

Exhibit A

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DRAFT RESOLUTION

Before the Planning Commission in and for the County of Monterey, State of California

In the matter of the application of:

BECK GARRETT ANDREW (PLN240355)

RESOLUTION NO. 26-

Resolution by the County of Monterey Planning Commission:

- 1) Finding that the construction of the first single-family dwelling on a lot which allows residential uses qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 1,000 square foot two-story single-family dwelling with an attached 630 square foot lower-level garage, 592 square foot uncovered deck, 720 square foot covered balcony, and associated site improvements, including the removal of one Coast live oak tree; and a Use Permit to allow development on slopes in excess of 25%.

[PLN240355, Garrett Beck, 146 San Benancio Road, Salinas, Toro Area Plan (Assessor's Parcel Number 416-261-039-000)]

The BECK GARRETT ANDREW application (PLN240355) came on for a public hearing before the County of Monterey Planning Commission on April 29, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Toro Area Plan; and
 - Monterey County Zoning Ordinance (Title 21).

No conflicts were found to exist. No communications were received during the course of review of the project, indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The proposed project is for the construction of a 1,000 square foot two-story single-family dwelling with an attached 630 square foot lower-level garage, a 592 square foot uncovered deck, and a 720 square foot cantilevered covered wraparound balcony. Colors and materials of the proposed single-family dwelling will include olive green board and batten exterior siding with dark brown trim and fascia, brown composite shingled roof, redwood deck with stainless steel railing, and black metal exterior lighting fixtures. The project also involves a Use Permit to allow development of the residence on slopes in excess of 25%. Associated site improvements will include the removal of one 11-inch Coast live oak tree to accommodate driveway access to the main dwelling, 135 square feet of stairs, 130 linear feet of concrete site retaining walls ranging from 2 to 5 feet in height, a generator, installation of an on-site wastewater treatment system, and a treatment system for the existing shared two-connection water system. Grading consists of approximately 200 cubic yards of cut and 200 cubic yards of fill.
- c) Allowed Use. The property is located at 146 San Benancio Road, Salinas, Toro Area Plan (Assessor's Parcel Number 416-261-039-000). The parcel is zoned Resource Conservation with a 40-acre minimum and Design Control overlay or "RC/40-D", which allows for the first single-family dwelling per a legal lot of record pursuant to Title 21 Section 21.36.030.A. In the D zoning district, the single-family dwelling requires a Design Approval pursuant to Section 21.44.050. The project proposes the removal of one Coast live oak tree and 4,327 square feet of development on slopes, which is the minimal amount necessary to accommodate the main residence. The proposed development on slopes requires the granting of a Use Permit. The development avoids impacts to viewshed resources and will have minimal impacts on forest and soil resources (See Finding No. 1, Evidence "k", and Findings Nos. 3 and 4). Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The property is shown in its current configuration as Parcel B, as shown on the map filed January 25, 1978, in Book 12 of Parcel Maps, at Page 47, in the Monterey County Recorder's Office. Therefore, the County recognizes the parcel as a legal lot of record.
- e) Design/Neighborhood and Community Character. Pursuant to Chapter 21.44 of Title 21, the project site and surrounding area are designated as a Design Control Zoning District ("D" zoning overlay), which regulates the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character. See Finding No. 4 and supporting evidence below.
- f) Setbacks. The development standards for the RC zoning district are identified in Title 21 Section 21.36.060. Required setbacks for main dwellings are 30 foot (front), 20 foot (sides), and 20 foot (rear) and the minimum distance between accessory and main structures is 10 feet. The maximum allowed height is 30 feet. However, pursuant to Toro Area Plan Policy T-3.3, a special 100-foot setback from San Benancio

Road is required for the Toro Scenic Highway Corridors and Visual Sensitivity Map. As proposed, the two-story single-family dwelling will have a 45-foot (front), 615-foot (right side), 104-foot (left side), and 347-foot (rear) setbacks. The proposed height is 25 feet above the average natural grade. Associated site improvements will consist of the installation of an on-site wastewater system, site retaining walls, and a driveway. Therefore, the project is consistent with the development standards as outlined in Title 21.

- g) Site Coverage. Pursuant to Title 21 Section 21.36.060.E, the maximum allowed site coverage is 25%. As proposed, the project would have a total site coverage of 2,312 square feet, which equals 0.5% of the approximate 10-acre parcel. Therefore, as proposed, the project meets the required coverage limitations.
- h) Development on Slopes. The subject project is located on a vacant lot with slopes in excess of 25%. Given the steep terrain of the entire project site, there is no feasible alternative that would allow development of the first single-family dwelling to occur on slopes less than 25%. See Finding No. 5 and supporting evidence below.
- i) Existing Easements. The subject parcel is already restricted by existing Conservation and Scenic Easements, which are conveyed over steep slopes to the north, south, and west of the proposed building site. These conservation easements were established with the subdivision in 1978. All proposed development was carefully sited and designed to be outside of these easements.
- j) Cultural Resources. The project site is in an area designated as having high archaeological sensitivity. On February 1, 2025, an Archaeological Report (LIB250298) was prepared by Dana E. Supernowicz with Historic Resources Associates. A pedestrian survey was performed at the project site and the results of that survey were negative. The potential for inadvertent impacts to cultural resources will be addressed by the County's standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction. See Finding No. 7, Evidence "b".
- k) Tree Removal. The proposed project includes the removal of a single-stemmed Coast live oak tree with a trunk diameter breast height (DBH) of 11 inches measured two feet above ground level. Pursuant to Title 21 Section 21.64.260.D.2, the Chief of Planning may approve the removal of no more than three protected trees per lot in one year without a Use Permit. Additionally, pursuant to Toro Area Plan Policy T-3.7, the removal of healthy, native oak trees in the Toro Planning Area shall be discouraged. The 11-inch oak is located along the shared private road off San Benancio Road and is sited within the proposed driveway configuration. The driveway is short, simple, and direct, thereby limiting the need to remove additional trees. The location of the proposed single-family dwelling was chosen to avoid the amount of tree removal required for development.

An Arborist Report (LIB250295) was submitted with the project by qualified arborist Frank Ono, dated February 4, 2025 and April 8, 2026. The report analyzed the forest resources on-site and potential impacts

from the proposed development. Findings indicate that the site functions as an open oak savannah system with generally stable forest conditions and no widespread disease presence. Development has been carefully sited to avoid encroachment into critical root zones and to retain the majority of existing canopy cover, thereby maintaining ecological function and visual character.

The project is conditioned to require a building permit prior to tree removal (Condition No. 11) and the applicant would need to abide by the 1:1 tree replacement (Condition No. 12) for the removal of one oak. The arborist also addresses fuel management and defensible space best management practices to reduce wildfire risk. Measures for tree protection during construction have been incorporated as conditions of approval and include tree root protection (Condition No. 10) and a raptor and migratory bird nest survey if tree removal were to take place during February 22 through August 1 (Condition No. 8).

The project has been designed and sited to minimize the removal of protected trees to the greatest extent feasible. However, given the existing site constraints and need for a driveway to accommodate access to the primary residence, the one tree to be removed is the minimum amount necessary to achieve development standards. As demonstrated, the project meets the required findings to allow the removal of one oak tree.

- l) Toro Land Use Advisory Committee (LUAC) Review. Based on the LUAC procedure guidelines adopted by the County of Monterey Board of Supervisors Resolution No. 15-103, the project was referred to the Toro LUAC for review on March 23, 2026. Questions were raised regarding site suitability and the quantities of the proposed tree replacement. The applicant provided a full set of plans showing that the location of the proposed residence is sited in an area that minimizes development on slopes. To address tree replacement, staff reached out to the project arborist and confirmed that only one tree will be removed and replanted. All other comments were non-substantive and outside of the LUAC's purview. The LUAC unanimously recommended approval of the project as proposed by a vote of 5-0, with one member absent.
- m) The project planner conducted a site inspection on February 27, 2026, to verify that the project on the subject parcel conforms to the plans listed above.
- n) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN240355.

2. FINDING: **SITE SUITABILITY** – The site is physically suitable for the proposed development and/or use.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and Monterey County Regional Fire Protection District. County staff reviewed the application materials and plans to verify that the project on

the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to archaeological, cultural, forest, and soil resources. The following reports have been prepared:
 - “Arborist Report” (County of Monterey Library No. LIB250295) prepared by Frank Ono, Pacific Grove, CA, February 4, 2025; and April 8, 2026.
 - “Geotechnical Report” (County of Monterey Library No. LIB250296) prepared by Grice Engineering, Inc., Salinas, CA, April 9, 2025.
 - “Phase I Archaeological Report” (County of Monterey Library No. LIB250298) prepared by Historic Resource Associates, Pebble Beach, CA, February 1, 2025.
 - “On-Site Wastewater Treatment System Study” (County of Monterey Library No. LIB250299) prepared by Grice Engineering, Inc., Salinas, CA, April 9, 2025.

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff have independently reviewed these reports and concur with their conclusions. All development shall be in accordance with these reports.

- c) Staff conducted a site inspection on February 27, 2026, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN240355.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau (EHB), and Monterey County Regional Fire Protection District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided to serve the proposed single-family residence. The subject parcel is served by an existing on-site domestic well that is part of an inactive small water system permit, San Benancio Water System #51 (EHB Record No. WA0001664), which serves Assessor’s Parcel Numbers 416-261-038 and 416-261-039. Water quality analysis conducted by Monterey Bay Analytical Services (MBAS), based on a sample collected June 19, 2024, identified

arsenic at a concentration of 22.2 parts per million (ppm), exceeding the Maximum Contaminant Level (MCL) of 10 ppm. Reactivation of the water system permit requires installation of an approved arsenic treatment system. A conceptual arsenic reduction treatment plan prepared by Culligan Commercial Services, dated October 8, 2024, was reviewed and deemed acceptable by EHB Drinking Water Protection Services (DWPS). Subsequent DWPS review determined that additional water quality constituents were required, including aluminum, antimony, barium, beryllium, mercury, nickel, perchlorate, selenium, thallium, silver, and color. Supplemental sampling was completed on September 12, 2025, with analytical results dated October 1, 2025. These results were reviewed and accepted by DWPS. Approval of the water system is conditioned upon the installation of an approved arsenic treatment system prior to reactivation of the small water system permit (Condition No. 7).

- c) The proposed on-site wastewater treatment system (OWTS) is designed to serve a two-bedroom single-family dwelling on an approximately 10-acre parcel. The system design is supported by a feasibility study conducted by Grice Engineering, Inc. (LIB250299) dated April 9, 2025, which evaluated subsurface soil conditions and percolation characteristics. Seven soil borings were performed to assess site suitability. Borings B1 through B4 were advanced to a depth of 4 feet below ground surface and yielded percolation rates of 2.20 minutes per inch (MPI) for B1 and B2, 3.00 MPI for B3, and 1.30 MPI for B4. These results produce an average percolation rate of 2.18 MPI, corresponding to a soil application rate (SAR) of 1.2 gallons per day per square foot in accordance with Table 4 of Monterey County Code Chapter 15.20. Subsurface conditions at this depth are considered suitable for effluent dispersal. Additional exploration at Bore B5 extended to a depth of 9 feet below ground surface with no groundwater encountered. The depth to groundwater exceeds 350 feet below the proposed leach field trench bottom, significantly surpassing the minimum vertical separation requirement of 20 feet as specified in Table 4 of Monterey County Code Chapter 15.20. The OWTS design, prepared by Grice Engineering, Inc., dated May 14, 2025, establishes a design flow of 300 gallons per day for the proposed residence. Based on the assigned SAR of 1.2, a minimum effective leach field infiltrative area of 250 square feet is required. Using a trench sidewall credit of 4 square feet per linear foot, the system requires a minimum of 62.5 linear feet of trench. The proposed dispersal system consists of conventional leach field trenches configured as primary and secondary systems. Each leach field will be constructed with dimensions of approximately 62.5 feet in length, 2 feet in depth, and 1.5 feet in width. The system also includes a 1,000-gallon septic tank for primary treatment and a 1,000-gallon pump or holding tank to facilitate controlled dosing of effluent to the leach field. Dosing volumes will be regulated through a control panel to ensure consistent distribution based on system demand. The leach field is designed for installation on slopes not exceeding 30 %, consistent with the requirements of Table 8 of Monterey County Code Chapter 15.20 for conventional systems without supplemental

treatment. A pre-site inspection conducted on September 12, 2025, verified that all required horizontal setbacks can be achieved in compliance with Table 3 of Monterey County Code Chapter 15.20. On October 27, 2025, EHB reviewed the proposed OWTS design and found that it meets applicable county standards for soil suitability, hydraulic loading, vertical separation to groundwater, and site constraints, and is suitable for installation at the subject parcel.

- d) The subject parcel is located within a State Responsibility Area classified as having a high fire hazard. The construction of the new single-family dwelling will be required to meet current fire and building code standards prior to the issuance of construction permits. Additionally, the project includes a fire safety Fuel Management Plan and arborist recommendations for defensible space to ensure the development meets fire safety regulations. This management plan recommends compliance with California Public Resources Code section 4291 (Defensible Space), which establishes fuel reduction and vegetation management guidelines for areas within 100 feet of structures. On-going compliance with fuel management practices will ensure that the property owner is adequately maintaining defensible space, as required by California Public Resources Code section 4291. The Monterey County Regional Fire Protection District reviewed the proposed project and made no comments.
- e) Staff conducted a site inspection on February 27, 2026, to verify that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN240355.

4. FINDING:

DESIGN/VISUAL SENSITIVITY – The design of the proposed project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity without imposing undue restrictions on private property.

EVIDENCE:

- a) Pursuant to Title 21 Section 21.44, the purpose of the Design Control District is to regulate the location, size, configuration, materials, and colors of structures and fences to assure the protection of the public viewshed and neighborhood character.
- b) Neighborhood Character. The proposed single-family dwelling would have a comparatively smaller footprint to other residences in the vicinity. As proposed, the residential dwelling will not compromise the integrity of the surrounding neighborhood character.
- c) Material and Color Finishes. The proposed exterior colors and materials are consistent with the area's rural setting and surrounding residences. The single-family dwelling is designed to reflect a simple side-gabled Ranch-style architecture that blends with the surrounding neighborhood. Proposed colors and materials of the structure include olive green board and batten exterior siding with dark brown trim and fascia. Roofing material consists of brown Class "A" fire-rated composite shingles. The proposed deck will consist of redwood planks, posts, and a top rail with horizontal stainless steel cable side rails. Proposed exterior lighting

includes black metal downlit wall-mounted fixtures. A lighting plan is required to be submitted prior to issuance of building permits to ensure the project complies with the Monterey County lighting guidelines and Toro Area Plan Policy T-3.5 (Condition No. 9). The proposed exterior finishes described above will be fire-resistant, blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood.

- d) Visual Resources. The property is located along a shared private road off San Benancio Road in a rural area. San Benancio is a known scenic public road pursuant to Toro Area Plan Policy T-3.3 and Toro Area Scenic Highway Corridors and Visual Sensitivity Map Figure 16. The proposed project is situated on a parcel over 700 feet from San Benancio Road. The property was staked and flagged, and staff performed the required visual impact analysis. The proposed site was found to be naturally screened from public view by existing development, steep slopes, and mature vegetation. Location of the development was chosen to avoid the greatest amount of tree removal and reduce impacts to steep slopes, as well as viewshed impacts. The project, as conditioned, will not result in adverse visual impacts to nearby scenic corridors. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Toro Area Plan. Therefore, the proposed development will not have a substantial adverse impact on a public viewshed. As proposed, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity.
- e) The project planner conducted a site inspection on February 27, 2026, to verify the potential visual impacts of the project on the subject parcel. Based on the evidence described above, the proposed structure and use are consistent with the surrounding residential neighborhood character (i.e., structural design features, colors, and material finishes).
- f) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN240355.

5. FINDING: DEVELOPMENT ON SLOPES – There is no feasible alternative that would allow development to occur on slopes of less than 25 % and the proposed development better achieves the goals, policies, and objectives of the Monterey County General Plan and Toro Area Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

EVIDENCE: a) Pursuant to Title 21 Section 21.64.230 and General Plan Policy OS-3.5, development on slopes exceeding 25 % may be permitted through approval of a Use Permit where no feasible alternative exists on slopes less than 25 %, or where the project better achieves General Plan and applicable area plan objectives. The subject parcel is predominantly characterized by slopes exceeding 25 %, thereby limiting feasible alternative building locations. The proposed development has been sited to minimize grading and site disturbance while maintaining consistency with applicable land use

policies. As such, the project satisfies the threshold criteria for consideration of development on slopes exceeding 25 %.

- b) The project site is constrained by topographic conditions, with the majority of the approximately 10-acre parcel containing slopes in excess of 25 %, as documented by County GIS mapping and site-specific analysis. Limited, irregularly shaped areas along the property's ridgeline and along the lower elevations of the property contain slopes less than 25%. The proposed development footprint, including the residence, driveway, and associated improvements totaling approximately 4,327 square feet, has been located in the most suitable and least impactful area of the site given these constraints. A Geotechnical Report (LIB250296) prepared by Grice Engineering, Inc., dated April 9, 2025, demonstrates that the underlying soils, consisting of shallow silty sands, possess adequate bearing capacity and permeability when properly engineered. Geotechnical analysis indicates the absence of landslide hazards, slope instability, or other geologic constraints that would preclude development. With implementation of recommended measures, including controlled grading, compaction, and use of suitable in situ or engineered fill, the proposed improvements can be constructed in a manner that ensures structural stability and consistency with Title 21 requirements.
- c) Pursuant to Title 21 Section 21.64.230.E.1, the project meets the required findings in that there are no feasible alternative development locations on slopes less than 25 % within the parcel, and the proposed design minimizes environmental disturbance while maintaining the natural topographic character of the site. The proposed single-family dwelling utilizes a stacked design by building the livable space above the garage with simple and direct driveway access, which minimizes the development footprint. The building site was also placed on the lower elevations of the property rather than upslopes to further minimize development impacts. Furthermore, the OWTS is specifically designed to accommodate sloped terrain through the use of contour-aligned leach fields and controlled effluent distribution. Supporting technical studies confirm that site conditions, including favorable soil permeability, absence of shallow groundwater, and lack of concentrated drainage, are suitable for such installation. Therefore, the project will not result in significant adverse impacts to slope stability, drainage patterns, or water quality.
- d) Pursuant to Title 21 Section 21.64.230.E.2, conditions of approval are required to ensure compliance with applicable standards and to reduce potential impacts associated with development on slopes exceeding 25 %. Such conditions include, but are not limited to, implementation of all geotechnical recommendations related to grading and foundation design, installation and maintenance of erosion control and drainage improvements, compliance with approved OWTS design, and adherence to all applicable Monterey County codes and regulations. The applicant is required to record a

notice of report (Condition No. 13) to ensure development is in accordance with the project's technical reports. With this condition in place, the project will not result in significant environmental impacts and is consistent with the intent of the County's slope development regulations.

- e) The subject project minimizes development on slopes exceeding 25% in accordance with the applicable goals and policies of the 2010 Monterey County General Plan and Title 21.
- f) The project planner conducted a site inspection on February 27, 2026, to verify that there is no feasible alternative which would allow development to occur on slopes of less than 25%.
- g) The application, plans and supporting materials submitted by the project applicant to Monterey County HCD-Planning for the proposed development can be found in Project File PLN240355.

