

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Housing and Community Development Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

**CAMPBELL NASON & NICOLE (PLN250015)
RESOLUTION NO. 25-050**

Resolution by the Monterey County HCD Chief of Planning:

- 1) Finding that the project is Categorically Exempt pursuant to CEQA Guidelines section 15303, and there are no exceptions pursuant to Guidelines section 15300.2; and
- 2) Approving an Administrative Permit and Design Approval to allow demolition of an existing single-story residence, barn, and detached garage; and construction of a 4,601 square foot single-story residence with an attached 1,342 square foot garage room, a 2,400 square foot detached barn, and associated site improvements, to clear Code Enforcement Case No. 24CE00399.

[PLN250015 Nason & Nicole Campbell, 451 Corral De Tierra, Salinas, Toro Area Plan (APN: 416-401-003-000)]

The CAMPBELL NASON & NICOLE application (PLN250015) came on for an administrative decision hearing before the Monterey County HCD Chief of Planning on October 1, 2025. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the Monterey County HCD Chief of Planning finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan (General Plan);
 - Toro Area Plan (TAP); and
 - Monterey County Zoning Ordinance (Title 21).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) Allowed Use. The property is located at 451 Corral De Tierra in Salinas, located in the Toro Area Plan (APN: 416-401-003-000). The parcel is

zoned Resource Conservation with a maximum Density of one unit for per 10 acres and a Visual Sensitivity overlay or “RC/10-VS”, which allows a single-family dwelling and non-habitable accessory structures uses to any permitted use as principally allowed uses. However, Title 21 section 21.46.030.D.2, requires the granting of an Administrative Permit for development within the VS districts that do not have the potential to create a substantial adverse visual impact when view from a common public viewing area. As further described in evidence “h” below, the proposed development would not have the potential to create a substantial visual impact when viewed from a common public viewing area. Additionally, pursuant to Title 21 Chapter 21.44, the development in the underlying zoning district is also subject to a Design Approval. This project includes the demolition of the existing single-family dwelling, barn, and detached garage, for the construction of a 4,601 square foot one-story single-family dwelling, a 1,342 square foot attached garage, a 2,400 square foot barn and associated site improvements consisting of: 1,509 square feet of entry, patio, and terrace, and a septic tank system.

- c) Lot Legality. The parcel (Assessor’s Parcel Number 416-401-003-000) is shown in its current configuration as 42.02 acres and is identified as Parcel “A” in Volume 10, Page 90 of a Record of Survey map. Therefore, the County recognizes the subject property as a legal lot of record.
- d) Design/Neighborhood and Community Character. Subject properties within a VS zoning district overlay are also subject to design standards outlined in Title 21, Chapter 21.44, which is intended to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. The topography of the subject property slopes down towards Corral de Tierra Road but as discussed in evidence “e” and “h” below, the development is properly sited and is within the least visible portion of the property. The development blends in with the surrounding residential neighborhood and the natural colors and materials that exist in this community. A standard condition of approval (Condition No. 5) is included to ensure that all exterior lighting is down-lit, unobtrusive, and harmonious with the areas, in accordance with General Plan Policy LU- 1.13. The project, as designed and sited, assures protection of the public viewshed, is consistent with the neighborhood character, and assures visual integrity. Therefore, the proposed development is consistent with the neighborhood and community character.
- e) Development Standards. Title 21 section 21.36.060 establishes the site development standards applicable to structures with the RC zoning district. Pursuant to Title 21 section 21.36.060.C, the main structure shall have setbacks of a minimum of a 30-foot front setback, a 20-foot side and rear setback, and a maximum height of 30 feet. The property is subject to a 100-foot building setback pursuant to Toro Area Plan policy T-3.3, as it is located adjacent to a designated scenic route (Corral De Tierra), shown on Toro Scenic Highway Corridors and Visual Sensitivity Map (Figure 16). The accessory structure (barn) is subject to a 50-foot front setback, 20-foot side and rear setback, and 20-foot

setback from the single-family dwelling. The single-family dwelling, attached garage, and detached barn maintains over 100-feet for the front, side, and back setbacks and has a height of 19 feet. The parcel is subject to a building site coverage of 25 percent or 440,936 square feet, the project lot coverage will be 0.5 percent or 9,852 square feet. Therefore, the property complies with the required site development standards based on the applicable RC zoning district.

- f) Cultural Resources. The Monterey County Geographic Information System (GIS) records identified the property to be within a high archaeological sensitivity area. Pursuant to Title 21 section 21.66.050.C, Phase I archaeological report is required for parcels mapped as high sensitivity on the Monterey County GIS records. The results of the Phase I survey were negative as no precolonial cultural activity or historical activity were observed. These results are consistent with a previous Phase I report conducted in 1988, that concluded negative study results. The Phase I assessment of the subject parcel indicate the proposed project would have no effect on cultural resources resulting in no adverse impacts to the environment. Pursuant to Title 21 section 21.66.050.G and the recommendations from the archaeologist, construction must stop if archaeological resources are discovered and the archaeologist must be contacted. This is reflected in Condition No.3 of the Recommended Conditions of Approval.
- g) Violations. As demonstrated in Finding 4, the development contains a violation under 24CE00399. The project as described herein will abate the violation.
- h) Visual Sensitivity. The project site and surrounding area are designated as a Visually Sensitive “VS” zoning district, which is intended to regulate development that could potentially create adverse visual impacts when viewed from a common public viewing area such as Corral De Tierra, Laureles Grade, San Benancio Road, Highway 68 or shopping centers along Highway 68. The subject property fronts along Corral De Tierra; however, due to the topography and siting of the development, it does not create a substantially adverse visual impact. The project is designed and sited with colors and materials subordinate to the surrounding area (see evidence “d” and “e” above). Toro Area Plan Policy T-3.1 indicates that new development within “visually sensitive” on the Toro Scenic Highway Corridors and Visual Sensitivity Map (Figure 16) may be permitted if it is sited to enhance the area’s scenic value. Policy T-3.1 continues to state that the architectural design of new development shall be consistent with the rural nature of the Toro Area, encouraging soft whites, greens, and browns. The proposed exterior colors and materials for the single-family dwelling and attached garage will consist of a black shingle roof, country cottage stone, cloud white paint, a soft black paint trim, and pane wood windows. The development cannot be seen from other viewpoints such as Laureles Grade, San Benancio Road, Highway 68 or shopping centers along Highway 68. Title 21 section 21.46.030.D.2 allows such development with the granting of an Administrative Permit provided the development is designed and constructed to minimize tree removal, grading, and visibility from common public viewing from common public viewing

areas. The development is sited in the least visible portion of the property, does not include any tree removal, includes minimal grading for site improvements, and cannot be seen from Corral De Tierra, Laureles Grade, San Benancio Road, Highway 68 or shopping centers along Highway 68. Therefore, the project complies with policies and regulations for development within a VS district,

- i) Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB250215), this site is suitable for the residential use this project proposes, there are no geological or seismic hazards that would preclude this property from being developed, and the proposed development is adequately setback from the known fault trace. See Finding 2, evidence “c”.
- j) Land Use Advisory Committee. The project does not involve a public hearing Design Approval, a Lot Line Adjustment in the Coastal Zone, preparation of an Initial Study, or a Variance. Therefore, the project was not referred to the North County Land Use Advisory Committee (LUAC) for review as outlined in the LUAC Guidelines contained in Board Order RES 15-043 Exhibit A.
- k) The project planner conducted a virtual site inspection to verify that the project on the subject parcel conforms to the plans listed above.
- l) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250015.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and North County Fire Protection District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following reports have been prepared:
 - “Phase I Archaeological Assessment in Support of the 451 Corral De Tierra Road Project” (LIB250060) prepared by Susan Morley, Marina, CA on January 1, 2025.
 - “Phase I Historic Assessment for 451 Corral De Tierra Rd.” (LIB250061) prepared by Seth Bergstein, Pacific Grove, CA on March 3, 2025.
 - “Geotechnical and Geological Hazards Report for the proposed Campbell Residential Estate” (LIB250215) prepared by Grice Engineering, Salinas, CA on February 1, 2025.

County staff independently reviewed this report and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All development shall be in accordance with these reports.

- c) Geological Hazards. According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to General Plan Policy S-1.7 and Title 21 section 21.66.040.C, a Geological Hazards Assessment and Geotechnical Report were prepared to address the property's known geological hazards. Per the geologist's research, site reconnaissance, review of previous subsurface data, there was no evidence indicative of active faults at or immediately adjacent to the building envelope areas. The nearest active fault is the Monterey Bay-Tularcitos fault which is approximately 3.7 miles southwest of the subject property. However, the property is located 551 feet northeast of the presumed location of a concealed portion of the Corral De Tierra Fault. This fault trace runs through the northeast and southeast portions of the subject property. The site inspection performed by the geologist did not reveal any surface features indicating a fault rupture has occurred at the site. The existing structures, driveways and roads do not reveal any strains. Policy S-1.8 of the 2010 General Plan requires that new development only be approved if it can be demonstrated that the site is physically suitable and the development will neither create nor significantly contribute to geologic instability or geologic hazards. According to the prepared Geologic Hazards Assessment (County of Monterey Library No. LIB250215), this site is suitable for the residential use this project proposes, and there are no geological or seismic hazards that would preclude this property from being developed. All recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16 section 16.08.110.D.
- d) Staff conducted a virtual site inspection on to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250015.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Sewer service will be provided by the installation of an Onsite Wastewater Treatment System. The existing single-family dwelling is served by a public water system (LPA ID: 270-0535 – Jost Post WA) and the well is located on the property. The reconstructed single-family

dwelling will continue to be served by the same public water system. No new connections proposed.

- c) Staff conducted a virtual site inspection to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250015.

4. **FINDING:** **VIOLATIONS** – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. Issuance of this permit will partially abate the existing code violation.
- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and is aware of a violation existing on subject property. Code Enforcement Case No. 24CE00399 cites the property for unpermitted construction and grading; new entry deck and roofing, complete remodel of single-family dwelling, garage remodel, replacement of furnace, water heater, and air conditioner. HCD-Building Services File No. 25CP01324 was issued to abate this violation that will permit the demolition of an existing 1,427 square foot single family dwelling, 284 square foot barn, and a 644 square foot detached garage. The construction and rebuild of the new 4,601 square foot single-family dwelling, 1,342 square foot garage, 1,509 square foot covered entry and rear terrace, new concrete pad for a future detached barn, and other site improvements will all be under a separate building permit. HCD-Building Services File No. 25CP01324 will partially clear 24CE00399 for after the fact grading in the amount of 380 cut and 545 fill. The interior of the residence was demolished and rebuilt without obtaining the necessary discretionary and ministerial permits. Issuance of this Administrative Permit and Design Approval allows for after-the-fact construction of the replacement single-family dwelling. Upon issuance and final inspection of a construction permit, this property will come into compliance with applicable Monterey County Code.
 - b) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250015.
5. **FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of a s single family dwelling and accessory structures.
 - b) Although there is an existing single-family dwelling, detached garage, and barn, the proposed construction is sited and constructed in a new location further towards the back of the property. Therefore, the project is classified as new construction qualifying it as exempt under Section 15303.

- c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, a hazardous waste site, unusual circumstances that would result in a significant effect, or development that would result in a cumulative significant impact. The project site does not contain environmentally sensitive habitat. Additionally, no scenic resources, such as trees, rock outcroppings, and historical buildings, within the scenic highway will be impacted by the proposed project. As demonstrated in Finding 2, evidence “c”, the site is physically suitable, and the development will neither create nor significantly contribute to geologic instability or geologic hazards. There is no substantial evidence that would support a fair argument that the project has a reasonable possibility of having a significant effect on the environment or that it would result in a cumulative significant impact.
- d) No adverse environmental effects were identified during staff review of the development application.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning found in Project File PLN250015.

- 6. FINDING:** **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Board of Supervisors. Pursuant to Title 20, Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) Coastal Commission. This project is not appealable through the Coastal Commission as it is not fit the coastal permit descriptions described in 20.86.080.A.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the HCD Chief of Planning does hereby:

1. Find the additions to an existing structure qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15302;
2. Approve the Administrative Permit and Design Approval to clear Code Enforcement violation (24CE00399) to allow the demolition of a single-story residence, barn and detached garage; and construction of a 4,601 square foot single story residence with an attached 1,342 square foot garage/mechanical room, 2,400 square foot detached barn, new 1,462 square foot covered entry & rear terrace and new septic system.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st of October 2025.

Fionna Jensen, AICP
HCD Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.
This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250015

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Administrative Permit and Design Approval (PLN250015) allows the demolition of an existing single-story residence, barn, and detached garage; and construction of a 4,601 square foot single-story residence with an attached 1,342 square foot garage room, a 2,400 square foot detached barn, and associated site improvements, to clear Code Enforcement Case No. 24CE00399. The property is located at 451 Corral De Tierra (Assessor's Parcel Number 416-401-003-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 416-401-003-000 on October 1, 2025. The permit was granted subject to 5 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to HCD-Planning and HCD-Engineering Services for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project.
CMP shall include, at a minimum, duration of the construction, hours of operation, truck routes, estimated number of truck trips that will be generated, number of construction workers, and on-site/off-site parking areas for equipment and workers and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit, Owner/Applicant/Contractor shall prepare a CMP and shall submit the CMP to the HCD-Planning and HCD- Engineering Services for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

5. PD014(B) - LIGHTING-EXTERIOR LIGHTING PLAN (VS & RIDGELINE)

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lighting shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit three (3) copies of exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, staff shall conduct a site visit to ensure that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

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THE CAMPBELL RESIDENCE

451 CORRAL DE TIERRA

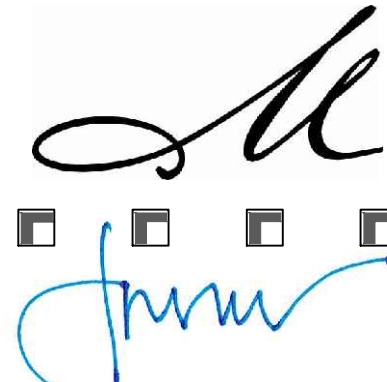
SALINAS, CA

PROJECT NAME:

CAMPBELL
RESIDENCE

451 CORRAL DE TIERRA
SALINAS, CA.
93908

APN: 416-401-003
JOB NUMBER: 2417



MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY, CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025

PRINT DATE: 3/10/2025

MEMBER
A I
B D
AMERICAN INSTITUTE of
BUILDING DESIGN

(1) 10' ACACIA TREE

GENTLY SLOPING

CUT 380 C.Y., FILL 545 C.Y.

40.49 ACRES / 1,763,744 SF

25% = 440,936 SF

2,357 SF (TO BE REMOVED)

4,601 SF

1,342 SF

2,400 SF

1,509 SF

9,852 SF

-2,357 SF

4,601 SF

4,601 SF (CONDITIONED)

93 SF

12,049 SF

2,400 SF

3,742 SF (UNCONDITIONED)

WATERPROOF

WITH

WITHOUT

WALK IN CLOSET

All ideas, designs, arrangements and plans indicated by this drawing are owned by, and the property of MOORE DESIGN Inc. The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. No use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with MOORE DESIGN Inc., and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET /
PROJECT INFO

SHEET NUMBER:

A0.1

GENERAL BUILDING NOTES

- All dimensions are to the face of stud or c.m.u. unless otherwise noted.
- Contractor is to verify all dimensions and notify the designer of any discrepancies before proceeding.
- All projects with waterproof decks will require periodic maintenance, owner shall be responsible to seal, caulk, or otherwise maintain or replace sealant as recommended by manufacturer of waterproofing surface.

FIRE PROTECTION NOTES:

- Provide fireblocking at 10' intervals in the wall both horizontally and vertically per (CRC R302.11).
- The openings around gas vents, ducts, pipes, chimneys, and fireplaces at the ceiling and floor levels shall be fireblocked with noncombustible materials. (CRC R 302.11.4).
- Fireblocking is required at the opening between the attic space and the chimney chase for the factory-built chimneys. (CRC R1003.19).
- If a fire alarm system is integrated into a security system, the fire alarm system drawings must be submitted to the local fire jurisdiction for approval prior to installation.
- The State of California requires **smoke and carbon monoxide alarms** to be installed in all residential buildings. (California residential code) sections R314.3.2 and R314.3.3 require a 10-year lifespan for smoke alarms/detectors; units that are older than 10-years need to be replaced; battery type units must have a 10-year battery life. smoke, carbon monoxide or multiple-purpose alarms (carbon monoxide and smoke alarms) must be approved and listed by the state fire marshal. The devices must be installed per the manufacturer's instructions. **In new construction** each smoke detector shall be installed per manufacturer's instructions with house wiring as the primary power source with battery back-up; **In remodels** each smoke detector may be powered by battery only. smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located.

ALARM LOCATION REQUIREMENTS

SMOKE ALARMS MUST BE INSTALLED:

- In each room used for sleeping purposes
- In each hallway outside of the sleeping room(s)
- On each level of the dwelling, including basements

CARBON MONOXIDE ALARMS MUST BE INSTALLED:

- Outside of each sleeping room in the immediate vicinity of the bedroom(s)
- On each level of the dwelling, including basements

PLUMBING & BATHROOM NOTES:

- Contractor is to verify that the project when completed shall comply with the water permit issued by the governing jurisdiction.
- Accessible under floor areas shall be provided with an 18"x24" min. access within 20' of all plumbing cleanouts (CBC 1209.1 & CPC 707.10).
- Shower heads with a flow rate shall not exceed 1.8 gallons per minute @ 80 p.s.i. Control valves and showerheads shall be located on the sidewalk of shower compartments or otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment so that the bather can adjust the valves prior to stepping into the shower spray. (CPC 408.9)
- (E) Toilets with a flow rate that exceeds 1.6 gpf need to be upgraded (or any new toilet) with a max. flow of 1.28 gpf.
- (E) Lavatory faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.2 gallon-per-minute.
- (E) Kitchen faucets with a flow rate that exceeds 2.2 gpm need to be upgraded (or any new faucet) with a max. flow rate at no more than 1.8 gpm.
- Water pressure in the building shall be limited to 50 p.s.i. or less.
- Provide pressure absorbing devices, either an air chamber or approved mechanical devices that will absorb high pressure resulting from the quick closing of quick-acting valves. (CPC 609.10)
- All shower compartments, regardless of shape, shall have a minimum interior floor area of 1,024 sq. in., and also capable of encompassing 30" diameter circle (CPC 411.7)
- Provide 30" width clear in the toilet compartment and 24" clear in front of the bowl to the wall (CPC 407.5).
- Provide non-removable backflow prevention devices on all exterior hose bibs.
- Maximum hot water temperature discharging from bathtubs & showers shall be limited to 120°F.(CPC 414.5 & 418.0)
- SHOWER AND TUB**-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve controls type and installed in a 2x6 stud wall.(CPC 418.0)
- IN NEW CONSTRUCTION** - all hot water fixtures that have more than 10' of pipe from the fixture to the hot water heater serving the fixture shall be equipped with a hot water recirculating system.
- Plumbing lines utilized as grounds are prohibited.
- VENTING FOR ISLAND FIXTURES** shall be designed per CPC 909.0. Traps for island sinks and similar equipment shall be roughed in above the floor and may be vented by extending the vent as high as possible, but not less than the drain board height. The vent is then returned downward and connected to the horizontal sink drain immediately downstream from the vertical fixture drain. The return vent shall be connected to the horizontal drain through a y-branch fitting, and shall in addition be provided with a foot vent taken off the vertical fixture vent by means of a y-branch fitting immediately, below the floor. This foot vent extends to the nearest partition and thence through the roof to the open air, or may be connected to other vents at a point not less than (6) inches above the flood level rim of the fixture served.

JACUZZI/WHIRLPOOL TUBS:

- Provide min. 12"x12" removable access panel or utility space without obstruction so as to make concealed slip-joint connections accessible for inspection and repair (CPC 404.2).
- The circulation pump shall be located above the crown weir of the trap.
- The pump and circulation piping shall be self draining to minimize water retention in accordance with standards referenced in CPC TABLE 14-1.
- Suction fittings on the whirlpool baths shall comply with the listed standards (CPC 414.4).

MECHANICAL NOTES:

- FURNACE OR WATER HEATERS** located in the crawl space or attic shall have a min 30"x30" access opening located within 20' of the equipment and a min 24" wide continuous solid walkway from access to unit (CMC 904.11). Where an under-floor furnace is supported from above, a minimum 6" clearance shall be provided from finished grade (CMC 904.3.1.2)
- Minimum 30"x30" unobstructed level working space in front of F.A.U. (CMC 904.11)
- A permanent 120-volt receptacle outlet and a lighting fixture shall be installed near the appliance; the switch controlling the lighting fixture shall be located at the entrance to the passageway (CMC 904.11.5 & NFPA 54-9.5.2)
- FURNACES LOCATED IN THE GARAGE**- all air ducts that penetrate the garage/residence fire separation wall shall be constructed of 26 gauge steel with no openings in the garage.
- WATER HEATERS** or cooling units located in the attic shall have a second watertight pan installed beneath the unit per (CMC 310.2)
- Appliances which generate a glow, spark, or flame (such as water heater and furnaces) shall be located a minimum of 18 inches above garage floor.
- Where it is required to move under ducts for access to areas of the crawlspace, a minimum vertical clearance of 18" shall be provided (CMC 604.1)
- KITCHEN HOOD** - a ducted residential exhaust hood is required, a metal, smooth interior surface duct required on vent hood or down draft exhaust vent, aluminum flex duct not approved; provide back draft damper. CMC504.2 minimum 30" vertical clearance to combustibles from cook top surface. CMC504.2 Kitchen local exhaust ventilation requires a minimum rate of 100cfm meeting the requirements of ASHRA 62.2, this includes a maximum sound rating of 3 sone @ 100cfm.

