

Exhibit A

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**EXHIBIT A
DRAFT RESOLUTION**

**Before the Chief of Planning
in and for the County of Monterey, State of California**

In the matter of the application of:

FRETWELL TIMOTHY & PATRICIA (PLN250107)

RESOLUTION NO. 26-054

Resolution by the County of Monterey Chief of Planning:

- 1) Finding that the project qualifies for a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303; and
- 2) Approving an after-the-fact Coastal Administrative Permit and Design Approval to allow the construction of an approximately 974 square foot addition to an existing 2,247 square foot single-family dwelling with associated site improvements to clear Code Enforcement violation (24CE00547).

[PLN250107 FRETWELL TIMOTHY & PATRICIA, 4041 Costado Road, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-101-021-000)]

The FRETWELL TIMOTHY & PATRICIA application (PLN250107) came on for an administrative decision hearing before the County of Monterey Chief of Planning on June 17, 2026. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented the County of Monterey Chief of Planning finds and decides as follows:

FINDINGS

- 1. FINDING: CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- 1982 Monterey County General Plan (General Plan);
 - Del Monte Forest Land Use Plan (DMF LUP);
 - Del Monte Forest Coastal Implementation Plan (DMF CIP); and
 - Monterey County Zoning Ordinance (Title 20).
- No conflicts were found to exist. No communication was received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) Project Scope. The project is located at 4041 Costado Road, a private road, in Pebble Beach subject to the Del Monte Forest Land Use Plan. The parcel is already developed with a 2,247 square foot single-family dwelling. The applicant submitted an application seeking to clear an existing Code Enforcement violation (24CE00547) involving unpermitted additions to the existing 2,247 square foot single-family dwelling onsite and associated site improvements by applying for an after-the-fact Coastal Administrative Permit and Design Approval. The application includes an 894 square foot first story addition, an 80 square foot second story addition, a proposed wall in the existing 601 square foot garage, and 970 total square feet of proposed decks. The project will result in a 3,221 square-foot single-family dwelling with an attached 601 square foot garage.
- c) Allowed Use. The parcel is zoned Medium Density Residential, 4 units per acre with a Design Control Overlay in the Coastal Zone, or “MDR/4-D (CZ)”. Title 20 section 20.70.120.A.4 exempts maintenance, alternation, or additions to existing single-family dwellings, except if on properties located between the sea and the first public road paralleling the sea that would result in an increase of 10% or more of the internal floor area of an existing structure. The project results in a 974 square foot addition to an existing 2,247 square foot single-family dwelling, more than 10% of the existing internal floor area. Therefore, the proposed development is subject to the granting of a Coastal Administrative Permit in this case. The Design Control overlay requires the granting of a Design Approval for all structures as further discussed in evidence “e” below. The proposed project includes After-the-Fact construction of an approximately 974 square feet addition to an existing 2,247 square foot single-family dwelling with associated site improvements to clear Code Enforcement violation (24CE00547). Associated site improvements include 970 square feet of new decks, 80 and cubic yards of cut. Therefore, the project is an allowed land use for this site.
- d) Lot Legality. The subject property (18,801 square feet, or 0.432 acres) APN: 008-101-021-000, is identified and shown in its current configuration as Lot 14 in Block 201 on Volume 5 of the Cities and Towns map Page 21 entitled, “Tract No. 169, Del Monte Forest Subdivision No. 2”, recorded on August 3, 1948. Therefore, the county recognizes this lot as a legal lot of record.
- e) Design/Neighborhood and Community Character. The project site and surrounding area are designated as being within a Design Control District or “D” overlay subject to the regulations outlined in Title 20 Chapter 20.44, which is intended to regulate the location, size, configuration, materials, and color of structures to assure protection of the public viewshed and the neighborhood character. The addition is consistent with the existing single-family dwelling with midnight blue satin exterior with white satin fascia and trim, as well as a exposed timber finish, and rambla porcelain stone. The proposed colors and materials for the proposed addition on the existing single-family dwelling are consistent with the surrounding neighborhood character

and will not detract from the immediate surrounding neighborhood character. The surrounding neighborhood ranges from contemporary modern homes, mid-century rural, and craftsman homes. Surrounding the property are large Monterey pines and other residences in the same subdivision, which help conceal the residence and proposed addition from neighboring residences and nearby public roads. The proposed development is not visible from Highway 68 or any other nearby scenic corridor, vista point, or public access area. Consistent with the DMF LUP Policy 53 and DMF CIP section 20.147.070.B.3, the project has been designed, sited and conditioned in a manner to ensure minimal visibility from any scenic area. Therefore, as designed, sited, and conditioned, the project assures protection of the public viewshed, is consistent with neighborhood character, and assures visual integrity as outlined in the DMF LUP, DMF CIP and Title 20.

- f) Development Standards. The project meets all required development standards for Medium Density Residential zoning district, which are identified in Title 20 section 20.12.060. Pursuant to this section, main structures in Del Monte Forest shall be subject to a front setback of 20 feet, side setbacks of 10 feet, as well as 10 feet for the rear setback. The single-family dwelling has setbacks of 76 feet 9 inches (front), 21 and 23 feet (side), 5 feet 9 inches (side), and 56 feet 5 inches (rear). Within the Del Monte Forest area, the MDR zoning district allows a maximum height of 27 feet for main structures, and the height of the single-family dwelling will continue to be 21 feet 10 inches. For lots with a density of more than 4 units per acre, such as this property, the MDR zoning district allows a maximum building site coverage and floor area ratio of 35%. The proposed project will have a building site coverage of 2,518 square feet or 8%, and a floor area ratio of 17%. Therefore, the project meets all required development standards.
- g) Cultural Resources. The Monterey County Geographic Informational System (GIS) identified the subject property to have a moderate archaeological sensitivity, and the proposed development is not within 750 feet of a known archaeological resource. No archaeological assessment was prepared for the project pursuant to the DMF CIP Part 5 20.147.080.B.5. The subject property is not within the 750 feet buffer of known archaeological resources and an initial report was prepared upon the creation of the property. The proposed addition on the first floor will be on top of an existing deck. The proposed addition on the lower level will be directly underneath the first floor and existing deck areas. The potential for inadvertent impacts to cultural resources is limited and will be controlled by use of the County's standard condition (Condition No. 3), which requires the contractor to stop work if previously unidentified resources are discovered during construction.
- h) Geotechnical/Geologic Hazards. The project site is in an area of known geological hazard. According to the prepared Geotechnical Report which includes an Geologic Hazards Assessment (County of Monterey Library No. LIB260074), this site is suitable for the residential use this project proposes, there are no geological or seismic hazards that would preclude this property from being developed, and the proposed

development is adequately setback from the known fault. See Finding 2, evidence “c”.

- i) Land Use Advisory Committee (LUAC) Review. Based on the Board of Supervisors Guidelines, the project was not referred to the Del Monte Forest LUAC for review because the project does not involve the granting of a Design Approval at a public hearing, the preparation of an Initial Study or Environmental Impact Report, or a lot line adjustment.
- j) The project planner conducted a site inspection on May 27th, 2026, to verify that the project on the subject parcel conforms to the plans listed above.
- k) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the proposed development and/or use.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: HCD-Planning, HCD-Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District. County staff reviewed the application materials and plans to verify that the project on the subject site conforms to the applicable plans and regulations, and there has been no indication from these departments/agencies that the site is not suitable for the development. Conditions recommended have been incorporated.
 - b) The following report has been prepared:
 - “Geotechnical and Geological Hazards Report” (LIB260074) prepared by Lawrence E. Grice, Salinas, CA, January 12, 2026. County staff independently reviewed this report and concurs with their conclusions. There are no physical or environmental constraints that would indicate that the site is not suitable for the use. All developments shall be in accordance with these reports.
 - c) According to Monterey County GIS, the subject property is located within 660 feet of active or potentially active faults. Pursuant to Del Monte Forest CIP section 20.147.060.B.5, both a Geological Hazards Assessment and a Geotechnical Report (County of Monterey Library Nos LIB260074) were prepared to evaluate the geotechnical suitability of the site for the proposed development. Per the geologist’s research, site reconnaissance, review of previous subsurface data, and review of stereo aerial photography and LiDAR imagery, there was no evidence indicative of active faults at or immediately adjacent to the building footprint areas. The report states the nearest fault line is the Hatton Fault, approximately 0.37 miles northeast of the project site. Additionally, the project site did not reveal any surface features, including no onsite fault ruptures that have occurred. The existing structures, driveways, and roads do not reveal any strain, which would be attributable to subsurface, lateral, or vertical displacement, resulting from a fault slip. Therefore, surface rupture from fault activity across the site is considered improbable. Further, the project site is underlain

by relatively strong soils and bedrock at a shallow depth. These materials are considered resistant to collateral spreading and as such, surface rupture from lateral spreading is considered improbable. The report concluded that the site was suitable for the development, provided all recommendations of the Geological Hazards Assessment and Geotechnical Report shall be incorporated into final construction plans pursuant to Title 16, section 16.08.110.D.

- d) Staff conducted a site inspection on May 27th, 2026, to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

3. FINDING: HEALTH AND SAFETY – The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by HCD-Planning, HCD- Engineering Services, HCD-Environmental Services, Environmental Health Bureau, and the Pebble Beach Community Services District. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) All necessary public facilities are available to the subject property. Domestic water and sewage services are currently, and will continue to be, provided by California American Water Company (Cal Am) and the Pebble Beach Community Services District. Sewer service will be provided by the Pebble Beach Community Services District (PBCSD). The PBCSD wastewater collection and treatment system has adequate remaining capacity for sewage disposal, which then transfers wastewater to the Carmel Area Wastewater District treatment facility.
 - c) Staff conducted a site inspection on May 27th, 2026, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

4. FINDING: VIOLATIONS – The subject property is not in compliance with all rules and regulations pertaining to zoning uses, and applicable provisions of the County’s zoning ordinance. Violations exist on the property. The approval of this permit will correct the violations and bring the property into compliance.

- EVIDENCE:**
- a) Staff reviewed County of Monterey HCD-Planning and HCD-Building Services records and aware of violations existing on subject property (24CE00547).
 - b) On October 14, 2024, the subject properties had an inquiry opened due to grading and tree removal. After a site visit from Code Enforcement, a

case (24CE00547) was opened. An Administrative Citation was sent to the property owner on October 23, 2024, and cited the property owner for unpermitted additions to an existing residence including existing windows and light fixtures. As part of the submittal to partially abate the violations, an after-the-fact Coastal Administrative Permit and Design Approval has been reviewed. Therefore, the property owner has applied for the appropriate permits to partially abate the violations by restoring the disturbed areas on Parcel B to original conditions, and after-the-fact construction of a 320 square foot detached garden shed. Upon issuance of an after-the-fact construction permit, the violation will be fully abated.

- c) The violation (Code Enforcement No. 24CE00547) will be abated upon completion of the restoration work, after the fact approval and final inspection of the garden shed. Ministerial permits are required.
- d) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

- 5. FINDING:** **CEQA (Exempt)** – The project is categorically exempt from environmental review, and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301, categorically exempts minor alterations of existing public or private structures that will not result in an increase of more than 2,500 square feet.
 - b) The project proposes the After-the-Fact construction of an approximately 974 square foot addition to an existing 2,247 square foot single-family dwelling with associated site improvements to clear Code Enforcement violation (24CE00547). Therefore, the proposed development qualifies as a Class 1 Categorical Exemption pursuant to section 15301 of the CEQA Guidelines.
 - c) None of the exceptions under CEQA Guidelines Section 15300.2 apply to this project. There is no substantial evidence of an unusual circumstance because no feature or condition of the project distinguishes it from the exempt class. There is no significant effect on the environment due to unusual circumstances. No trees are proposed for removal, and the proposed development is not visible from any scenic corridor or scenic highway. There is no cumulative impact without any prior successive projects of the same type in the same place, over time, and no new land use is proposed. The site is not included on any list compiled pursuant to Section 65962.5 of the Government Code to be considered a hazardous waste site. The existing main residence has no historical significance, and there will be no impact on archaeological resources with the implementation of the project. Construction of the proposed residential development will neither create nor significantly contribute to geological instability or geologic hazards, and the project will not lead to an unacceptable level of risk to life and property. See Finding Nos. 2 and 3 and supporting evidence. There is no substantial evidence to support a fair argument that the project has a reasonable

possibility of having a significant effect on the environment or that it would result in a significant cumulative impact.

- d) No adverse environmental effects were identified during staff review of the development application during a site visit on May 27th, 2026.
- e) See supporting Finding Nos. 1 and 2. The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

6. FINDING: PUBLIC ACCESS – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and applicable Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in DMF CIP Section 20.147.130, can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires physical public access (Figure 8, Major Public Access and Recreational Facilities, in the DMF LUP).
 - c) The subject project site is not identified as an area where the Local Coastal Program requires visual public access but is identified to be within the Point Lobos Viewshed (Figure 3, Visual Resources, in the DMF LUP).
 - d) The staff completed a site inspection on May 27th, 2026, to verify that the proposed project would not impact public access. See also Finding No. 1 and supporting evidence.
 - f) The application, project plans, and related support materials submitted by the project applicant to County of Monterey HCD-Planning found in Project File PLN250107.