- 6. FINDING:** **NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County HCD-Planning and HCD-Building Services records and are not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on February 27, 2026, and researched County records to assess if any violation exists on the subject property.
 - c) The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN240355.
- 7. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the development of the first single-family dwelling on a parcel that allows residential use. The project proposes the construction of a 1,000 square foot two-story single-family dwelling with an attached 630 square foot lower-level garage, 592 square foot uncovered deck, 720 square foot covered balcony, 135 square feet of stairs, 130 linear feet of site retaining walls, and associated site improvements, including the removal of one Coast live oak tree and development on slopes in excess of 25%. Therefore, the proposed project fits the criteria to meet the Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303.
 - b) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. The project does not involve a designated historical resource, or a hazardous waste site. The development is not located within view of a scenic highway corridor known as San Benancio Road. The project was sited and designed to blend with the environment and not cause adverse impacts to the public viewshed. The project, as proposed, does not cause any unusual circumstances that would result in a significant effect or would result in a cumulative significant impact.

The project site is located within an area of high archaeological sensitivity. On January 25, 2025, a pedestrian field survey was performed by Dana E. Supernowicz with Historic Resources Associates to determine if resources were present on site. The result of that survey was negative, and no resource site indicators were detected on the subject parcel. Therefore, a standard condition of approval has been incorporated to ensure construction work is halted if archaeological resources are accidentally uncovered (Condition No. 3).

- c) No adverse environmental effects were identified during staff review of the development application during a site visit on February 27, 2026.
- d) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to Monterey County HCD-Planning can be found in Project File PLN240355.

8. FINDING: **APPEALABILITY** – The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Board of Supervisors. Pursuant to Title 21 Section 21.80.040.D, the Board of Supervisors is the Appeal Authority to consider appeals from the discretionary decisions, except decisions on appeals made pursuant to Subsections A and B of Section 21.80.040, of the Planning Commission made pursuant to this Title.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the County of Monterey Planning Commission does hereby:

1. Find that the construction of the first single-family dwelling on a lot which allows residential uses qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
2. Approve a Design Approval to allow construction of a 1,000 square foot two-story single-family dwelling with an attached 630 square foot lower-level garage, 592 square foot uncovered deck, 720 square foot covered balcony, and associated site improvements, including the removal of one Coast live oak tree; and a Use Permit to allow development on slopes in excess of 25%.

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of April 2026, upon motion of _____, seconded by _____, by the following vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

Melanie Beretti, AICP
Planning Commission Secretary

COPY OF THIS DECISION MAILED TO THE APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN240355

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Use Permit and Design Approval (PLN240355) allows construction of a 1,000 square foot two-story single-family dwelling with an attached 630 square foot lower-level garage, 592 square foot uncovered deck, 720 square foot covered balcony, and associated site improvements, including the removal of one Coast live oak tree; and development on slopes in excess of 25%. Colors and materials consist of olive green board and batten exterior siding with dark brown trim and fascia, brown composite shingled roof, redwood deck with stainless steel railing, and black metal exterior lighting fixtures. Grading consists of approximately 200 cubic yards of cut and 200 cubic yards of fill. The property is located at 146 San Benancio Road, Salinas (Assessor's Parcel Number 416-261-039-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit and Design Approval (Resolution Number _____) was approved by the Planning Commission for Assessor's Parcel Number 416-261-039-000 on April 29, 2026. The permit was granted subject to 13 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.
Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD006(A) - CONDITION COMPLIANCE FEE

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors, for the staff time required to satisfy conditions of approval. The fee in effect at the time of payment shall be paid prior to clearing any conditions of approval.

Compliance or Monitoring Action to be Performed: Prior to clearance of conditions, the Owner/Applicant shall pay the Condition Compliance fee, as set forth in the fee schedule adopted by the Board of Supervisors.

5. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

6. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

7. EHSP01 - WATER TREATMENT SYSTEM DESIGN (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Water quality analysis of a sample collected from the onsite well (EHB Permit No. WP0010804) on June 19, 2024, indicates Arsenic was detected at twenty-two and two tenths (22.2) parts per million (ppm), which exceeds the maximum containment level of ten (10) ppm. A water treatment system shall be designed and installed to provide water that meets primary drinking water standards. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04. The design shall address water treatment wastewater management. Submit plans from a qualified individual for the water system improvements, and any associated fees to the Director of Environmental Health for review and approval prior to installing the improvements. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau (EHB) for review and approval plans for a water treatment system and any associated fees.

Prior to occupancy, the EHB-approved water treatment system shall be installed. The applicant shall provide to the EHB for review and acceptance as-built plans for the water treatment system prepared by a qualified individual and shall submit acceptable water quality results for a pre- and post-treatment name of contaminant sample from the well.

8. PD050 - RAPTOR/MIGRATORY BIRD NESTING

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (HCD - Planning)

Compliance or Monitoring Action to be Performed: No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit to HCD -Planning a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

9. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

10. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of HCD - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to HCD - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to HCD-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

11. PD011(A) - TREE REMOVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (HCD-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

12. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 1:1
- Replacement ratio recommended by arborist: 1:1 of a 5-gallon stock or larger Coast live oak tree.
- Other: The tree may be planted on the edges of the existing tree canopies, but it must be planted where it can be watered and kept weed-free. The replacement tree may be a 5-gallon stock or larger. It is recommended that a larger specimen be planted to avoid damage from deer browsing. Deer protection against deer browsing should be used.

Replanting should avoid open spaces where trees are not now found unless there is evidence of soil deep enough and of sufficient quality to support tree planting. The tree should be planted in the area with the greatest opening in the stand, in deep enough soil to allow minimal competition and maximum sunlight. Spacing between any planted tree should be at least 10 feet. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment.

Replacement tree(s) shall be located within the same general location as the tree being removed. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to HCD -Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

13. CC01 INDEMNIFICATION

Responsible Department: County Counsel-Risk Management

Condition/Mitigation Monitoring Measure: Owner/Applicant agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code section 66474.9, defend, indemnify, and hold harmless the County of Monterey and/or its agents, officers, and/or employees from any claim, action, or proceeding against the County and/or its agents, officers, and/or or employees to attack, set aside, void, or annul this approval and/or related subsequent approvals, including, but not limited to, design approvals, which action is brought within the time provided for under law. Owner/Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required by a court to pay as a result of such action.

The County shall notify Owner/Applicant of any such claim, action, and/or proceeding as expeditiously as possible. The County may, at its sole discretion, participate in the defense of such action. However, such participation shall not relieve Owner/Applicant of his/her/its obligations under this condition. Regardless, the County shall cooperate fully in defense of the claim, action, and/or proceeding.

(County Counsel-Risk Management)

Compliance or Monitoring Action to be Performed: This Indemnification Obligation binds Owner/Applicant from the date of approval of this discretionary development permit forward. Regardless, on written demand of the County Counsel's Office, Owner/Applicant shall also execute and cause to be notarized an agreement to this effect. The County Counsel's Office shall send Owner/Applicant an indemnification agreement. Owner/Applicant shall submit such signed and notarized Indemnification Agreement to the Office of the County Counsel for County's review and signature. Owner/Applicant shall then record such indemnification agreement with the County of Monterey Recorder's Office. Owner/Applicant shall be responsible for all costs required to comply with this paragraph including, but not limited to, notary costs and Recorder fees.

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REVISIONS	BY
6-4-25	D
8-11-25	D

BUILDING DESIGN & CONSULTING
draft
 2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940
 (831) 646-9888

BECK RESIDENCE
 SAN BENANCIO CYN. RD. (PRIVATE ROAD)
 SALINAS, CALIFORNIA
 APN: 416-261-039-000 PH: 831 455-5067

Date 6-2-25
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 Drawn
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 Sheet
 Of 1
 Sheets

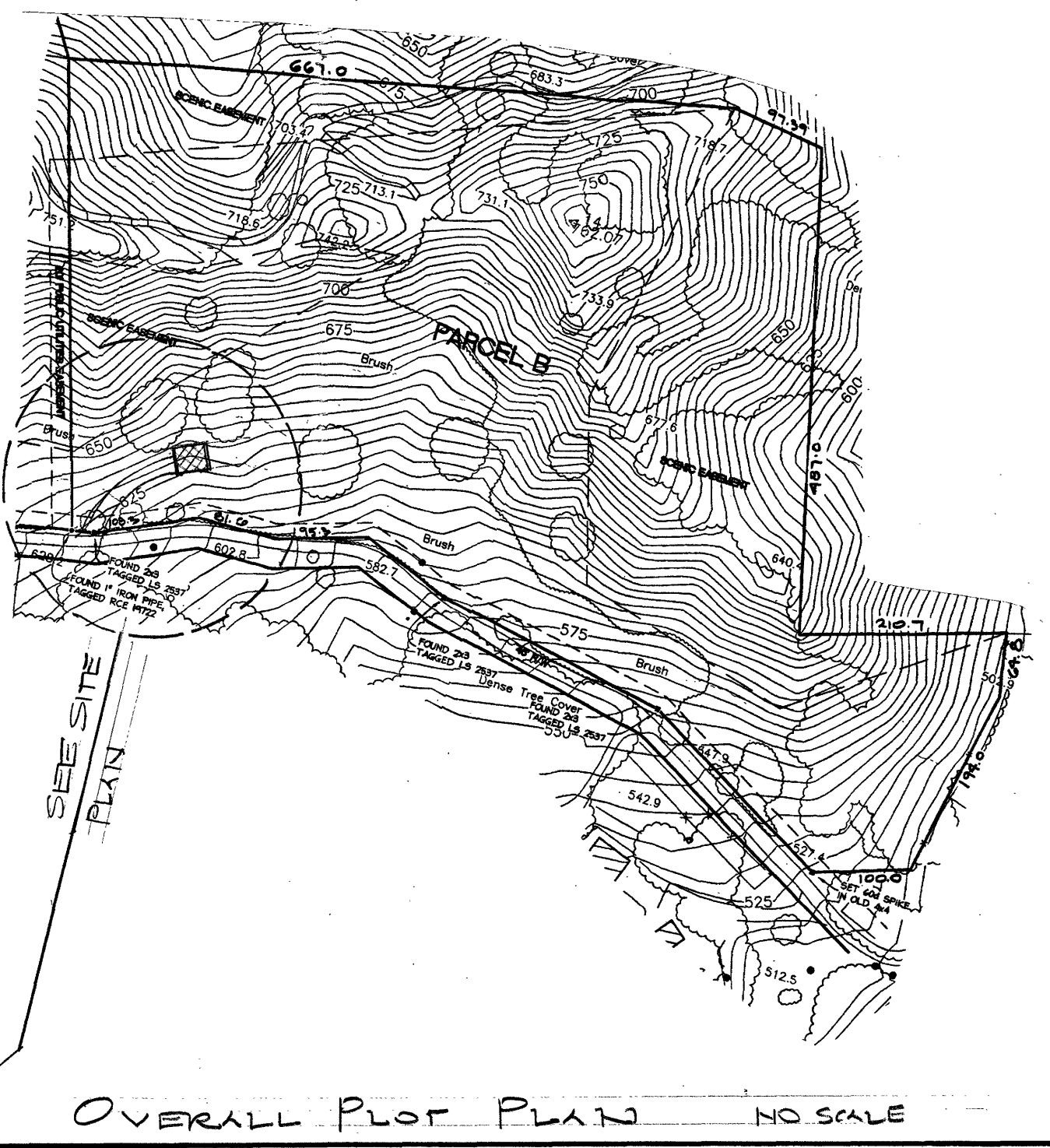
LANDSCAPE NOTE (NO PROPOSED PLANTING)
 NO PROPOSED LANDSCAPE PLANTING: PROPOSED RESIDENCE SHALL BE SITED AND SURROUNDED BY NATIVE GRASSES AND OAK TREES.
 CONTRACTOR SHALL SCATTER NATIVE GRASS SEED & STRAW MIX OVER DISTURBED SOIL DURING CONSTRUCTION AND AT END OF PROJECT PRIOR TO OCCUPANCY. RE-SCATTER SEED AS NEEDED TO PROMOTE HEALTHY GROWTH AND CONTROL LONG TERM EROSION.
 NATIVE GRASS SHALL BE MOWED IN ACCORDANCE WITH FUEL MANAGEMENT PLAN AND LOCAL FIRE MARSHAL.

FIRE SAFETY FUEL MANAGEMENT PLAN

The area must follow the requirements of California State Defensible Space Regulations conforming to California Public Resource Code (PRC) 4291.

The area must be prepared and maintained for fuel management and defensible space. A fuel ladder is a continuous line of vegetation from the ground into the canopy or upper branches of a tree that may allow a fire to climb into the canopy. The idea is to make the homesite defensible by breaking up the continuity of fuels in both vertical and horizontal directions. Deadfall and cut branches which are fuel for a fire must be removed from the treatment area. This may be done either by hauling it off or by hiring a tree service to chip. The following are management measures to be taken and maintained for trees within the disturbed and outlying area.

- Cut dry and dead grass to a maximum height of 4 inches. The exceptions are grasses and forbs which are isolated from other fuels or those necessary to minimize erosion and may be maintained at a height of 18 inches.
- Dead plants should be cut to ground level, do not remove them as roots may still be present to minimize potential soil erosion. Maintain all remaining live landscape plants with regular water, keeping dead branches, leaves, and needles removed.
- Remove limbs within ten (10) feet of chimneys.
- Horizontal Clearances (within 100 feet of structures)
 - Trees- must have a spacing of at least 10 feet between crowns on shallow or almost level slopes (an exception is that trees growing as clusters with continuous canopy or aggregate may be treated as an individual tree to make a shaded fuel break). Where slopes are steep (over 40 %) the spacing must be increased to 30 feet between crowns of individual trees or stands of trees intended to be a shaded fuel break.
 - Shrubs- must have a four-foot clearance on shallow or almost level slopes. Where slopes are steep (over 40 %) the spacing must be 40 feet between shrubs.
- Vertical Clearances of trees and large shrubs (within 100 feet of structures)
 - Trees and shrubs must have a vertical clearance of at least 6 feet from ground fuels on shallow or almost level slopes. Remove all limbs within 6 feet of ground fuel from the ground fuel's highest point and trim dead portions of tree limbs up to 10 feet. Where slopes are steep (over 40 %) the clearance must be higher up to 30 feet.
 - Shrubs- must have four-foot clearance on shallow or almost level slopes. Where slopes are steep (over 40 %) the clearance must be 40 feet from ground fuels.
- Remove from the area dead fallen material unless embedded in the soil.
- Remove all cut material from the area or chip and spread it on site.



PROJECT DESCRIPTION

OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: V-B SPRINKLERED
STORIES: 2 **HEIGHT:** 25'
CODES: 2022 CALIFORNIA CODES
SCOPE OF WORK: CONSTRUCTION OF A NEW 1000 S.F. TWO STORY SINGLE FAMILY RESIDENCE WITH 630 S.F. FIRST STORY ATTACHED GARAGE, 592 S.F. UN-COVERED DECK, 720 S.F. CANTILEVERED BALCONY, 2600 S.F. A.C. DRIVEWAY, 135 S.F. STAIRS, SEPTIC SYSTEM, 5' SITE RETAINING WALLS.
 EXCAVATE 200 C.Y., FILL 200 C.Y., REMOVE (1) OAK TREE 10"

DEVELOPMENT ON 25% SLOPES REQUIRED: ENTIRE 10 ACRE SITE IS OF SLOPES EXCEEDING 25%, THEREFORE IT IS NECESSARY TO DEVELOPE THE PROJECT ENTIRELY ON SLOPES EXCEEDING 25%

RESIDENCE (HOUSE AND GARAGE)	1000 S.F.
DECK	592 S.F.
DRIVEWAY & STAIRS	2735 S.F.
TOTAL DEVELOPMENT ON 25% SLOPES	4327 S.F.

GROUND DISTURBANCE: 4134 S.F.	
SEWER SYSTEM: SEPTIC	WATER SYSTEM: EXISTING SHARED WELL
FLOOR AREA: HOUSE	1000 S.F.
GARAGE	630 S.F.
TOTAL	1630 S.F.

SITE COVERAGE: HOUSE/GARAGE	1000 S.F.
DECK	592 S.F.
BALCONY	720 S.F.
TOTAL COVERAGE	2312 S.F.
LOT AREA	10.145 ACRES = LESS THAN 1%

ZONING: RC40-D
PROPERTY OWNER: GARRETT BECK
 16089 BALFOUR LANE
 SALINAS, CA 93908
 831 455-5067

NOTES: 1) SEE SHEET A1.1 FOR GRADING & DRAINAGE NOTES & DETAILS

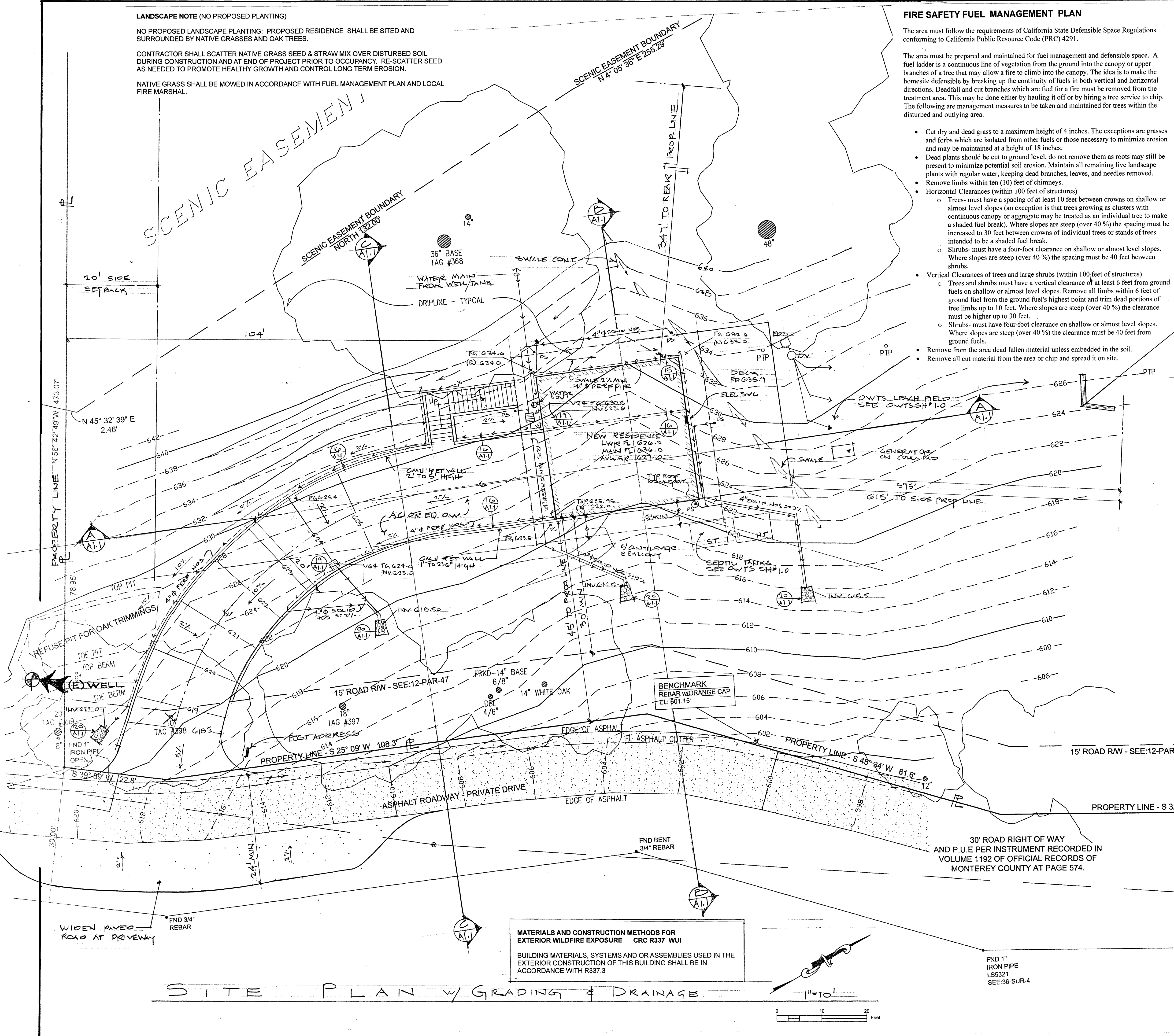
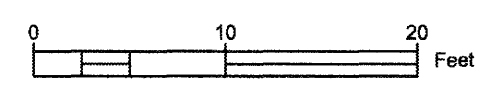
PLAN INDEX

