

Exhibit A

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DRAFT RESOLUTION

Before the Zoning Administrator in and for the County of Monterey, State of California

In the matter of the application of:

**TORRES MARIA ELENA ROMERO & VARGAS
JUAN ROMERO ET AL (PLN250388)**

RESOLUTION NO. 26-

Resolution by the County of Monterey Zoning
Administrator:

- 1) Finding that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approving a Design Approval to allow construction of a 3,453 square foot single family dwelling with a 1,473 square foot attached garage, and associated site improvements including a 2,500-gallon septic system.

[PLN250388, Maria Elena Romero Torres and Juan Romero Vargas, 128 Rodgers Road, Salinas, Greater Salinas Area Plan (Assessor's Parcel Number 253-011-005-000)]

The TORRES MARIA ELENA ROMERO & VARGAS JUAN ROMERO ET AL application (PLN250388) came on for a public hearing before the County of Monterey Zoning Administrator on May 14, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

WHEREAS, the proposed project PLN250388, located at 128 Rodgers Road, Salinas, Greater Salinas Area Plan (APN: 253-011-005-000), is consistent with the policies of the Monterey County 2010 General Plan, Greater Salinas Area Plan, and the Monterey County Zoning Ordinance (Title 21);

WHEREAS, the subject parcel is zoned Resource Conservation, with 10 acres per unit and Design Control Overlay which principally allows for construction of a single-family dwelling and accessory structures, subject to the granting of a Design Approval pursuant to Title 21 Chapter 21.44;

WHEREAS, as proposed, the project consists of construction of a 3,453 square foot single family dwelling with a 1,473 square foot attached garage, and associated site improvements. Associated site improvements include a 432 square foot covered porch, new 2,500-gallon septic system, and a new 61 linear foot driveway;

WHEREAS, as detailed in the attached plans, the proposed project meets all required development standards established in Monterey County Code (MCC) section 21.36.060 and 2010 General Plan Policy LU-2.2.

WHEREAS, the proposed color and materials include extra white siding, sassy green door and window trim, versatile gray decorative trim, versetta stone siding, and concrete roof tiling. The proposed colors and materials, and bulk and mass blend with the surrounding environment, are consistent with the surrounding residential neighborhood character, and other dwellings in the neighborhood;

WHEREAS, the proposed project is not located in an area of high visual sensitivity and as sited, designed, and conditioned, will not result in adverse visual impacts. Further, the project is consistent with the applicable scenic resource policies of the 2010 General Plan and the Greater Salinas Area Plan;

WHEREAS, the proposed project includes the conversion of the existing 1,200 square foot single-family dwelling manufactured home into the Accessory Dwelling Unit as illustrated in the attached site plans. Pursuant to Title 21 section 21.64.030 and Government Code section

65852.2, conversion of an ADU shall be processed ministerially. Although a planning entitlement is not required and approval for the conversion from a single family dwelling to an ADU is not a part of this application, the ADU is dependent and accessory to a single-family dwelling. Therefore, the ADU remains in the plans..

WHEREAS, an Archaeological Report (LIB160047) was conducted on the parcel on December 3rd, 2015, and concluded the site did not have any potential significant archaeological resources and no evidence of significant historical resources. There is no evidence that any cultural resources would be disturbed, and the potential for inadvertent impacts to cultural resources is limited. This will be controlled by application of the County’s standard project condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction;

WHEREAS, the subject property (4.645 acres) is identified as Lot 1 of Santa Rita Rancho, Rancho, filed on August 28th, 1911, in Map Book 1 of “Surveys” on Page 76, as well as further described in a Certificate of Compliance recorded April 28, 2010 under Instrument No. 2010-023557 of Official Records, and is therefore recognized by the County as a legal lot of record;

WHEREAS, Monterey County HCD-Planning and HCD-Building Services records were reviewed, and the County is not aware of any violations existing on the subject property;

WHEREAS, As detailed above, the applicants propose a single-family dwelling and conversion of an existing single family dwelling (manufactured home) into an ADU. However, under Title 21 section 21.64.030 and Government Code section 65852.2, the ADU is being processed ministerially. CEQA Guidelines section 15268(d) declares that “[w]here a project involves an approval that contains elements of both a ministerial action and a discretionary action, the project will be deemed to be discretionary and will be subject to the requirements of CEQA.” In such cases, while the whole project becomes subject to CEQA, it is only those discretionary components of the project – those parts which the reviewing agency (here, the County) has authority to shape, influence, approve, or deny (CEQA Guidelines section 15040; Public Resources Code section 21004). Accordingly, while the Zoning Administrator’s discretionary authority is limited to consideration of the proposed residence, the proposed residence and the ADU are subject to CEQA. The project involves the construction of the single-family dwelling, with an attached garage and conversion of an existing single-family dwelling into an accessory dwelling unit on a residentially zoned property. California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts new construction of residences and accessory structures. Therefore, the proposed development is consistent with CEQA Guidelines section 15303 and none of the exceptions under CEQA Guidelines section 15300.2 apply to this project; and

WHEREAS, pursuant to MCC Section 21.44.070, the Board of Supervisors shall consider appeals from the discretionary decisions of the Zoning Administrator, and the decision of the Board of Supervisors would be final and may not be appealed.

NOW, THEREFORE BE IT RESOLVED, based on the above recitals, the Monterey County Zoning Administrator does hereby:

- 1) Find that the project qualifies as a Class 3 Categorical Exemption pursuant to Section 15303 of the CEQA Guidelines and there are no exceptions pursuant to Section 15300.2; and
- 2) Approve a Design Approval to allow construction of a 3,453 square foot single family dwelling with a 1,473 square foot attached garage, and associated site improvements including a 2,500 gallon septic system.

PASSED AND ADOPTED this 14th day of May 2026.

Mike Novo, AICP Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.
2. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.
3. Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250388

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This Design Approval (PLN250388) allows construction of a 3,453 square foot single family dwelling with a 1,473 square foot attached garage, and associated site improvements including a 2,500 gallon septic system. The property is located at 128 Rodgers Road, Salinas (Assessor's Parcel Number 253-011-005-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Design Approval (Resolution Number _____) was approved by the Zoning Administrator for Assessor's Parcel Number 253-011-005-000 on May 14th, 2026. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The lighting source shall be shielded and recessed into the fixture. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of HCD - Planning, prior to the issuance of building permits.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to HCD - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to final/occupancy, the Owner/Applicant/Contractor shall submit written and photographic evidence demonstrating that the lighting has been installed according to the approved plan.

On an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. EHSP01 - CENTRALIZED WATER TREATMENT SYSTEM DESIGN (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Water quality analysis of a sample collected from the onsite well on November 18, 2025, indicates that Nitrate was detected at 45 micrograms per liter (45 ug / L) which exceeds the maximum containment level of ten micrograms per liter (10 ug / L). A centralized water treatment system shall be designed and installed to provide water that meets primary drinking water standards. The water treatment system shall be designed to meet the standards of Monterey County Code, Chapter 15.04 and 15.08, and Titles 17 and 22 of the California Code of Regulations. The design shall address water treatment wastewater management. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to the issuance of construction permit, the applicant shall submit to the Environmental Health Bureau (EHB) for review and approval, plans for a centralized water treatment system and any associated fees.
Prior to final inspection of construction permit, the EHB-approved water treatment system shall be installed. The applicant shall provide to the EHB for review and acceptance as-built plans for the centralized treatment system prepared by a qualified individual and shall submit acceptable water quality results for a pre and post-treatment Nitrate sample from the well.

6. EHSP02 - DEED RESTRICTION: DECLARATION FOR AN UNREGULATED DOMESTIC WATER SYSTEM (Non-Standard)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: The Environmental Health Bureau (EHB) has determined that as long as none of the dwellings on the property that are served by the onsite well are leased, rented, or offered for remuneration, the water distribution system is exempt from Chapter 15.04 of the Monterey County Code, Titles 17 and 22 of the California Code of Regulations and is not required to obtain a water system permit. In the event that any of the dwellings on the property are leased, rented, or offered for remuneration a water system permit shall be required from EHB. The applicant shall submit evidence that the approved deed restriction has been recorded with the County of Monterey Recorder's Office. (Environmental Health)

Compliance or Monitoring Action to be Performed: Prior to issuance of construction permits, the applicant shall provide a legal description for the parcel and a copy of the Grant Deed to the Environmental Health Bureau ("EHB"). The EHB will prepare the deed restriction form.

Prior to final inspection of construction permits, the property owner shall sign and notarize the deed restriction form obtained from the EHB. Record the notarized deed restriction with the Monterey County Recorder. Proof of recordation shall be provided to the EHB.

7. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. Fee schedule can be found here: https://www.tamcmonterey.org/files/53eb01ba3/2025-0701Fee_Implementation_Worksheet.xlsx

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the HCD-Engineering Services.

8. PW0045 – COUNTYWIDE TRAFFIC FEE

Responsible Department: Public Works

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, the Owner/Applicant shall pay the Countywide Traffic Fee or the ad hoc fee pursuant to General Plan Policy C-1.8. The fee amount shall be determined based on the parameters in the current fee schedule. The fee schedule can be found here: <https://www.countyofmonterey.gov/home/showpublisheddocument/138985/638884451861730000>

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits, the Owner/Applicant shall pay Monterey County HCD-Building Services the traffic mitigation fee. The Owner/Applicant shall submit proof of payment to HCD-Engineering Services.

File #: _____



County Of Monterey Housing And Community Development – Planning – Building – Housing
1441 Schilling Place, South 2nd Floor, Salinas, California 93901-4527
(831) 755-5025

Inland Design Approval Application Form

Assessor's Parcel Number: _____

Project Address: _____

Property Owner: _____

Telephone: _____

Address: _____

Email: _____

Applicant: _____

Telephone: _____

Address: _____

Email: _____

Agent: _____

Telephone: _____

Address: _____

Email: _____

Project Description: (Attach separate sheet for additional details)

***Materials To Be Used-Description:** (Attach)

***Colors to be Used-Description:** (Attach)

Please Read [Design Approval Request Instructions](#). I acknowledge that I will need a building permit and must comply with the Monterey County Building Ordinance and that this approval is for design of the structures and compliance with zoning regulations only. For properties served by onsite wastewater treatment system (OWTS), the environmental health bureau (EHB) will not review this application but may need to require redesign of the project in the subsequent construction permit application to address impacts related to the existing OWTS or future standby area. A project redesign may require a subsequent design approval application and additional fees.

Property Owner/Agent Signature: _____

Juwencio Flores

Date: _____

FOR DEPARTMENT USE ONLY

Zoning: _____

Land use Plan: _____

Advisory Committee: _____

Related Permits: _____

Planner: _____

Within Arch Buffer Zone?

Yes

No

On Septic System (OWTS)?

Yes

No

Legal Lot?

Yes

No

Does this Correct a Violation?

Yes

No

Findings:

- The Project Is Consistent with The 2010 General Plan, The Applicable Area Plan, And Meets The Regulations In Title 21 (Zoning Ordinance-Inland); And
- The Design Of The Proposed Project Assures Protection Of The Public Viewshed, Is Consistent With Neighborhood Character, And Assures Visual Integrity Without Imposing Undue Restrictions On Private

Property Because: _____

Decision:

Over-The-Counter

Administrative

Action:

Approved

Denied

Conditions:

Attached

None

Approved By: _____

Date: _____

Copy to Applicant:

In Person

Mail

Date: _____

Statement Of Planning Scope Of Work (Inland)

Page 1 of 2 (See page 4 for policy references)

PLEASE CHECK "YES" OR "NO" FOR ALL BOXES

*The Project is For:	
<input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Agricultural <input type="checkbox"/> Public or Quasi-Public <input type="checkbox"/> Industrial Use	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes a cell-site, telecom (digital) communication facility/site?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes the construction of a new structure?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes a lot line adjustment or subdivision?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes the enlarging, altering, repairing, moving, improving, or removing of existing structures? If "yes", describe:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes demolition work. If "yes", describe:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes the use of roofing materials that are different in type and/or color from the original materials? If "yes," describe:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes replacement and/or repair of (50%) or more of the exterior walls of a structure?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes historical structure or a structure more than fifty (50) years old?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes an accessory structure(s)? If "yes", describe:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes the placement of a manufactured home, mobile home, modular or prefabricated unit? <input type="checkbox"/> Private Property <input type="checkbox"/> Park Installation (mobile home park):
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located within ¼ mile of a public airport?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is this the first residence on a property?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes a secondary unit?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Changes or modification to an approved application?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Involves removal of native vegetation?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes retaining walls or riprap?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Involves modifications to existing utilities and/or power lines?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes any tree removal? If "Yes" indicate: Type: _____ Size: _____ Number: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes Grading, Soil Import/Removal, And/or Drainage Changes.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes constructing, enlarging, altering, repairing, moving, improving or removing a well.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is associated with a new water system/improving an existing water system? Water system: _____ number of connections: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located 50 feet from a bluff?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Involves or includes an existing or proposed trail or easement.
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands? If "yes," describe:
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes cultivation of land that is currently not cultivated?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes non-agricultural uses adjacent to agricultural uses?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located within a special treatment area?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes development on slopes over 25%?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Occurs within 100 feet of creek/drainage (including seasonal) or river?

Statement Of Planning Scope Of Work (Inland)

Page 2 of 2 (See page 4 for policy references)

<input type="checkbox"/> Yes <input type="checkbox"/> No	Connects to an existing well or private water system?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes a new individual or existing wastewater system (e.g. septic)?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located within the winery corridor?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Would any portion of the proposed development be visible from a public road, designated vista point, or public park? If yes, is it located on a slope or near the top of a hill? <input type="checkbox"/> yes <input type="checkbox"/> no
<input type="checkbox"/> Yes <input type="checkbox"/> No	Located within a community area or rural center?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Includes subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Proposes or requires affordable housing?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Requires a general plan amendment?
<input type="checkbox"/> Yes <input type="checkbox"/> No	Is the project located within a study area?

Please describe completely and fully the project you are applying for. Include information on all questions answered with a "Yes." Attach additional sheets if necessary.

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any general plan policy.

Signature: *Juencio Flores* Date: _____

Print Name: _____

Please remember to provide photos, colors, and materials, as these are mandatory.

Policy Reference Based On Topic	
General Plan Amendment	Lu-1.7, Lu-2.18, Lu-2.19, Lu-2.21, Lu-2.23, Lu-2.24, Lu-2.27, Lu-2.29, Lu-6.5, Lu-9.6 Thru Lu-9.8, Gs-1.11, Csv-1.4, Ps-3.1, Os-5.20, Os-8.6,
Within City Sphere Of Influence Or Memorandum Of Understanding	Lu-2.14 Thru Lu-2.19, Ag-1.12, Gs-1.14
Community Areas	Lu-1.8, Lu-1.19, Lu-2.3, Lu-2.10 Thru Lu-2.12, Lu-2.20 Thru Lu-2.27, Lu-2.29, Lu-9.5, C-1.1, Os-3.6, Os-5.17, Os-8.6, Os-9.2, Os-10.10, T-1.7, Awcp-3.4a, Nc-1.5, Gs-1.1, Gs-1.13, Ag-1.3, Ag-1.4, Ps-1.1, Ps-1.2, Ps-3.1, Ps-4.13, Ps-5.1, Ps-8.2, Ps-11.14, S-2.5, S-5.17, S-6.4, S-6.5,
Rural Centers	Lu-1.8, Lu-1.19, Lu-2.3, Lu-2.11, Lu-2.12, Lu-2.26 Thru Lu-2.32, Os-5.17, Os-9.2, Os-10.10, T-1.7, T-1.8, Awcp-3.4a, Nc-1.5, Gs-1.13, Ag-1.3, Ps-1.1, Ps-1.2, Ps-3.1, Ps-4.13, Ps-5.1, Ps-8.2, S-5.17, S-6.5,
Special Treatment Areas	T-1.4, T-1.8, Gs-1.1 Thru Gs-1.3, Gs-1.10, Gs-1.12, Gmp-1.6 Thru Gmp-1.9, Csv-1.1, Csv-1.3, Csv-1.5 Thru Csv-1.7, Cv-1.22, Cv-1.23, Cv-1.25, Cv-1.27, Cach-1.5,
Study Areas	Gs-1.7, Gs-1.11, Csv-1.4, Cv-1.26
Winery Corridor	Ag-4.1 Thru Ag-4.5, AWCP
Development Outside Community Areas Or Rural Centers	Lu-1.19, S-2.7, Os-3.6
Development On Slopes Over 25%	Lu-9.5, Os-3.5, Os-3.6, Os-3.9, S-1.2, Cv-2.9, Cv-6.2, Cv-6.4, Cv-6.5, FOMP-A-6, Gmp-4.1, Gs-1.1, Gs-3.1, Nc-1.3, Nc-3.9, Nc-3.10, T-3.6
Conversion To Agriculture	Os-3.5, Os-5.22, Ag-1.6, Ag-1.7, Ag-1.12, Ag-2.9, Ag-3.3nc-3.10, Nc-3.11, CV-6.2, Cv-6.4,
Routine And On-Going Ag Activities	Ag-3.1 Thru Ag-3.3
Non-Ag Adjacent To Ag Uses	Lu-1.5, Lu-2.8, Ag-1.2, Ag-2.8, Cv-6.1, Gs-1.1, T-1.8
Agriculture (F, PG, & RG)	Lu-3.1, Lu-3.2, 6.0 – Agriculture Element
Farm Worker Housing	Ag-1.6
Ag Employee Housing	Ag-1.7
Ag Support Facilities	Ag-2.1 Thru Ag-2.9
Rural Residential (LDR, RDR, & RC)	Lu-2.34 Thru Lu-2.37
Urban Residential (HDR & MDR)	Lu-2.33
Commercial (LC, HC, & VPO)	Lu-4.1 Thru Lu-4.8, Ed-2.3, Ed-4.2
Industrial (Ai, Li, & Hi)	Lu-5.1 Thru Lu-5.9, Ed-2.3, Ed-4.2
Public / Quasi Public (PQP)	Lu-6.1 Thru Lu-6.5
Affordable Housing	Lu-1.19, Lu-2.11 Thru Lu-2.13, Lu-2.23, Lu-2.28, T-1.7, T-1.8, Nc-1.5, Gs-1.13, Gmp-1.9, Fomp-H-1.1, Fomp-C.3, Cv-1.6, Cv-1.27
Secondary Units	Lu-2.10, Cv-1.6, Gs-1.13, Nc-1.5, T-1.7, Ps-1.1
Subdivision	Lu-1.7, Lu-9.3 Thru Lu-9.5, Ag-1.3, Nc-1.5, Awcp-3.5.A, T-1.5, T-1.7, Gs-1.13, Cv-1.6, Cv-1.7, Ps-1.1, Ps-3.2, Ps-3.9, Ps-3.19, Ps-4.9, Ps-4.13, Ps-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, Os-1.5, Os-1.10, Os-6.5, Os-7.5, Os-8.4,
Lot Line Adjustment	Lu-1.14 Thru Lu-1.16
Off-Site Advertising	Lu-1.10
Exterior Lighting	Lu-1.13
Landscaping	Os-5.6, Os-5.14
Tree Removal	Os-5.9, Os-5.10, Os-5.25, Ps-12.10, Cach-3.4, Cv-3.11, Fomp-C-1, Fomp-C-2.1 Thru Fomp-C-2.5, Gmp-3.3, Gmp-3.5, Gs-1.5, Gs-1.8, Gs-3.3, Nc-3.4, T-3.7.
Circulation (E.G. Roads, Transportation)	Chapter 2.0

File #: _____



County Of Monterey Housing And Community Development

Planning – Building – Housing

1441 Schilling Place, South 2nd Floor, Salinas, California 93901-4527

(831) 755-5025

Colors / Materials Sample Page and Photos

File #: _____



County Of Monterey Housing And Community Development

Planning – Building – Housing

1441 Schilling Place, South 2nd Floor, Salinas, California 93901-4527

(831) 755-5025

Colors / Materials Sample Page and Photos

A large, empty rectangular box with a black border, intended for displaying color and material samples and photos.

File #: _____



County Of Monterey Housing And Community Development

Planning – Building – Housing

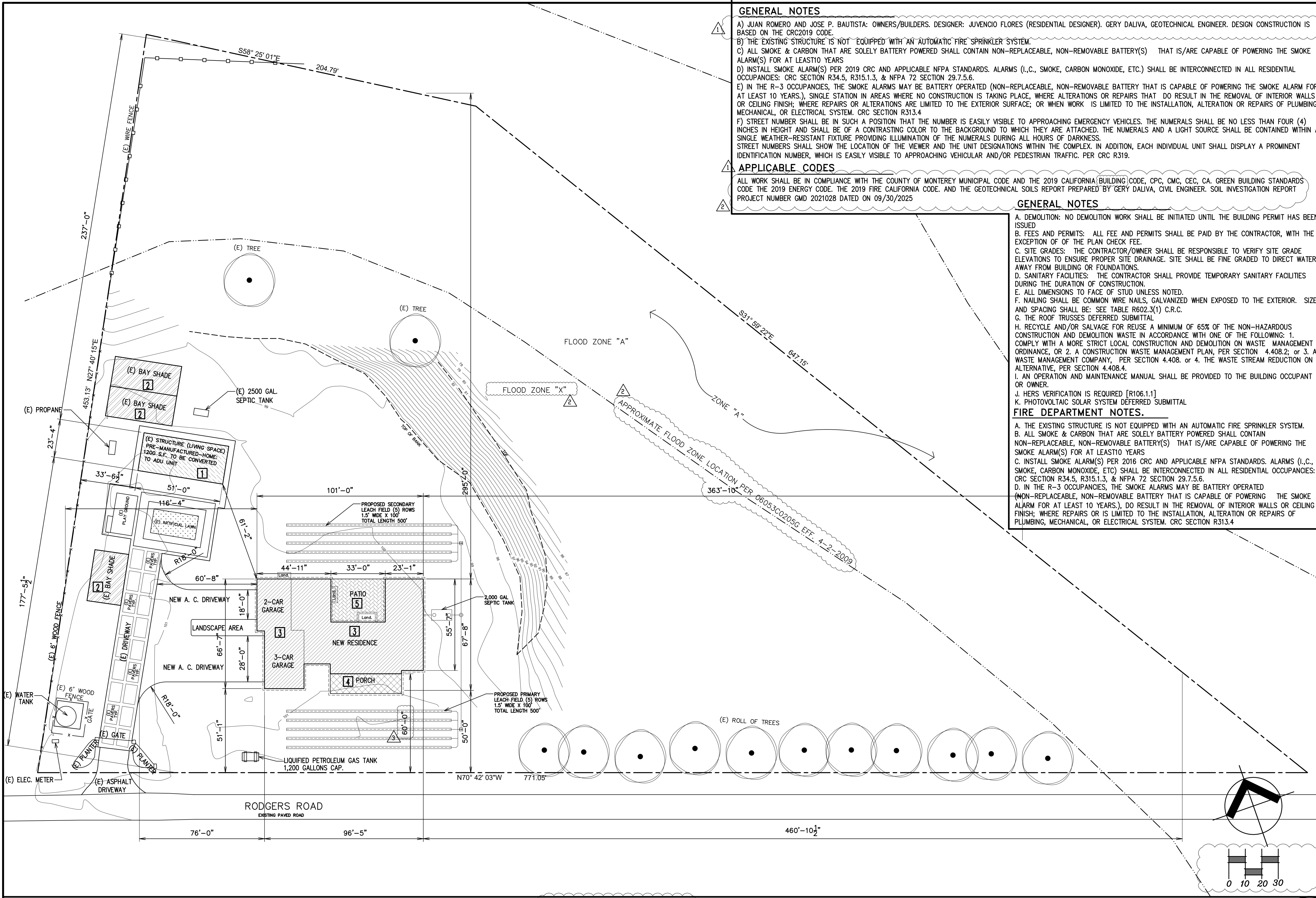
1441 Schilling Place, South 2nd Floor, Salinas, California 93901-4527

(831) 755-5025

Colors / Materials Sample Page and Photos

A large, empty rectangular box with a black border, intended for displaying color and material samples and photos.

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GENERAL NOTES

A) JUAN ROMERO AND JOSE P. BAUTISTA: OWNERS/BUILDERS. DESIGNER: JUVENCIO FLORES (RESIDENTIAL DESIGNER). GERY DALIVA, GEOTECHNICAL ENGINEER. DESIGN CONSTRUCTION IS BASED ON THE CRC2019 CODE.

B) THE EXISTING STRUCTURE IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

C) ALL SMOKE & CARBON THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN NON-REPLACEABLE, NON-REMOVABLE BATTERY(S) THAT IS/ARE CAPABLE OF POWERING THE SMOKE ALARM(S) FOR AT LEAST 10 YEARS.

D) INSTALL SMOKE ALARM(S) PER 2019 CRC AND APPLICABLE NFPA STANDARDS. ALARMS (I.C., SMOKE, CARBON MONOXIDE, ETC.) SHALL BE INTERCONNECTED IN ALL RESIDENTIAL OCCUPANCIES: CRC SECTION R34.5, R315.1.3, & NFPA 72 SECTION 29.7.5.6.

E) IN THE R-3 OCCUPANCIES, THE SMOKE ALARMS MAY BE BATTERY OPERATED (NON-REPLACEABLE, NON-REMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS.), SINGLE STATION IN AREAS WHERE NO CONSTRUCTION IS TAKING PLACE, WHERE ALTERATIONS OR REPAIRS THAT DO RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISH; WHERE REPAIRS OR ALTERATIONS ARE LIMITED TO THE EXTERIOR SURFACE; OR WHEN WORK IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEM. CRC SECTION R313.4

F) STREET NUMBER SHALL BE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN FOUR (4) INCHES IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED. THE NUMERALS AND A LIGHT SOURCE SHALL BE CONTAINED WITHIN A SINGLE WEATHER-RESISTANT FIXTURE PROVIDING ILLUMINATION OF THE NUMERALS DURING ALL HOURS OF DARKNESS. STREET NUMBERS SHALL SHOW THE LOCATION OF THE VIEWER AND THE UNIT DESIGNATIONS WITHIN THE COMPLEX. IN ADDITION, EACH INDIVIDUAL UNIT SHALL DISPLAY A PROMINENT IDENTIFICATION NUMBER, WHICH IS EASILY VISIBLE TO APPROACHING VEHICULAR AND/OR PEDESTRIAN TRAFFIC. PER CRC R319.

APPLICABLE CODES

ALL WORK SHALL BE IN COMPLIANCE WITH THE COUNTY OF MONTEREY MUNICIPAL CODE AND THE 2019 CALIFORNIA (BUILDING) CODE, CPC, CMC, CEC, CA. GREEN BUILDING STANDARDS CODE THE 2019 ENERGY CODE, THE 2019 FIRE CALIFORNIA CODE, AND THE GEOTECHNICAL SOILS REPORT PREPARED BY GERY DALIVA, CIVIL ENGINEER. SOIL INVESTIGATION REPORT PROJECT NUMBER GMD 2021028 DATED ON 09/30/2025



VICINITY MAP NOT TO SCALE

SITE PLAN

GRADING & DRAINAGE PLAN

SEPTIC PLAN

ARCHITECTURE PLANS

ELECTRICAL PLANS

STRUCTURAL PLANS

ENERGY CAL'S

GENERAL NOTES

A. DEMOLITION: NO DEMOLITION WORK SHALL BE INITIATED UNTIL THE BUILDING PERMIT HAS BEEN ISSUED

B. FEES AND PERMITS: ALL FEE AND PERMITS SHALL BE PAID BY THE CONTRACTOR, WITH THE EXCEPTION OF THE PLAN CHECK FEE.

C. SITE GRADES: THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO VERIFY SITE GRADE ELEVATIONS TO ENSURE PROPER SITE DRAINAGE. SITE SHALL BE FINE GRADED TO DIRECT WATER AWAY FROM BUILDING OR FOUNDATIONS.

D. SANITARY FACILITIES: THE CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES DURING THE DURATION OF CONSTRUCTION.

E. ALL DIMENSIONS TO FACE OF STUD UNLESS NOTED.

F. NAILING SHALL BE COMMON WIRE NAILS, GALVANIZED WHEN EXPOSED TO THE EXTERIOR. SIZE AND SPACING SHALL BE: SEE TABLE R602.3(1) C.R.C.

G. THE ROOF TRUSSES DEFERRED SUBMITTAL.

H. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING: 1. COMPLY WITH A MORE STRICT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR 2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR 3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408, OR 4. THE WASTE STREAM REDUCTION ON ALTERNATIVE, PER SECTION 4.408.4.

I. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

J. HERS VERIFICATION IS REQUIRED [R106.1.1]

K. PHOTOVOLTAIC SOLAR SYSTEM DEFERRED SUBMITTAL.

FIRE DEPARTMENT NOTES.

A. THE EXISTING STRUCTURE IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

B. ALL SMOKE & CARBON THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN NON-REPLACEABLE, NON-REMOVABLE BATTERY(S) THAT IS/ARE CAPABLE OF POWERING THE SMOKE ALARM(S) FOR AT LEAST 10 YEARS.

C. INSTALL SMOKE ALARM(S) PER 2019 CRC AND APPLICABLE NFPA STANDARDS. ALARMS (I.C., SMOKE, CARBON MONOXIDE, ETC.) SHALL BE INTERCONNECTED IN ALL RESIDENTIAL OCCUPANCIES: CRC SECTION R34.5, R315.1.3, & NFPA 72 SECTION 29.7.5.6.

D. IN THE R-3 OCCUPANCIES, THE SMOKE ALARMS MAY BE BATTERY OPERATED (NON-REPLACEABLE, NON-REMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS.), DO RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISH; WHERE REPAIRS OR IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEM. CRC SECTION R313.4

SHEET INDEX

OWNER: MR. JUAN ROMERO, 128 RODGERS ROAD, SALINAS, CALIFORNIA 93906, PHONE: (831) 970-5004

LEGAL INFORMATION

ZONING DISTRICT: RC/10-D
LAND USE: RESIDENTIAL
ASSESSOR'S PARCEL NO.: 253-011-005
DESCRIPTION OF USE: SINGLE FAMILY DWELLING
OCCUPANCY GROUP: R-3/U
ALLOWABLE NUMBER OF STORIES: 1
NUMBER OF STORIES: 1
TYPE OF CONSTRUCTION: TYPE V-B

GEOTECHNICAL ENGINEER: GMD ENGINEERS, GERONIMO M. DALIVA, 11 WEST LAUREL DR. SUITE #225, SALINAS, CALIFORNIA 93906, PHONE: (831) 840-4284, (831) 800-7871, E-MAIL: gmd.engr3@gmail.com

DESIGNER INFORMATION

Designer: Juvencio Flores (Residential Designer)
Company: FLORES' DRAFTING SERVICE
Address: P.O. BOX 2252, SALINAS, CA 93902
TEL: (831) 262-3350
Email: ju_ven_cio@hotmail.com

HISTORICAL RESOURCES

Historical Site: None
Archaeological Sensitivity: Low

LOT INFORMATION SITE AREA: 4.645 ACRES

AREA CALCULATIONS:

(E) STRUCTURE (LIVING SPACE) PRE-MANUFACTURED-HOME TO BE CONVERTED TO ADU SECOND UNIT.	1,200.00 S.F.
(E) COVER DECK -BAY SHADE-	1,350.00 S.F.
(N) NEW RESIDENCE WITH FIVE CAR GARAGE:	
1. LIVING SPACE:	3,453.00 S.F.
2. FIVE CAR GARAGE ATTACHED:	1473.00 S.F.
(N) FRONT PORCH AT NEW RESIDENCE:	432.50 S.F.
TOTAL NEW STRUCTURES:	5,358.50 S.F.
TOTAL STRUCTURES:	7,908.50 S.F.
NEW DRIVEWAY:	3,554.00 S.F.
NEW PATIO:	864.00 S.F.

PARKING PROVIDED: Five Car Garage Spaces

SCOPE OF WORK

- (E) STRUCTURE (LIVING SPACE) PRE-MANUFACTURED-HOME TO BE CONVERTED TO ADU UNIT, 1,200.00 S.F. SECOND UNIT
- NEW RESIDENCE
- (N) FIVE CAR GARAGE ATTACHED TO NEW RESIDENCE.
- (N) PORCH ATTACHED TO NEW RESIDENCE.
- FIRE SPRINKLERS: THE (E) STRUCTURE IS NOT EQUIPPED WITH FIRE SPRINKLERS.
- TOTAL AREA OF LAND DISTURBANCE: 11,400 S.F.
- AL GRADES TO REMAIN NATURAL
- NEW SEPTIC SYSTEM INSTALLATION

SETBACKS:

AT NEW MAIN SINGLE FAMILY DWELLING:
PROPOSED: FRONT: 50 FEET TO PORCH, REAR: 285 FEET, SIDES: 116.3 FEET
REQUIRED: FRONT: 30 FEET, REAR: 20 FEET, SIDES: 20 FEET

AT EXISTING RESIDENCE TO BE CONVERTED TO NEW ADU:
PROPOSED: FRONT: 177.5 FEET, REAR: 237 FEET, SIDES: 33.5 FEET
REQUIRED: FRONT: 50 FEET, REAR: 6 FEET, SIDES: 6 FEET

DEFERRED SUBMITTALS

- FIRE SPRINKLER SYSTEM AS A DEFERRED SUBMITTAL.

HERS NOTES

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Ducts with high level of insulation
- Insulation above roof deck

HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Building-level Verifications:

- Quality insulation installation (QII)
- Indoor air quality ventilation

Cooling System Verifications:

- None

Heating System Verifications:

- None

HVAC Distribution System Verifications:

- Duct leakage testing
- Domestic Hot Water System Verifications:
- None

PROPOSED SITE PLAN

GEOTECHNICAL INSPECTION SCHEDULE

Inspection Item:	Who will conduct inspection:	When will the inspection will be completed:	Inspected by:	Date completed:
Site Stripping and Clearing	GMD ENGINEERS	Beginning of project		
Subexcavation, fill Placement, and Compaction	GMD ENGINEERS	Throughout grading operations		
Foundation Excavations	GMD ENGINEERS	Prior to placement of forms and reinforcing steel		
Surface and subsurface drainage Improvements	GMD ENGINEERS	Prior to trench backfill		
Utility trench compaction	GMD ENGINEERS	During backfill operations		
Retaining wall backfill compaction	GMD ENGINEERS	During backfill operations		
Baseroack subgrade compaction	GMD ENGINEERS	Prior pavement installation		

ABBREVIATIONS

CONC. CONCRETE
(E) EXISTING
EL. ELEV. ELEVATION
F.C. FINISHED CONCRETE
F.F. FINISHED FLOOR
F.G. FINISHED GRADE
FIN. FINISH
(N) NEW
P.L. PROPERTY LINE
R. RADIUS
@ AT

SITE PLAN LEGEND

- (E) STRUCTURE (LIVING SPACE) PRE-MANUFACTURED-HOME TO BE CONVERTED TO ADU UNIT (SECOND UNIT)
- (E) COVER DECK -BAY SHADE-
- NEW RESIDENCE WITH FIVE CAR GARAGE
- (N) FRONT PORCH AT NEW RESIDENCE
- NEW STONE PAVERS PATIO

--- ROOF PROJECTION
--- PROPERTY LINE
--- WOOD FENCE
--- WIRE FENCE
--- APPROXIMATE FLOOD_ZONE BOUNDARY LINE
--- ELEVATION CONTOUR LINE

PLAN LEGEND

SCALE: 1" = 30'-0"

APPROVAL STAMP

FLORES' DRAFTING SERVICE
P.O. BOX 2252
Salinas, CA 93902
Phone: (831) 00-0000
Cell: (831) 262-3350
ju_ven_cio@hotmail.com

DESIGNER'S SIGN

Juvencio Flores
JUVENCIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING DPT. MONTEREY COUNTY	08/22/2022
2	MONTEREY COUNTY	07/08/2024
3	PLANNING DPT. MONTEREY COUNTY	01/30/2026

SITE PLAN, PROJECT INFORMATION, VICINITY MAP, SHEET INDEX, GENERAL NOTES

MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD, SALINAS, CA 93906
A.P.N. 253-011-005

OWNER: MR. JUAN ROMERO, 128 RODGERS ROAD, SALINAS, CA 93906, PHONE: (831) 970-5004

DRAWING DATE: 05/29/2021

PERMIT NUMBER: 22CP02167

PROJECT NO.: 137-2020

SCALE: AS NOTED

DRAWN BY: JUVENCIO FLORES, HENRY MEJIA PEREZ

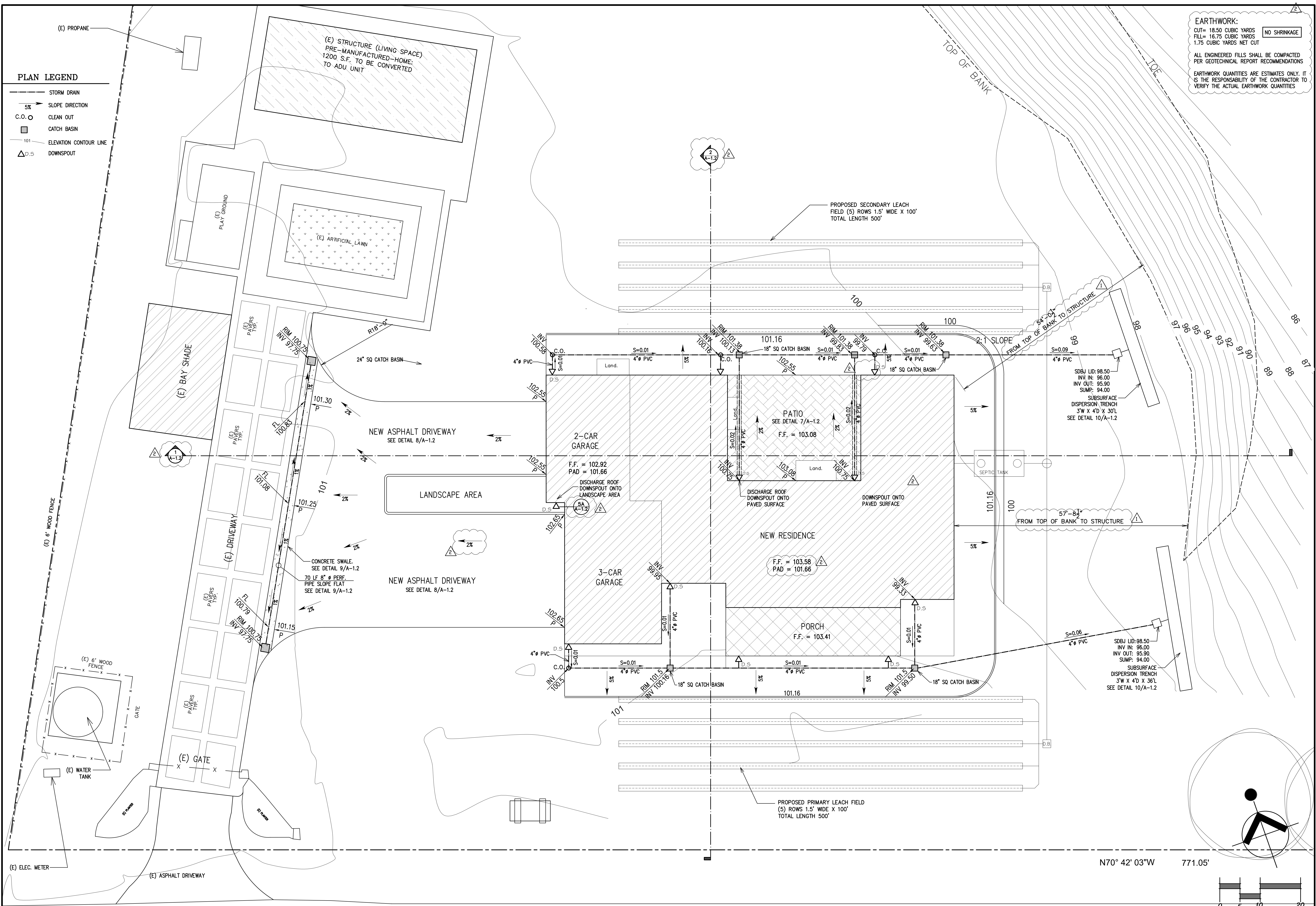
SHEET TITLE: VICINITY MAP, SHEET INDEX, PROJECT INFORMATION, SITE PLAN, GENERAL NOTES

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF FLORES' DRAFTING SERVICE. IT IS AND INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE DESIGNER. UNAUTHORIZED USE IS PROHIBITED.

SHEET: A-1

- PLAN LEGEND**
- STORM DRAIN
 - 5% SLOPE DIRECTION
 - C.O. ○ CLEAN OUT
 - CATCH BASIN
 - 101 ELEVATION CONTOUR LINE
 - △ D.S. DOWNSPOUT

EARTHWORK:
 CUT= 18.50 CUBIC YARDS
 FILL= 16.75 CUBIC YARDS
 1.75 CUBIC YARDS NET CUT
 NO SHRINKAGE
 ALL ENGINEERED FILLS SHALL BE COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS
 EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES



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 P.O. BOX 2252
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 Phone: (831) 00-0000
 Cell: (831) 262-3350
 ju_ver_cio@hotmail.com

DESIGNER'S SIGN
 Juvencio Flores
 JUVENCIO FLORES

ENGINEER CONSULTANT STAMP

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING TPT.	08/22/2022
2	MONTREY COUNTY	07/08/2024

SITE PLAN, PROJECT INFORMATION, VICINITY MAP, SHEET INDEX, GENERAL NOTES
 MR. JUAN ROMERO NEW RESIDENCE
 128 RODGERS ROAD, SALINAS, CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD,
 SALINAS, CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
 05/29/2021

PERMIT NUMBER:
 22CP02167

PROJECT NO:
 137-2020

SCALE:
 AS NOTED

DRAWN BY:
 JUVENCIO FLORES
 HENRY MEJIA PEREZ

SHEET TITLE:

PARTIAL GRADING & DRAINAGE PLAN

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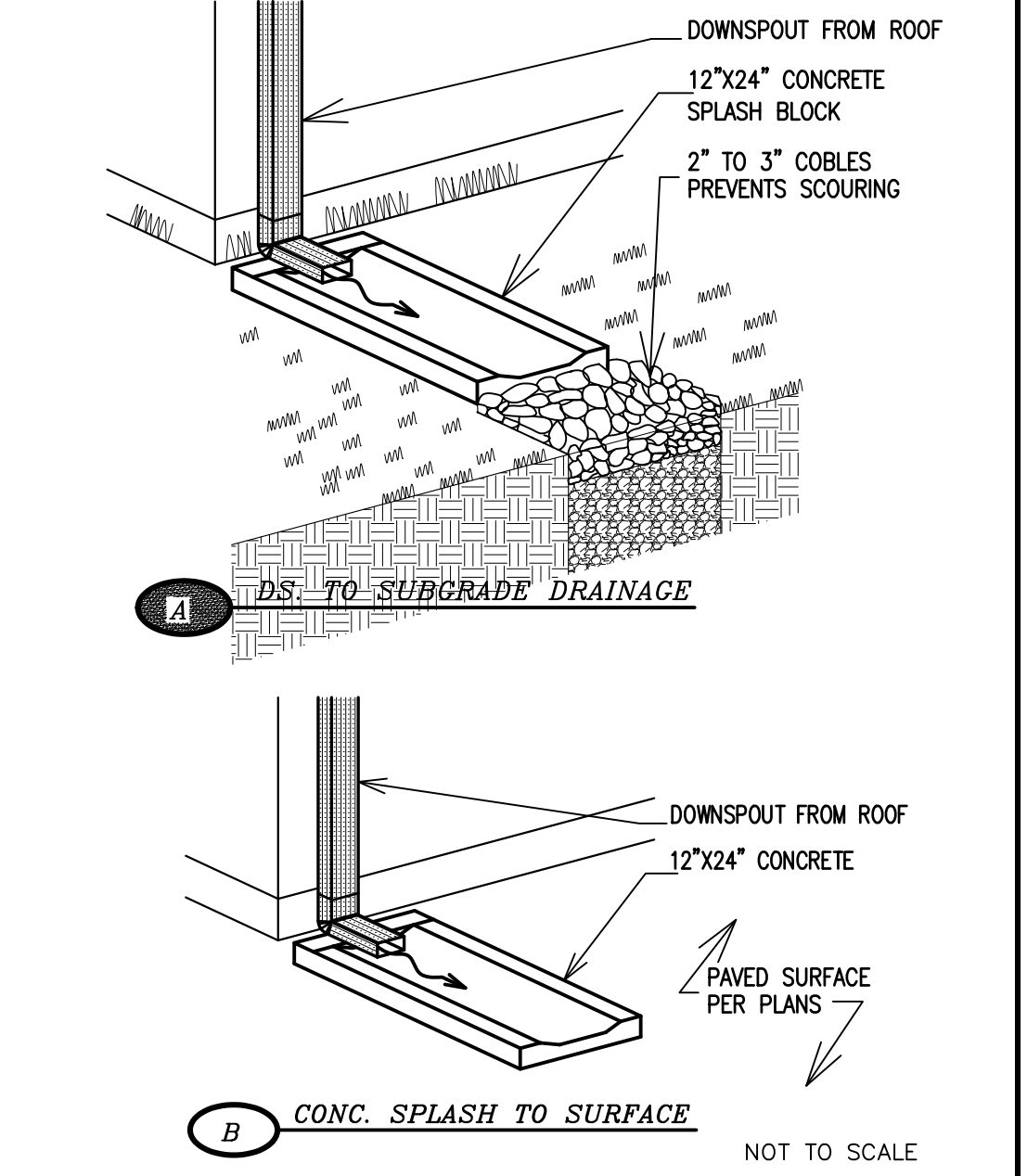
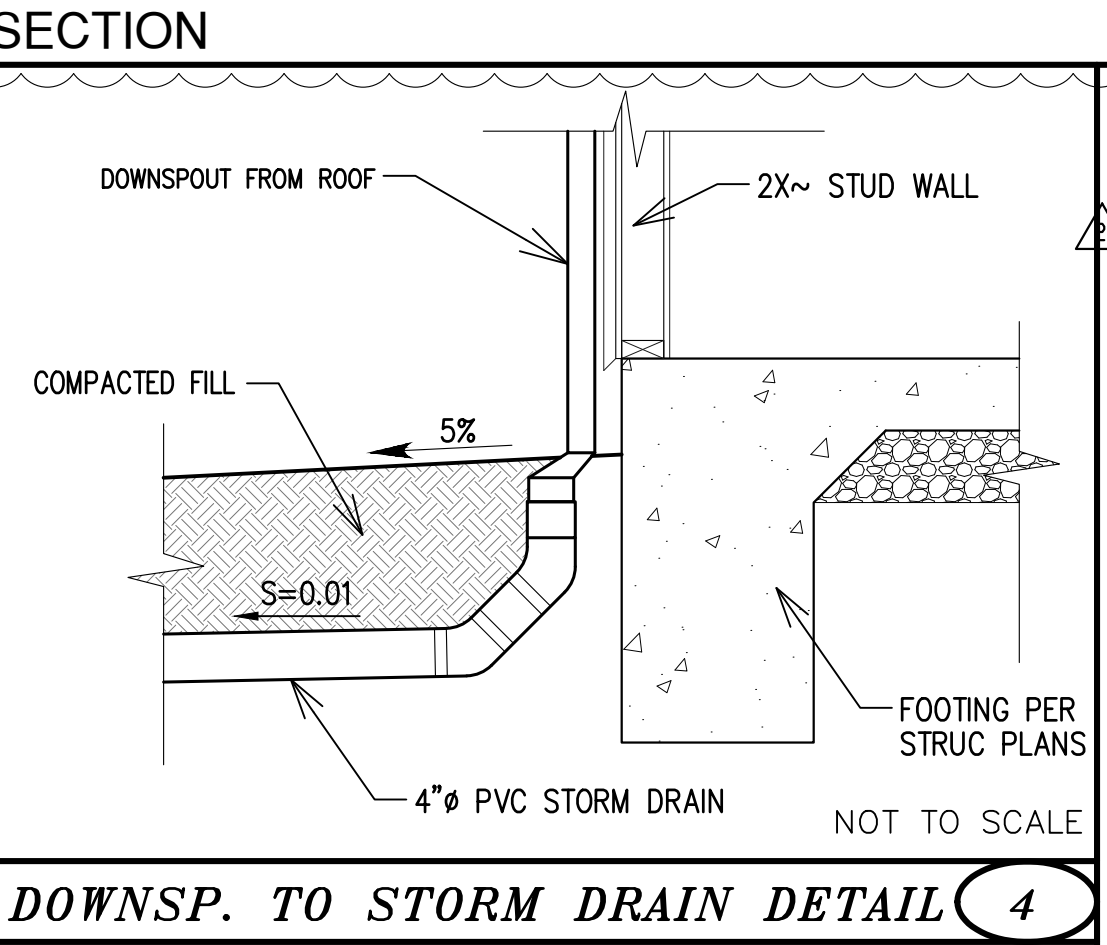
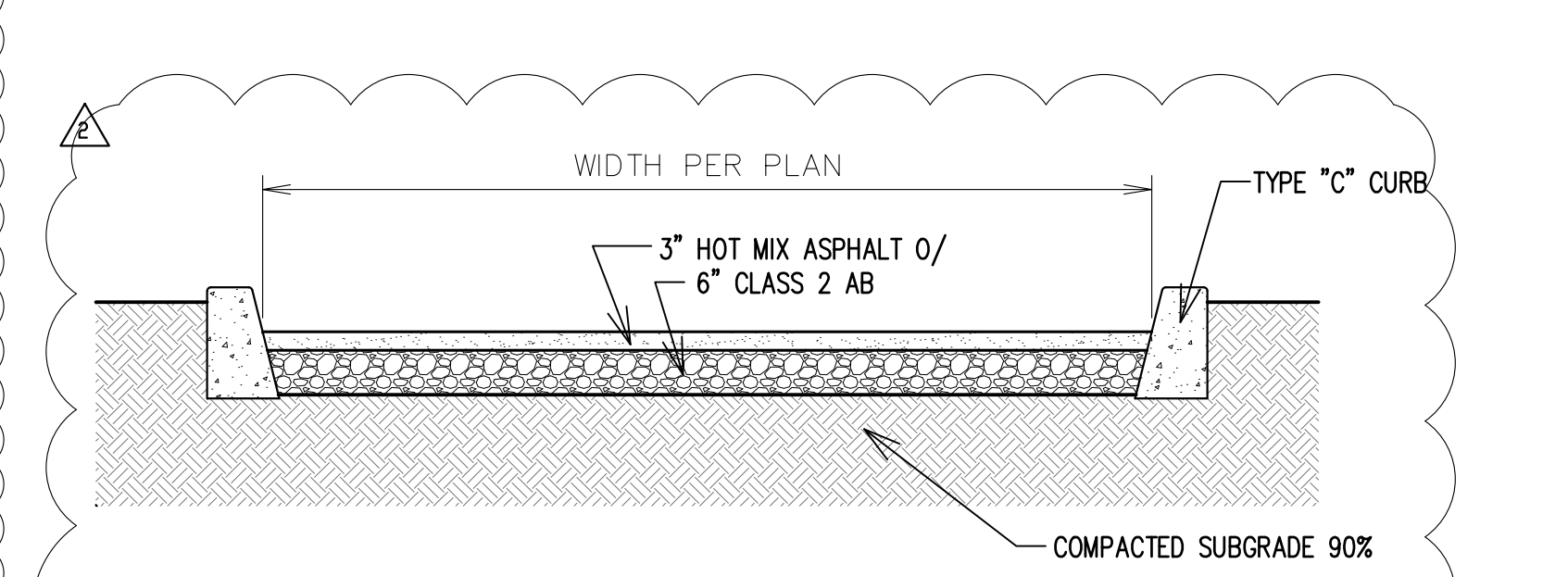
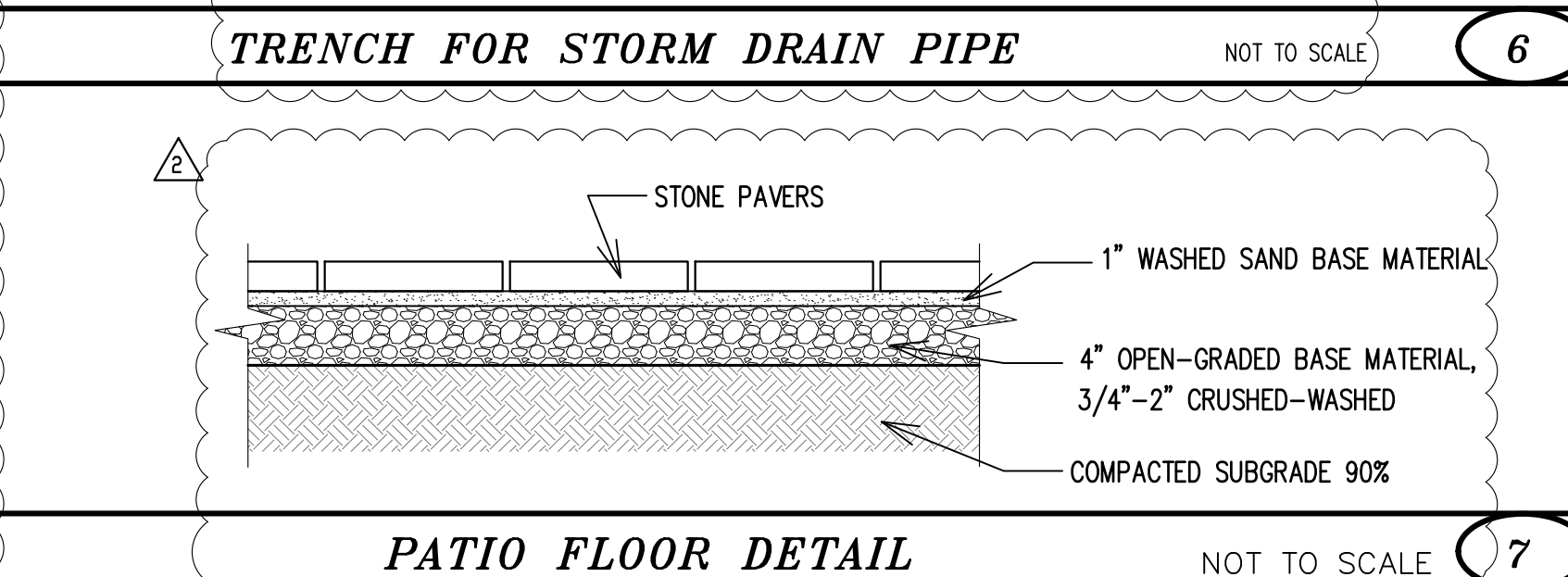
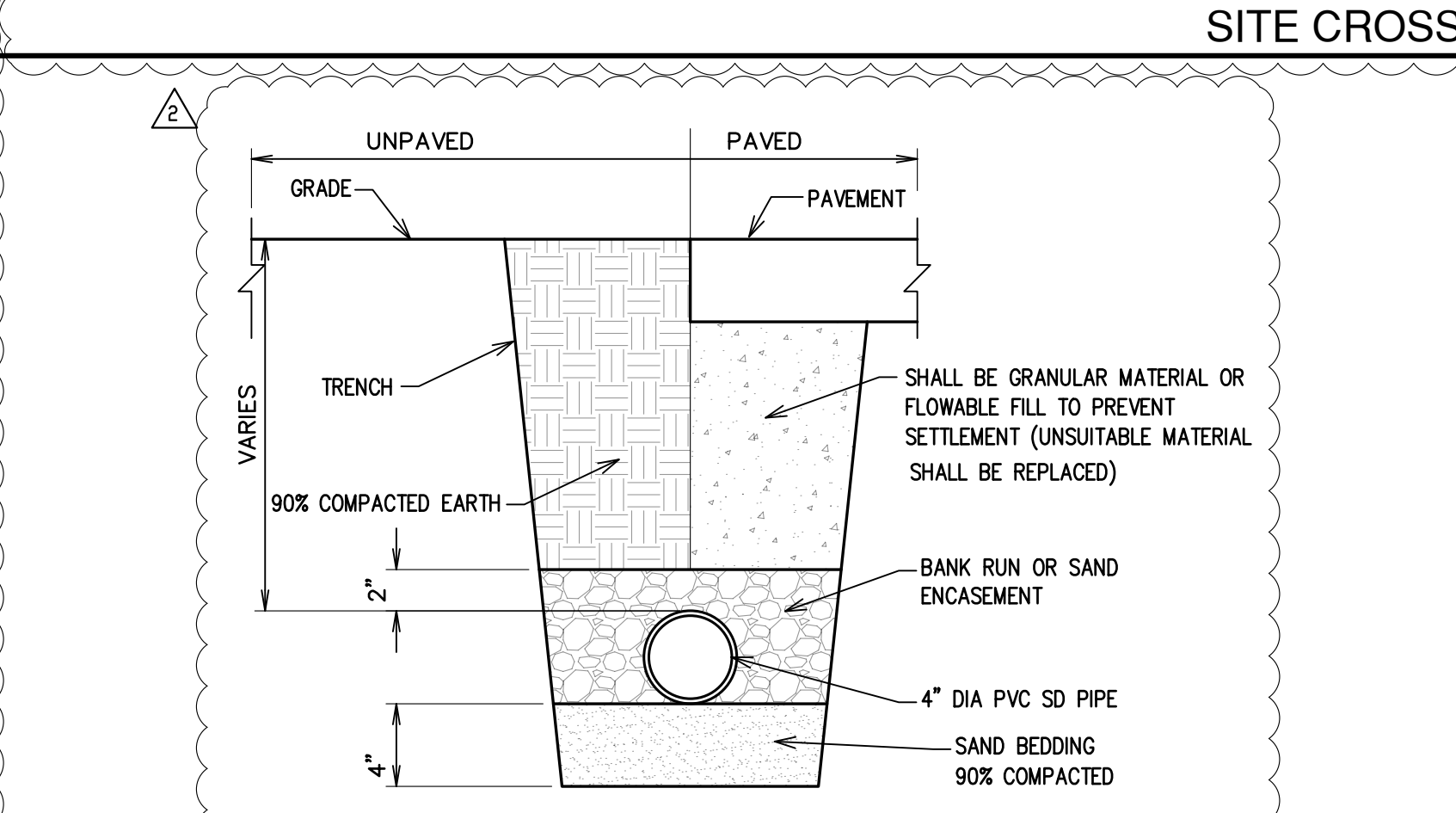
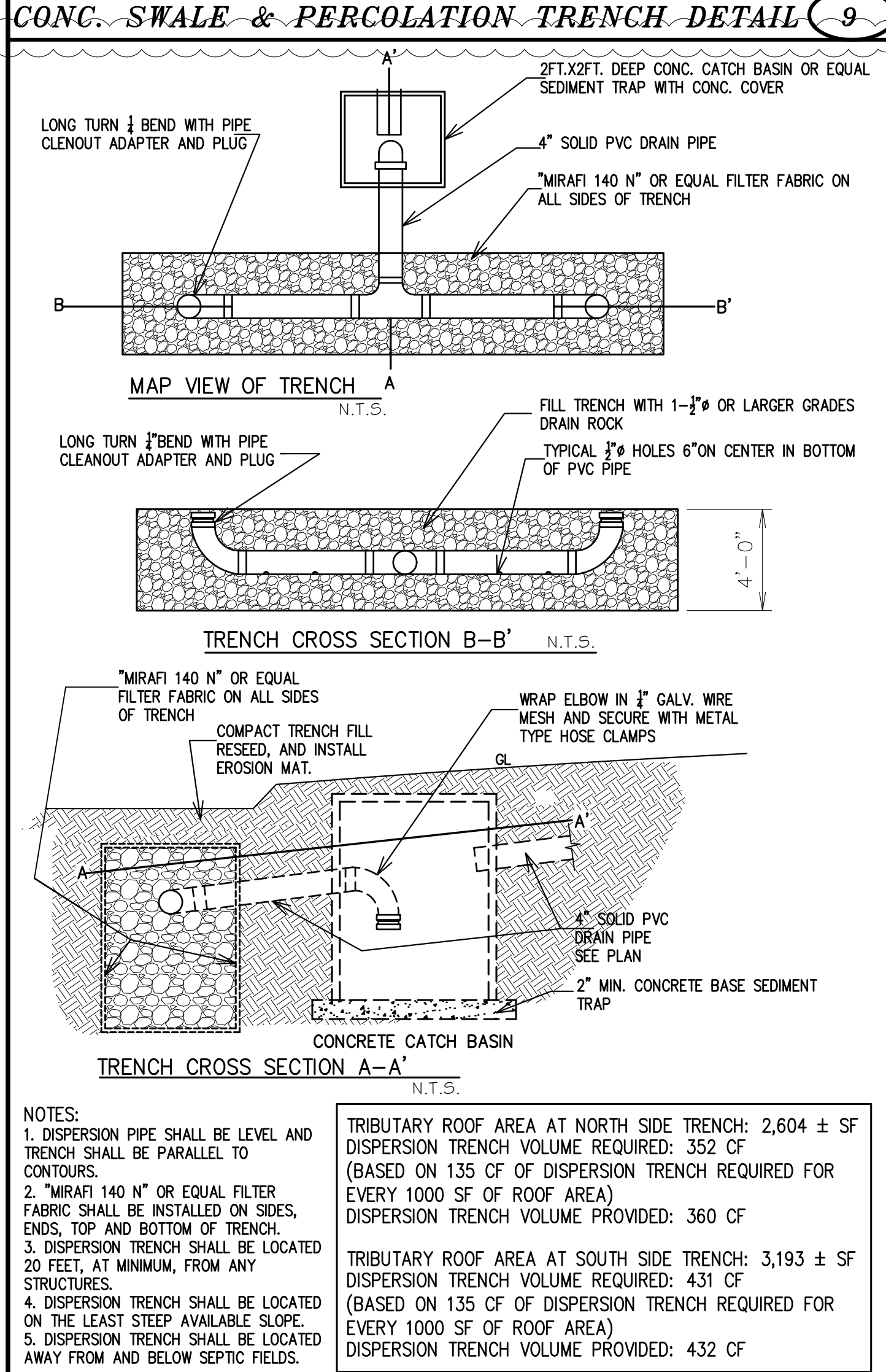
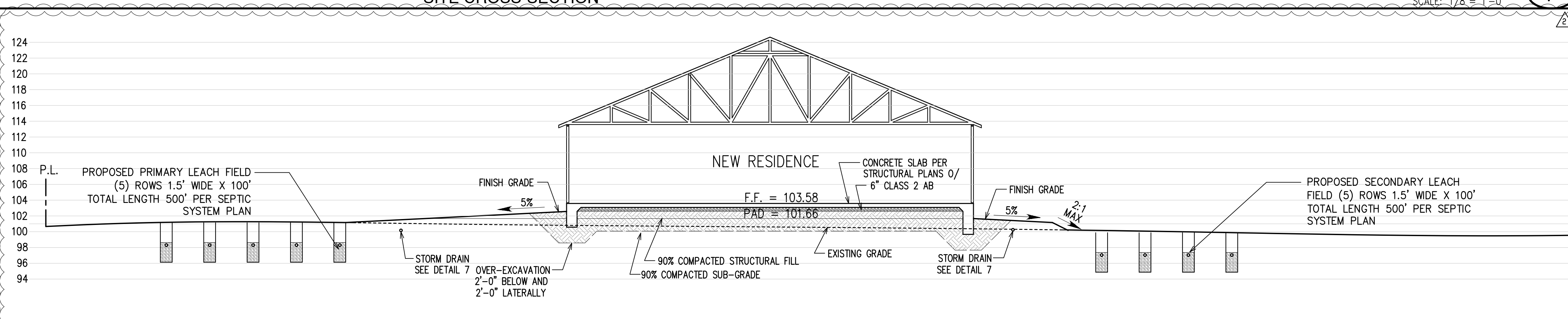
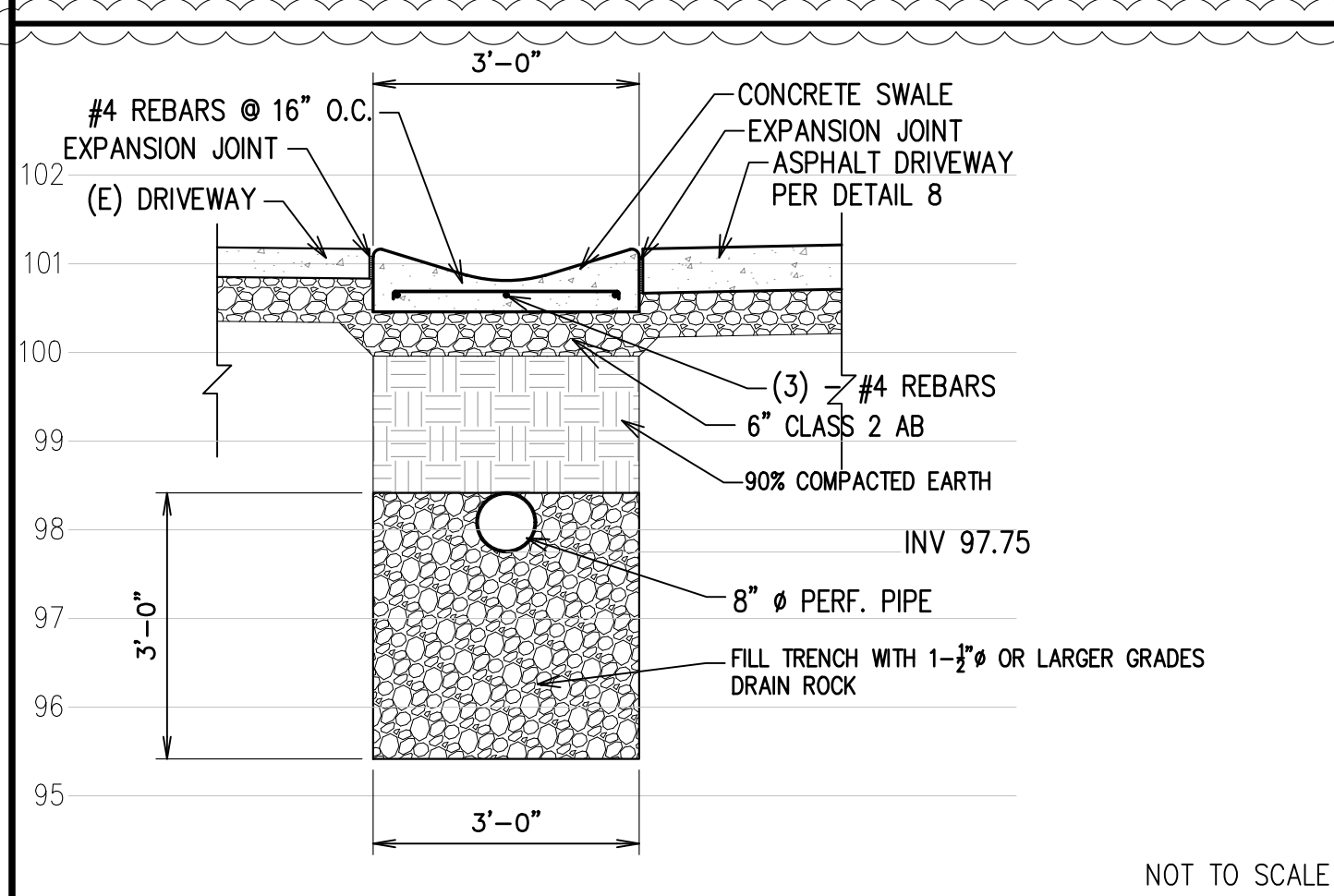
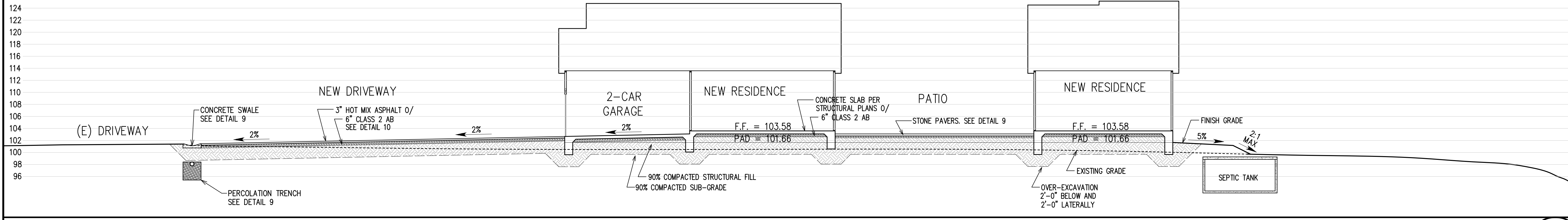
SHEET:

A-1.1

PARTIAL GRADING & DRAINAGE PLAN

SCALE: 1" = 10'-0"

3



GRADING NOTES

- THIS GRADING PROJECT SHALL CONFORM TO THE COUNTY OF MONTEREY GRADING ORDINANCE NUMBER 2535 AND THE EROSION CONTROL ORDINANCE NUMBER 2806 AND WITH SOILS INVESTIGATION REPORT NO. GMD 2021028 PREPARED BY GMD ENGINEERS DATED ON 09/30/25
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY PRIOR TO REQUESTING A FINAL GRADING OR FOOTING INSPECTION.
- ALL FILL TO BE COMPACTED TO A MIN. 90% RELATIVE COMPACTION (SEE SOILS INVESTIGATION REPORT). ALL NEWLY CREATED SLOPES TO BE 2:1 MAXIMUM AND LANDSCAPED OR SEEDED WITH PLANT MATERIALS AND SOIL ADDITIVES SUFFICIENT TO PREVENT EROSION BY STORM WATERS.
- VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
- BETWEEN OCTOBER 15TH AND APRIL 15TH, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, BETWEEN OCTOBER 15 AND APRIL 15.
- THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OF FLATTER (TYPICAL). NO GRADING TO OCCUR WITHIN 3 FEET OF ANY PROPERTY LINE.
- TOE OF FILL SHALL BE KEYED IN ON CROSS SLOPES GREATER THAN 10 %
- NO LAND CLEARING OR GRADING SHALL OCCUR ON THE SUBJECT PARCEL BETWEEN OCTOBER 15 AND APRIL 15 UNLESS AUTHORIZED BY THE DIRECTOR OF RMA - BUILDING SERVICES. (RMA - PLANNING AND RMA - BUILDING SERVICES).
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
A) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
C) RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
D) RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
E) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- ESTIMATED STARTING DATE: DECEMBER 2025
ESTIMATED COMPLETION DATE: MAY 2026

SCOPE OF WORK:
THIS PROJECT SHALL CONSIST OF A GRADING PLAN FOR A DRIVEWAY, PORCH, PATIO, SEPTIC SYSTEM AND DRAINAGE FACILITIES AS SHOWN HEREON.

BASIS OF ELEVATIONS:
THE ELEVATIONS SHOWN UPON THIS SURVEY ARE ASSUMED AND ARE BASED UPON SURVEY CONTROL POINT CP-A 604 NAIL ELEVATION 100' AT THE LOCATION OF CONTROL POINT CP-A IS THE BASIS OF ELEVATIONS SHOWN HEREON. DISTANCES AND DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS THEREOF. CONTOUR INTERVAL: 1 FOOT VERTICAL

BASIS OF BEARINGS:
DATA SHOWN WITHIN INDICATES DATA AS PER VOL. 31 - SURVEYS - PG. 40 THE BEARING OF N 76°24'04" W MEASURED BETWEEN FOUND MONUMENTS SHOWN ON THE MAP RECORDED IN VOLUME 20 OF PARCEL MAPS AT PAGE 33 WAS TAKEN AS BASIS OF BEARING SHOWN UPON THIS PLAN

FLOOD PLAIN:
ZONE "X" (AREA OF MINIMAL FLOOD HAZARD)
ZONE "A" (NO BASE FLOOD ELEVATIONS DETERMINED)
MONTEREY COUNTY UNINCORPORATED AREAS 060195
PROJECT NO. 06053C0205G EFFECTIVE DATE: 04/02/2009

DISTURBED AREA:
APPROXIMATELY 11,400 S.F. OF DISTURBANCE IN THIS PROJECT
NEW IMPERVIOUS AREA=9,869 S.F.

EARTHWORK:
CUT= 18.50 CUBIC YARDS
FILL= 16.75 CUBIC YARDS
1.75 CUBIC YARDS NET CUT
NO SHRINKAGE

ALL ENGINEERED FILLS SHALL BE COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES

MONTEREY COUNTY APPROVAL STAMP

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Cell: (831) 262-3350
ju_ven_cio@hotmail.com

DESIGNER
Juvencio Flores
JUVENCIO FLORES

ENGINEER CONSULTANT STAMP

REVISIONS		
NO.	DESCRIPTION	DATE
1	ENVIRONMENT, SERV. MONTEREY COUNTY	1/28/2025
2	MONTEREY COUNTY	07/08/2024

EROSIONS CONTROL NOTES & DETAILS,
SITE CROSS-SECTIONS

MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE: (831) 970-5004

DRAWING DATE:
05/29/2021

CONSTRUCTION PERMIT
B21-XXXX

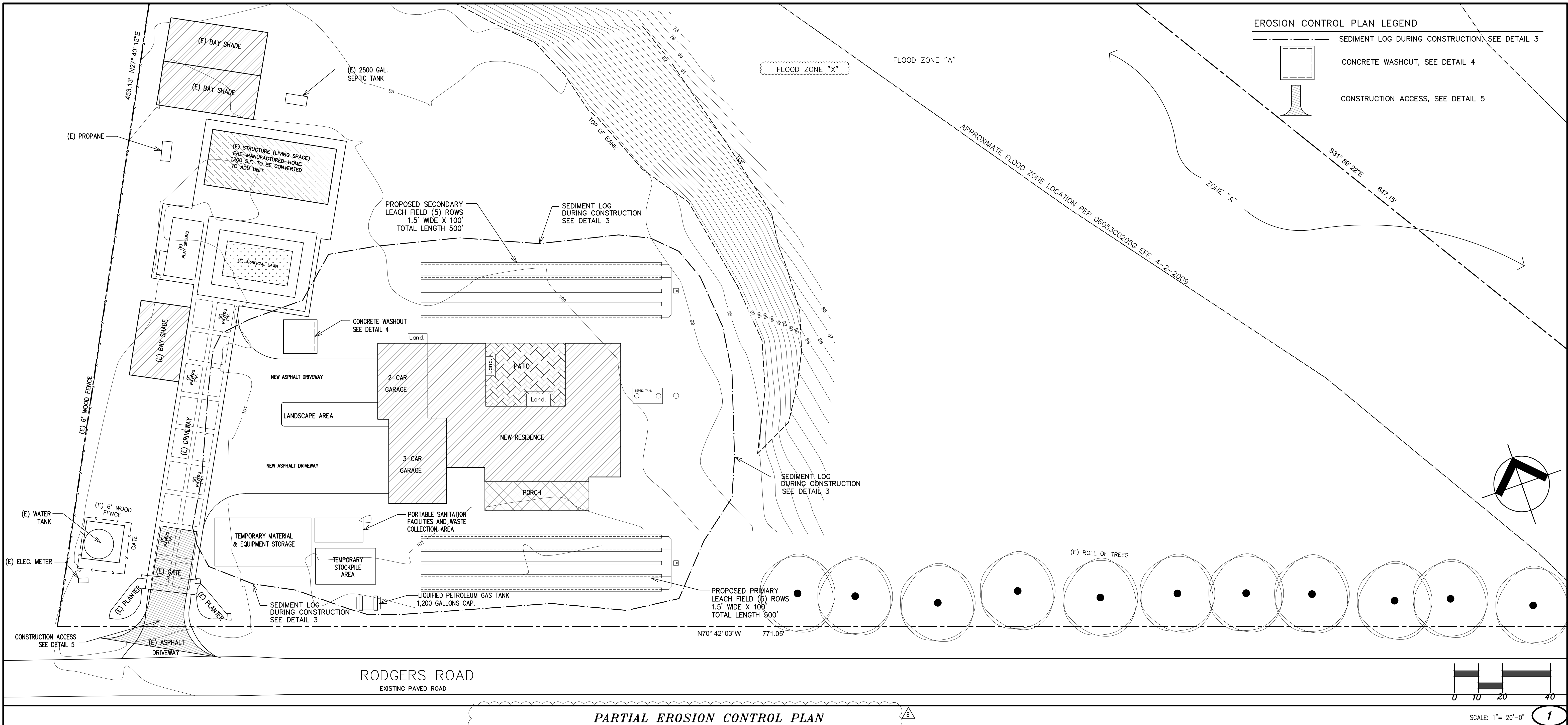
PROJECT NO:
137-2020

SCALE:
AS NOTED

DRAWN BY:
JUVENCIO FLORES

SHEET TITLE:
GRADING NOTES
SITE CROSS-SECTIONS

SHEET:
A-1.2



APPROVAL STAMP

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Cell: (831) 262-3350
ju_ver_cio@hotmail.com

DESIGNER'S SIGN

Juvenicio Flores
JUVENICIO FLORES

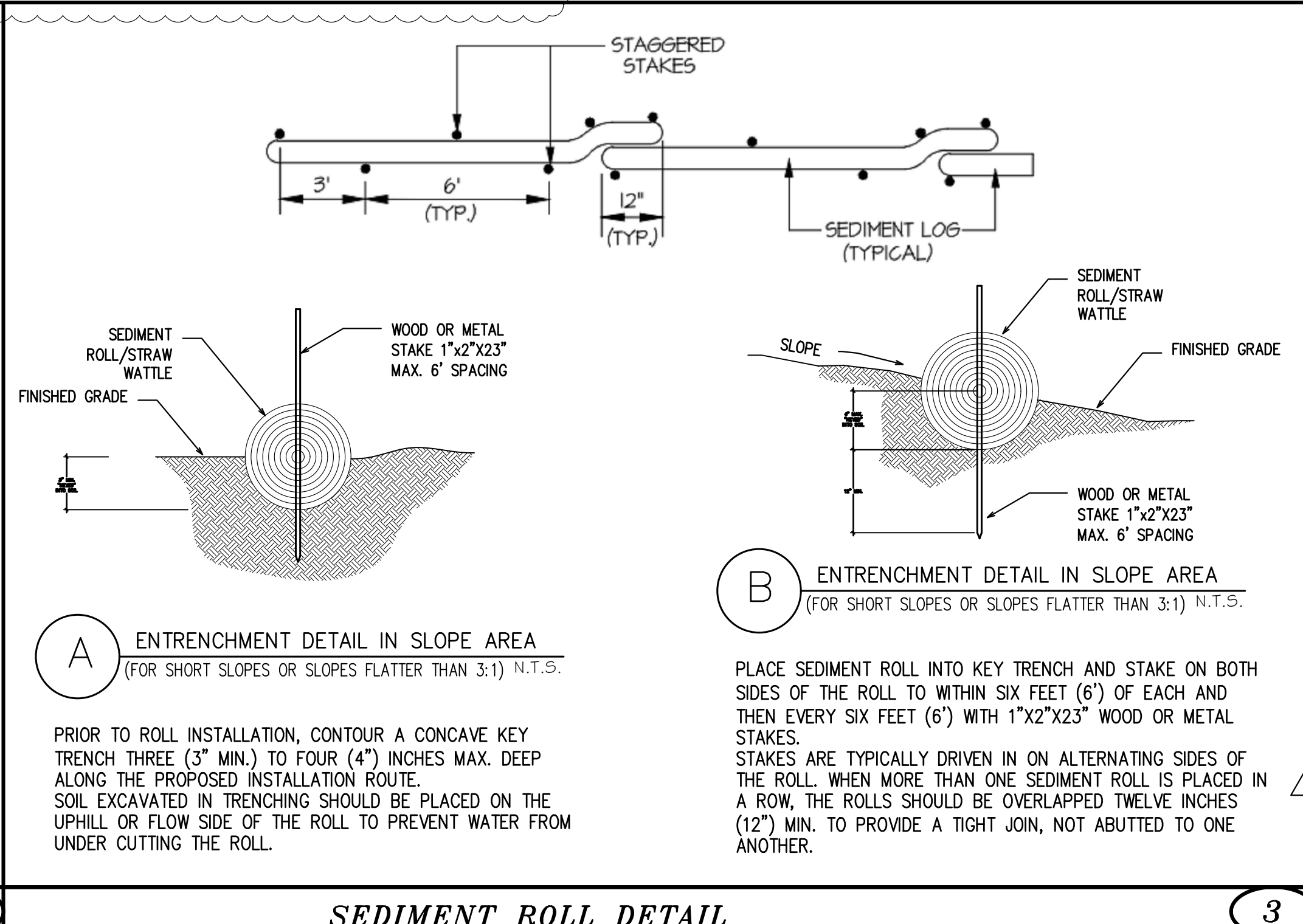
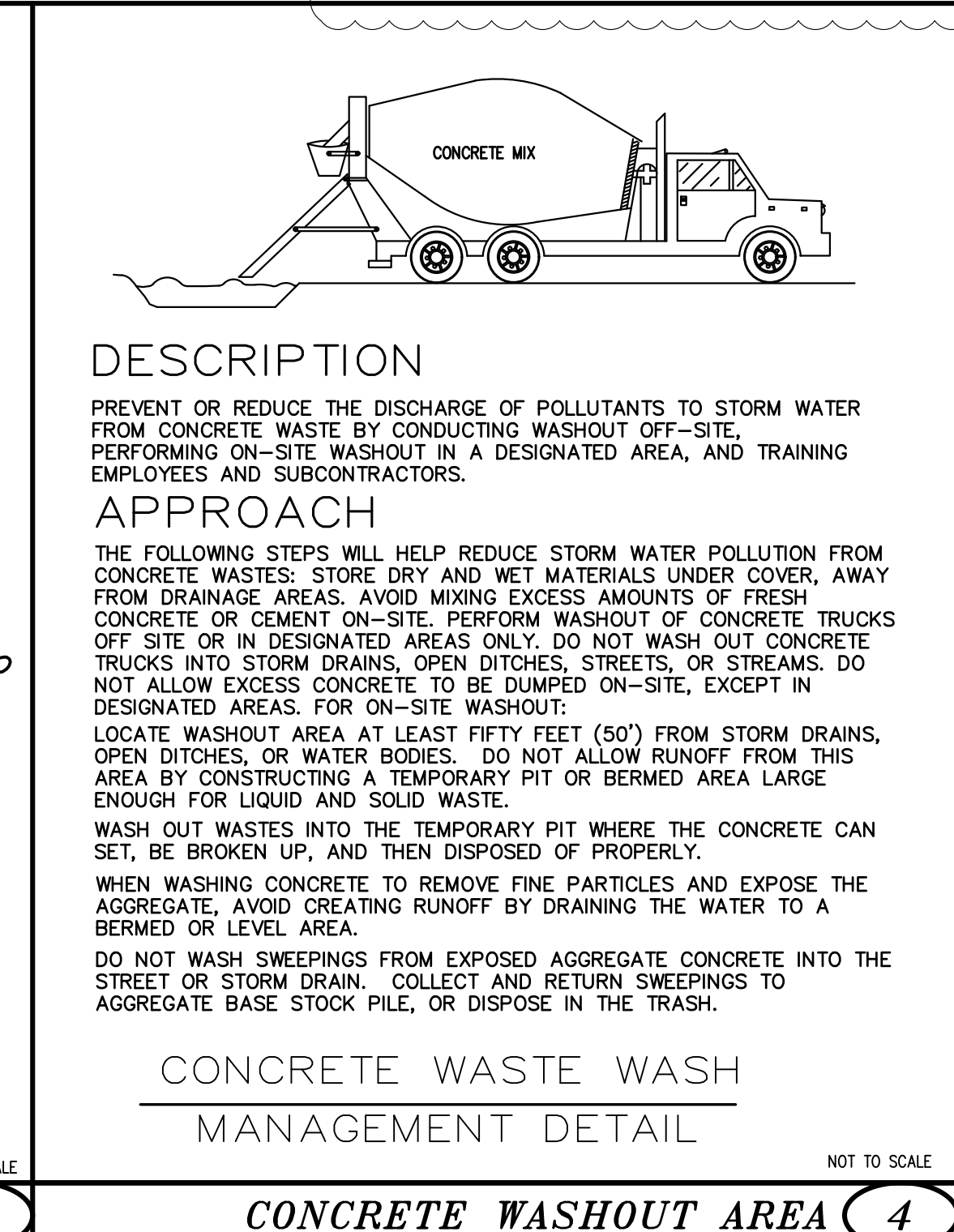
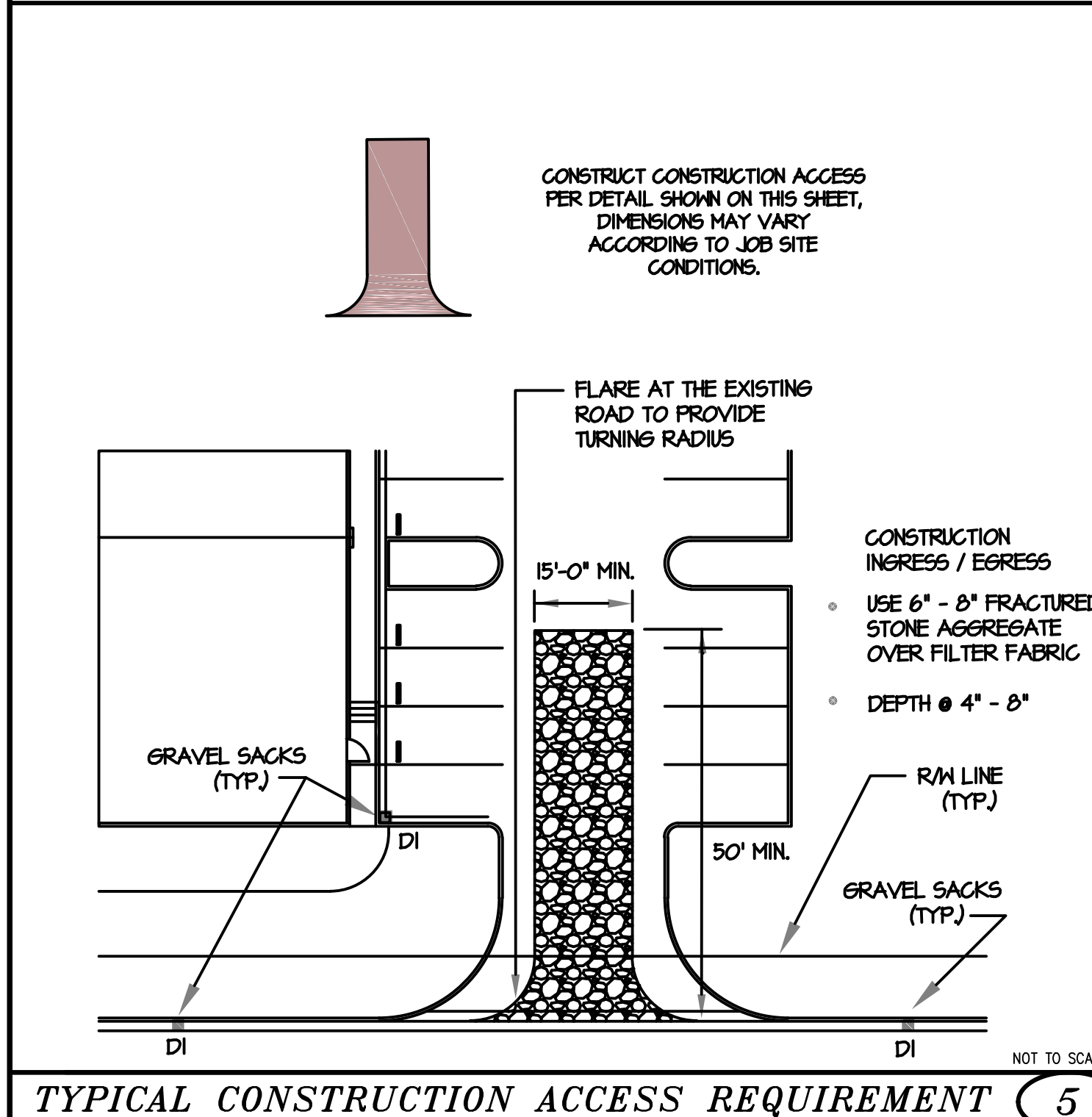
ENGINEER CONSULTANT STAMP

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING OPT.	08/22/2022
2	MONTEREY COUNTY	07/08/2024

EROSIONS CONTROL PLAN, NOTES & DETAILS

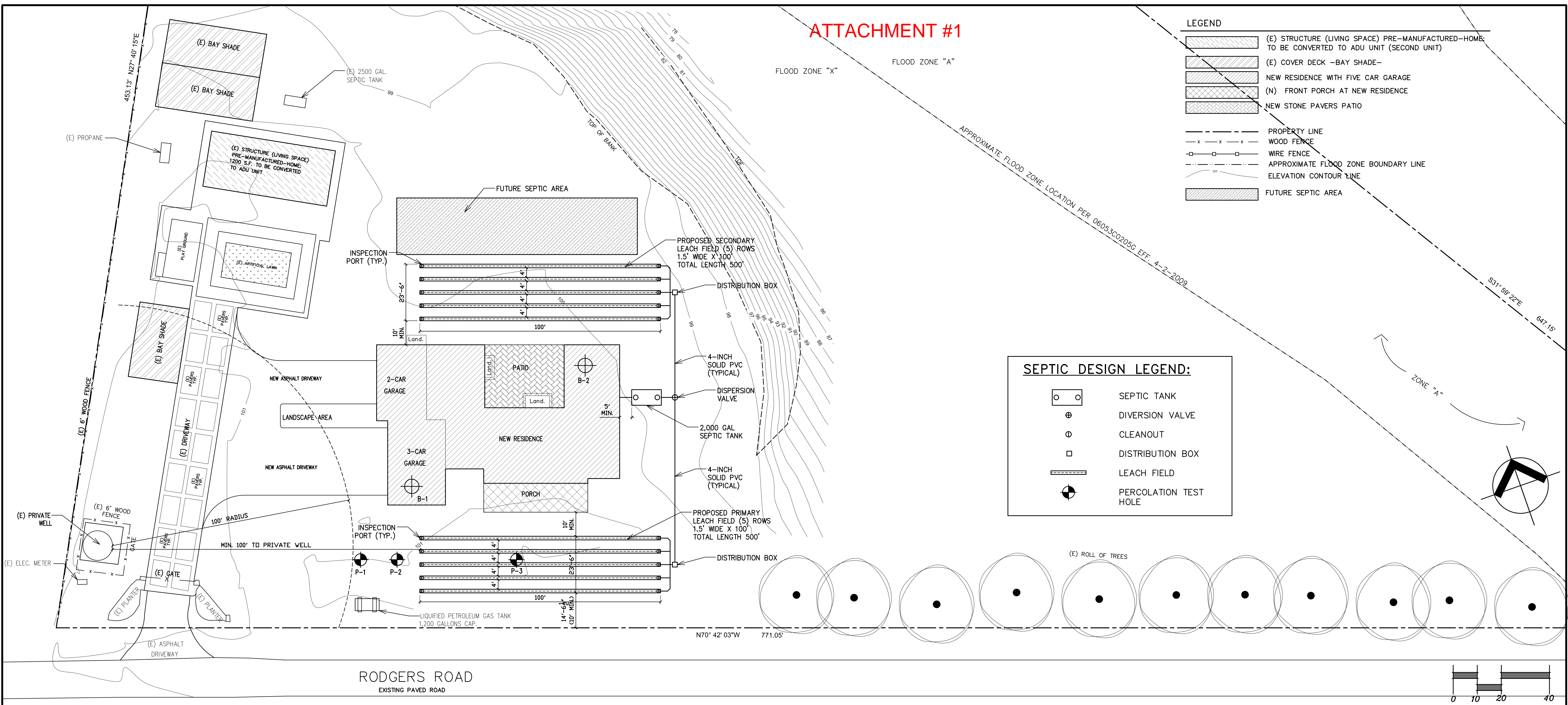
MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD, SALINAS, CA 93906
A.P.N. 253-011-005



EROSION CONTROL NOTES

- THE CONTRACTOR/OWNER SHALL BE SOLELY RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.
- STRAW BALE DIKS AND SILT FENCING SHALL BE INSTALLED TO PREVENT SILTATION FROM EXITING THE CONSTRUCTION LIMITS. THESE MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE CONCLUSION OF THE SITE PAVING AND INSTALLATION OF PERMANENT LANDSCAPING.
- AS SOON AS POSSIBLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAPS AND SILT FENCES.
- ANY DAMAGE TO REVEGETATED SLOPES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
- ESTIMATED EARTHWORK QUANTITIES:
CUT: 18.50 CU.YDS.
FILL: 16.75 CU.YDS.
1.75 CUBIC YARDS NET CUT (EXPORT TO BE SPREAD ON PROPERTY)
- PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY REGULATIONS.
- DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPs INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.
- PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.
- ESTIMATED STARTING DATE: DECEMBER 2025
ESTIMATED COMPLETION DATE: MAY 2026

ATTACHMENT #1



LEGEND

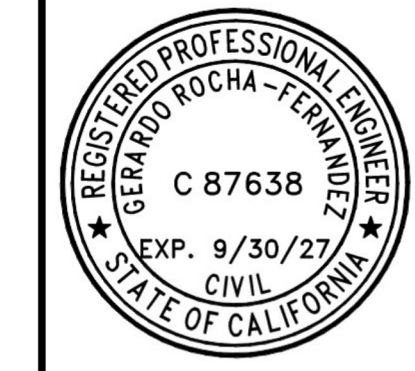
- (E) STRUCTURE (LIVING SPACE) PRE-MANUFACTURED-HOME- TO BE CONVERTED TO ADU UNIT (SECOND UNIT)
- (E) COVER DECK -BAY SHADE-
- NEW RESIDENCE WITH FIVE CAR GARAGE
- (N) FRONT PORCH AT NEW RESIDENCE
- NEW STONE PAVERS PATIO
- PROPERTY LINE
- WOOD FENCE
- WIRE FENCE
- APPROXIMATE FLOOD ZONE BOUNDARY LINE
- ELEVATION CONTOUR LINE
- FUTURE SEPTIC AREA

SEPTIC DESIGN LEGEND:

- SEPTIC TANK
- DIVERSION VALVE
- CLEANOUT
- DISTRIBUTION BOX
- LEACH FIELD
- PERCOLATION TEST HOLE

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DESIGNER'S SIGN
Juencio Flores
 JUVENCIO FLORES



REVISIONS

NO.	DESCRIPTION	DATE
3	HEALTH DPT. MONTEREY COUNTY	01/29/2026

SEPTIC SYSTEM PLAN

MR. JUAN ROMERO NEW RESIDENCE
 128 RODGERS ROAD, SALINAS, CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD,
 SALINAS, CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
 02/04/2026

PERMIT NUMBER:
 137-2020

PROJECT NO:
 AS NOTED

DRAWN BY:
 JUVENCIO FLORES
 HENRY MEJIA PEREZ

SHEET TITLE:
 SEPTIC SYSTEM PLAN

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SHEET:
 SSW-1

SEPTIC SYSTEM PLAN

SCALE: 1" = 20'-0" 1

SEPTIC SYSTEM NOTES AND SPECIFICATIONS:

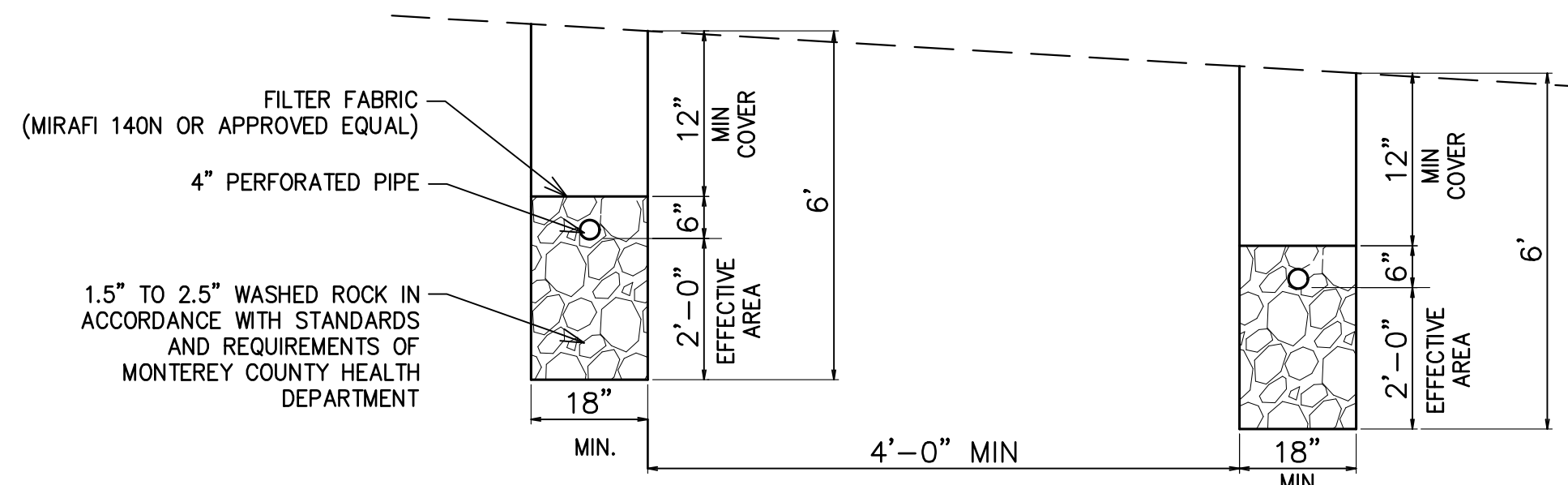
1. ALL WORK SHALL BE IN CONFORMANCE WITH
 - 1.1. 2022 CALIFORNIA BUILDING CODE
 - 1.2. MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055 AND THE LOCAL AGENCY MANAGEMENT PROGRAM FOR ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) MAY 2018.
2. SANITARY SEWER PIPE: 4" SOLVENT-WELD ABS, OR 4" SOLVENT-WELD OR RUBBER GASKETED PVC PIPE WITH WATERTIGHT JOINTS, CONFORMING TO ONE OF THE FOLLOWING: ASTM D-2261; ASTM D-1785, SCH 40; ASTM D-3034; SCHEDULE 35; OR ASTM D-2729. PIPE SHALL BE PLACED AT 2% OR GREATER SLOPE.
3. PERFORATED PIPE: SOLVENT WELD PERFORATED PVC PIPE CONFORMING TO ONE OF THE FOLLOWING: ASTM D-2261; ASTM D-1785, SCH 40; ASTM D-3034; SCHEDULE 35; OR ASTM D-2729 OR SOLVENT WELD PERFORATED ABS PIPE CONFORMING TO ASTM D-2661, SCH 40. PERFORATION PATTERN SHALL CONFORM TO AASHTO M-27 OR ASTM D-2729..
4. DIVERSION VALVE: 4" DIAMETER PVC VALVE WITH THREADED FEMALE SOCKETS DESIGN FOR DIVERSION OF FLOWS TO SEPTIC FIELDS, AND OPERATED THROUGH A VERTICAL RISER USING STANDARD WATER METER KEY. "BULL RUN VALVE" OR APPROVED EQUAL. VALVE RISER SHALL BE OF SAME MATERIAL AS SANITARY SEWER PIPE. IN PLANTER AREAS RISER SHALL TERMINATE 4" ABOVE THE SURFACE WITH WATER-TIGHT TREATED CLEANOUT PLUG. IN VEHICULAR AREAS, TERMINATE CLEANOUT PLUG IN A CHRISTY G03 TRAFFIC-RATED VALVE BOX, OR APPROVED EQUAL. INSTALL VALVE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MONTEREY COUNTY SEWAGE DISPOSAL ORDINANCE #04055.
5. DISTRIBUTION BOX: PRECAST CONCRETE BOX WITH FLOWS EQUALIZED TO EACH OUTLET BY MEANS APPROVED BY AUTHORITY HAVING JURISDICTION. BOX SHALL BE 12"x12" OR LARGER (INSIDE DIMENSIONS), AND SHALL EXTEND TO THE SURFACE. BOX SHALL BE PLACED ON 4"-THICK CAST-IN-PLACE CONCRETE BASE, IF BASE IS NOT INTEGRAL WITH PRECAST BOX. BOX AND LID SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA. CONNECTIONS TO PIPES SHALL BE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644.

6. SEPTIC TANK: PRECAST CONCRETE SEPTIC TANK SHALL CONFORM TO MONTEREY COUNTY REQUIREMENTS, SHALL BE UPC CERTIFIED, AND SHALL CONFORM TO IAPMO/ANSI Z1000-2007. TANK, RISERS, AND LIDS SHALL BE HS-20 VEHICLE LOAD RATED IF LOCATED IN VEHICULAR AREA, OR RATED FOR A MINIMUM OF 500 PSF IF LOCATED OUTSIDE VEHICULAR AREAS, AND SOIL COVER IS 3 FEET OR LESS. CONNECTIONS TO PIPES SHALL BE MADE USING FLEXIBLE CONNECTORS CONFORMING TO ASTM C-1644. PRECAST SECTION JOINTS SHALL BE SEALED USING JOINT SEALANT OR GASKETS SUPPLIED BY MANUFACTURE. TANK AND APPURTENANCES SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. A TWO-WAY SEWER LINE CLEANOUT, WITH RISER TO THE SURFACE, LOCATED TWO FEET FORM THE INLET TANK SHALL BE INSTALLED UNLESS MANHOLE RISERS TO THE SURFACE ARE PROVIDED. INLINE EFFLUENT FILTERS SHALL BE INSTALLED. EFFLUENT FILTERS SHALL BE APPROVED BY THE MONTEREY COUNTY ENVIRONMENTAL HEAL DEPARTMENT.

