

Exhibit A

This page intentionally left blank.

**EXHIBIT A
DRAFT RESOLUTION**

**Before the Planning Commission in and for the
County of Monterey, State of California**

In the matter of the application of:

SAHI NAVEET SINGH (PLN240178)

RESOLUTION NO. 25--

Resolution by the County of Monterey Planning
Commission:

- 1) Finding that the project qualifies as a Class 3 and Class 4 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15304, and there are no exceptions pursuant to section 15300.2; and
- 2) Approving a Use Permit to allow the removal of 53 Oak trees.

[PLN240178, Sahi Navneet Singh, 8730 Eagles Roost Rd, Salinas, North County Inland Area Plan, (Assessor's Parcel Number: 125-621-010-000)]

The Sahi Navneet Singh application (PLN240178) came on for public hearing before the Monterey County Planning Commission on June 25, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The project and/or use, as conditioned, is consistent with the policies of the 2010 Monterey County General Plan, the North County Inland Area Plan (Area Plan), and the requirements of the applicable zoning ordinance (Title 21); and other County health, safety, and welfare ordinances related to land use development.
EVIDENCE:
 - a) No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The project involves the removal of 54 trees including 53 protected Oak trees and one nonprotected Monterey Pine tree.
 - c) Allowed Use. The property is located at 8730 Eagles Roost Rd, Salinas, North County Inland Area Plan (Assessor's Parcel Number: 125-621-010-000). The parcel is zoned Rural Density Residential with a density of 5.01 acres per unit, [RDR/5.01]. Title 21 section 21.64.260.D.3.a requires approval of a Use Permit by the Monterey County Planning Commission for the removal of more than three protected trees on one lot within a one-year period. Pursuant to Title 21 section 21.64.260.C.1 and North County Inland Area Plan policy 3.4, Oak and Madrone trees

are native within the North County Inland Area Plan and are therefore protected. Therefore, the project is an allowed land use for this site.

The site plans included in this project illustrate a 5,546 square foot single family dwelling with associated site improvements. Pursuant to Title 21, section 21.16.030.A, the first single family dwelling per lot is allowed as a principally allowed use within the Rural Density Residential zoning district, and therefore is processed ministerially. Although a planning entitlement is not required and approval for the construction of the single-family dwelling is not a part of this application, the tree removal is to allow for the future development of the single-family dwelling which will be processed separately under a Construction Permit. County Planning will be required to review the Construction Permit plans when submitted to ensure substantial conformance with the allotted trees under this project as illustrated within the attached plans. Modifications to the plans shown in relation to the tree removal that would require the removal of more trees than are allowed under this permit would require an amendment to this permit.

- d) Lot Legality. The subject property is identified in its current configuration (5.001 acres) as Lot 10 of Tract No. 1316 on a Final Map entitled “Hidden Canyon Ranch Subdivision”, recorded in March of 1999 (Volume 20, Cities & Towns, Page 16). Therefore, the County recognizes the subject properties as legal lots of record.
- e) Tree Removal. The project involves the removal of 54 trees, including 53 protected Oak Trees and one nonprotected Monterey Pine tree as outlined the Area Plan However, as detailed in Finding No.5 and supporting evidence, the tree removal is the minimum required under the circumstances and the removal will not involve a risk of adverse environmental impacts. Therefore, the criteria necessary to grant a Use Permit have been met in this case.
- f) Land Use Advisory Committee. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors, this application did warrant referral to the Land Use Advisory Committee (LUAC) for review as the project does not involve development requiring CEQA review (Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report, a Lot Line Adjustment involving conflicts, a Variance, or a Design Approval subject to a public hearing.
- g) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240178.

2. **FINDING:** **SITE SUITABILITY & HEALTH AND SAFETY** – The site is physically suitable for the use proposed. The establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvements in the neighborhood; or to the general welfare of the County.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, and North County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development or that the project will have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Forest Resources, Biological Resources, and Geotechnical Resources (soils). The following reports have been prepared:
 - “Geotechnical Investigation” (County of Monterey Library No. LIB240013) prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, October 2024.
 - “Arborist Report” (County of Monterey Library No. LIB250011) prepared by Albert Weisfuss, Carmel, CA, November 2024.
 - “Biological Report” (County of Monterey Library No. LIB250012) prepared by Patrick Regan, Carmel Valley, CA, December 2024.The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.
 - c) Forest Resources. A Fuel Management Plan was prepared for the project (see sheet L1 of project plans), as a guideline for the implementation of defensible space/vegetation management for fire safety around the future development. The tree removal supports mitigation of fire fuel surrounding the future development of the lot and neighboring residences (see evidence in Finding 5).
 - d) No evidence has been provided to the County of Monterey HCD-Planning staff indicating that the proposed tree removal will have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - e) The application, project plans, and related support materials submitted by the project applicant to the County of Monterey HCD - Planning for the proposed development found in Project File PLN240178.

3. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD - Planning and Building Services Department records and is not aware of any violations existing on subject property.
 - b) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240178.

4. **FINDING:** **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA): -**
The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) As detailed in Finding 1, evidence “c”, the applicant proposes the removal of 53 Oak trees to accommodate the future development of a single-family dwelling which is to be processed ministerially. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Planning Commission’s discretionary authority is limited to consideration of the proposed tree removal, the proposed residence is subject to CEQA.
 - b) CEQA Guidelines section 15303 categorically exempts the construction and location of limited numbers of new structures including single-family dwellings in residential zones. CEQA Guidelines section 15304 categorically exempts minor alterations to land, water, and/or vegetation which do not involve the removal of healthy, mature, scenic trees.
 - c) The proposed project involves the future construction of a single-family dwelling and associated site improvements on a residentially zoned lot. Therefore, this portion of the project is consistent with the categorical exemption requirements of CEQA Guidelines section 15303. Additionally, the project includes the removal of 54 trees including 53 protected Oak trees and one nonprotected Monterey Pine tree, none of which are scenic. Therefore, this portion of the project is consistent with CEQA Guidelines section 15304.
 - d) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no significant effect on the environment due to unusual circumstances. Project location is not within a sensitive environment. There is no cumulative impact without any prior successive projects of the same type in the same place, over time and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered on a hazardous waste site. The tree removal will not result in an adverse environmental impact or significant long-term impacts. The proposed project will also not be visible from any scenic vista or corridor. No known historical resources are found in the geotechnical report which may cause a substantial adverse change in the significance of a historical resource.
 - e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development found in Project File PLN240178.
5. **FINDING:** **TREE REMOVAL** – The siting, location, size, and design has been established to minimize tree removal and has been limited to that

required for the overall health and long-term maintenance of the property.

- EVIDENCE:**
- a) The project includes application for the removal of 54 trees, including 53 Oak Trees and one Monterey Pine Tree. In accordance with the applicable policies of the North County Inland Area Plan and Title 21 (Inland Zoning Ordinance), a Use Permit is required and the criteria to grant said permit have been met.
 - b) Title 21 section 21.64.260.D.3.a requires approval of a Use Permit by the Monterey County Planning Commission for the removal of more than three protected trees on one lot within a one-year period. Pursuant to Title 21 section 21.64.260.C.1 and North County Inland Area Plan policy 3.4, Oak and Madrone trees are native within the North County Inland Area Plan and are therefore protected. As proposed, the project involves the removal of 53 Oak trees and one non-native tree, which were identified in the Arborist report (LIB250011) to be in good to poor conditions and located within the proposed structural and landscape footprint. Title 21, section 21.64.260.C.5, defines landmark Oak trees as those trees which are 24 inches or more in diameter when measured two feet above the ground. As proposed, the project involves the removal of 3 landmark Oak trees. Removal of the 53 Oak trees (including the 3 landmark trees) requires the granting of a Use Permit and on-site replanting. The project also proposes the removal on one Monterey Pine tree, which is not protected under the North County Inland Area Plan and therefore does not require a Use Permit for removal. Staff analyzed the development of the proposed single-family dwelling and associated site improvements and found that proposed tree removal as illustrated is the minimum under the circumstances of the subject property. The subdivision recorded a Final Map that outlined two separate envelopes for the building and leach field. The proposed development and proposed tree removal are located entirely within those envelopes. The narrow building envelope can be accessed by an existing road adjacent to the property. The future development was designed to also allow for a turn-around within the driveway as required by Monterey County Fire Codes. Additionally, Monterey County Geographic Information System identifies the subject parcel within a high fire state responsibility hazard area. Chapter 18.56.090 outlines fuel modification standards to reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation and providing for setbacks for structures on parcels that are larger than one acre. Thus, the future development and associated site improvements within the building envelope is the minimum under these circumstances as outlined in Title 21 section 21.64.260.D.3. The proposed leach field is illustrated within the flattest area of the leach field envelope and has been carefully sited and designed to reduce the removal of other mature landmark trees. Additionally, as proposed, the siting and design of the residence also avoids the removal of 24 other native trees within the Building Envelope, including several landmark and multi-stem trees. Therefore, the proposed tree removal is limited to that which is necessary for the proposed development.

- c) Measures for tree protection during construction have been incorporated as a condition of approval, and include tree protection zones, trunk protection, hand excavation and bridging roots.
- d) No significant long-term effects on the forest ecosystem are anticipated. The project as proposed will not significantly reduce the availability of wildlife habitat over the long term.
- e) The application, plans and supporting materials submitted by the project applicant to County of Monterey HCD-Planning for the proposed development are found in Project File PLN240178.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:** a) Board of Supervisors. Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21) identifies the Board of Supervisors as the Appeal Authority to consider appeals from the discretionary decisions of the Planning Commission.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Find that the project qualifies as a Class 3 and Class 4 Categorical Exemption pursuant to CEQA Guidelines sections 15303 and 15304, and there are no exceptions pursuant to section 15300.2; and
2. Approve a Use Permit to allow the removal of 53 Oak Trees.

All of which are in general conformance with the attached sketch and subject to the attached 8 conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 25th day of June, 2025 upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Melanie Beretti, AICP, Chief of Planning
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from County of Monterey HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240178

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Use permit (PLN240178) allows the removal of 53 Oak trees. The property is located at 8730 Eagles Roost Road, Salinas (Assessor's Parcel Number 125-621-010-000), North County Inland Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 125-621-010-000 on June 25, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

6. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:
- Replacement recommended by arborist: 57 Coast Live Oak

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.