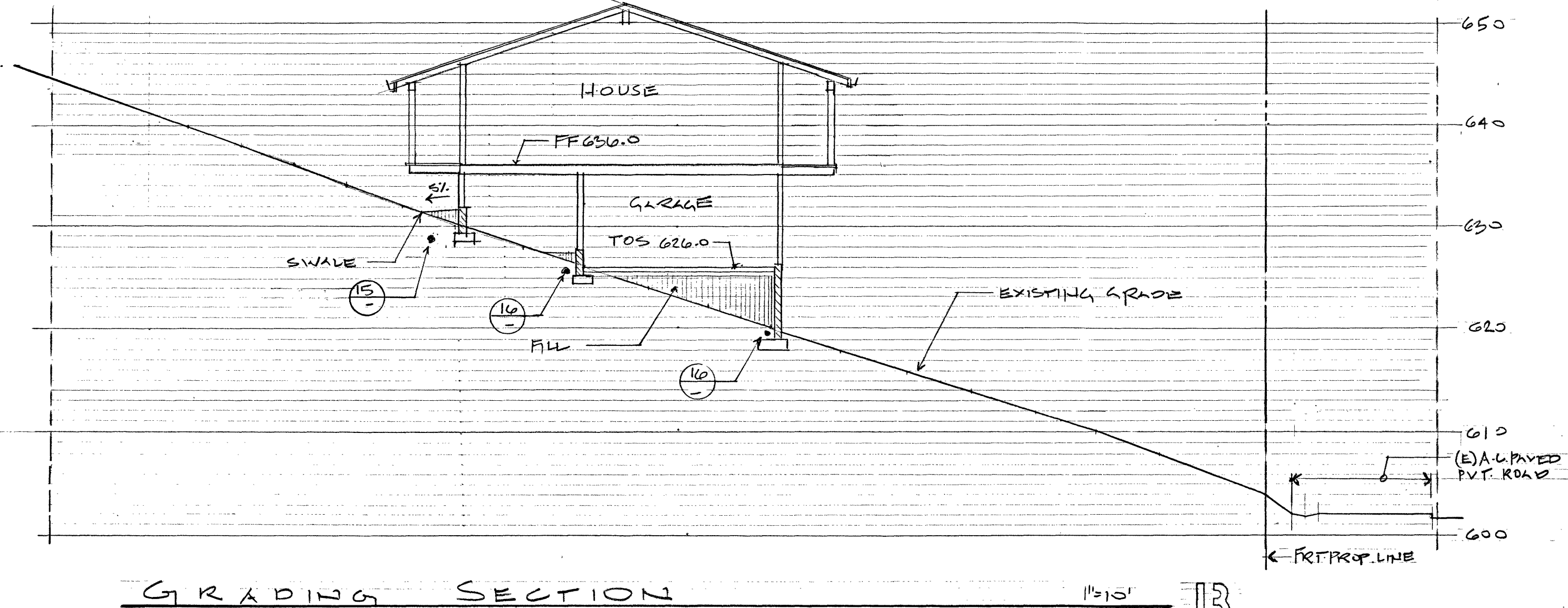
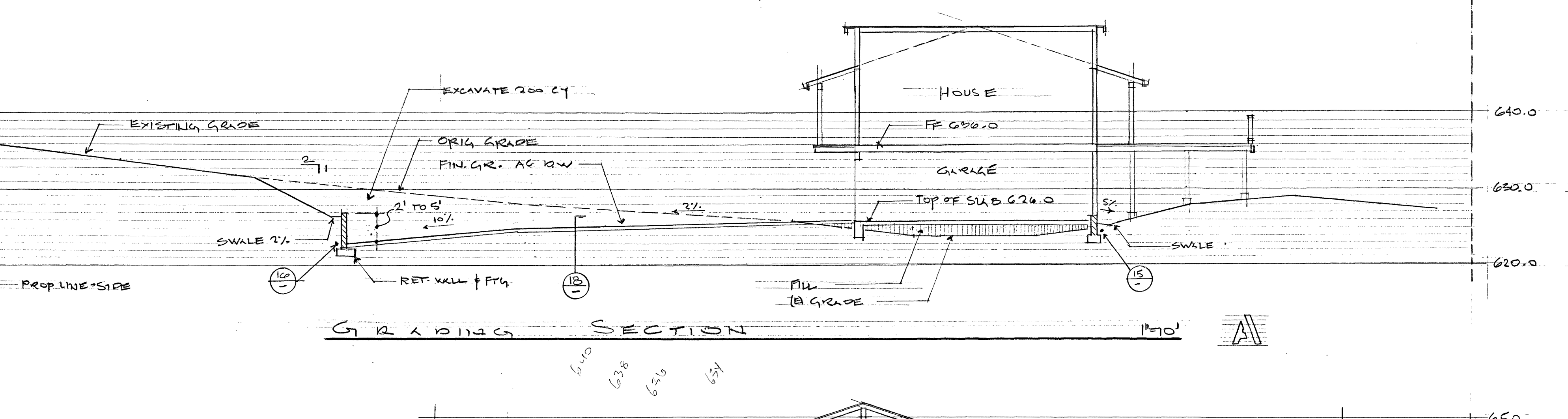
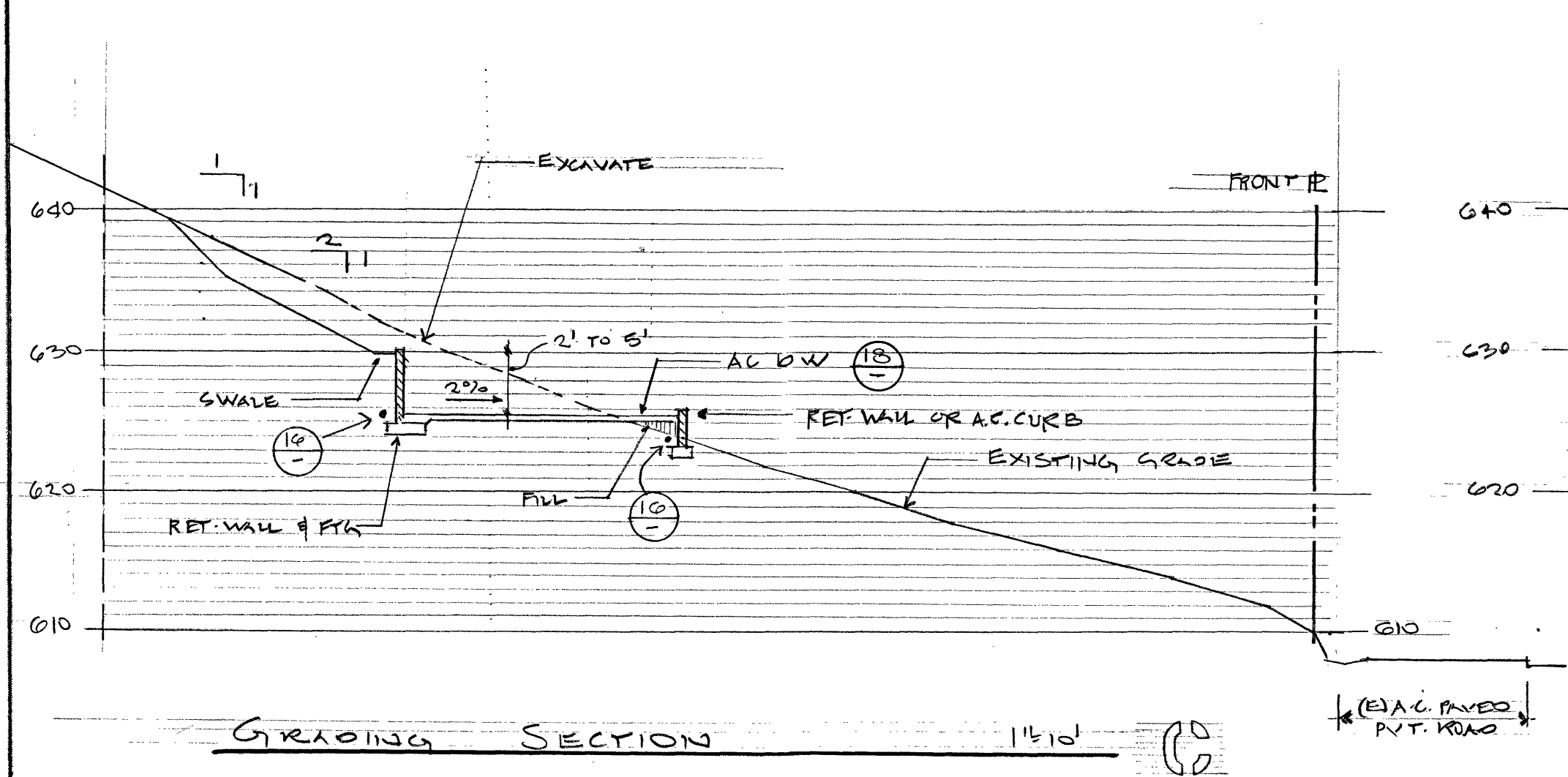
SHEET	DESCRIPTION
A1	SITE PLAN W/ GRADING & DRAINAGE
A1.1	GRADING SECTIONS, DETAILS AND NOTES
A2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
SL1	SLOPE MAP
C1	BEST MANAGEMENT PRACTICES
C2	EROSION CONTROL PLAN
OWTS-1.0	OWTS (SEPTIC) SITE PLAN
OWTS-2.0	OWTS PROFILES
OWTS-2.1	OWTS SECTIONS
OWTS-4.0	OWTS LEACHFIELD TRENCH DETAILS
OWTS-5.0	OWTS TANKS AND PUMP DETAILS

MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE CRC R337 WUI
 BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH R337.3

30' ROAD RIGHT OF WAY AND P.U.E PER INSTRUMENT RECORDED IN VOLUME 1192 OF OFFICIAL RECORDS OF MONTEREY COUNTY AT PAGE 574.

SITE PLAN W/ GRADING & DRAINAGE

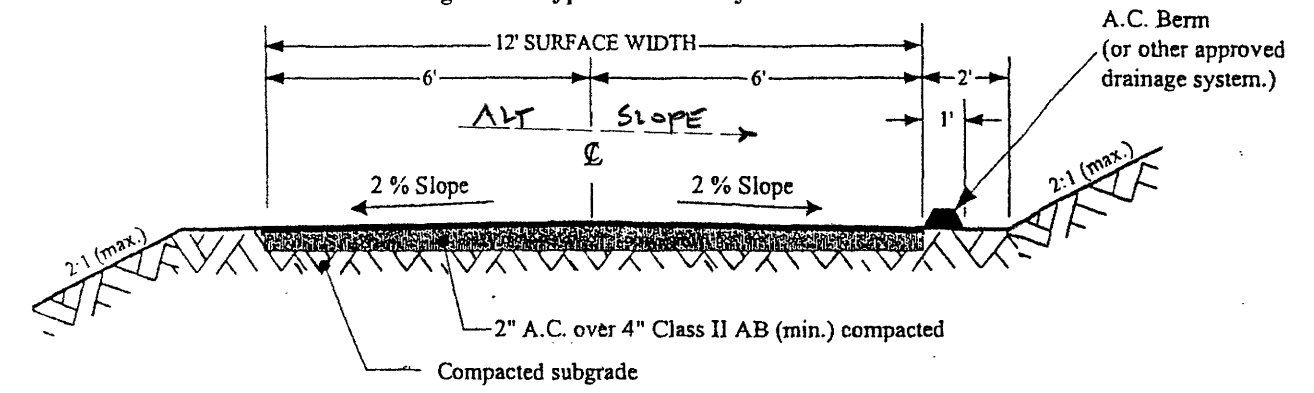




PRIVATE ACCESS DRIVEWAY STANDARDS

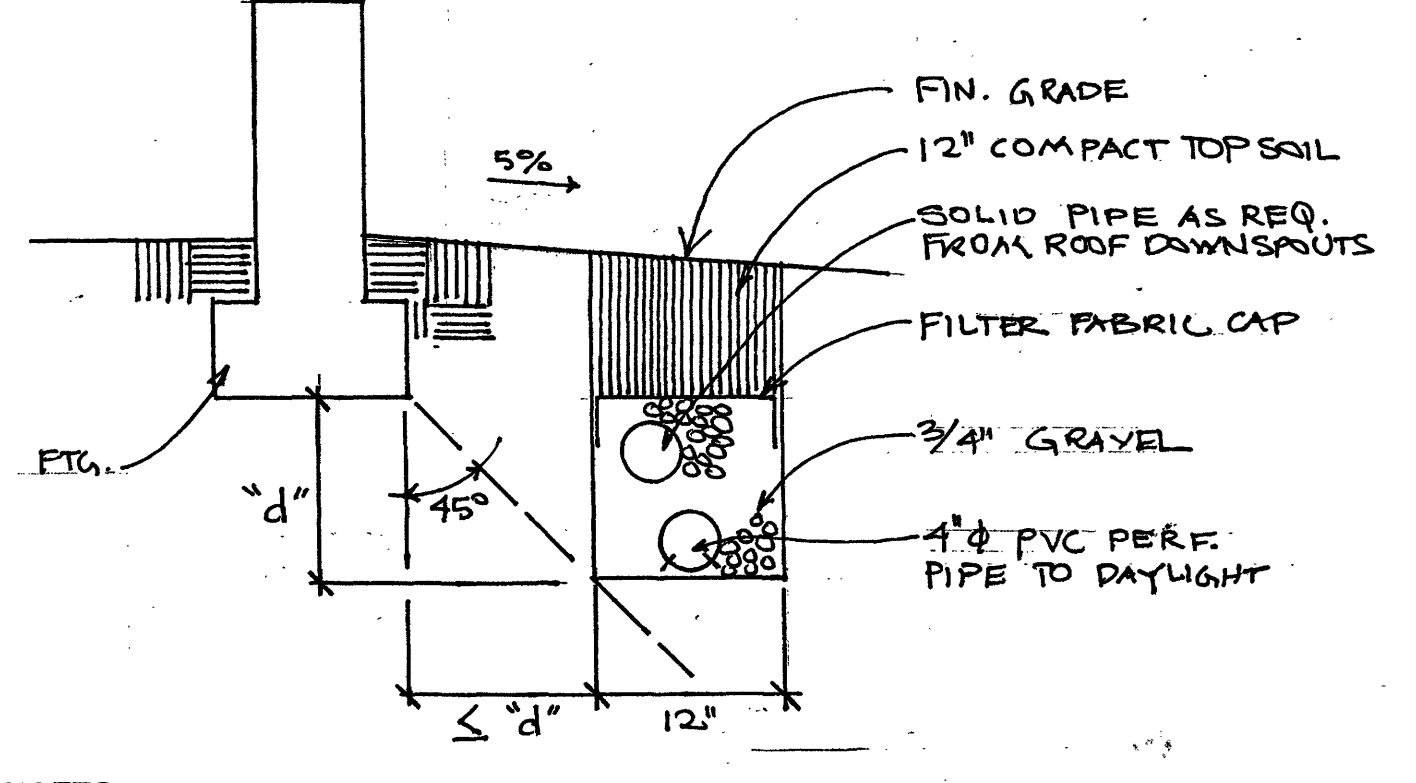
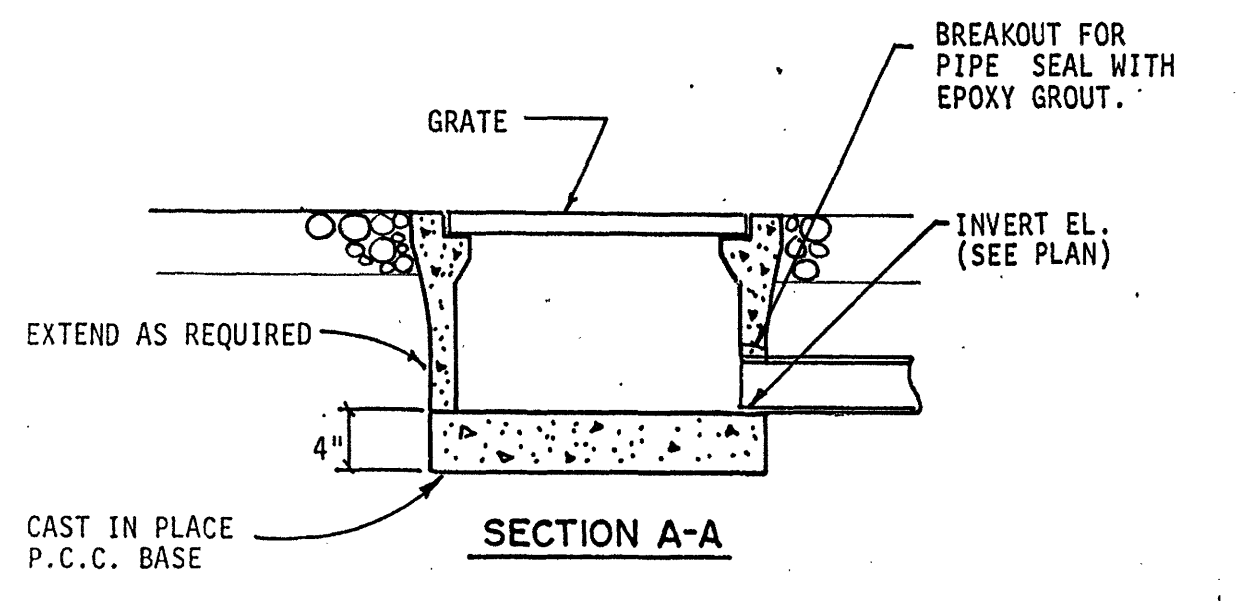
Definition of Driveway: A vehicular access that serves no more than two buildings, with no more than three dwelling units on a single parcel, and any number of accessory buildings. (Monterey County Wildfire Protection Standards 18.56.030.)

Figure A. Typical Driveway Section



- General Notes:**
1. An all weather pavement section can be used where native soils provide sufficient bearing capacity.
 2. An unpaved section of 4 inches compacted Class II AB can be used on firm and unyielding subgrade soils.
 3. An asphalt concrete pavement section can be used where underlying native soils do not provide sufficient bearing capacity and shall be used where road gradient exceeds 8% to a maximum of 15% for the local fire authority access, per Monterey County Fire Safety Requirements (Form #1, Rev. March 1997). For development in the Pescadero Watershed areas, there may be additional planning requirements.
 4. All fills, native or imported rock, intended to support pavements shall be placed and compacted to at least 90% of the maximum dry density as determined by the modified Proctor test (ASTM D1557).
 5. Aforementioned items shall be done at the direction from the geotechnical engineer, Monterey County Private Road Standards 16.08350 and Monterey County Fire Safety Requirements (Form #1, Rev. March 1997).