7. CLEANOUTS: PROVIDE CLEANOUTS ON SANITARY SEWER LINES AT EACH AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDING 135° AND AT INTERVALS NOT EXCEEDING 100'. IF THE SEPTIC TANK IS LOCATED MORE THAN 50' FROM THE DRAIN LINES, A CLEANOUT SHALL BE INSTALLED AT 50' AND 50 THEREAFTER.

SEPTIC DESIGN CRITERIA (SFD):

1. THE SEPTIC SYSTEMS IS DESIGN TO COMPLY WITH THE MONTEREY COUNTY LAMP FOR OWTS, (MAY 2018)
2. NUMBER OF BEDROOMS = 5 BEDROOMS + 1 OFFICE RESIDENCE
3. REQUIRED SEPTIC TANK SIZE = SFD = 2,000 GALLONS (MC CHAPTER 15.20 TABLE).
4. DESIGN VOLUME = 600 GPD (MC CHAPTER 15.20 TABLE 6)
5. SOIL APPLICATION RATE= 0.3 GPD/SF (TABLE 5-4)
6. REQUIRED SEEPAGE AREA = 600 GPD / 0.3 GPD/SF = 2,000 SF
7. INFILTRATIVE AREA PER LINEAR FOOT:
 (2' EFFECTIVE DEPTH) X (2 WALLS)
 4 SF/LF
8. PROVIDED PRIMARY SEEPAGE AREA = 100 LF X 4 SF/FT X (5) = 2,000 SF = 2,000 SF OK
9. PROVIDED SECONDARY SEEPAGE AREA = SAME AS PRIMARY
10. FUTURE SEEPAGE AREA = SAME AS PRIMARY
11. THE LEACH FIELDS SHALL HAVE AT MINIMUM 12 INCHES OF SOIL COVER.



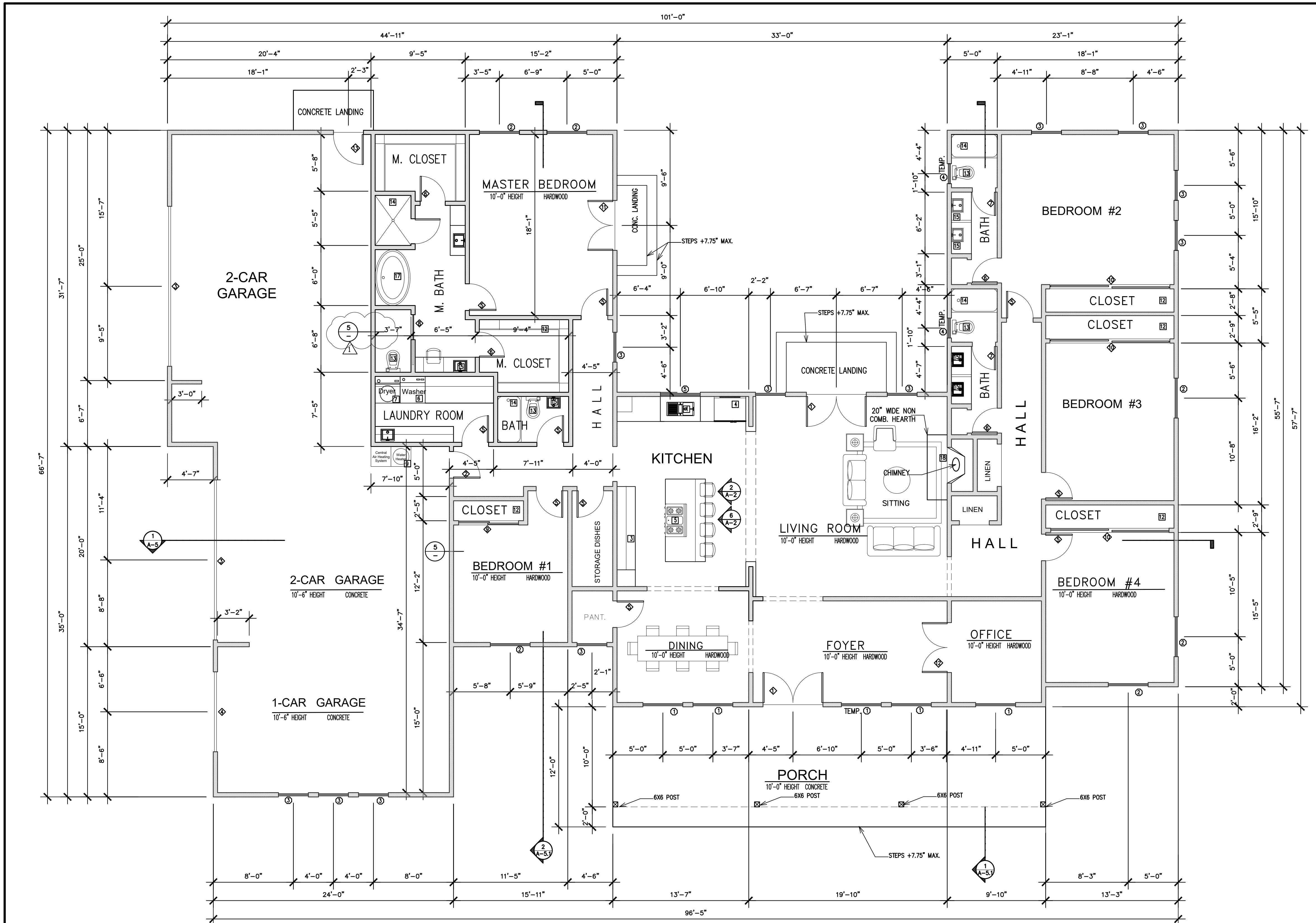
LEACH TRENCH TYPICAL SECTION
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LEACH TRENCH TYPICAL SECTION

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SEPTIC SYSTEM NOTES AND SPECIFICATIONS

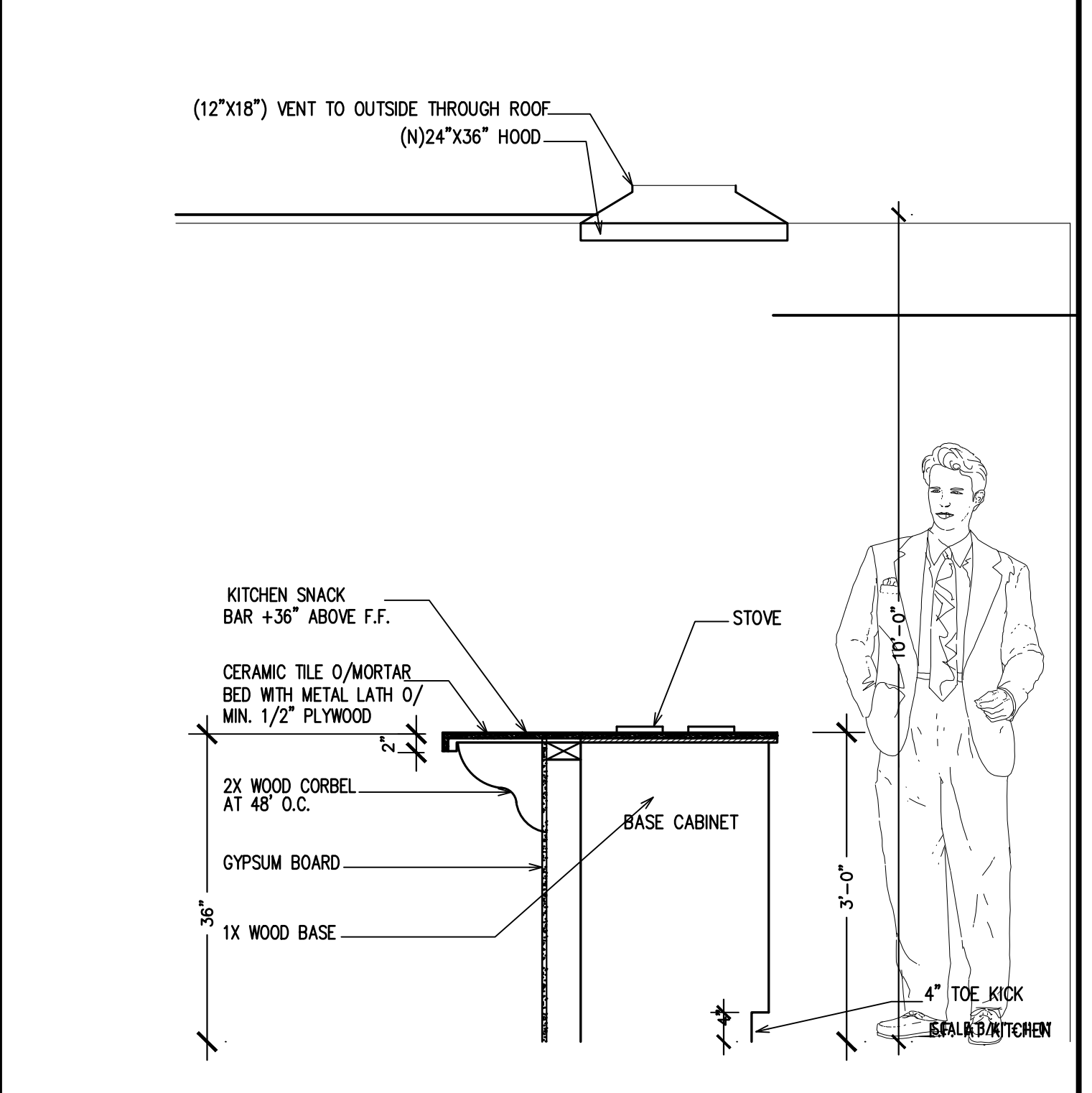
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- UNIT PLAN KEYNOTES** KITCHEN & BATHROOM NOTES: [F]
- 1 SINK W/DISPOSAL W/ GARBAGE DISPOSAL
 - 2 SINK
 - 3 LINE OF UPPER CABINET ABOVE
 - 4 REFRIGERATOR SPACE FAN ABOVE. VENT TO EXTERIOR
 - 5 RANGE OVEN W/HOOD LIGHT AND FAN ABOVE. VENT TO EXTERIOR. WITH A MIN. VENTILATION RATE OF 100 CFM. (MIN. 5" DIA. FLEX DUCT WITH MIN. LENGTH OF 35')
 - 6 WASHER SPACE-PROVIDE HOT AND COLD WATER SUPPLY AND WASTE LINE.
 - 7 DRYER SPACE-PROVIDE 4" DIA. VENT TO OUTSIDE W/BACK DRAFT DAMPER.
 - 8 UNLESS SEE INSTRUCTIVE.
 - 9 24"x30" ATTIC ACCESS. *DOOR SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR DOORS IN COMPLIANCE WITH SECTION 715.4.3. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. (CRC 406.1.4 (1))
 - 10 6" PLUMBING WALL
 - 11 SHELF AND ROD @ WARDROBE
 - 12 LOW FLUSH WATER CLOSED. (1.28 GAL. PER FLUSH MAX.) WATER CLOSET 18" CENTER LINE TO FINISH WALL.
 - 13 32"x60" SHOWER, WITH SHOWER HEAD AT +78". FLOW SHALL NOT EXCEED 1.8 GALLONS/MINUTE AT 80 PSI
 - 14 LAVATORY FAUCET < 1.2 gpm @ 60 psi (or 1.8 gpm for kitchen faucets)
 - 15 SKYLIGHT "SOLATUBE" 10" SIZE SEE PLAN
 - 16 OVAL TUB W/ONYX DECK & ONYX WALLS TO BOT. OF WDW.
 - 17 SUPERIOR B-VENTGRD.-6500 F. P. W/FLUSH HEART. GL DRS & OUTSIDE COMB. AIR ICBO APPROVAL REQ'D

- FLOOR PLAN NOTES** APPLICABLE CRC 2019 NOTES AND 2019 CALGREEN NOTES
1. Carpet and carpet systems shall be compliant with VOC limits.
 2. 80% floor area receiving resilient flooring shall comply with specified VOC criteria.
 3. Particleboard, medium density fiberboard (MDF) and hardwood used in interior finish system shall comply with low formaldehyde emission standards.
 4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLAZING MATERIAL, (TEMPERED) IN AREAS LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
 5. ALL ROOMS MUST BE DETERMINED TO HAVE A MINIMUM NATURAL LIGHT SOURCE OF 10% OF THE FLOOR AREA.
 6. Moisture content of building material used in wall and floor framing is checked before enclosure.
 7. BATHROOMS FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
 8. N/A
 9. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OR ENGINEER OF CONFLICT.
 10. PROVIDE SOUND INSULATION AND CAULKING UNDER PLATES IN PARTY WALLS AND BATHROOM ADJACENT TO LIVING AREAS.
 11. a) Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor. (CRC R307.2)
 - b) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION (CPC 414.5 & 418.0)
 12. WINDOWS IN BEDROOMS SHALL MEET ALL OF THE FOLLOWING EGRESS REQUIREMENTS (AT LEAST ONE WINDOW EACH BEDROOM IS REQUIRED TO MEET THESE REQUIREMENTS) MINIMUM NET 5.7 S.F. OF OPENABLE AREA (MIN. OF 5.0 NET S.F. REQUIRED FOR GRADE LEVEL BEDROOMS; i.e. first floor)
 - MINIMUM NET 20" CLEAR WIDTH WHEN OPEN
 - MINIMUM NET 24" CLEAR HEIGHT WHEN OPEN
 - MAXIMUM HEIGHT OF 44" FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.

FLOOR PLAN GRAL NOTES



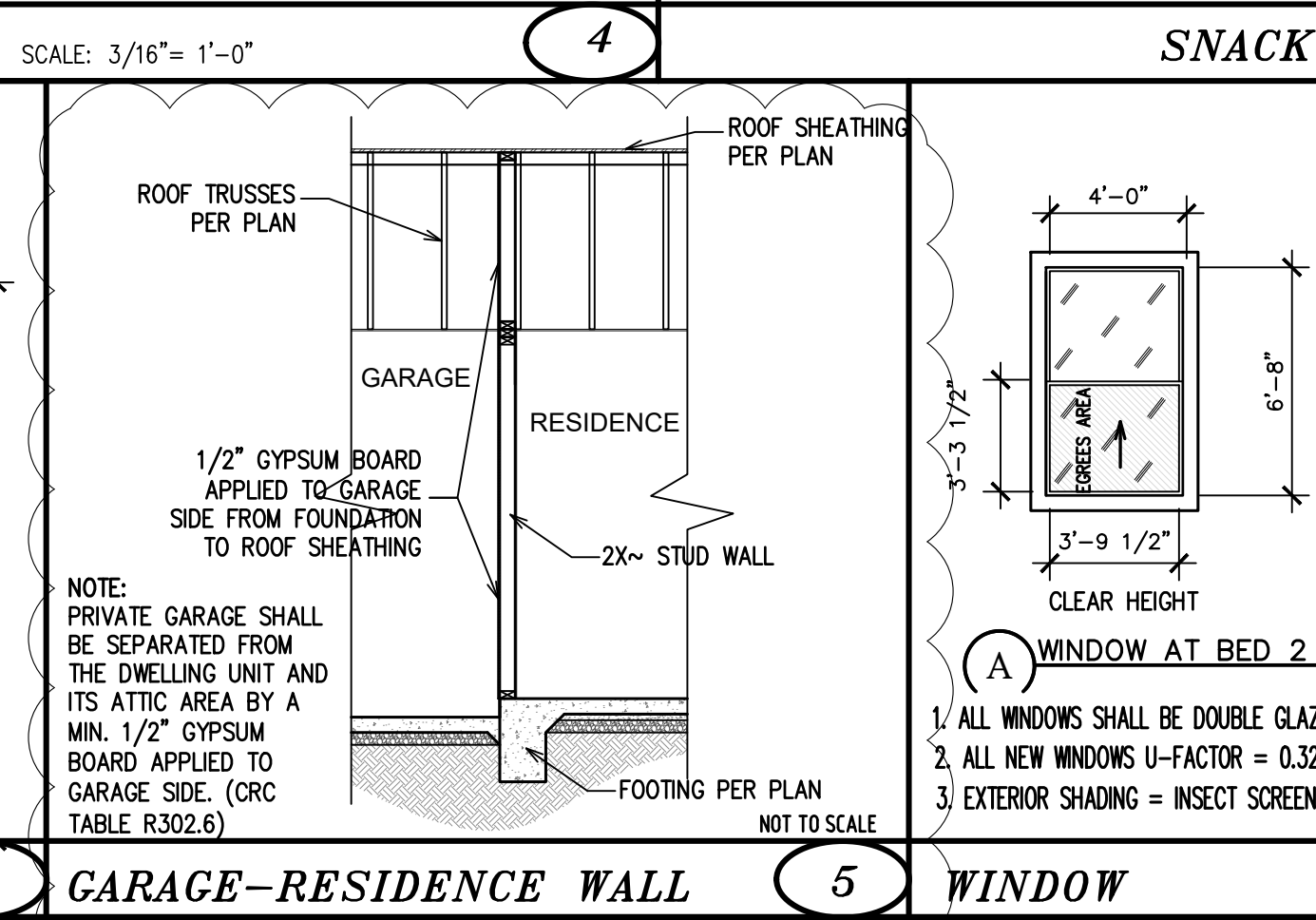
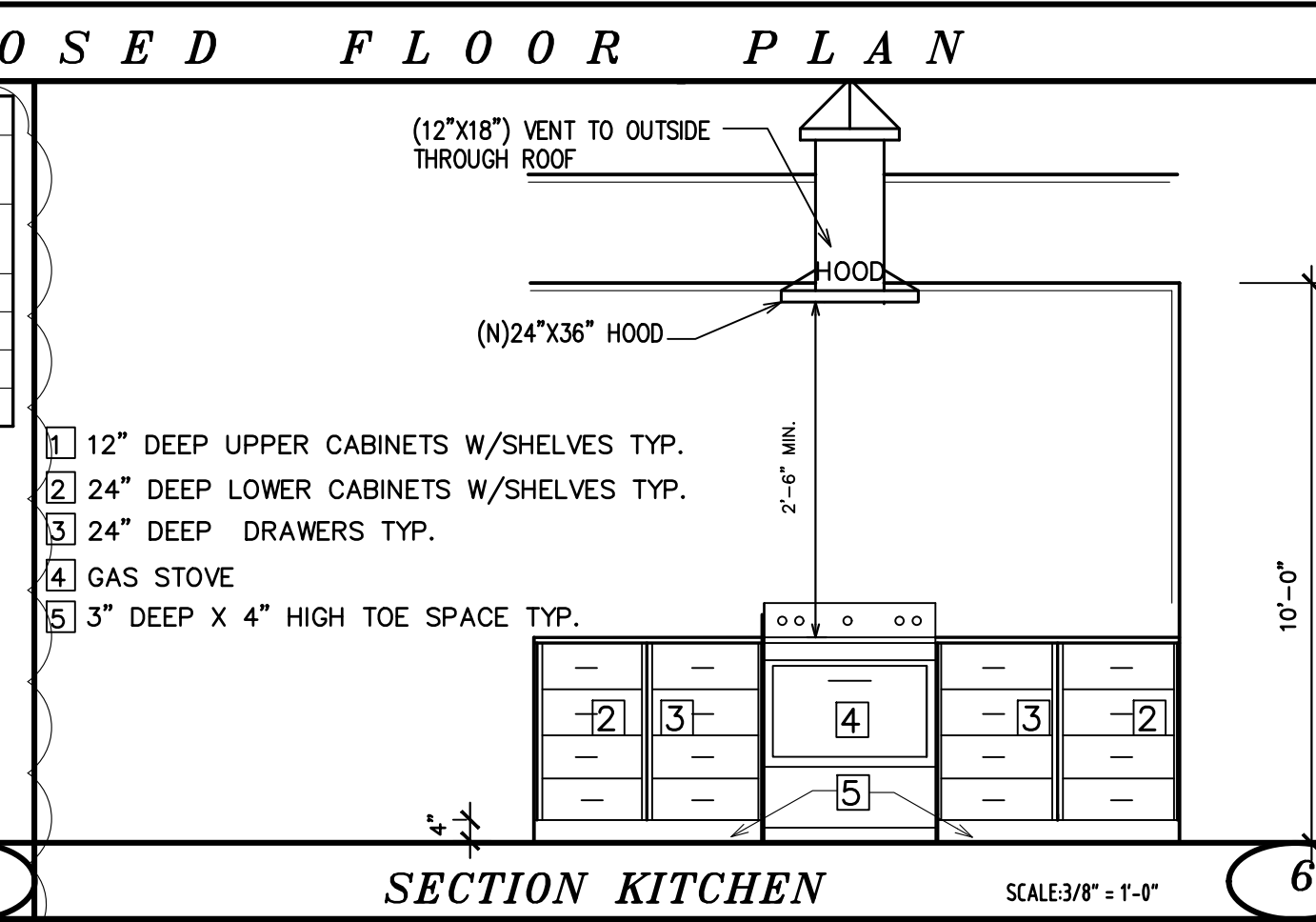
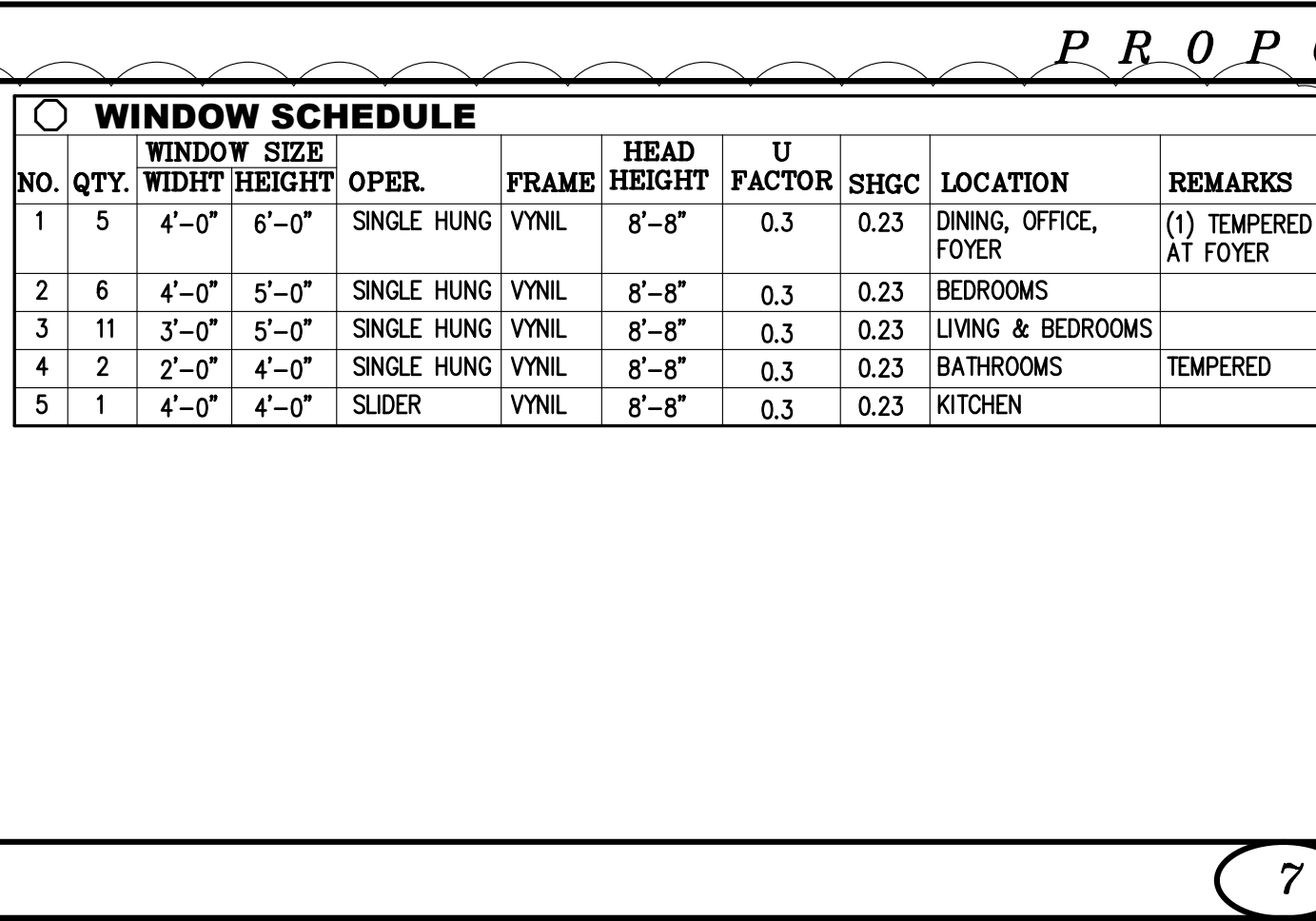
DOOR SCHEDULE

NO.	QTY.	WIDTH	HEIGHT	THICK.	DOOR TYPE	CORE	MATERIAL	FRAME	LOCATION	REMARKS
1	2	6'-0"	8'-0"	1-3/4"	FRENCH DOOR	SOLID	WOOD/GL.	WOOD	ENTRY	TEMPERED
2	1	2'-8"	6'-8"	1-3/4"	SINGLE DOOR	SOLID	WOOD	WOOD	GARAGE	SEE NOTE A
3	2	16'-0"	7'-0"	1-3/4"	GARAGE DOOR	HOLLOW	STEEL	STEEL	GARAGE	
4	1	8'-0"	7'-0"	1-3/4"	GARAGE DOOR	HOLLOW	STEEL	STEEL	GARAGE	
5	10	2'-8"	6'-8"	1-3/4"	SINGLE DOOR	HOLLOW	WOOD	WOOD	BEDROOMS	
6	4	2'-6"	6'-8"	1-3/4"	SINGLE DOOR	HOLLOW	WOOD	WOOD	BATHROOMS	
7	2	2'-4"	6'-8"	1-3/4"	SINGLE DOOR	HOLLOW	WOOD	WOOD	BATHROOMS	
8	1	2'-6"	6'-8"	1-3/4"	POCKET DOOR	HOLLOW	WOOD	WOOD	BATHROOMS	
9	1	6'-0"	6'-8"	1-3/4"	CLOSET DOOR	HOLLOW	WOOD	WOOD	CLOSET	
10	1	12'-0"	6'-8"	1-3/4"	CLOSET DOOR	HOLLOW	WOOD	WOOD	CLOSET	
11	1	5'-0"	8'-0"	1-3/4"	FRENCH DOOR	SOLID	WOOD/GL.	WOOD	M. BED	TEMPERED
12	1	5'-0"	6'-8"	1-3/4"	FRENCH DOOR	HOLLOW	WOOD	WOOD	OFFICE	
13	2	3'-0"	8'-0"	1-3/4"	SINGLE DOOR	SOLID	WOOD/GL.	WOOD	GARAGE	TEMPERED

WINDOW SCHEDULE

NO.	QTY.	WIDTH	HEIGHT	OPER.	FRAME	HEAD HEIGHT	U FACTOR	SHGC	LOCATION	REMARKS
1	5	4'-0"	6'-0"	SINGLE HUNG	VINYL	8'-8"	0.3	0.23	DINING, OFFICE, FOYER	(1) TEMPERED AT FOYER
2	6	4'-0"	5'-0"	SINGLE HUNG	VINYL	8'-8"	0.3	0.23	BEDROOMS	
3	11	3'-0"	5'-0"	SINGLE HUNG	VINYL	8'-8"	0.3	0.23	LIVING & BEDROOMS	
4	2	2'-0"	4'-0"	SINGLE HUNG	VINYL	8'-8"	0.3	0.23	BATHROOMS	TEMPERED
5	1	4'-0"	4'-0"	SLIDER	VINYL	8'-8"	0.3	0.23	KITCHEN	

NOTE:
A) DOORS OPENING BETWEEN A GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOOR OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED DOOR. DOORS SHALL BE SELF CLOSING AND SELF LATCHING. (CRC R302.5.1)



WINDOWS & DOOR SCHEDULE

SECTION R310.2.1 EMERGENCY ESCAPE AND RESCUE REQUIREMENTS

- a. Opening must be no more than 44 inches above the floor
- b. Opening shall have a min. clear opening of 5.7 s.f.
- c. The opening shall have a min. clear height of 24 inches.
- d. The opening shall have a min. clear width of 20 inches.

MIN. NET 5.7 S.F. OF OPENABLE AREA.
PROPOSED 5.83 S.F. OF OPENABLE AREA.

(A) WINDOW AT BED 2 AND M. BED

1. ALL WINDOWS SHALL BE DOUBLE GLAZE
2. ALL NEW WINDOWS U-FACTOR = 0.32 AND SHGC = 0.25
3. EXTERIOR SHADING = INSECT SCREEN

FLORES DRAFTING SERVICE
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DESIGNER'S SIGN
Juvenicio Flores
JUVENICIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING OPT	08/22/2021
2	MONTEREY COUNTY	07/08/2024

FLOOR PLAN, FLOOR PLAN NOTES, DOORS & WINDOWS SCHEDULE
MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE: (831) 970-5004

DRAWING DATE:
05/29/2021

CONSTRUCTION RELEASE
B21-XXXX
137-2020

PROJECT NO.:
SCALE: AS NOTED

DRAWN BY:
JUVENICIO FLORES

SHEET TITLE:
FLOOR PLAN
FLOOR PLAN NOTES
DOORS & WINDOWS SCHEDULE

SHEET:
A-2

REVISIONS		
NO.	DESCRIPTION	DATE
△	BUILDING DPT. MONTEREY COUNTY	08/22/2021
△	MONTEREY COUNTY	07/08/2021

EXTERIOR ELEVATIONS & ELEVATIONS NOTES
 MR. JUAN ROMERO - NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
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CONSTRUCTION RELEASE

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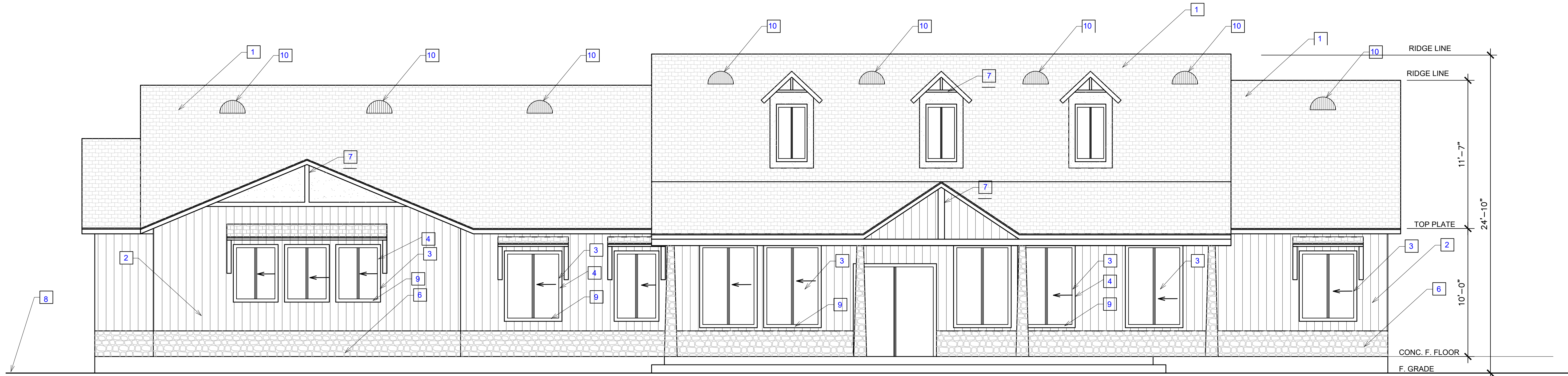
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 AS NOTED

DRAWN BY:
 JUVENIO FLORES

SHEET TITLE:
 EXTERIOR ELEVATIONS & ELEVATIONS NOTES

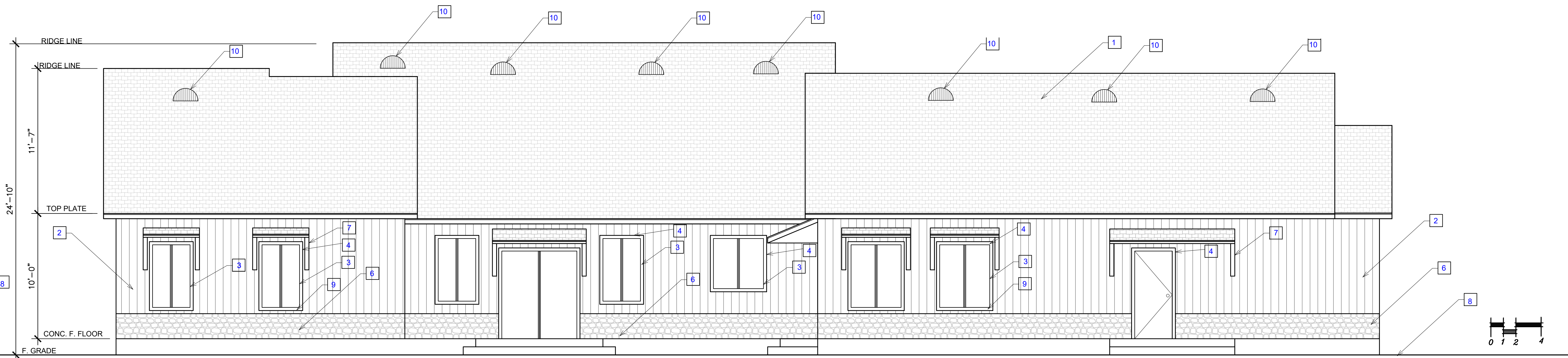
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SHEET:
 A-3



PROPOSED FRONT SIDE ELEVATION (SOUTHWEST)

SCALE: 1/4" = 1'-0" 5



PROPOSED REAR SIDE ELEVATION (NORTHEAST)

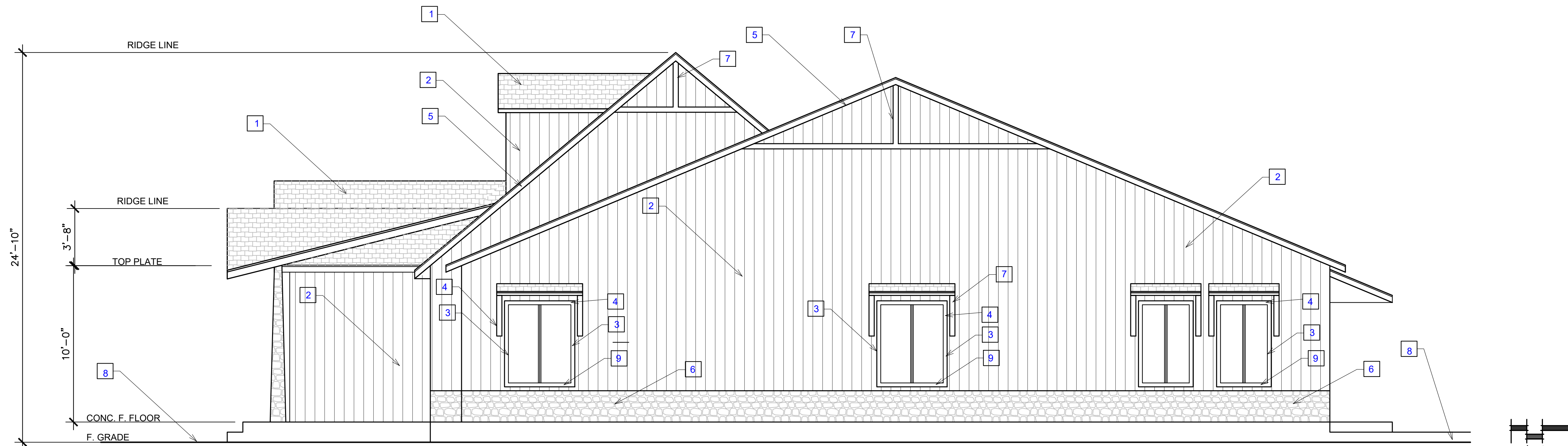
SCALE: 1/4" = 1'-0" 5

ELEVATIONS NOTES:

- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- GUTTERS AND DOW SPOUTS ARE NOT SHOWN FOR CLARIFY, SEE ROOF PLANS FOR LOCATIONS.
- ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER 2019 CRC SECTION R310.1 SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- WINDOWS FRAME SHALL BE VINYL. SEE ELEVATIONS FOR DIRECTION OF OPERATION. OPERABLE WINDOWS SHALL HAVE SCREWS.
- BUILDING ADDRESS NUMBERS SHALL BE AT LEAST TWELVE INCHES HIGH AND PLACED ON THE FRONT OF THE BUILDING WHERE THEY MAY BE EASILY SEEN FROM THE STREET. THE NUMBERS SHALL BE PAINTED A COLOR WHICH CONTRASTS WITH THE BACKGROUND.
- ROOFING: 4/12 ROOF PITCH U.N.O. TO MATCH EXISTING SEE ROOF PLAN FOR ROOFING MATERIAL.
- (N) WOOD SIDING (N) (3 COAT PROCESS WITH A BACKING DETAIL, TWO LAYERS OF GRADE "D" PAPER AND WEED SCREED. (N) TO MATCH EXISTING APPLICATION PER CRC. TO MATCH EXISTING IN COLOR AND MATERIALS. PAINTS, STAINS AND OTHER COATING SHALL BE COMPLIANT WITH -VOC- LIMITS.

KEYNOTES

- SPANISH -LHC 8710 LADERA BLEND--CONCRETE TILE ROOF TYP. ROOFING CLASS "B" ROOF MATERIAL OVER 30# FELT OVER WOOD SHEATING. INSTALL PER MANUF. SPECS (EAGLE DARK BROWN BLEND)
- WOOD SIDING (N) (3 COAT PROCESS WITH A BACKING DETAIL, TWO LAYERS OF GRADE "D" PAPER AND WEED SCREED.
- VINYL WINDOWS TYPICAL
- WOOD DOOR & WINDOW TRIM (KELLY-MOORE SEE CO, SHEETS)
- 2X8 WOOD FASCIA (KELLY-MOORE -COLOR- SEE CO, SHEETS)
- STONE VENEER SIDING (VERSETTA SOTNE DARK BROWN/BY OWNER)
- DECORATIVE TRIM (KELLY-MOORESEE CO, SHEETS)
- FINISH GRADE 2% SLOPE AWAY FROM BUILDING.
- WINDOW SILL AND APRON (KELLY-MOORE SEE CO, SHEETS)
- DORMER VENT (Galvanized steel)



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0" 4

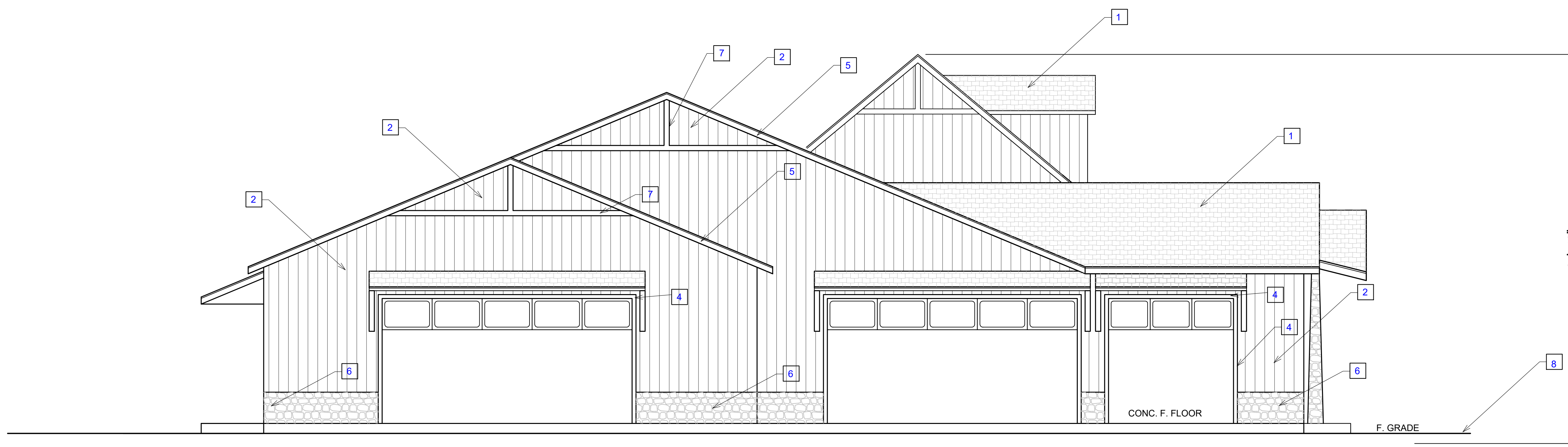
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- SPANISH -LHC 8710 LADERA BLEND-CONCRETE TILE ROOF TYP. ROOFING CLASS "B" ROOF MATERIAL OVER 30# FELT OVER WOOD SHEATHING. INSTALL PER MANUF. SPEC'S (EAGLE DARK BROWN BLEND)
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 - WOOD DOOR & WINDOW TRIM (KELLY-MOORE SEE CO. SHEETS)
 - 2X8 WOOD FASCIA (KELLY-MOORE -COLOR-SEE CO. SHEETS)
 - STONE VENER SIDING (VERSETTA SOTNE DARK BROWN/BY OWNER)
 - DECORATIVE TRIM (KELLY-MOORESEE CO. SHEETS)
 - FINISH GRADE 2% SLOPE AWAY FROM BUILDING.
 - WINDOW SILL AND APRON (KELLY-MOORE SEE CO. SHEETS)
 - DORMER VENT (Galvanized steel)

ELEVATIONS NOTES:

- DIMENSIONS ARE TO BE FACE OF FRAMING UNLESS NOTED OTHERWISE.
- GUTTERS AND DOW SPOUTS ARE NOT SHOWN FOR CLARIFY, SEE ROOF PLANS FOR LOCATIONS.
- ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER 2019 CRC SECTION R310.1 SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- WINDOWS FRAME SHALL BE VINYL. SEE ELEVATIONS FOR DIRECTION OF OPERATION. OPERABLE WINDOWS SHALL HAVE SCREWS.
- BUILDING ADDRESS NUMBERS SHALL BE AT LEAST TWELVE INCHES HIGH AND PLACED ON THE FRONT OF THE BUILDING WHERE THEY MAY BE EASILY SEEN FROM THE STREET. THE NUMBERS SHALL BE PAINTED A COLOR WHICH CONTRASTS WITH THE BACKGROUND.
- ROOFING: 4/12 ROOF PITCH U.N.O. TO MATCH EXISTING SEE ROOF PLAN FOR ROOFING MATERIAL.
- (N) WOOD SIDING (N) (3 COAT PROCESS WITH A BACKING DETAIL, TWO LAYERS OF GRADE "D" PAPER AND WEED SCREED. (N) TO MATCH EXISTING APPLICATION PER CRC. TO MATCH EXISTING IN COLOR AND MATERIALS. PAINTS, STAINS AND OTHER COATING SHALL BE COMPLIANT WITH -VOC- LIMITS.

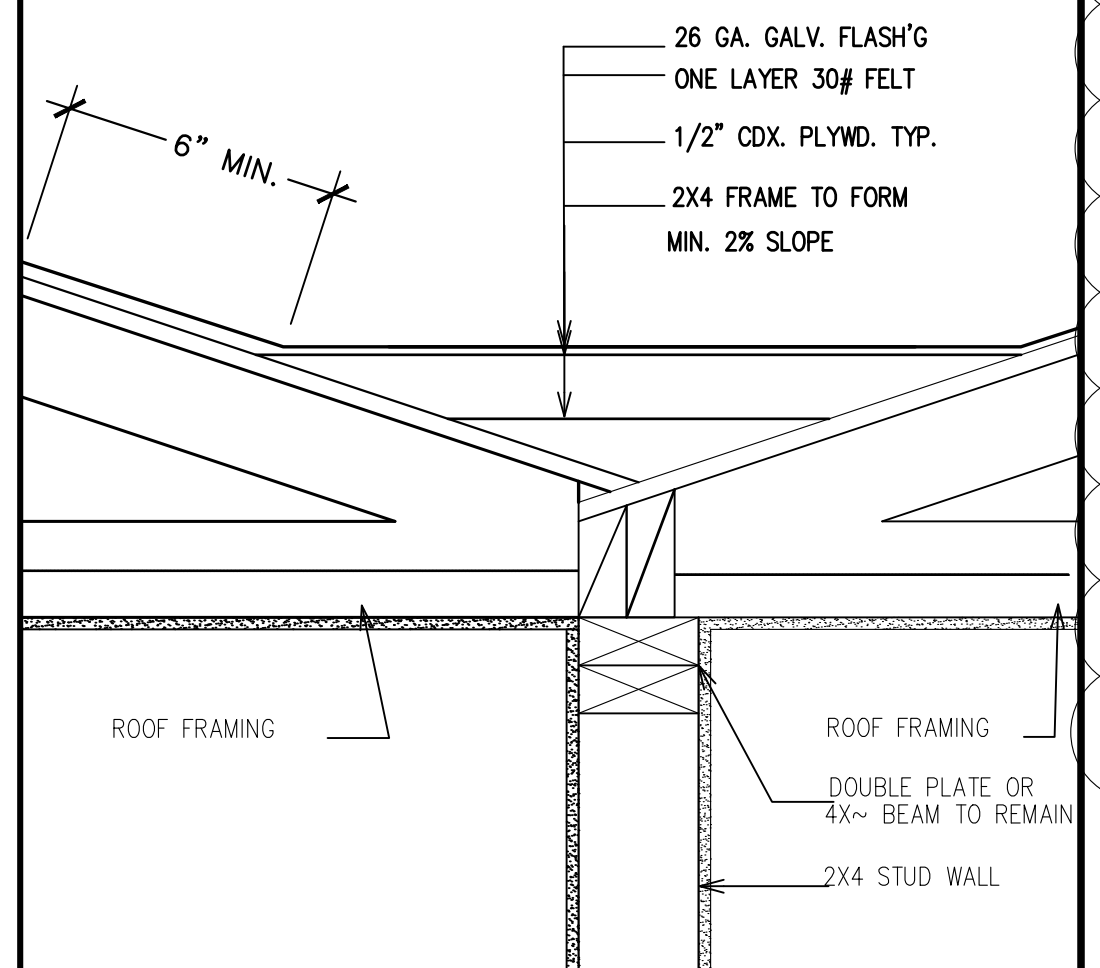
ELEVATIONS NOTES

2



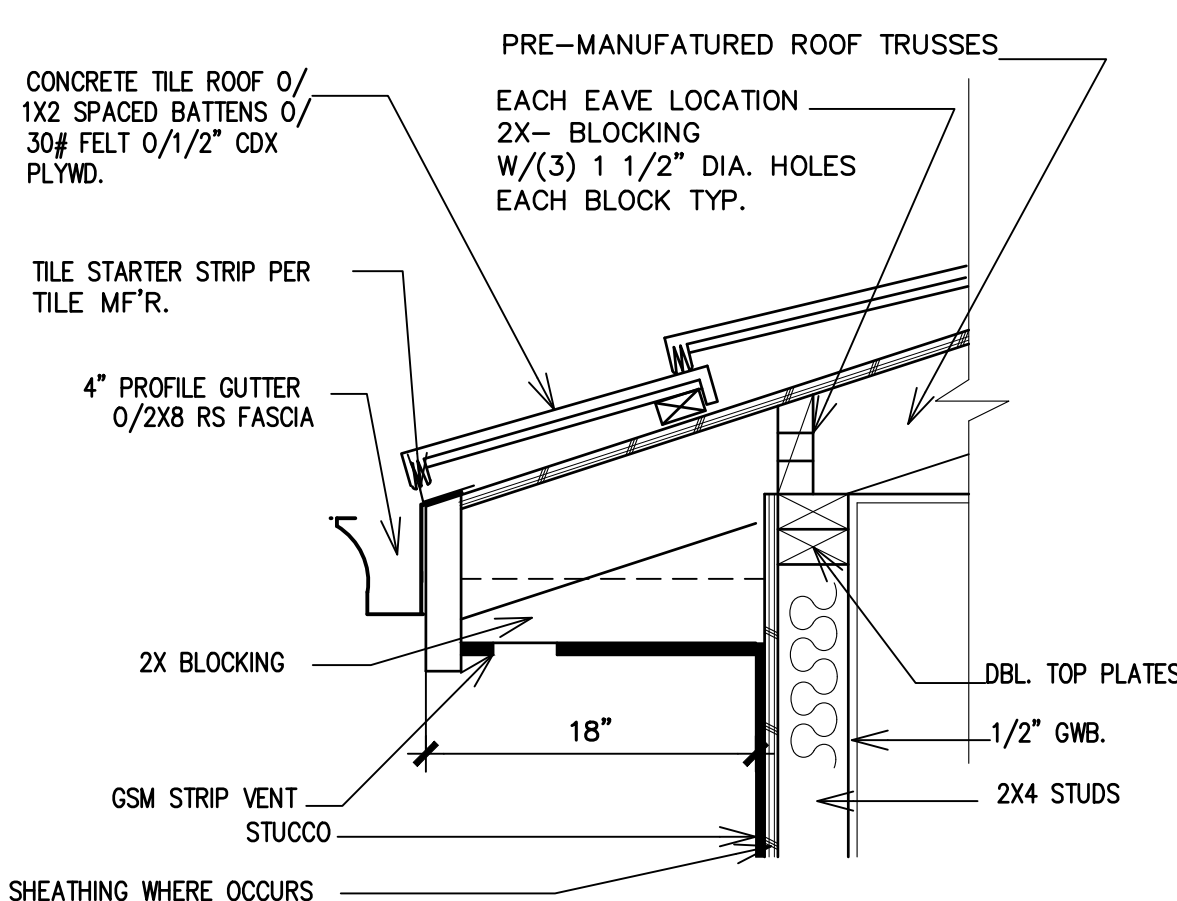
PROPOSED LEFT SIDE ELEVATION (NORTHEAST)