GENERAL CONDITIONS

- Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
- Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
- Contractor shall be responsible to obtain and all necessary permits inspections, certificates, lien releases, final inspections, etc. Contractor to coordinate payment of permits with owner.
- Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary hoardings, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary hoardings with owner prior to commencement of work as necessary.
- Materials that are specified by their brand names establish standards of quality and performance. Any request for substitution shall be submitted to Moore Design Inc. and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. All non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
- All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code/ California Residential Code and the latest edition of all governing codes and regulations as adopted by the governing jurisdiction. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
- All dimensions on construction drawings are face of stud (f.o.s.), face of cmi, unless otherwise noted to be the center line of mullion, partition, or column, etc.
- All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
- All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
- All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
- The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
- The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
- The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
- The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
- The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
- All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
- Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
- All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
- Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
- Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see first mgst. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

SHEET INDEX

ARCHITECTURAL	
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A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
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C2	BARN GRADING, DRAINAGE, AND UTILITY PLAN
C3	GRADING SECTIONS
C4	EROSION CONTROL PLAN
C5	CONSTRUCTION MANAGEMENT PLAN
C-1.0	OWTS - SITE PLAN
C-2.0	OWTS - PROFILES & SECTIONS
C-3.0	OWTS - PROFILES & SECTIONS
C-4.0	OWTS - DETAILS & SPECIFICATIONS
A2.1	FLOOR PLAN
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A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	BARN ELEVATIONS
L1	IRRIGATION PLAN
L2	LANDSCAPE PLAN

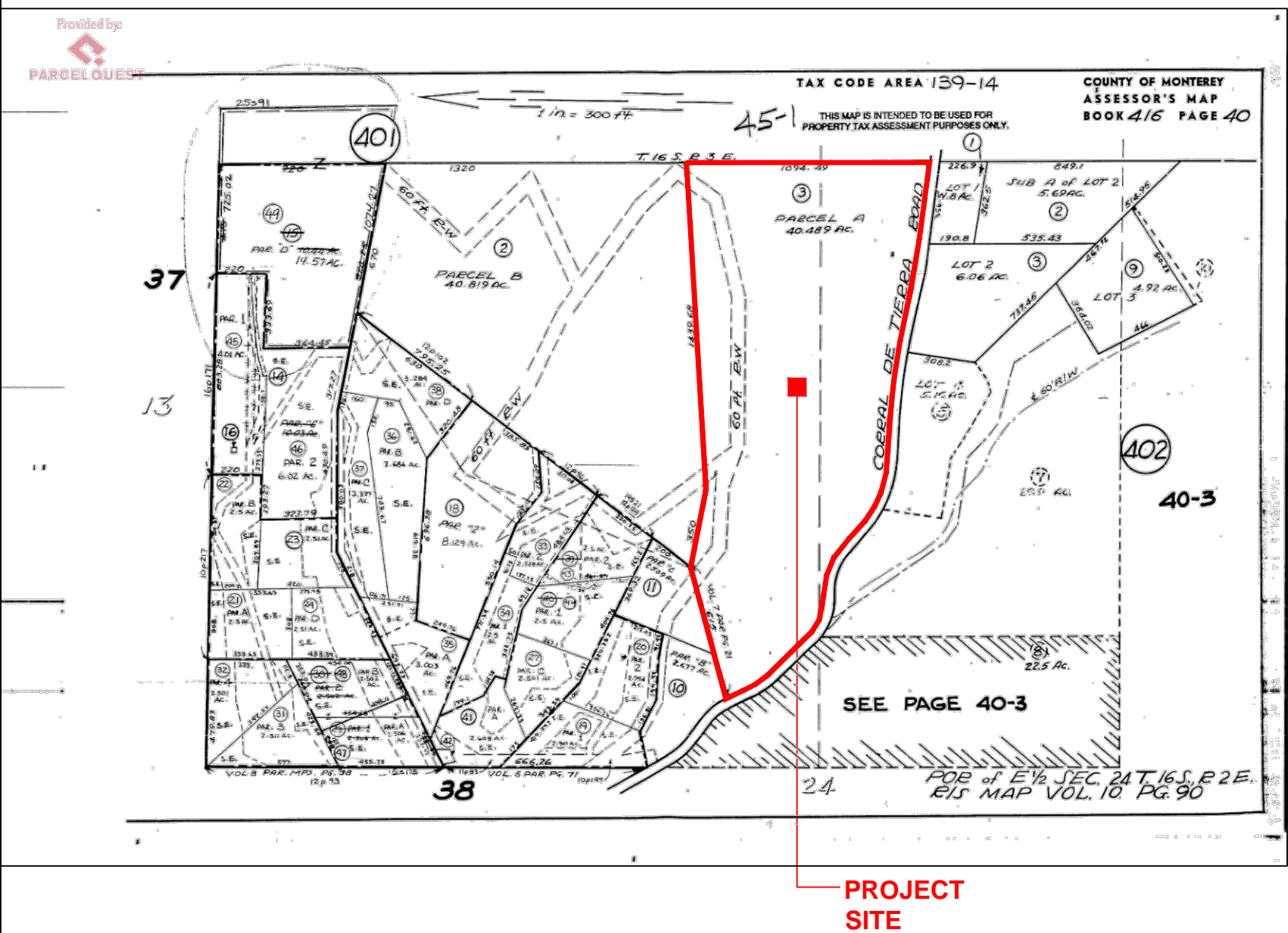
PROJECT DIRECTORY

OWNER:	NASON & MOORE CAMPBELL 451 CORRAL DE TIERRA SALINAS, CA 93908 831-206-2403
DESIGNER:	MOORE DESIGN INC. CONTACT: JOHN MOORE 550 FIGUEROA STREET, SUITE B MONTEREY, CA. 93940 OFFICE (831) 642-9732 CELL (831) 238-6888 EMAIL: john@mooredesign.org
GENERAL CONTRACTOR:	NASON CAMPBELL CONSTRUCTION, INC. CONTACT: NASON CAMPBELL 2300R MULETA PLACES SALINAS, CA 93908 TEL (831) 200-2403 ICE: # 942216 EMAIL: nason@nconstructioninc.com
CIVIL ENGINEER:	LANDSET ENGINEERS, INC. CONTACT: GUY GRAUDDO 329 CRAFT HORSE RD. SALINAS, CA 93907 TEL (831) 443-6970 FAX (831) 443-3801 EMAIL: GUY@LANDSETENG.COM
GEOTECHNICAL ENGINEER:	GEEK ENGINEERING, INC. CONTACT: SAM GREEK 561-A BRUNKEN AVE. SALINAS, CA 93901 TEL (831) 422-8619 FAX (831) 422-1896 EMAIL: SARGE@SRGLOBAL.NET
STRUCTURAL ENGINEER:	ESA DESIGN CONTACT: EYEN ABARADO 43082 BERKINGTON COMMON FREMONT, CA. 94538 TEL (510) 683-8914 FAX (510) 683-8941 EMAIL: edey@esastructural.com LIC: #C 62598
SURVEYOR:	CENTRAL COAST SURVEYORS CONTACT: DAVID FERGUSON 5 BARRE COURT, SUITE N-11 MONTEREY, CA 93940 TEL (831) 394-4930 FAX (831) 394-4931
TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNEHT 26465 CARMEL RANCHO BLVD., #8 CARMEL, CA 93923 TEL (831) 372-8328 FAX (831) 372-4813 EMAIL: dave@meg4.com
LANDSCAPE DESIGNER:	NINA CAPIROLA LANDSCAPE DESIGN CONTACT: NINA CAPIROLA TEL (831) 595-7053 EMAIL: NINACAPIROLA@GMAIL.COM

PROJECT INFORMATION

PROJECT ADDRESS:	451 CORRAL DE TIERRA SALINAS, CA 93908
A.P.N.	416-401-003
PROJECT SCOPE:	DEMOLISH EXISTING SINGLE STORY RESIDENCE, BARN & DETACHED GARAGE, NEW SINGLE STORY RESIDENCE (1,401 SF), NEW ATTACHED GARAGE/MECH. ROOM (1,342 SF), NEW DETACHED BARN (2,400 SF), NEW COVERED ENTRY & REAR TERRACE (1,462 SF), NEW SEPTIC SYSTEM
PROJECT VALUATION:	\$550,000
RELATED PERMIT	NONE
PROJECT CODE COMPLIANCE:	2022 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CEC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code-Local Amendments
ZONE:	RC10-VS
YEAR CONSTRUCTED:	1974
MAX BLDG. HT:	19'-5" (NOT ALLOWED)
CONSTR. TYPE:	TYPE V-B
OCCUPANCY:	R-3 (RESIDENTIAL), U
FIRE SPRINKLERS	REQUIRED NFPA 13D
WATER SYSTEM:	WELL
SEWER SYSTEM:	SEPTIC
TREE REMOVAL:	(1) 10' ACACIA TREE
TOPOGRAPHY:	GENTLY SLOPING
GRADING:	CUT 380 C.Y., FILL 545 C.Y.
LOT SIZE:	40.49 ACRES / 1,763,744 SF
LOT COVERAGE CALCS:	
EXISTING RESIDENCE, GARAGE & BARN	2,357 SF (TO BE REMOVED)
PROPOSED RESIDENCE	4,601 SF
PROPOSED GARAGE/UNCONDITIONED	1,342 SF
PROPOSED DETACHED BARN	2,400 SF
COVERED ENTRY, PATIO, TERRACE	1,509 SF
NEW TOTAL	9,852 SF
FLOOR AREA CALCS:	
EXISTING TO BE DEMOLISHED	-2,357 SF
PROPOSED RESIDENCE	4,601 SF
NEW TOTAL	4,601 SF (CONDITIONED)
PROPOSED RESIDENCE MECH./STORAGE	93 SF
PROPOSED GARAGE	12,049 SF
PROPOSED DETACHED BARN	2,400 SF
NEW TOTAL	3,742 SF (UNCONDITIONED)

VICINITY MAP



CAL GREEN NOTES

- Irrigation Controllers: Automatic irrigation controllers installed at the time of final inspection shall be weathered-based. CGCB 4.504.1
- Rodent Proofing: Protect animal spaces around pipes, electrical cables, conduits or other openings at exterior walls against passage of rodents. CGCB 4.408.1
- Construction Waste Management: Recycle and/or salvage for reuse a minimum of 50% of the nonhazardous construction and demolition waste in accordance with the CGCB Sec. 4.408.1
- Covering of Mechanical Equipment & Ducts: Cover duct openings and other air related air distribution component openings during storage, construction and until final start up with tape, plastic, or other acceptable method. CGCB 4.504.1
- Adhesives, solvents and caulks: Adhesives, solvents and caulks used on the project shall be compliant with VOC and other toxic compound limits. CGCB 4.504.2.1
- Paint and Coatings: Paint, stains and other coatings used on the project shall be compliant with VOC limits. CGCB 4.504.2.2
- Aerosol paints and coatings: Aerosol paints and coatings used on the project shall be compliant with product weighted MEK limits for RDC and other toxic compounds. Documentation shall be provided to verify compliant VOC limit finish materials have been used. CGCB 4.504.2.3. Verification of compliance shall be provided.
- Carpet Systems: All carpet and carpet systems installed shall be compliant with VOC limits. CGCB 4.504.3
- Resilient Floor Systems: 80% of the floor area receiving resilient floorings shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) low-emitting materials list or be certified under the Resilient Floor Covering Institute (RDCI) FloorScore program. CGCB 4.504.4
- Composite Wood Products: Particleboard, Medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. CGCB 4.504.5
- Foundation: Capillary Break: A 4" thick of 1/2" or larger clean aggregate shall be installed with a vapor retarder in direct contact with concrete. CGCB 4.505.1
- Moisture Content of Building Materials: Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be exceeded when the framing members exceed 19% moisture content. CGCB 4.505.3
- Restroom Exhaust Fans: Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan and the fan must be controlled by a humidistat capable of adjustment between a relative humidity range of < 50% to a maximum of 80%. CGCB 4.506.1
- Heating and Air Conditioning System Design: HVAC systems shall be sized, designed and their equipment sized per CGCB 4.507.2. HVAC system installer must be trained and certified and special inspectors employed by the enforcing agency must be qualified.

PLANNING CONDITIONS

PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - planning and a qualified archaeologist (i.e., an archaeologist registered with the register of professional archaeologists) shall be immediately contacted by the responsible individual present on site. When contacted the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.

PD010(A) - LIGHTING - EXTERIOR LIGHTING PLAN

All exterior lighting shall be unobstructive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the future. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 part 6. The exterior lighting plan shall be subject to approval by the director of RMA - Planning, prior to the issuance of building permits.

(RMA - PLANNING)

CONTRACTOR NOTES

- Glue-lam certificates shall be copied to the building department.
- At time of final inspection provide installation, operation and maintenance guides/manuals for all equipment and appliances including masonry veneer anchors, fireplace insert, and chimney flue acceptable to the enforcing agency shall be provided to the owner.
- All construction shall be in accordance with soils investigations by Gite Engineering, Inc., project # 7943-24.11, dated 2-20-2025.
- Contractor to provide two copies completed & signed of the CFER-LTG-01-E form (where applicable) to the owner & field inspector prior to receiving the final.

ABBREVIATIONS AND SYMBOLS

APPROX.	APPROXIMATE	O.C.	ON CENTER
BLK.	BLOCK	D.C.	OUTSIDE DIAMETER
CLD.	CLOSET	P.L.W.	PLYWOOD
CONC.	CONCRETE	REF.	REFERENCE
CONT.	CONTINUOUS	R.O.	ROUGH OPENING
DS	DOWNSPOUT	SHWR	SHOWER
DS	DISTRIBUTER	SM	SHOULDER
DS	EXISTING	SL	SKYLIGHT
F.O.C.	FACE OF CONCRETE	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
GAUL.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPSEUM	U.O.N.	UNLESS OTHERWISE
G.W.B.	GYPSEUM WALLBOARD	NOTED	
FLR	FLOOR	WP	WATERPROOF
HDWD	HARDWOOD	W/	WITH
N.L.C.	NOT IN CONTRACT	W/O	WITHOUT
N.T.S.	NOT TO SCALE	W.L.C.	WALK IN CLOSET

WALL LINE	SECTION
NUMBERS VERTICAL	SECTION IDENTIFICATION
LETTERS HORIZONTAL	SHEET WHERE SECTION IS DRAWN
DOORS SYMBOL NUMBERS	ELEVATION
WINDOW TYPE NUMBERS	ELEVATION IDENTIFICATION
DETAIL NUMBER	SHEET WHERE ELEVATION IS DRAWN
SHEET WHERE DETAIL IS LOCATED	REVISIONS NUMBERS
SHEET NOTE	CLOUD AROUND REVISION OPTIONAL
	CEILING HEIGHT

PROJECT NAME:

CAMPBELL
RESIDENCE

451 CORRAL DE TIERRA
SALINAS, CA.
93908

APN: 416-401-003
JOB NUMBER: 2417



MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

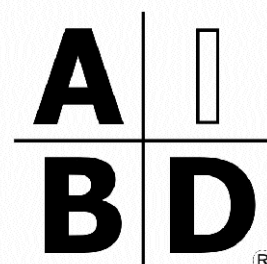
550 FIGUEROA STREET, SUITE B
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025

PRINT DATE: 3/10/2025

MEMBER



AMERICAN INSTITUTE of
BUILDING DESIGN

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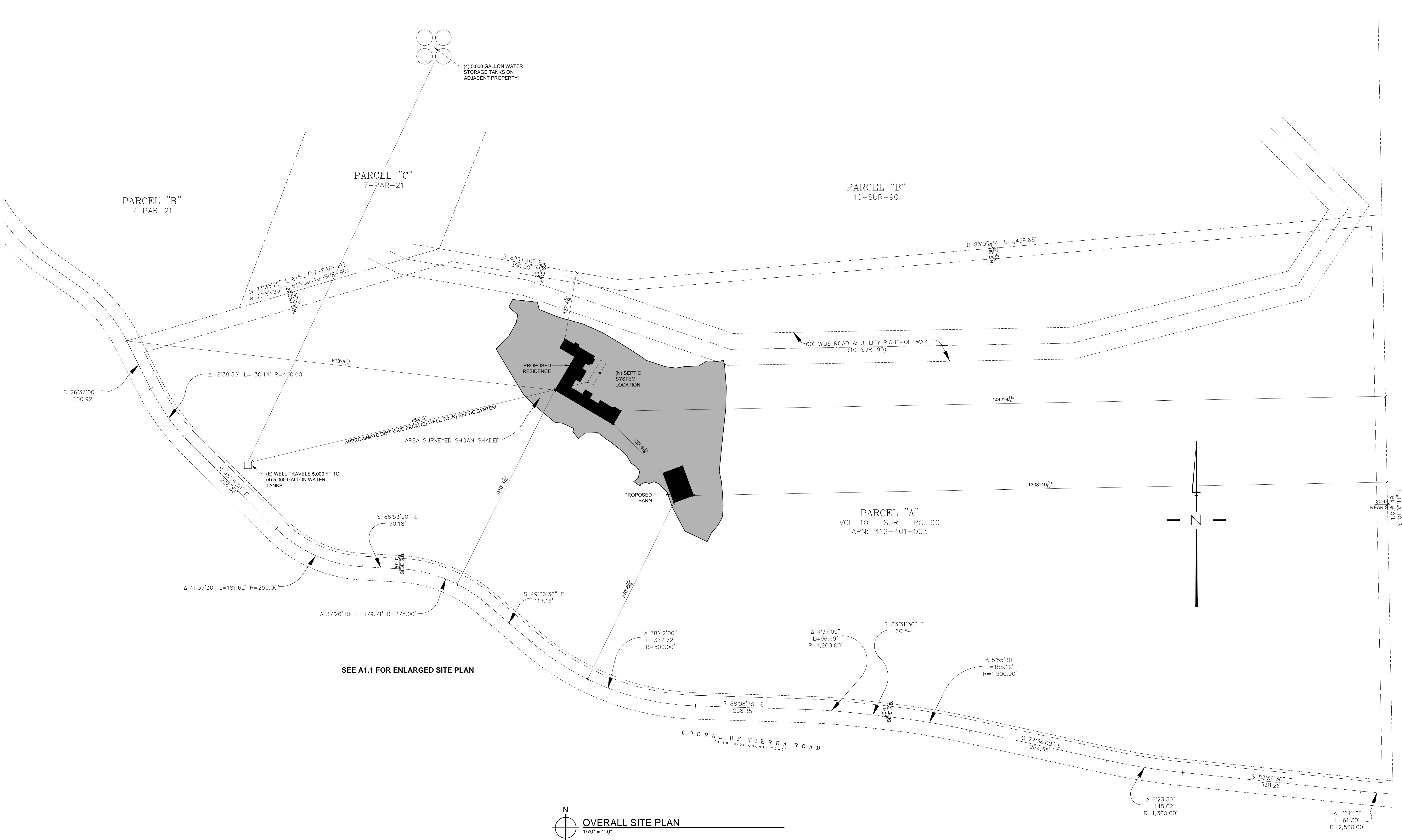
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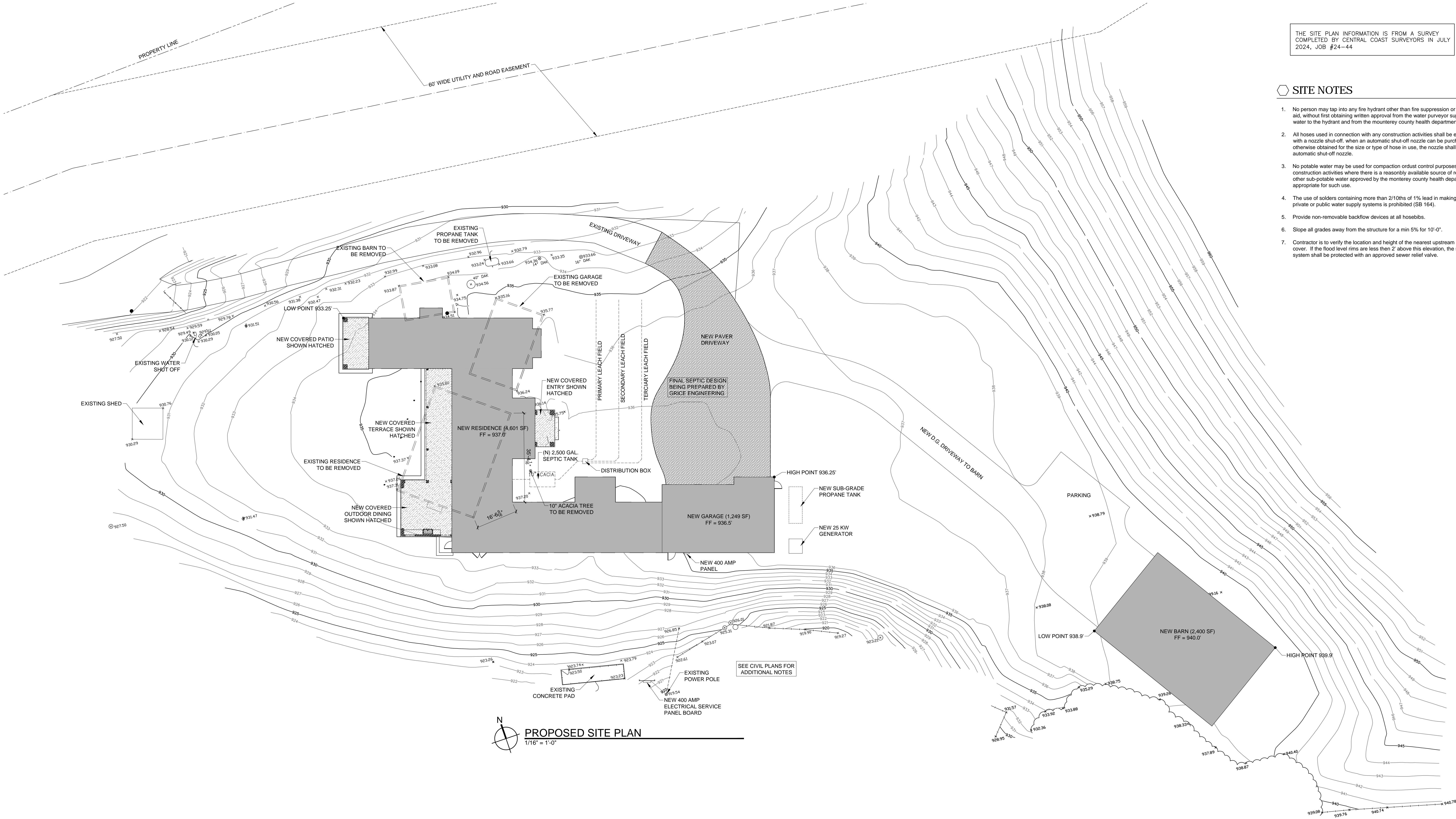
SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

A1.0





THE SITE PLAN INFORMATION IS FROM A SURVEY COMPLETED BY CENTRAL COAST SURVEYORS IN JULY 2024, JOB #24-44

SITE NOTES

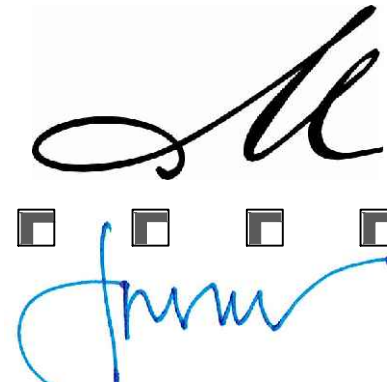
- No person may tap into any fire hydrant other than fire suppression or emergency aid, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the monterey county health department.
- All hoses used in connection with any construction activities shall be equipped with a nozzle shut-off. When an automatic shut-off nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shut-off nozzle.
- No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of reclaimed or other sub-potable water approved by the monterey county health department and appropriate for such use.
- The use of solders containing more than 2/10ths of 1% lead in making joints on private or public water supply systems is prohibited (SB 164).
- Provide non-removable backflow devices at all hosebibs.
- Slope all grades away from the structure for a min 5% for 10'-0".
- Contractor is to verify the location and height of the nearest upstream manhole cover. If the flood level rims are less than 2' above this elevation, the sewer system shall be protected with an approved sewer relief valve.

