# ULLMAN RESIDENCE

27650 VIA QUINTANA, CARMEL VALLEY, CA, 93924 APN 185-052-019 PARCEL A [MONTEREY COUNTY]



# HOURS OF CONSTRUCTION

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.

### DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:

SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS

# CONSTRUCTION PLAN SUMMARY

- 1. THE PROPOSED PROJECT IS A SFR NEW BUILD THAT IS TO BE COMPLETED IN A TIME FRAME OF 24 MONTHS.
- 2. THE PROPOSED PROJECT WILL BE BUILT BY A LICENSED CONTRACTOR WITH AN AVERAGE OF 6 TO 8 WORKERS WORKING ON THE PROJECT PER WORKING DAY.
- A. OWNER: CHAD & AVERY ULLMAN B. CONTRACTOR: LEWIS BUILDERS
- 4. ON AVERAGE. TWO TO THREE TRUCKS A DAY AT SITE AND ONE TRIP TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT A WEEK. 5. HOURS OF OPERATIONS: M-F, 8AM - 5PM.
- 6. PROJECT SCHEDULING: START AUGUST 2025 END AUGUST 2027. 7. WASTE TO BE HAULED TO MONTEREY REGIONAL WASTE MANAGEMENT DISTRICT LANDFILL IN MARINA.

# SPECIAL WORK GUIDELINES

# **VICINITY MAP** COUNTRY CLUB WEST Del Monte Forest PEBBLE-BEACH Carmel-By-The-Se SITE LOCATION

# WATER CREDITS

MPWMD PERMIT FOR SECOND WELL APPROVED SEE MPWMD WORSKEET ON SHEET A-N.2

# FIRE SPRINKLERS

SPRINKLERS ARE REQUIRED (NEW BUILD) FIRE RISER, ALARM, AND CHECK VALVE REQUIRED TWO (2) 5,000 GALLON TANKS REQUIRED FOR FIRE SUPRESSION

# **ZONING CONFORMANCE**

RESIDENCE (P) 5,620 SF (P) 995 SF GARAGE ADU (P) 750 SF LIMIT IS 1,200 SF (P) 4,800 SF TOTAL BUILDINGS (P) 12,165 SF LIMIT IS 784,080 SF

TOTAL PARCEL 3,288,605 SF (74.496 ACRES) SITE BUILDING COVERAGE RATIO (P) 0.37% LIMIT IS 25% (784,080 SF)

MAIN: (MIN DISTANCE TO 2ND RESIDENCE = 20') SETBACKS: FRONT - 30', SIDE & REAR - 20' :: HEIGHT = 30' HABITABLE ACCESSORY: (MIN DISTANCE TO MAIN - 10'): SETBACKS: FRONT - 50', SIDE & REAR 6' :: HEIGHT - 15'

NON-HABITABLE ACCESSORY: (MIN DISTANCE TO ACCESSORY - 6') SETBACKS: FRONT - 50' OR BEHIND MAIN, FRONT HALF SIDE - 6'; REAR HALF SIDE & REAR - 1' :: HEIGHT - 15'

BARN: (MIN DISTANCE TO MAIN - 20') SETBACKS: FRONT - 50' OR BEHIND MAIN, SIDE & REAR 20'

SETBACKS: FRONT - 50', SIDE & REAR - 4' CARMEL VALLEY MASTER PLAN:

100' SETBACK FROM CARMEL VALLEY ROAD WHERE APPLICABLE(SEE POLICY 40.2.1.1(CV))|

# CONTACT INFO

ERIC J. REY on behalf of CHAD & AVERY ULLMAN 3 HOLDING FIELD RUN. CARMEL, CA 93923

ENGINEER OF RECORD

(831) 250-7168

### **ENERGY COMPLIANCE**

MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923

# SITE DETAILS

LAND USE: ZONING: SITE AREA: 74.496 ACRES (3,288,605 SF) YEAR BUILT: NEW BUILD OCCUPANCY TYPE: CONSTRUCTION TYPE SPRINKLED: STORIES: TOTAL BUILDINGS:

5,620 SF HOUSE: GARAGE: 995 SF ADU: 750 SF

JURISDICTION: FIRE DISTRICT: MONTEREY COUNTY REGIONAL FD WATER: WELL (MPWMD) SMALL WATER SYSTEM (4 CONNECTIONS) NAMED 'QUINTANA #7 (REY)

SOILS REPORT: HISTORIC BLDG: ARCHEOLOGY: YES. HIGH/MODERATE

BARN:

YES. IN PROGRESS NO, PER SENIOR PLANNER (LUIS OSORIO)

# APPLICANT / DESIGNER

LEGAL OWNER LEWIS BUILDERS 3706 THE BARNYARD G-11 CARMEL, CA

831.372.8328 cad@meg4.com

LDR/2.5-D-S-RAZ & RDR/10-D-S-RAZ

ONE (RESIDENCE),;TWO (GARAGE/ADU)

4,800 SF MONTEREY COUNTY

SEWER: ELECTRICITY/GAS OFF-GRID WITH PG&E TRENCHING

FLOODPLAIN: FEMA ZONE 'X' WUI ZONE: YES, VERY HIGH EASEMENTS: ENCROACHMENT: NON-CONFORMING: VARIANCE:

PARCEL DIVISION:

# PROJECT DESCRIPTION

\*SUBDIVISION OF PARCEL COMPLETED - PROPERTY MARKED AS PARCEL 'A' NEW ONE-STORY 5,620 SF SINGLE FAMILY RESIDENCE TWO STORY, 995 SF GARAGE WITH 750 SF ADU ON 2ND FLOOR 4,800 SF BARN

UNCOVERED SPORT COURT REAR HARDSCAPE AND POOL GROUND MOUNTED PHOTOVOLTAIC ARRAY

ONE (1) 5,000 WATER TANK FOR HOUSE SUPPLY

UNCOVERED ROPING ARENA

TREE REMOVAL

SPRINKLERS ARE REQUIRED BURY PG&E LINES TO HOUSE PROPERTY TO BE SERVICED BY NEW WELL (APPROVED) SOLAR ARRAY GROUND INSTALLATION, BATTERIES & GENERATOR, LOCATION TBD TWO (2) 5,000 WATER TANKS FOR FIRE SUPPRESSION

# PAGE INDEX

**REVISION HISTORY** 

SUBMITTAL RECORD

02/07/25 1.0 ER/RDG INITIAL PLANNING SUBMITTAL

NONE

COVER: PROJECT DATA SITE SURVEY HOUSE FLOOR PLANS

BARN PLAN & MATERIALS **EXTERIOR ELEVATIONS & MATERIALS ROOF PLAN** FINISH MATERIALS

LANDSCAPE PLAN LANDSCAPE LIGHTING & DETAILS EXTERIOR ELEVATIONS: SIDES DOOR SCHEDULE

WINDOW SCHEDULE

A-0

PLANNING

2/7/25

VERSION:

DATE:

# AN RESIDENCE



# **BUILDING CODES**

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE

 CALIFORNIA BUILDING CODE 2024 • CALIFORNIA RESIDENTIAL CODE 2024

 CALIFORNIA MECHANICAL CODE 2024 CALIFORNIA PLUMBING CODE 2024

 CALIFORNIA ELECTRICAL CODE 2024 CALIFORNIA FIRE CODE 2024 CALIFORNIA ENERGY CODE 2024

 CALIFORNIA GREEN BUILDING STANDARDS CODE 2024 MONTEREY COUNTY CODE AMENDMENTS 2024

1. A RIGHT OF WAY FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 13, PAGE 434 OF DEEDS, RECORDED MARCH 31, 1887 2. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF PACIFIC IMPROVEMENT CO. PER VOLUME 27,

PAGE 335 OF DEEDS, RECORDED APRIL 3, 1890. 3. A WATER PIPE LINE EASEMENT FOR THE BENEFIT OF MONTEREY WATER WORKS PER VOLUME 93, PAGE 66 CF DEEDS, RECORDED JULY 5, 1906 AND VOLUME 156, PAGE

# **DEFERRED SUBMITTAL**

FAU MODEL, BTU, PIPE SIZE & LENGTHS GAS SCHEMATIC GAS PIPE SIZE & LENGTHS PLUMBING SCHEMATIC PLUMBING PIPE SIZE & LENGTHS GENERATOR DECIBEL TESTING

# CIVIL - WHITSON ENGINEERS

BIOLOGICAL - BIOLOGICAL ECOLOGICAL ANALYTICS (ROBERT K. BURTON)

# SEPTIC - TALUBAN ENGINEERING (BELINDA TALUBAN) WELL DRILLER - GRANITE DRILLING (MIKE GRACHEK)

6. UTILITY EASEMENTS SET DURING PARCEL DIVISION, 2025.

# NOTES

LANDSCAPE & IRRIGATION PLAN LANDSCAPE WATER USE CALCULATION

RADIANT MODEL, BTU, PIPE SIZE & LENGTHS

# PARTNERS OF RECORD

GEOTECH (SOILS) - SOIL SURVEYS (BELINDA TALUBAN)

ARCHAEOLOGY - A & A (RUEBEN MENDOZA)

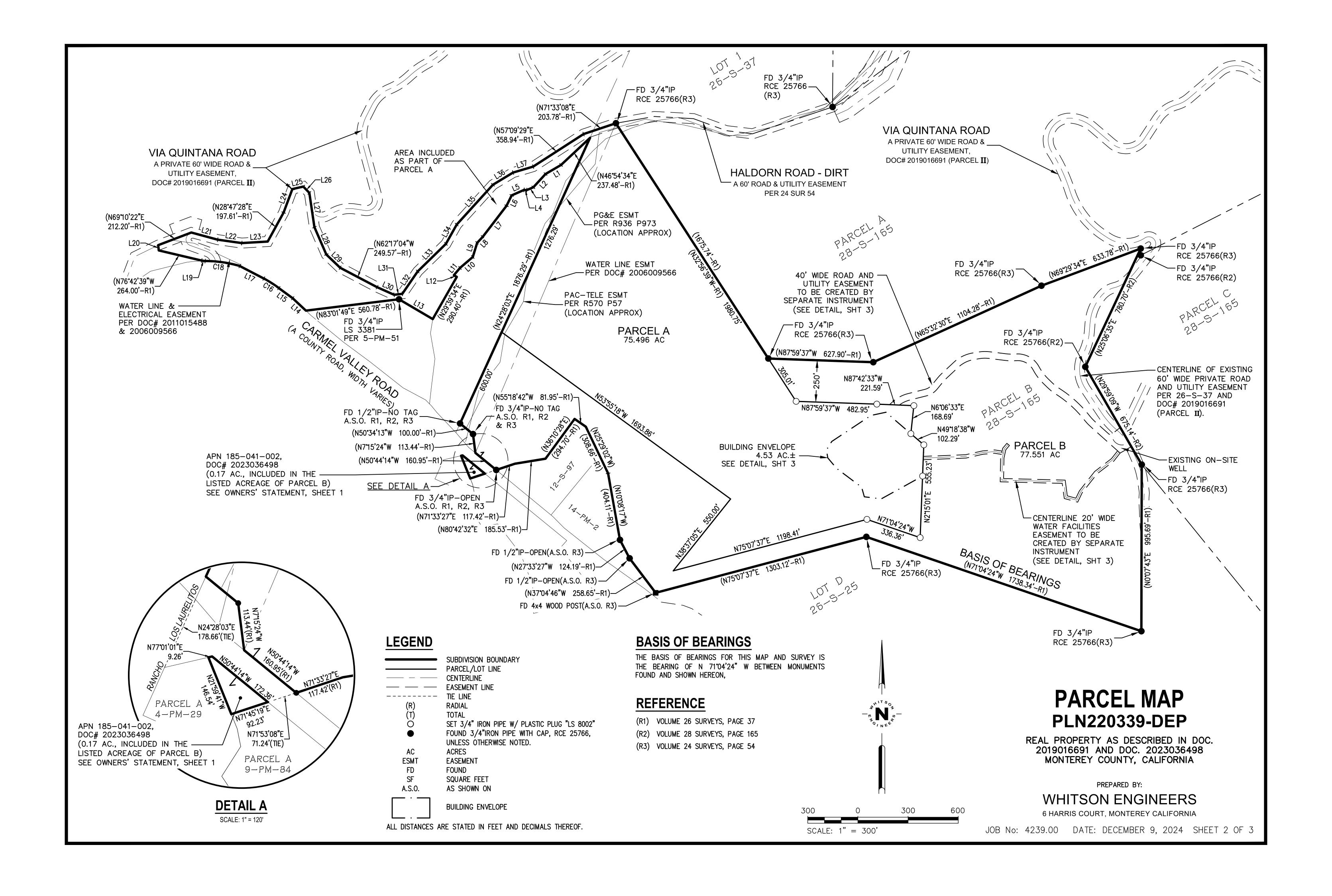
# **EASEMENTS**

392 OF DEEDS, RECORDED MARCH 23, 1918

4. A BLANKET UTILITY EASEMENT FOR THE BENEFIT OF PACIFIC GAS AND ELECTRIC AS RECORDED AUGUST 29, 2003 AS DOCUMENT 2003105560 OF OFFICIAL RECORDS. 5. EQUESTRIAN TRAIL EASEMENTS ARE NOT SHOWN.

SUBDIVISION OF PARCEL HAS BEEN RECORDED AT TIME OF SUBMITTAL, NEW OWNERSHIP WILL BE REFLECTED BY JANUARY 2025.

BUILDING FIRE SUPPRESSION



# **FLOOR PLAN NOTES**

1 ALL NEW STUDS @ 16" OC.

2 GLASS SHOWER WALL NOTES 2.1 GLAZING IN ENCLOSURES FOR WALLS FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE

OF THE GLAZING IS THAN 60 INCHES MEASURED VERTICALLY ABOVE AND STANDING OR WALKING SURFACE SHALL CONFORM TO CRC R308.3, R308.4.

2.2 SHOWERS SHALL BE PROVIDED WITH DAMS/THRESHOLDS AT LEAST 2 " AND NOT MORE THAN 9 " ABOVE THE TOP OF THE DRAIN. DAMS/THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 " INCH DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN A MINIMUM 22 "

UNOBSTRUCTED OPENING FOR EGRESS PER CPC 411.6. 2.3 ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY FOUR (1,024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH CIRCLE PER CPC 411.7.

2.4 SHOWER FLOORS SHALL HAVE A MINIMUM 2% FLOOR PITCH TO FLOOR DRAIN. 2.5 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR.

### STAIRS AND GUARDRAILS

STAIRS WITH 4 OR MORE RISERS SHOWING THE FOLLOWING MINIMUMS: [CRC R311.7.7] A) GUARDS USED AS HANDRAIL SHALL BE BETWEEN 34 TO 38 INCHES IN HEIGHT AND HAVE INTERMEDIATE RAILINGS SPACED SO THAT A SPHERE 4.375 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC

R311.7.7.1 & R312.2 EXCEPTION 2, R312.3 EXCEPTION 2] B) THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE SUCH THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH. [CRC R312.3 EXCEPTION 1]

C) THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 11/4 INCH NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. [CRC R311.7.7.1]

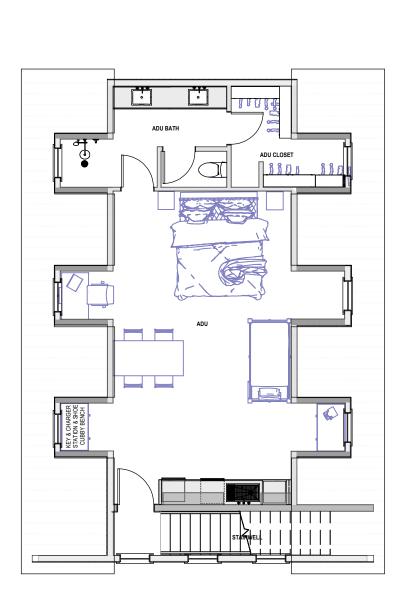
MINIMUM CODE REQUIREMENTS:
A) MAXIMUM 7.75-INCH RISE AND MINIMUM 10-INCH RUN. [CRC R311.7.4.1 & R311.7.4.2] B) MINIMUM 6 FEET 8 INCH VERTICAL HEADROOM MEASURED AT STAIRWAY TREAD NOSINGS. [CRC R311.7.2] C) MINIMUM 36 INCH CLEAR WIDTH. [CRC R311.7.4.1]

D) THERE SHALL BE A FLOOR OR A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. [CRC R311.7.5]

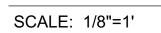
E) AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 12 FEET OF VERTICAL STAIRWAY RISE MEASURED BETWEEN THE HORIZONTAL PLANES OF ADJACENT LANDINGS. [CRC R311.7.5 EXCEPTION]

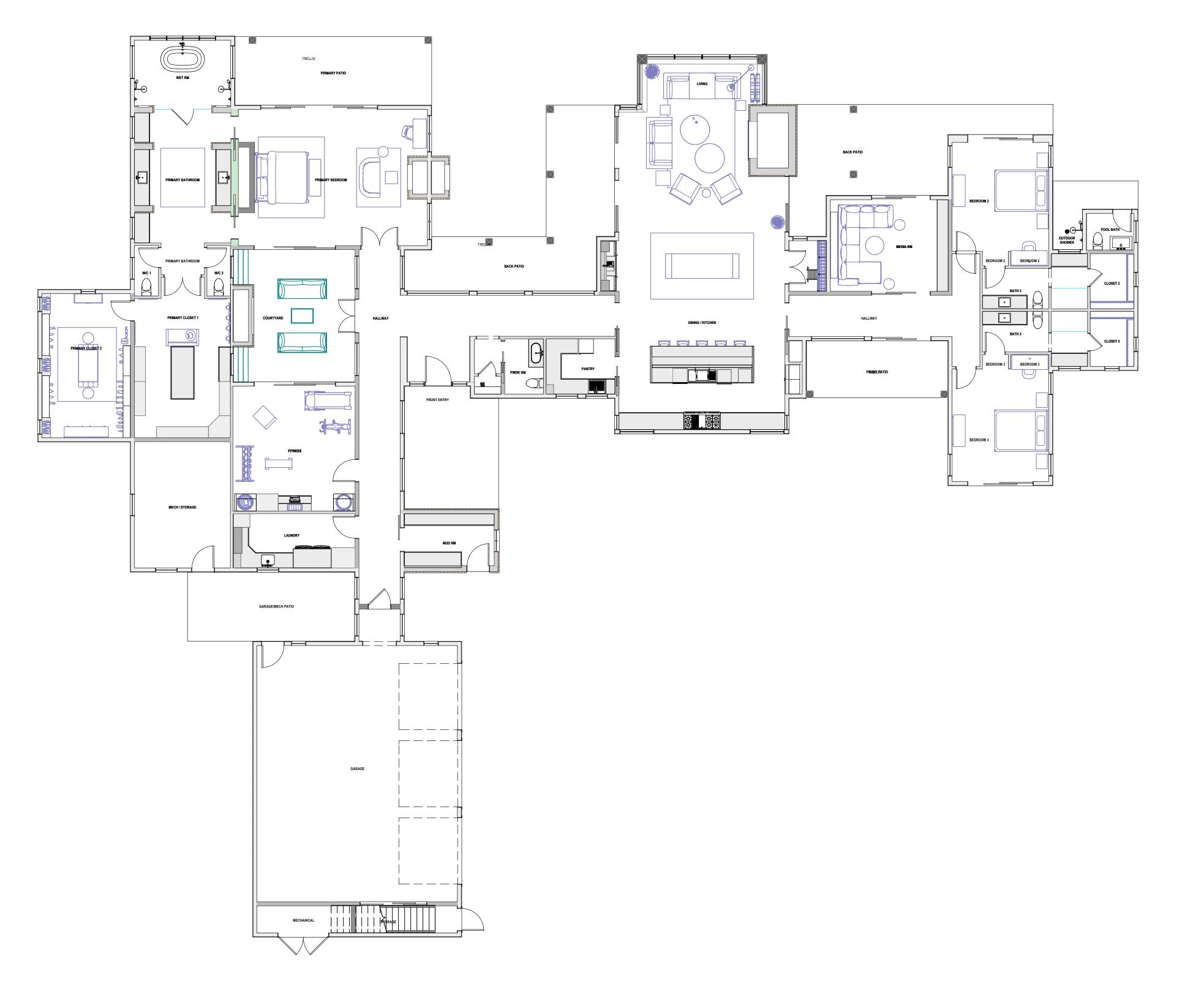
## UNDERSTAIR AREAS:

A) HABITABLE AREAS BENEATH STAIRS TO HAVE 1/2" MINIMUM GWB, PER CRC R302.7 B) AREAS CONTAINING APPLIANCES, AREA REQUIRES 5/8 TYPE 'X' I HR FIRE RATED GYPSUM