SCALE: 1/4" = 1'-0" 5



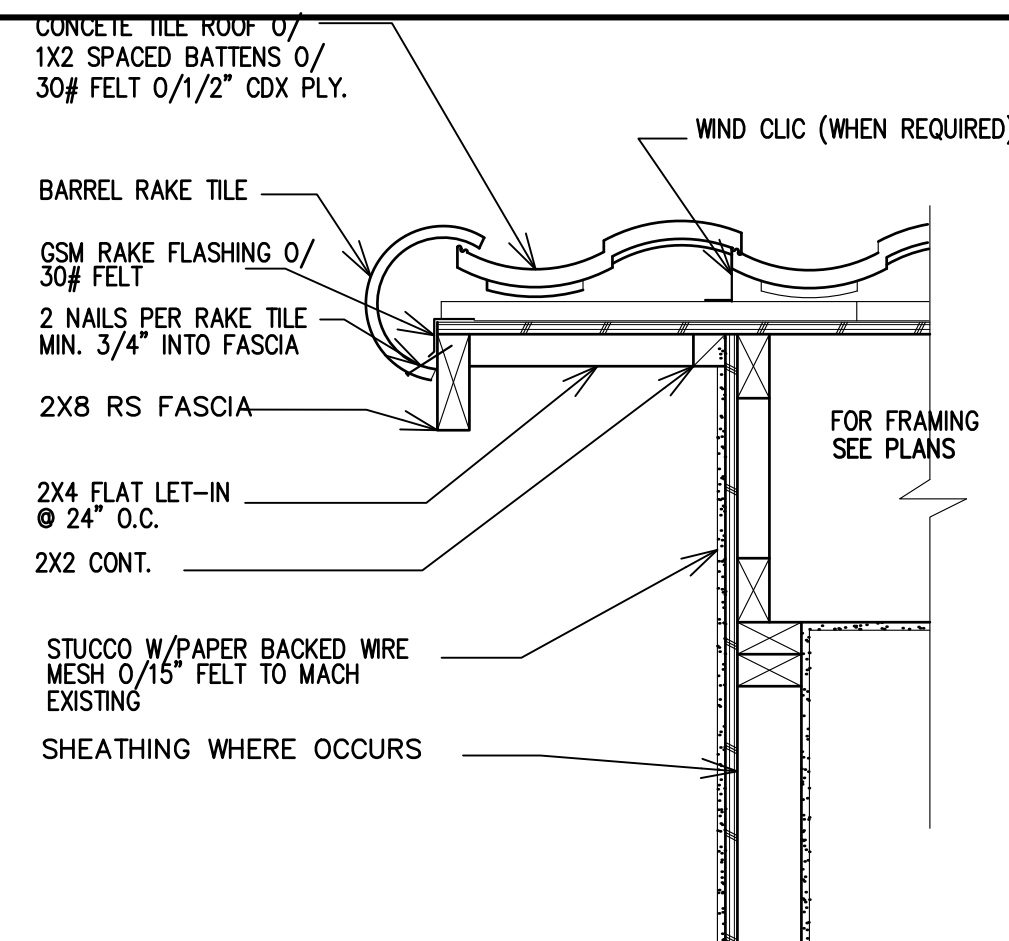
CRICKET DETAIL

SCALE: 1-1/2" = 1'-0" 2



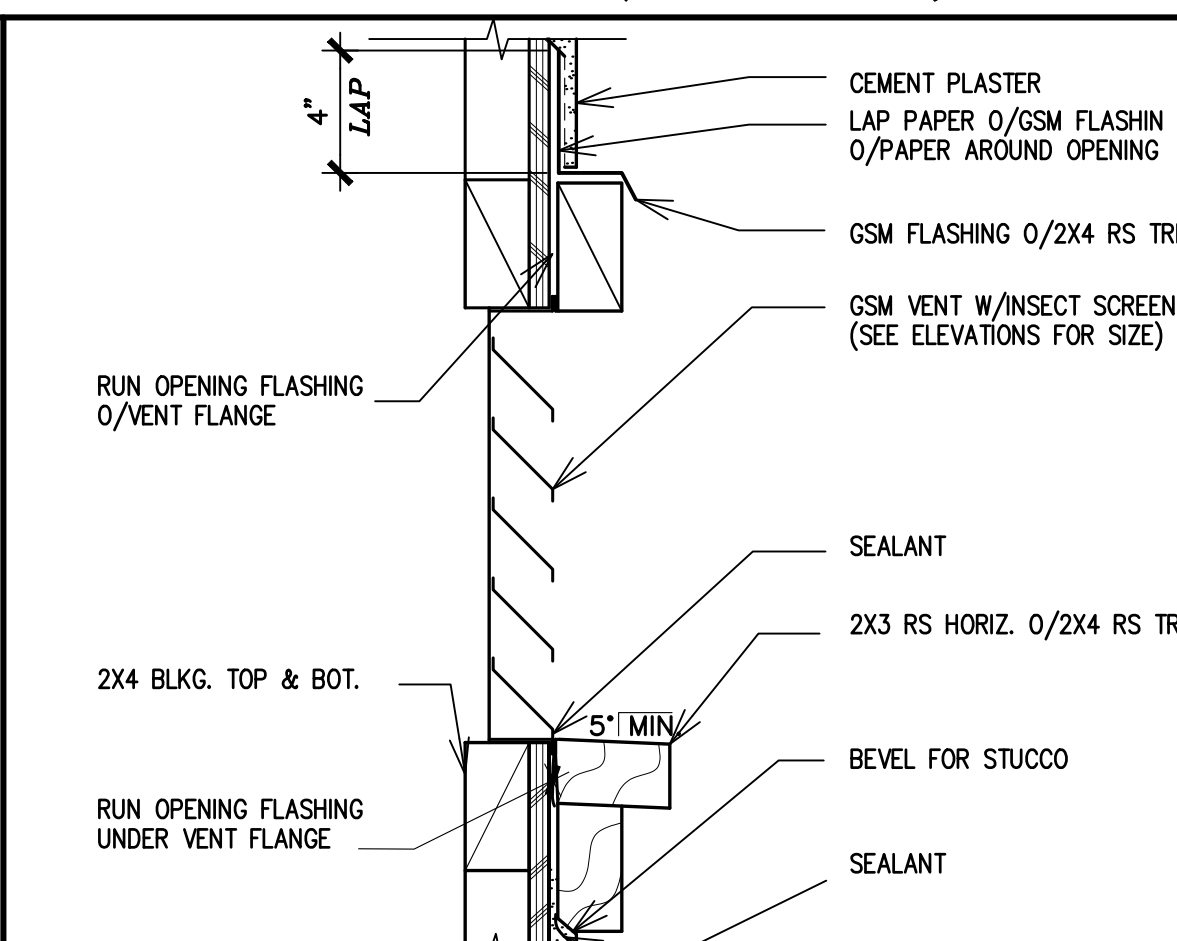
TYPICAL EAVE DETAIL W/GUTTER

9



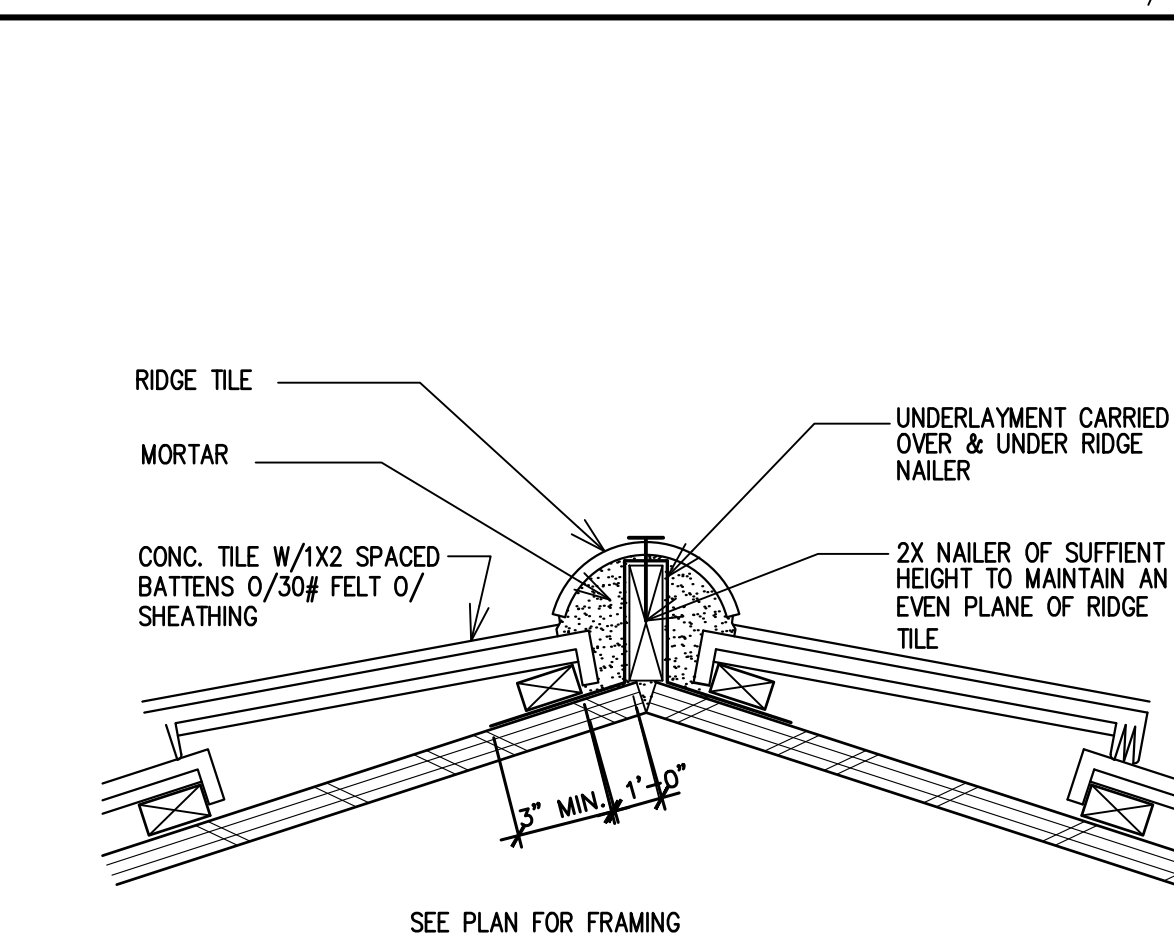
TYPICAL GABLE

NTS 8



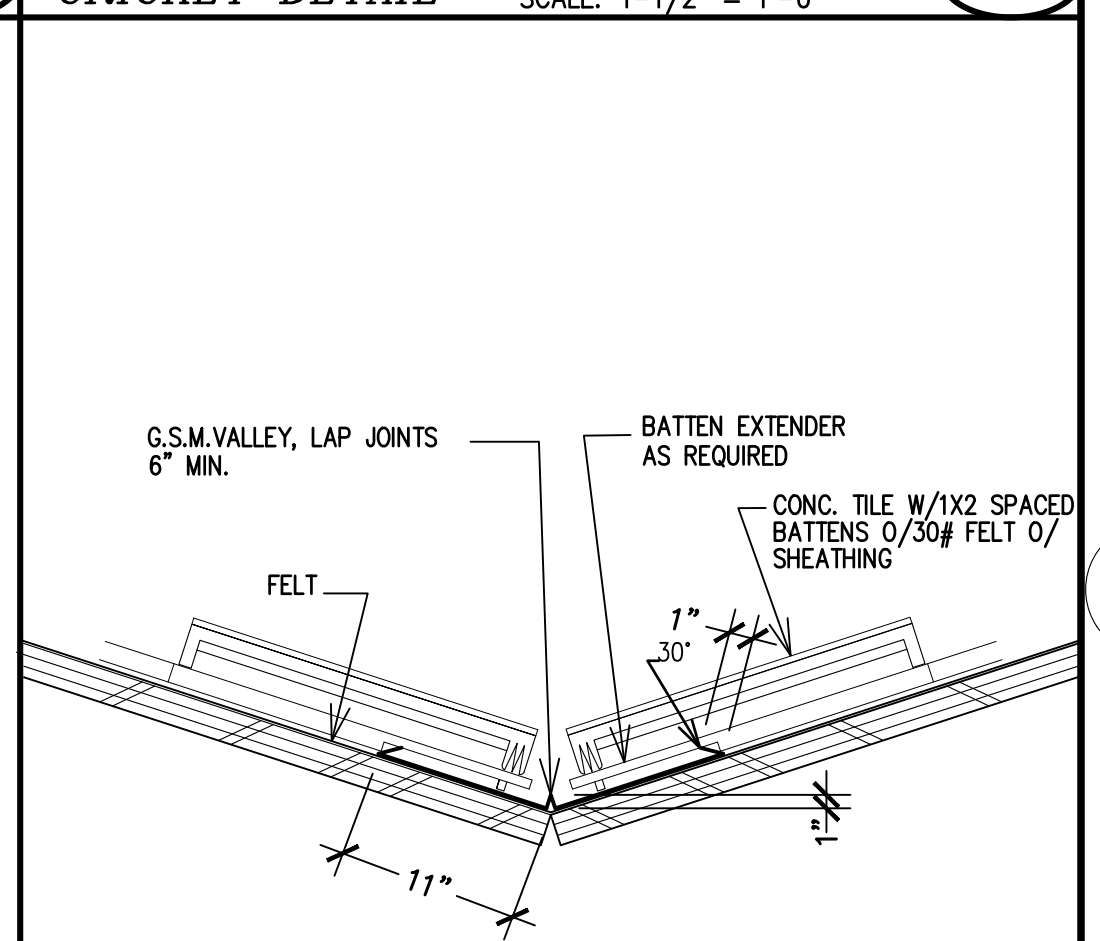
GABLE END VENT

NTS 7



TYPICAL RIDGE

NTS 6



VALLEY FLASHING DETAIL

NTS 3



DESIGNER'S SIGN
Juvenio Flores
AJUENICIO FLORES

REVISIONS

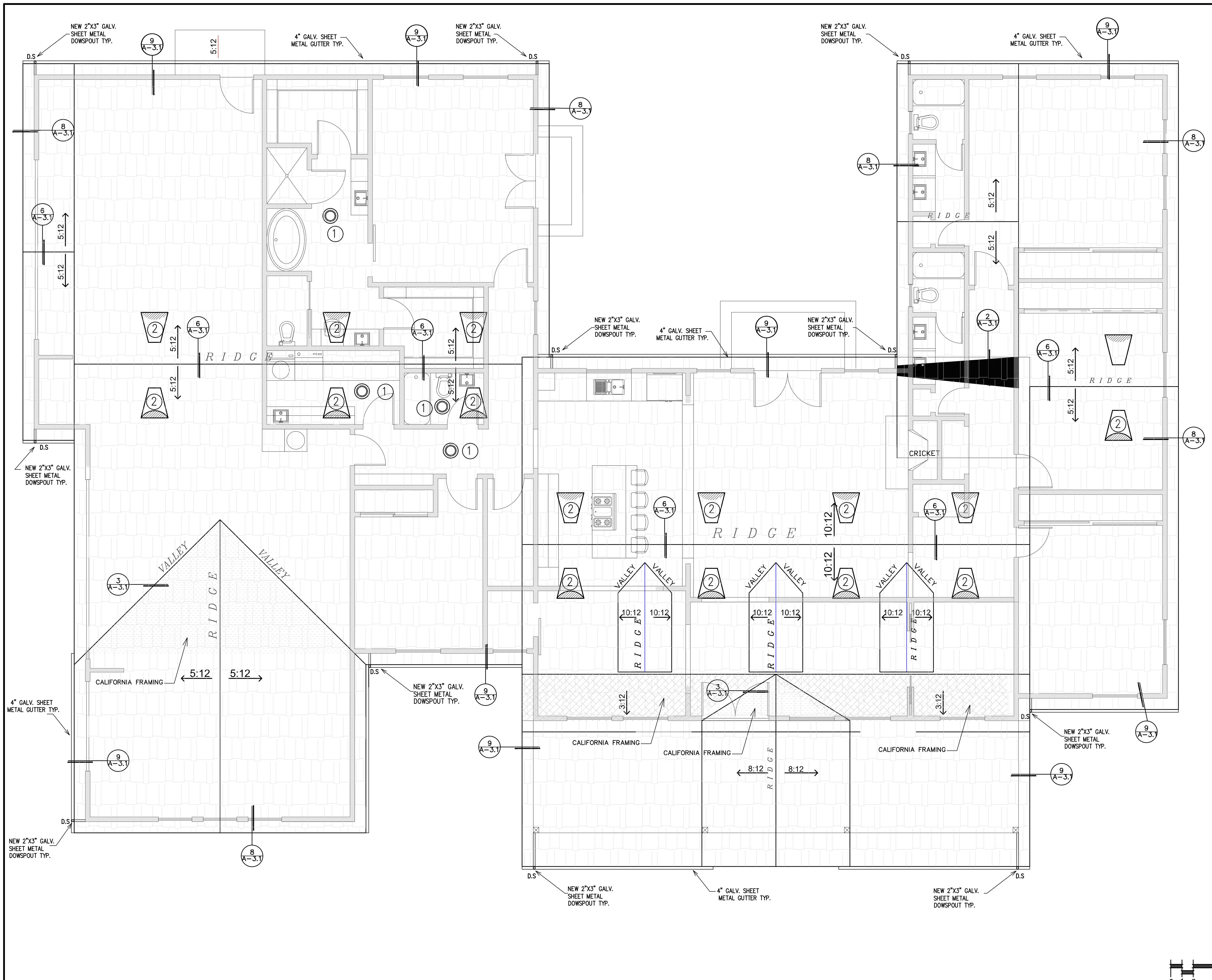
NO.	DESCRIPTION	DATE
1	BUILDING DPT. MONTEREY COUNTY	08/22/2020
2	MONTEREY COUNTY	07/08/2020

EXTERIOR ELEVATIONS, ELEVATIONS NOTES & ROOF DETAILS
MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE: (831) 970-5004

DRAWING DATE:
05/29/2021
CONSTRUCTION RELEASE
B21-XXXX
PROJECT NO:
137-2020
SCALE:
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JUVENIO FLORES

SHEET TITLE:
EXTERIOR ELEVATIONS
ELEVATIONS NOTES
ROOF DETAILS



ROOF PLAN LEGEND

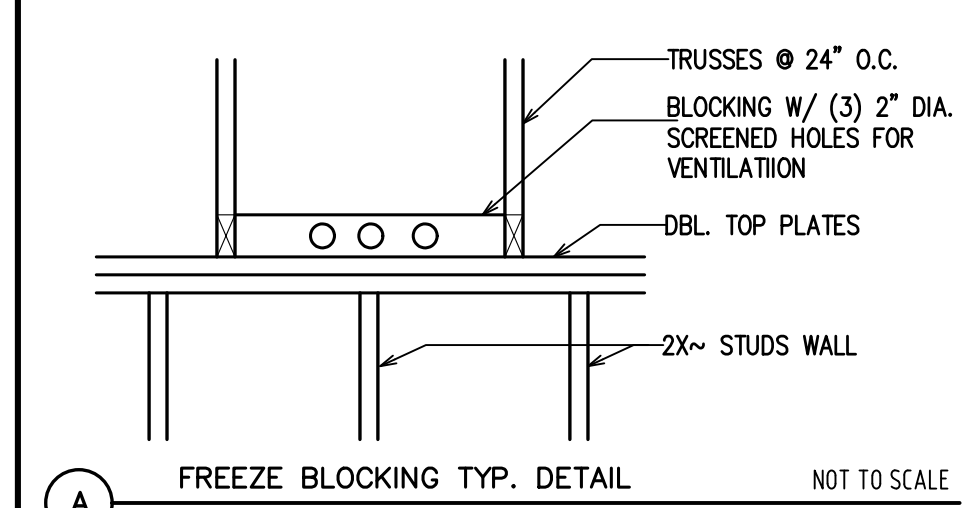
- (N) ROOF
- (N) CALIFORNIA ROOF

ROOF PLAN NOTES

1. ROOF SHALL BE: CONCRETE TILE ROOF TYP.
2. ROOF PITCH SHALL BE: VARIES (U.O.N.) TO MATCH (E).
3. OVERHAND DIMENSIONS ARE: EAVE: 1'-6" (U.O.N.)
RAKE: 1'-4" (U.O.N.) TO MATCH (E)
4. LOCATED GUTTERS AND DOWNSPOUTS AS SHOWN.
5. ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR AN APPROVED DRAINAGE FACILITY
6. ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS.
8. GUTTERS: ALUMINUM GUTTER OGEE SHAPE, FACTORY FINISHED.
9. DOWNSPOUTS: ALUMINUM DOWNSPOUT, FACTORY FINISHED.
10. ATTIC VENTILATION SHALL BE PROVIDED PER SECTION R806.1 2019 CBC
Use Roofing Material With at least 33% Recycled Content
12. VENTS SHALL TERMINATE ABOVE THE ROOF SURFACE AT A LISTED CAP OR LISTED ASSEMBLY 2019 CBC SECTION 510.6.2(1)

ROOF PLAN KEYNOTES

- 1 SLYIGHT "SOLATUBE" 10" SIZE FOR BATHROOM AND 14" SIZE FOR KITCHEN, FAMILY ROOM AND DINING ROOM - SEE INSTRUCTIVE
- 2 DORMER VENTS:
HALF ROUND SHEET METAL DORMER VENT WITH INSECT SCREEN, GALVANIZED AND PAINTED. SEE ATTIC VENT VENTILATION



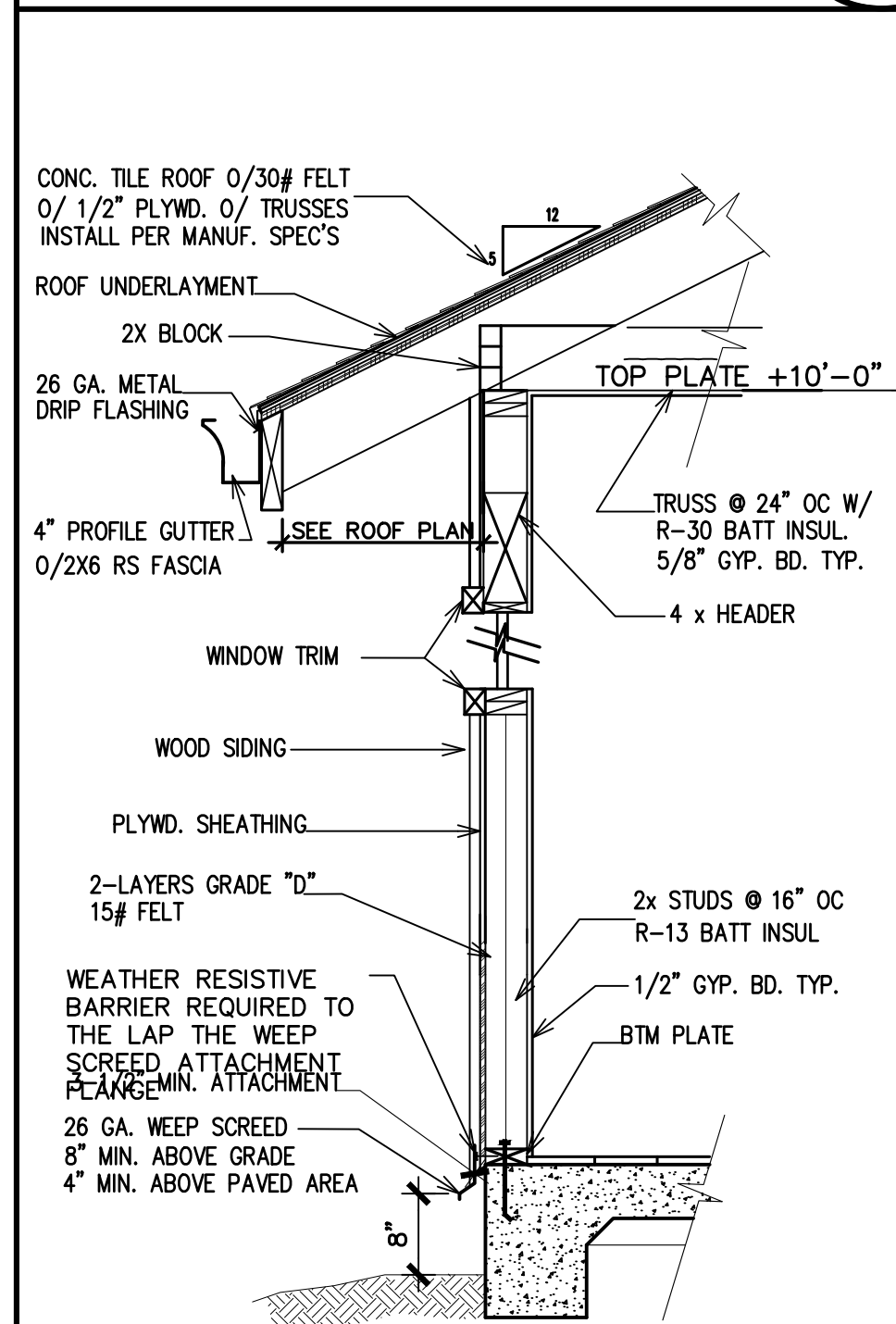
ATTIC VENT CALCULATIONS

The net free ventilating area shall not be less than 1/150 of the area of the space ventilated, with 50% of the required ventilating area provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above the lower vents. Eave and cornice vents are not allowed. Exception: The minimum required net free ventilating area shall be 1/300 of the area of the space ventilated, provided a vapor retarder having a transmission rate not exceeding 1 perm in accordance with ASTM E 96 is installed on the warm side of the attic insulation and provided 50% of the required ventilating area is provided by the ventilators located in the upper portion of the space to be ventilated at least 3 feet the lower vents. Eave and cornice vents are not allowed.

ROOF VENTS REQUIRED

1/150x5358.50 S.F. = 35.72 S.F. OF TOTAL VENT AREA REQUIRED.
TO BE PROVIDED BY 6x1 METALS 50MB8516C DORMER VENT AND VENTED EAVES BLKS. EACH W/ 3-2" HOLES WITH 1/4" CORROSION RESISTANT METAL MESH COVERING EVENLY SPACED.

ROOF PLAN NOTES



REVISIONS

NO.	DESCRIPTION	DATE
1	MONTEREY COUNTY 07/08/2020	

ROOF PLAN & ROOF NOTES

MR. JUAN ROMERO - NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
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PHONE: (831) 970-5004

DRAWING DATE:
05/29/2021

CONSTRUCTION RELEASE
B21-XXXX

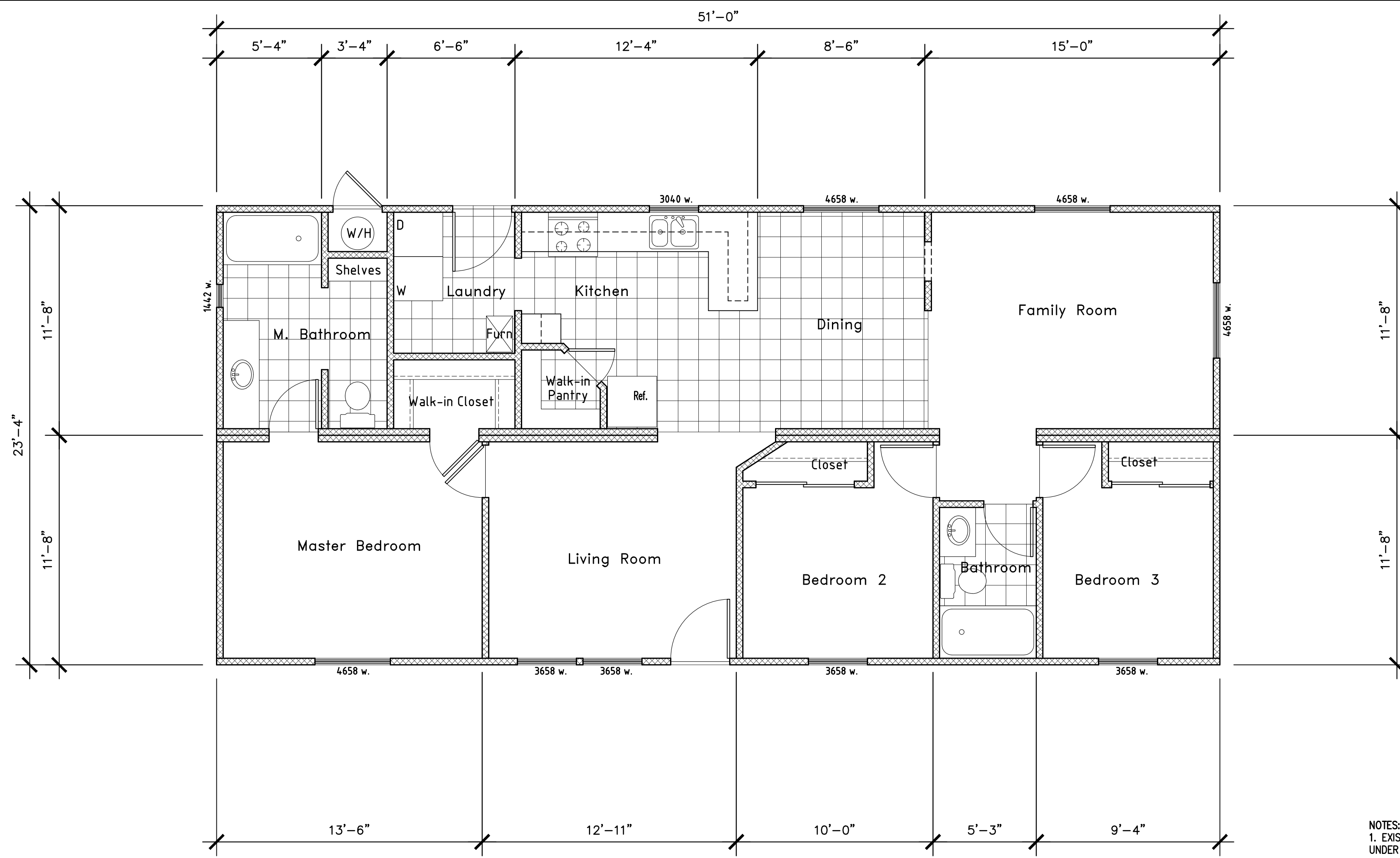
PROJECT NO:
137-2020

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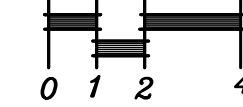
SHEET TITLE:
ROOF PLAN NOTES

SHEET:
A-4



EXISTING FLOOR PLAN AT MANUFACTURED HOME (NEW ADU)

SCALE: 1/4" = 1'-0"



1. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF CONFLICT.
 2. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
 3. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.

FLORES' DRAFTING SERVICE
 P.O. BOX 2252
 Salinas, CA 93902
 Phone: (831) 00-0000
 Cell: (831) 262-3350
 ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juencio Flores
 JUVENCIO FLORES

FLOOR PLAN GRAL NOTES

1

REVISIONS

NO.	DESCRIPTION	DATE

EXISTING FLOOR PLAN AT ADU

MR. JUAN ROMERO NEW RESIDENCE
 MS. 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005-000

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS, CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
 02/02/2026

PERMIT NUMBER:

PROJECT NO:
 137-2020

SCALE:
 AS NOTED

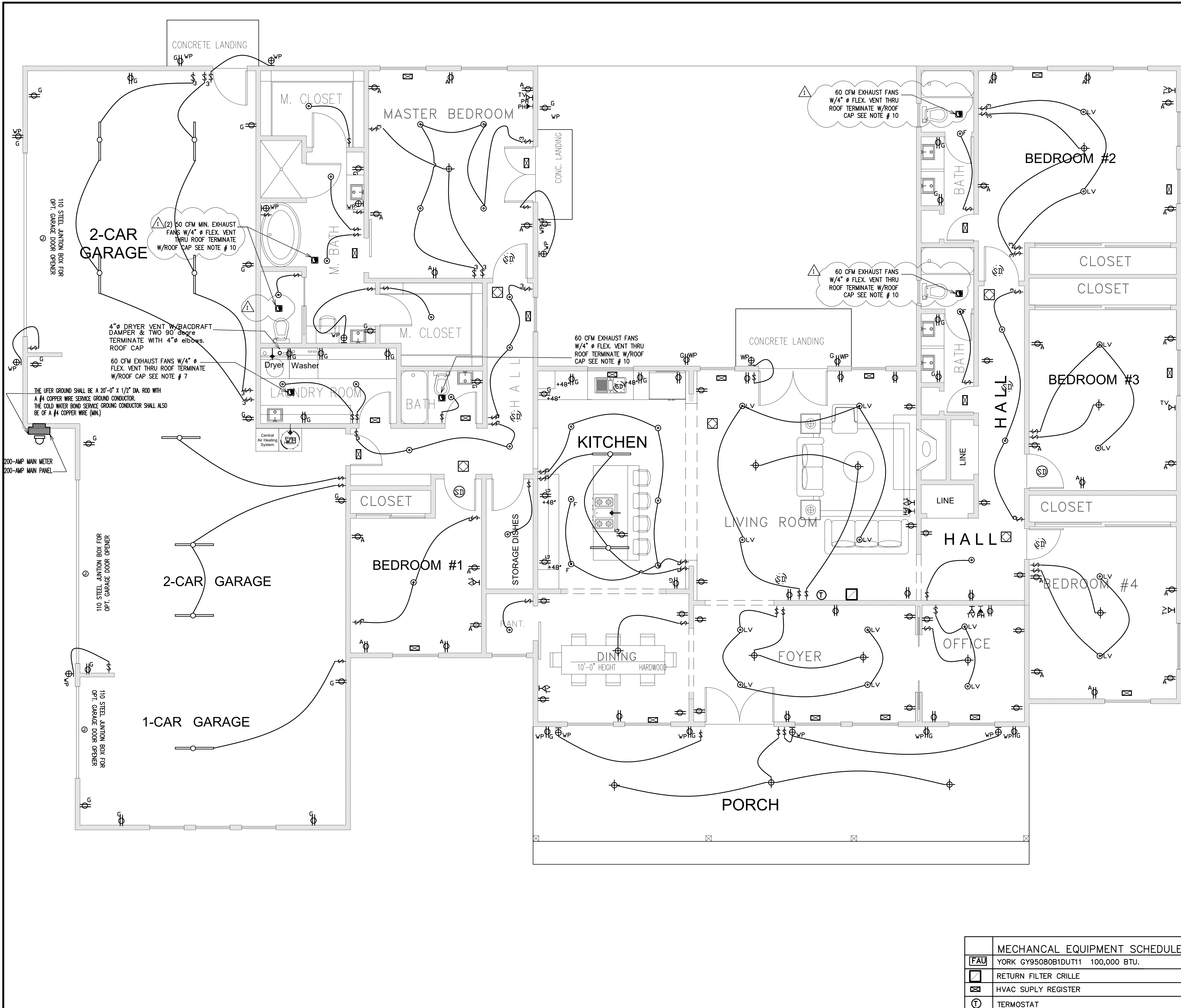
DRAWN BY:
 JUVENCIO FLORES
 HENRY MEJIA PEREZ

SHEET TITLE:

EXISTING FLOOR PLAN AT ADU

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SHEET:



- APPLICABLE CEC 2019 NOTES**
- ELECTRICAL OUTLETS (110V) SHALL BE INSTALLED IN ALL HABITABLE ROOMS NOT MORE THAN 12 FEET ON CENTER, NOT MORE THAN 6 FEET FROM OPENINGS AND ON ALL WALLS 2 FEET OR WIDER AND WALL SPACE OCCUPIED BY SLIDING PANELS IN EXTERIOR WALLS.
 - THERE SHALL BE ONE OUTLET INSTALLED ADJACENT TO THE WASH BASIN IN EACH BATHROOM. ALL OUTLETS IN BATHROOMS, KITCHENS, AND OUTDOORS SHALL HAVE GROUND CIRCUIT PROTECTION.
 - LAMPS USED FOR GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE A MINIMUM OF 40 LUMEN/WATT.
 - ALL 120V. RECEPTACLES INSTALLED IN BATHROOMS, OUTDOORS, KITCHEN COUNTERTOPS, WITHIN 6' OF A WET BAR SINK SHALL BE GFI PROTECTED.
 - a) A MINIMUM OF TWO AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS. (CEC 210.11(C)(1))
 c) AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2))
 d) 125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. (CEC 406.8(B)(1)).
 - ARC-FAULT CIRCUIT-INTERRUPTER (AFCI), COMBINATION-TYPE, REQUIRED AT ALL OUTLETS IN BEDROOMS, FAMILIES ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENIS, SUNROOMS, RECREATIONAL ROOMS, CLOSETS HALLWAYS, AND SIMILAR ROOMS. CEC 210.12.52(A)(B)(C)
 - ALL OUTLETS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 AND 20 AMP. OUTLETS (LIGHTS AND RECEPTACLES) IN BEDROOMS SHALL BE PROTECTED CIRCUIT. CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT. THE AFCI BREAKERS MUST THE "COMBINATION TYPE".
 - EXHAUST FAN SHOULD PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS, IF REQUIRED OPERABLE WINDOWS ARE NOT PROVIDED. (DUCTLESS FANS ARE NOT ACCEPTABLE IN ROOMS CONTAINING TUBS OR SHOWERS. (CMC SECT. 1230.4.2.1) BATH FAN IS ENERGY STAR RATED AND EQUIPPED WITH A HUMIDISTAT CONTROL.
 - THE EXISTING MAIN STRUCTURE IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 - ALL SMOKE & CARBON THAT ARE SOLELY BATTERY POWERED SHALL CONTAIN NON-REPLACEABLE, NON-REMOVABLE BATTERY(S) THAT IS/ARE CAPABLE OF POWERING THE SMOKE ALARM(S) FOR AT LEAST 10 YEARS
 - INSTALL SMOKE ALARM(S) PER 2019 CRC AND APPLICABLE NFPA STANDARDS. ALARMS (I.E., SMOKE, CARBON - MONOXIDE, ETC.) SHALL BE INTERCONNECTED IN ALL RESIDENTIAL OCCUPANCIES: CRC SECTION R34.5, R315.1.3, & NFPA 72 SECTION 29.7.5.6.
 - IN THE R-3 OCCUPANCIES, THE SMOKE ALARMS MAY BE BATTERY OPERATED (NON-REPLACEABLE, NON-REMOVABLE BATTERY THAT IS CAPABLE OF POWERING THE SMOKE ALARM FOR AT LEAST 10 YEARS), DO RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISH, WHERE REPAIRS OR IT IS LIMITED TO THE INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEM. CRC SECTION R313.4
 - IN ALL AREAS SPECIFIED IN 210.52 ALL 125-VOLTS. 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. [CEC 406.12]
 - OUTDOOR LIGHTING ATTACHED TO BUILDING SHALL BE HIGH EFFICACY OR CONTROLLED BY MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE THE AUTOMATIC ACTIONS OR ITEMS SHOWN ON CEC 150.0(K)(3)(i) OR CEC 150.0(K)(3)(ii)
 - TYPE "B" VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE W/H IS INSTALLED.
 - A CONDENSATE DRAIN THAT IS NO MORE THAN 2" HIGHER THAN THE BASE OF THE INSTALLED W/H AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE.
 - WALL COUNTERTOP SPACE RECEPTACLE OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE. [CEC 210.52(C)(1)]
 - ALL WALL SPACES, 2 FEET OR MORE IN WIDTH, SHALL HAVE RECEPTACLE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6 FEET FROM A RECEPTACLE (12 FOOT MAX. SPACING [CEC 210.52(A)(1)& (2)]
 - Provide at least one luminaire in bathrooms, and utility rooms to be controlled by a vacancy sensor per CEC 150.0(K)(2)(j)
 - New plumbing fixtures to comply with the following flow rates per CGCB 4.303: Water closets maximum 1.28 gpm, showerheads maximum 1.8 gpm, lavatory faucet maximum 1.2 gpm, kitchen faucet maximum 1.8 gpm.
 - All new light fixtures to be high efficacy in accordance to Table 150.0-A per CEC 150.0(K)(1)(A).
 - Recessed luminaires in ceilings shall be listed, airtight, sealed, certified ballast, and readily accessible. 2019 Title 24 (Part 6), Section 150.0(K)(1)(C)
 - Electric clothes dryer shall have a 1-30-amp dedicated branch circuit. [CEC 210.23(B)]
 - Tankless water heater notes:
 a. A dedicated 125V, 20amp electrical receptacle that is connected to the electric panel with a 120/240-volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater and accessible to the water heater with no obstructions; and lighting fixture.
 b. A Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; and,
 c. A condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance.

ELECTRICAL & MECHANICAL NOTES

- 110 STEEL JUNCTION BOX FOR
- 110 V. DUPLEX OUTLET (AT +12" ABOVE FLOOR U.O.N.)
- WATERPROOF GFI OUTLET
- GFCI OUTLET
- ARC FAULT CIRCUIT INTERRUPTOR
- HANGING INCANDESCENT LIGHT FIXTURE
- WALL SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL INCANDESCENT LIGHT FIXTURE (WATER PROOF)
- RECESSED INCANDESCENT LIGHT FIXTURE (WATER PROOF)
- RECESSED INCANDESCENT CEILING LIGHT FIXTURE
- LOW VOLTAGE RECESSED INCANDESCENT CEILING LIGHT FIXTURE
- RECESSED FLOURESCENT CEILING LIGHT FIXTURE
- RECESSED EXHAUST AIR FAN
- FLOURESCENT LIGHT FIXTURE, SEE PLAN FOR TUBE LENGTHS.
- TWO POLE LIGHT SWITCH AT(+42 ABOVE FLOOR. +8 ABOVE COUNTER)
- THREE WAY LIGHT SWITCH
- FOUR WAY LIGHT SWITCH
- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- FUEL GAS OUTLET
- COMBO SMOKE AND CARBON MONOXIDE ALARM - NOTE: CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ALL SLEEPING AND LIVING AREAS AND SHALL BE INTERCONNECTED
- TELEPHONE HOOK-UP JACK(8" ABOVE FLOOR AND/OR COUNTER)
- CABLE TELEVISION HOOK-UP JACK(MOUNTED 8" ABOVE FLOOR)
- GARBAGE DISPOSAL
- NATURAL GAS WATER HEATER STATE PR6-50-NRR1 50 GAL. 40K OUTPUT
- NATURAL GAS FURNACE MODEL: YORK GY95080B1DU11 100,000 BTU. INPUT Mbh = 100,000 OUTPUT Mbh = 93,000 AFUE = 91.0% COOLING 5 TONS.
- THERMOSTAT, LOCATION PER HVAC LAYOUT & FRAMING WALK-THRU.

MECHANICAL EQUIPMENT SCHEDULE	
FAU	YORK GY95080B1DU11 100,000 BTU.
RF	RETURN FILTER CRILLE
HSR	HVAC SUPPLY REGISTER
T	THERMOSTAT

FLORES DRAFTING SERVICE
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 ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juvenio Flores
 JUVENIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING DPT. MONTEREY COUNTY	02/22/2021
2	MONTEREY COUNTY	07/08/2024

ELECTRICAL PLAN & ELECTRICAL NOTES
 MR. JUAN ROMERO NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE:(831) 970-5004

DRAWING DATE:
 05/29/2021

CONSTRUCTION RELEASE
 B21-XXXX

PROJECT NO:
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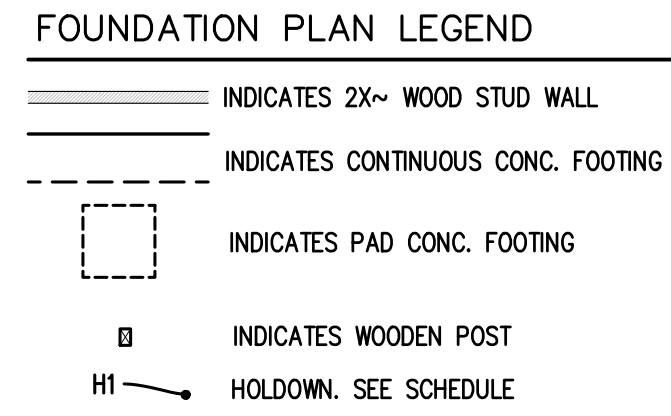
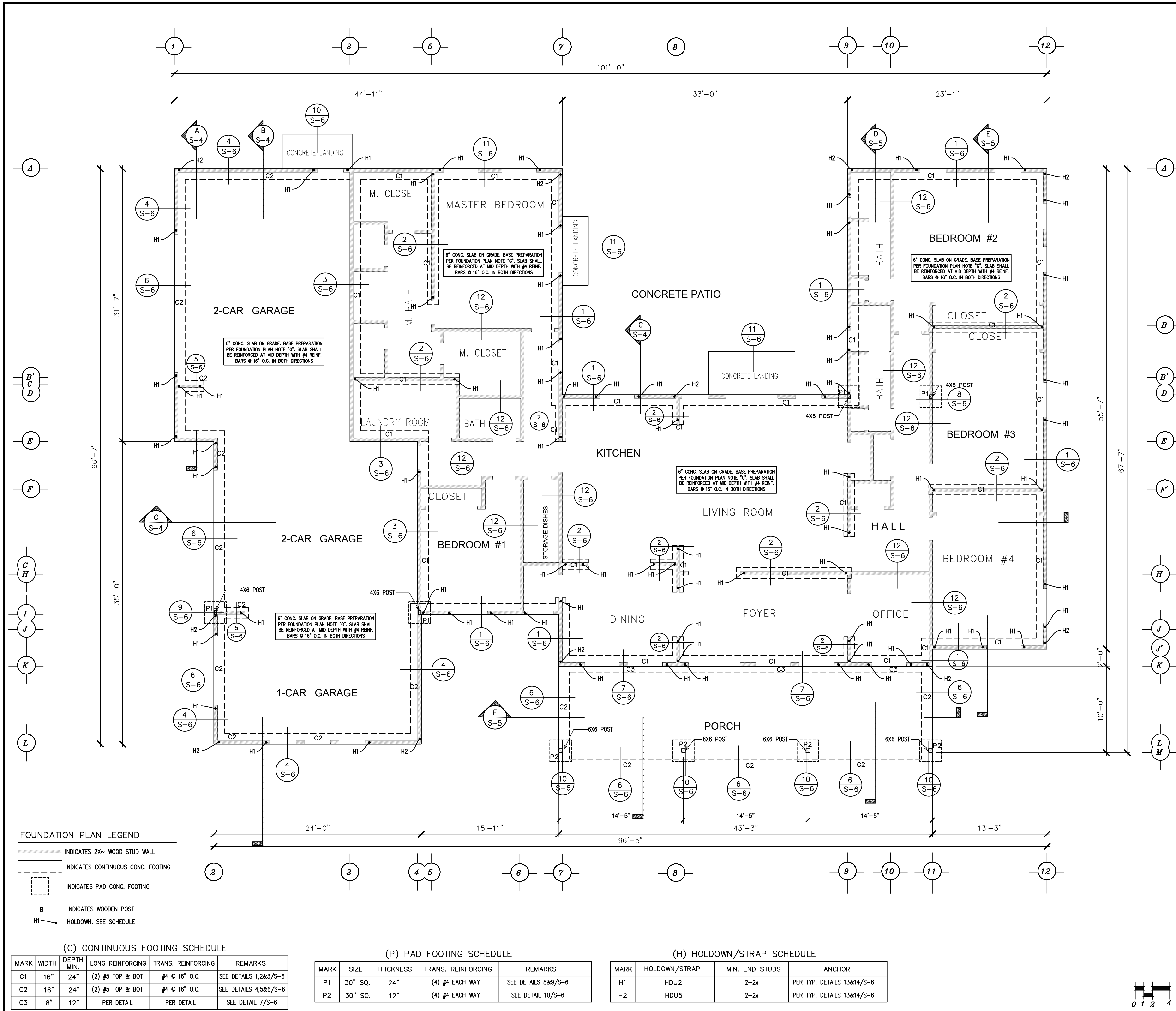
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SHEET TITLE:
 ELECTRICAL PLAN
 ELECTRICAL NOTES

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SHEET:
E-1



(C) CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH	DEPTH MIN.	LONG REINFORCING	TRANS. REINFORCING	REMARKS
C1	16"	24"	(2) #5 TOP & BOT	#4 @ 16" O.C.	SEE DETAILS 1,2&3/S-6
C2	16"	24"	(2) #5 TOP & BOT	#4 @ 16" O.C.	SEE DETAILS 4,5&6/S-6
C3	8"	12"	PER DETAIL	PER DETAIL	SEE DETAIL 7/S-6

(P) PAD FOOTING SCHEDULE

MARK	SIZE	THICKNESS	TRANS. REINFORCING	REMARKS
P1	30" SQ.	24"	(4) #4 EACH WAY	SEE DETAILS 8&9/S-6
P2	30" SQ.	12"	(4) #4 EACH WAY	SEE DETAIL 10/S-6

(H) HOLD-DOWN/STRAP SCHEDULE

MARK	HOLD-DOWN/STRAP	MIN. END STUDS	ANCHOR
H1	HDU2	2-2x	PER TYP. DETAILS 13&14/S-6
H2	HDU5	2-2x	PER TYP. DETAILS 13&14/S-6

FOUNDATIONS:

- SOIL INVESTIGATION REPORT IS FROM PROJECT NUMBER GMD 2021028 DATED 9-30-25 BY GMD ENGINEERS. FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS CONTAINED IN THIS REPORT. ALLOWABLE SOIL BEARING PRESSURE USED IS 2,000 PSF FOR FOOTINGS.
- ALL SITE PREPARATION, GRADING, COMPACTION TESTS, INSPECTIONS, ETC. SHALL BE FOLLOWED AND COMPLETED PRIOR TO ANY CONCRETE PLACEMENT.
- THE "SOILS ENGINEER" ASSUME NO LIABILITY FOR GROUNDWATER OR OTHER MEANS OF FLOODING. SLAB ON GRADE SUPPORT; PLACEMENT OF CONCRETE, CURING AND QUALITY CONTROL SHALL BE PER ACI 302.1.
- BACKFILL AND RECOMPACT ALL TRENCHES PER THE GEOTECHNICAL REPORT. (MIN 90% DRY DENSITY)
- PROVIDE ADEQUATE DRAINAGE AWAY FROM FOUNDATIONS

FOUNDATION PLAN NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ ENGINEER OF ANY DISCREPANCIES
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. LOCATIONS OF COLUMNS, POSTS, HOLD-DOWNS, EMBEDDED ITEMS ETC. SHALL BE LOCATED BY COORDINATION BETWEEN APPROVED STRUCTURAL AND ARCHITECTURAL DRAWINGS AND DETAILS.
- CONTRACTOR TO VERIFY LOCATION OF ALL INSERTS IN SLAB W/ APPROVED MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS PRIOR TO CONSTRUCTION.
- REFER TO GENERAL FOUNDATION NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION. TYPICAL DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS.
- ALL EXPOSED AND/OR EXTERIOR WOOD FRAMING AT EXTERIOR DECK SHALL BE PRESERVATIVE-TREATED WOOD.
- FASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER (R317.3.1). EXCEPTION: ONE-HALF-INCH DIAMETER OR GREATER STEEL BOLTS.
- CONCRETE SLAB ON GRADE: CONCRETE SLAB ON GRADE SHALL BE MINIMUM 6" THICK, OVER VAPOR BARRIER, OVER 2" MOIST SAND OVER 4" CLEAN OPEN GRAINED ROCK. VAPOR BARRIER SHALL BE MINIMUM 15 MIL MOISTOP BY "STEGOWRAP, MOISTOP" OR EQUAL. REINFORCE SLAB WITH # 4 BARS AT 16" O.C. EACH WAY PLACED AT CENTER OF SLAB.
- CONTROL JOINTS: CONTRACTOR SHALL SPACE CONTROL JOINTS EVENLY, 15' O.C. MAXIMUM EACH WAY. PROVIDE EXTRA CONTROL JOINTS AT ALL BUILDING CORNERS AND OFFSETS OR DISCONTINUITIES.
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER SHALL BE APPROVED PRESERVATIVE-TREATED WOOD. [R317.1.2]
- FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4 [R317.1.1]

FOUNDATION NOTES

8.9 FOUNDATION DESIGN
 Concrete slab-on-grade should be designed in accordance with the American Concrete Institute (ACI) Committee 308 Guide to Design of Slabs-on-Ground (ACI 308). We recommend the slab be underlain with 6 inches of free-draining, crushed rock or well-graded sand and gravel to provide uniform support. The crushed rock should have a maximum particle size of 3/4 inch, with no more than 80 percent passing the No. 4 sieve and less 5 percent fines (material passing the U.S. Standard Sieve No. 200 sieve), or as designed by a structural engineer.

