

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCEL A [MONTEREY COUNTY]



HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

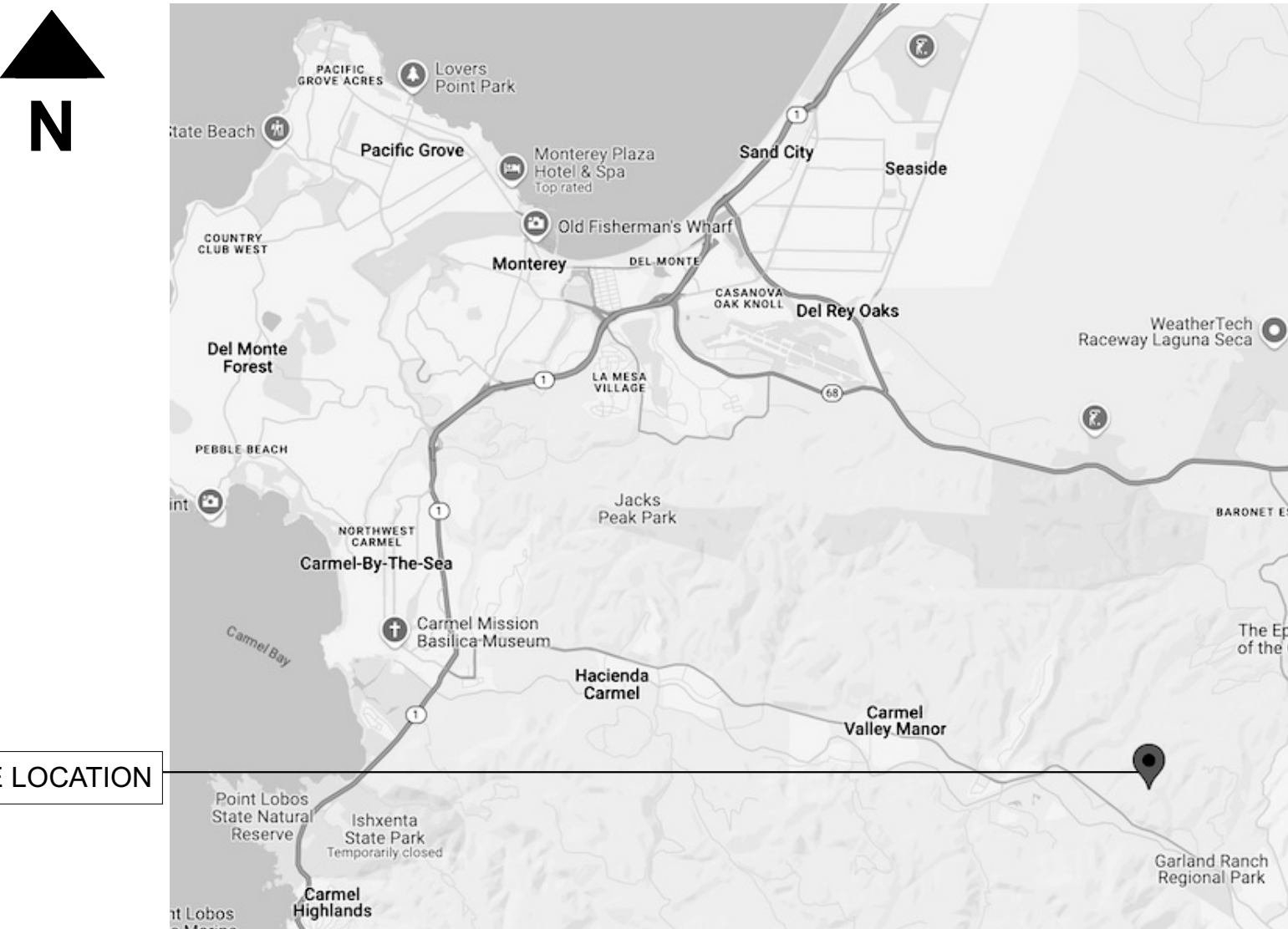
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

CONSTRUCTION PLAN SUMMARY

1. THE PROPOSED PROJECT IS A SFR NEW BUILD THAT IS TO BE COMPLETED IN A TIME FRAME OF 24 MONTHS.
2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF 6 TO 8 WORKERS WORKING ON THE PROJECT PER WORKING DAY.
3. PARTIES RESPONSIBLE DURING CONSTRUCTION:
A. OWNER: CHAD & AVERY ULLMAN
B. CONTRACTOR: LEWIS BUILDERS
4. ON AVERAGE, TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK.
5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
6. PROJECT SCHEDULING: START AUGUST 2025 END AUGUST 2027.
7. WASTE TO BE HAULED TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT LANDFILL IN MARINA.

SPECIAL WORK GUIDELINES

VICINITY MAP



WATER CREDITS

MPWMD PERMIT FOR SECOND WELL APPROVED
SEE MPWMD WORKSHEET ON SHEET A-N.2

FIRE SPRINKLERS

SPRINKLERS ARE REQUIRED (NEW BUILD)
FIRE RISER, ALARM, AND CHECK VALVE REQUIRED
TWO (2) 5,000 GALLON TANKS REQUIRED FOR FIRE SUPPRESSION

ZONING CONFORMANCE

RESIDENCE (P) 5,620 SF
GARAGE (P) 995 SF
ADU (P) 750 SF LIMIT IS 1,200 SF
BARN (P) 4,800 SF
TOTAL BUILDINGS (P) 12,165 SF LIMIT IS 784,080 SF
TOTAL PARCEL 3,288,605 SF (74.496 ACRES)
SITE BUILDING COVERAGE RATIO (P) 0.37% LIMIT IS 25% (784,080 SF)

MAIN: (MIN DISTANCE TO 2ND RESIDENCE = 20')
SETBACKS: FRONT - 30', SIDE & REAR - 20' :: HEIGHT = 30'
HABITABLE ACCESSORY: (MIN DISTANCE TO MAIN - 10')
SETBACKS: FRONT - 50', SIDE & REAR 6' :: HEIGHT - 15'
NON-HABITABLE ACCESSORY: (MIN DISTANCE TO ACCESSORY - 6')
SETBACKS: FRONT - 50' OR BEHIND MAIN, FRONT HALF SIDE - 6', REAR HALF SIDE & REAR - 1' :: HEIGHT - 15'
BARN: (MIN DISTANCE TO MAIN - 20')
SETBACKS: FRONT - 50' OR BEHIND MAIN, SIDE & REAR 20'
ADU:
SETBACKS: FRONT - 50', SIDE & REAR - 4'
CARMEL VALLEY MASTER PLAN:
100' SETBACK FROM CARMEL VALLEY ROAD WHERE APPLICABLE(SEE POLICY 40.2.1.1(CV))

CONTACT INFO

LEGAL OWNER	APPLICANT / DESIGNER
ERIC J. REY <i>on behalf of</i> CHAD & AVERY ULLMAN 3 HOLDING FIELD RUN, CARMEL, CA 93923	LEWIS BUILDERS 3706 THE BARNYARD G-11 CARMEL, CA (831) 250-7168
ENGINEER OF RECORD	ENERGY COMPLIANCE
TBD	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 831.372.8328 cad@meg4.com

SITE DETAILS

LAND USE: SINGLE FAMILY RESIDENTIAL
ZONING: LDR/2.5-D-S-RAZ & RDR/10-D-S-RAZ
SITE AREA: 74.496 ACRES (3,288,605 SF)
YEAR BUILT: NEW BUILD
OCCUPANCY TYPE: R-3
CONSTRUCTION TYPE: V-B
SPRINKLED: YES
STORIES: ONE (RESIDENCE), TWO (GARAGE/ADU)
TOTAL BUILDINGS: 12,085 SF
HOUSE: 5,620 SF
GARAGE: 995 SF
ADU: 750 SF
BARN: 4,800 SF
JURISDICTION: MONTEREY COUNTY
FIRE DISTRICT: MONTEREY COUNTY REGIONAL FD
WATER: WELL (MPWMD), SMALL WATER SYSTEM
(4 CONNECTIONS) NAMED 'QUINTANA #7 (REY)'
SEWER: SEPTIC
ELECTRICITY/GAS: OFF-GRID WITH PG&E TRENCHING
SOILS REPORT: YES
HISTORIC BLDG: N/A
ARCHEOLOGY: YES, HIGH/MODERATE
FLOODPLAIN: FEMA ZONE 'X'
WUI ZONE: YES, VERY HIGH
EASEMENTS: YES
ENCROACHMENT: NO
NON-CONFORMING: NO
VARIANCE: NO
PARCEL DIVISION: YES, IN PROGRESS
VISUAL SENSITIVITY: NO, PER SENIOR PLANNER (LUIS OSORIO)

BUILDING CODES

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING:

- o CALIFORNIA BUILDING CODE 2024
- o CALIFORNIA RESIDENTIAL CODE 2024
- o CALIFORNIA MECHANICAL CODE 2024
- o CALIFORNIA PLUMBING CODE 2024
- o CALIFORNIA ELECTRICAL CODE 2024
- o CALIFORNIA FIRE CODE 2024
- o CALIFORNIA ENERGY CODE 2024
- o CALIFORNIA GREEN BUILDING STANDARDS CODE 2024
- o MONTEREY COUNTY CODE AMENDMENTS 2024

EASEMENTS

1. A RIGHT OF WAY FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 13, PAGE 434 OF DEEDS, RECORDED MARCH 31, 1887.
2. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 27, PAGE 335 OF DEEDS, RECORDED APRIL 3, 1890.
3. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF MONTEREY WATER WORKS PER VOLUME 93, PAGE 68 OF DEEDS, RECORDED JULY 5, 1906 AND VOLUME 156, PAGE 392 OF DEEDS, RECORDED MARCH 23, 1918.
4. A BLANKET UTILITY EASEMENT FOR THE BENEFIT OF PACIFIC GAS AND ELECTRIC AS RECORDED AUGUST 29, 2003 AS DOCUMENT 2003105560 OF OFFICIAL RECORDS.
5. EQUESTRIAN TRAIL EASEMENTS ARE NOT SHOWN.
6. UTILITY EASEMENTS SET DURING PARCEL DIVISION, 2025.

NOTES

SUBDIVISION OF PARCEL HAS BEEN RECORDED AT TIME OF SUBMITTAL, NEW OWNERSHIP WILL BE REFLECTED BY JANUARY 2025.

DEFERRED SUBMITTAL

PLANNING
LANDSCAPE & IRRIGATION PLAN
LANDSCAPE WATER USE CALCULATION

BUILDING
FIRE SUPPRESSION
FAU MODEL, BTU, PIPE SIZE & LENGTHS
RADIANT MODEL, BTU, PIPE SIZE & LENGTHS
GAS SCHEMATIC
GAS PIPE SIZE & LENGTHS
PLUMBING SCHEMATIC
PLUMBING PIPE SIZE & LENGTHS
GENERATOR DECIBEL TESTING

PROJECT DESCRIPTION

PLANNING
*SUBDIVISION OF PARCEL COMPLETED - PROPERTY MARKED AS PARCEL 'A'
NEW ONE-STORY 5,620 SF SINGLE FAMILY RESIDENCE
TWO STORY, 995 SF GARAGE WITH 750 SF ADU ON 2ND FLOOR
4,800 SF BARN
UNCOVERED ROPING ARENA
UNCOVERED SPORT COURT
REAR HARDSCAPE AND POOL
GROUND MOUNTED PHOTOVOLTAIC ARRAY

TREE REMOVAL
NONE

BUILDING
SPRINKLERS ARE REQUIRED
BURY PG&E LINES TO HOUSE
PROPERTY TO BE SERVICED BY NEW WELL (APPROVED)
SOLAR ARRAY GROUND INSTALLATION, BATTERIES & GENERATOR, LOCATION TBD
TWO (2) 5,000 WATER TANKS FOR FIRE SUPPRESSION
ONE (1) 5,000 WATER TANK FOR HOUSE SUPPLY

PAGE INDEX

A-0 COVER: PROJECT DATA
A-1 SITE SURVEY
A-2 HOUSE FLOOR PLANS
A-2.2 BARN PLAN & MATERIALS
A-3.1 EXTERIOR ELEVATIONS & MATERIALS
A-4.1 ROOF PLAN
F-1.1 FINISH MATERIALS
L-1.1 LANDSCAPE PLAN
L-1.2 LANDSCAPE LIGHTING & DETAILS
A-3.2 EXTERIOR ELEVATIONS: SIDES
A-5.1 DOOR SCHEDULE
A-5.2 WINDOW SCHEDULE

A-0

VERSION: 1.0

DATE: 2/7/25

PLANNING

COVER: PROJECT DATA

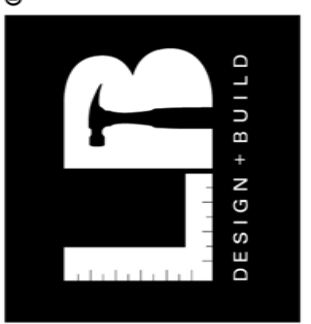
ULLMAN RESIDENCE

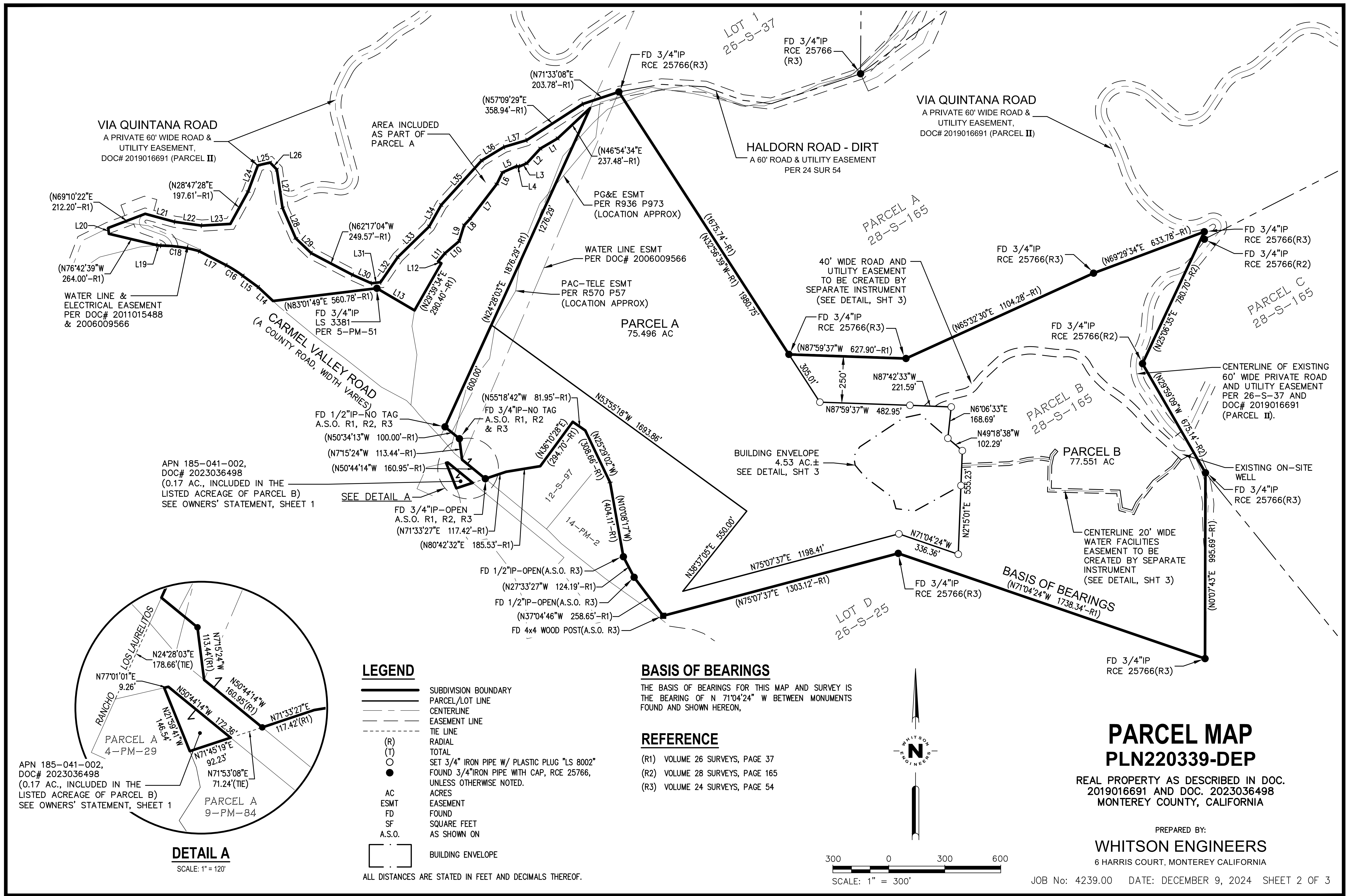
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCEL A

STAMP/SIGNATURE

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF LEWIS BUILDERS. THESE PAGES ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ANY REPRODUCTION OR COPIING OF THESE PAGES WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS IS A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. IF ANY PART OF THESE PAGES IS REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS, THE REPRODUCER OR COPIER SHALL BE LIABLE FOR ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS, THAT MAY BE INCURRED BY LEWIS BUILDERS IN ENFORCEMENT OF THIS NOTICE.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





FLOOR PLAN NOTES

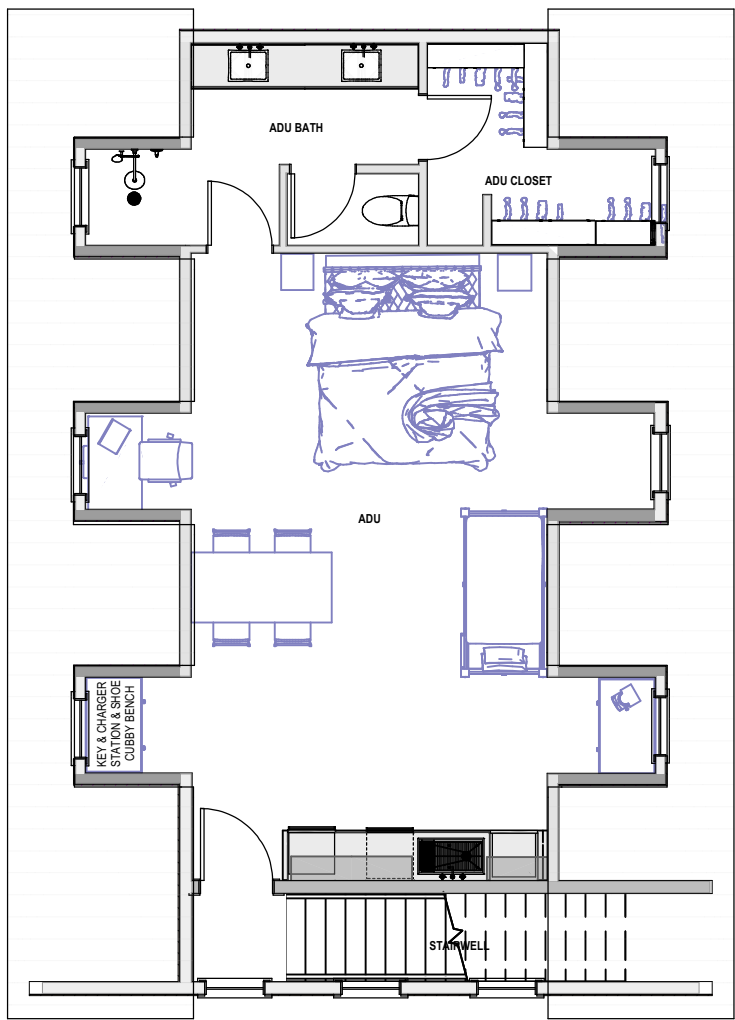
- 1 ALL NEW STUDS @ 16" OC.
2 GLASS SHOWER WALL NOTES
2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.
2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2 "AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 " UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6.
2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.
2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN.
2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

STAIRS AND GUARDRAILS

- STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7]
A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2]
B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]
C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

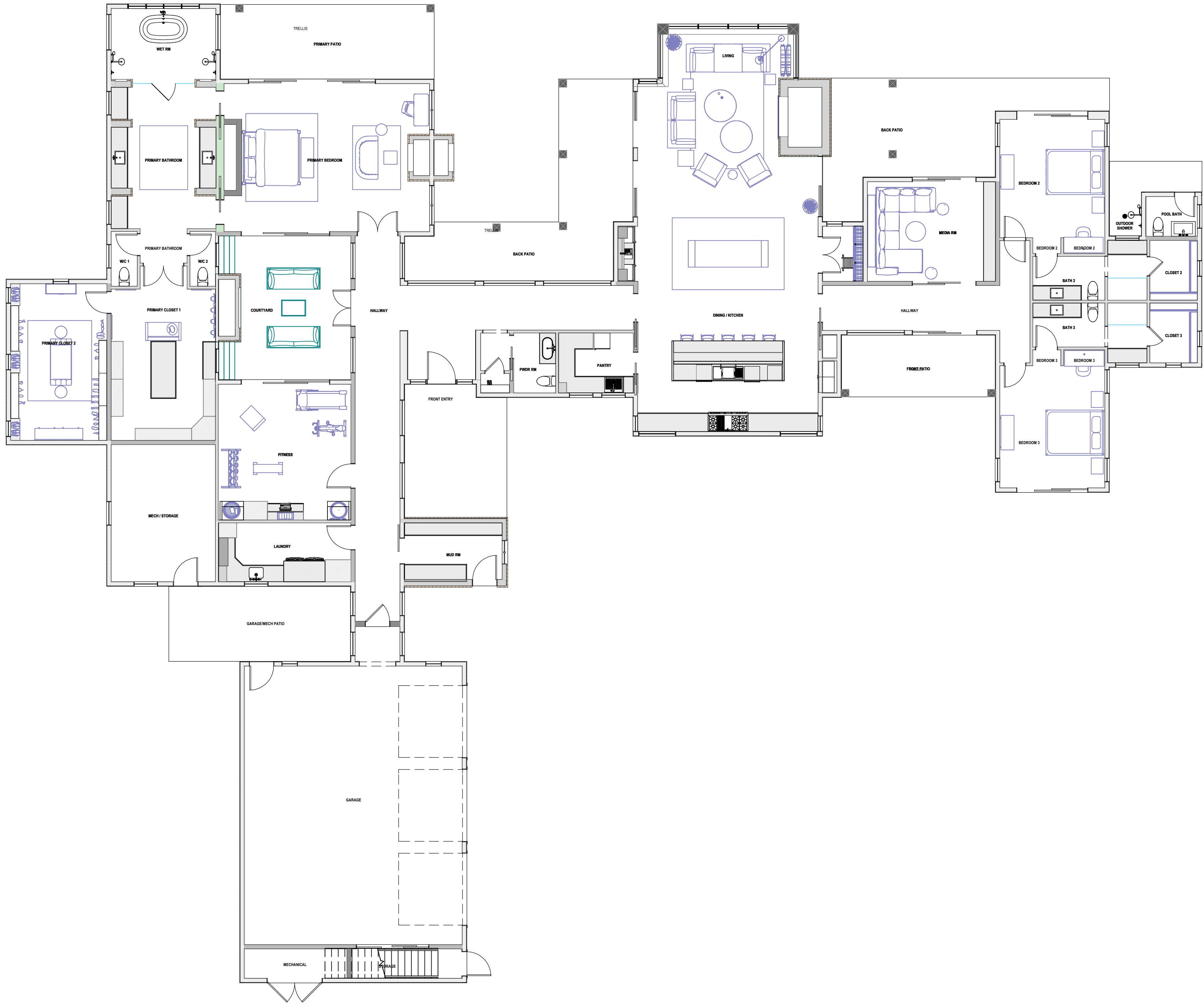
- MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2]
B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2]
C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]
D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

- UNDERSTAIR AREAS:
A) HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7
B) AREAS CONTAINING APPLIANCES, AREA REQUIRES 5/8 TYPE 'X' 1 HR FIRE RATED GYPSUM



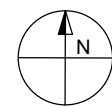
PROPOSED UPPER FLOOR PLAN (ADU)

SCALE: 1/8"=1'



PROPOSED MAIN FLOOR PLAN

SCALE: 1/8"=1'