LOT CENTER: LOOKING SOUTH AT EAGLES ROOST RD.



LOT ENTRY: ADJACENT TO EAGLES ROOST RD.



LOT ENTRY: LOOKING NORTH FROM EAGLES ROOST RD.

NEW SINGLE FAMILY DWELLING

HOUSING PROJECT PHASE DESCRIPTION

PHASES OF CONSTRUCTION:

- COUNTY USE PERMIT: TREE REMOVAL
 - DESCRIPTION: BEFORE ANY CONSTRUCTION CAN COMMENCE, THE SITE WILL UNDERGO THOROUGH GRADING TO PREPARE THE LAND FOR BUILDING. THIS PHASE INVOLVES SHAPING THE TERRAIN, LEVELING THE GROUND, AND ENSURING PROPER DRAINAGE.
 - SITE PREP: CLEARING VEGETATION, DEBRIS REMOVAL, AND EXCAVATION TO ESTABLISH THE BUILDING FOOTPRINT.
 - GRADING:(SEPARATE PERMIT) ADJUSTING THE LAND'S CONTOURS TO ACCOMMODATE THE ARCHITECTURAL PLANS AND FACILITATE PROPER WATER RUNOFF.
 - CUT AND FILL: BALANCING EARTHWORKS THROUGH CUT AND FILL OPERATIONS TO ACHIEVE THE DESIRED SITE ELEVATIONS.
 - DRAINAGE PLANNING: INSTALLING NECESSARY DRAINAGE SYSTEMS TO PREVENT WATER ACCUMULATION AND EROSION.
 - OAK TREE REMOVAL: REMOVAL OF PROTECTED OAK TREES, SUBJECT TO USE PERMIT APPROVAL, AS PER ENVIRONMENTAL REGULATIONS. MEASURES WILL BE TAKEN TO MITIGATE ENVIRONMENTAL IMPACT AND ENSURE COMPLIANCE WITH RELEVANT PERMITS.
- NEW CONSTRUCTION ENTRANCE:
 - DESCRIPTION: ESTABLISHING A DURABLE ENTRANCE TO THE CONSTRUCTION SITE IS CRUCIAL FOR FACILITATING ACCESS FOR WORKERS AND EQUIPMENT WHILE MINIMIZING ENVIRONMENTAL IMPACT. THE ENTRANCE WILL BE BUILT TO WITHSTAND HEAVY TRAFFIC AND ADVERSE WEATHER CONDITIONS.
 - BASE CONSTRUCTION: A ROBUST FOUNDATION WILL BE LAID USING COARSE AGGREGATE AND FILTER FABRIC. THIS FOUNDATION WILL PROVIDE STABILITY, PREVENT EROSION, AND ALLOW FOR EFFECTIVE DRAINAGE.
 - ENTRANCE DESIGN: THE ENTRANCE WILL BE DESIGNED TO BLEND HARMONIOUSLY WITH THE SURROUNDINGS, CONSIDERING AESTHETICS, FUNCTIONALITY, AND SAFETY.
 - ENVIRONMENTAL CONSIDERATIONS: MEASURES WILL BE IMPLEMENTED TO MINIMIZE THE ENVIRONMENTAL FOOTPRINT DURING CONSTRUCTION, SUCH AS EROSION CONTROL AND SEDIMENTATION PREVENTION.
- UTILITY INSTALLATION:
 - DESCRIPTION: CONNECTING THE NEW SINGLE-FAMILY DWELLING TO ESSENTIAL

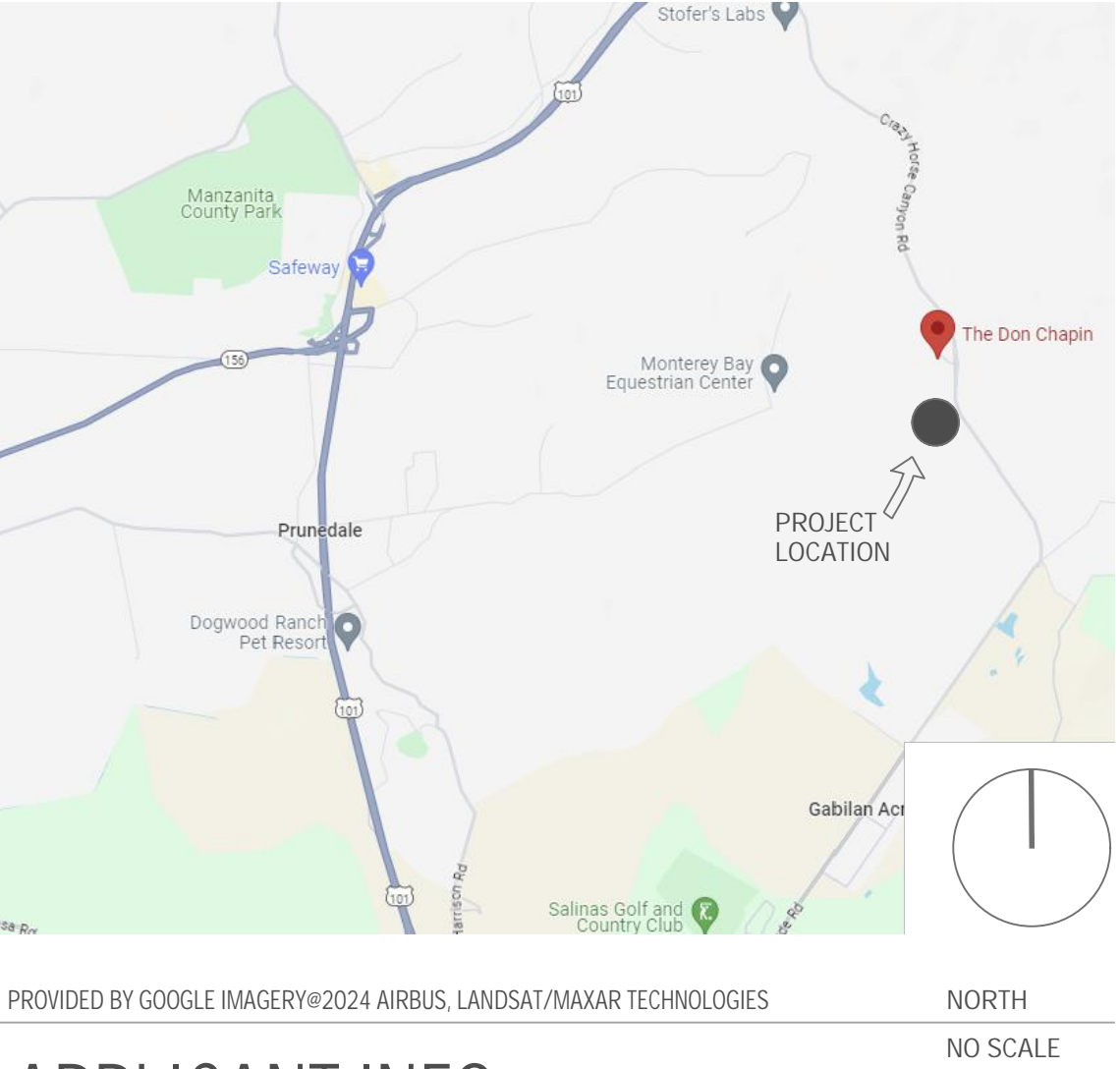
- UTILITIES SUCH AS WATER, ELECTRICITY, AND GAS IS CRITICAL FOR ITS FUNCTIONALITY AND LIVABILITY.
- WATER CONNECTION: COORDINATION WITH THE LOCAL WATER UTILITY TO ESTABLISH A CONNECTION TO THE MUNICIPAL WATER SUPPLY OR DRILL A WELL IF APPLICABLE.
 - ELECTRICAL CONNECTION: INSTALLATION OF ELECTRICAL SERVICE LINES AND CONNECTION TO THE POWER GRID TO PROVIDE ELECTRICITY TO THE DWELLING.
 - GAS CONNECTION: INSTALLATION OF GAS LINES AND CONNECTION TO THE NATURAL GAS SUPPLY OR PROPANE TANK TO FUEL APPLIANCES AND HEATING SYSTEMS.
- SEPTIC SYSTEM INSTALLATIONS
 - DESCRIPTION: GIVEN THE LOCATION'S LACK OF ACCESS TO A MUNICIPAL SEWAGE SYSTEM, A SEPTIC SYSTEM WILL BE INSTALLED TO MANAGE WASTEWATER DISPOSAL EFFICIENTLY.
 - SEPTIC TANK: INSTALLATION OF A 3000-GALLON SEPTIC TANK TO COLLECT WASTEWATER FROM THE DWELLING.
 - LEACH FIELD: EXCAVATION AND INSTALLATION OF AT LEAST 80 FEET OF LEACH LINES TO DISTRIBUTE TREATED WASTEWATER INTO THE SOIL FOR NATURAL FILTRATION AND ABSORPTION.
 - PERMITTING AND COMPLIANCE: OBTAINING NECESSARY PERMITS AND ENSURING COMPLIANCE WITH LOCAL REGULATIONS FOR SEPTIC SYSTEM INSTALLATION AND OPERATION.
 - MAINTENANCE CONSIDERATIONS: IMPLEMENTING A REGULAR MAINTENANCE SCHEDULE FOR THE SEPTIC SYSTEM TO ENSURE ITS PROPER FUNCTIONING AND LONGEVITY.
 - FOUNDATION AND STRUCTURAL CONSTRUCTION:
 - DESCRIPTION: ONCE THE SITE IS PREPARED AND THE ENTRANCE ESTABLISHED, CONSTRUCTION WILL BEGIN ON THE DWELLING'S FOUNDATION AND STRUCTURAL FRAMEWORK.
 - FOUNDATION WORK: EXCAVATION, FOOTING INSTALLATION, AND CONCRETE POURING TO CREATE A SOLID BASE FOR THE STRUCTURE.
 - STRUCTURAL FRAMEWORK: ERECTING WALLS, INSTALLING BEAMS, AND SETTING TRUSSES TO FORM THE SKELETON OF THE BUILDING.
 - QUALITY ASSURANCE: STRINGENT QUALITY CONTROL MEASURES WILL BE IMPLEMENTED AT EVERY STAGE TO ENSURE STRUCTURAL INTEGRITY AND COMPLIANCE WITH BUILDING CODES.