PROJECT NAME:

CAMPBELL
RESIDENCE

451 CORRAL DE TIERRA
SALINAS, CA.
93908

APN: 416-401-003
JOB NUMBER: 2417



MOORE DESIGN Inc.
RESIDENTIAL PLANNING &
CONSTRUCTION ADMINISTRATION

550 FIGUEROA STREET, SUITE B
MONTEREY, CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	3/12/2025

PRINT DATE: 3/10/2025

MEMBER

A | B | D
AMERICAN INSTITUTE of
BUILDING DESIGN

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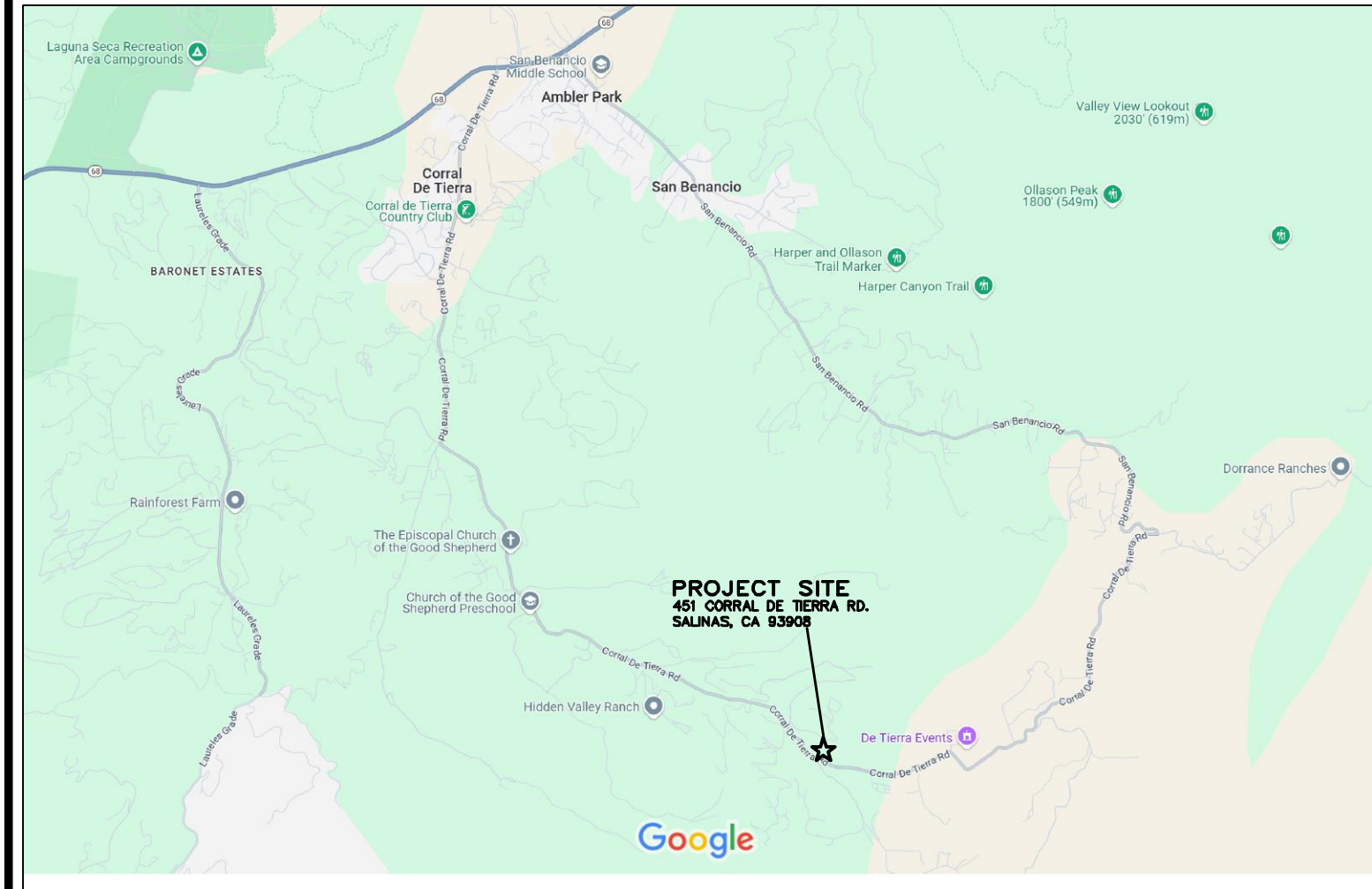
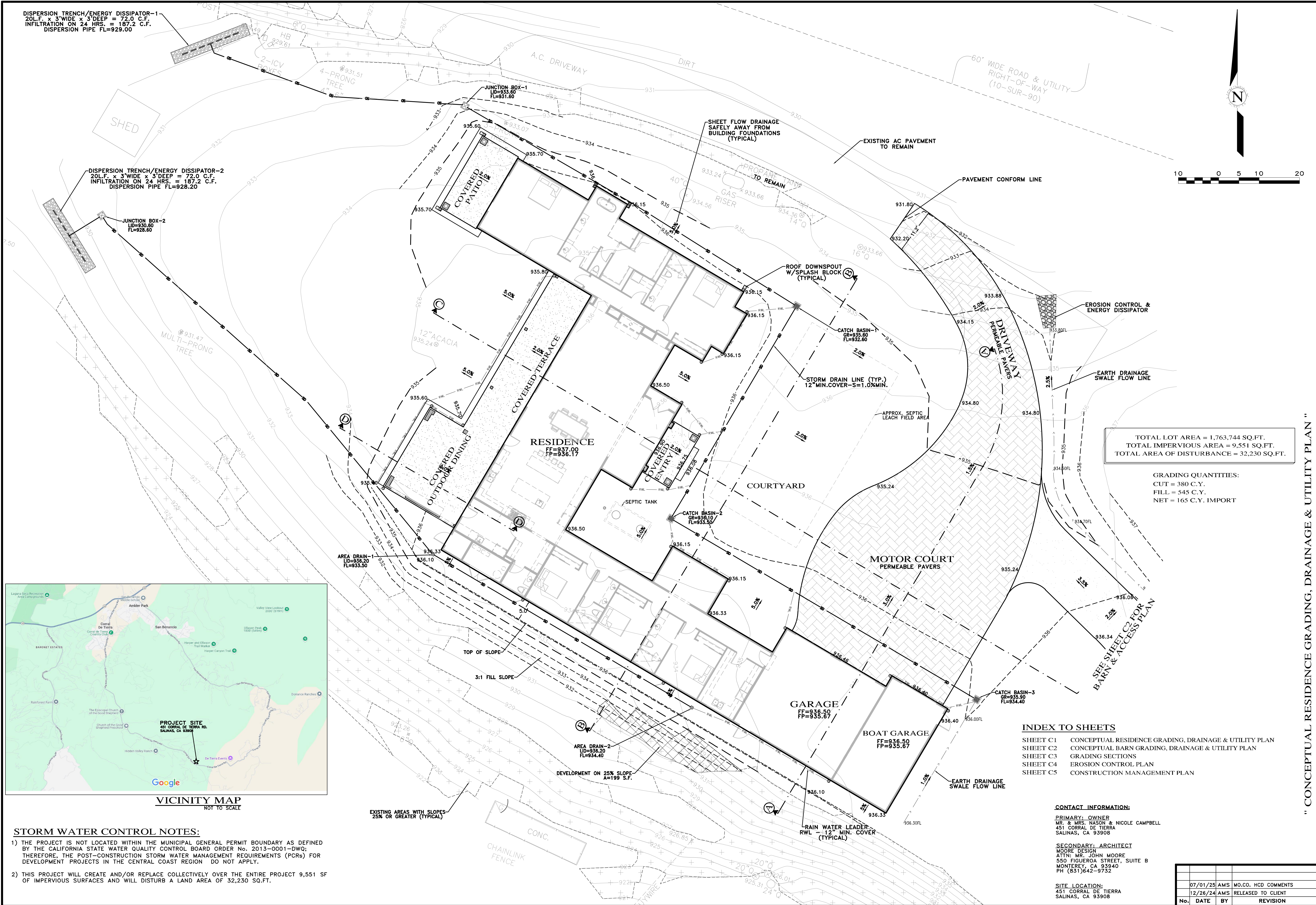
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

ENLARGED SITE
PLAN

SHEET NUMBER:

A1.1



STORM WATER CONTROL NOTES:

1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.

2) THIS PROJECT WILL CREATE AND/OR REPLACE COLLECTIVELY OVER THE ENTIRE PROJECT 9,551 SF OF IMPERVIOUS SURFACES AND WILL DISTURB A LAND AREA OF 32,230 SQ.FT.

INDEX TO SHEETS			
SHEET C1	CONCEPTUAL RESIDENCE GRADING, DRAINAGE & UTILITY PLAN		
SHEET C2	CONCEPTUAL BARN GRADING, DRAINAGE & UTILITY PLAN		
SHEET C3	GRADING SECTIONS		
SHEET C4	EROSION CONTROL PLAN		
SHEET C5	CONSTRUCTION MANAGEMENT PLAN		

CONTACT INFORMATION:

PRIMARY: OWNER
MR. & MRS. NASON & NICOLE CAMPBELL
451 CORRAL DE TIERRA
SALINAS, CA 93908

SECONDARY: ARCHITECT
MOORE DESIGN
ATTN: MR. JOHN MOORE
550 FIGUEROA STREET, SUITE B
MONTEREY, CA 93940
PH (851)642-9732

SITE LOCATION:
451 CORRAL DE TIERRA
SALINAS, CA 93908

No.	DATE	BY	REVISION
	07/01/25	AMS	MO.CO. HCD COMMENTS
	12/26/24	AMS	RELEASED TO CLIENT

" CONCEPTUAL RESIDENCE GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

CAMPBELL RESIDENCE
OF
A.P.N.: 416-401-003
FOR
MR. & MRS. NASON & NICOLE CAMPBELL

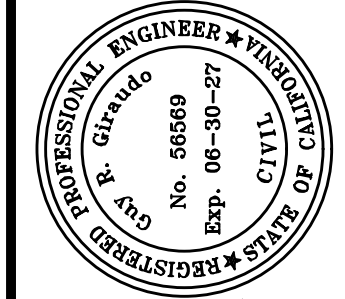
GRADING QUANTITIES:
CUT = 380 C.Y.
FILL = 545 C.Y.
NET = 165 C.Y. IMPORT

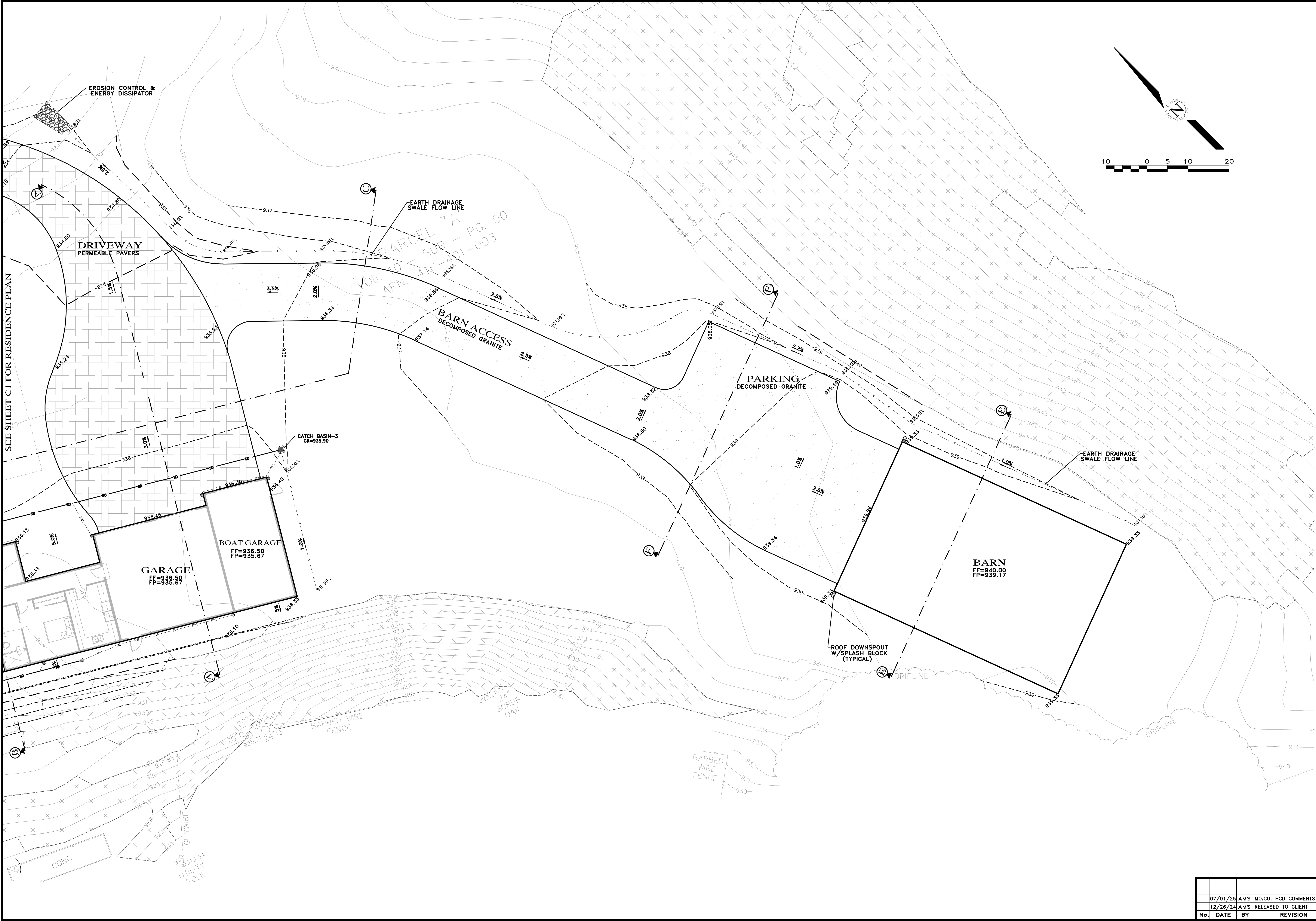
TOTAL LOT AREA = 1,763,744 SQ.FT.
TOTAL IMPERVIOUS AREA = 9,551 SQ.FT.
TOTAL AREA OF DISTURBANCE = 32,230 SQ.FT.

SCALE: 1"=10'
DATE: DECEMBER 2024
JOB NO. 2858-01
SHEET C1
OF 5 SHEETS



APPROVED BY:
GUY R. GIRAIDO
PROFESSIONAL ENGINEER # 01111
No. 56589
Exp. 06-30-27





" CONCEPTUAL BARN GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

CAMPBELL RESIDENCE
A.P.N.: 416-401-003
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR MR. & MRS. NASON & NICOLE CAMPBELL

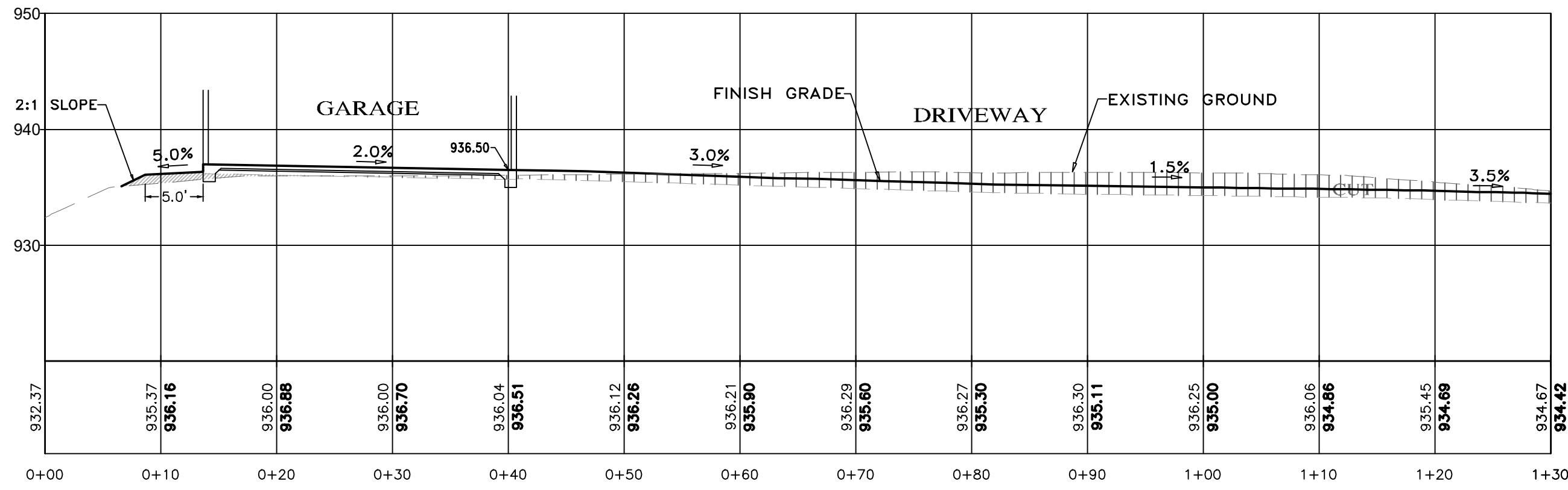
LANDSET
ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93807
Office (831) 443-3801
www.landseteng.com

APPROVED BY:

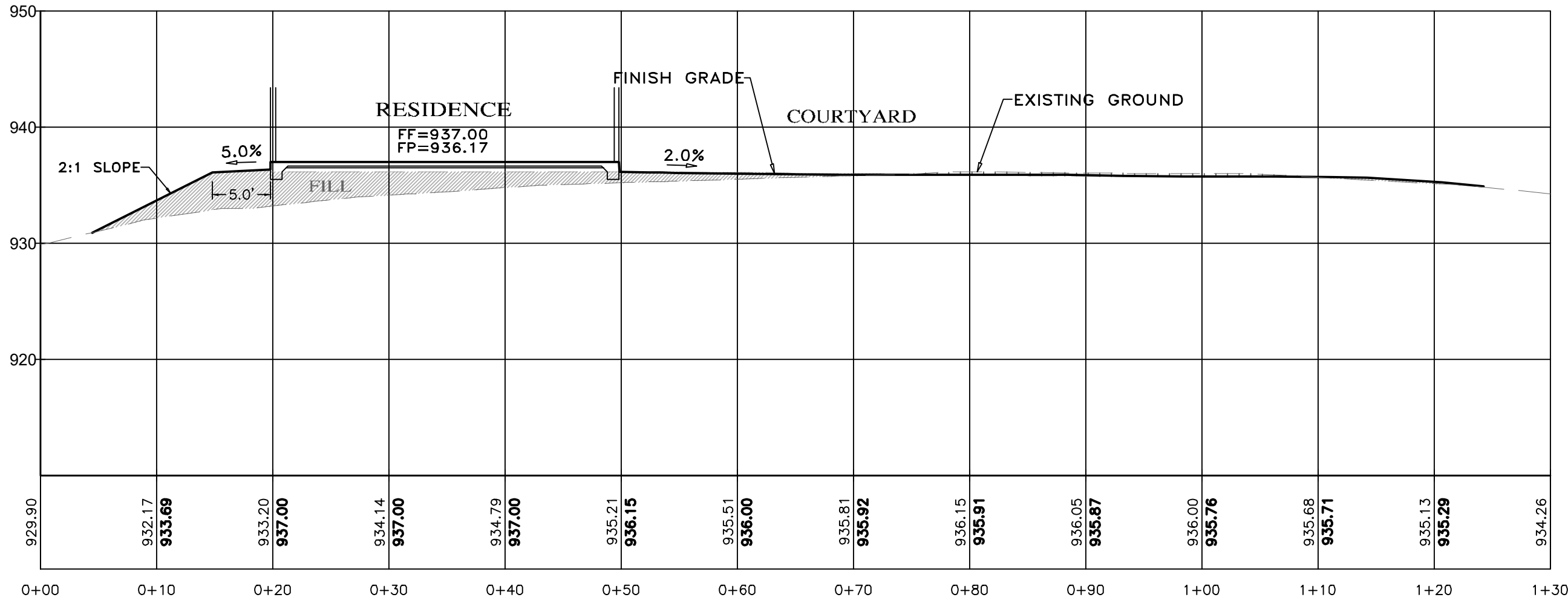
GUY R. GIRARDO

SCALE: 1"=10'			
DATE: DECEMBER 2024			
JOB NO. 2858-01			
SHEET C2			
OF 5 SHEETS			

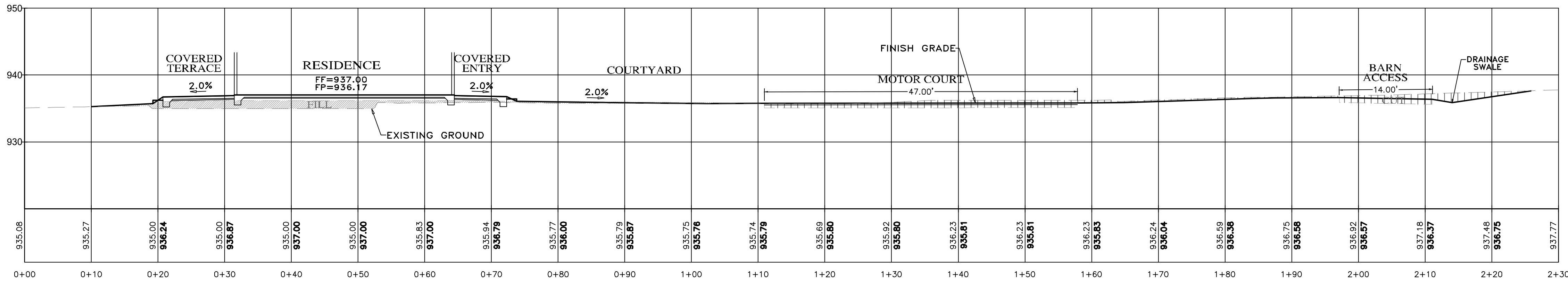
07/01/25	AMS	MO.CO.	HCD COMMENTS
12/26/24	AMS	RELEASED TO CLIENT	
No.	DATE	BY	REVISION