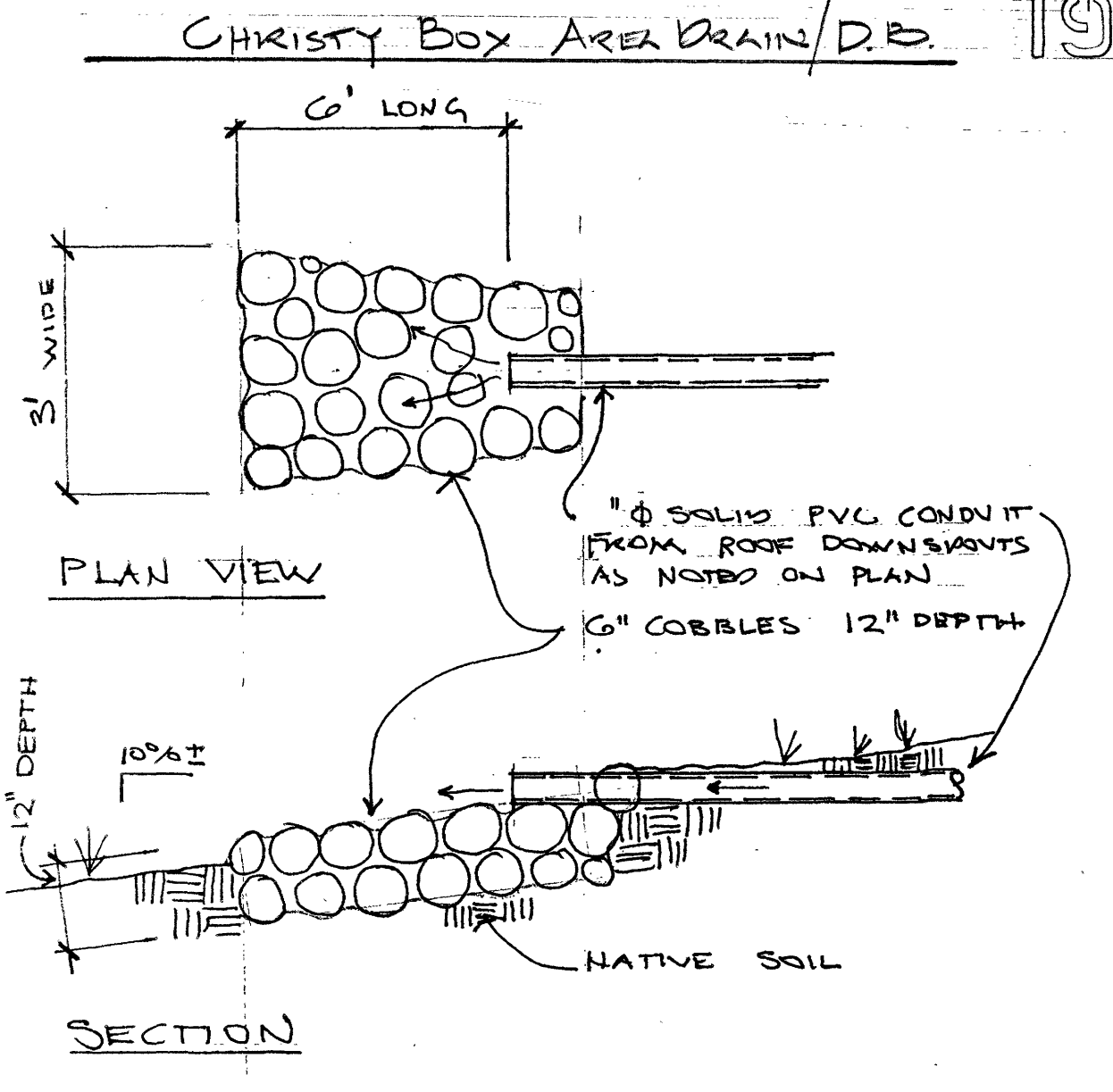
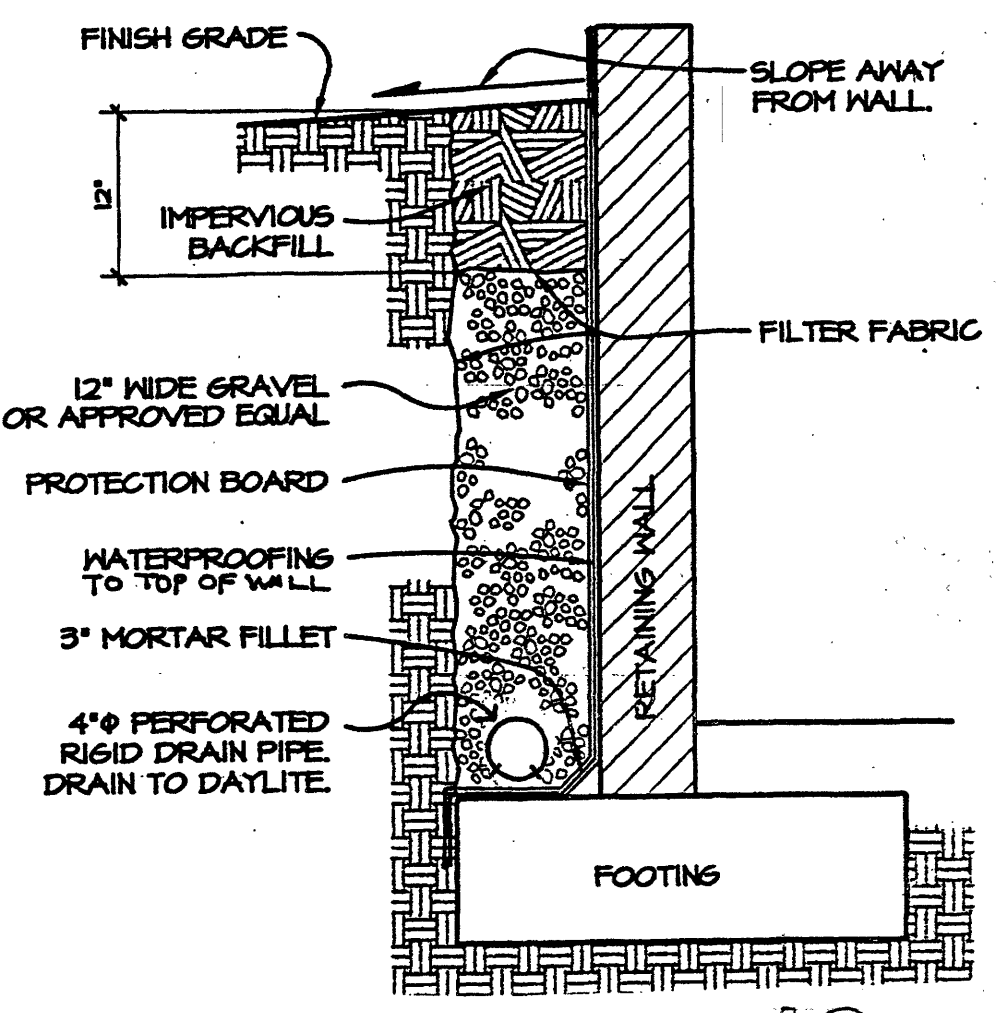
DRIVEWAY SECTION



- NOTES**
1. ADHERE TO ALL SPECIFICATIONS OF THE 'SOILS REPORT' WHEN SUCH REPORT IS PROVIDED BY OWNER.
 2. INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
 3. DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CPC 1101.5 & CRC R401.3.

RETAINING WALL DRAINAGE NOTES

1. SEE PLANS AND SPECIFICATIONS FOR FOOTING AND RETAINING WALL CONSTRUCTION.
2. PROVIDE WATERPROOFING AT ALL RETAINING WALLS AT LIVING SPACES, GARAGES, BASEMENTS AND SIMILAR USES. METHOD AND MATERIALS FOR WATERPROOFING SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL.
3. THIS DETAIL AND SPECIFICATION SHALL APPLY TO ALL RETAINING WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
4. ADHERE TO ALL SPECIFICATIONS OF THE 'SOILS REPORT' WHEN SUCH REPORT IS PROVIDED BY OWNER.
5. INSTALL CLEANOUT RISERS ON ALL UPSTREAM ENDS AND 90 DEGREE ANGLE POINTS OF DRAIN PIPE.
6. DRAIN IS DESIGNED TO SUBSTANTIALLY CONFORM WITH CBC 1807.4.2



ENERGY DISSIPATER

20

RETAINING WALL DRAIN

16

PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning
 Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (HCD - Planning)

GRADING & DRAINAGE NOTES

1. Roof drain downspouts shall be installed on all roof gutters, and shall discharge onto concrete splash blocks or pavement, and drain away from structure as noted below, or shall connect to a 4 inch dia solid NDS underground conduit per plan. The conduit shall slope at a 1% gradient minimum and discharge into a cobble energy dissipators shown on plan.
2. Area Drains to be connected to closed 4" solid NDS conduit and discharged into a cobble energy dissipator shown on plan. Install distribution boxes as needed.
3. Foundation sub drains and retaining wall drains shall be installed on the uphill side of foundations in accordance to plan and details. Drain conduit to be a 4" dia perf. NDS pipe or equal, connected to a 4" dia. solid NDS pipe sloping at a 1% gradient minimum and discharge into cobble dissipators shown on plan.
3. All finish grades including patios, and driveways shall be contoured to slope away from proposed structures:
Site Grading (CRC 401.3): Surface Drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. **Exception:** Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surface (pavers, etc.) within 10 feet of the building foundation shall slope a minimum of 2 percent away from the building. All drainage facilities should be checked and maintained periodically to remove obstructions and assure proper function.
 4. See sheet #C1-C2 for erosion control and BMP's.
 5. Cut and fill slopes shall have a maximum slope of 2' horizontal to 1' vertical.
 6. Toe of all cut and fill slopes to be 3'-0" minimum from property line.
 7. All grading shall conform with the county of Monterey Grading Ordinance No. 2535, and erosion control ordinance No. 2806.
 8. Ultimate purpose of grading: Construct new S.F.D.
 9. Estimated Start Date: Jan 1, 2026
 10. Estimated Complete date: Dec 31, 2026
 11. Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.
 12. All fill material shall comply with geotechnical report.
 13. Excavate 200 cubic yards
 Fill 200 cubic yards
 Import 0 cubic yards
 14. Pad elevation shall be certified to 0.1 feet by a licensed surveyor or civil engineer, prior to digging any footings or scheduling any inspections.
 15. A soils geotechnical report has been prepared by:
 Grice Engineering, Inc.
 File # 7974-25.02
 561A Brunken Avenue
 Salinas, CA 93901
 831 422-9619
 16. Soils report requires foundation excavations to be reviewed by soils engineer. Prior to requesting a building division foundation inspection, the soils engineer shall inspect and approve in writing the foundation excavations.
 17. When a grading permit is required, prior to calling for building division foundation inspection, preliminary grading and compaction reports shall be submitted to and approved by the building division grading inspector. Any revisions from the original soils report shall be incorporated into the plans and specifications.

SPECIAL TESTS AND INSPECTION SCHEDULE

THE FOLLOWING ITEMS SHALL BE INSPECTED. "SPECIAL INSPECTION" SHALL CONFORM TO 2022 CBC 1704.7. SPECIAL INSPECTION AGENCIES AND/OR INDIVIDUALS SHALL BE RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO ANY WORK. FOR MATERIAL TESTING REQUIREMENTS, SEE SPECIFICATIONS AND/OR GENERAL NOTES. TESTING AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS DIRECTLY TO THE BUILDING OFFICIAL AND ENGINEER.

ITEM	REQ.	REMARKS
FOUNDATION EXCAVATIONS	YES	BY SOIL ENGINEER / PERIODIC
SUBGRADE PREPARATION	YES	BY SOIL ENGINEER / PERIODIC
CLASSIFICATION/TESTING FILL MATERIAL	YES	BY SOIL ENGINEER / PERIODIC
OBSERVATION OF FILL MATERIAL/COMPACTION	YES	BY SOIL ENGINEER / CONTINUOUS
FOUNDATION	YES	BY SOIL ENGINEER / PERIODIC VERIFICATION - MATERIALS BLW FOOTING/Achieve BEARING CAPACITY TO BE DETERMINED / PERIODIC
MASONRY & CONCRETE CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC
REINFORCING STEEL CONSTRUCTION	YES	TO BE DETERMINED / PERIODIC

SOILS ENGINEER TO PROVIDE OBSERVATION DURING GRADING AND FOUNDATION PHASE OF CONSTRUCTION.

REVISIONS

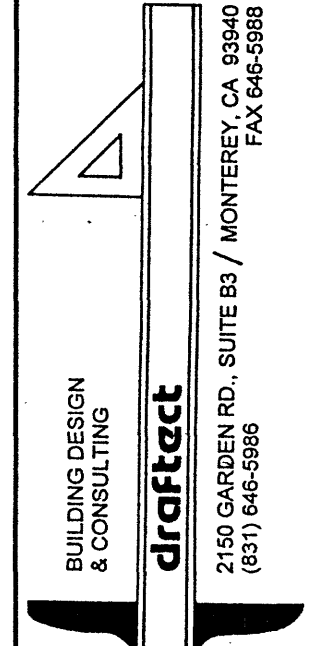
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BECK RESIDENCE
SAN BENANCIO CYN. RD. (PRIVATE ROAD)
SALINAS, CALIFORNIA
APN: 416-261-039-000 PH: 831 455-5067

draft
 BUILDING DESIGN & CONSULTING
 2150 GARDEN RD., SUITE B8 / MONTEREY, CA 93940
 (831) 646-5986
 FAX 646-5988

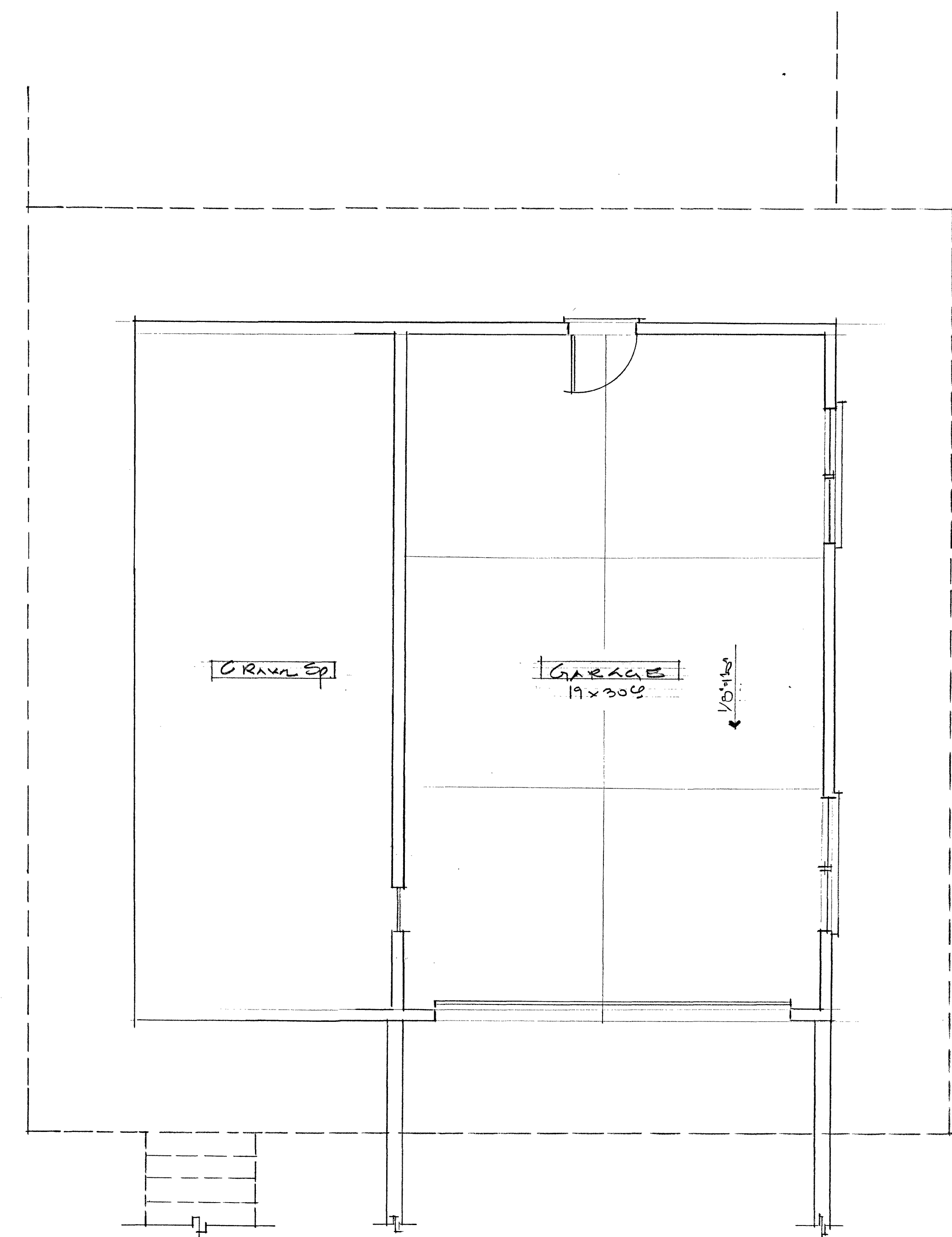
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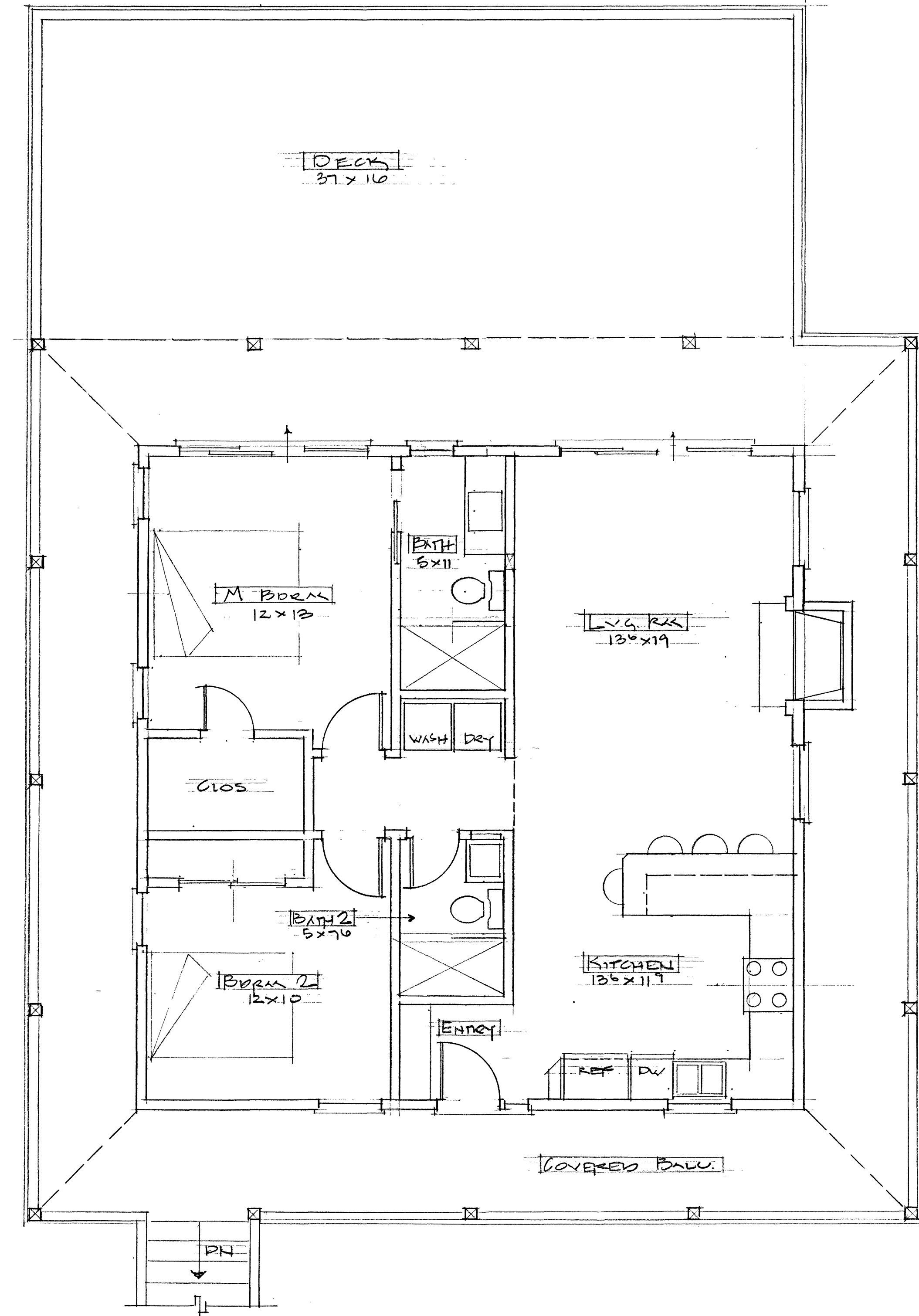