A-2.1

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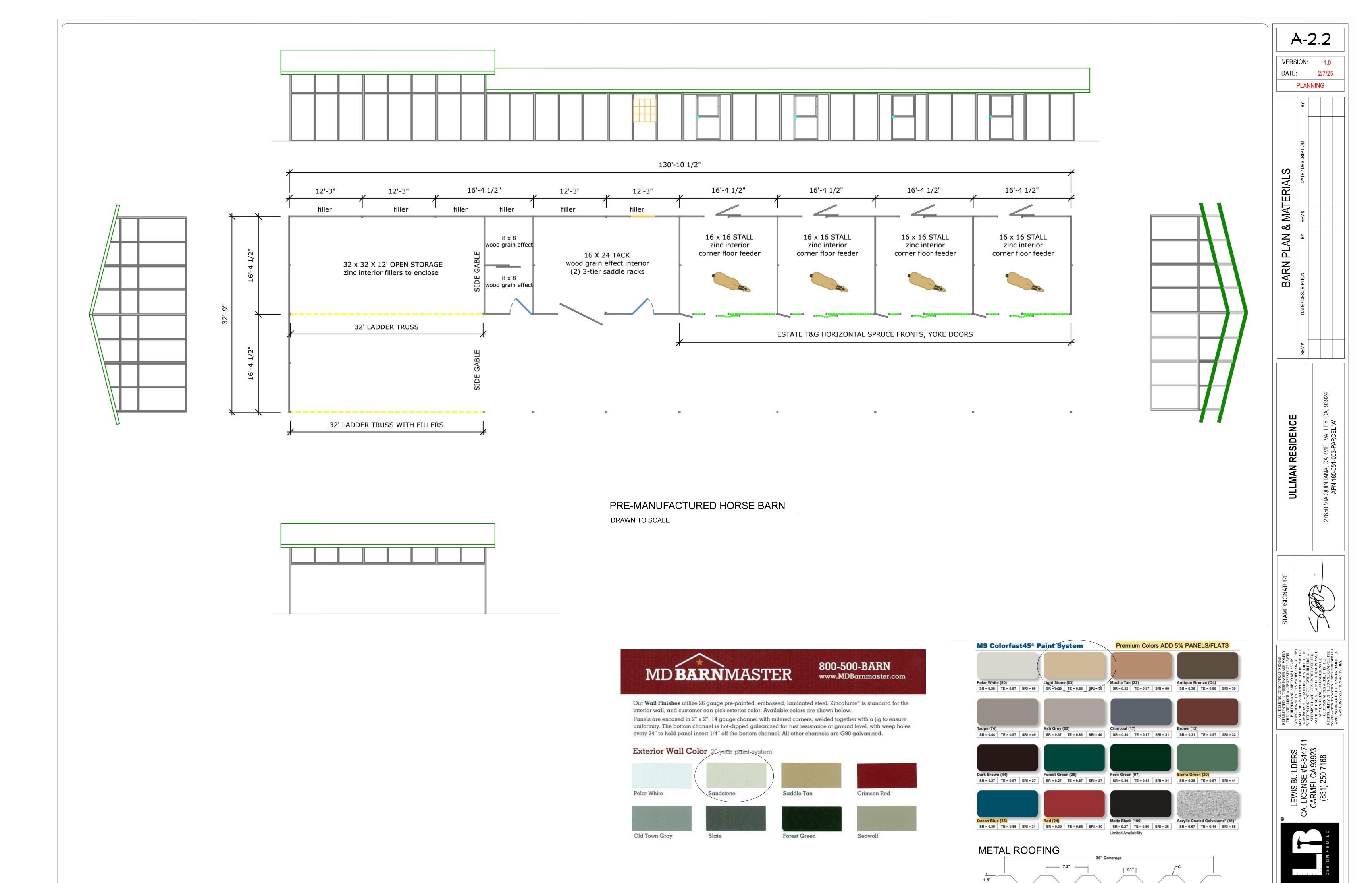
2/7/25 PLANNING

FLOOR HOUSE

AN RESIDENCE

PROPOSED MAIN FLOOR PLAN

SCALE: 1/8"=1'





# PROPOSED SOUTH (FRONT) ELEVATION

SCALE: 1/8"=1'



# PROPOSED EAST ELEVATION

SCALE: 1/8"=1'



# PROPOSED NORTH (REAR) ELEVATION

SCALE: 1/8"=1'



# PROPOSED WEST ELEVATION

SCALE: 1/8"=1'

# **EXTERIOR MATERIALS SUMMARY**

1 - STONE FACING: 2 - POSTS, BEAMS, PERGOLAS:

BUECHEL STONE WHITE MARIGOLD DIMENSIONAL TAILORED BLEND OR SIMILAR ANODIZED BLACK STEEL

3 - HOUSE SIDING 4 - WINDOWS: 4 - SLIDING DOORS / DOORS:

6 - HOUSE ROOFING:

7 - WALKWAYS / PATIOS:

8 - EXTERIOR LIGHTING:

HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7571 CASA BLANCA FLEETWOOD SERIES 450T IN ANODIZED BLACK FLEETWOOD SERIES 4047T IN ANODIZED BLACK 5 - GUTTER / DOWNSPOUTS: SQUARE ALUMINUM IN MIDNIGHT BRONZE

AEP SPAN OLD TOWN GRAY PORCELANOSA BOTTEGA CALLIZA PORCELAIN TILE GENERATION LIGHTING 8731701-12 LED SCONCE CHI DARK BRONZE ALUMINUM FRAME WITH TINTED GLASS

9 - GARAGE DOOR: 10 - FRONT DOOR: 11 - GARAGE/ADU SIDING JELDWEN WHITE OAK WOOD VENEER PIVOT DOOR HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE 12 - ADDRESS BOLLARD: STUCCO PAREX USA T014L W/ STONE CAP, ALUMINUM NUMBERS

13 - ADU ROOFING: 14 - EXTERIOR FASCIA COLOR: AEP SPAN MIDNIGHT BRONZE SHERWIN WILLIAMS SW 6006 BLACK BEAN

CALSTONE SAND SET NARROW JOINT PERMEABLE PAVERS OR SIMILAR 15 - AUTO COURT: CONCRETE W/ WASHBOARDSPATTERN AT GRADE OVER 10% DRIVEWAY: BARN SIDING: METAL, PRE-MANUFACTURED - COLOR SANDSTONE

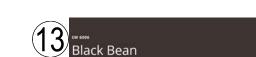
BARN ROOFING: METAL, PRE-MANUFACTURED - COLOR LIGHT STONE











& MATERIALS ELEVATIONS **EXTERIOR** 

A-3.1

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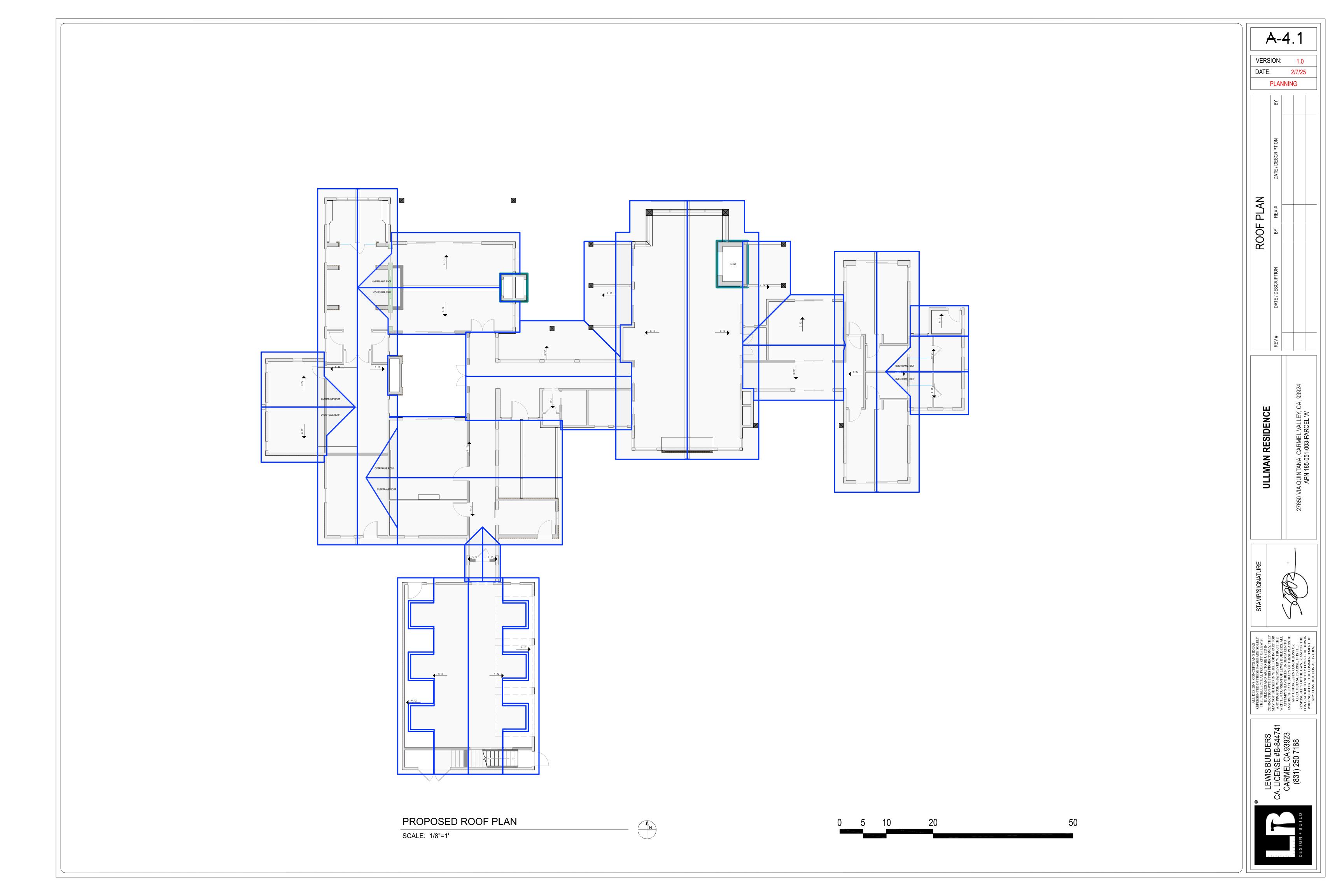
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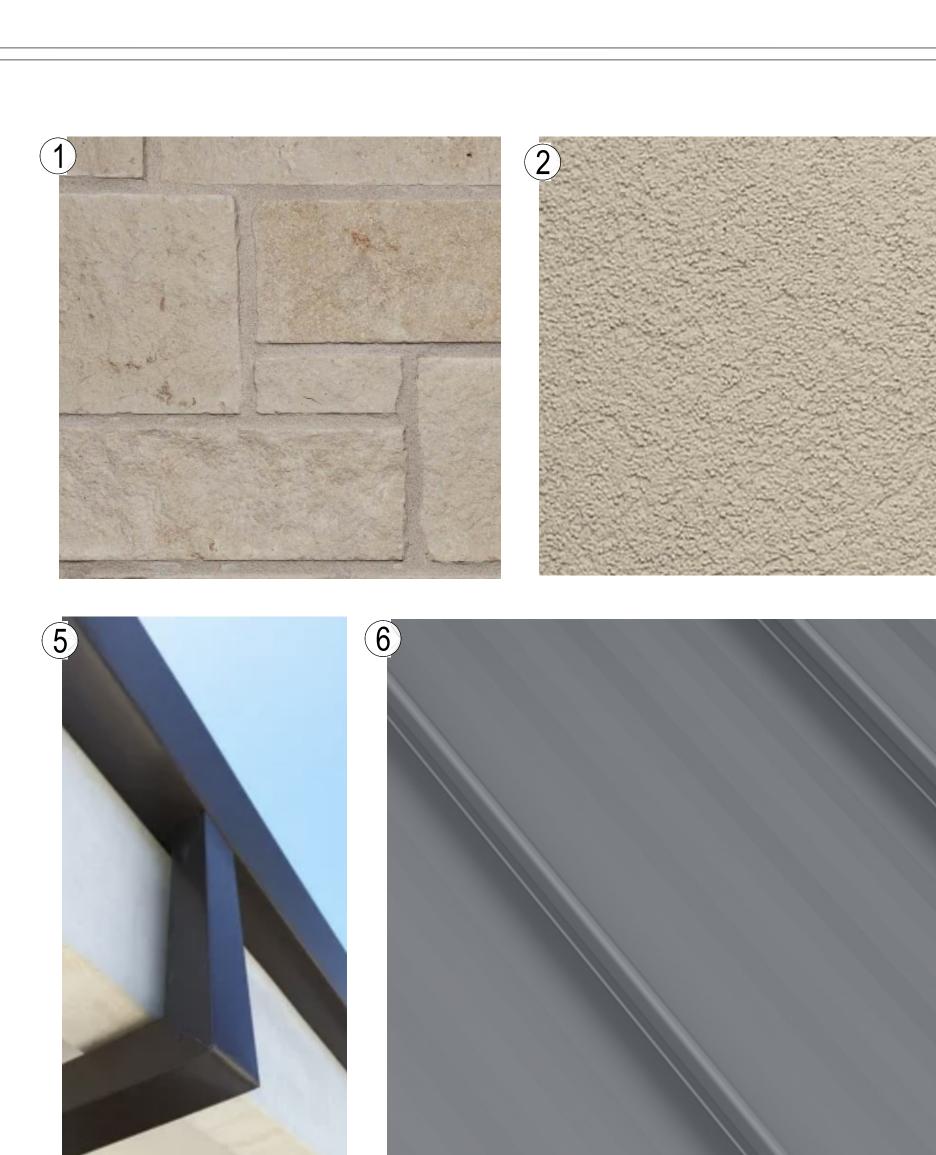
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**ULLMAN RESIDENCE** 







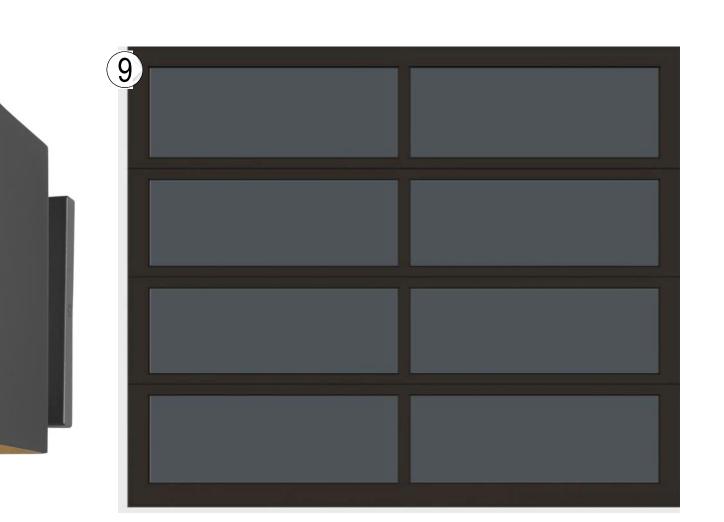


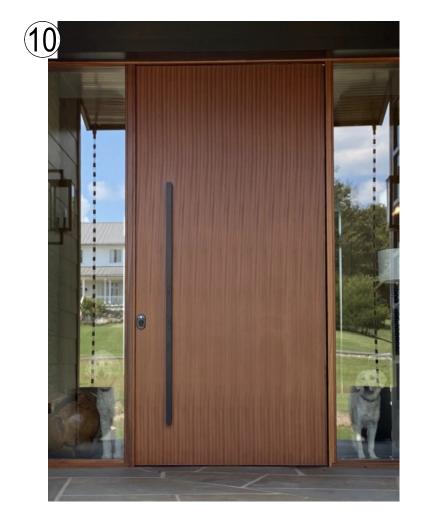


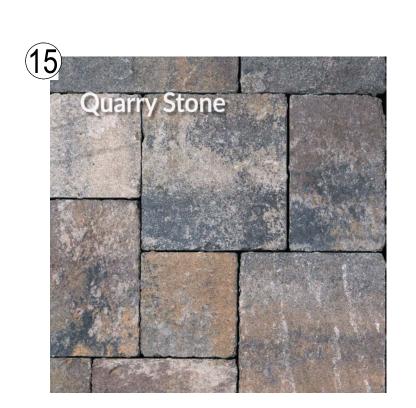


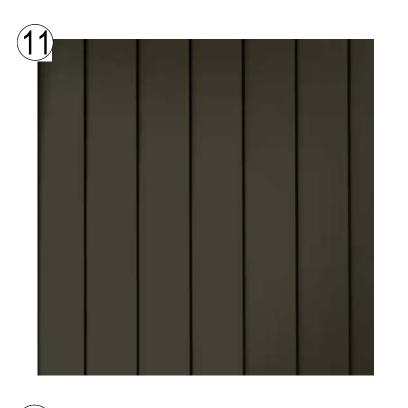
Casa Blanca

Turkish Coffee











# **EXTERIOR MATERIALS SUMMARY**

1 - STONE FACING: 2 - POSTS, BEAMS, PERGOLAS: BUECHEL STONE WHITE MARIGOLD DIMENSIONAL TAILORED BLEND OR SIMILAR ANODIZED BLACK STEEL HARDIE V-GROOVE VERTICAL SIDING, PAINTED SHERWIN WILLIAMS SW 7571 CASA BLANCA 3 - HOUSE SIDING

FLEETWOOD SERIES 450T IN ANODIZED BLACK FLEETWOOD SERIES 4047T IN ANODIZED BLACK 4 - WINDOWS: 4 - SLIDING DOORS / DOORS: 5 - GUTTER / DOWNSPOUTS: SQUARE ALUMINUM IN MIDNIGHT BRONZE 6 - HOUSE ROOFING: AEP SPAN OLD TOWN GRAY

STUCCO PAREX USA T014L W/ STONE CAP, ALUMINUM NUMBERS

METAL, PRE-MANUFACTURED - COLOR LIGHT STONE

7 - WALKWAYS / PATIOS: PORCELANOSA BOTTEGA CALLIZA PORCELAIN TILE 8 - EXTERIOR LIGHTING: GENERATION LIGHTING 8731701-12 LED SCONCE CHI DARK BRONZE ALUMINUM FRAME WITH TINTED GLASS 9 - GARAGE DOOR: 10 - FRONT DOOR: JELDWEN WHITE OAK WOOD VENEER PIVOT DOOR 11 - GARAGE/ADU SIDING HARDIE V-GROOVE VERTICAL SIDING, PAINTED SW 6076 TURKISH COFFEE

13 - ADU ROOFING: AEP SPAN MIDNIGHT BRONZE 14 - EXTERIOR FASCIA COLOR: SHERWIN WILLIAMS SW 6006 BLACK BEAN CALSTONE SAND SET NARROW JOINT PERMEABLE PAVERS OR SIMILAR 15 - AUTO COURT: DRIVEWAY: CONCRETE W/ WASHBOARDSPATTERN AT GRADE OVER 10% BARN SIDING: METAL, PRE-MANUFACTURED - COLOR SANDSTONE

### EXTERIOR STUCCO / PLASTER NOTES

12 - ADDRESS BOLLARD:

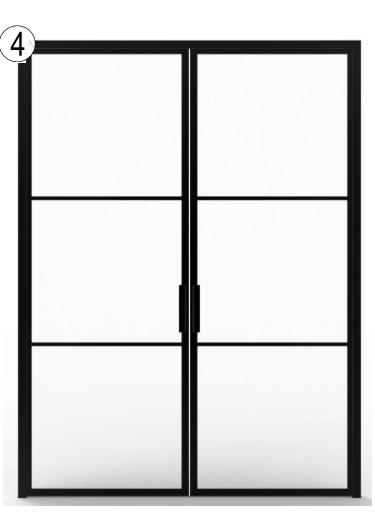
BARN ROOFING:

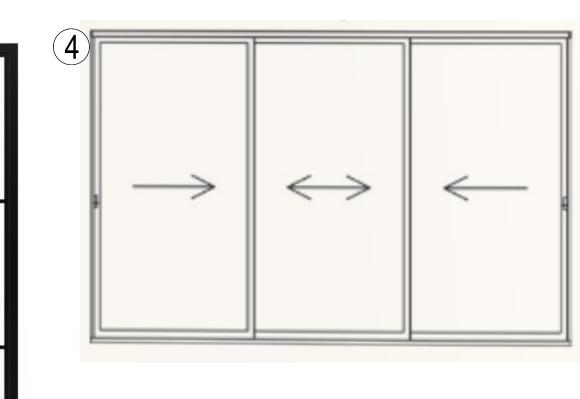
1. WEATHER RESISTIVE BARRIER SHALL BE INSTALLED AS REQUIRED IN CRC R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER PER

2. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATHE OR WIRE FABRIC LATH PER CRC R703.6.2.

3. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED SHALL BE INSTALLED WITH: A. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.

B. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE



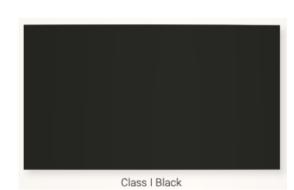


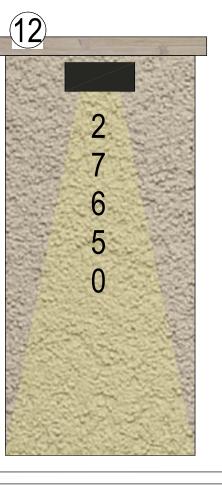


# ADDRESS IDENTIFICATION

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. ADDRESS BOLLARD

18" X 18" X 54" TALL STUCCO ADDRESS BOLLARD W/ STONE CAP AT BEGINNING OF DRIVEWAY ON VIA QUINTANA. STUCCO AND STONE CAP TO MATCH MATERIALS SPECIFIED FOR HOUSE. RAISED ALUMINUM HOUSE NUMBERS (MINIMUM 6" IN HEIGHT) WITH LED DOWNLIGHTING TO MATCH FIXTURES SPEC'D IN LIGHTING PLANS.