7. FINDING: APPEALABILITY – The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Board of Supervisors. In accordance with Title 20 Section 20.86.030, an appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.
 - b) California Coastal Commission. In accordance with Title 20 Section 20.86.080.A, this project is appealable to the California Coastal Commission as it is between the sea and the first through public road paralleling the sea. For the Del Monte Forest, this would be Highway 68.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Chief of Planning does hereby:

1. Find the project qualifies for a Class 1 Categorical Exemption pursuant to CEQA Guidelines Section 15301;
2. Approve the Coastal Administrative Permit and Design Approval to allow the After-the-Fact construction of an approximately 974 square foot addition to an existing 2,247 square foot single-family dwelling with associated site improvements to clear Code Enforcement violation (24CE00547).

All of which are in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 17th day of June 2026.

Melanie Beretti, AICP
Chief of Planning

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

_____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION-MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the deckth day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from Monterey County HCD-Planning and HCD-Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

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County of Monterey HCD Planning

DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN250107

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: This After-the-Fact Coastal Administrative Permit & Design Approval (PLN250107) allows the After-the-Fact construction of approximately 974 square foot addition to an existing 2,247 square foot single-family dwelling to partially clear Code Enforcement violation (24CE00547). The property is located at 4041 Costado Road, Pebble Beach (Assessor's Parcel Number 008-101-021-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of HCD - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an on-going basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An After-the-Fact Coastal Administrative Permit & Design Approval (Resolution Number _____) was approved by the Chief of Planning for Assessor's Parcel Number 008-101-021-000 on June 17th, 2026. The permit was granted subject to 3 conditions of approval which run with the land. A copy of the permit is on file with Monterey County HCD - Planning."

Proof of recordation of this notice shall be furnished to the Director of HCD - Planning prior to issuance of grading and building permits, Certificates of Compliance, or commencement of use, whichever occurs first and as applicable. (HCD - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, certificates of compliance, or commencement of use, whichever occurs first and as applicable, the Owner/Applicant shall provide proof of recordation of this notice to the HCD - Planning.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County HCD - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(HCD - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County HCD - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered."

When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

SITE DETAILS

ADDRESS
4041 COSTADO RD
PEBBLE BEACH CA 93953
APN 008-101-021-000

JURISDICTION COUNTY OF MONTEREY
LAND USE RESIDENTIAL
LEGAL DESCRIPTION
DEL MONTE FOREST SUB 2 POR OF LOT 14
BLK 201 AS DESC IN R1010 PG 430
ZONING MDR/4-D(CZ)
COASTAL ZONE YES
DENSITY 4U/A
SITE AREA 18,801 SQ. FT.
SITE ACRES 0.432
EXISTING TOTAL FLOOR AREA 2,247 SQ. FT.
EXISTING GARAGE 601 SQ. FT.
PROPOSED 1ST STORY ADDITION 894 SQ FT
PROPOSED 2ND STORY ADDITION 80 SQ FT
PROPOSED TOTAL FLOOR AREA 3,221 SQ FT
PROPOSED ATTACHED GARAGE 601 SQ. FT.
PROPOSED NEW DECKS 970 SQ. FT.

WATER CAL AM
SEWER MONTEREY ONE
ELECTRICITY/GAS PG&E
OCCUPANCY R3/U
CONSTRUCTION TYPE V-B
SPRINKLERS NO

FLOOR AREA RATIO (FAR) MAX 35%
FAR ACTUAL 17%
SITE COVERAGE MAX 35%
MAXIMUM HEIGHT 27'
TOTAL EXISTING BUILDING COVERAGE 1,468
SQ FT 8%
TOTAL PROPOSED BUILDING COVERAGE 2,518
SQ FT 13% (INCLUDES NEW DECKS)
FAR MAX 6,580 SQ FT

CONTACT INFO

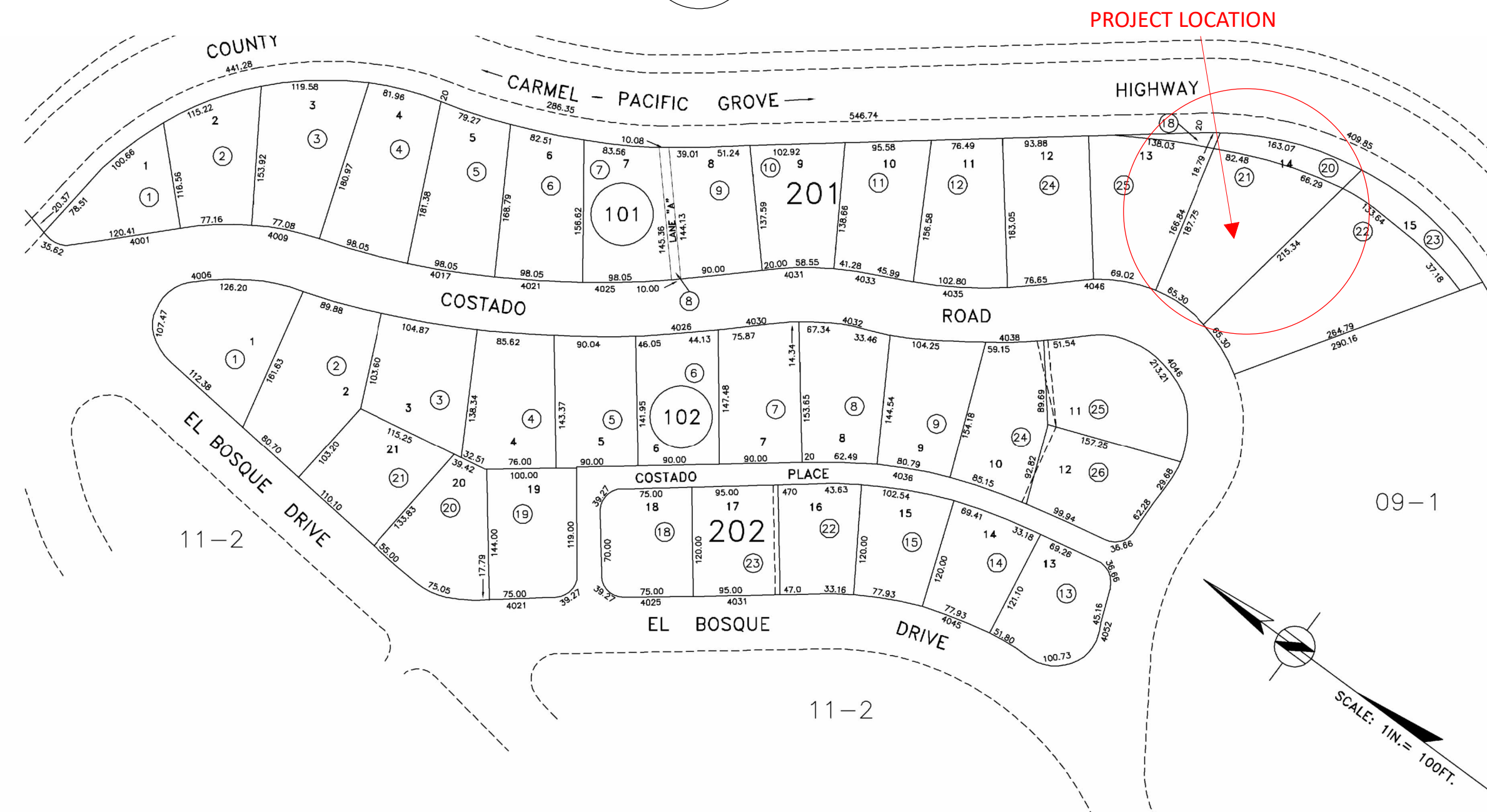
OWNER
TIMOTHY & PATRICIA FRETWELL
4041 COSTADO RD
PEBBLE BEACH CA 93953

APPLICANT
RENOVATION DRAFTING & DESIGN/LANCE HOLT
PO BOX 22962
CARMEL, CA 93922
(831)-236-0674

PROJECT DESCRIPTION

1. RESOLVE VIOLATION FOR UNPERMITTED IMPROVEMENTS.
2. ADDITIONS FOR 767 SQ. FT. OF NEW LIVING SPACE.
3. NEW DECKS 970 SQ. FT. TO AN EXISTING 1,468 SQ. FT. SINGLE FAMILY RESIDENCE.

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1. OFFSITE IMPROVEMENTS – ANY CONSTRUCTION, RECONSTRUCTION, OR CLOSURE OF THE RIGHT OF WAY SHALL REQUIRE AN ENCROACHMENT PERMIT.
2. OFFSITE IMPROVEMENTS – APPLICANT SHALL RECONSTRUCT ANY DAMAGED OR NON-ADA COMPLIANT SIDEWALK. SIDEWALK SHALL BE REPLACED TO THE CLOSEST JOINT.
3. NPDES COMPLIANCE – CONTRACTOR SHALL PROVIDE CONSTRUCTION BMPs FOR SITE IMPROVEMENTS.
4. DEVELOPMENT IMPACT FEES – PURSUANT TO SECTION 9-44.A, NO DEVELOPMENT IMPACT FEES SHALL BE ASSESSED FOR THE PROPOSED ADDITIONS.

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING, CALIFORNIA RESIDENTIAL CODE 2022, CALIFORNIA BUILDING CODE 2022, CALIFORNIA MECHANICAL CODE 2019, CALIFORNIA PLUMBING CODE 2019, CALIFORNIA ELECTRICAL CODE 2019, CALIFORNIA FIRE CODE 2019, CALIFORNIA ENERGY CODE 2022 AND CALIFORNIA GREEN BUILDING STANDARDS CODE 2022. AS WELL AS ALL OTHER APPLICABLE CODES.

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

CALIFORNIA GREEN BUILDING NOTES:
SEPARATE AND RECYCLE AT LEAST 65% OF ALL CONSTRUCTION WASTE.
ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3.
CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

SITE CONTROL DURING CONSTRUCTION:
THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES: 1. WATER ALL ACTIVE CONSTRUCTION AREAS TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL. 3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS. 4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY. 5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

HOURS OF CONSTRUCTION :
THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITY IS ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION.
DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES : SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES EXCAVATION IS HALTED IN THE IMMEDIATE AREA AND THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ADDRESS IDENTIFICATION:
PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

REVISION TABLE	DESCRIPTION	REVIEW	COMMENTS
NUMBER	DATE	BY	
1	6/5/2026	RJM	

DRAWINGS PROVIDED BY:
Renovation Drafting & Design
Lance Holt
PO Box 22962, Carmel CA, 93922
Lance@lhothinc.com 831-583-8200

SCALE:

DATE:

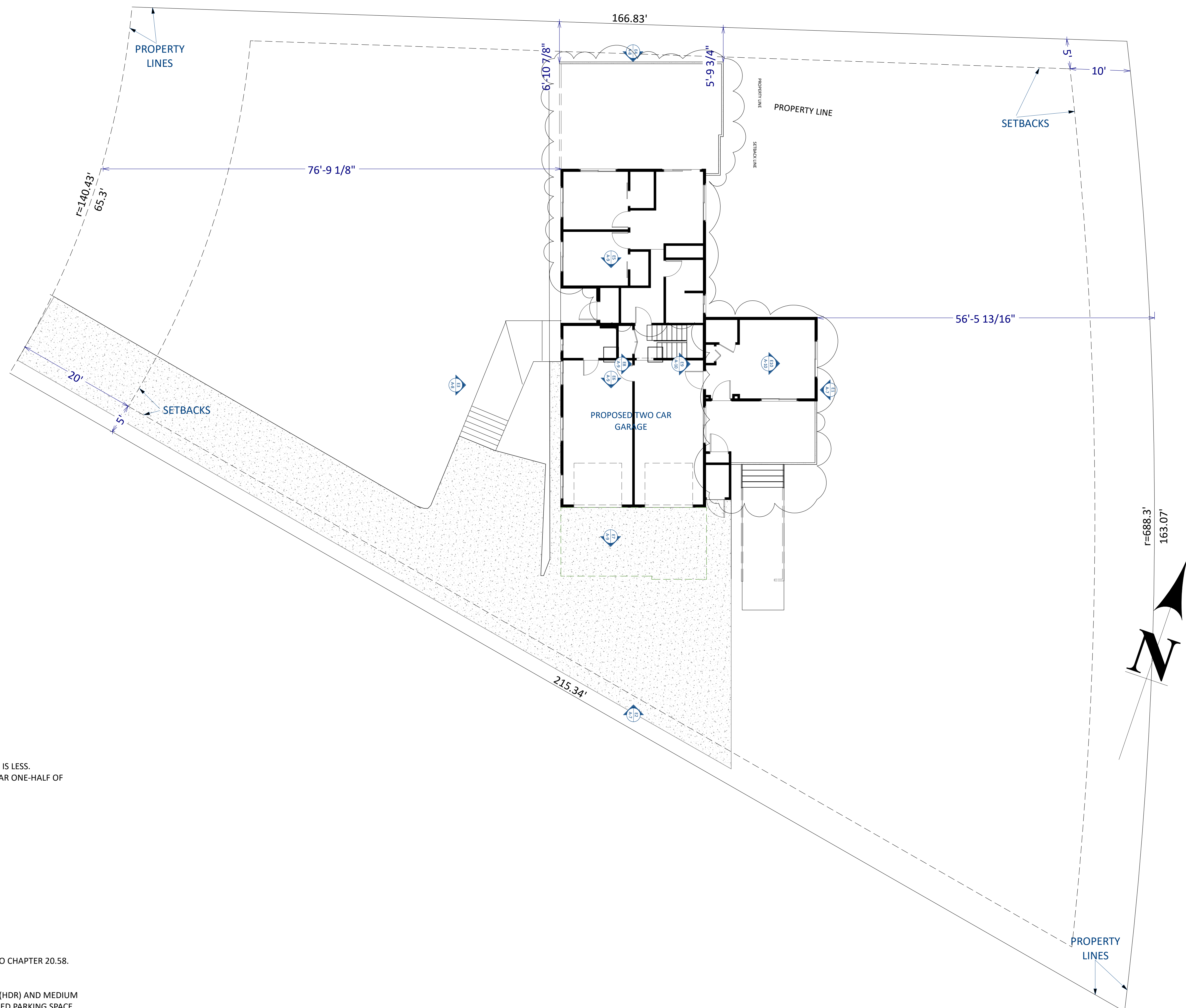
1/27/2026

VERSION:

1.2

SHEET:

A-1



20.12.060 SITE DEVELOPMENT STANDARDS.

1. MAIN STRUCTURES
 - A. MINIMUM SETBACKS
 - FRONT: 20 FEET
 - SIDE: 5 FEET
 - DEL MONTE FOREST:
 - FIRST FLOOR: 10 FEET
 - SECOND FLOOR: 20 FEET
 - REAR: 10 FEET
 - B. HEIGHT
 - MAXIMUM HEIGHT: 30 FEET
 - DEL MONTE FOREST: 27 FEET
2. ACCESSORY STRUCTURES (HABITABLE)
 - A. MINIMUM SETBACKS
 - FRONT: 50 FEET
 - SIDE: 6 FEET
 - REAR: 6 FEET
 - B. HEIGHT
 - MAXIMUM HEIGHT: 15 FEET
3. ACCESSORY STRUCTURES (NON-HABITABLE)
 - A. MINIMUM SETBACKS
 - FRONT: 50 FEET OR BEHIND THE MAIN STRUCTURE, WHICHEVER IS LESS.
 - SIDE: 6 FEET ON FRONT ONE-HALF OF PROPERTY; 1 FOOT ON REAR ONE-HALF OF PROPERTY.
 - REAR: 1 FOOT
 - B. HEIGHT
 - MAXIMUM HEIGHT: 15 FEET
 - D. MINIMUM DISTANCE BETWEEN STRUCTURES
 - MAIN STRUCTURES: 10 FEET
 - ACCESSORY/MAIN STRUCTURE: 6 FEET
 - ACCESSORY/ACCESSORY: 6 FEET
 - E. BUILDING SITE COVERAGE, MAXIMUM: 35%.
 - DEL MONTE FOREST:
 - MDR/4 ZONING DISTRICTS: 35%
 - F. FLOOR AREA RATIO
 - DEL MONTE FOREST
 - MDR/4 ZONING DISTRICT: 35%
 - G. PARKING REGULATIONS
 - PARKING FOR ALL DEVELOPMENT SHALL BE ESTABLISHED PURSUANT TO CHAPTER 20.58.

20.58.050 - GENERAL PROVISIONS.

F. IN ALL RESIDENTIAL DEVELOPMENTS IN HIGH DENSITY RESIDENTIAL (HDR) AND MEDIUM DENSITY RESIDENTIAL (MDR) ZONING DISTRICTS, AT LEAST ONE COVERED PARKING SPACE FOR EACH DWELLING UNIT SHALL BE PROVIDED.

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

PLOT PLANS

FRETWELL ADDITIONS
 4041 COSTADO RD
 PEBBLE BEACH, CA 93953
 APN 008-101-021-000

Lance Holt

DRAWINGS PROVIDED BY:
 Renovation Drafting & Design
 Lance Holt
 PO Box 22962, Carmel CA, 93922
 Lance@LhoInc.com 831-583-8200

SCALE:

1/8" = 1'

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1/27/2026

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

EROSION CONTROL & DRAINAGE PLAN

FRETWELL ADDITIONS
 4041 COSTADO RD
 PEBBLE BEACH, CA 93953
 APN 008-101-021-000

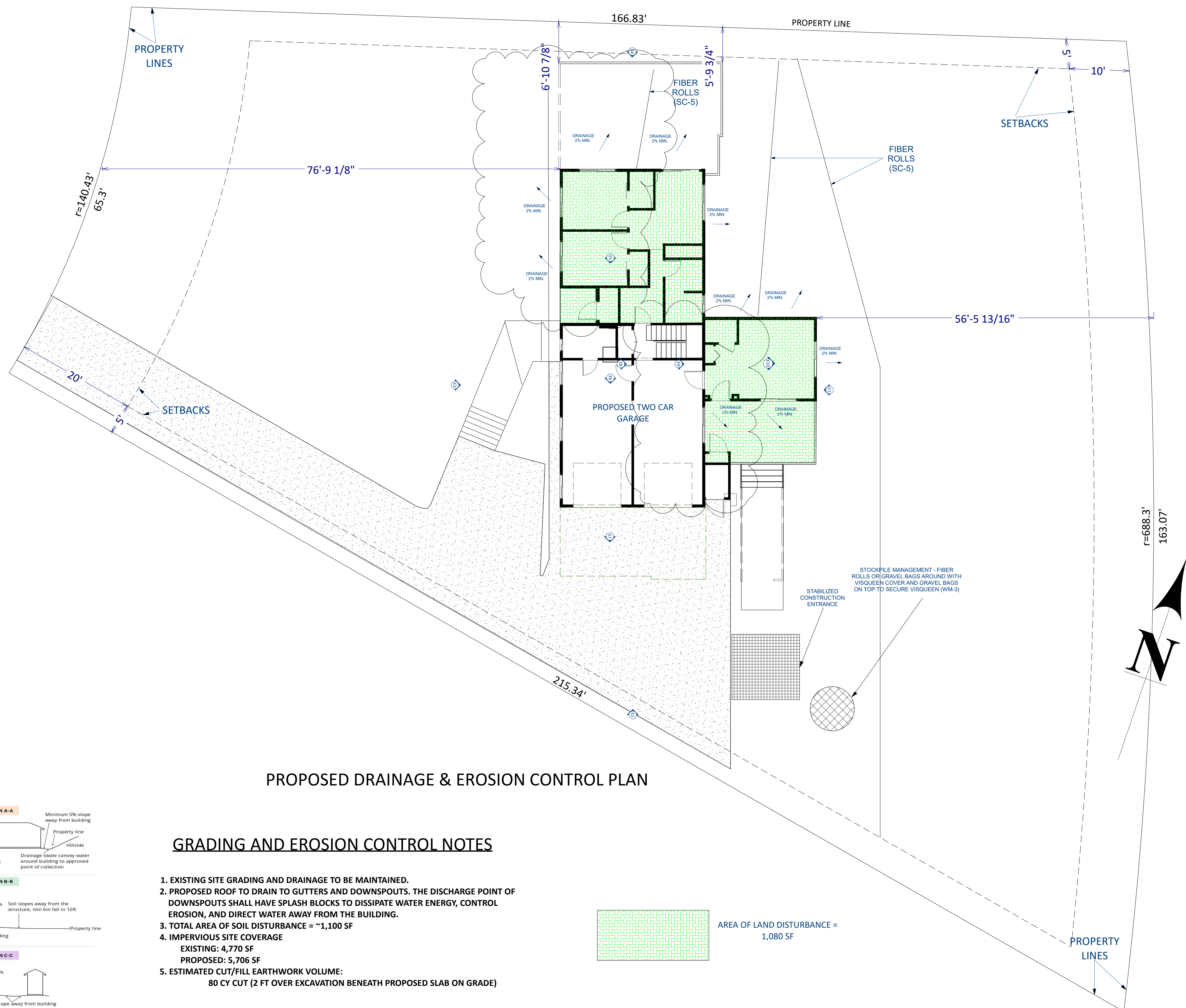
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 Lance Holt
 PO Box 22962, Carmel CA, 93922
 Lance@lhohtinc.com 831-583-8200

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DATE:
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VERSION:
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SHEET:
 A-2.1



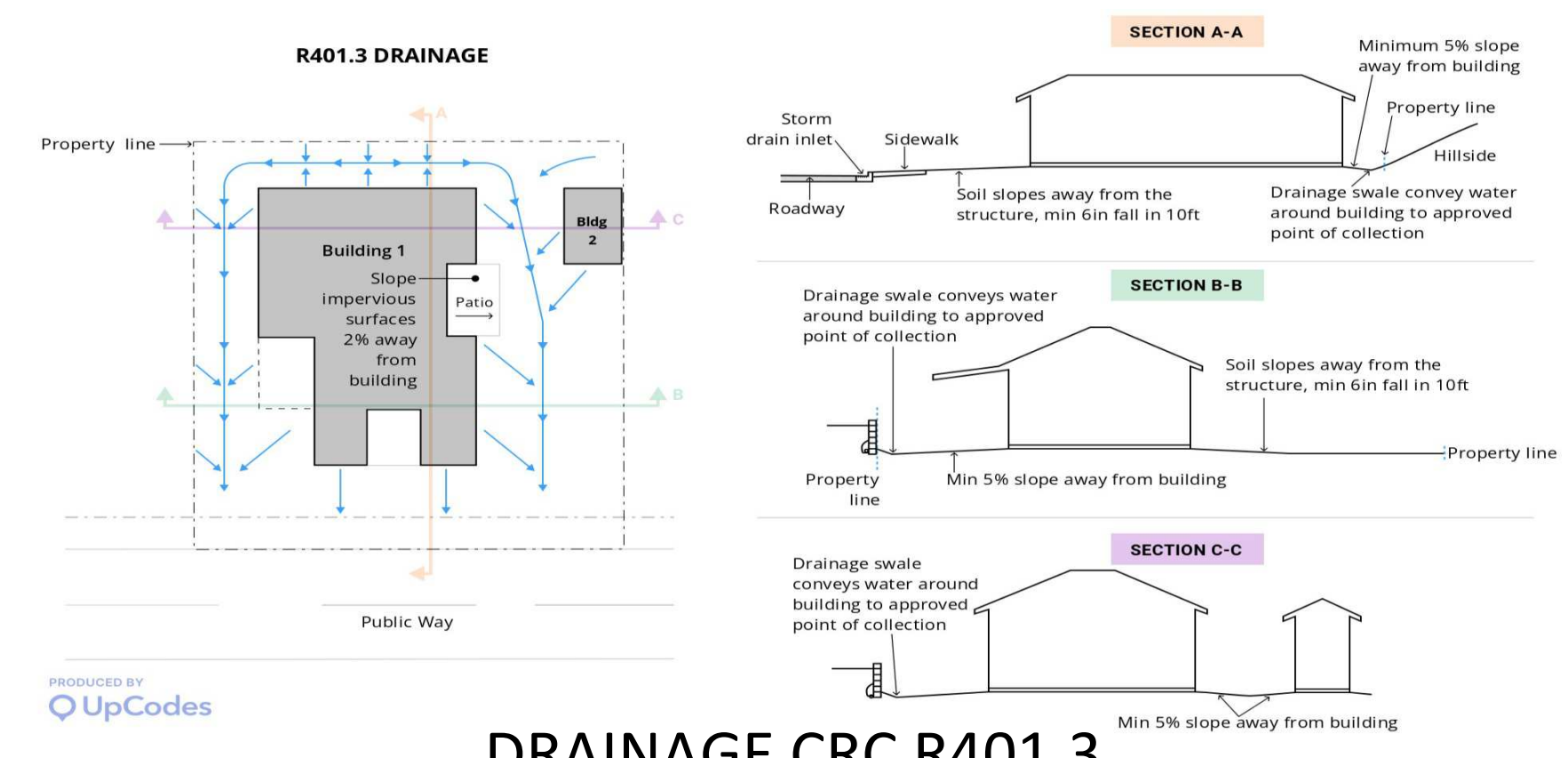
PROPOSED DRAINAGE & EROSION CONTROL PLAN

GRADING AND EROSION CONTROL NOTES

- EXISTING SITE GRADING AND DRAINAGE TO BE MAINTAINED.
- PROPOSED ROOF TO DRAIN TO GUTTERS AND DOWNSPOUTS. THE DISCHARGE POINT OF DOWNSPOUTS SHALL HAVE SPLASH BLOCKS TO DISSIPATE WATER ENERGY, CONTROL EROSION, AND DIRECT WATER AWAY FROM THE BUILDING.
- TOTAL AREA OF SOIL DISTURBANCE = ~1,100 SF
- IMPERVIOUS SITE COVERAGE
 EXISTING: 4,770 SF
 PROPOSED: 5,706 SF
- ESTIMATED CUT/FILL EARTHWORK VOLUME:
 80 CY CUT (2 FT OVER EXCAVATION BENEATH PROPOSED SLAB ON GRADE)