BECK RESIDENCE
 SAN BENANCIO CYN. RD. (PRIVATE ROAD)
 SALINAS, CALIFORNIA
 APN: 416-261-039-000 PH: 831 455-5067

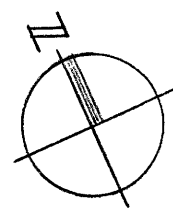
Date 6-4-25
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 Job 45.2024
 Sheet
 Of 2 Sheets



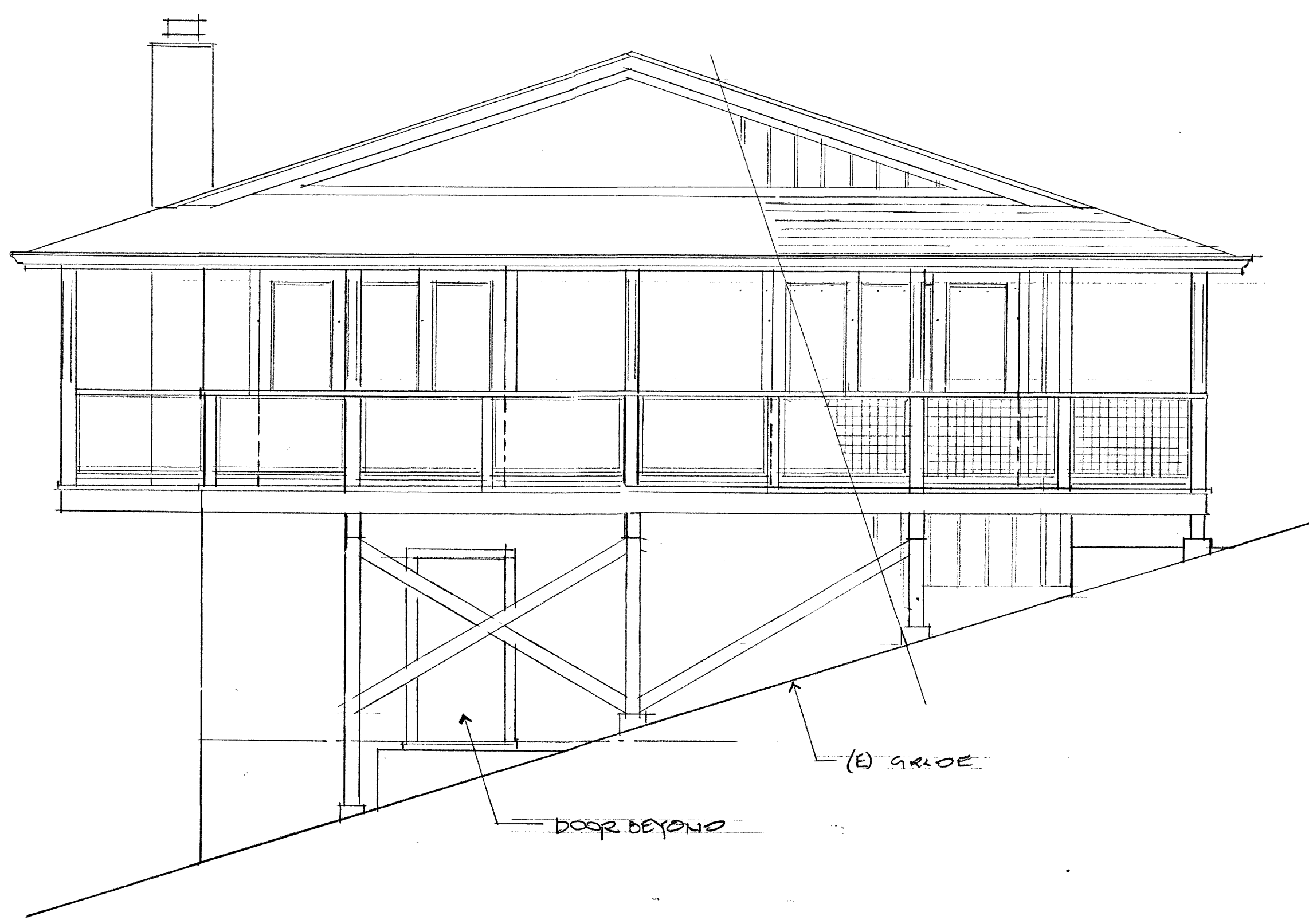
LOWER FLOOR 1/4"=1'-0"



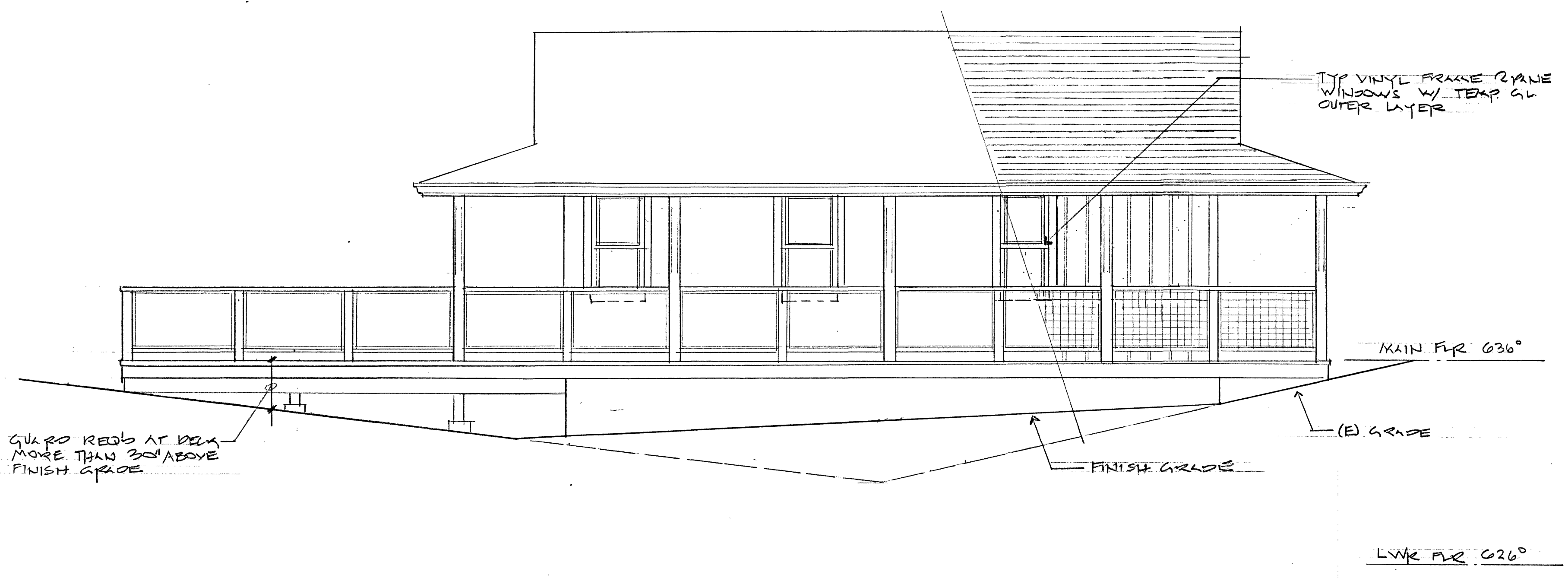
MAIN FLOOR 1/4"=1'-0"



REVISIONS	BY
6-4-25	D
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NORTH ELEVATION 1/4"=1'-0"

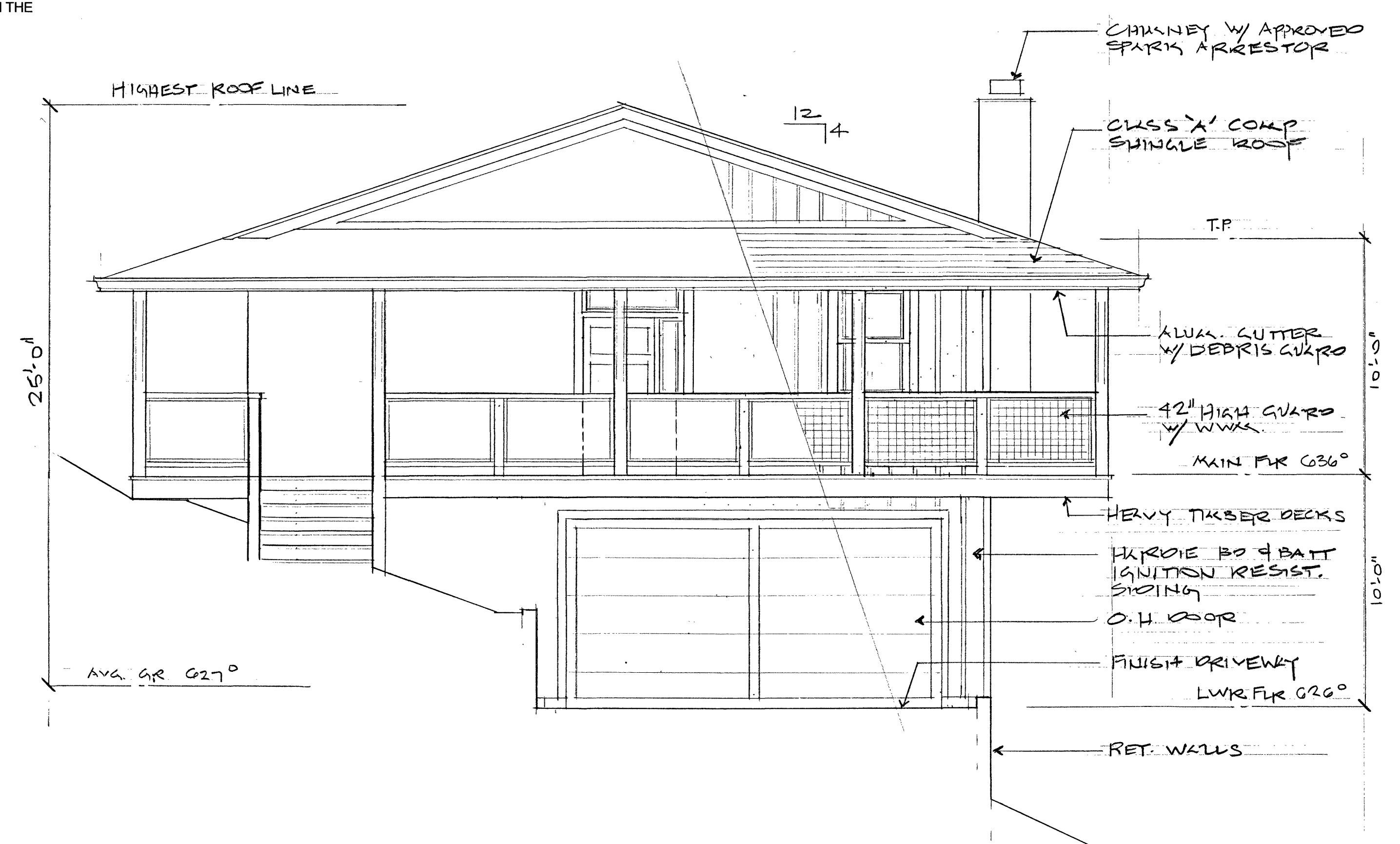


WEST ELEVATION 1/4"=1'-0"

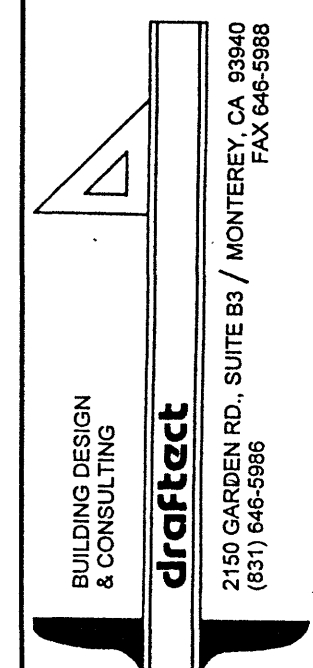
MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE CRC R337 WUI
 BUILDING MATERIALS, SYSTEMS AND OR ASSEMBLIES USED IN THE EXTERIOR CONSTRUCTION OF THIS BUILDING SHALL BE IN ACCORDANCE WITH R337.3



EAST ELEVATION 1/4"=1'-0"

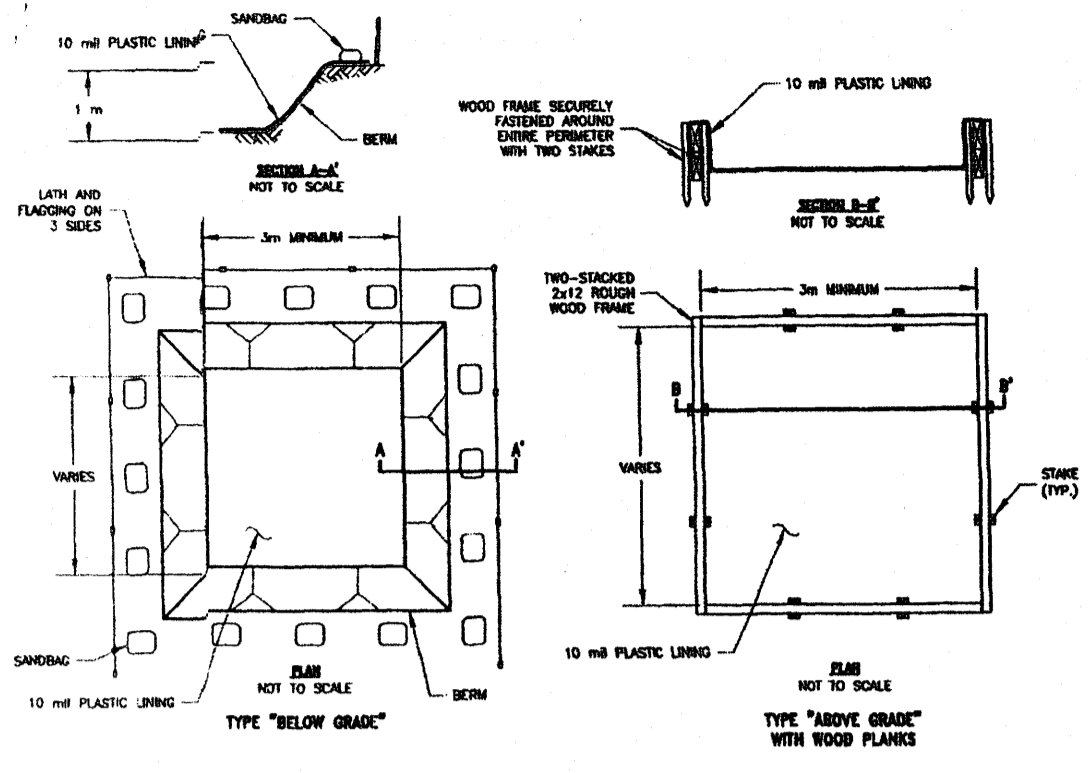


SOUTH ELEVATION 1/4"=1'-0"



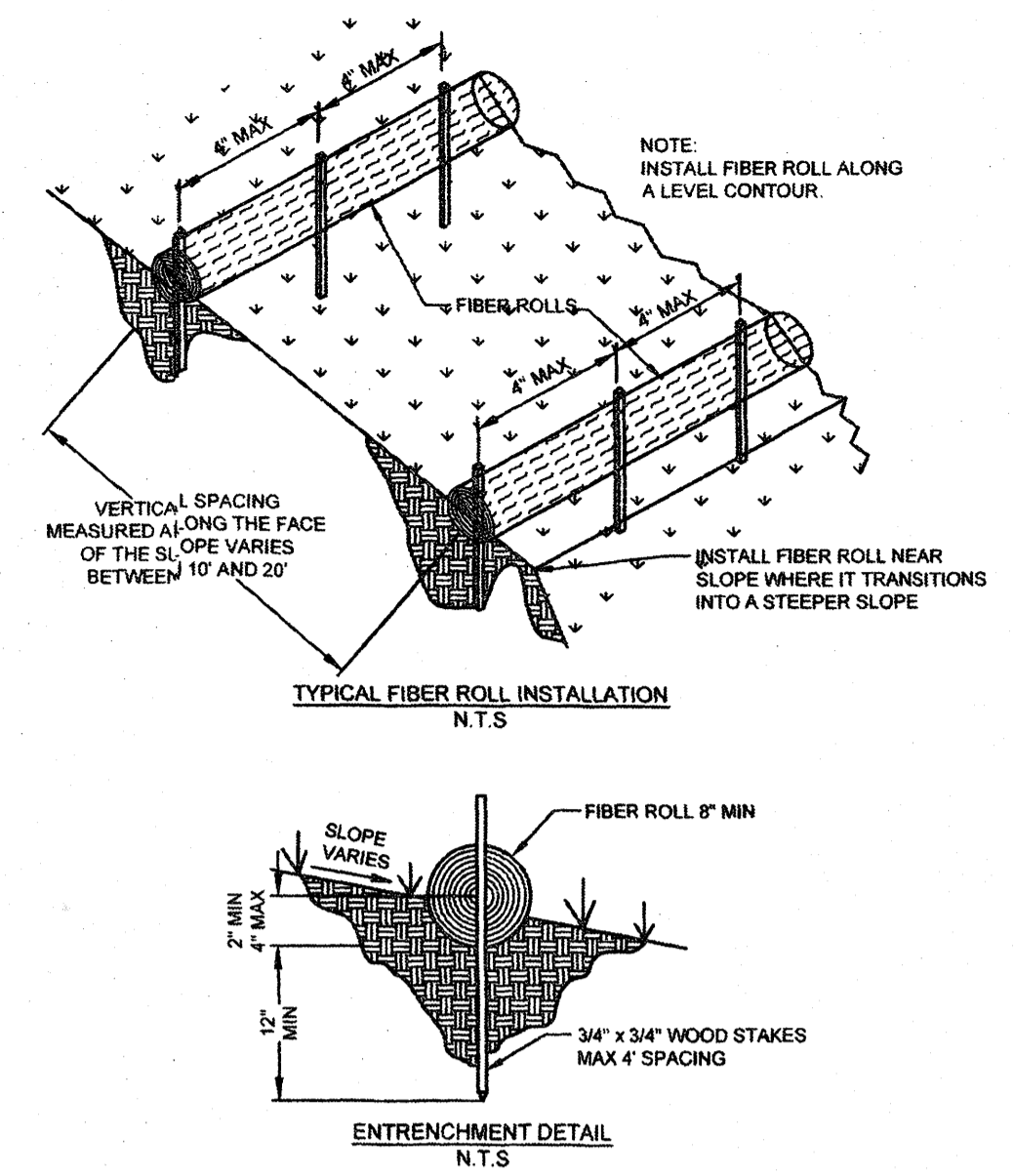
BECK RESIDENCE
 SAN BENANCIO CYN. RD. (PRIVATE ROAD)
 SALINAS, CALIFORNIA
 APN: 416-261-039-000 PH: 831 455-5067

Date	6-2-25
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Job	45-2024
Sheet	A.3
Of	3 Sheets