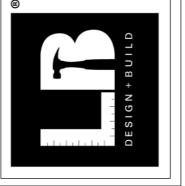


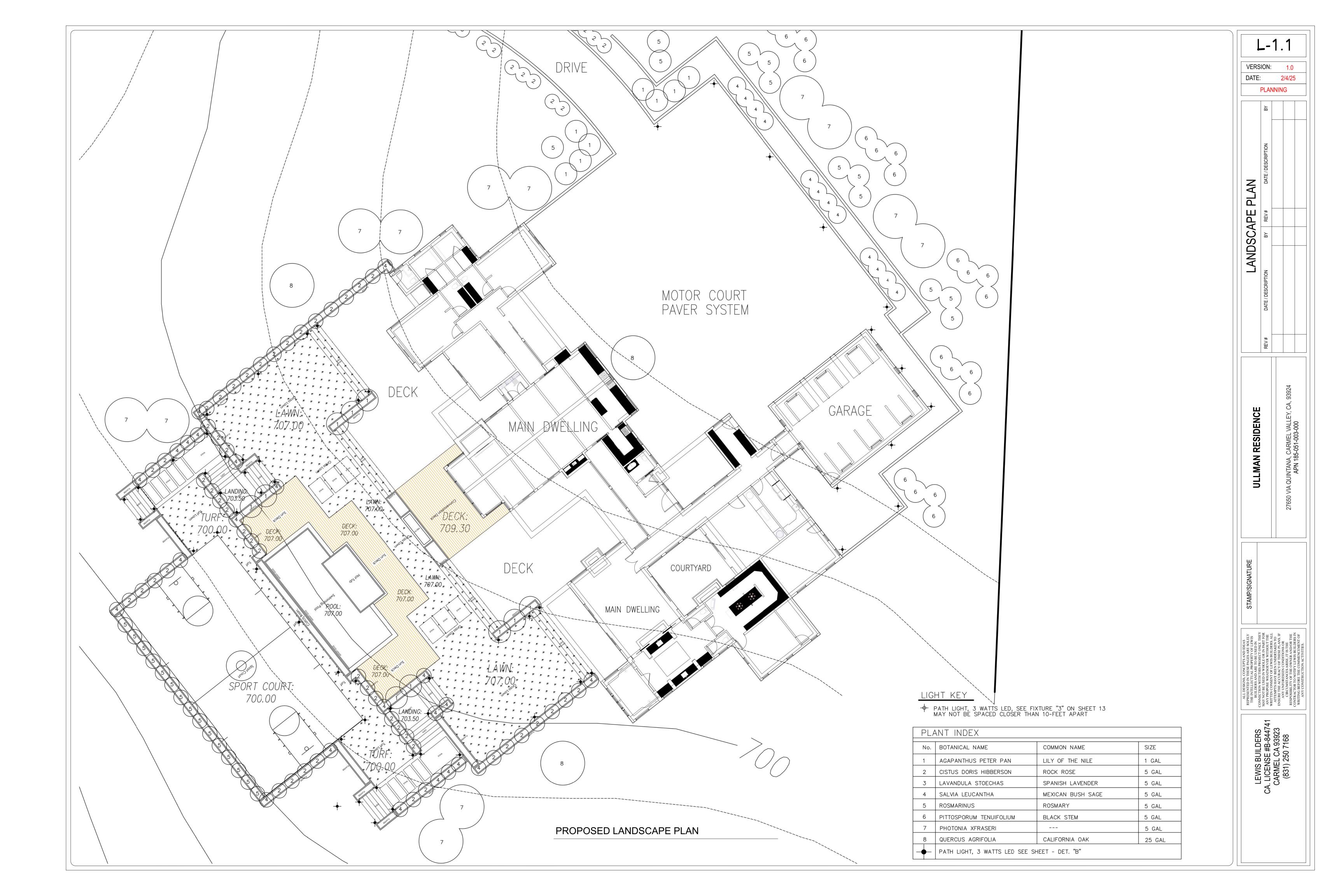


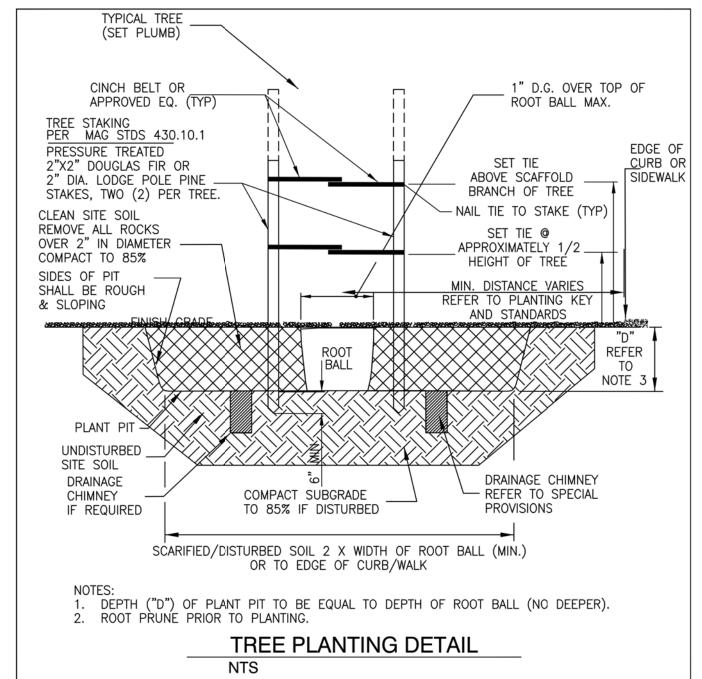
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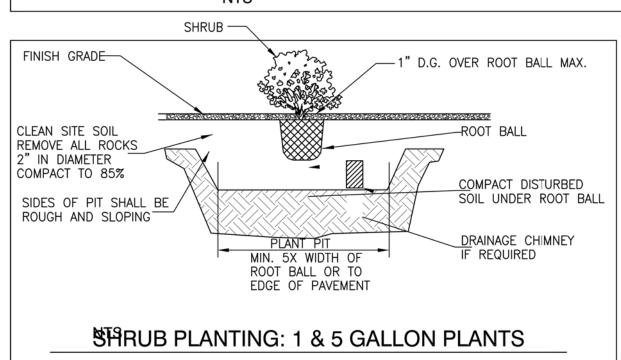
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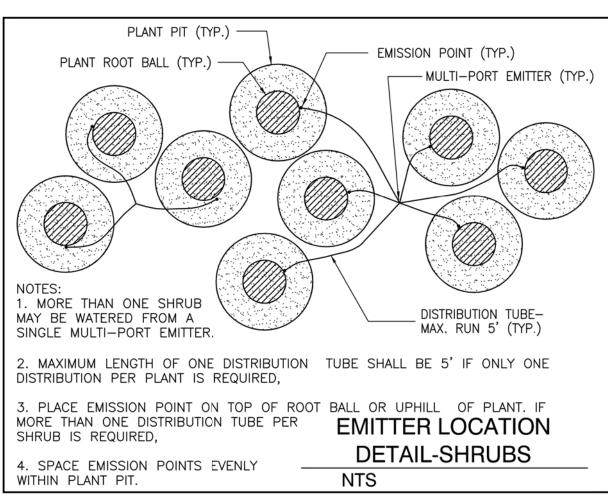
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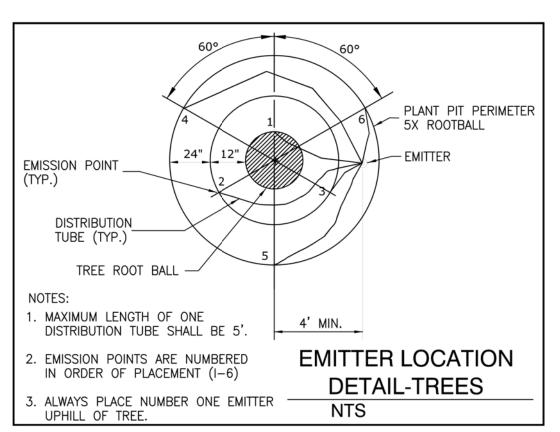


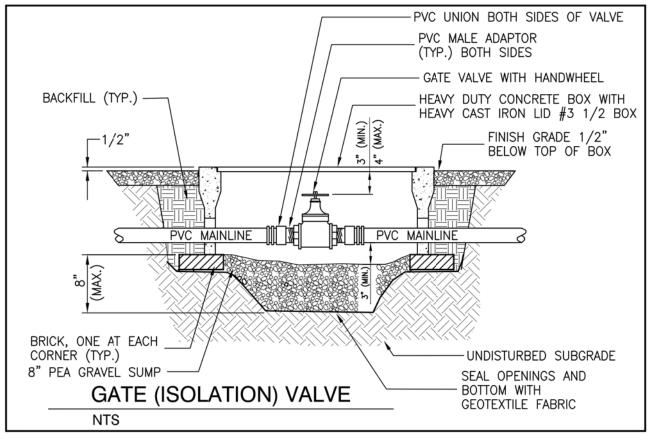


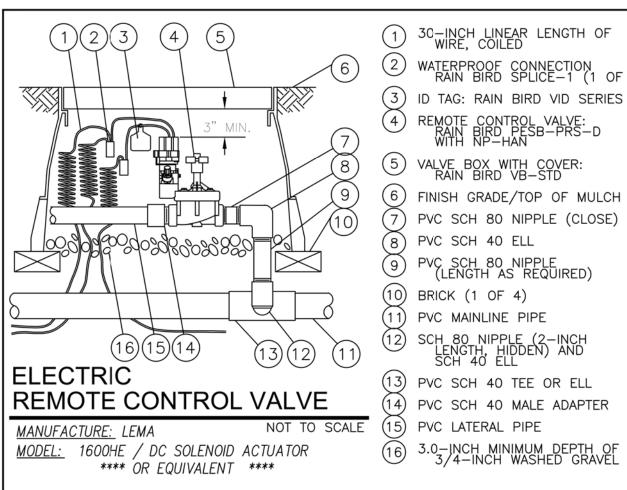


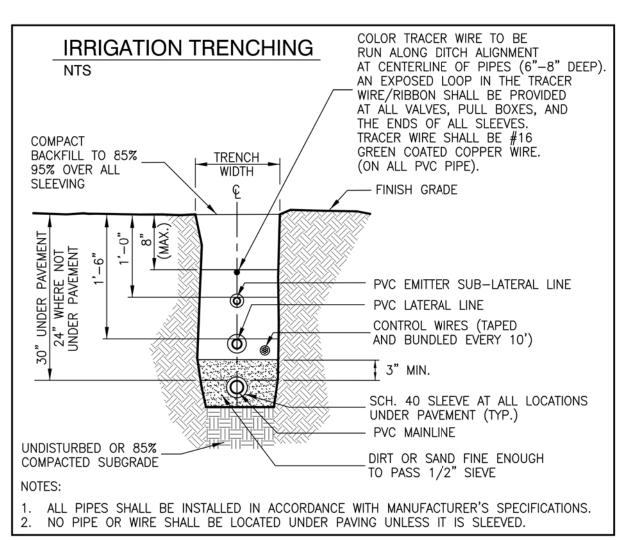


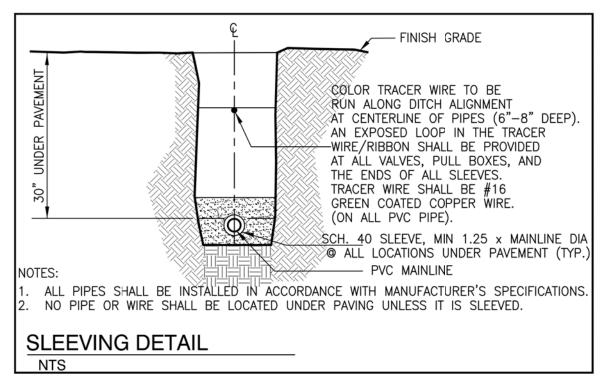




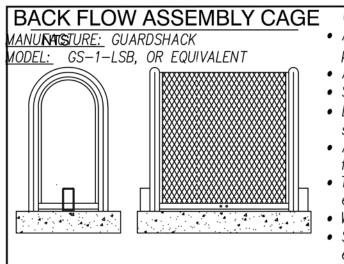








PLA	PLANT INDEX		
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	ROSMARINUS	ROSMARY	5 GAL
6	PITTOSPORUM TENUIFOLIUM	BLACK STEM	5 GAL
7	PHOTONIA XFRASERI		5 GAL
8	QUERCUS AGRIFOLIA	CALIFORNIA OAK	25 GAL
-	PATH LIGHT, 3 WATTS LED SEE SH	HEET - DET. "B"	



STANDARD SIZES INTERNAL DIMENSIONS

10" W x 24" H x 22" L Lift-Off

10" W x 24" H x 30" L Lift-Off

0.5 10" W x 18" H x 12" L Lift-Off

3.3 16" W x 30" H x 30" L Lift-Off

GENERAL SPECIFICATIONS

• All pipe shall be 1 1/4" schedule 40 A.S.T.M. A-53 Grade A- Electric Weld

 Angle Iron shall be 1" x 1" x 1/8" steel. • Stainless steel units shall be 1 ¼" schedule 10 A.S.T. M. A-312 304 S.S. AC-8115 iron phosphate treatment, overflow

All stainless steel shall be sandblasted after fabrication to remove burrs,

flashing and sharp edges. • There shall be no exposed ends of expanded metal on the outside of th

 Welding shall be a minimum of ¼" long welds on 4" spacing. Standard Lock Shield Brackets shall be welded on each end of lift off

 Hardware kits provided for mounting enclosures. • On 304 S.S. units, all hinges, exposed hardware, and brackets shall be

• All hardware shall be securely attached to enclosures. See HK-100 for hardware specifications.

 All enclosures shall withstand a minimum of 200 lbs. per square foot without any permanent deflection or distortion.

•  $3/8\square$  spacing between angle iron framework of enclosure and slab to prevent rusting. Only pipe ends to touch slab.

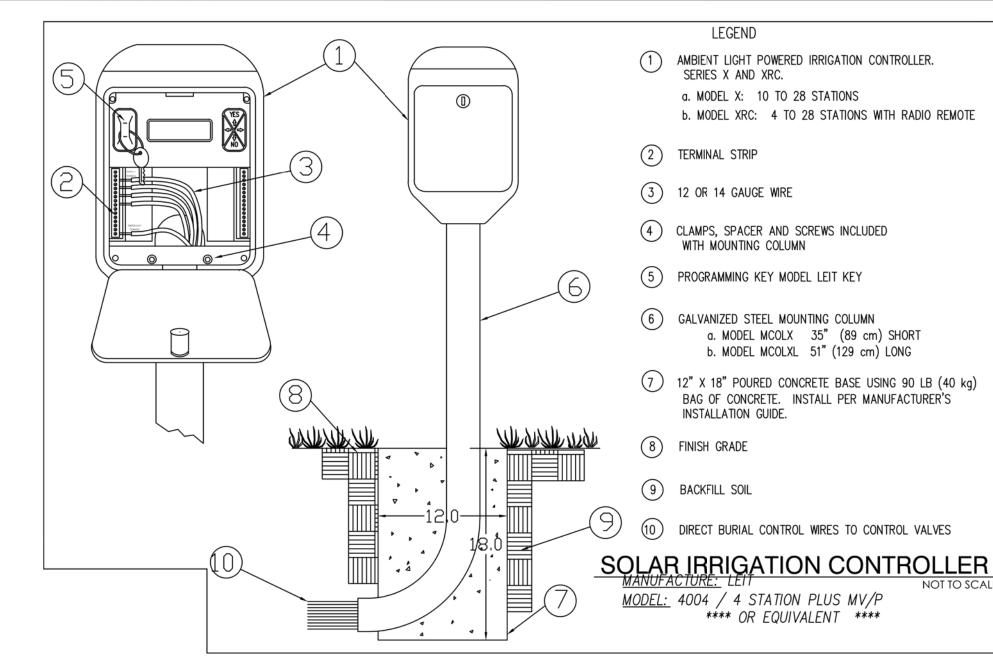
Clean GuardShack™unit with a S-44 alkaline cleaner, overflow rinse, apply an • Expanded metal shall be ½" spacing x # 13 Ga. flattened diamond pattern rinse and finish with a #198 sealer rinse to prevent rusting and improve adhesion. <u>Powdercoat Treatment Process</u> Units shall be preheated and coated by electrostatic application of 2.0 to 3.5 mil thickness on all surfaces. Powder shall be RAL 1019 Woodlands Tan or TCl 8810-6058 Forest Green or approved equal Impact Resistance Finish 160 inch pounds direct 160 inch pounds reverse, per ASTM D-2794 specs. Gloss Finish >85, per ASTM D-523 Adhesion to be rated excellent when tested

<u>Pre-powdercoat Treatment Process</u>

POWDERCOATED UNITS

STAINLESS STEEL ELECTRO-POLISH FINISH All 304 Stainless Steel units shall be chemically electro-polished to impart a lustrous finish to the unit.

to ASTM D-3359 standards.



# EXTERIOR LIGHTING NOTES

- 1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- 2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE,

# LIGHT KEY

PATH LIGHT, 3 WATTS LED, SEE FIXTURE "3" ON SHEET 13 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

# IRRIGATION SYSTEM

1" ANTISYPHON DEVICE 1" ELECTRIC VALVES FILTER PLUS REGULATOR FOR EACH VALVE ELECTRIC CONTROLLER EACH PLANT TO BE ON DRIP SYSTEM

ALL PLANTS WILL BE PLANTED WITH AGRIFORM

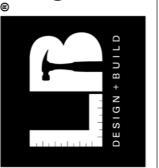
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ADDITION ALL WORK SHALL ALSO CONFORM WITH THE FOLLOWING: - LATEST REVISION OF THE COUNTY OF MONTEREY/COUNTY OF DESIGN STANDARDS AND SPECIFICATIONS - THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS)

- THE 2022 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEnC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRES CODE (CFC).

2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN

3. IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. GRADING PERMITS EXPIRE 180 DAYS FROM ISSUANCE DATE.

4. THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY (BY OTHERS) AND OR FROM RECORD INFORMATION. NEITHER THE ENGINEER NOR THE OWNER MAKES ANY REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

5. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND MAINTAIN A CURRENT DIG ALERT/811 TICKET THROUGHOUT THE PROJECT.

8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

9. EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED BY THE CONTRACTOR.

10. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS. INDEMNIFY AND DEFEND THE OWNER. THE ENGINEER. AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY. CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL AND DISPOSE OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: ASPHALT. CONCRETE STRIPING. ANY AND ALL OTHER DEBRIS FROM THE SITE. EXCESS FROM TRENCHING AND PAVEMENT CONSTRUCTION, TREES AND ROOT-BALLS FENCING AND SPOILS FROM EXCAVATION AT THE CONTRACTOR'S EXPENSE.

12. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be FORMULATED AND IMPLEMENTED.

13. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER AND BUILDING OFFICIALS AS WELL AS THE OWNER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP THE SITE AND ADJACENT AREAS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR

15. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH B) COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST. C) KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D) LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

16. A COPY OF ALL FIELD REPORTS/COMPACTIONS TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY/COUNTY AT SCHEDULED INSPECTIONS.

17. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY

18. CONTRACTOR SHALL POTHOLE AND VERIFY THAT A MINIMUM OF ONE FOOT OF VERTICAL SEPARATION CAN BE ACHIEVED AT ALL NEW SEWER CROSSINGS AND NOTIFY THE ENGINEER IF ANY EXISTING UTILITIES APPEAR TO BE IN

# SANITARY SEWER

1. SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY SPECIFICATIONS AND STANDARD DETAILS.

2. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PLASTIC GRAVITY SEWER PIPE WITH INTEGRAL WALL BELL AND SPIGOT JOINTS. ALL SOLID WALL PIPE. FITTINGS AND COUPLINGS IN 4" THROUGH 15" INCH DIAMETERS SHALL CONFORM TO ASTM 03033 AND ASTM 03034, SDR 35 MINIMUM.

3. PIPE SHALL BE INSTALLED IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUFACTURERS RECOMMENDED TRENCH CONSTRUCTION PRACTICE FOR SEMI-RIGID PVC SEWER PIPE AND AS DIRECTED BY THE COUNTY.

4. SEWER SERVICE LATERALS SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD

5. ALL SEWER SERVICES SHALL BE MARKED WITH A "S" ON TOP OF CURB.

6. SANITARY SEWER CLEAN OUTS SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 100 FEET.

# GRADING & DRAINAGE

1. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS BEFORE STARTING ANY GRADING OPERATIONS.

2. ALL GRADING SHALL CONFORM TO THE COUNTY GRADING ORDINANCE.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF GRADING. RIGHT-OF-ENTRY, PERMISSION TO GRADE, AND ENCROACHMENT PERMIT(S) MAY BE REQUIRED PRIOR TO

4. IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS AND TO PLACE, SPREAD, MIX, WATER, AND COMPACT THE FILL. THE CONTRACTOR SHALL ALSO REMOVE ALL MATERIAL CONSIDERED UNSATISFACTORY.

5. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUB-GRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND BACKFILLED WITH SELECT MATERIAL.

6. MAXIMUM CUT AND FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE DIRECTED.

7. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.

8. TREE REMOVAL SHALL INCLUDE REMOVAL OF TRUNKS, STUMPS, AND ROOT-BALLS. THE REMAINING CAVITY SHALL BE CLEARED OF ALL ROOTS LARGER THAN 1/2" TO A DEPTH OF NOT LESS THAN 18" AND BACKFILLED WITH SUITABLE MATERIAL THEN COMPACTED TO CONFORM WITH THE EXISTING GROUND.

9. CONTRACTOR SHALL USE CAUTION WHEN GRADING AROUND AND/OR OVER EXISTING UNDERGROUND UTILITIES.

10. EARTHWORK QUANTITIES: CUT = 17.100 CY

FILL = 20,740 CYNET = 3,640 CY FILL

EARTHWORK QUANTITIES ARE ESTIMATES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL EARTHWORK QUANTITIES. NO ALLOWANCE HAS BEEN MADE TO ACCOUNT FOR QUANTITIES FROM TRENCHING FOR FOUNDATION, FOOTINGS, PIERS AND/OR UTILITIES TRENCHES.

11. ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM.

12. PERVIOUS SURFACES IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

13. INVERTS OF ALL STORM DRAIN LINES CONNECTING RETAINING WALL SUB-DRAINS AND FOUNDATION SUB-DRAINS SHALL BE FIELD VERIFIED AFTER FOOTINGS ARE PLACED.

14. BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINE SHALL HAVE COMPACTION TESTS TAKEN ALONG THE CUT AREA AS WELL AS THE FILL AREA. TESTS SHALL MEET 90% OF THE RELATIVE COMPACTION PER ASTM D1557.

15. ALL STORM DRAIN MAINS SHALL HAVE A MINIMUM OF 12" COVER.

16. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1ST AND APRIL 30TH) THE FOLLOWING MEASURES MUST BE

A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.

C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS. VEGETATED FILTER STRIPS. AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.

D. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12.090)

17. ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.

18. VEGETATION REMOVAL. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL.

19. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

20. PREPARATION OF THE GROUND FOR FILL. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL.

21. FILL MATERIAL PERMITTED. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILL EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.

22. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:50. DIMENSION WIDTH OF THE ACCESSIBLE ROUTES. WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE

# UNDERGROUND UTILITIES

 CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING STORM DRAINS, SANITARY SEWERS AND WATER LINES, BEFORE ORDERING MATERIALS AND/OR CONSTRUCTING NEW FACILITIES.

2. ALL EXISTING MANHOLES AND UTILITY BOXES WITHIN THE PROJECT AREA ARE TO BE SET FLUSH WITH FINISHED GRADE, UNLESS OTHERWISE NOTED.

3. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES, CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

4. PIPE MATERIALS AND INSTALLATION PROCEDURE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

5. SHOULD ANY WATER SYSTEM MAINS OR SERVICES BE DAMAGED BY THE CONTRACTOR, THE WATER SYSTEM SHALL BE REPAIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE COUNTY.

# STORM DRAIN

1. ALL STORM DRAIN PIPING 6"-24" SHALL BE HIGH DENSITY POLYETHYLENE TYPE-S WITH INTEGRAL BELL & SPIGOT JOINTS (ADS-N12 OR EQUAL) OR PVC (SDR 35). INSTALLATION SHALL BE PER MANUFACTURERS SPECIFICATIONS OR AS SHOWN ON PLANS.

2. STORM DRAIN MANHOLES SHALL BE CONSTRUCTED TO THE COUNTY STANDARD SPECIFICATIONS AND STANDARD

3. ALL STORM DRAIN PIPE SHALL BE RIGID. NO FLEX PIPE.

# TREE PROTECTION NOTES

THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

2. EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW ONTO THE GROUND. ALL CONTAMINANTS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CASAQ CONSTRUCTION BEST MANAGEMENT PRACTICES, SEE EROSION CONTROL PLAN SHEET C9.

3. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

4. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.

5. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS, AND HOISTS, SHALL BE ALLOWED INSIDE THE DRIP-LINE OF ANY PROTECTED TREE ON ANY CONSTRUCTION SITE WITHOUT PRIOR WRITTEN APPROVAL FROM THE COUNTY FORESTER.

6. ROOT PRUNING: ALL ROOTS TWO INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

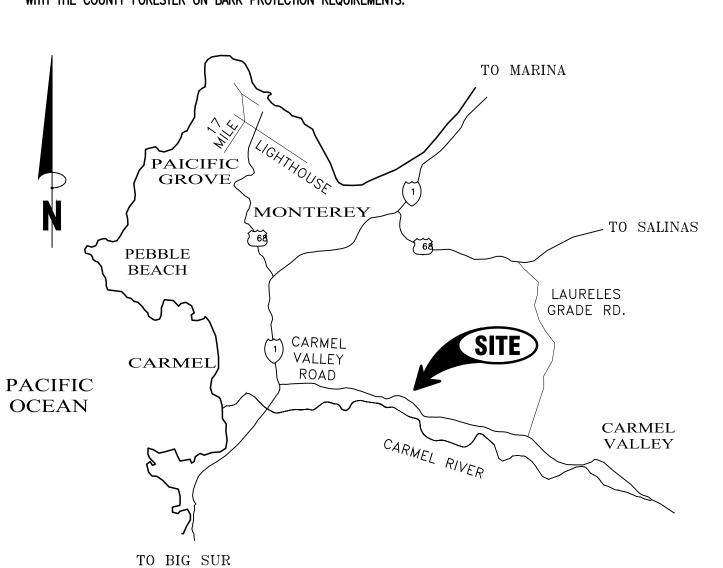
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

1. PROTECTIVE FENCING: PRIOR TO THE ISSUANCE OF ANY BUILDING OR EARTH DISTURBANCE PERMIT, OR COMMENCING CONSTRUCTION, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL REQUIRE TREE PROTECTION INSPECTION AND APPROVAL BY THE COUNTY FORESTER, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCIRCLE THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY.

2. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

3. PROTECTIVE FENCING SHALL BE AT LEAST FOUR (4) FEET HIGH, CLEARLY VISIBLE, AND BE CLEARLY VISIBLE TO WORKERS ON THE SITE.

4. THE USE OF ORANGE VINYL CONSTRUCTION FENCING OR OTHER SIMILAR FENCING IS GENERALLY PERMITTED ONLY IF THERE IS NO CONSTRUCTION OR VEHICULAR ACTIVITY WITHIN TEN (10) FEET OF THE FENCE. IF CONSTRUCTION ACTIVITY OR VEHICULAR TRAFFIC IS EXPECTED WITHIN TEN (10) FEET OF THE FENCE, THE CONTRACTOR SHALL ALSO CONSULT WITH THE COUNTY FORESTER ON BARK PROTECTION REQUIREMENTS.



# VICINITY MAP

# PROPOSED **BOUNDARY LINE** EASEMENT (ESMT) CENTERLINE (CL)

STORM DRAIN MAIN ROOF DRAIN LATERAL SANITARY SEWER MAIN \_\_\_\_ W \_\_\_\_ WATER MAIN DRAINAGE FLOW LINE  $\longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow \longrightarrow$ GRADE BREAK ACCESSIBLE PATH OF TRAVEL — — — ·170· — — — MAJOR CONTOUR — — · 169 · — — — MINOR CONTOUR

FENCE \_\_\_\_ X \_\_\_\_ X \_\_\_\_ X \_\_\_\_ OVERHEAD LINES SPOT ELEVATION  $\times$  405.46 171.13 DROP INLET (DI)

> CURB INLET (CI) AREA DRAIN (AD) STORM DRAIN MANHOLE (SDMH) SDMH

SANITARY SEWER MANHOLE (SSMH) SSMH FIRE DEPARTMENT Ƴ FDC CONNECTION (FDC) FIRE HYDRANT (FH) FH

POST INDICATOR VALVE (PIV) WATER METER (WM) WATER VALVE (WV)

CHECK VALVE DOUBLE CHECK VALVE

CLEANOUT (CO)

# SHEET INDEX

COVER & GENERAL NOTES SILE PLAN ex site pla PARTIAL SITE PLAN DRIVEWAY PLAN AND PROFILE GRADING - RESIDENCE GRADING - COURTYARD GRADING — ARENA GRADING — BARN

C10 SECTIONS

**EXISTING** 



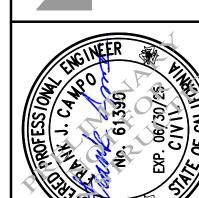
# GEOTECHNICAL INSPECTION SCHEDULE

	WHEN THE INSPECTION IS TO BE COMPLETED:	WHO WILL CONDUCT THE INSPECTION:	INSPECTION ITEM:	INSPECTION COMPLETED BY:	DATE COMPLETED:	VE)
	1) PRIOR TO BACKFILLING 2) DURING BACKFILL PLACEMENT — OPENING	GEOTECHNICAL INSPECTOR	INSPECT & TEST KEYWAY /SUBEXCAVATION /OVEREXCAVATON:			
	1) PRIOR TO EXCAVATION FOOTINGS OR PLACEMENT OF SLAB-ON-GRADE MATERIALS	GEOTECHNICAL INSPECTOR	INSPECT & TEST PAD SUBGRADE:			
	1) PRIOR TO CONCRETE PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT SLAB-ON-GRADE INSTALLATION:			
	1) PRIOR TO REINFORCEMENT PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT FOUNDATION AND/OR RETAINING WALL FOOTING EXCAVATIONS:			
	1) DURING BACKFILL PLACEMENT - ONGOING	GEOTECHNICAL INSPECTOR	INSPECT AND TEST RETAINING WALL BACKFILL:			
	1) DURING FILL PLACEMENT	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRIVEWAY FILL, SUBGRADE			SCALE:
	2) SUBGRADE, PRIOR TO BASE ROCK		AND BASE ROCK PLACEMENT:			DATE:
	PLACEMENT 3) BASEROCK PRIOR TO AC, CONCRETE OR					DESIGN B
	PÁVEMENT					DRAWN B
	1) AFTER PIPE PLACEMENT, PRIOR TO TO	GEOTECHNICAL INSPECTOR	INSPECT AND TEST DRAINAGE INSTALLATION:			CHECKED
	BÁCKFILL PLACEMENT  2) DURING BACKFILL PLACEMENT — ONGOING					SHEET N
	1) AFTER TANK PLACEMENT 2) DURING BACKFILL PLACEMENT — ONGOING	GEOTECHNICAL INSPECTOR	INSPECT SEPTIC INSTALLATION:			

TABLE PROVIDED FOR REFERENCE ONLY. C3 ENGINEERING, INC. IS NOT RESPONSIBLE FOR INSPECTIONS, THE SCHEDULING OF INSPECTIONS OR VERIFYING INPECTIONS HAVE BEEN COMPLETED.

LEGEND

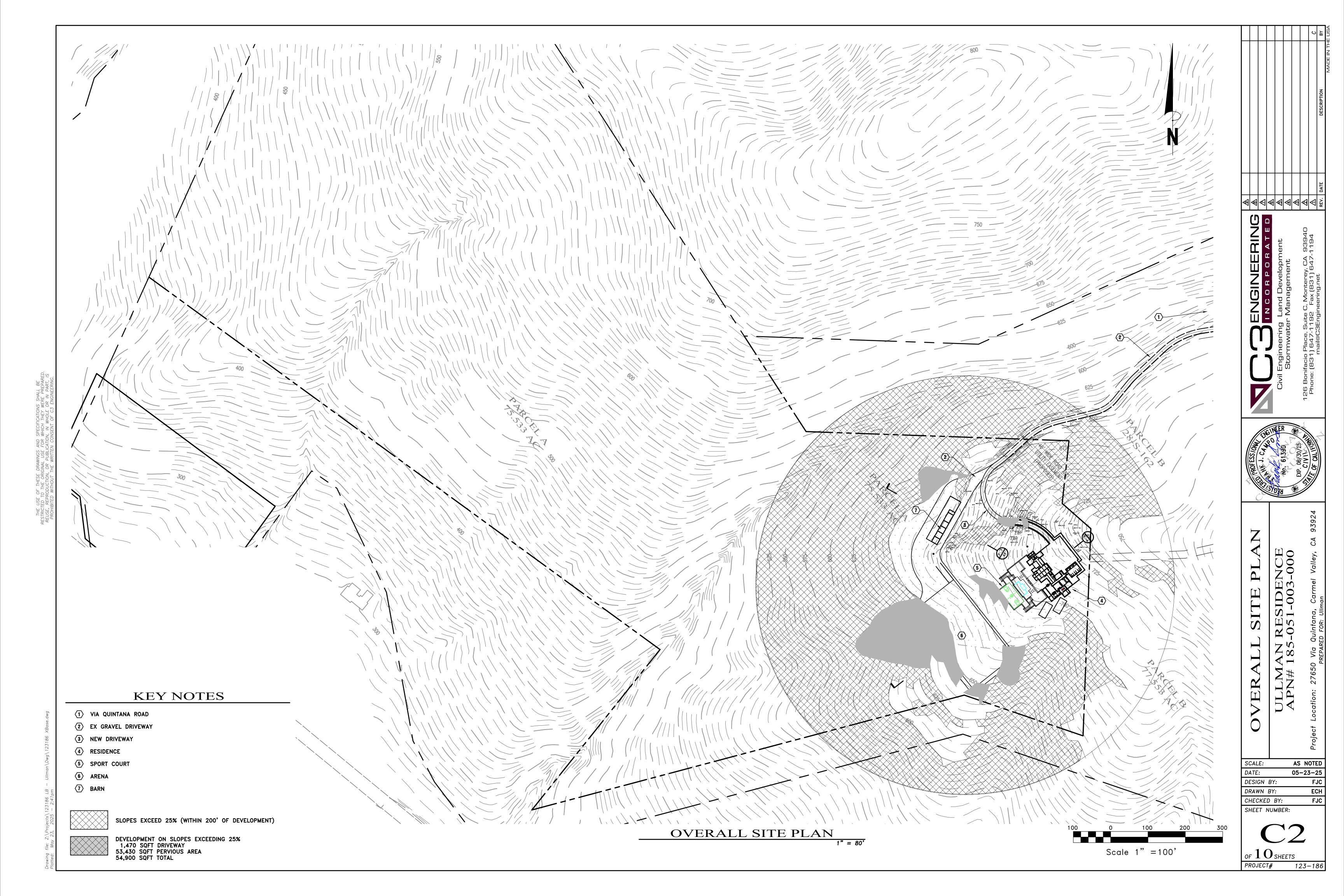
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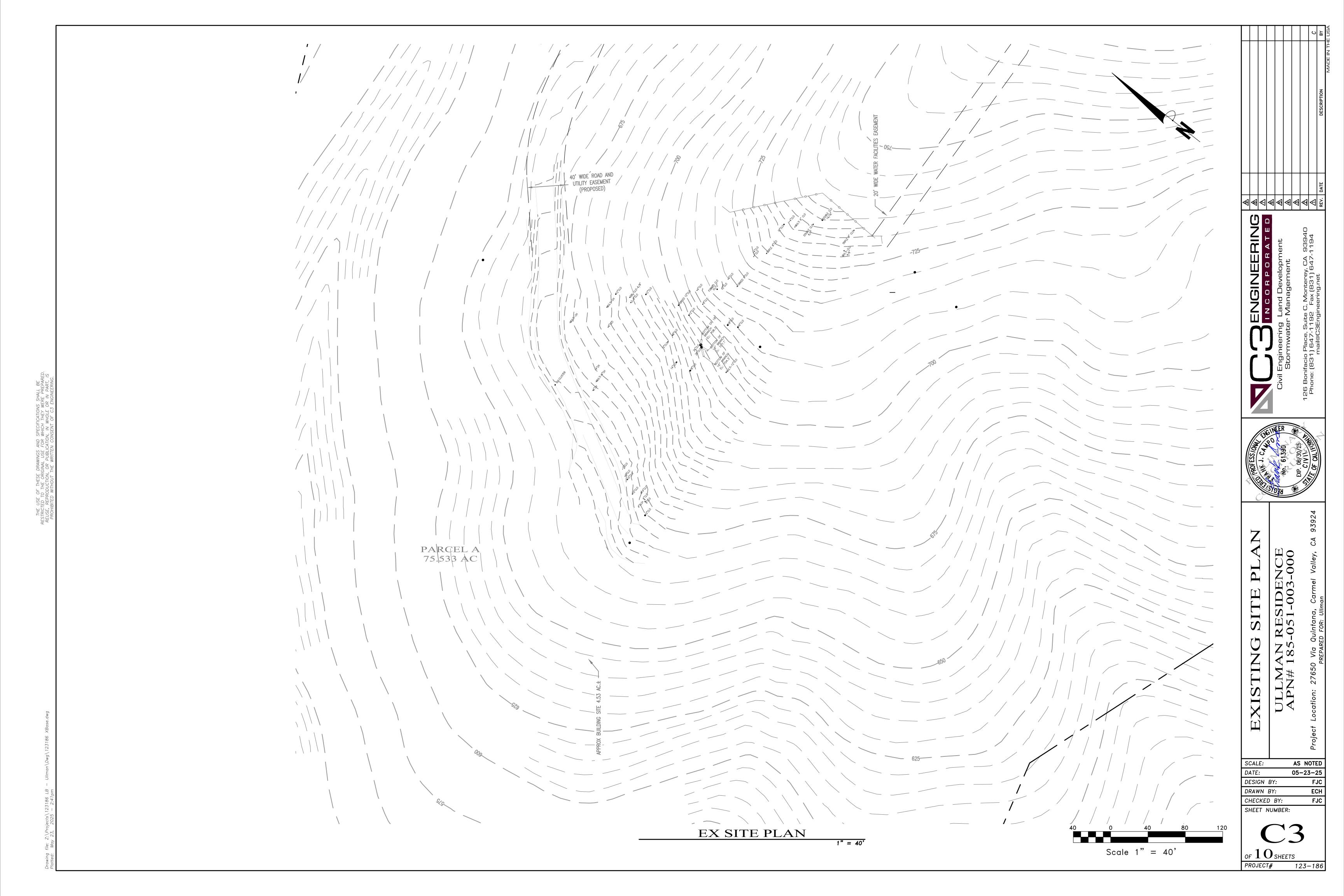


