALYSIS				
PARKING LOT K & M TOTAL	UNSHADED PARKING	SHADED PARKING	TOTAL	SHADED PARKING %
STANDARD STALLS	78	63	141	45%
ACCESSIBLE REGULAR STALLS (PER TABLE 11B-208.2)	1	1	5 REQUIRED 5 PROVIDED	60%
ACCESSIBLE VAN STALLS (PER TABLE 11B-208.2)	1	2		
TOTAL PARKING STALLS	80	66	146	% SHADED ADA > % SHADED STANDARD, SO OK

EV READY STALLS				
PARKING LOT - "M" EV READY	UNSHADED PARKING	SHADED PARKING	TOTAL	SHADED PARKING %
STANDARD EV READY STALLS	15	29	44	66%
ACCESSIBLE REGULAR EV READY STALLS	0	2	2	100%
ACCESSIBLE VAN EV READY STALLS	0	2	2	100%
TOTAL EV READY STALLS	15	33	48	69%

**ACCESSIBLE ROUTE** (E) ACCESSIBLE ROUTE

PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. MAXIMUM CROSS-SLOPE IS 2% AND MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IS 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". STRUCTURAL ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL. ARCHITECT OR ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED, AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

#### GENERAL NOTES

- ALL EXISTING PARKING STALLS UNDER NEW PV ARRAYS TO BE RE-STRIPED AND/OR EXTENDED TO 18' FROM EDGE OF (N) PV CANOPY COLUMNS UNLESS OTHERWISE NOTED.
- ALL EXISTING AND NEW PARKING STRIPING SHALL MEET CURRENT PARKING AND CBC REQUIREMENTS
- ALL EXISTING PARKING STALLS THAT ARE BEING CONVERTED TO NEW EV CHARGING STATIONS (EVCS) TO BE RE-STRIPED TO MEET MINIMUM STALL DIMENSIONS AS PER CALIFORNIA BUILDING CODE CHAPTER 11B-812 EVCS TECHNICAL REQUIREMENTS.

#### KEYNOTES

- 1A NEW PHOTOVOLTAIC MODULES MOUNTED ON RAISED SOLAR CANOPY (TYP.)
- 1B NEW PHOTOVOLTAIC MODULES GROUND MOUNTED ON FIXED TILT RACKING (TYP.)
- 2A EXISTING ACCESSIBLE PARKING STALLS NOT COVERED BY SOLAR ARRAY. REFER TO SHEET G-104A FOR MORE INFORMATION
- 2B EXISTING ACCESSIBLE PARKING STALLS COVERED BY SOLAR ARRAY.
- 2C NEW ACCESSIBLE PARKING STALLS COVERED BY SOLAR ARRAY. RE-STRIPE EXISTING PARKING STALL AND INSTALL SIGNAGE. REFER TO SHEET G-104A FOR MORE INFORMATION
- 2D EXISTING ACCESSIBLE PARKING STALLS TO BE REMOVED AND RE-STRIPE AS STANDARD STALLS
- 3A EXISTING ACCESSIBLE PATH OF TRAVEL
- 3B NEW ACCESSIBLE PATH OF TRAVEL
- 4A NEW POLE MOUNTED ACCESSIBLE TOW AWAY SIGN PER DETAIL 6/G-106A.
- 4B EXISTING POLE MOUNTED ACCESSIBLE TOW AWAY SIGN PER DETAIL 6/G-106A. EXISTING TOW AWAY SIGN FIELD VERIFIED
- 5 NEW EV CHARGING STATION (EVCS), DUAL UNIT PEDESTAL (TYP.)
- 6 NEW ADA SIGN. REFER TO DETAIL 14/G-106A

CLIENT

PROJECT LOCATION

NATIVIDAD MEDICAL CENTER  
1441 CONSTITUTION BOULEVARD,  
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER

OPTERRA ENERGY SERVICES  
500 12TH STREET, SUITE 300  
OAKLAND, CA 94607

CONSULTANT

SOLVIDA  
DESIGN + ENGINEERING  
1400 Shattuck Avenue, Suite 3  
Berkeley, California 94709

ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

MARK	DATE	DESCRIPTION
0	06-06-25	ISSUE FOR PERMIT

DESIGNER PROJECT NO.: 230-3  
DRAWN BY: GB  
CHECKED BY: BL  
SCALE:

KEY PLAN

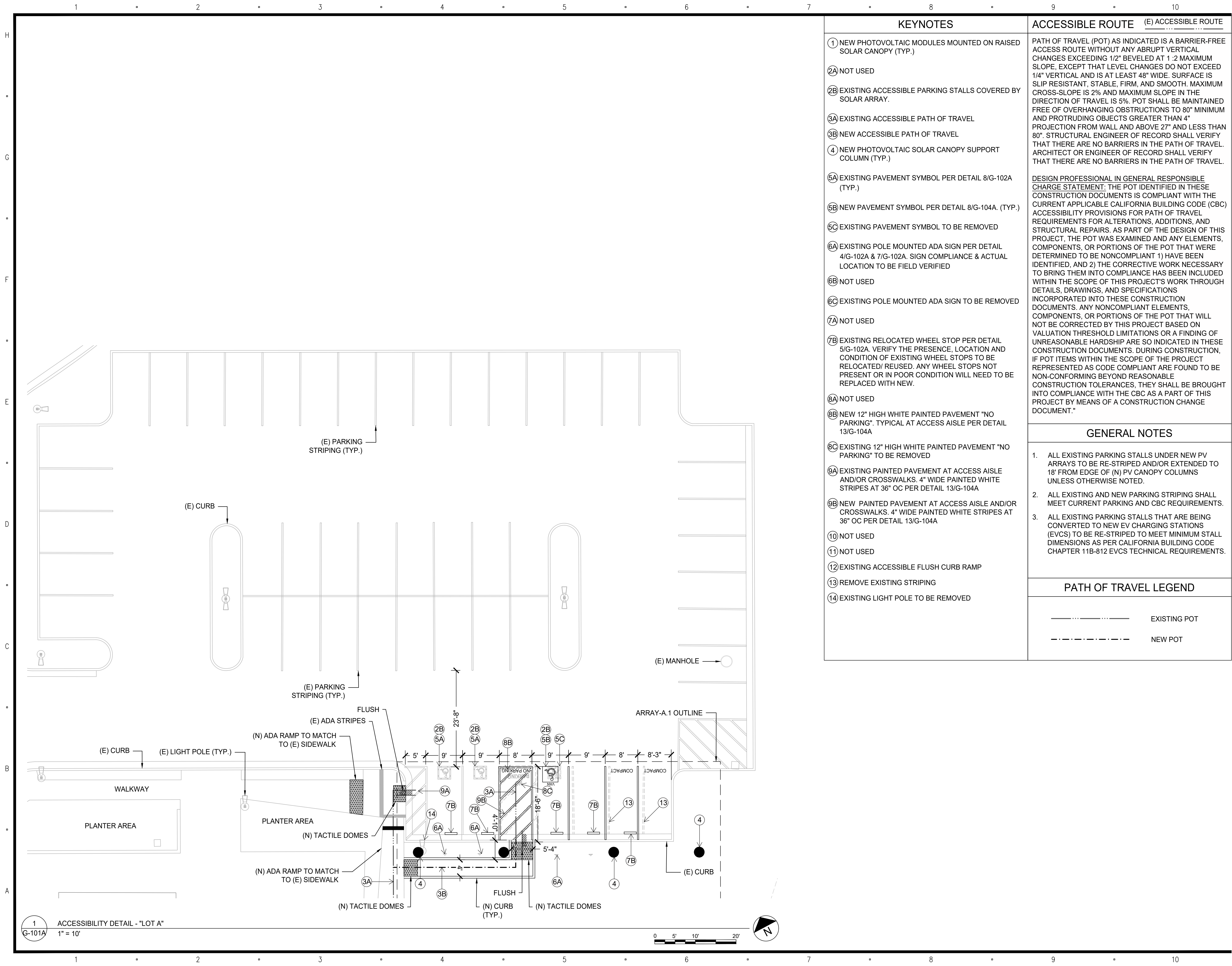
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ACCESSIBILITY PLAN

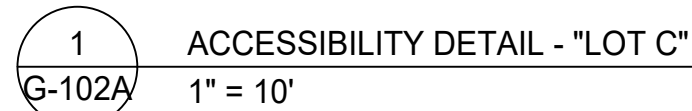
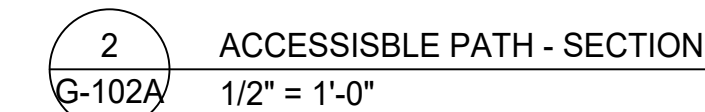
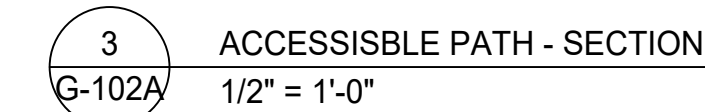
SHEET NUMBER