A-2.1

VERSION: 1.0

DATE: 2/7/25

PLANNING

HOUSE FLOOR PLANS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

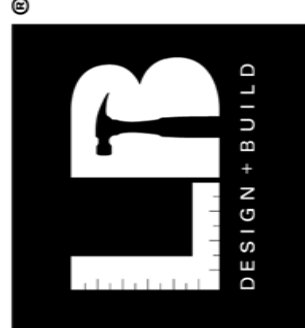
ULLMAN RESIDENCE

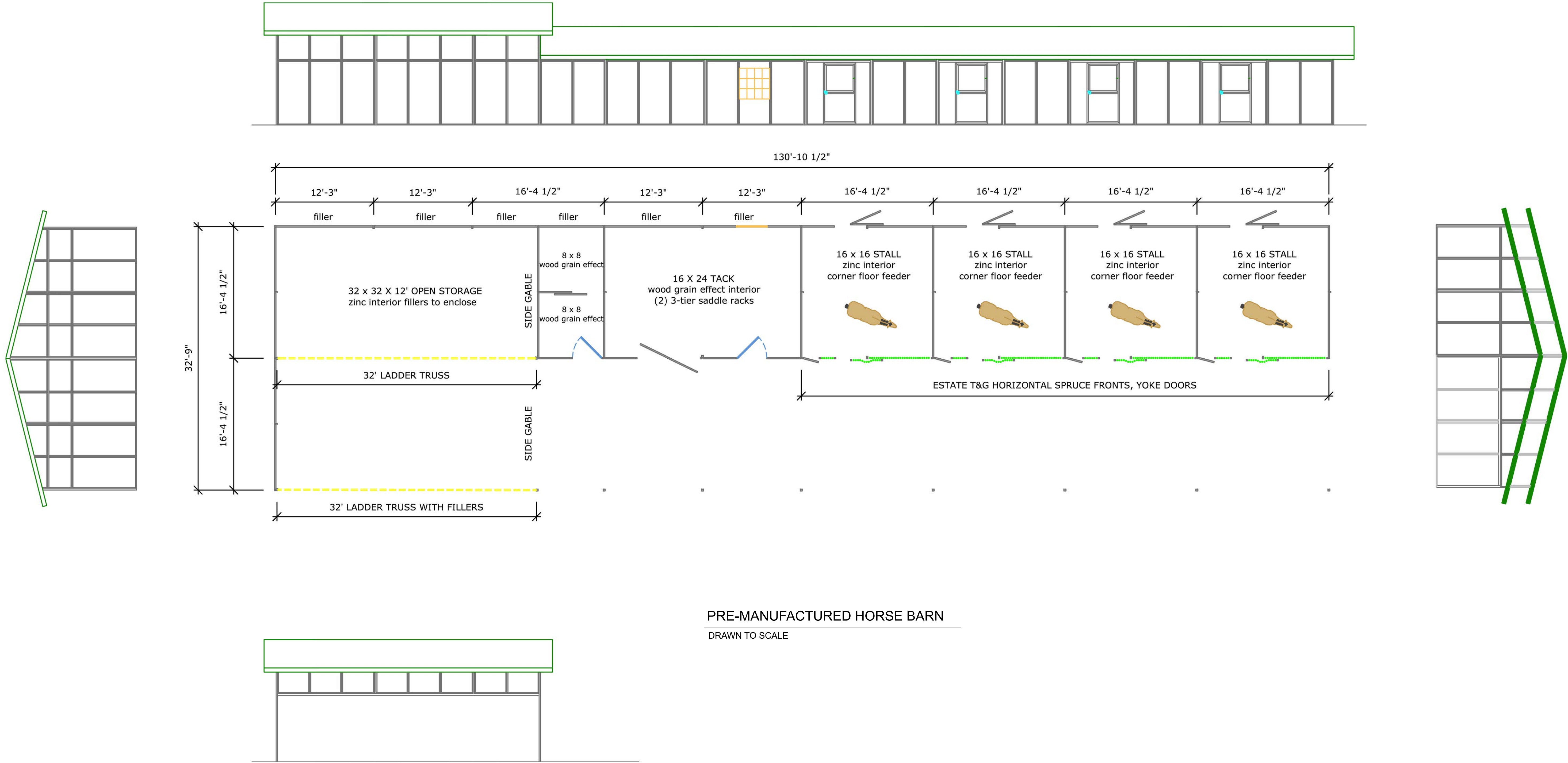
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-051-003-PARCEL 'A'

STAMP/SIGNATURE

ALL DRAWINGS, SPECIFICATIONS, AND ANY REPRESENTATION, THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY LEWIS BUILDERS IN WRITING IMMEDIATELY. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO ANY CHANGES OR OMISSIONS IN THESE DRAWINGS.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





PRE-MANUFACTURED HORSE BARN
DRAWN TO SCALE

800-500-BARN
www.MDBarnmaster.com

Our **Wall Finishes** utilize 26 gauge pre-painted, embossed, laminated steel. Zincalume® is standard for the interior wall, and customer can pick exterior color. Available colors are shown below.

Panels are encased in 2" x 2", 14 gauge channel with mitered corners, welded together with a jig to ensure uniformity. The bottom channel is hot-dipped galvanized for rust resistance at ground level, with weep holes every 24" to hold panel insert 1/4" off the bottom channel. All other channels are G90 galvanized.

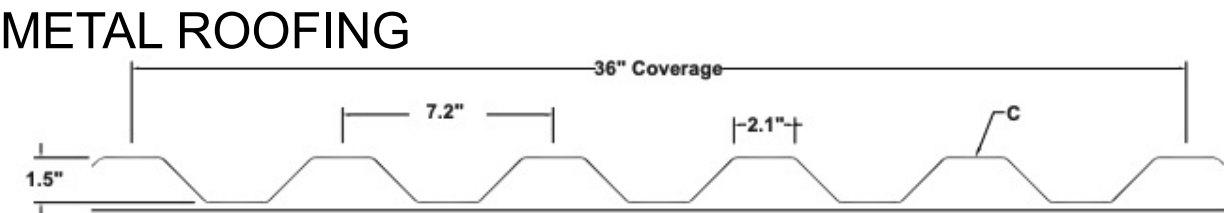
Exterior Wall Color 20-year paint system

Polar White	Sandstone	Saddle Tan	Crimson Red
Old Town Gray	Slate	Forest Green	Seawolf

MS Colorfast45® Paint System

Premium Colors ADD 5% PANELS/FLATS

 Polar White (80) SR = 0.58 TE = 0.87 SRI = 68	 Light Stone (63) SR = 0.56 TE = 0.88 SRI = 58	 Mocha Tan (22) SR = 0.52 TE = 0.87 SRI = 60	 Antique Bronze (D4) SR = 0.36 TE = 0.88 SRI = 39
 Taupe (74) SR = 0.44 TE = 0.87 SRI = 49	 Ash Grey (25) SR = 0.37 TE = 0.88 SRI = 40	 Charcoal (17) SR = 0.30 TE = 0.87 SRI = 31	 Brown (12) SR = 0.31 TE = 0.87 SRI = 32
 Dark Brown (44) SR = 0.27 TE = 0.87 SRI = 27	 Forest Green (26) SR = 0.27 TE = 0.87 SRI = 27	 Fern Green (07) SR = 0.30 TE = 0.88 SRI = 31	 Sierra Green (20) SR = 0.38 TE = 0.87 SRI = 41
 Ocean Blue (35) SR = 0.30 TE = 0.88 SRI = 31	 Red (24) SR = 0.30 TE = 0.86 SRI = 30	 Matte Black (106) SR = 0.27 TE = 0.86 SRI = 26 Limited Availability	 Acrylic Coated Galvalume® (41) SR = 0.87 TE = 0.14 SRI = 56



A-2.2

VERSION: 1.0
DATE: 2/7/25
PLANNING

BARN PLAN & MATERIALS

REV# BY DATE / DESCRIPTION

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-061-003-PARCEL 'A'

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168



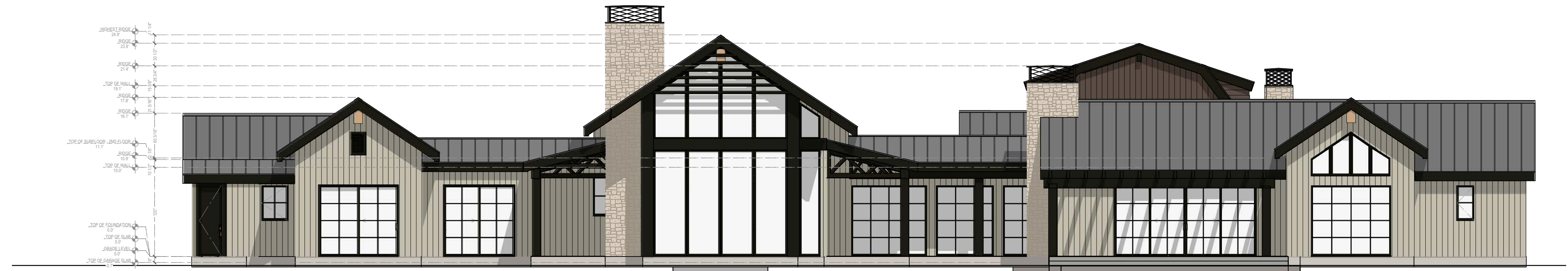
PROPOSED SOUTH (FRONT) ELEVATION

SCALE: 1/8"=1'



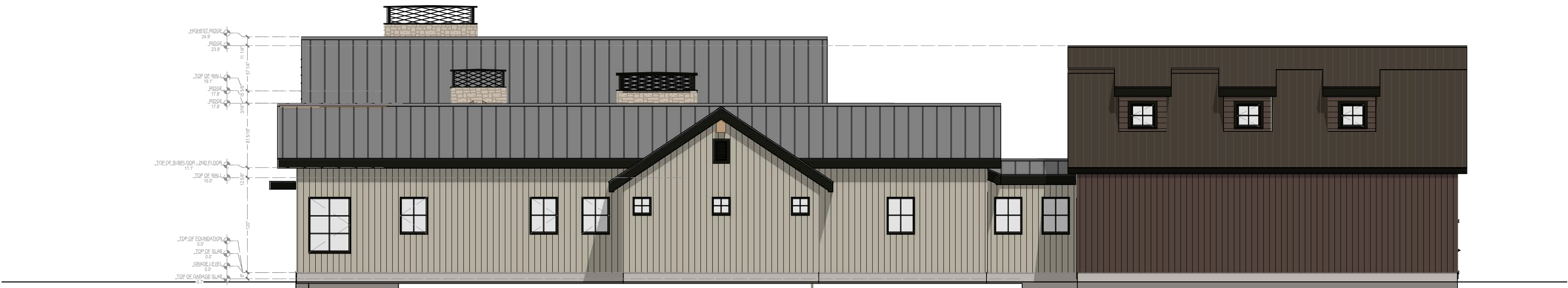
PROPOSED EAST ELEVATION

SCALE: 1/8"=1'



PROPOSED NORTH (REAR) ELEVATION

SCALE: 1/8"=1'



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'

EXTERIOR MATERIALS SUMMARY

- 1 - STONE FACING: BUECHEL STONE WHITE MARIGOLD DIMENSIONAL TAILORED BLEND OR SIMILAR
2 - POSTS, BEAMS, PERGOLAS: ANODIZED BLACK STEEL
3 - HOUSE SIDING: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7571 CASA BLANCA
4 - WINDOWS: FLEETWOOD SERIES 4047T IN ANODIZED BLACK
5 - SLIDING DOORS / DOORS: SQUARE ALUMINUM IN MIDNIGHT BRONZE
6 - GUTTER / DOWNSPOUTS: AEP SPAN OLD TOWN GRAY
7 - HOUSE ROOFING: PORCELANOSA BOTTEGA CALLIZA PORCELAIN TILE
8 - WALKWAYS / PATIOS: GENERATION LIGHTING 8731701-12 LED SCONCE
9 - EXTERIOR LIGHTING: CHI DARK BRONZE ALUMINUM FRAME WITH TINTED GLASS
10 - GARAGE DOOR: JELDWEN WHITE OAK WOOD VENEER PIVOT DOOR
11 - FRONT DOOR: HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE
12 - ADDRESS BOLLARD: STUCCO PAREX USA T04L W/ STONE CAP, ALUMINUM NUMBERS
13 - ADU ROOFING: AEP SPAN MIDNIGHT BRONZE
14 - EXTERIOR FASCIA COLOR: SHERWIN WILLIAMS SW 6006 BLACK BEAN
15 - AUTO COURT: CALSTONE SAND SET NARROW JOINT PERMEABLE PAVERS OR SIMILAR
DRIVEWAY: CONCRETE W/ WASHBOARD PATTERN AT GRADE OVER 10%
BARN SIDING: METAL, PRE-MANUFACTURED - COLOR SANDSTONE
BARN ROOFING: METAL, PRE-MANUFACTURED - COLOR LIGHT STONE



A-3.1

VERSION: 1.0

DATE: 2/7/25

PLANNING

EXTERIOR ELEVATIONS & MATERIALS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

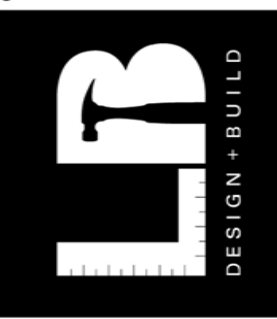
ULLMAN RESIDENCE

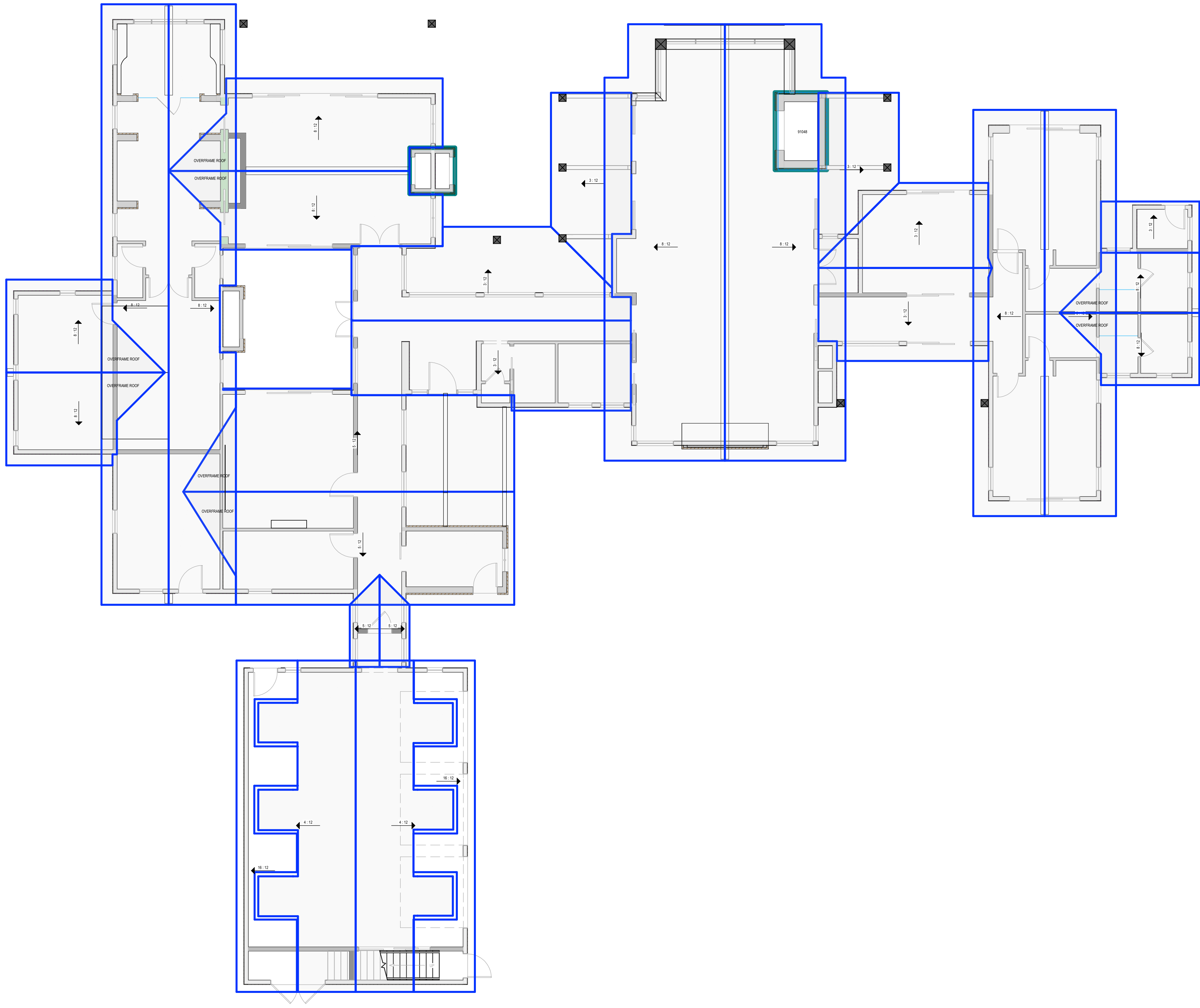
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-061-003-PARCEL 'A'

STAMP/SIGNATURE

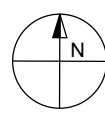
ALL DRAWINGS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE SOLE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS DOCUMENT IS PROHIBITED. THE USER AGREES TO HOLD LEWIS BUILDERS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT. THE USER AGREES TO NOTIFY LEWIS BUILDERS IN WRITING OF ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





PROPOSED ROOF PLAN
SCALE: 1/8"=1'



A-4.1

VERSION: 1.0

DATE: 2/7/25

PLANNING

ROOF PLAN

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

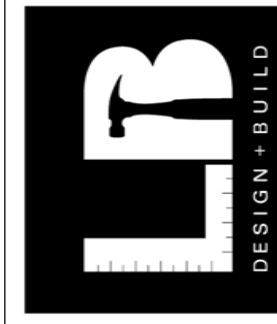
ULLMAN RESIDENCE

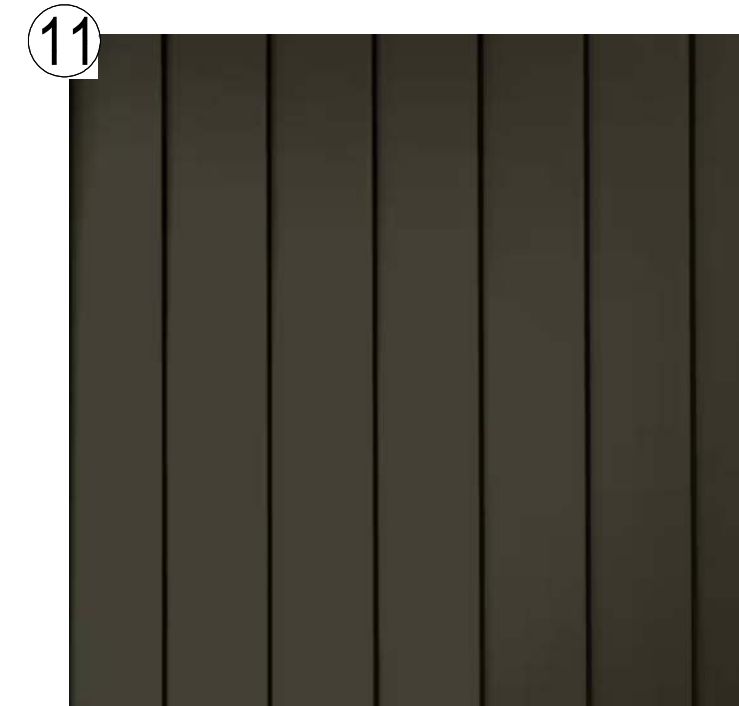
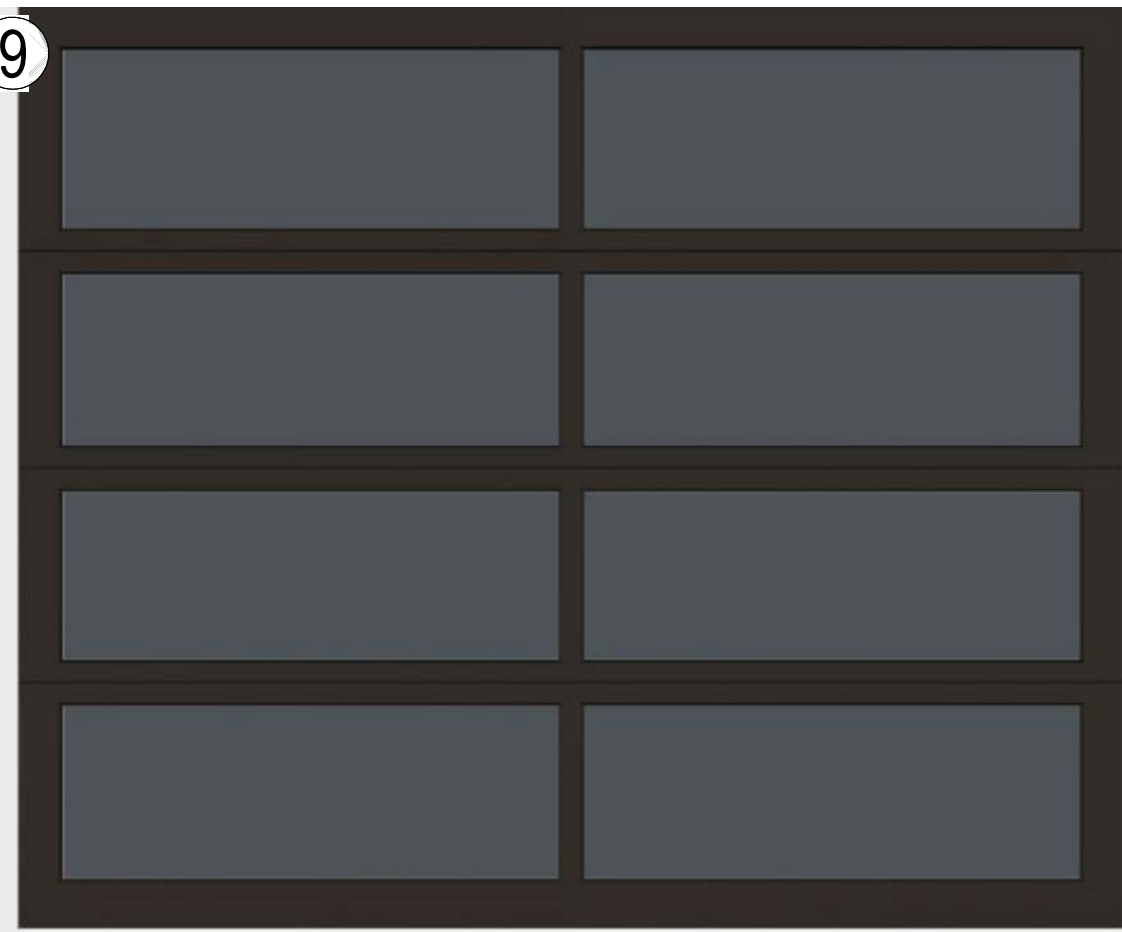
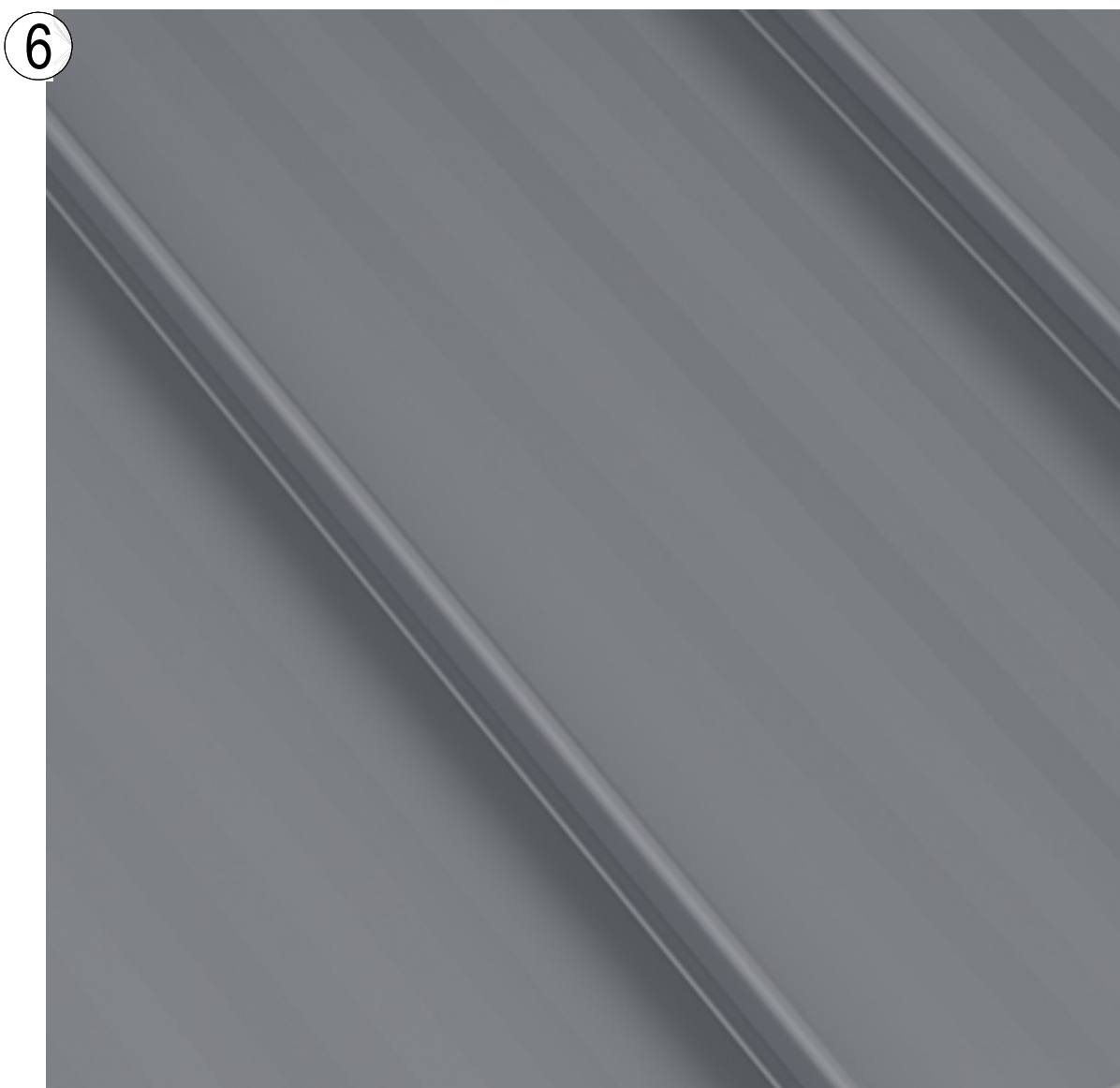
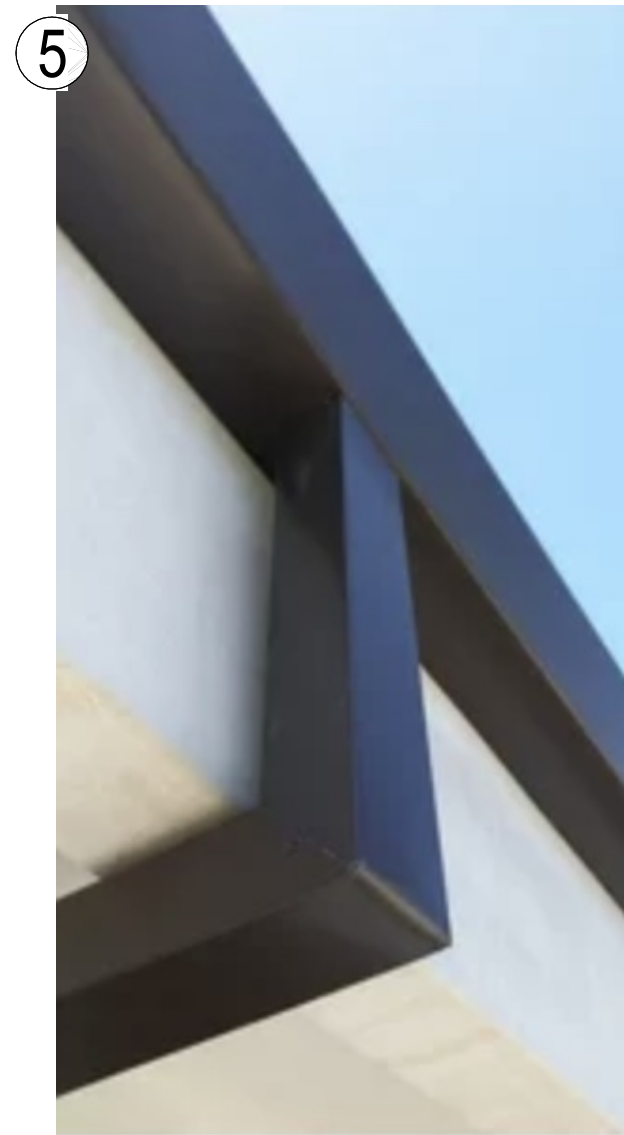
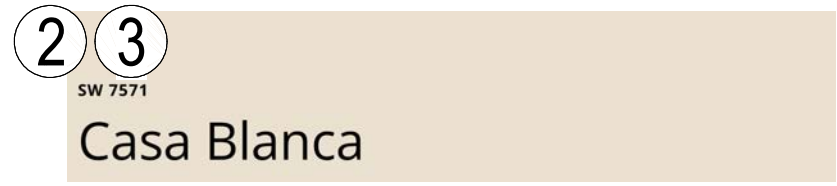
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-051-003-PARCEL 'A'