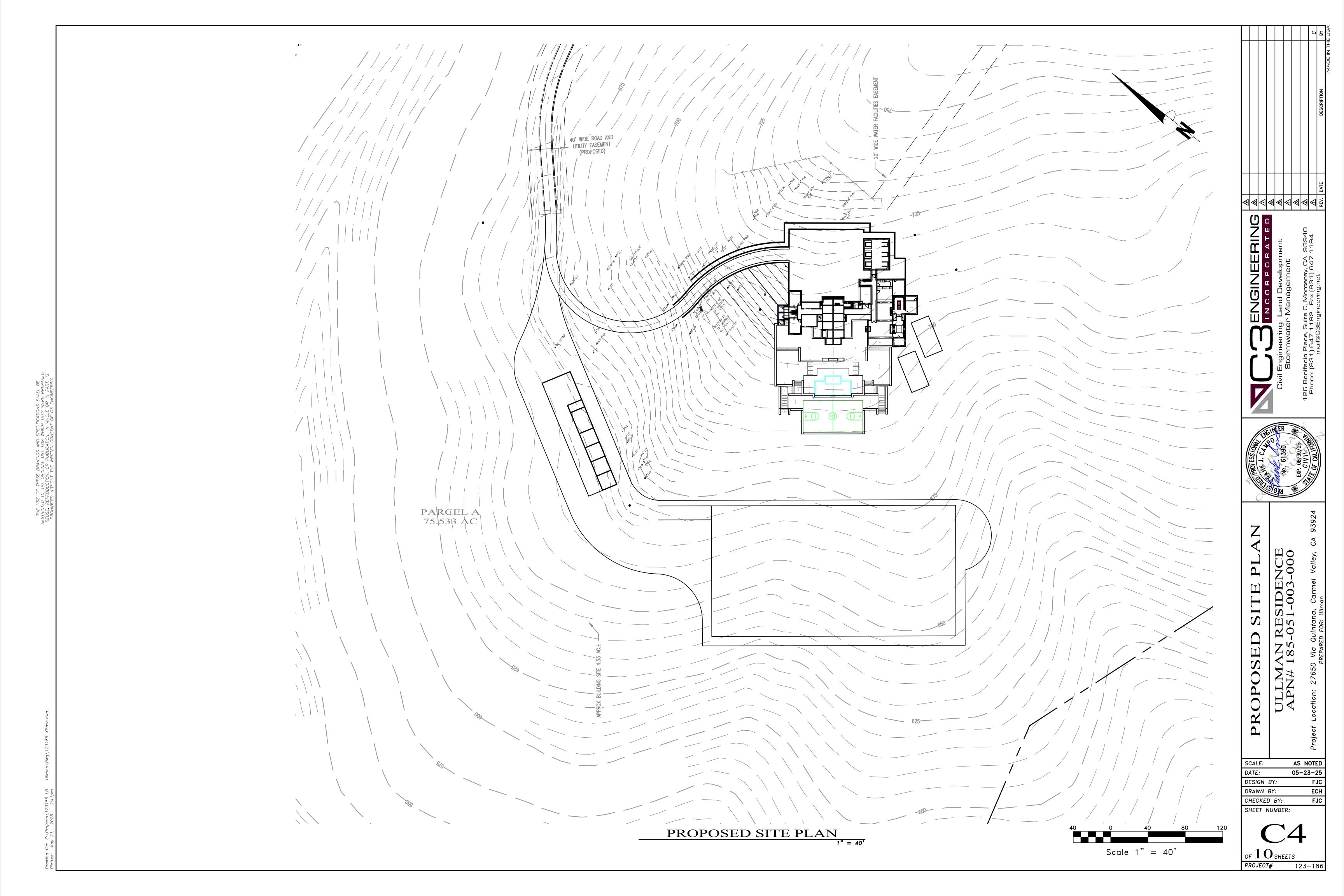
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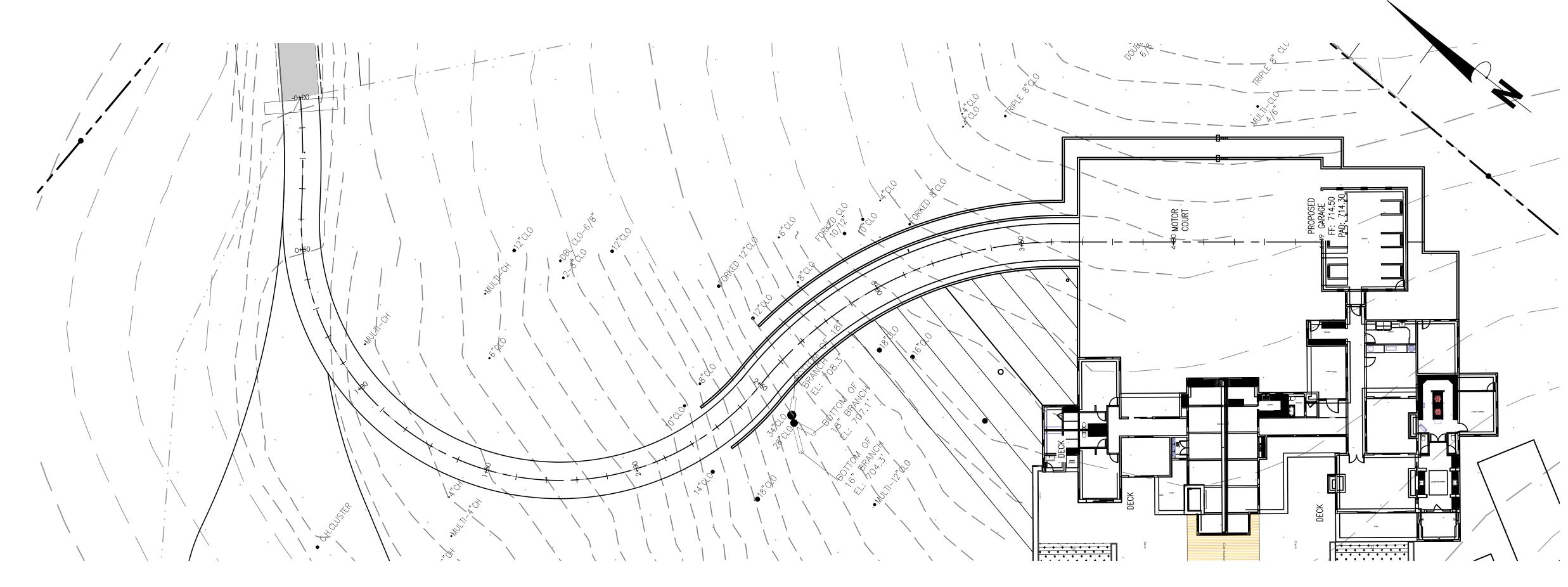
PROJECT#

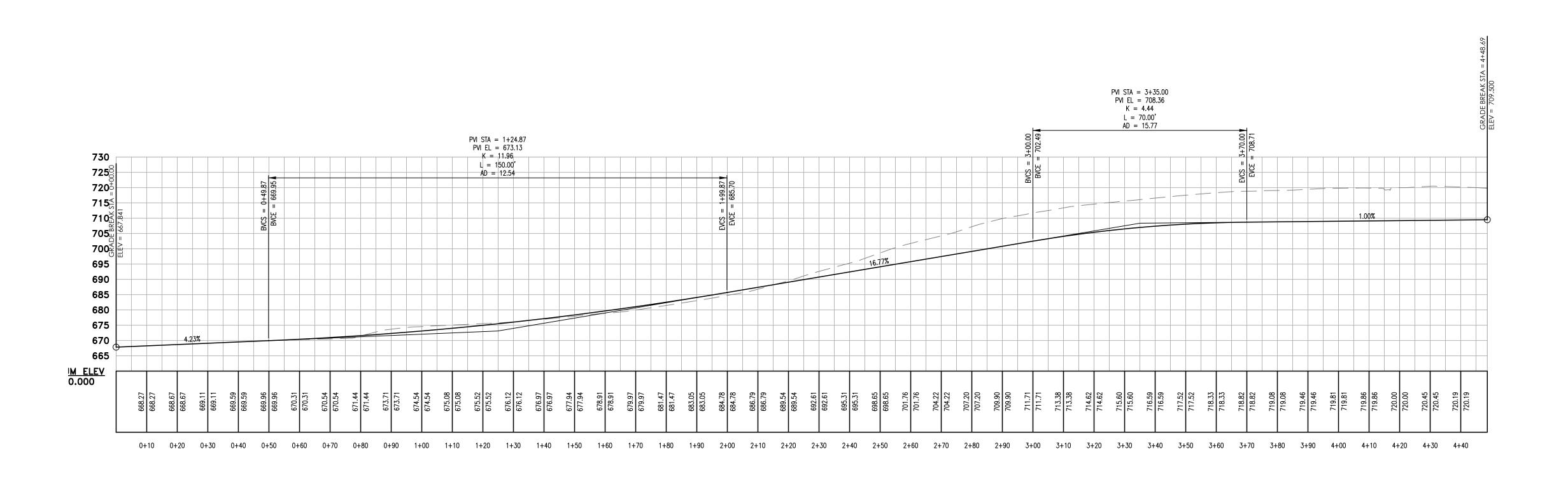
123-186







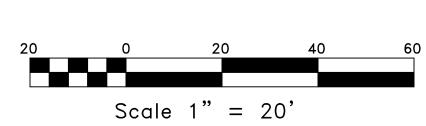


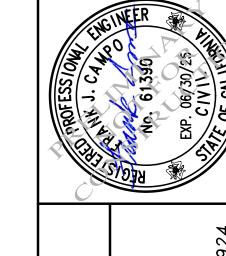


DRIVEWAY PLAN

DRIVEWAY PROFILE

1" = 20'





ULLMAN RESIDENCE
APN# 185-051-003-000

SCALE: AS NOTED

DATE: 05-23-25

DESIGN BY: FJC

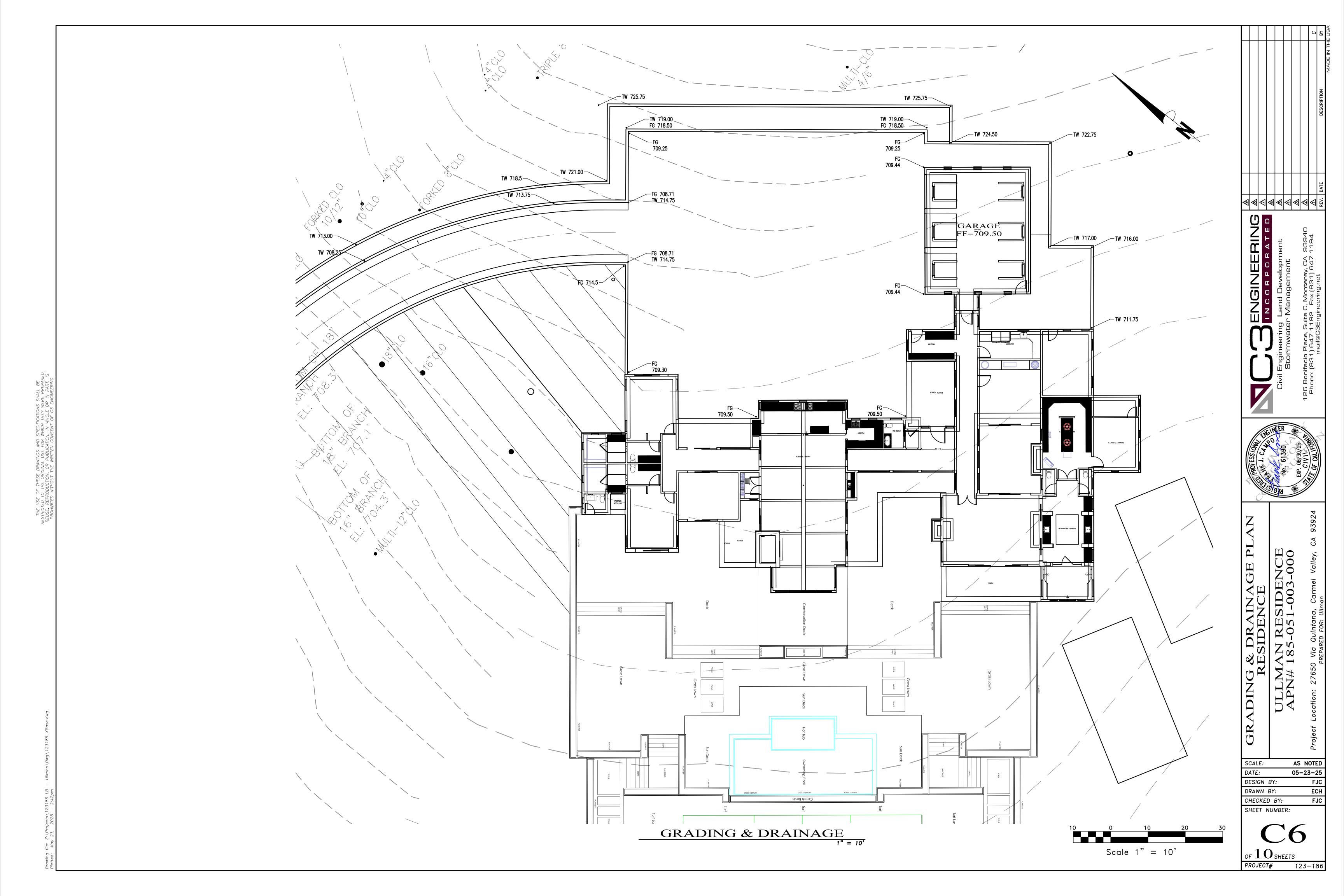
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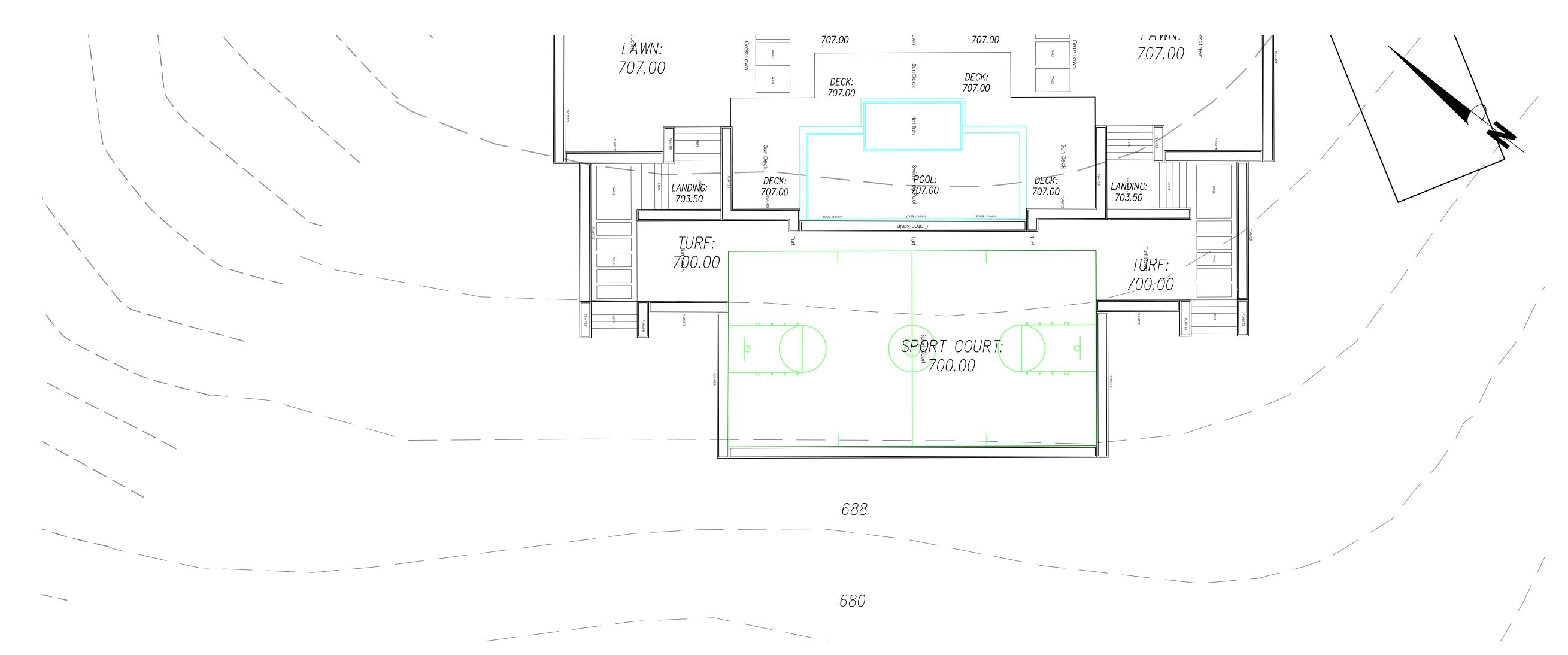
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of 10 sheets
PROJECT# 123-186