G-100A



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(E) ACCESSIBLE ROUTE  
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- (7A) NOT USED
- (7B) EXISTING RELOCATED WHEEL STOP PER DETAIL 5/G-102A. VERIFY THE PRESENCE, LOCATION AND CONDITION OF EXISTING WHEEL STOPS TO BE RELOCATED/ REUSED. ANY WHEEL STOPS NOT PRESENT OR IN POOR CONDITION WILL NEED TO BE REPLACED WITH NEW.
- (8A) NOT USED
- (8B) NEW 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-106A
- (8C) EXISTING WHITE PAINTED PAVEMENT "NO PARKING" TO BE REMOVED
- (9A) NOT USED
- (9B) NEW PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-106A
- (10) NOT USED
- (11) NOT USED
- (12) NOT USED
- (13) REMOVE EXISTING STRIPING

— ... — ... —      EXISTING POT

- . - . - . - . - . - .      NEW POT

1. ALL EXISTING PARKING STALLS UNDER NEW PV ARRAYS TO BE RE-STRIPED AND/OR EXTENDED TO 18' FROM EDGE OF (N) PV CANOPY COLUMNS UNLESS OTHERWISE NOTED.
2. ALL EXISTING AND NEW PARKING STRIPING SHALL MEET CURRENT PARKING AND CBC REQUIREMENTS.
3. ALL EXISTING PARKING STALLS THAT ARE BEING CONVERTED TO NEW EV CHARGING STATIONS (EVCS) TO BE RE-STRIPED TO MEET MINIMUM STALL DIMENSIONS AS PER CALIFORNIA BUILDING CODE CHAPTER 11B-812 EVCS TECHNICAL REQUIREMENTS.



NATIVIDAD MEDICAL  
CENTER  
1441 CONSTITUTION BOULEVARD,  
SALINAS, CA 93906

DESIGNER



CONSULTANT

ENGINEERING APPROVAL

AGENCY APPROVAL

[illegible]

DESIGNER PROJECT NO.:	230-3
DRAWN BY:	GE
CHECKED BY:	BL
SCALE:	

## KEY PLAN

SHEET TITLE

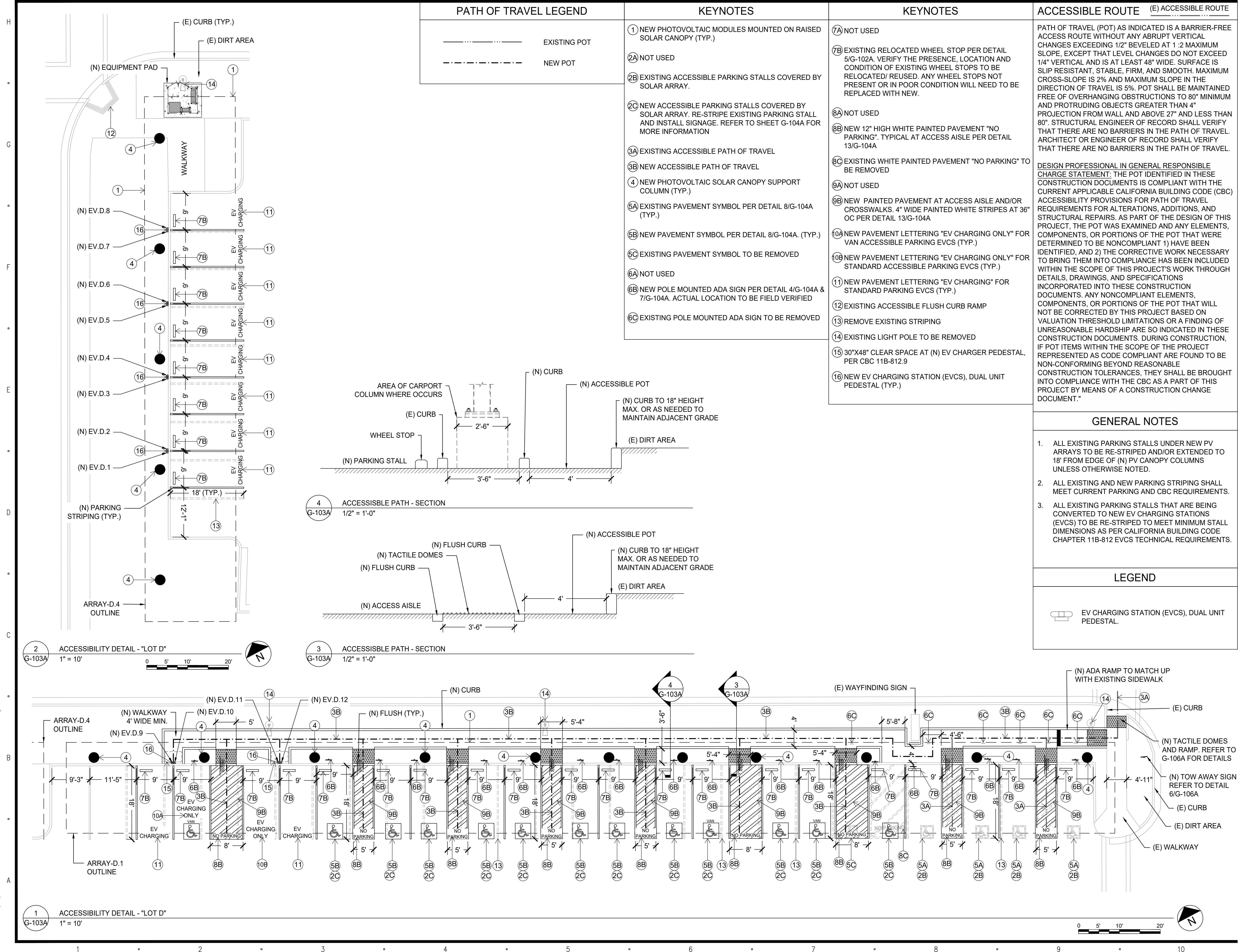
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SHEET NUMBER

G-102A



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SIZE: 8.53 MB  
PAPER SIZE: ARCH D 24x36"



PROJECT LOCATION  
**NATIVIDAD MEDICAL CENTER**  
1441 CONSTITUTION BOULEVARD,  
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER

**OPTERRA**  
ENERGY SERVICES  
OPTERRA ENERGY SERVICES  
500 12TH STREET, SUITE 300  
OAKLAND, CA 94607

CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE		
MARK	DATE	DESCRIPTION
0	06-06-25	ISSUE FOR PERMIT

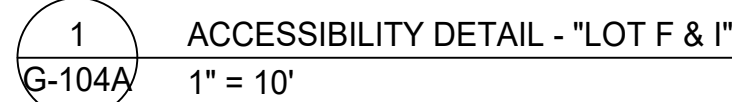
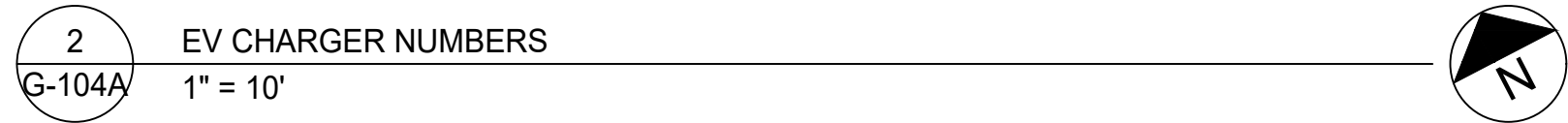
DESIGNER PROJECT NO.: 230-3  
DRAWN BY: GB  
CHECKED BY: BL  
SCALE:

KEY PLAN

SHEET TITLE  
**ACCESSIBILITY PLAN**

SHEET NUMBER  
**G-103A**





# KEYNOTES

- 8A NOT USED
- 8B NEW 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-104A
- 9A NOT USED
- 9B NEW PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-104A
- 10A NEW PAVEMENT LETTERING "EV CHARGING ONLY" FOR VAN ACCESSIBLE PARKING EVCS (TYP.)
- 10B NEW PAVEMENT LETTERING "EV CHARGING ONLY" FOR STANDARD ACCESSIBLE PARKING EVCS (TYP.)
- 11 NEW PAVEMENT LETTERING "EV CHARGING" FOR STANDARD PARKING EVCS (TYP.)
- 12 NOT USED
- 13 REMOVE EXISTING STRIPING
- 14 EXISTING LIGHT POLE TO BE REMOVED
- 15 30"x48" CLEAR SPACE AT (N) EV CHARGER PEDESTAL, PER CBC 11B-812.9
- 16 NEW EV CHARGING STATION (EVCS), DUAL UNIT PEDESTAL (TYP.)

## ACCESSIBLE ROUTE


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## GENERAL NOTES

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EV CHARGING STATION (EVCS), DUAL UNIT  
PEDESTAL.