- ENCLOSURE AND INTERIOR FINISHING:
 - DESCRIPTION: WITH THE SKELETON OF THE BUILDING IN PLACE, WORK WILL COMMENCE ON ENCLOSING THE STRUCTURE AND FINISHING THE INTERIOR SPACES.
 - EXTERIOR ENCLOSURE: INSTALLING ROOFING, SIDING, WINDOWS, AND DOORS TO PROTECT THE INTERIOR FROM THE ELEMENTS.
 - INTERIOR FINISHING: PLUMBING, ELECTRICAL, HVAC, INSULATION, DRYWALL, FLOORING, AND FIXTURES INSTALLATION TO CREATE FUNCTIONAL AND AESTHETICALLY PLEASING LIVING SPACES.
 - CUSTOMIZATION: TAILORING FINISHES AND FEATURES TO MEET THE CLIENT'S PREFERENCES AND SPECIFICATIONS.
- FINAL INSPECTIONS AND LANDSCAPING:
 - DESCRIPTION: AS CONSTRUCTION NEARS COMPLETION, FINAL INSPECTIONS WILL BE CONDUCTED TO ENSURE COMPLIANCE WITH REGULATIONS AND STANDARDS. LANDSCAPING WILL ALSO BE UNDERTAKEN TO ENHANCE THE PROPERTY'S CURB APPEAL AND ENVIRONMENTAL SUSTAINABILITY.
 - INSPECTIONS: STRUCTURAL, ELECTRICAL, PLUMBING, AND SAFETY INSPECTIONS TO VERIFY COMPLIANCE WITH BUILDING CODES.
 - LANDSCAPING: PLANTING TREES, SHRUBS, AND VEGETATION, LAYING PATHWAYS, AND INSTALLING OUTDOOR AMENITIES TO CREATE A COHESIVE AND INVITING OUTDOOR ENVIRONMENT.

SCOPE OF WORK

USE PERMIT TO ALLOW THE REMOVAL OF 54 OAK TREES (53 COAST LIVE OAK, 1 MONTEREY PINE). REMOVAL OF TREES IS FOR FUTURE RESIDENTIAL SINGLE FAMILY DWELLING CONSTRUCTION (TO BE FURNISHED UNDER A SEPARATE PERMIT) WHICH IS NOT PART OF THIS PROJECT. LAND MANAGEMENT TO BE LIMITED TO SITE CLEARING, AND TREE REMOVAL

VICINITY MAP



PROVIDED BY GOOGLE IMAGERY@2024 AIRBUS, LANDSAT/MAXAR TECHNOLOGIES

NORTH

NO SCALE

APPLICANT INFO

DESIGNER(S):	FLOORPLANDESIGNCO LLC
ADDRESS:	1451 SUNNYSLOPE RD. HOLLISTER CA. 95023
REPRESENTATIVE:	RICK CASTILLO
DRAFTING TEAM:	RICK, FRANK
COMPANY EMAIL:	rick@floorplandesignco.com
DIRECT PHONE:	831-524-5927

SAHI RESIDENCE

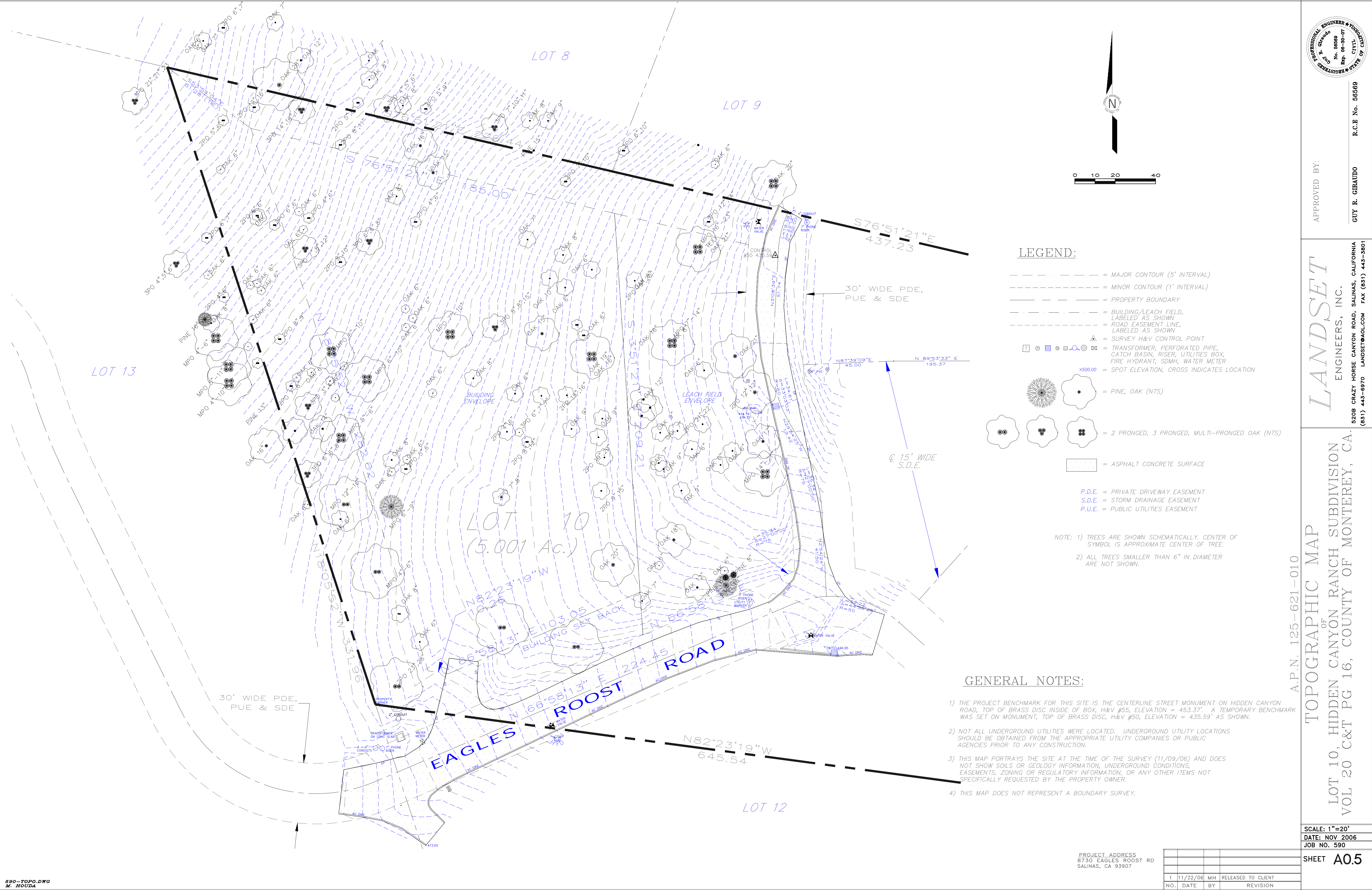
8730 EAGLES ROOST RD. SALINAS, CA. 93907
APN: 125-621-010-000

CO.O COVER (PRELIMINARY)

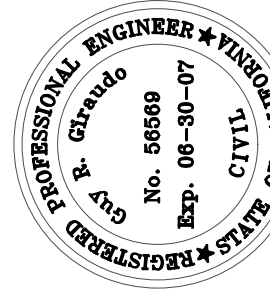


**FLOOR PLAN
DESIGN CO.**

DESIGN, PLANNING, & ESTIMATES
(831) 524-5927 SERVICING MONTEREY COUNTY



1	11/22/06	MH	RELEASED TO CLIENT
NO.	DATE	BY	REVISION



TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. PROJECT SITE WALKTHROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.

LEGEND

- GREEN: TAGGED
RETAINED TREES
- BLUE: FALLEN
TREES/ STUMPS
- YELLOW: <4" MONTEREY
PINES FOR REFERENCE ONLY
- RED: REQUESTED
TREES TO BE
REMOVED
- PROPERTY LINE
- MINOR CONTOUR LINES
- MAJOR CONTOUR LINES
- EXISTING TREES
OUTSIDE SCOPE OF
WORK

SITE PREPARATION NOTES:

1. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN. SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY FOR SITE PREPARATION AS DESCRIBED IN THIS SECTION INCLUDING UTILITY CONNECTIONS. PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS.

2. BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND ROCKS OR LUMPS OVER 6 INCHES (2 INCHES AT UTILITY TRENCHES). COMPACT BACKFILL TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER ASTM D-1557; IN LIFTS NOT EXCEEDING 8 INCHES UNCOMPACTED.

3. DEPRESSION FROM REMOVAL OF OBSTRUCTIONS SHALL BE OPENED TO WORKING SIZE; REMOVE DEBRIS AND SOFT MATERIAL; BACKFILL AND COMPACT AS NECESSARY.

4. SURFACE DRAINAGE SHALL SLOPE 3% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 5 FEET AND AT LEAST 1% TO SUITABLE COLLECTION POINTS.

5. TRENCHING SHALL BE TRUE TO GRADES INDICATED. EXTEND UTILITY TRENCHES TO BE SUFFICIENT DEPTH STANDARDS AND LOCAL CODES. PROPERLY SUPPORT TRENCHES.

6. UNUSUAL CONDITIONS NOT COVERED IN THE PROJECT, IF ENCOUNTERED, SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT'S CONTACT AND RESOLVED ACCORDING TO APPLICABLE CODES.

7. IF DEEMED NECESSARY, HAZARDOUS WASTE TESTING SHALL BE CONDUCTED INCLUDING ASBESTOS TESTING & REMEDIATION.

8. STORM WATER DRAINAGE AND RETENTION SHALL BE FURNISHED DURING CONSTRUCTION. MEANS OF DRAINAGE AND RETENTION AS FOLLOWS:

9. STORM WATER CONVEYED TO A PUBLIC DRAINAGE SYSTEM SHALL BE FILTERED BY A BARRIER SYSTEM, WATTLES OR OTHER APPROVED METHOD.