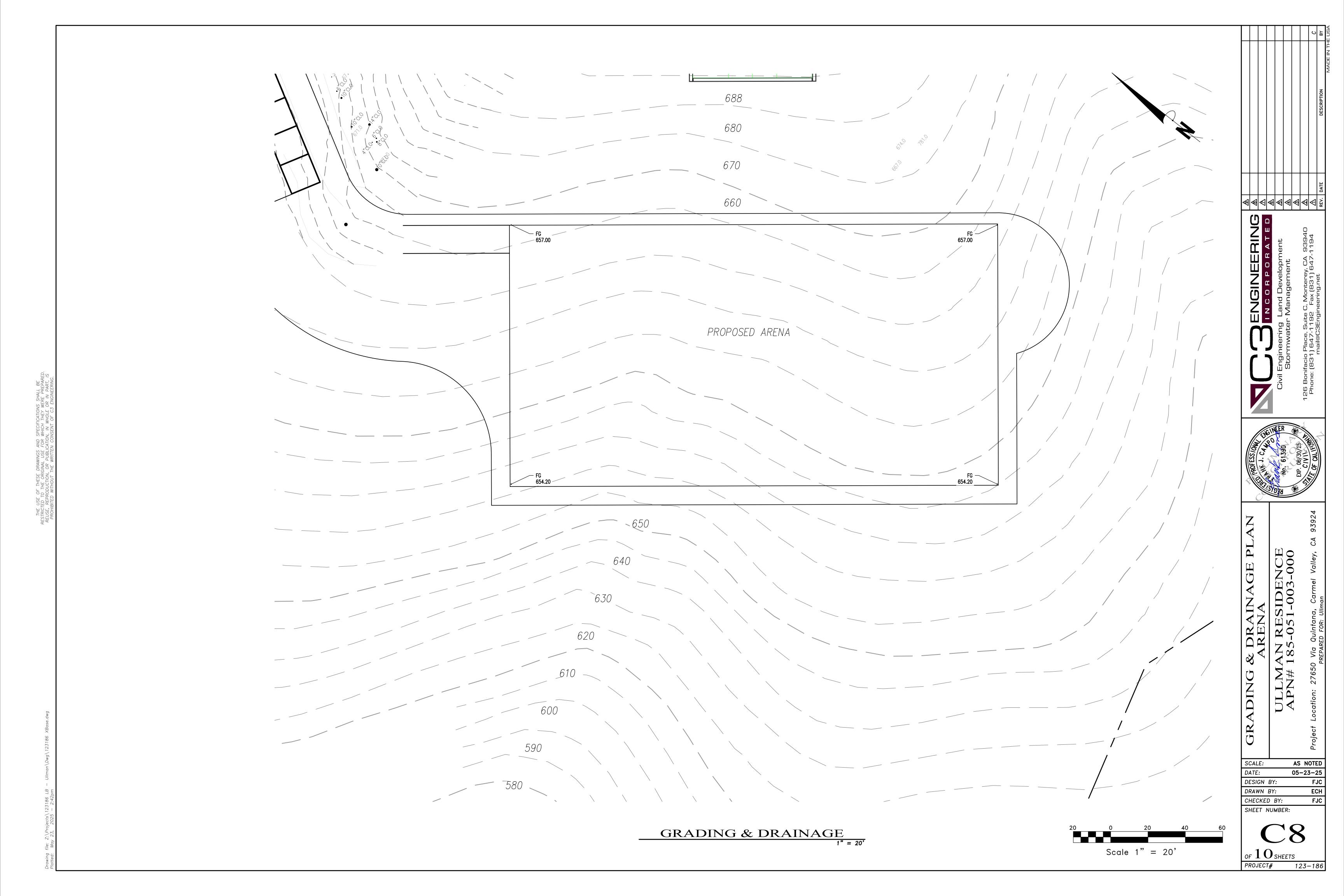
ULLMAN RESIDENCE APN# 185-051-003-000

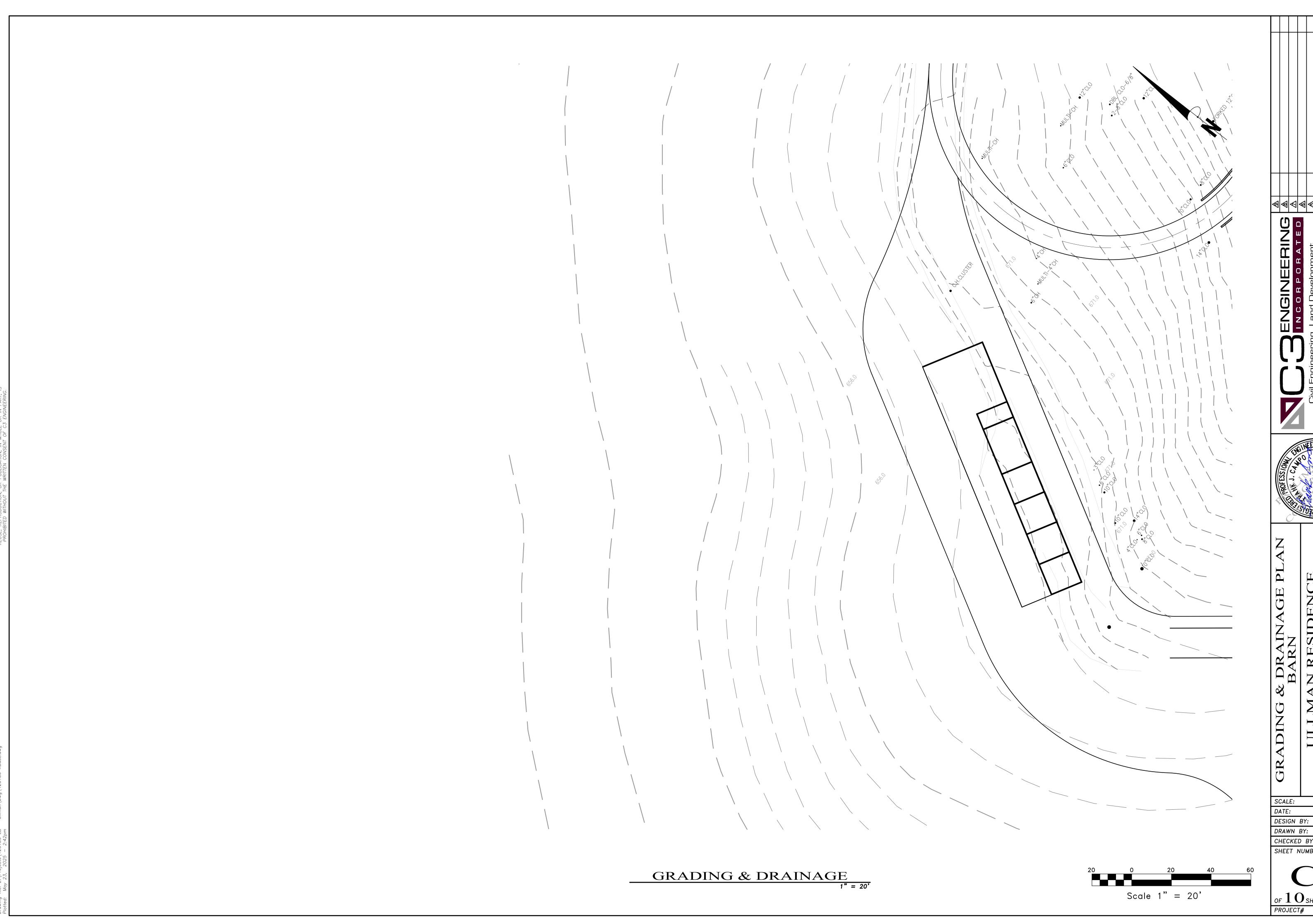
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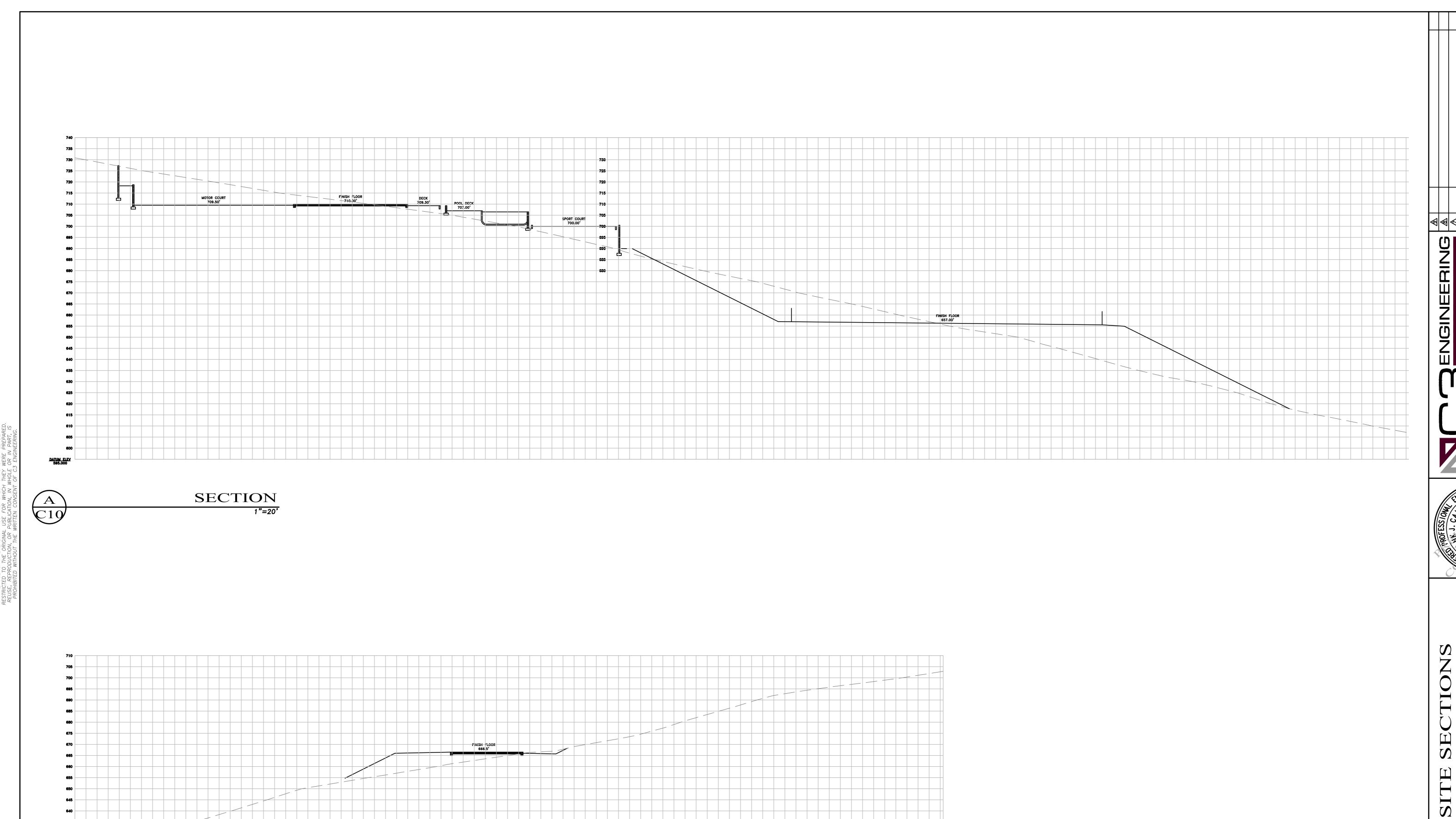




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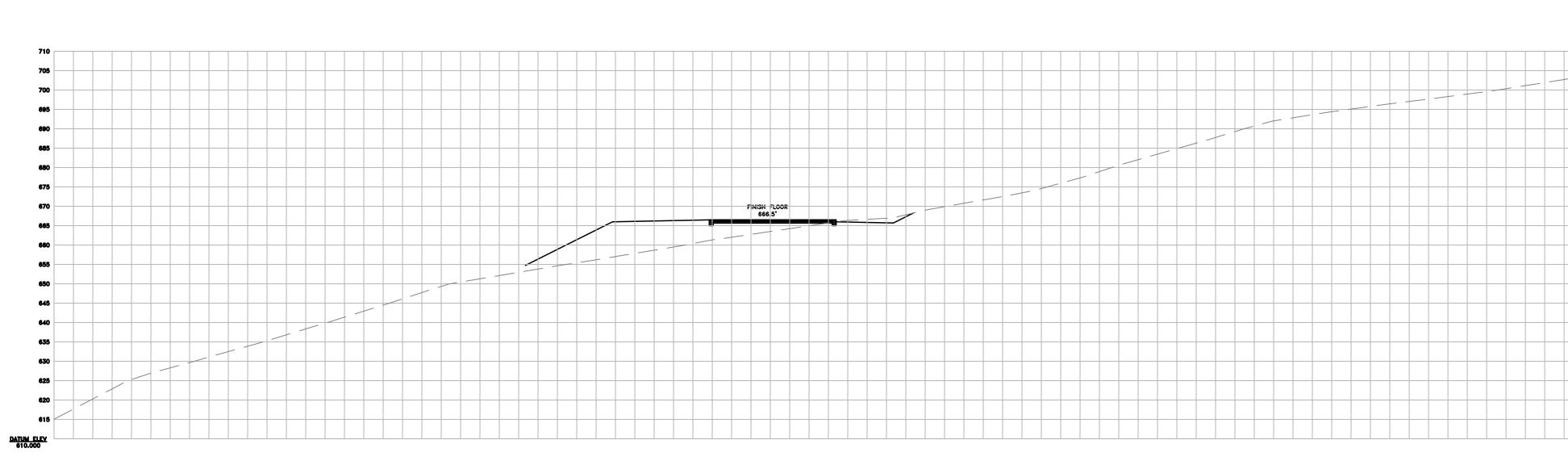
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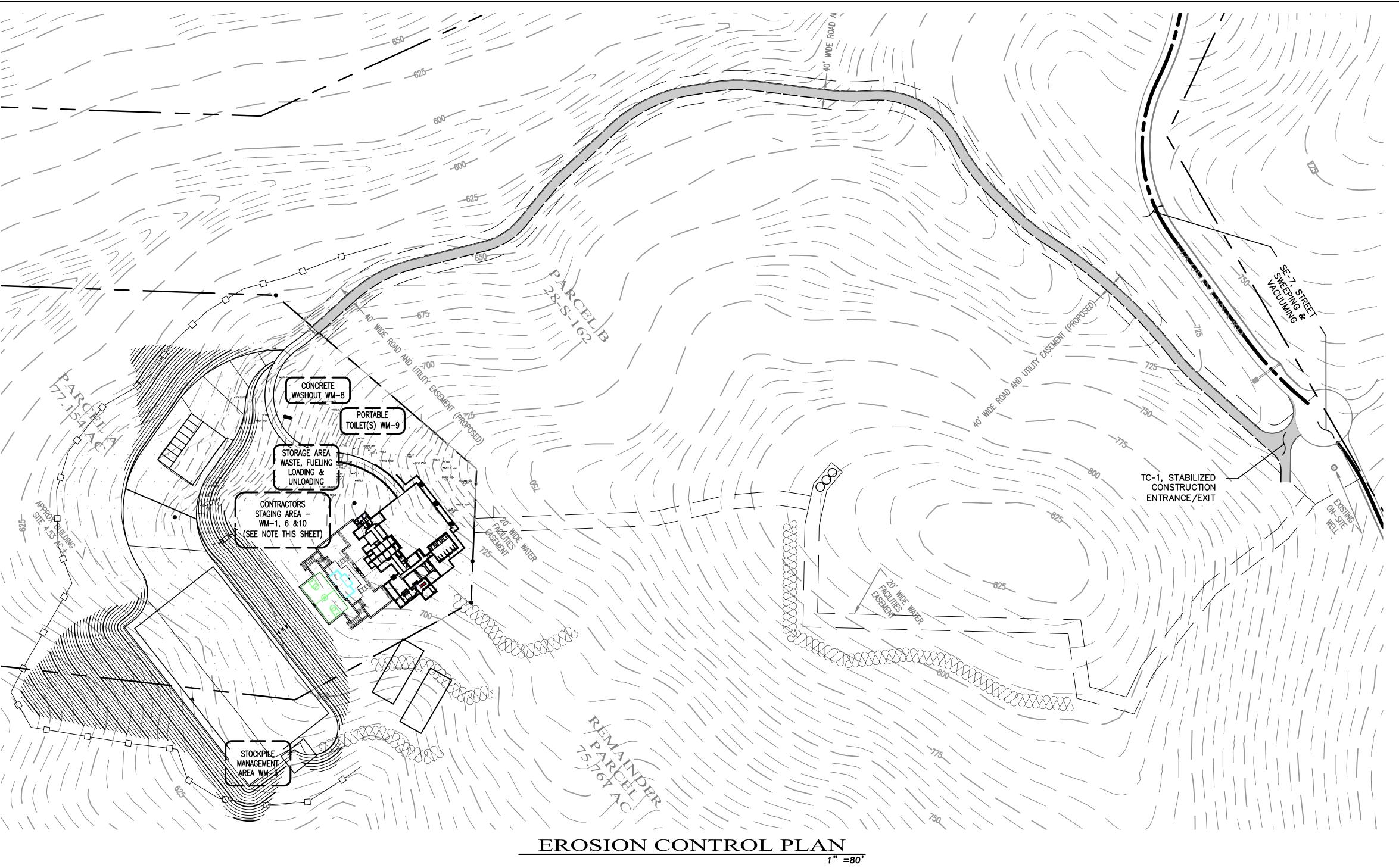
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C10
of 10 SHEETS
PROJECT# 123-186



B C10

SECTION
1"=20'



# EROSION CONTROL NOTES

- 1. ALL POLLUTANTS AND THEIR SOURCES, INCLUDING SOURCES OF SEDIMENT ASSOCIATED WITH CONSTRUCTION, CONSTRUCTION SITE EROSION AND ALL OTHER ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL BE CONTROLLED.
- 2. ALL NON-STORM WATER DISCHARGES SHALL BE IDENTIFIED AND EITHER ELIMINATED, CONTROLLED, OR TREATED.
- 3. SITE BMPS SHALL BE IMPLEMENTED TO REDUCE OR ELIMINATE POLLUTANTS IN STORM WATER DISCHARGES AND AUTHORIZED NON-STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
- 4. BEST MANAGEMENT PRACTICES (BMPS) TO BE IMPLEMENTED BY THE PROJECT ARE LISTED BY CATEGORY. FACT SHEETS, AND DETAILS FOR THE BMPS SELECTED FOR THIS PROJECT, CAN BE FOUND IN THE CASQA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK.
- 5. DETAILED, SITE-SPECIFIC LISTING OF POTENTIAL SOURCES OF STORMWATER POLLUTION IS PROVIDED IN THE STORMWATER CONTROL PLAN AND OR THE SWPPP.
- 6. ACCESS ROADS SHALL BE CLEANED (SWEPT) DAILY (IF NECESSARY) AND PRIOR TO ANY RAIN
- 7. DUMPSTERS SHALL BE COVERED NIGHTLY AND PROTECTED FROM RAIN AND SHALL HAVE SECONDARY CONTAINMENT.
- THE FOLLOWING STANDARD BMPS SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY REGIONAL STORMWATER MANAGEMENT PROGRAM:

1. MINIMIZE USE OF OIL-BASED PAINTS 2. STORE SOLVENTS AND PAINTS IN ORIGINAL CONTAINERS OR OTHER FIRE MARSHAL APPROVED

3. SPENT SOLVENTS ARE HAZARDOUS WASTES. STORE SPENT SOLVENTS IN APPROVED CONTAINERS. REUSE SOLVENTS AS MUCH AS POSSIBLE AND USE PAINTS AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINT AS A HAZARDOUS WASTE. 4. NEVER CLEAN PAINT EQUIPMENT WHERE SOLVENTS, PAINT OR CONTAMINATED RINSE WATER CAN ENTER THE STORM DRAIN SYSTEM.

PLASTERING/STUCCO/TILING/SITE-MIXED CONCRETE: 1. STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND. 2. CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS. 3. IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REFUSE. 4. ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE

RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

# **EROSION CONTROL NOTES**

### READY-MIXED CONCRETE: 1. HAVE AN EARTHEN DEPRESSION DUG PRIOR TO THE ARRIVAL OF THE READY—MIX TRUCK. 2. IF A PUMP IS USED, PLACE THE ENTIRE PUMP PRIMING FLUID AND REJECT CONCRETE IN THE

3. PLACE ALL SPILLED CONCRETE AND CHUTE WASH WATER IN THE DEPRESSION. 4. ALL TRUCK AND PUMP RINSE WATER IS TO BE TAKEN BACK TO THE READY-MIX BATCH PLANT FOR

5. BEFORE CREATING AN EXPOSED AGGREGATE FINISH, CAREFULLY PLAN AND PREPARE TO PREVENT THE SLURRY THAT IS WASHED OFF FROM ENTERING THE STORM DRAIN SYSTEM AND GUTTERS.

### EARTH MOVING/GRADING: 1. REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY.

- 2. PLANT TEMPORARY VEGETATION WHEN SLOPE HAVE BEEN DISTURBED BUT CONSTRUCTION IS STILL ONGOING DURING PERIODS OF RAIN
- 3. PROTECT DOWN SLOPE DRAINAGE COURSES BY RECOGNIZED METHODS SUCH AS THOSE IN THE CASQA
- 4. USE CHECK DAMS OR DITCHES TO DIVERT WATER AROUND EXCAVATIONS. 5. COVER STOCKPILES OF EXCAVATED SOIL WITH TARPS.
- 6. SCHEDULE GRADING ACTIVITIES DURING DRY PERIODS.

# EC-2 PRESERVATION OF EXISTING VEGETATION EC-3 HYDRAULIC MULCH EC-4 HYDROSEEDING

EC-8 WOOD MULCHING

EC-16 NON-VEGETATIVE STABILIZATION SEDIMENT CONTROL: SE-1 SILT FENCE

SE-2 SEDIMENT BASINS SE-3 SEDIMENT TRAP SE-5 FIBER ROLL

SE-6 GRAVEL BAG BERM SE-7 STREET SWEEPING AND VACUUMING SE-8 GRAVEL BAG BARRIER

SE-9 STRAW BALE BARRIER SE-10 STORM DRAIN INLET PROTECTION SE-13 COMPOST SOCKS AND BERMS

SE-14 BIOFILTER BAGS TRACKING CONTROL: TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-3 ENTRANCE/OUTLET TIRE WASH

WIND EROSION CONTROL: WE-1 WIND EROSION CONTROL

BMP'S

NON-STORM WATER MANAGEMENT:
NS-1 WATER CONSERVATION PRACTICES NS-2 DEWATERING OPERATIONS NS-3 PAVING AND GRINDING OPERATIONS

NS-6 ILLICIT CONNECTION/DISCHARGE NS-7 POTABLE WATER/IRRIGATION NS-8 VEHICLE AND EQUIPMENT CLEANING

NS-9 VEHICLE AND EQUIPMENT FUELING NS-10 VEHICLE AND EQUIPMENT MAINTENANCE NS-12 CONCRETE CURING NS-13 CONCRETE FINISHING

NS-14 MATERIAL AND EQUIPMENT USE WASTE MANAGEMENT AND MATERIAL
POLLUTION CONTROL:
WM-1 MATERIAL DELIVERY AND STORAGE

WM-2 MATERIAL USED WM-3 STOCKPILE MANAGEMENT

WM-4 SPILL PREVENTION AND CONTROL WM-5 SOLID WASTE MANAGEMENT WM-6 HAZARDOUS WASTE MANAGEMENT WM-7 CONTAMINATED SOIL MANAGEMENT WM-8 CONCRETE WASTE MANAGEMENT

WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

SHEETS. SWPPP WDID#XXXXXXXXXXX

WM-10 LIQUID WASTE MANAGEMENT REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT

# LEGEND

INLET PROTECTION, (SEE D/C10)

PROPOSED DRAINAGE FLOW

SILT FENCE (SEE F/C10)

FIBER ROLL (SEE A/C10)

# EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A. PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES.
- B. COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO
- C. KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST. D. LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS

THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL CORRECTIVE MEASURES ARE TAKEN.

2. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.

3. ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY THE COUNTY. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.

4. DURING WINTER OPERATIONS (BETWEEN OCTOBER 1ST AND APRIL 30TH), THE FOLLOWING MEASURES MUST BE TAKEN:

- A. VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL
- B. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT
- EROSION ON OR ADJACENT TO THE ROADWAY OR THE DOWNHILL PROPERTIES. C. RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE
- D. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY CHECKED THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- E. THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY. 5. CONTRACTORS STAGING AREA DESIGNATED FOR FOLLOWING STORM WATER BEST MANAGEMENT

PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, VEHICLE & EQUIPMENT MAINTENANCE, MATERIAL DELIVERY & STORAGE, STOCKPILE MANAGEMENT, SPILL PREVENTION & CONTROL, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.

6. IF VEGETATION REMOVAL TAKES PLACE PRIOR TO A GRADING OPERATION AND THE ACTUAL GRADING DOES NOT BEGIN WITHIN 30 DAYS FROM THE DATE OF REMOVAL, THEN THAT AREA SHALL BE PLANTED UNDER THE PROVISION OF SECTION 16.08.340 TO CONTROL EROSION. NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.

7. SOIL COMPACTION FOR AREAS THAT WILL REMAIN PERVIOUS OR ARE TO BE USED FOR STORMWATER CONTROL MEASURES (SCM) SHALL BE MINIMIZED.

8. ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND OR COMPLETED LOTS THAT ARE NOT SCHEDULED TO BE RE-DISTURBED FOR MINIMALLY 14 DAYS SHALL BE PROTECTED WITH EFFECTIVE SOIL COVER.

9. SOIL STOCKPILES AREAS SHALL BE PROTECTED AGAINST EROSION.

# **INSPECTIONS**

PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY

DURING CONSTRUCTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMPS INSTALLED, AND TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE. AT THE TIME OF THE INSPECTION, THE APPLICANT SHALL PROVIDE CERTIFICATION THAT ALL NECESSARY GEOTECHNICAL INSPECTIONS HAVE BEEN COMPLETED TO THAT POINT.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH (RMA-ENVIRONMENTAL SERVICES) TO ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL PROVIDE (RMA-ENVIRONMENTAL SERVICES) A LETTER FROM A LICENSED PRACTITIONER.

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RAWN BY:	ECH
UECKED DV.	FIC

CHECKED BY: SHEET NUMBER:

PROJECT#

123-186

Scale 1" = 80'

# CONSTRUCTION MANAGEMENT PLAN

CONTACT(S):

OWNER — THE ULLMAN'S CONTRACTOR — TO BE DETERMINED

### CONSTRUCTION VEHICLES:

ANTICIPATED CONSTRUCTION VEHICLES FOR PROJECTS SIMILAR IN NATURE WILL CONSIST OF DUMP TRUCKS, BACKHOES, FORKLIFT, CONCRETE TRUCKS, PICK-UP TRUCKS AND CARS DURING GENERAL CONSTRUCTION. PROJECT SCHEDULING & GRADING ACTIVITY:

THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS. FOR THE FIRST 2 WEEKS, DURING GRADING ACTIVITIES, THERE MAY BE UP TO 6 TRUCKLOADS PER DAY AND UP TO 54 YARDS OF EARTHWORK PER DAY.

THE HOURS OF OPERATION FOR OUTDOOR CONSTRUCTION WILL BE FROM 8:00 AM TO 5:00 PM; MONDAY THROUGH FRIDAY AND FROM 9:00 AM TO 5:00 PM ON SATURDAY. NO CONSTRUCTION WILL TAKE PLACE ON

### PROJECT SCHEDULING:

THE PROPOSED PROJECT IS ESTIMATED TO LAST 18 MONTHS.

### PRESERVATION OF EXISTING VEGETATION:

MINIMIZING LIMITS OF DISTURBANCE AND PRESERVING EXISTING TREES AND VEGETATION IS A PRIORITY. DISTURBED AREAS WILL BE RECLAIMED AS SOON AS PRACTICAL WITH THE SAME SOILS AND VEGETATION AS EXISTED PRIOR TO THE DISTURBANCE. IT IS IN EVERYONE'S INTEREST THAT THE PROPERTY BE AS ATTRACTIVE AS POSSIBLE AND THAT DISTURBED AREAS BE RECLAIMED TO NATURAL CONDITIONS AS SOON AS

### MATERIAL AND EQUIPMENT STAGING AND STORAGE:

CONSTRUCTION IS EXPECTED TO USE JUST-IN-TIME MATERIALS DELIVERIES, MINIMIZING INVENTORY AND RE-HANDLING COSTS. EQUIPMENT AND MATERIAL STORAGE WILL BE EITHER 1) DIRECTLY WITHIN THE HOME OR 2) IN CLOSE PROXIMITY TO THE HOME. PLEASE ALSO SEE THE EROSION CONTROL PLAN SHEET C6 ON THE CIVIL PLANS.