## LEGEND

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## PATH OF TRAVEL LEGEND

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EXISTING POT



NEW POT



PROJECT LOCATION

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NATIVIDAD MEDICAL  
CENTER  
1441 CONSTITUTION BOULEVARD,  
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER



CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

[illegible]

DESIGNER PROJECT NO.:	230-3
DRAWN BY:	CB
CHECKED BY:	BL
SCALE:	

### KEY PLAN

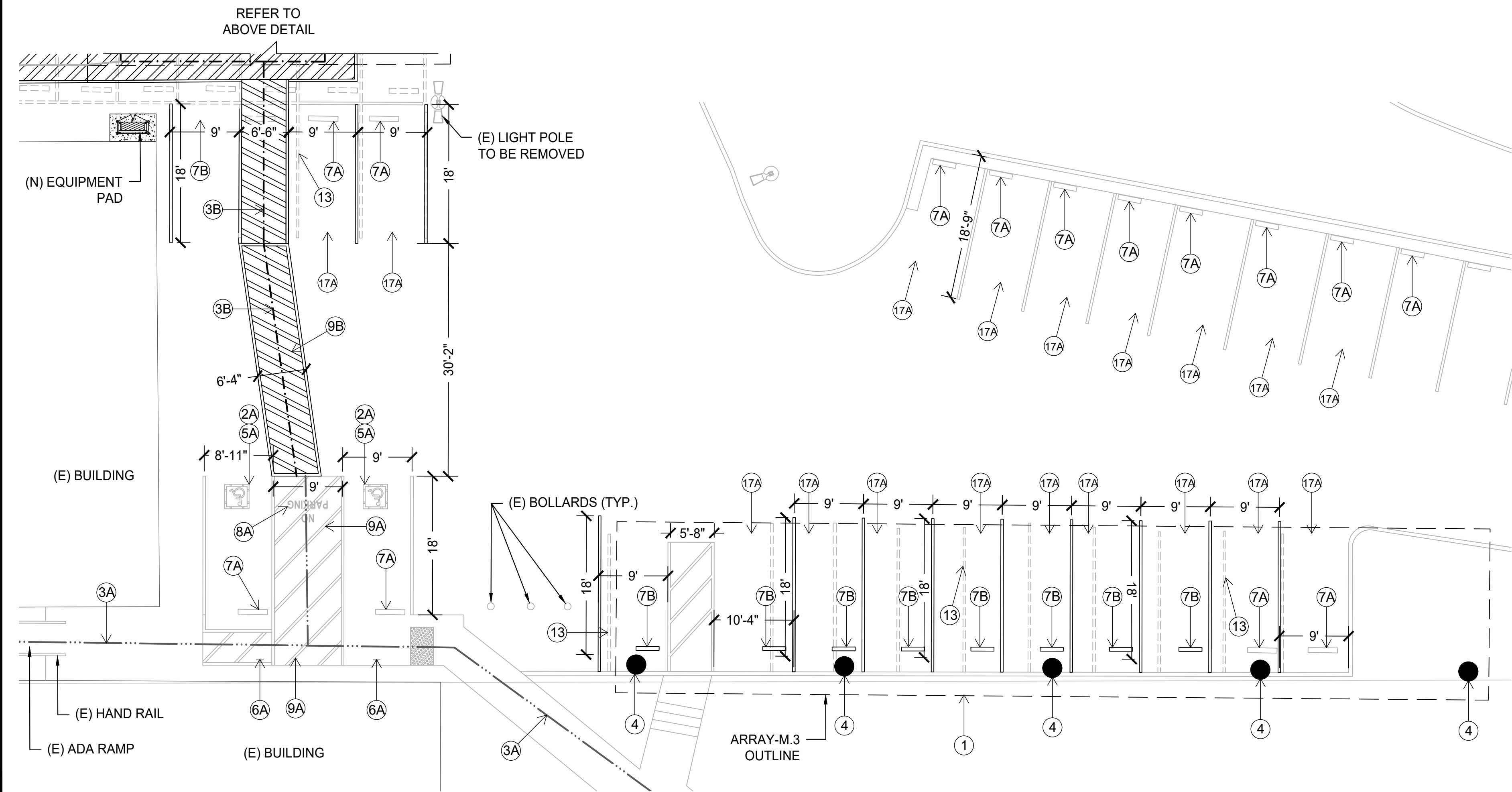
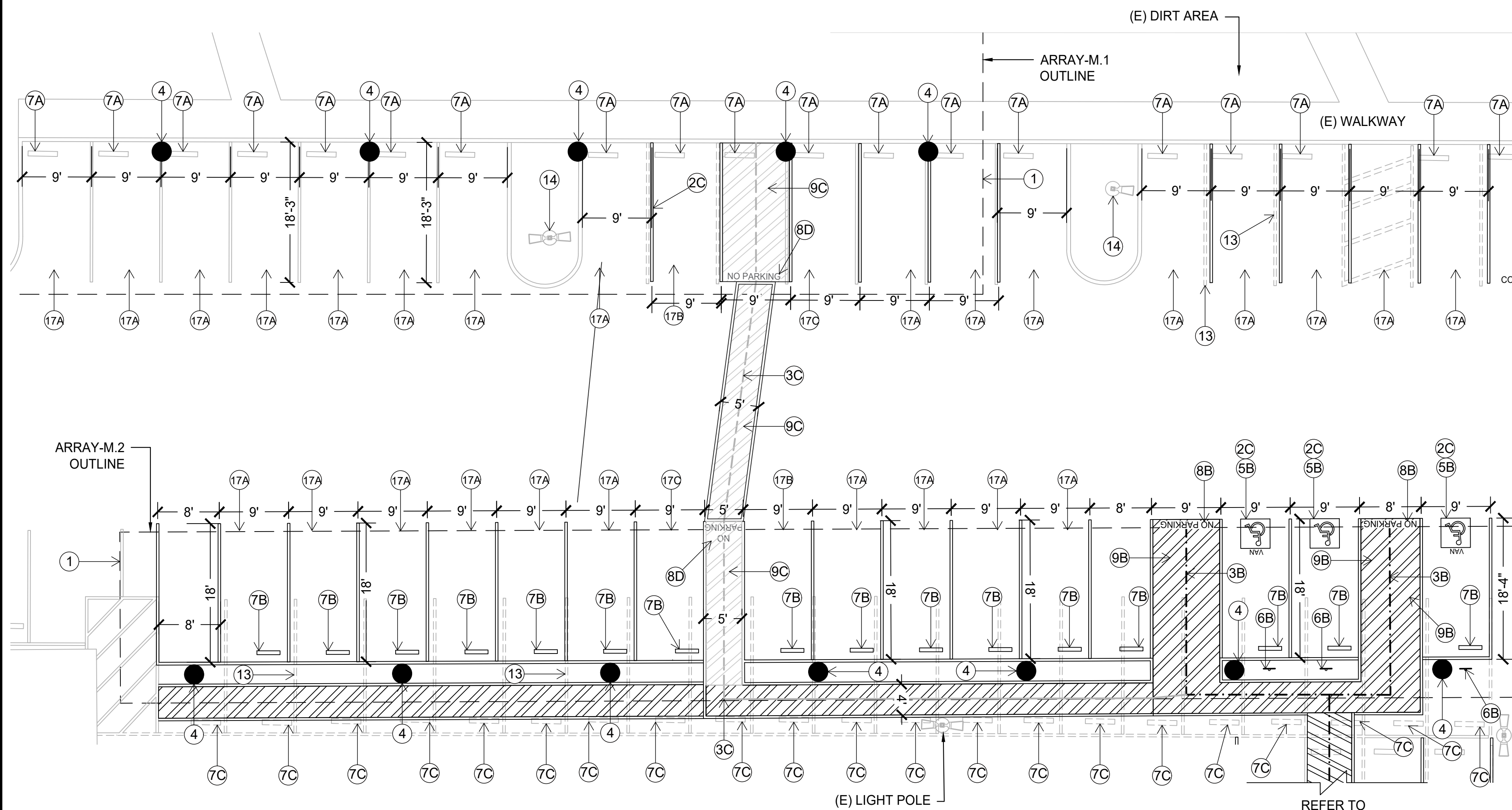
SHEET TITLE