10. GRADING AND PAVING SHALL BE CONDUCTED TO MANAGE SURFACE WATER INCLUDE SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS OR OTHER MEASURES AS INDICATED OR NECESSARY TO KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

11. AVOID LAND-DISTURBING WORK DURING ANY WET WEATHER
- SEASON. PROJECT CONTACT TO VERIFY CLIMATE AND WEATHER FORECASTS PRIOR TO COMMENCING THE LAND-DISTURBING WORK.

12. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED, INSTALL APPROPRIATE/PROTECTIVE FENCING/PERIMETER CONTROLS PRIOR TO COMMENCING WORK.

13. ALL IMPERVIOUS SURFACES SHALL BE SWEEP (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT.

14. ALL CONSTRUCTION WASTE SHALL BE CONTAINED ON SITE AND COVERED, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO THE STREET.

15. CATCH BASINS AND/OR DROP INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, INCLUDING PRIOR GUTTER FILTRATION AS APPROPRIATE AND IN A MANNER NOT IMPEDING TRAFFIC SAFETY.

16. PROPERLY INSTALLED SILT FENCE OR EQUIVALENT CONTROL SHALL
- BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. NO SEDIMENT MAY LEAVE OR RUNOFF THE SITE. PROJECT CONTACT SHALL VERIFY, IF APPLICABLE, IF ADDITIONAL SLOPE STABILIZATION BMPS SHALL BE IMPLEMENTED TO PREVENT SLOPE EROSION AND SEDIMENTATION ON-SITE AND OFF.

17. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS. NO MATERIALS SHALL LEAVE THE SITE OR BE MOVED INTO THE STREET.

18. PROJECT CONTACT AND SUBCONTRACTORS MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET.
- ## TREE REMOVAL PLAN
- SCALE: 1/16" = 1'-0"
-
- ## VICINITY MAP
-
- ## PROJECT DATA:
- | | |
|-----------------------------|-------------------------------|
| APN#: | 125-621-010-000 |
| ZONING | RDR/5.01 |
| EROSION HAZARD | HIGH |
| LAND USE CODE | 3A |
| LOT AREA | 212,572.8 SF.
(4.88 ACRES) |
| LIQUEFACTION SUSCEPTIBILITY | LOW |
| FIRE HAZARD SEVERITY | HIGH |
| LANDSLIDE SUSCEPTIBILITY | LOW/ MODERATE |
| ADVISORY COMMITTEE | N.C.A.C. |
| PROPOSED NUMBER OF STORIES | 2 |
| AHJ | MONTEREY COUNTY |
| TREE REMOVAL COUNT | 1 MONTEREY PINE |
| TREE REMOVAL COUNT | 53 COAST LIVE OAK |
| FIRE PROTECTION DISTRICT | NORTH COUNTY FPD |
| TOTAL BUILDING FOOTPRINT | 5,546 SF |
| PROPOSED HEIGHT | 28'-0" MAX |
| PROPOSED ROOF SLOPE | 4:12 |
| PROPOSED FOUNDATION TYPE | SLAB |
| PROPOSED ROOF TYPE | HIP/SHED |
| PROPOSED GARAGE SF | 1,717 SF |
| PROPOSED DECK AREA | 805 SF |
| PROPOSED DRIVEWAY | 5,931.8 SF |
- ## CODE COMPLIANCE
- ALL CONSTRUCTION SHALL CONFORM WITH FOLLOWING:
2022 California Residential Code
2022 California Electrical Code
2022 California Energy Code
2022 California Energy Efficiency Standards
2022 California Plumbing Code
2022 California Fire Code
2022 California Title 24
2022 California Green Code.
- ## GENERAL SITE NOTES
1. CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.

2. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING.

4. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUB-GRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- ## DISCLAIMER
- THE PROPERTY LINE LAYOUT (DIMENSIONS, ORIENTATION AND LOCATION) WERE PRODUCE FROM ASSESSOR MAPS. THESE MAPS DO NOT REPRESENT ACTUAL SURVEYS AND ARE ONLY USED FOR SCHEMATIC (ESTIMATE) PURPOSES.
- THE DIMENSIONS PROVIDED ON THE PLANS ARE A RESULT OF FIELD OBSERVATIONS, AND WERE TAKEN FROM ASSUMED PROPERTY LINES. IF AN ACCURATE SURVEY IS REQUIRED: THE SURVEY SHALL BE PERFORMED BY A COMPETENT LAND SURVEYOR CURRENTLY LICENSED IN THE STATE OF CALIFORNIA.
- REVISIONS | DATE | BY | DESCRIPTION
- FLOOR PLAN**
DESIGN CO.
- TREE REMOVAL PLAN
- USE PERMIT FOR:
- SAHI RESIDENCE**
- CLIENT: NAVNEET SINGH SAHI
8730 EAGLES ROOST RD, SALINAS, CA. 93907
- DATE 11-26-24
SCALE AS SHOWN
DRAWN RC
JOB 09-24
SHEET
- A1.0**
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH THEY WERE PREPARED AND PUBLICATION. THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES A MAJOR FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. PROJECT SITE WALKTHROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.

LEGEND

- GREEN: TAGGED RETAINED TREES
- BLUE: FALLEN TREES/ STUMPS
- EXISTING TREES OUTSIDE SCOPE OF WORK
- FUTURE DEVELOPMENT
- DRIVEWAY/ PAVERS
- PROPERTY LINE
- MINOR CONTOUR LINES
- MAJOR CONTOUR LINES
- YELLOW: <4" MONTEREY PINES FOR REFERENCE ONLY
- RED: REQUESTED TREES TO BE REMOVED



1 ENLARGED TREE REMOVAL PLAN
SCALE: 1/16" = 1'-0"

ENLARGED TREE REMOVAL PLAN

USE PERMIT FOR:

SAHI RESIDENCE

CLIENT: NAMEET SINGH SAHI
8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE: 11-26-24
SCALE: AS SHOWN
DRAWN: RC
JOB: 09-24
SHEET:

A1.1

REVISIONS | DATE | BY | DESCRIPTION

FLOOR PLAN
DESIGN CO.

DESIGN, PLANNING & ESTIMATES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES A MAJOR FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

RECORDED TREES

Tree Species	ID #	Diameter in Inches	Comments	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Suitable for Preservation
Monterey pine	601	25	Tree is in decline	2-Poor	Yes
Monterey pine	602	10	Suppressed	2-Poor	Yes
Coast live oak	603	17		3 - Fair	Yes
Coast live oak	604	16	Impacted by development	3 - Fair	No
Coast live oak	605	8		3 - Fair	Yes
Coast live oak	606	10		3 - Fair	Yes
Coast live oak	607	17	Impacted by development	3 - Fair	No
Coast live oak	608	23,27	Impacted by development	4 - Fair	No
Coast live oak	609	22,24	Impacted by development	2-Poor	No
Coast live oak	610	31,33		4 - Fair	Yes
Coast live oak	611	12		3 - Fair	Yes
Coast live oak	612	8,10		3 - Fair	Yes
Coast live oak	613	23,8	Impacted by development	3 - Fair	No
Coast live oak	614	8	Suppressed	2-Poor	Yes
Coast live oak	615	8,8,10	Suppressed	2-Poor	Yes
Monterey pine	616	34		4 - Fair	Yes
Coast live oak	617	19		3 - Fair	Yes
Coast live oak	618	15		3 - Fair	Yes
Coast live oak	619	10		3 - Fair	Yes
Coast live oak	620	8,6,4		3 - Fair	Yes
Coast live oak	621	10,4,6,8		3 - Fair	Yes
Monterey pine	622	8	Impacted by development	3 - Fair	No
Coast live oak	623	8	Impacted by development	2-Poor	No
Coast live oak	624	11	Impacted by development	3 - Fair	No
Coast live oak	625	8,6	Impacted by development	3 - Fair	No
Coast live oak	626	8	Impacted by development	3 - Fair	No
Coast live oak	627	8	Impacted by development	3 - Fair	No
Coast live oak	628	6,8	Impacted by development	3 - Fair	No
Coast live oak	629	8	Impacted by development	3 - Fair	No
Coast live oak	630	10,10,8,6	Impacted by development	3 - Fair	No
Coast live oak	631	8,8,19		3 - Fair	Yes

EXERPT

TREE PROTECTION

It is possible as the project develops, some crown cleaning, raising or reduction of canopies will be required to obtain proper distance between established trees and the proposed project. Visible decay was present on some trees that will require care for safety and health. This pruning cycle is recommended at the end of construction along with post construction care of the retained trees.

All pruning will be completed by a qualified professional following ISA Best Management Pruning guidelines.

Tree Protection - Before/During/After

Planning Phase

- Before assessing trees and other site structures and conditions, mark the site boundaries on plans and in the field to delineate which trees and stands of trees will be inventoried.
- Perform a tree inventory that includes at minimum the location, size, and health of each tree and delineates quality stands of trees. Scope of the inventory should be based on communication and needs of the project team (developer, planner, engineer, architect, landscape architect, and other professionals involved), as well as county ordinances. This is the time to confer with the project team on conceptualizations for site design, so that way long-term tree protection and health gets integrated into the design.

Design Phase

- Communicate with the project team to accurately site structures and utilities and determine the trees to remain on site. Conserve and protect trees in stands or groups where possible. Make sure the trees and stands of trees selected to be saved go into plans and construction documents. Include in all plans the Tree Protection Zone (TPZ) for all saved trees to avoid conflict with the protected area and placement of structures and utilities during construction.

Pre-construction Phase

- Prior to pre-construction activities, including tree removal, access roads, construction staging areas, and building layout, erect tree protection barriers to visually indicate TPZs. Be sure to:
 - ⇒Use tree protection barriers that are highly visible, sturdy, and restrict entry into the TPZ.
 - ⇒Install or erect signs along the tree protection barrier stating that no one is allowed to disturb this area.
 - ⇒Remove any branches or trees that pose an immediate risk to structures or people prior to any construction activities.
- Construction Phase
- Communicate the intent of the tree protection barriers to the construction manager and workers to ensure that TPZs are not disturbed during construction activities. Have the construction manager sign a contract of compliance.