### CONSTRUCTION TRAFFIC:

CONSTRUCTION ACTIVITY WILL BE CONTROLLED THROUGH ONE ACCESS POINT TO THE PROPERTY. CONSTRUCTION WORKERS AND MATERIALS WILL COME BY WEST OR EAST OFF CARMEL VALLEY ROAD TO HALDORN ROAD (PARTIAL RESTRICTED USAGE ROAD) APPROXIMATELY 0.3 MILES. CONTINUE STRAIGHT TO VIA QUINTANA ROAD APPROXIMATELY 3.3 MILES TO THE CUL-DE-SAC. CONSTRUCTION ENTRANCE IS LOCATED TO THE RIGHT OFF VIA QUINTANA. TRAVEL ON DIRT ROAD APPROXIMATELY 0.5 MILES TO THE CONSTRUCTION SITE ON THE LEFT. LEAVE THE SITE BY WAY OF ENTERING THE PROJECT SITE. IN ORDER TO PREVENT MUD OR DEBRIS TRACKING ON PUBLIC & PRIVATE ROADS, CLEAN GRAVEL OR RUMPLE PLATES WILL BE PLACED AT THE ACCESS POINTS TO THE PROPERTY. SEE EROSION CONTROL PLAN SHEET C9 FOR DETAILS. SIGNS WILL BE PLACED TO THE NORTH OF THE CONSTRUCTION ENTRANCE ADVISING OF CONSTRUCTION TRAFFIC, SPEED LIMITS AND APPROPRIATE CAUTIONS AND WARNINGS. SEE VICINITY MAP FOR TRAFFIC ROUTE.

### GRADING AND EROSION CONTROL:

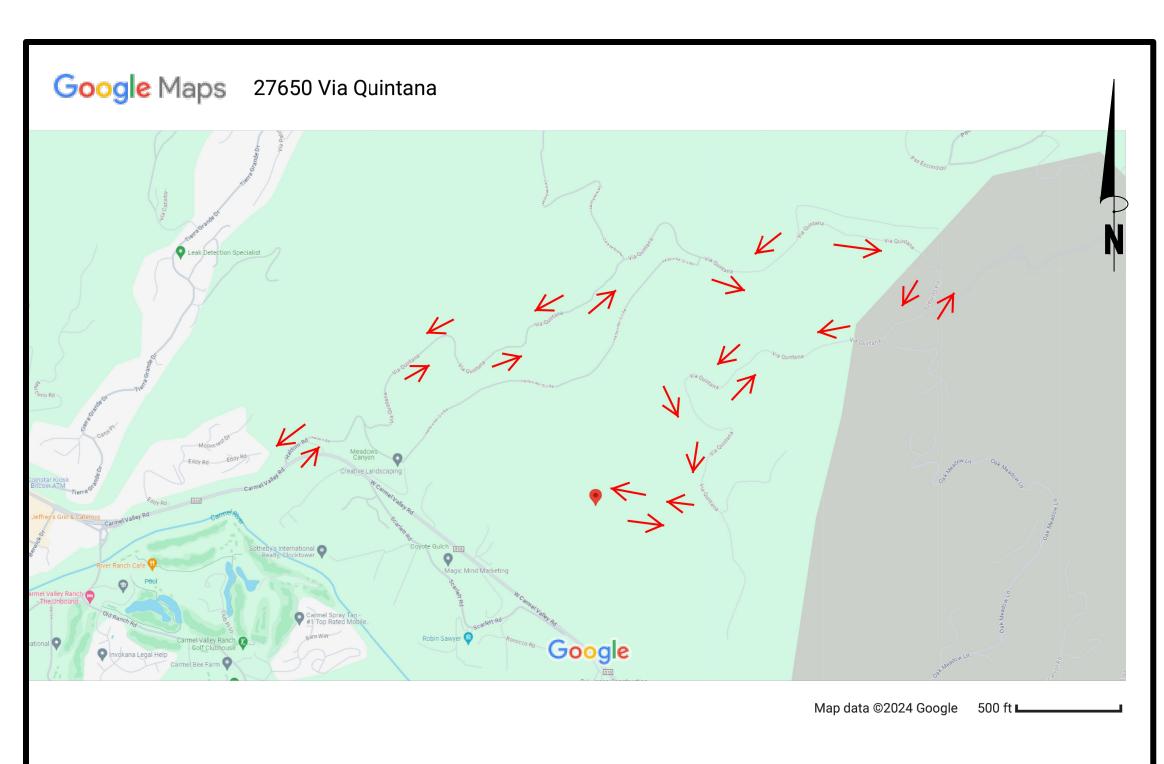
AN APPROVED GRADING AND EROSION CONTROL PLAN WILL BE IMPLEMENTED PRIOR TO BEGINNING EXCAVATION. MEASURES WILL BE REVIEWED ON A WEEKLY BASIS AND AFTER SIGNIFICANT RAINFALL EVENTS.

PRINCIPLE EMPLOYEES AND SUBCONTRACTOR PARKING WILL BE LOCATED ONSITE AT THE DESIGNATED PARKING AREAS.

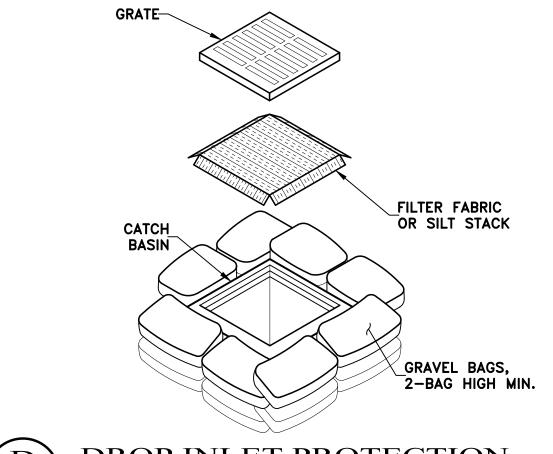
### ON-SITE FACILITIES:

CONSTRUCTION TOILETS/PORTA-POTTIES WILL BE PLACED AROUND THE CONSTRUCTION SITE TO PROVIDE ACCESS TO ALL WORKERS. FACILITIES WILL BE RELOCATED AS NEEDED TO PROVIDE REASONABLE ACCESS.

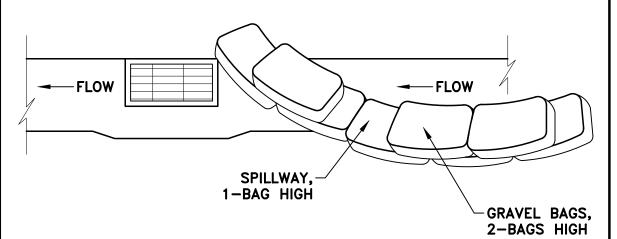
ALONG WITH THE HOURS OF OPERATION AND CONSTRUCTION TRAFFIC SIGNAGE, NAME AND PHONE NUMBERS FOR THE ON-SITE PERSON RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION MANAGEMENT PLAN WILL BE DISPLAYED ON JOBSITE SIGNS ALONG WITH NOTICES AND JOBSITE RULES.



# VICINITY MAP



# DROP INLET PROTECTION

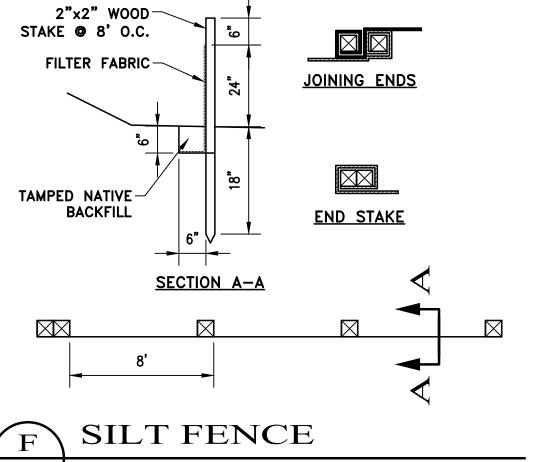


1. INTENDED FOR SHORT-TERM USE.

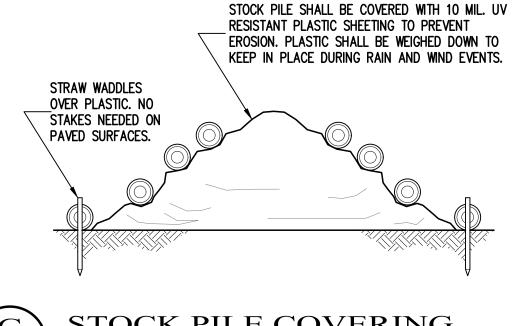
2. USE TO INHIBIT NON-STORM WATER FLOW. 3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP. 4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETE.

5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

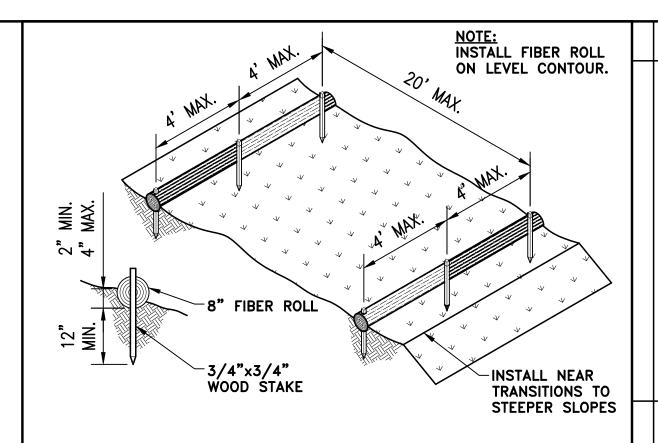
# **CURB INLET PROTECTION**



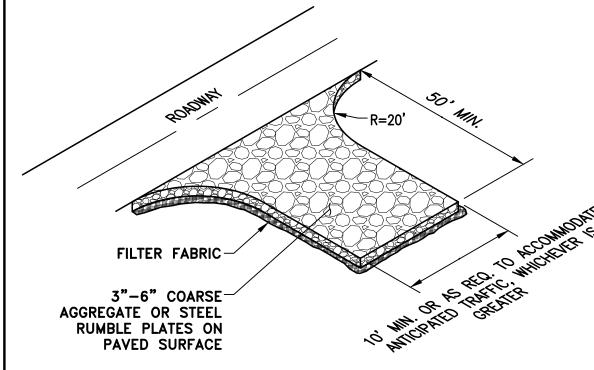
# $C^{19}$



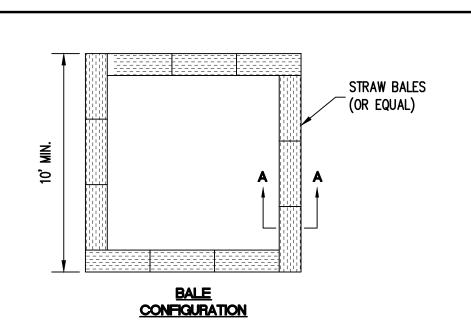
STOCK PILE COVERING

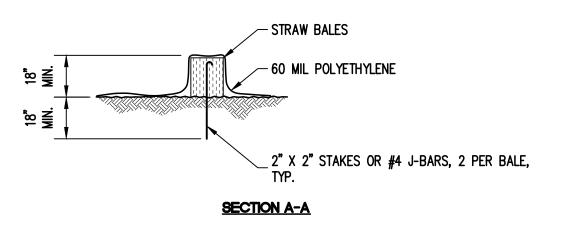


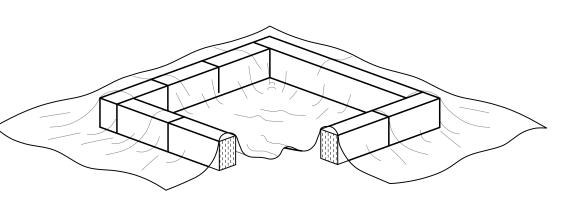
FIBER ROLL



STABILIZE ENTRANCE







THIS SECTION REMOVED FOR GRAPHICAL REPRESENTATION ONLY. STRAW BALE PERIMETER SHALL BE CONTINUOUS.

NOTES:
1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT 2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES





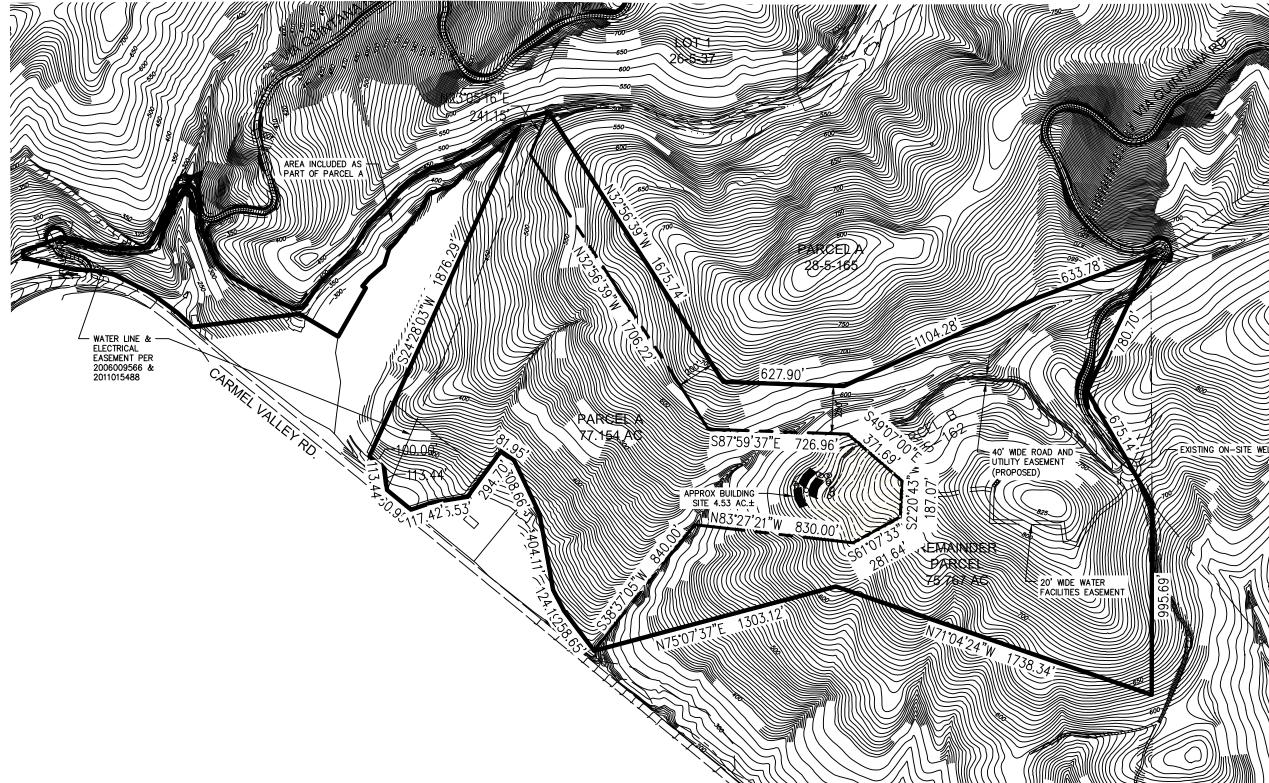
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of 10 sheets

PROJECT# 123-186



# VICINITY MAP



# SITE MAP

SCALE: 1" = 500'

# BASIS OF SEPTIC DESIGN:

1. THE SEPTIC SYSTEM IS DESIGNED TO COMPLY WITH THE MONTEREY COUNTY LAMP FOR OWTS, (MAY 2018). THE TOTAL ALLOWABLE NITROGEN LOADING FOR THIS PARCEL IS 3086.16 TOTAL GRAMS OF NITROGEN. THE PROPOSED DEVELOPMENT PROVIDES A TOTAL OF 50 GRAMS OF NITROGEN FOR THE PROPOSED DEVELOPMENT OF A 4 BEDROOM RESIDENCE.

2. THE PROPOSED SYSTEM INCLUDES A 2,000 GALLON TANK. THE PROPOSED SYSTEM IS DESIGNED FOR AN ESTIMATED DAILY WASTEWATER GENERATION IS 450 GALLONS PER DAY.

3. A SOILS PERCOLATION INVESTIGATION PREPARED BY SOIL SURVEYS GROUP, INC, DATED 4, 2021 INDICATES AN AVERAGE PERCOLATION RATE BETWEEN 5-FOOT AND 10-FOOT DEPTHS OF 72.92 MINUTES PER INCH. THE DESIGN SOIL APPLICATION RATE IS 0.14 GALLONS PER DAY PER SQUARE FOOT BASED ON THE AVERAGE.

4. THE ESTIMATED DAILY WASTEWATER GENERATION 450 GALLONS 450 / 0.14 = 3214 SQUARE FEET. 3214 / 4 LF/FT = 803 LF PRIMARY FIELD: EIGHT - 100' X 2.0' E.D. X 18" TRENCHES SECONDARY FIELD: EIGHT - 100' X 2.0' E.D. X 18" TRENCHES

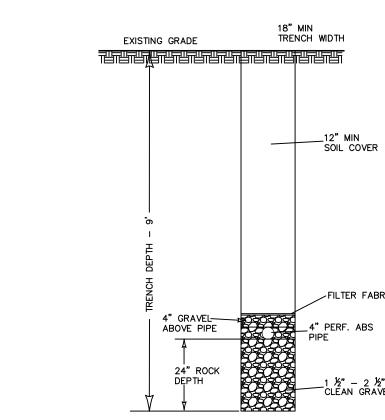
5. THE LEACH FIELDS SHALL HAVE AT A MINIMUM IF 12 INCHES OF SOIL COVER.

7. THE LEACH FIELDS SHALL NOT BE COVERED BY AN IMPERMEABLE SURFACE, SUCH AS PAVING, CONCRETE SLABS, PLASTIC SHEETING OR ANY OTHER MATERIAL THAT PREVENTS OXYGEN TRANSFER TO THE SOIL UNLESS SUPPLEMENTAL TREATMENT IS INCORPORATED INTO THE SEPTIC SYSTEM.

8. TO FACILITATE FUTURE INSPECTION OF THE LEACH FIELDS, TRACER WIRE SHALL BE LAID ALONG THE LENGTH OF THE DISTRIBUTION PIPE AND INSPECTION PORTS ARE TO BE INSTALLED AT THE END OF EACH TRENCH.

9. THE LEACH FIELDS SHALL NOT BE DEEPER THAN TEN FEET.

10. THE SEPTIC TANK SHALL BE WATER TIGHT AND CONSTRUCTED OF DURABLE, CORROSION RESISTANT MATERIALS AND MUST CONFORM TO IAPMO, NSF OR ASTM STANDARDS. THE TANK SHALL BE INSTALLED NO DEEPER THAN SIX INCHES BELOW FINISH GRADE UNLESS FITTED WITH WATERTIGHT RISERS. THE OWNERS SHALL MAINTAIN ACCESS OPENINGS SO THAT THE TANK IS READILY ACCESSIBLE FOR OBSERVATIONS, MAINTENANCE AND PUMPING.



# GENERAL / GRADING NOTES

1. SURFACE WATER WILL DRAIN AWAY FROM EACH STRUCTURE

2. INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY.

3. PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM OF STORM INLET(S) DURING CONSTRUCTION.

4. DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE COUNTY RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.

5. ALL GRADING SHALL COMPLY WITH THE COUNTY OF MONTEREY GRADING ORDINANCE.

# FILTER FABRIC

# LEACH FIELD DETAIL

# PROJECT INFORMATION

PROPERTY OWNER:

26750 VIA QUINTANA CARMEL VALLEY, CA 93924

JURISDICTION: ASSESSORS PARCEL NO: DESCRIPTION:

LOT SIZE:

COUNTY OF MONTEREY 185-052-019-000

LOT 7, VIA QUINTANA, CARMEL VALLEY, CA 93924 77.154 ACRES

# SCOPE OF WORK

SEPTIC PLAN

SCALE: 1" = 40'0"

THE NEW SEPTIC SYSTEM WILL SERVE A FUTURE 4 BEDROOM RESIDENCE. THE NEW SYSTEM IS INCLUDES A 2,000 SEPTIC TANK WITH PRIMARY FIELD AND SECONDARY FIELDS: (EIGHT - 100' X 2' E.D. (BETWEEN 5' TO 10' DEPTH) X 18" TRENCHES PER EACH FIELD)

LEGEND

# SEPTIC NOTES:

- 1. THE ON-SITE WASTEWATER TREATMENT SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE MONTEREY COUNTY LAMP FOR OWTS FOR NEW
- 2. THE CONTRACTOR SHALL INSTALL THE PRIMARY AND SECONDARY LEACH FIELDS. DIVERTER VALVES, DISTRIBUTION BOXES, ETC. AT THE INITIAL
- INSPECTED AND APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENTS PRIOR TO COVERING OR PLACEMENT OF THE DRAIN ROCK.
- 4. THE SEPTIC TANK SHALL BE EQUIPPED WITH AN EFFLUENT FILTER.