ACCESSIBILITY PLAN

SHEET NUMBER

**G-104A**





- ## KEYNOTES
- ① NEW PHOTOVOLTAIC MODULES MOUNTED ON RAISED SOLAR CANOPY (TYP.)
  - 2A EXISTING ACCESSIBLE PARKING STALLS NOT COVERED BY SOLAR ARRAY. REFER TO SHEET G-104A FOR MORE INFORMATION
  - 2B NOT USED
  - 2C NEW ACCESSIBLE PARKING STALLS COVERED BY SOLAR ARRAY. RE-STRIPE EXISTING PARKING STALL AND INSTALL SIGNAGE. REFER TO SHEET G-104A FOR MORE INFORMATION
  - 3A EXISTING ACCESSIBLE PATH OF TRAVEL
  - 3B NEW ACCESSIBLE PATH OF TRAVEL
  - 3C FUTURE PATH OF TRAVEL. REFER TO KEYNOTE 9C
  - 4 NEW PHOTOVOLTAIC SOLAR CANOPY SUPPORT COLUMN (TYP.)
  - 5A EXISTING PAVEMENT SYMBOL PER DETAIL 8/G-102A (TYP.)
  - 5B NEW PAVEMENT SYMBOL PER DETAIL 8/G-104A. (TYP.)
  - 6A EXISTING POLE MOUNTED ADA SIGN PER DETAIL 4/G-102A & 7/G-102A. SIGN COMPLIANCE & ACTUAL LOCATION TO BE FIELD VERIFIED
  - 6B NEW POLE MOUNTED ADA SIGN PER DETAIL 4/G-104A & 7/G-104A. ACTUAL LOCATION TO BE FIELD VERIFIED
  - 7A EXISTING WHEEL STOP PER DETAIL 5/G-102A ACTUAL LOCATION TO BE FIELD VERIFIED
  - 7B EXISTING RELOCATED WHEEL STOP PER DETAIL 5/G-102A. VERIFY THE PRESENCE, LOCATION AND CONDITION OF EXISTING WHEEL STOPS TO BE RELOCATED/ REUSED. ANY WHEEL STOPS NOT PRESENT OR IN POOR CONDITION WILL NEED TO BE REPLACED WITH NEW.
  - 7C EXISTING WHEEL STOP TO BE RELOCATED. ACTUAL LOCATION TO BE FIELD VERIFIED
  - 8A EXISTING 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-104A
  - 8B NEW 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-104A
  - 8C NOT USED
  - 8D FOR FUTURE 12" HIGH WHITE PAINTED PAVEMENT "NO PARKING". TYPICAL AT ACCESS AISLE PER DETAIL 13/G-104A
  - 9A EXISTING PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-104A
  - 9B NEW PAINTED PAVEMENT AT ACCESS AISLE AND/OR CROSSWALKS. 4" WIDE PAINTED WHITE STRIPES AT 36" OC PER DETAIL 13/G-104A
  - 9C FUTURE PATH OF TRAVEL TO BE LEFT AS UNPAINTED ASPHALT FOR THIS SCOPE OF WORK. PAINTING WILL BE DONE BY OTHERS WHEN FUTURE EV CHARGERS ARE INSTALLED BY OTHERS. SHOWN JUST FOR CLARITY/ PLANNING PURPOSES.
  - 10 NOT USED
  - 11 NOT USED
  - 12 NOT USED
  - 13 REMOVE EXISTING STRIPING
  - 14 EXISTING LIGHT POLE TO BE REMOVED
  - 15 NOT USED
  - 16 NOT USED
  - 17A FUTURE EV READY STANDARD PARKING SPACE
  - 17B FUTURE EV READY VAN ACCESSIBLE PARKING SPACE
  - 17C FUTURE EV READY ACCESSIBLE PARKING SPACE

## ACCESSIBLE ROUTE (E) ACCESSIBLE ROUTE

PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. MAXIMUM CROSS-SLOPE IS 2% AND MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IS 5%. POT SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". STRUCTURAL ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL. ARCHITECT OR ENGINEER OF RECORD SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED, AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-CONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

## GENERAL NOTES

1. ALL EXISTING PARKING STALLS UNDER NEW PV ARRAYS TO BE RE-STRIPED AND/OR EXTENDED TO 18' FROM EDGE OF (N) PV CANOPY COLUMNS UNLESS OTHERWISE NOTED.
2. ALL EXISTING AND NEW PARKING STRIPING SHALL MEET CURRENT PARKING AND CBC REQUIREMENTS.
3. THIS PAGE SHOWS PROPOSED PARKING CONDITIONS WITH RESPECT TO FUTURE EV STALLS AND ADA. REFER TO SHEET E-106 FOR LAYOUT OF EV READY EQUIPMENT, INCLUDING PULL BOXES, EMPTY CONDUITS AND EV PANELBOARD.

## PATH OF TRAVEL LEGEND

— ··· — ··· —      EXISTING POT

- · - · - · - · - ·      NEW POT

--- --- ---      FUTURE POT

## EV READY STALLS

PARKING LOT - "M" EV READY	UNSHADED PARKING	SHADED PARKING	TOTAL	SHADED PARKING %
STANDARD EV READY STALLS	15	29	44	66%
ACCESSIBLE REGULAR EV READY STALLS	0	2	2	100%
ACCESSIBLE VAN EV READY STALLS	0	2	2	100%
TOTAL EV READY STALLS	15	33	48	69%



## PROJECT LOCATION

NATIVIDAD MEDICAL  
CENTER  
1441 CONSTITUTION BOULEVARD,  
SALINAS, CA 93906

APN: # 003-851-041-000, 003-851-039-000

DESIGNER



CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

[illegible]

DESIGNER PROJECT NO.: 230-3

DRAWN BY: GB

CHECKED BY: BL

SCALE:

### KEY PLAN

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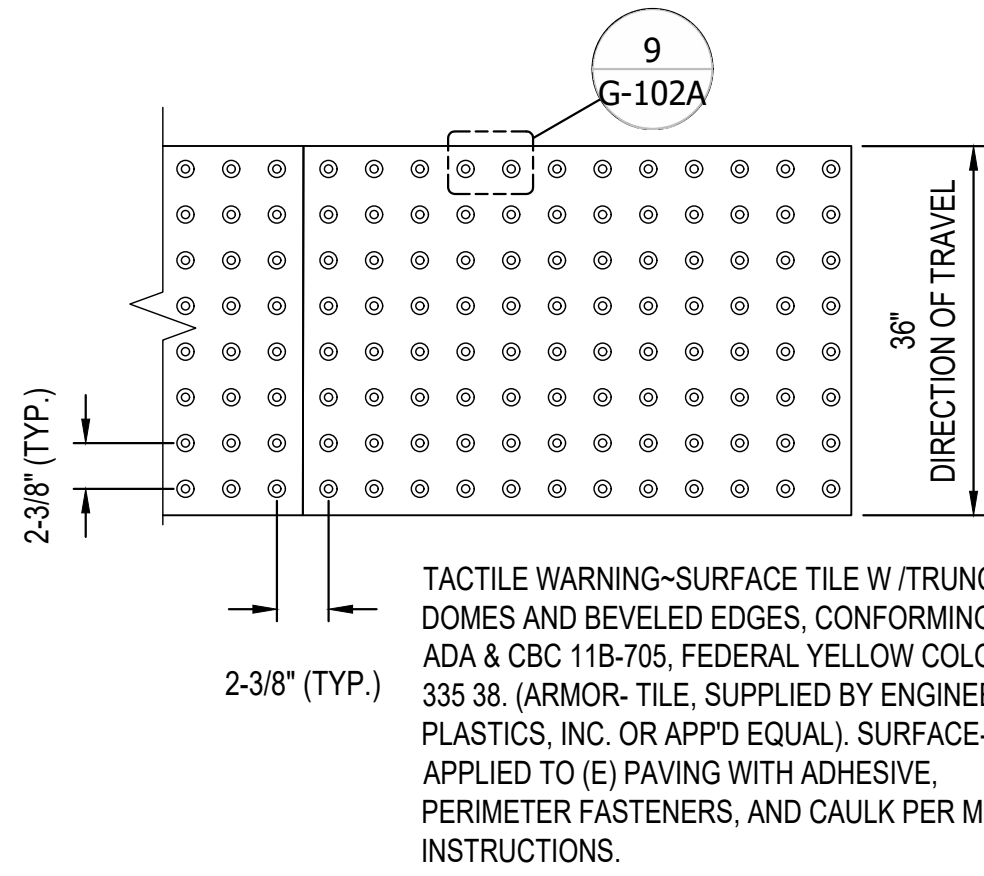
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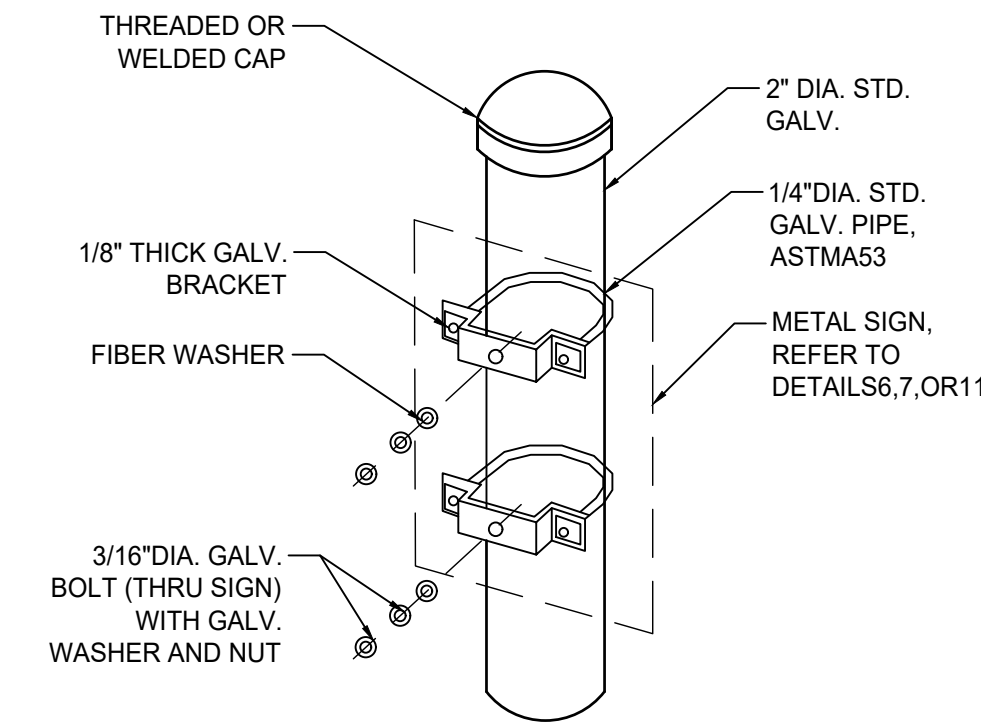
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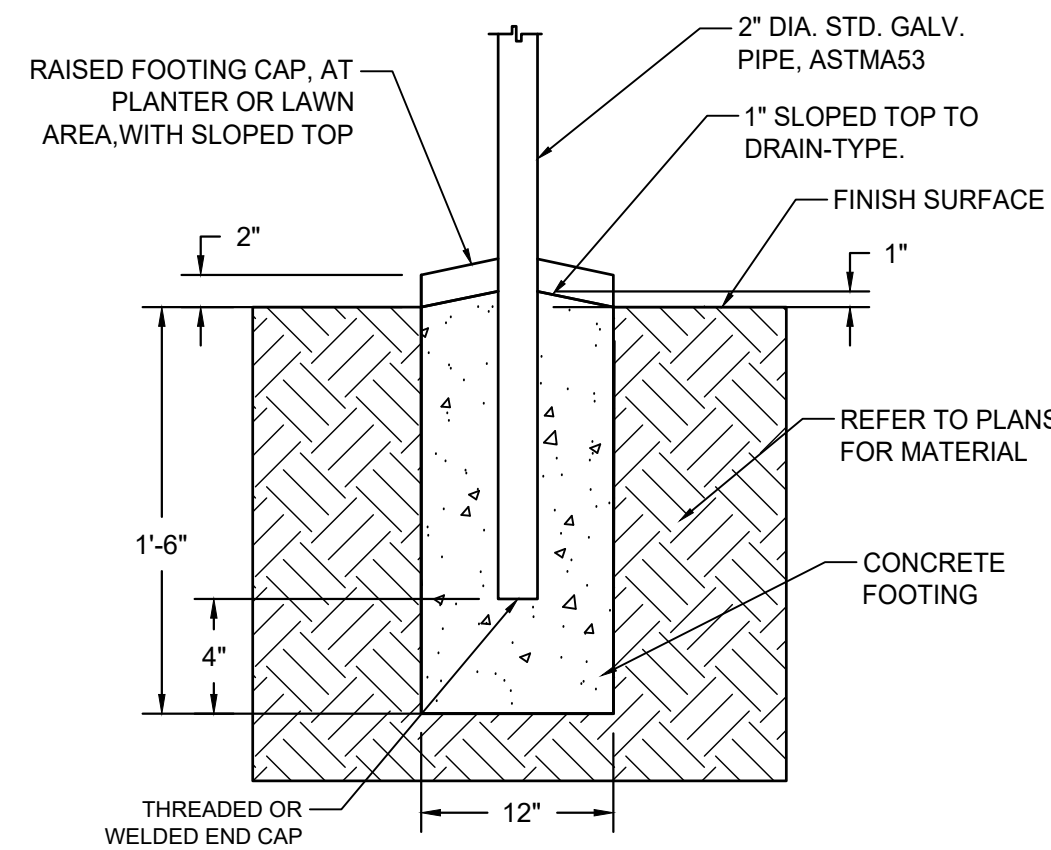
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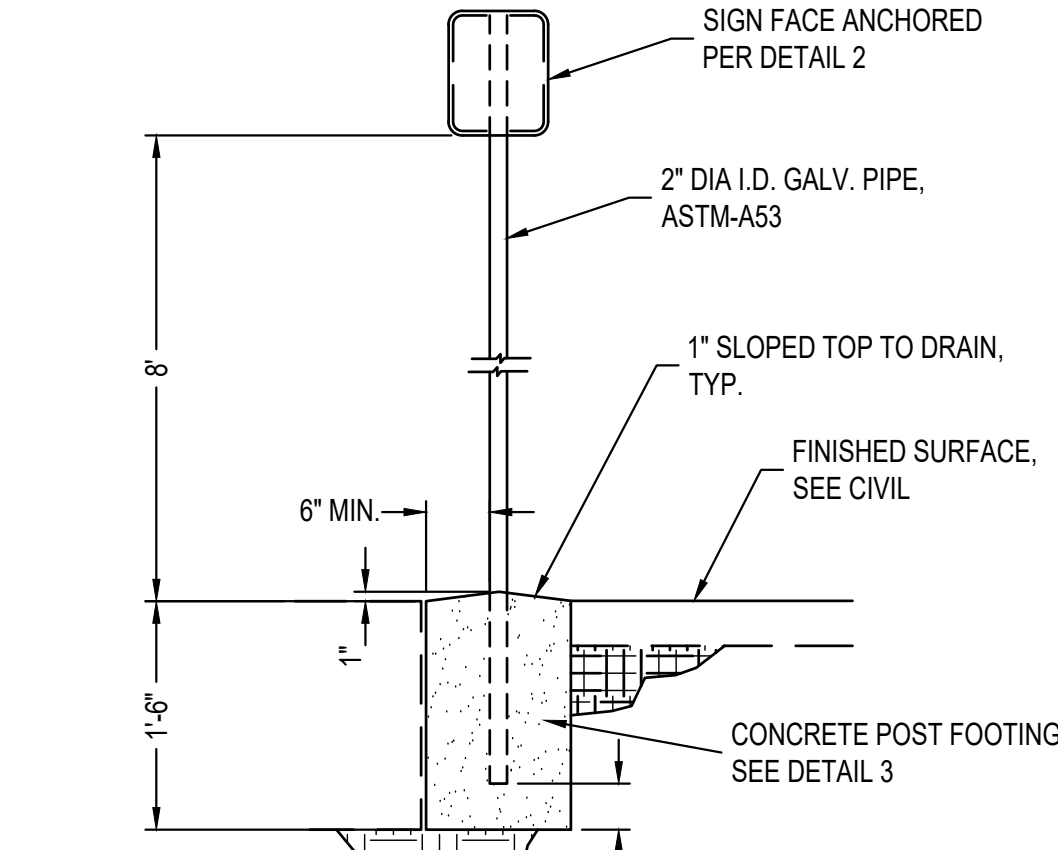
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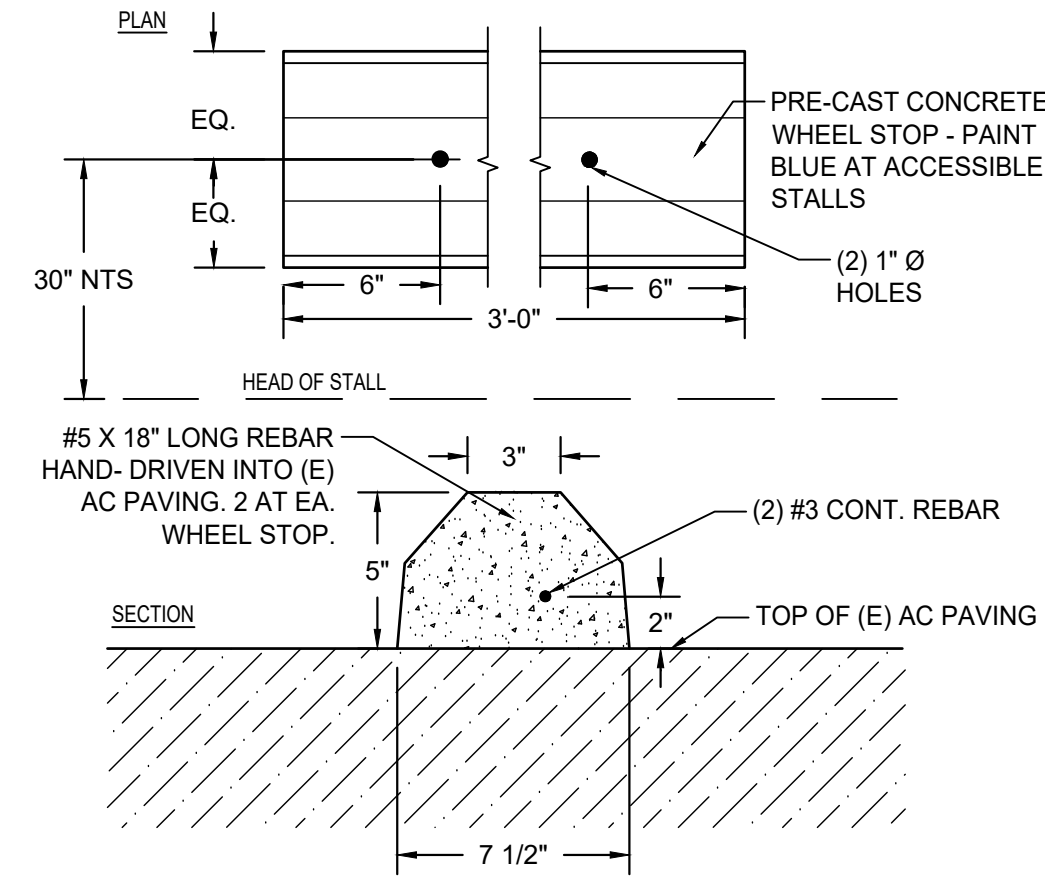