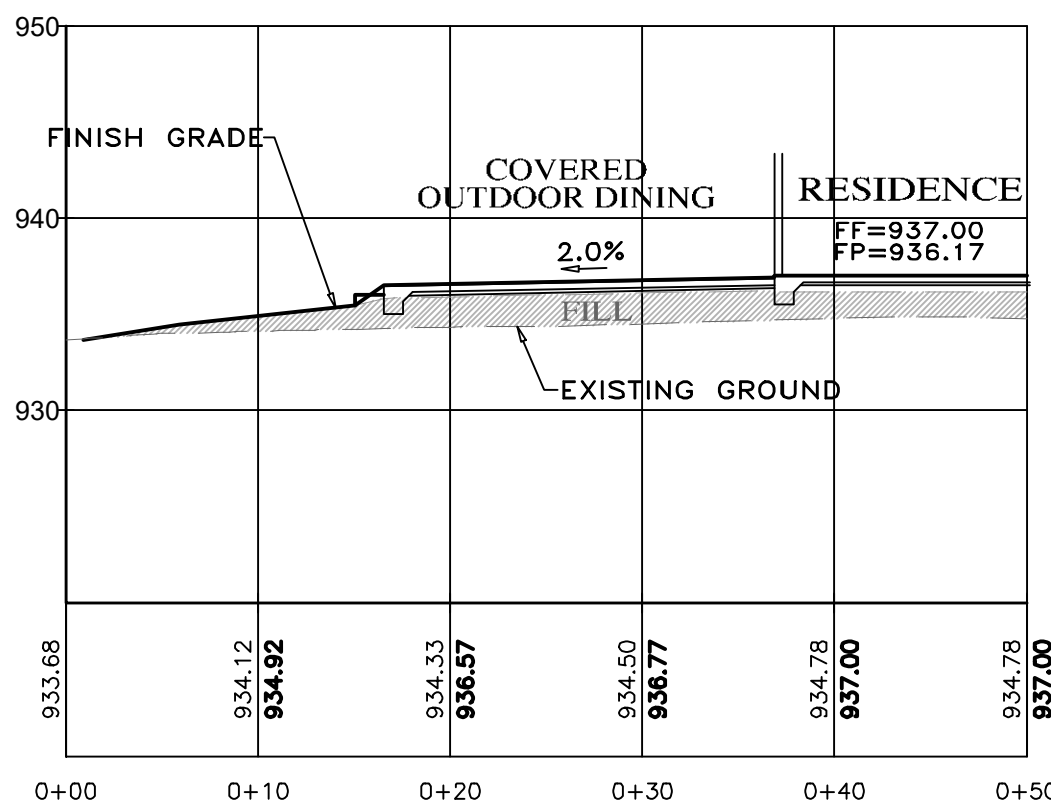
SECTION A-A
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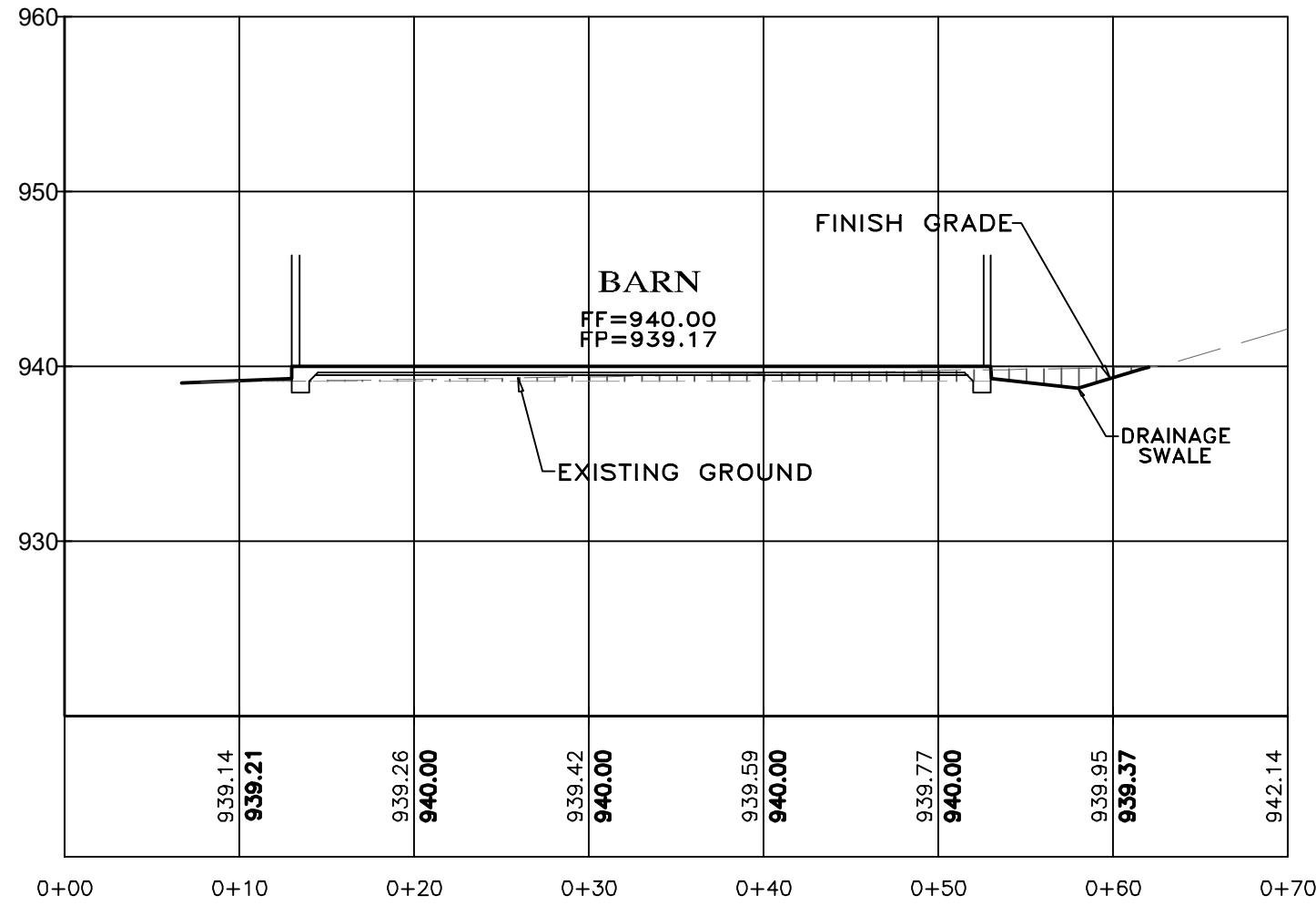
SECTION B-B
SCALE: 1"=10' H&V



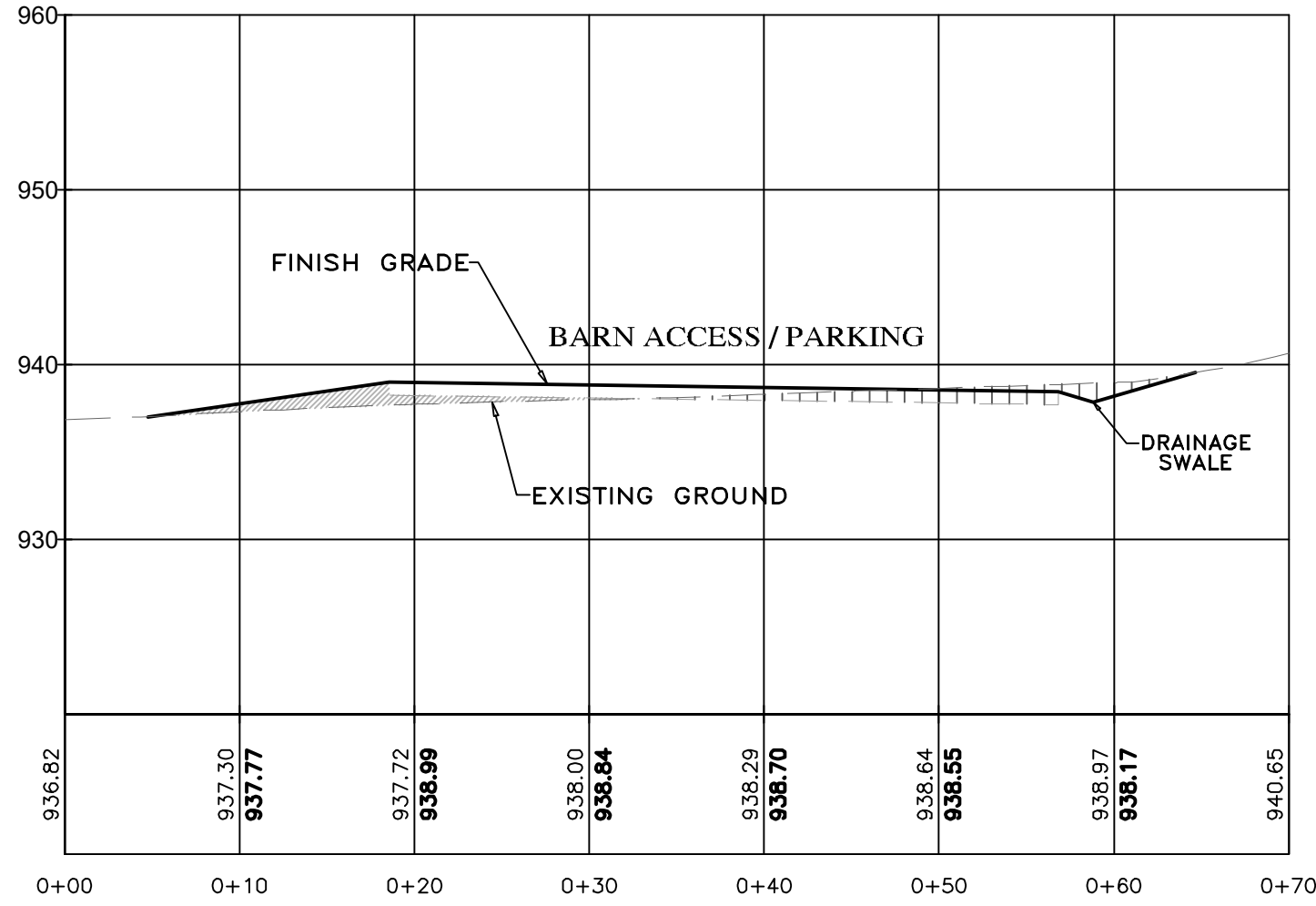
SECTION C-C
SCALE: 1"=10' H&V



SECTION D-D
SCALE: 1"=10' H&V

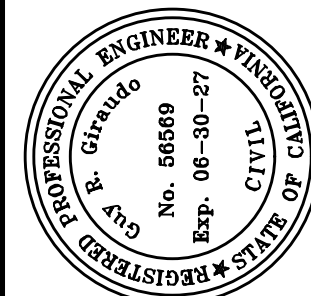


SECTION E-E
SCALE: 1"=10' H&V



SECTION F-F
SCALE: 1"=10' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:

GUY R. GIRARDO
7/1/25



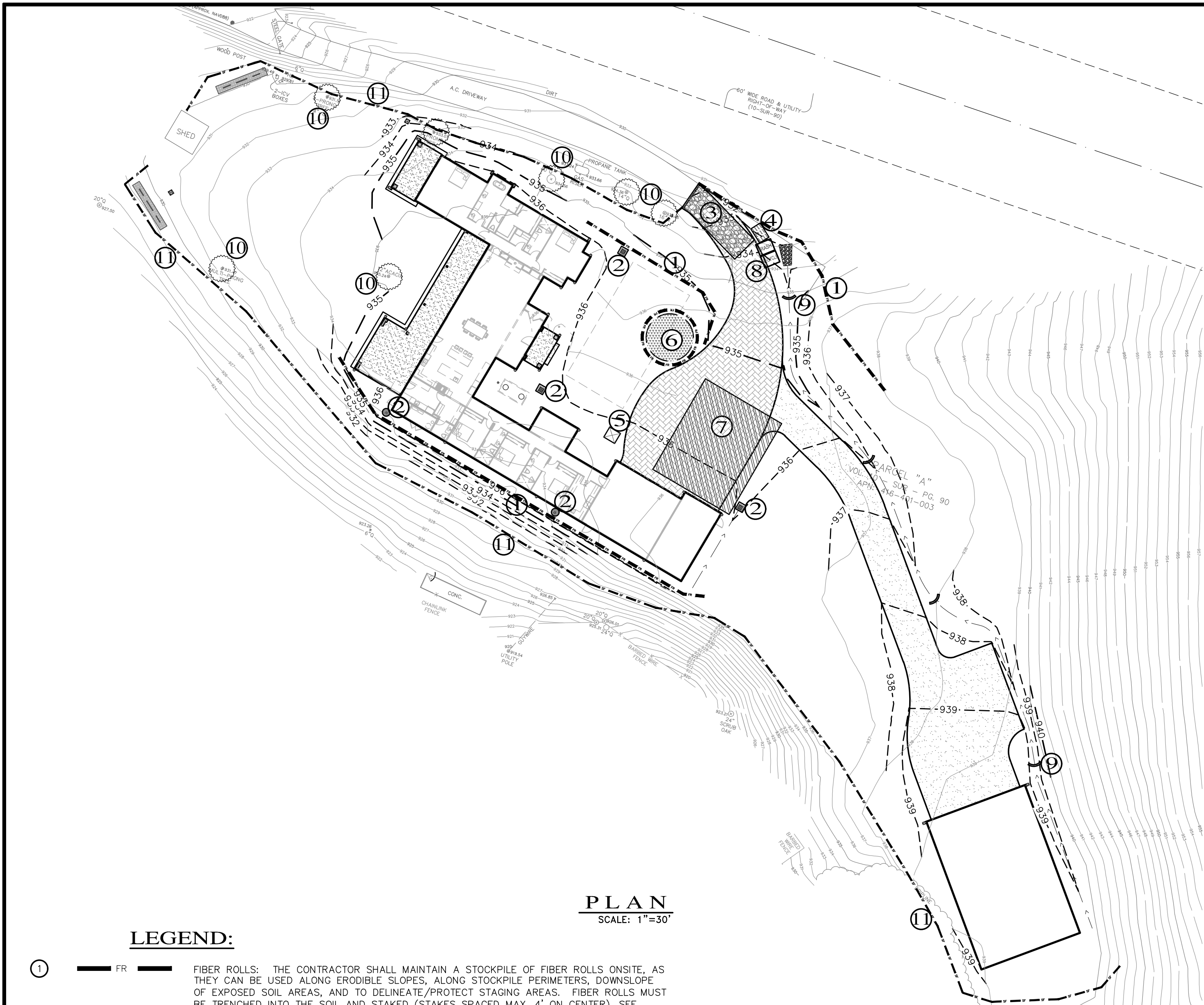
" GRADING SECTIONS "

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
CAMPBELL RESIDENCE
A.P.N.: 416-401-003
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. NASON & NICOLE CAMPBELL.

SCALE: 1"=10' H&V
DATE: DECEMBER 2024
JOB NO. 2858-01

SHEET C3
OF 5 SHEETS

No.	DATE	BY	REVISION
	07/01/25	AMS	MO.CO. HCD COMMENTS
	12/26/24	AMS	RELEASED TO CLIENT



- LEGEND:**
1. FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ON-SITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" - 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

LS-PROJ-2858-CAMPBELL-2858-CIVIL.DWG (2858-CD-CP-DWG) 2/28/2024

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO COUNTY RMA-ENVIRONMENTAL SERVICES PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

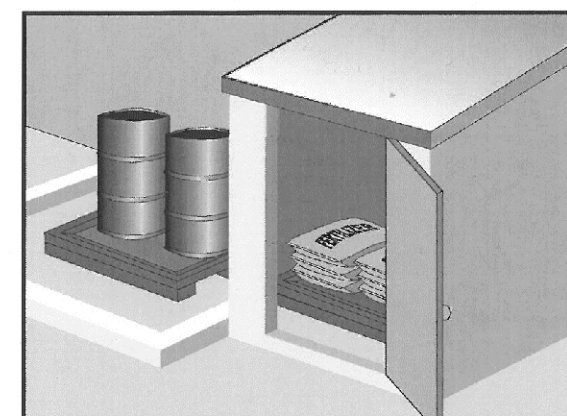
CONSTRUCTION INSPECTION REQUIREMENTS

A--PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

B--DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

C--PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

Material Delivery and Storage WM-1



Description and Purpose
Prevent, reduce, or eliminate the discharge of pollutants from material delivery and storage to the stormwater system on watercourses by minimizing the storage of hazardous materials onsite, storing materials in watertight containers and/or a completely enclosed designated area, installing secondary containment, conducting regular inspections, and training employees and subcontractors.

This best management practice covers only material delivery and storage. For other information on materials, see WM-2, Material Use, or WM-4, Spill Prevention and Control. For information on wastes, see the waste management BMPs in this section.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

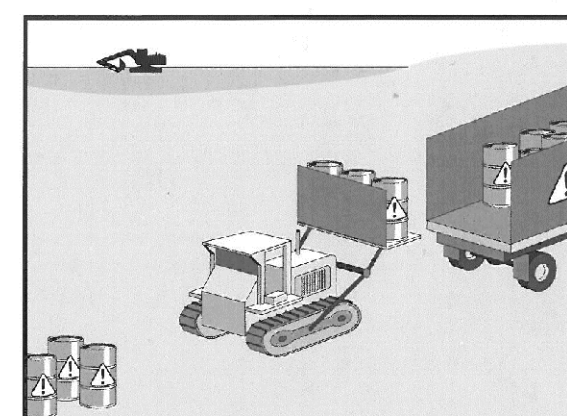
- Primary Category
- Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

Hazardous Waste Management WM-6



Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

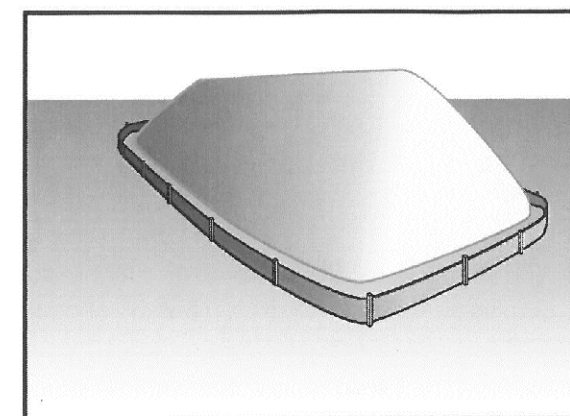
- Primary Objective
- Secondary Objective

Targeted Constituents
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

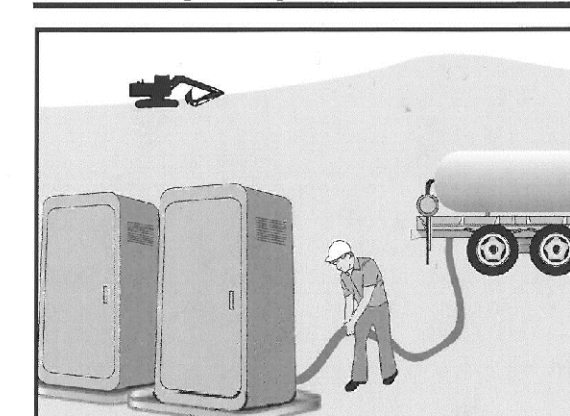
- Primary Category
- Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

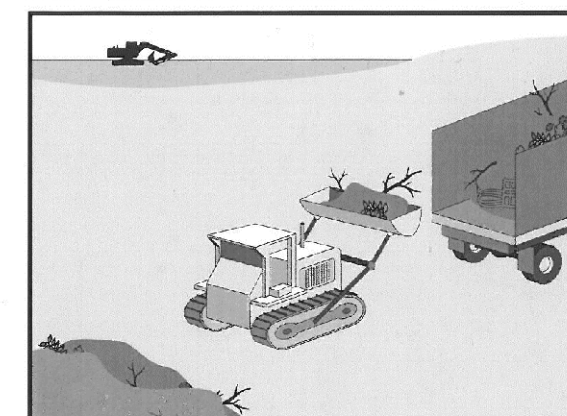
- Primary Category
- Secondary Category

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

Solid Waste Management WM-5



Description and Purpose
Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

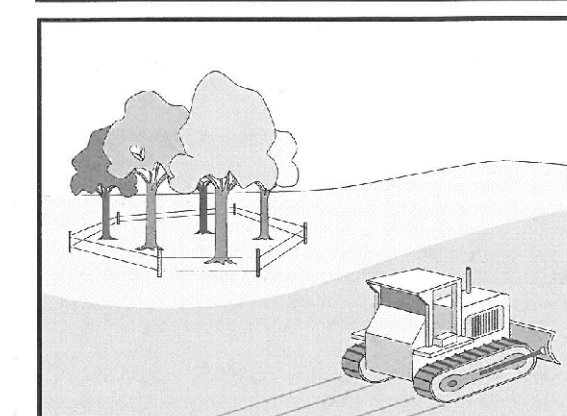
- Primary Objective
- Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

Preservation Of Existing Vegetation EC-2



Description and Purpose
Carefully planned preservation of existing vegetation minimizes the potential of removing or injuring existing trees, vines, shrubs, and grasses that protect soil from erosion.