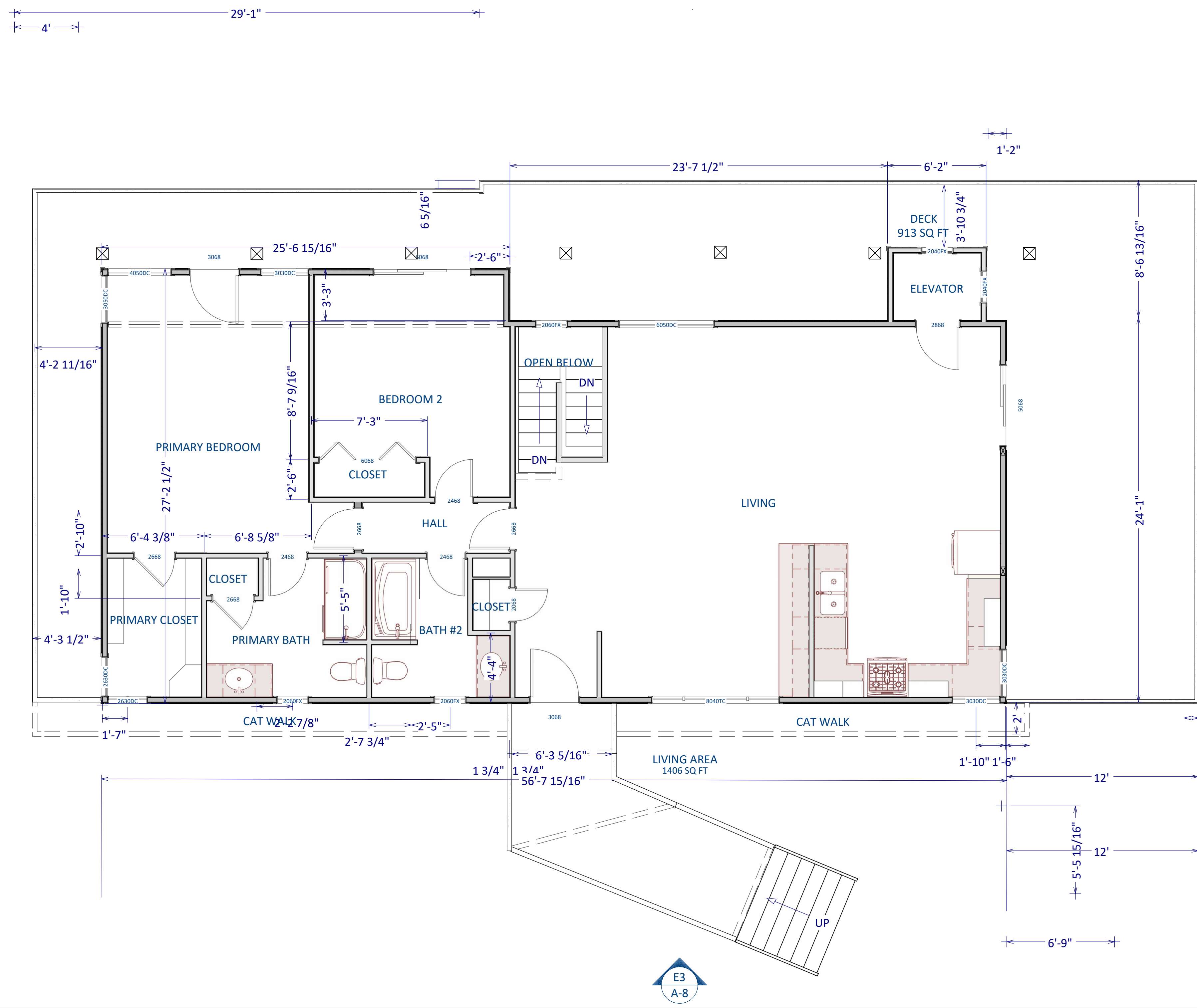
AREA OF LAND DISTURBANCE = 1,080 SF

R401.3 DRAINAGE
 SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
 EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.



DRAINAGE CRC R401.3

PRODUCED BY
 UpCodes



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

EXISTING MAIN FLOOR PLAN

FRETWELL ADDITIONS
 4041 COSTADO RD
 PEBBLE BEACH, CA 93953
 APN 008-101-021-000

Lance Holt

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 Lance Holt
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SCALE:

1/4" = 1'

DATE:

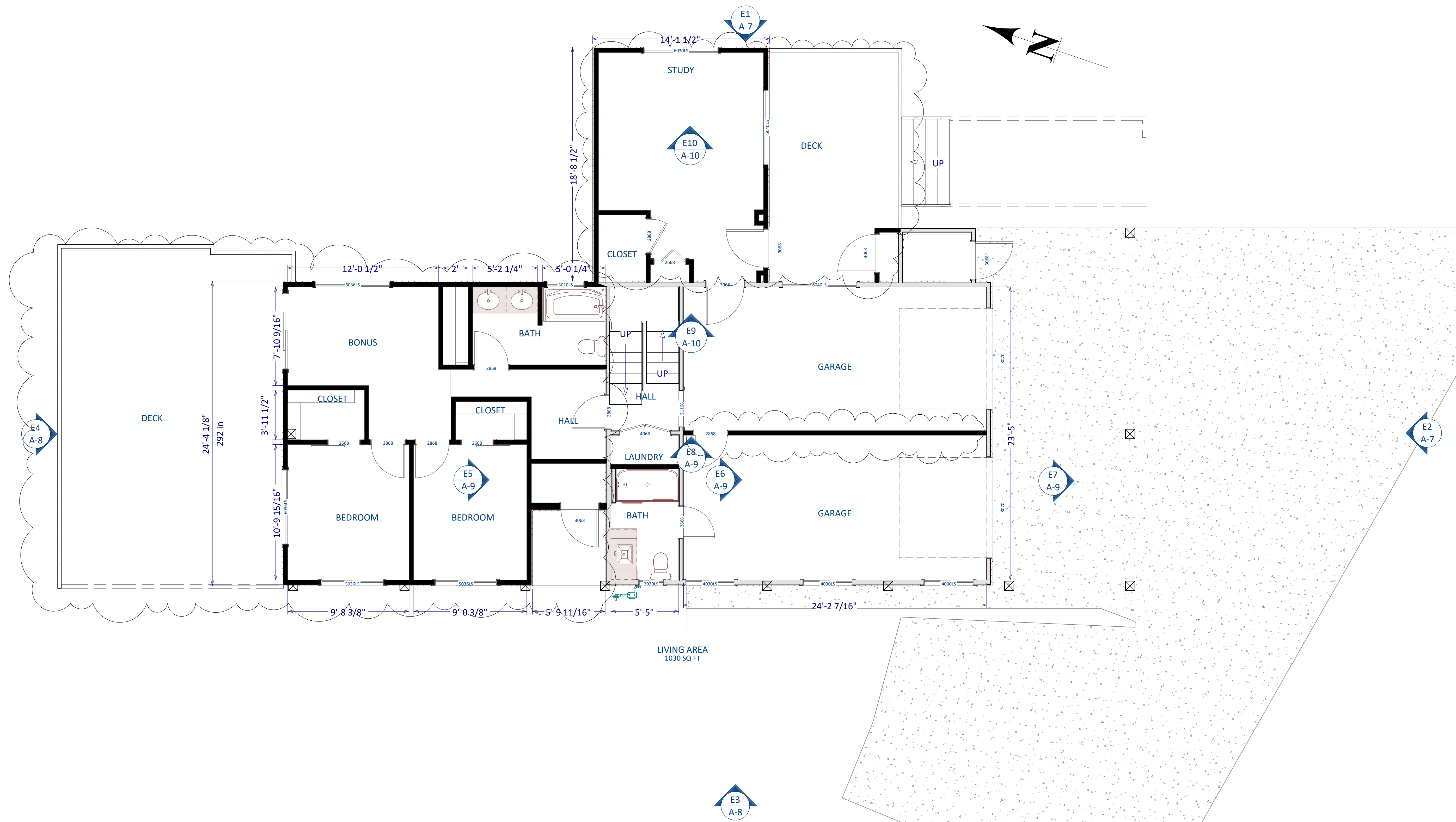
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SHEET:

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REVISION TABLE	
NUMBER	DATE

**PROPOSED
LOWER FLOOR
PLAN**

FRETWELL ADDITIONS
4041 COSTADO RD
PEBBLE BEACH, CA 93953
APN 008-101-021-000

Lance Holt
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SCALE:
1/4" = 1'

DATE:
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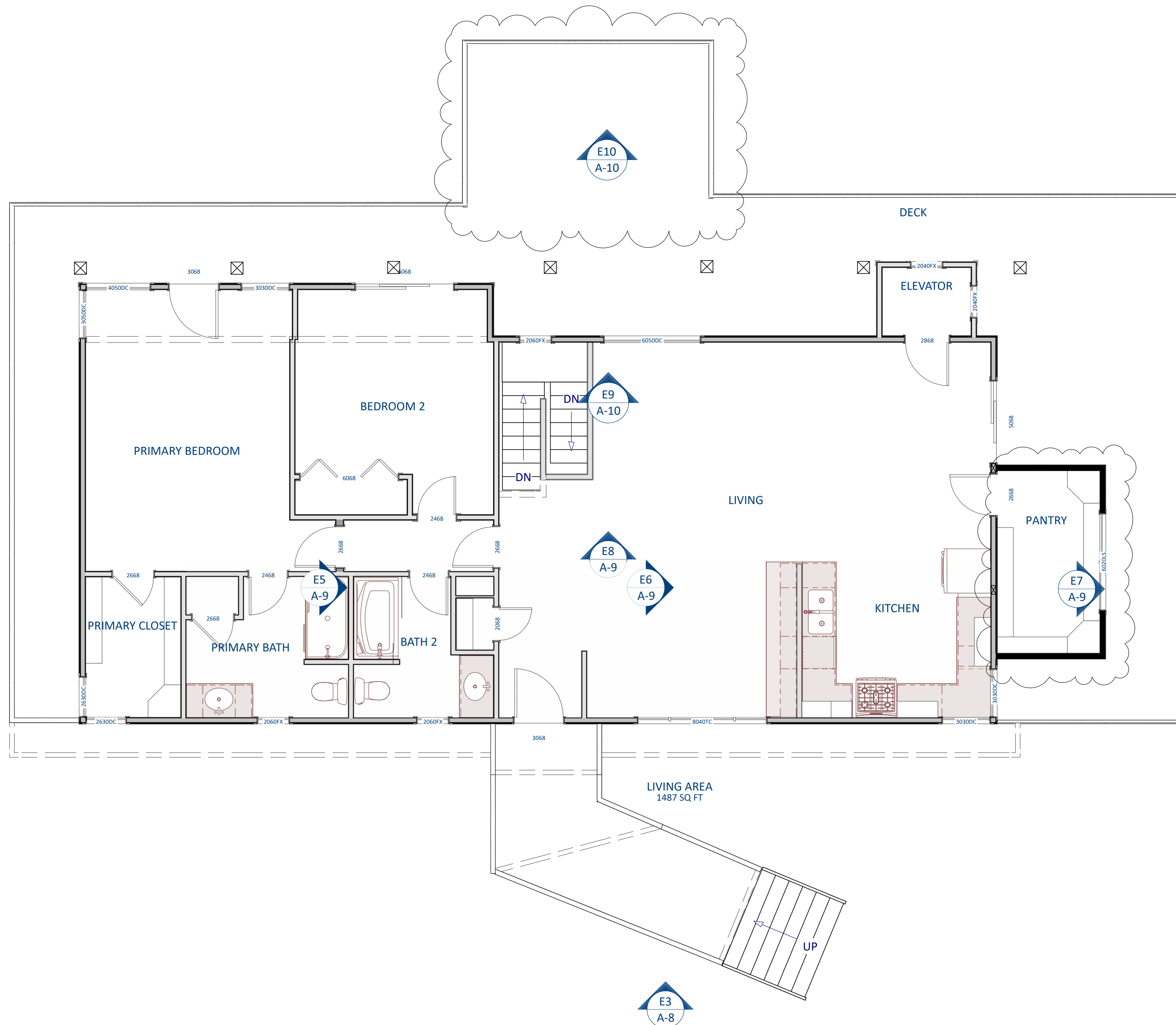
VERSION:
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ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUCCO OR MASONRY
 ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL
 ALL NEW WORK TO COMPLY WITH 2022 CRC, CBC, CEC, CPC, CMC AND TITLE 24.