Prohibit these activities in the TPZ:

- ⇒Stockpiling of any type, including construction material, debris, soil, and mulch
- ⇒Altering soils, including grade changes, surface treatment, and compaction due to vehicle, equipment, and foot traffic
- ⇒Trenching for utility installation or repair and irrigation system installation
- ⇒Attaching anything to trunks or use of equipment that causes injury to the tree

- Schedule site visits to ensure the contract is being met by the construction manager and that tree health is not being compromised by construction activity. Inspect and monitor trees for any decline or damages.

- Keep in place all tree protection barriers until the project is completed.

Post-construction Phase

- Perform a final inspection and continue monitoring after construction. Monitoring includes maintaining mulch, managing soil moisture, assessing tree damage, inspecting for insects and pests, and fertilization if needed.

Tree Species	ID #	Diameter In Inches	Comments	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Suitable for Preservation
Coast live oak	632	6,4,8	Impacted by development	3 - Fair	No
Coast live oak	633	17	Impacted by development	3 - Fair	No
Coast live oak	634	6	Impacted by development	3 - Fair	No
Coast live oak	635	8	Impacted by development	3 - Fair	No
Coast live oak	636	10	Impacted by development	3 - Fair	No
Coast live oak	637	6,4	Impacted by development	3 - Fair	No
Coast live oak	638	10	Impacted by development	3 - Fair	No
Coast live oak	639	6	Impacted by development	3 - Fair	No
Coast live oak	640	6,4	Impacted by development	3 - Fair	No
Coast live oak	641	12,8,8,12	Impacted by development	3 - Fair	No
Coast live oak	642	10	Impacted by development	3 - Fair	No
Coast live oak	643	10	Impacted by development	3 - Fair	No
Coast live oak	644	8	Impacted by development	3 - Fair	No
Coast live oak	645	10	Impacted by development	3 - Fair	No
Coast live oak	646	6,8,10,10	Impacted by development	3 - Fair	No
Coast live oak	647	10		3 - Fair	Yes
Coast live oak	648	10		3 - Fair	Yes
Coast live oak	649	8		3 - Fair	Yes
Coast live oak	650	12		3 - Fair	Yes
Coast live oak	651	12		3 - Fair	Yes
Coast live oak	652	16,8,6	Impacted by development	3 - Fair	No
Coast live oak	653	14	Impacted by development	3 - Fair	No
Coast live oak	654	8	Impacted by development	3 - Fair	No
Coast live oak	655	10,6,4	Impacted by development	3 - Fair	No
Coast live oak	656	14,12	Impacted by development	3 - Fair	No
Coast live oak	657	12	Impacted by development	3 - Fair	No
Coast live oak	658	10,8,6	Impacted by development	3 - Fair	No
Coast live oak	659	14,14	Impacted by development	3 - Fair	No
Coast live oak	660	23	Impacted by development	3 - Fair	No
Coast live oak	661	19	Impacted by development	3 - Fair	No
Coast live oak	662	22	Impacted by development	3 - Fair	No
Coast live oak	663	18	Impacted by development	3 - Fair	No
Coast live oak	664	12	Impacted by development	3 - Fair	No

EXERPT

Grading Limitations within the Tree Protection Zone

- Grade changes outside of the TPZ shall not significantly alter drainage to the tree.
- Grade changes within the TPZ are not permitted.
- Grade changes under specifically approved circumstances shall not allow more than 6-inches of fill soil added or allow more than 4-inches of existing soil to be removed from natural grade unless mitigated
- Grade fills over 6-inches or impervious overlay shall incorporate notes: an approved permanent aeration system, permeable material or other approved mitigation.
- Grade cuts exceeding 4-inches shall incorporate retaining walls or an appropriate transition equivalent.

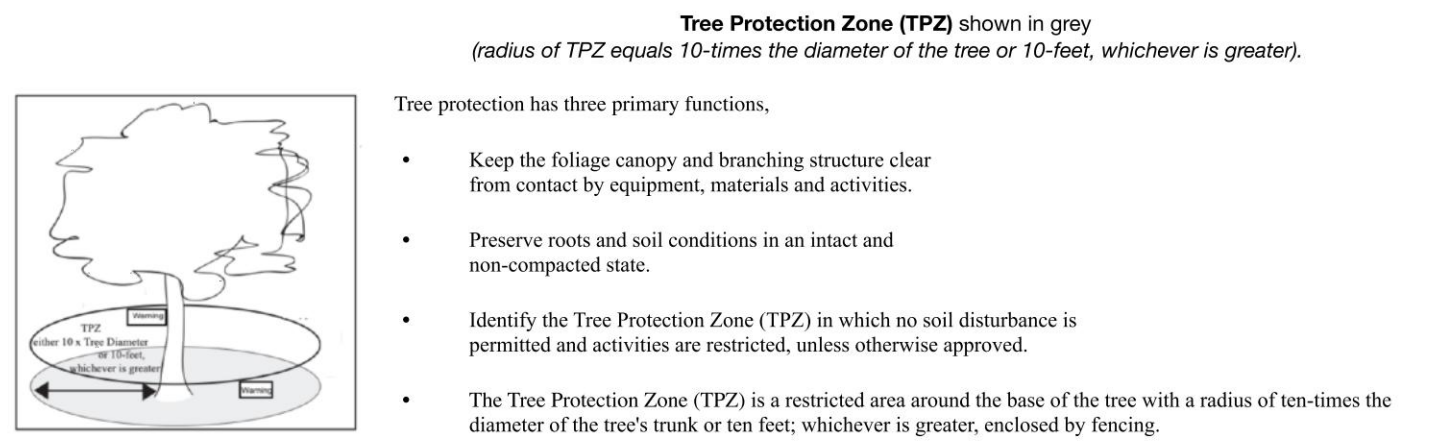
Trenching, Excavation and Equipment Use

Notification. Contractor shall notify the project arborist a minimum of 24 hours in advance of the activity in the TPZ.

- Root Severance. Roots that are encountered shall be cut to sound wood and repaired Roots 2- inches and greater must remain injury free.
- Excavation. Any approved excavation, demolition or extraction of material shall be performed with equipment siting outside the TPZ. Methods permitted are by hand digging, hydraulic or pneumatic air excavation technology. Avoid excavation within the TPZ during hot, dry weather. If excavation or trenching for drainage, utilities, irrigation lines, etc., it is the duty of the contractor to tunnel under any roots 2-inches in diameter and greater. Prior to excavation for foundation/footings/walls, grading or trenching within the TPZ, roots shall first be severed cleanly 1-foot outside the TPZ and to the depth of the future excavation. The trench must then be hand dug and roots pruned with a saw, sawzall, narrow trencher with sharp blades or other approved root pruning equipment.
- Heavy Equipment. Use of backhoes, steel tread tractors or any heavy vehicles within the TPZ is prohibited unless approved by the project arborist. If allowed, a protective root buffer is required. The protective buffer shall consist of a base course of tree chips spread over the root area to a minimum of 6-inch depth, layered by 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. This buffer within the TPZ shall be maintained throughout the entire construction process.
 - Structural design. If injurious activity or interference with roots greater than 2-inches will occur within the TPZ, plans shall specify a design of special foundation, footing, walls, concrete slab or pavement designs subject to project arborist approval. Discontinuous foundations such as concrete pier and structural grade beam must maintain natural grade (not to exceed a 4-inch cut), to minimize root loss and allow the tree to use the existing soil.

Tree Removal

- ⇒Removal of regulated trees shall not be attempted by demolition or construction personnel, grading or other heavy equipment. A certified arborist or tree worker shall remove the tree carefully in a manner that causes no damage above or below ground to trees that are retained.



Tree Species	ID #	Diameter In Inches	Comments	Condition 0=Dead 1-2=Poor 3-4=Fair 5=Excellent	Suitable for Preservation
Coast live oak	665	10		3 - Fair	Yes
Coast live oak	666	23,23	Impacted by development	3 - Fair	No
Coast live oak	667	23,17	Impacted by development	3 - Fair	No
Coast live oak	668	23	Impacted by development	3 - Fair	No
Coast live oak	669	14	Impacted by development	3 - Fair	No
Coast live oak	670	23,23	Impacted by development	3 - Fair	No
Coast live oak	671	23,23	Impacted by development	3 - Fair	No
Coast live oak	672	23,10	Impacted by development	3 - Fair	No
Coast live oak	673	12,23,15,19,27		3 - Fair	Yes
Coast live oak	674	23		3 - Fair	Yes
Coast live oak	675	12,14	Impacted by development	3 - Fair	No
Coast live oak	676	27		3 - Fair	Yes
Coast live oak	451	12	Impacted by development	3 - Fair	No
Coast live oak	452	6	Impacted by development	3 - Fair	No
Coast live oak	453	8	Impacted by development	3 - Fair	No
Coast live oak	454	10	Impacted by development	3 - Fair	No
Coast live oak	455	27,23,20,22		3 - Fair	Yes

TREE REMOVAL & TREE RETENTION PLANS

Removal is based on condition or impacts from development of trees at the time of this assessment.

0 trees assessed in the excellent category.

75 trees assessed in the fair category

6 trees assessed in there poor category

0 trees assessed in the dead category

54 trees are requested for removal. 53 Quercus agrifolia and 1 Pinus radiata

27 Documented trees near the proposed project are to be retained with tree protection.

Retention is based on condition/location of trees at the time of the assessment.

Trees retained within the scope of work will require tree protection prior to any work.

Retained trees are recommended for trimming for safety and/or building clearance using Best Management Practice (BMP) developed by the International Society of Arboriculture (ISA)

EXERPT

NOTE: TREE LOG DATA SET, PROVIDED BY CERTIFIED ARBORIST. FOR COMPLETE ANALYSIS SEE FULL AMENDED REPORT. PROJECT SITE WALK-THROUGH FURNISHED PRIOR TO REPORT. 3 SITE VISITS LOGGED TO DETERMINE SCOPE AFFECTED BY AREA OF WORK. SEE FULL ARBORIST REPORT AND SHEET A1.1 FOR ENLARGED PLAN FOR FINE DETAIL.