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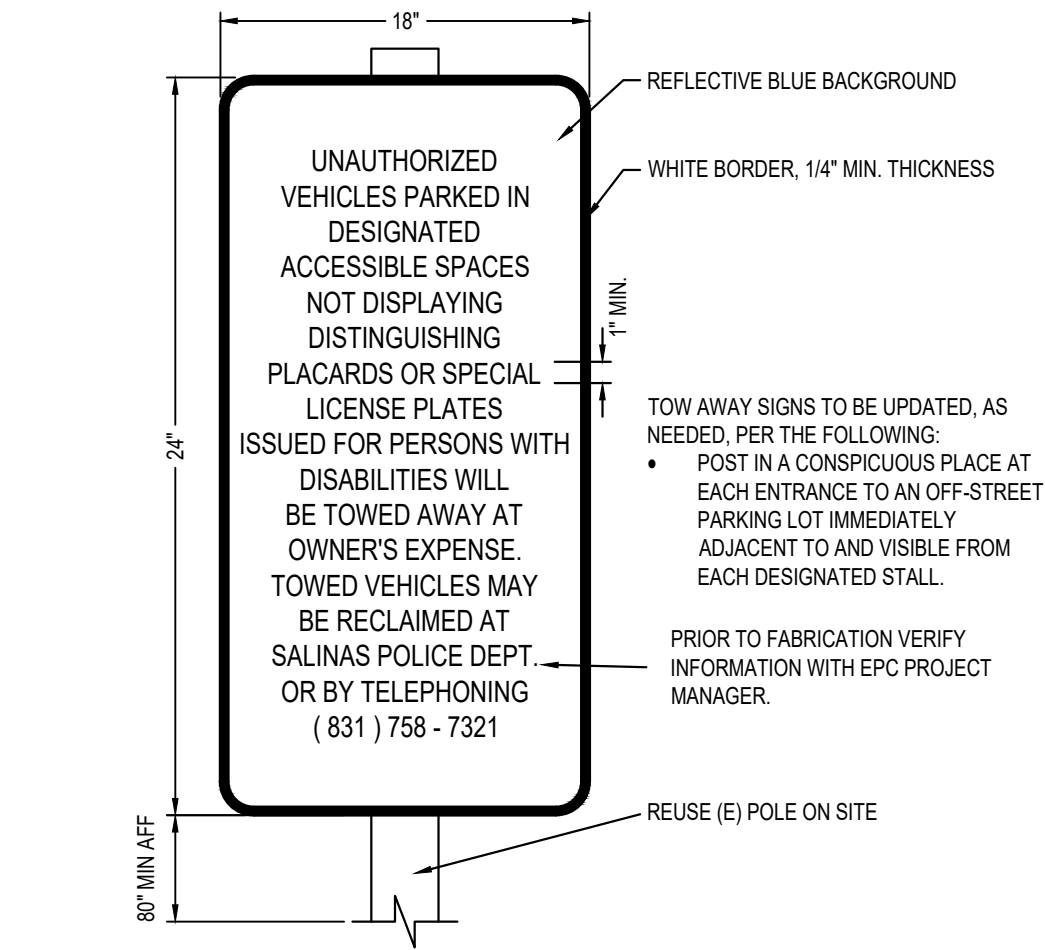
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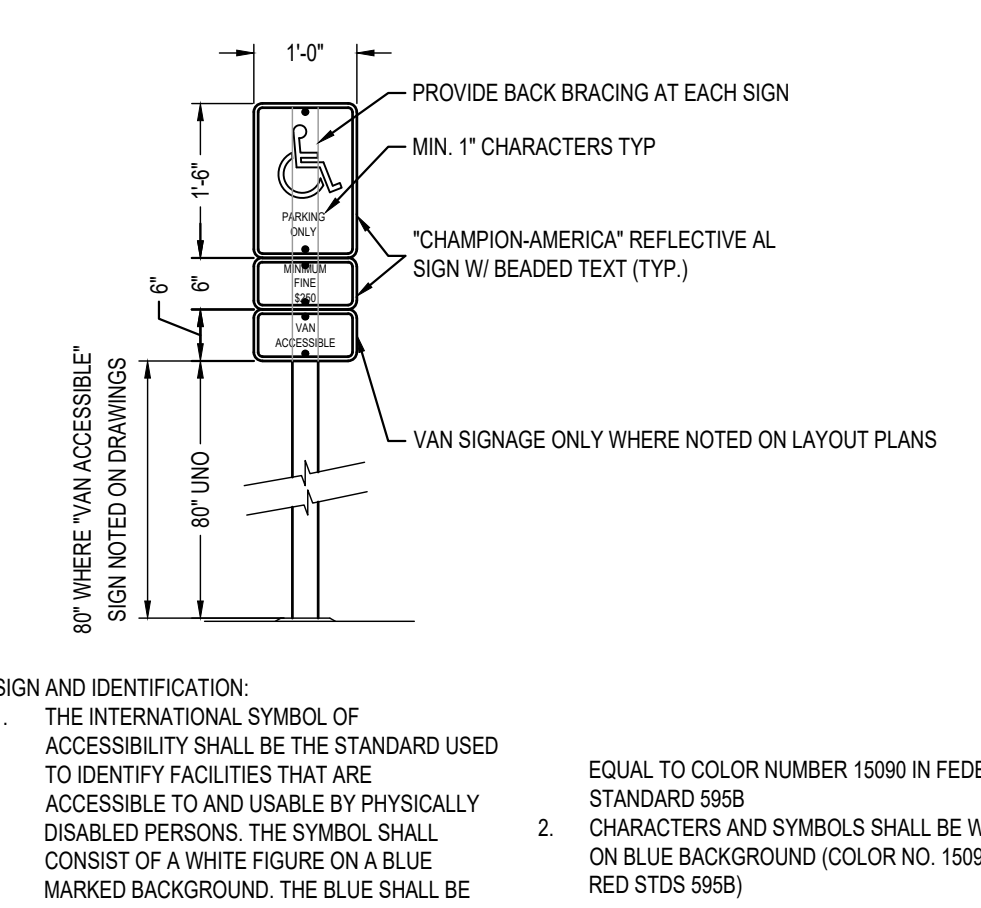
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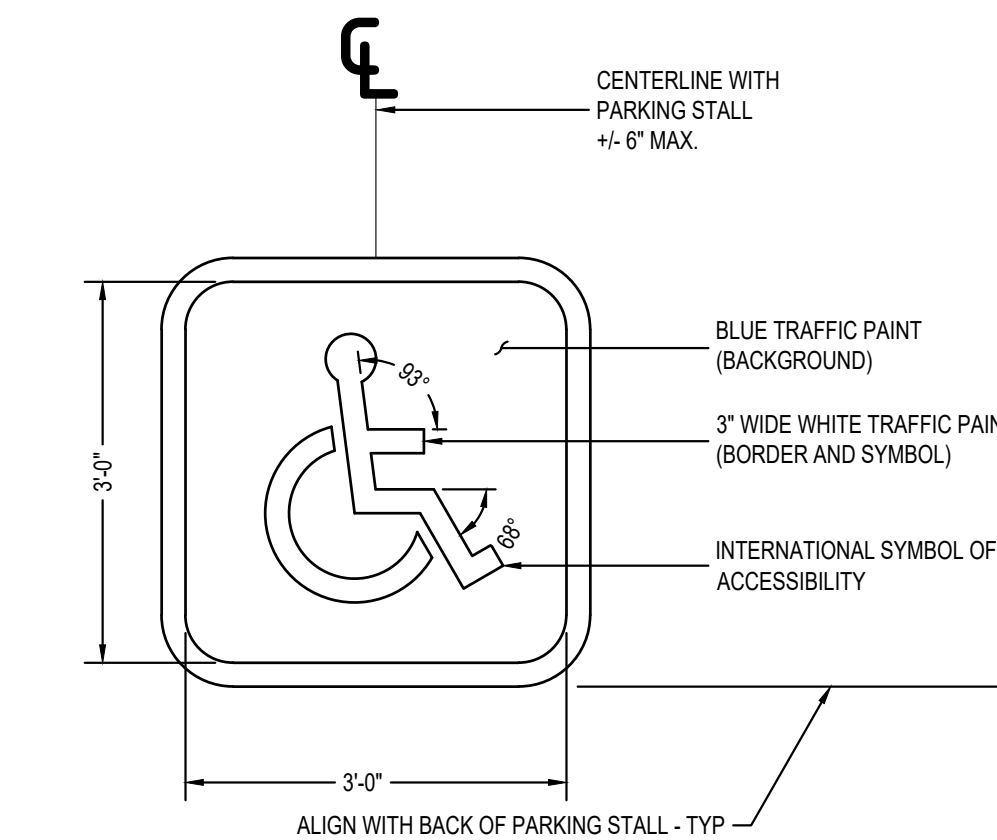
5  
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PRECAST CONCRETE WHEEL STOP  
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6  
G-106A  
ACCESSIBLE SIGNAGE TOWAY  
LOCATE AT OFF-STREET PARKING LOT ENTRANCES