STAMP/SIGNATURE

ALL DRAWINGS, SPECIFICATIONS, AND ANY REPRESENTATION, THESE PAGES ARE SOLELY THE INTELLECTUAL PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. IF ANY PART OF THIS DOCUMENT IS USED FOR ANY OTHER PROJECT, THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES. LEWIS BUILDERS DISCLAIMS ANY LIABILITY FOR ANY SUCH USE.

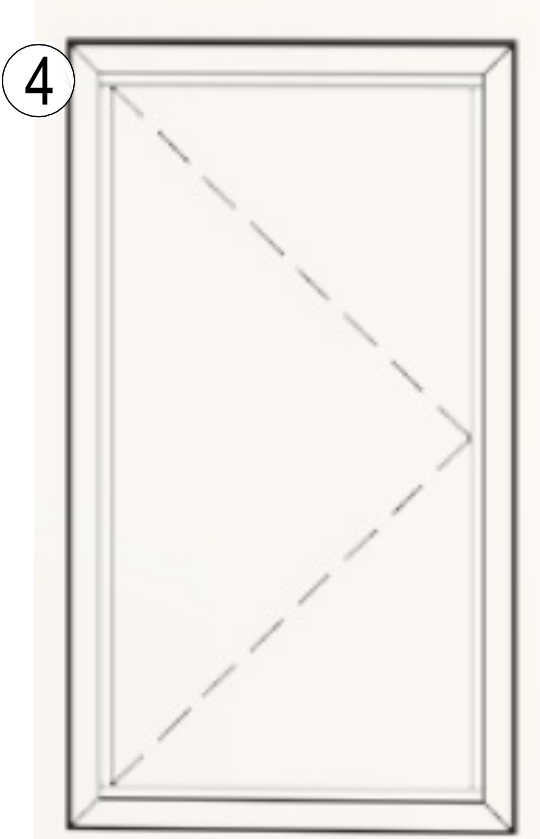
LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





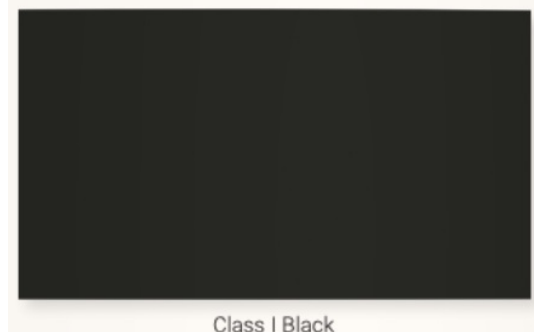
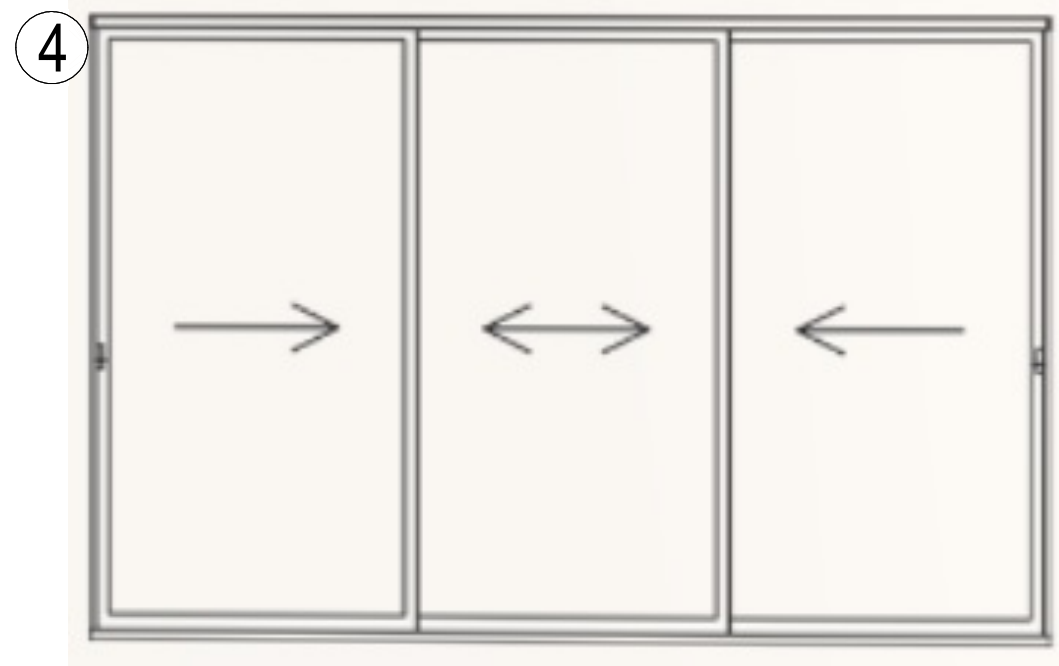
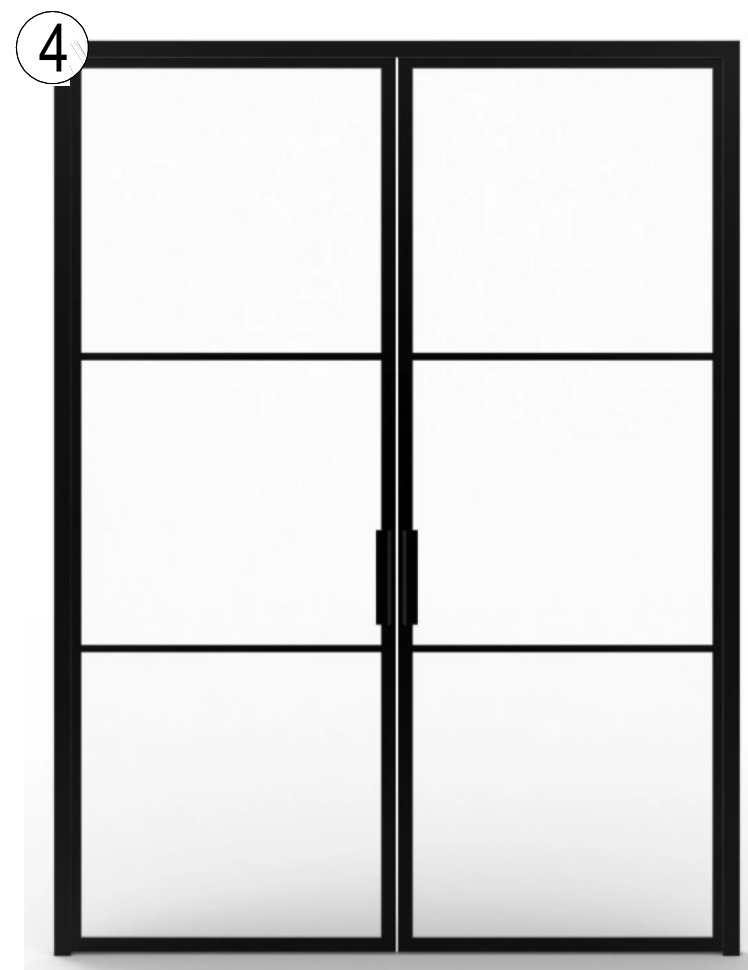
EXTERIOR MATERIALS SUMMARY

1 - STONE FACING:	BUECHEL STONE WHITE MARIGOLD DIMENSIONAL TAILORED BLEND OR SIMILAR
2 - POSTS, BEAMS, PERGOLAS:	ANODIZED BLACK STEEL
3 - HOUSE SIDING	HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7571 CASA BLANCA
4 - WINDOWS:	FLEETWOOD SERIES 450T IN ANODIZED BLACK
4 - SLIDING DOORS / DOORS:	FLEETWOOD SERIES 4047T IN ANODIZED BLACK
5 - GUTTER / DOWNSPOUTS:	SQUARE ALUMINUM IN MIDNIGHT BRONZE
6 - HOUSE ROOFING:	AEP SPAN OLD TOWN GRAY
7 - WALKWAYS / PATIOS:	PORCELANOSA BOTTEGA CALLIZA PORCELAIN TILE
8 - EXTERIOR LIGHTING:	GENERATION LIGHTING 8731701-12 LED SCONCE
9 - GARAGE DOOR:	CHI DARK BRONZE ALUMINUM FRAME WITH TINTED GLASS
10 - FRONT DOOR:	JELDOWEN WHITE OAK WOOD VENEER PIVOT DOOR
11 - GARAGE/ADU SIDING	HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE
12 - ADDRESS BOLLARD:	STUCCO PAREX USA T014L W/ STONE CAP, ALUMINUM NUMBERS
13 - ADU ROOFING:	AEP SPAN MIDNIGHT BRONZE
14 - EXTERIOR FASCIA COLOR:	SHERWIN WILLIAMS SW 6006 BLACK BEAN
15 - AUTO COURT: DRIVEWAY:	CALSTONE SAND SET NARROW JOINT PERMEABLE PAVERS OR SIMILAR
BARN SIDING:	CONCRETE W/ WASHBOARDS PATTERN AT GRADE OVER 10%
BARN ROOFING:	METAL, PRE-MANUFACTURED - COLOR SANDSTONE
	METAL, PRE-MANUFACTURED - COLOR LIGHT STONE



EXTERIOR STUCCO / PLASTER NOTES

1. WEATHER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN CRC R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER PER CRC R703.6.
2. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATHE OR WIRE FABRIC LATH PER CRC R703.6.2.
3. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED SHALL BE INSTALLED WITH:
A. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
B. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.



ADDRESS IDENTIFICATION

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

ADDRESS BOLLARD

18" X 18" X 54" TALL STUCCO ADDRESS BOLLARD W/ STONE CAP AT BEGINNING OF DRIVEWAY ON VIA QUINTANA. STUCCO AND STONE CAP TO MATCH MATERIALS SPECIFIED FOR HOUSE. RAISED ALUMINUM HOUSE NUMBERS (MINIMUM 6" IN HEIGHT) WITH LED DOWNLIGHTING TO MATCH FIXTURES SPEC'D IN LIGHTING PLANS.