TREE SCHEDULE
USE PERMIT FOR:
SAHI RESIDENCE
CLIENT: NAMEET SINGH SAHI
8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE 11-26-24
SCALE AS SHOWN
DRAWN RC
JOB 09-24
SHEET

A1.2

REVISIONS	DATE	BY	DESCRIPTION

John Cattle
FLOOR PLAN
DESIGN CO.
DESIGN, PLANNING & ESTIMATES

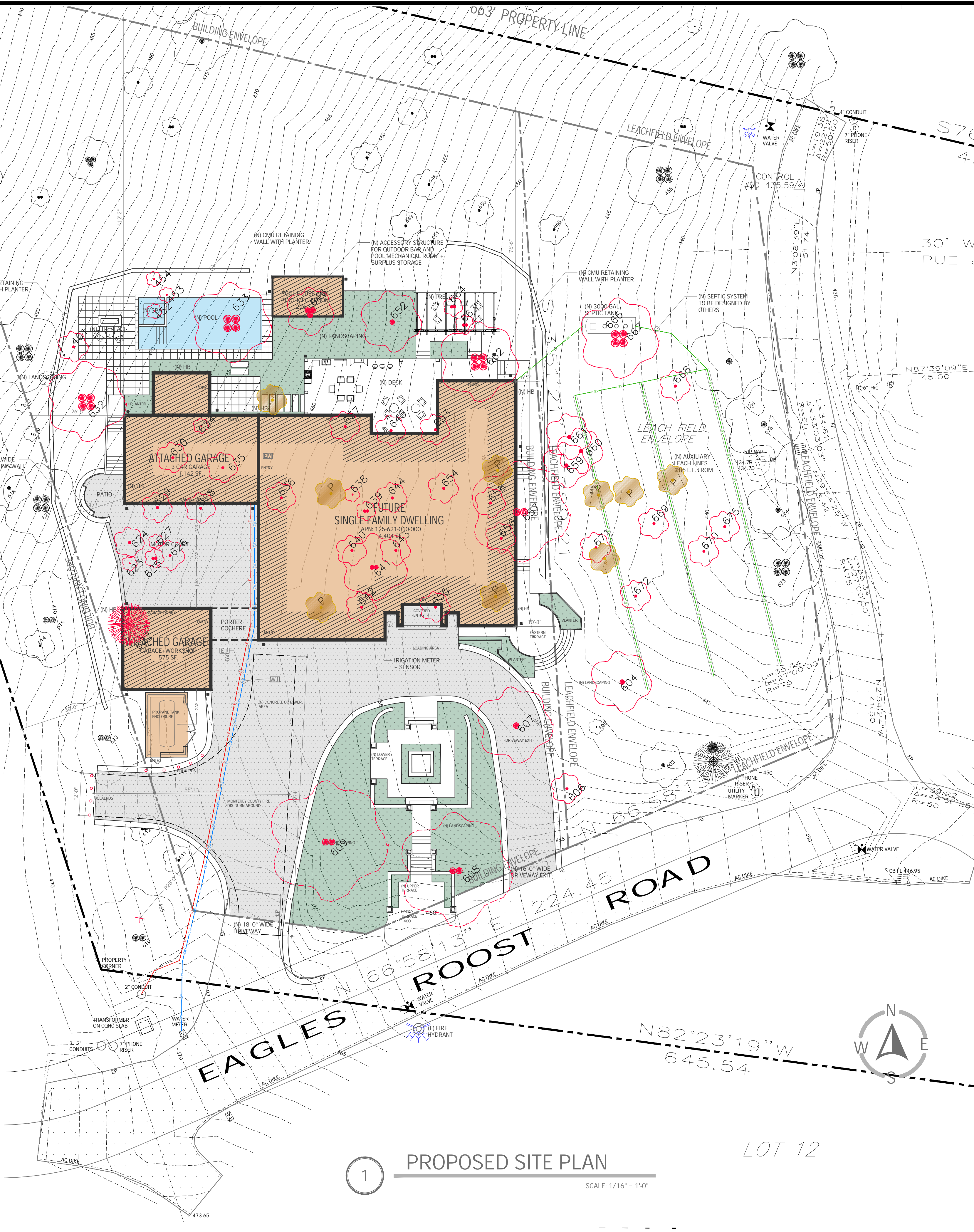
DISCLAIMER: PROPOSED SITE PLAN SHOWS PROPOSED FUTURE SINGLE FAMILY DWELLING DEVELOPMENT AS THE PURPOSE FOR TREE REMOVAL PER USE PERMIT. OWNER ACKNOWLEDGES A SEPARATE GRADING PERMIT AND BUILDING PERMIT ARE TO BE FURNISHED AT A LATER DATE.

ADDITIONAL NOTES

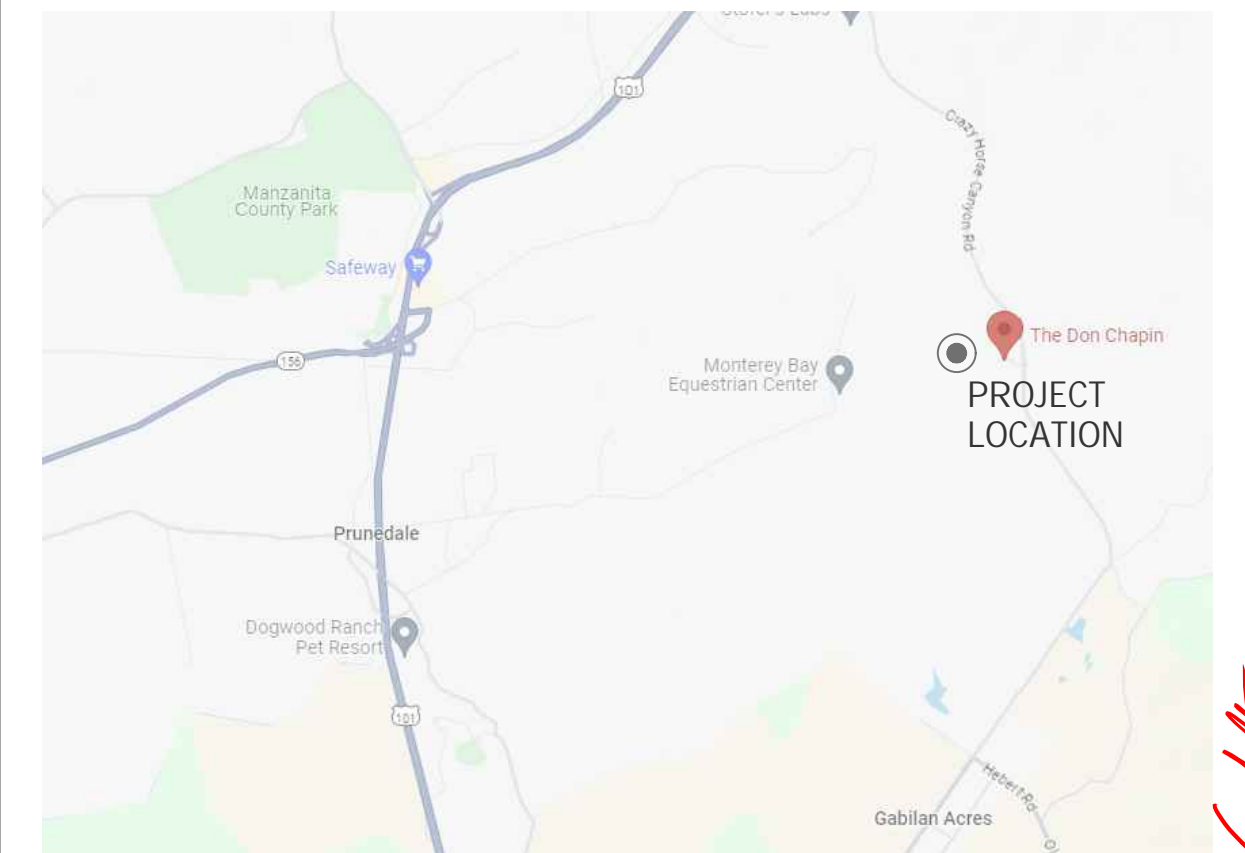
APN#:	125-621-010-000
ZONING	RDR/5.01
EROSION HAZARD	HIGH
LAND USE CODE	3A
LOT AREA	212,572.8 SF. (4.88 ACRES)
LIQUEFACTION SUSCEPTIBILITY	LOW
FIRE HAZARD SEVERITY	HIGH
LANDSLIDE SUSCEPTIBILITY	LOW/ MODERATE
ADVISORY COMMITTEE	N.C.A.C.
PROPOSED NUMBER OF STORIES	2
AHJ	MONTEREY COUNTY
PROPOSED LOT COVERAGE	14,057 SF (.0661%)
FIRE PROTECTION DISTRICT	NORTH COUNTY FPD
PROPOSED IMPERVIOUS AREA	16,173 SF
TOTAL PROPOSED PERVIOUS AREA	5,818.4 SF
PROPOSED DRIVEWAY AREA	5,931.8 SF
PROPOSED LANDSCAPING	3,321.6 SF
PROPOSED POOL AREA	503 SF
ACCESSORY STRUCTURE TOTAL AREA	476 SF
LINEAR FT OF RETAINING WALLS	± 287 LF
PROPOSED FIRE TURNAROUND	1,800 SF + r28'
PROPOSED CUT	1161 cu. yds.
PROPOSED FILL	523 cu. yds.
UNIFORM LOT SETBACKS	30'-0" NORTH, EAST 20'-0" SOUTH

LEGEND

(N) LANDSCAPING	PROPERTY LINE
(E) LANDSCAPING	FENCE LINE
FUTURE DEVELOPMENT	LEACH FIELD ENVELOPE
DRIVEWAY/ PAVERS	SEPTIC SEWER LINE
PROPOSED WATER LINE	WATER FLOW DIRECTION
EXISTING WATER LINE	ELECTRICAL SERVICE PANEL
PROPOSED ELECTRICAL LINE	PROPOSED WATER METER
PROPOSED DOWNSPOUTS	EXISTING WATER METER
	EXISTING GAS METER



VICINITY MAP



PROPOSED LOCATIONS

PROPOSED LOCATIONS FOR PROJECT SCOPE ARE LIMITED. THE PROPOSED SITE PLAN SHOWS IDEAL LOCATION FOR ALL BUILDING ELEMENTS WITHOUT CONFLICT.