All exterior wall foundations and interior bearing wall foundations shall extend not less than 24 inches below undisturbed ground surface or finish grade (certified fill). Soil bearing capacity = 2,000 psf. Exterior walls and interior bearing walls shall be supported on continuous foundations.

- Exterior foundations shall be a minimum of 12" width x 14" minimum thickness reinforced with a minimum of (2) two continuous horizontal (# 5-bar) reinforcing top bars and bottom and shall be placed 3 inches minimum concrete clearance, or as designed by a structural engineer.
- For slab foundations, it should be reinforced with #12 rebar @ 112" center to center, each way or as designed by a license designer. The reinforcing bars shall extend at least 60 bar diameters into the footings and the slab. Use thickness of 6 inches min, or as designed by a structural engineer.
- The soil below an interior concrete slab shall be saturated with clean water to a depth of 12 inches prior to pouring the concrete.
- Concrete shall have an $f'c = 2,500$ psi minimum. Yield Strength of Steel=60 ksi min.

SOILS REPORT FOUNDATION NOTES

Geri M. Daliva Engineers
 11 West Laurel Drive Suite 225 Salinas, CA 93906
 Phone: (831) 840-4384 E-Mail: gmd.engr@gmail.com

June 07, 2024

To: The Chief Building Official
 County of Monterey
 Planning and Building Inspection Department

Project: New Residence W/S Car Garage
 Permit #: 22CP02167 Location: 128 Rodgers Rd Salinas CA 93907

SUBJECT: REVIEW OF FOUNDATION PLAN

REFERENCES:
 Site Plan and Foundation Plans & Details by Juvencio Flores, Job 23-711 dated 8/22/23.
 Soil Report by GMD Engineers Project #2021027, dated 7/07/2021.

Dear Sir,

In accordance with your request, we reviewed the above-listed references to verify that they are in general compliance with the recommendations of the soil report for the proposed project.

We provided review on the following:
 Site Plan
 Proposed Partial Grading and Drainage Plan
 Utility Plan
 Grading Notes, Erosion Control Plan, Dispersion Trench and Traffic Trenches
 Foundation Plan and Notes
 Brace Wall Plan
 Foundation Details

Based on our review, site plan and foundation plan & details, including specifications are found to be in general conformance with the soil report recommendations for the subject project.

Very truly yours,
 GERONIMO MARTIN-DALIVA, PE Lic 9302025
 Registered Professional Civil Engineer

FLORES DRAFTING SERVICE
 PO BOX 2252
 Salinas, CA 93902
 Phone: (831) 00-0000
 Cell: (831) 262-3350
 ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juvencio Flores
 JUVENCIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING IPT, MONTEREY COUNTY	08/22/2023
2	MONTEREY COUNTY	07/08/2024

FOUNDATION PLAN & FOUNDATION NOTES
 MR. JUAN ROMERO - NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
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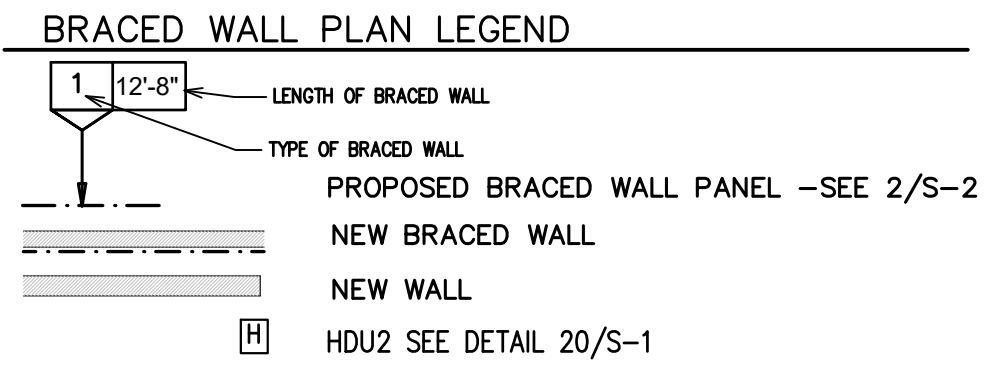
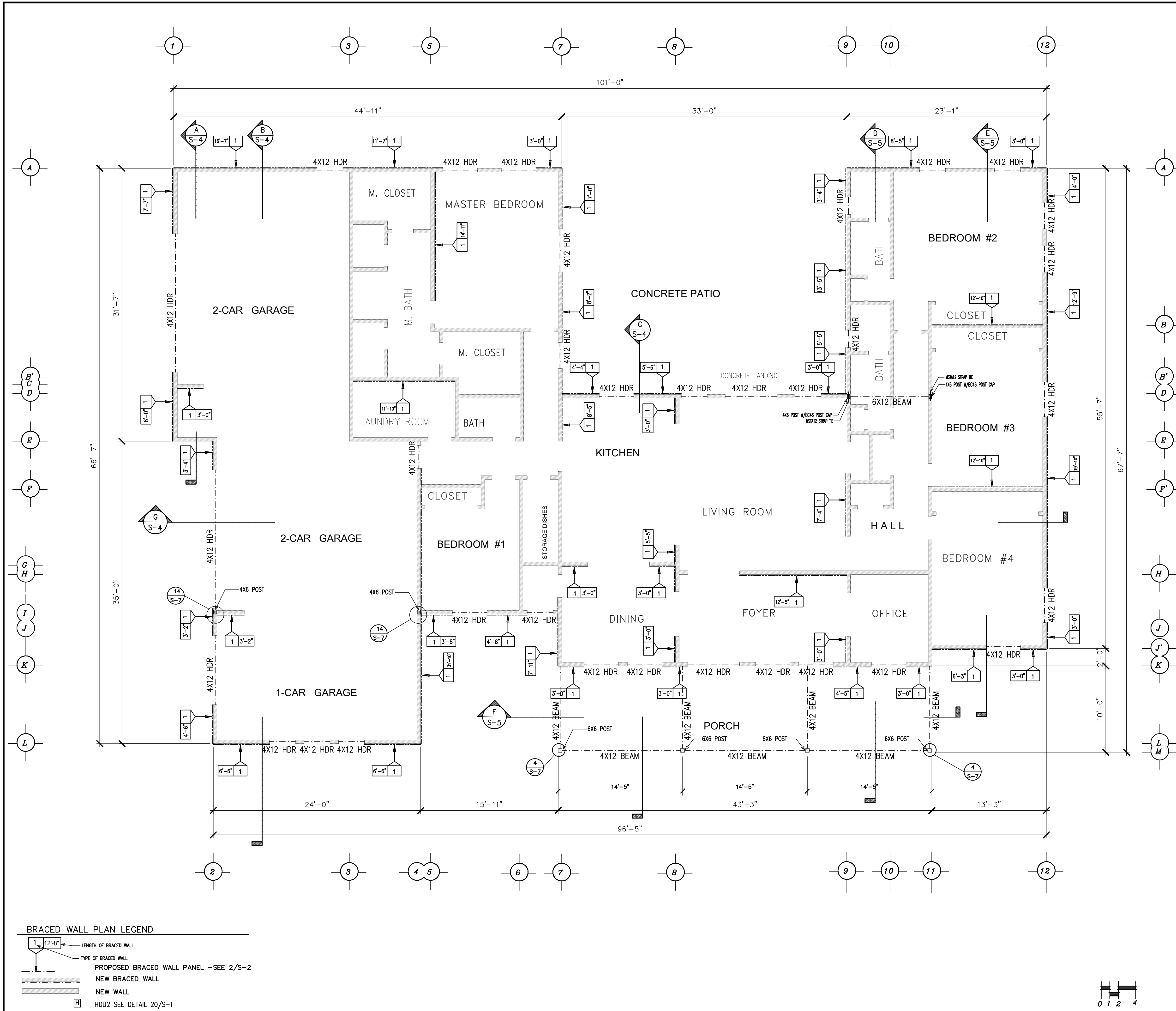
PROJECT NO:
 137-2020

SCALE:
 AS NOTED

DRAWN BY:

SHEET TITLE:
 FOUNDATION PLAN
 FOUNDATION NOTES

SHEET:
 S-1



STRUCTURAL NOTES

1. The site Seismic Design Category is D. The building is eligible for use of conventional Light Frame Provisions of CRC 2019 R301.2.2.

WALL FRAMING NOTES:

1. WALLS: All exterior walls shall be 2x4 studs at 16" o.c. and all interior walls shall be 2x4 studs @ 16" o.c. U.O.N. on plans.

All plumbing walls at bearing walls or shear walls shall be 2x6 studs at 16" o.c.

CONTRACTOR shall coordinate layout of plumbing walls with plumbing contractor prior to the start of framing for location of plumbing walls.

2. BRACE WALLS: See framing plans for location and type of shear wall. All EXTERIOR WALLS shall be sheathed with TYPE 1 BRACE wall sheathing, U.O.N. on plans. BRACE wall sheathing shall be continuous the entire wall length from sill plate to floor sheathing, unless otherwise detailed.

3. POSTS: All beams shall bear on posts with to match width of beam and depth to match depth of wall, U.O.N. on plans. Posts shall be continuous to foundation or beam below. Block solid between posts at floor framing. Fasten all beams to posts with PC post caps, use EPC caps at ends of beams. These connections are typical, unless otherwise detailed on plans.

4. HANGERS: See Plans

5. TOP PLATES: All double top plates shall be spliced with 14 - 16d, unless otherwise detailed or specified on plans. All plates shall be D.F. No. 2 or better.

6. LUMBERS: All lumbers shall conform to the rules of a recognized grading agency. Joist shall be D.F. Larch No.2 or better. Beams shall be D.F. Larch No.1 or better.

Rim Joists shall be minimum 1-1/2" 1.7 E. Timber Strand LSL.

Headers and posts shall be D.F. Larch No.2 or better.

All lumber in contact with concrete, within 6" of earth or exposed to the weather (Deck Framing) shall be pressure-treated (P.T.).

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING DPT. MONTEREY COUNTY	08/22/2022
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WALL FRAMING NOTES

TABLE R602.10.6.1 MINIMUM HOLD-DOWN FORCES FOR METHOD ABW BRACED WALL PANELS

SEISMIC DESIGN CATEGORY AND WIND SPEED	SUPPORTING STORY	HOLD-DOWN FORCE (pounds)				
		Height of Braced Wall Panel				
		8 feet	9 feet	10 feet	11 feet	12 feet
SDC A, B and C Ultimate design wind speed < 140 mph	One story	1,800	1,800	1,800	2,000	2,200
	First of two stories	3,000	3,000	3,000	3,300	3,600
SDC D ₁ , D ₂ and D ₃ Ultimate design wind speed < 140 mph	One story	1,800	1,800	1,800	NP	NP
	First of two stories	3,000	3,000	3,000	NP	NP

For S₁ 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.45 N, 1 mile per hour = 0.447 m/s.
NP = Not Permitted.

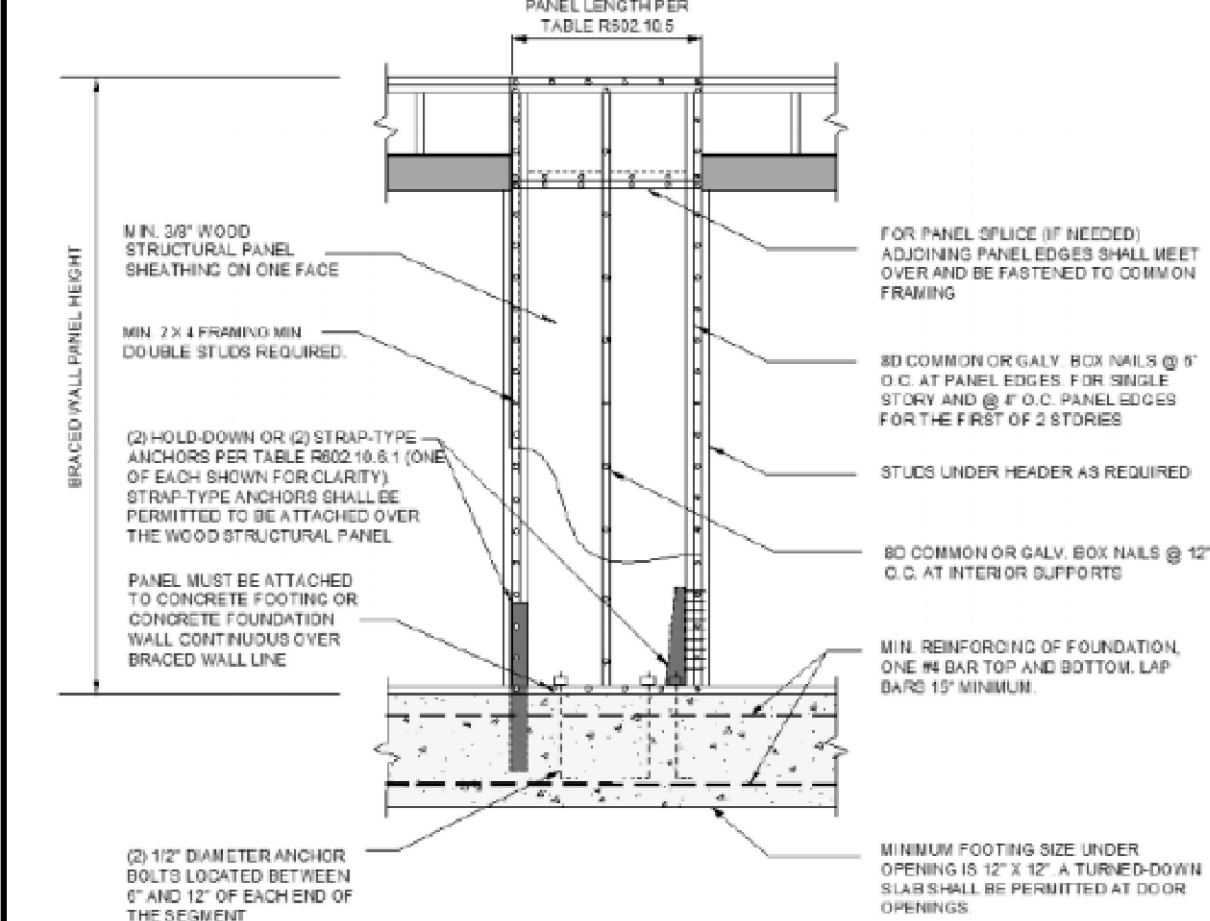


FIGURE R602.10.6.1 METHOD ABW - ALTERNATE BRACED WALL PANEL

ABW METHOD ALTERNATE BRACED WALL - SHEATHING SCHEDULE -

SYMBOL	Thick Ness	GRADE	Nail Size	Nail Spacing	Edge Nailing	Typ. Boundary Nailing	Field Nailing	SILL Nailing	PLATE Bolting	Thick Edge Blocking	Nail Remarks
1	3/8"	CDX OR O.S.D.	8d	6"	6"	12"	16d @ 6" O.C.	ABW4'-0" O.C.	YES	block to plate CONN. A35 @ 16"	

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DESIGNER'S SIGN
Juencio Flores
 ANCIATO FLORES

REVISIONS

BRACED WALL PLAN & WALL FRAMING NOTES

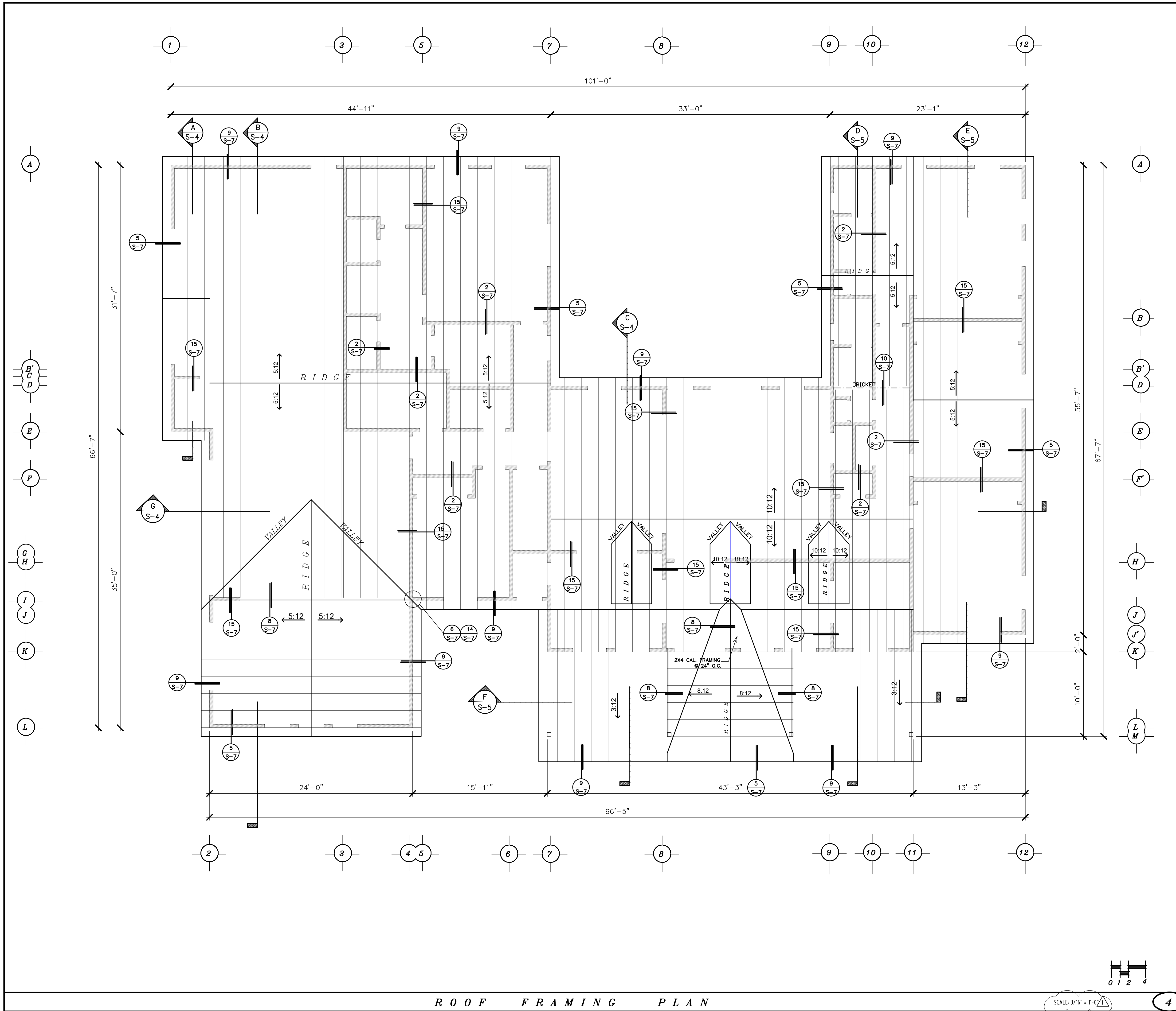
MR. JUAN ROMERO - NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE: (831) 970-5004

DRAWING DATE: 05/29/2021
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 B21-XXXX
 PROJECT NO: 137-2020
 SCALE: AS NOTED
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SHEET TITLE:
 BRACED WALL PLAN
 WALL FRAMING NOTES

SHEET: S-2

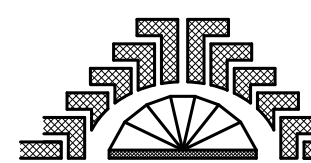


- ROOF TRUSSES:**
- 1) PRIOR TO ROOF TRUSSES LAYOUT SUBMITTED TO THE Monterey County BUILDING DEPT. THE PROJECT DESIGNER/ENGINEER SHALL REVIEW THE TRUSS PLAN FOR CONFORMANCE OF THE DESIGN CRITERIA. A LETTER SHALL BE SUBMITTED STATING THAT THE TRUSS PLANS ARE IN CONFORMANCE WITH THE DESIGN CRITERIA.
 - 2) TRUSS CALCULATIONS AND LAYOUT SHALL BE SUBMITTED TO THE County of Monterey BUILDING DEPT. TO REVIEW AND TO INSTALLATION.
 - 3) TRUSSES TO BE CONNECTED TO INTERIOR NON BEARING WALLS AND BEAMS WITH TRUSS CLIPS ONLY.
 - 4) SEE MANUFACTURERS DETAILS FOR LAYOUT, SIZES,
 - 5) ROOF SHEATHING: 5/8" CDX PLYWOOD, NAILING: AND CONNECTIONS LAY PANELS WITH FACEGRAIN PERPENDICULAR TO SUPPORTS, P.I. 32/16. KEEP MINIMUM 1/16" CLEAR BETWEEN ALL PANEL EDGES. AT ALL SHEAR WALLS, NAIL ROOF SHEATHING TO ALL BLOCKING OR RIM JOIST WITH 10d @ 6" O.C. BOUNDARY = 10d@6" o.c. FIELD = 10d@12" o.c.
 - 6) HEADERS: ALL HEADERS SHALL BE 4x~ AT 2X4 WALLS AND 6x~ AT 2X6 WALLS U.O.N. ON PLANS. PROVIDE 2 - 2x - TRIMMER AND 2 - 2x - KING STUD AT WALLS, U.O.N. ON PLANS
 - 7) NAILING: ALL NAILING SHALL COMPLY WITH TABLE R602.3(1) 2016 OF THE C.R.C. ALL NAILS SHALL BE COMMON NAILS.
 - 8) PROVIDE 4x~POST OR 2 - 2x~ STUDS AT ENDS OF ALL braced WALLS FOR HOLDDOWNS, U.O.N. ON PLANS. AT ALL BRACED WALL, NAIL ROOF SHEATHING TO BLOCKING, DOUBLE TOP PLATE OR RIM JOIST WITH 10d @ 6" O.C.
 - 9) ROOF FRAMING: ROOF FRAMING AND PLYWOOD SHEATHING SHALL BE CONTINUOUS TO ALL BRACED OR BEARING WALLS AT ALL LOWER ROOFS.
 - 10) WALL CONSTRUCTION SHALL COMPLY WITH TABLE R602.10.3(3) CRC (FORM CONVENT. CONSTRUCTION)
 - 11) CEILING JOIST AND RAFTERS SHALL BE D. F. LARCH NO 2 OR BETTER
 - 12) ROOF TRUSS DEFERRED SUBMITTAL.
- NOTES:**
1. SEE FRAMING PLANS FOR SIZE AND LOCATION OF HOLDDOWNS.
 2. SEE FOUNDATION PLAN FOR SIZE AND SPACING OF ANCHOR BOLTS
 3. KEEP MINIMUM 1/16" CLEAR BETWEEN ALL PLYWOOD EDGES.
 4. USE ONE-PIECE PLYWOOD SHEETS AT SHEAR WALLS- WHICH ARE 48" OR LESS IN WIDTH.
 5. ALL PLYWOOD PANELS SHALL HAVE A MINIMUM DIMENSION OF 24"
 6. ALL NAILS SHALL BE COMMON NAILS. NOTIFY ENGINEER FOR ALTERNATE SPACING FOR BOX NAILS.
 7. USE 3x~ STUDS AND 3x~ BLOCKING AT ALL PLYWOOD JOINTS.
 8. ALL NAILING SHALL BE STAGGERED.

ROOF FRAMING NOTES

REVISIONS		
NO.	DESCRIPTION	DATE
1	MONTEREY COUNTY	07/08/2021

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DRAWING DATE:	05/29/2021
CONSTRUCTION RELEASE	B21-XXXX
PROJECT NO:	137-2020
SCALE:	AS NOTED
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SHEET-TITLE:	ROOF FRAMING PLAN ROOF FRAMING NOTES
SHEET:	S-3



FLORES DRAFTING SERVICE
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DESIGNER'S SIGN

Juvenio Flores

JUVENIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	MONTEREY COUNTY	07/08/2021

ROOF FRAMING PLAN & ROOF FRAMING NOTES

MR. JUAN ROMERO - NEW RESIDENCE

128 RODGERS ROAD SALINAS CA 93906

A.P.N. 253-011-005

OWNER:

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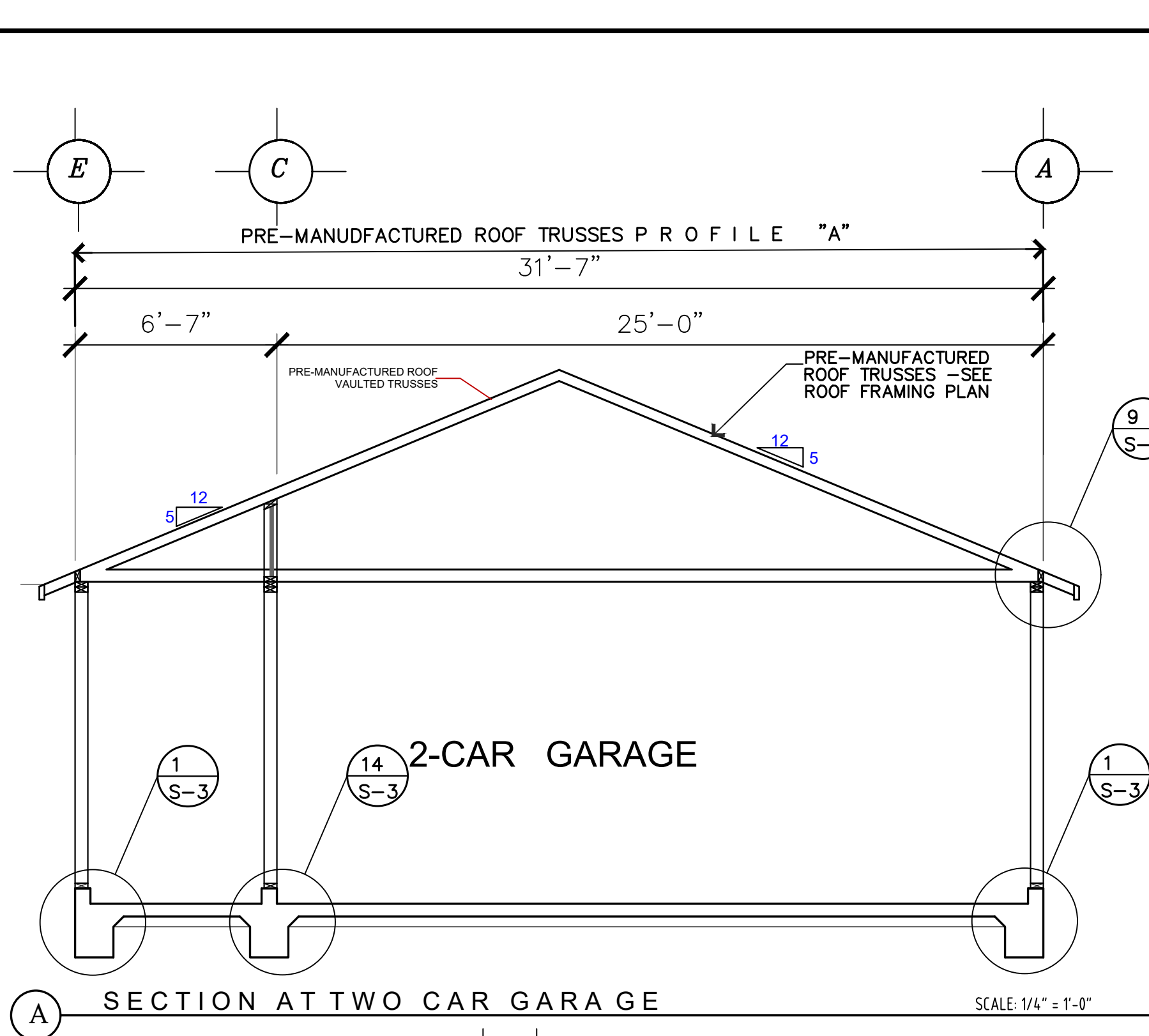
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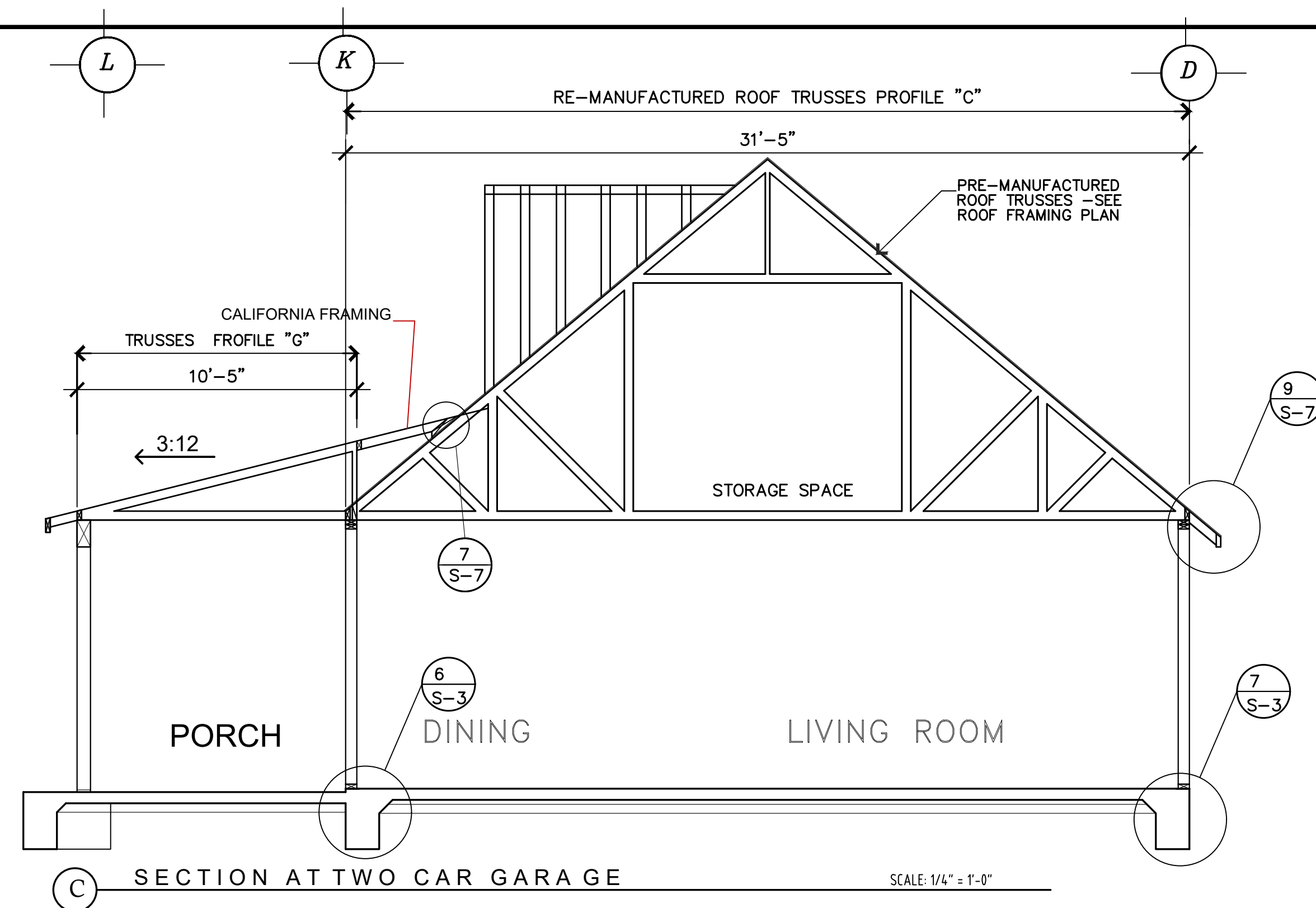
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ROOF FRAMING PLAN
ROOF FRAMING NOTES

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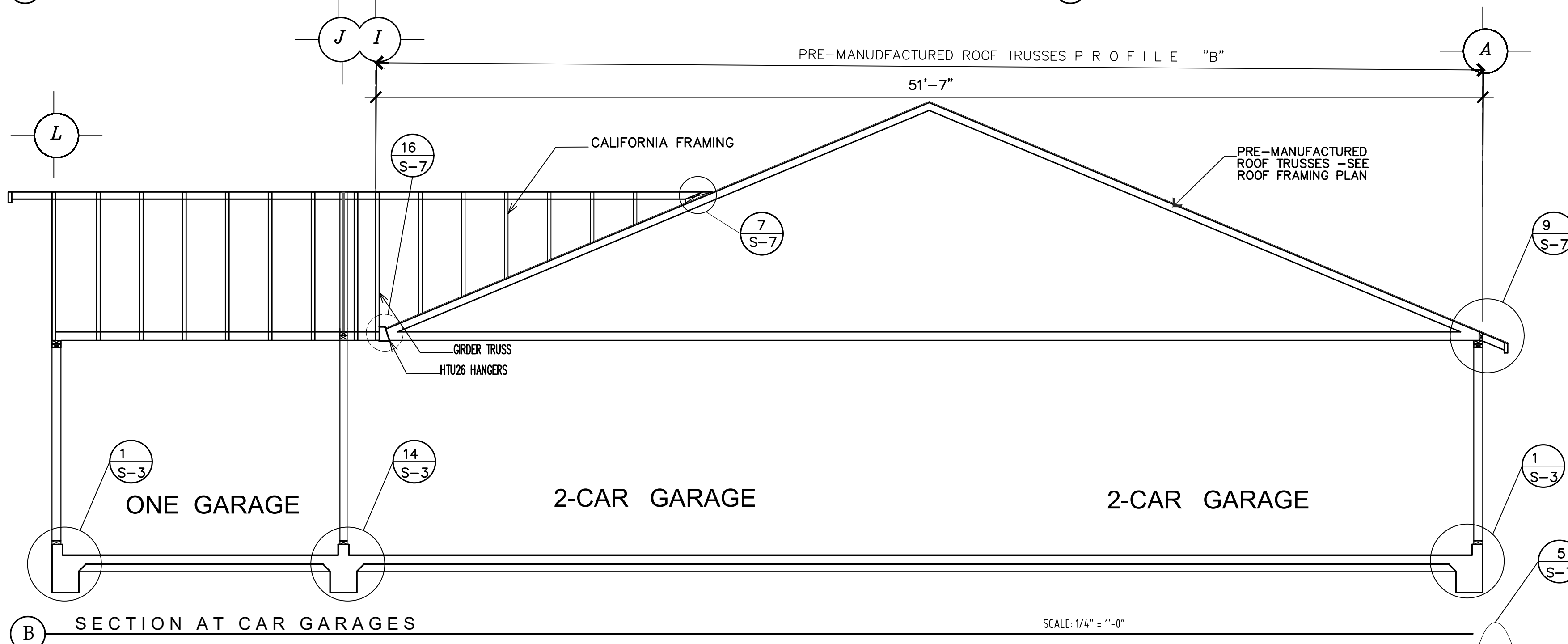
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S-3



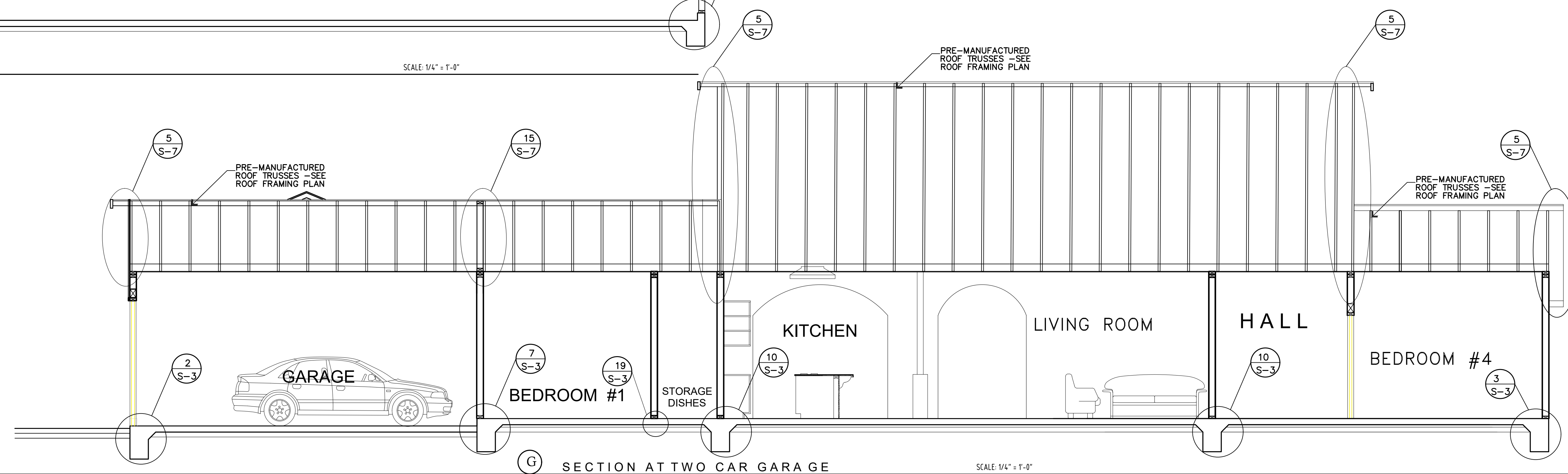
A SECTION AT TWO CAR GARAGE SCALE: 1/4" = 1'-0"



C SECTION AT TWO CAR GARAGE SCALE: 1/4" = 1'-0"



B SECTION AT CAR GARAGES SCALE: 1/4" = 1'-0"



G SECTION AT TWO CAR GARAGE SCALE: 1/4" = 1'-0"

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- NOTES:**
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 2. SEE FOUNDATION PLAN FOR SIZE AND SPACING OF ANCHOR BOLTS
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 8. ALL NAILING SHALL BE STAGGERED.

STRUCTURAL NOTES

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ju_venio_cio@hotmail.com

DESIGNER'S SIGN
Juvenio Flores
JUVENIO FLORES

REVISIONS		
NO.	DESCRIPTION	DATE
1	MONTEREY COUNTY	07/08/2024

REVISIONS		
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CROSS-SECTIONS
MR. JUAN ROMERO - NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE:(831) 970-5004

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CROSS-SECTIONS

SHEET:
S-4

NO.	DESCRIPTION	DATE
1		
2		
3	MONTEREY COUNTY	07/08/2024
4		

CROSS-SECTIONS & NAILING SCHEDULE
 MR. JUAN ROMERO - NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
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CROSS-SECTIONS NAILING SCHEDULE

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RESIDENTIAL NAILING SCHEDULE

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS, n, e	SPACING OF FASTENERS
1	Roof	4-8d box (2 1/2" x 0.113") or 3-8d (2 1/2" x 0.113") or 3-16d box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
2	Blocking between joists or rafters to top plate, toe nail	4-8d box (2 1/2" x 0.113") or 3-8d (2 1/2" x 0.113") or 3-16d box (3" x 0.128") or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joists not attached to parallel rafter, laps over partitions, face (see Sections R602.3.2, R602.3.2 and Table R602.5.10)	4-10d box (3" x 0.128") or 3-16d common (3 1/2" x 0.162") or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (head joint) (see Sections R602.3.1 and R602.3.2 and Table R602.5.10)	Table R602.5.10)	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 gauge ridge strap to rafter	4-10d box (3" x 0.128") or 3-16d common (3 1/2" x 0.162") or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.162") or 3-10d common nails (3" x 0.148") or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3" x 0.128") or 3-16d common (3" x 0.148") or 4-10d box (3" x 0.128") or 4-3" x 0.131" nails	Toe nail
8	Stud to stud (not at braced wall panels)	3-16d box (3 1/2" x 0.162") or 3-10d common (3" x 0.148") or 3-3" x 0.131" nails	End nails
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d common (3 1/2" x 0.162") or 3" x 0.131" nails	24" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 1/2" x 0.162") or 3" x 0.131" nails	16" o.c. face nail
11	Continuous header to stud	4-8d box (2 1/2" x 0.113") or 4-8d common (2 1/2" x 0.131") or 4-10d box (3" x 0.128")	Toe nail
12	Top plate to top plate	16d common (3 1/2" x 0.162") or 10d box (3" x 0.128") or 3" x 0.131" nails	16" o.c. face nail
13	Double top plate splice	8-16d common (3 1/2" x 0.162") or 12-16d box (3 1/2" x 0.162") or 12-10d box (3" x 0.128") or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3 1/2" x 0.162") or 10d box (3" x 0.128") or 3" x 0.131" nails	12" o.c. face nail

G:\Forms & Handouts\BUILDING\Residential Nailing Schedule.docx Page 1 of 3

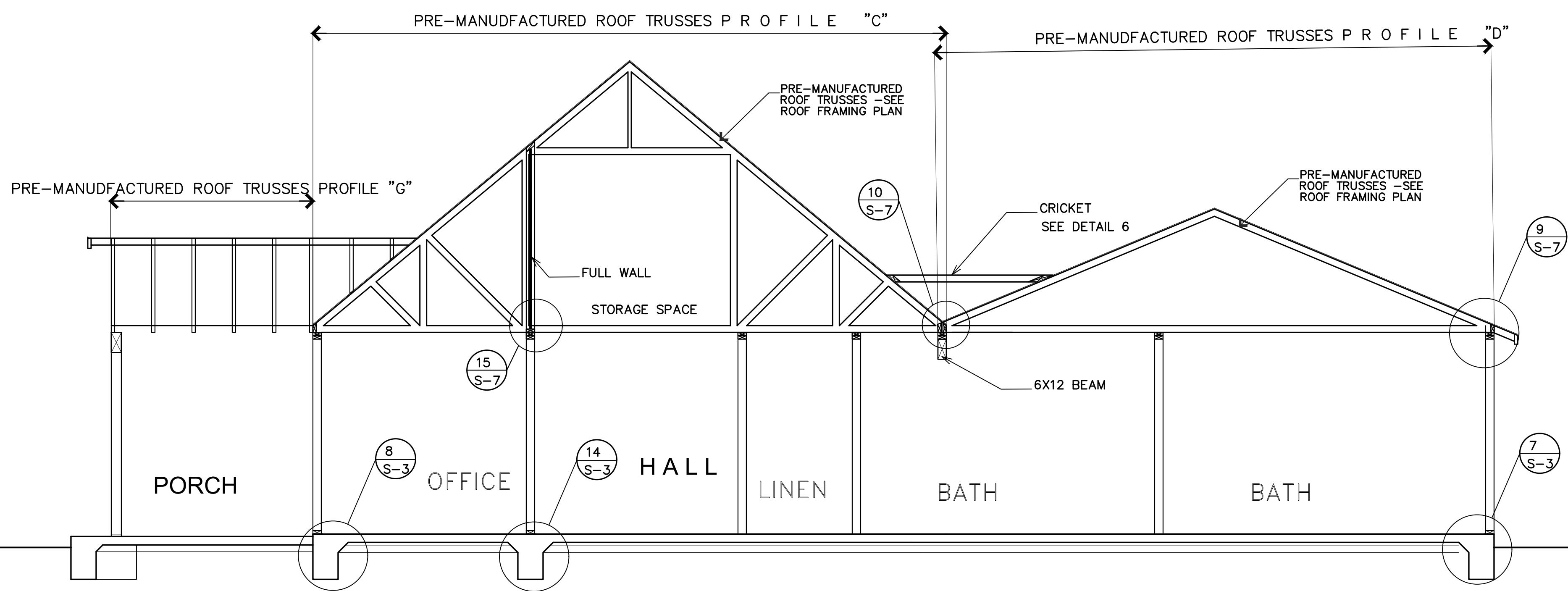
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS, n, e	SPACING OF FASTENERS
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	3-16d box (3 1/2" x 0.162") or 2-16d common (3 1/2" x 0.162") or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113") or 3-8d box (2 1/2" x 0.135") or 4-8d common (2 1/2" x 0.131") or 4-10d box (3" x 0.128") or 4-3" x 0.131" nails	Toe nail
17	Top plates, laps at corners and intersections	3-8d box (2 1/2" x 0.113") or 2-16d common (3 1/2" x 0.162") or 3-3" x 0.131" nails	End nail
18	1" brace to each stud and plate	3-8d box (2 1/2" x 0.113") or 2-8d common (2 1/2" x 0.131") or 2010d box (3" x 0.128") or 2 staples 13d"	Face nail
19	1" x 6" sheathing to each bearing	3-8d box (2 1/2" x 0.113") or 2-8d common (2 1/2" x 0.131") or 2-10d box (3" x 0.128") or 2 staples, 1" crown, 16 ga., 1 3/4" long	Face nail
20	1" x 8" or wider sheathing to each bearing	Wider than 1" x 8" 4-8d box (2 1/2" x 0.113") or 3-8d common (2 1/2" x 0.131") or 3-10d common (3" x 0.128") or 4 staples, 1" crown, 16 ga., 1 3/4" long	Face nail
21	Joist to sill, top plate or girder	4-8d box (2 1/2" x 0.113") or 3-8d common (2 1/2" x 0.131") or 3-3" x 0.131" nails	Toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof application also)	8d box (2 1/2" x 0.113") or 8d common (2 1/2" x 0.131") or 10d box (3" x 0.128") or 3" x 0.131" nails	4" o.c. toe nail 6" o.c. toe nail
23	1" x 6" subfloor or less to each joist	3-8d box (2 1/2" x 0.113") or 2-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128") or 2 staples, 1" crown, 16 ga., 1 3/4" long	Face nail
24	2" subfloor to joist or girder	3-16d box (3 1/2" x 0.162") or 3-16d common (3 1/2" x 0.162") or 2-16d common (3 1/2" x 0.162")	Blind or face nail
25	2" planks (plank & beam - floor & roof)	3-16d common (3 1/2" x 0.162") or 4-10 box (3" x 0.128") or 4-3" x 0.131" nails, or 4-3" x 14 ga. staples, 7/16" crown	At each bearing
26	Band or rim joist to joist	20d common (4" x 0.192") or 10d box (3" x 0.128") or 3" x 0.131" nails	End nail
27	Built-up girders and beams, 2-inch lumber layers	2-20d common (4" x 0.192") or 3-10d common (3 1/2" x 0.162") or 3-3" x 0.131" nails And: 4-16d box (3 1/2" x 0.162") or 3-16d common (3 1/2" x 0.162") or 4-10d box (3" x 0.128") or 4-3" x 0.131" nails	Face nail at ends and at each splice
28	Ledger strip supporting joists or rafters	2-16d (3" x 0.148") or 2-8d common (2 1/2" x 0.131") or 2-3" x 0.131" nails	At each joist or rafter, face nail
29	Bridging to joist	2-16d (3" x 0.148") or 2-8d common (2 1/2" x 0.131") or 2-3" x 0.131" nails	Each end, toe nail

G:\Forms & Handouts\BUILDING\Residential Nailing Schedule.docx Page 2 of 3

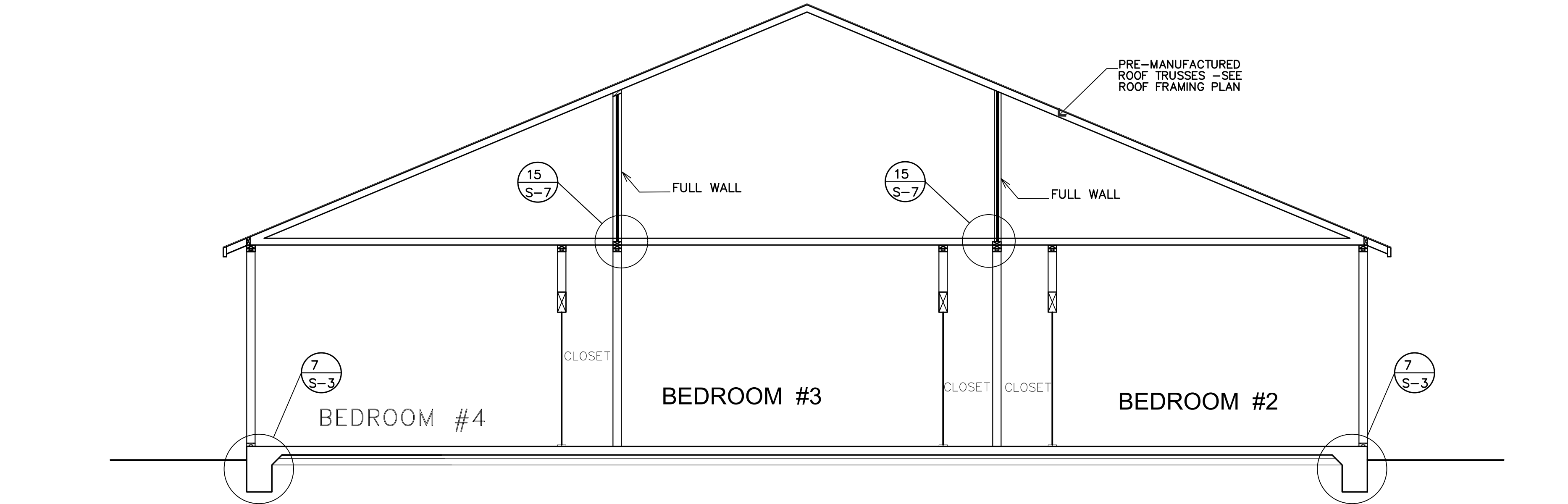
ITEM	DESCRIPTION OF BUILDING	DESCRIPTION OF FASTENERS, n, e	SPACING OF FASTENERS
30	3/8" - 1/2"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof) or RRSR-01 (2 1/2" x 0.131" nail (roof))	6 6
31	1/2" - 1"	8d common nail (2 1/2" x 0.131") or RRSR-01 (2 1/2" x 0.131" nail (roof))	6 6
32	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6 6
33	1/2" structural cellulose fiberboard sheathing	11/2" galvanized roofing nail, 7/16" head diameter or 15/16" long, 15 ga. Staple with 7/16" or 1" crown	3 6
34	25/32" structural cellulose fiberboard sheathing	13/4" galvanized roofing nail, 7/16" head diameter or 1 1/2" long, 16 ga. Staple with 7/16" or 1" crown	3 6
35	1/2" gypsum sheathing	11/2" galvanized roofing nail, staple galvanized, 1 1/2" long, 11-14 screws, Type W or S	7 7
36	5/8" gypsum sheathing	1 1/2" galvanized roofing nail, staple galvanized, 1 5/8" long, 1 5/8" screws, Type W or S	7 7
37	3/4" and less	Wood structural panels, combination subfloor underlayment to framing 6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6 6
38	7/8" - 1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.120") nail	6 12
39	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.120") nail	6 12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s, 1 ksi = 6.895 MPa.
 a. Nails are smooth common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.192 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
 b. Staples are 16 gauge wire and have a minimum 7/16-inch diameter crown width.
 c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
 d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.
 e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).
 f. Where the ultimate design wind speed is 130 mph or less, nails for wood structural panel sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing.
 g. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
 h. Spacing of fasteners on floor sheathing panel edges applies to panel edge supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof and floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.
 j. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and two toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.
 j. RRSR-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667.
 The fastener schedule provides minimum nailing requirements (i.e. size, spacing) for connecting building elements used in wood framed construction. For wood structural panels, both edge nailing and intermediate (field) nailing are specified. In addition to the nailing for wood structural panels, fasteners are specified for gypsum wall sheathing, cellulose fiberboard wall sheathing and combination subfloor underlayment.
 G:\Forms & Handouts\BUILDING\Residential Nailing Schedule.docx Page 3 of 3