F-1.1

VERSION: 1.0

DATE: 2/7/25

PLANNING

FINISH MATERIALS

REV#	DATE / DESCRIPTION	BY	REV#	DATE / DESCRIPTION	BY

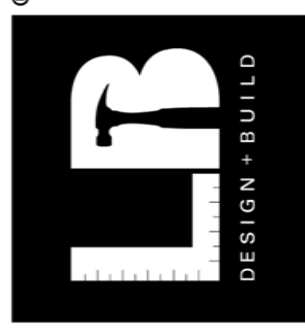
ULLMAN RESIDENCE

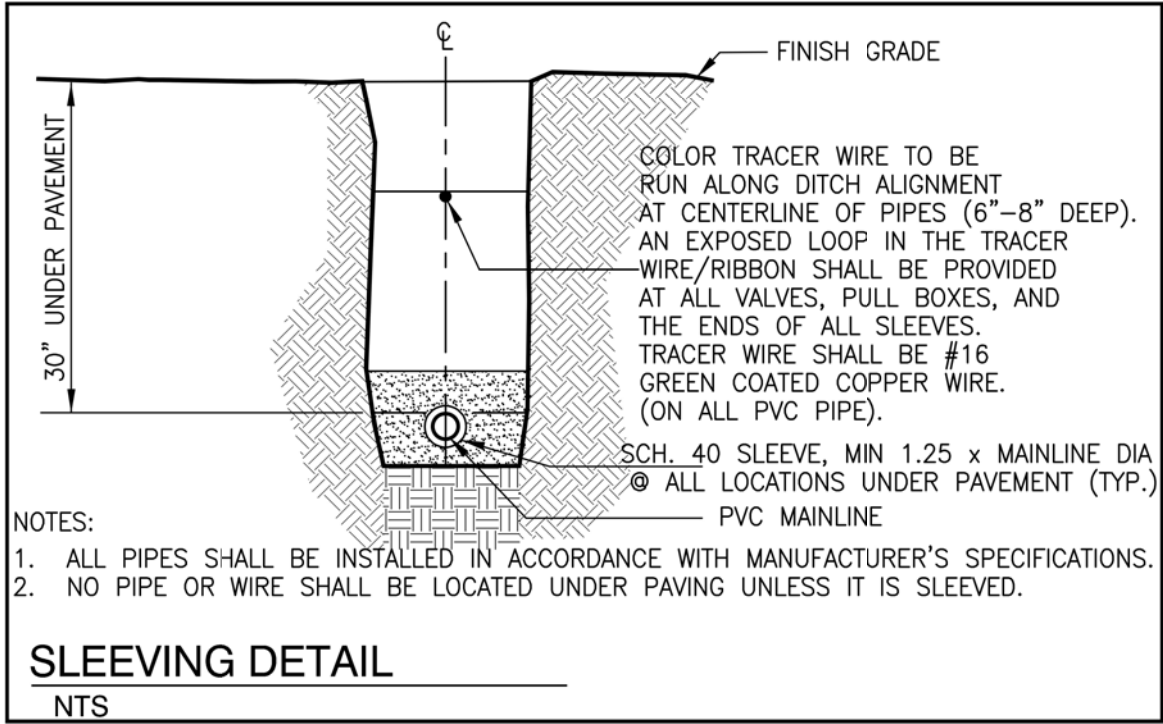
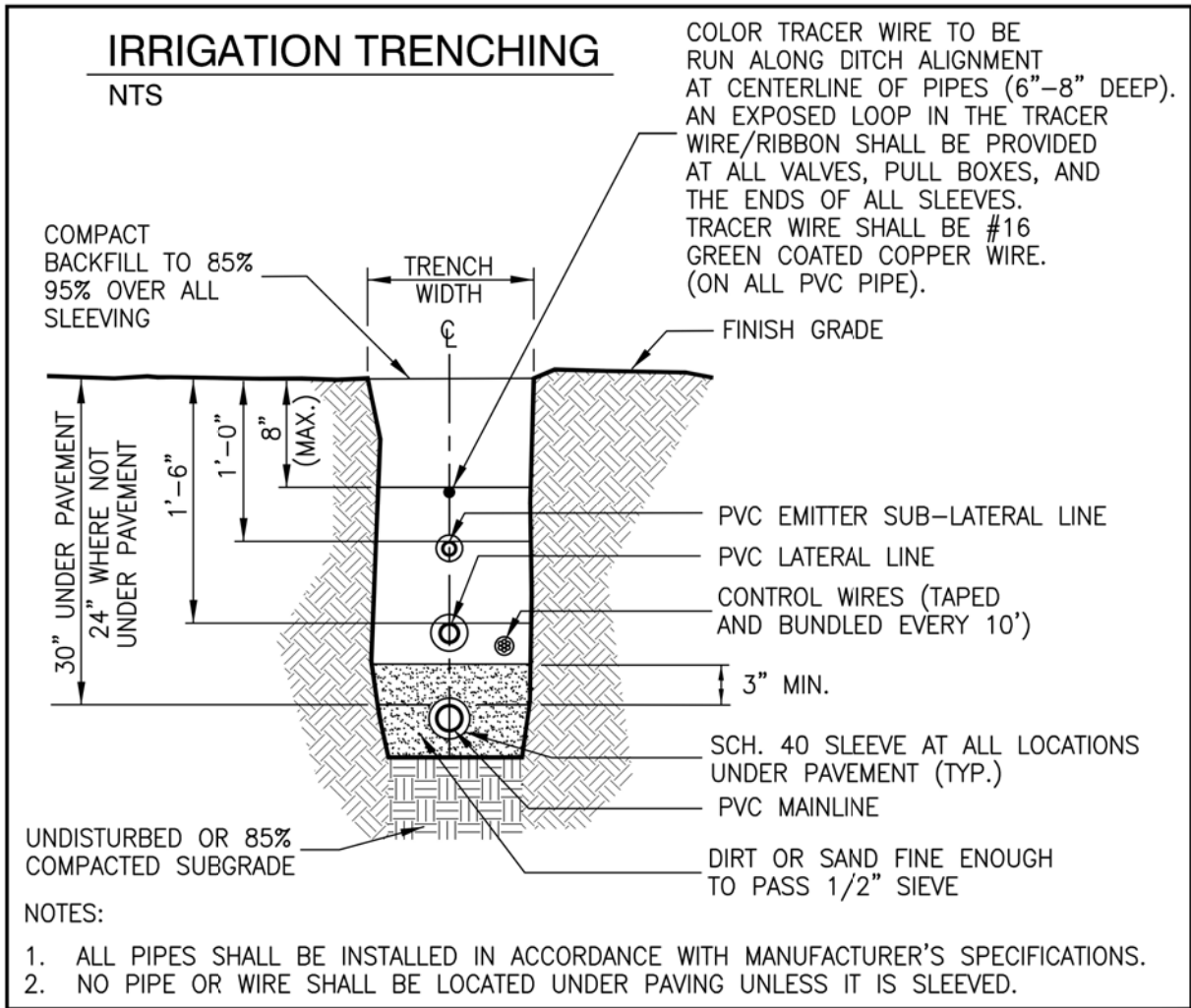
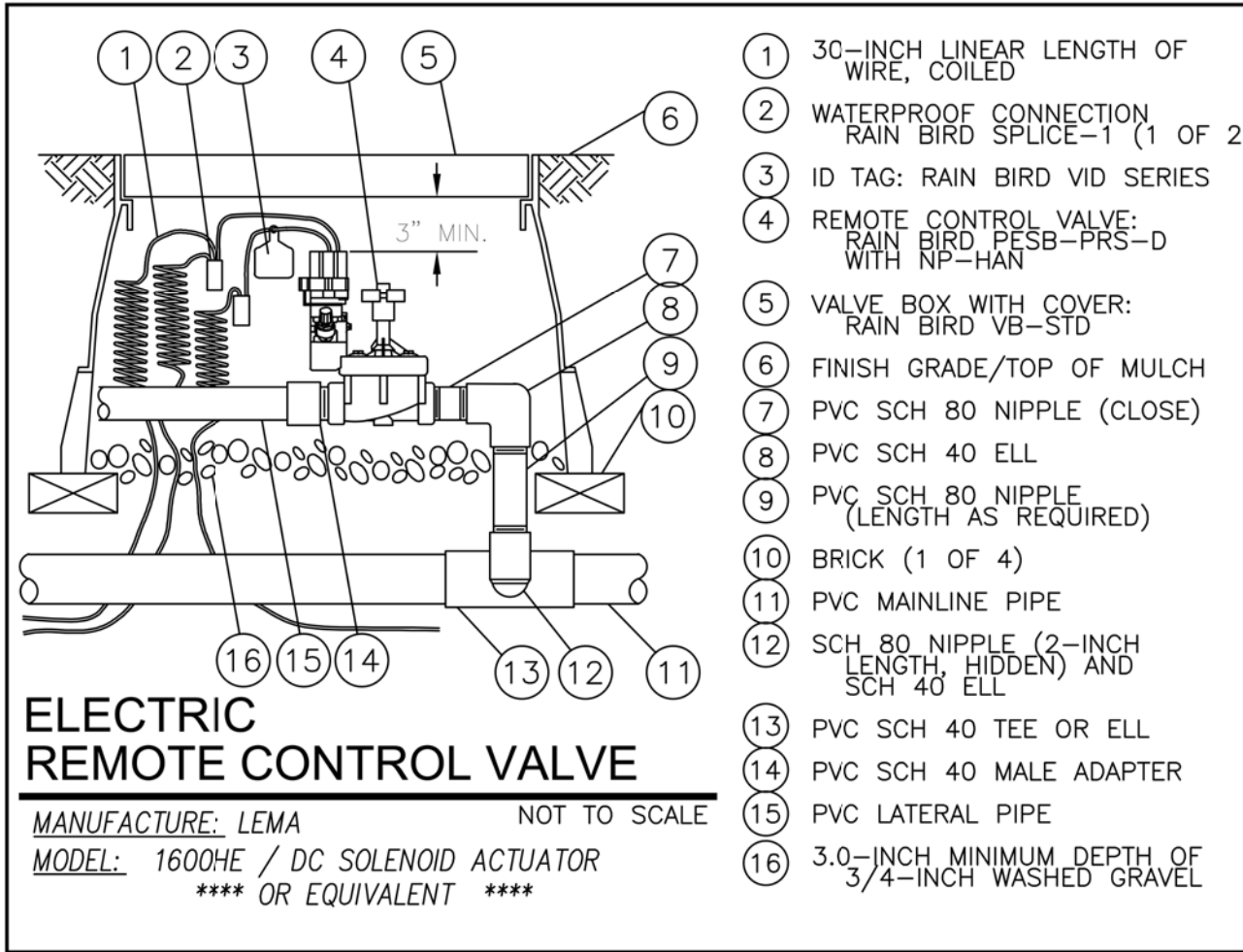
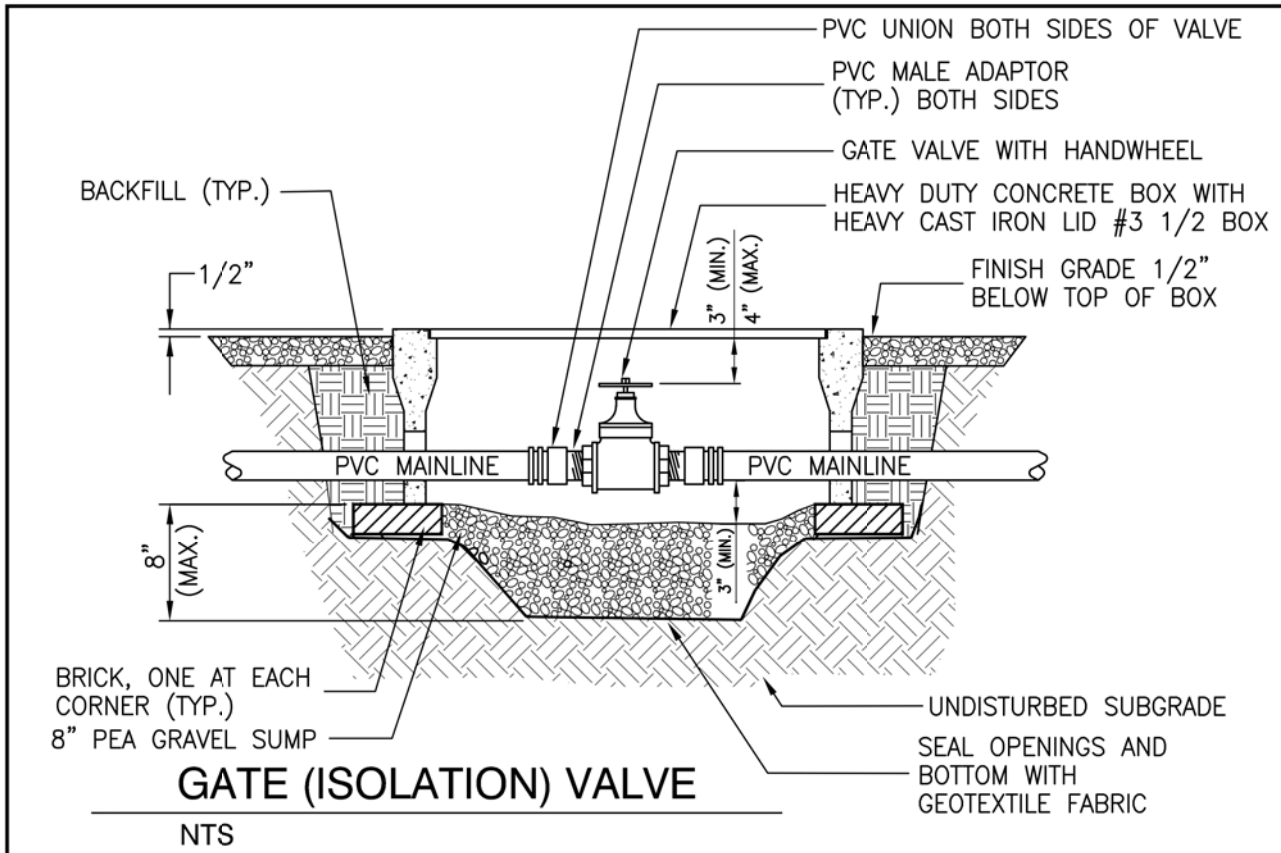
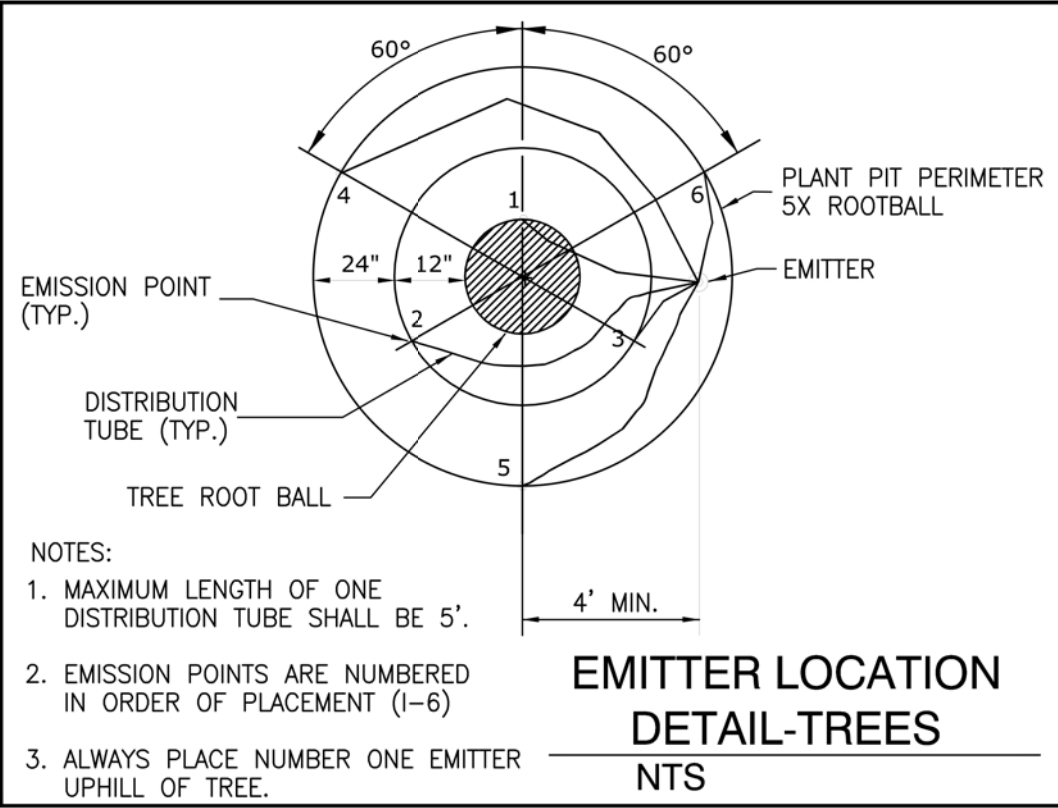
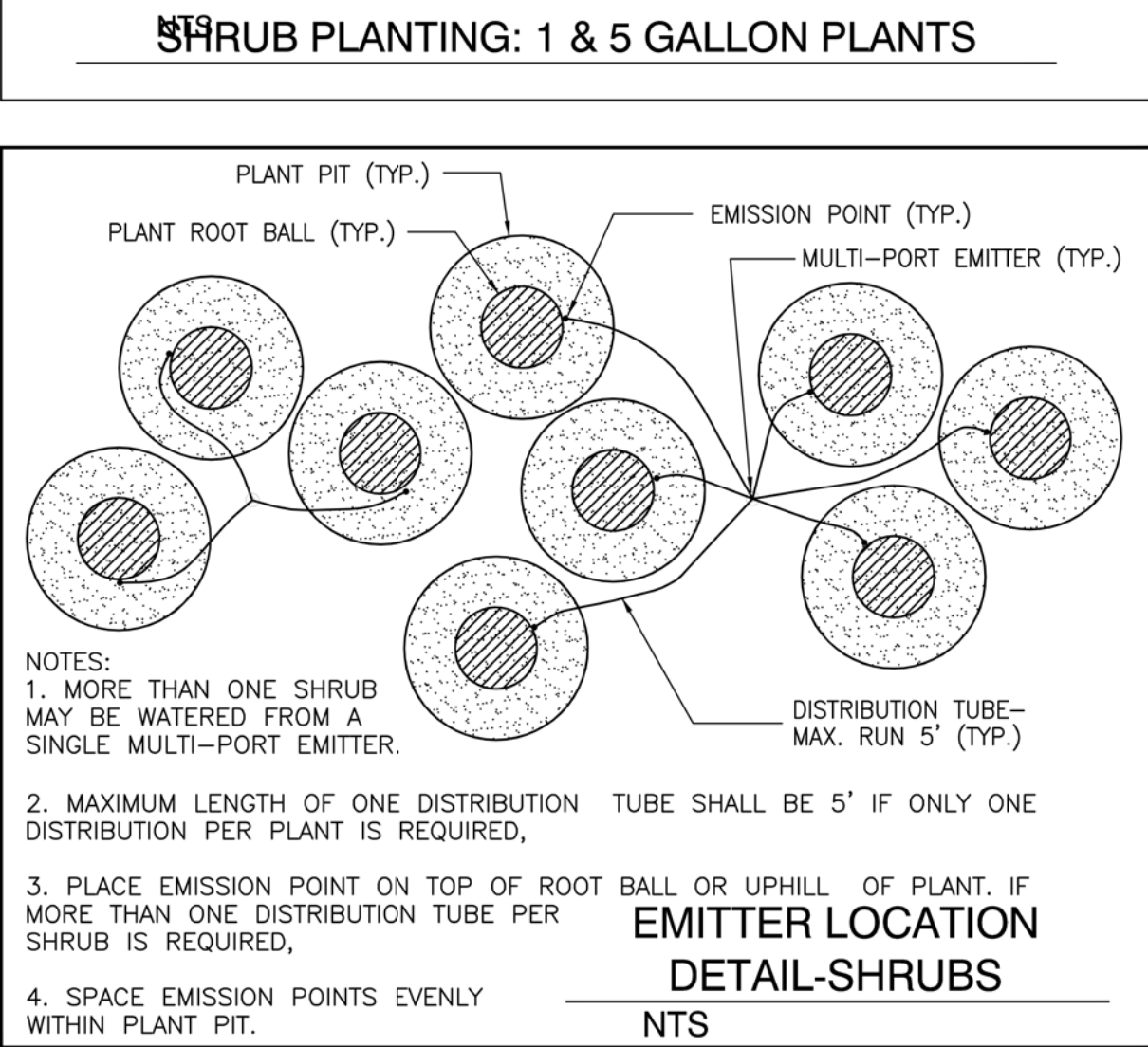
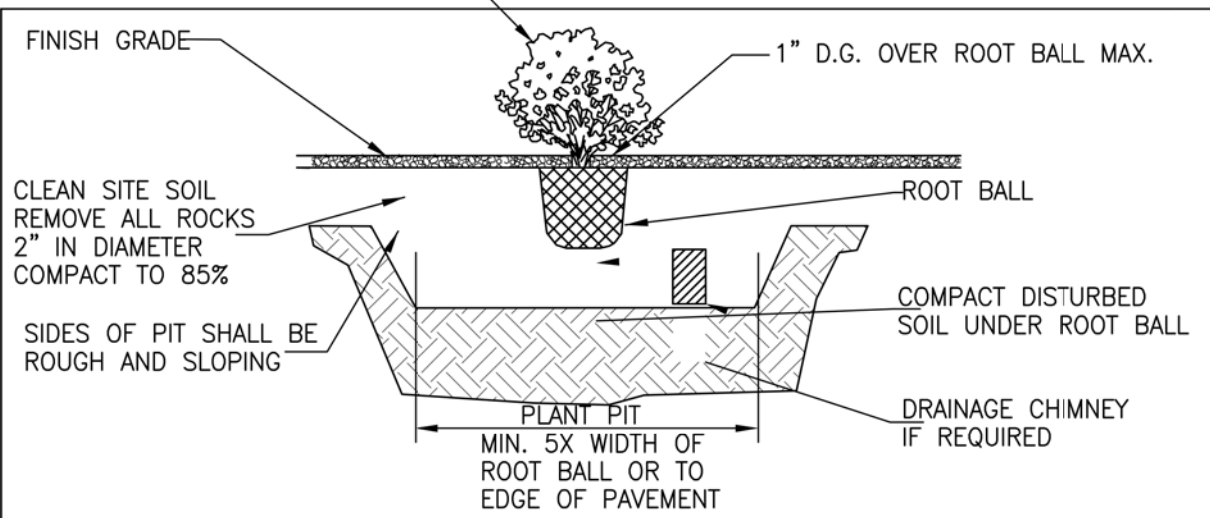
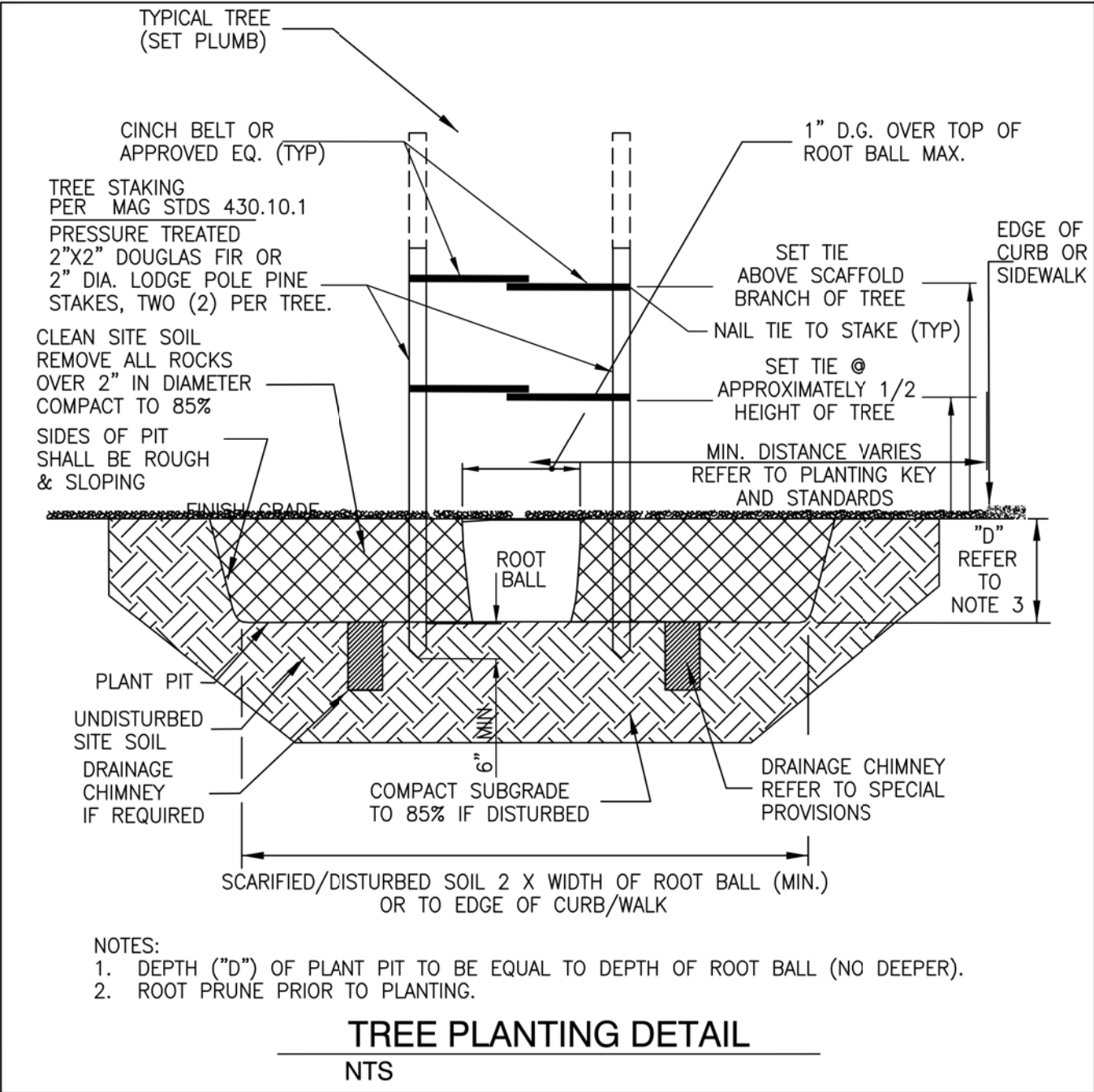
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-061-003-PARCEL 'A'

STAMP/SIGNATURE

ALL DRAWINGS, SPECIFICATIONS, AND MATERIALS LISTED HEREIN ARE THE PROPERTY OF LEWIS BUILDERS. THESE PAGES ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ANY REPRODUCTION OR COPIING OF THESE PAGES WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PAGES. THE USER OF THESE PAGES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE USER OF THESE PAGES DUE TO ANY CHANGES OR MODIFICATIONS TO THE ORIGINAL DESIGN OR SPECIFICATIONS. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES RESULTING FROM THE USE OF THESE PAGES. THE USER OF THESE PAGES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE USER OF THESE PAGES DUE TO ANY CHANGES OR MODIFICATIONS TO THE ORIGINAL DESIGN OR SPECIFICATIONS. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES RESULTING FROM THE USE OF THESE PAGES.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





PLANT INDEX			
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	PITTOSPORUM TENUIFOLIUM	BLACK STEM	5 GAL
7	PHOTONIA XFRASERI	---	5 GAL
8	QUERCUS AGRIFOLIA	CALIFORNIA OAK	25 GAL
	⊕	PATH LIGHT, 3 WATTS LED SEE SHEET - DET. "B"	

BACK FLOW ASSEMBLY CAGE
MANUFACTURE: GUARDSHACK
MODEL: GS-1-LSB, OR EQUIVALENT

STANDARD SIZES INTERNAL DIMENSIONS
0.5 10" W x 18" H x 12" L Lift-Off
2 10" W x 24" H x 30" L Lift-Off
3.3 16" W x 30" H x 30" L Lift-Off

GENERAL SPECIFICATIONS

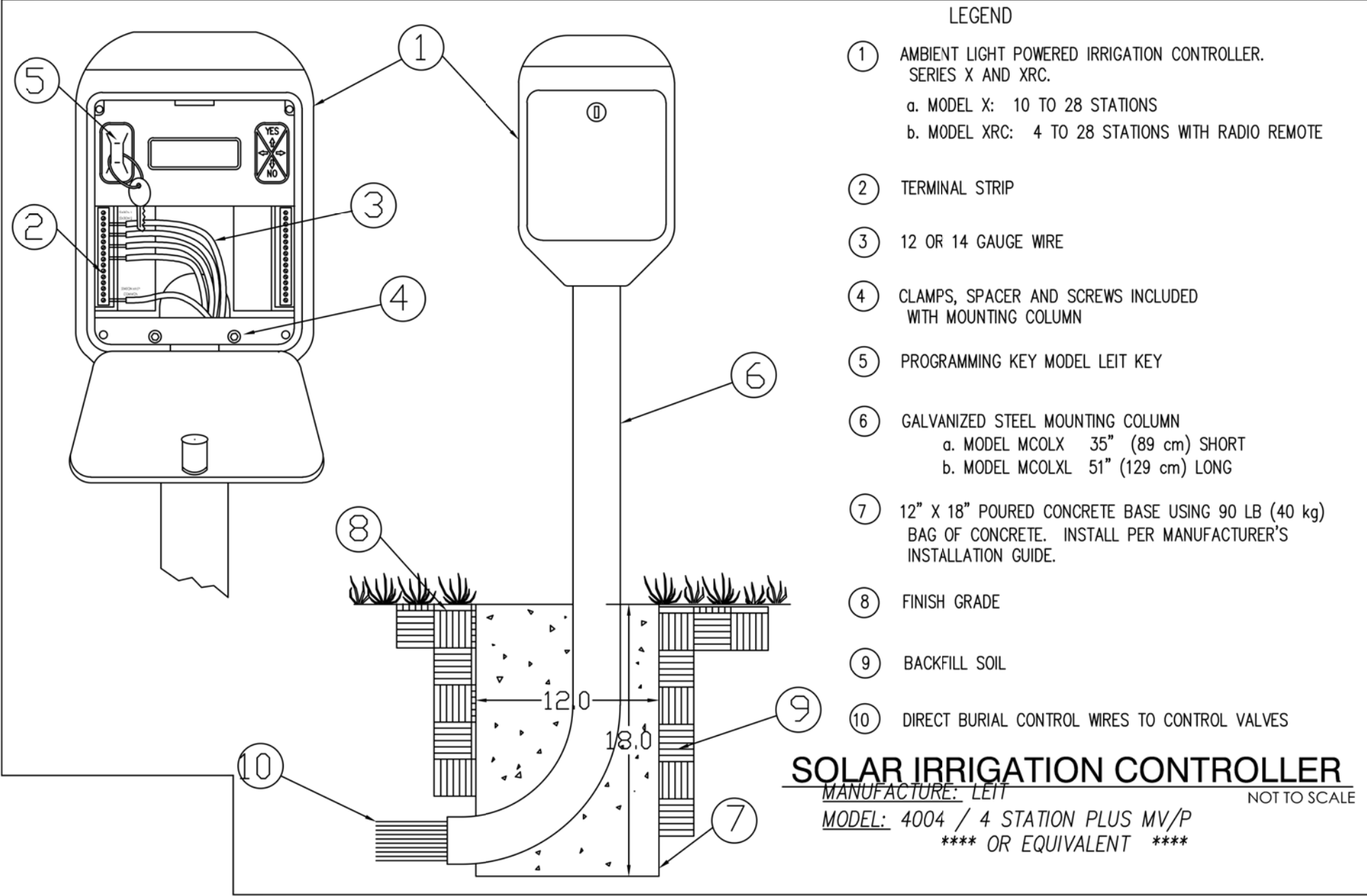
- All pipe shall be 1/4" schedule 40 A.S.T.M. A-53 Grade A- Electric Weld pipe.
- Angle iron shall be 1" x 1" x 1/8" steel.
- Stainless steel units shall be 1/4" schedule 10 A.S.T. M. A-312 304 S.S.
- Expanded metal shall be 1/2" spacing x # 13 Ga. flattened diamond pattern steel.
- All stainless steel shall be sandblasted after fabrication to remove burrs, flashing and sharp edges.
- There shall be no exposed ends of expanded metal on the outside of the enclosure.
- Welding shall be a minimum of 1/4" long welds on 4" spacing.
- Standard Lock Shield Brackets shall be welded on each end of lift off enclosures.
- Hardware kits provided for mounting enclosures.
- On 304 S.S. units, all hinges, exposed hardware, and brackets shall be 304 S.S.
- All hardware shall be securely attached to enclosures. See HK-100 for hardware specifications.
- All enclosures shall withstand a minimum of 200 lbs. per square foot without any permanent deflection or distortion.
- 3/8" spacing between angle iron framework of enclosure and slab to prevent rusting. Only pipe ends to touch slab.

POWDERCOATED UNITS

Pre-powdercoat Treatment Process
Clean GuardShack™ unit with a 5-44 alkaline cleaner, overflow rinse, apply an AC-8115 iron phosphate treatment, overflow rinse and finish with a #198 sealer rinse to prevent rusting and improve adhesion.