Categories
EC Erosion Control
SE Sediment Control
TC Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Management and Materials Pollution Control

Legend:

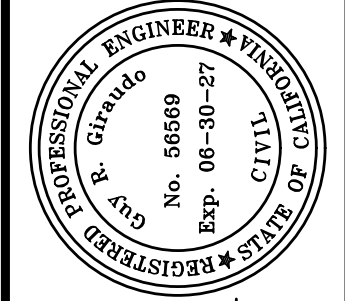
- Primary Objective
- Secondary Objective

Targeted Constituents
Sediment
Nutrients
Trash
Metals
Bedrock
Oil and Grease
Organics

Potential Alternatives

None

No.	DATE	BY	REVISION
	07/01/25	AMS	MO.CO. HCD COMMENTS
	12/26/24	AMS	RELEASED TO CLIENT



APPROVED BY:

GUY R. GIRA'DO
CIVIL

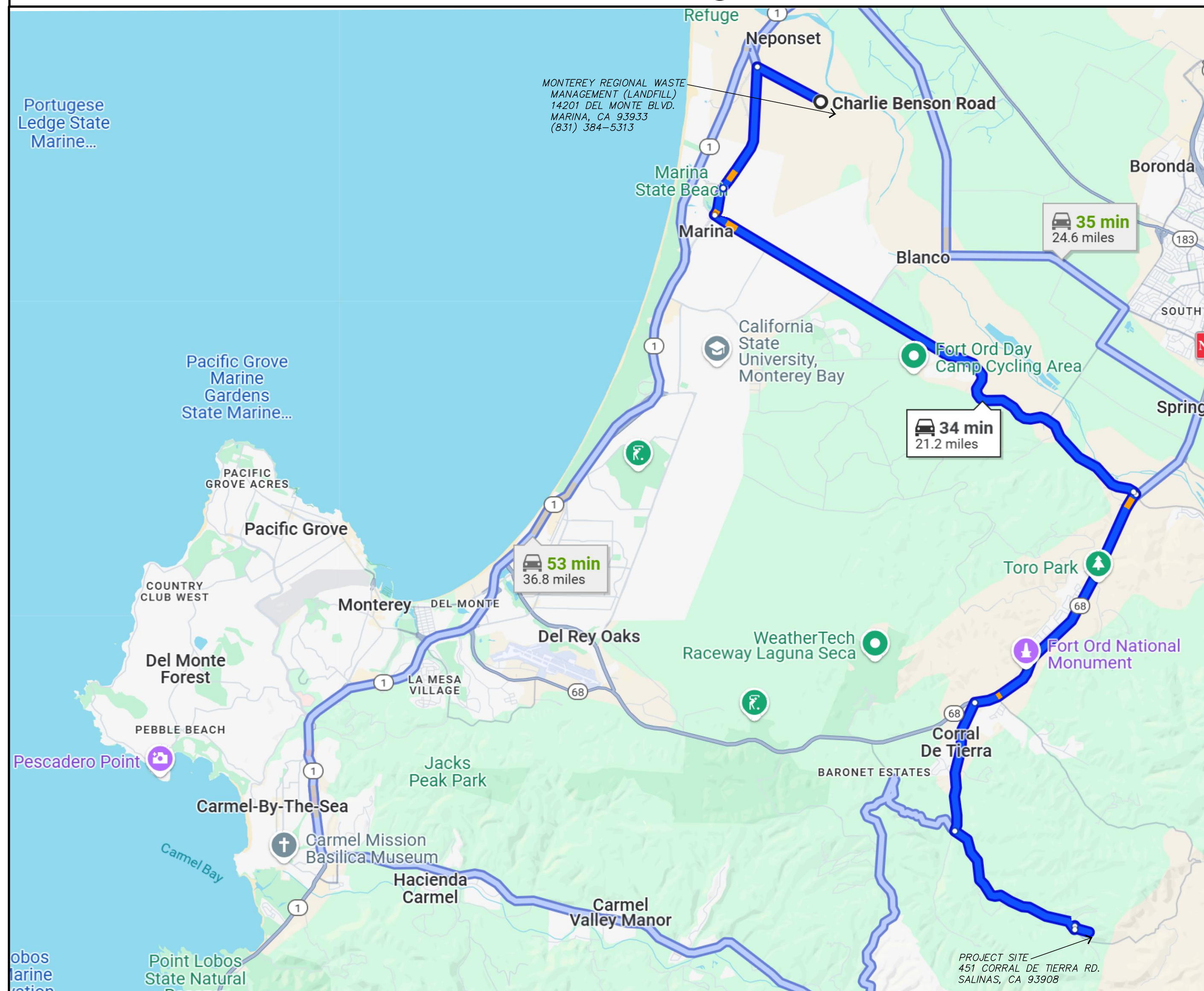
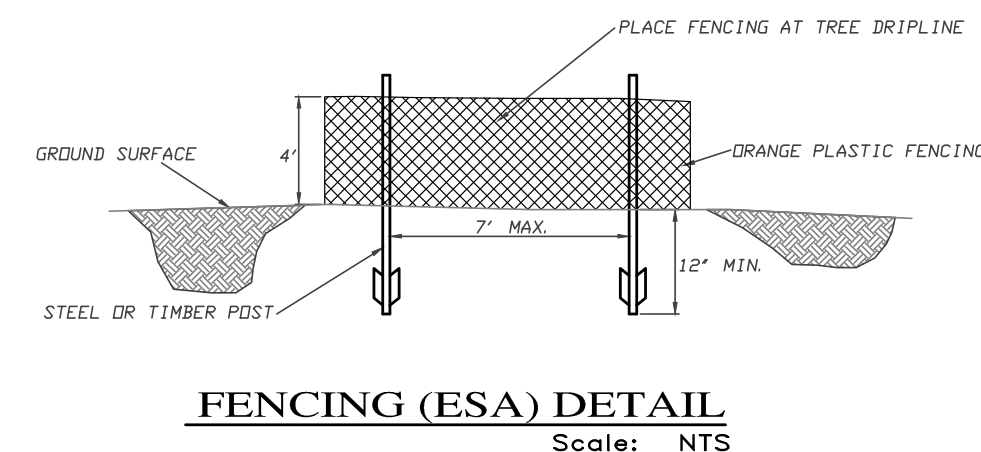


" EROSION & SEDIMENT CONTROL PLAN "

CAMPBELL RESIDENCE
OF
A.P.N.: 416-401-003
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. NASON & NICOLE CAMPBELL

SCALE: AS SHOWN
DATE: DECEMBER 2024
JOB NO. 2858-01

SHEET
C4
OF 5 SHEETS



OVERALL TRUCK
ROUTING PLAN
NOT TO SCALE

	07/01/25	AMS	MO.CO. HCD COMMENTS
	12/26/24	AMS	RELEASED TO CLIENT
No.	DATE	BY	REVISION

GRADING, DRAINAGE & EROSION CONTROL PLAN


CAMPBELL RESIDENCE
OF
A.P.N.: 416-401-003
SALINAS, MONTEREY COUNTY, CALIFORNIA
FOR
MR. & MRS. NASON & NICOLE CAMPBELL

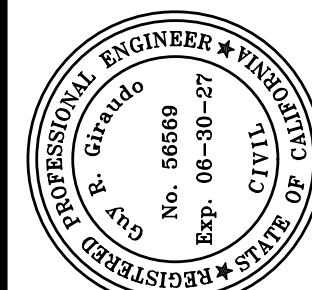


LANDSET
ENGINEERS, INC.

520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

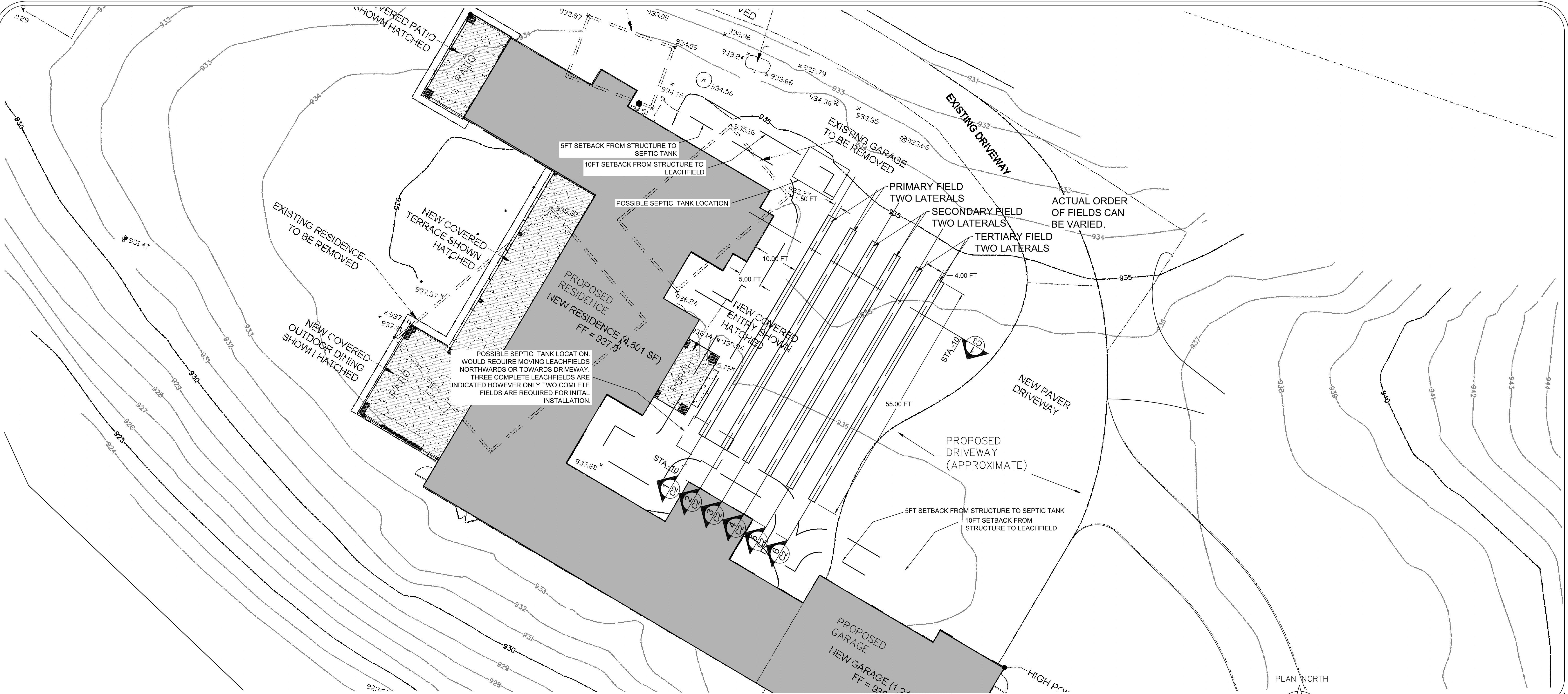
APPROVED BY:


GUY R. GIRARDO



SCALE: AS SHOWN
DATE: DECEMBER 2024
JOB NO. 2858-01

SHEET **C5**
OF 5 SHEETS



PROPERTY AND SYSTEM INFORMATION:
SITE ADDRESS: 451 CORRAL DE TIERRA ROAD, SALINAS, CALIFORNIA
A.P.N.: 416-401-003-000
AREA OF PARCEL: 40.04 ACRES

NITROGEN BALANCE

EXISTING STRUCTURE: 3 BEDROOM RESIDENCE (TO BE DEMOLISHED)

PROPOSED STRUCTURE: 5 BEDROOM SINGLE FAMILY RESIDENCE

TOTAL NUMBER OF OCCUPANTS: 6 TOTAL

PER TABLE 2 MCEH ORD 15.20 (06/13/23):
ALLOWABLE APPLIED NITROGEN PER ACRE: 40 GRAMS
ALLOWABLE APPLIED NITROGEN ON PARCEL: 1,541.6 GRAMS

EXISTING APPLIED NITROGEN ON PARCEL: 40 GRAMS

PROPOSED APPLIED NITROGEN ON PARCEL: 60 GRAMS

EXCESS APPLIED NITROGEN: 00.00 GRAMS

OWTS DESIGN FOR SINGLE FAMILY RESIDENCE

PER TABLE 6 MCEH ORD 15.20 (06/13/23):
PEAK DAILY FLOW: 525 GALLONS
SEPTIC TANK SIZE: WITHOUT GARBAGE GRINDER 2,000 GALLONS
WITH GARBAGE GRINDER 2,500 GALLONS

PER MC-OWTS-2018 TABLE 5-4 AND SECTION 5.9.2 SEE OWTS REPORT FOR COMPLETE INFORMATION			
SHALLOW TEST	TEST DEPTH FEET BELOW GRADE	STABILIZED TAFT RATE MINUTES per INCH	APPLICATION RATE GALLONS per SQUARE FOOT per DAY
B-8 & B-12	0.8 TO 9	3.95 TO 6.44	1.2
B-11	0.0 TO 4.0	12.35	0.8
B-11	4.0 TO 6.0	6.8	0.43

PREFERABLE MATERIALS FOR EFFLUENT DISPERSAL ARE A RELATIVELY CLEAN, MODERATELY GRADED, DENSE SAND. SOILS OF LOW PERMEABILITY ARE PRESENT ON THE PARCEL AS SUCH OBSERVATIONS DURING INSTALLATION FOR SUITABLE MATERIALS ARE PREFERABLE. REFER TO THE PUBLISHED OWTS REPORT.

DEPTH TO GROUND WATER:
GREATER THAN 35 FEET (ELEVATION 988.80± FEET)

GROUNDWATER SETBACK PER TABLE 5-6 MCEH OWTS: 20 FEET

LOWEST PROBABLE ELEVATION OF LEACHFIELD BOTTOM: ELEVATION 930 FEET

FOR INSTALLATION IN MATERIALS AS ENCOUNTERED @ BORES 6, 7, 8, & 12
INFILTRATION AREA REQUIRED: 437.5 SQUARE FEET

LEACHFIELD TYPE: SHALLOW TRENCH, 2FT DEEP X 1.5FT WIDE
EFFECTIVE WALL AREA: 4 SQUARE FEET PER LINEAR FOOT

TOTAL LENGTH OF TRENCH REQUIRED PER FIELD: 109.375 LINEAR FEET

PRIMARY FIELD: 2 LATERALS; 2 FEET DEEP, 1.5 FEET WIDE, 55 FEET LONG
440 SQUARE FEET OF INFILTRATION AREA

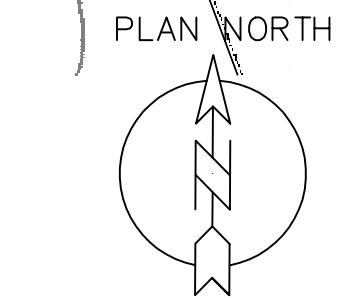
SECONDARY FIELD: 2 LATERALS; 2 FEET DEEP, 1.5 FEET WIDE, 54.6875 FEET LONG
440 SQUARE FEET OF INFILTRATION AREA.

TERTIARY FIELD: 2 LATERALS; 2 FEET DEEP, 1.5 FEET WIDE, 54.6875 FEET LONG
440 SQUARE FEET OF INFILTRATION AREA.

ACTUAL ORDER OF LEACHFIELDS CAN VARY. SOME CONSIDERATION OF LOCATING SEPTIC TANK WILL BE NECESSARY.

OTHER LEACHFIELD LATERAL ALIGNMENTS ARE POSSIBLE. SOILS OF LOW PERMEABILITY ARE PRESENT
AS SUCH ATTENTION DURING INSTALLATION OF LEACHFIELDS IS NECESSARY.

AREA IS OF NATURAL FORM WITH GRASS COVER AND LIGHT BRUSH. TREES ARE PRESENT ALONG MARGIN OF LEACHFIELD AREA.
PROPERTY BOUNDARY TO BE DETERMINED PRIOR TO LEACHFIELD INSTALLATION TO ENSURE 10 FT SETBACK MINIMUM.

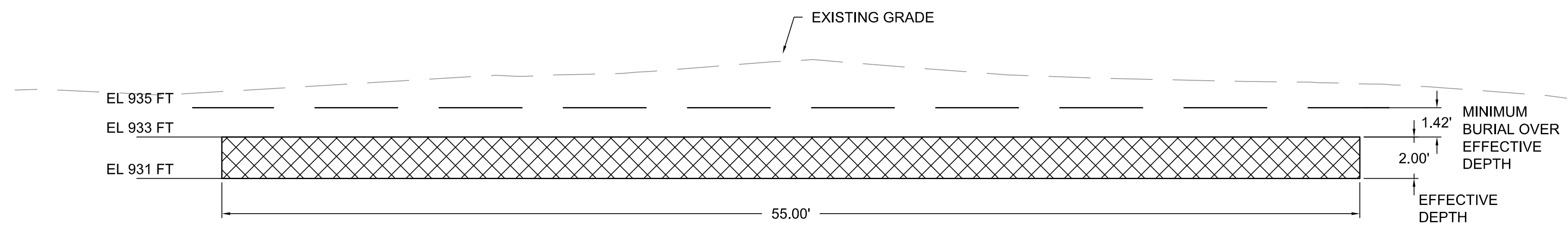


Scale: 1:10
NOTE: TRACER WIRE SHALL BE INSTALLED PER
DETAILS ON SHEET C3.

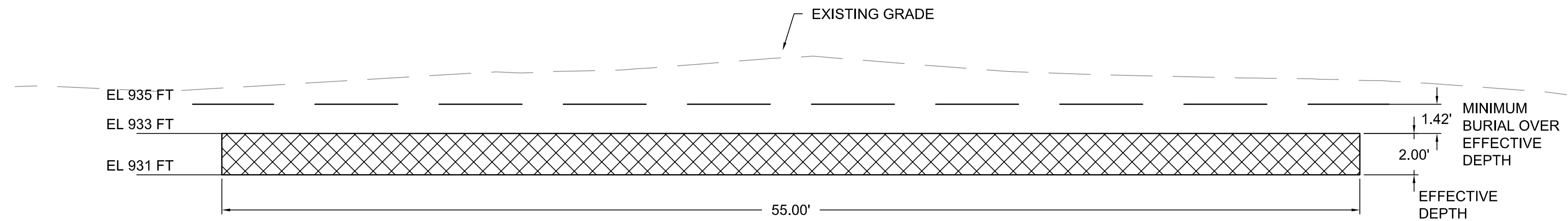
THIS PLAN SET CONSISTING OF SHEETS C-1,
C-2, C-3 AND C-4 DETAILS THE PROPOSED
LATERALS OF THE PRIMARY AND SECONDARY
LEACHFIELDS FOR THE ONSITE WASTEWATER
TREATMENT SYSTEM.

NOT ALL EXISTING OR PROPOSED SITE FEATURES
ARE SHOWN. REFER TO PROJECT PLANS BY
ARCHITECT FOR FURTHER DETAILS. SURVEY
PROVIDED BY ARCHITECT.

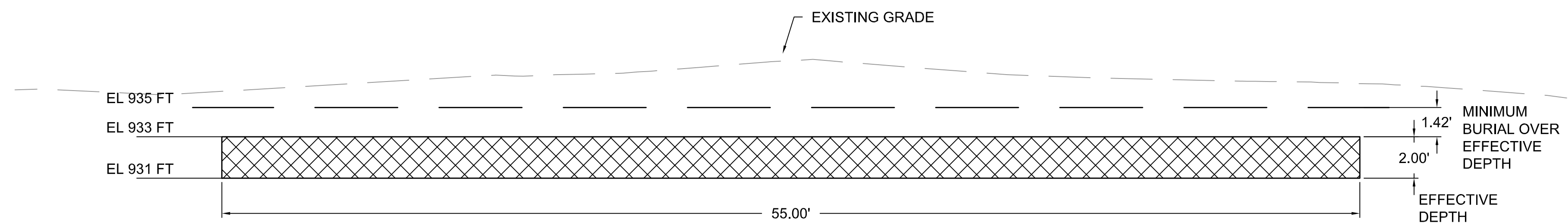
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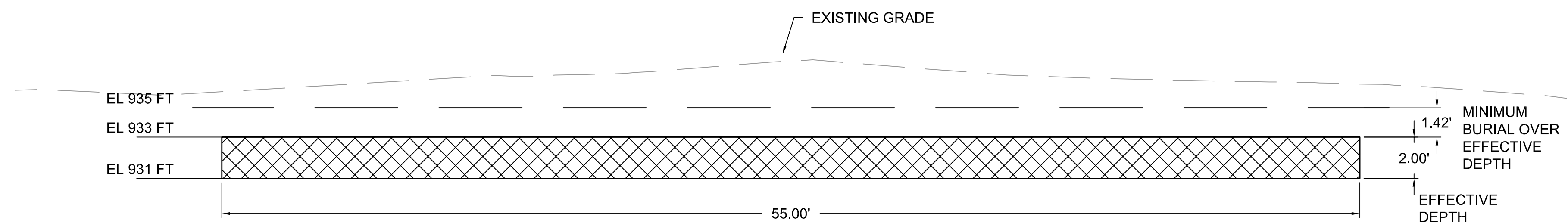
1 PROFILE OF LEACHFIELD LATERAL - PRIMARY FIELD LATERAL 1 OF 2
SCALE 1" = 5'



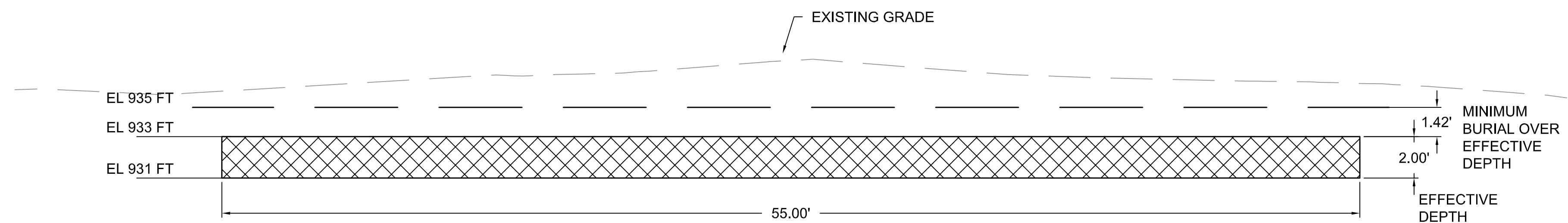
2 PROFILE OF LEACHFIELD LATERAL - PRIMARY FIELD LATERAL 2 OF 2
SCALE 1" = 5'



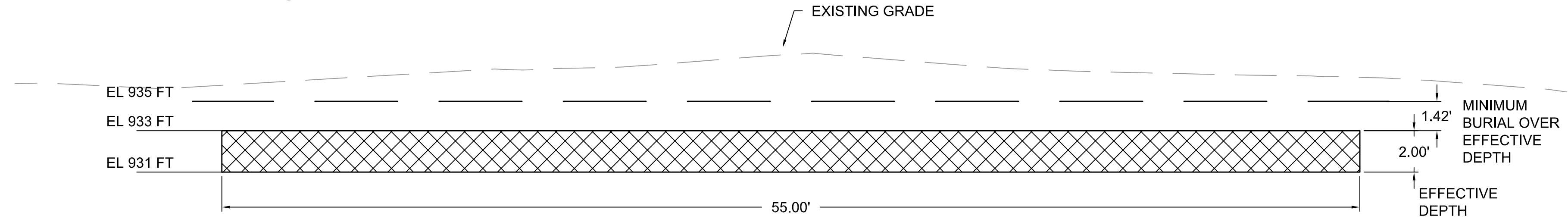
3 PROFILE OF LEACHFIELD LATERAL - SECONDARY FIELD LATERAL 1 OF 2
SCALE 1" = 5'