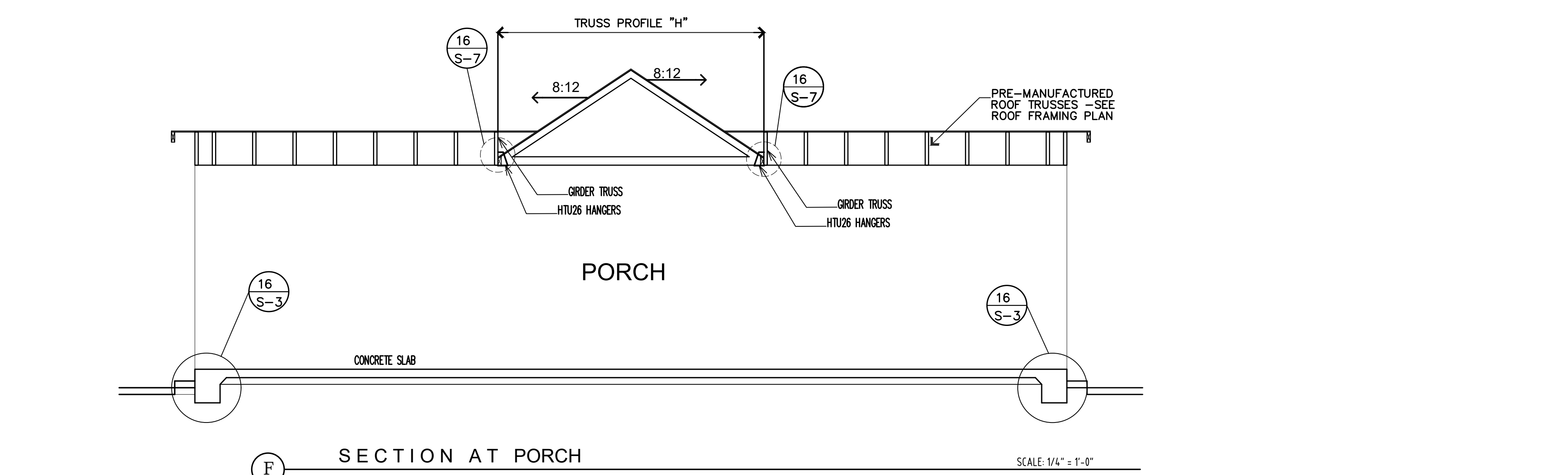
RESIDENTIAL NAILING SCHEDULE



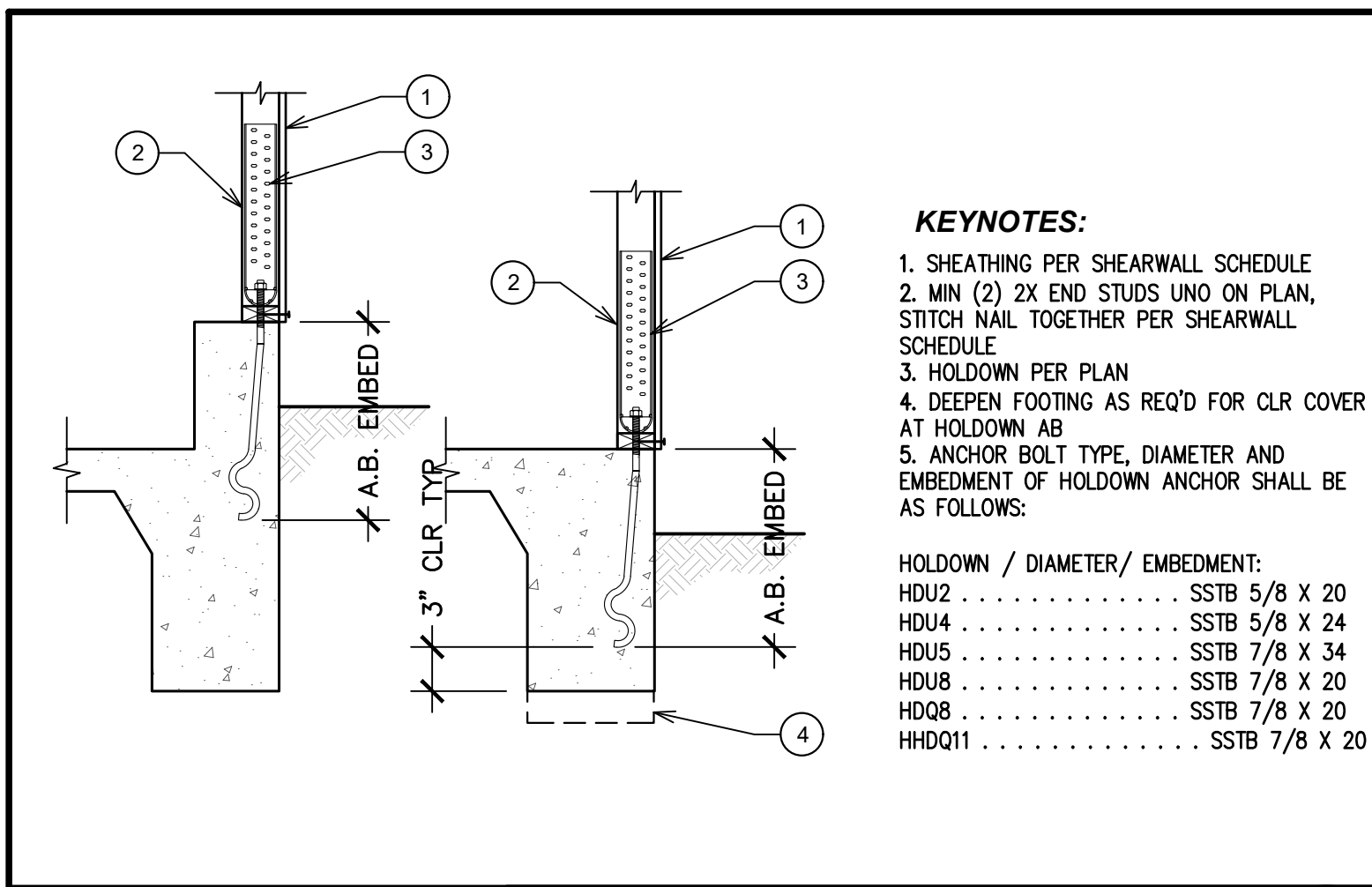
SECTION AT PORCH-BATHS SCALE: 1/4" = 1'-0"



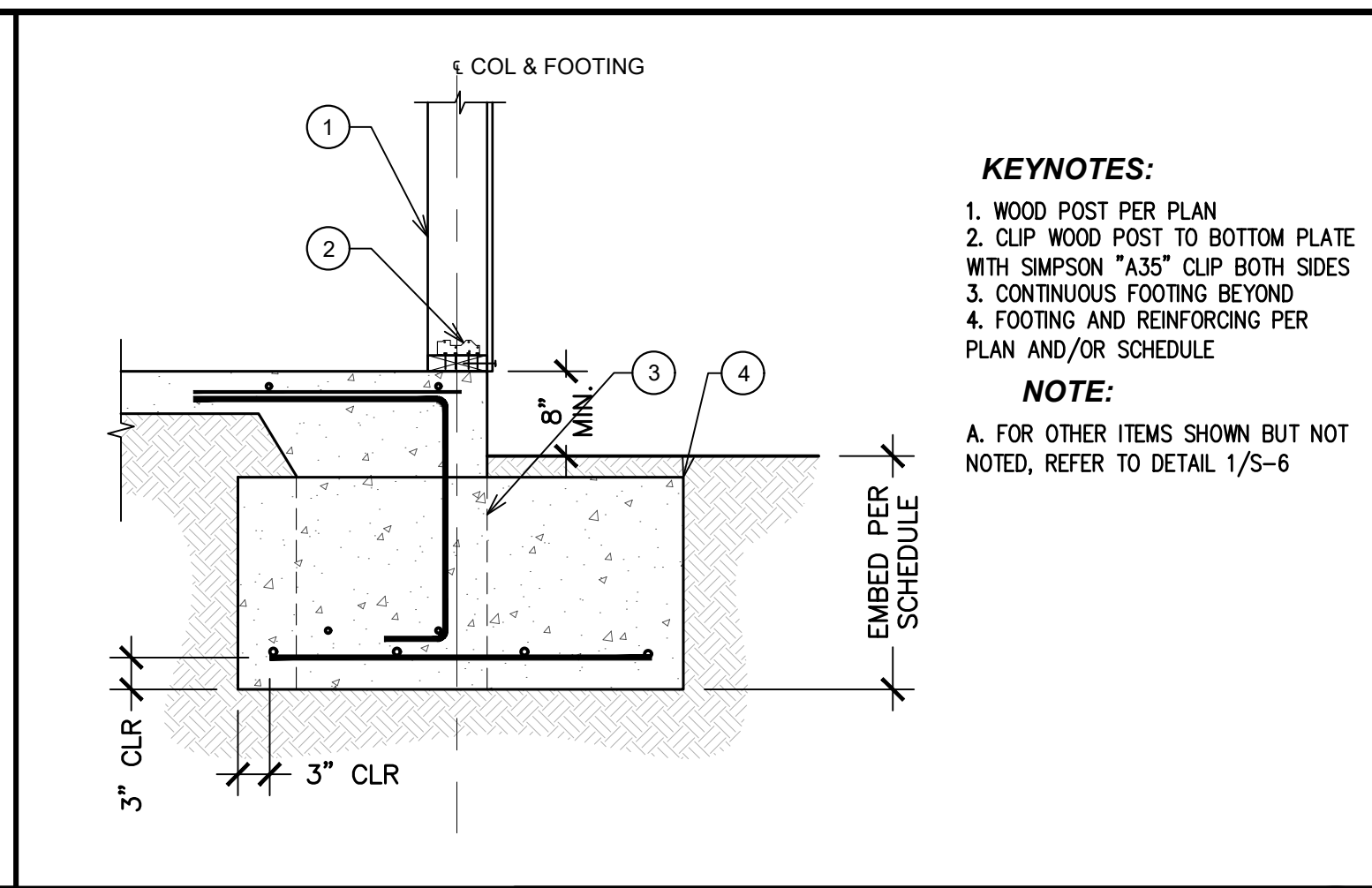
SECTION AT BEDROOMS SCALE: 1/4" = 1'-0"



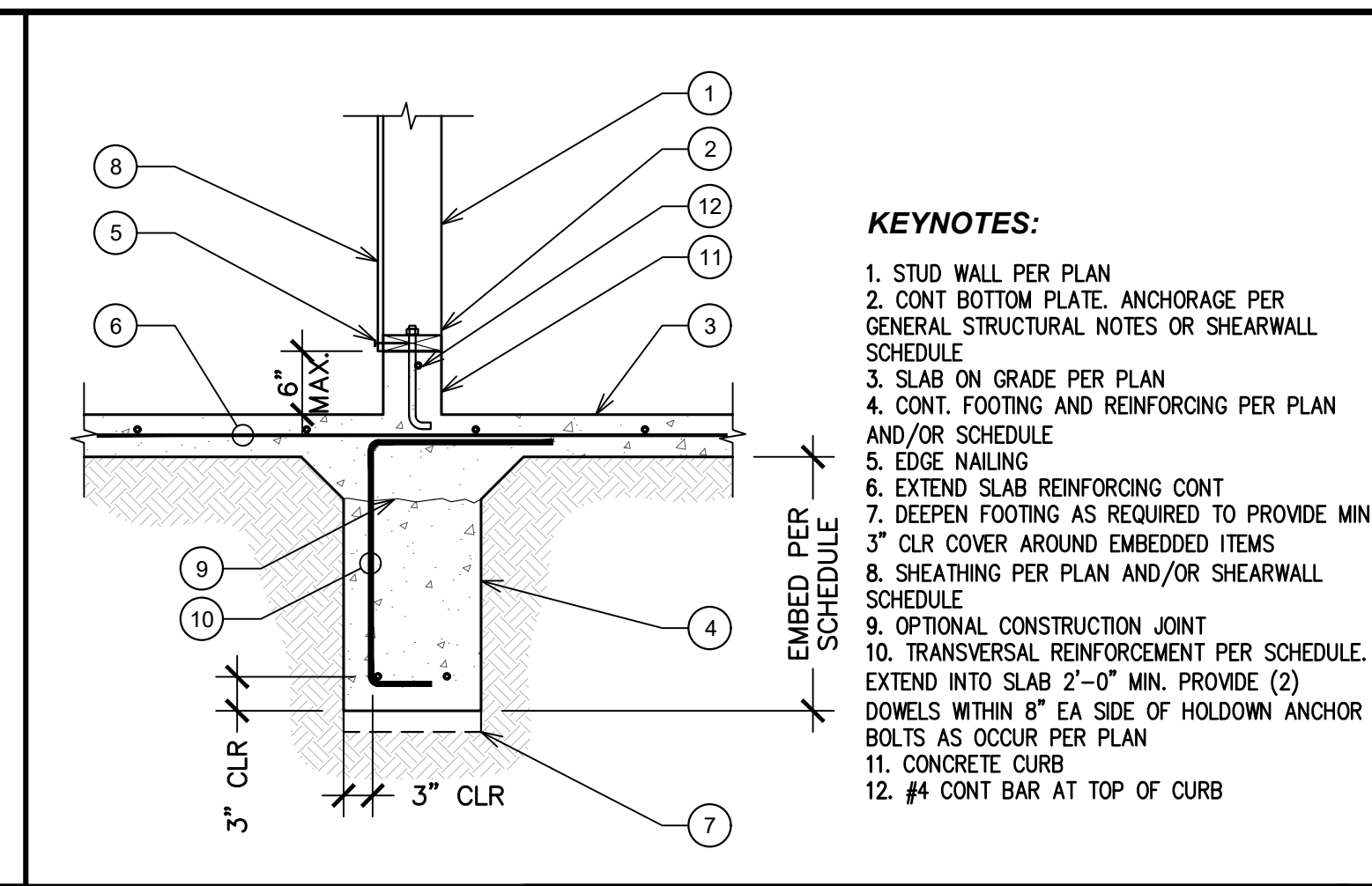
SECTION AT PORCH SCALE: 1/4" = 1'-0"