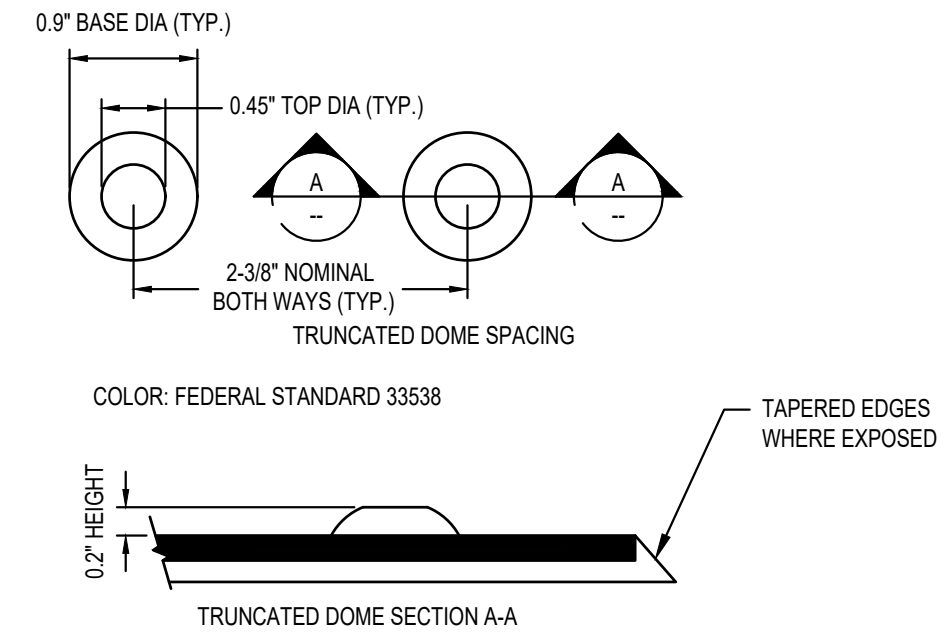


7  
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ACCESSIBLE PARKING SIGNS  
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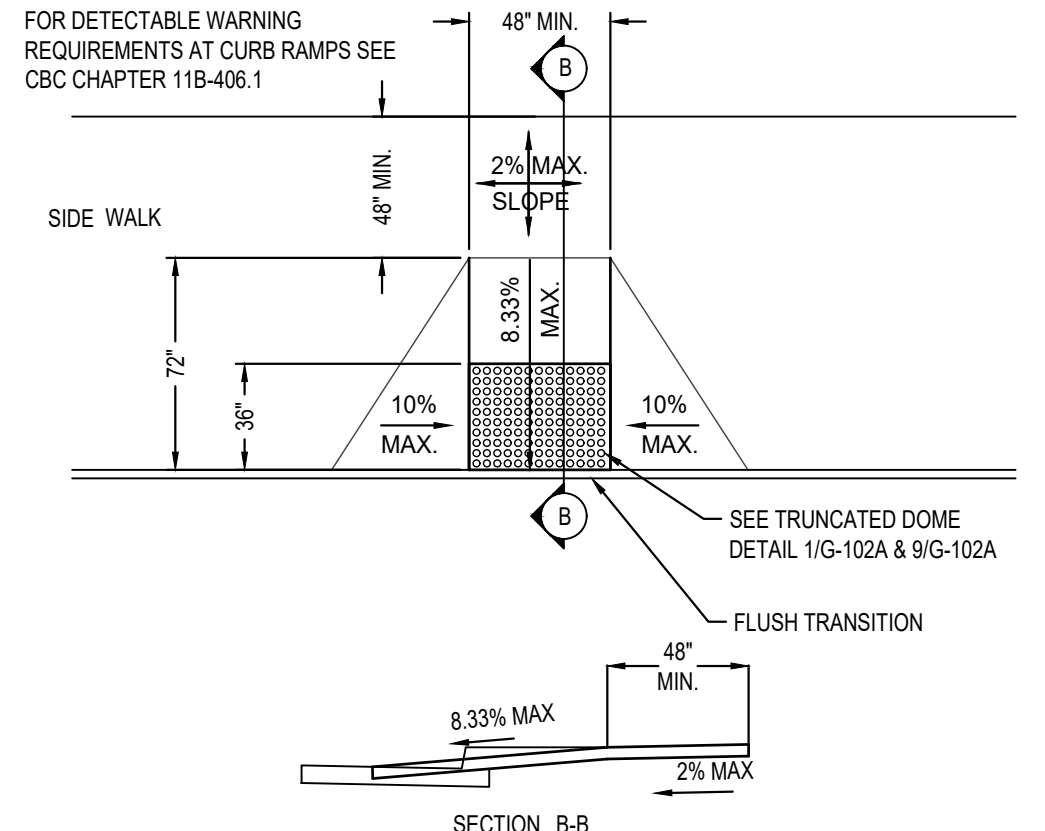