MOVING NORTH INCREASES SLOPE AND TREE REMOVAL, SHIFTING RIGHT IMPACTS THE LEACH FIELD, MOVING LEFT VIOLATES SETBACKS, AND SHIFTING SOUTH CONFLICTS WITH BUILDING ENVELOPE LIMITS AND FIRE TRUCK ACCESS

PROJECT DATA:

TOTAL PROPOSED FOOTPRINT	5,546 SF
PROPOSED HEIGHT	28'-0" MAX
PROPOSED ROOF SLOPE	4:12
PROPOSED FOUNDATION TYPE	SLAB
PROPOSED ROOF TYPE	HIP/SHED
PROPOSED GARAGE SF	1,717 SF
PROPOSED DECK AREA	805 SF
DECK FOUNDATION	PIER & BEAM

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM WITH FOLLOWING:

2022 California Residential Code	2022 California Plumbing Code
2022 California Electrical Code	2022 California Fire Code
2022 California Energy Code	2022 California Title 24
2022 California Energy Efficiency Standards	2022 California Green Code.
2022 California Mechanical Code	

GENERAL NOTES

- WORKMANSHIP: WHERE NOT SPECIFICALLY DESCRIBED IN ANY OF THE DRAWINGS AND OR SPECIFICATIONS, WORKMANSHIP SHALL CONFORM TO ALL METHODS AND OPERATIONS OF THE BEST STANDARDS AND ACCEPTED PRACTICES OF THE TRADES INVOLVED. THE CONTRACTOR SHALL VERIFY ALL WORK, DIMENSIONS AND DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING ANY WORK.
- CLEAN-UP: THE ENTIRE PREMISES SHALL BE MAINTAINED REASONABLY NEAT. CLEAN AND HAZARD FREE DURING THE COURSE OF CONSTRUCTION. ALL TRADES SHALL REMOVE TOOLS, RUBBISH, AND UNUSED MATERIALS AS SOON AS THEIR RESPECTIVE WORK IS COMPLETE, LEAVING ALL AREAS IN BROOM CLEAN CONDITION. THE TRASH SHALL BE REMOVED DAILY AND NOT BE ALLOWED TO ACCUMULATE.
- LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE AND THE CONTRACTOR SHALL CONTACT THE OWNER IF UNKNOWN CONDITIONS ARISE.
- THE CONTRACTOR SHALL PROVIDE ANY OR ALL SHORING AND BRACING TO THE STABILITY OF ANY OF THE PARTS OF THE PROJECT DURING CONSTRUCTION TO ASSURE SAFETY.
- MATERIAL: UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW AND DELIVERED TO THE JOB IN THE MANUFACTURE'S ORIGINAL PACKAGE, AND CONTAINERS OR BUNDLES, BEARING THE FULL IDENTIFICATION. REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE BY THE CONTRACTOR.
- PROTECTION: ALL FINISH MATERIALS SHALL BE PROTECTED AT ALL TIMES, AGAINST SUBSEQUENT DAMAGE UNTIL FINAL ACCEPTANCE BY THE OWNER.
- SITE GRADES: THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY SITE GRADE ELEVATIONS TO ENSURE PROPER SITE DRAINAGE. SITE SHALL BE FINE GRADED TO DIRECT WATER AWAY FROM BUILDING OR FOUNDATIONS.
- DIMENSIONS: DO NOT SCALE PLANS, VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.408.1

REVISIONS / DATE / BY / DESCRIPTION

FLOOR PLAN

DESIGN CO.

PROPOSED SITEPLAN

USE PERMIT FOR:

SAHI RESIDENCE

CLIENT: NAMEET SINGH SAHI

8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE

11-26-24

SCALE

AS SHOWN

DRAWN

RC

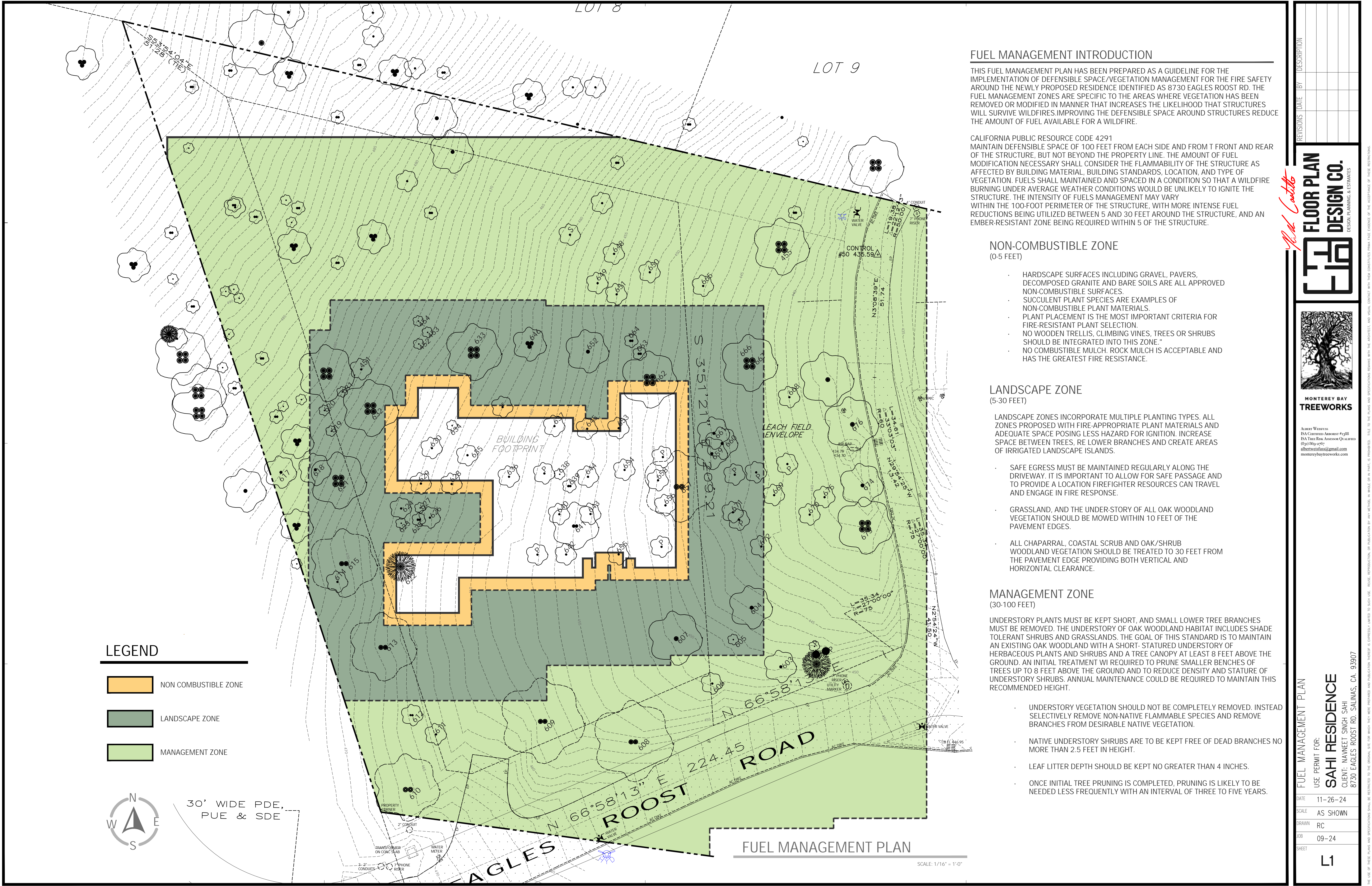
JOB

09-24

SHEET

A13

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. FILE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES A MAJOR FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



FUEL MANAGEMENT INTRODUCTION

THIS FUEL MANAGEMENT PLAN HAS BEEN PREPARED AS A GUIDELINE FOR THE IMPLEMENTATION OF DEFENSIBLE SPACE/VEGETATION MANAGEMENT FOR THE FIRE SAFETY AROUND THE NEWLY PROPOSED RESIDENCE IDENTIFIED AS 8730 EAGLES ROOST RD. THE FUEL MANAGEMENT ZONES ARE SPECIFIC TO THE AREAS WHERE VEGETATION HAS BEEN REMOVED OR MODIFIED IN MANNER THAT INCREASES THE LIKELIHOOD THAT STRUCTURES WILL SURVIVE WILDFIRES.IMPROVING THE DEFENSIBLE SPACE AROUND STRUCTURES REDUCE THE AMOUNT OF FUEL AVAILABLE FOR A WILDFIRE.

CALIFORNIA PUBLIC RESOURCE CODE 4291 MAINTAIN DEFENSIBLE SPACE OF 100 FEET FROM EACH SIDE AND FROM T FRONT AND REAR OF THE STRUCTURE, BUT NOT BEYOND THE PROPERTY LINE. THE AMOUNT OF FUEL MODIFICATION NECESSARY SHALL CONSIDER THE FLAMMABILITY OF THE STRUCTURE AS AFFECTED BY BUILDING MATERIAL, BUILDING STANDARDS, LOCATION, AND TYPE OF VEGETATION. FUELS SHALL MAINTAINED AND SPACED IN A CONDITION SO THAT A WILDFIRE BURNING UNDER AVERAGE WEATHER CONDITIONS WOULD BE UNLIKELY TO IGNITE THE STRUCTURE. THE INTENSITY OF FUELS MANAGEMENT MAY VARY WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE, WITH MORE INTENSE FUEL REDUCTIONS BEING UTILIZED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE, AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 OF THE STRUCTURE.