- NEW WALL FRAMING NOTES
1. ALL NEW FRAMING SHALL COMPLY WITH CRC 2022.
 2. ALL NEW WALLS TO MATCH EXISTING SHALL BE 2X DF NO 2 OR BETTER. ANY NEW WET WALLS SHALL BE 2X6 FRAMING.
 3. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AS SHOWN.

DOOR NOTES
 ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE
 INTERIOR DOORS SHALL BE PAINTED.
 EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

PROPOSED MAIN FLOOR PLAN

FRETWELL ADDITIONS
 4041 COSTADO RD
 PEBBLE BEACH, CA 93953
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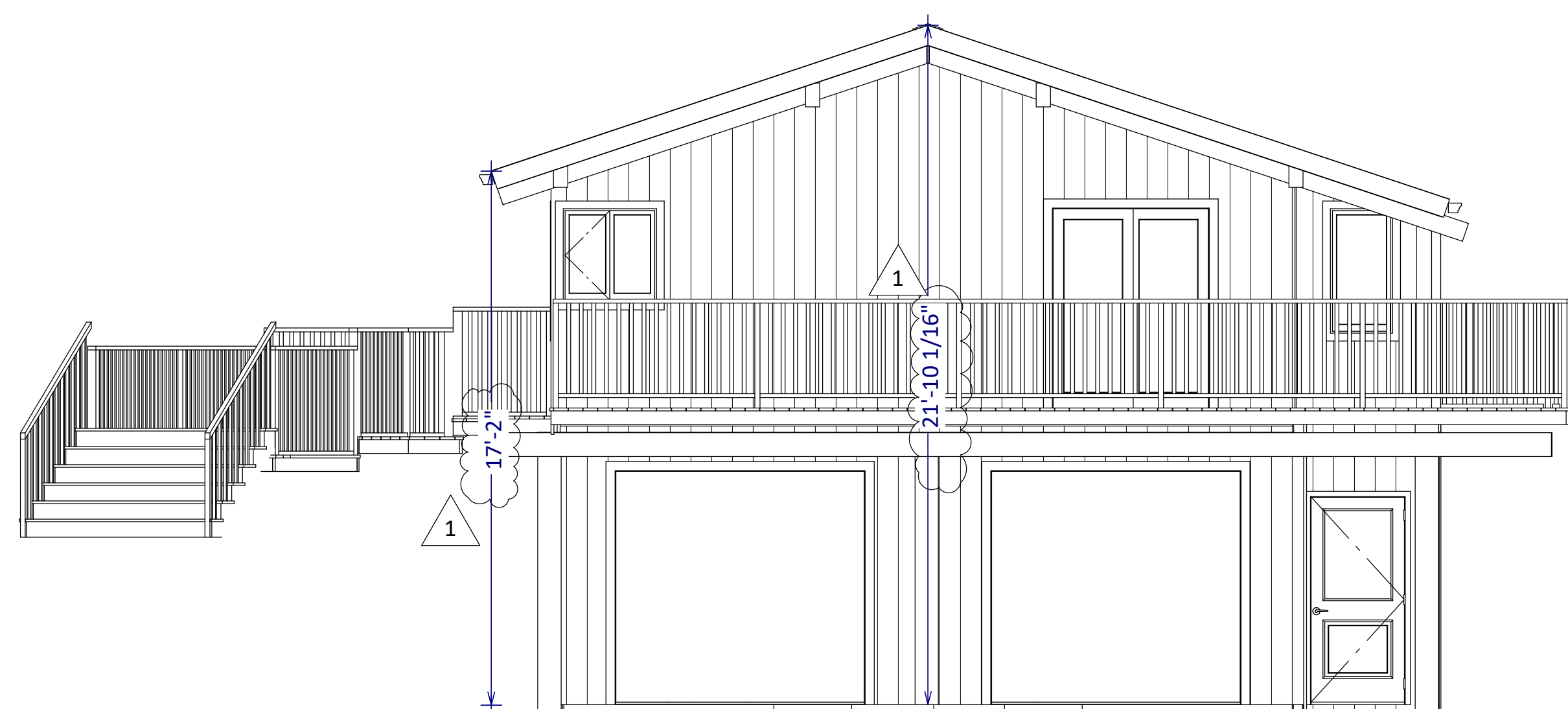
A-6



Existing East Elevation 1



Proposed East Elevation 1



Existing South Elevation 2



Proposed Elevation 2

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION
	1	6/5/2026	RJM	REVIEW COMMENTS

**EXTERIOR
ELEVATIONS**

FRETWELL ADDITIONS
4041 COSTADO RD
PEBBLE BEACH, CA 93953
APN 008-101-021-000

Lance Holt

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VERSION:

1.2

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A-7



Existing West Elevation 3

NEW EXTERIOR LIGHTING SPECIFICATIONS

DEWENWILS FARMHOUSE LIGHT



NEW WINDOW & PATIO DOOR SPECIFICATIONS

PLY GEM CLASSIC SERIES WHITE VINYL



PAINT / STAIN COLORS

WALL BODY PAINT COLOR	FASCIA & TRIM PAINT COLOR	EXPOSED TIMBER FINISH
BEHR MARQUE MIDNIGHT BLUE SATIN.	BEHR PURE WHITE SATIN.	BEHR PREMIUM TRANSPARENT WATERPROOFING WOOD FINISH

STONE SPECIFICATION RAMBLA PORCELAIN STONE LOOK WALL & FLOOR TILE



Proposed West Elevation 3



Existing North Elevation 4



Proposed North Elevation 4

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

EXTERIOR ELEVATIONS

FRETWELL ADDITIONS
4041 COSTADO RD
PEBBLE BEACH, CA 93953
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Lance Holt

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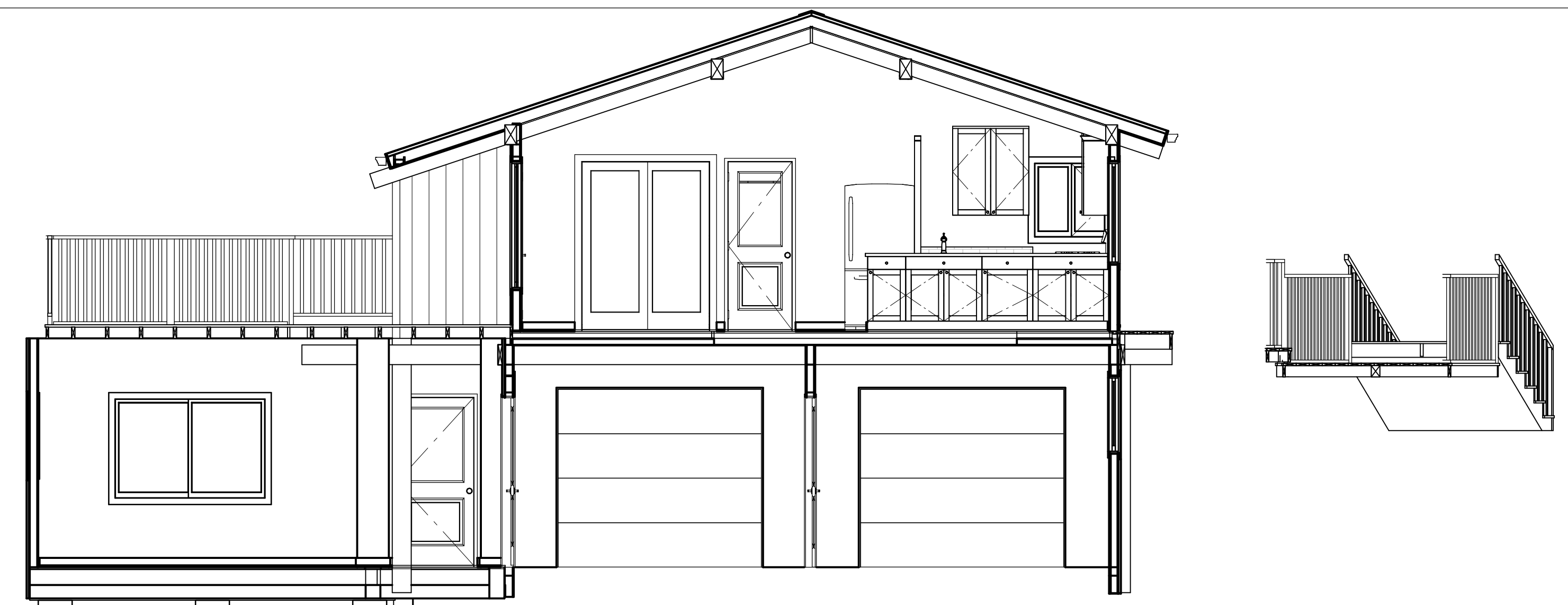
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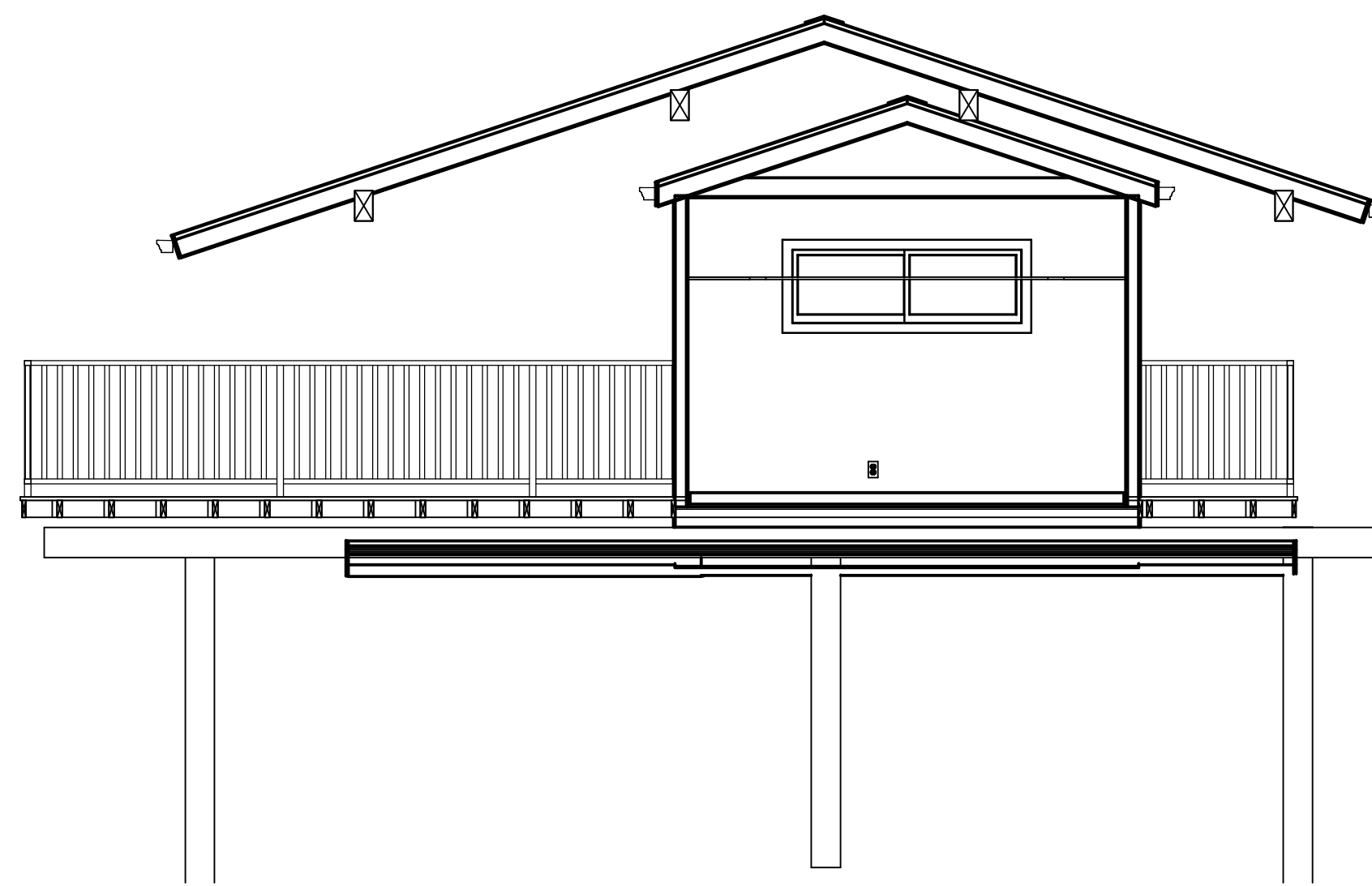
A-8



Elevation 5



Elevation 6



Elevation 7



Elevation 8

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

SECTIONS

FRETWELL ADDITIONS
 4041 COSTADO RD
 PEBBLE BEACH, CA 93953
 APN 008-101-021-000

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SCALE:

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DATE:

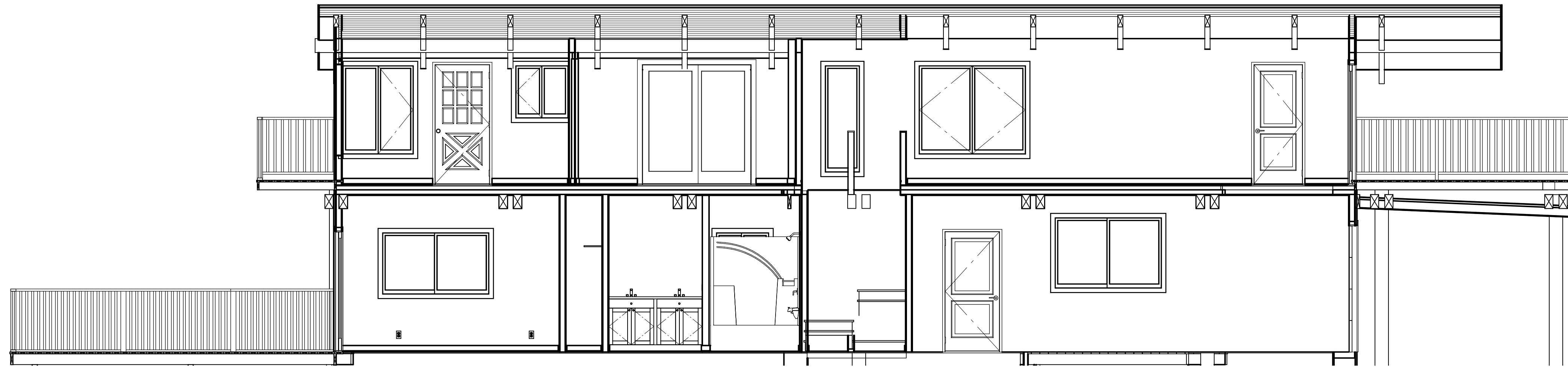
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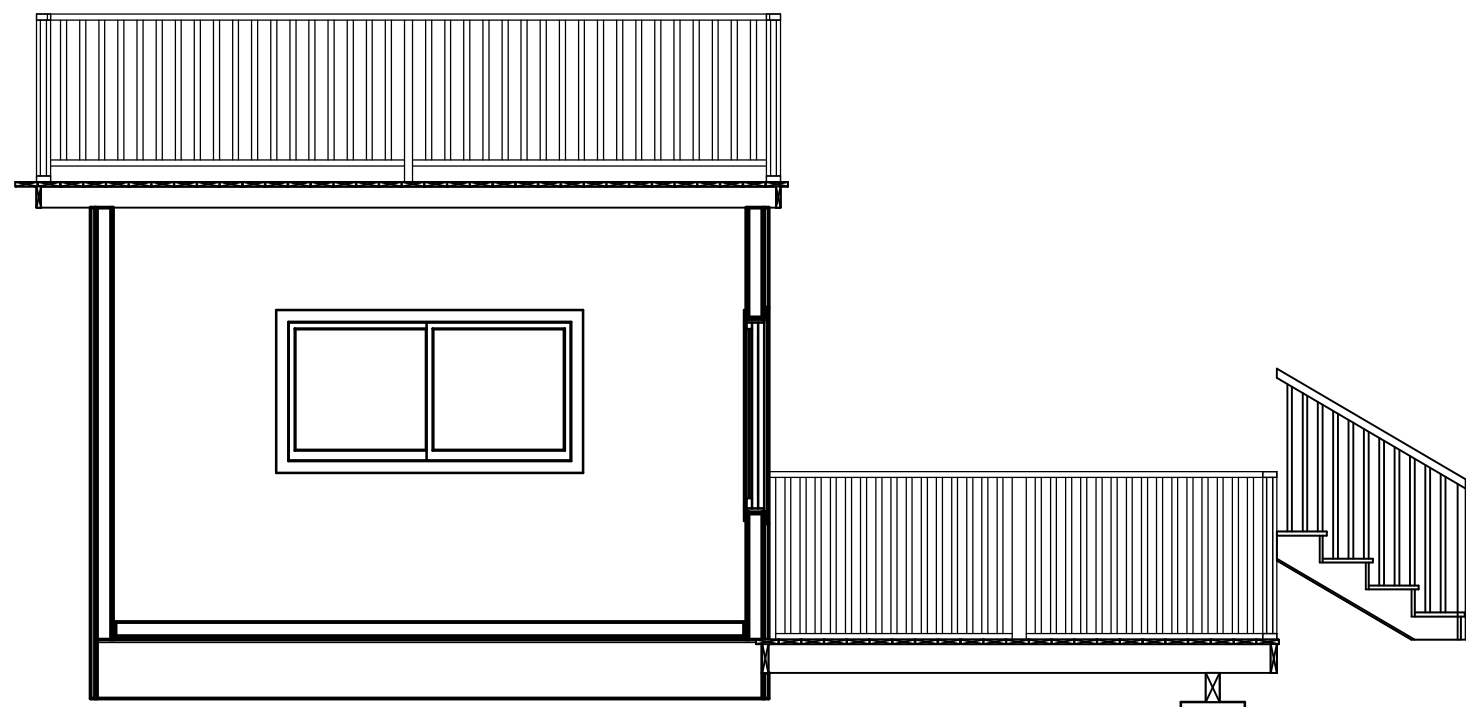
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SHEET:

A-9



Elevation 9



Elevation 10

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

**PROPOSED
EXTERIOR
ELEVATIONS**

FRETWELL ADDITIONS
4041 COSTADO RD
PEBBLE BEACH, CA 93953
APN 008-101-021-000

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Lance@lhothinc.com 831-583-8200

SCALE:

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DATE:

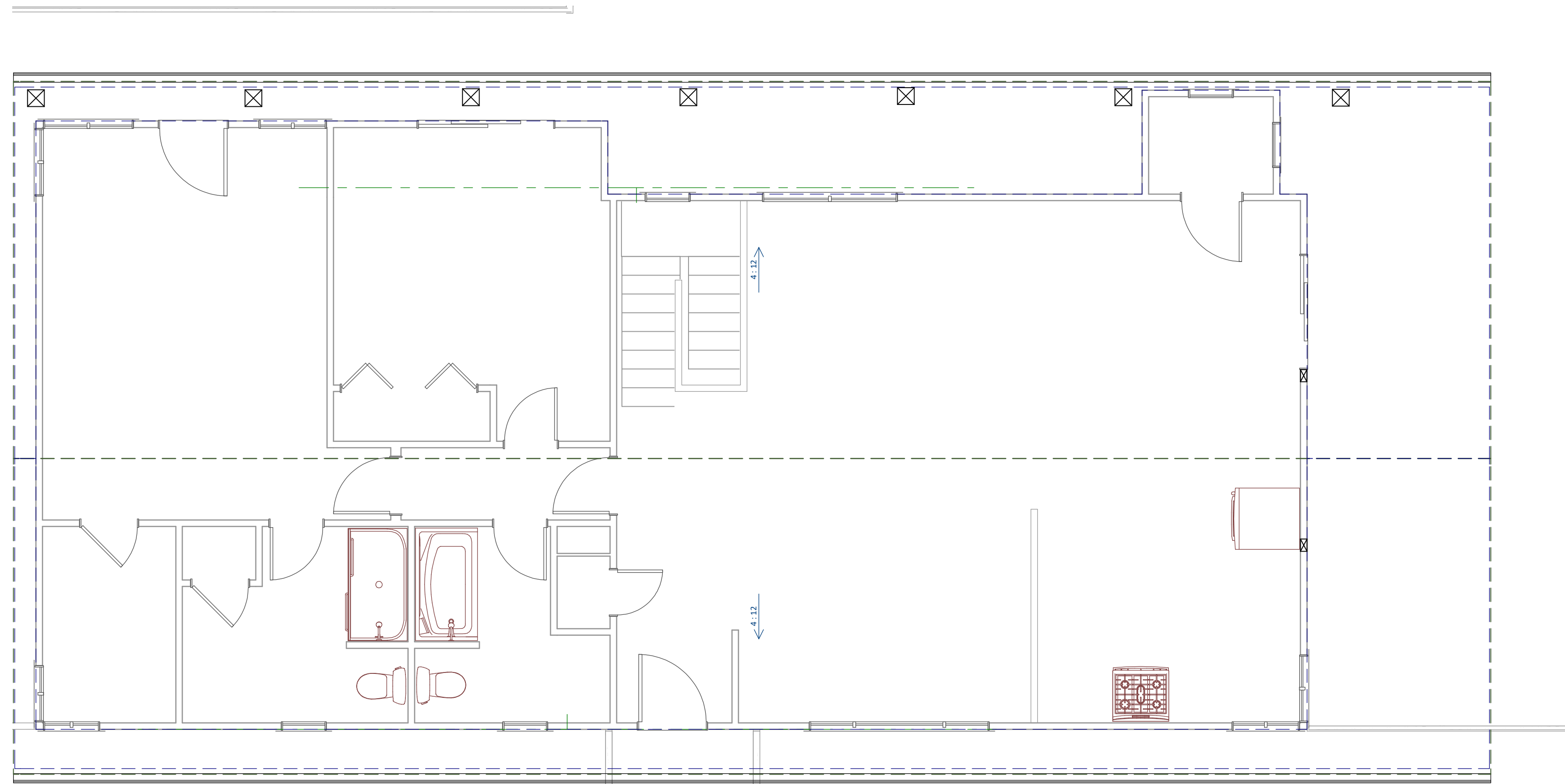
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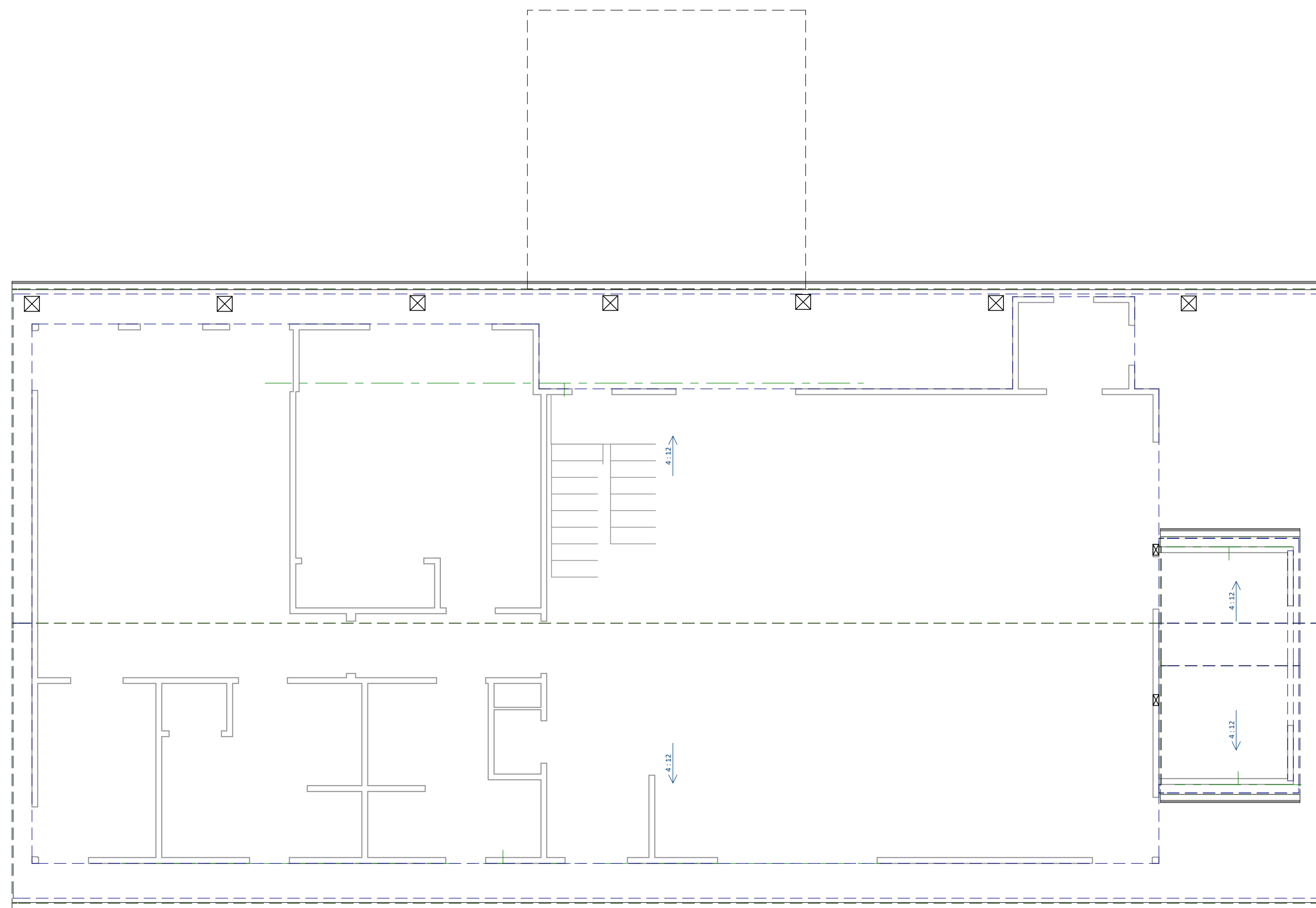
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SHEET:

A-10



Existing Roof Plan View



Proposed Roof Plan View

TRUDEFINITION DURATION ESTATE GRAY LAMINATE
ARCHITECTURAL ROOFING SHINGLES



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

ROOF PLAN

FRETWELL ADDITIONS
4041 COSTADO RD
PEBBLE BEACH, CA 93953
APN 008-101-021-000

Lance Holt

DRAWINGS PROVIDED BY:
Renovation Drafting & Design
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SCALE:

1/4" = 1'

DATE:

1/27/2026

VERSION:

1.2

SHEET:

A-11

GENERAL BUILDING NOTES

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

CALIFORNIA GREEN BUILDING NOTES:

SEPARATE AND RECYCLE AT LEAST 65% OF ALL CONSTRUCTION WASTE. ADHESIVES, SEALANTS, CAULKS, PAINTS, STAINS AND OTHER COATINGS SHALL COMPLY WITH VOC LIMITS SET FORTH IN TABLE 4.504.1, TABLE 4.504.2 AND TABLE 4.504.3. CONTRACTOR SHALL PROVIDE BUILDING DEPARTMENT WITH MANUFACTURERS PRODUCT SPECIFICATIONS UPON REQUEST. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR JOIST SHALL BE PRESURE TREATED UNLESS APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE NOT RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

WINDOW NOTES:

ALL WINDOWS SHALL CONFORM TO WINDOW SCHEDULE.