Powdercoat Treatment Process
Units shall be preheated and coated by electrostatic application of 2.0 to 3.5 mil thickness on all surfaces. Powder shall be RAL 1019 Woodlands Tan or TOI 8810-6058 Forest Green or approved equal Impact Resistance Finish 160 inch pounds direct 160 inch pounds reverse, per ASTM D-2794 specs. Gloss Finish >85, per ASTM D-523. Adhesion to be rated excellent when tested to ASTM D-3359 standards.

STAINLESS STEEL ELECTRO-POLISH FINISH
All 304 Stainless Steel units shall be chemically electro-polished to impart a lustrous finish to the unit.



EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE,

LIGHT KEY

⊕ PATH LIGHT, 3 WATTS LED, SEE FIXTURE "3" ON SHEET 13
MAY NOT BE SPACED CLOSER THAN 10-FEET APART

IRRIGATION SYSTEM

1" ANTISYPHON DEVICE
1" ELECTRIC VALVES
FILTER PLUS REGULATOR FOR EACH VALVE
ELECTRIC CONTROLLER
EACH PLANT TO BE ON DRIP SYSTEM
ALL PLANTS WILL BE PLANTED WITH AGRIFORM

L-1.2

VERSION: 1.0
DATE: 2/4/25
PLANNING

LANDSCAPE LIGHTING & DETAILS

ULLMAN RESIDENCE
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-051-405-000

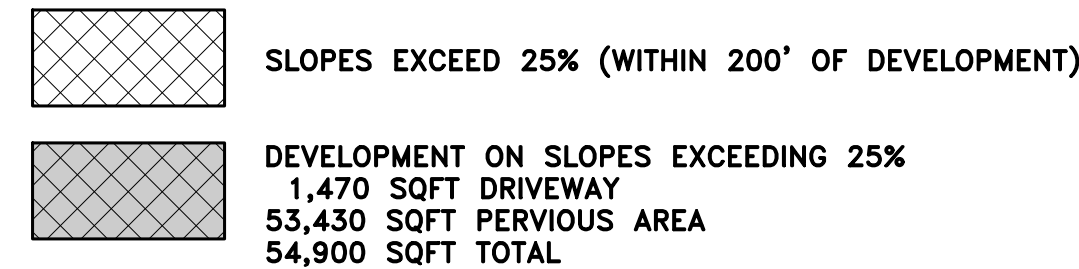
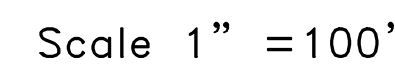
STAMPS/SIGNATURE

ALL DESIGN CONCEPTS AND IDEAS REPRESENTED IN THESE PAPERS ARE SOLELY THE PROPERTY OF LEWIS BUILDERS AND ARE TO BE USED IN THE PROJECT AND NOT BE REPRODUCED OR USED IN ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF LEWIS BUILDERS. ALL INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE USER ASSUMES ALL RESPONSIBILITY OF THE OWNER AND/OR THE USER FOR THE COMPLETION OF THE PROJECT AND THE USER'S OBLIGATION TO LEWIS BUILDERS FOR THE COMPLETION OF THE PROJECT.

LEWIS BUILDERS
CA. LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168

LB
DESIGN + BUILD

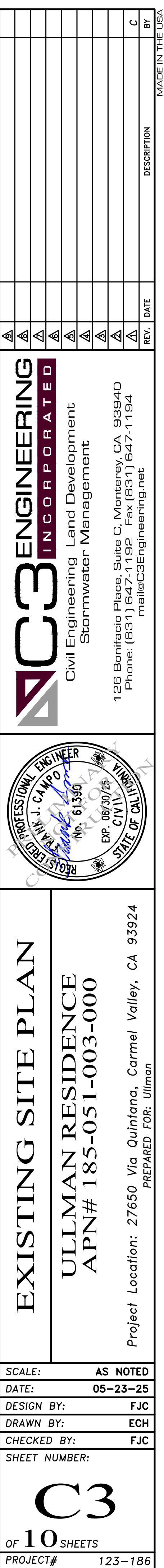
Drawing file: Z:\Projects\123186 LB - Ullman\Draw\123186 XBase.dwg
Plotted: May 23, 2025 - 2:41pm

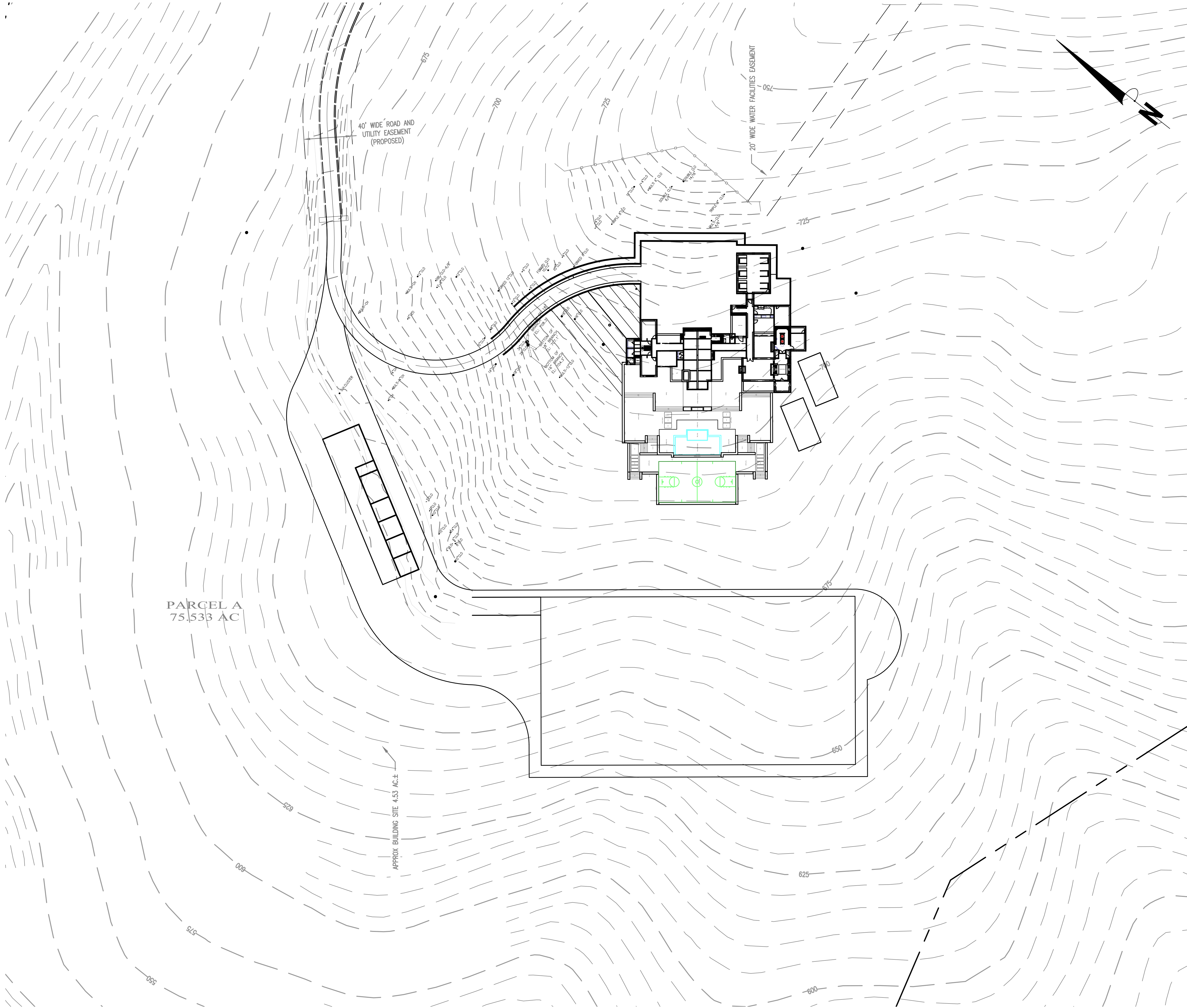

$$1'' = 80'$$


C2
OF 10 SHEETS
PROJECT# 123-186



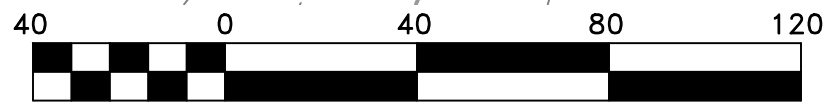
Drawing file: Z:\Projects\123186 LB - Ullman\Dwg\123186 XBase.dwg
Plotted: May 23, 2025 - 2:41pm





PROPOSED SITE PLAN

1" = 40'



Scale 1" = 40'

PROPOSED SITE PLAN

ULLMAN RESIDENCE
APN# 185-051-003-000

Project Location: 27650 Via Quintana, Carmel Valley, CA 93924
PREPARED FOR: Ullman

SCALE:	AS NOTED
DATE:	05-23-25
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

C4
OF 10 SHEETS
PROJECT# 123-186



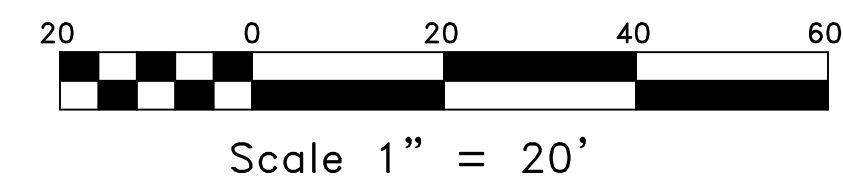
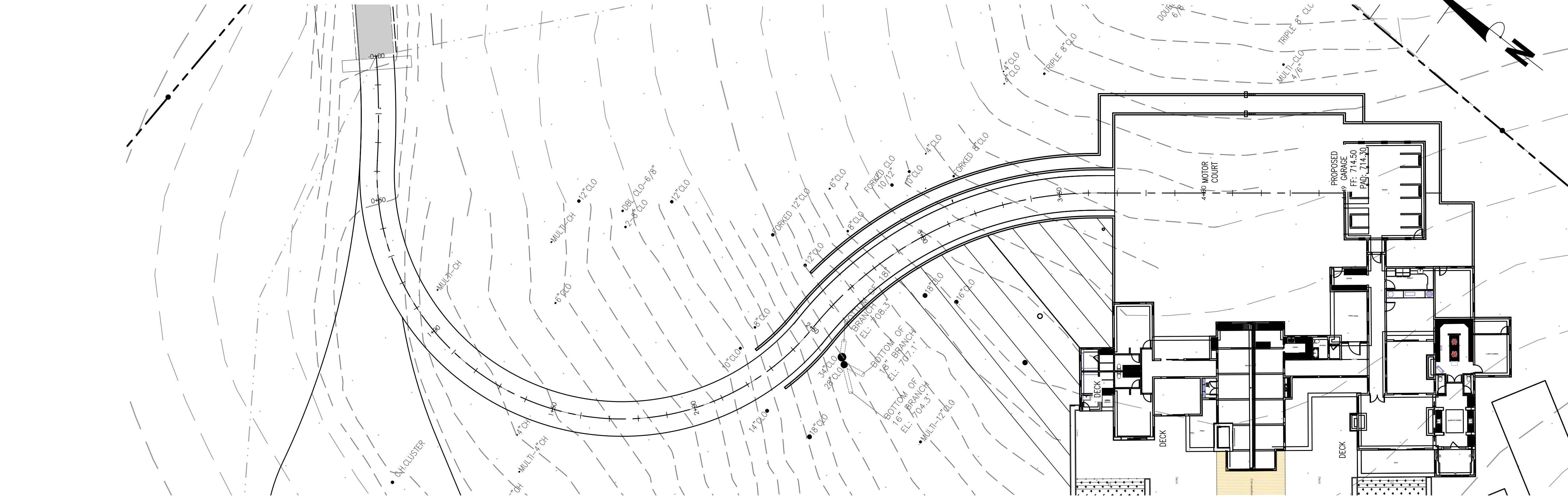
C3 ENGINEERING
INCORPORATED

Civil Engineering Land Development
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net

REV.	DATE	DESCRIPTION	BY
1			C
2			C
3			C
4			C
5			C
6			C
7			C
8			C
9			C
10			C
11			C
12			C
13			C
14			C
15			C
16			C
17			C
18			C
19			C
20			C
21			C
22			C
23			C
24			C
25			C
26			C
27			C
28			C
29			C
30			C
31			C
32			C
33			C
34			C
35			C
36			C
37			C
38			C
39			C
40			C
41			C
42			C
43			C
44			C
45			C
46			C
47			C
48			C
49			C
50			C
51			C
52			C
53			C
54			C
55			C
56			C
57			C
58			C
59			C
60			C
61			C
62			C
63			C
64			C
65			C
66			C
67			C
68			C
69			C
70			C
71			C
72			C
73			C
74			C
75			C
76			C
77			C
78			C
79			C
80			C
81			C
82			C
83			C
84			C
85			C
86			C
87			C
88			C
89			C
90			C
91			C
92			C
93			C
94			C
95			C
96			C
97			C
98			C
99			C
100			C
101			C
102			C
103			C
104			C
105			C
106			C
107			C
108			C
109			C
110			C
111			C
112			C
113			C
114			C
115			C
116			C
117			C
118			C
119			C
120			C
121			C
122			C
123			C
124			C
125			C
126			C
127			C
128			C
129			C
130			C
131			C
132			C
133			C
134			C
135			C
136			C
137			C
138			C
139			C
140			C
141			C
142			C
143			C
144			C
145			C
146			C
147			C
148			C
149			C
150			C
151			C
152			C
153			C
154			C
155			C
156			C
157			C
158			C
159			C
160			C
161			C
162			C
163			C
164			C
165			C
166			C
167			C
168			C
169			C
170			C
171			C
172			C
173			C
174			C
175			C
176			C
177			C
178			C
179			C
180			C
181			C
182			C
183			C
184			C
185			C
186			C
187			C
188			C
189			C
190			C
191			C
192			C
193			C
194			C
195			C
196			C
197			C
198			C
199			C
200			C
201			C
202			C
203			C
204			C
205			C
206			C
207			C
208			C
209			C
210			C
211			C
212			C
213			C
214			C
215			C
216			C
217			C
218			C
219			C
220			C
221			C
222			C
223			C
224			C
225			C
226			C
227			C
228			C
229			C
230			C
231			C
232			C
233			C
234			C
235			C
236			C
237			C
238			C
239			C
240			C
241			C
242			C
243			C
244			C
245			C
246			C
247			C
248			C
249			C
250			C
251			C
252			C
253			C
254			C
255			C
256			C
257			C
258			C
259			C
260			C
261			C
262			C
263			C
264			C
265			C
266			C
267			C
268			C
269			C
270			C
271			C
272			C
273			C
274			C
275			C
276			C
277			C
278			C
279			C
280			C
281			C
282			C
283			C
284			C
285			C
286			C
287			C
288			C
289			C
290			C
291			C
292			C
293			C
294			C
295			C
296			C
297			C
298			C
299			C
300			C
301			C
302			C
303			C
304			C
305			C
306			C
307			C
308			C
309			C
310			C
311			C
312			C
313			C
314			C
315			C
316			C
317			C
318			C
319			C
320			C
321			C
322			C
323			C
324			C
325			C
326			C
327			C
328			C
329			C
330			C
331			C
332			C
333			C
334			C
335			C
336			C
337			C
338			C
339			C
340			C
341			C
342			C
343			C
344			C
345			C
346			C
347			C
348			C
349			C
350			C
351			C
352			C
353			C
354			C
355			C
356			C
357			C
358			C
359			C
360			C
361			C
362			C
363			C
364			C
365			C
366			C
367			C
368			C
369			C
370			C
371			C
372			C
373			C
374			C
375			C
376			C
377			C
378			C
379			C
380			C
381			C
382			C
383			C
384			C
385			C
386			C
387			C
388			C
389			C
390			C
391			C
392			C
393			C
394			C
395			C
396			C
397			C
398			C
399			C
400			C
401			C
402			C
403			C
404			C
405			C
406			C
407			C
408			C
409			C
410			C
411			C
412			C

Drawing file: Z:\Projects\123186 LB - Ullman\Dwg\123186 XBase.dwg
Plotted: May 23, 2025 - 2:41pm



ULLMAN RESIDENCE
APN# 185-051-003-000

PREPARED FOR: Ullman

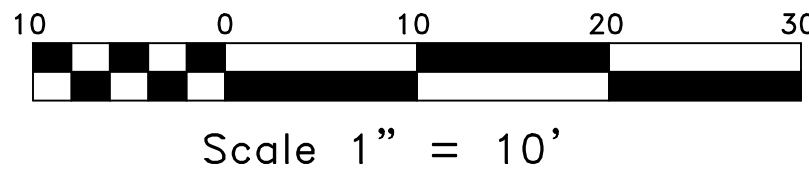


Civil Engineering Land Development
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net

[illegible]

Drawing file: Z:\Projects\123186 LB - Ullman\Draw\123186 XBase.dwg
Plotted: May 23, 2025 - 2:42pm



C6
OF 10 SHEETS
PROJECT# 123-186

[illegible]

Drawing file: Z:\Projects\123186 LB - Ullman\Dwg\123186 XBase.dwg
Plotted: May 23, 2025 - 2:42pm



SCALE:	AS NOTED
DATE:	05-23-25
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	
<div>C7</div> <div>OF 10 SHEETS</div>	
PROJECT#	123-18

Drawing file: Z:\Projects\123186 LB - Ullman\Draw\123186 XBase.dwg
Plotted: May 23, 2025 - 2:42pm



Project Location: 27650 Via Quintana, Carmel Valley, CA 93924
PREPARED FOR: Ullman

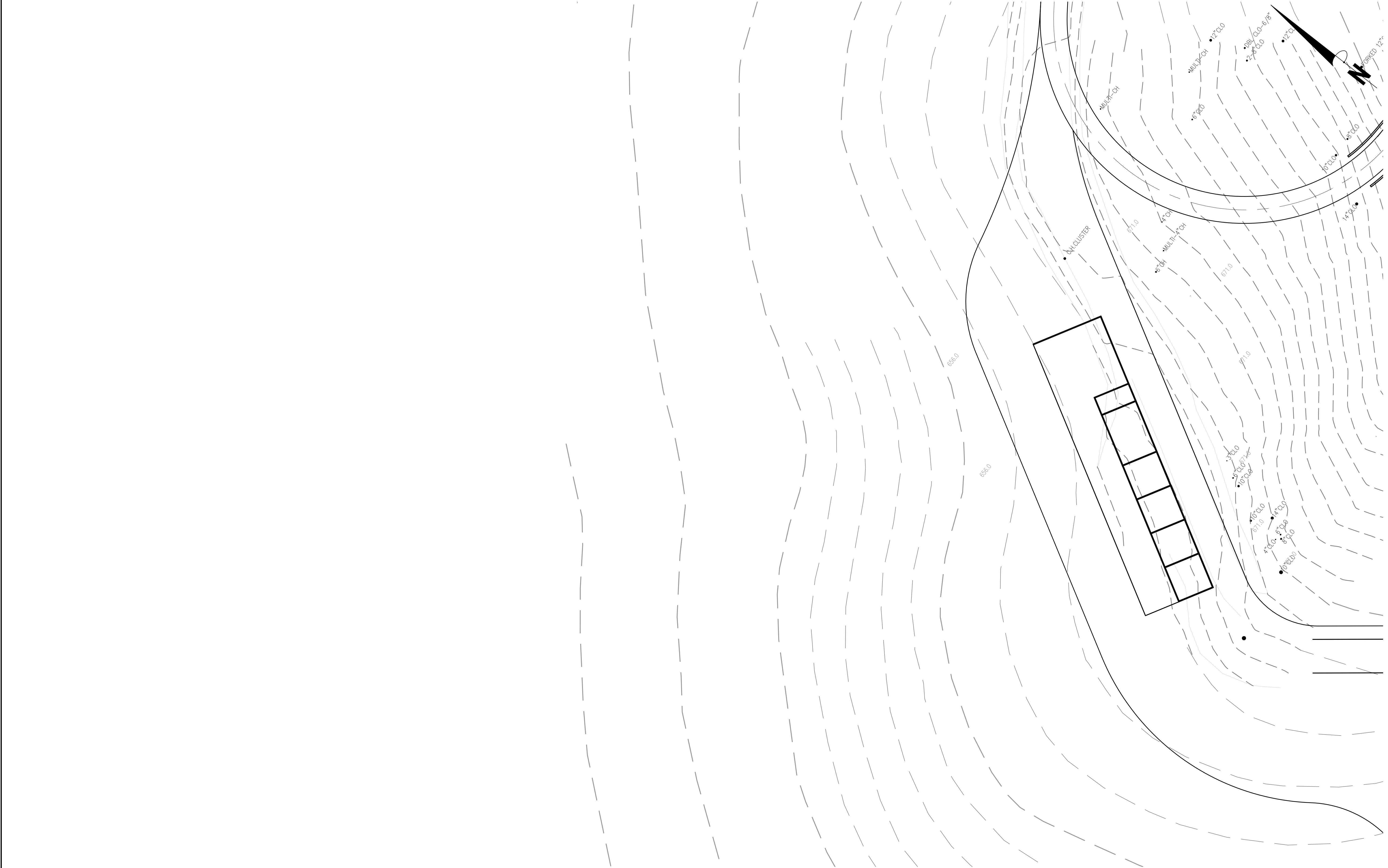
126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net



MADE IN THE USA

Drawing file: Z:\Projects\123186 LB - Ullman\Draw\123186_XBase.dwg
Plotted: May 23, 2025 - 2:42pm

THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE
RESTRICTED TO THE PROJECT AND SITE SPECIFICALLY
IDENTIFIED. REUSE, REPRODUCTION OR PUBLICATION, IN WHOLE OR IN PART, IS
PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.



GRADING & DRAINAGE

1" = 20'



GRADING & DRAINAGE PLAN

BARN

ULLMAN RESIDENCE
APN# 185-051-003-000

Project Location: 27650 Via Quinfana, Carmel Valley, CA 93924
PREPARED FOR: Ullman

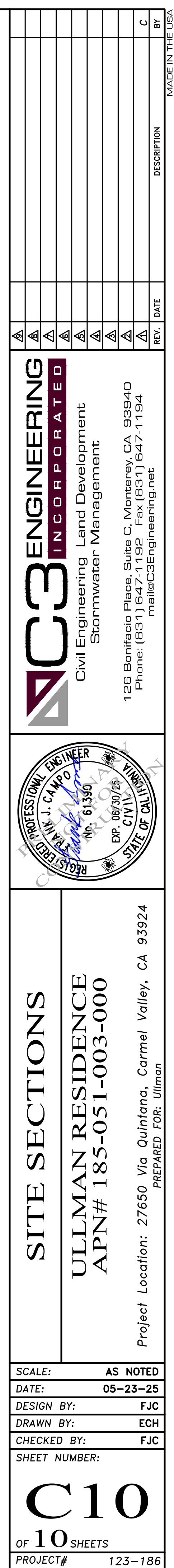
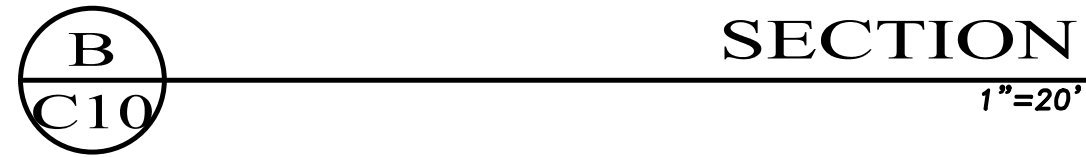
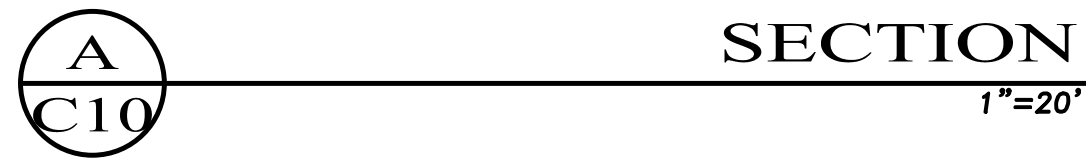


Civil Engineering Land Development
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1192 Fax (831) 647-1194
mail@C3Engineering.net

REV.	DATE	DESCRIPTION	BY
1			C
2			C
3			C
4			C
5			C
6			C
7			C
8			C
9			C
10			C
11			C
12			C
13			C
14			C
15			C
16			C
17			C
18			C
19			C
20			C
21			C
22			C
23			C
24			C
25			C
26			C
27			C
28			C
29			C
30			C
31			C
32			C
33			C
34			C
35			C
36			C
37			C
38			C
39			C
40			C
41			C
42			C
43			C
44			C
45			C
46			C
47			C
48			C
49			C
50			C
51			C
52			C
53			C
54			C
55			C
56			C
57			C
58			C
59			C
60			C
61			C
62			C
63			C
64			C
65			C
66			C
67			C
68			C
69			C
70			C
71			C
72			C
73			C
74			C
75			C
76			C
77			C
78			C
79			C
80			C
81			C
82			C
83			C
84			C
85			C
86			C
87			C
88			C
89			C
90			C
91			C
92			C
93			C
94			C
95			C
96			C
97			C
98			C
99			C
100			C

Drawing file: Z:\Projects\123186 LB - Ullman\Draw\123186 XBase.dwg
Plotted: May 23, 2025 - 2:42pm





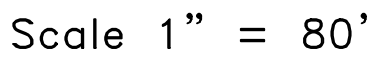
LEGEND

-

REFER TO THE CASQA BMP HANDBOOK FOR BMP FAC
SHEETS. SWPPP WIDID/XXXXXXXXXX

INSPECTIONS

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (RMA-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.