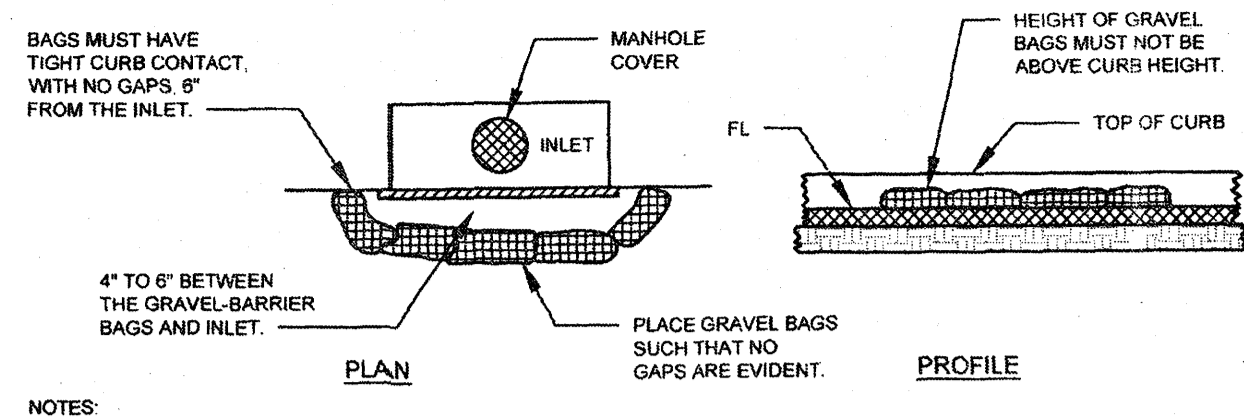
CONCRETE WASTE MANAGEMENT WM-8

5



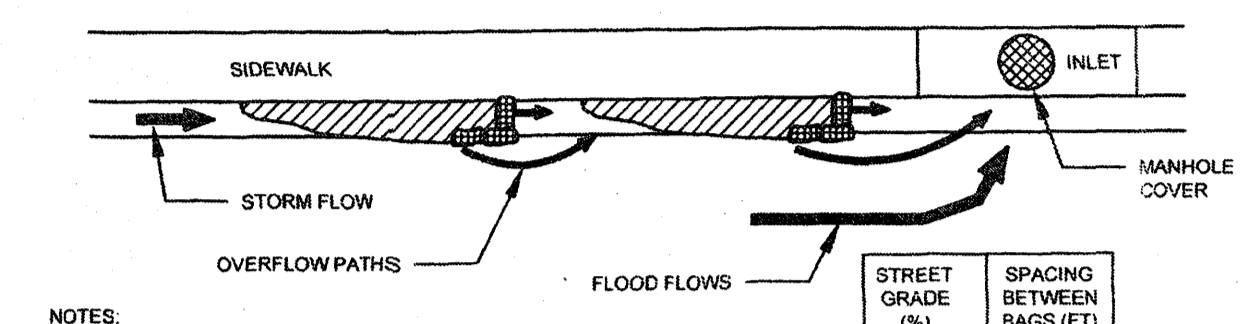
FIBER ROLLS

NTS



DRAIN INLET BARRIER

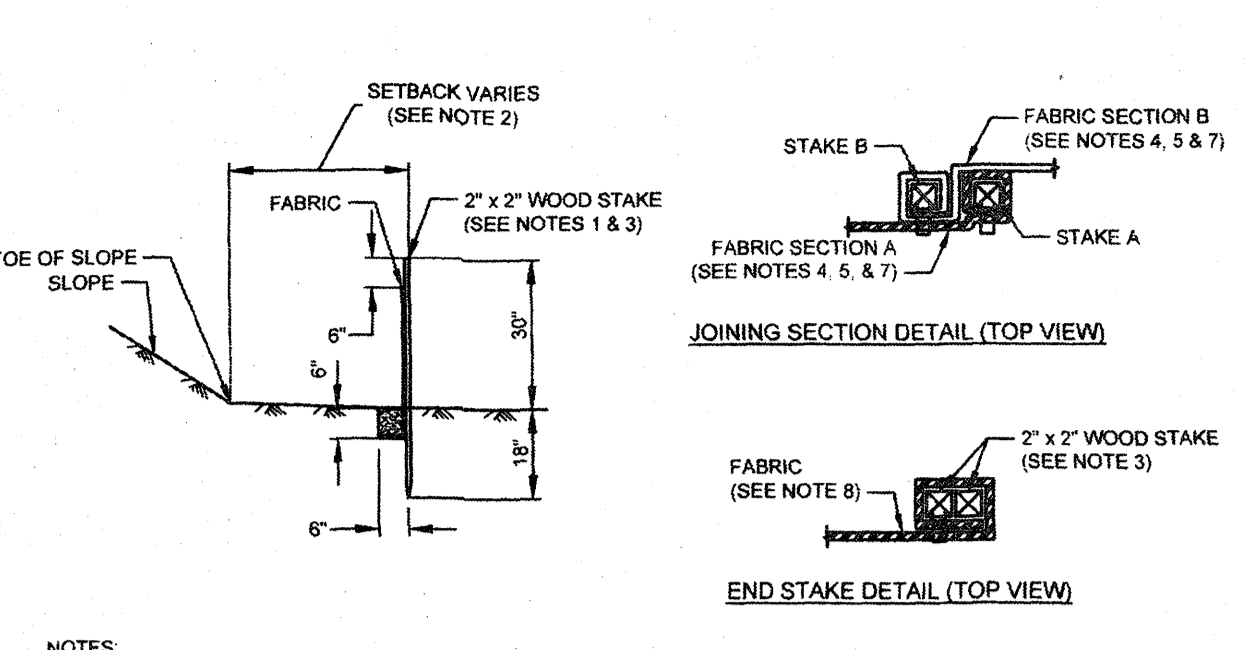
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CURB AND GUTTER CONTAINMENT

NTS

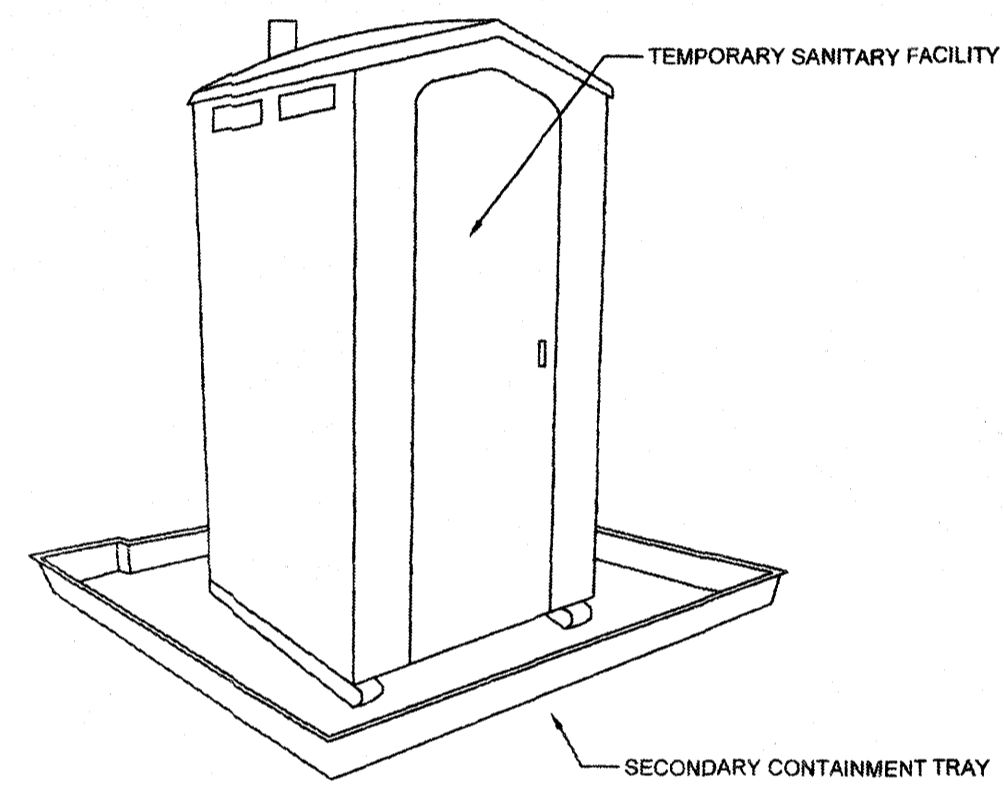
STREET GRADE (ft)	SPACING BETWEEN BAGS (ft)
0.5	100
1.0	50
2.0	25
3.0	16
4.0	13
5.0	10



- NOTES:**
1. STAKE DIMENSIONS ARE NOMINAL.
 2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
 3. STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 4. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE AND FULL TURN. SECURE FABRIC TO STAKE WITH 4 STAPLES.
 5. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOPS OF THE STAKES SHALL BE SECURED WITH WIRE.
 6. FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
 7. JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.

SILT FENCE

NTS

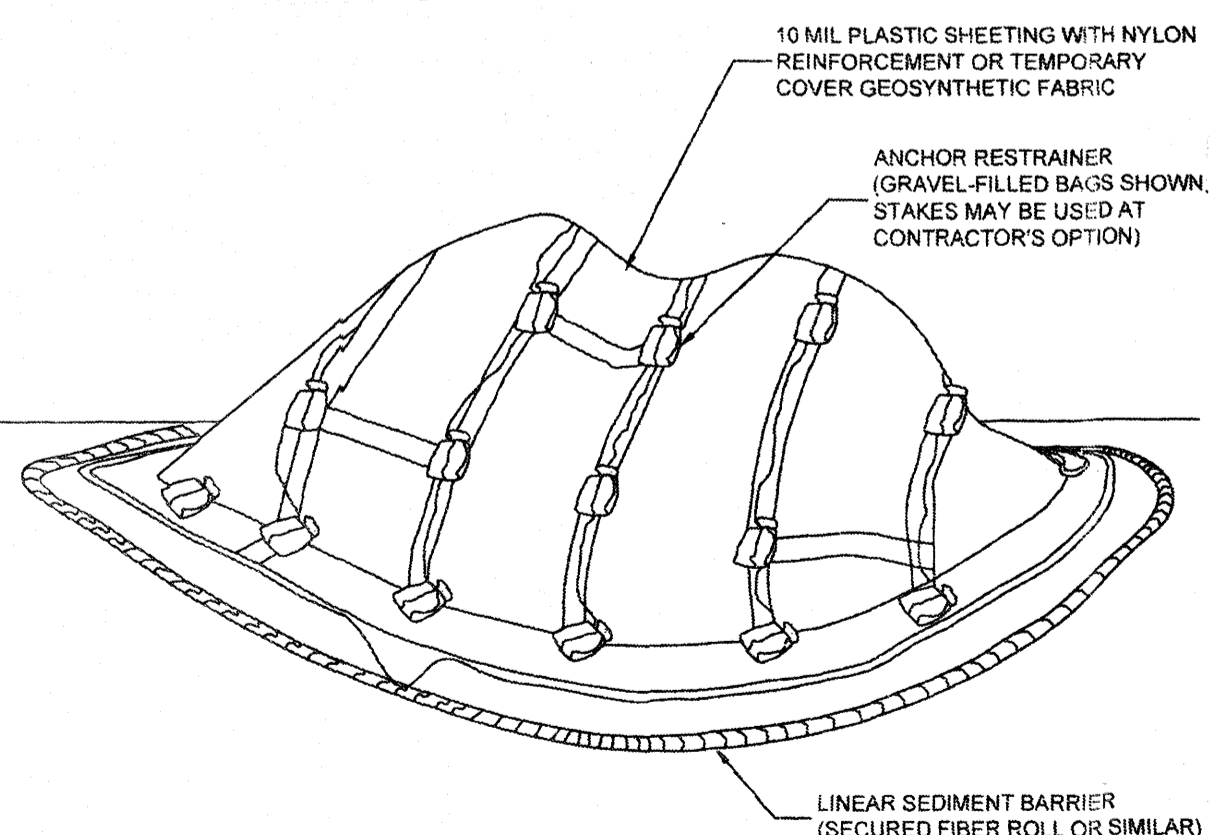


STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.
2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
4. ARRANGE FOR REGULAR WASTE COLLECTION. DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

SANITARY WASTE MANAGEMENT

NTS



- NOTES:**
1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
 5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

TEMPORARY COVER ON STOCKPILE

NTS

7

HCD - ENVIRONMENTAL SERVICES NOTES

1. All or part of the construction of this project is expected to occur during the winter season (October 15th through April 15th)? YES / NO
2. All grading shall conform to the Monterey County Grading Ordinance #2535, Erosion Control Ordinance #2806, and California Building Code.
3. It shall be the responsibility of the owner and the permittee to ensure that erosion does not occur from an activity during or after project construction. Additional measures, beyond those specified, may be required as deemed necessary to control accelerated erosion (MCC 16.12.100).
4. Temporary erosion control to be installed between October 15 and April 15.
5. Vegetation removal between October 15 and April 15 shall not precede subsequent grading or construction by more than 15 days. During this period, erosion and sediment control measures shall be in place at the end of each working day.
7. During construction the applicant shall schedule an inspection with HCD-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
8. Dust from grading operations must be controlled. The owner or contractor may be required to keep adequate equipment on the grading site to prevent dust problems.
9. The Director of Building Inspection (Building Official) shall stop operations during periods of inclement weather if he or she determines that erosion problems are not being controlled adequately.
10. Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with HCD-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County grading and erosion control regulations.

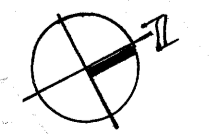
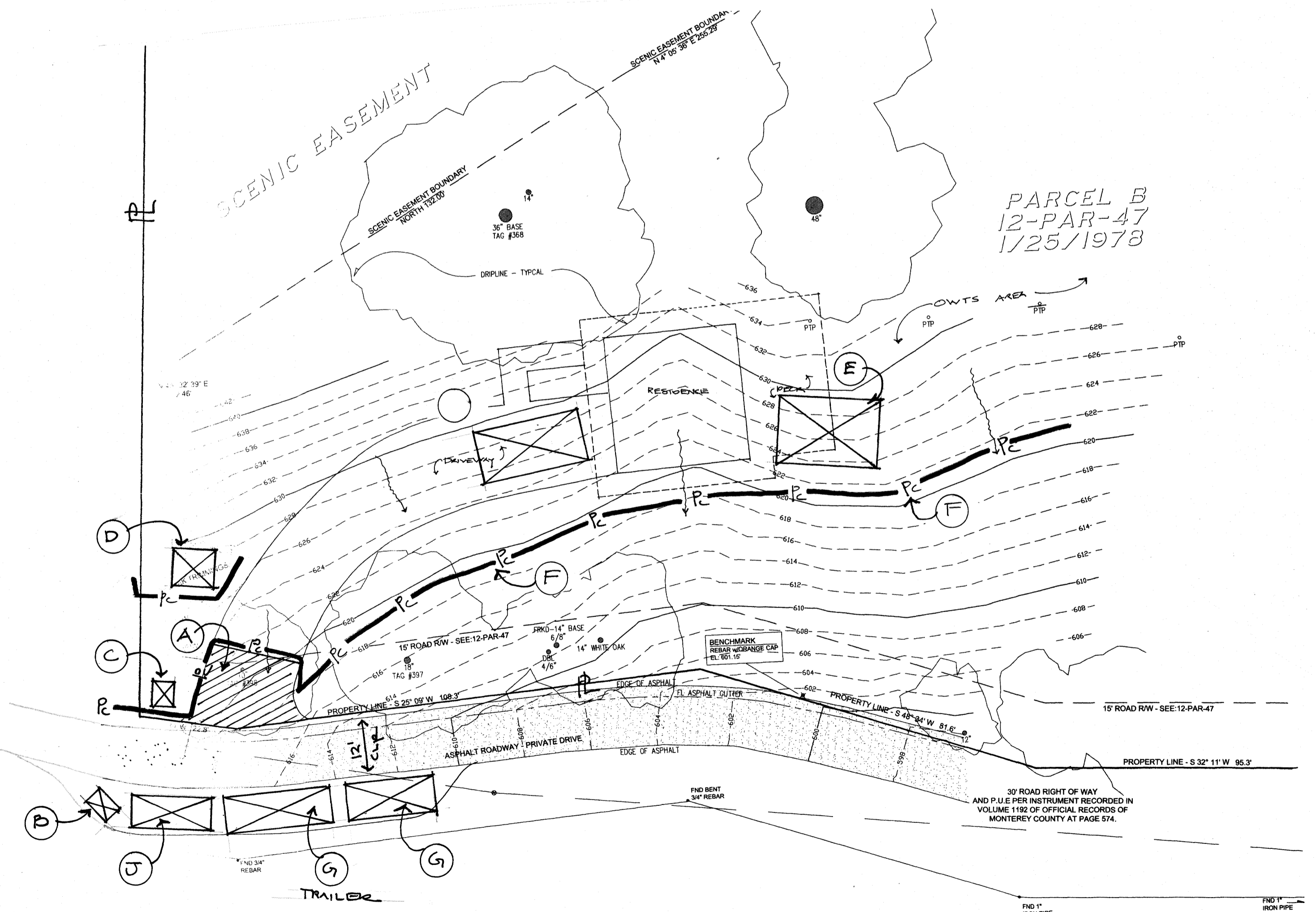
Prior to Building Final:

11. Prior to final inspection, the owner/applicant shall schedule an inspection with HCD-Environmental Services to conduct a Final Grading Inspection, collect Final Geotechnical Letter of Conformance, ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed.

Erosion Control Legend

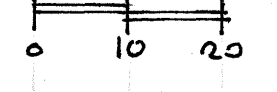
- (A) **Tracking Control:** Prevent tracking dirt offsite. Use gravel and corrugated steel plates or equal to provide a stabilized entrance and exit for vehicles. Clean plates regularly and replace gravel when no longer effective. Maintain dust control and implement street sweeping and vacuuming as needed.
- (B) **Solid Waste Management:** 3 c.y. container with lid
- (C) **Sanitary/Septic Waste Management:** Portable Bathroom w/ containment underneath (WM-9)
- (D) **Concrete Washout (WM-8)**
- (E) **Stockpile Management -** Fiber rolls or gravel bags around with visqueen cover and gravel bags on top to secure visqueen (WM-3)
- (F) **Perimeter Control:** Fiber Rolls or Silt Fencing
- (G) **Earth moving Equipment w/ containment underneath**
- (H) **Material Delivery and Storage, cover when not in use (WM-1)**
- (J) **Crew Parking**

Notes: 1) Earth moving equipment, trailers, and pickup trucks may be parked on shoulder of private easement road as long as 12' clear right-of-way is provided for through traffic to neighboring houses. No parking on public roads. 2) See sheet C1 for BMP's



EROSION CONTROL PLAN

1/4" = 20'



REVISIONS	BY

BUILDING DESIGN & CONSULTING
draft
 2150 GARDEN RD., SUITE B3 / MONTEREY, CA 93940
 (831) 346-5986

BECK RESIDENCE
 SAN BENANCIO CYN. RD. (PRIVATE ROAD)
 SALINAS, CALIFORNIA
 APN: 416-261-039-000 PH: 831 455-5067

Date	8-16-25
Scale	
Drawn	
Job	45-2024
Sheet	
Of	

PARCEL
12-PA
1/25/

SCENIC EA

PARCEL
12-P
1/25/

PROPERTY AND SYSTEM INFORMATION:
SITE ADDRESS: SAN BENANCIO ROAD, SALINAS, CALIFORNIA
A.P.N.: 416-261-039-000
AREA OF PARCEL: 10.145 ACRES

PROPOSED STRUCTURES: 2 BEDROOM RESIDENCE (3 PEOPLE)
TOTAL NUMBER OF OCCUPANTS: 3 TOTAL

PER TABLE 5-2 MCEH OWTS:
ALLOWABLE APPLIED NITROGEN PER ACRE: 40 GRAMS
ALLOWABLE APPLIED NITROGEN ON PARCEL: 405.8 GRAMS

EXISTING APPLIED NITROGEN ON PARCEL: 0 GRAMS
PROPOSED APPLIED NITROGEN ON PARCEL: 30 GRAMS

PROPOSED EXCESS APPLIED NITROGEN: 0 GRAMS
NITROGEN REDUCTION TREATMENT NOT REQUIRED

OWTS DESIGN FOR RESIDENCE
PER TABLE 5-3 MCEH OWTS:
RESIDENCE
PEAK DAILY FLOW: 300 GALLONS
SEPTIC TANK SIZE: WITHOUT GARBAGE GRINDER 1,000 GALLONS
WITH GARBAGE GRINDER 1,500 GALLONS

SEPTIC TANK LOCATION IS CURRENTLY BELOW THE LEACHFIELDS AND WILL REQUIRE A PUMP TO LIFT THE EFFLUENT TO THE LEACHFIELDS. FOR THIS THE EFFLUENT IS TO BE HELD IN A TANK AND PUMPED TO THE LEACHFIELD AREA.