DOOR NOTES:

ALL WALK-THRU EXTERIOR DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED. EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

CONCRETE NOTES:

1. ALL CONCRETE AND REINFORCEMENT SHALL CONFORM TO THE MORE STRINGENT REQUIREMENTS OF THE LATEST EDITION OF EITHER THE A.C.I., C.R.C., OR C.B.C.
2. ALL CONCRETE SHALL ATTAIN A MINIMUM STRENGTH OF 2500 P.S.I. 28 DAYS U.N.O. DESIGN MIXTURE SHALL BE 5-1/2 SACK CEMENT PER CUBIC YARD CONCRETE. COARSE AGGREGATE SHALL BE 3/4" U.N.O. THE USE OF A DESIGN PUMP MIXTURE MAY BE SUBSTITUTED IF THE CEMENT RATIO IS INCREASED TO 6 SACKS U.N.O.
3. ALL CEMENT SHALL BE PORTLAND TYPE I OR TYPE II OF A.S.T.M. (C-150)
4. THERE SHALL BE NO ADMIXTURES USED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER.
5. ALL CONCRETE SHALL BE VIBRATED AND PLACED IN ACCORDANCE WITH A.S.T.M. (C-143) U.N.O.
6. ALL CONCRETE SHALL BE CURED BY KEEPING THE EXPOSED SURFACES CONTINUOUSLY MOIST FOR A 7 DAY PERIOD AND BY USING AN APPROVED CURING COMPOUND AFTER 7 DAY WET CURE.
7. ALL CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY THE ENGINEER.
8. SLABS SHALL NOT EXCEED 20' IN ANY DIRECTION WITHOUT A CONTROL JOINT PERPENDICULAR TO THAT DIRECTION U.N.O.
9. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF CONCRETE WHICH SHOWS HONEYCOMBING, SPALLING, CRACKING, OR OTHER SIGNS OF INADEQUATE STRENGTH; LACK, MISPLACEMENT, OR UNDER SIZING OF ANCHOR HARDWARE. ANY UNCERTAINTY ABOUT HARDWARE OR REINFORCEMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PLACING OF CONCRETE.
10. THE BUILDING INSPECTOR AND, WHEN SPECIFIED, ENGINEER SHALL INSPECT REINFORCEMENT AND HARDWARE BEFORE CONCRETE IS PLACED.
11. ALL FALSEWORK AND FORMING DESIGN AND CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. FALSEWORK MUST STAY IN PLACE UNTIL CONCRETE REACHES A STRENGTH OF 2000 P.S.I.
12. CONCRETE CYLINDER SAMPLES SHOULD BE TAKEN THROUGHOUT EACH STAGE OF THE FOUNDATION FLOOR AND TESTED FOR COMPRESSIVE STRENGTH WHERE MINIMUM REQUIRED STRENGTH IS GREATER THAN 2500 P.S.I.
13. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
14. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
15. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER

STRUCTURAL HARDWARE:

1. ALL CONCEALED BOLTS AND/OR NUTS SHALL BE RE-TIGHTENED PRIOR TO APPLYING COVERINGS.
2. HARDWARE SIZE, EMBEDMENT, FASTENERS, AND MEMBERS RECEIVING FASTENERS SHALL MEET THE MOST STRINGENT SPECIFICATION OF THE STANDARD OR SPECIFIC DETAIL. WHERE INTERSECTIONS OF HARDWARE ASSEMBLIES APPEAR TO CONFLICT WITH THE REQUIREMENTS OF ANY INDIVIDUAL STRUCTURAL DETAIL OR INTERFERE WITH STRUCTURAL CONTINUITY, OR UNCERTAINTIES ABOUT INSTALLATION OF THE HARDWARE EXIST, CONTACT THE ENGINEER BEFORE CONTINUING THIS WORK.
3. ALL MANUFACTURED METAL CONNECTORS INDICATED IN DRAWINGS ARE "SIMPSON STRONG TIE" UNLESS OTHERWISE SHOWN. SUBSTITUTIONS MAY BE MADE WITH HARDWARE I.C.RATED TO PERFORM EQUAL OR BETTER THAN THE SPECIFIC SIMPSON HARDWARE CONTRACTOR SHALL TAKE RISK FOR THE SUITABILITY OF ANY SUBSTITUTION HARDWARE NOT SPECIFICALLY AUTHORIZED BY ENGINEER.

SITE CONTROL DURING CONSTRUCTION:

THE APPLICANT AND/OR PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING DUST CONTROL MEASURES: 1. WATER ALL ACTIVE CONSTRUCTION AREAS TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. 2. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL. 3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS. 4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY. 5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

HOURS OF CONSTRUCTION :

THE OPERATION OF TOOLS AND EQUIPMENT USED IN CONSTRUCTION SHALL BE LIMITED TO THE HOURS AUTHORIZED BY LOCAL AUTHORITY. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITIES ALLOWED ON SUNDAYS OR HOLIDAYS. IF THE CITY ADOPTS A NOISE ORDINANCE IN THE FUTURE, APPLICABLE PROVISIONS OF SAID ORDINANCE SHALL REPLACE THIS CONDITION. DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES : SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND THE COMMUNITY DEVELOPMENT DEPARTMENT CONTACTED. WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS THAT COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR FLINT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUND STONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ADDRESS IDENTIFICATION:

PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPILLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGNAGE TO BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

ROT / DECAY RESISTANCE NOTES:

R317.1 LOCATION REQUIRED PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1.

1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHERE CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHERE CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.
3. SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.
5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER. THE IMPERVIOUS MOISTURE BARRIER SYSTEM PROTECTING THE STRUCTURE SUPPORTING FLOORS SHALL PROVIDE POSITIVE DRAINAGE OF WATER THAT INFILTRATES THE MOISTURE-PERMEABLE FLOOR TOPPING.
7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

R317.1.1 FIELD TREATMENT FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.

R317.1.2 GROUND CONTACT ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES OR INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESERVATIVE TREATED.

R507.2.3 FASTENERS AND CONNECTORS METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS SHALL BE IN ACCORDANCE WITH SECTION R317.3 AND TABLE R507.2.3.

TABLE R507.2.3			
ITEM	MATERIAL	MINIMUM FINISH/COATING	ALTERNATE FINISH/ COATING
NAILS AND TIMBER RIVETS	IN ACCORDANCE WITH ASTM F1667	HOT-DIPPED GALVANIZED PER ASTM A153	STAINLESS STEEL, SILICON BRONZE OR COPPER
BOLTS LAG SCREWS INCLUDING NUTS AND WASHERS	IN ACCORDANCE WITH ASTM A307 (BOLTS), ASTM A653 (NUTS), ASTM F844 (WASHERS)	HOT-DIPPED GALVANIZED PER ASTM A153, CLASS C/CLASS D FOR 3/8-INCH DIAMETER (LESS) OR MECHANICALLY GALVANIZED PER ASTM B695, CLASS 55 OR A110 STAINLESS STEEL	STAINLESS STEEL, SILICON BRONZE OR COPPER
METAL CONNECTORS	PER MANUFACTURER'S SPECIFICATION	ASTM A653 TYPE G185 ZINC COATED GALVANIZED STEEL OR POST-HOT-DIPPED GALVANIZED PER ASTM A123 PROVIDING A MINIMUM AVERAGE COATING WEIGHT OF 2.0 OZ./FT ²	STAINLESS STEEL

CBC 2304.10.5.1 FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. STAPLES SHALL BE OF STAINLESS STEEL. FASTENERS OTHER THAN NAILS, STAPLES, TIMBER RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B695, CLASS 55 MINIMUM. CONNECTORS THAT ARE USED IN EXTERIOR APPLICATIONS AND IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL HAVE COATING TYPES AND WEIGHTS IN ACCORDANCE WITH THE TREATED WOOD OR CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, NOT LESS THAN ASTM A653, TYPE G185 ZINC-COATED GALVANIZED STEEL OR EQUIVALENT, SHALL BE USED. EXCEPTION: PLAIN CARBON STEEL FASTENERS, INCLUDING NUTS AND WASHERS, IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

2304.12 PROTECTION AGAINST DECAY AND TERMITES WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTIONS 2304.12.1 THROUGH 2304.12.7.

POLLUTION PREVENTION PLANNING

Every construction project must have an erosion and sediment control plan to prevent soil and materials from leaving the site. Basic steps for this plan include:

1. Understand local jurisdictional stormwater management requirements and create your plan to match your construction site and project needs.
2. Identify the storm drains and the conveyance system (e) nearest the construction site area and provide plan to protect them from worst-case pollutants.
3. Obtain all local jurisdictional permits, including traffic control permits, if needed.
4. Schedule construction activities so that the soil is not exposed for long period of time. Limit grading to small areas; install key sediment control practices before site grading begins.
5. Contact the inspector assigned to your project to answer any questions and ensure compliance. Modify BMPs as job requires.



Photo courtesy USEPA

PREVENT POLLUTION AND AVOID FINES (3 C'S)

Control: The best line of defense is to use good house-keeping practices and sediment/erosion control BMPs to prevent materials and debris from entering the storm drain.

Contain: Isolate your work area to prevent discharges from leaving the site. Store materials out of the rain and in secondary containment, if necessary.

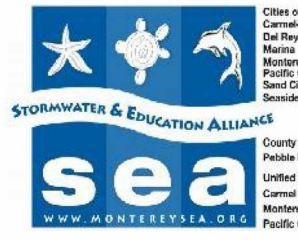
Capture: Sweep or vacuum up any material that could possibly run offsite. Dispose of wastes properly by checking product labels for disposal requirements.

Additional Tips to Support BMPs:

- Schedule site stabilization activities, such as landscaping, to be completed immediately after the land has been graded to its final contour.
- Inspect & maintain silt fences and straw wattles after each rainstorm. Make sure stormwater is not flowing around these devices or other vegetative buffers. Cover all dirt piles to protect from wind and rain.
- Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.
- Minimize amount of vegetation cleared from the site. Protect and install vegetative buffers along waterbodies to slow and filter stormwater runoff.
- Properly dispose of all waste materials. Never dump unused or waste product on the ground or in a storm drain. Don't hose off surfaces to clean. Sweep and place waste in dumpster.
- Break up long slopes with sediment barriers. Install structural BMPs to trap sediment on downslope sides of the lot.
- When in doubt, contact local jurisdiction for guidance.