5. NOT ALL UNDERGROUND UTILITIES WERE LOCATED. UNDERGROUND UTILITY LOCATIONS SHOULD BE OBTAINED FROM THE LOCAL UTILITY

= (E)MAJOR CONTOUR (25' INTERVAL

D.K. . = DIVERSION VALVE

= DISTRIBUTION BOX

= PERCOLATION BORING

CONSTRUCTION.

INSTALLATION OF THE SEPTIC SYSTEM. 3. THE INSTALLATION OF THE SEPTIC TANK AND LEACH FIELDS SHALL BE

COMPANIES, PUBLIC OR PRIVATE AND/OR PROPERTY OWNERS.

REVISIONS

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DATE: 05.22.23

SCALE: AS SHOWN DRAWN: BT JOB: 23-006

APN: 185-052-019-000

# ULLMAN RESIDENCE

CARMEL VALLEY, CALIFORNIA



# PROJECT DESIGN TEAM

CHAD & AVERY ULLMAN

# SEPTIC CONSULTANT

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# **CIVIL ENGINEER**

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ASHLEY@CALIFORNIASTORYPOLES.COM INFO@CALIFORNIASTORYPOLES.COM **GEOTECH** BELINDA TALUBAN

SOIL SURVEYS GROUP INC 103 CHURCH ST SALINAS, CA 93901 (831 757-2172 ÎNFO@SOILSURVEYS.NET

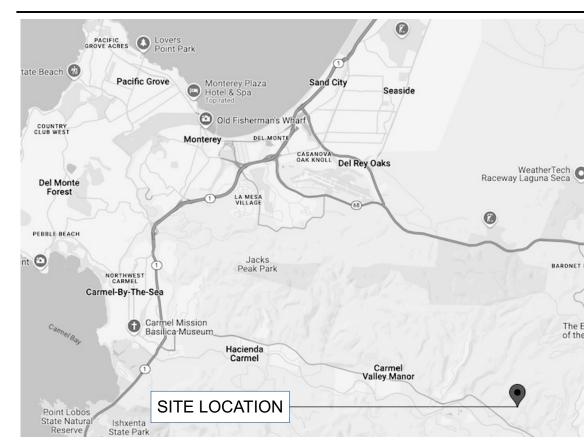
# **BIOLOGY** ROBERT K. NURTON, PHD

CALIFORNIA ECOLOGICAL ANALYTICS 684 PARADISE ROAD PRUNEDALE, CA 93907 (831) 461-4351 WWW.CALECOANALYTICS.COM

# <u>ARCHAEOLOGIST</u>

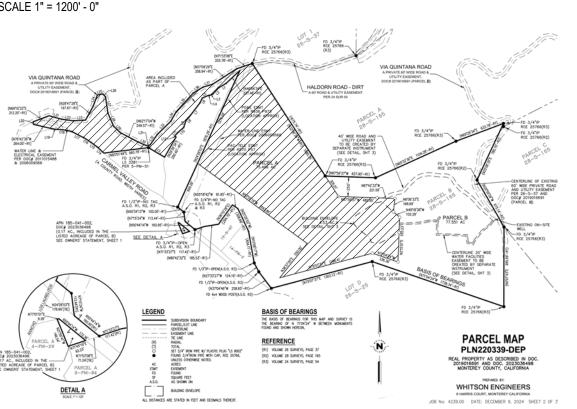
RUBEN G. MENDOZA 1645 BEACONHILL DR. SALINAS, CA 93906 (831) 320-9360 NFO@ARCHIVESARCHAEOLOGY.COM

# **VICINITY MAP**



# PARCEL MAP

SCALE 1" = 1200' - 0"



# PROJECT DESCRIPTION

\*SUBDIVISION OF PARCEL COMPLETED - PROPERTY MARKED AS PARCEL 'A' NEW ONE-STORY 5,620 SF SINGLE FAMILY RESIDENCE TWO STORY, 995 SF GARAGE WITH 750 SF ADU ON 2ND FLOOR 4,800 SF BARN UNCOVERED ROPING ARENA UNCOVERED SPORT COURT REAR HARDSCAPE AND POOL

### TREE REMOVAL NONE

WATER

BUILDING SPRINKLERS ARE REQUIRED

GROUND MOUNTED PHOTOVOLTAIC ARRAY

BURY PG&E LINES TO HOUSE PROPERTY TO BE SERVICED BY NEW WELL (APPROVED) SOLAR ARRAY GROUND INSTALLATION, BATTERIES & GENERATOR, LOCATION TBD TWO (2) 5,000 WATER TANKS FOR FIRE SUPPRESSION ONE (1) 5,000 WATER TANK FOR HOUSE SUPPLY

# PROJECT DATA

OWNER: CHAD & AVERY ULLMAN PROJECT ADRESS: 27650 VIA QUINTANA

PARCEL A CARMEL VALLEY, CA 93924 A.P.N 185-052-019 PARCEL A

LDR/2.5-D-S-RAZ & RDR/10-D-S-RAZ GENERAL PLAN LAND USE DESIGNATION LOW DENSITY RESIDENTIAL & RURAL DENSITY RESIDENTIAL

TYPE OF CONSTRUCTION V-B R-3 OCCUPANCY TYPE SEWER

WELL (MPWMD) SMALL WATER SYSTEM (4 CONNECTIONS) NAMED 'QUINTANA #7 (REY)

# AREA CALCULATIONS

RESIDENCE (P) 5,620 SF GARAGE (P) 995 SF ADU (P) 750 SF LIMIT IS 1,200 SF BARN (P) 4,800 SF TOTAL BUILDINGS (P) 12,165 SF LIMIT IS 784,080 SF TOTAL PARCEL 3,288,605 SF (74.496 ACRES)

SITE BUILDING COVERAGE RATIO (P) 0.37% LIMIT IS 25% (784,080 SF) SETBACKS: FRONT - 30',

HEIGHT - 15'

HEIGHT - 15'

SIDE & REAR - 20' HEIGHT = 30'

HABITABLE ACCESSORY: (MIN DISTANCE TO MAIN - 10'): SETBACKS: FRONT - 50', SIDE & REAR 6'

NON-HABITABLE ACCESSORY: (MIN DISTANCE TO ACCESSORY - 6') SETBACKS: FRONT - 50' OR BEHIND MAIN, FRONT HALF SIDE - 6'; REAR HALF SIDE & REAR - 1'

BARN: (MIN DISTANCE TO MAIN - 20') SETBACKS: FRONT - 50' OR BEHIND MAIN, SIDE & REAR 20'

SETBACKS: FRONT - 50', SIDE & REAR - 4'

> CARMEL VALLEY MASTER PLAN: 100' SETBACK FROM CARMEL VALLEY ROAD WHERE APPLICABLE(SEE POLICY 40.2.1.1(CV))|

# **PAGE INDEX**

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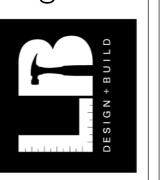
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A-0 TITLE SHEET, PROJECT DATA, & PARCEL PLAN A-0.1 VIEWSHED RENDERINGS OF PROPOSED BUILDINGS A-0.2 SAFEWAY PULLOUT STORY POLES, W CARMEL VALLEY RD A-0.3 SAFEWAY PULLOUT REDERING, W CARMEL VALLEY RD A-1.1 VIEW FROM 927 W CARMEL VALLEY RD A-1.2 VIEW FROM 927 W CARMEL VALLEY RD A-1.3 VIEW FROM 929 W CARMEL VALLEY RD

VIEW FROM 931A W CARMEL VALLEY RD

VIEW FROM SAFEWAY PULLOUT, CARMEL VALLEY RD

OLLN



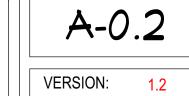


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NOTE: SAFEWAY PULLOUT RENDERING IS NOT ZOOMED IN, AND PHOTOGRAPHED WITH A 55MM LENSE TO REPLICATE THE HUMAN EYE



VERSION: 1.2

DATE: 6/3/25

PLANNING

OLES, W CARMEL VALLEY RD

REV# DATE / DESCRIPTION BY

SAFEWAY PULLOUT STORY POLES, W CARMEL V/A

REV# DATE/DESCRIPTION BY REV# DATE/DESCRIPTION

REV# DATE/DESCRIPTION

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ULLMAN RESIDENCE

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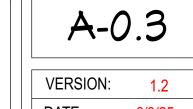
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CARMEL CA 93923
(831) 250 7168





NOTE: SAFEWAY PULLOUT RENDERING IS NOT ZOOMED IN, AND PHOTOGRAPHED WITH A 55MM LENSE TO REPLICATE THE HUMAN EYE







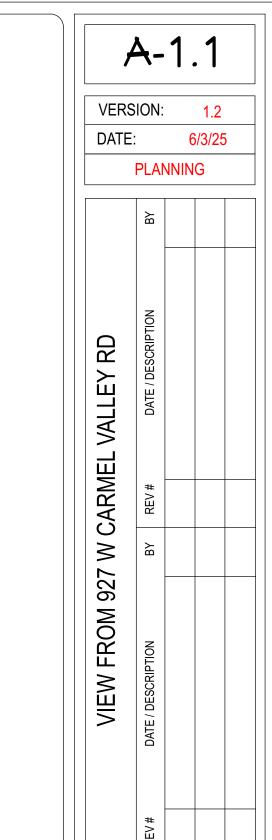
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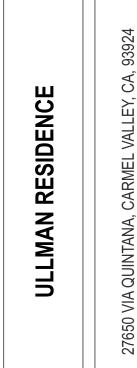


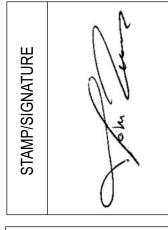
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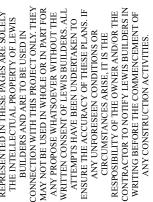




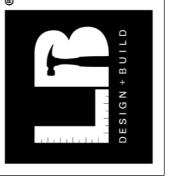










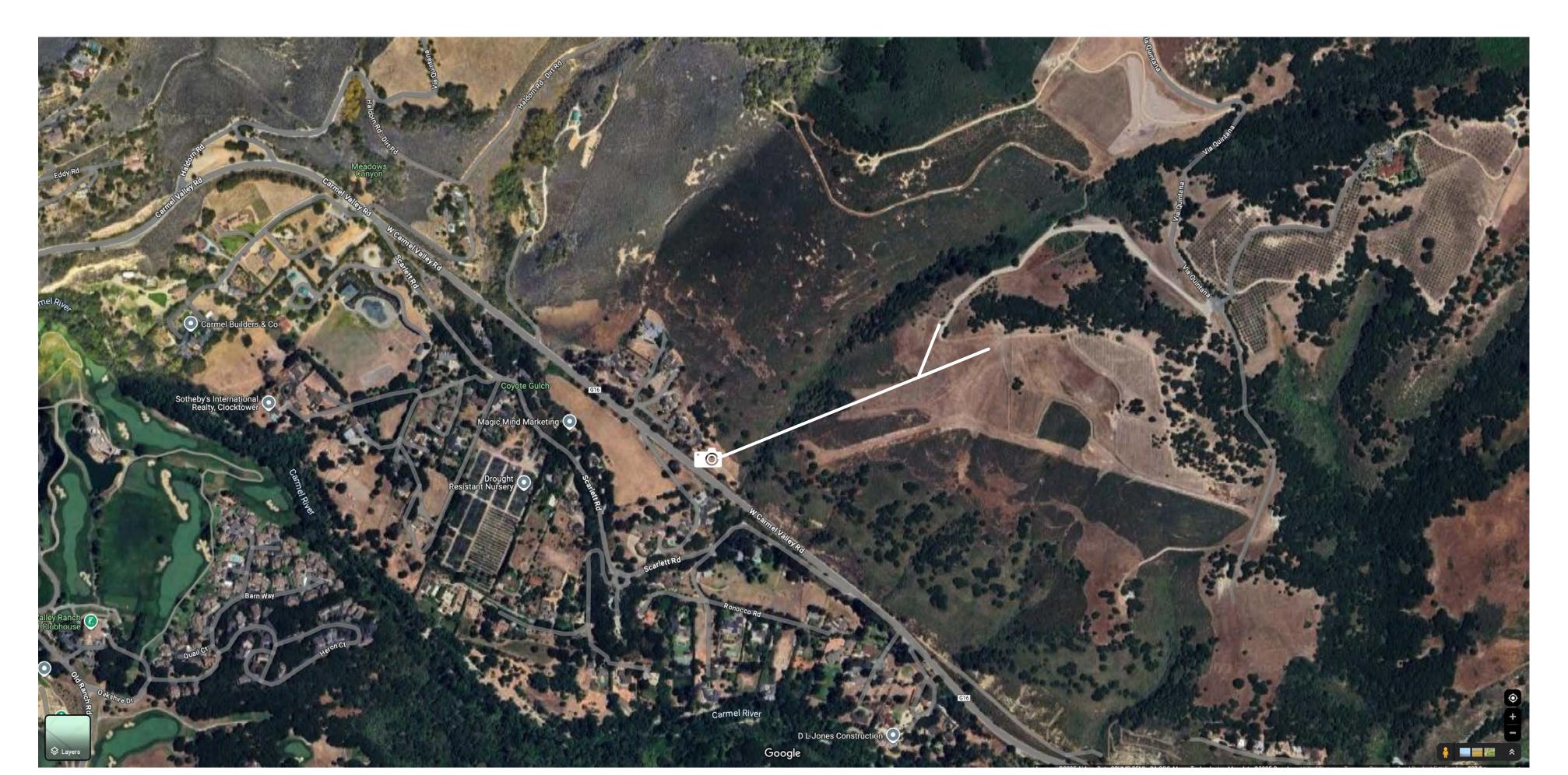




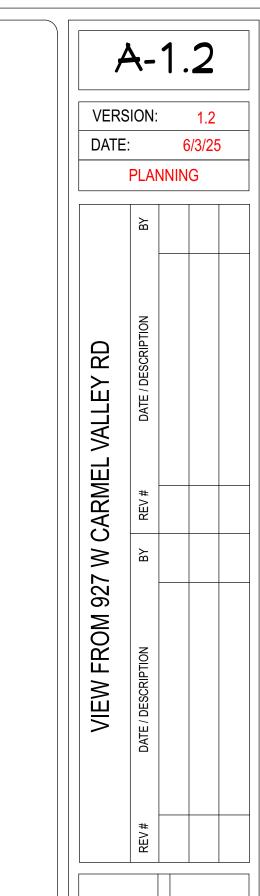
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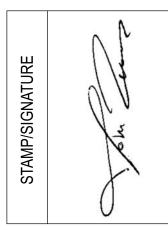
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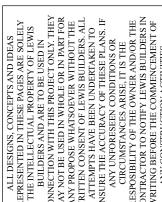


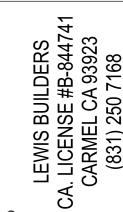












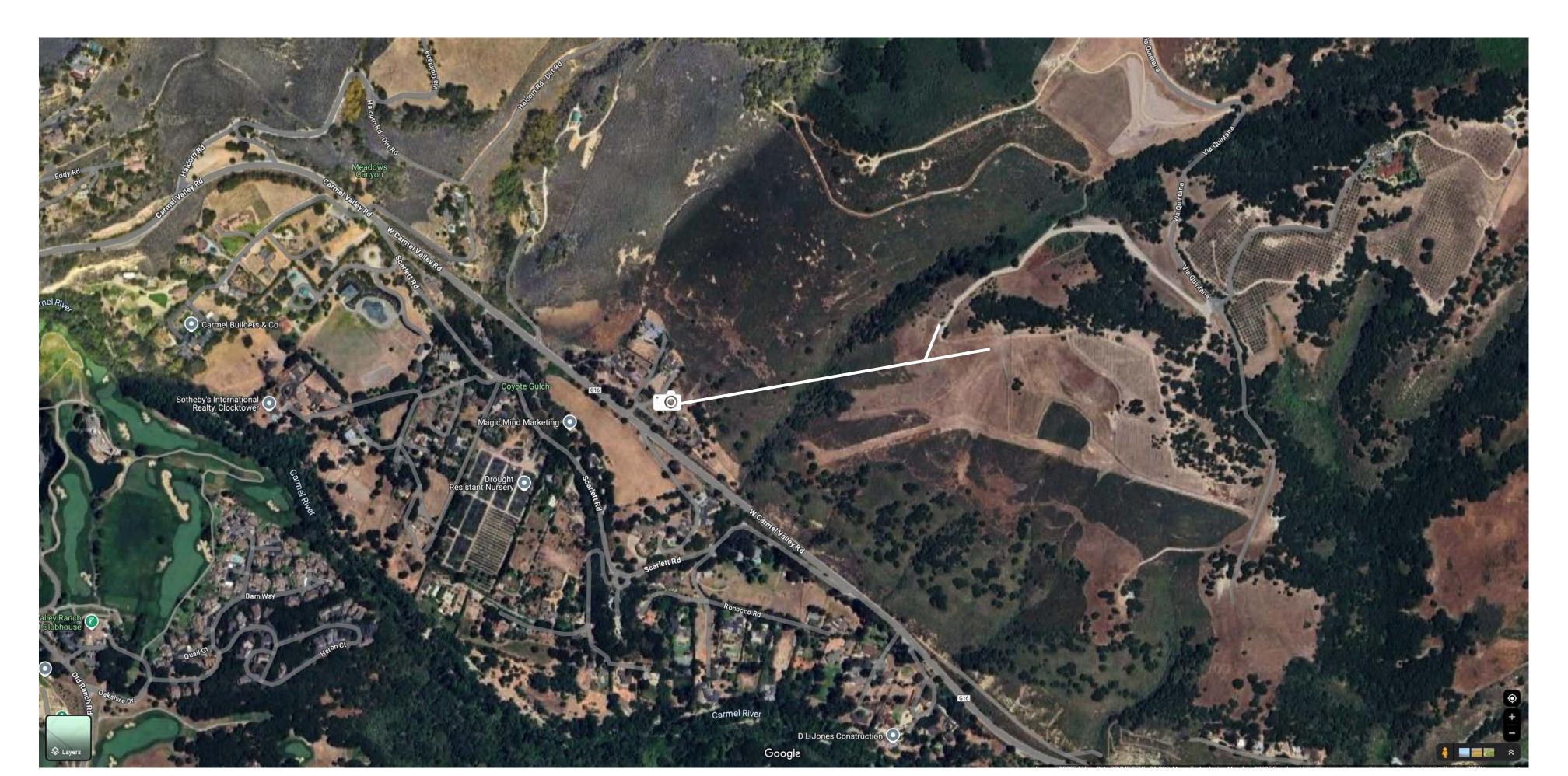




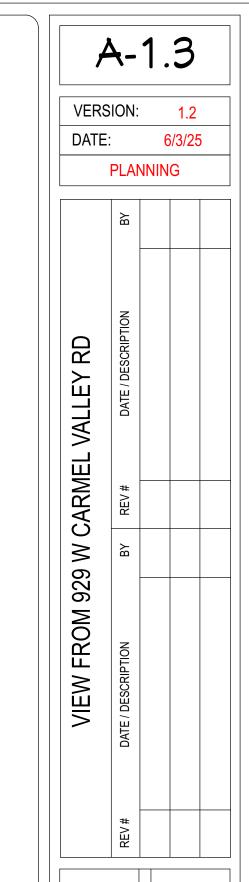




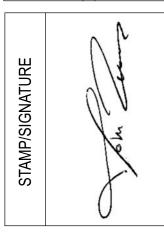
VIEW FROM 929 W CARMEL VALLEY RD (PROPOSED)





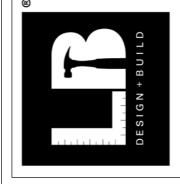












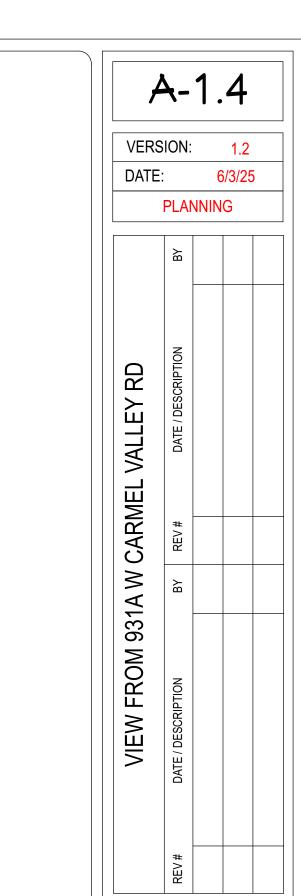


VIEW FROM 931A W CARMEL VALLEY RD (EXISTING)

VIEW FROM 931A W CARMEL VALLEY RD (PROPOSED)







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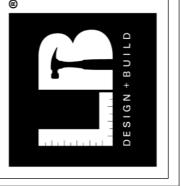
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VIEW FROM SAFEWAY PULLOUT, .97 MILE TO SUBJECT PROPERTY (PROPOSED)