REQUIRED HOLDING TANK VOLUME IS A MINIMUM OF 300 GALLONS AND IS TO PROVIDE A SURGE CAPACITY OF 200 PERCENT (600 GALLONS) OF THE DAILY SEWAGE QUANTITY. MAXIMUM PUMP DRAW DOWN, PUMP CYCLE AND TANK GEOMETRY WILL REQUIRE A TANK VOLUME LARGER THAN THE SURGE VOLUME.

DOSING VOLUME CAN BE SET TO VARIOUS VOLUMES AND ROUTINES. DOSE VOLUME SHOULD BE LIMITED TO A MAXIMUM OF 100± GALLONS.

A CONTROL PANEL PROVIDING DOSING OF THE SINGLE DOSE VOLUME OR OTHER SUITABLE AMOUNTS SHOULD BE USED IN CONJUNCTION WITH HIGH AND LOW LEVEL ALARMS.

PUMP DISCHARGE RATE SHOULD BE SELECTED TO PROVIDE A MINIMUM RUN TIME OF 5 MINUTES. SHORT RUN TIMES INCREASE SWITCHING AND PUMP WEAR.

DEPTH TO GROUND WATER: IS GREATER THAN 350 FEET BELOW THE LOWEST GRADE OF THE LEACHFIELD

GROUNDWATER SETBACK PER TABLE 5-6 MCEH OWTS: 20 FEET

POTENTIAL GROUND WATER RECHARGE AREA (GWRA) SPECIFIED BY FIGURE 2-10 PER MCEH-OWTS-2018: NOT APPLICABLE

APPLICATION RATE: 1.2 GALLONS PER SQUARE FOOT PER DAY
INFILTRATION AREA REQUIRED: 250 SQUARE FEET

LEACHFIELD TYPE: SHALLOW TRENCH, 2 FT DEEP X 1.5 FT WIDE X 62.5 FT LONG
EFFECTIVE WALL AREA: BOTH SIDE WALLS = 250 SQUARE FEET

PRIMARY, SECONDARY, AND TERTIARY FIELD INDICATED.

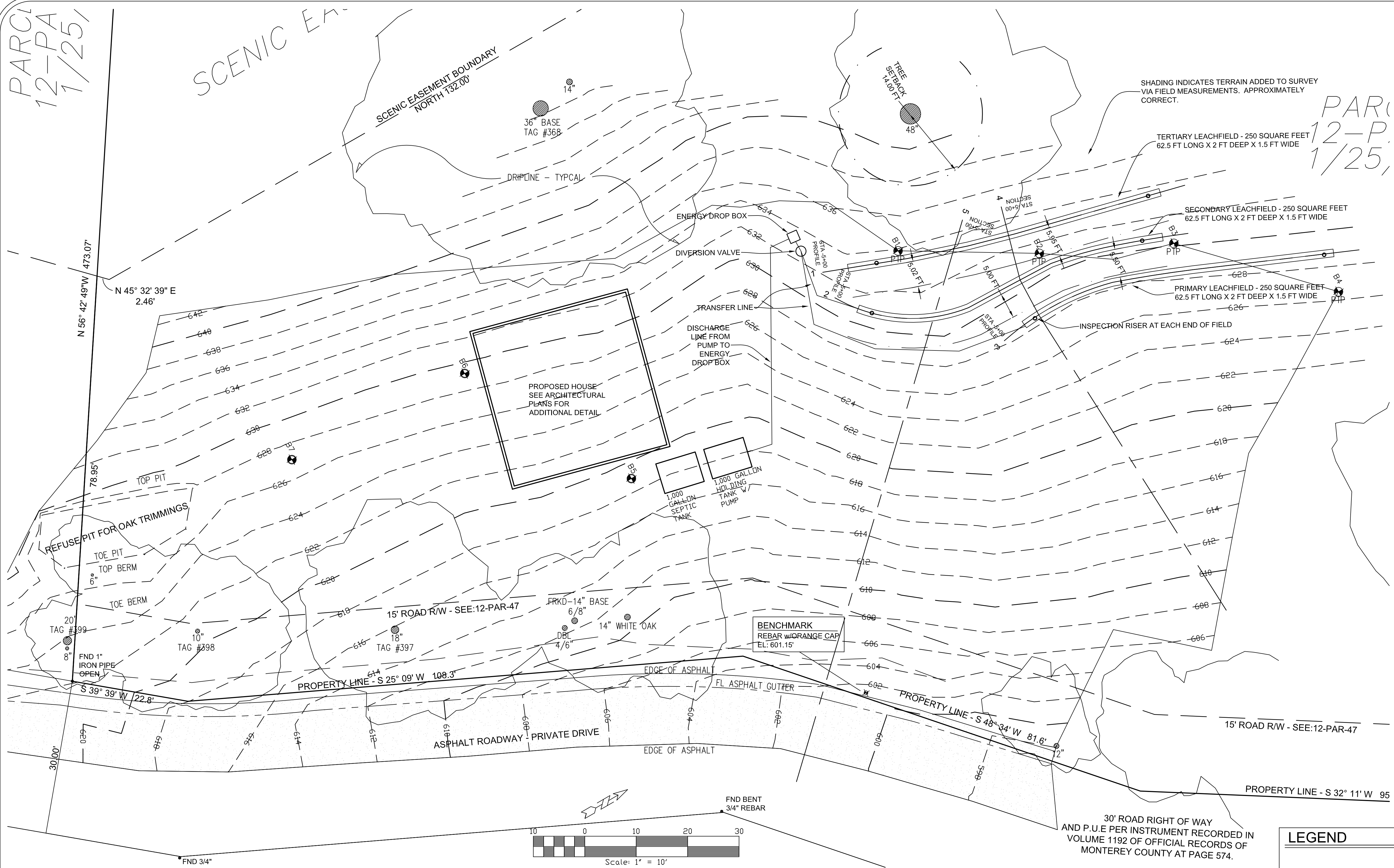
SEPTIC TANK(S) AND PUMP VAULT LOCATION INDICATED. ACTUAL LOCATION AND ELEVATION TO BE DETERMINED BASED ON ACTUAL PLUMBING ALIGNMENTS AND ELEVATIONS

AREA IS OF NATURAL FORM WITH COVER OF GRASS, BUSHES AND SCATTERED TREES. TERRAIN OVER THE LEACHFIELDS IS NEAR 30%. TERRAIN BELOW LEACHFIELDS VARIES.

THE LAYOUT IS PRIMARILY PREPARED TO INDICATE THE REQUIRED COMPONENTS, FUNCTION AND THAT THERE ARE SUITABLE LOCATIONS FOR THESE COMPONENTS.

THE CREATION DATE OF THE PROPERTY REQUIRES ONLY TWO COMPLETE LEACHFIELDS HOWEVER THREE LEACHFIELDS ARE DETAILED TO INDICATE SUFFICIENT ROOM IS AVAILABLE FOR THE ON SITE WASTE WATER TREATMENT SYSTEM (OWTS).

PLEASE REFER TO THE OWTS REPORT BY GRICE ENGINEERING, INC. FOR ADDITIONAL INFORMATION, DETAILS AND COMMENTARY.



SITE PLAN
SCALE 1" = 10'

SHEET INDEX:
OWTS-1.0 SITE PLAN, SPECIFICATIONS AND NOTES
OWTS-2.0 PROFILES
OWTS-2.1 SECTIONS
OWTS-4.0 LEACHFIELD TRENCH AND TRACER WIRE DETAILS
OWTS-5.0 TANKS AND PUMP DETAILS

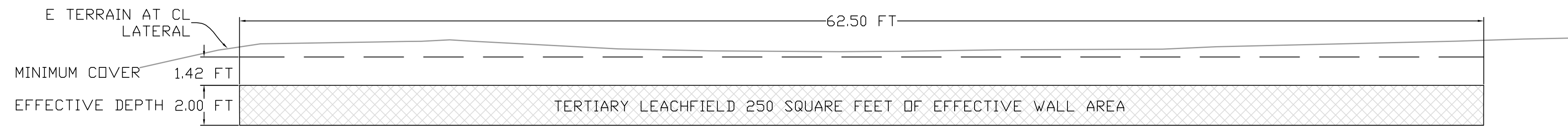
NOT ALL EXISTING OR PROPOSED SITE FEATURES ARE SHOWN. REFER TO ARCHITECTURE PLANS AND SURVEY FOR FURTHER DETAILS.

NOTE: TRACER WIRE SHALL BE INSTALLED PER DETAILS ON SHEET C3.

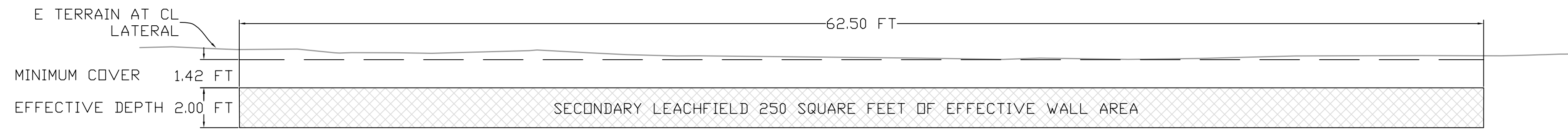
LEGEND

- PROPOSED LEACHFIELDS
- PROPERTY LINE
- HORIZONTAL SETBACKS
- - - - - MINOR CONTOURS
- - - - - MAJOR CONTOURS
- ===== PROPOSED STRUCTURE
- SS ----- PROPOSED SEWER LINE
- 10 FT ----- TYPICAL 10 FOOT TREE SETBACK DIAMETER ± PLUS 10 FT
- B1 ----- TEST LOCATION PER GRICE ENGINEERING

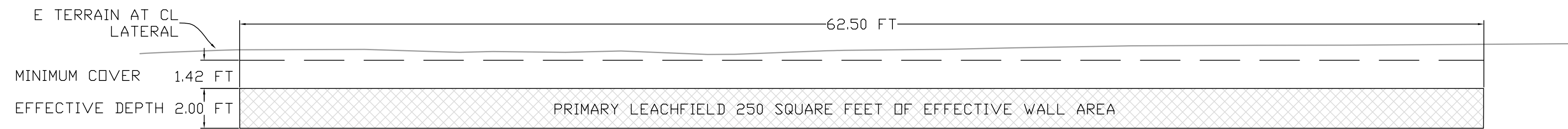
REVISION DATES
PUB 04/09/2025



1 PROFILE 1
SCALE 1" = 4'

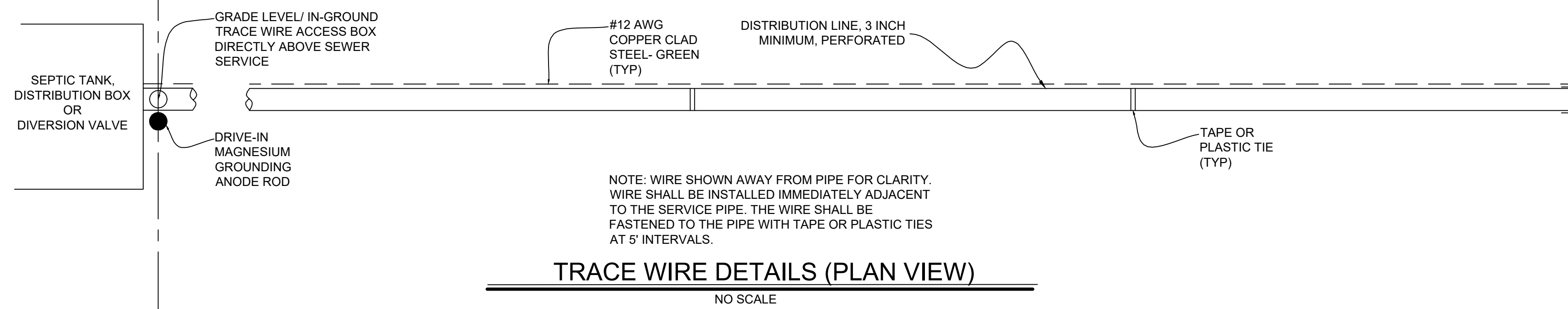


2 PROFILE 2
SCALE 1" = 4'



3 PROFILE 3
SCALE 1" = 4'

REVISION DATES
PUB 04/09/2025



TRACE WIRE DETAILS (PLAN VIEW)

NO SCALE

TRACE WIRE SPECIFICATIONS

MATERIALS- GENERAL

ALL TRACE WIRE AND TRACE WIRE PRODUCTS SHALL BE DOMESTICALLY MANUFACTURED.

ALL TRACE WIRE SHALL HAVE HDPE INSULATION INTENDED FOR DIRECT BURY, COLOR COATED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

CONNECTORS

DIRECT BURY WIRE CONNECTORS, INCLUDING 3-WAY LOCKABLE CONNECTOR: SNAKEBITE 3- WAY DIRECT BURY LUG: COPPERHEAD PART # 3WB-01, MAIN LINE SPLICE TO SERVICE LINE CONNECTION SHALL BE SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACE WIRE INSTALLATION, SHALL BE DIELECTRIC SILICON FILLED TO SEAL OUT MOISTURE AND CORROSION, AND SHALL BE INSTALLED IN A MANNER SO AS TO PREVENT ANY UNINSULATED WIRE EXPOSURE.

TERMINATION/ACCESS

ALL TRACE WIRE TERMINATION POINTS MUST UTILIZE AN APPROVED TRACE WIRE ACCESS BOX (ABOVE GROUND OR GRADE LEVEL/IN-GROUND AS APPLICABLE), SPECIFICALLY MANUFACTURED FOR THIS PURPOSE. A MINIMUM OF 2 FT. OF EXCESS WIRE IS REQUIRED IN ALL GRADE LEVEL TRACE WIRE ACCESS BOXES AFTER SETTING AT FINAL GRADE.

- SERVICE LATERALS ON PRIVATE PROPERTY - TRACE WIRE MUST TERMINATE AT AN APPROVED ABOVE-GROUND TRACE WIRE ACCESS BOX, PROPERLY AFFIXED TO THE BUILDING EXTERIOR, DIRECTLY ABOVE WHERE THE UTILITY ENTERS THE BUILDING, AT AN ELEVATION NOT GREATER THAN 5 VERTICAL FEET ABOVE GRADE OR TERMINATE AT AN APPROVED GRADE LEVEL/IN-GROUND TRACE WIRE ACCESS BOX, LOCATED WITHIN 2 LINEAR FEET OF THE BUILDING BEING SERVED BY THE UTILITY.
- ON LONG-RUNS, IN EXCESS OF 500 LINEAR FEET WITHOUT SERVICE LATERALS OR HYDRANTS, TRACE WIRE ACCESS MUST BE PROVIDED UTILIZING AN APPROVED IN-GROUND TRACE WIRE ACCESS BOX, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, AND OUT OF THE ROADWAY. THE IN-GROUND TRACE WIRE ACCESS BOX SHALL BE DELINEATED USING A POLYETHYLENE MARKER POST, COLOR CODED PER APWA STANDARD FOR THE SPECIFIC UTILITY BEING MARKED.

GROUNDING

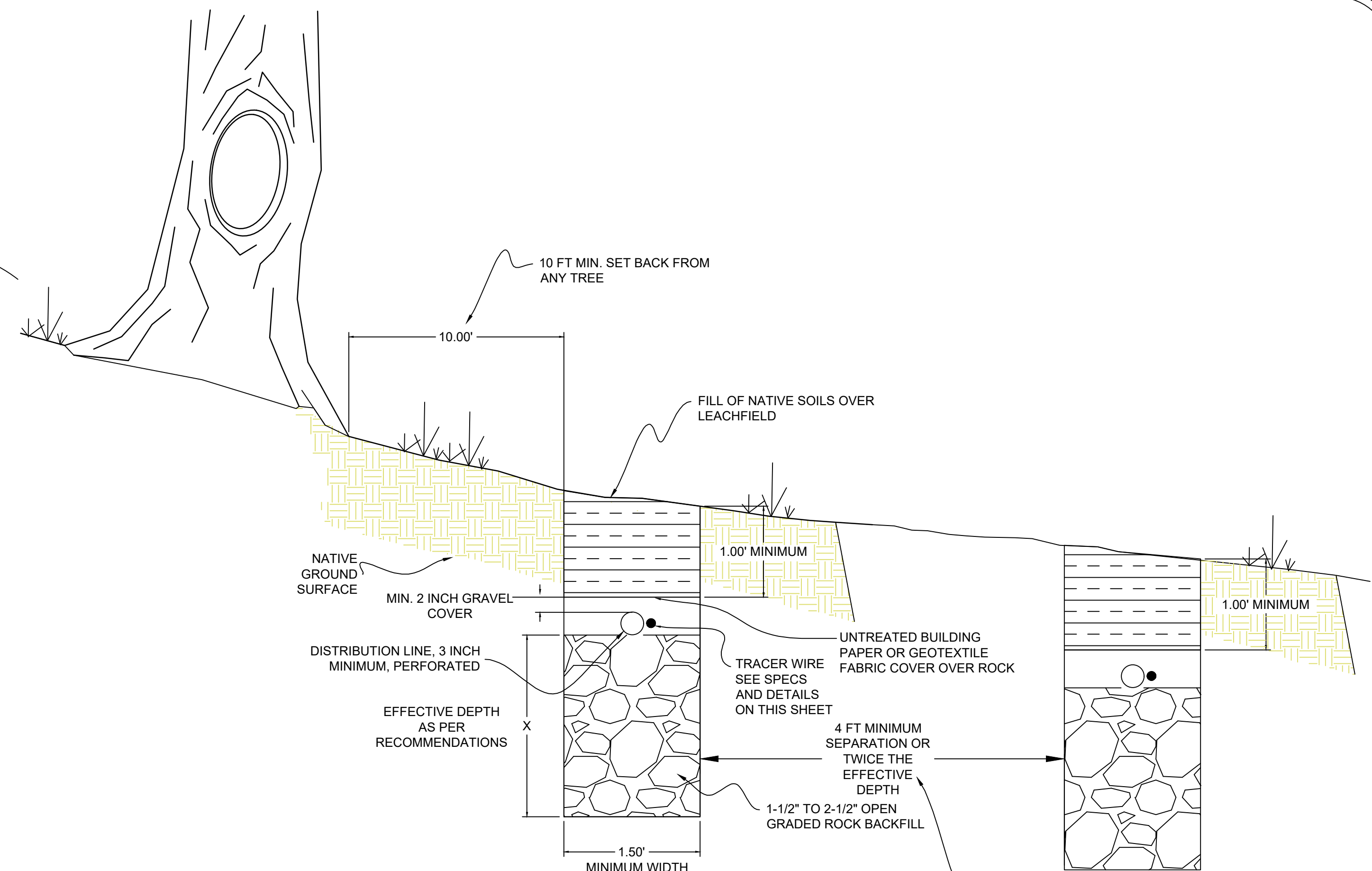
- TRACE WIRE MUST BE PROPERLY GROUNDED AT ALL DEAD ENDS/STUBS
- GROUNDING OF TRACE WIRE SHALL BE ACHIEVED BY USE OF A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD WITH A MINIMUM OF 20FT OF #14 HDPE COPPER CLAD WIRE CONNECTED TO ANODE (MINIMUM 1.0 LB.) SPECIFICALLY MANUFACTURED FOR THIS PURPOSE, AND BURIED AT THE SAME ELEVATION AS THE UTILITY. DRIVE IN MAGNESIUM ANODE: COPPERHEAD PART # ANO-1005