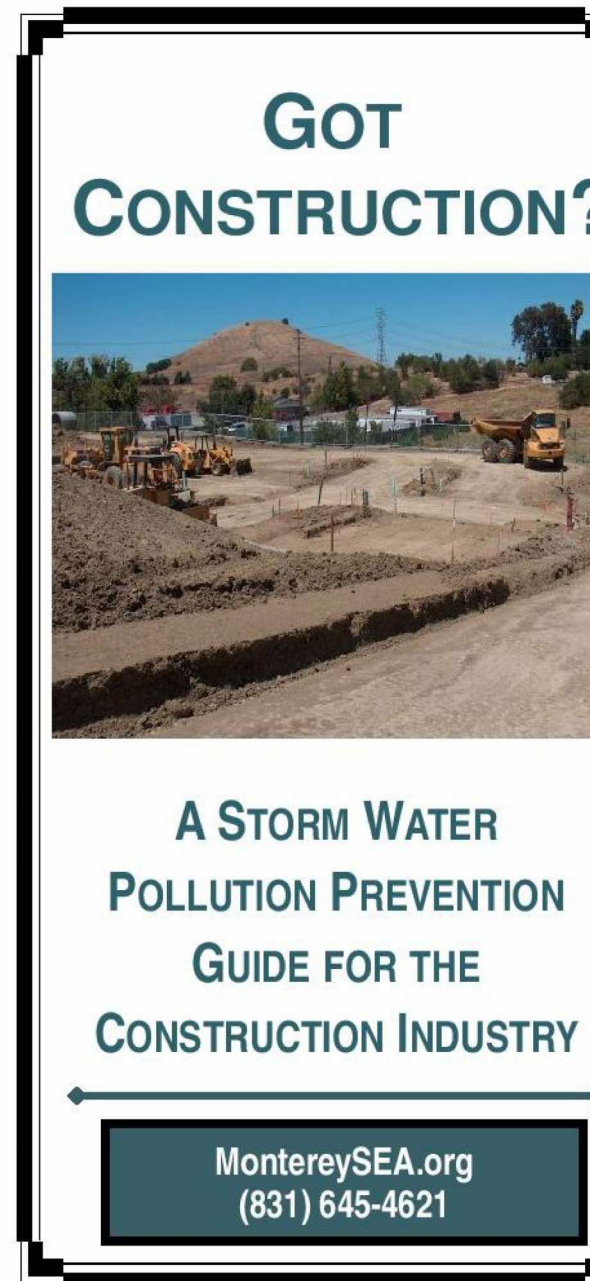
ONLINE RESOURCES

California Storm Water Quality Association - www.csbmpandbooks.com
International BMP Database - www.bmpdatabase.org
California State Water Board - www.waterboards.ca.gov



5 Harris Ct., Bldg D
Monterey, CA 93940

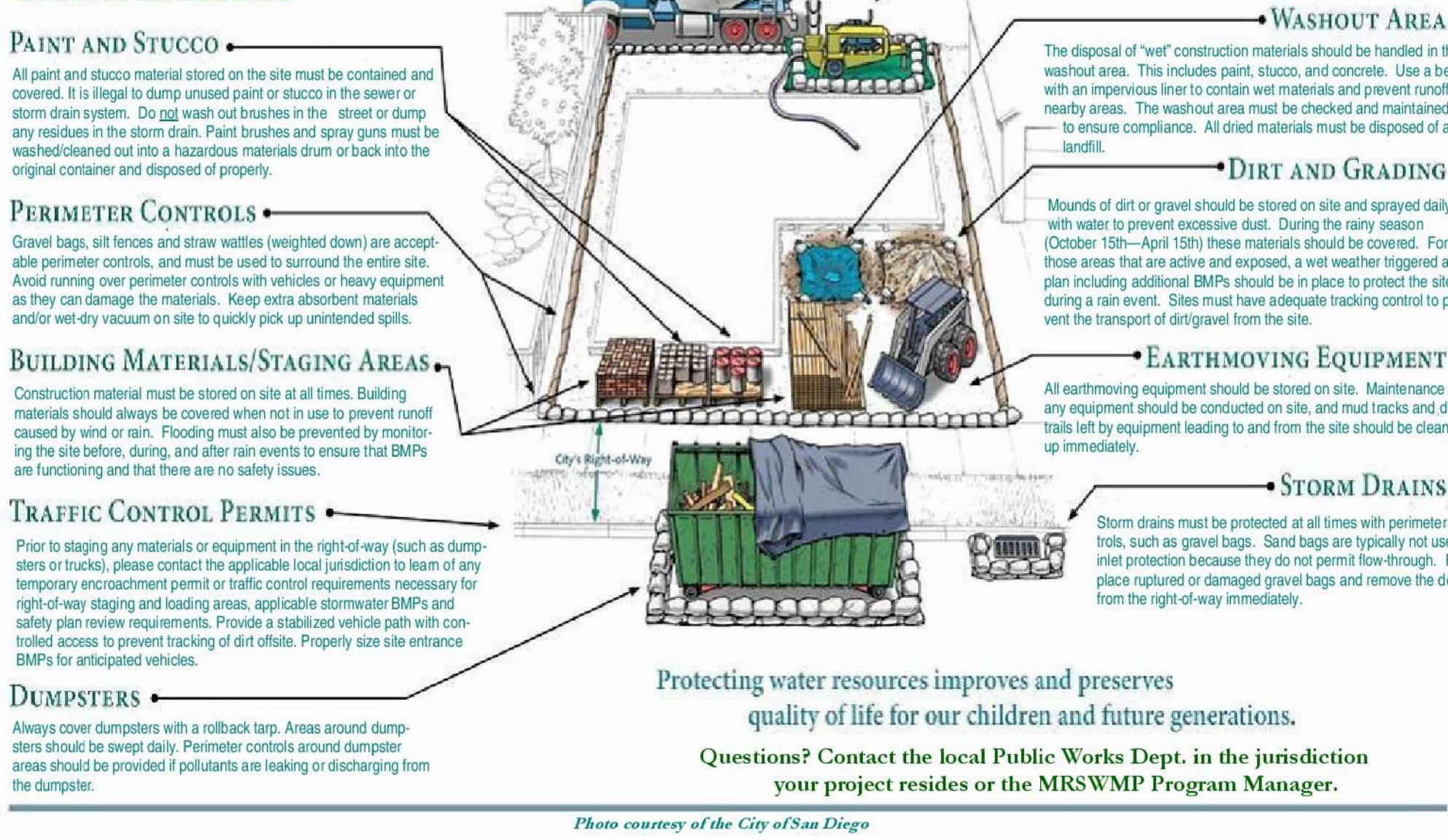
Phone: (831) 645-4621
Fax: (831) 372-6178
Web: MontereySEA.org



CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.



Protecting water resources improves and preserves quality of life for our children and future generations. Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

Photo courtesy of the City of San Diego

REVISION TABLE	REVISOR	DESCRIPTION
NUMBER	DATE	

NOTES

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PEBBLE BEACH, CA 93953
APN 008-101-021-000

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DATE:

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VERSION:

1.2

SHEET:

A-12

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY METHODS

EFFECTIVE JAN. 1, 2023

CHAPTER 3 GREEN BUILDING CODE SECTION 301 GENERAL

301.1 SCOPE. BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATIONS CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY OR COUNTY AS SPECIFIED IN SECTION 101.7.

301.1.1 ADDITIONS AND ALTERATIONS. THE MANDATORY PROVISIONS OF CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

NOTE- ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE. TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

301.2 LOW RISE AND HIGH RISE RESIDENTIAL BUILDINGS. THE PROVISIONS OF INDIVIDUAL SECTIONS OF CALGREEN MAY APPLY EITHER TO LOW RISE RESIDENTIAL BUILDS, HIGH RISE RESIDENTIAL BUILDINGS, OR BOTH.

302.1 MIXED OCCUPANCY BUILDINGS. IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

CHAPTER 4 RESIDENTIAL MANDATORY MEASURES DIVISION 4.1 PLANNING AND DESIGN

SECTION 4.102 DEFINITIONS

THE FOLLOWING ITEM ARE DEFINED IN CHAPTER 2 AND INCLUDED HERE FOR REFERENCE.

FRENCH DRAIN. A TRENCH, HOLE OR OTHER DEPRESSED AREA LOOSELY FILLED WITH ROCK, GRAVEL, FRAGMENTS OF BRICK OR SIMILAR PERVIOUS MATERIAL USED TO COLLECT OR CHANNEL DRAINAGE OR RUNOFF WATER.

WATTLES. WATTLES ARE USED TO REDUCE SEDIMENT IN RUNOFF. WATTLES ARE OFTEN CONSTRUCTED OF NATURAL PLANT MATERIALS SUCH AS HAY, STRAW OR SIMILAR MATERIAL SHAPED IN THE FORM OF TUBES AND PLACED ON A DOWNFLOW SLOPE. WATTLES ARE ALSO USED FOR PERIMETER AND INLET CONTROLS.

4.106 SITE DEVELOPMENT

4.106 GENERAL. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE.
2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.

4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INCLUDE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

1. SWALES
2. WATER COLLECTION AND DISPOSAL SYSTEMS
3. FRENCH DRAINS
4. WATER RETENTION GARDENS
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION. NEW CONSTRUCTION SHALL COMPLY WITH SECTIONS 4.106.4.1, 4.106.4.2, 4.106.4.3 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

4.106.4.1 NEW ONE- AND TWO- FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

4.106.4.1.1 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKET AS "EV CAPABLE".

CHAPTER 4.2 ENERGY EFFICIENCY 4.201 GENERAL

4.201.1 SCOPE FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 AFTER CONSERVATION PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

4.303.1.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATIONS FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

4.303.1.2 URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

4.303.1.3 SHOWERHEADS.

4.303.1.3.1 SINGLE SHOWERHEAD. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATIONS FOR SHOWERHEADS.

4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4 FAUCETS.

4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT TO EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC RUSE AREAS. THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.

4.303.1.4.3 METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE.

4.303.1.4.4 KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

MAXIMUM FIXTURE FLOW RATES	
SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX 1.2 GPM @ 60 PSI MIN 0.8 GPM @ 60 PSI
LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCET	0.2 GAL / CYCLE
WATER CLOSET	1.28 GAL / FLUSH
URINALS	0.125 GAL / FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREA. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MVELO), whichever is more stringent.

NOTE: THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MVELO) IS LOCATED IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 23, CHAPTER 2.7, DIVISION 2.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4 OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:

1. EXCAVATED SOIL AND LAND CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM OR DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.

4.08.2 CONSTRUCTION WASTE MANAGEMENT PLAN. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS WHICH DUE NOT EXCEED 3.4 LBS./SQ. FT. OF A BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENTS IN SECTION 4.408.1.

4.408.5 DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 4.408.2, ITEMS 1 THROUGH 5, SECTIONS 4.408.3, SECTION 4.408.4.

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATIONS AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - A. EQUIPMENT AND APPLIANCES, INCLUDING WATER SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - C. SPACE CONDITIONING SYSTEMS.
 - D. LANDSCAPE IRRIGATION SYSTEMS.
 - E. WATER REUSE SYSTEMS.

3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS OR METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.

5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OF THIS (CALIFORNIA GREEN BUILDING STANDARDS) CODE.

DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501.1 GENERAL

4.505.1 SCOPE

THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUALITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL BEING OF THE BUILDINGS INSTALLERS, OCCUPANTS AND NEIGHBORS.

4.503 FIREPLACES

4.503.1 GENERAL. ANY INSTALLED GAS FIREPLACE SHALL DIRECT VENT SEALED COMBUSTION TYPE, ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH THE U.S. EPA NEW SOURCE PERFORMANCE STANDARD (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATION THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

4.504 POLLUTION CONTROL

4.504.1 COVERING OR DUCT OPENINGS & PROTECTION OR MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUST AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS WHICH MAY ENTER THE SYSTEM.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH THIS SECTION.

4.504.2.1 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION.
2. FIELD VERIFICATION OF ON SITE PRODUCT CONTAINERS.

DIVISION 4.5 ENVIRONMENTAL QUALITY (CONTINUED)

4.505.3 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF AT LEAST ONE OF THE FOLLOWING:

1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350).
3. NSF/ANSI 140 AT THE GOLD LEVEL.
4. SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE (TM) GOLD.

4.504.3.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

4.504.3.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

4.504.4 REASILANT FLOORING SYSTEMS. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

1. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
2. PRODUCTS CERTIFIED UNDER UL GREENGAURD GOLD (FORMERLY THE GREENGAURD CHILDREN & SCHOOLS PROGRAM).
3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWS AS SPECIFICATION 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ABB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ES SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

4.504.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

1. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
2. CHAIN OF CUTOUDY CERTIFICATIONS.
3. PRODUCT LABELED ANBD INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 9320, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKET AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIA AS/NZS 2269, EUROPEAN 63635, AND CANADIAN CSA 0121, CSA 0151, CSA 0153 AND CSA 0325 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE, CHAPTER 19 OR CONCRETE SLAB ON GRADE FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

1. A 4" THICK (101.6 MM) BASE OF 1/2 INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH THE CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLY SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READING SHALL BE TAKEN AT A POINT 2 FEET (610MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND COMPLY WITH THE FOLLOWING:

1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
3. HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF <50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
4. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILD IN).

NOTE:

1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION.
2. LIGHTING INTEGRAL TO A BATHROOM EXHAUST FAN SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

4.507 ENVIRONMENTAL CONTROL

4.507.2 HEATING AND AIR CONDITIONING SYSTEM DESIGN. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 (RESIDENTIAL LOAD CALCULATIONS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEM FUNCTIONS ARE ACCEPTABLE.

CHAPTER 7 INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONAL OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STATE CERTIFIED APPRENTICESHIP PROGRAMS.
2. PUBLIC UTILITY TRAINING PROGRAMS.
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATE WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTIONS. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THIS PARTICULAR PERFORMANCE INSPECTION BEING PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WITH EVALUATING THE QUALIFICATIONS OF THE SPECIAL INSPECTOR:

1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTE:

1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

(BSC-CG) WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE THE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPLIANCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

703 VERIFICATIONS