NON-COMBUSTIBLE ZONE (0-5 FEET)

- HARDSCAPE SURFACES INCLUDING GRAVEL, PAVERS, DECOMPOSED GRANITE AND BARE SOILS ARE ALL APPROVED NON-COMBUSTIBLE SURFACES.
- SUCCULENT PLANT SPECIES ARE EXAMPLES OF NON-COMBUSTIBLE PLANT MATERIALS.
- PLANT PLACEMENT IS THE MOST IMPORTANT CRITERIA FOR FIRE-RESISTANT PLANT SELECTION.
- NO WOODEN TRELLIS, CLIMBING VINES, TREES OR SHRUBS SHOULD BE INTEGRATED INTO THIS ZONE."
- NO COMBUSTIBLE MULCH. ROCK MULCH IS ACCEPTABLE AND HAS THE GREATEST FIRE RESISTANCE.

LANDSCAPE ZONE (5-30 FEET)

LANDSCAPE ZONES INCORPORATE MULTIPLE PLANTING TYPES. ALL ZONES PROPOSED WITH FIRE-APPROPRIATE PLANT MATERIALS AND ADEQUATE SPACE POSING LESS HAZARD FOR IGNITION. INCREASE SPACE BETWEEN TREES, RE LOWER BRANCHES AND CREATE AREAS OF IRRIGATED LANDSCAPE ISLANDS.

- SAFE EGRESS MUST BE MAINTAINED REGULARLY ALONG THE DRIVEWAY. IT IS IMPORTANT TO ALLOW FOR SAFE PASSAGE AND TO PROVIDE A LOCATION FIREFIGHTER RESOURCES CAN TRAVEL AND ENGAGE IN FIRE RESPONSE.
- GRASSLAND, AND THE UNDER-STORY OF ALL OAK WOODLAND VEGETATION SHOULD BE MOWED WITHIN 10 FEET OF THE PAVEMENT EDGES.
- ALL CHAPARRAL, COASTAL SCRUB AND OAK/SHRUB WOODLAND VEGETATION SHOULD BE TREATED TO 30 FEET FROM THE PAVEMENT EDGE PROVIDING BOTH VERTICAL AND HORIZONTAL CLEARANCE.

MANAGEMENT ZONE (30-100 FEET)

UNDERSTORY PLANTS MUST BE KEPT SHORT, AND SMALL LOWER TREE BRANCHES MUST BE REMOVED. THE UNDERSTORY OF OAK WOODLAND HABITAT INCLUDES SHADE TOLERANT SHRUBS AND GRASSLANDS. THE GOAL OF THIS STANDARD IS TO MAINTAIN AN EXISTING OAK WOODLAND WITH A SHORT- STATURED UNDERSTORY OF HERBACEOUS PLANTS AND SHRUBS AND A TREE CANOPY AT LEAST 8 FEET ABOVE THE GROUND. AN INITIAL TREATMENT WI REQUIRED TO PRUNE SMALLER BENCHES OF TREES UP TO 8 FEET ABOVE THE GROUND AND TO REDUCE DENSITY AND STATURE OF UNDERSTORY SHRUBS. ANNUAL MAINTENANCE COULD BE REQUIRED TO MAINTAIN THIS RECOMMENDED HEIGHT.

- UNDERSTORY VEGETATION SHOULD NOT BE COMPLETELY REMOVED. INSTEAD SELECTIVELY REMOVE NON-NATIVE FLAMMABLE SPECIES AND REMOVE BRANCHES FROM DESIRABLE NATIVE VEGETATION.
- NATIVE UNDERSTORY SHRUBS ARE TO BE KEPT FREE OF DEAD BRANCHES NO MORE THAN 2.5 FEET IN HEIGHT.
- LEAF LITTER DEPTH SHOULD BE KEPT NO GREATER THAN 4 INCHES.
- ONCE INITIAL TREE PRUNING IS COMPLETED, PRUNING IS LIKELY TO BE NEEDED LESS FREQUENTLY WITH AN INTERVAL OF THREE TO FIVE YEARS.

REVISIONS

DATE	BY	DESCRIPTION

FLOOR PLAN
DESIGN CO.
DESIGN, PLANNING & ESTIMATES

MONTEREY BAY
TREEWORX

Alumni: WARDEN
ISA Certified Arborist #1388
ISA Tree Risk Assessor Qualified
40yr 50yr exp
albert@treeworks.com
montereybaytreeworks.com

FUEL MANAGEMENT PLAN

USE PERMIT FOR:

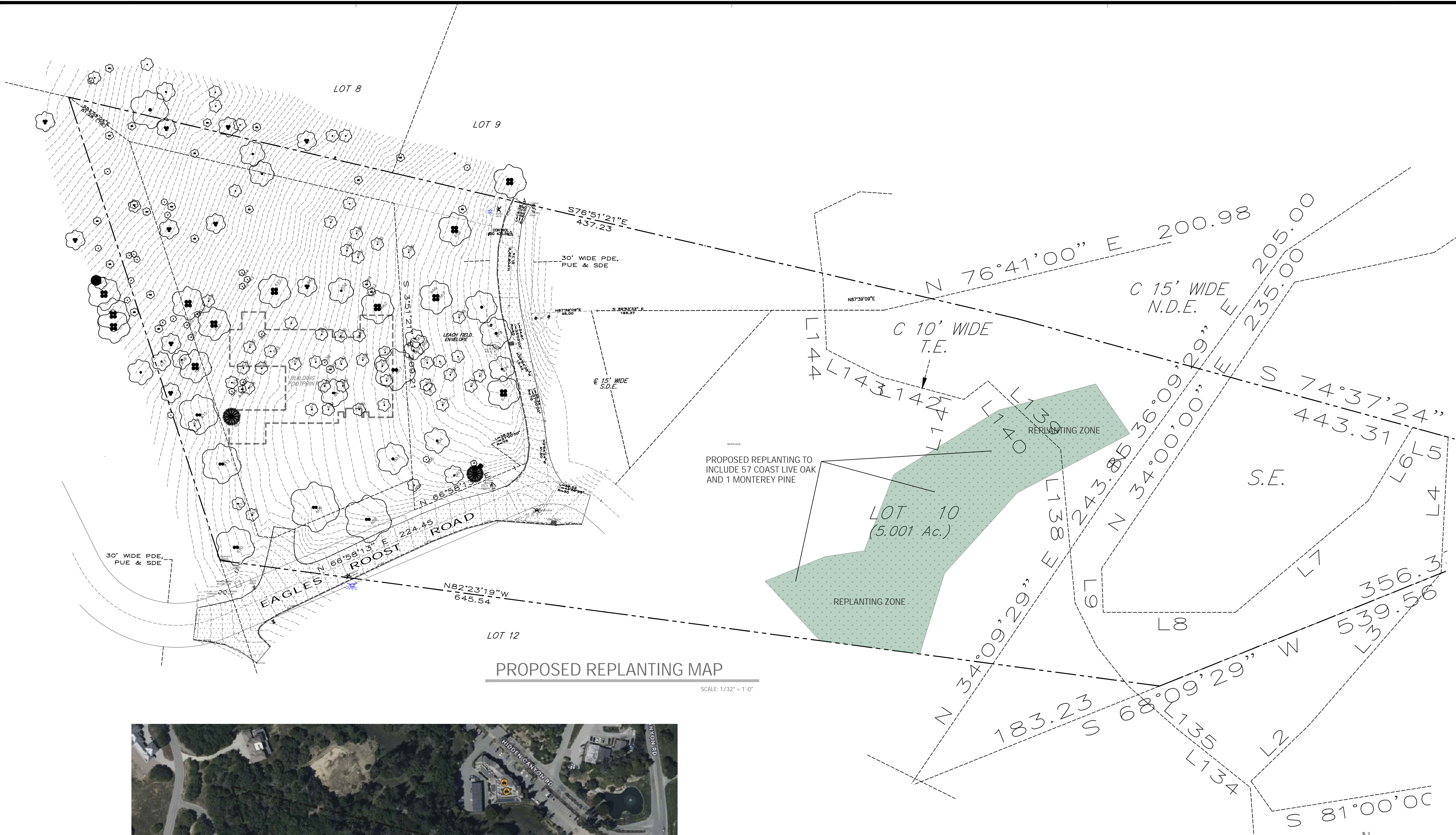
SAHI RESIDENCE

CLIENT: NAVNEET SINGH SAHI

8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE	11-26-24
SCALE	AS SHOWN
DRAWN	RC
JOB	09-24
SHEET	L1

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES MINOR FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PROPOSED REPLANTING MAP
SCALE: 1/32" = 1'-0"



SATELLITE KEY MAP
NTS

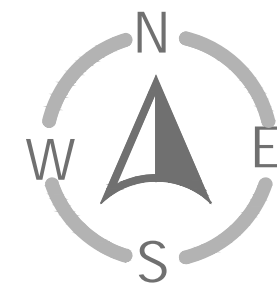
REPLANTING NOTES

THE REPLANTING RULES AIM TO MAINTAIN OR RESTORE FOREST COVER FOLLOWING TREE REMOVAL FOR DEVELOPMENT, ENSURING ECOSYSTEM CONTINUITY. THE PRESENCE OF QUERCUS AGRIFOLIA (COAST LIVE OAK) AT A NEARBY SIMILAR SITE SUGGESTS THAT THE PROPOSED SITE AND SOIL CONDITIONS ARE FAVORABLE FOR SUPPORTING NEW TREE GROWTH. REPLANTING IN THIS AREA WILL ENHANCE HABITAT SIZE AND CONNECTIVITY FOR LOCAL WILDLIFE, ALLOWING FOR HEALTHY DEVELOPMENT OF ALL TREES AND FURTHER PROMOTING BIO-DIVERSITY.

LEGEND

----- PROPOSED BUILDING ENVELOPE

PROPOSED REPLANTING SITES



REVISIONS	DATE	BY	DESCRIPTION

John C. Cottle

FLOOR PLAN

DESIGN CO.

DESIGN, PLANNING & ESTIMATES

PROPOSED REPLANTING MAP

USE PERMIT FOR:

SAHI RESIDENCE

CLIENT: NAMEET SINGH SAHI

8730 EAGLES ROOST RD. SALINAS, CA. 93907

DATE	11-26-24
SCALE	AS SHOWN
DRAWN	RC
JOB	09-24
SHEET	L2

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES A MAJOR VIOLATION OF THESE RESTRICTIONS.