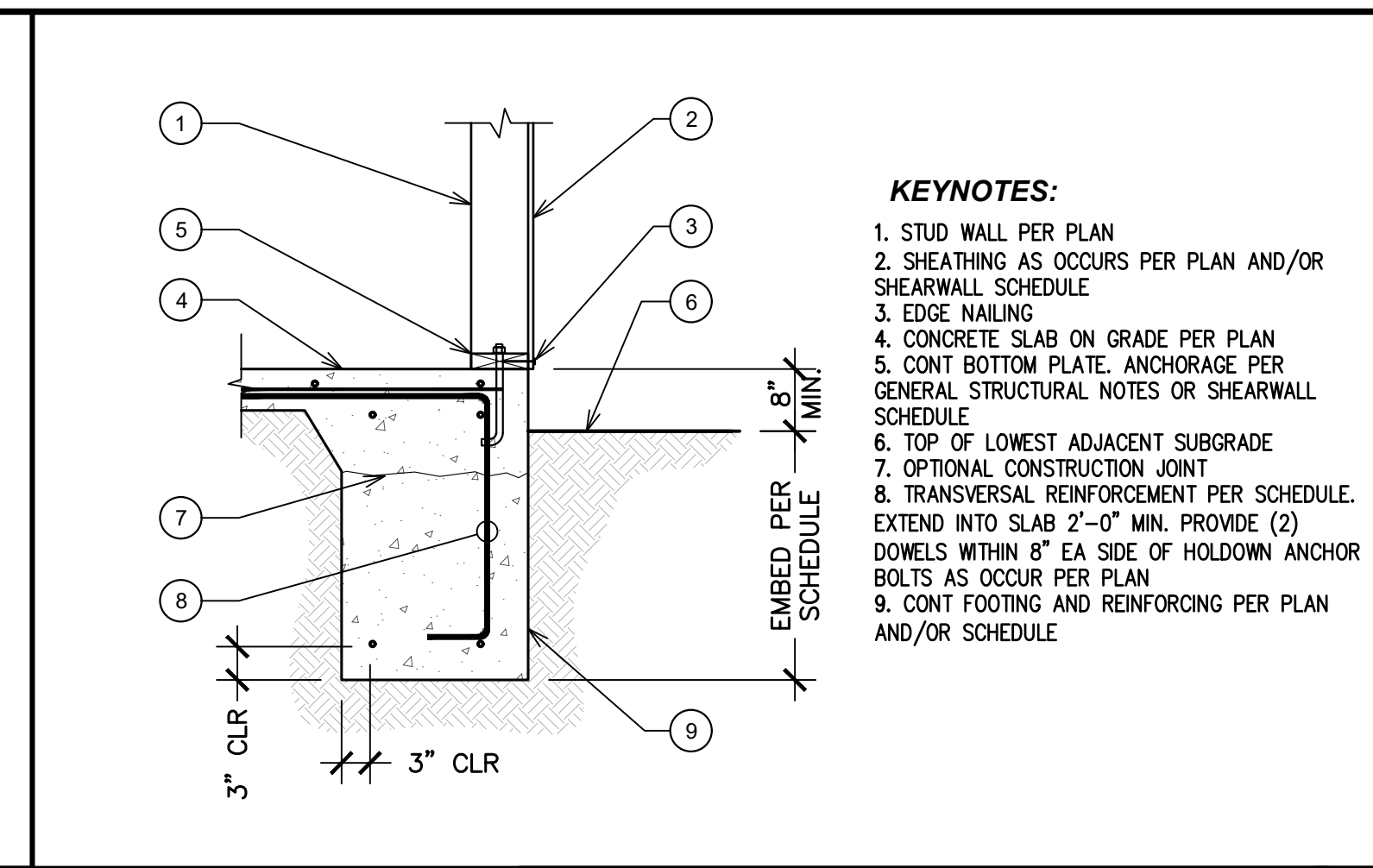
TYPICAL HOLDOWN ANCHORAGE NOT TO SCALE 13



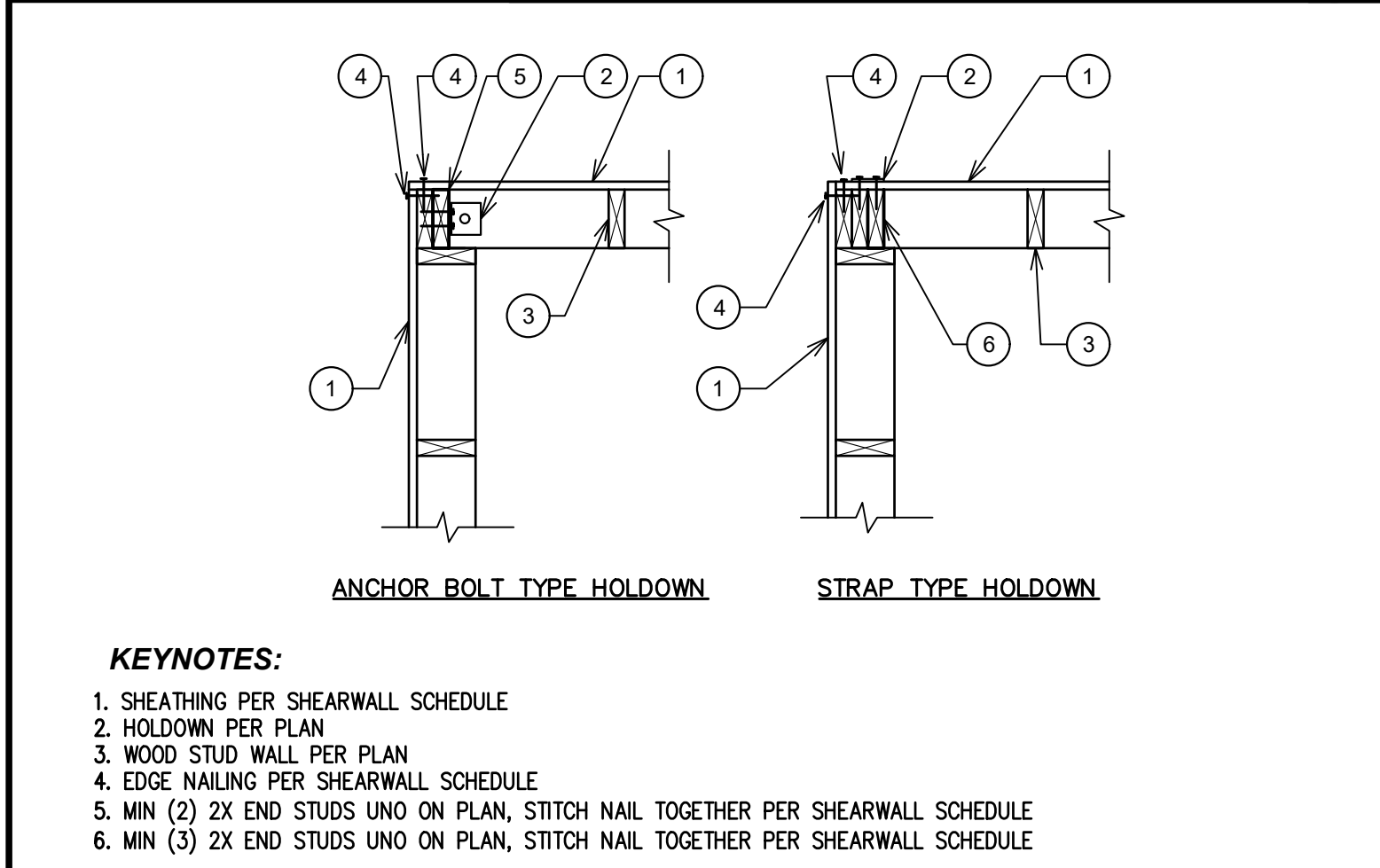
WOOD POST AT POST FOUNDATION NOT TO SCALE 9



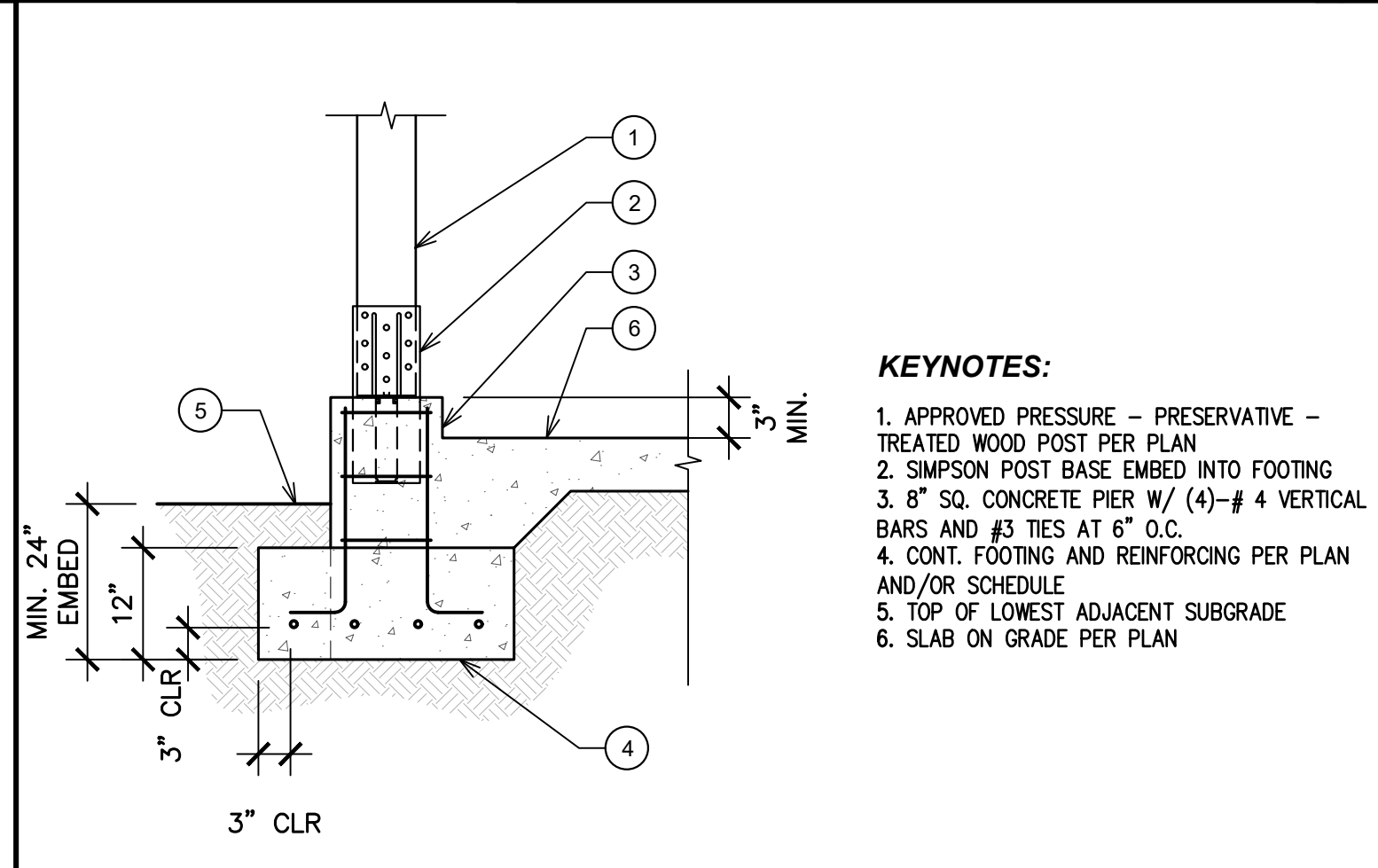
FOUNDATION AT INTERIOR STUD WALL NOT TO SCALE 5



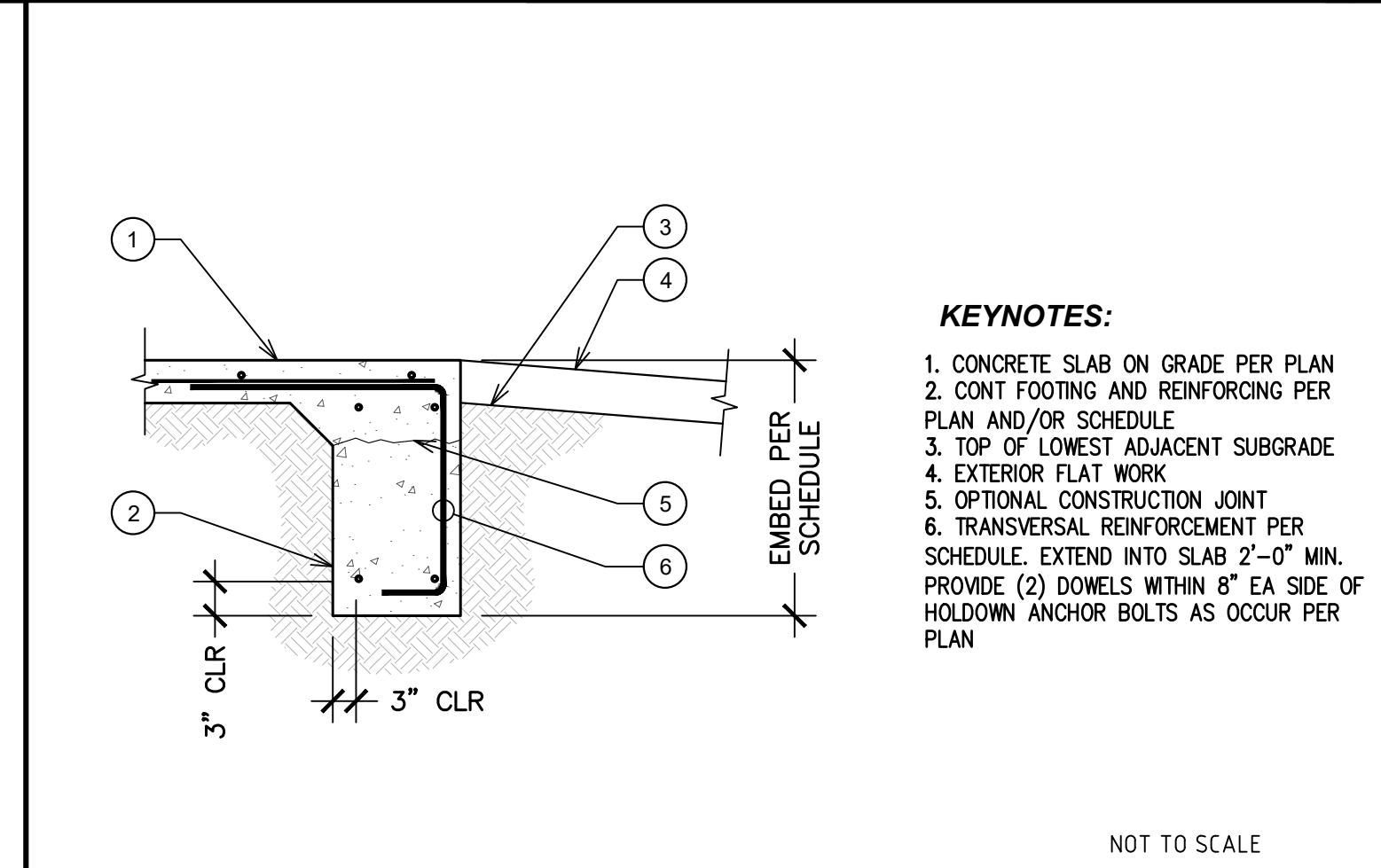
FOUNDATION AT EXTERIOR STUD WALL NOT TO SCALE 1



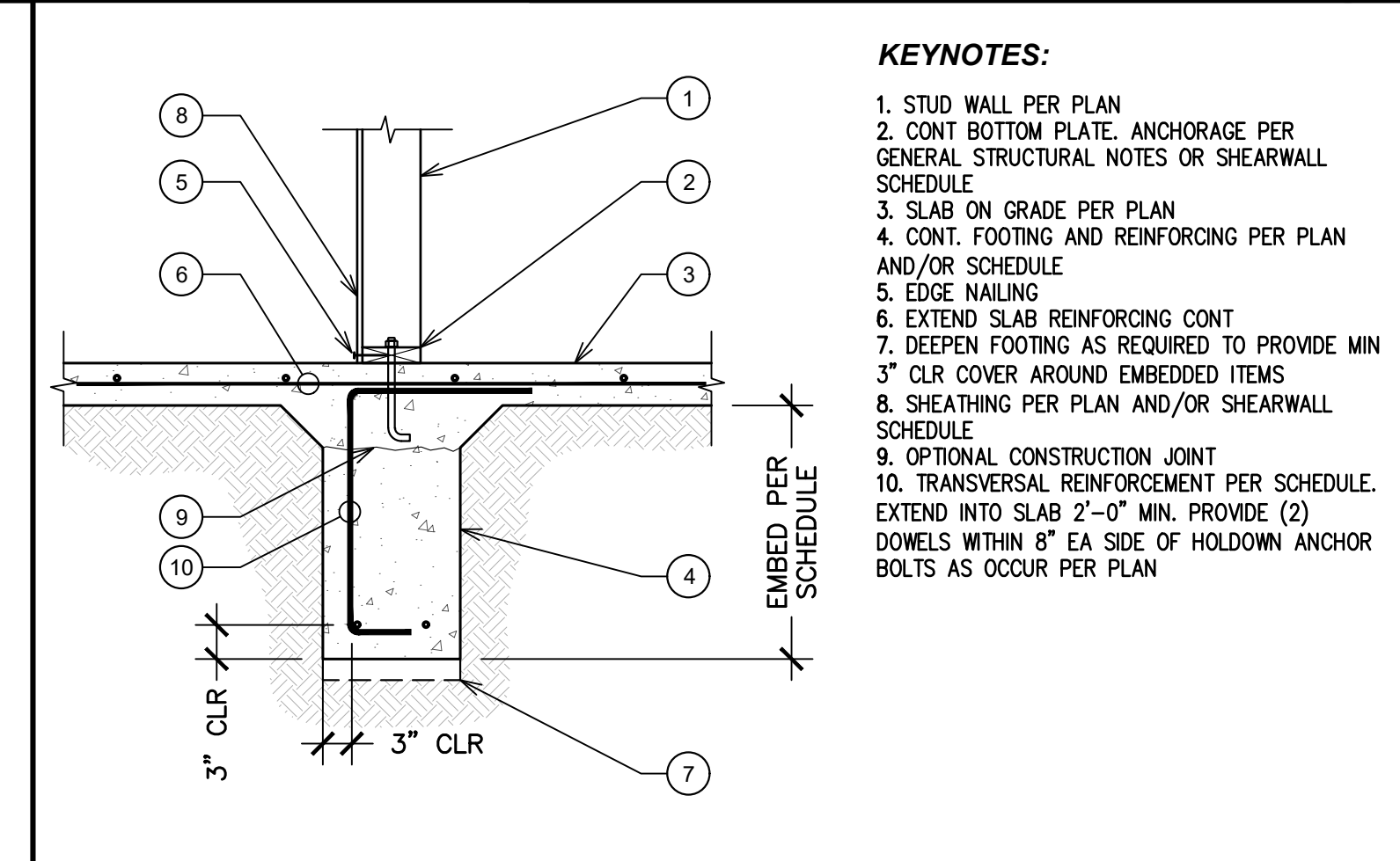
TYPICAL SHARED HOLDOWN AT CORNER NOT TO SCALE 14



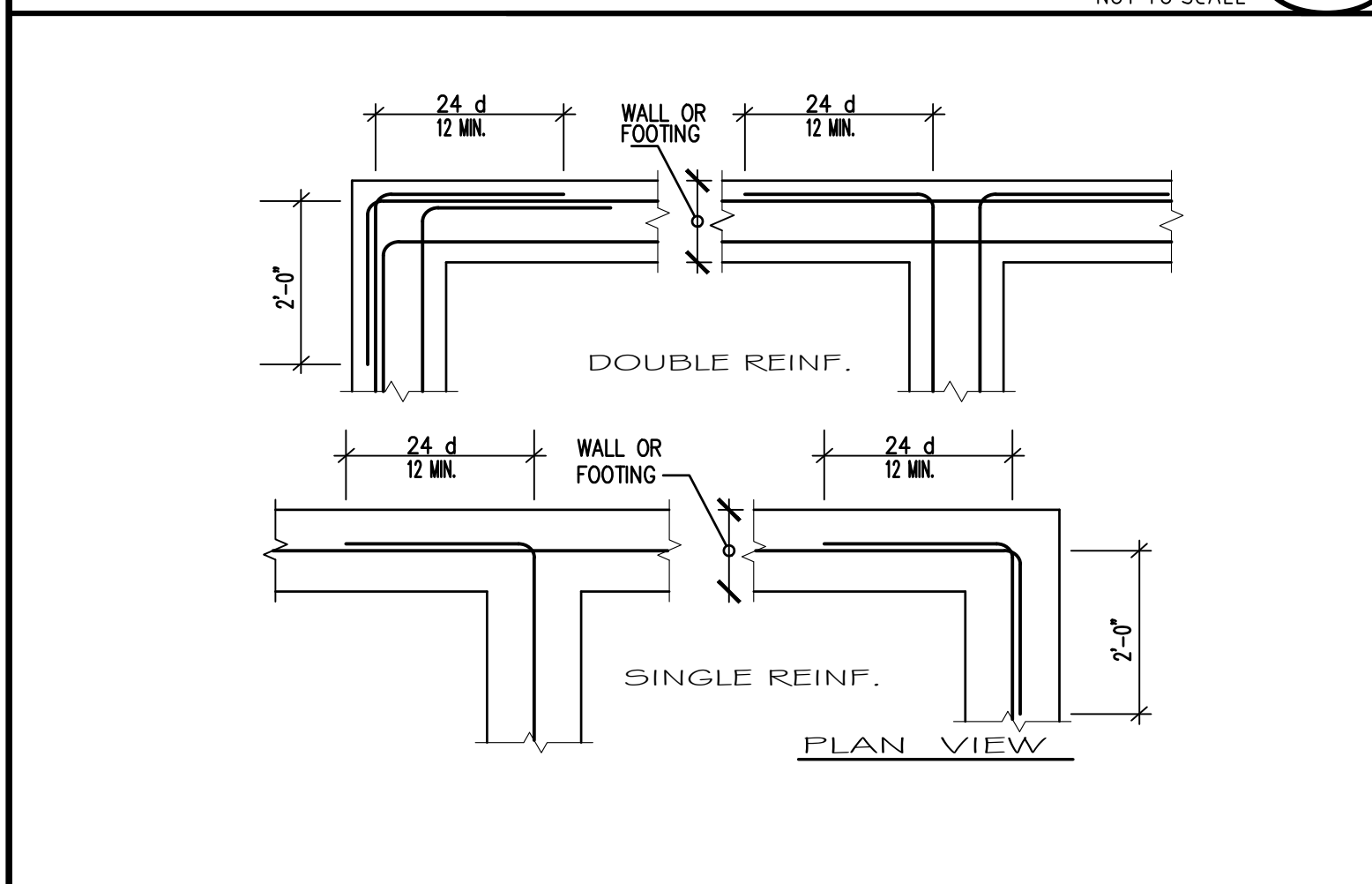
FOUNDATION AT WOOD POST NOT TO SCALE 10



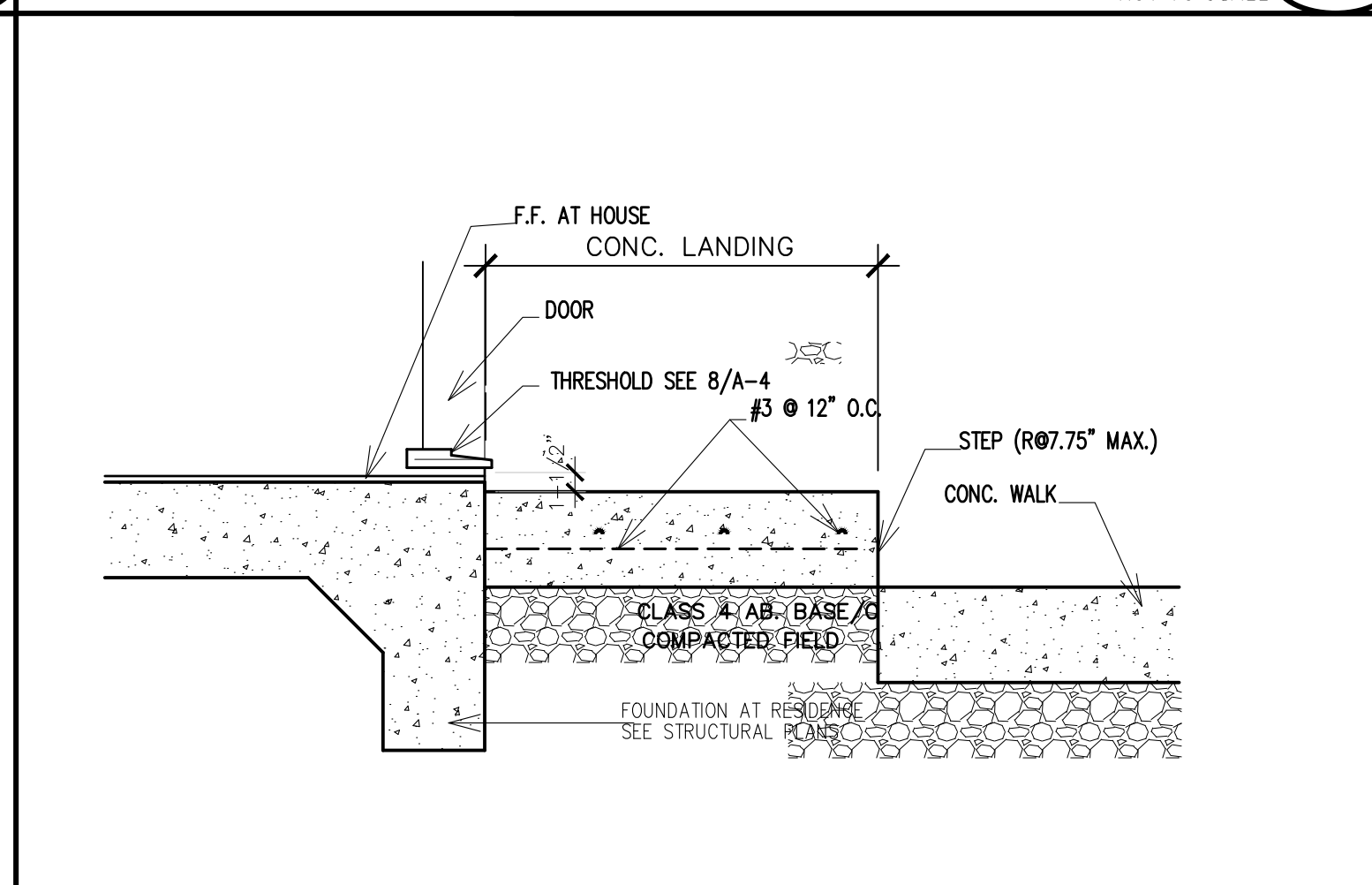
FOUND. AT TURNED-DOWN SLAB EDGE AT DOOR OPENING NOT TO SCALE 6



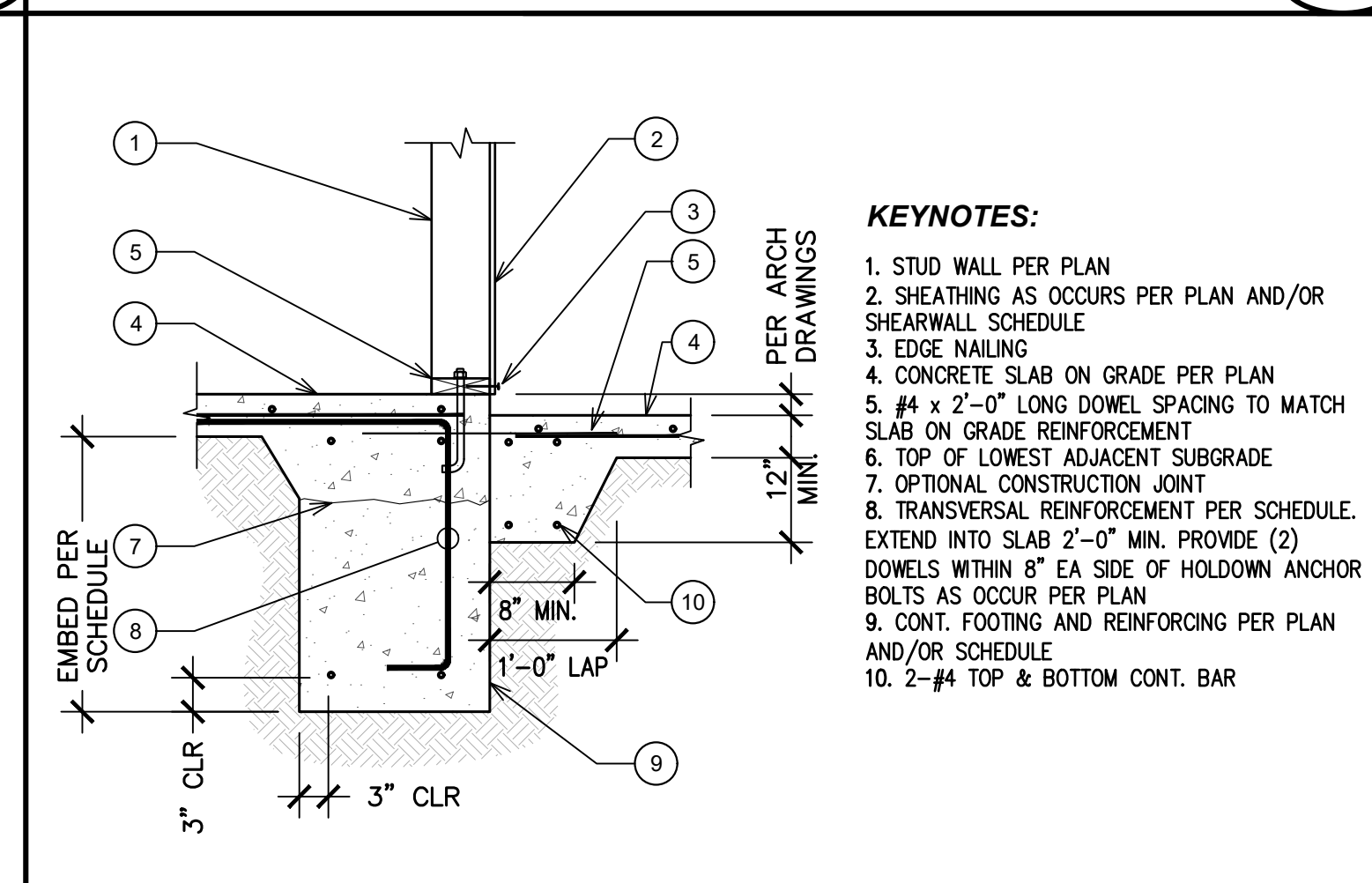
FOUNDATION AT INTERIOR STUD WALL NOT TO SCALE 2



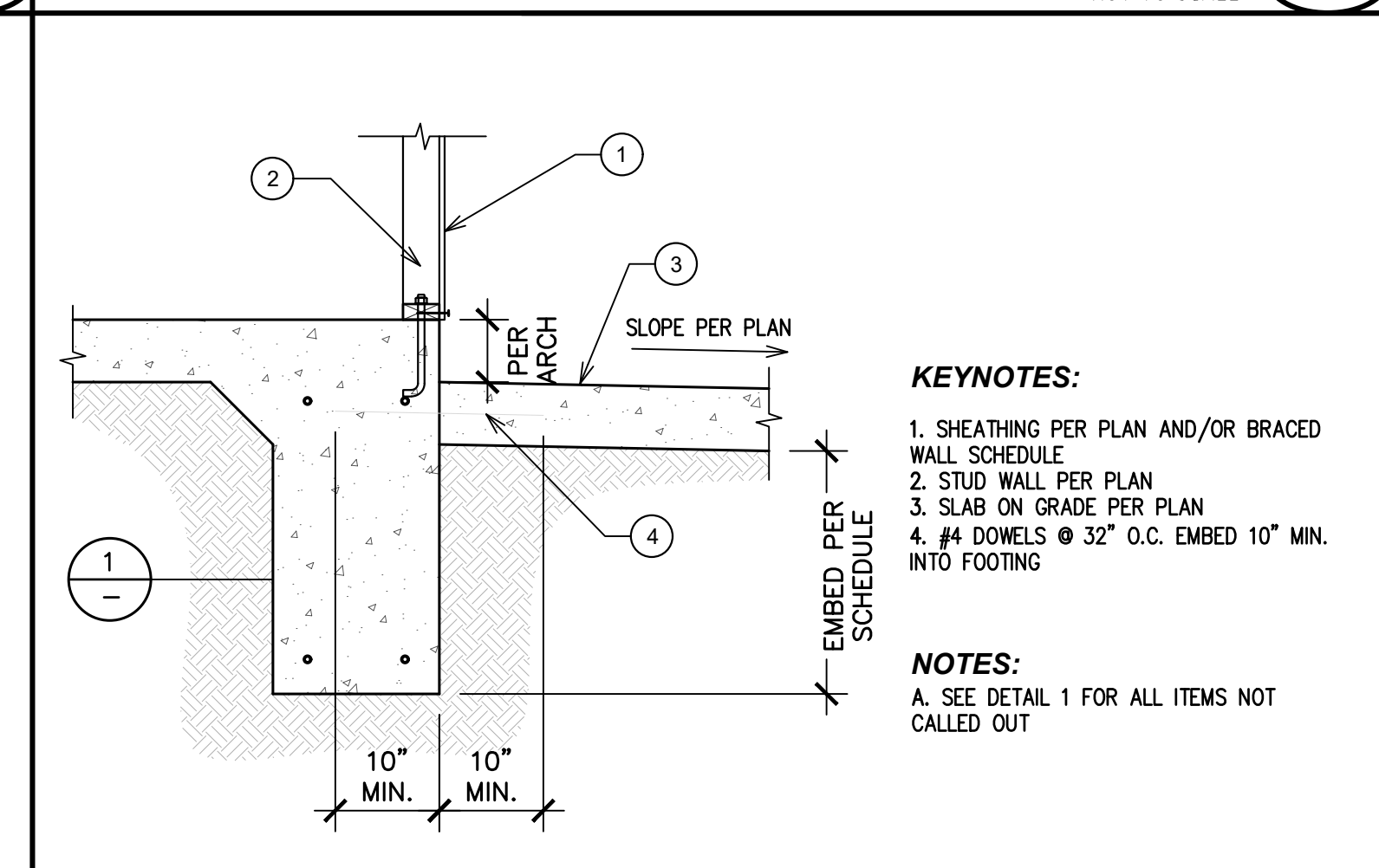
TYPICAL CONTINUOUS FOOTING REINFORCING NOT TO SCALE 15



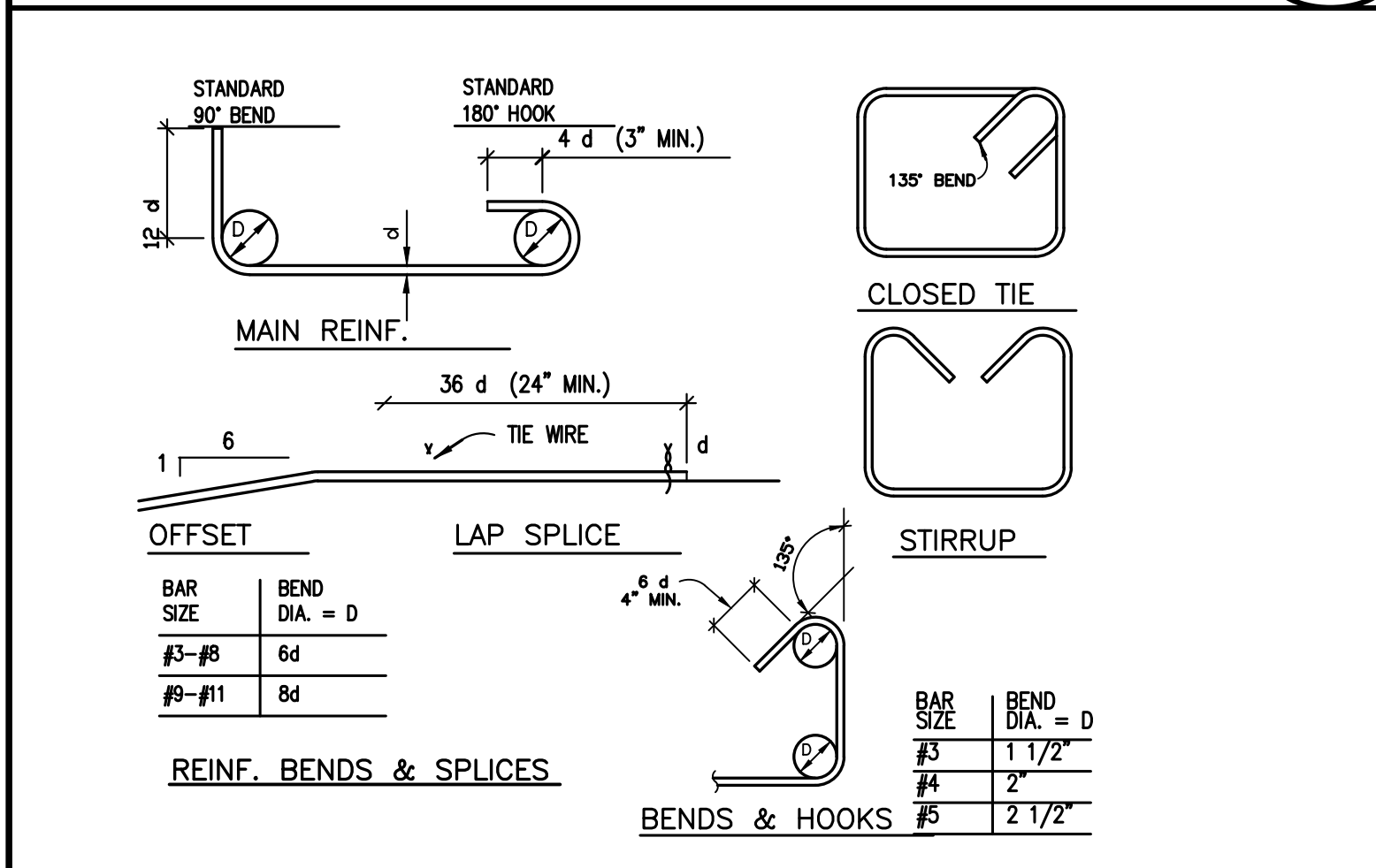
CONC. LANDING NOT TO SCALE 11



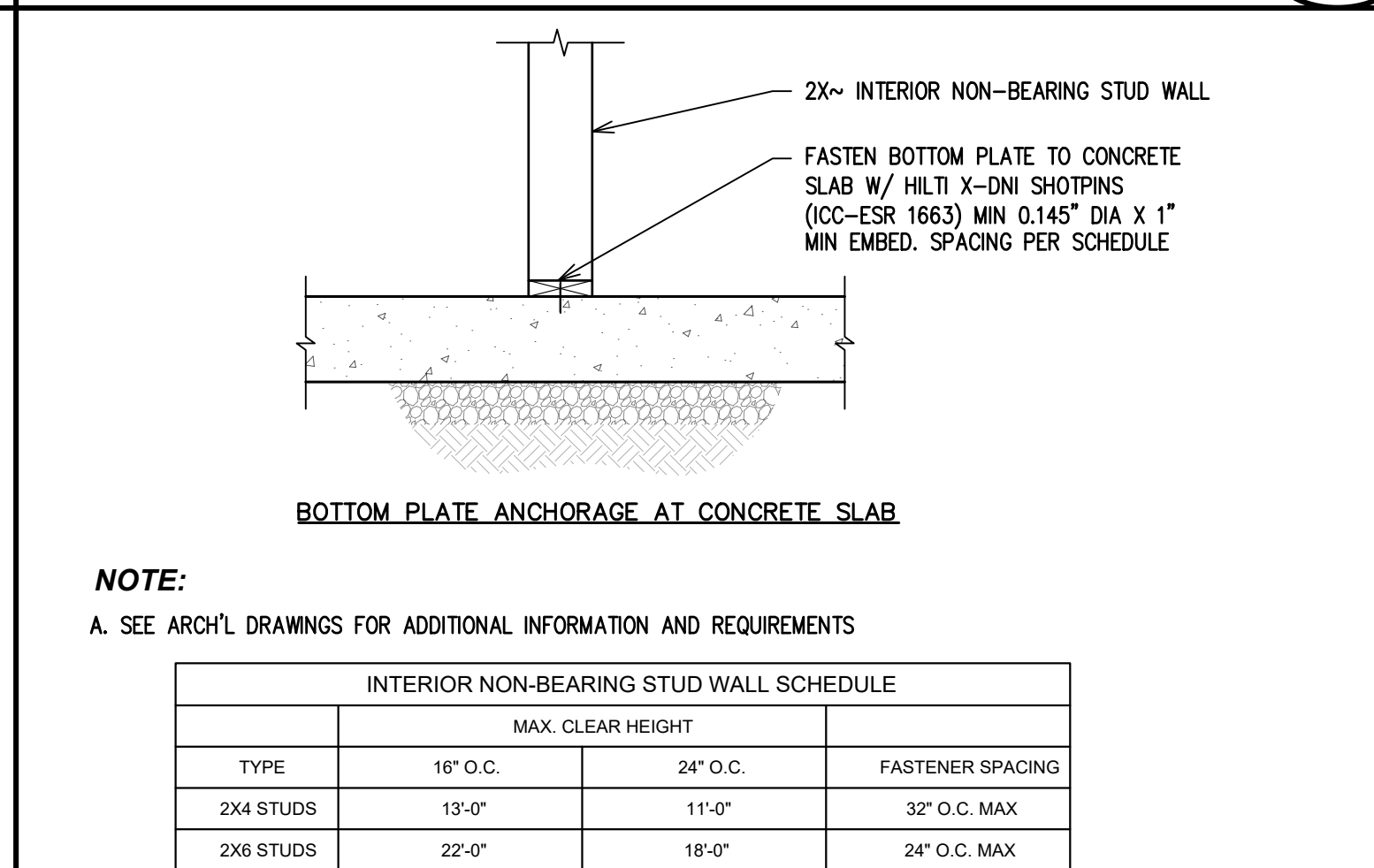
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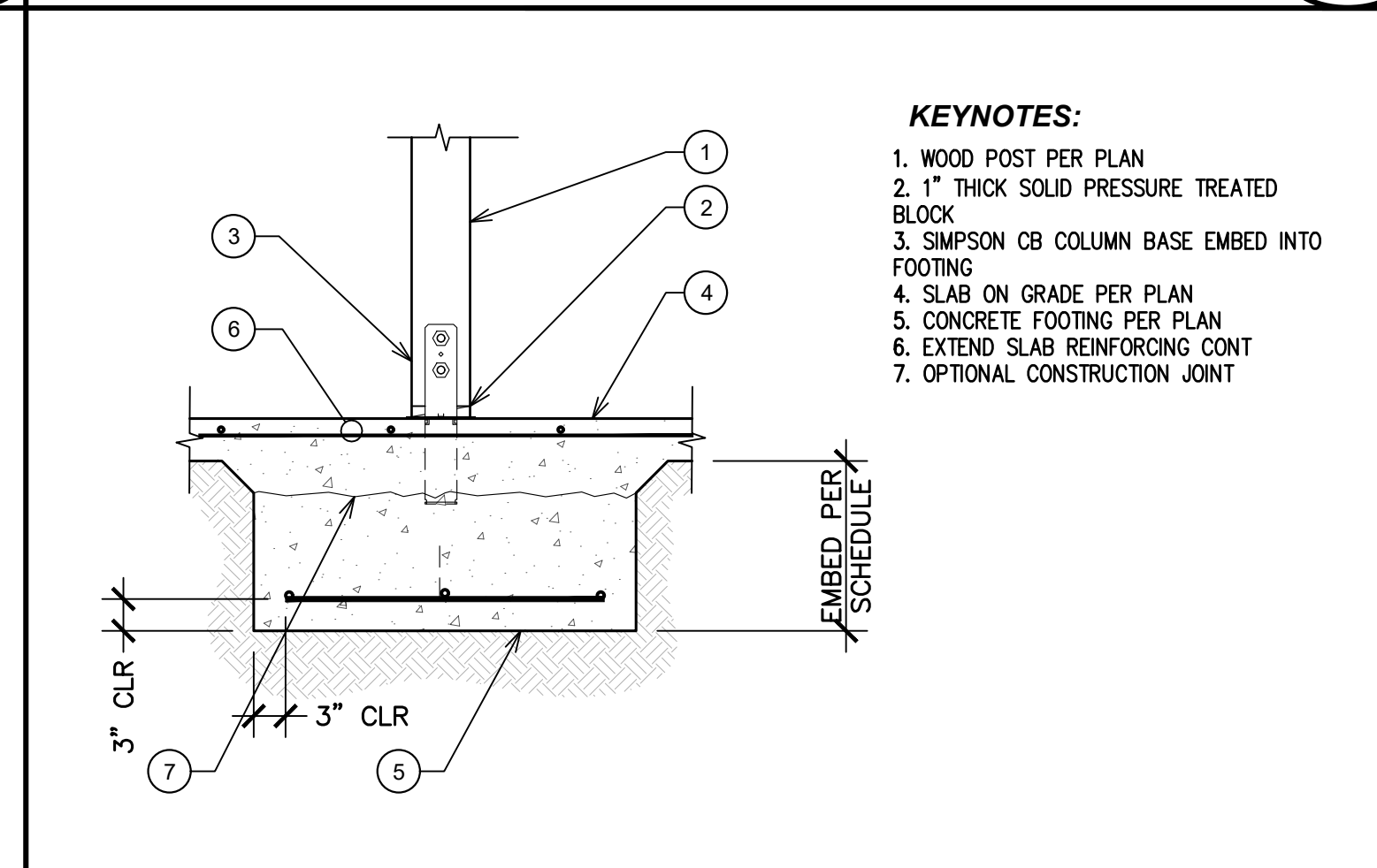
FOUNDATION AT INTERIOR STUD WALL NOT TO SCALE 3



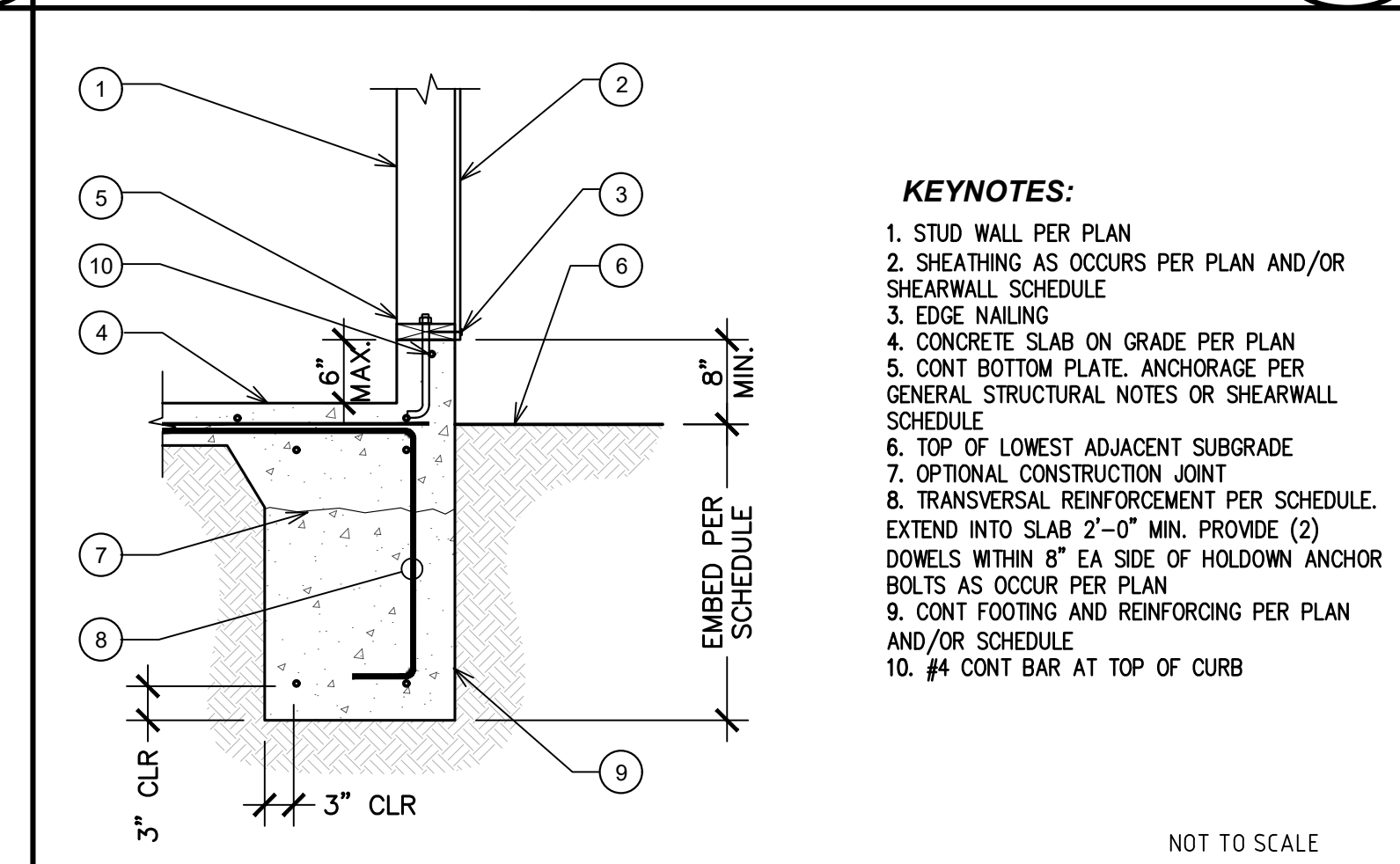
TYP. TIE & STIRRUP REINF. NOT TO SCALE 16



INTERIOR NON-BEARING STUD WALL NOT TO SCALE 12



WOOD POST AT INTERIOR FOOTING NOT TO SCALE 8



FOUNDATION AT EXTERIOR STUD WALL AT GARAGE NOT TO SCALE 4

FLORES' DRAFTING SERVICE
 P.O. BOX 2252
 Salinas, CA 93902
 Phone: (831) 00-0000
 Cell: (831) 262-3350
 ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juencio Flores
 JUVENCIO FLORES

REVISIONS

NO.	DESCRIPTION	DATE
1	BUILDING DPT. MONTEREY COUNTY	08/22/2022
2	MONTEREY COUNTY	07/08/2024

FOUNDATION DETAILS
 MR. JUAN ROMERO NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE:(831) 970-5004

DRAWING DATE:
 05/29/2021

CONSTRUCTION RELEASE
 B21-XXXX

PROJECT NO:
 137-2020

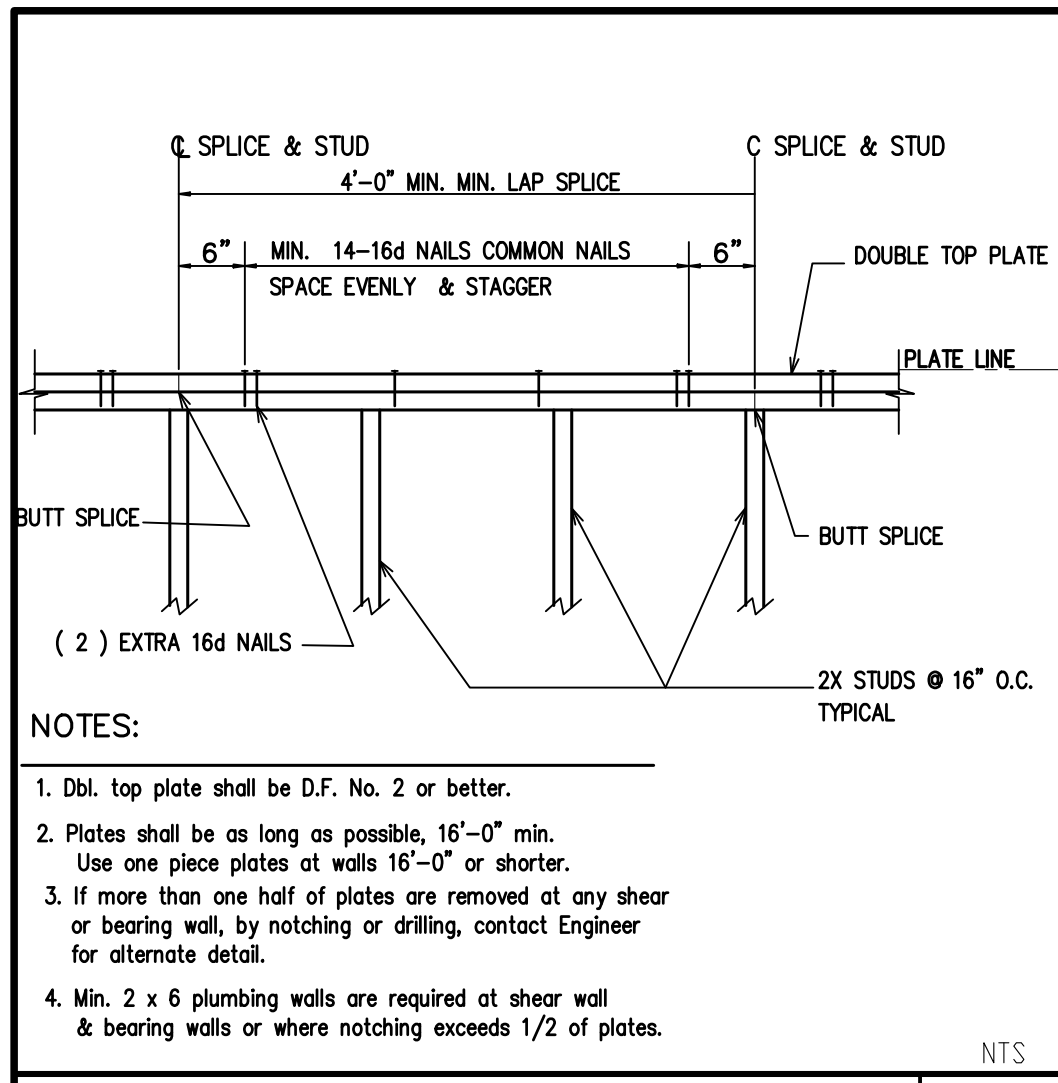
SCALE:
 AS NOTED

DRAWN BY:

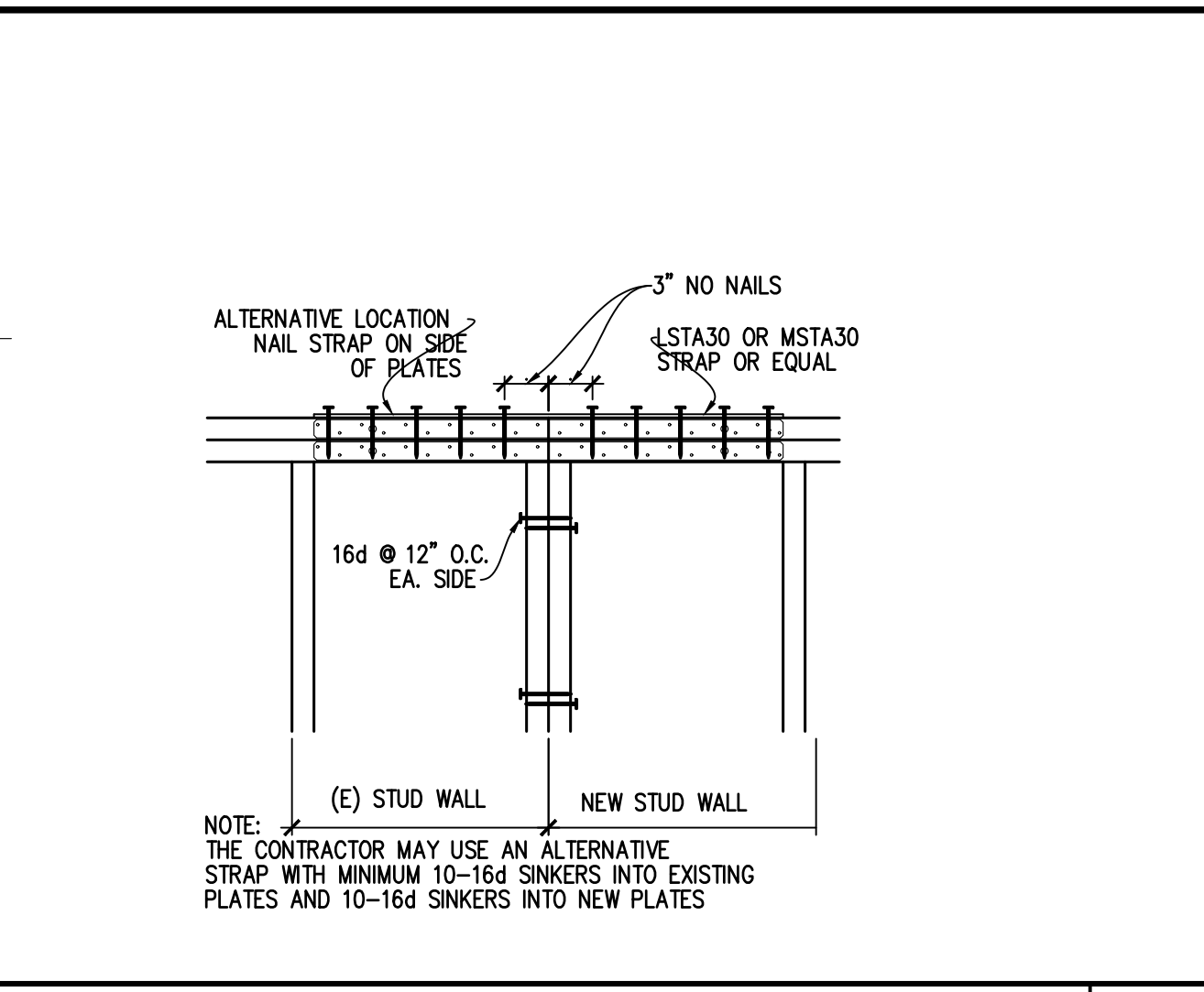
SHEET TITLE:
 FOUNDATION DETAILS

THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF FLORES' DRAFTING SERVICE. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE DESIGNER. UNAUTHORIZED USE IS PROHIBITED.