4 PROFILE OF LEACHFIELD LATERAL - SECONDARY FIELD LATERAL 2 OF 2
SCALE 1" = 5'



5 PROFILE OF LEACHFIELD LATERAL - TERTIARY FIELD LATERAL 1 OF 2
SCALE 1" = 5'



6 PROFILE OF LEACHFIELD LATERAL - TERTIARY FIELD LATERAL 2 OF 2
SCALE 1" = 5'

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C-2.0

Date Plotted: Mar 05, 2025

CAMPBELL RESIDENCE
FILE NO. 7943-24.11

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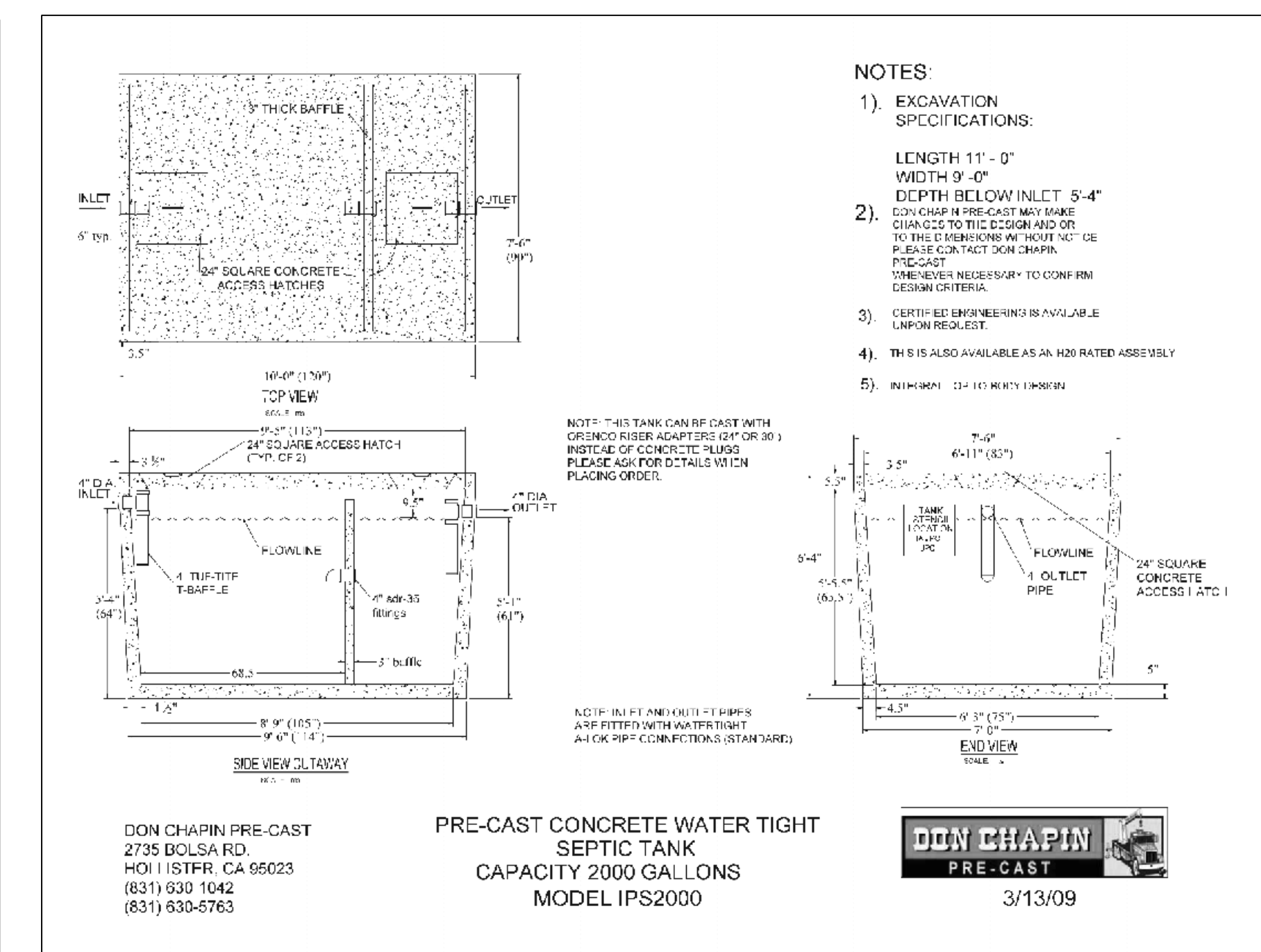
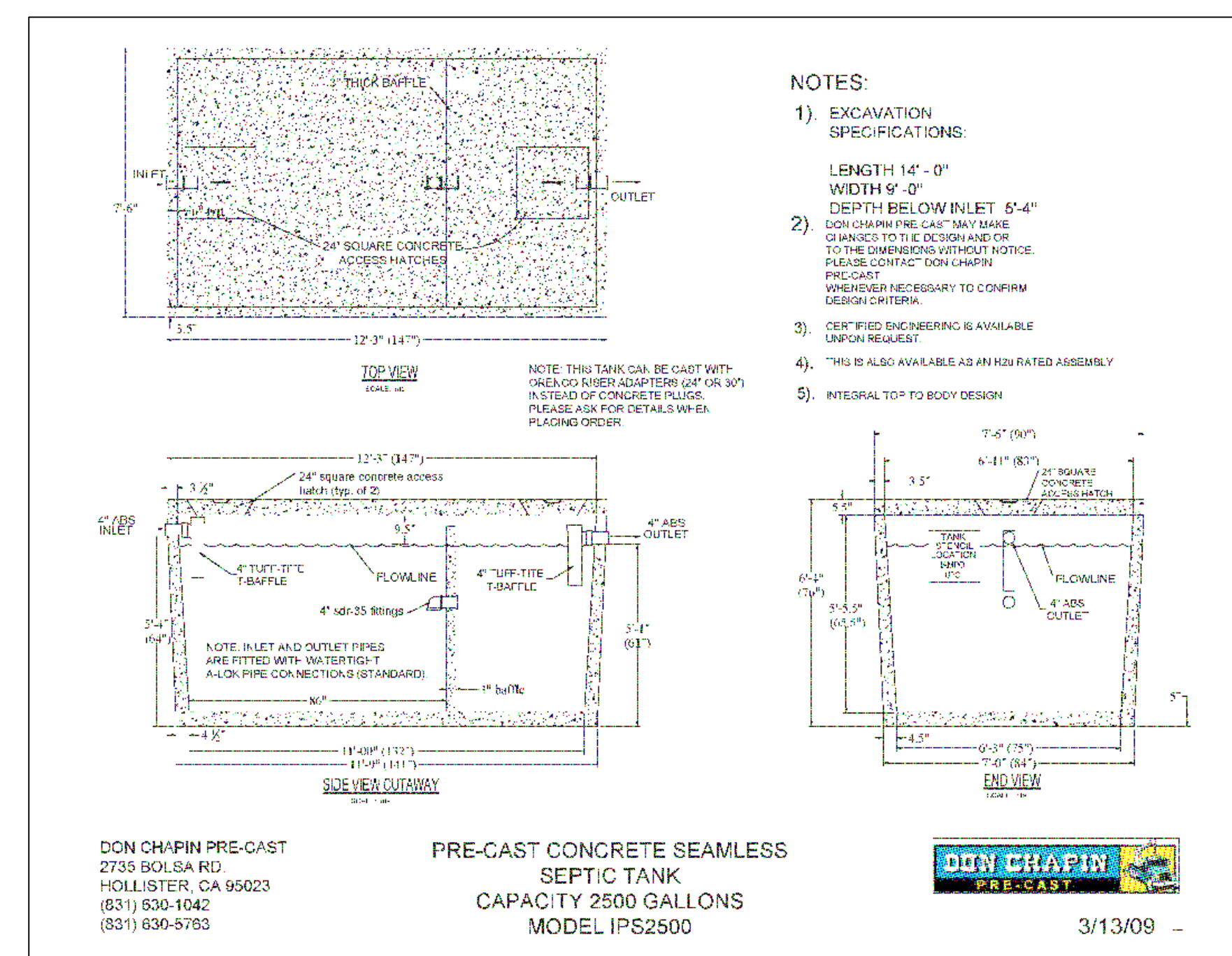
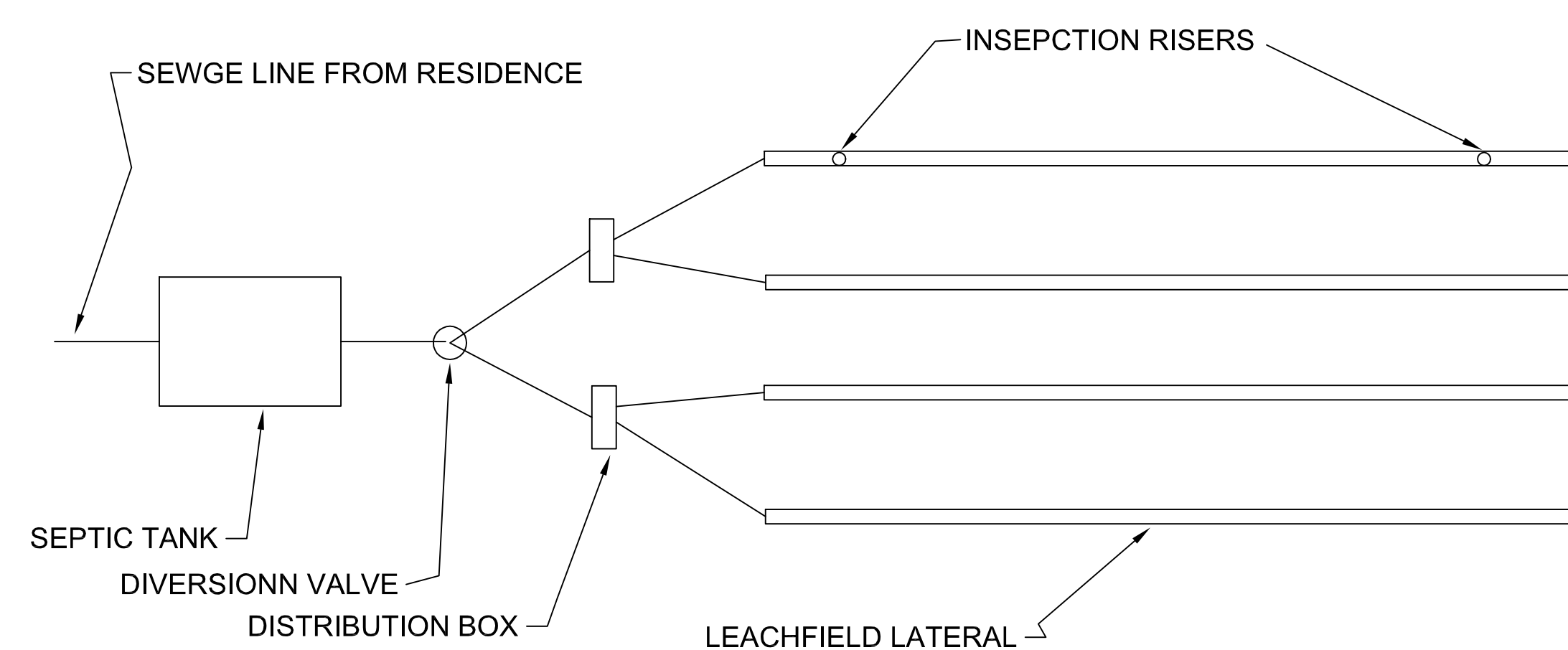
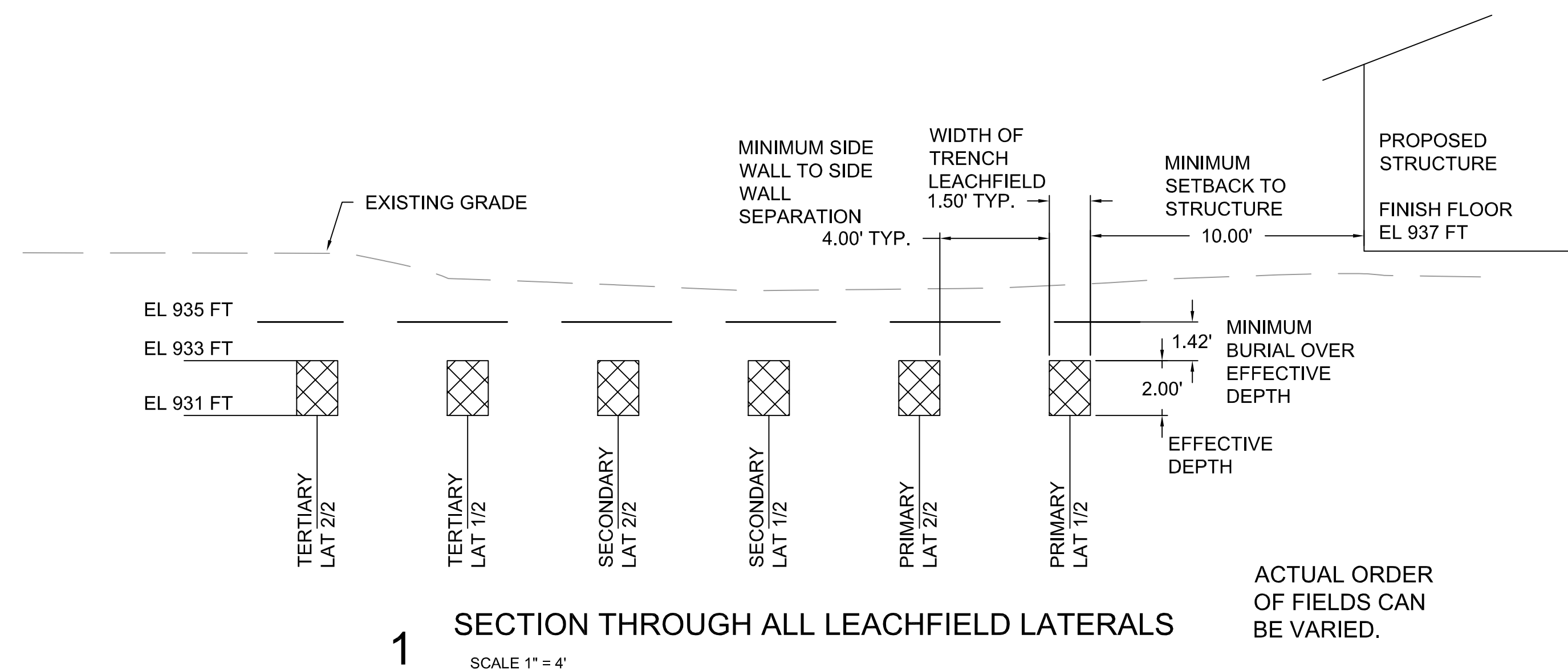
LAWRENCE E. GRICE, P.E. ; R.C.E. 66857

PREPARED FOR:

NASON and NICOLE CAMPBELL
23002 MULETA PLACE
SALINAS, CALIFORNIA 93908

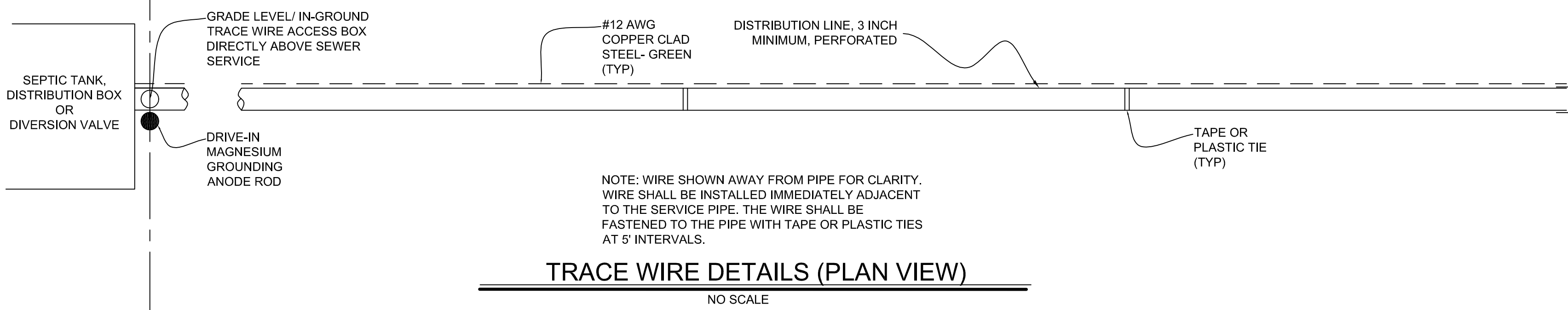
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451 CORRAL DE TIERRA ROAD, SALINAS, CALIFORNIA 93908

ONSITE WASTEWATER TREATMENT SYSTEM
PROFILES AND SECTIONS



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TRACE WIRE SPECIFICATIONS

MATERIALS- GENERAL

ALL TRACE WIRE AND TRACE WIRE PRODUCTS SHALL BE DOMESTICALLY MANUFACTURED.

ALL TRACE WIRE SHALL HAVE HDPE INSULATION INTENDED FOR DIRECT BURY, COLOR COATED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

CONNECTORS

DIRECT BURY WIRE CONNECTORS, INCLUDING 3-WAY LOCKABLE CONNECTOR: SNAKEBITE 3- WAY DIRECT BURY LUG: COPPERHEAD PART # 3WB-01. MAIN LINE SPLICE TO SERVICE LINE CONNECTION SHALL BE SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACE WIRE INSTALLATION, SHALL BE DIELECTRIC SILICON FILLED TO SEAL

OUT MOISTURE AND CORROSION, AND SHALL BE INSTALLED IN A MANNER SO AS TO PREVENT ANY UNINSULATED WIRE EXPOSURE.

TERMINATION/ACCESS

ALL TRACE WIRE TERMINATION POINTS MUST UTILIZE AN APPROVED TRACE WIRE ACCESS BOX (ABOVE GROUND OR GRADE LEVEL/IN-GROUND AS APPLICABLE), SPECIFICALLY MANUFACTURED FOR THIS PURPOSE. A MINIMUM OF 2 FT. OF EXCESS WIRE IS REQUIRED IN ALL GRADE LEVEL TRACE WIRE ACCESS BOXES AFTER SETTING AT FINAL GRADE.

- SERVICE LATERALS ON PRIVATE PROPERTY - TRACE WIRE MUST TERMINATE AT AN APPROVED ABOVE-GROUND TRACE WIRE ACCESS BOX, PROPERLY AFFIXED TO THE BUILDING EXTERIOR, DIRECTLY ABOVE WHERE THE UTILITY ENTERS THE BUILDING; AT AN ELEVATION NOT GREATER THAN 5 VERTICAL FEET ABOVE GRADE OR TERMINATE AT AN APPROVED GRADE LEVEL/IN-GROUND TRACE WIRE ACCESS BOX, LOCATED WITHIN 2 LINEAR FEET OF THE BUILDING BEING SERVED BY THE UTILITY.
- ON LONG-RUNS, IN EXCESS OF 500 LINEAR FEET WITHOUT SERVICE LATERALS OR HYDRANTS, TRACE WIRE ACCESS MUST BE PROVIDED UTILIZING AN APPROVED IN-GROUND TRACE WIRE ACCESS BOX, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, AND OUT OF THE ROADWAY. THE IN-GROUND TRACE WIRE ACCESS BOX SHALL BE DELINEATED USING A POLYETHYLENE MARKER POST, COLOR CODED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

GROUNDING

- TRACE WIRE MUST BE PROPERLY GROUNDED AT ALL DEAD ENDS/STUBS
- GROUNDING OF TRACE WIRE SHALL BE ACHIEVED BY USE OF A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD WITH A MINIMUM OF 20FT OF #14 HDPE COPPER CLAD WIRE CONNECTED TO ANODE (MINIMUM 1.0 LB.) SPECIFICALLY MANUFACTURED FOR THIS PURPOSE, AND BURIED AT THE SAME ELEVATION AS THE UTILITY. DRIVE IN MAGNESIUM ANODE: COPPERHEAD PART # ANO-1005

INSTALLATION-GENERAL

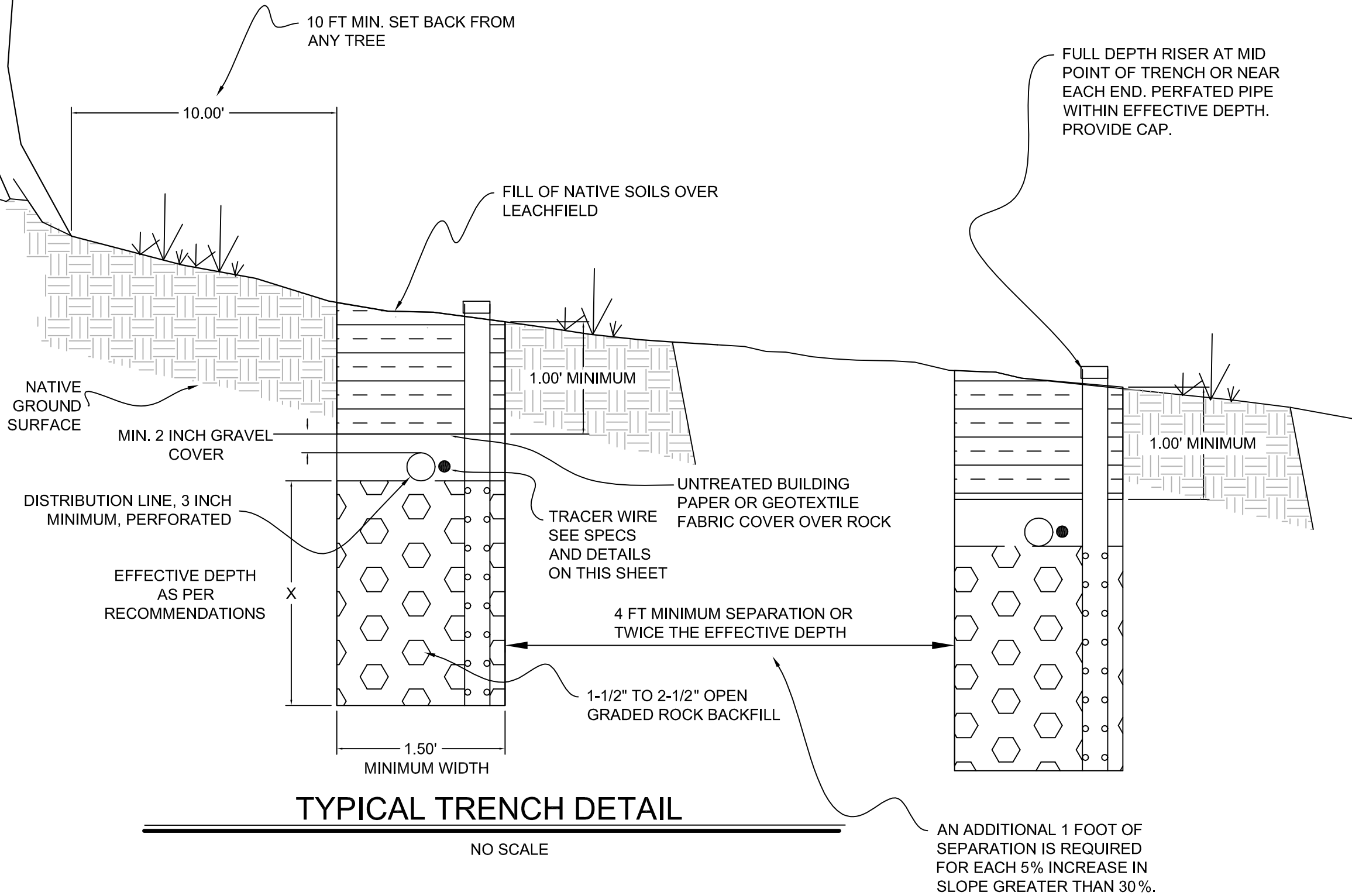
- TRACE WIRE INSTALLATION SHALL BE PERFORMED IN SUCH A MANNER THAT ALLOWS PROPER ACCESS FOR CONNECTION OF LINE TRACING EQUIPMENT, PROPER LOCATING OF WIRE WITHOUT LOSS OR DETERIORATION OF LOW FREQUENCY (512HZ) SIGNAL FOR DISTANCES IN EXCESS OF 1,000 LINEAR FEET, AND WITHOUT DISTORTION OF

SIGNAL CAUSED BY MULTIPLE WIRES BEING INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER.