INSTALLATION-GENERAL

- TRACE WIRE INSTALLATION SHALL BE PERFORMED IN SUCH A MANNER THAT ALLOWS PROPER ACCESS FOR CONNECTION OF LINE TRACING EQUIPMENT, PROPER LOCATING OF WIRE WITHOUT LOSS OR DETERIORATION OF LOW FREQUENCY (512HZ) SIGNAL FOR DISTANCES IN EXCESS OF 1,000 LINEAR FEET, AND WITHOUT DISTORTION OF SIGNAL CAUSED BY MULTIPLE WIRES BEING INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER.
- TRACE WIRE SYSTEM MUST BE INSTALLED AS A CONTINUOUS SINGLE WIRE. NO LOOPING OR COILING OF WIRE IS ALLOWED.
- ANY DAMAGE OCCURRING DURING INSTALLATION OF THE TRACE WIRE MUST BE IMMEDIATELY REPAIRED IN AN APPROVED WATERPROOF METHOD. TAPING AND/OR SPRAY COATING SHALL NOT BE ALLOWED.
- TRACE WIRE ON ALL SERVICE LATERAL/STUBS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX DIRECTLY ABOVE THE UTILITY, USING COLOR CODED ACCESS BOXES, LOCATED AT THE EDGE OF THE ROAD RIGHT-OF-WAY, BUT OUT OF THE ROADWAY. (SEE TRACE WIRE TERMINATION/ACCESS)
- ALL MAINLINE DEAD-ENDS SHALL GO TO GROUND USING AN APPROVED WATERPROOF CONNECTION TO A DRIVE-IN MAGNESIUM GROUNDING ANODE ROD, BURIED AT THE SAME DEPTH AS THE TRACE WIRE. THE ANODE WILL BE BURIED ON THE OPPOSITE SIDE OF THE UTILITY AT THE FURTHEST MOST POINT. THE ANODE WIRE WILL BE CONNECTED IN THE TRACE WIRE ACCESS BOX TO THE TRACE WIRE UTILIZING THE CONNECTION POINT IN THE ACCESS BOX.
- MAINLINE TRACE WIRE SHALL NOT BE CONNECTED TO EXISTING CONDUCTIVE PIPES. TREAT AS A MAINLINE DEAD-END, GROUND USING AN APPROVED WATERPROOF CONNECTION TO A GROUNDING ANODE, BURIED AT THE SAME DEPTH AS THE TRACE WIRE.
- ALL SERVICE LATERAL TRACE WIRES SHALL BE CONNECTED TO THE MAINLINE WITH A SINGLE WIRE, (NO LOOPING WILL BE ALLOWED) USING A MAINLINE TO LATERAL LUG CONNECTOR, INSTALLED WITHOUT CUTTING/SPLICING THE MAINLINE TRACE WIRE.
- IN OCCURRENCES WHERE EXISTING TRACE WIRE IS ENCOUNTERED ON AN EXISTING UTILITY THAT IS BEING EXTENDED OR TIED INTO, THE NEW AND EXISTING TRACE WIRE SHALL BE CONNECTED USING APPROVED SPLICE CONNECTORS, SHALL BE PROPERLY GROUNDED AT THE SPLICE LOCATION AS SPECIFIED AND BE COMPLETELY WATERPROOF TO PROHIBIT CORROSION AND LOSS OF CONDUCTIVITY.

INSTALLATION - SANITARY SEWER SYSTEM

- LAY MAINLINE TRACE WIRE CONTINUOUSLY, BY-PASSING AROUND THE OUTSIDE OF MANHOLES/STRUCTURE ON THE NORTH OR EAST SIDE.
- TRACE WIRE ON ALL SANITARY LATERALS MUST TERMINATE AT AN APPROVED TRACE WIRE ACCESS BOX COLOR CODED GREEN AND LOCATED DIRECTLY ABOVE THE SERVICE LATERAL AT THE ROAD RIGHT OF WAY. FOLLOW GROUNDING SPECIFICATION AND CONNECTIONS.



TYPICAL TRENCH DETAIL

NO SCALE

AN ADDITIONAL 1 FOOT OF SEPARATION IS REQUIRED FOR EACH 5% INCREASE IN SLOPE GREATER THAN 30%.

TRACE WIRE SPECIFICATIONS (CONTINUED)

PROHIBITED PRODUCTS AND METHODS

THE FOLLOWING PRODUCTS AND METHODS SHALL NOT BE ALLOWED OR ACCEPTABLE

- UNINSULATED TRACE WIRE
- TRACE WIRE INSULATIONS OTHER THAN HDPE
- TRACE WIRES NOT DOMESTICALLY MANUFACTURED
- TWIST-ON WIRE CONNECTORS
- BRASS OR COPPER GROUND RODS
- WIRE CONNECTIONS UTILIZING TAPING OR SPRAY-ON WATERPROOFING
- LOOPED WIRE OR CONTINUOUS WIRE INSTALLATIONS, THAT HAS MULTIPLE WIRES LAID SIDE-BY-SIDE OR IN CLOSE PROXIMITY TO ONE ANOTHER
- BRASS FITTINGS WITH TRACE WIRE CONNECTION LUGS
- WIRE TERMINATIONS WITHIN THE ROADWAY, I.E. IN VALVE BOXES, CLEANOUTS, MANHOLES, ETC.
- CONNECTING TRACE WIRE TO EXISTING CONDUCTIVE UTILITIES: EXPLANATION, TO PREVENT CORROSION AT EXISTING GROUNDING OPTIONS ON CORPS OR CURB STOPS OR SPLICES. ANODE GROUNDING WILL PREVENT THE WIRE FROM CORRODING.

TESTING

ALL NEW TRACE WIRE INSTALLATIONS SHALL BE LOCATED USING TYPICAL LOW FREQUENCY (512HZ) LINE TRACING EQUIPMENT, WITNESSED BY THE CONTRACTOR, ENGINEER AND FACILITY OWNER AS APPLICABLE, PRIOR TO ACCEPTANCE OF OWNERSHIP.

THIS VERIFICATION SHALL BE PERFORMED UPON COMPLETION OF ROUGH GRADING AND AGAIN PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

CONTINUITY TESTING IN LIEU OF ACTUAL LINE TRACING SHALL NOT BE ACCEPTED.

REVISION DATES

PUB 04/09/2025

NOT VALID WITHOUT STAMP AND SIGNATURE



LAWRENCE E. GRICE, P.E.; R.C.E. 66857

PREPARED FOR:

GARRETT ANDREW BECK
16089 BALFOUR LANE
SALINAS, CALIFORNIA 93908

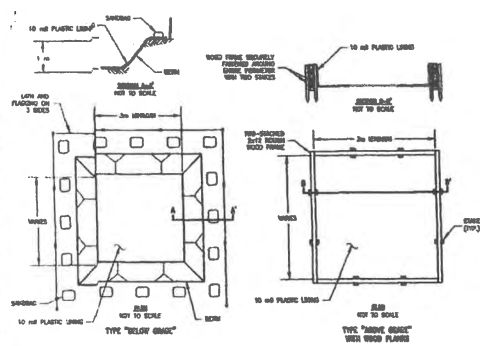
BECK RESIDENCE; A.P.N. 416-261-039-000
SAN BENANCIO ROAD, SALINAS, CALIFORNIA 93908

ONSITE WASTEWATER TREATMENT SYSTEM
LEACHFIELD TRENCH AND TRACER WIRE DETAILS

OWTS-4.0

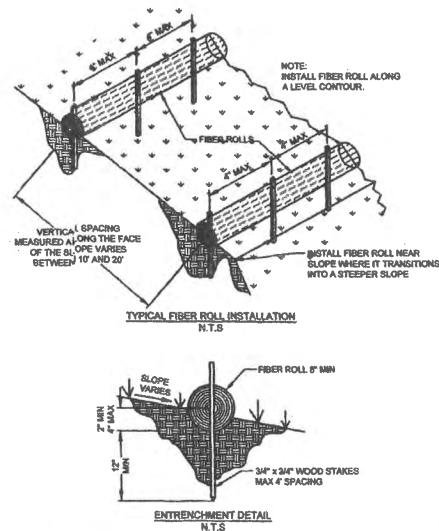
Date Plotted: May 14, 2025

BECK RESIDENCE
FILE NO. 7974-25.02



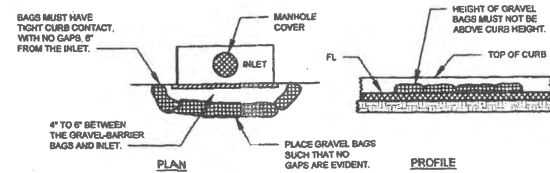
CONCRETE WASTE MANAGEMENT WM-8

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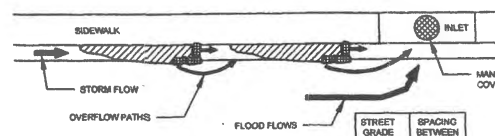
FIBER ROLLS

NTS



DRAIN INLET BARRIER

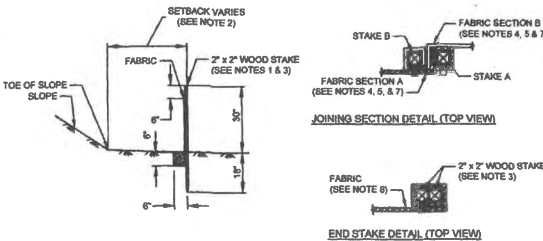
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CURB AND GUTTER CONTAINMENT

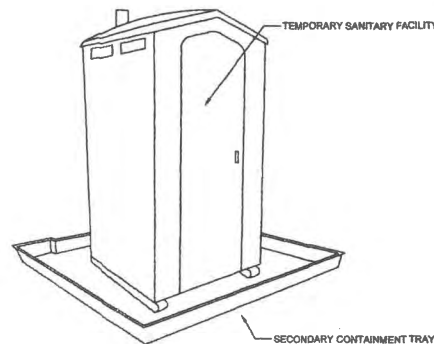
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STREET GRADE (ft)	SPACING BETWEEN BAGS (ft)
0.5	100
1.0	50
2.0	25
3.0	15
4.0	10
5.0	10



SILT FENCE

NTS



STORAGE AND DISPOSAL PROCEDURES

1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM GRASSY CONVEYANCES AND TRAFFIC AREAS.
2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.
3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.
4. ARRANGE FOR REGULAR WASTE COLLECTION; DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

SANITARY WASTE MANAGEMENT

NTS

HCD - ENVIRONMENTAL SERVICES NOTES

1. All or part of the construction of this project is expected to occur during the winter season (October 15th through April 15th)? YES / NO
2. All grading shall conform to the Monterey County Grading Ordinance #2535, Erosion Control Ordinance #2806, and California Building Code.
3. It shall be the responsibility of the owner and the permittee to ensure that erosion does not occur from an activity during or after project construction. Additional measures, beyond those specified, may be required as deemed necessary to control accelerated erosion (MCC 16.12.100).
4. Temporary erosion control to be installed between October 15 and April 15.
5. Vegetation removal between October 15 and April 15 shall not precede subsequent grading or construction by more than 15 days. During this period, erosion and sediment control measures shall be in place at the end of each working day.
7. During construction the applicant shall schedule an inspection with HCD-Environmental Services to inspect drainage device installation, review the maintenance and effectiveness of BMPs installed, and to verify that pollutants of concern are not discharged from the site. At the time of the inspection, the applicant shall provide certification that all necessary geotechnical inspections have been completed to that point.
8. Dust from grading operations must be controlled. The owner or contractor may be required to keep adequate equipment on the grading site to prevent dust problems.
9. The Director of Building Inspection (Building Official) shall stop operations during periods of inclement weather if he or she determines that erosion problems are not being controlled adequately.
10. Prior to commencement of any land disturbance, the owner/applicant shall schedule an inspection with HCD-Environmental Services to ensure all necessary sediment controls are in place and the project is compliant with Monterey County grading and erosion control regulations.

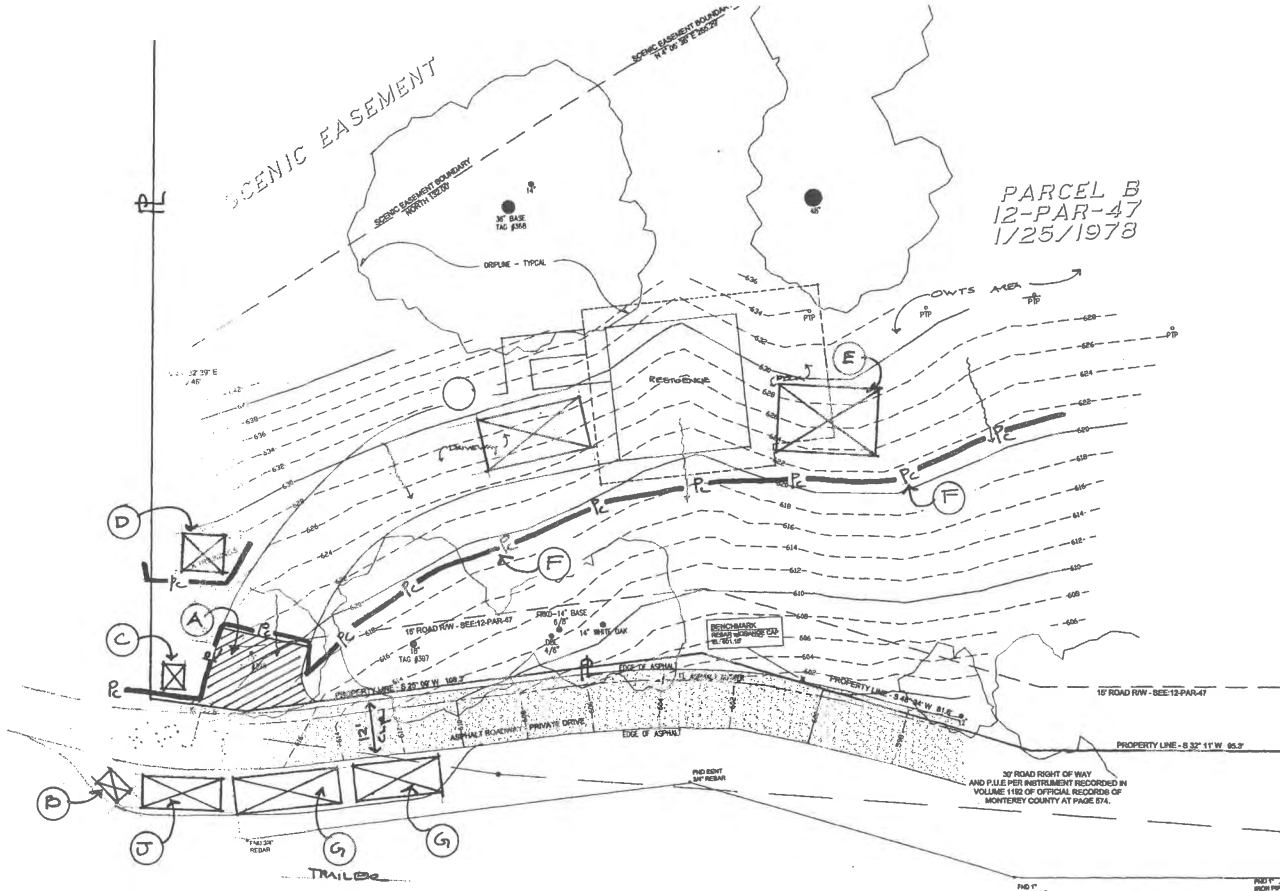
Prior to Building Final:

11. Prior to final inspection, the owner/applicant shall schedule and inspection with HCD-Environmental Services to conduct a Final Grading Inspection, collect Final Geotechnical Letter of Conformance, ensure that all disturbed areas have been stabilized and that all temporary erosion and sediment control measures that are no longer needed have been removed.

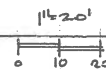
Erosion Control Legend

- (A) Tracking Control: Prevent tracking dirt offsite. Use gravel and corrugated steel plates or equal to provide a stabilized entrance and exit for vehicles. Clean plates regularly and replace gravel when no longer effective. Maintain dust control and implement street sweeping and vacuuming as needed
- (B) Solid Waste Management: 3 c.y. container with lid
- (C) Sanitary/Septic Waste Management: Portable Bathroom w/ containment underneath (WM-9)
- (D) Concrete Washout (WM-8)
- (E) Stockpile Management - Fiber rolls or gravel bags around with visqueen cover and gravel bags on top to secure visqueen (WM-3)
- (F) Perimeter Control: Fiber Rolls or Silt Fencing
- (G) Earth moving Equipment w/ containment underneath
- (H) Material Delivery and Storage, cover when not in use (WM-1)
- (J) Crew Parking

Notes: 1) Earth moving equipment, trailers, and pickup trucks may be parked on shoulder of private easement road as long as 12' clear right-of-way is provided for through traffic to neighboring houses. No parking on public roads. 2) See sheet C1 for BMP's



EROSION CONTROL PLAN

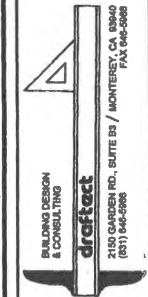


TEMPORARY COVER ON STOCKPILE

NTS

7

REVISIONS	BY



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Date 8-11-25
 Scale
 Drawn
 Job 45-2024
 Sheet
 of 8 sheets

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Project: Beck Residence
San Benancio Road
Salinas, CA **PLN240355**

draftect

Colors and Materials

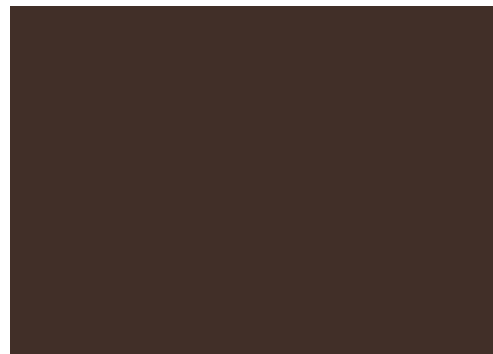
Roofing: GAF Class "A" Comp Shingles
Color: Barkwood



Body: Clark and Kensington
Archipelago Islands



Trim: Clark and Kensington
Estate Brown



Siding: Hardie Panel Board & Batt
Ignition Resistant Fiber Cement
Siding & Batts



Decking & Guardrail:
Decking - Trex Ignition Resistant
Redwood Color

Guard – Redwood Posts and
Top Rail, stainless steel cables



Deck and railing

City Streets 10" Wide Sand Coal Black Modern LED Outdoor Wall Light



Technical Specifications

Height	7.50 inches
Width	10.00 inches
Weight	1.19 pounds
Max Wattage	8 watts
#of Bulbs	1

Dark Sky listed down light

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