C13
OF 10 SHEETS
PROJECT# 123-186

CONTACT(S):

OWNER - THE ULLMAN'S
CONTRACTOR - TO BE DETERMINED

CONSTRUCTION VEHICLES:

ANTICIPATED CONSTRUCTION VEHICLES FOR PROJECTS SIMILAR IN NATURE WILL CONSIST OF DUMP TRUCKS, BACKHOES, FORKLIFT, CONCRETE TRUCKS, PICK-UP TRUCKS AND CARS DURING GENERAL CONSTRUCTION.

PROJECT SCHEDULING & GRADING ACTIVITY:

THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS. FOR THE FIRST 2 WEEKS, DURING GRADING ACTIVITIES, THERE MAY BE UP TO 6 TRUCKLOADS PER DAY AND UP TO 54 YARDS OF EARTHWORK PER DAY.

HOURS OF OPERATION:

THE HOURS OF OPERATION FOR OUTDOOR CONSTRUCTION WILL BE FROM 8:00 AM TO 5:00 PM; MONDAY THROUGH FRIDAY AND FROM 9:00 AM TO 5:00 PM ON SATURDAY. NO CONSTRUCTION WILL TAKE PLACE ON SUNDAYS.

PROJECT SCHEDULING:

THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS.

PRESERVATION OF EXISTING VEGETATION:

MINIMIZING LIMITS OF DISTURBANCE AND PRESERVING EXISTING TREES AND VEGETATION IS A PRIORITY. DISTURBED AREAS WILL BE RECLAIMED AS SOON AS PRACTICAL WITH THE SAME SOILS AND VEGETATION AS EXISTED PRIOR TO THE DISTURBANCE. IT IS IN EVERYONE'S INTEREST THAT THE PROPERTY BE AS ATTRACTIVE AS POSSIBLE AND THAT DISTURBED AREAS BE RECLAIMED TO NATURAL CONDITIONS AS SOON AS POSSIBLE.

MATERIAL AND EQUIPMENT STAGING AND STORAGE:

CONSTRUCTION IS EXPECTED TO USE JUST-IN-TIME MATERIALS DELIVERIES, MINIMIZING INVENTORY AND RE-HANDLING COSTS. EQUIPMENT AND MATERIAL STORAGE WILL BE EITHER 1) DIRECTLY WITHIN THE HOME OR 2) IN CLOSE PROXIMITY TO THE HOME. PLEASE ALSO SEE THE EROSION CONTROL PLAN SHEET C6 ON THE CIVIL PLANS.

CONSTRUCTION TRAFFIC:

CONSTRUCTION ACTIVITY WILL BE CONTROLLED THROUGH ONE ACCESS POINT TO THE PROPERTY. CONSTRUCTION WORKERS AND MATERIALS WILL COME BY WEST OR EAST OFF CARMEL VALLEY ROAD TO HALDORN ROAD AND QUINTANA, RESTRICTED USAGE ROAD, APPROXIMATELY 0.3 MILES, CONTINUING STRAIGHT TO VIA QUINTANA ROAD APPROXIMATELY 3.3 MILES TO THE CUL-DE-SAC. CONSTRUCTION ENTRANCE IS LOCATED TO THE RIGHT OFF VIA QUINTANA ROAD, APPROXIMATELY 0.5 MILES FROM THE CONSTRUCTION SITE ON THE LEFT. WHEN ENTERING THE PROJECT SITE, CONSTRUCTION ENTRANCE WILL BE PLACED TO PREVENT MUD OR DEBRIS TRACKING ON PUBLIC & PRIVATE ROADS, CLEAN GRADING OR RUMPLE PLATES WILL BE PLACED AT THE ACCESS POINTS TO THE PROPERTY. SEE EROSION CONTROL PLAN SHEET C9 FOR DETAILS. SIGNS WILL BE PLACED TO THE NORTH OF THE CONSTRUCTION ENTRANCE ADVISING OF CONSTRUCTION TRAFFIC, SPEED LIMITS AND APPROPRIATE CAUTIONS AND WARNINGS. SEE VICINITY MAP FOR TRAFFIC ROUTE.

AN APPROVED GRADING AND EROSION CONTROL PLAN WILL BE IMPLEMENTED PRIOR TO BEGINNING EXCAVATION. MEASURES WILL BE REVIEWED ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL EVENTS.

PARKING:

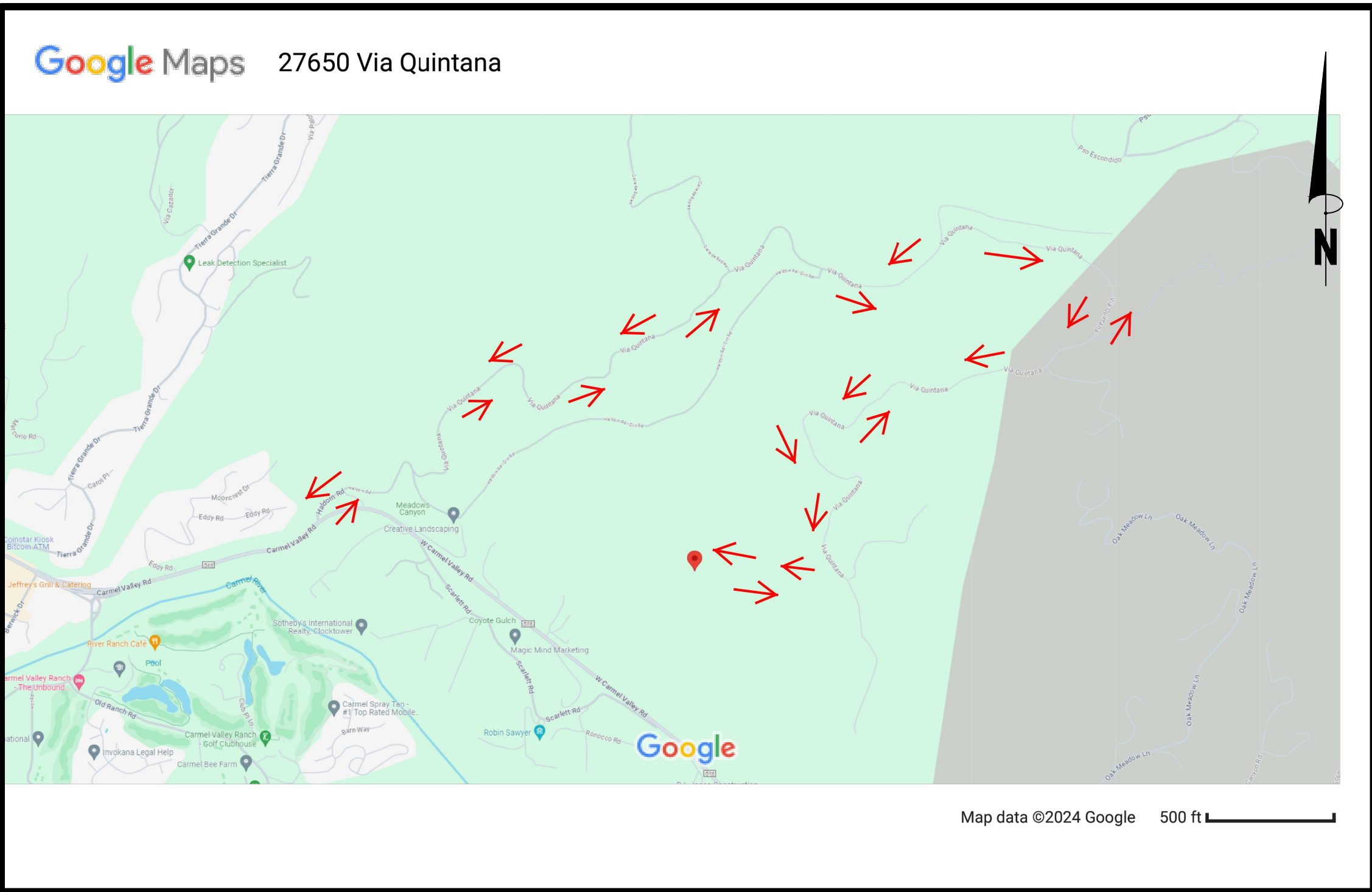
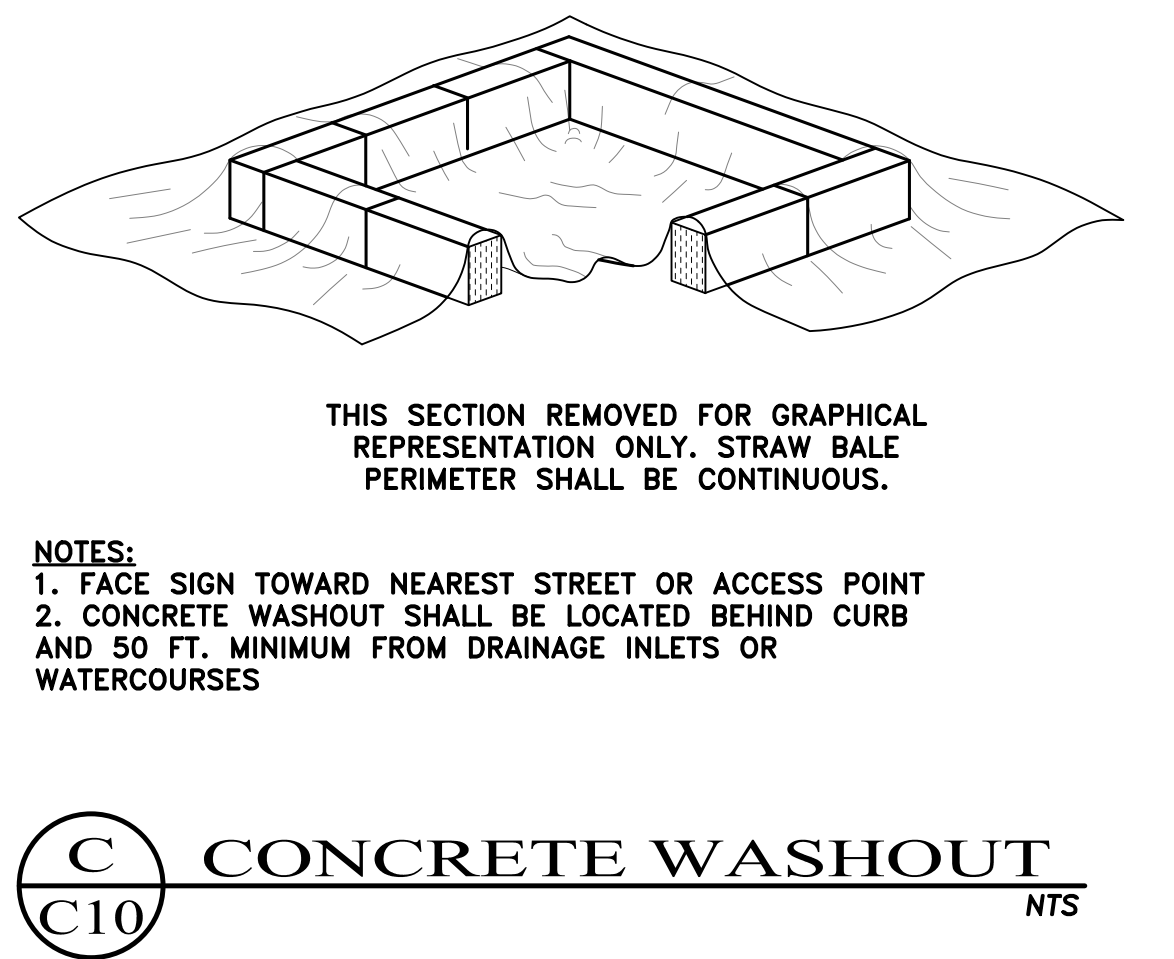
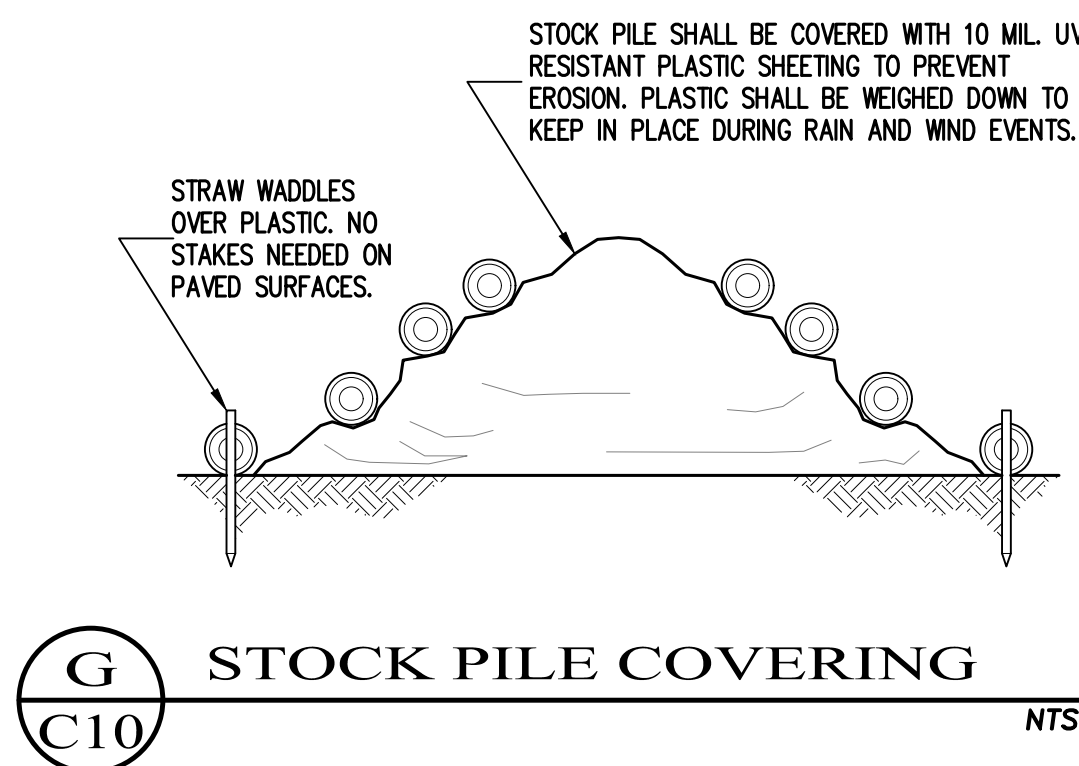
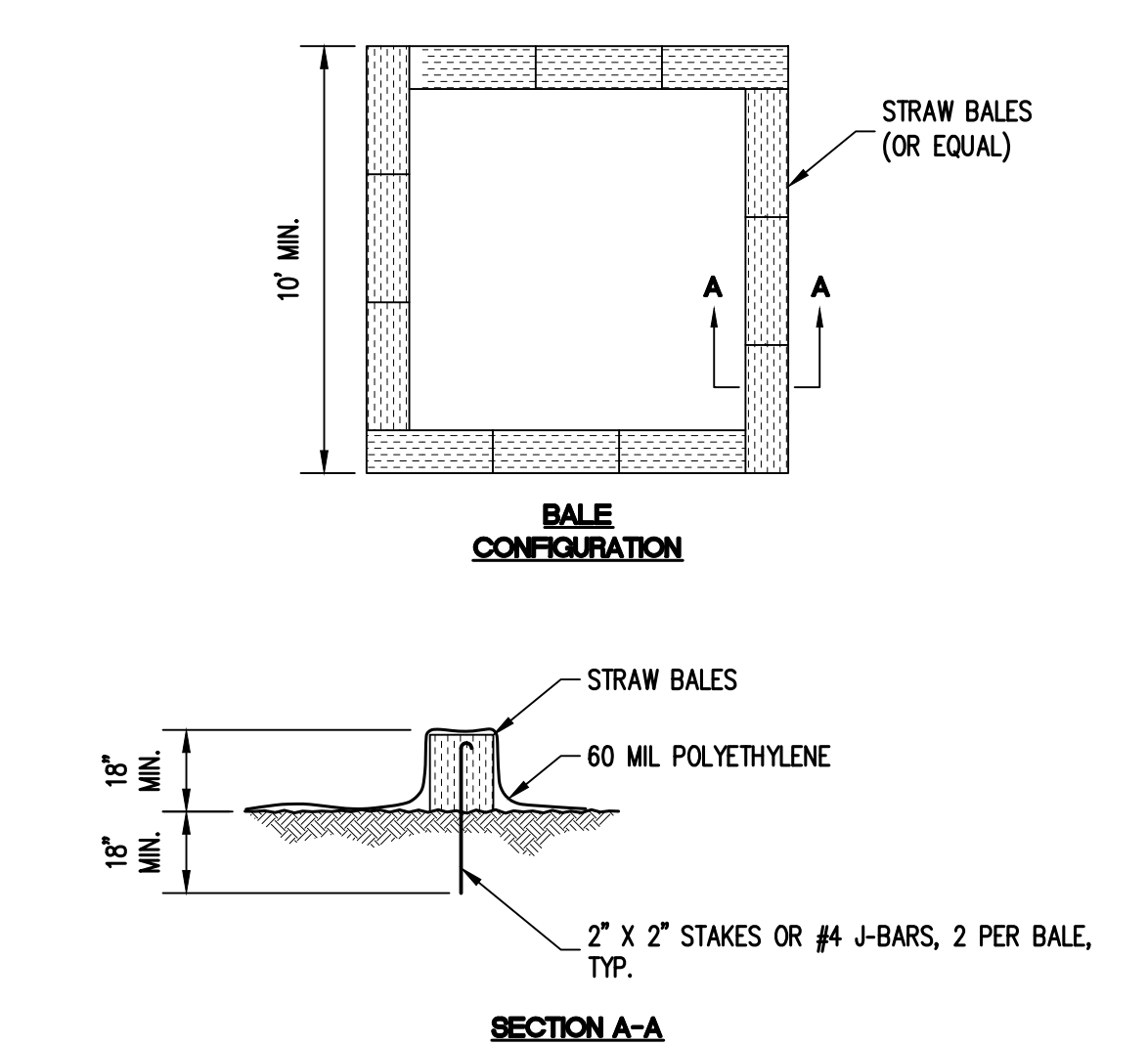
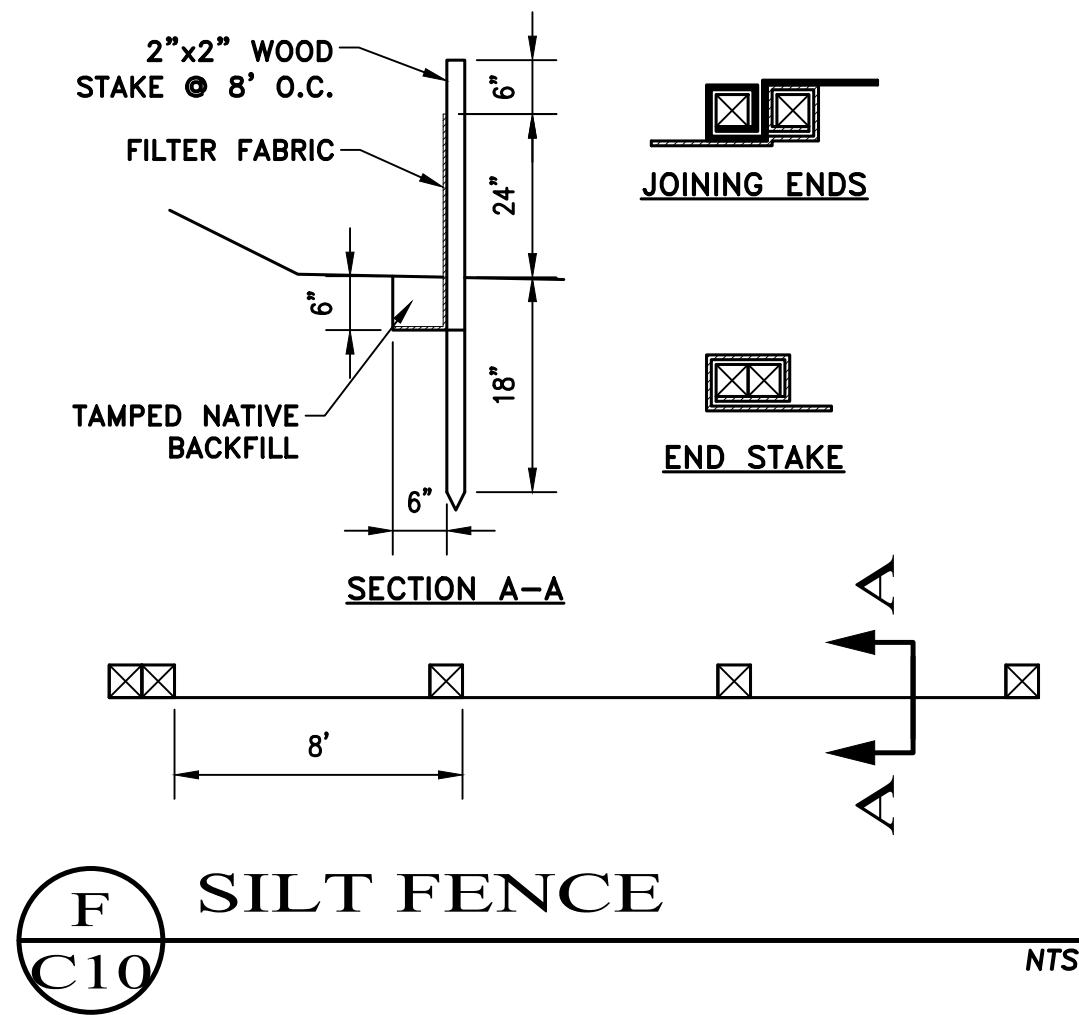
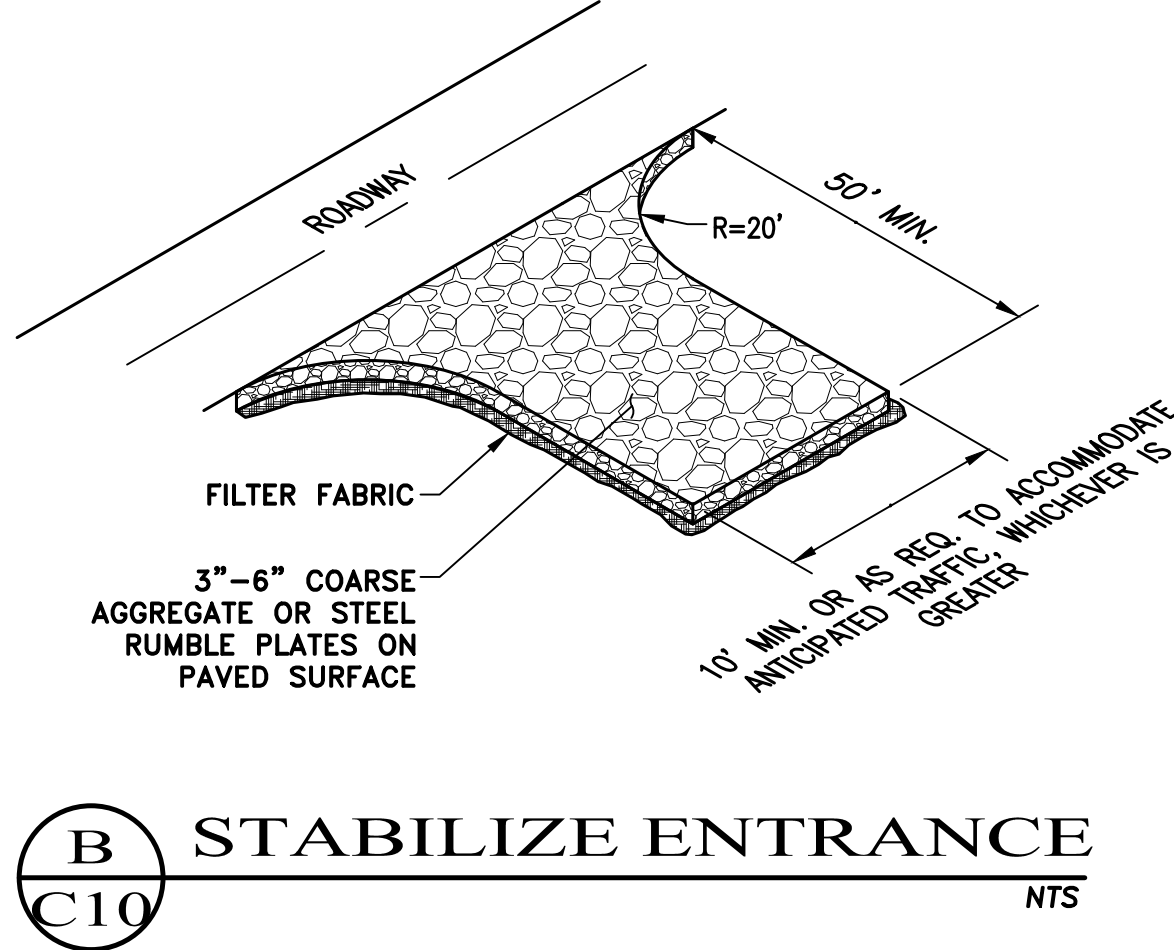
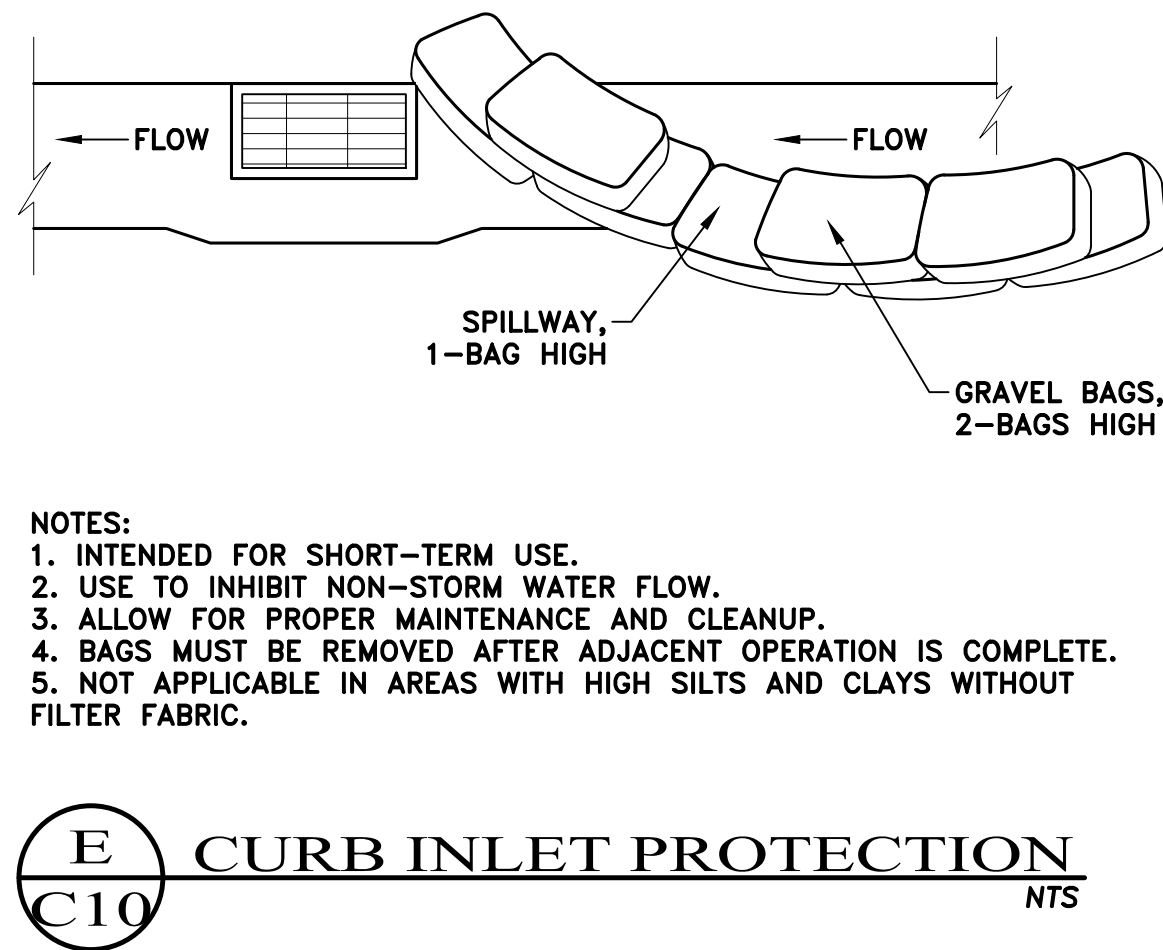
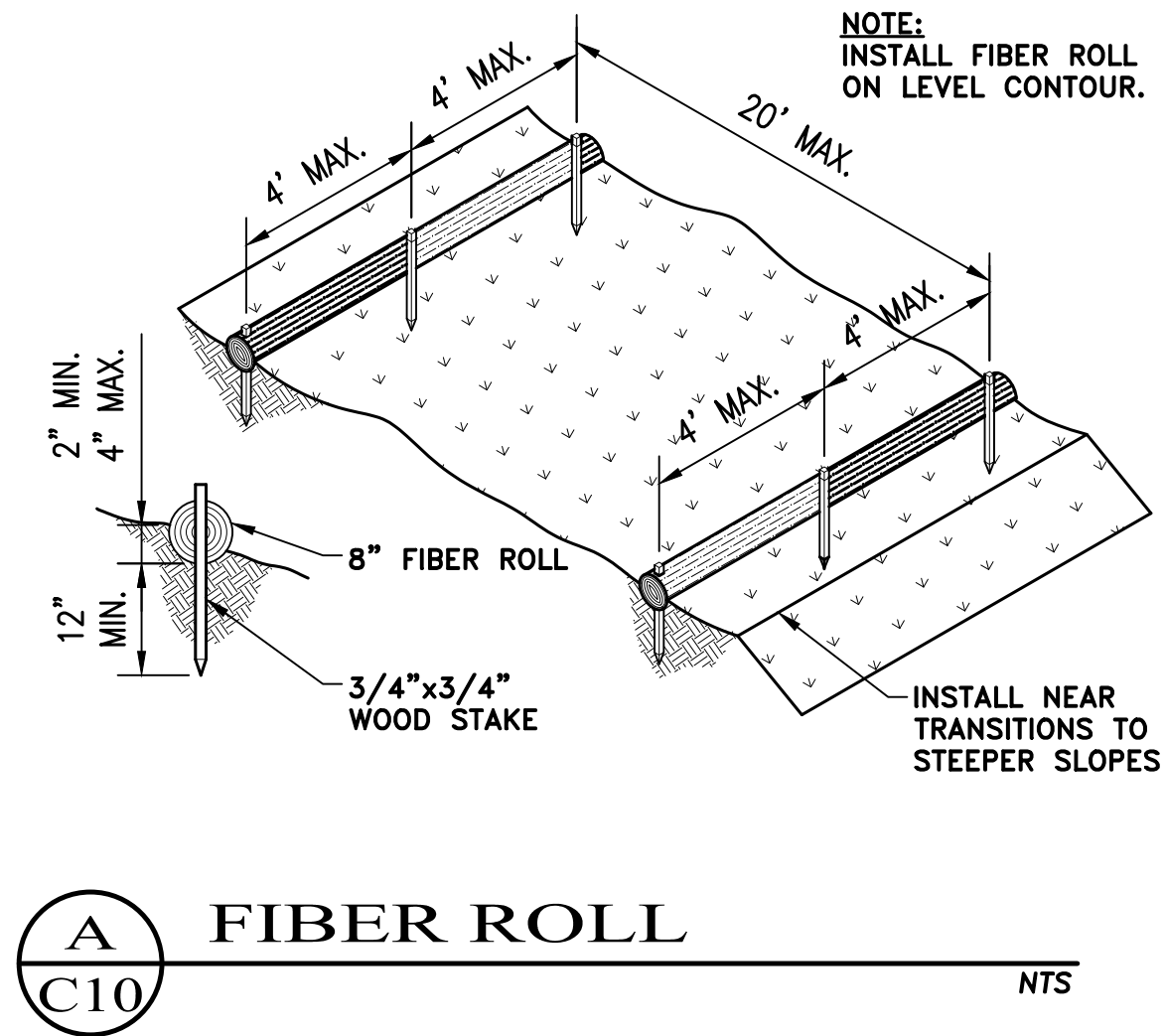
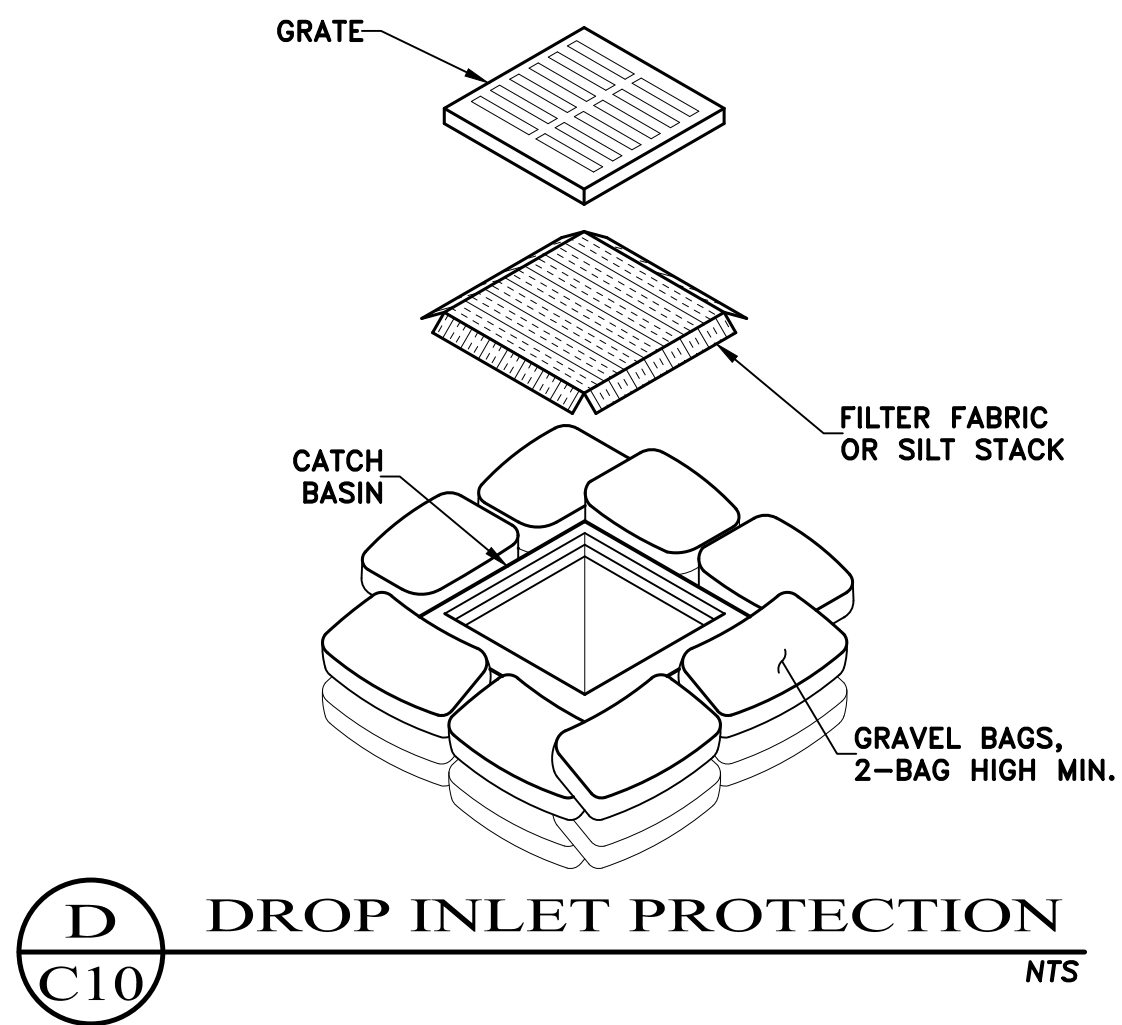
PRINCIPLE EMPLOYEES AND SUBCONTRACTOR PARKING WILL BE LOCATED ONSITE AT THE DESIGNATED PARKING AREAS.