- TRACE WIRE SYSTEM MUST BE INSTALLED AS A CONTINUOUS SINGLE WIRE. NO LOOPING OR COILING OF WIRE IS ALLOWED.
- ANY DAMAGE OCCURRING DURING INSTALLATION OF THE TRACE WIRE MUST BE IMMEDIATELY REPAIRED IN AN APPROVED WATERPROOF METHOD. TAPING AND/OR SPRAY COATING SHALL NOT BE ALLOWED.
- TRACE WIRE ON ALL SERVICE LATERALS/STUBS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX DIRECTLY ABOVE THE UTILITY, USING COLOR CODED ACCESS BOXES, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, BUT OUT OF THE ROADWAY. (SEE TRACE WIRE TERMINATION/ACCESS)
- ALL MAINLINE DEAD-ENDS SHALL GO TO GROUND USING AN APPROVED WATERPROOF CONNECTION TO A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD, BURIED AT THE SAME DEPTH AS THE TRACE WIRE. THE ANODE WILL BE BURIED ON THE OPPOSITE SIDE OF THE UTILITY AT THE FURTHEST MOST POINT. THE ANODE WIRE WILL BE CONNECTED IN THE TRACE WIRE ACCESS BOX TO THE TRACE WIRE UTILIZING THE CONNECTION POINT IN THE ACCESS BOX.
- MAINLINE TRACE WIRE SHALL NOT BE CONNECTED TO EXISTING CONDUCTIVE PIPES. TREAT AS A MAINLINE DEAD-END, GROUND USING AN APPROVED WATERPROOF CONNECTION TO A GROUNDING ANODE, BURIED AT THE SAME DEPTH AS THE TRACE WIRE.
- ALL SERVICE LATERAL TRACE WIRES SHALL BE CONNECTED TO THE MAINLINE WITH A SINGLE WIRE, (NO LOOPING WILL BE ALLOWED) USING A MAINLINE TO LATERAL LUG CONNECTOR, INSTALLED WITHOUT CUTTING/SPLICING THE MAINLINE TRACE WIRE.
- IN OCCURRENCES WHERE EXISTING TRACE WIRE IS ENCOUNTERED ON AN EXISTING UTILITY THAT IS BEING EXTENDED OR TIED INTO, THE NEW AND EXISTING TRACE WIRE SHALL BE CONNECTED USING APPROVED SPLICE CONNECTORS. SHALL BE PROPERLY GROUNDED AT THE SPLICE LOCATION AS SPECIFIED AND BE COMPLETELY WATERPROOF TO PROHIBIT CORROSION AND LOSS OF CONDUCTIVITY.

INSTALLATION - SANITARY SEWER SYSTEM

- LAY MAINLINE TRACE WIRE CONTINUOUSLY, BY-PASSING AROUND THE OUTSIDE OF MANHOLES/STRUCTURE ON THE NORTH OR EAST SIDE.
- TRACE WIRE ON ALL SANITARY LATERALS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX COLOR CODED GREEN AND LOCATED DIRECTLY ABOVE THE SERVICE LATERAL AT THE ROAD RIGHT OF WAY. FOLLOW GROUNDING SPECIFICATION AND CONNECTIONS.



TRACE WIRE SPECIFICATIONS (CONTINUED)

PROHIBITED PRODUCTS AND METHODS

THE FOLLOWING PRODUCTS AND METHODS SHALL NOT BE ALLOWED OR ACCEPTABLE

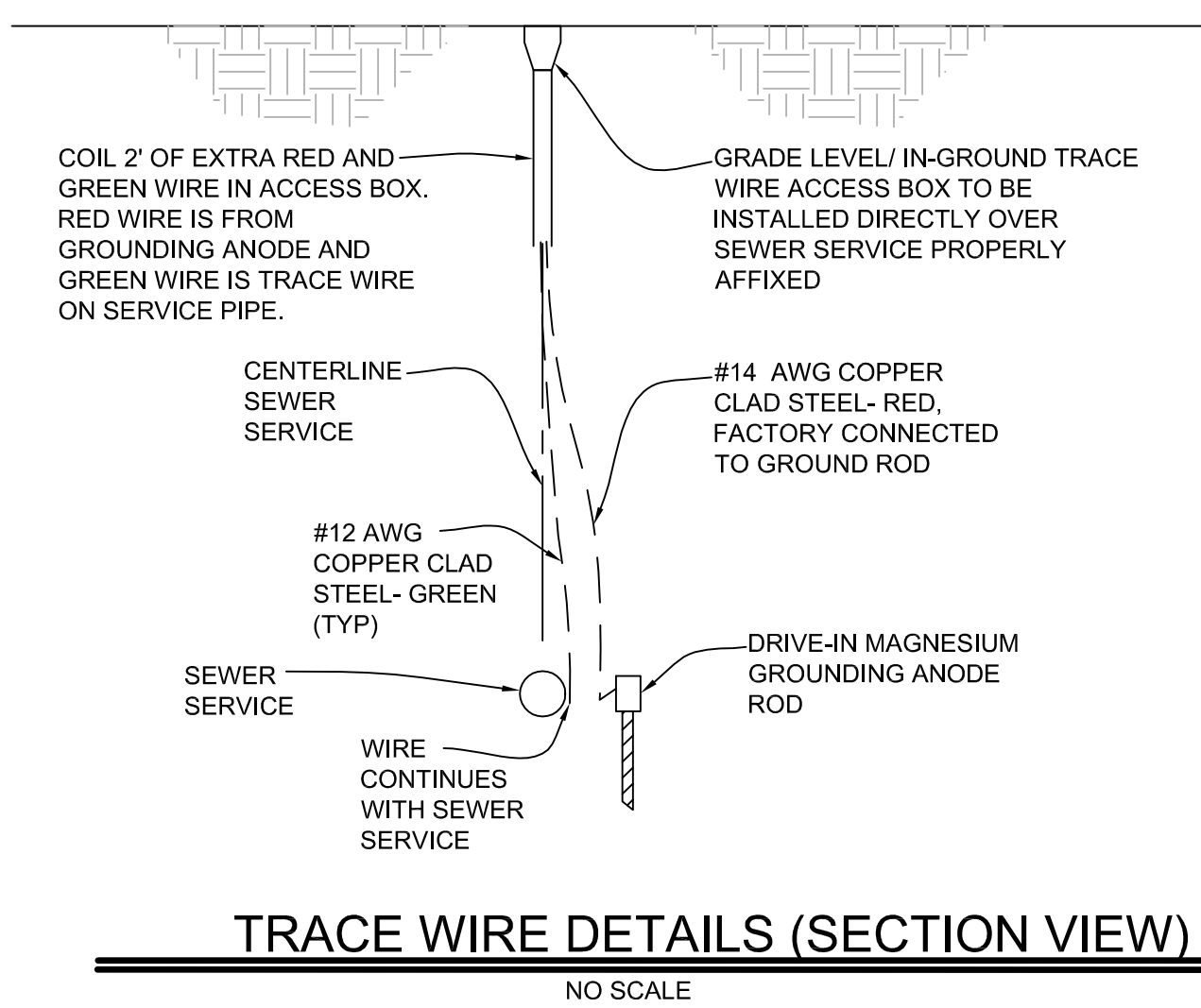
- UNINSULATED TRACE WIRE
- TRACE WIRE INSULATIONS OTHER THAN HDPE
- TRACE WIRES NOT DOMESTICALLY MANUFACTURED
- TWIST-ON WIRE CONNECTORS
- BRASS OR COPPER GROUND RODS
- WIRE CONNECTIONS UTILIZING TAPING OR SPRAY-ON WATERPROOFING
- LOOPED WIRE OR CONTINUOUS WIRE INSTALLATIONS, THAT HAS MULTIPLE WIRES LAID SIDE-BY-SIDE OR IN CLOSE PROXIMITY TO ONE ANOTHER
- BRASS FITTINGS WITH TRACE WIRE CONNECTION LUGS
- WIRE TERMINATIONS WITHIN THE ROADWAY, I.E. IN VALVE BOXES, CLEANOUTS, MANHOLES, ETC.
- CONNECTING TRACE WIRE TO EXISTING CONDUCTIVE UTILITIES: EXPLANATION, TO PREVENT CORROSION AT EXISTING GROUNDING OPTIONS ON CORPS OR CURB STOPS OR SPLICES, ANODE GROUNDING WILL PREVENT THE WIRE FROM CORRODING.

TESTING

ALL NEW TRACE WIRE INSTALLATIONS SHALL BE LOCATED USING TYPICAL LOW FREQUENCY (512HZ) LINE TRACING EQUIPMENT, WITNESSED BY THE CONTRACTOR, ENGINEER AND FACILITY OWNER AS APPLICABLE, PRIOR TO ACCEPTANCE OF OWNERSHIP.

THIS VERIFICATION SHALL BE PERFORMED UPON COMPLETION OF ROUGH GRADING AND AGAIN PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

CONTINUITY TESTING IN LIEU OF ACTUAL LINE TRACING SHALL NOT BE ACCEPTED.



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CAMPBELL RESIDENCE ; A.P.N. 416-401-003-000
451 CORRAL DE TIERRA ROAD, SALINAS, CALIFORNIA 93908

ONSITE WASTEWATER TREATMENT SYSTEM
DETAILS AND SPECIFICATIONS

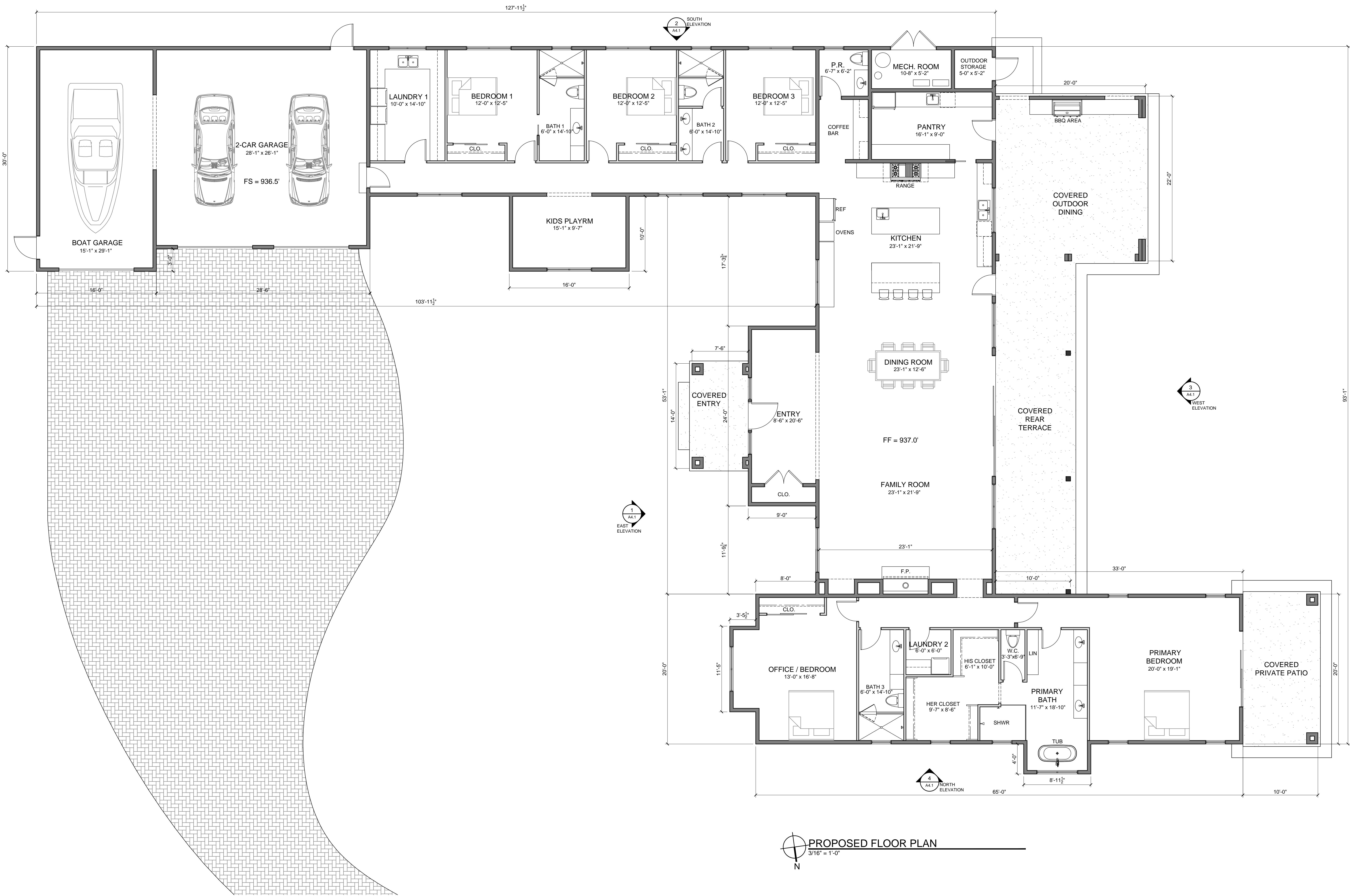
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Date Plotted: Mar 07, 2025

CAMPBELL RESIDENCE
FILE NO. 7943-24.11



- WALL LEGEND**
- NEW 2x4 WALLS
 - NEW 2x6 WALLS
- EXTERIOR WALLS: 2x6 STUDS @ 16" OC U.O.N. CEMENT PLASTER ON EXTERIOR FACE WITH 5/8" TYPE 'X' GWB ON THE INTERIOR.
 - INTERIOR WALL- 2x4 STUDS @ 16" OC WITH 5/8" TYPE 'X' GWB ON BOTH SIDES.
 - SHOWER AND TUB WALLS SHALL HAVE FLOOR TO CEILING GLASS MAT GYPSUM PANELS, FIBER-REINFORCED GYPSUM PANELS, NON ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS[R702.4.2] OTHERWISE NOTED.
 - CONTRACTOR TO SEE ARCHITECTURAL & STRUCTURAL WALL DETAILS FOR ADDITIONAL NOTES REGARDING INSULATION, SHEAR, SOUND, ETC.
 - SEE BUILDING SECTIONS SHEET FOR INSULATION SCHEDULE.
 - PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR LOCATIONS.

AGING-IN-PLACE DESIGN & FALL PREVENTION

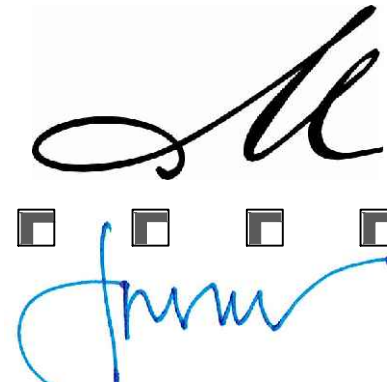
- IN NEW CONSTRUCTION
- PROVIDE REINFORCING FOR FUTURE GRAB BARS IN AT LEAST ONE RESTROOM ON THE ENTRY LEVEL. [R327.1.1] REINFORCEMENT SHALL BE NOT LESS THAN 2X8 BLOCKING LOCATED BETWEEN 32" AND 39-1/4" ABOVE FINISHED FLOOR, FLUSH WITH THE WALL FRAMING. [R327.1.1 #2]
 - ALL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS SHALL BE NO MORE THAN 48" ABOVE FINISHED FLOOR AND NO LESS THAN 15" ABOVE FINISHED FLOOR. [R327.1.2]
 - AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A NET CLEAR OPENING OF NOT LESS THAN 32" MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.
 - DOORBELL BUTTONS, WHEN INSTALLED, SHALL EXCEED MORE THAN 48" ABOVE THE EXTERIOR FLOOR OR LANDING. [R327.1.4]

PROJECT NAME:

CAMPBELL RESIDENCE

451 CORRAL DE TIERRA
SALINAS, CA.
93908

APN: 416-401-003
JOB NUMBER: 2417



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PRINT DATE: 3/10/2025

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SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:

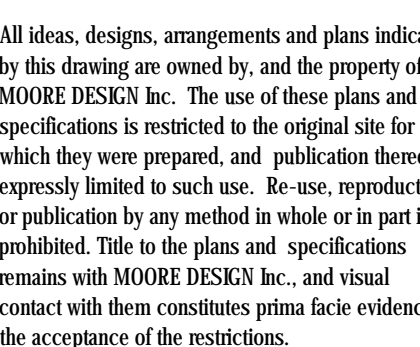
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PRINT DATE: 3/10/2025

SHEET TITLE:

BARN PLANS

SHEET NUMBER:

A2.2



PROPOSED BARN FLOOR PLAN

1/4" = 1'0"

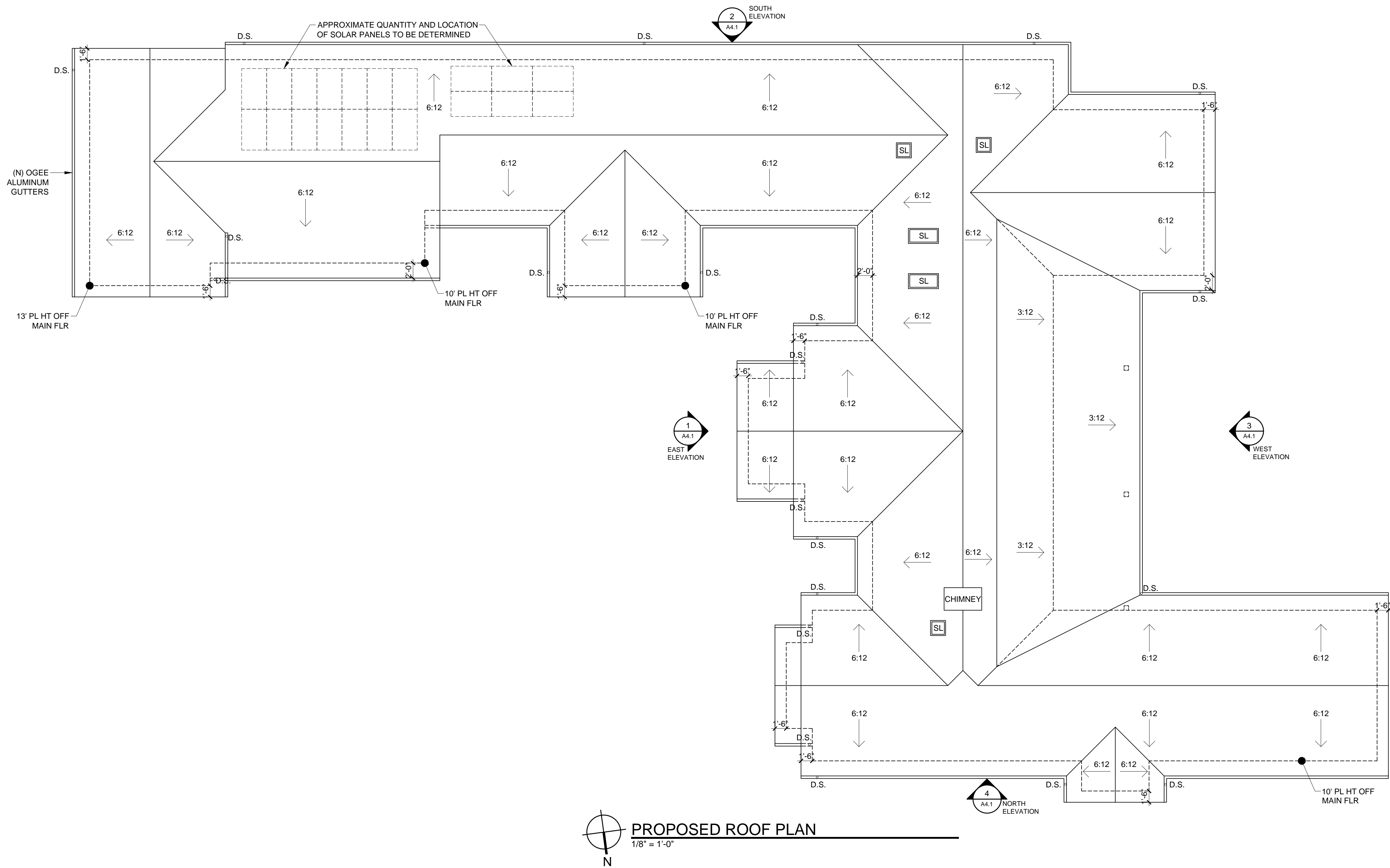


PROPOSED BARN ROOF PLAN

$$1/4^{\circ} = 1'-0"$$

GENERAL ROOF & CHIMNEY NOTES

1. Roof Material = Certainteed Landmark TL (moire black)
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 6/12 unless otherwise noted
4. Overhang = 24" unless otherwise noted
5. Oggee gutters with (round or square) downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location
7. SPARK ARRESTER: Net free area of spark arrester shall not be less than four times the net free outlet of the chimney flue it serves, arrester screen shall have heat and corrosion resistance equal to 12 gage wire, 19 gage galvanized steel or 24 gage stainless steel (CRC R1003.9.1).
8. CHIMNEY TERMINATION: Chimneys shall extend a least 2' higher than any portion of a building within 10' horizontally, but shall not be less than 3' above the highest point where the chimney passes through the roof (CRC R1003.9).
9. Masonry or concrete chimneys shall be anchored at each floor, ceiling or roof line more than 6' above grade with 22 3/16" x 1" metal straps hooked around the outer bars and extend 6" beyond the bend. Each strap shall be fastened to not less than four floor ceiling or floor joists or rafters with two 1/2 inch bolts per CRC R1001.4.1

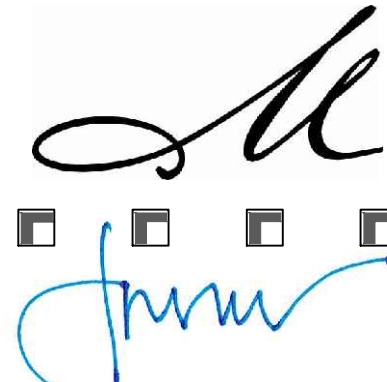


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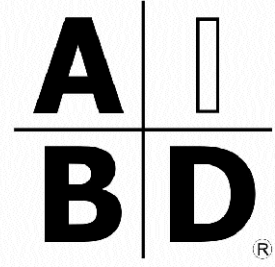
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SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A2.3