NOTE:  
• PAINT SYMBOL AT CENTER OF PARKING STALL  
• VAN STALL IS IDENTIFIED BY SIGN PER DETAIL 7 ON THIS SHEET

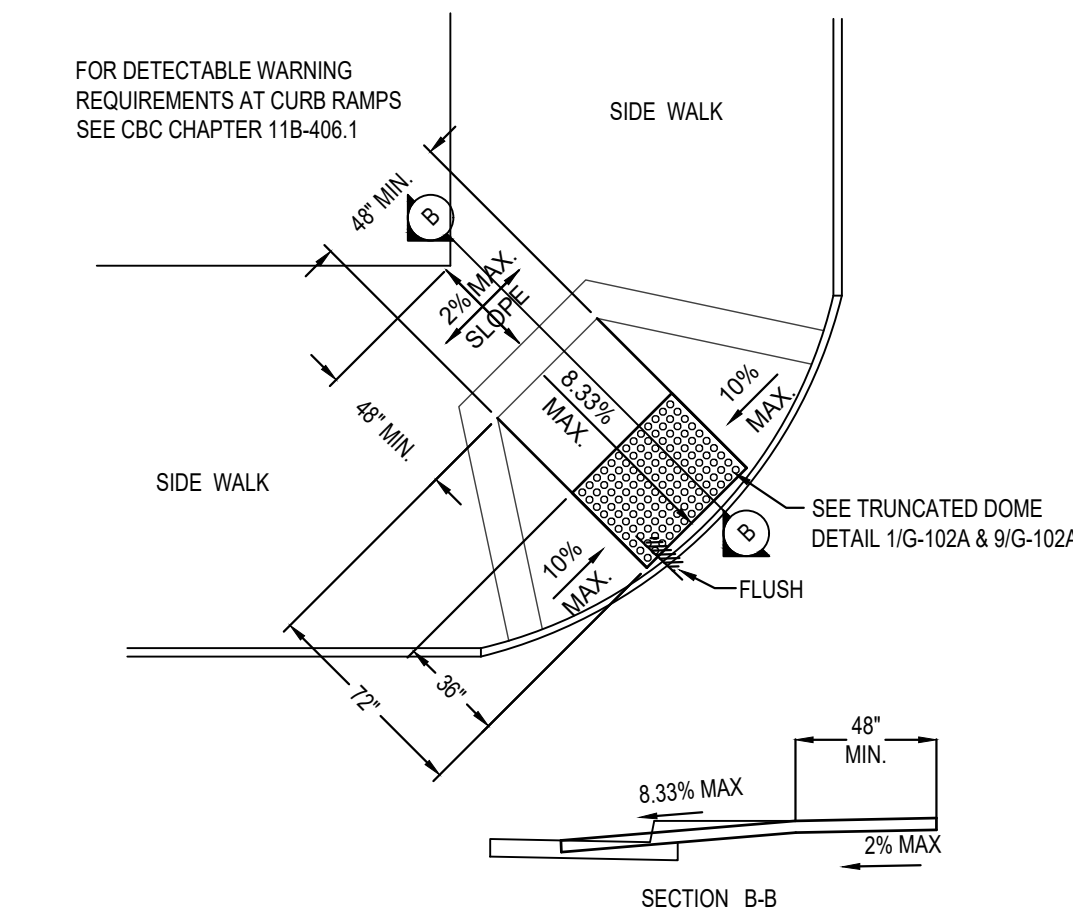
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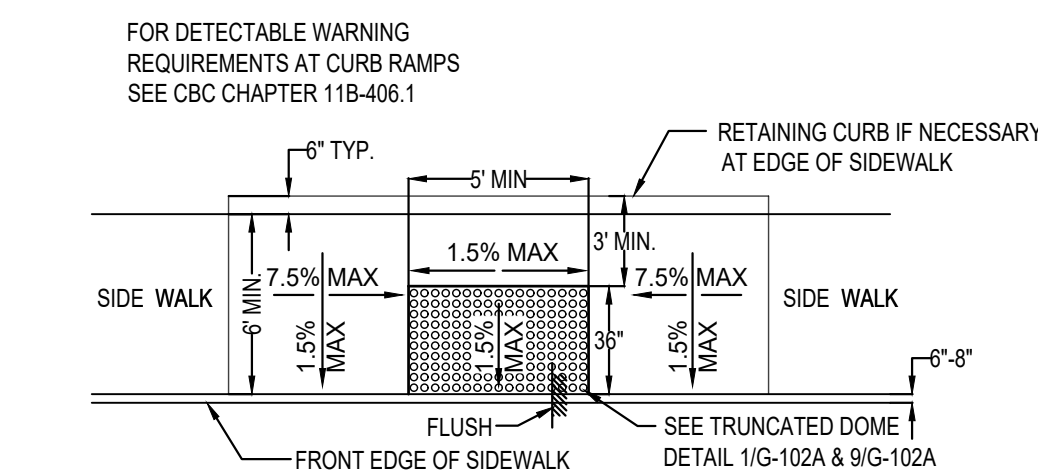
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ACCESSIBLE WALKWAY TACTILE WARNING DETAILS  
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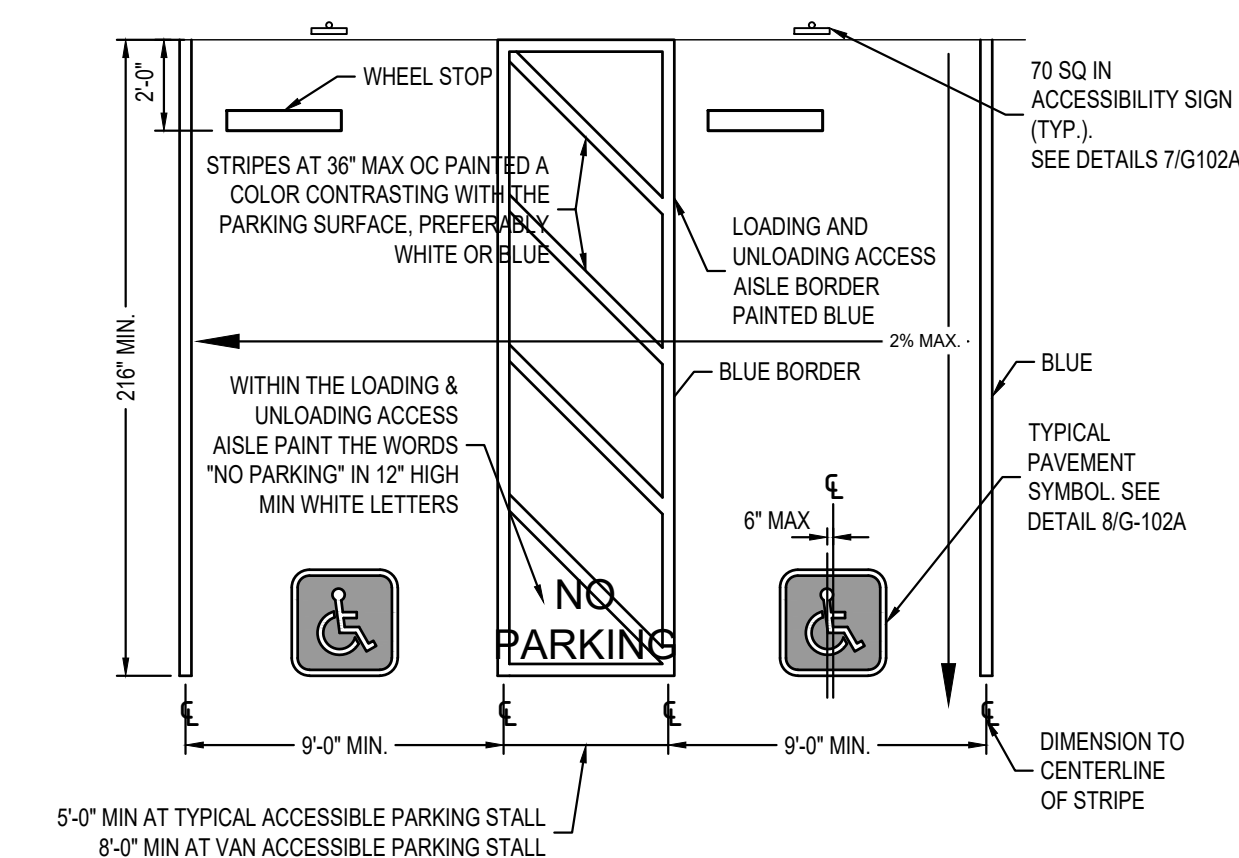
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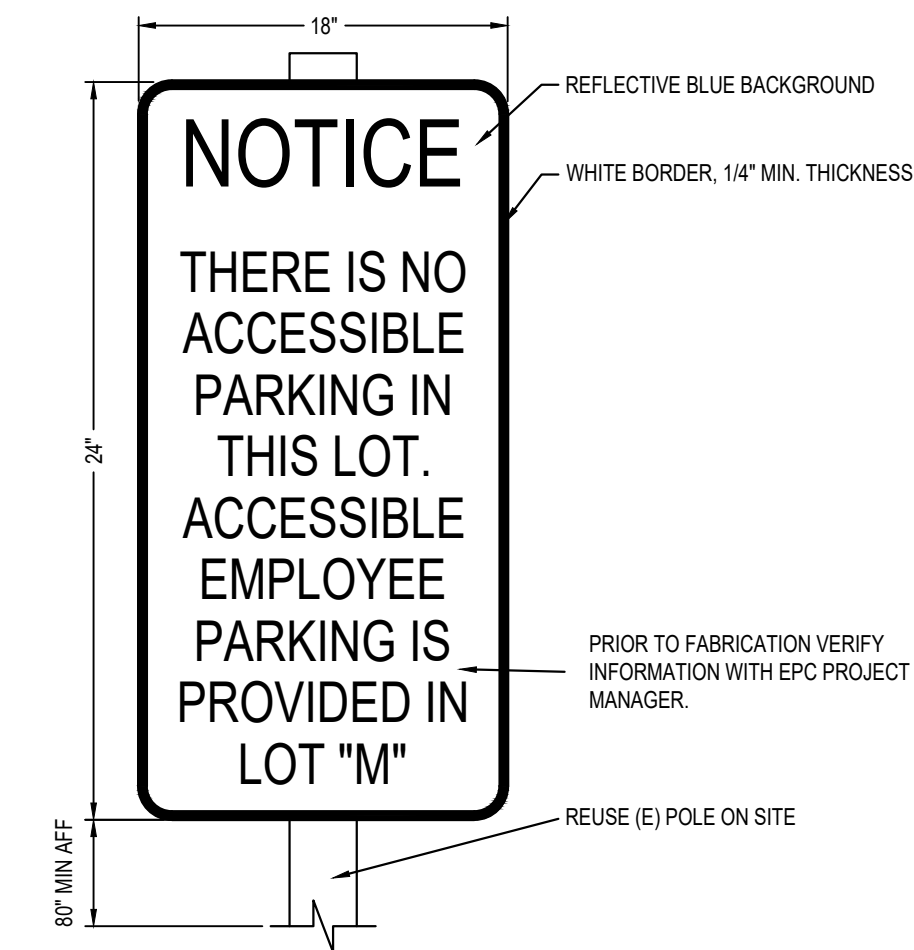
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G-106A  
ACCESSIBLE CURB-90  
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12  
G-106A  
ACCESSIBLE CURB - C TYPE



13  
G-106A  
ACCESSIBLE DOUBLE PARKING STALL  
NTS



14  
G-106A  
ACCESSIBLE SIGNAGE

CLIENT



PROJECT LOCATION

NATIVIDAD MEDICAL  
CENTER  
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APN: # 003-851-041-000, 003-851-039-000

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CONSULTANT



ENGINEERING APPROVAL

AGENCY APPROVAL

ISSUE

MARK	DATE	DESCRIPTION
0	06-06-25	ISSUE FOR PERMIT

DESIGNER PROJECT NO.: 230-3  
DRAWN BY: GB  
CHECKED BY: BL  
SCALE:

KEY PLAN

SHEET TITLE

ACCESSIBILITY  
DETAILS

SHEET NUMBER

G-106A