ON-SITE FACILITIES:

CONSTRUCTION TOILETS/PORTA-POTTIES WILL BE PLACED AROUND THE CONSTRUCTION SITE TO PROVIDE ACCESS TO ALL WORKERS. FACILITIES WILL BE RELOCATED AS NEEDED TO PROVIDE REASONABLE ACCESS.

SIGNAGE:

ALONG WITH THE HOURS OF OPERATION AND CONSTRUCTION TRAFFIC SIGNAGE, NAME AND PHONE NUMBERS FOR THE ON-SITE PERSON RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION MANAGEMENT PLAN WILL BE DISPLAYED ON JOBSITE SIGNS ALONG WITH NOTICES AND JOBSITE RULES.



VICINITY MAP

A C3 ENGINEERING INCORPORATED
Civil Engineering Land Development
Stormwater Management

126 Bonifacio Place, Suite C, Monterey, CA 93940
Phone: (831) 647-1156 Fax: (831) 647-1154
mailto:AC3Engineering.net



EROSION AND SEDIMENT
CONTROL PLAN DETAILS

ULLMAN RESIDENCE
APN# 185-051-003-000

ULLMAN RESIDENCE
APN# 185-051-003-000

Project Location: 27650 Via Quintana, Carmel Valley, CA 93924
PREPARED FOR: Ullman

SCALE:	AS NOTED
DATE:	02/29/2024
DESIGN BY:	FJC
DRAWN BY:	ECH
CHECKED BY:	FJC
SHEET NUMBER:	

C13
OF **10** SHEETS
PROJECT# 123-186

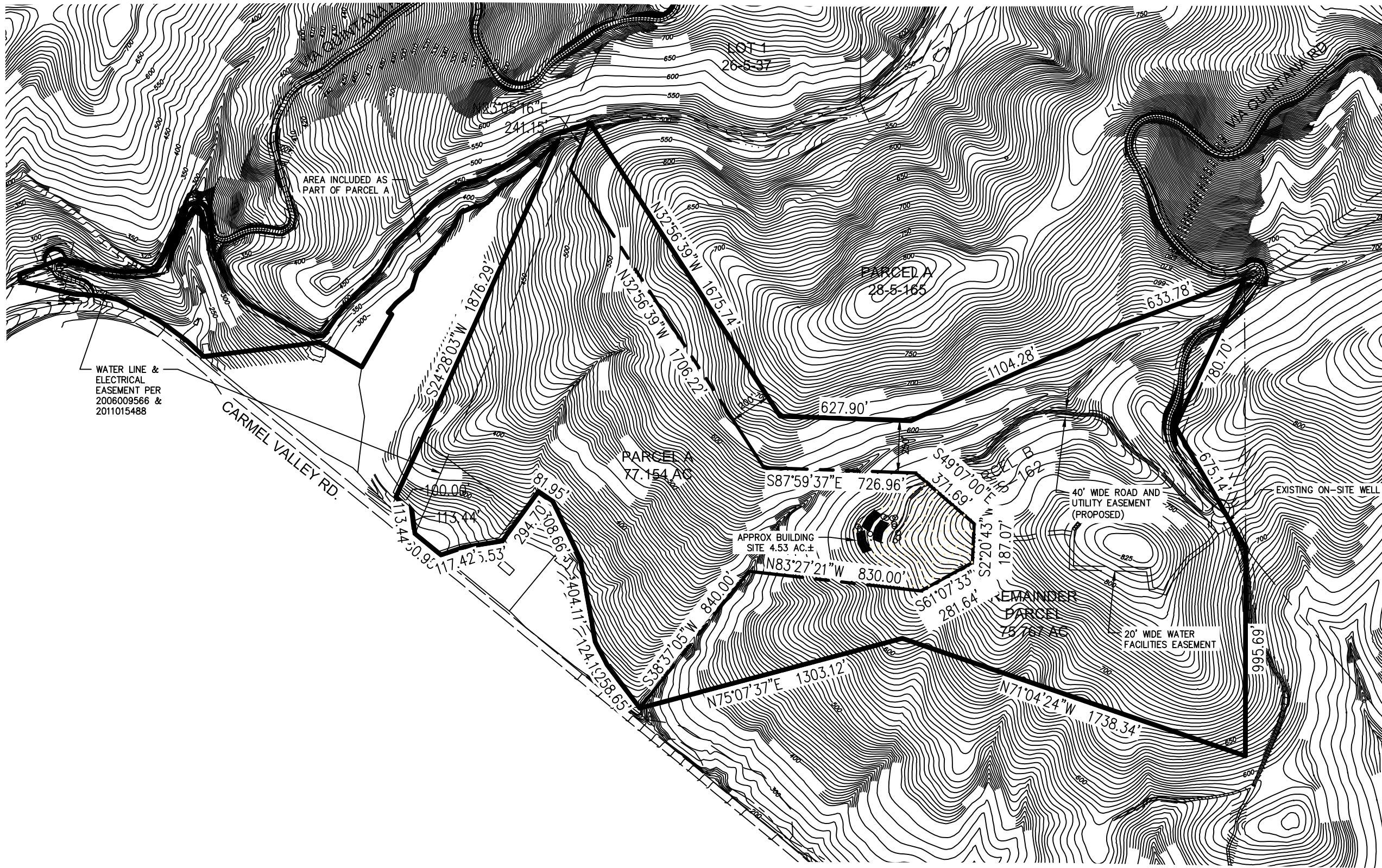
THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL USE FOR WHICH THEY WERE PREPARED. REUSE, REPRODUCTION, OR PUBLICATION, IN WHOLE OR IN PART, IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF C3 ENGINEERING.

Drawing file: Z:\Projects\123186 LB - Ullman\Dwg\123186 XBase.dwg
Plotted: Aug 23, 2024 - 2:47am



VICINITY MAP

NOT TO SCALE

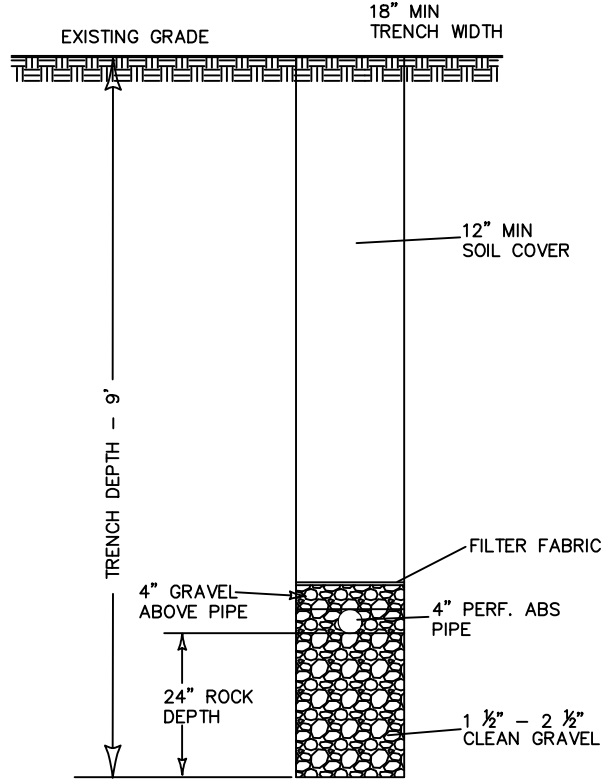


SITE MAP

SCALE: 1" = 500'

BASIS OF SEPTIC DESIGN:

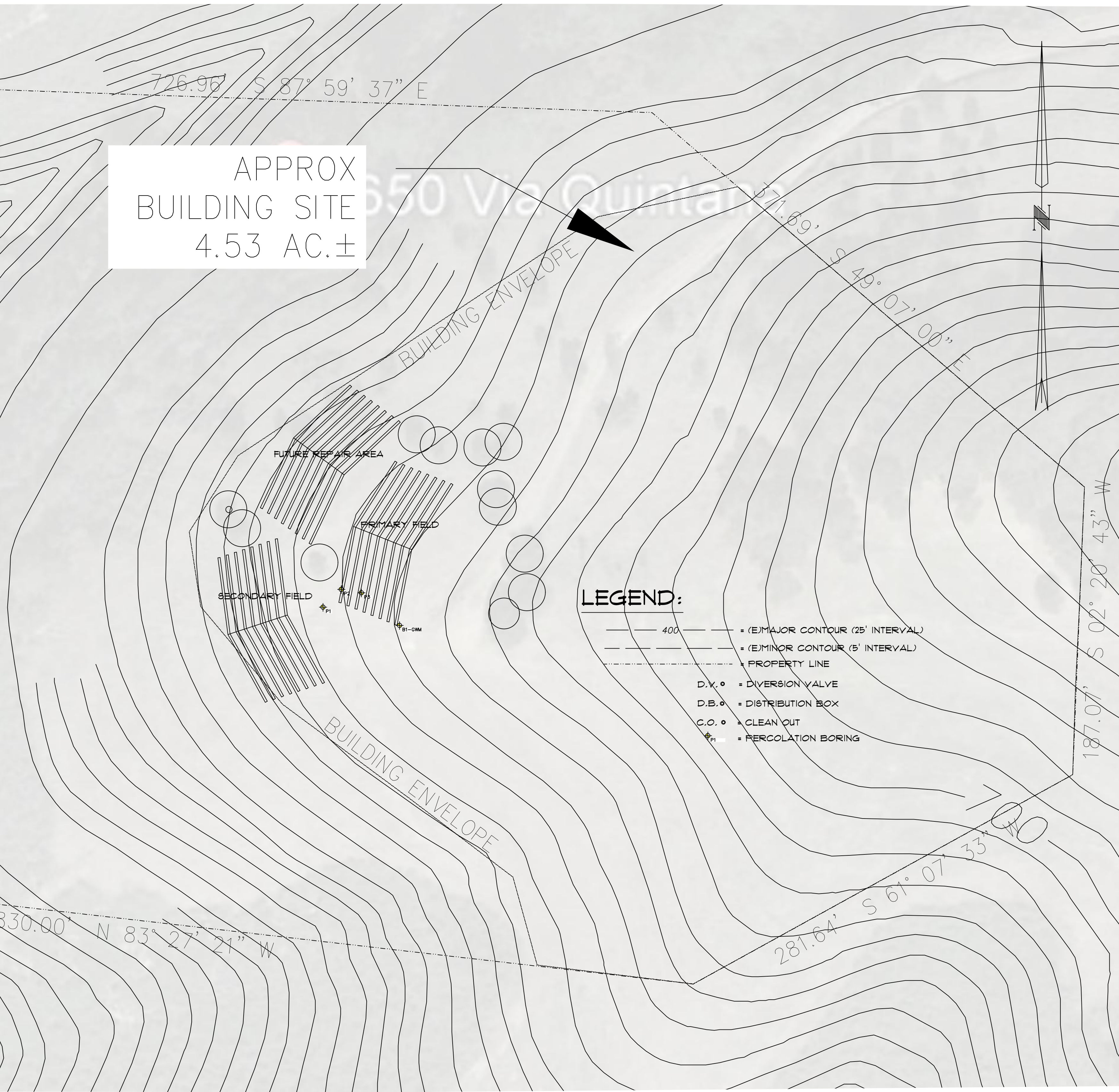
- THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY LAMP FOR OWTs, (MAY 2018). THE TOTAL ALLOWABLE NITROGEN LOADING FOR THIS PARCEL IS 3086.16 TOTAL GRAMS OF NITROGEN. THE PROPOSED DEVELOPMENT PROVIDES A TOTAL OF 50 GRAMS OF NITROGEN FOR THE PROPOSED DEVELOPMENT OF A 4 BEDROOM RESIDENCE.
- THE PROPOSED SYSTEM INCLUDES A 2,000 GALLON TANK. THE PROPOSED SYSTEM IS DESIGNED FOR AN ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS PER DAY.
- A SOILS PERCOLATION INVESTIGATION PREPARED BY SOIL SURVEYS GROUP, INC. DATED 4, 2021 INDICATES AN AVERAGE PERCOLATION RATE BETWEEN 5-FOOT AND 10-FOOT DEPTHS OF 72.92 MINUTES PER INCH. THE DESIGN SOIL APPLICATION RATE IS 0.14 GALLONS PER DAY PER SQUARE FOOT BASED ON THE AVERAGE.
- THE ESTIMATED DAILY WASTEWATER GENERATION 450 GALLONS 450 / 0.14 = 3214 SQUARE FEET. 3214 / 4 LF/FT = 803 LF PRIMARY FIELD: EIGHT - 100' X 2.0' E.D. X 18" TRENCHES SECONDARY FIELD: EIGHT - 100' X 2.0' E.D. X 18" TRENCHES
- THE LEACH FIELDS SHALL HAVE AT A MINIMUM IF 12 INCHES OF SOIL COVER.
- THE LEACH FIELDS SHALL NOT BE COVERED BY AN IMPERMEABLE SURFACE, SUCH AS PAVING, CONCRETE SLABS, PLASTIC SHEETING OR ANY OTHER MATERIAL THAT PREVENTS OXYGEN TRANSFER TO THE SOIL UNLESS SUPPLEMENTAL TREATMENT IS INCORPORATED INTO THE SEPTIC SYSTEM.
- TO FACILITATE FUTURE INSPECTION OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS ARE TO BE INSTALLED AT THE END OF EACH TRENCH.
- THE LEACH FIELDS SHALL NOT BE DEEPER THAN TEN FEET.
- THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.