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APN: 416-401-003
JOB NUMBER: 2417



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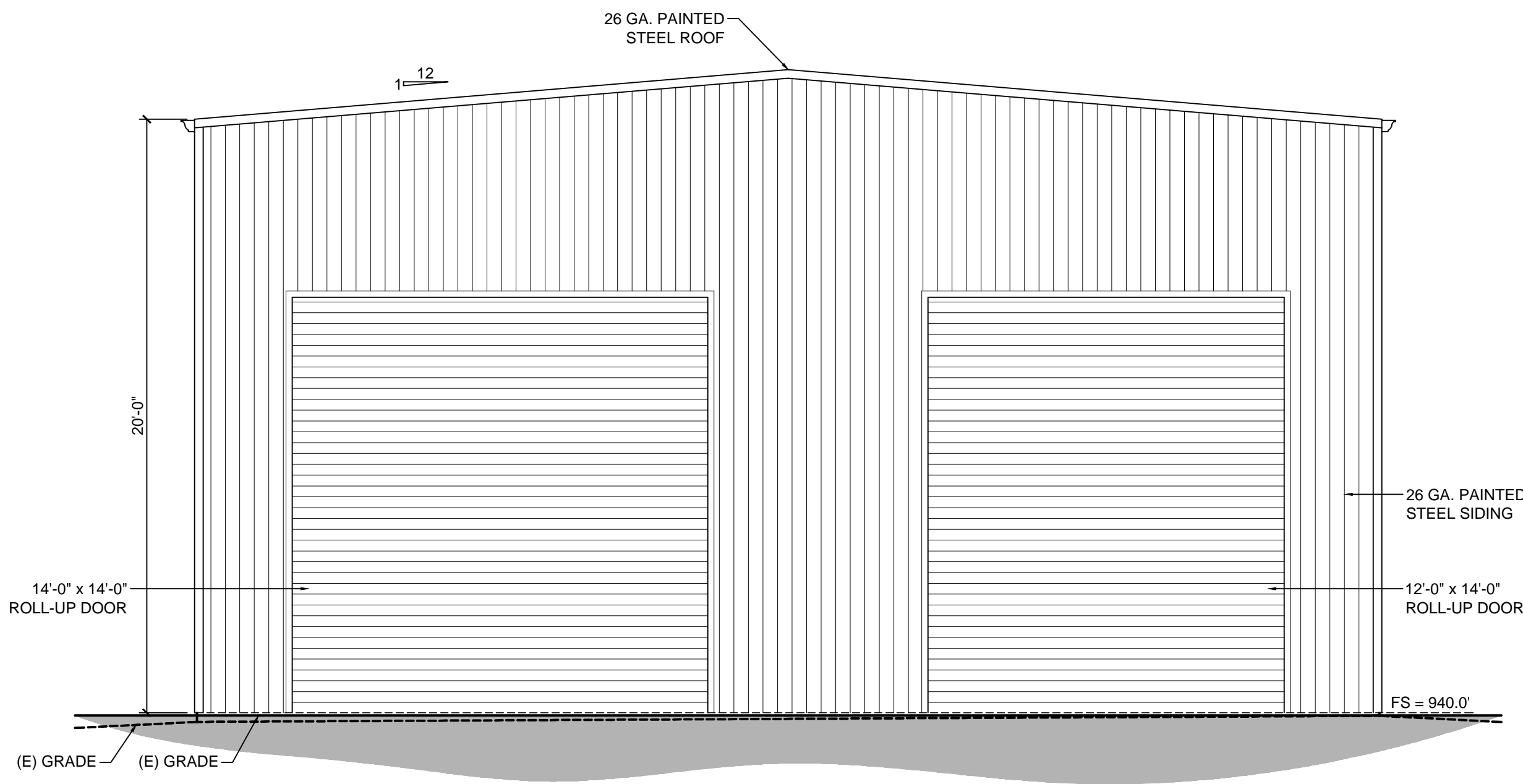
ELEVATIONS

A4.1

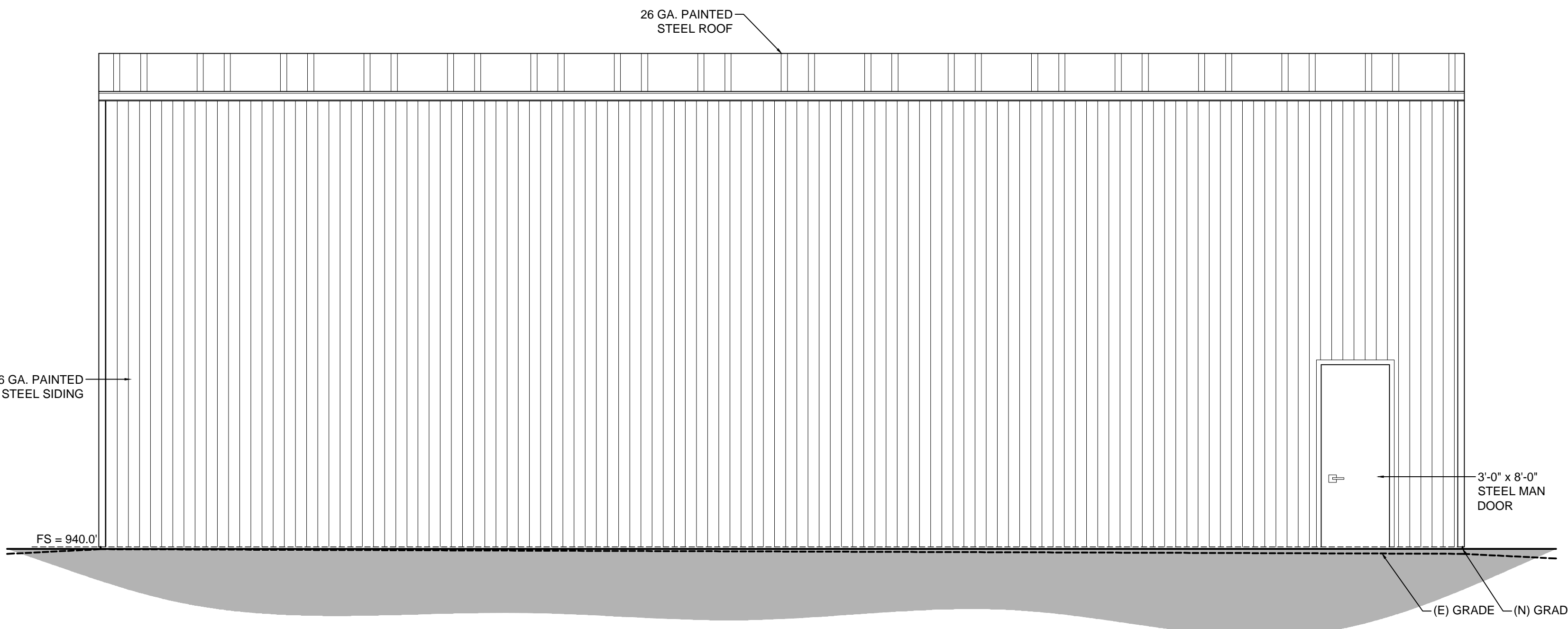


1. ROOF - CERTAINTED LANDMARK TL (MOIRE BLACK)
2. WALLS - TWO COATS EXTERIOR PAINT, BODY COLOR - CLOUD WHITE, TRIM COLOR - ONYX, PER 787 2/3 LBS PER 100 SQ YD. PLASTER W/ EXP. METAL LATH & PLASTESIZER ADDITIVE (3 COAT PER CBC 2508.1) 0/2 LAYERS GRADE 'T' BLDG. PAPER.
3. EAVE DETAIL - NONE
4. WINDOWS - KOLBE VISTALUX ALUMINUM CLAD DOUBLE PANE (BLACK)
5. WINDOW DETAIL - WOOD TRIM WITH SILL AND APRON
6. GUTTERS - OGEE GUTTERS
7. WALL ACCENTS - STONE VENEER (K2 COUNTRY COTTAGE)
8. CORBEL DETAIL - STAINED WOOD CORBEL

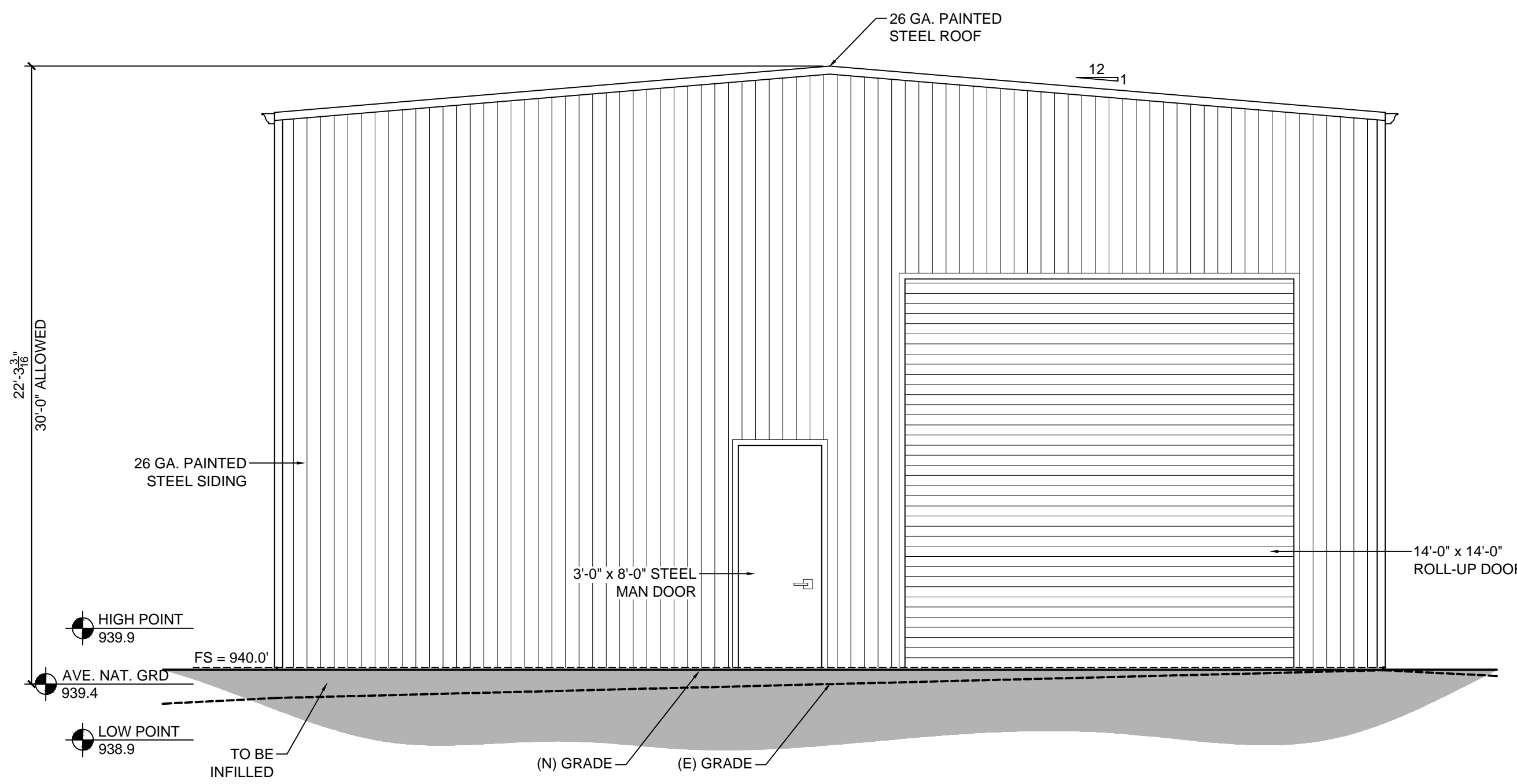




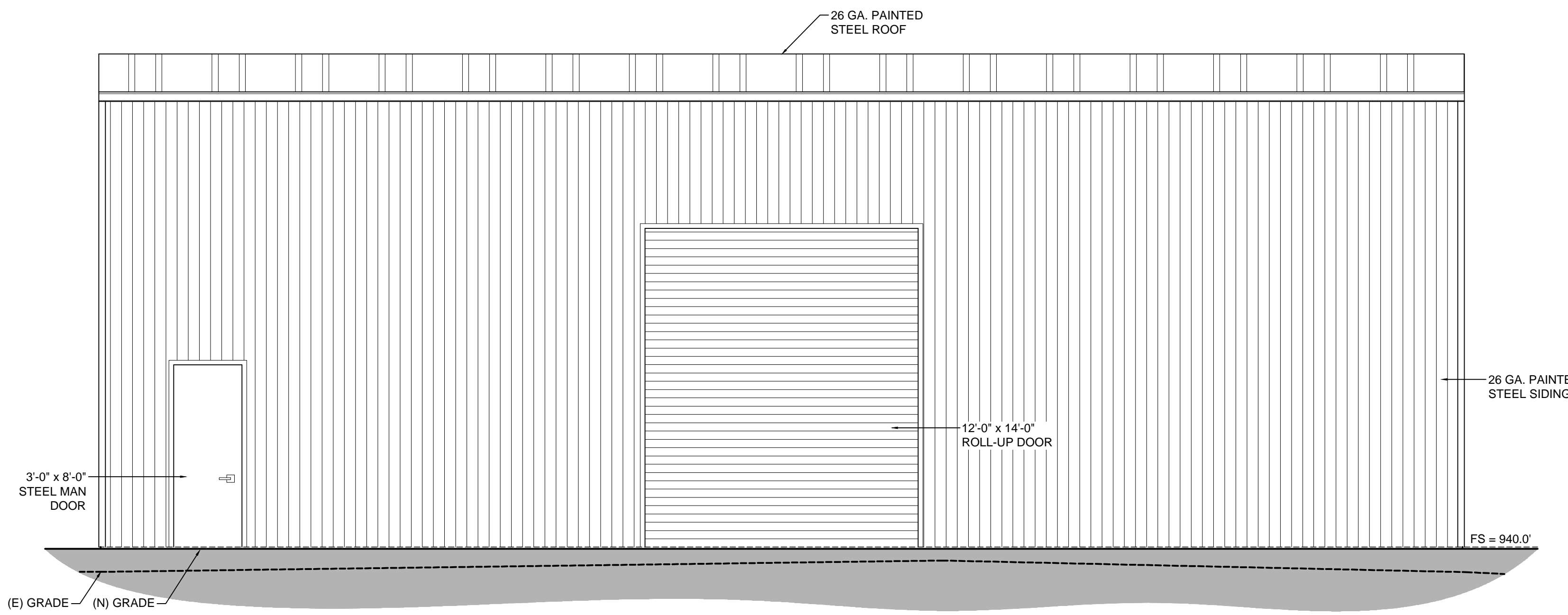
1 PROPOSED BARN NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED BARN WEST ELEVATION
1/4" = 1'-0"



3 PROPOSED BARN SOUTH ELEVATION
1/4" = 1'-0"



4 PROPOSED BARN EAST ELEVATION
1/4" = 1'-0"

PROJECT NAME:
**CAMPBELL
RESIDENCE**

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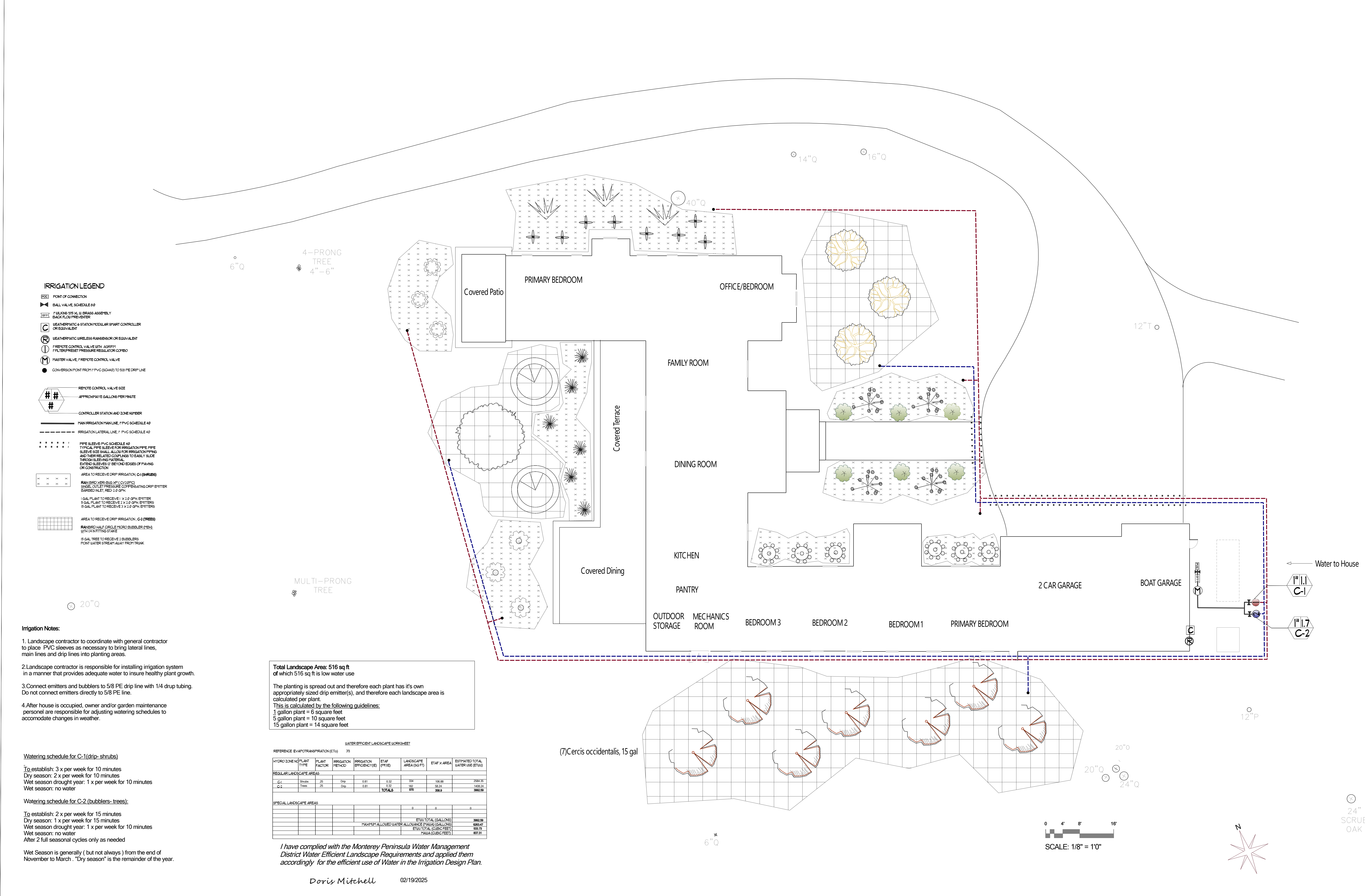
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SHEET TITLE:
**BARN
ELEVATIONS**

SHEET NUMBER:
A4.2



Sheet Number:	Sheet Title:	Date:	Client/Project :			Capriola & Mitchell Landscape Design Services
L.1	Irrigation Plan	02/18/2025	CAMPBELL RESIDENCE			Nina Capriola
		Scale: 1/8"= 1'-0"	451 CORRAL DE TIERRA			831.595.7053
		Drawn by: NC, DM	SALINAS, CA 93908	APN: 416-401-003		Ninacaprioladesign.com
						Doris Mitchell
						831.595.5205
						CSCL 1117798

FIRE PROTECTION NOTES:

Maintain a defensible space of 100 feet around structures (PRC 4291)

1. No flammable materials within 5 feet of the building (Zone 0)
2. Remove flammable vegetation within 30 feet of building
3. All lower tree branches of trees within 70' of the building to be removed from ground to 6 feet.
4. Remove any seasonal vegetation by May of the calendar year or cut down with a line trimmer to 3"
5. Maintain all plants in a healthy manner, remove any dead wood

LANDSCAPE NOTES:

1. Landscape designer to approve plant material and layout BEFORE planting commences
2. Mulch: Install a minimum of 3" mulch of recycled wood fines or similar in planted areas except within 5 feet of buildings.
3. Compost: Compost min. of 4 cubic yards per 1,000 sq. ft. of permeable area to a depth of 6".
4. Transform compacted soils to friable condition before planting.
5. Prepare planting hole double the size of the root ball and amend with organic compost at a ratio of 30% compost & 70% native soil . Do not amend planting holes for native plants.
6. Trees shall be staked with 2-3 tree stakes and rubber ties.
7. Water plants by hand at least 3 times after planting before solely usnif the irrigation system.

LEGEND

SYMBOL	QTY	BOTANICAL NAME	WUC	COMMON NAME	SIZE
	2	Acacia baileyana	L	Cootamundra Wattle	15 gal
	1	Arbutus marina	L	Strawberry Tree	15 gal
	3	Ceanothus "Joyce Coulter" native	L	California Lilac , Joyce Coulter	5 gal
	3	Ceanothus "Snow Flurry" native	L	California Lilac, Snow Flurry	5 gal
	7	Cercis occidentalis, standard	VL	Western Redbud	15 gal
	4	Chondropetulum techtorum	L	Small Cape Rush	1 gal
	6	Choysia ternata	L	Mexican Orange	5 gal
	6	Muhlenbergia dumosa	L	Bamboo Muhly	1 gal
	6	Olea "Little Ollie"	VL	Dwarf Olive	5 gal
	8	Phlomis fruticosa	L	Phlomis fruticosa	1 gal
	3	Phormium tenax"Atropurpureum"	L	Purple Flax	5 gal
	3	Quercus agrifolia native	VL	California Live Oak	15 gal

*FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES
A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS)

M: MODERATE WATER NEEDS
L: LOW WATER NEEDS
VL: LOW WATER NEEDS

I have complied with the Monterey Peninsula Water Management District Water Efficient Landscape Requirements including, but not limited to, the use of climate appropriate non-invasive species, and limited turf.

Doris Mitchell 02/18/2025

Sheet Number: L.1	Sheet Title: Landscape Plan	Date: 02/18/2025 Scale: 1/8"= 1'-0" Drawn by: NC, DM	Client/Project : CAMPBELL RESIDENCE 451 CORRAL DE TIERRA SALINAS, CA 93908 APN: 416-401-003	Capriola & Mitchell Landscape Design Services Nina Capriola 831.595.7053 Ninacaprioladesign.com Doris Mitchell 831.595.5205 CSCL # 1117798
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