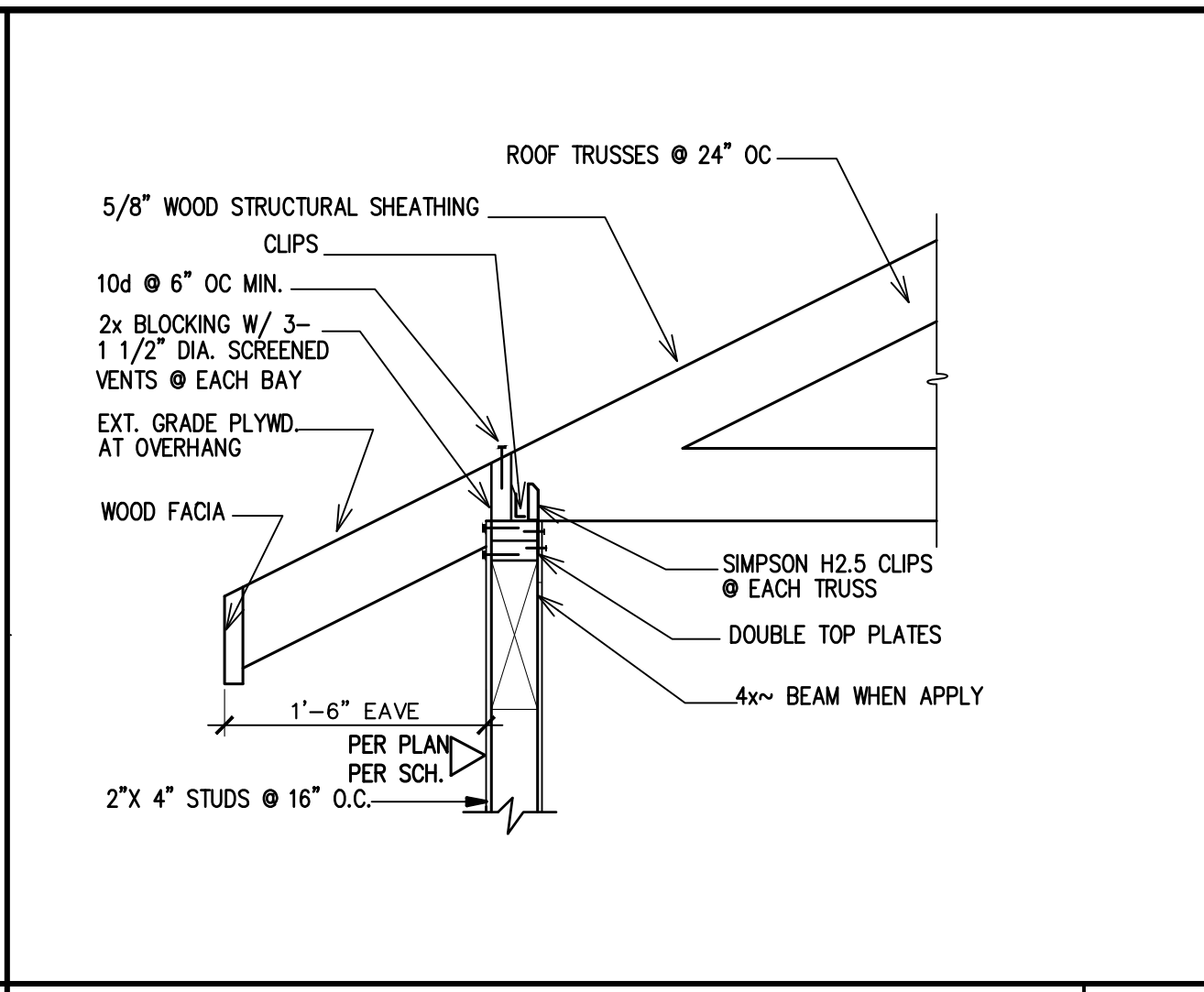
SHEET:
 S-6



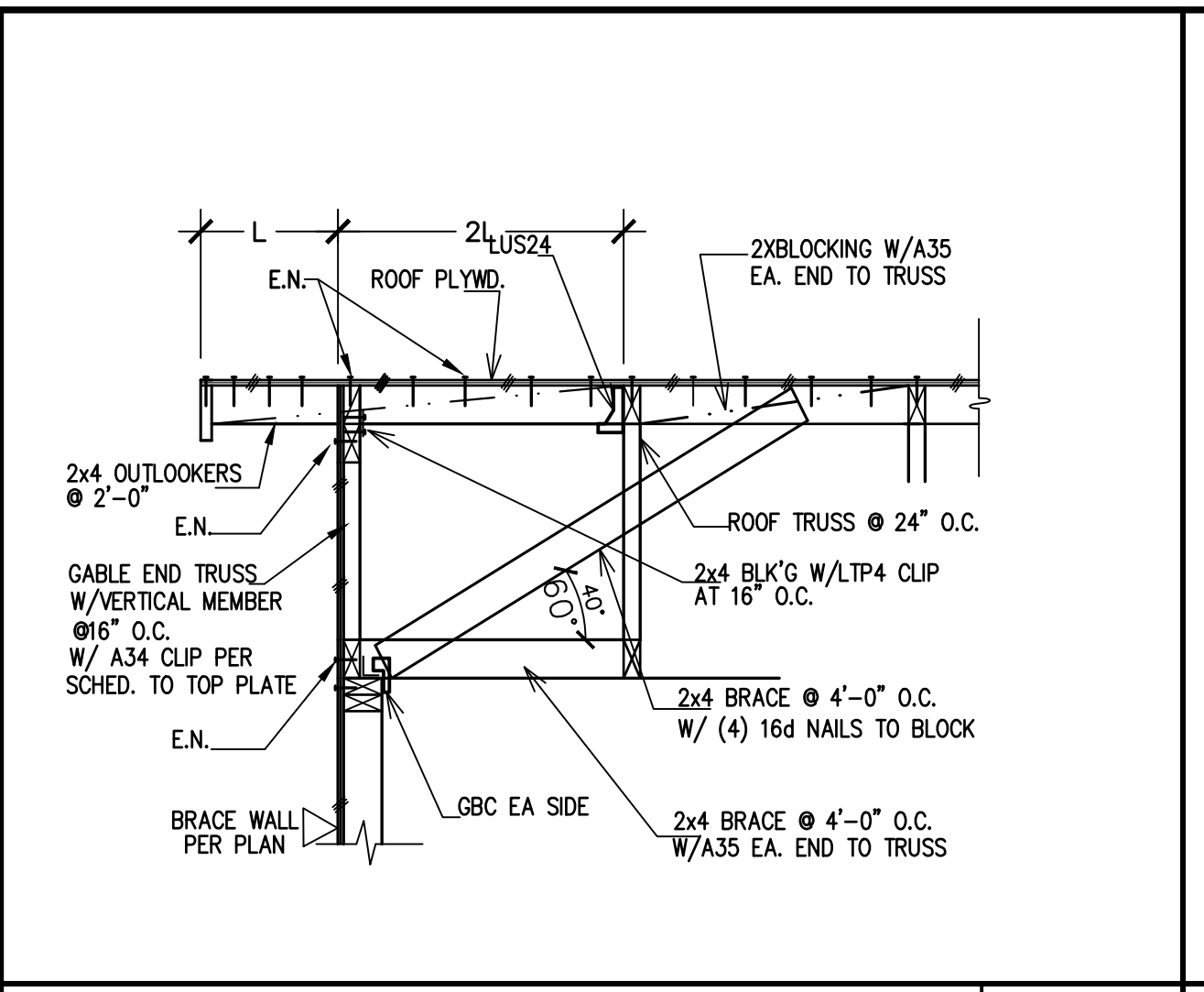
TYP. DBL. TOP PLATE SPLICE DETAIL 5



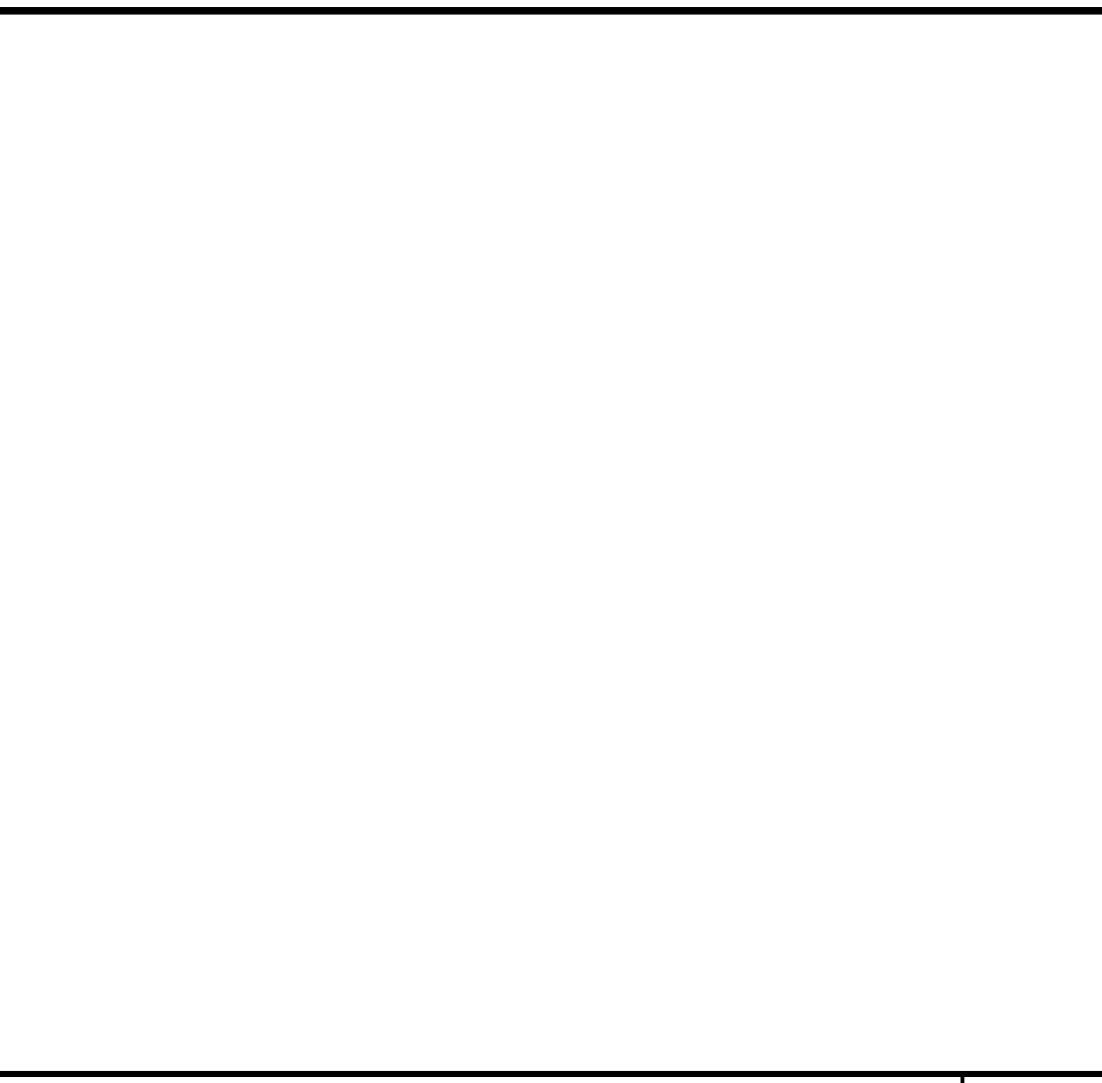
TYP. STRAP DETAIL SCALE: 1" = 1'-0" 13



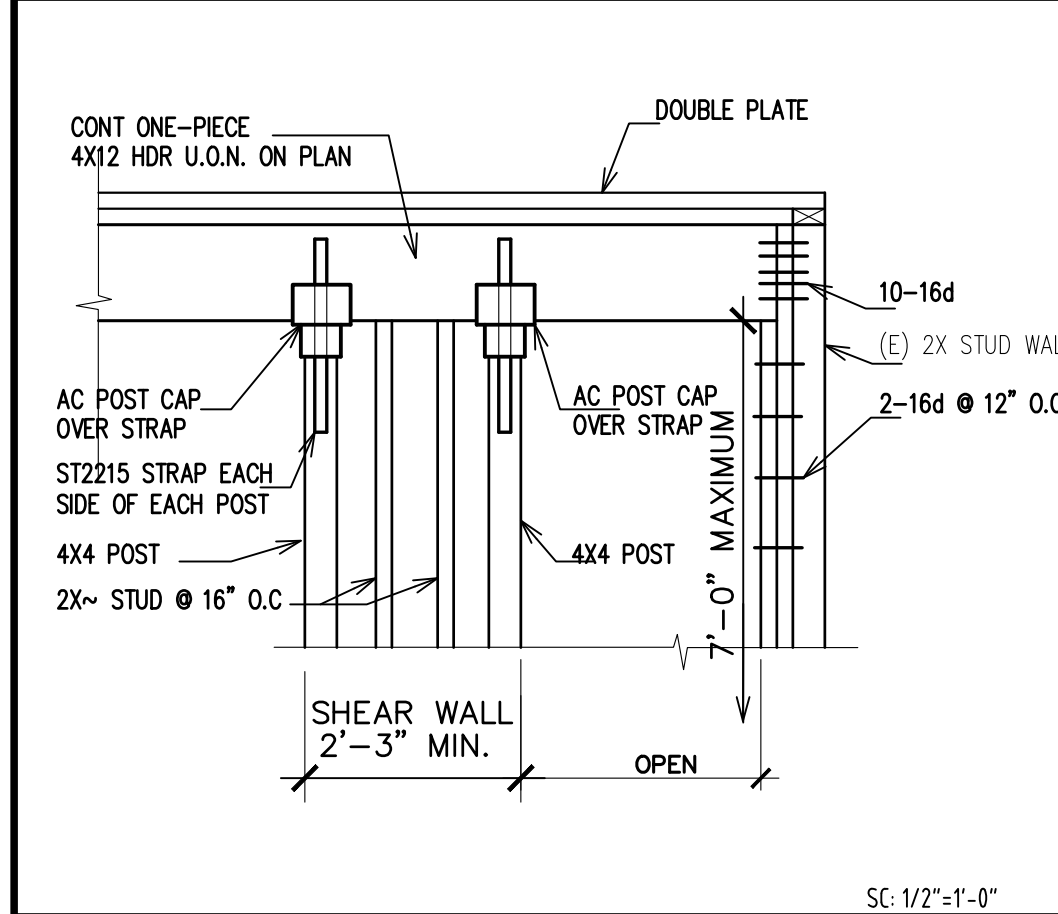
EAVE DETAIL NTS 9



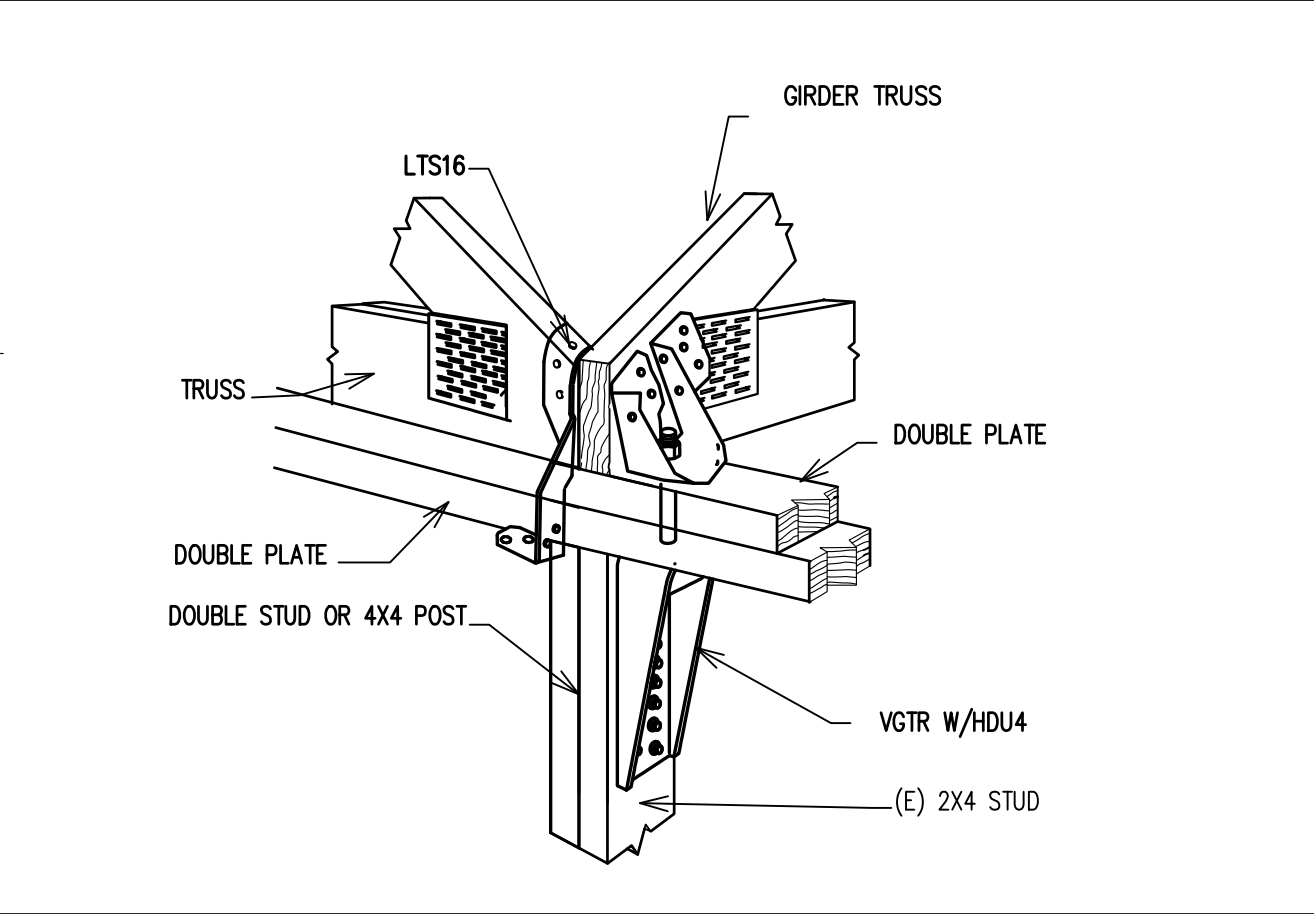
SHEAR TRANSFER AT GABLE NTS 5



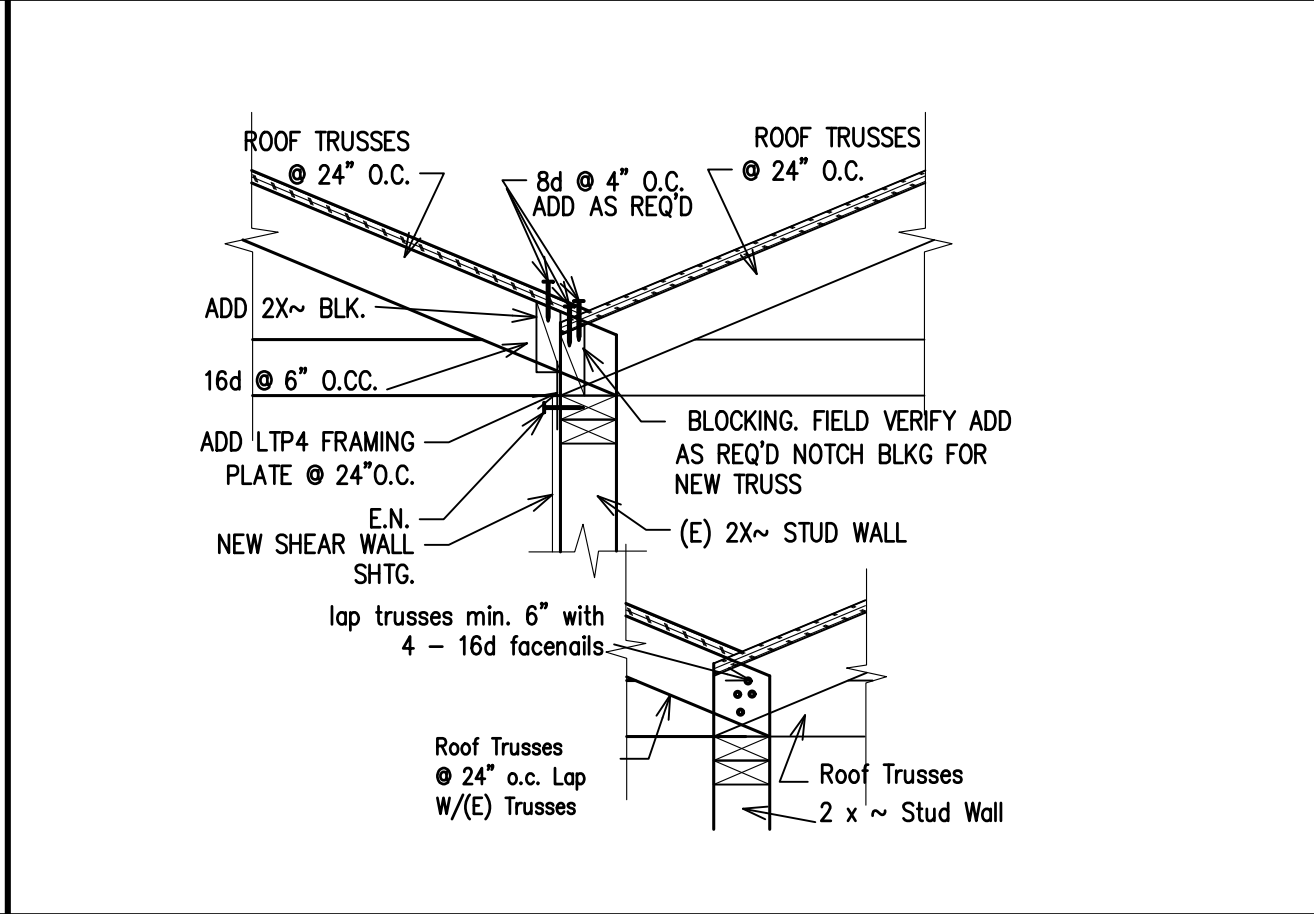
TYP. INT. NON BEARING WALL NTS 1



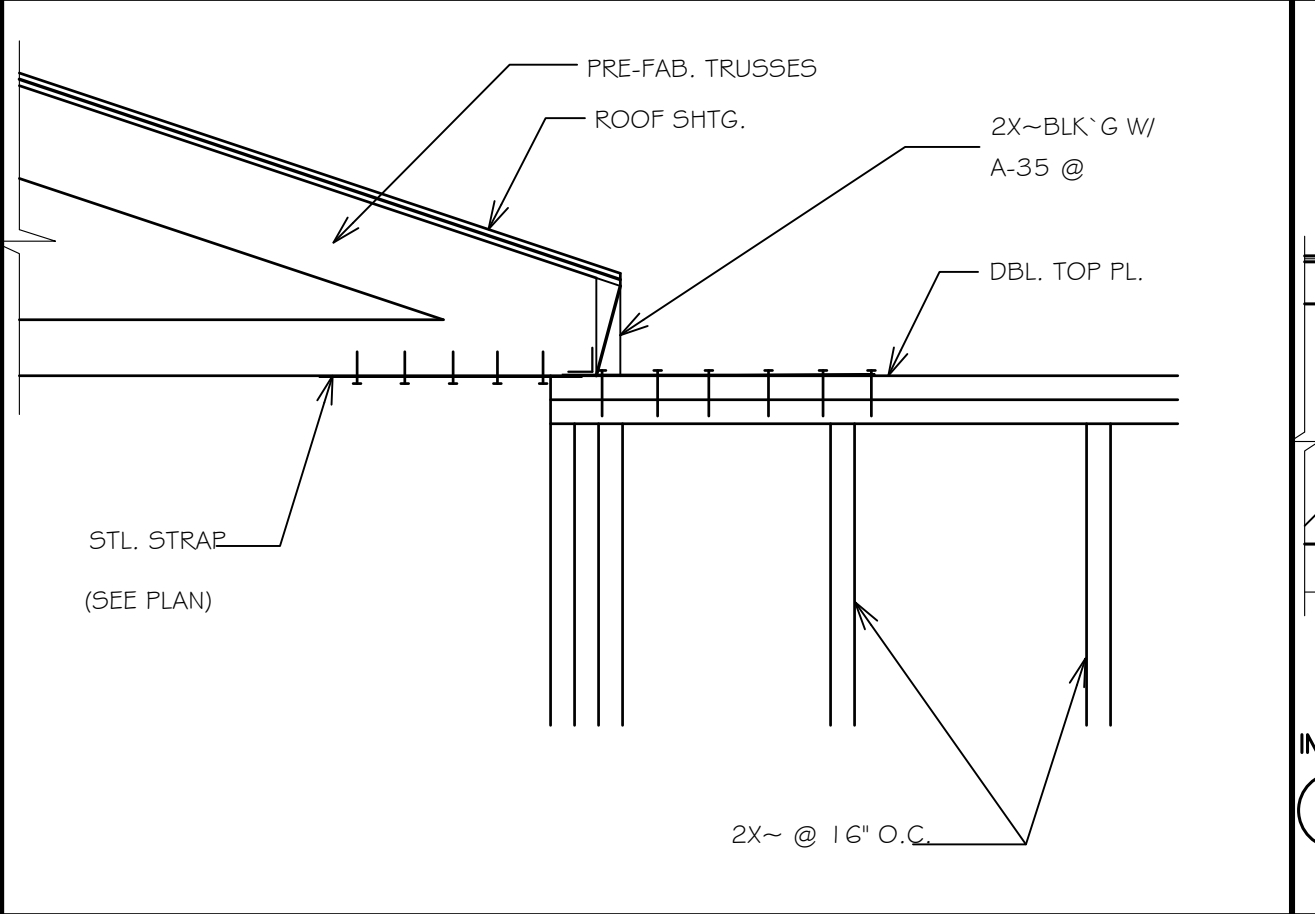
TYP. BEAM @ WALL OPENNING 14



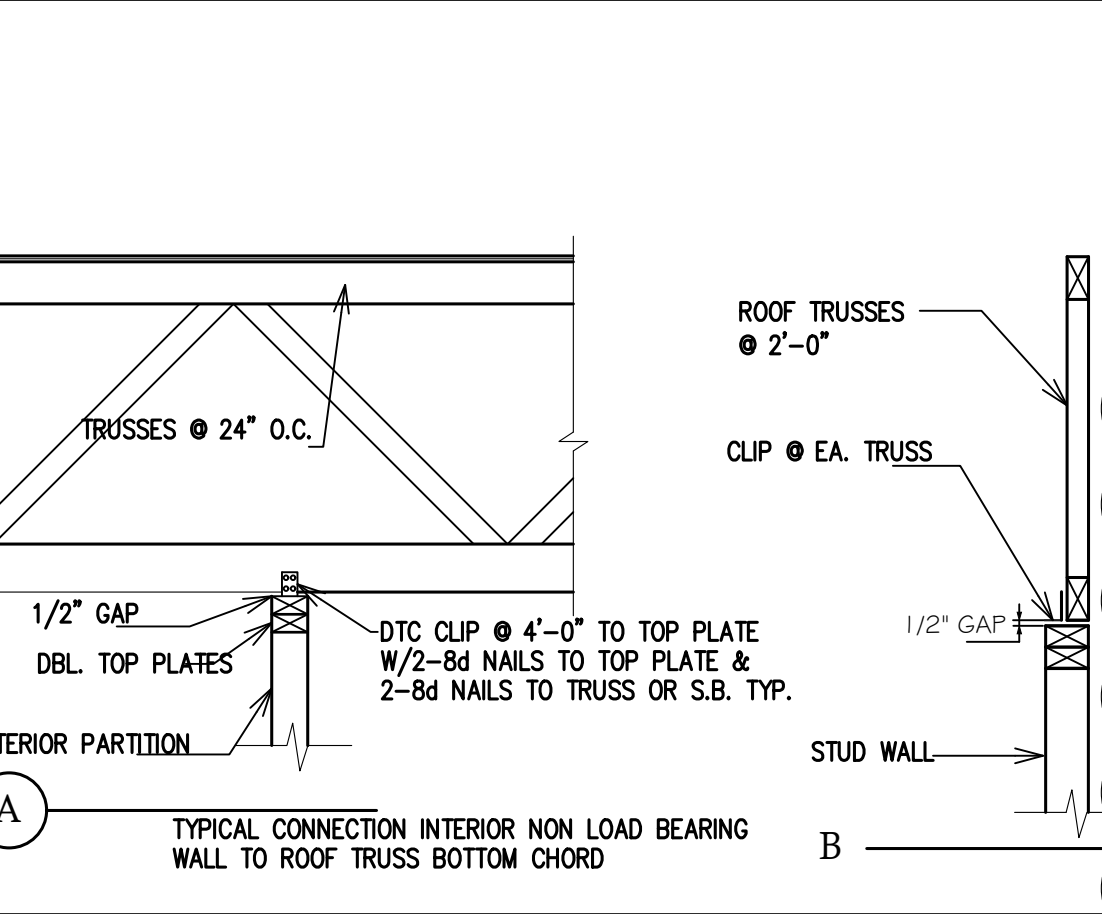
GIRDER TIEDOWN CONNECTION SCALE: 1" = 1'-0" 14



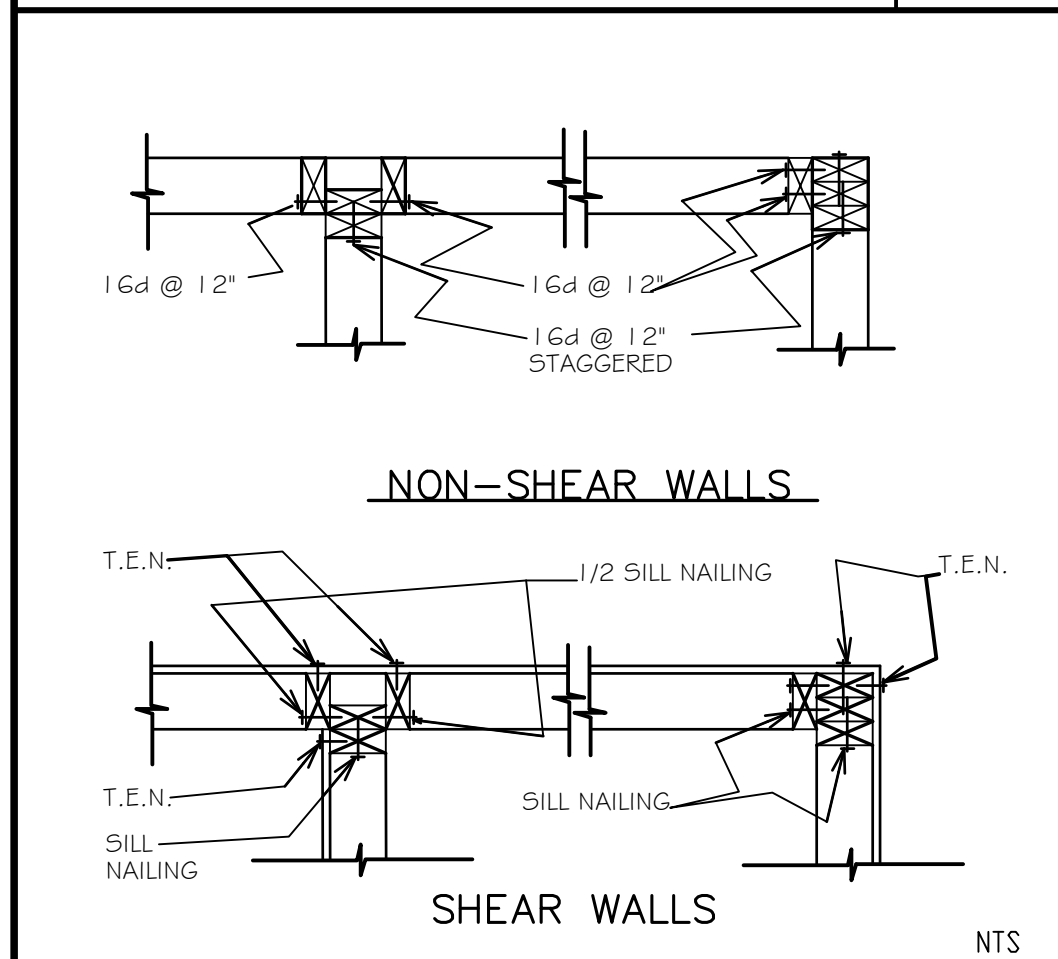
CONNECTION AT TRUSSES SCALE: 1" = 1'-0" 10



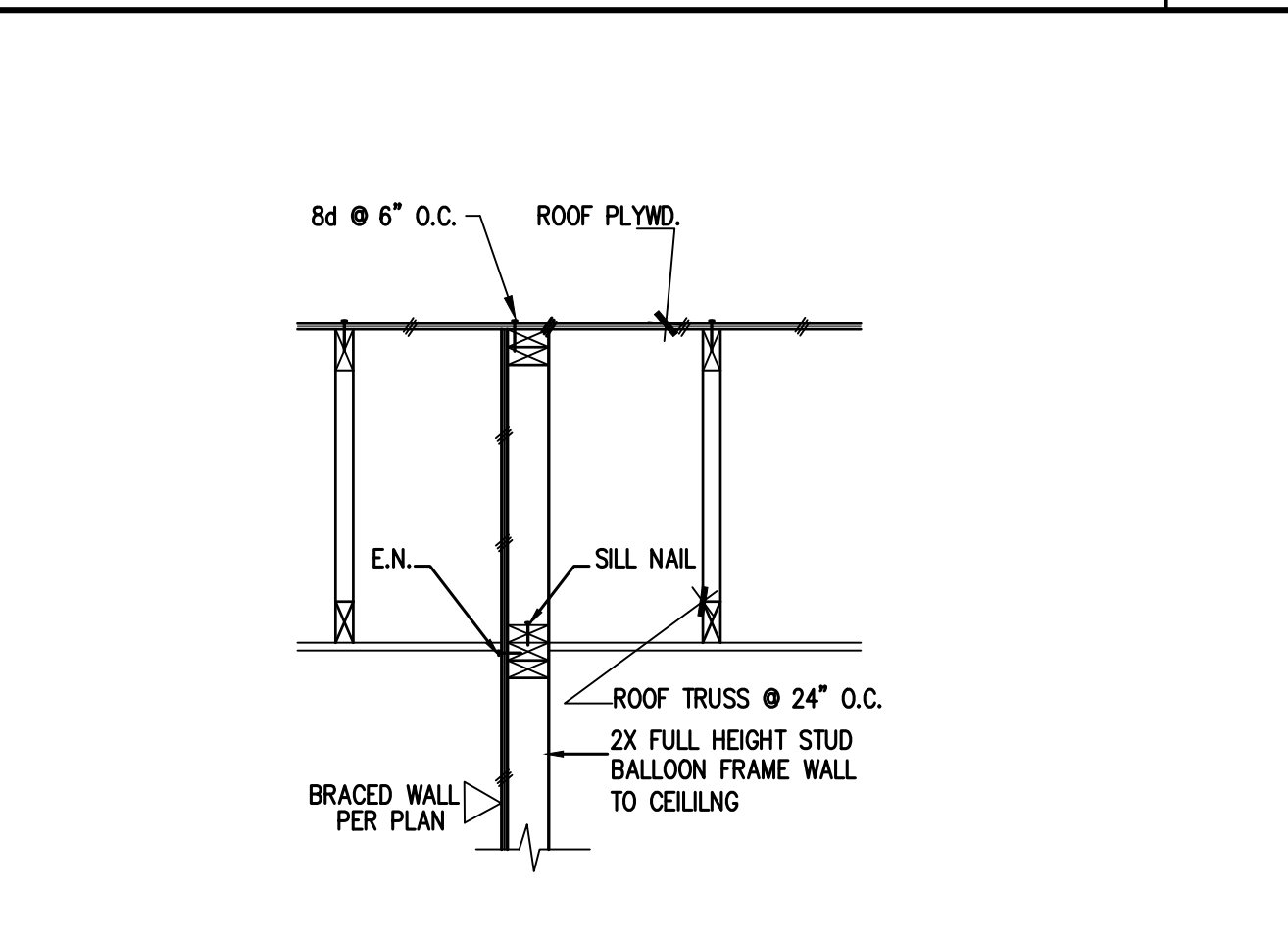
ROOF TRUSS @ SHEAR WALL NTS 6



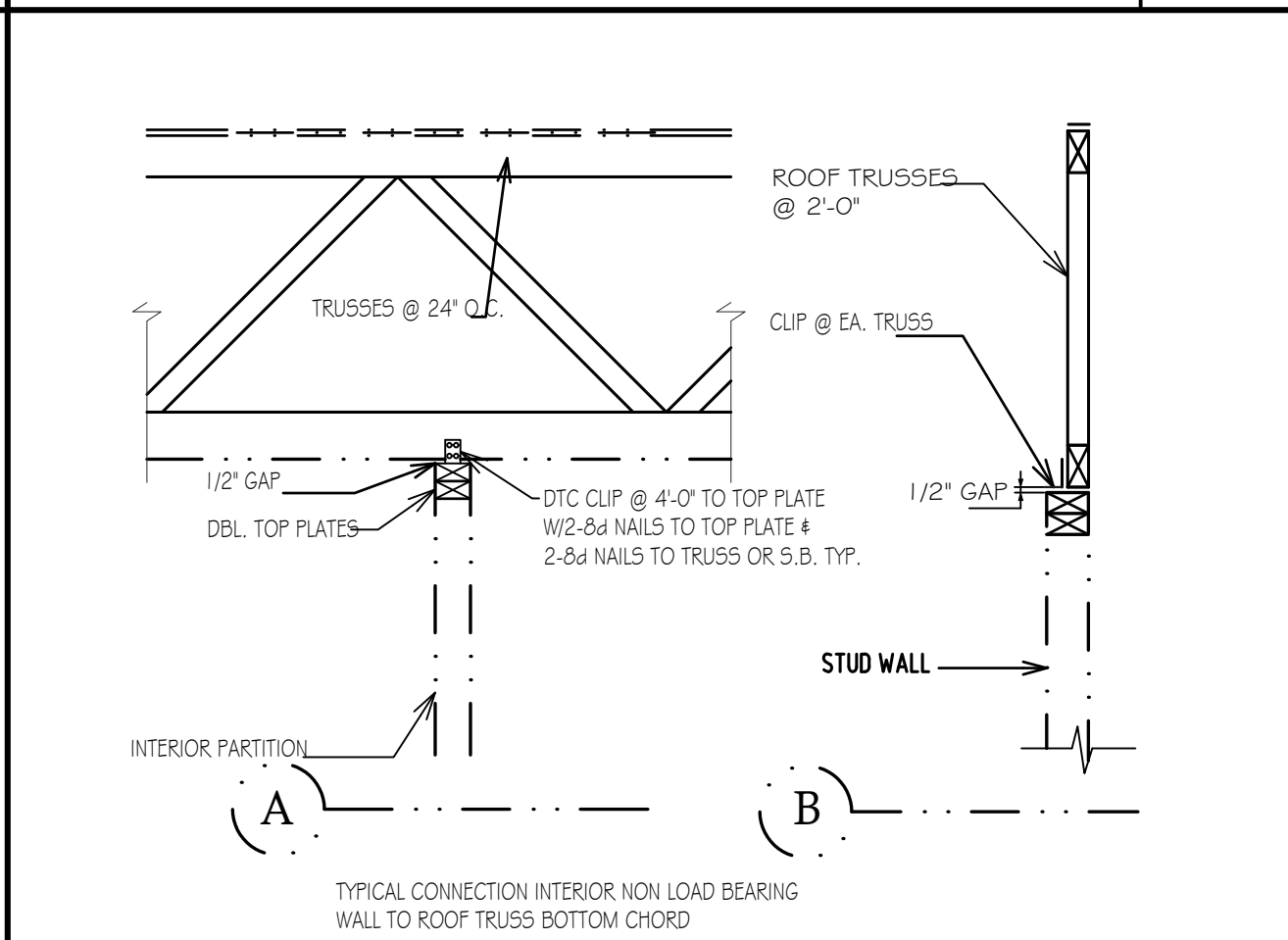
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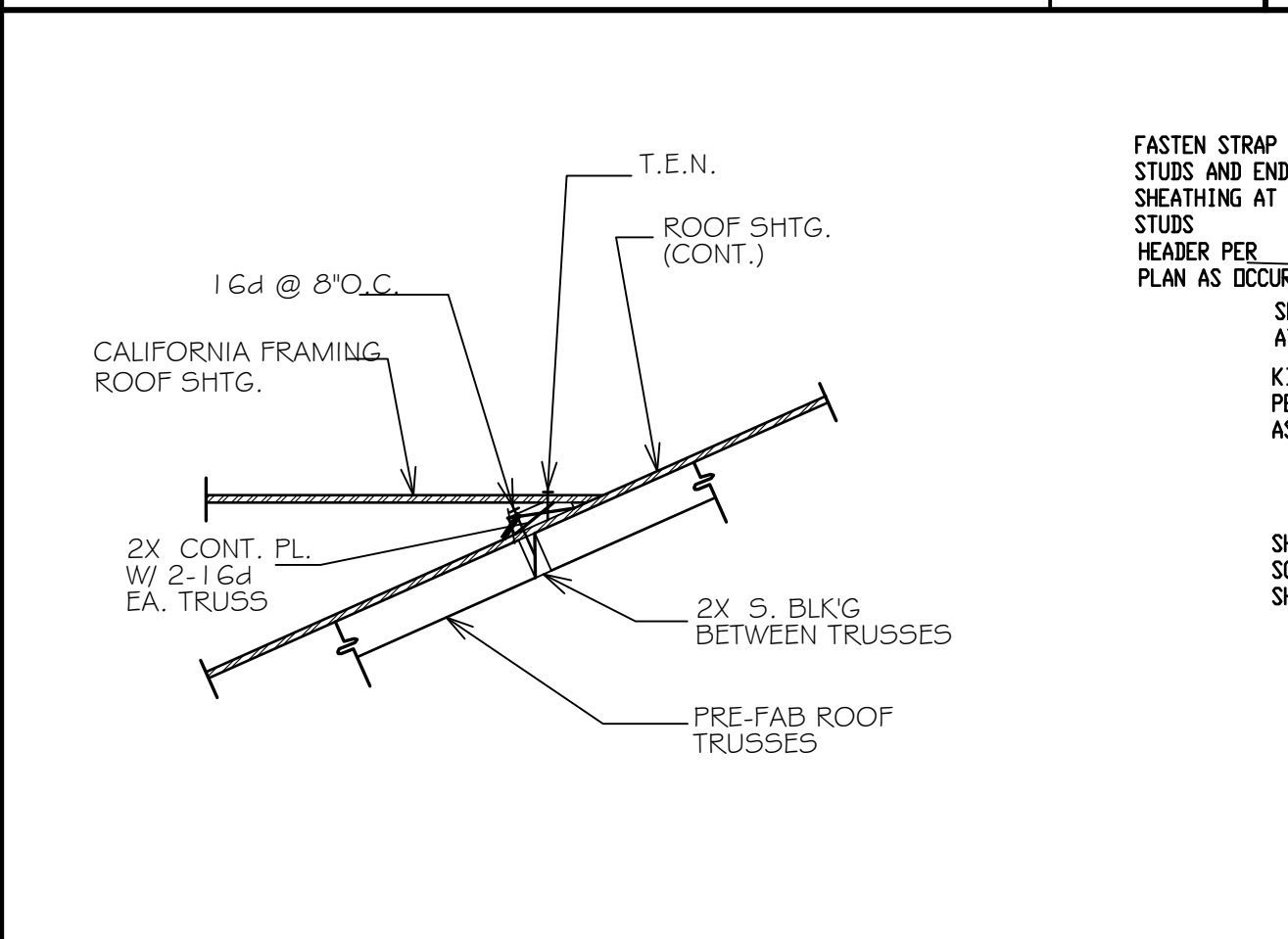
TYP. FRAMING WALL DETAILS 14



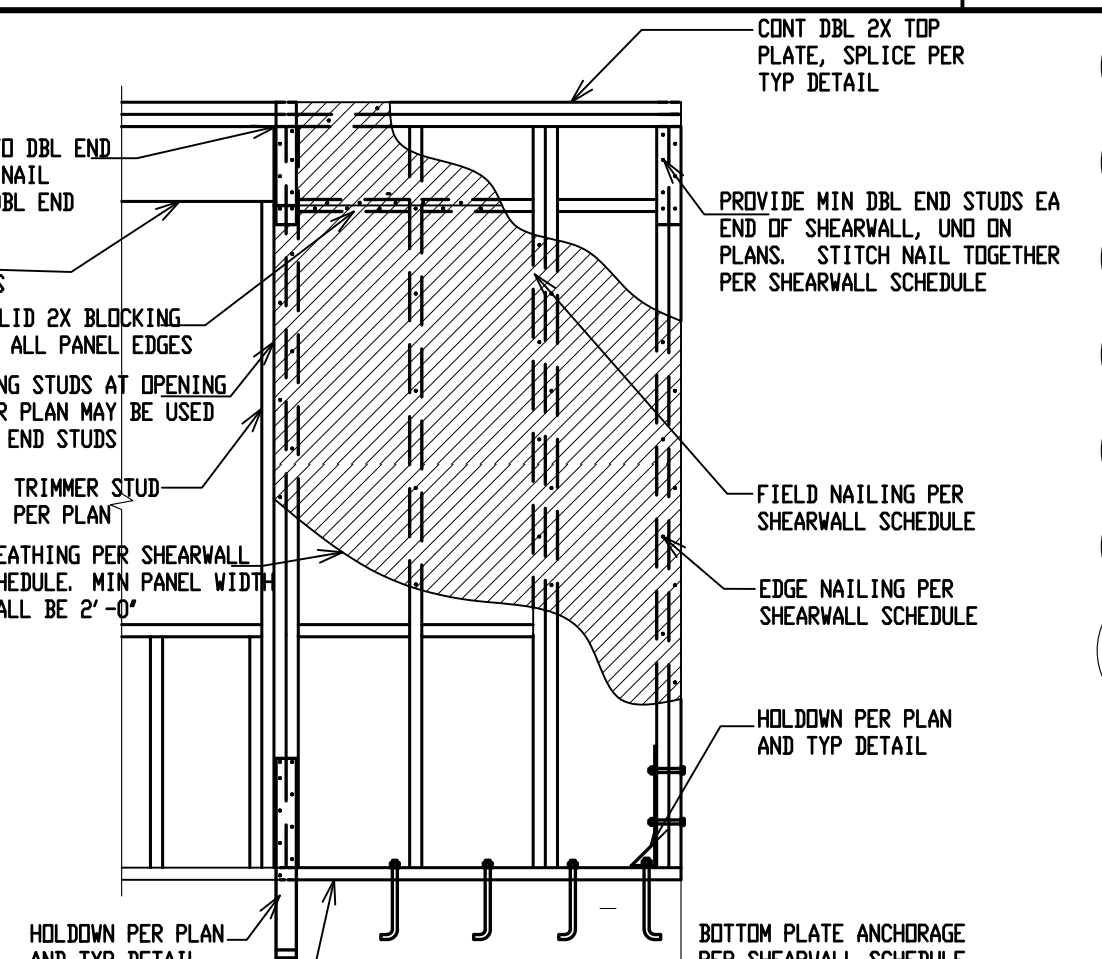
FULL WALL 1" = 1'-0" 15



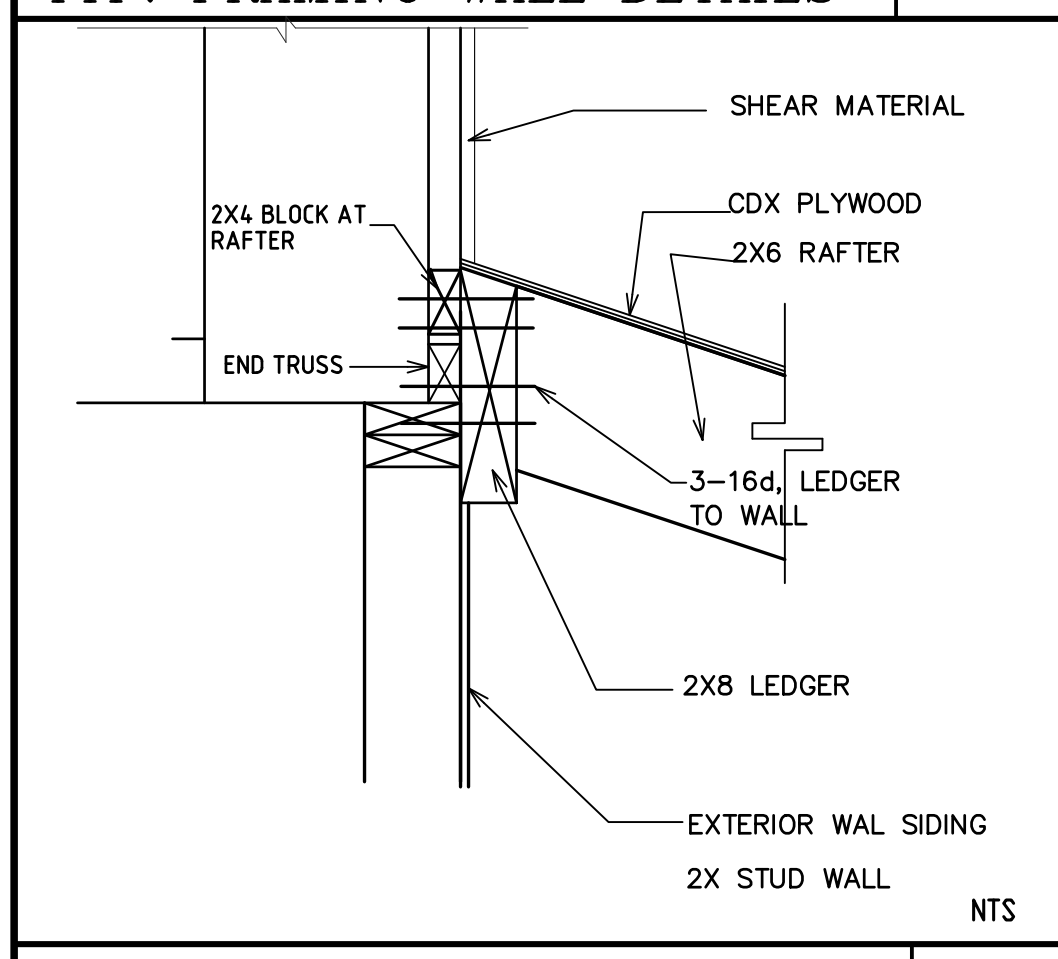
INTERIOR PORTATION DETAIL NTS 11



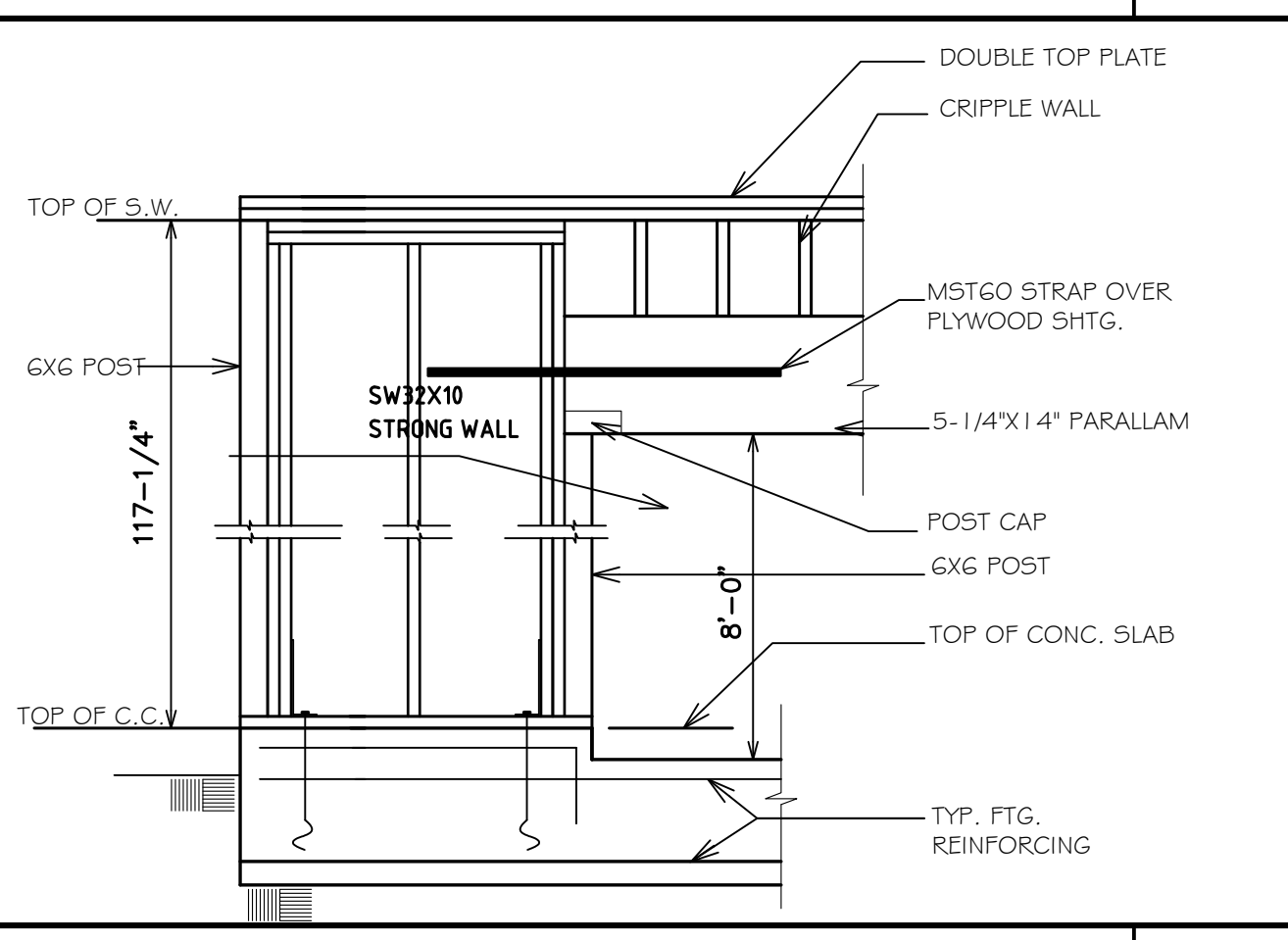
CALIFORNIA FRAMING 7



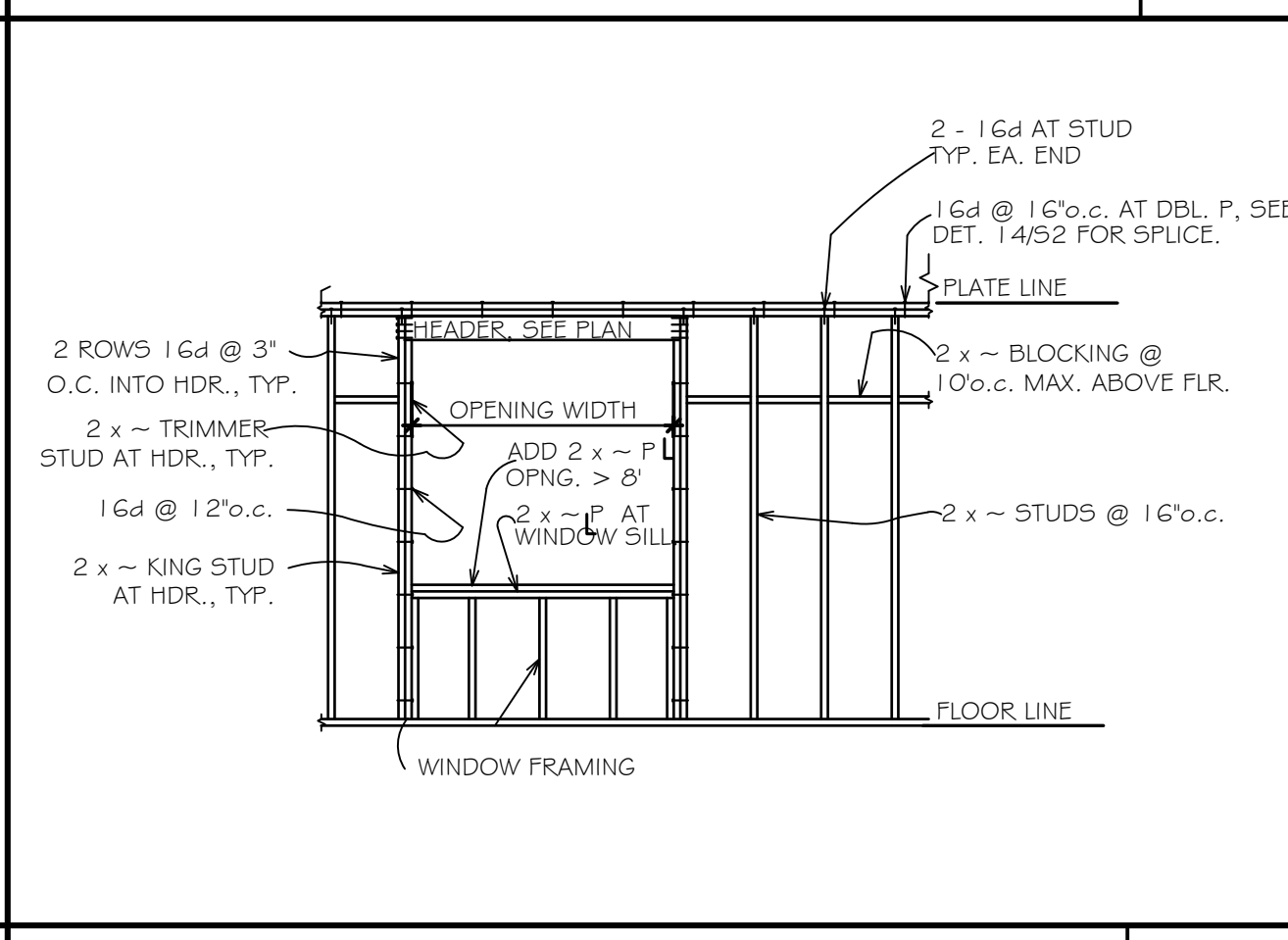
TYP. SHEARWALL CONSTRUCTION NOT TO SCALE 3



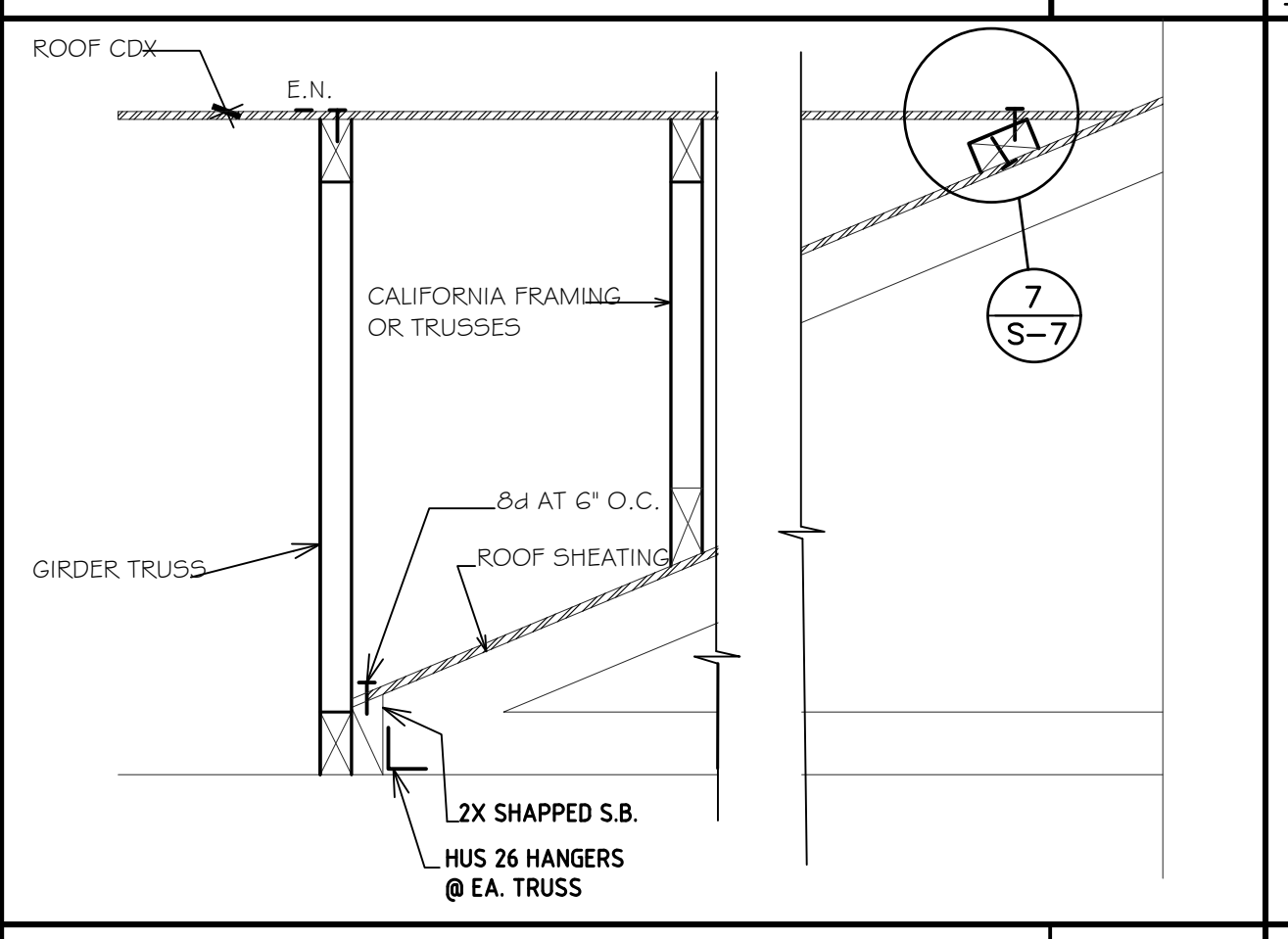
LEDGER CONNECTION @ PORCH 5



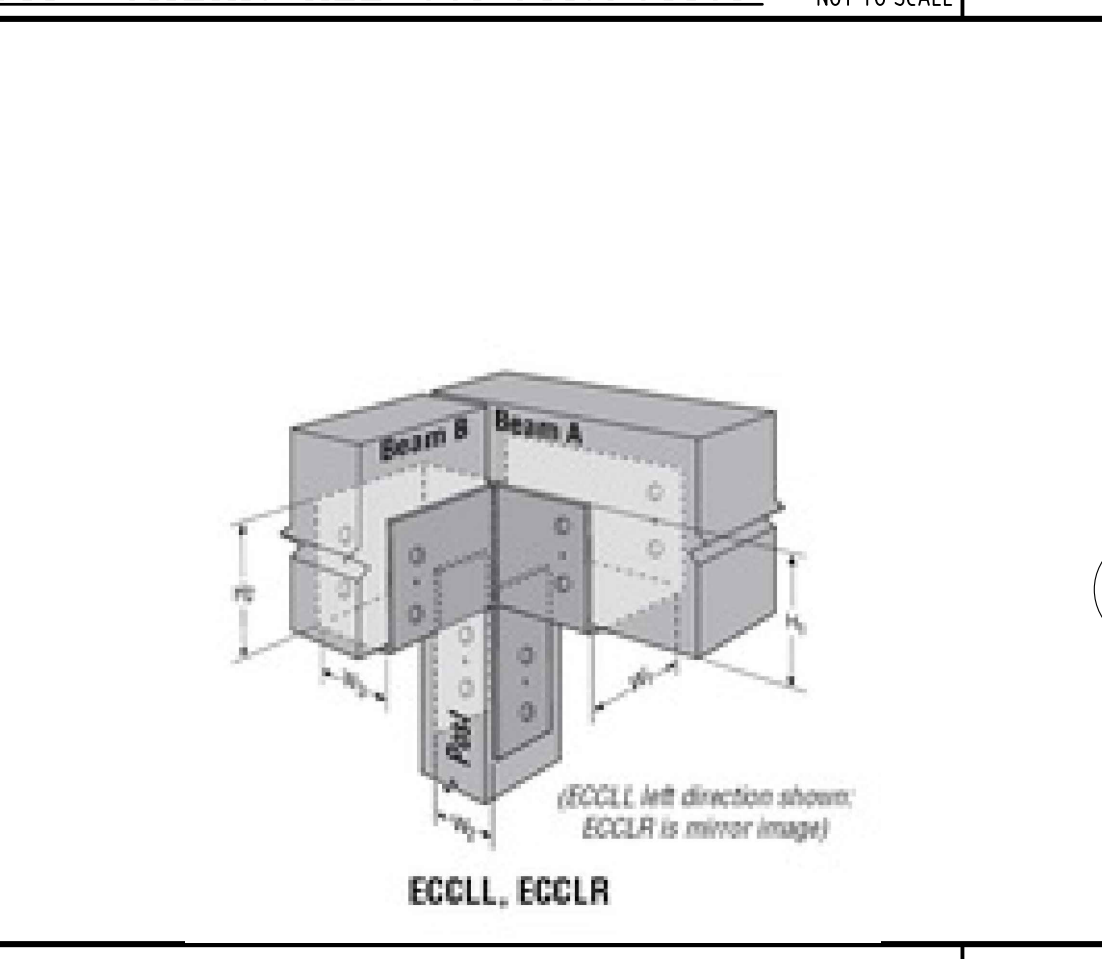
SECTION AT OPENING GARAGE NOT TO SCALE 16



TYPICAL WALL FRAMING 1/4" = 1'-0" 12



SHEAR TRANSFER 1" = 1'-0" 8



POST/BEAM CONNECTION ECCL 46 NTS 4

FLORES DRAFTING SERVICE
 PO. BOX 2252
 Salinas, CA 93902
 Phone: (831) 00-0000
 Cell: (831) 262-3350
 ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juvenio Flores
 JUVENIO FLORES

REVISIONS		
NO.	DESCRIPTION	DATE
1		
2	MONTEREY COUNTY	07/08/2021
3		
4		

WALL & ROOF FRAMING DETAILS
 MR. JUAN ROMERO - NEW RESIDENCE
 128 RODGERS ROAD SALINAS CA 93906
 A.P.N. 253-011-005

OWNER:
 MR. JUAN ROMERO
 128 RODGERS ROAD
 SALINAS CA 93906
 PHONE: (831) 970-5004

DRAWING DATE:
 05/29/2021
 CONSTRUCTION RELEASE
 B21-XXXX
 PROJECT NO:
 137-2020
 SCALE:
 AS NOTED
 DRAWN BY:

SHEET TITLE:
WALL FRAMING DETAILS
 ROOF FRAMING DETAILS
 SHEET:
S-7

CERTIFICATE OF COMPLIANCE
Project Name: Residential Building
Calculation Date/Time: 2022-04-13T18:48:01-07:00
Calculation Description: Title 24 Analysis
CF1R-PRF-01E
(Page 1 of 9)

GENERAL INFORMATION					
01	Project Name	Residential Building			
02	Run Title	Title 24 Analysis			
03	Project Location	128 Rodgers Road			
04	City	Salinas	05	Standards Version	2019
06	Zip code	93906	07	Software Version	EnergyPro 8.3
08	Climate Zone	3	09	Front Orientation (deg/ Cardinal)	125
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	NewConstruction	13	Number of Bedrooms	4
14	Addition Cond. Floor Area (ft²)	0	15	Number of Stories	1
16	Existing Cond. Floor Area (ft²)	n/a	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft²)	6117	19	Glazing Percentage (%)	6.41%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a
22	Is Natural Gas Available?	Yes			

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance
Registration Date/Time: Report Version: 2019.2.000 Schema Version: rev 20200901
HERS Provider: Report Generated: 2022-04-13 18:51:33

CERTIFICATE OF COMPLIANCE
Project Name: Residential Building
Calculation Date/Time: 2022-04-13T18:48:01-07:00
Calculation Description: Title 24 Analysis
CF1R-PRF-01E
(Page 4 of 9)

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)
Front Wall	NewResidence	R-21 Wall	225	Front	755	229	90
Left Wall	NewResidence	R-21 Wall	315	Left	575	16	90
Rear Wall	NewResidence	R-21 Wall	45	Back	755	158	90
Right Wall	NewResidence	R-21 Wall	135	Right	575	118.35	90
Roof	NewResidence	R-30 Roof Attic R-15	n/a	n/a	4341.25	n/a	n/a

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic NewResidence	Attic Roof/NewResidence	Ventilated	5	0.1	0.85	No	No

FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor SHGC	SHGC	Sourc e	Exterior Shading
Window	Window	Front Wall	Front	225	1	175	0.3	NFRC	0.23	NFRC			Bug Screen
Window 2	Window	Left Wall	Left	315	1	16	0.3	NFRC	0.23	NFRC			Bug Screen
Window 3	Window	Rear Wall	Back	45	1	116	0.3	NFRC	0.23	NFRC			Bug Screen
Window 4	Window	Right Wall	Right	135	1	85	0.3	NFRC	0.23	NFRC			Bug Screen

OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Door	Front Wall	54	0.5

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance
Registration Date/Time: Report Version: 2019.2.000 Schema Version: rev 20200901
HERS Provider: Report Generated: 2022-04-13 18:51:33

CERTIFICATE OF COMPLIANCE
Project Name: Residential Building
Calculation Date/Time: 2022-04-13T18:48:01-07:00
Calculation Description: Title 24 Analysis
CF1R-PRF-01E
(Page 7 of 9)

SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	Setback	New	NA	1	1

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-92.1

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	1	n/a	n/a	Not Zonal	Single Speed	n/a

HVAC - DISTRIBUTION SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Type	Design Type	Duct Ins. R-value	Duct Location	Supply	Return	Supply	Return	Supply	Return	HERS Verification
Air Distribution System 1	Unconditioned attic	Non-Verified	R-8	R-8	Attic	Attic	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 1-hers-dist

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance
Registration Date/Time: Report Version: 2019.2.000 Schema Version: rev 20200901
HERS Provider: Report Generated: 2022-04-13 18:51:33

CERTIFICATE OF COMPLIANCE
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ENERGY DESIGN RATING				
	Energy Design Ratings		Compliance Margins	
	Efficiency ¹ (EDR)	Total ² (EDR)	Efficiency ³ (EDR)	Total ³ (EDR)
Standard Design	45.5	29.1		
Proposed Design	42.9	26.5	2.6	2.6

RESULT: ³ COMPLIES

1: Efficiency EDR includes improvements to the building envelope and more efficient equipment
2: Total EDR includes efficiency and demand response measures such as photovoltaic (PV) systems and batteries
3: Building complies when efficiency and total compliance margins are greater than or equal to zero

- Standard Design PV Capacity: 3.56 kWdc
- Proposed PV kWh output exceeds proposed electricity use by 1.1kWh which may violate NEM rules. Contact local utility.
- PV System resized to 3.56 kWdc (a factor of 3.562) to achieve 'Standard Design PV' PV scaling

ENERGY USE SUMMARY				
Energy Use (kTWD/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	25.73	23.83	1.9	7.4
Space Cooling	0	0	0	0
IAQ Ventilation	2.91	2.91	0	0
Water Heating	4.85	3.58	1.27	26.2
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	33.49	30.32	3.17	9.5

REQUIRED PV SYSTEMS - SIMPLIFIED											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
3.56	NA	Standard	Fixed	none	true	150-270	n/a	n/a	<=7:12	96	98

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OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Door 2	Rear Wall	42	0.5
Door 3	Right Wall	33.35	0.5

SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab	NewResidence	6117	266	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	None / None	0.069	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: 3 Coat Stucco
Attic RoofNewResidence	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-0	None / R-15	0.06	Roofing: Light Roof (Asphalt Shingle) Above Deck Insulation: R-15 Sheathing Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x4
R-30 Roof Attic R-15	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

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HVAC DISTRIBUTION - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 1-hers-dist	Yes	5.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	n/a

IAQ (INDOOR AIR QUALITY) FANS						
01	02	03	04	05	06	07
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness - SRE	IAQ Recovery Effectiveness - ASRE	HERS Verification
SFam IAQVentRpt	208	0.35	Exhaust	n/a	n/a	Yes

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REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
• Ducts with high level of insulation
• Insulation above roof deck

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Building-level Verifications:
• Quality insulation installation (QII)
• Indoor air quality ventilation
• Kitchen range hood
Cooling System Verifications:
• None --
Heating System Verifications:
• None --
HVAC Distribution System Verifications:
• Duct leakage testing
Domestic Hot Water System Verifications:
• None --

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	6117	1	4	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
NewResidence	Conditioned	HVAC System1	6117	10	DHW Sys 1	N/A

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BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS						
01	02	03	04	05	06	07
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a

WATER HEATERS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition
DHW Heater 1	Gas	Commercial Storage	1	80	0.98-TE	> 130 kBTU/hr	0	0.001000	n/a	n/a	n/a

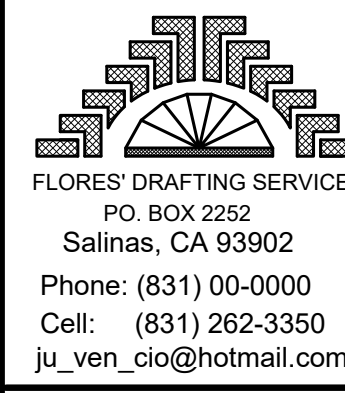
WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name:	Documentation Author Signature: <i>Victor Culin</i>
Company: Victor Culin	Signature Date: 4/13/2022
Address: 119 Central Ave	CEA/HERS Certification Identification (if applicable):
City/State/Zip: Salinas, CA 93901	Phone:
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.	
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.	
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Juvencio Flores	Responsible Designer Signature: <i>Juvencio Flores</i>
Company: Flores Drafting Service	Date Signed:
Address: 117 Paraja Street	License: Designer
City/State/Zip: Salinas, CA 93901	Phone: 831-262-3350

Registration Number: CA Building Energy Efficiency Standards - 2019 Residential Compliance
Registration Date/Time: Report Version: 2019.2.000 Schema Version: rev 20200901
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DESIGNER'S SIGN
Juvencio Flores
JUVENCIO FLORES

REVISIONS		
NO.	DESCRIPTION	DATE
1	BUILDING IPT, MONTEREY COUNTY	08/22/2022
2	MONTEREY COUNTY	07/08/2022

ENERGY REPORT
MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER:
MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE:(831) 970-5004

DRAWING DATE:
05/29/2021
CONSTRUCTION RELEASE
B21-XXXX

PROJECT NO:
137-2020
SCALE:
AS NOTED

DRAWN BY:
JUVENCIO FLORES

SHEET TITLE:
ENERGY REPORT

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BUILDING ENERGY ANALYSIS REPORT

PROJECT: New Residence
128 Rodgers Road
Salinas, CA 93906
Project Designer: Flores Drafting Service
117 Parajo Street
Salinas, CA 93901
831-262-3350
Report Prepared by: Victor Cuin
119 Central Ave
Salinas, CA 93901
Job Number: 128 Rogers Road
Date: 4/13/2022

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report.

This program developed by EnergySoft Software - www.energysoft.com.

2019 Low-Rise Residential Mandatory Measures Summary

- 150.0(h)3A: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
150.0(h)3B: Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
150.0(i): Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

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RESIDENTIAL MEASURES SUMMARY RMS-1

Project Name: New Residence
Project Address: 128 Rodgers Road Salinas
INSULATION: Construction Type, Cavity, Area (ft²), Special Features, Status
FENESTRATION: Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidesins, Exterior Shades, Status
HVAC SYSTEMS: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status
HVAC DISTRIBUTION: Location, Heating, Cooling, Duct Location, Duct R-Value, Status
WATER HEATING: Qty, Type, Gallons, Min. Eff, Distribution, Status

2019 Low-Rise Residential Mandatory Measures Summary

- 110.6(a): Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AIAA/INDOORS/CA 1018 S-2 (2006-2011).
110.6(a)(1): Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 110.6(a)(1).
110.6(b): Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or J44.5 for exterior doors. They must be caulked and/or weather-stripped.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: New Residence
Date: 4/13/2022
System Name: HVAC System
Floor Area: 6,117
ENGINEERING CHECKS: Number of Systems, Heating System, Cooling System, Air System
SYSTEM LOAD: COIL COOLING PEAK, COIL HTG. PEAK, Return Vented Lighting, Return Air Ducts, Ventilation, Supply Fan, Supply Air Ducts
TOTAL SYSTEM LOAD: 29,727, 2,716, 42,217
HVAC EQUIPMENT SELECTION: Carrier 595CC060S14-12, Airflow (cfm), Airflow (cfm/ton)
TOTAL ADJUSTED SYSTEM OUTPUT: 55/54 °F

2019 Low-Rise Residential Mandatory Measures Summary

- 150.0(o): Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)(1).
150.0(o)(1C): Single Family Detached Dwelling Units. Single family detached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided as follows determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)(1C).
150.0(o)(1E): Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system.

2019 Low-Rise Residential Mandatory Measures Summary

- 150.0(k)(2G): Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it provides functionality of the specified control according to § 110.9, meets the installation Certificate requirements of § 130.4, meets the EMCS requirements of § 130.0(e), and meets all other requirements in § 150.0(k).
150.0(k)(2H): Interior Switches and Controls. A multisense programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k).
150.0(k)(2I): Interior Switches and Controls. In bedrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor providing automatic-off functionality.

FLORES DRAFTING SERVICE
PO. BOX 2262
Salinas, CA 93902
Phone: (831) 00-0000
Cell: (831) 262-3350
ju_ven_cio@hotmail.com

DESIGNER'S SIGN
Juvenico Flores

REVISIONS
NO. DESCRIPTION DATE

1 BUILDING DEPT. MONTEREY COUNTY 08/22/2022
2 MONTEREY COUNTY 07/08/2024

ENERGY REPORT
MR. JUAN ROMERO NEW RESIDENCE
128 RODGERS ROAD SALINAS CA 93906
A.P.N. 253-011-005

OWNER: MR. JUAN ROMERO
128 RODGERS ROAD
SALINAS CA 93906
PHONE: (831) 970-5004

DRAWING DATE: 05/29/2021
CONSTRUCTION RELEASE: B21-XXXX
PROJECT NO.: 137-2020
SCALE: AS NOTED

DRAWN BY: JUVENICO FLORES
SHEET TITLE: ENERGY REPORT
SHEET: EN-2