LEACH FIELD DETAIL

GENERAL / GRADING NOTES

- SURFACE WATER WILL DRAIN AWAY FROM EACH STRUCTURE ON THE LOT.
- INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY.
- PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM OF STORM INLET(S) DURING CONSTRUCTION.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE COUNTY RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.
- ALL GRADING SHALL COMPLY WITH THE COUNTY OF MONTEREY GRADING ORDINANCE.



SEPTIC PLAN

SCALE: 1" = 40'0"

PROJECT INFORMATION

PROPERTY OWNER:	ERIC REY 26750 VIA QUINTANA CARMEL VALLEY, CA 93924
JURISDICTION:	COUNTY OF MONTEREY
ASSESSORS PARCEL NO:	185-052-019-000
DESCRIPTION:	LOT 7, VIA QUINTANA, CARMEL VALLEY, CA 93924
LOT SIZE:	77.154 ACRES

SCOPE OF WORK

THE NEW SEPTIC SYSTEM WILL SERVE A FUTURE 4 BEDROOM RESIDENCE. THE NEW SYSTEM IS INCLUDES A 2,000 SEPTIC TANK WITH PRIMARY FIELD AND SECONDARY FIELDS: (EIGHT - 100' X 2' E.D. (BETWEEN 5' TO 10' DEPTH) X 18" TRENCHES PER EACH FIELD)

SEPTIC NOTES:

- THE ON-SITE WASTEWATER TREATMENT SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY LAMP FOR OWTs FOR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL THE PRIMARY AND SECONDARY LEACH FIELDS, DIVERTER VALVES, DISTRIBUTION BOXES, ETC. AT THE INITIAL INSTALLATION OF THE SEPTIC SYSTEM.
- THE INSTALLATION OF THE SEPTIC TANK AND LEACH FIELDS SHALL BE INSPECTED AND APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENTS PRIOR TO COVERING OR PLACEMENT OF THE DRAIN ROCK.
- THE SEPTIC TANK SHALL BE EQUIPPED WITH AN EFFLUENT FILTER.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE LOCAL UTILITY COMPANIES, PUBLIC OR PRIVATE AND/OR PROPERTY OWNERS.

SEPTIC SYSTEM SITE PLAN

TALUBAN ENGINEERING, INC.

103 CHURCH STREET
SALINAS, CALIFORNIA 93901
P.O. BOX 292, SALINAS, CALIFORNIA, 93902



DATE: 05.22.23

SCALE: AS SHOWN

DRAWN: BT

JOB: 23-006

APN: 185-052-019-000

SHEET
SW.1
OF SHEETS

ULLMAN RESIDENCE

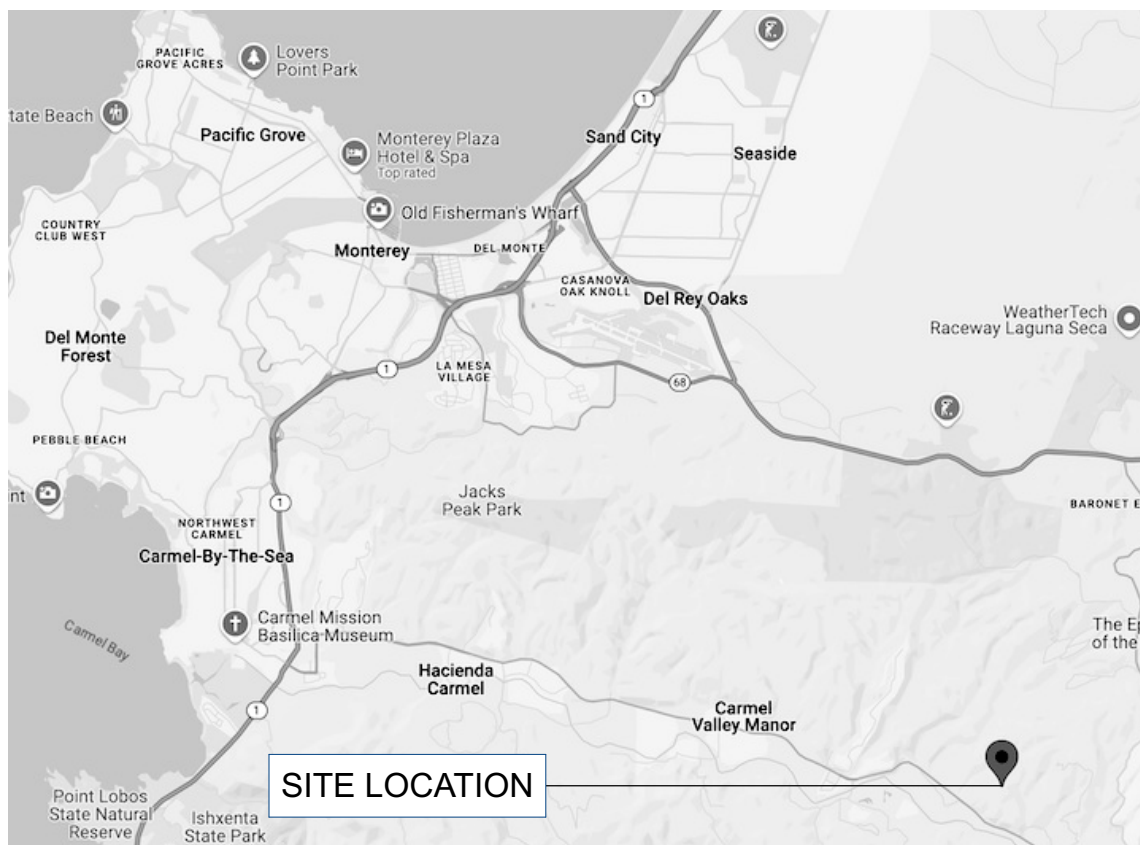
CARMEL VALLEY, CALIFORNIA



PROJECT DESIGN TEAM

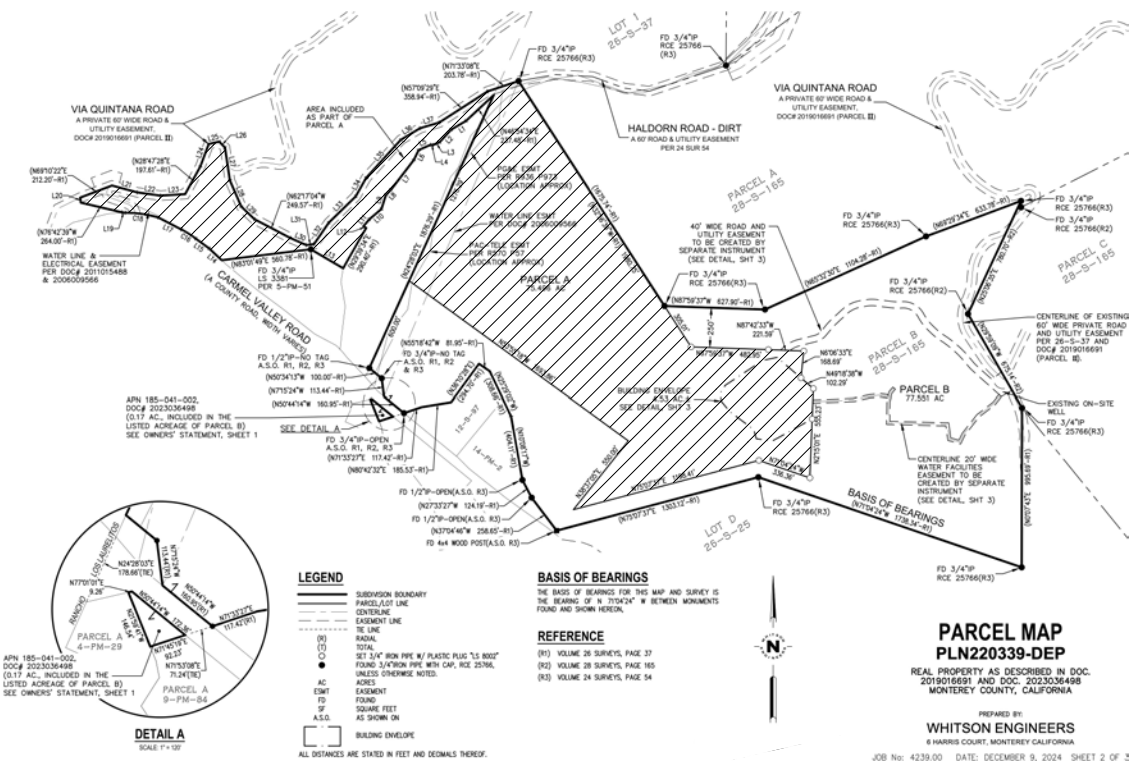
OWNER	HYDROGEOLOGIC
CHAD & AVERY ULLMAN	AARON BIESMAN 3153 REDWOOD DR. APTOS, CA 95003 (831) 334-2237 ABIERMAN@COMCAST.NET
SEPTIC CONSULTANT	ARBORIST
BELINDA TALUBAN TALUBAN ENGINEERING, INC. 103 CHURCH STREET SALINAS, CALIFORNIA 93901 (831) 754-0545	MICHAEL TOPE TOPE'S TREESERVICE, INC. P.O. BOX 51964 PACIFIC GROVE, CA 93950 (831) 676-6953 THETREEDOCTOR831@GMAIL.COM
STRUCTURAL ENGINEER	STORY POLES
WALEED MARI WALEED MARI & ASSOCIATES INC. STRUCTURAL ENGINEERS 1316 K STREET SUITE A MODESTO CA 95354 (209) 521-8786	ASHLEY CALIFORNIA STORY POLES MILPITAS, CA 95035 (408) 850-6344 ASHLEY@CALIFORNIASTORYPOLES.COM INFO@CALIFORNIASTORYPOLES.COM
CIVIL ENGINEER	GEOTECH
FRANK CAMPO C3 ENGINEERING 126 BONIFACIO PLACE, SUITE C, MONTEREY, CA 93940 (831) 647-1192	BELINDA TALUBAN SOIL SURVEYS GROUP INC 103 CHURCH ST SALINAS, CA 93901 (831) 757-2172 INFO@SOILSURVEYS.NET
ARCHITECT/CONTRACTOR/AGENT	BIOLOGY
LEWIS BUILDERS 3706 THE BARNYARD G-11 CARMEL, CA (831) 250-7168	ROBERT K. NURTON, PHD CALIFORNIA ECOLOGICAL ANALYTICS 684 PARADISE ROAD PRUNEDALE, CA 93907 (831) 461-4351 WWW.CALECOANALYTICS.COM
SURVEY	ARCHAEOLOGIST
WHITSON ENGINEERS 6 HARRIS COURT, MONTEREY, CA 93940 (831) 649-5225	RUBEN G. MENDOZA 1645 BEACONHILL DR. SALINAS, CA 93906 (831) 320-9360 INFO@ARCHIVESARCHAEOLOGY.COM
GEOLOGY	
CRAIG C. HARDWOOD 239 PARKORY BEN LOMOND, CA 95005 (831) 325-9327 KIRNIG@CRUIZO.COM	

VICINITY MAP



PARCEL MAP

SCALE 1" = 1200' - 0"



PROJECT DESCRIPTION

PLANNING
SUBDIVISION OF PARCEL COMPLETED - PROPERTY MARKED AS PARCEL 'A'
NEW ONE-STORY 5,620 SF SINGLE FAMILY RESIDENCE
TWO STORY, 995 SF GARAGE WITH 750 SF ADU ON 2ND FLOOR
4,800 SF BARN
UNCOVERED ROPING ARENA
UNCOVERED SPORT COURT
REAR HARDSCAPE AND POOL
GROUND MOUNTED PHOTOVOLTAIC ARRAY

TREE REMOVAL
NONE

BUILDING
SPRINKLERS ARE REQUIRED
BURY PG&E LINES TO HOUSE
PROPERTY TO BE SERVICED BY NEW WELL (APPROVED)
SOLAR ARRAY GROUND INSTALLATION, BATTERIES & GENERATOR, LOCATION TBD
TWO (2) 5,000 WATER TANKS FOR FIRE SUPPRESSION
ONE (1) 5,000 WATER TANK FOR HOUSE SUPPLY

PROJECT DATA

OWNER:	CHAD & AVERY ULLMAN
PROJECT ADDRESS:	27650 VIA QUINTANA PARCEL A CARMEL VALLEY, CA 93924
A.P.N.	185-052-019 PARCEL A
ZONING	LDR/2.5-D-S-RAZ & RDR/10-D-S-RAZ
GENERAL PLAN LAND USE DESIGNATION	LOW DENSITY RESIDENTIAL & RURAL DENSITY RESIDENTIAL
TYPE OF CONSTRUCTION	V-B
OCCUPANCY TYPE	R-3
SEWER	SEPTIC
WATER	WELL (MPWMD) SMALL WATER SYSTEM (4 CONNECTIONS) NAMED 'QUINTANA #7' (REV)

AREA CALCULATIONS

RESIDENCE (P) 5,620 SF
GARAGE (P) 995 SF
ADU (P) 750 SF LIMIT IS 1,200 SF
BARN (P) 4,800 SF
TOTAL BUILDINGS (P) 12,165 SF LIMIT IS 784,080 SF
TOTAL PARCEL 3,288,605 SF (74.496 ACRES)
SITE BUILDING COVERAGE RATIO (P) 0.37% LIMIT IS 25% (784,080 SF)

MAIN:
SETBACKS:
FRONT - 30'
SIDE & REAR - 20'
HEIGHT = 30'

HABITABLE ACCESSORY: (MIN DISTANCE TO MAIN - 10')
SETBACKS:
FRONT - 50'
SIDE & REAR 6'
HEIGHT - 15'

NON-HABITABLE ACCESSORY: (MIN DISTANCE TO ACCESSORY - 6')
SETBACKS: FRONT - 50' OR BEHIND MAIN,
FRONT HALF SIDE - 6',
REAR HALF SIDE & REAR - 1'
HEIGHT - 15'

BARN: (MIN DISTANCE TO MAIN - 20')
SETBACKS:
FRONT - 50' OR BEHIND MAIN,
SIDE & REAR 20'

ADU:
SETBACKS: FRONT - 50',
SIDE & REAR - 4'

CARMEL VALLEY MASTER PLAN:
100' SETBACK FROM CARMEL VALLEY ROAD WHERE APPLICABLE(SEE POLICY 40.2.1.1(CV))

PAGE INDEX

A-0	TITLE SHEET, PROJECT DATA, & PARCEL PLAN
A-0.1	VIEWSHED RENDERINGS OF PROPOSED BUILDINGS
A-0.2	SAFEWAY PULLOUT STORY POLES, W CARMEL VALLEY RD
A-0.3	SAFEWAY PULLOUT REDERING, W CARMEL VALLEY RD
A-1.1	VIEW FROM 927 W CARMEL VALLEY RD
A-1.2	VIEW FROM 927 W CARMEL VALLEY RD
A-1.3	VIEW FROM 929 W CARMEL VALLEY RD
A-1.4	VIEW FROM 931A W CARMEL VALLEY RD
A-1.5	VIEW FROM SAFEWAY PULLOUT, CARMEL VALLEY RD

A-0

VERSION: 1.2

DATE: 6/3/25

PLANNING

TITLE SHEET, PROJECT DATA, & PARCEL PLAN

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCEL A

STAMP/SIGNATURE

John Doe

ALL DRAWINGS, INCLUDING ANY AND ALL
REPRESENTATION, THESE PAGES ARE SOLELY
THE INTELLECTUAL PROPERTY OF LEWIS
BUILDERS. NO PART OF THIS DOCUMENT
CONNECTION WITH THIS PROJECT ONLY. THEY
ANY PROPOSED WHITSON ENGINEERS WITHOUT THE
LEWIS BUILDERS. ANY REUSE OR REPRODUCTION
ATTEMPTS HAVE BEEN UNDERTAKEN TO
ESSENTIAL BUSINESS INTERESTS. IF
CIRCUMSTANCES ARISE, IT IS THE
RESPONSIBILITY OF THE LEWIS BUILDERS
CONTRACTOR TO NOTIFY LEWIS BUILDERS IN
ADVANCE OF ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168

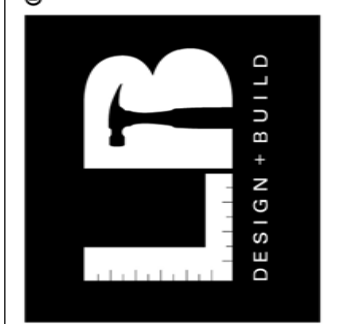




PHOTO LEGEND



A-0.1

VERSION: 1.2

DATE: 6/3/25

PLANNING

VIEWSHED RENDERINGS OF PROPOSED BUILDINGS

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168



NOTE: SAFEWAY PULLOUT RENDERING IS NOT ZOOMED IN, AND PHOTOGRAPHED WITH A 55MM LENSE TO REPLICATE THE HUMAN EYE

SAFEWAY PULLOUT STORY POLES, W CARMEL VALLEY RD			
REV#	DATE / DESCRIPTION	BY	REV#

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

ALL DRAWINGS, RENDERINGS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE SOLE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168



NOTE: SAFEWAY PULLOUT RENDERING IS NOT ZOOMED IN, AND PHOTOGRAPHED WITH A 55MM LENSE TO REPLICATE THE HUMAN EYE

A-0.3

VERSION: 1.2

DATE: 6/3/25

PLANNING

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168

ALL DRAWINGS, RENDERINGS, AND ANY OTHER INFORMATION ON THESE PAGES ARE SOLELY THE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY REPRODUCTION OR TRANSMISSION WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE USER OF THIS DOCUMENT AGREES TO HOLD LEWIS BUILDERS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY LEWIS BUILDERS.



VIEW FROM 927 W CARMEL VALLEY RD (EXISTING)



VIEW FROM 927 W CARMEL VALLEY RD (PROPOSED)

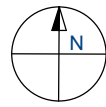


PHOTO LEGEND

A-1.1

VERSION: 1.2

DATE: 6/3/25

PLANNING

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-032-019 PARCELA

STAMP/SIGNATURE

LEWIS BUILDERS

CA LICENSE #B-844741

CARMEL CA 93923

(831) 250 7168

LB

DESIGN + BUILD



VIEW FROM 927 W CARMEL VALLEY RD (EXISTING)



VIEW FROM 927 W CARMEL VALLEY RD (PROPOSED)

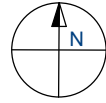


PHOTO LEGEND

VIEW FROM 927 W CARMEL VALLEY RD

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

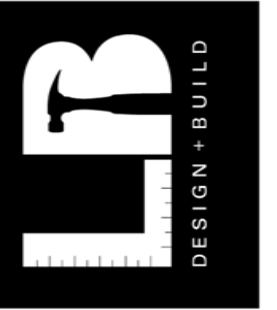
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

[Signature]

ALL DRAWINGS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE SOLELY THE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE USER OF THIS DOCUMENT AGREES TO HOLD LEWIS BUILDERS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





VIEW FROM 929 W CARMEL VALLEY RD (EXISTING)



VIEW FROM 929 W CARMEL VALLEY RD. (PROPOSED)

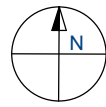


PHOTO LEGEND

VIEW FROM 929 W CARMEL VALLEY RD

REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION	BY

ULLMAN RESIDENCE

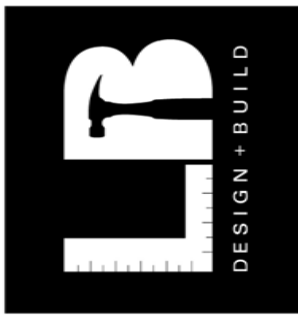
27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

[Signature]

ALL DRAWINGS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE SOLELY THE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. IF ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS DETECTED, LEWIS BUILDERS SHALL BE NOTIFIED IMMEDIATELY. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. LEWIS BUILDERS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION ACTIVITIES.

LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168





VIEW FROM 931A W CARMEL VALLEY RD (EXISTING)



VIEW FROM 931A W CARMEL VALLEY RD (PROPOSED)

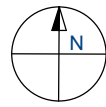


PHOTO LEGEND

A-1.4

VERSION: 1.2

DATE: 6/3/25

PLANNING

VIEW FROM 931A W CARMEL VALLEY RD			
REV #	DATE / DESCRIPTION	BY	REV #

ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924
APN 185-052-019 PARCELA

STAMP/SIGNATURE

LEWIS BUILDERS

CA LICENSE #B-844741

CARMEL CA 93923

(831) 250 7168

ALL DRAWINGS, CONDITIONS, AND SPECIFICATIONS ARE THE PROPERTY OF LEWIS BUILDERS. THESE PAGES ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY REPRODUCTION OR TRANSMISSION OF THESE PAGES WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PAGES. THE USER OF THESE PAGES AGREES TO HOLD LEWIS BUILDERS HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THESE PAGES. THE USER OF THESE PAGES AGREES TO HOLD LEWIS BUILDERS HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THESE PAGES.



VIEW FROM SAFEWAY PULLOUT, .97 MILE TO SUBJECT PROPERTY (EXISTING)



VIEW FROM SAFEWAY PULLOUT, .97 MILE TO SUBJECT PROPERTY (PROPOSED)

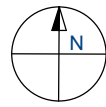



PHOTO LEGEND

VIEW FROM SAFEWAY PULLOUT, CARMEL VALLEY RD				
REV #	DATE / DESCRIPTION	BY	REV #	DATE / DESCRIPTION

ULLMAN RESIDENCE	27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924 APN 185-052-019 PARCELA
------------------	---

STAMP/SIGNATURE	
-----------------	---

ALL DRAWINGS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE SOLE PROPERTY OF LEWIS BUILDERS. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LEWIS BUILDERS IS STRICTLY PROHIBITED. LEWIS BUILDERS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS ON THE GROUND PRIOR TO ANY CONSTRUCTION ACTIVITIES.



LEWIS BUILDERS
CA LICENSE #B-844741
CARMEL CA 93923
(831) 250 7168